

**AGENDA**  
**HAILEY PLANNING & ZONING COMMISSION**  
**Monday, January 14, 2012**  
**Hailey City Hall**  
**6:30 p.m.**

**Call to Order**

**Election of Officers**

Election including the positions of Chair and Vice Chair

**Public Comment** for items not on the agenda

**Consent Agenda**

CA 1 Motion to approve minutes of December 10, 2012 P&Z Meeting

**New Business**

NB 1 Motion to approve Findings of Fact, Conclusions of Law and Decision – approval of a Conditional Use Permit application by Terra Form Companies (O’Reilly Auto Parts) for a wholesale distributor with incidental and subordinate retail sales, to be located at present R. Davis Business Center parcel A (960 S. 4<sup>th</sup> Ave.) and R. Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

NB 2 Motion to approve Findings of Fact, Conclusions of Law and Decision – approval of design review for an application by Terra Form Companies (O’Reilly Auto Parts), for Design Review of a proposed building to be located at present R. Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

**Old Business**

None at this Time

**Commission Reports and Discussion**

**Staff Reports and Discussion**

SR 1 Discussion of current building activity

SR 2 Discussion of Planning and Zoning Commission goals and priorities for 2013

SR 3 Discussion of the next Planning and Zoning meeting: Monday, February 11, 2013

**Adjourn**

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

**MINUTES OF THE  
HAILEY PLANNING & ZONING COMMISSION  
Monday, December 10, 2012  
Hailey City Hall  
6:30 p.m.**

**Present:** Jay Cone, Geoffrey Moore, Janet Fugate, Owen Scanlon  
**Staff:** Micah Austin, Bart Bingham

**Call to Order**

[6:31:11 PM](#) Chair Moore called the meeting to order.

**Public Comment** for items not on the agenda

[6:32:11 PM](#) None offered.

**Consent Agenda**

*CA 1 Motion to approve minutes of November 12, 2012 P&Z Meeting.*

[6:32:22 PM](#) **Janet Fugate moved to approve CA 1. Owen Scanlon seconded, and the motion carried unanimously.**

**New Business**

*NB 1 Motion to approve Findings of Fact, Conclusions of Law and Decision – approval of design review for an application by Michael Kraynick and Nancy Linscott (Inezita Holdings LLC) for Design Review of an addition to a residence located at present Hailey Townsite, Blk 61, Lots 9A & 12A (317 E. Spruce St. and immediate lot to the north), within the Limited Residential 1 and Townsite Overlay Zoning Districts.*

[6:32:46 PM](#) Discussion included confirmation of the accurate square footage figure. Bart Bingham assured the correct figure is 280 square feet.

[6:34:23 PM](#) Chair Moore opened the meeting to public comment. None was offered.

[6:34:36 PM](#) Discussion returned to square footage and the exterior deck.

[6:35:41 PM](#) **Owen Scanlon moved to approve NB 1 with correct square footage and deck language. Jay Cone seconded, noting the City paperwork should be consistent with motion language. The motion passed unanimously.**

*NB 2 Public Hearing and Consideration of an application by Terra Form Companies for a Conditional Use Permit for a wholesale distributor with incidental and subordinate retail sales, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.*

[6:36:36 PM](#) Micah Austin introduced the project by showing elevation drawings and introducing Jonathan Taylor of Terra Form. Mr. Austin pointed out there were two discussions for this meeting: consideration of the CUP, and of design review. He then reviewed highlights of the staff report and application, including landscaping and parking, and the recommended conditions for approval.

[6:47:49 PM](#) Chair Moore opened the meeting to Jonathan Taylor who expressed Terra Form's efforts to meet City needs and to be an asset to the community.

[6:49:35 PM](#) Mr. Austin added that 4<sup>th</sup> Avenue neighbors have submitted comments in favor of development at the location.

[6:50:06 PM](#) Commission discussion included the amount of wholesale compared to retail business in this location, relative location of the building to Highway 75 and to 4<sup>th</sup> Avenue, the significant number of additional parking spaces provided, semi-truck access, and parking/pedestrian safety. Ernie Smith of Terra Form also spoke on the difficulties of this particular lot, the very unlikely possibility of an additional building at the location, fire department requirements, alternate uses for the additional parking, maturity of landscape at installation, and functionality of the proposed design. Mr. Smith also provided some history of O'Reilly Auto Parts for the Commission. (Terra Form is the developer of the project for client O'Reilly.) Chair Moore commented on the difficulty of this particular location and lot lines. He further suggested the applicant voluntarily vacate the underlying property lines, and was assured they will do that. Further discussion included the possibility of placing the old high school announcement sign on this property. Applicant indicated this was possible.

[7:19:04 PM](#) Chair Moore opened the matter to public comment. None was offered.

[7:24:02 PM](#) **Jay Cone moved to approve conditional use permit application for O'Reilly Auto Parts, represented by Jonathan Taylor of Terra Form Companies, at R. Davis Business Center Subdivision Lots 1, 2, and 3 of Block 1 and Parcel A, and finding that the application meets each of the criteria for review (a) through (h) cited in Zoning Ordinance Article 11.4, Section 11.4.1, and that the conditional use permit is subject to condition (a) thru (d) noted above and the following conditions. Owen Scanlon seconded, and the motion carried unanimously.**

[7:25:08 PM](#) Chair Moore called a short break in the meeting. 2-minute break per GM

[7:27:37 PM](#) Chair Moore called the meeting back to order.

*NB 3 Public Hearing and Consideration of an application Terra Form Companies for Design Review of a proposed building, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.*

[7:27:52 PM](#) Bart Bingham provided an overview of the application and addressed specific details including landscaping and snow storage. Commission discussion included snow storage and the landscaped area. [7:44:36 PM](#) Discussion continued on contours of the parking area and dry well locations, placement of bike racks and egress doors, landscaping and exterior lighting, existing curb and gutter, pedestrian safety, location of public bench, landscaping heights, traffic visibility, easement location, whether bike path can serve as the required sidewalk in this case, tempered or insulated glazing, the importance of keeping roof equipment below parapet height, the possibility of allowing BCRD to advise on the bench maintenance and location, exterior colors, awning colors, sign lighting, and how the retaining wall relates to the bike path.

[8:21:32 PM](#) Chair Moore opened the matter to public comment. Marc Corney, 565 Mother Lode Loop, suggested softening the elevation along the bike path and asked whether the project would also have a monument sign. Jonathan Taylor explained the existing plantings adjacent to the bike path and the signage plans on the drawings. Staff further assured the sign ordinance would address these concerns.

[8:24:58 PM](#) With no further public comment offered, Chair Moore returned the meeting to the Commission. Discussion continued on plantings, the way in which the project will improve the location, whether the community will approve of a monument sign, the possibility of getting public input on a monument sign, revisiting the sign design as a Consent Agenda item, snow storage requirements, type of curbs (roll v. curbcut), opinions on street trees, pedestrian patterns, tree choices, bench and bike rack placement.

[8:52:38 PM](#) **Jay Cone moved to approve the design review application of Terra Form Companies to construct an auto parts wholesale distribution center with incidental and subordinate retail sales, to be located at R Davis Business Center Parcel A (960 S. 4th Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4th Ave.), within the Limited Business Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (k) are met, with the addition of items (l) that the bench location be reviewed by City staff or the City street dept for BCRD so as not to impede maintenance of bike path, (m) that the brick wainscoat be extended around any corner for a minimum of 3', (n) that a bike rack be added to site plan, (o) that a walkway be required from south elevation exit to the storefront walkway, (p) that the City of Hailey sign permit application be reviewed on the Consent Agenda for the Planning and Zoning Commission, (q) that physical color samples per design review application requirements be submitted to the Commission at or prior to approval of Findings of Facts, (r) that a revised site plan showing items (l) (n) and (o) be submitted to the Commission at or prior to approval of Findings of Facts. Owen Scanlon seconded, and the motion carried unanimously.**

[9:01:15 PM](#) Micah Austin reminded Commissioners that they “just enabled 15 full-time benefited jobs in passing this application.” Discussion between Commissioners and the applicant continued. [9:07:34 PM](#)

### **Old Business**

None.

### **Commission Reports and Discussion**

None.

### **Staff Reports and Discussion**

*SR 1 Discussion of current building activity.*

[9:07:41 PM](#) Bart Bingham noted new building permits in November. Micah Austin pointed out the contract with the State for hiring a building official has worked out very well, and is saving considerable money.

*SR 1 Discussion regarding Airport West Sign.*

[9:09:41 PM](#) Mr. Bingham provided an illustration of the proposed wayfinding sign to be placed near the corner where the Post Office is located. The sign allows space for 12 business names.

Janet Fugate hoped staff would wait for the City Council's consideration of the Wertheimer signs. Jay Cone voiced concern regarding the sign's location. [9:17:21 PM](#)

*SR 2 Discussion of the next Planning and Zoning meeting: Monday, January 14, 2013.*

[9:17:25 PM](#) Mr. Bingham advised of the next meeting.

[9:18:00 PM](#) Chair Moore asked Mr. Scanlon if he would be staying on the Commission for another term, his third. Mr. Scanlon assured he would stay.

**Adjourn**

[9:19:54 PM](#) **Jay Cone moved to adjourn. Janet Fugate seconded and the motion carried unanimously.**

City of Hailey - Conditional Use Permit Application

Submittal Date: 11 / 16 / 2012

Project Name: Hailey O'Reilly Auto Parts

Legal Description of Property: R. Davis Business Center Subdivision Lot 1 Block 1

Street Address of Property: 950 South 4th Avenue

Current Zoning of Property: Commercial

Proposed Use: Commercial

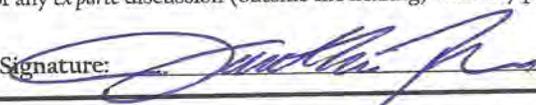
Name of Owner of the Property: Hailey Auto, LLC

Mailing Address: 2231 East Murray-Holladay Road City: Salt Lake City State: UT Zip: 84117

Phone: ( 801 ) 801 - 4688 Fax: ( 801 ) 278 - 5632 Cell: ( ) 671 - 4817

Email Address: jtaylor@terraformco.com

**Property Owner Consent:**  
By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature:  Date: 11 / 16 / 2012

Name of individual to contact on behalf of Trust or LLC (if applicable): \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: ( ) \_\_\_\_\_ - \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ - \_\_\_\_\_ Cell: ( ) \_\_\_\_\_ - \_\_\_\_\_

Email Address: \_\_\_\_\_

Application Contact (if different than above): \_\_\_\_\_

**\*\*Application Contact will be the Planning Department's primary point of contact for questions related to the application.**

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: ( ) \_\_\_\_\_ - \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ - \_\_\_\_\_ Cell: ( ) \_\_\_\_\_ - \_\_\_\_\_

Email Address: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_

**Appeals:**  
Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

**FOR CITY USE ONLY** Fees: *cost of additional noticing, recording fees, and other direct costs will also be assessed.*

|                                                                                                                                              |           |
|----------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| Conditional Use Permit.....                                                                                                                  | \$ 400.00 |
| OR Child Care Conditional Use.....                                                                                                           | \$ 50.00  |
| Publication cost <sup>40.00</sup> .....                                                                                                      | \$ 40.00  |
| Mailing: # of addresses _____ x ( _____ postage + .15 for paper, envelope & label) <b>DO NOT COUNT DUPLICATE ADDRESSES OR CITY OF HAILEY</b> | \$        |
| Total Due <sup>440.00</sup> .....                                                                                                            | \$        |

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the Hailey Zoning Ordinance for information on application process.



115 MAIN STREET S. SUITE H  
 HAILEY, ID 83333  
 PHONE: (208) 788-4221  
 FAX: (208) 788-2924

|            |                         |
|------------|-------------------------|
| INVOICE #  | INVOICE DATE            |
| 10441      | 11/20/2012              |
| DUE DATE   | CUSTOMER ACCOUNT NUMBER |
| 11/20/2012 | 321821                  |
| AMOUNT DUE | TERMS:                  |
| 1,109.80   | Open Terms              |

BILL TO:

**TERRAFORM COMPANIES**

2231 EAST MURRAY-HOLLADAY RD  
 SALT LAKE CITY UT 84117

PLEASE DETACH AND RETURN THIS TOP PORTION  
 WITH YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY  
 115 S MAIN ST STE H  
 HAILEY, ID 83333

## INVOICE

| DESCRIPTION                   | QUANTITY | CHARGE | EXT. PRICE       |
|-------------------------------|----------|--------|------------------|
| PLANNING DESIGN REVIEW        | .        |        | 669.80           |
| PLANNING CONDITNL USE PERMITS | .        |        | 440.00           |
|                               |          |        | 1,109.80         |
|                               |          |        | TOTAL AMOUNT DUE |

THANK YOU FOR YOUR PROMPT PAYMENT  
 For Billing Inquiries Call: (208)788-4221  
 Office Hours: 9:00 a.m. - 5:00 p.m.  
 Monday thru Friday

## **FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION**

On December 10, 2012 the Hailey Planning and Zoning Commission considered an application submitted by Terra Form Companies for a Conditional Use Permit for a wholesale distributor (O'Reilly Auto Parts) with incidental and subordinate retail sales, to be located at present R. Davis Business Center parcel A (960 S. 4<sup>th</sup> Ave.) and R. Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District. The Zoning District lists wholesale distributors with incidental and subordinate retail sales as a conditional use. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

### **FINDINGS OF FACT**

#### **Notice**

- Notice for the public hearing on December 10 was sent to the Mt. Express on November 16 and published in the Idaho Mountain Express on November 21. Notice was mailed to property owners within 300 feet and public agencies on November 26, 2012. The site was physically posted on November 21, according to Article XI of the Zoning Ordinance

#### **Application**

- O'Reilly Auto Parts, represented by Jonathan Taylor of Terra Form Companies, submitted a Conditional Use Permit application for the operation of a wholesale auto parts distributor at the R. Davis Business Center Subdivision Lots 1, 2, and 3 of Block 1 and Parcel A. The property is located in the Limited Business zoning district and this use requires a Conditional Use Permit.

#### **Standard of Evaluation**

Section 11.4 of the Hailey Zoning Ordinance establishes the standards for proposed conditional uses. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

#### **8.2 Signs.**

The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

#### **Outdoor Lighting Standards and Requirements, Article 8B.4.**

##### **8B.4.1 General Standards**

- a. **All exterior lighting shall be designed, located and lamped in order to prevent:**
  1. **Overlighting;**
  2. **Energy waste;**
  3. **Glare;**

**4. Light Trespass;**

**5. Skyglow.**

- b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.**
- c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.**
- d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.**
- e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.**

- All new and existing lighting shall comply with Hailey's Outdoor Lighting Ordinance. For more details, please refer to the Design Review report.

**Parking Requirement, Article XI**

9.2.1 Location of On-Site Parking Spaces. The following regulations shall govern the location of on-site parking spaces and areas, except as otherwise provided below and in section 9.4.8.

C. Parking spaces for commercial or industrial uses shall be located not more than 800 feet from the principal use and must be located within a B, LB, SCI or LI District.

- As shown in the site plan, this requirement has been satisfied.

E. **On-site parking areas are not permitted between the sidewalk within the public right-of-way and the primary frontage of a building, except where the location of an existing buildings or site conditions precludes another location for parking; such parking requires a landscape buffer, or an alternative approved by the Administrator, between sidewalk and parking.**

- Staff worked with Terra Form Companies on several iterations of a site plan to satisfy this requirement. After four months of review, the shape of the lot, proximity to Idaho Highway 75, and the necessity of delivering goods and merchandise via semi-truck to the businesses preclude locating the parking area behind the building in any reasonable manner. Accordingly, staff worked with Terra Form to design a landscape plan that robustly screens parking or blacktop areas of the site. The landscape plan was also updated after the December 10, 2012 P&Z meeting to incorporate Commission suggestions.
- The updated landscape plan, dated December 14, 2012, adequately shields and buffers the parking area as viewed from the public right-of-way. This satisfies the intent and purpose of the ordinance.

- The updated landscape plan, dated December 14, 2012, provides a valuable and attractive amenity to the entrance to Hailey for users of the adjacent bike path.
- Terra Form (O'Reilly's) will install a bench along the bike path as shown on the December 14, 2012 landscape plan, which will be available for public use.
- Terra Form (O'Reilly's) will also install a 5' wide pedestrian sidewalk linking the bike path to the building as shown on the December 14, 2012 landscape plan.

#### **9.4 On-Site Parking Space Requirements.**

##### **9.4.2 Commercial, Professional, Service, Recreation and Entertainment.**

**A. All commercial, professional, service, recreation and entertainment uses shall provide improved parking in the amount of one parking space for every 1,000 square feet of gross building area**

- This requirement is adequately satisfied. The plan calls for 28 parking spaces. The square footage of the building is 7,266 sq. ft. and the applicant is required to have 7 parking spaces.

**9.4.6.1 The Commission shall consider the following criteria when evaluating any application for parking in excess of that normally permitted. Applicants are required to satisfy at least 4 of the following criteria:**

**1. The excess parking area will be commonly used for public interests such as park and ride or car pool lots. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.**

- This requirement has been adequately satisfied.
- Applicant Terra Form Companies (O'Reilly Auto Parts) has agreed to allow use of the parking area for public interests such as a park and ride lot, if the need arises.

**2. The excess parking area provided would relieve or help to relieve a substantial shortage of parking within an 800 foot radius.**

- This requirement has been adequately satisfied.
- Applicant Terra Form Companies (O'Reilly Auto Parts) agreed to allow use of the parking area during special events for overflow parking. These events include, but are not limited to, McKercher Park events.

**3. The excess parking area will not be adjacent to a public right - of way, and will be separated from the right-of-way by a building.**

- The excess parking area is part of an overall development scheme which compensates for insufficient parking in other portions of the same development.

**4. The excess parking area is part of an overall development scheme which compensates for insufficient parking in other portions of the same development.**

- This requirement has been adequately satisfied.
- Terra Form Companies plans to build at least one more structure on this lot, which will require additional parking.

**5. The excess parking area will be used as an alternate facility, such as a basketball court or skateboard park, when not in use as an overflow parking area. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.**

- This requirement has been adequately satisfied.
- The applicant, Terra Form Companies (O'Reilly Auto Parts), has agreed to allow use of the parking area as an alternate facility, if the need arises, for such uses as a basketball court or an area to stage outdoor public events.
- The updated landscape plan, dated December 14, 2012, details a valuable and attractive amenity to the entrance of Hailey.

**6. The excess parking area will be surfaced with an alternative and attractive material.**

- Parking area will be surfaced with material as shown on the site plan

#### **9.2.8 ACCESS.**

**A. Except as otherwise provided herein, any parking area on private property, shall be designed in such a manner that any vehicle leaving or entering the parking area from or onto a public street shall be traveling in a forward motion.**

- Parking spaces as detailed in the site plans, meet City standards and provide adequate spaces for the amount of usage the building will receive.

**B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.**

- Not applicable.

**C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.**

- Access to 4<sup>th</sup> Avenue will be through the single entrance shown on the site plan.

**D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.**

- Vehicles entering or leaving the parking area should be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.

**E. Access for subdivisions shall be provided in accordance with standards set forth in Section 4 of the Subdivision Ordinance.**

- Not applicable.

**F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.**

- **Not applicable.**

**G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus “stacking” the parking area. For non-residential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.**

- **Not applicable.**

## **11. Conditional Use Permits**

### **11.4 Criteria for Review.**

**11.4.1 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location:**

**a. Will, in fact, constitute a conditional use as established for the zoning district involved; and**

- **Wholesale Distributors require a Conditional Use Permit in the Limited Business zone.**

**b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;**

- **The use will be a wholesale auto parts distributor, which is compatible with the surrounding uses along 4<sup>th</sup> Avenue.**
- **The elevations, landscape plan, lighting plan, and general site plan will significantly improve the aesthetics of the immediate area and will be a benefit to all adjoining properties**

**c. Will not be hazardous or disturbing to existing or future neighboring uses;**

- **No hazards or disturbances are anticipated for this particular use. Other than the traffic to and from the facility, the use should impose no externalities.**

**d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage**

**structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and**

- The facility is accessed via 4<sup>th</sup> Avenue.
- The City Engineer has reviewed and approved the site plan and access plan and has no comments or revisions.

**e. Will not create excessive additional requirements at public cost for public facilities and services; and**

- At this time, no additional cost will be incurred from any public agencies for this facility to function and operate.

**f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and**

- No externalities are anticipated by this use.

**g. Will have vehicular approaches to the property which shall be designed so as not to create an interference with traffic on surrounding public thoroughfares;**

- Access from 4<sup>th</sup> Avenue has been designed to minimize any negative interference with traffic from the surrounding public thoroughfares
- The City Engineer has reviewed the access and site plans and has approved them.

**h. Will not result in the destruction, loss, or damage of a natural, scenic, or historic feature.**

- The plans significantly improve the aesthetics of the site with the addition of an attractive building and landscape plan.

#### **11.6 Conditions.**

**The Commission or Hearing Examiner may impose any conditions which it deems necessary to secure the purpose of City regulations and give effect to the Comprehensive Plan. Conditions which may be attached include, but are not limited to those which will:**

- 11.6.1 Require conformity to approved plans and specifications.**
- 11.6.2 Require or restrict open spaces, buffer strips, walls, fences, signs, concealing hedges, landscaping and lighting.**
- 11.6.3 Restrict volume of traffic generated, require off-street parking, and restrict vehicular movements within the site and points of vehicular ingress and egress or other conditions related to traffic.**
- 11.6.4 Require performance characteristics related to the emission of noise, vibration and other potentially dangerous or objectionable elements.**

- 11.6.5 Limit time of day for the conduct of specified activities.**
- 11.6.6 Require guarantees such as performance bonds or other security for compliance with the terms of the approval.**
- 11.6.7 Require dedications and public improvements on property frontages.**
- 11.6.8 Require irrigation ditches, laterals, and canals to be covered or fenced.**
- 11.6.9 Minimize adverse impact on other development.**
- 11.6.10 Control the sequence, timing and duration of development.**
- 11.6.11 Assure that development is maintained properly.**
- 11.6.12 Designate the exact location and nature of development.**
- 11.6.13 Require the provision for on-site or off-site public services.**
- 11.6.14 Require more restrictive standards than those generally found in this Ordinance.**
- 11.6.15 Mitigate foreseeable social, economic, fiscal and environmental effects.**
- 11.6.16 Set a limit on the duration of the permit when deemed necessary.**
- 11.6.17 Allow for subsequent periodic review.**

**The Commission may impose any conditions that are deemed necessary to secure the purpose of City ordinances and give effect to the Comprehensive Plan. Conditions including but not limited to those set forth in Section 11.6 may be placed on any approval.**

### **Summary**

Section 11.1 of the Hailey Zoning Ordinance states that “the City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.”

Conditional Use Permits are subject to review and revocation pursuant to Section 11.9 of the Hailey Zoning Ordinance. This statement will be included in the Findings of Fact, Conclusions of Law, and Decision for any CUP approved by the Commission.

By ordinance, the Commission is required to make a decision to approve, conditionally approve, or deny the application within forty-five (45) days after conclusion of the public hearing and issue its decision together with the reasons therefore. The Commission is required to review the application, all supporting documents and plans, and Section 11 of the Zoning Ordinance, in making their decision.

The Commission should make findings related to the criteria of Section 11.4, (a) through (h).

## **CONCLUSIONS OF LAW**

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Section 11.3 of the Hailey Zoning Ordinance and Idaho Code Section 67-6512, was given for the public hearing.
2. Upon compliance with the conditions stated below, the application substantially meets the standards of evaluation (a) through (h) set forth in Section 11.4 of Zoning Ordinance No. 532.
3. A conditional use permit which is not used within the time specified in the permit, or if no time is specified, within one (1) year after the permit is granted, shall be void pursuant to Section 11.8 of the Hailey Zoning Ordinance.
4. A conditional use permit is void six (6) months after the use for which it is issued is discontinued pursuant to Section 11.8 of the Hailey Zoning Ordinance.
5. All Conditional Use Permits are subject to review and revocation pursuant to Section 11.9 of the Hailey Zoning Ordinance.
6. The issuance of a conditional use permit shall not be considered a precedent for the issuance of other conditional use permits.
7. A conditional use permit is not transferable from one (1) parcel of land to another. The conditional use permit may be transferred from one owner to another for the same use, but if there is a change in use on the property, a new conditional use permit must be obtained.
8. If the City denies an application or request, the applicant or his successor in interest may not file a new application or request for substantially the same conditional use permit for a period of one (1) year from the date the Hearing Examiner or Commission, or Council in the case of an appeal, takes action.
9. An affected person may appeal the decision of the Commission or Hearing Examiner following the procedures in accordance with Section 3.6 of this Ordinance.

## **DECISION**

The Conditional Use Permit for for a wholesale distributor (O'Reilly Auto Parts) with incidental and subordinate retail sales, to be located at present R. Davis Business Center parcel A (960 S. 4<sup>th</sup> Ave.) and R. Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District., is hereby approved, subject to the following terms and conditions:

- a) All Fire Department and Building Department requirements shall be met.
- b) All City Standards, construction standards, and engineering standards shall be met.
- c) Addition of a 5' wide pedestrian access sidewalk from the bike path to the building shall be installed by the applicant prior to certificate of occupancy. This path does not need to be ADA compliant but should be accessible via bike and pedestrian.
- d) Area between parking area and public right-of-way shall be landscaped according to landscape plan dated December 14, 2012.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

\_\_\_\_\_  
Geoffrey Moore, Chair  
Hailey Planning & Zoning Commission

Attest:

\_\_\_\_\_  
Bart Bingham, Planning and Zoning Administrator

# City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH  
HAILEY, IDAHO 83433

Zoning, Subdivision, Building and Business Permitting, and Community Planning Services

(208) 788-9815  
Fax: (208) 788-2921

November 26, 2012

Dear Public Agency:

The Hailey Planning and Zoning Commission will hold public hearings on the item(s) listed below on **Monday, December 10th, 2012**, at 6:30 p.m., Hailey City Hall.

- An application by Terra Form Companies for a Conditional Use Permit for a wholesale distributor with incidental and subordinate retail sales, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.
- An application by Terra Form Companies for Design Review of a proposed building, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

This Notice is issued pursuant to Idaho State Code (Local Land Use Planning Act), Section 67-6509, whereby notice must be provided to all political subdivisions providing services within the planning jurisdiction at least 15 days prior to public hearings regarding proposed amendments to the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, or any other land use ordinance.

You are invited to attend this public hearing or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83333 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org).

Supporting documents for this item(s) can be viewed on the City of Hailey website as of the date of this letter; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on Current Applications or Ordinance Amendments. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Planning Coordinator at [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

**SOUTH CENTRAL  
SUPERVISORY AREA**  
324 South 417 East, Ste. 2  
Jerome, ID 83338-6206  
Phone (208) 324-2561  
FAX (208) 324-2917



**TOM SCHULTZ, DIRECTOR**  
EQUAL OPPORTUNITY EMPLOYER

**STATE BOARD OF LAND COMMISSIONERS**  
*C.L. "Butch" Otter, Governor*  
*Ben Ysursa, Secretary of State*  
*Lawrence G. Wasden, Attorney General*  
*Brandon Woolf, State Controller*  
*Tom Luna, Sup't of Public Instruction*

December 4, 2012

Beth Robrahn  
Community Development Director  
City of Hailey  
115 Main Street South, Suite H  
Hailey, ID 83333

e-mail to: [planning@haileycityhall.org](mailto:planning@haileycityhall.org)

**RE: Terra Form Companies - To Construct a New Commercial Building for Wholesale and Retail Use  
Conditional Use Permit and Design Review  
960 S 4<sup>th</sup> Avenue, Hailey, Idaho – Section 10 T2N R18E BM**

Dear Ms. Robrahn:

Thank you for the opportunity to review and comment on the applications as noted above, submitted by Terra Form Companies, for property located at 960 S. 4<sup>th</sup> Avenue, Hailey, Idaho.

As you may know, Idaho Department of Lands' (IDL) mission is to manage State Endowment Trust Lands (State Trust Lands) in a manner that will maximize long-term financial returns to the Beneficiary Institutions. The IDL mission is a constitutional mandate and is overseen by the State Board of Land Commissioners. State Trust Lands are not managed for the public at large and should not be referred to as "public lands" or "open space," either specifically or in a generic sense. These are working lands producing revenue for the Beneficiary Institutions.

IDL has reviewed the public hearing notice provided by the City of Hailey for the Terra Form Companies requests. Based on the documentation provided to IDL, the applications will not impact State Trust Lands at this time. Should the applications be modified during the review or approval process, IDL requests that updated information be submitted to the South Central Area Office for additional review.

Thank you again for the opportunity to review and comment on these applications; we look forward to working with you again in the future. Please contact me at (208) 324-2561 if you have questions or need more information.

Sincerely,

  
Timothy C. Duffner  
South Central Area Manager

cc: Kate Langford, Strategic Business Analyst – Planning  
Julianne Shaw, Assistant Plann

**Hailey Fire Dept.**  
**617 S. Third Street**  
**P.O. Box 1192**  
**Hailey, Idaho 83333**



**Capt. Michael Baledge**  
**Fire Marshal**  
**Office: 208-788-3147**  
**Fax: 208-788-0279**  
**E-mail:**  
**mike.baledge@haileycityhall.org**

**MEMO**

**To: Micah Austin**  
**From: Mike Baledge**  
**Re.: Project Irish**  
**Date: November 16, 2012**

**COPY**

Micah,

I have looked over the site plan for the above project and I have the following concerns regarding access and water supply. Below is a list of notes that go with the attached checklist we use for site plan review.

1. Fire apparatus must be able to reach all portions of the exterior of the building with a 150 foot hose line. According to the drawings I have we seem to come up about 30 feet short of meeting this requirement. It is possible that the dimensions are distorted by the computer, however if this is the case then the access roads need to be extended up the north or south sides of the building or a fire sprinkler system needs to be installed.
2. I could not tell from this plan if the trash enclosure was fenced or not. If the fence is in place it cannot be placed to prevent access to the building exterior.
3. The distance from the entrance of the parking lot to the location of the trash bin on the north side of the building is in excess of 150 feet. This would be the most likely access for fire apparatus. The way it looks on the plans this would be considered a dead end access and must be provided with a means to turn fire apparatus around. Some other features of the parking lot might work to solve this issue but the will need to be measured on scalable plans to verify the measurements.
4. Note four is just to reiterate that a lot of access issues typically go away when a fire sprinkler system is added to the building.
5. This section of the checklist cannot be checked without building plans.

6. Any gates around the property that will slow or stop firefighter access must be approved by the fire department.
7. The existing fire hydrants on the property meet the needs of this building. Any relocating, adding, or removing of a fire hydrant must be approved and done prior to building construction.
8. Depending on how some of the access issues, such as turnarounds and access lanes on the north and south sides of the building are configured, fire lane signs and painted curbs may be needed.

Let me know if you have any questions or need any clarification on any of these issues please contact me.



# General Fire & Life Safety Site Review Part 1 of 3 – General Site Considerations

Name of Site: Project Irish

Location of Site: 4<sup>th</sup> & 75

Contact Person: \_\_\_\_\_ Tel: \_\_\_\_\_ Fax: \_\_\_\_\_

### General Site Location

Do all proposed roads align, intersect and/or have consistent addressing  
Is any of the site located in the following areas:

- Floodplain
- In an area identified as a urban/wildfire interface area
- On a hill or adjacent to any sloped ground over 10%
- In a potential avalanche or debris flow area

### Fire Apparatus Road—Distance From Buildings and Turnarounds

- note 1  Access roads extend to within 150 feet of all portions of the exterior wall of the building as measured by an approved route around the exterior of the building. (Up to 250' exemption for fully sprinklered building.)
- note 2  Are there any proposed fences, trash enclosures, gates etc. that may prevent access to any portion of the exterior of the building?
- An approved turnaround has been provided if required. Fire access lanes are constructed so that not more than 150' of dead end access exists beyond the turnaround.
- note 3  Turnouts: Required access roads in excess of 500' turnout provided at fire hydrants.
- If any portion of the building is located adjacent to a property line or fire access lane, are there any anticipated obstructions intruding into the required area? (i.e. electric or gas meters, sliding snow, transformers, future building construction.) (IFC Sec. 503.1.1 & D104)

### Access Roads Adjacent to Buildings

- note 4  The fire apparatus access road may be extended or modified if the building is completely protected with an approved automatic fire sprinkler system, as approved by the Fire Official. (IFC Sec. 503.1.1)
  - All required fire apparatus access roads serving buildings 30' or less in overall height, shall have an unobstructed width of not less than 20', and an unobstructed vertical clearance of not less than 13'6". (IFC 503.2.1)
- Buildings exceeding 30 feet in height from the lowest point of vehicular fire apparatus access shall have:
- note 6  At least three separate means of fire apparatus access to each structure.  
*Exception: Buildings exceeding 30 feet from the lowest point of vehicular fire apparatus access but not exceeding 35 feet in height shall provide at least two means of fire apparatus access for each structure.*
  - Fire access roads to buildings greater than 30' in height above the lowest level of fire department access have a minimum unobstructed width of 26'.
  - At least one of the required access routes is positioned parallel to one entire side of the building and shall have its closest edge located within a minimum of 15 feet and a maximum of 30' from the building. (This is to allow adequate aerial ladder access to the building.)
  - Overhead utility lines are not to be located over the aerial fire apparatus access roadway. (IFC Appendix D104)

### Additional Access Roads

- NA  Two approved means of access have been provided to the city/county roadway or access easement due to the location containing more than (5) single or duplex family dwelling units, 36 multiple family dwellings, vehicle congestion, adverse terrain conditions or other factors as determined by the Fire Official. (Exceptions may be allowed when automatic fire sprinkler systems are installed.) (IFC Appendix D107.1, as amended)

**Gates:** Gates located on fire access roads are generally discouraged, but when installed:

- note 6  Gates and barricades located on fire access roads should be of the sliding, lifting or other type that can operate properly in deep snow conditions.
- All gates have a width equal to the required width of the fire access road that it is located on.
- All electronic gates have a Knox Box key override switch installed.
- All manual gates have an approved method for restricting unauthorized access. (IFC Appendix D 103.5 & 503.5)

### Turning Radius

- The inside turning radius and outside turning radius of fire access roads are not less than 28' and 48' respectively, measured from the same center point. (IFC Appendix D103.3)

Fire Department Access and Fire Fighting Water Supply During Construction

Approved fire department access roads and water supplies shall be installed and operational prior to any combustible construction or storage on the site or subdivision. (IFC Sec. 1412.1)

Surface and Load Capacities

Fire apparatus access roads are of an all-weather driving surface that is easily distinguishable from the surrounding area and is capable of supporting not less than 12,000 pounds point load (wheel load) and 75,000 pounds live load (gross vehicle weight).  
 Obstruction: Access roads not obstructed i.e. parking, dumpsters, and building materials. (IFC Sec. 503 & App. D102)

Grade

Private fire apparatus roadway grades do not exceed an average grade of 6% with a maximum grade of 8% for lengths of no more than 150'.  
NOTE: Other standards may apply in areas designated as wildland interface.  
 Intersections and turnarounds are level with the exception of crowning for water run-off. (IFC Sec. 503.2.7)

No Parking Signs

Approved fire lane signs will be installed on one or both sides of the roadway, turnarounds and pullouts as needed. (Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and have the required width of unobstructed driving surface.)  
 Signs are installed with a clear space above grade level of 7'.  
 Signs are 12" wide by 18" high and shall have black or red letters and a border on a white reflective background.  
 Roads 20 to 26' in width have signs posted on both sides as a fire lane.  
 Fire Access Roads greater than 26' in width have used approved markings and signage to clearly identify the area to be used as a fire lane.  
 Signs indicate the beginning, ending and intermediate boundaries of the fire lane. (IFC Appendix D103.6)

Painted Curbs: When curbs are provided the:

Fire apparatus roadway curbs are painted bright red and marked "No Parking - Fire Lane" at each 25' section.  
 Lettering is white and has a stroke of not less than 3/4" wide by 4" high. (IFC Sec. 503.3)

Bridges

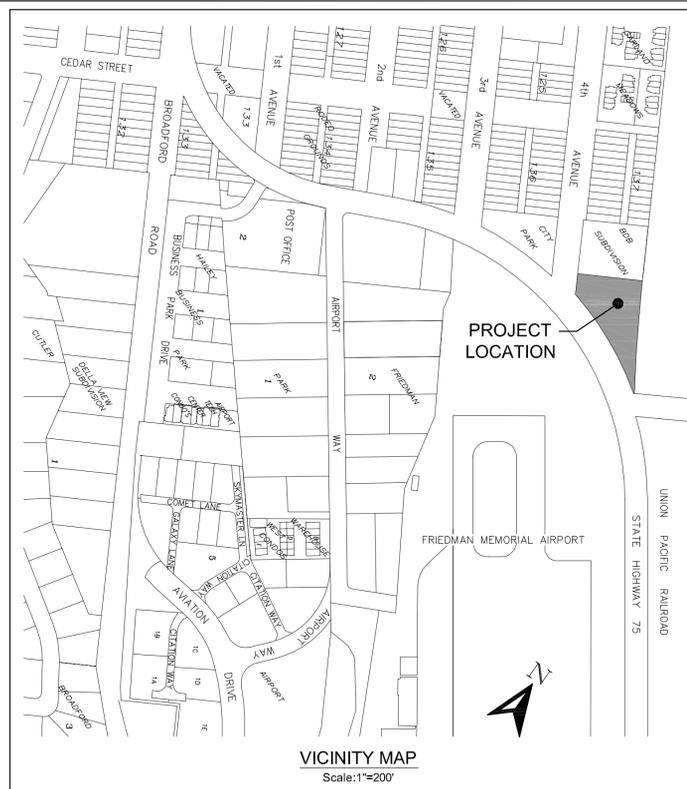
Private bridges shall be designed and constructed in accordance with the State of Idaho Department of Transportation Standards.  
 The design load shall be prepared by a State of Idaho registered professional engineer.  
 The design engineer has prepared a special inspection and structural observation program for approval by the building official.  
 The design engineer has given in writing, final approval of the bridge to the City Engineer immediately after construction is completed.  
 Structure capability weight/vertical clearance signs. (IFC Sec. 503.2.6)

Fire Hydrants

No point on a required fire access road is greater than 250' from a fire hydrant.  
 Fire hydrants are placed no more than 500' feet apart in residential areas, and 450' feet apart in commercial areas, measured in an approved manner around the outside of the structure and along an approved fire apparatus access roadway. (Note: These distances are further reduced for dead end accesses.)  
 In general, fire hydrants are placed at street intersections, and/or entrances to the protected premises.  
 All fire hydrants are located outside of defined snow storage areas.  
 Additional hydrants (if needed to meet the minimum fire flow or spacing requirements) may be placed at non-intersecting areas, or other specific locations approved by the Fire Official.  
 Hydrants located on the opposite side of arterial streets with four (4) or more lanes of traffic are not considered available for use.  
 All hydrant locations have been approved by the Fire Official. (IFC Sec. 508.5.1- 508.5.6 & C105)  
 Fire hydrants should not be located not more than 30' from an approved fire access roadway. (HFD Policy)  
 Fire hydrants or fire department connections (FDC) which may be exposed to vehicular damage or obstruction have an approved array of bollards or guard posts installed to protect them from damage and to maintain the minimum distance required for proper operation. (IFC Sec. 312)  
 Fire hydrants are identified by the installation of approved hydrant flags mounted on the rear of the hydrant.

NOTES: See Attached Letter

Date Reviewed: 11/16/12 Reviewed By Mine Boyette TS



- NOTES:**
- REFER TO PLAT NOTES ON THE ORIGINAL PLAT OF BOB SUBDIVISION. THIS PROPERTY IS SUBJECT TO THE CONVENANTS, CONDITIONS, AND RESTRICTIONS FOR SAID SUBDIVISION RECORDED AS "BOB SUBDIVISION", INSTRUMENT NO. 501958, RECORDS OF BLAINE COUNTY, IDAHO.
  - REFER TO PLAT NOTES ON THE ORIGINAL PLAT OF R.DAVIS BUSINESS CENTER SUBDIVISION. THIS PROPERTY IS SUBJECT TO THE CONVENANTS, CONDITIONS, AND RESTRICTIONS FOR SAID SUBDIVISION RECORDED AS "R. DAVIS BUSINESS CENTER", RECORDS, BLAINE COUNTY, IDAHO, OR AS REPLATTED.
  - WITHIN THE PROPOSED IMPROVEMENTS SHOWN, EASEMENTS ARE GRANTED FOR ACCESS, MAINTENANCE, AND RECONSTRUCTION OF UTILITIES. REFER TO AMENDED ACCESS EASEMENT RECORDED AS INSTRUMENT NO. 537873, RECORDS OF BLAINE COUNTY, IDAHO TO BENEFIT LOT 2, BLOCK 1, BOB SUBDIVISION.
  - THE PROPOSED ACCESS LANE SHALL BE DESIGNATED AS A FIRE ACCESS LANE, AND SHALL BE POSTED ACCORDINGLY WITH SIGNS INDICATING "FIRE ACCESS - NO PARKING."
  - SNOW STORAGE EASEMENTS FOR THE PARKING AREAS SHOWN ARE SHOWN HEREON. OWNER MAY RELOCATE EASEMENTS WITH PLAT AMENDMENT AS LONG AS CITY OF HAILEY SNOW STORAGE REQUIREMENTS ARE MET.
  - CURRENT ZONING IS LIMITED BUSINESS DISTRICT (LB).
  - A "NOTICE OF PROPOSED CONSTRUCTION OR ALTERNATION," FAA FORM 7460-, SHALL BE SUBMITTED FOR ANY PROPOSED DEVELOPMENT WITH THIS SUBDIVISION.
  - THIS PROPERTY IS SUBJECT TO THE NOISE AND AVIGATION EASEMENT AND NON-SUIT COVENANT RECORDED AS INSTRUMENT NO. \_\_\_\_\_, RECORDS, BLAINE COUNTY, IDAHO.

**GENERAL CONSTRUCTION NOTES**

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS", THE "IDAHO WASTE WATER RULES", THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC), AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC ON SITE DURING CONSTRUCTION.

**DOMESTIC WATER SYSTEM CONSTRUCTION NOTES**

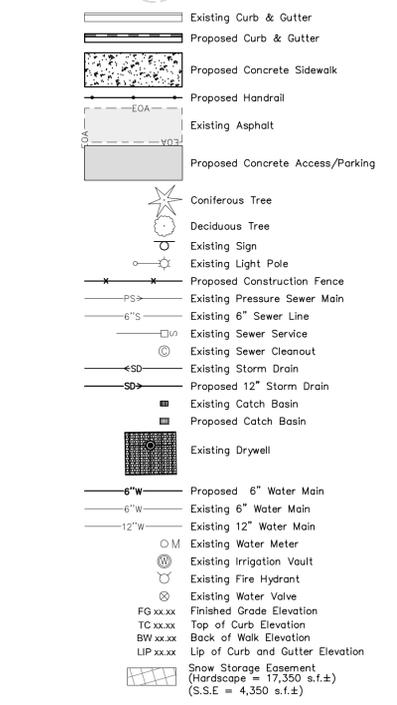
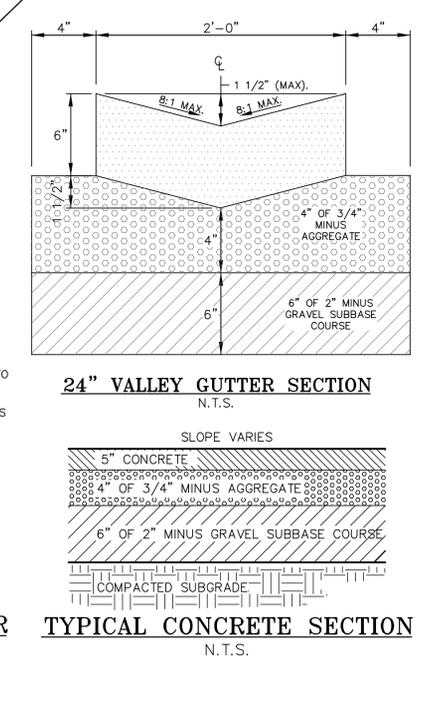
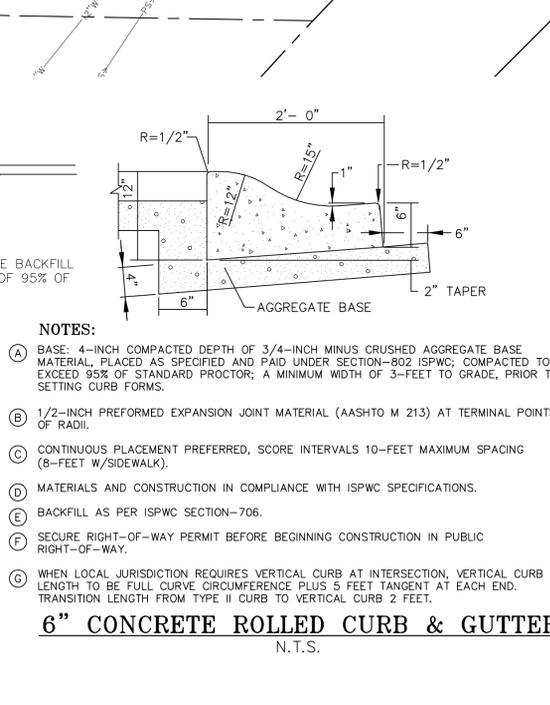
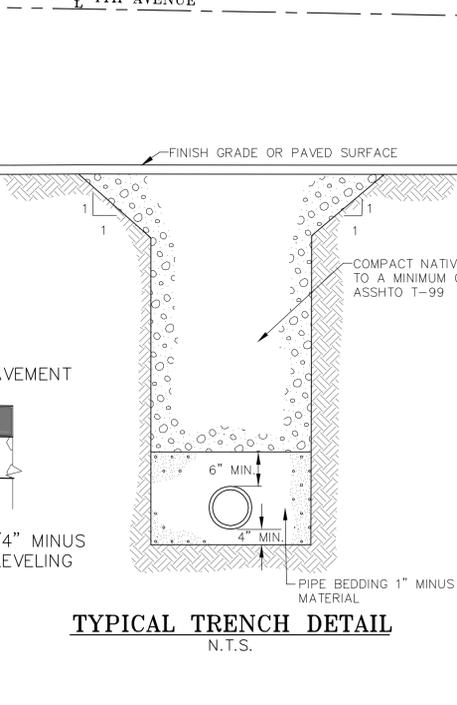
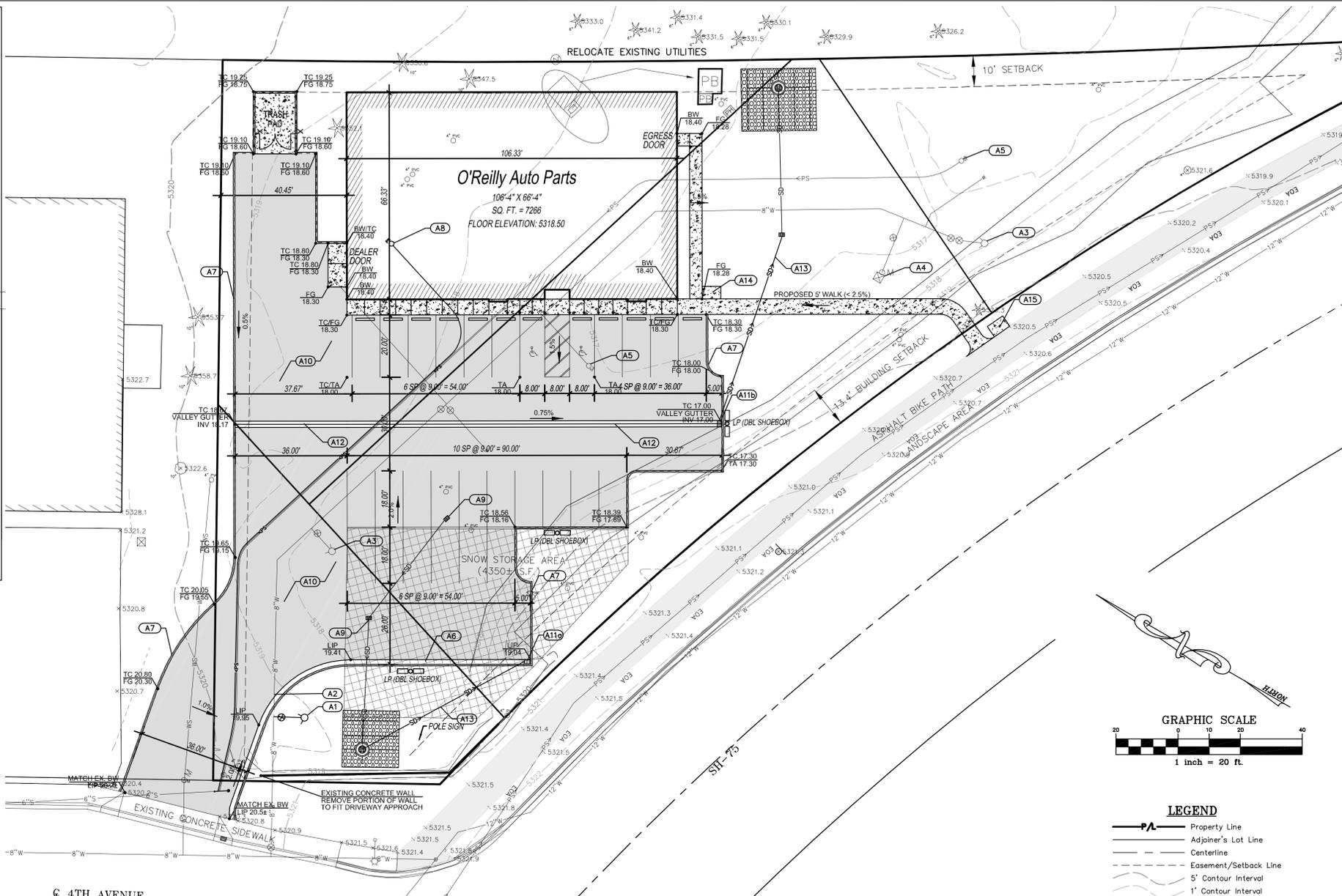
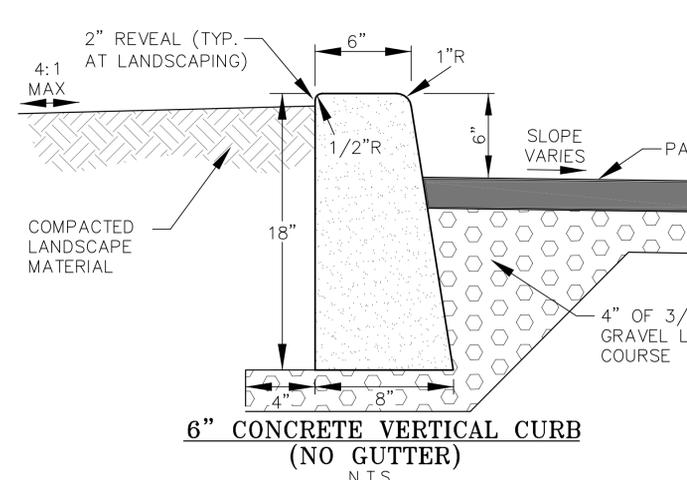
- ALL WATER CONSTRUCTION SHALL BE TO CITY OF HAILEY STANDARDS AND COORDINATED AND INSPECTED BY THE CITY OF HAILEY.

**SEWER CONSTRUCTION NOTES**

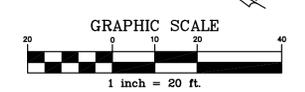
- ALL SEWER CONSTRUCTION SHALL BE TO CITY OF HAILEY STANDARDS AND COORDINATED AND INSPECTED BY THE CITY OF HAILEY.

**ROAD CONSTRUCTION NOTES**

- ALL ROAD CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS AND COORDINATED WITH AND INSPECTED BY THE CITY OF HAILEY.



- NOTES:**
- BASE: 4-INCH COMPACTED DEPTH OF 3/4-INCH MINUS CRUSHED AGGREGATE BASE MATERIAL, PLACED AS SPECIFIED AND PAID UNDER SECTION-802 ISPC; COMPACTED TO EXCEED 95% OF STANDARD PROCTOR; A MINIMUM WIDTH OF 3- FEET TO GRADE, PRIOR TO SETTING CURB FORMS.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADIUS.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10- FEET MAXIMUM SPACING (8- FEET W/SIDEWALK).
  - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPC SPECIFICATIONS.
  - BACKFILL AS PER ISPC SECTION-706.
  - SECURE RIGHT-OF-WAY PERMIT BEFORE BEGINNING CONSTRUCTION IN PUBLIC RIGHT-OF-WAY.
  - WHEN LOCAL JURISDICTION REQUIRES VERTICAL CURB AT INTERSECTION, VERTICAL CURB LENGTH TO BE FULL CURVE CIRCUMFERENCE PLUS 5 FEET TANGENT AT EACH END. TRANSITION LENGTH FROM TYPE II CURB TO VERTICAL CURB 2 FEET.



- LEGEND**
- Property Line
  - Adjoiner's Lot Line
  - Centerline
  - Easement/Setback Line
  - 5' Contour Interval
  - 1' Contour Interval
  - Existing Curb & Gutter
  - Proposed Curb & Gutter
  - Proposed Concrete Sidewalk
  - Proposed Handrail
  - Existing Asphalt
  - Proposed Concrete Access/Parking
  - Coniferous Tree
  - Deciduous Tree
  - Existing Sign
  - Existing Light Pole
  - Proposed Construction Fence
  - Existing Pressure Sewer Main
  - Existing 6" Sewer Line
  - Existing Sewer Service
  - Existing Sewer Cleanout
  - Existing Storm Drain
  - Proposed 12" Storm Drain
  - Existing Catch Basin
  - Proposed Catch Basin
  - Existing Drywell
  - Proposed 6" Water Main
  - Existing 6" Water Main
  - Existing 12" Water Main
  - Existing Water Meter
  - Existing Irrigation Vault
  - Existing Fire Hydrant
  - Existing Water Valve
  - Finished Grade Elevation
  - TC xxx.xx Top of Curb Elevation
  - BW xxx.xx Back of Walk Elevation
  - LIP xxx.xx Lip of Curb and Gutter Elevation
  - Snow Storage Easement (Hardscape = 17,350 s.f.±) (S.S.E = 4,350 s.f.±)

- CONSTRUCTION CALLS**
- INSTALL FIRE HYDRANT ASSEMBLY PER HAILEY STANDARDS. CUT AND CAP EXISTING WATER MAIN BEYOND FIRE HYDRANT ASSEMBLY.
  - REMOVE AND DISPOSE OF EXISTING WATER MAIN AND SERVICES BEYOND NEW FIRE HYDRANT ASSEMBLY.
  - REMOVE EXISTING FIRE HYDRANT ASSEMBLY.
  - REMOVE AND DISPOSE OF EXISTING WATER METER ASSEMBLY.
  - REMOVE AND DISPOSE OF EXISTING PRESSURE SEWER SERVICE.
  - CONSTRUCT CONCRETE ROLLED CURB AND GUTTER (TYPE 2)
  - CONSTRUCT STANDING VERTICAL CURB (6" REVEAL, UNLESS NOTED OTHERWISE)
  - RETAIN AND PROTECT EXISTING PRESSURE SEWER SERVICE FOR CONNECTION TO BUILDING
  - REMOVE EXISTING CATCH BASIN AND STORM PIPE
  - CONSTRUCT ASPHALTIC CONCRETE PAVEMENT REPAIR.
  - CONSTRUCT ASPHALTIC CONCRETE PARKING AREA
  - INSTALL CATCH BASIN  
a. RIM = 15.00  
INV. OUT = 16.00  
b. RIM = 16.90  
INV. IN = 13.90  
INV. OUT = 13.70
  - INSTALL 2" VALLEY GUTTER
  - INSTALL 12" ADS N-12 STORM DRAIN
  - INSTALL CONCRETE PAD FOR BIKE RACK
  - INSTALL CONCRETE PAD FOR BENCH

**PRELIMINARY CIVIL SITE PLAN**

**O'REILLY AUTO PARTS - HAILEY**  
WITHIN SECTION 10 & 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO  
PREPARED FOR BRUCE ALLEN

PROJECT INFORMATION  
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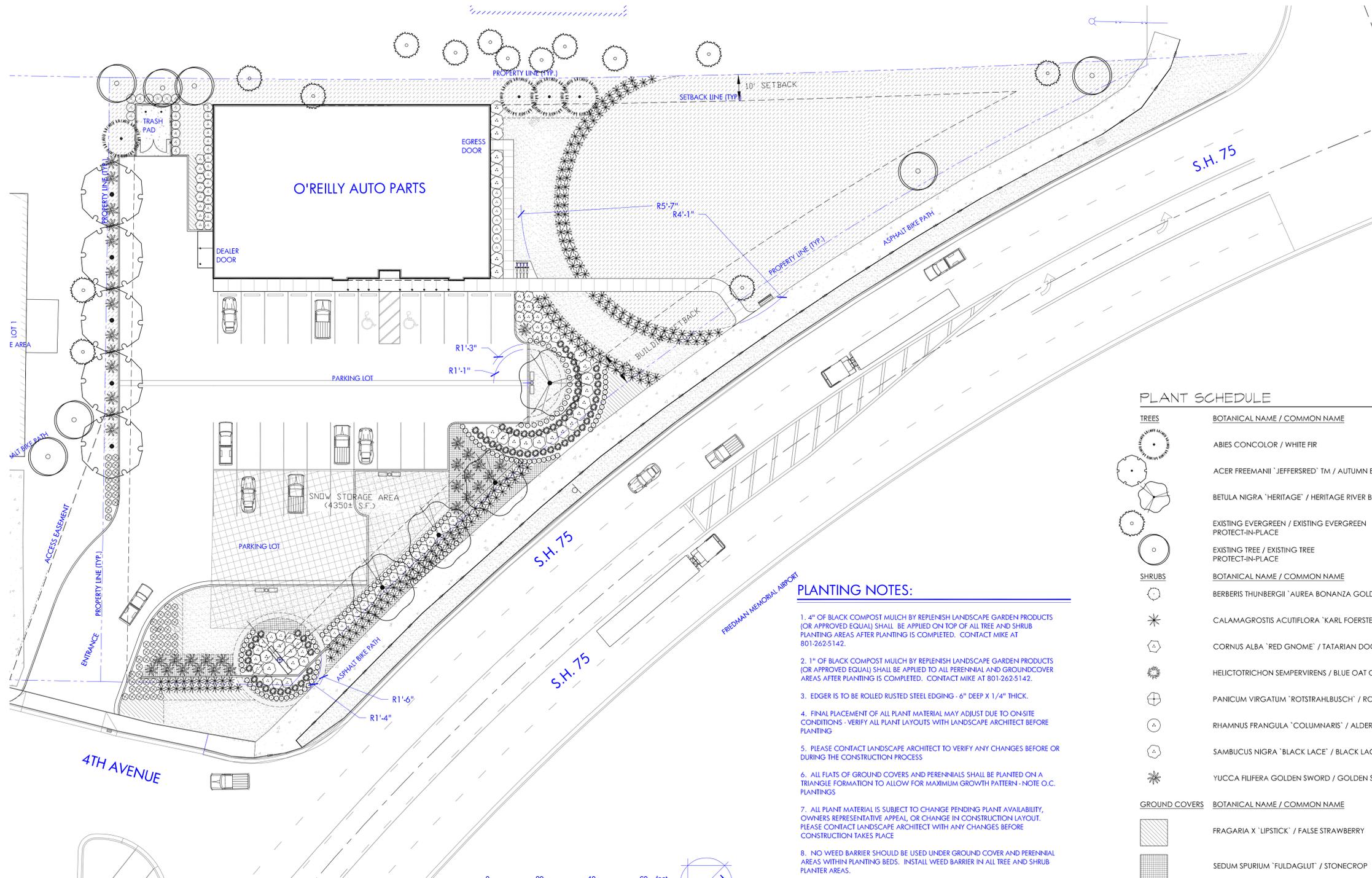
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|-------------|----------|
| DESIGNED BY | DATE     |
| JL          | 12/21/12 |
| DRAWN BY    | DATE     |
| JL          | 12/21/12 |
| CHECKED BY  | DATE     |
|             |          |

**REUSE OF DRAWINGS**  
These drawings, or any portion thereof, are not to be used for any project or undertaking of this Project without the agreement in writing with Galena Engineering, Inc..

**GALENA ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
317 N. RIVER STREET  
HAILEY, IDAHO 83433  
(208) 788-1705  
(208) 788-4612 fax  
email galena@galena-engineering.com

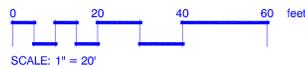
| NO | DATE     | BY  | REVISIONS                                                                                                                  |
|----|----------|-----|----------------------------------------------------------------------------------------------------------------------------|
| 1  | 11-30-12 | JCL | Relocate trash enclosure & utilities, add walk, move light poles, concrete paving, remove landscape wall, add snow storage |
| 1  | 12-21-12 | JCL | Added egress walk, bike rack pad, bench pad per City review                                                                |

**SHEET C1**



**GENERAL RADII/DIMENSION PLAN NOTES:**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL ELEMENTS ARE LAID OUT PROPERLY AND THAT THE "BASIS OF DESIGN" IS MET AND MAINTAINED FROM PLANS TO BUILT CONSTRUCTION.
- THE DIMENSIONS ON THIS PLANTING PLAN ARE FOR HORIZONTAL CONTROL OF ALL OF THE BUILT AND IMPORTANT ELEMENTS ON THE LANDSCAPE PLAN. THESE ELEMENTS SHALL BE, BUT ARE NOT LIMITED TO, PATIOS, SITE WALLS, COBBLE BANDS, METAL OR CONCRETE EDGING, WALKWAYS, ANGLES, ARCS, RADII, ETC.
- DIMENSIONS ARE TAKEN FROM FIXED POINTS SUCH AS BUILDINGS AND EXISTING ELEMENTS NOTED ON PLAN. THEIR PRIMARY INTENT IS TO MAINTAIN THE "BASIS OF DESIGN".
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ENSURE THAT THESE ELEMENTS ARE LAID OUT PROPERLY AND THAT NO APPARENT ERRORS OR OMISSIONS HAVE OCCURRED.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED WITHIN (5) WORKING DAYS PRIOR TO SITE VERIFICATION OF ALL ELEMENTS.
- LANDSCAPE ARCHITECT HAS THE RIGHT TO MOVE, MODIFY, OR SUGGEST ALTERNATIVE LOCATIONS AND/OR PLACEMENT IF "BASIS OF DESIGN" HAS NOT BEEN MET. HE SHALL DO SO AT HIS OWN DISCRETION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF DISCREPANCIES ARISE FROM THE TRANSLATION OF PLAN TO BUILT CONDITIONS, SO THAT SUITABLE ALTERNATIVES MAY BE PROPOSED AND/OR MODIFICATIONS TO PLANNED ELEMENTS MAY BE REVISED ON SITE.



**PLANTING NOTES:**

- 4" OF BLACK COMPOST MULCH BY REPLENISH LANDSCAPE GARDEN PRODUCTS (OR APPROVED EQUAL) SHALL BE APPLIED ON TOP OF ALL TREE AND SHRUB PLANTING AREAS AFTER PLANTING IS COMPLETED. CONTACT MIKE AT 801-262-5142.
- 1" OF BLACK COMPOST MULCH BY REPLENISH LANDSCAPE GARDEN PRODUCTS (OR APPROVED EQUAL) SHALL BE APPLIED TO ALL PERENNIAL AND GROUND COVER AREAS AFTER PLANTING IS COMPLETED. CONTACT MIKE AT 801-262-5142.
- EDGER IS TO BE ROLLED RUSTED STEEL EDGING - 6" DEEP X 1/4" THICK.
- FINAL PLACEMENT OF ALL PLANT MATERIAL MAY ADJUST DUE TO ON-SITE CONDITIONS - VERIFY ALL PLANT LAYOUTS WITH LANDSCAPE ARCHITECT BEFORE PLANTING
- PLEASE CONTACT LANDSCAPE ARCHITECT TO VERIFY ANY CHANGES BEFORE OR DURING THE CONSTRUCTION PROCESS
- ALL FLATS OF GROUND COVERS AND PERENNIALS SHALL BE PLANTED ON A TRIANGLE FORMATION TO ALLOW FOR MAXIMUM GROWTH PATTERN - NOTE O.C. PLANTINGS
- ALL PLANT MATERIAL IS SUBJECT TO CHANGE PENDING PLANT AVAILABILITY, OWNERS REPRESENTATIVE APPEAL, OR CHANGE IN CONSTRUCTION LAYOUT. PLEASE CONTACT LANDSCAPE ARCHITECT WITH ANY CHANGES BEFORE CONSTRUCTION TAKES PLACE
- NO WEED BARRIER SHOULD BE USED UNDER GROUND COVER AND PERENNIAL AREAS WITHIN PLANTING BEDS. INSTALL WEED BARRIER IN ALL TREE AND SHRUB PLANTER AREAS.
- SEE CIVIL AND ARCHITECTURAL DRAWINGS FOR ALL STRUCTURES, HARDSCAPE, GRADING AND DRAINAGE INFO.
- SEE SHEET LP-501 STANDARD PLANTING DETAILS.
- PLANT SIZES ARE AS FOLLOWS UNLESS SPECIFIED ON PLANS AND/OR CALLED OUT ON PLAN LEGEND: DECIDUOUS TREES - 2" CALIPER, EVERGREEN TREES - SIZES PER PLAN OR 6" MIN. HEIGHT PER CITY CODE, SHRUBS/PERENNIALS - 1.5 GALLON TYPICAL, GROUNDCOVERS - PER PLAN OR 12" O.C. SPACING - SEE DETAILS (NOTE 10 ABOVE)
- ALL PLANT MATERIALS AND STANDARDS TO MATCH HAILEY CITY LANDSCAPE REGULATIONS. CONTRACTOR TO VERIFY THAT ALL SIZES ARE IN ACCORDANCE WITH CITY STANDARDS AND REQUIREMENTS.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- SOIL PREPARATION FOR ALL NONHARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS.

**PLANT SCHEDULE**

| TREES                                                                                                                               | BOTANICAL NAME / COMMON NAME                                                                                     | CONT          | QTY       |
|-------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------|---------------|-----------|
|                                                                                                                                     | ABIES CONCOLOR / WHITE FIR                                                                                       | 8'            | 4         |
|                                                                                                                                     | ACER FREEMANII 'JEFFERSRED' TM / AUTUMN BLAZE MAPLE                                                              | 2 1/2' CAL    | 5         |
|                                                                                                                                     | BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH - SINGLE TRUNK                                                    | 2 1/2' CAL    | 4         |
|                                                                                                                                     | EXISTING EVERGREEN / EXISTING EVERGREEN PROTECT-IN-PLACE                                                         | -             | 14        |
|                                                                                                                                     | EXISTING TREE / EXISTING TREE PROTECT-IN-PLACE                                                                   | -             | 7         |
| SHRUBS                                                                                                                              | BOTANICAL NAME / COMMON NAME                                                                                     | CONT          | QTY       |
|                                                                                                                                     | BERBERIS THUNBERGII 'AUREA BONANZA GOLD' / BONANZA GOLD BARBERRY                                                 | 1 GAL         | 140       |
|                                                                                                                                     | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER GRASS                                                   | 1 GAL         | 202       |
|                                                                                                                                     | CORNUS ALBA 'RED GNOME' / TATARIAN DOGWOOD                                                                       | 5 GAL         | 51        |
|                                                                                                                                     | HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS                                                                     | 1 GAL         | 66        |
|                                                                                                                                     | PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH SWITCH GRASS                                                  | 1 GAL         | 62        |
|                                                                                                                                     | RHAMNUS FRANGULA 'COLUMNARIS' / ALDER BUCKTHORN                                                                  | 5 GAL         | 36        |
|                                                                                                                                     | SAMBUCUS NIGRA 'BLACK LACE' / BLACK LACE ELDERBERRY                                                              | 5 GAL         | 27        |
|                                                                                                                                     | YUCCA FILIFERA GOLDEN SWORD / GOLDEN SWORD                                                                       | 5 GAL         | 37        |
| GROUND COVERS                                                                                                                       | BOTANICAL NAME / COMMON NAME                                                                                     | CONT          | QTY       |
|                                                                                                                                     | FRAGARIA X 'LIPSTICK' / FALSE STRAWBERRY                                                                         | FLAT @ 12" OC | 566 SF    |
|                                                                                                                                     | SEDUM SPURIMUM 'FULDAGLUT' / STONECROP                                                                           | FLAT @ 12" OC | 1,072 SF  |
| ROCK MULCH                                                                                                                          | BOTANICAL NAME / COMMON NAME                                                                                     | CONT          | QTY       |
|                                                                                                                                     | DARK GRAY CHAT APPROVAL PER OWNER                                                                                | N/A           | 15,799 SF |
|                                                                                                                                     | GRAY CRUSHER FINES APPROVAL PER OWNER                                                                            | N/A           | 282 SF    |
| SOD/SEED                                                                                                                            | BOTANICAL NAME / COMMON NAME                                                                                     | CONT          | QTY       |
|                                                                                                                                     | TURF GRASS / TURF GRASS                                                                                          | SOD           | 8,235 SF  |
| * PROPOSED SUBSTITUTIONS MUST BE SUBMITTED IN WRITTEN FORM BY THE CONTRACTOR AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE. |                                                                                                                  |               |           |
| ** QUANTITIES ARE FOR REFERENCE ONLY, CONTRACTOR TO VERIFY QUANTITIES.                                                              |                                                                                                                  |               |           |
|                                                                                                                                     | PLANTING EDGER SEPARATION: 6" DEEP X 1/4" THICK ROLLED RUSTED STEEL EDGING BETWEEN ALL PLANTER/TURF AREAS (TYP.) |               | 1450 LF   |
|                                                                                                                                     | SITTING BENCH: CONTRACTOR TO PROVIDE OPTIONS TO OWNER FOR APPROVAL.                                              |               |           |
|                                                                                                                                     | BIKE RACK: CONTRACTOR TO PROVIDE OPTIONS TO OWNER FOR APPROVAL.                                                  |               |           |



LANDSCAPE ARCHITECTURE  
LAND PLANNING  
CONSTRUCTION MANAGEMENT

511 W. 200 S. SUITE 125  
SLC, UTAH 84101  
OFFICE: 801.521.2370  
FAX: 801.504.7176

WWW.LANDFORMDESIGNGROUP.COM

STAMP

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This design indicates relationships based on data obtained from other parties and has been interpolated or combined by Landform Design Group to meet the requirements of this project. The subsequent accuracy of this document, while considered reliable, is not warranted or guaranteed.

Although this document is intended for use during construction, the actual conditions encountered on site may require the modification of information contained herein. Any modification of the information contained herein will be subject to approval of Landform Design Group.

O'REILLY AUTO PARTS  
4TH AVENUE & S.H. 75  
HAILEY, IDAHO

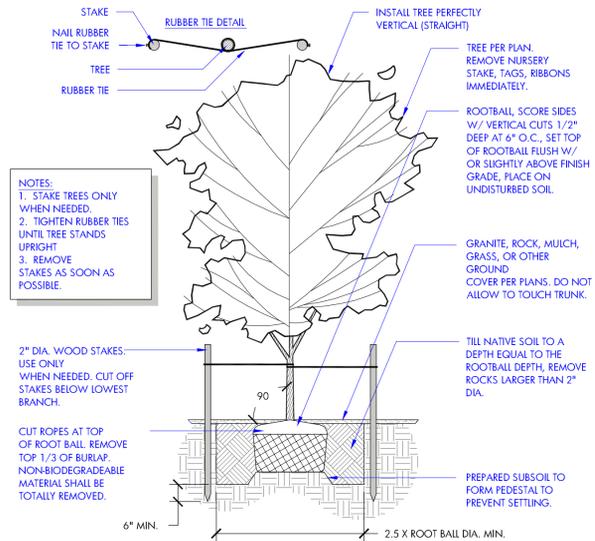
|                 |          |
|-----------------|----------|
| SCALE:          | 1" = 20' |
| DESIGN BY:      | BAR      |
| DRAWN BY:       | BAR      |
| CHECKED BY:     | BAR      |
| PROJECT NUMBER: | 2012.65  |
| ISSUE DATE:     | 12-14-12 |
| REVISIONS:      |          |

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

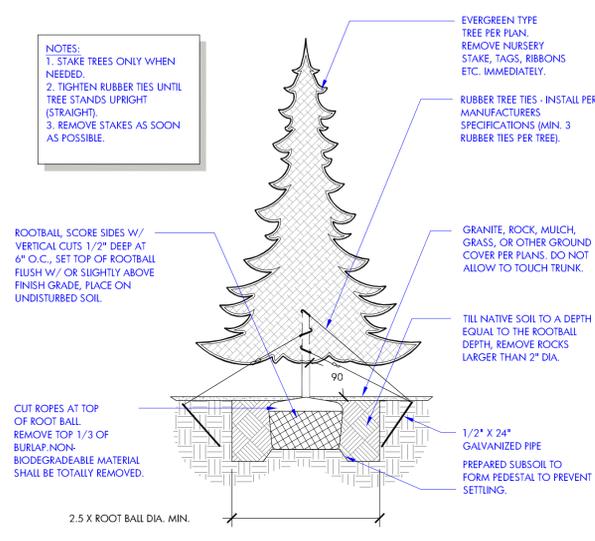
LP-101



**1 DECIDUOUS TREE PLANTING**

SCALE: NOT TO SCALE

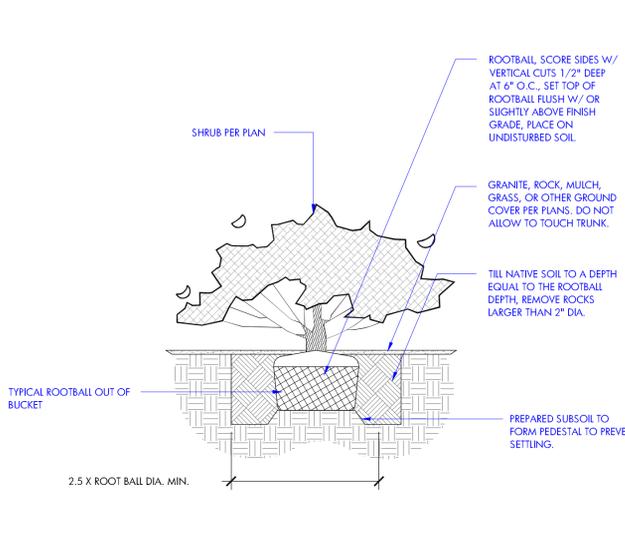
LFDG-PLA-03



**2 EVERGREEN TREE PLANTING**

SCALE: NOT TO SCALE

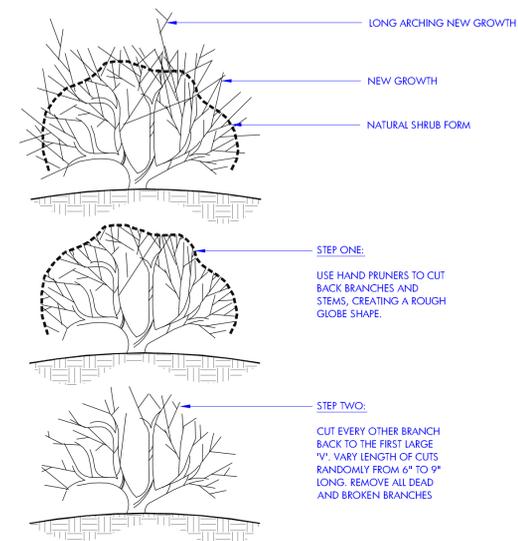
LFDG-PLA-04



**3 SHRUB PLANTING AND PRUNING**

SCALE: NOT TO SCALE

LFDG-PLA-05



**4 SOD PLANTING AND LAYING**

SCALE: NOT TO SCALE

LFDG-PLA-06

**SOD LAYING NOTE:**

**AFTER AMENDING GROUND, LEVEL, SMOOTH, AND RAKE ALL AREAS TO RECEIVE SOD. SODDED AREAS MUST BE FREE OF ANY LUMPS, DEPRESSIONS, IRREGULAR AREAS OF ROCKS GREATER THAN 1/4" DIAMETER, ALL MOUNDS MUST BLEND SMOOTHLY INTO LEVEL GRADE.**

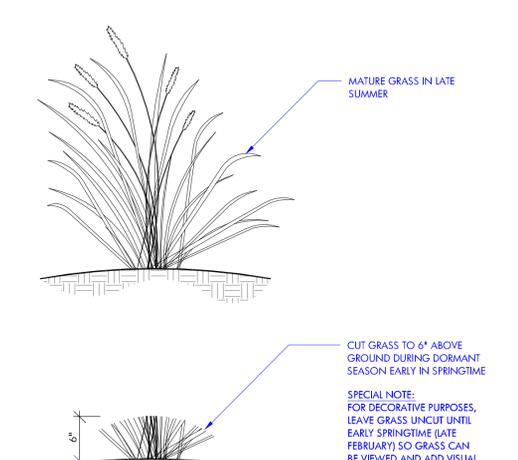
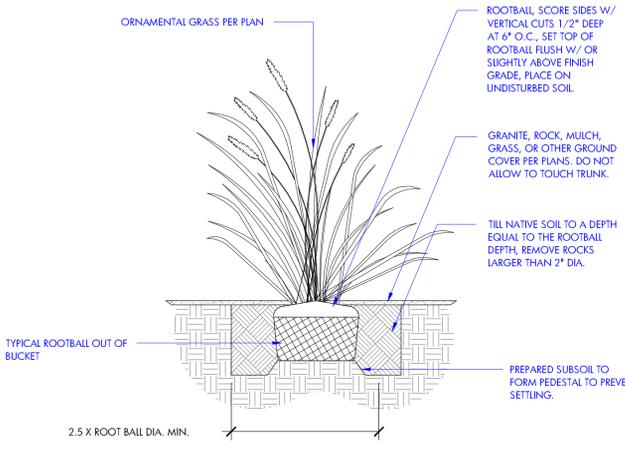
**INSTALLATION PROCESS:**

- LAY SOD WITHIN 24 HOURS OF BEING LIFTED.
- LAY SOD IN ROWS WITH STAGGERED JOINTS. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.
- LAY SOD FLUSH WITH ADJOINING EXISTING SODDED OR PAVED SURFACES.
- AFTER SODDING HAS BEEN COMPLETED, ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A 150 LB. SOD ROLLER.
- REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS, OR OTHER IRREGULARITIES.
- HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE IS NOT PERMITTED.
- WATER ALL SODDED AREAS IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 3" OF TOPSOIL.
- PROVIDE ADEQUATE PROTECTION OF SODDED AREAS AGAINST TRESPASSING, EROSION, AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER SODDED AREAS HAVE BEEN ACCEPTED BY THE OWNERS REPRESENTATIVE.
- REPLACE DAMAGED AREAS AT NO ADDITIONAL COST TO OWNER.

**5 GRASS PLANTING AND PRUNING**

SCALE: NOT TO SCALE

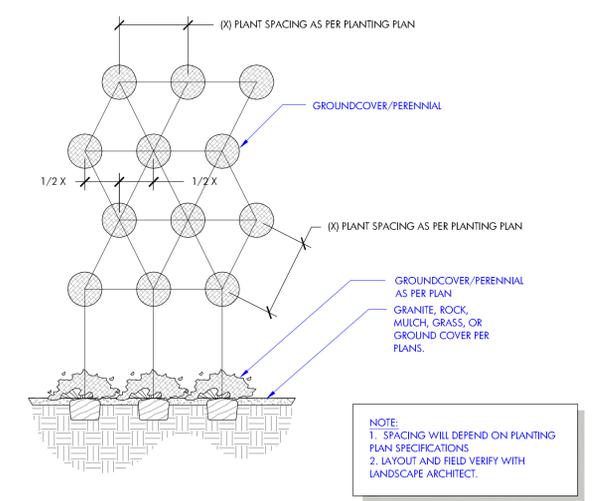
LFDG-PLA-07



**8 STEEL EDGING**

SCALE: NOT TO SCALE

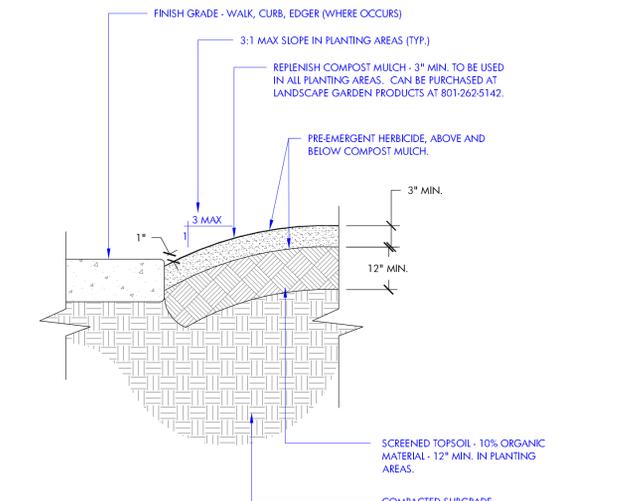
LFDG-SI2-23



**6 GROUNDCOVER PLANTING**

SCALE: NOT TO SCALE

LFDG-PLA-11



**7 PLANTING AREA**

SCALE: NOT TO SCALE

LFDG-PLA-09

|                 |          |
|-----------------|----------|
| SCALE:          | 1" = 20' |
| DESIGN BY:      | BAR      |
| DRAWN BY:       | BAR      |
| CHECKED BY:     | BAR      |
| PROJECT NUMBER: | 2012.65  |
| ISSUE DATE:     | 12-14-12 |
| REVISIONS:      |          |

City of Hailey - Design Review Application

Submittal Date: 11 / 16 / 2012

Project Name: Hailey O'Reilly Auto Parts Parcel No.
RPH 04860010010

Legal Description of Property: Subdivision R. Davis Business Center Lot(s) 2, Block 1

Street Address of Property: 950 South 4th Avenue

Current Zoning of Property: Commerical Year of original construction: N/A

Existing building gross sq. ft. (if applicable) N/A Proposed addition or new construction sq. ft. 7266 SF

Name of Owner of the Property: Hailey Auto, LLC

Mailing Address: 2231 East Murray-Holladay Road City: Salt Lake City State: UT Zip: 84117

Phone: (801) 278-46888 Fax: (801) 278-5632 Cell: (801) 671-4817

Email Address: jtaylor@terraformco.com

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any ex parte discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: [Signature] Date: 11 / 16 / 2012

Name of individual to contact on behalf of Trust or LLC (if applicable):

Mailing Address: City: State: Zip:

Phone: ( ) Fax: ( ) Cell: ( )

Email Address:

Application Contact (if different than above):

\*\*Application Contact will be the Planning Department's primary point of contact for questions related to the application.

Mailing Address: City: State: Zip:

Phone: ( ) Fax: ( ) Cell: ( )

Email Address:

Signature: Date: / /

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

Table with 2 columns: Fee Description and Amount. Includes items like Commercial, Mixed-Use or Multi-Family (\$450.00), Single-Family Dwelling (\$250.00), and Total Due (\$669.80).

# CONDITIONAL USE PERMIT CHECKLIST

City Use Only -

Project Name: Hailey O'Reilly Auto Parts

Certified Compete by: \_\_\_\_\_

Date: \_\_\_\_/\_\_\_\_/\_\_\_\_

The following items must be submitted with the application for the application to be considered complete (✓):

- One (1) large set of plans to scale of proposed conditional use site showing location of:
  - All buildings on the site
  - Parking and loading areas
  - Traffic access and traffic circulation
  - Open spaces
  - Easements
  - Existing and proposed grade
  - Energy efficient considerations
  - Landscaping
  - Refuse and service areas
  - Utilities
  - Signs
  - Property lines
  - North arrow
  - Rendering of building exteriors (where applicable)
- Six (6) 11" x 17" copies of larger plans/maps.
- PDF files of all required documents and 11" x 17" plans/maps
- Proof of interest in subject property.
- Descriptions of:
  - Existing use
  - Proposed conditional use
- Statement evaluating the effects on adjoining property such as elements of noise, glare, odor, fumes and vibration.
- Statement identifying surrounding land uses and discussing general compatibility of the proposed use with adjacent and other properties in the district.
- Statement discussing relationship of proposed use with compliance to the Comprehensive Plan.
- Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Submit paper copy and electronically on Excel spreadsheet. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- Other information as requested by the Planner to determine if the proposed conditional use meets the intent and requirements of the Hailey Zoning Ordinance.



115 MAIN STREET S. SUITE H  
 HAILEY, ID 83333  
 PHONE: (208) 788-4221  
 FAX: (208) 788-2924

|            |                         |
|------------|-------------------------|
| INVOICE #  | INVOICE DATE            |
| 10441      | 11/20/2012              |
| DUE DATE   | CUSTOMER ACCOUNT NUMBER |
| 11/20/2012 | 321821                  |
| AMOUNT DUE | TERMS:                  |
| 1,109.80   | Open Terms              |

BILL TO:

**TERRAFORM COMPANIES**

2231 EAST MURRAY-HOLLADAY RD  
 SALT LAKE CITY UT 84117

PLEASE DETACH AND RETURN THIS TOP PORTION  
 WITH YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY  
 115 S MAIN ST STE H  
 HAILEY, ID 83333

## INVOICE

| DESCRIPTION                   | QUANTITY | CHARGE | EXT. PRICE       |
|-------------------------------|----------|--------|------------------|
| PLANNING DESIGN REVIEW        | .        |        | 669.80           |
| PLANNING CONDITNL USE PERMITS | .        |        | 440.00           |
|                               |          |        | 1,109.80         |
|                               |          |        | TOTAL AMOUNT DUE |

THANK YOU FOR YOUR PROMPT PAYMENT  
 For Billing Inquiries Call: (208)788-4221  
 Office Hours: 9:00 a.m. - 5:00 p.m.  
 Monday thru Friday

CITY OF HAILEY  
115 MAIN ST SOUTH STE H  
HAILEY, ID 83333  
208-788-4221

Receipt No: 1.011309      Nov 20, 2012

9105  
TERRAFORM COMPANIES  
2231 EAST MURRAY-HOLLADAY RD  
SALT LAKE CITY, UT 84117

|                              |          |
|------------------------------|----------|
| Previous Balance:            | 1,109.80 |
| Accounts Receivable          |          |
| A/R Payments                 | 1,109.80 |
| 001-00-10700                 |          |
| Accts Rec Cash Clearing Acct |          |

|                      |     |
|----------------------|-----|
| New Current Balance: | .00 |
|----------------------|-----|

|                |          |
|----------------|----------|
| Check          |          |
| Check No: 1192 | 1,109.80 |
| Total Applied: | 1,109.80 |

|                  |     |
|------------------|-----|
| Change Tendered: | .00 |
|------------------|-----|

11/20/12 03:45pm

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On December 10, 2012 the Hailey Planning & Zoning Commission considered an application submitted by Terra Form Companies for Design Review approval of a 7,266 sq. ft. building, to be located at present R. Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R. Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.) within the Limited Business Zoning District (LB). The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

### FINDINGS OF FACT

#### Notice

Notice for the public hearing was published in the Idaho Mountain Express on November 21, 2012, and mailed to property owners within 300 feet and public agencies on November 26, 2012.

#### Application

Terra Form Companies (TCC), represented by Jonathan Taylor, submitted a Design Review application to construct an auto parts wholesale distribution center with incidental and subordinate retail sales, to be located at the location noted above. The new 7,266 sq. ft. building (to presently house O'Reilly Auto Parts) will be constructed with 4' high brick veneer wainscot, stucco finish above, horizontal stucco accent at the 11'- 6" level, a suspended metal canopy, and a stucco finish over a shaped foam cornice just below metal edge painted cap flashing.

#### Procedural History

The application was submitted on November 15, 2012. The last ordinance to amend Article 6A of the Zoning Code was Ordinance 1062.

#### Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

#### **8.2 Signs.**

The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Applicant is also advised the Planning & Zoning Commission has required the sign permit application for this project be considered before the same Commission prior to sign permit approval. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

#### **9 Parking and Loading Spaces**

[\*insert relevant code sections in bold]

#### **9.4 On-Site Parking Space Requirements.**

#### **9.4.2 Commercial, Professional, Service, Recreation and Entertainment.**

**A. All commercial, professional, service, recreation and entertainment uses shall provide improved parking in the amount of one parking space for every 1,000 square feet of gross building area.**

TCC building will be 7,266 sq. ft. By the standard, seven parking spaces are required; plans show 28 parking spaces; 2 handicap and 26 others.

#### **8B.4. Outdoor Lighting Standards.**

##### **8B.4.1 General Standards.**

**a. All exterior lighting shall be designed, located and lamped in order to prevent:**

- 1. Overlighting;**
- 2. Energy waste;**
- 3. Glare;**
- 4. Light Trespass;**
- 5. Skyglow.**

**d. All Exterior Lighting shall be Full Cut-Off Luminaires with the Light source downcast and fully shielded, unless exceptions are specified in Section 8B.4.2, Type of Luminaires.**

It is a condition of approval that all exterior lighting comply with Article 8B of the Hailey Zoning Ordinance.

**8B.4.2 Type of Luminaires.** All exterior lighting shall use full cut-off luminaires with the light source downcast and fully shielded, with the following exceptions:

*a. All Luminaires, excluding LED or Induction Lighting, that have a maximum output of four hundred (400) lumens per fixture, regardless of number of lamps (equal to one forty [40] watt incandescent light), may be left unshielded provided the luminaire has an opaque top or is under an opaque structure. (see Figure 5)*

*b. All Luminaires, excluding LED or Induction Lighting, that have a maximum output of one thousand (1,000) lumens per fixture, regardless of number of lamps (equal to one sixty [60] watt incandescent light) may be partially shielded provided the lamp is not visible, and the luminaire has an opaque top or is under an opaque structure. (See Figure 3)*

*c. Floodlights with external shielding shall be angled provided that no light is directed above a twenty-five (25) degree angle measured from the vertical line from the center of the light extended to the ground, and only if the Luminaire does not cause glare or Light to shine on adjacent property or public rights-of-way (see Figure 6). Floodlights should use photocells with timers and should go on at dusk and off by 11:00 p.m.*

*Applicant is hereby notified of standards.*

##### **8B.4.3 Placement and Height of Luminaires.**

**a. Parking area Luminaires shall be no taller than seventeen (17) feet from the ground to their tallest point. Parking area lights should be greater in**

**number, lower in height and lower in light level, as opposed to fewer in number, higher in height and higher in Light level.**

Parking area light poles height will be 14' – 6" and attachment concrete piers will be 2'-6", totaling 17'-0" (height from finished grade to lights' highest point).

**Table 2**

**MOUNTING HEIGHT/LAMP OUTPUT RECOMMENDATIONS**

| <b>MOUNTING HEIGHT (FEET)</b> | <b>MAX LUMENS</b> |
|-------------------------------|-------------------|
| <b>6</b>                      | <b>1,000</b>      |
| <b>8</b>                      | <b>1,600</b>      |
| <b>10</b>                     | <b>2,000</b>      |
| <b>12</b>                     | <b>2,400</b>      |
| <b>16</b>                     | <b>6,000</b>      |
| <b>20</b>                     | <b>8,000</b>      |
| <b>24</b>                     | <b>9,000</b>      |
| <b>28</b>                     | <b>12,000</b>     |
| <b>32</b>                     | <b>24,000</b>     |
| <b>36</b>                     | <b>28,000</b>     |
| <b>40 or more</b>             | <b>32,000</b>     |

Lamps will be less than 6,000 lumens. Plan shows three light poles, each containing two lamps each.

**Bulk Requirements:**

**4.5.5 Bulk Requirements. For other supplementary location and bulk regulations, see Article VII.**

**a. Minimum Lot size - six thousand (6,000) square feet except as follows:**

Application site is comprised of four lots; they are R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.). Each of these lots is greater than 6,000 square ft.

**c. Minimum Lot Width - fifty (50) feet except as follows:**

1. Townhouse sub-lots shall conform to the standards established in the IFC.

Each of the four lots have widths greater than 50 ft. at their greatest width spans. When combined together, the resulting single lot will also be greater than 50 ft. in width.

**a. Maximum Building Height - thirty five (35) feet.**

Maximum building height is 22'-6".

**b. Minimum Front Yard Setback - twenty (20) feet.**

The setback from the asphalt bike path running next to S.H. 75 is approximately 75 ft.

**c. Minimum Side and Rear Yard Setback - ten (10) feet accept as follows:**

The rear setback is 10 ft. and both side setbacks are greater than 10 ft.

**d. Maximum Floor Area - Buildings or structures containing an Individual Retail/Wholesale Trade or a Grouped Retail/Wholesale Trade shall be limited to an aggregate gross floor area of 36,000 square feet.**

Floor area is 7,266 sq. ft.

**Improvements Required.**

**6A.7 Improvements Required.**

**A. Streets.**

**1. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.**

Project site is in the Limited Business (LB) zoning district.

**a. The requirement for Sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.**

TCC building is 7,266 sq. ft.

**c. The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110% of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.**

Because offsite sidewalks and drainage are in place, no contribution in-lieu fee is required.

**2. Sidewalk and drainage improvements shall be located and constructed according to applicable City Standards, except as otherwise provided herein.**

**a. In the B and LB zoning districts the following are required:**

**i) A minimum sidewalk width of 10 feet,**

The asphalt bike path running next to S.H. 75 is approximately 10 ft wide. Because of this unique circumstance and the sidewalk on the west portion abutting 4<sup>th</sup> Avenue already being in place, no additional periphery sidewalk is required. However, appropriate functionable cross-walk markings shall be installed across the easement entrance from 4<sup>th</sup> Avenue—providing for continuous pedestrian access.

**ii) Street trees with tree grates or a landscape buffer between the sidewalk and curb determined to be adequate.**

Landscape buffer consisting of Karl Foerster grass, Black Lace Elderberry, and a Heritage River Birch Single Trunk tree will buffer the building site area from S.H. 75 .  
Approved landscape plan is dated December 14, 2012.

b. **The Developer or City may propose alternatives to either the standard Sidewalk location or configuration required.**

No alternatives have been proposed.

**3. The length of Sidewalk and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any Public Street or Private Street.**

Because the bike path runs the length of the southeast portion of the property and the sidewalk along 4<sup>th</sup> Avenue is already installed, no additional periphery sidewalk is required.

**4. New Sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.**

Because the bike path runs the length of the southeast portion of the property and the sidewalk along 4<sup>th</sup> Avenue is already being installed, no additional periphery sidewalk is required. Applicant, however, shall install a sidewalk, as shown on landscape plan dated December 14, 2012 and the civil site plan dated December 21, 2012, connecting the building to the S.H. 75 Asphalt bike path.

**5. Sites located adjacent to Public Streets or Private Streets that are not currently thru-streets, regardless of whether the street may provide a vehicular connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.**

The bike path provides pedestrian connections as does the in place sidewalk along 4<sup>th</sup> Avenue. Additional pedestrian access will be provided by the proposed sidewalk connecting proposed building with the bike path.

## **6A.8 Design Standards**

**A. Non-Residential, Multifamily or Mixed Use Building. The following design standards apply to any non-residential, multifamily or mixed use building located within the City of Hailey.**

Proposed building is non-residential so standards apply.

### **1. Site Planning**

a. **The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the occupants and allow for safe access to buildings.**

Building orientation allows for sun exposure area at the southern tip of the property. Orientation also allows for exposure on the proposed parking area during most daylight hours; building entryway will lack exposure during early morning hours.

b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper. Four existing evergreens and six other existing trees will be preserved and protected in their places onsite. Some small shrubbery will be removed and replaced with shrubbery elsewhere on site.

c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building. The bike path and sidewalk along 4<sup>th</sup> Avenue provides pedestrian access and connections. Pedestrian connections will also be provided by sidewalk to connect building with bike path.

d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building. External trash storage area will be accessible and hidden at the north side of building. Landscaping plan shows trash area screened on three (north, east, & south) sides, with the fourth side (west side) being the access point. Nearby is the building service area door, also on the north side of the building.

e. Vending machines located on the exterior of a building shall not be visible from any street. Applicant is hereby notified of standard.

f. Except as otherwise provided herein, on-site parking areas shall be located at the rear of the building and buffered from the sidewalk adjacent to the street. Parking and access shall not be obstructed by snow accumulation. Parking will not be located at the rear of the building. Landscaping, however, is shown to buffer parking area from the bike path adjacent to S.H. 75.

g. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.

Parking will be located in front of building, but parking area is shown to be buffered from bike path adjacent to S.H. 75.

**h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.**

Site is not serviced by an alley, and will be serviced by a single approach going over the access easement to the property.

**i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.**

Snow storage area is shown to be in parking area most nearest to parking lot entrance (see approved December 14, 2012 landscape plan.)

**j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.**

Total square footage of improved parking area is approximately 13,146 sq. ft. and total snow dedication area (parking area furthest away from proposed building and some landscaped area) is 4,350 sq. ft. This equates to roughly 33.08% snow storage area as compared to parking.

**k. A designated snow storage area shall not have any dimension less than 10 feet.**

Snow storage area dimensions are not less than 10 ft.

**l. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.**

Snow storage area satisfies each of these requirements.

**m. Snow storage area in landscaped area shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.**

Snow storage area in landscaped area shall be landscaped with vegetation, salt-tolerant and resilient to heavy snow.

2. Building Design

**a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.**

TCC building will have less square footage than surrounding commercial/ wholesale buildings immediately to the north. Roof pitches of both the surrounding buildings and the TCC building is slight and appears to be compatible with each other.

**b. Standardized corporate building designs are prohibited.**

TCC building will includes brick veneer wainscot (including extending around corners of back of building at a minimum of 3'), stucco accent around door and window frames, and a blended soft and dark color paint scheme. Architectural features are enhanced upgrades from many O'Reilly Auto Part store designs.

**c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.**

Plan provides bicycle and pedestrian access to and from the building to the bicycle path. Entryway will also to have a pedestrian crosswalk, providing continuous pedestrian access along the portion of 4<sup>th</sup> Avenue affected by project.

**d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.**

Front façade of building does not directly face the street. Building will be situated square with back property line, but is shown at about a 45 degree angle with the bend of S.H. 75. Applicant has stated location of proposed building is where it is because delivery trucks could not ingress or egress as needed otherwise.

**e. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.**

TCC building includes brick veneer wainscot, stucco accent around door and window frames, and a blended soft and dark color paint scheme.

**f. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.**

TCC building includes brick veneer wainscot, stucco accent around door and window frames, and a blended soft and dark color paint scheme.

**g. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.**

Though building is only one story, the roof pitch is slight and plan includes a parapet to screen along proposed roof area.

**h. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:**

**i) Solar Orientation.** If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.

Longer wall plane will be set on north-south axis. Applicant has stated proposed building location is where it is because delivery trucks could not ingress or egress as needed otherwise.

**ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.**

Slightly less than 40% of building's total glazing surface is oriented to the south.

**iii) Double glazed windows.**

Some windows will be double glazed.

**iv) Windows with Low Emissivity glazing.**

All glass is noted to be tempered, and glazing is shown to be insulated.

**v) Earth berming against exterior walls**

Decorative landscaping is shown along three elevations.

**vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site**

No alternative energy will be integrated into the project.

**vii) Exterior light shelves. All windows on the southern most facing side of the building shall have external light shelves installed.**

Plans include a suspended metal canopy over south facing windows.

**i. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.**

Roof pitch is slight and is not shown to shed snow over sidewalk along building frontage.

**j. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.**

Drains are integrated into standard plans.

**k. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.**

A sign plan for signs on the building is shown on the elevations. Applicant is advised, however, that the Planning & Zoning Commission has required the sign permit application for this project to be considered before the same Commission prior to sign permit approval. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

3. Accessory Structures, Fences and Equipment/Utilities

a. **Walls and fences shall be constructed of materials compatible with other materials used on the site.**

Wall/fence and gates around trash pad shall be constructed of materials compatible with those used on building elevations.

b. **Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.**

Trash pad on north of building is shown to be screened on three sides with landscaping, and will have enclosure gates on the fourth side.

c. **Except as otherwise provided herein, all roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties. Wind Energy Systems that have received a Conditional Use Permit and solar panels are exempt from this requirement.**

Roof top mechanical equipment will be screened by roof parapet. The satellite on the roof is exempt from screening by the federal communications act.

d. **All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.**

Trash pad on north of building will be landscape screened on three sides, and will have enclosure gates on the fourth side.

e. **All service lines into the subject property shall be installed underground.**

Applicant is hereby notified of requirement.

**B. Non-Residential Building Located within B, LB, or TN. In addition to the standards applicable to any non-residential, multifamily or mixed use building located within the City of Hailey described in Section 6A.8.A, the following design standards also apply to any non-residential building located within the B, LB, or TN zoning districts.**

1. **Site Planning**

a. **The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.**

Sidewalks are in place along 4<sup>th</sup> Avenue and Asphalt bike path provides pedestrian circulation fronting S.H. 75.

b. **Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.**

Plan includes a sitting bench near Asphalt bike path.

## 2. Building Design

a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.

Building's façade is on a 45 degree angle from S.H. 75, but is oriented in the same direction as 4<sup>th</sup> Avenue.

b. Building designs shall maximize the human scale of buildings and enhance the small town "sense of place". This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.

Building design includes a 5' wide pedestrian bike path connection to Asphalt bike path and a sitting bench.

c. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.

Highest point of building will be 22' – 6"

d. Fire department staging areas shall be incorporated into the design elements of the building.

Trash storage area is located at the back north corner of the site to allow for appropriate fire apparatus.

## 3. Landscaping

a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.

Not applicable.

b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.

Landscaping will buffer bike path and pedestrian path from building. Additionally, a sitting bench will be placed near the bike path.

## CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

## DECISION

The Design Review of a new 7,266 sq. ft. building (to house O'Reilly Auto Parts), located at present R. Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R. Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.) within the Limited Business Zoning District (LB) is hereby approved subject to the following terms and conditions:

1. The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
2. This Design Review approval is for plans dated as follows: landscape plan December 14, 2012, civil site plan December 21, 2012, and elevations December 27, 2012. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
3. This Design Review approval shall expire one (1) year from the date these Findings of Fact are signed, unless a building permit application has been submitted to the Building Department.
4. This project is subject to Development Impact Fees pursuant to Municipal Code Chapter 15.16.
5. Except as otherwise provided, all the required building, landscaping, site, infrastructure improvements and all other conditions of approval shall be constructed and completed, or security in the amount of 150% of the estimated cost as approved by the City, before a Certificate of Occupancy will be issued.
6. This Design Review approval is subject to the following conditions:
  - a) All applicable Fire Department and Building Department requirements shall be met, including but not limited to:
    - i. An elevation certificate shall be obtained and submitted to the City for building height verification.
    - ii. Prior to installation of any new fence, a fence permit shall be obtained from the Planning Department and the plans for the fence shall meet the

standards of Section 8.1, Hailey Zoning Ordinance.

- iii. The location of the bench along the bike path and pedestrian sidewalk shall be reviewed by the Blaine Country Recreation District (BCRD) and City Staff prior to its installation.
  - iv. Brick wainscot shall extend around back corners of the building at a minimum of 3' as shown on elevations dated December 27, 2012.
  - v. A bike rack shall be installed at the location indicated on the plans at the southwest corner of the building.
  - vi. Parking area Luminaires shall be no taller than seventeen (17) feet.
  - vii. Wall/fence and gates around trash pad shall be constructed of materials compatible with those used on proposed building.
  - viii. Appropriate functionable cross-walk markings shall be installed across the easement entrance from 4<sup>th</sup> Avenue—providing for continuous pedestrian access.
  - ix. Installation of a sidewalk connecting proposed building to S.H. 75 asphalt bike & pedestrian path shall be as shown on landscape and civil site plans.
  - x. All signs for this project shall be considered by the Planning and Zoning Commission prior to sign permit approval.
  - xi. No auxiliary apparatus (e.g. utility meters, fire suppression equipment) may extend into any public right-of-way.
  - xii. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional parking, improvements and/or approvals.
- b) All applicable City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall meet City Standards and shall be submitted for City approval. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- On-street sidewalks and off-site drainage improvements are in place; no additional on-street sidewalks or off-site drainage improvements are required.
- c) Utility lines from the right-of-way to the property shall be installed underground.
- d) All noxious weeds shall be controlled according to State Law.
- e) Any existing and proposed lighting on the subject property shall comply with the Outdoor Lighting standards.

7. A party aggrieved by a final decision of the Hearing Examiner or Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2013.

\_\_\_\_\_  
Geoffrey Moore, Chair

Attest:

\_\_\_\_\_  
Bart Bingham, Planning & Zoning Administrator



WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



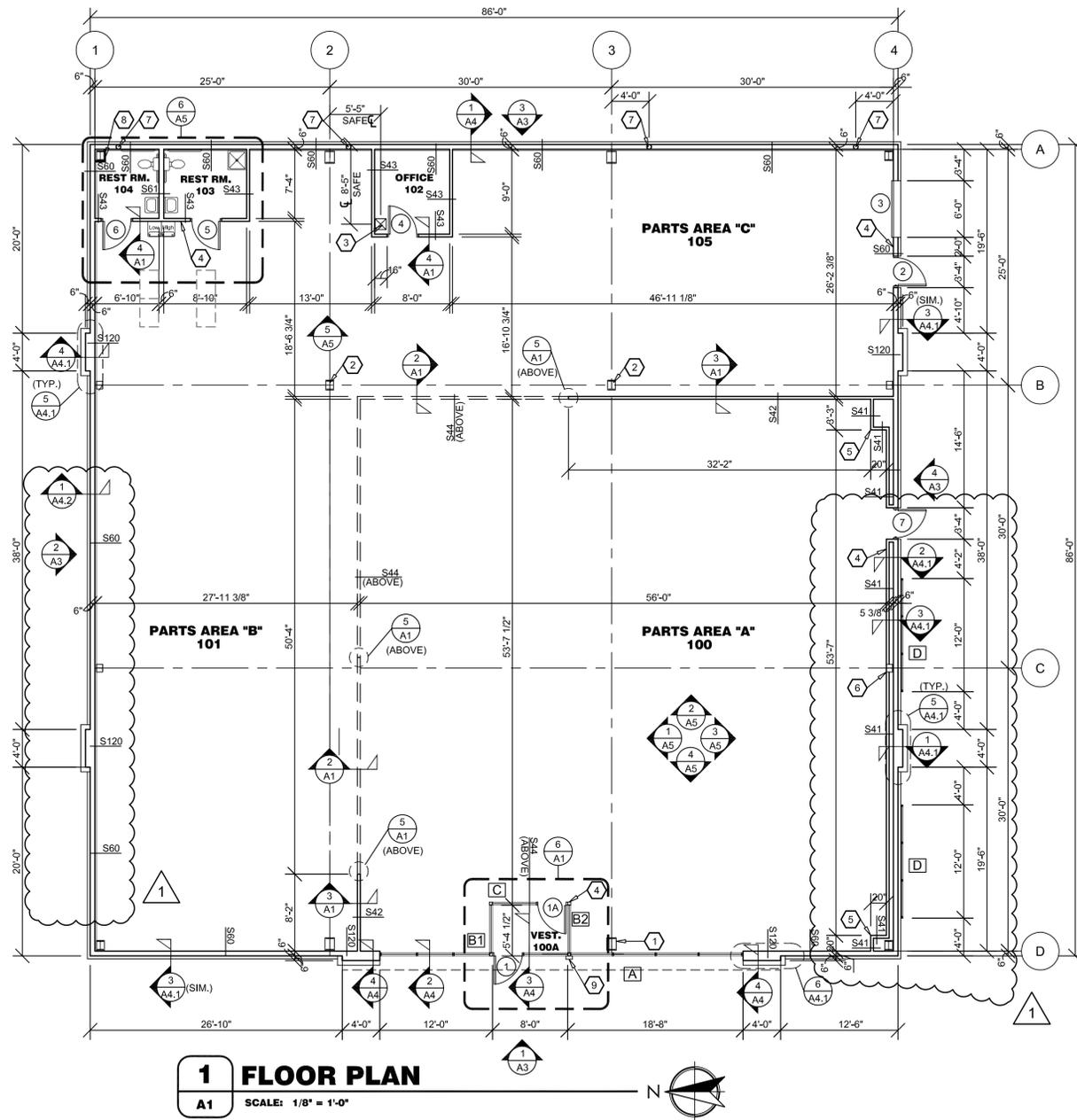
NORTH ELEVATION



SOUTH ELEVATION



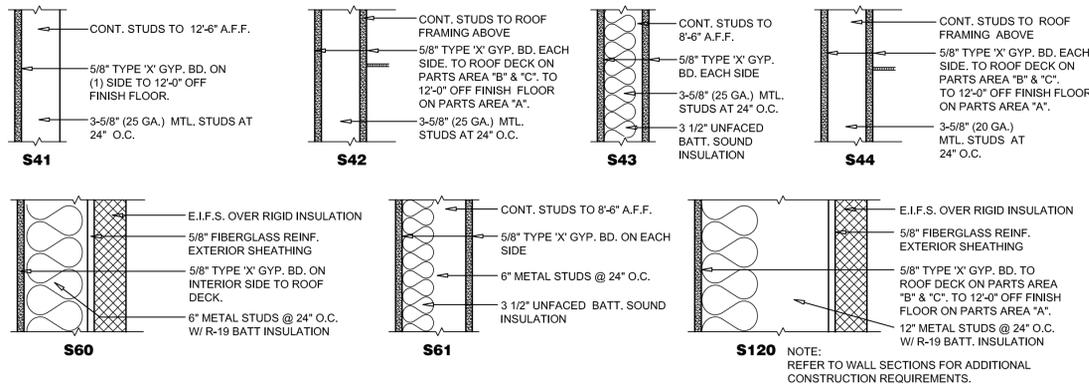
EAST ELEVATION



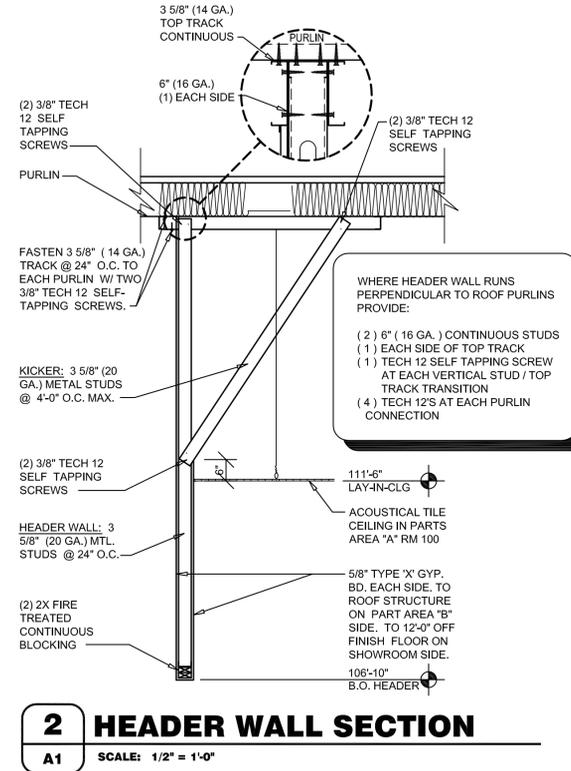
**1 FLOOR PLAN**  
A1 SCALE: 1/8" = 1'-0"

**WALL TYPES:**

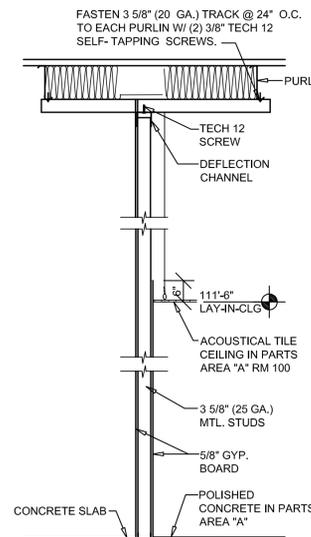
1. PROVIDE FIRE STOPPING AND FIRE SEALANT MATERIALS AS REQUIRED AT ALL RATED WALL CONSTRUCTION MATERIAL TRANSITIONS AND PENETRATIONS, RATING TO BE EQUAL TO RATED WALL ASSEMBLY.
2. PROVIDE DIAGONAL BACKING BRACING (3" X 16 GA. FLAT STRIP) AT CORNER FACES OF FREE STANDING PARTITION SYSTEMS.
3. PROVIDE MOISTURE RESISTANT TYPE "X" GYPSUM BOARD IN REST ROOMS.
4. PROVIDE "J" MOLDING REGLETS OR CORNER BEAD AT ALL DISSIMILAR WALL MATERIAL TRANSITIONS.
5. EXPOSED AND CONCEALED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 0-25 AND A SMOKE DEVELOPMENT RATING OF 0-450.



NOTE:  
REFER TO WALL SECTIONS FOR ADDITIONAL  
CONSTRUCTION REQUIREMENTS.



**2 HEADER WALL SECTION**  
A1 SCALE: 1/2" = 1'-0"



**3 INTERIOR WALL SECTION**  
A1 SCALE: 1/2" = 1'-0"

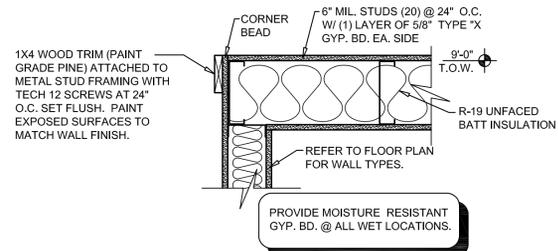
**GENERAL NOTES:**

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- REFER TO P.E.M.B. DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- ALL DIMENSIONS TO ROUGH FACE OF ROUGH FRAMING, CONCRETE, MASONRY, OR CENTERLINE OF STRUCTURE, UNLESS OTHERWISE NOTED. 3-5/8" METAL STUD INTERIOR PARTITION DIMENSIONS NOT SHOWN FOR CLARITY.
- REFER TO SHEET F1 FOR INTERIOR FINISH REQUIREMENTS AND OWNER FURNISHED AND INSTALLED FIXTURES AND EQUIPMENT.

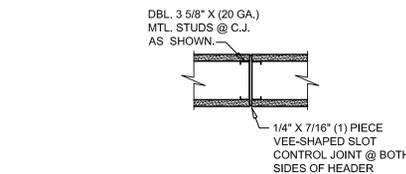
**KEY NOTES:**

- STEEL COLUMN:  
PER METAL BUILDING MFG.  
GC TO PROVIDE PRE-FINISHED BREAK METAL MATCHING ALUMINUM STOREFRONT FINISH AND COLOR WITH NO HORIZONTAL SEAM.
- STEEL COLUMN:  
PAINT O'REILLY GREEN.
- FLOOR SAFE:  
OWNER FURNISHED AND CONTRACTOR INSTALLED. SIZE TO BE VERIFIED BY OWNER. PROVIDE 18" X 18" BLOCK OUT & DO NOT INSTALL UNTIL AFTER OFFICE B.Y.P. BD. WORK HAS BEEN COMPLETE.
- FIRE EXTINGUISHER:  
MOUNT 42" ABOVE FINISHED FLOOR.
- SHOWROOM CORNER BOX OUT:  
INSTALL PLYWOOD BACKING TO EACH FACE FROM 8'-0" TO 10'-0" A.F.F. FOR INSTALLATION OF SECURITY MIRRORS.
- ALIGN FACE OF STUD WITH FACE OF COLUMN.
- 6" DIA. PVC ROOF DRAINAGE SYSTEM PIPING. COORDINATE FINAL LOCATIONS WITH P.E.M.B.
- STEEL COLUMN:  
PROVIDE FURRING WITH 5/8" TYPE "X" GYP. BOARD. HOLD TIGHT TO COLUMN.

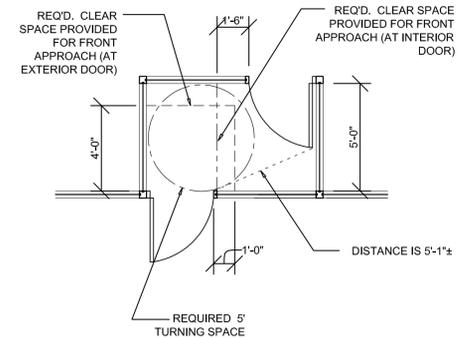
NOTE:  
G.C. TO REVIEW METAL BUILDING ERECTION DRAWINGS BEFORE CONSTRUCTION BEGINS TO CONFIRM THAT ANY ROD BRACES SHOWN IN THOSE DRAWINGS WILL NOT INTERFERE WITH CLEARANCES, ACCESSORIES OR PLUMBING FIXTURES SHOWN IN REST ROOMS. G.C. TO NOTIFY O'REILLY REPRESENTATIVE AND ARCHITECT IF THEY BELIEVE THAT THERE MIGHT BE A CONFLICT. IF THERE IS SUCH A CONFLICT, INSTALL 6" STUD WALL AGAINST EXTERIOR WALL TO ENCAPSULATE RODS (PLUMBING FIXTURES AND WALL OPPOSITE EXTERIOR WALL TO SHIFT TO ALLOW FOR THIS 6" WALL AS WELL).



**4 WALL / CEILING SECTION**  
A1 SCALE: 1-1/2" = 1'-0"



**5 GYP. BOARD C.J.**  
A1 SCALE: 1-1/2" = 1'-0"



**6 VESTIBULE DETAIL**  
A1 SCALE: 1/4" = 1'-0"

REVISIONS:  
SUP. INST. NO.1 (01/19/12)

**Buddy D. Webb**  
Architect - Consultant  
1501 East Sunshine - Suite E  
Springfield, Missouri 65804  
(417) 877-1385  
(417) 877-9736 (FAX)

**FLOOR PLAN**

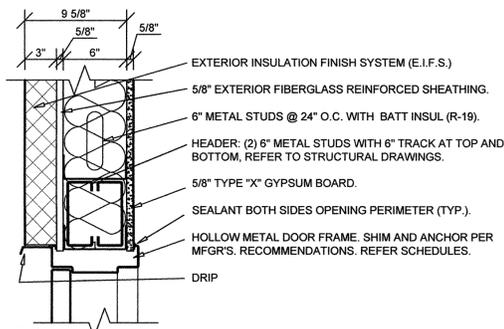
**O'Reilly AUTO PARTS**

PROJECT:  
NEW O'REILLY AUTO PARTS STORE  
2502 SOUTH LINCOLN AVENUE  
JEROME, ID

233 South Patterson  
Springfield, MO 65802  
Phone: (417) 862-2674

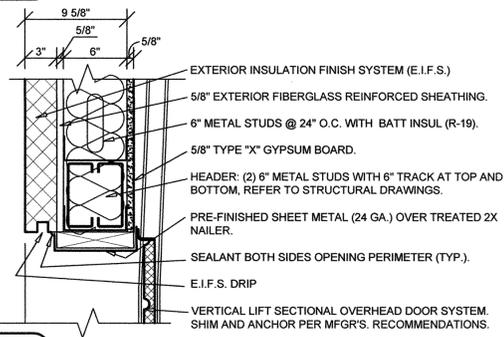
DRAWN: SDB  
CHECKED: BDW  
DATE: 01/06/12  
JOB NO.: JER  
SHEET: **A1**  
SHEET 1 OF 7

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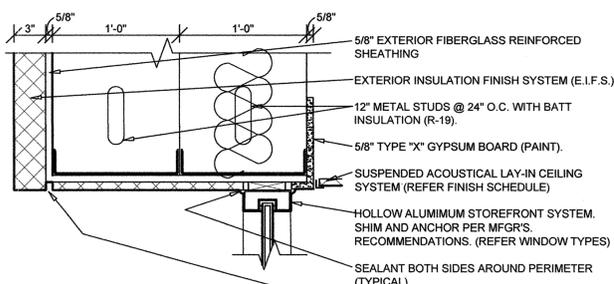
**1 HEAD DETAIL**

A2 SCALE: 1-1/2" = 1'-0"



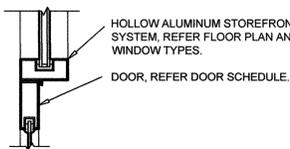
**3 HEAD DETAIL**

A2 SCALE: 1-1/2" = 1'-0"



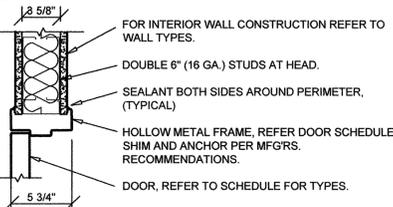
**5 HEAD DETAIL**

A2 SCALE: 1-1/2" = 1'-0"



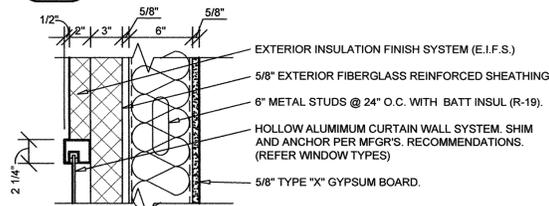
**7 HEAD DETAIL**

A2 SCALE: 1-1/2" = 1'-0"



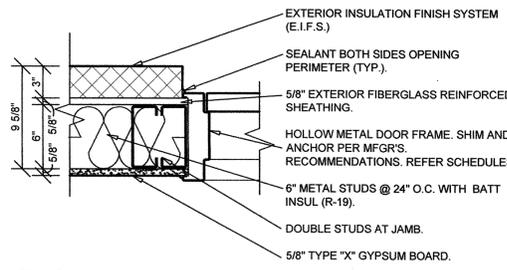
**9 HEAD DETAIL**

A2 SCALE: 1-1/2" = 1'-0"



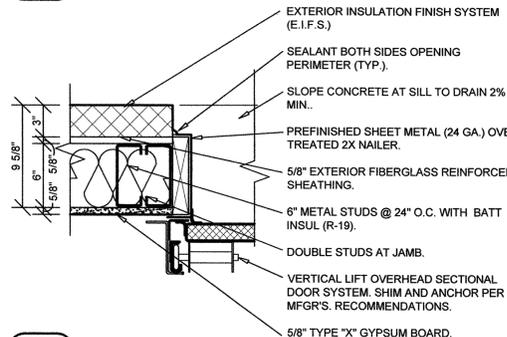
**11 HEAD / JAMB DETAIL**

A2 SCALE: 1-1/2" = 1'-0"



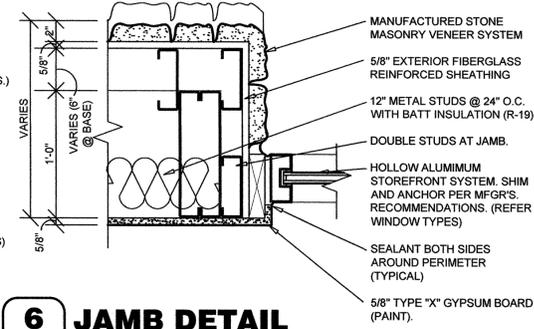
**2 JAMB DETAIL**

A2 SCALE: 1-1/2" = 1'-0"



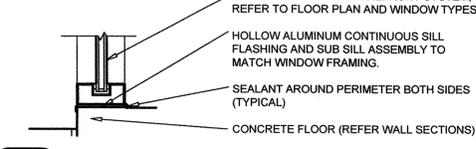
**4 JAMB DETAIL**

A2 SCALE: 1-1/2" = 1'-0"



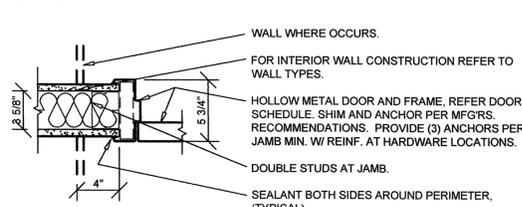
**6 JAMB DETAIL**

A2 SCALE: 1-1/2" = 1'-0"



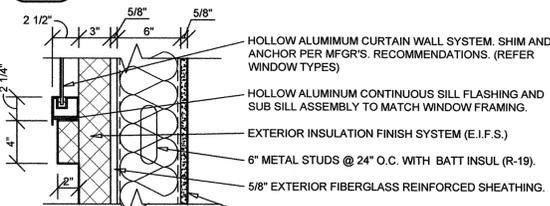
**8 SILL DETAIL**

A2 SCALE: 1-1/2" = 1'-0"



**10 JAMB DETAIL**

A2 SCALE: 1-1/2" = 1'-0"



**12 SILL DETAIL**

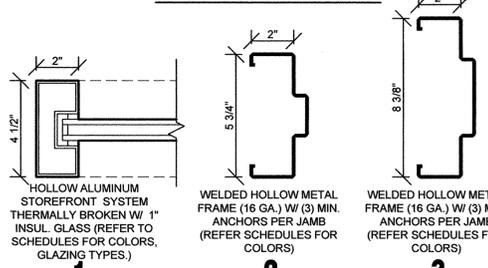
A2 SCALE: 1-1/2" = 1'-0"

| DOOR SCHEDULE |                               |      |                     |            |                           |         |               |                                                |           |      |                  |                      |         |
|---------------|-------------------------------|------|---------------------|------------|---------------------------|---------|---------------|------------------------------------------------|-----------|------|------------------|----------------------|---------|
| MK            | DOOR                          |      |                     |            |                           | GLAZING | DOOR HARDWARE |                                                | FRAME     |      | DETAILS          |                      | REMARKS |
|               | SIZE (WIDTH x HEIGHT x DEPTH) | TYPE | SWING               | MATERIAL   | SET #                     |         | KEYED         | TYPE                                           | MATERIAL  | HEAD | JAMB             |                      |         |
| 1             | 3'-0" X 7'-0"                 | A    | REFER TO FLOOR PLAN | ALUM.      | REFER TO GLAZING SCHEDULE | 1       | A             | 1                                              | HOL. ALUM | 7/2A | 7/2A             | REFER TO NOTES 1,2,3 |         |
| 1A            | 3'-0" X 7'-0"                 | A    | REFER TO FLOOR PLAN | ALUM.      |                           | 7       | ---           | 1                                              | HOL. ALUM | 7/2A | 7/2A             | REFER TO NOTES 1,2   |         |
| 2             | 3'-0" X 7'-0" X 1-3/4"        | B    | REFER TO FLOOR PLAN | HOL. METAL |                           | 2       | A             | 3                                              | HOL. MTL  | 1/2A | 2/2A             | REFER TO NOTES 1,2   |         |
| 3             | 6'-0" X 8'-0"                 | D    | SECTIONAL OVERHEAD  | HOL. METAL |                           | 3       | ---           | PER MANUFACTURER STANDARDS AND RECOMMENDATIONS |           | 3/2A | 4/2A             | REFER TO NOTE 1      |         |
| 4             | 3'-0" X 7'-0" X 1-3/4"        | C    | REFER TO FLOOR PLAN | SOLID WOOD |                           | 4       | ---           | 2                                              | HOL. MTL  | 9/2A | 10/2A            | REFER TO NOTE 1,5    |         |
| 5             | 3'-0" X 7'-0" X 1-3/4"        | C    | REFER TO FLOOR PLAN | SOLID WOOD |                           | 5       | ---           | 2                                              | HOL. MTL  | 9/2A | 10/2A            | REFER TO NOTE 1,5    |         |
| 6             | 3'-0" X 7'-0" X 1-3/4"        | C    | REFER TO FLOOR PLAN | SOLID WOOD |                           | 5       | ---           | 2                                              | HOL. MTL  | 9/2A | 10/2A            | REFER TO NOTE 1,5    |         |
| 7             | 3'-0" X 7'-0" X 1-3/4"        | B    | REFER TO FLOOR PLAN | HOL. METAL | 6                         | ---     | 3             | HOL. MTL                                       | 1/2A      | 2/2A | REFER TO NOTES 1 |                      |         |

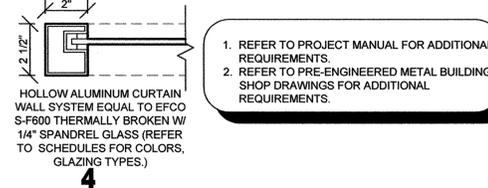
NOTES:  
 1. ALL DOORS SHALL BE SHOP PREPARED FOR HARDWARE.  
 2. ALL EXTERIOR DOORS TO BE KEYPED ALIKE. CONTRACTOR TO FIELD VERIFY AND MATCH CORE OF DOOR MARKED "2".  
 3. REFER TO FOUNDATION PLAN FOR SLOPING OF CONCRETE AT SILL.  
 4. (NOT USED)  
 5. IT IS THE CONTRACTORS OPTION TO DIRECT ORDER AND PURCHASE INTERIOR DOORS, HOLLOW METAL FRAMES AND HARDWARE THROUGH LOCKNET.  
**LOCKNET**  
 100 COURCELLE DRIVE NICHOLASVILLE, KY 40356 PHONE 800-887-4307 EXT 137 FAX 859-881-5499 CONTACT: BEN GORTON, AHC EMAIL: construction@locknet.com

**INTERIOR DOOR & FRAME FINISH NOTES:**  
 1. WOOD DOORS SHALL BE CUSTOM GRADE ROTARY SLICED NATURAL BIRCH WITH FACTORY PERFINISH. FINISH SHALL BE EQUAL TO GRAHAM #300-MEDIUM BROWN. ANY VARIANCE MUST BE APPROVED BY O'REILLY AUTO PARTS.  
 2. INTERIOR HOLLOW METAL FRAMES SHALL BE SHOP PRIMED AND FIELD PAINTED WITH 2 COATS SEMI-GLOSS ENAMEL GLIDDEN "O'REILLY GREEN".

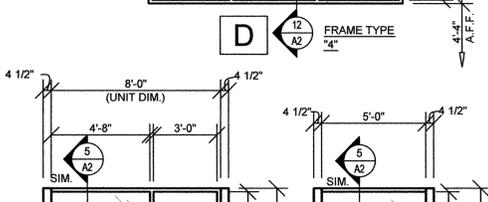
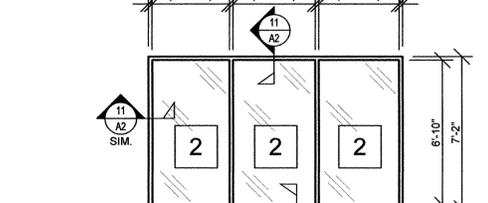
**FRAME TYPES:**



**DOOR TYPES:**



**WINDOW TYPES:**



| GLAZING SCHEDULE |                                                                                                        |                         |
|------------------|--------------------------------------------------------------------------------------------------------|-------------------------|
| 1                | = 1" INSULATED SAFETY GLAZING (1/4" SOLAR-COOL (2) AZURILITE EXTERIOR PANE) (1/4" CLEAR INTERIOR PANE) | SHADING COEFFICIENT .28 |
| 2                | = 1/4" GLAZING (1/4" SOLAR-COOL (2) AZURILITE SPANDREL PANE)                                           |                         |
| 3                | = 1/4" CLEAR SAFETY GLAZING                                                                            |                         |

| DOOR HARDWARE SCHEDULE                                                             |                    |                                                                                                         |              |
|------------------------------------------------------------------------------------|--------------------|---------------------------------------------------------------------------------------------------------|--------------|
| SET NUMBER 1 ( DOOR MARK 1 )                                                       |                    |                                                                                                         |              |
| NO.                                                                                | PART               | DESCRIPTION                                                                                             | MANUFACTURER |
| 1                                                                                  | CYLINDER           | 20-062 X US26D - "E" KEYWAY (REMOVABLE CORE) KEYPED EXTERIOR SIDE                                       | SCHLAGE      |
| REQUIRED HARDWARE FURNISHED WITH STOREFRONT DOOR SYSTEM                            |                    |                                                                                                         |              |
| 1                                                                                  | DEADBOLT           | MS1850S X US28                                                                                          | ADAMS RITE   |
| 1                                                                                  | DEADLOCK LEVER     | 4550 X US28                                                                                             | ADAMS RITE   |
| 1                                                                                  | STRIKE             | MS4002 X US28                                                                                           | ADAMS RITE   |
| 1                                                                                  | CLOSURE            | 4040BC X AL ( ADJ. TO 5# )                                                                              | LCN          |
| 1                                                                                  | PAIR OFFSET PIVOTS | 195/188 X US26D                                                                                         | RIXON        |
| 1                                                                                  | SET PUSH/PULLS     | ULTRA LINE 86-151 WITH OFFSET PULL X US26D                                                              | EFCO         |
| 1                                                                                  | SET WEATHERSTRIP   | WOOL PILE, CONT., REPLACEABLE                                                                           | PEMKO        |
| 1                                                                                  | SWEEP              | RETRACTING RESILIENT SEAL TYPE                                                                          | PEMKO        |
| 1                                                                                  | THRESHOLD          | ANSI AND ADA COMPLIANT                                                                                  | PEMKO        |
| SET NUMBER 2 ( DOOR MARK 2 )                                                       |                    |                                                                                                         |              |
| NO.                                                                                | PART               | DESCRIPTION                                                                                             | MANUFACTURER |
| 1.5                                                                                | PAIR HINGES        | BB81 X 4.5 X 4.5 US26D X NRP                                                                            | PBB          |
| 1                                                                                  | EXIT DEVICE        | 9300B X PRT03 X 416 X 689/630 THRU-BOLTED ITEM W/ SEXBOLTS                                              | DORMA        |
| 1                                                                                  | RIM CYLINDER       | 20-057, 626, KA, E                                                                                      | SCHLAGE      |
| 1                                                                                  | CLOSER             | 8616DST HD GR 1, ADJ #3x689 FINISH W/COVER - THRU-BOLTED W/SEXBOLTS. INCLUDES HOLD OPEN ARM W/THUMBTURN | DORMA        |
| 1                                                                                  | HOLD OPEN          | HOS-RPS/900 W/ THUMBTURN                                                                                | CAL-ROYAL    |
| 1                                                                                  | LATCHGUARD         | LG100ZSF W/PIN W/ SEXBOLTS                                                                              | LATCHGUARD   |
| 1                                                                                  | KICKPLATE          | 8 X 34 X .050 SS FINISH                                                                                 | MAG ENG      |
| 1                                                                                  | THRESHOLD          | TH316A-36, ADA COMPLIANT                                                                                | ULTRA        |
| 1                                                                                  | SWEEP              | DC78 W/ DC76 VINYL BULB                                                                                 | DUAL PROD    |
| 1                                                                                  | SET WEATHERSTRIP   | JAMBS: KERFED QEBD-650 HEADER: ADHESIVE QDST-675                                                        | SCHLEGEL     |
| 1                                                                                  | DOOR VIEWER        | 698B - 190 DEGREE WIE ANGLE - 26D                                                                       | IVES         |
| 1                                                                                  | DRIP               | 346C                                                                                                    | PEMKO        |
| SET NUMBER 3 ( DOOR MARK 3 )                                                       |                    |                                                                                                         |              |
| REQUIRED HARDWARE FURNISHED WITH OVERHEAD DOOR SYSTEM ( LOCKING FROM INSIDE ONLY ) |                    |                                                                                                         |              |
| SET NUMBER 4 ( DOOR MARK 4 )                                                       |                    |                                                                                                         |              |
| NO.                                                                                | PART               | DESCRIPTION                                                                                             | MANUFACTURER |
| 1                                                                                  | OFFICE LOCK SET    | AUS307LN X US26D                                                                                        | YALE         |
| 1                                                                                  | WALL BUMPER        | 409 X US26D                                                                                             | ROCKWOOD     |
| 1.5                                                                                | PAIR HINGES        | BB1279 X 4.5 X 4.5 X US26D                                                                              | HAGAR        |
| SET NUMBER 5 ( DOOR MARKS 5 AND 6 )                                                |                    |                                                                                                         |              |
| NO.                                                                                | PART               | DESCRIPTION                                                                                             | MANUFACTURER |
| 1.5                                                                                | PAIR HINGES        | BB1279 X 4.5 X 4.5 X US26D                                                                              | HAGAR        |
| 1                                                                                  | PRIVACY LOCK SET   | AUS302LN X US26D                                                                                        | YALE         |
| 1                                                                                  | WALL BUMPER        | 409 X US26D @ DOOR NUMBER 6                                                                             | ROCKWOOD     |
| 1                                                                                  | FLOOR STOP         | 440 X US26D @ DOOR NUMBER 5 ( MOUNT AS CLOSE TO CORNER AS POSSIBLE )                                    | ROCKWOOD     |
| SET NUMBER 6 ( DOOR MARK 7 )                                                       |                    |                                                                                                         |              |
| NO.                                                                                | PART               | DESCRIPTION                                                                                             | MANUFACTURER |
| 1.5                                                                                | PAIR HINGES        | BB81 X 4.5 X 4.5 X US26D X NRP                                                                          | PBB          |
| 1                                                                                  | EXIT DEVICE        | 8300B X EO X 416 X 689                                                                                  | DORMA        |
| 1                                                                                  | CLOSER             | 8616DST HD GR 1, ADJ #3x689 FINISH W/COVER - THRU-BOLTED W/SEXBOLTS. INCLUDES HOLD OPEN ARM W/THUMBTURN | DORMA        |
| 1                                                                                  | HOLD OPEN          | HOS-RPS/900 W/ THUMBTURN                                                                                | CAL-ROYAL    |
| 1                                                                                  | LATCHGUARD         | LG100ZSF W/PIN W/ SEXBOLTS                                                                              | LATCHGUARD   |
| 1                                                                                  | THRESHOLD          | TH316A-36, ADA COMPLIANT                                                                                | ULTRA        |
| 1                                                                                  | SWEEP              | DC78 W/ DC76 VINYL BULB                                                                                 | DUAL PROD    |
| 1                                                                                  | SET WEATHERSTRIP   | JAMBS: KERFED QEBD-650 HEADER: ADHESIVE QDST-675                                                        | SCHLEGEL     |
| 1                                                                                  | DRIP               | 346C                                                                                                    | PEMKO        |
| SET NUMBER 7 ( DOOR MARK 1A )                                                      |                    |                                                                                                         |              |
| NO.                                                                                | PART               | DESCRIPTION                                                                                             | MANUFACTURER |
| 1                                                                                  | CLOSURE            | 4040BC X AL ( ADJ. TO 5# )                                                                              | LCN          |
| 1                                                                                  | PAIR OFFSET PIVOTS | 195/188 X US26D                                                                                         | RIXON        |
| 1                                                                                  | SET PUSH/PULLS     | ULTRA LINE 86-151 WITH OFFSET PULL X US26D                                                              | EFCO         |
| 1                                                                                  | SET WEATHERSTRIP   | WOOL PILE, CONT., REPLACEABLE                                                                           | PEMKO        |
| 1                                                                                  | SWEEP              | RETRACTING RESILIENT SEAL TYPE                                                                          | PEMKO        |

REVISIONS:

LICENSED ARCHITECT AR-985377

Buddy D. Webb

Architect - Consultant

1501 East Sunshine - Suite E Springfield, Missouri 65904

(417) 877-1385 (417) 877-9736 (FAX)

**AUTO PARTS**

**JEROME, ID**

PROJECT: NEW O'REILLY AUTO PARTS STORE 2502 SOUTH LINCOLN AVENUE

233 South Patterson Springfield, MO 65802 Phone: (417) 862-2674

DRAWN: SDB CHECKED: BDW DATE: 01/06/12 JOB NO.: JER SHEET: **A2**

SHEET 2 OF 7

DOOR & WINDOW SCHEDULE

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COLOR: Cordova

TEXTURE:

SIZE: King



SAMPLE shows general color, texture and quality of product. VARIATIONS in color, texture and size must be expected due to limited size of sample.



BRICK • STONE  
(800) 999-4589 (801) 782-7933  
736 W. Hartsville Rd., Ogden, Utah 84404



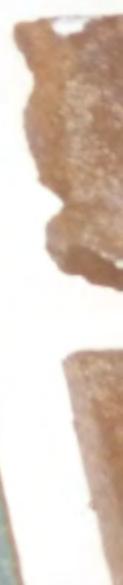


**HARTUNG** 100% 100% 100% 100%  
100% 100% 100% 100%  
100% 100% 100% 100%  
100% 100% 100% 100%

Order # 0127112 590507  
Product GLAZ, TECH INDUSTRIES  
Description SAMPLES  
1/4" SQUARE  
OPEN SURF AT 100% COVERAGE  
HARTUNG AZURA 9000587

**INTERPACK**  
BRICK

COLOR: Cordova  
TEXTURE:  
SIZE: King



**HARTUNG**  
10000 5th Industrial Road  
Waukegan, IL 60087  
(815) 462-2800 • Fax (815) 462-0253

Customer: 07/27/12 590507  
Job Name: GLAZ-TECH INDUSTRIES  
Product: SAMPLES  
Description: 1/4" SOLARCOOL AZURIA TEMP #1  
OPAC SLAB #2 100% COVERAGE  
HARTUNG AZURIA 1005-0907

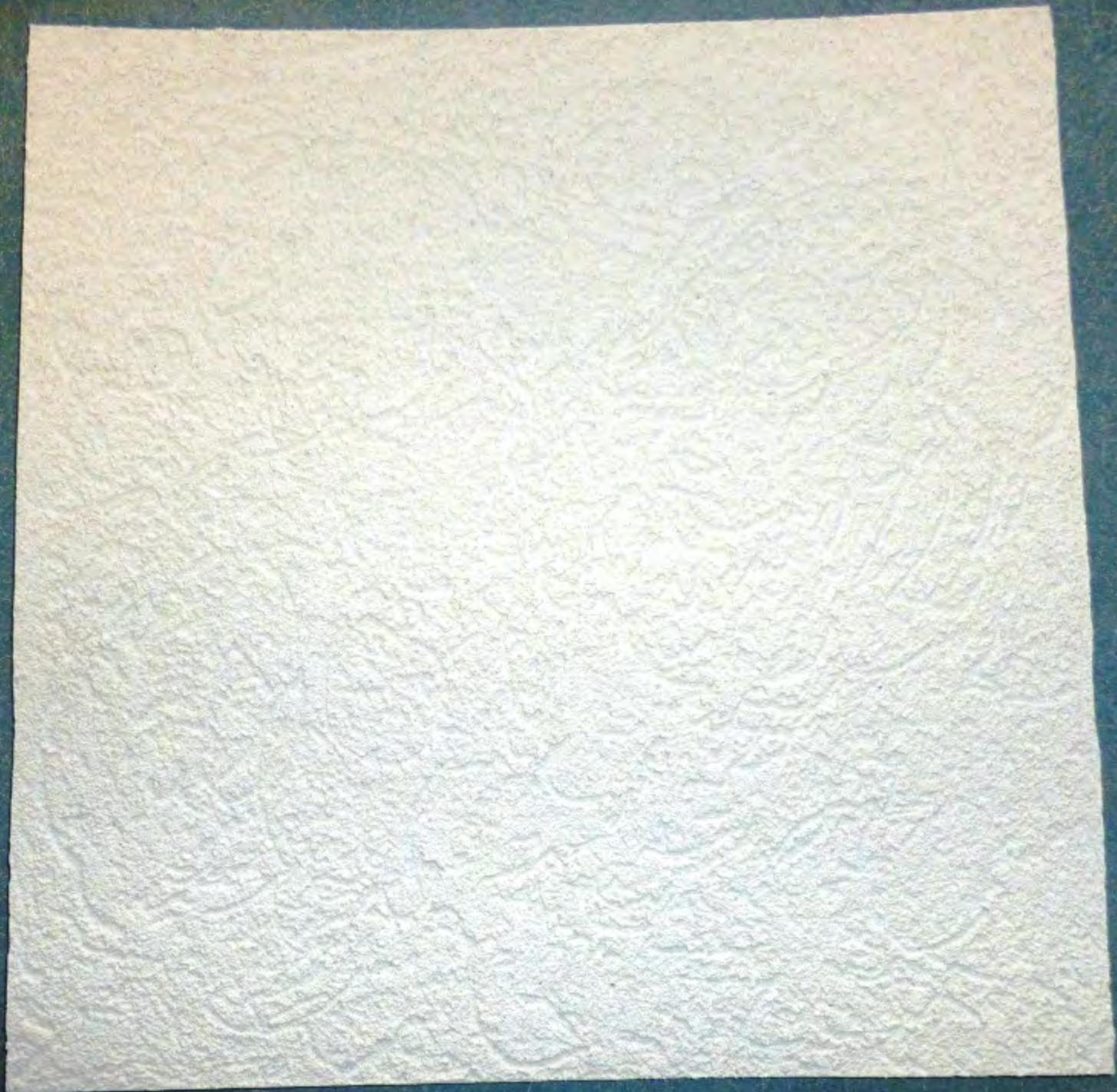
**HARTUNG**  
10000 5th Industrial Road  
Waukegan, IL 60087  
(815) 462-2800 • Fax (815) 462-0253

Customer: 07/27/12 590507  
Job Name: GLAZ-TECH INDUSTRIES  
Product: SAMPLES  
Description: 1/4" AZURIA ANN

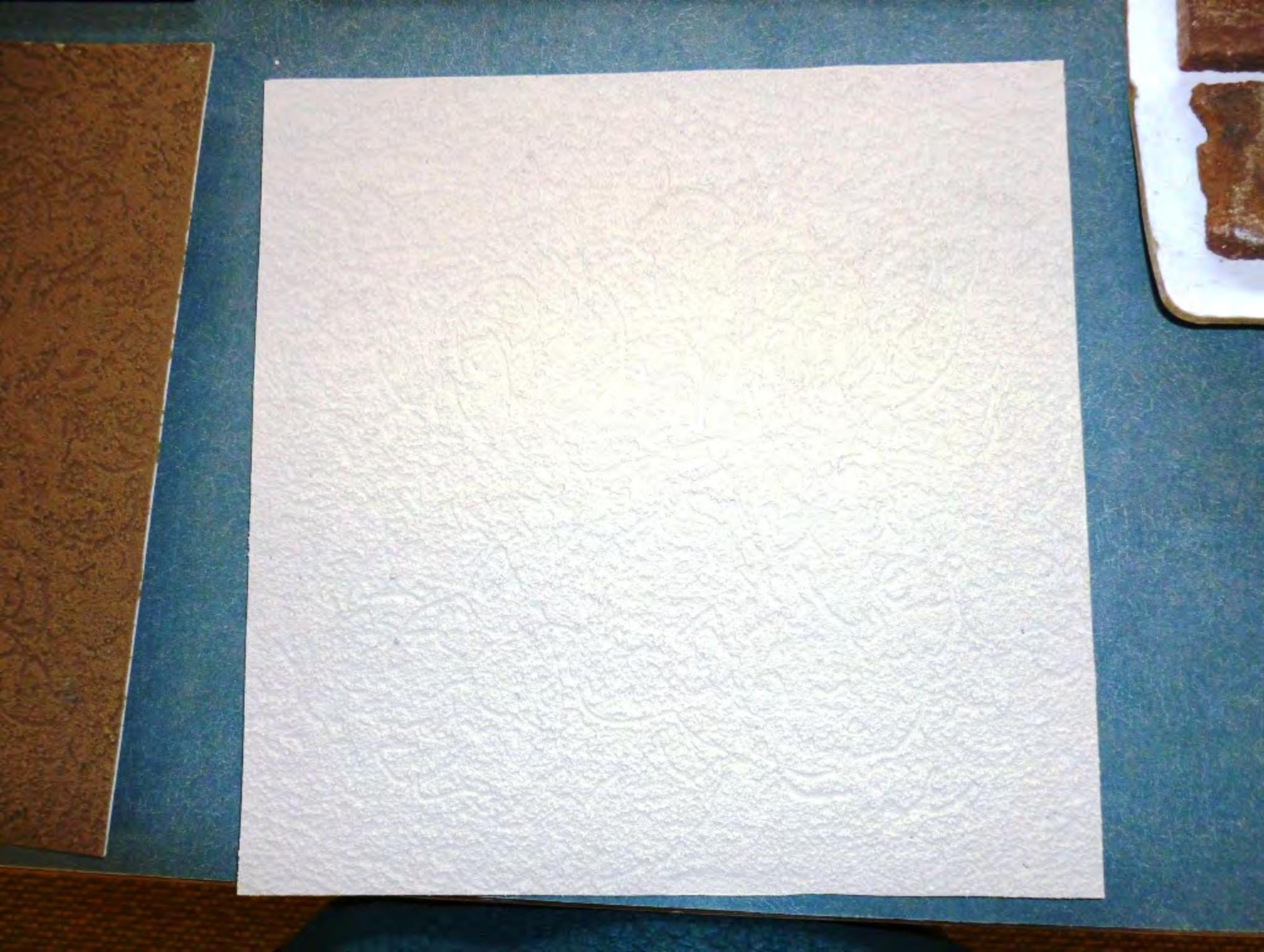


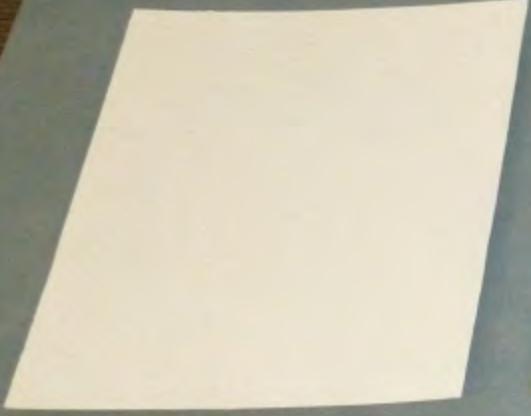
Customer  
Job Name  
Product  
Description

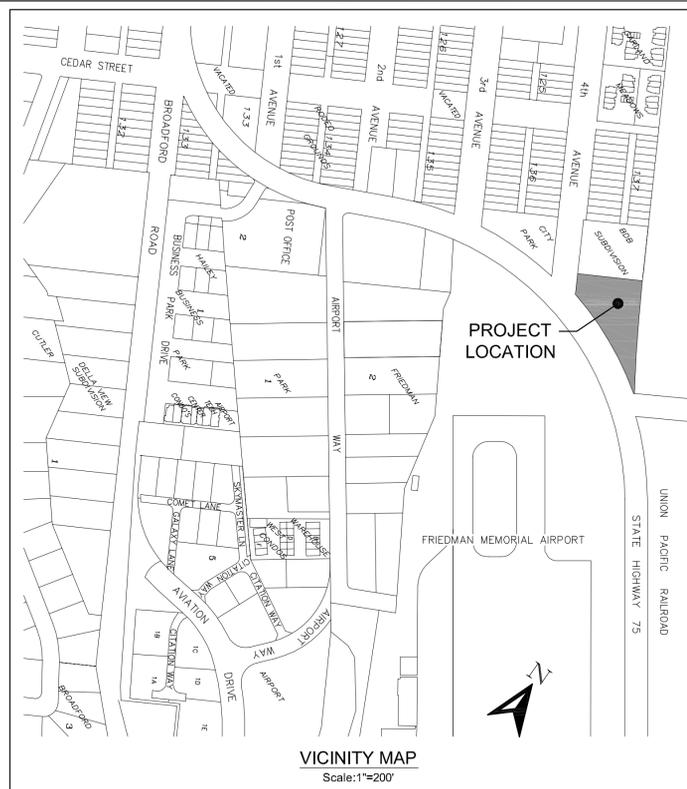
07/27/12 59050  
GLAZ-TECH INDUSTRIES  
SAMPLES  
1/4" AZURIA ANN











VICINITY MAP  
Scale: 1"=200'

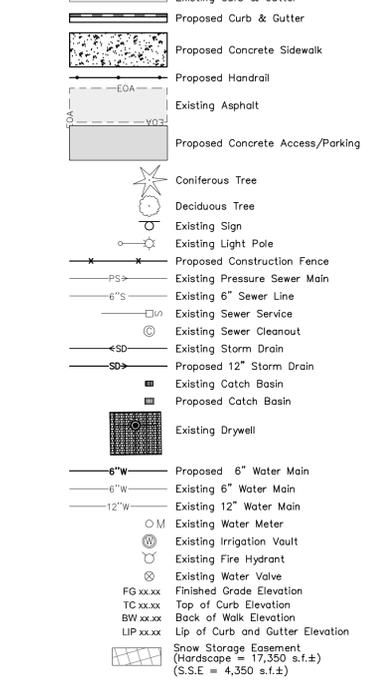
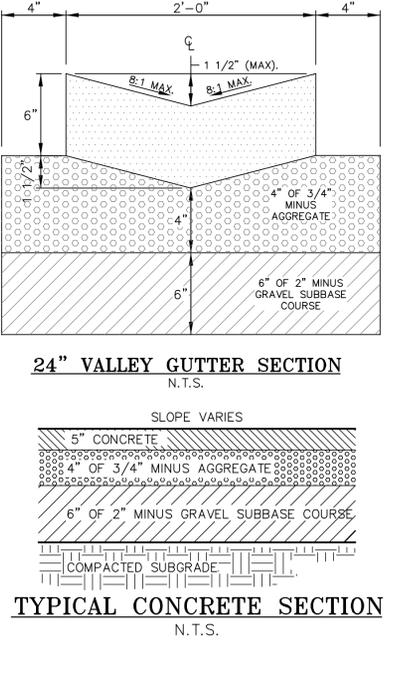
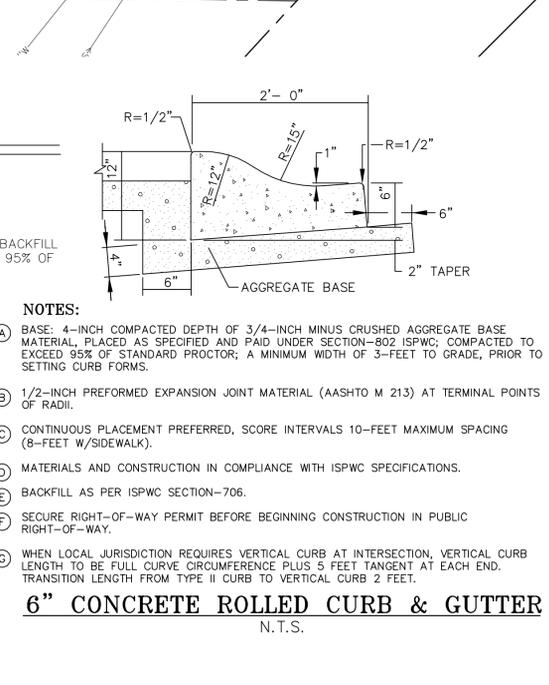
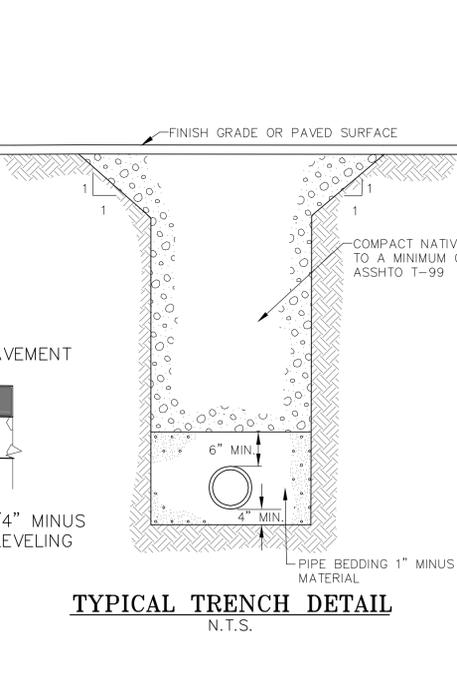
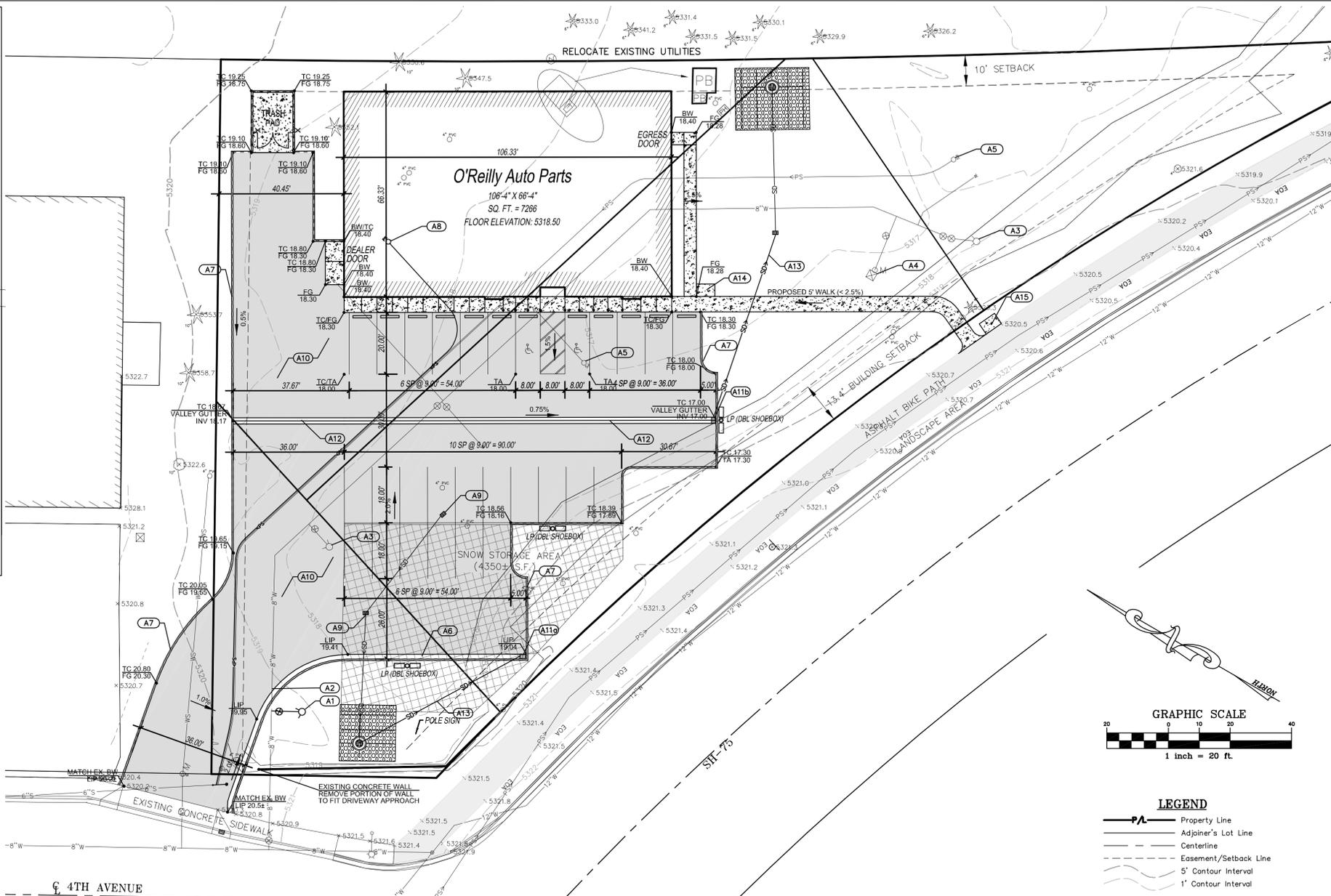
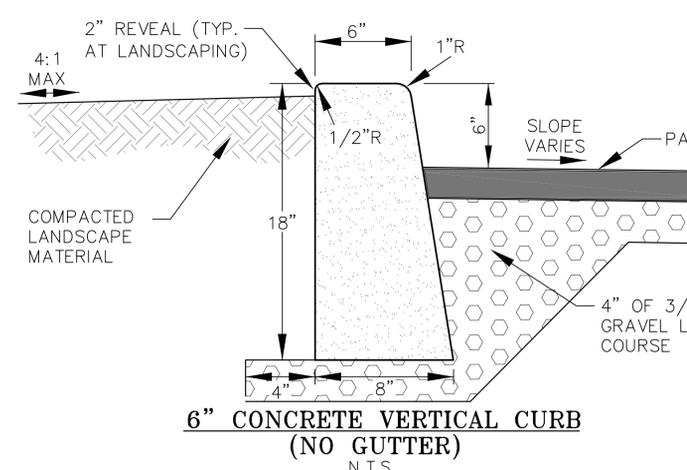
- NOTES:**
- REFER TO PLAT NOTES ON THE ORIGINAL PLAT OF BOB SUBDIVISION. THIS PROPERTY IS SUBJECT TO THE CONVENANTS, CONDITIONS, AND RESTRICTIONS FOR SAID SUBDIVISION RECORDED AS "BOB SUBDIVISION", INSTRUMENT NO. 501958, RECORDS OF BLAINE COUNTY, IDAHO.
  - REFER TO PLAT NOTES ON THE ORIGINAL PLAT OF R.DAVIS BUSINESS CENTER SUBDIVISION. THIS PROPERTY IS SUBJECT TO THE CONVENANTS, CONDITIONS, AND RESTRICTIONS FOR SAID SUBDIVISION RECORDED AS "R. DAVIS BUSINESS CENTER", RECORDS, BLAINE COUNTY, IDAHO, OR AS REPLATTED.
  - WITHIN THE PROPOSED IMPROVEMENTS SHOWN, EASEMENTS ARE GRANTED FOR ACCESS, MAINTENANCE, AND RECONSTRUCTION OF UTILITIES. REFER TO AMENDED ACCESS EASEMENT RECORDED AS INSTRUMENT NO. 537873, RECORDS OF BLAINE COUNTY, IDAHO TO BENEFIT LOT 2, BLOCK 1, BOB SUBDIVISION.
  - THE PROPOSED ACCESS LANE SHALL BE DESIGNATED AS A FIRE ACCESS LANE, AND SHALL BE POSTED ACCORDINGLY WITH SIGNS INDICATING "FIRE ACCESS - NO PARKING."
  - SNOW STORAGE EASEMENTS FOR THE PARKING AREAS SHOWN ARE SHOWN HEREON. OWNER MAY RELOCATE EASEMENTS WITH PLAT AMENDMENT AS LONG AS CITY OF HAILEY SNOW STORAGE REQUIREMENTS ARE MET.
  - CURRENT ZONING IS LIMITED BUSINESS DISTRICT (LB).
  - A "NOTICE OF PROPOSED CONSTRUCTION OR ALTERNATION," FAA FORM 7460-, SHALL BE SUBMITTED FOR ANY PROPOSED DEVELOPMENT WITH THIS SUBDIVISION.
  - THIS PROPERTY IS SUBJECT TO THE NOISE AND AVIGATION EASEMENT AND NON-SUIT COVENANT RECORDED AS INSTRUMENT NO. \_\_\_\_\_, RECORDS, BLAINE COUNTY, IDAHO.

- GENERAL CONSTRUCTION NOTES**
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS", THE "IDAHO WASTE WATER RULES", THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC), AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC ON SITE DURING CONSTRUCTION.

- DOMESTIC WATER SYSTEM CONSTRUCTION NOTES**
- ALL WATER CONSTRUCTION SHALL BE TO CITY OF HAILEY STANDARDS AND COORDINATED AND INSPECTED BY THE CITY OF HAILEY.

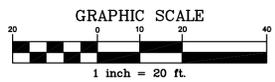
- SEWER CONSTRUCTION NOTES**
- ALL SEWER CONSTRUCTION SHALL BE TO CITY OF HAILEY STANDARDS AND COORDINATED AND INSPECTED BY THE CITY OF HAILEY.

- ROAD CONSTRUCTION NOTES**
- ALL ROAD CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS AND COORDINATED WITH AND INSPECTED BY THE CITY OF HAILEY.



**CONSTRUCTION CALLS**

- (A1) INSTALL FIRE HYDRANT ASSEMBLY PER HAILEY STANDARDS. CUT AND CAP EXISTING WATER MAIN BEYOND FIRE HYDRANT ASSEMBLY.
- (A2) REMOVE AND DISPOSE OF EXISTING WATER MAIN AND SERVICES BEYOND NEW FIRE HYDRANT ASSEMBLY.
- (A3) REMOVE EXISTING FIRE HYDRANT ASSEMBLY.
- (A4) REMOVE AND DISPOSE OF EXISTING WATER METER ASSEMBLY.
- (A5) REMOVE AND DISPOSE OF EXISTING PRESSURE SEWER SERVICE.
- CONSTRUCT CONCRETE ROLLED CURB AND GUTTER (TYPE 2)
- (A7) CONSTRUCT STANDING VERTICAL CURB (6" REVEAL, UNLESS NOTED OTHERWISE)
- (A8) RETAIN AND PROTECT EXISTING PRESSURE SEWER SERVICE FOR CONNECTION TO BUILDING
- (A9) REMOVE EXISTING CATCH BASIN AND STORM PIPE
- (A9) CONSTRUCT ASPHALTIC CONCRETE PAVEMENT REPAIR.
- (A10) CONSTRUCT ASPHALTIC CONCRETE PARKING AREA
- (A11) INSTALL CATCH BASIN  
a. RIM = 15.00  
   INV. OUT = 16.00  
b. RIM = 16.90  
   INV. IN = 13.90  
   INV. OUT = 13.70
- (A12) INSTALL 2" VALLEY GUTTER
- (A13) INSTALL 12" ADS N-12 STORM DRAIN
- (A14) INSTALL CONCRETE PAD FOR BIKE RACK
- (A15) INSTALL CONCRETE PAD FOR BENCH



- LEGEND**
- PA — Property Line
  - Adj — Adjoiner's Lot Line
  - C — Centerline
  - E — Easement/Setback Line
  - 5' — 5' Contour Interval
  - 1' — 1' Contour Interval
  - EG — Existing Curb & Gutter
  - PG — Proposed Curb & Gutter
  - PC — Proposed Concrete Sidewalk
  - PH — Proposed Handrail
  - EA — Existing Asphalt
  - PCA — Proposed Concrete Access/Parking
  - CT — Coniferous Tree
  - DT — Deciduous Tree
  - ES — Existing Sign
  - ELP — Existing Light Pole
  - PCF — Proposed Construction Fence
  - PSM — Existing Pressure Sewer Main
  - S — Existing 6" Sewer Line
  - SS — Existing Sewer Service
  - CSC — Existing Sewer Cleanout
  - SD — Existing Storm Drain
  - PSD — Proposed 12" Storm Drain
  - CB — Existing Catch Basin
  - PCB — Proposed Catch Basin
  - ED — Existing Drywell
  - 6"W — Proposed 6" Water Main
  - 6"W — Existing 6" Water Main
  - 12"W — Existing 12" Water Main
  - WM — Existing Water Meter
  - ISV — Existing Irrigation Vault
  - FH — Existing Fire Hydrant
  - WV — Existing Water Valve
  - FGE — Finished Grade Elevation
  - TC — Top of Curb Elevation
  - BW — Back of Walk Elevation
  - LIP — Lip of Curb and Gutter Elevation
  - SSE — Snow Storage Easement (Horsehoe = 17,350 s.f.±) (S.S.E = 4,350 s.f.±)

**O'REILLY AUTO PARTS - HAILEY**  
WITHIN SECTION 10 & 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO  
PREPARED FOR BRUCE ALLEN

PRELIMINARY CIVIL SITE PLAN

PROJECT INFORMATION  
P:\askpro\6101-02.dwg Construction\610102.prim civil site plan\_11-16-12.dwg 11/16/2012 2:58:36 PM MST

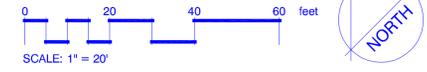
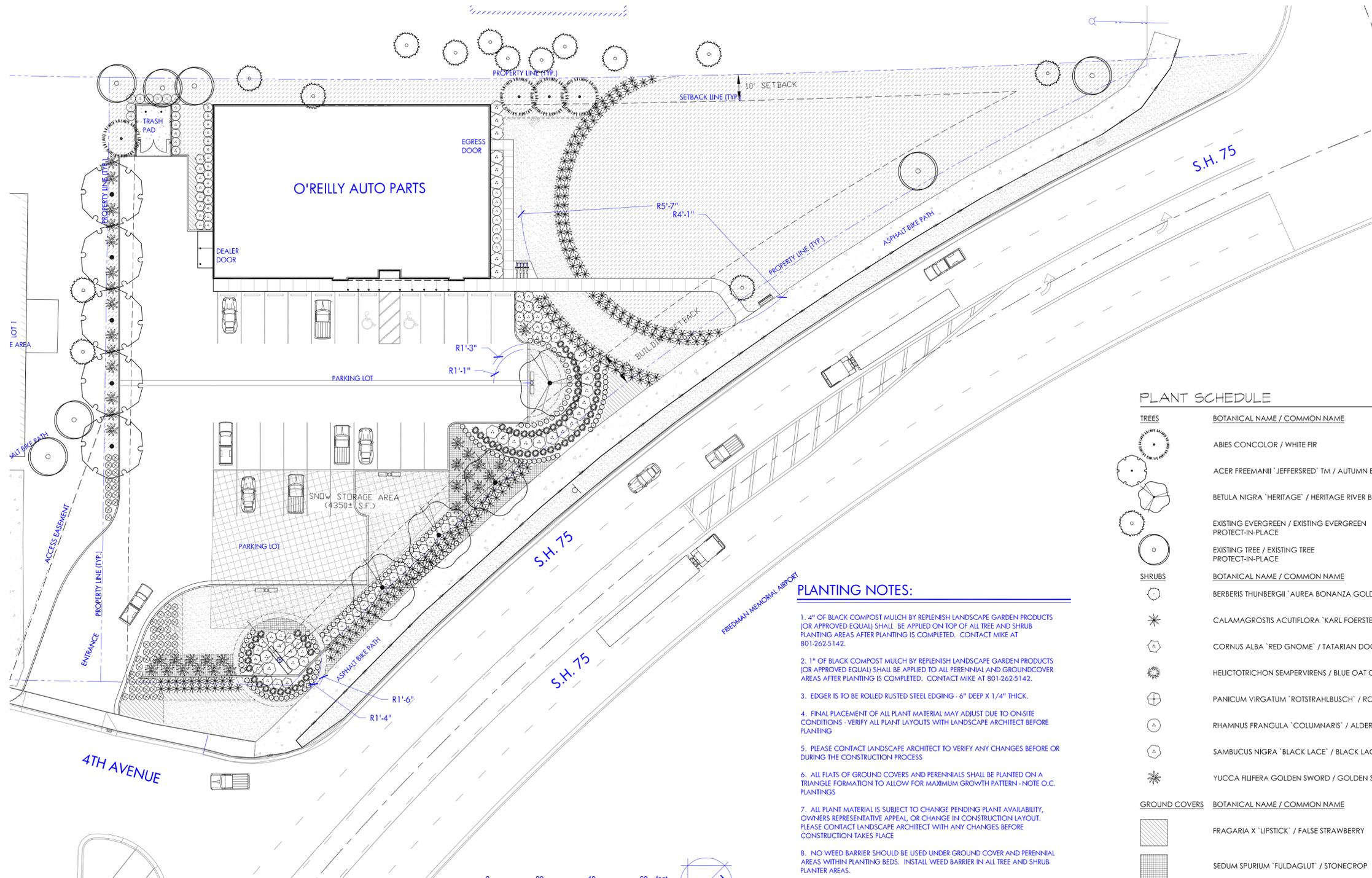
|             |          |
|-------------|----------|
| DESIGNED BY | DATE     |
| JL          | 12/21/12 |
| DRAWN BY    | DATE     |
| JL          | 12/21/12 |
| CHECKED BY  | DATE     |
|             |          |

REUSE OF DRAWINGS  
These drawings, or any portion thereof, are not to be used for any project or purpose other than that for which they were prepared without the written agreement in writing with Galena Engineering, Inc..

**GALENA ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
317 N. RIVER STREET  
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(208) 788-1705  
(208) 788-4612 fax  
email galena@galena-engineering.com

| NO | DATE     | BY  | REVISIONS                                                                                                                  |
|----|----------|-----|----------------------------------------------------------------------------------------------------------------------------|
| 1  | 11-30-12 | JCL | Relocate trash enclosure & utilities, add walk, move light poles, concrete paving, remove landscape wall, add snow storage |
| 1  | 12-21-12 | JCL | Added egress walk, bike rack pad, bench pad per City review                                                                |

SHEET C1



**GENERAL RADII/DIMENSION PLAN NOTES:**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL ELEMENTS ARE LAID OUT PROPERLY AND THAT THE "BASIS OF DESIGN" IS MET AND MAINTAINED FROM PLANS TO BUILT CONSTRUCTION.
- THE DIMENSIONS ON THIS PLANTING PLAN ARE FOR HORIZONTAL CONTROL OF ALL OF THE BUILT AND IMPORTANT ELEMENTS ON THE LANDSCAPE PLAN. THESE ELEMENTS SHALL BE, BUT ARE NOT LIMITED TO, PATIOS, SITE WALLS, COBBLE BANDS, METAL OR CONCRETE EDGING, WALKWAYS, ANGLES, ARCS, RADII, ETC.
- DIMENSIONS ARE TAKEN FROM FIXED POINTS SUCH AS BUILDINGS AND EXISTING ELEMENTS NOTED ON PLAN. THEIR PRIMARY INTENT IS TO MAINTAIN THE "BASIS OF DESIGN".
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ENSURE THAT THESE ELEMENTS ARE LAID OUT PROPERLY AND THAT NO APPARENT ERRORS OR OMISSIONS HAVE OCCURRED.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED WITHIN (5) WORKING DAYS PRIOR TO SITE VERIFICATION OF ALL ELEMENTS.
- LANDSCAPE ARCHITECT HAS THE RIGHT TO MOVE, MODIFY, OR SUGGEST ALTERNATIVE LOCATIONS AND/OR PLACEMENT IF "BASIS OF DESIGN" HAS NOT BEEN MET. HE SHALL DO SO AT HIS OWN DISCRETION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF DISCREPANCIES ARISE FROM THE TRANSLATION OF PLAN TO BUILT CONDITIONS, SO THAT SUITABLE ALTERNATIVES MAY BE PROPOSED AND/OR MODIFICATIONS TO PLANNED ELEMENTS MAY BE REVISED ON SITE.
- IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUNOFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY APPROVED EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.

**PLANTING NOTES:**

- 4" OF BLACK COMPOST MULCH BY REPLENISH LANDSCAPE GARDEN PRODUCTS (OR APPROVED EQUAL) SHALL BE APPLIED ON TOP OF ALL TREE AND SHRUB PLANTING AREAS AFTER PLANTING IS COMPLETED. CONTACT MIKE AT 801-262-5142.
- 1" OF BLACK COMPOST MULCH BY REPLENISH LANDSCAPE GARDEN PRODUCTS (OR APPROVED EQUAL) SHALL BE APPLIED TO ALL PERENNIAL AND GROUND COVER AREAS AFTER PLANTING IS COMPLETED. CONTACT MIKE AT 801-262-5142.
- EDGER IS TO BE ROLLED RUSTED STEEL EDGING - 6" DEEP X 1/4" THICK.
- FINAL PLACEMENT OF ALL PLANT MATERIAL MAY ADJUST DUE TO ON-SITE CONDITIONS - VERIFY ALL PLANT LAYOUTS WITH LANDSCAPE ARCHITECT BEFORE PLANTING
- PLEASE CONTACT LANDSCAPE ARCHITECT TO VERIFY ANY CHANGES BEFORE OR DURING THE CONSTRUCTION PROCESS
- ALL FLATS OF GROUND COVERS AND PERENNIALS SHALL BE PLANTED ON A TRIANGLE FORMATION TO ALLOW FOR MAXIMUM GROWTH PATTERN - NOTE O.C. PLANTINGS
- ALL PLANT MATERIAL IS SUBJECT TO CHANGE PENDING PLANT AVAILABILITY, OWNERS REPRESENTATIVE APPEAL, OR CHANGE IN CONSTRUCTION LAYOUT. PLEASE CONTACT LANDSCAPE ARCHITECT WITH ANY CHANGES BEFORE CONSTRUCTION TAKES PLACE
- NO WEED BARRIER SHOULD BE USED UNDER GROUND COVER AND PERENNIAL AREAS WITHIN PLANTING BEDS. INSTALL WEED BARRIER IN ALL TREE AND SHRUB PLANTER AREAS.
- SEE CIVIL AND ARCHITECTURAL DRAWINGS FOR ALL STRUCTURES, HARDSCAPE, GRADING AND DRAINAGE INFO.
- SEE SHEET LP-501 STANDARD PLANTING DETAILS.
- PLANT SIZES ARE AS FOLLOWS UNLESS SPECIFIED ON PLANS AND/OR CALLED OUT ON PLAN LEGEND: DECIDUOUS TREES - 2" CALIPER, EVERGREEN TREES - SIZES PER PLAN OR 6" MIN. HEIGHT PER CITY CODE, SHRUBS/PERENNIALS - 1.5 GALLON TYPICAL, GROUNDCOVERS - PER PLAN OR 12" O.C. SPACING - SEE DETAILS (NOTE 10 ABOVE)
- ALL PLANT MATERIALS AND STANDARDS TO MATCH HAILEY CITY LANDSCAPE REGULATIONS. CONTRACTOR TO VERIFY THAT ALL SIZES ARE IN ACCORDANCE WITH CITY STANDARDS AND REQUIREMENTS.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- SOIL PREPARATION FOR ALL NONHARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS.

**PLANT SCHEDULE**

| TREES                                                                                                                               | BOTANICAL NAME / COMMON NAME                                                                                     | CONT          | QTY       |
|-------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------|---------------|-----------|
|                                                                                                                                     | ABIES CONCOLOR / WHITE FIR                                                                                       | 8'            | 4         |
|                                                                                                                                     | ACER FREEMANII 'JEFFERSRED' TM / AUTUMN BLAZE MAPLE                                                              | 2 1/2' CAL    | 5         |
|                                                                                                                                     | BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH - SINGLE TRUNK                                                    | 2 1/2' CAL    | 4         |
|                                                                                                                                     | EXISTING EVERGREEN / EXISTING EVERGREEN PROTECT-IN-PLACE                                                         | -             | 14        |
|                                                                                                                                     | EXISTING TREE / EXISTING TREE PROTECT-IN-PLACE                                                                   | -             | 7         |
| SHRUBS                                                                                                                              | BOTANICAL NAME / COMMON NAME                                                                                     | CONT          | QTY       |
|                                                                                                                                     | BERBERIS THUNBERGII 'AUREA BONANZA GOLD' / BONANZA GOLD BARBERRY                                                 | 1 GAL         | 140       |
|                                                                                                                                     | CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER GRASS                                                   | 1 GAL         | 202       |
|                                                                                                                                     | CORNUS ALBA 'RED GNOME' / TATARIAN DOGWOOD                                                                       | 5 GAL         | 51        |
|                                                                                                                                     | HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS                                                                     | 1 GAL         | 66        |
|                                                                                                                                     | PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH SWITCH GRASS                                                  | 1 GAL         | 62        |
|                                                                                                                                     | RHAMNUS FRANGULA 'COLUMNARIS' / ALDER BUCKTHORN                                                                  | 5 GAL         | 36        |
|                                                                                                                                     | SAMBUCUS NIGRA 'BLACK LACE' / BLACK LACE ELDERBERRY                                                              | 5 GAL         | 27        |
|                                                                                                                                     | YUCCA FILIFERA GOLDEN SWORD / GOLDEN SWORD                                                                       | 5 GAL         | 37        |
| GROUND COVERS                                                                                                                       | BOTANICAL NAME / COMMON NAME                                                                                     | CONT          | QTY       |
|                                                                                                                                     | FRAGARIA X 'LIPSTICK' / FALSE STRAWBERRY                                                                         | FLAT @ 12" OC | 566 SF    |
|                                                                                                                                     | SEDUM SPURIMUM 'FULDAGLUT' / STONECROP                                                                           | FLAT @ 12" OC | 1,072 SF  |
| ROCK MULCH                                                                                                                          | BOTANICAL NAME / COMMON NAME                                                                                     | CONT          | QTY       |
|                                                                                                                                     | DARK GRAY CHAT APPROVAL PER OWNER                                                                                | N/A           | 15,799 SF |
|                                                                                                                                     | GRAY CRUSHER FINES APPROVAL PER OWNER                                                                            | N/A           | 282 SF    |
| SOD/SEED                                                                                                                            | BOTANICAL NAME / COMMON NAME                                                                                     | CONT          | QTY       |
|                                                                                                                                     | TURF GRASS / TURF GRASS                                                                                          | SOD           | 8,235 SF  |
| * PROPOSED SUBSTITUTIONS MUST BE SUBMITTED IN WRITTEN FORM BY THE CONTRACTOR AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE. |                                                                                                                  |               |           |
| ** QUANTITIES ARE FOR REFERENCE ONLY, CONTRACTOR TO VERIFY QUANTITIES.                                                              |                                                                                                                  |               |           |
|                                                                                                                                     | PLANTING EDGER SEPARATION: 6" DEEP X 1/4" THICK ROLLED RUSTED STEEL EDGING BETWEEN ALL PLANTER/TURF AREAS (TYP.) |               | 1450 LF   |
|                                                                                                                                     | SITTING BENCH: CONTRACTOR TO PROVIDE OPTIONS TO OWNER FOR APPROVAL.                                              |               |           |
|                                                                                                                                     | BIKE RACK: CONTRACTOR TO PROVIDE OPTIONS TO OWNER FOR APPROVAL.                                                  |               |           |



LANDSCAPE ARCHITECTURE  
LAND PLANNING  
CONSTRUCTION MANAGEMENT

511 W. 200 S. SUITE 125  
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STAMP

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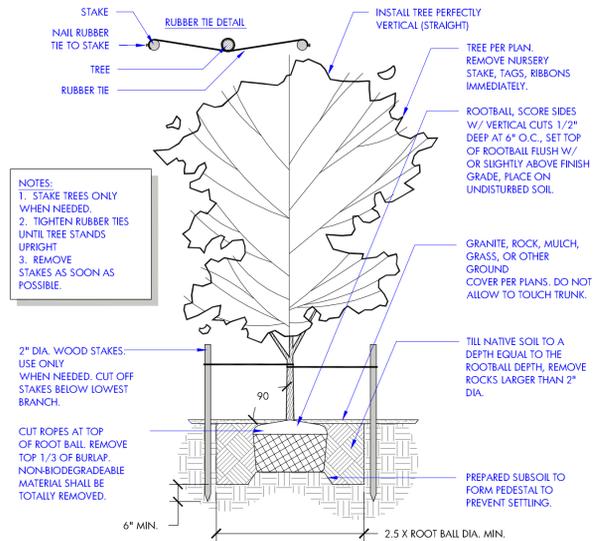
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**O'REILLY AUTO PARTS**  
4TH AVENUE & S.H. 75  
HAILEY, IDAHO

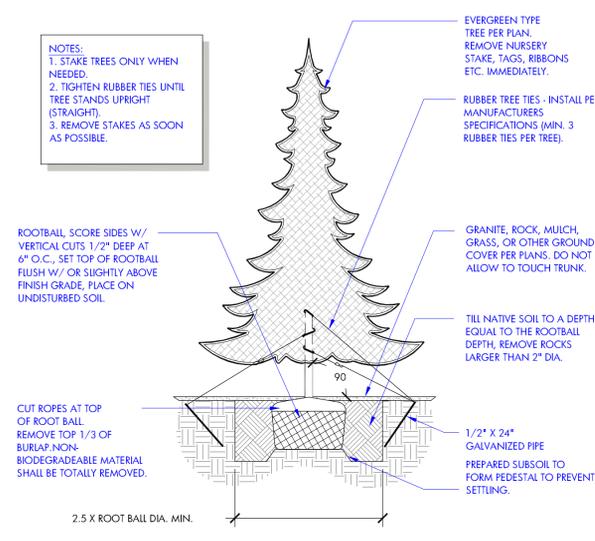
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|-----------------|----------|
| SCALE:          | 1" = 20' |
| DESIGN BY:      | BAR      |
| DRAWN BY:       | BAR      |
| CHECKED BY:     | BAR      |
| PROJECT NUMBER: | 2012.65  |
| ISSUE DATE:     | 12-14-12 |
| REVISIONS:      |          |

SHEET TITLE:  
**LANDSCAPE PLAN**

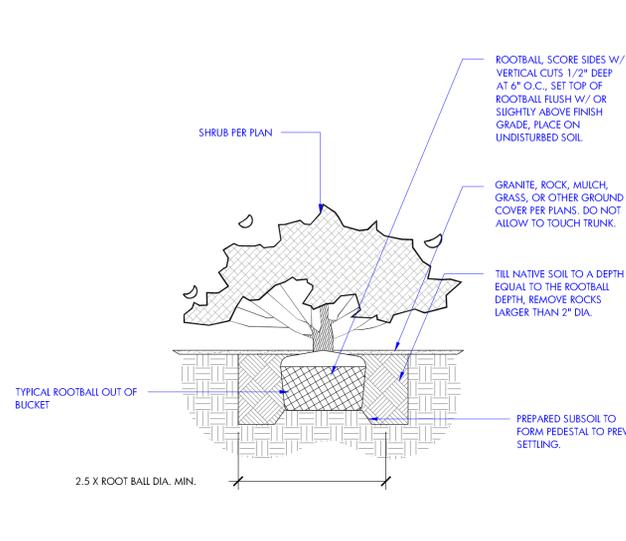
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**LP-101**



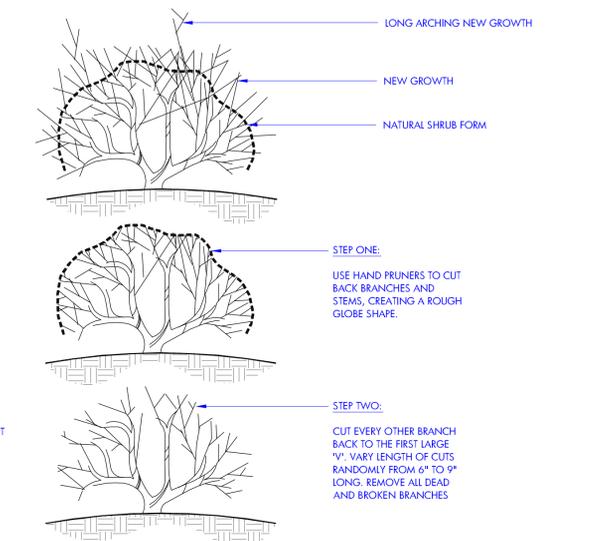
**1 DECIDUOUS TREE PLANTING**  
SCALE: NOT TO SCALE LFDG-PLA-03



**2 EVERGREEN TREE PLANTING**  
SCALE: NOT TO SCALE LFDG-PLA-04



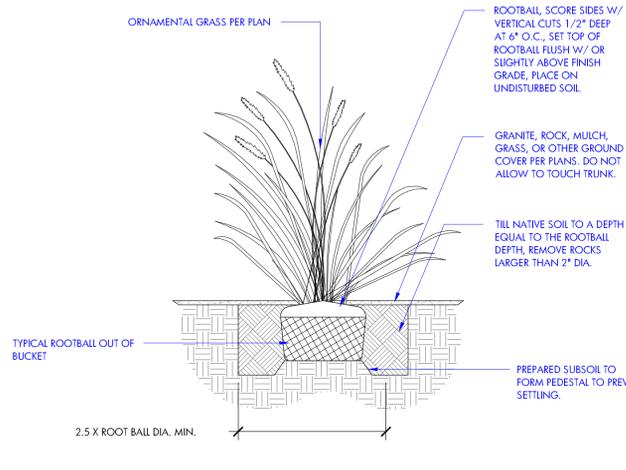
**3 SHRUB PLANTING AND PRUNING**  
SCALE: NOT TO SCALE LFDG-PLA-05



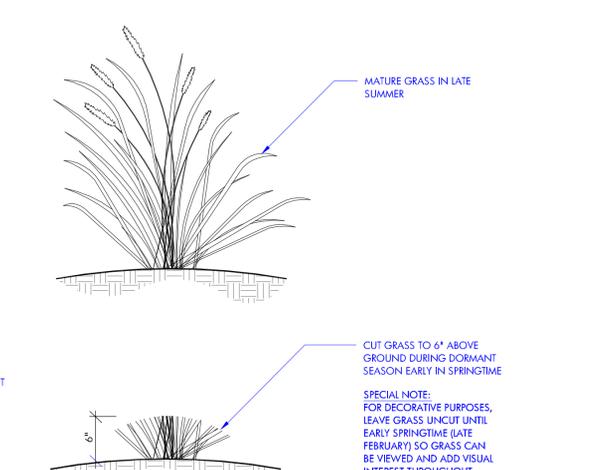
**4 SOD PLANTING AND LAYING**  
SCALE: NOT TO SCALE LFDG-PLA-06

**SOD LAYING NOTE:**  
AFTER AMENDING GROUND, LEVEL, SMOOTH, AND RAKE ALL AREAS TO RECEIVE SOD. SODDED AREAS MUST BE FREE OF ANY LUMPS, DEPRESSIONS, IRREGULAR AREAS OF ROCKS GREATER THAN 1/4\"/>

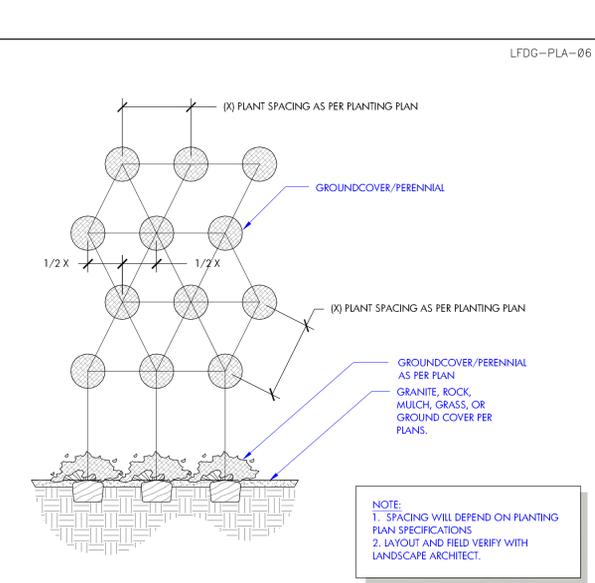
**INSTALLATION PROCESS:**  
1. LAY SOD WITHIN 24 HOURS OF BEING LIFTED.  
2. LAY SOD IN ROWS WITH STAGGERED JOINTS. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.  
3. LAY SOD FLUSH WITH ADJOINING EXISTING SODDED OR PAVED SURFACES.  
4. AFTER SODDING HAS BEEN COMPLETED, ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A 150 LB. SOD ROLLER.  
5. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS, OR OTHER IRREGULARITIES.  
6. HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE IS NOT PERMITTED.  
7. WATER ALL SODDED AREAS IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 3\"/>



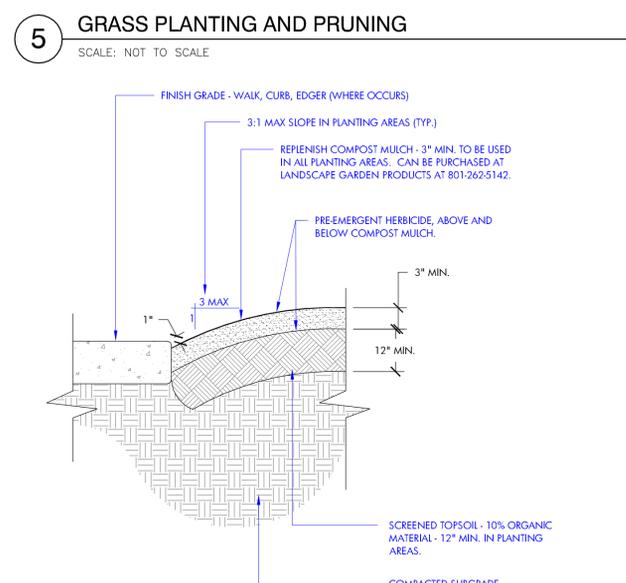
**5 GRASS PLANTING AND PRUNING**  
SCALE: NOT TO SCALE LFDG-PLA-07



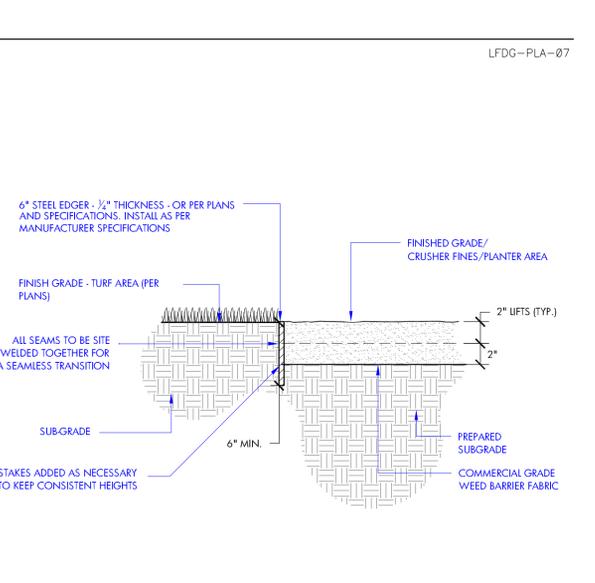
**6 GROUND COVER PLANTING**  
SCALE: NOT TO SCALE LFDG-PLA-11



**7 PLANTING AREA**  
SCALE: NOT TO SCALE LFDG-PLA-09



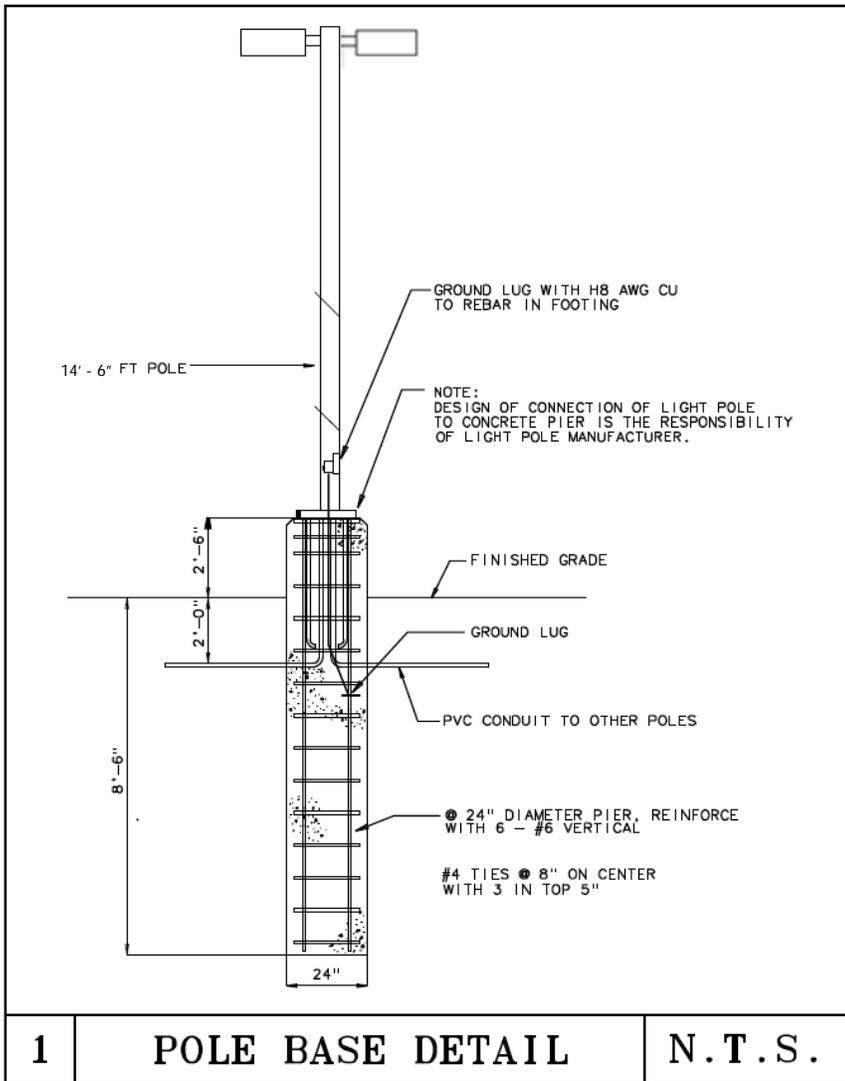
**8 STEEL EDGING**  
SCALE: NOT TO SCALE LFDG-SI2-23



**9 STEEL EDGING**  
SCALE: NOT TO SCALE LFDG-SI2-23

|                 |          |
|-----------------|----------|
| SCALE:          | 1" = 20' |
| DESIGN BY:      | BAR      |
| DRAWN BY:       | BAR      |
| CHECKED BY:     | BAR      |
| PROJECT NUMBER: | 2012.05  |
| ISSUE DATE:     | 12-14-12 |
| REVISIONS:      |          |

## Metal Halide w/ type III Distribution and Flat Lens



### GENERAL CHARACTERISTICS

|                           |                                                |
|---------------------------|------------------------------------------------|
| Lamp type                 | High Intensity Discharge - Quartz Metal Halide |
| Bulb                      | ED17                                           |
| Base                      | Medium Screw (E26)                             |
| Bulb Finish               | Clear                                          |
| Rated Life                | 15000 hrs                                      |
| Bulb Material             | Hard glass                                     |
| Lamp Enclosure Type (LET) | Open or enclosed fixtures                      |
| Base Temperature (MAX)    | 190 °C(374 °F)                                 |
| Bulb Temperature (MAX)    | 400 °C(752 °F)                                 |
| LEED-EB MR Credit         | 96 picograms Hg per mean lumen hour            |

### PHOTOMETRIC CHARACTERISTICS

|                                 |        |
|---------------------------------|--------|
| Initial Lumens                  | 5500   |
| Mean Lumens                     | 3500   |
| Nominal Initial Lumens per Watt | 79     |
| Color Temperature               | 3200 K |
| Color Rendering Index (CRI)     | 70     |
| Effective Arc Length            | 0 in   |

\*\*Lumens can differ manufacturer to manufacturer. But none exceed 6,000 lumens on this particular lamp.

### ORDERING INFORMATION

ORDERING EXAMPLE: MSS-A-100S-3-V-6-DB-PCR1

|                                                                                                                                                             |   |                                                                                                                                                                                                                                                                                                                                                                      |   |                                                                                                                                                    |   |                                                                                                                                                                                             |   |                                                                                                                                                                                                        |   |  |   |  |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------|---|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|----------------------------------------------------------------------------------------------------------------------------------------------------|---|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|--|---|--|
| <b>MSS</b>                                                                                                                                                  | - |                                                                                                                                                                                                                                                                                                                                                                      | - | <b>3</b>                                                                                                                                           | - |                                                                                                                                                                                             | - |                                                                                                                                                                                                        | - |  | - |  |
| <b>SERIES</b><br>MSS Magnuspec                                                                                                                              |   | <b>WATTAGE/SOURCE</b><br>PULSE START METAL HALIDE<br>070P <sup>3</sup> 70w (ED-17)<br>100P <sup>3</sup> 100w (ED-17)<br>150P 150w (ED-17)<br>HIGH PRESSURE SODIUM<br>070S 70w (ED-17)<br>100S 100w (ED-17)<br>150S 150w (ED-17)                                                                                                                                      |   | <b>BALLAST TYPE</b><br>3 Powr-Pant <sup>®</sup>                                                                                                    |   | <b>VOLTAGE</b><br>8 <sup>2</sup> Quad-Tap <sup>®</sup> - 120/208/240/277V<br>5 <sup>3</sup> 480V<br>6 <sup>2</sup> Tri-Tap <sup>®</sup> - 120/277/347V<br>E 220/240V, 50 Hz<br>0 No ballast |   | <b>OPTIONS</b><br>F(X) Fusing (replace X with voltage: 1-120, 2-208, 3-240, 4-277, 5-480, 6-347)<br>PCR(X) Photo cell receptacle (replace X with voltage: 1-120, 2-208, 3-240, 4-277, 5-480)<br>L Lamp |   |  |   |  |
| <b>MOUNT</b><br>A Arm mount (arm not included, order separately)<br>C Ceiling<br>G Garage/ trunnion (with cord)<br>Y Yoke mount (mounts to 2 3/8" OD tenon) |   | <b>LAMP ORIENT./DISTR.</b><br>I <sup>4</sup> Type I (Horizontal) - segmented<br>P <sup>1,4</sup> Type II (Horizontal) - segmented<br>T <sup>4</sup> Type IV (Horizontal) - segmented<br>W <sup>4</sup> Type V (Horizontal) - segmented<br>V <sup>4</sup> Type V (Vertical) - segmented<br>A Drop acrylic Type V (Vertical)<br>L Drop polycarbonate Type V (Vertical) |   | <b>COLOR</b><br>DB Dark Bronze<br>BL Black<br>WH White<br>GR Gray<br>PS Platinum Silver<br>RD Red (premium color)<br>FG Forest Green (prem. color) |   |                                                                                                                                                                                             |   |                                                                                                                                                                                                        |   |  |   |  |

### MOUNTING ARM (order separately)

|          |                                                                   |
|----------|-------------------------------------------------------------------|
| MAS-4-X  | 4" Rigid arm for flat surfaces                                    |
| MAS-10-X | 10" Rigid arm for flat surfaces (required for 90° configurations) |
| RSD-44-X | Nominal 4" OD round pole adapter for MAS arms                     |
| RSD-55-X | Nominal 5" OD round pole adapter for MAS arms                     |
| MAS-FM   | Flush mount hardware (required when no arm used on pole)          |
| DS-WP-X  | Wall plate for flush or arm mounting fixtures                     |

Note: Replace X with color selection

- Field adjustable to Type II
- Factory wired for highest voltage unless specified
- 480V not available in 70w and 100w PSMH
- Flat Lens

**Hailey Fire Dept.**  
**617 S. Third Street**  
**P.O. Box 1192**  
**Hailey, Idaho 83333**



**Capt. Michael Baledge**  
**Fire Marshal**  
**Office: 208-788-3147**  
**Fax: 208-788-0279**  
**E-mail:**  
**mike.baledge@haileycityhall.org**

**MEMO**

**To: Micah Austin**  
**From: Mike Baledge**  
**Re.: Project Irish**  
**Date: November 16, 2012**

**COPY**

Micah,

I have looked over the site plan for the above project and I have the following concerns regarding access and water supply. Below is a list of notes that go with the attached checklist we use for site plan review.

1. Fire apparatus must be able to reach all portions of the exterior of the building with a 150 foot hose line. According to the drawings I have we seem to come up about 30 feet short of meeting this requirement. It is possible that the dimensions are distorted by the computer, however if this is the case then the access roads need to be extended up the north or south sides of the building or a fire sprinkler system needs to be installed.
2. I could not tell from this plan if the trash enclosure was fenced or not. If the fence is in place it cannot be placed to prevent access to the building exterior.
3. The distance from the entrance of the parking lot to the location of the trash bin on the north side of the building is in excess of 150 feet. This would be the most likely access for fire apparatus. The way it looks on the plans this would be considered a dead end access and must be provided with a means to turn fire apparatus around. Some other features of the parking lot might work to solve this issue but the will need to be measured on scalable plans to verify the measurements.
4. Note four is just to reiterate that a lot of access issues typically go away when a fire sprinkler system is added to the building.
5. This section of the checklist cannot be checked without building plans.

6. Any gates around the property that will slow or stop firefighter access must be approved by the fire department.
7. The existing fire hydrants on the property meet the needs of this building. Any relocating, adding, or removing of a fire hydrant must be approved and done prior to building construction.
8. Depending on how some of the access issues, such as turnarounds and access lanes on the north and south sides of the building are configured, fire lane signs and painted curbs may be needed.

Let me know if you have any questions or need any clarification on any of these issues please contact me.



General Fire & Life Safety Site Review
Part 1 of 3 - General Site Considerations

Name of Site: Project Irish
Location of Site: 4th & 75
Contact Person: Tel: Fax:

General Site Location

Do all proposed roads align, intersect and/or have consistent addressing
Is any of the site located in the following areas:

- Floodplain
In an area identified as a urban/wildfire interface area
On a hill or adjacent to any sloped ground over 10%
In a potential avalanche or debris flow area

Fire Apparatus Road—Distance From Buildings and Turnarounds

- Access roads extend to within 150 feet of all portions of the exterior wall of the building...
Are there any proposed fences, trash enclosures, gates etc. that may prevent access...
An approved turnaround has been provided if required...
Turnouts: Required access roads in excess of 500' turnout provided at fire hydrants.
If any portion of the building is located adjacent to a property line or fire access lane, are there any anticipated obstructions intruding into the required area? (i.e. electric or gas meters, sliding snow, transformers, future building construction.) (IFC Sec. 503.1.1 & D104)

Access Roads Adjacent to Buildings

- The fire apparatus access road may be extended or modified if the building is completely protected with an approved automatic fire sprinkler system, as approved by the Fire Official. (IFC Sec. 503.1.1)
All required fire apparatus access roads serving buildings 30' or less in overall height, shall have an unobstructed width of not less than 20', and an unobstructed vertical clearance of not less than 13'6". (IFC 503.2.1)
Buildings exceeding 30 feet in height from the lowest point of vehicular fire apparatus access shall have:
At least three separate means of fire apparatus access to each structure.
Exception: Buildings exceeding 30 feet from the lowest point of vehicular fire apparatus access but not exceeding 35 feet in height shall provide at least two means of fire apparatus access for each structure.
Fire access roads to buildings greater than 30' in height above the lowest level of fire department access have a minimum unobstructed width of 26'.
At least one of the required access routes is positioned parallel to one entire side of the building and shall have its closest edge located within a minimum of 15 feet and a maximum of 30' from the building. (This is to allow adequate aerial ladder access to the building.)
Overhead utility lines are not to be located over the aerial fire apparatus access roadway. (IFC Appendix D104)

Additional Access Roads

Two approved means of access have been provided to the city/county roadway or access easement due to the location containing, more than (5) single or duplex family dwelling units, 36 multiple family dwellings, vehicle congestion, adverse terrain conditions or other factors as determined by the Fire Official. (Exceptions may be allowed when automatic fire sprinkler systems are installed.) (IFC Appendix D107.1, as amended)

Gates: Gates located on fire access roads are generally discouraged, but when installed:

- Gates and barricades located on fire access roads should be of the sliding, lifting or other type that can operate properly in deep snow conditions.
All gates have a width equal to the required width of the fire access road that it is located on.
All electronic gates have a Knox Box key override switch installed.
All manual gates have an approved method for restricting unauthorized access. (IFC Appendix D 103.5 & 503.5)

Turning Radius

The inside turning radius and outside turning radius of fire access roads are not less than 28' and 48' respectively, measured from the same center point. (IFC Appendix D103.3)

Fire Department Access and Fire Fighting Water Supply During Construction

Approved fire department access roads and water supplies shall be installed and operational prior to any combustible construction or storage on the site or subdivision. (IFC Sec. 1412.1)

Surface and Load Capacities

Fire apparatus access roads are of an all-weather driving surface that is easily distinguishable from the surrounding area and is capable of supporting not less than 12,000 pounds point load (wheel load) and 75,000 pounds live load (gross vehicle weight).  
 Obstruction: Access roads not obstructed i.e. parking, dumpsters, and building materials. (IFC Sec. 503 & App. D102)

Grade

Private fire apparatus roadway grades do not exceed an average grade of 6% with a maximum grade of 8% for lengths of no more than 150'.  
NOTE: Other standards may apply in areas designated as wildland interface.  
 Intersections and turnarounds are level with the exception of crowning for water run-off. (IFC Sec. 503.2.7)

No Parking Signs

Approved fire lane signs will be installed on one or both sides of the roadway, turnarounds and pullouts as needed. (Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and have the required width of unobstructed driving surface.)  
 Signs are installed with a clear space above grade level of 7'.  
 Signs are 12" wide by 18" high and shall have black or red letters and a border on a white reflective background.  
 Roads 20 to 26' in width have signs posted on both sides as a fire lane.  
 Fire Access Roads greater than 26' in width have used approved markings and signage to clearly identify the area to be used as a fire lane.  
 Signs indicate the beginning, ending and intermediate boundaries of the fire lane. (IFC Appendix D103.6)

Painted Curbs: When curbs are provided the:

Fire apparatus roadway curbs are painted bright red and marked "No Parking - Fire Lane" at each 25' section.  
 Lettering is white and has a stroke of not less than 3/4" wide by 4" high. (IFC Sec. 503.3)

Bridges

Private bridges shall be designed and constructed in accordance with the State of Idaho Department of Transportation Standards.  
 The design load shall be prepared by a State of Idaho registered professional engineer.  
 The design engineer has prepared a special inspection and structural observation program for approval by the building official.  
 The design engineer has given in writing, final approval of the bridge to the City Engineer immediately after construction is completed.  
 Structure capability weight/vertical clearance signs. (IFC Sec. 503.2.6)

Fire Hydrants

No point on a required fire access road is greater than 250' from a fire hydrant.  
 Fire hydrants are placed no more than 500' feet apart in residential areas, and 450' feet apart in commercial areas, measured in an approved manner around the outside of the structure and along an approved fire apparatus access roadway. (Note: These distances are further reduced for dead end accesses.)  
 In general, fire hydrants are placed at street intersections, and/or entrances to the protected premises.  
 All fire hydrants are located outside of defined snow storage areas.  
 Additional hydrants (if needed to meet the minimum fire flow or spacing requirements) may be placed at non-intersecting areas, or other specific locations approved by the Fire Official.  
 Hydrants located on the opposite side of arterial streets with four (4) or more lanes of traffic are not considered available for use.  
 All hydrant locations have been approved by the Fire Official. (IFC Sec. 508.5.1- 508.5.6 & C105)  
 Fire hydrants should not be located not more than 30' from an approved fire access roadway. (HFD Policy)  
 Fire hydrants or fire department connections (FDC) which may be exposed to vehicular damage or obstruction have an approved array of bollards or guard posts installed to protect them from damage and to maintain the minimum distance required for proper operation. (IFC Sec. 312)  
 Fire hydrants are identified by the installation of approved hydrant flags mounted on the rear of the hydrant.

NOTES: See Attached Letter

Date Reviewed: 11/16/12 Reviewed By Mine Boyette TS

# City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH  
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815  
Fax: (208) 788-2924

November 26, 2012

Dear Property Owner:

Your property has been identified as being located within 300 feet of the property listed below; this letter is being sent to you to give you the opportunity to comment on the following applications related to the following property:

- An application by Terra Form Companies for a Conditional Use Permit for a wholesale distributor with incidental and subordinate retail sales, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.
- An application by Terra Form Companies for Design Review of a proposed building, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

A map showing the location of the property is included with this letter.

A public hearing will be held on these applications as part of the Hailey Planning and Zoning Commission's meeting on Monday, December 10<sup>th</sup>, 2012, at 6:30 p.m., at Hailey City Hall. You are invited to attend this public hearing and/or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83333 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org).

Supporting documents for this application can be viewed on the City of Hailey website as of the date of this letter; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on Current Applications. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Planning Coordinator at [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

## **Bart Bingham**

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**From:** Legals <legal@mtexpress.com>  
**Sent:** Friday, November 16, 2012 12:53 PM  
**To:** Bart Bingham  
**Subject:** Re: Nov 21, 2012 Legals- Please Reply to Confirm Receipt

Received, thanks.

Chris

On 11/16/2012 12:26 PM, Bart Bingham wrote:

**NOTICE OF PUBLIC HEARING  
HAILEY PLANNING AND ZONING COMMISSION  
Monday, December 10th, 2012**

Public Notice is hereby given that the Hailey Planning and Zoning Commission will hold a Public Meeting at **6:30 p.m. on Monday, December 10th, 2012**, to be held in the upstairs meeting room of Hailey City Hall and will hold Public Hearings on the following item(s).

An application by Terra Form Companies for a Conditional Use Permit for a wholesale distributor with incidental and subordinate retail sales, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

An application by Terra Form Companies for Design Review of a proposed building, proposed to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

Any and all interested persons are invited to attend this public hearing or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83333 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org). Supporting documents for this item(s) can be viewed on the City of Hailey's website as of the date of this publication; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on either Current Applications or Ordinance Amendments. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this notice, or for special accommodations to participate in the noticed meeting, please contact [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

Publish: The Idaho Mountain Express  
Date of publication: November 21, 2012

# City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH  
HAILEY, IDAHO 83433

Zoning, Subdivision, Building and Business Permitting, and Community Planning Services

(208) 788-9815  
Fax: (208) 788-2921

November 26, 2012

Dear Public Agency:

The Hailey Planning and Zoning Commission will hold public hearings on the item(s) listed below on **Monday, December 10th, 2012**, at 6:30 p.m., Hailey City Hall.

- An application by Terra Form Companies for a Conditional Use Permit for a wholesale distributor with incidental and subordinate retail sales, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.
- An application by Terra Form Companies for Design Review of a proposed building, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

This Notice is issued pursuant to Idaho State Code (Local Land Use Planning Act), Section 67-6509, whereby notice must be provided to all political subdivisions providing services within the planning jurisdiction at least 15 days prior to public hearings regarding proposed amendments to the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, or any other land use ordinance.

You are invited to attend this public hearing or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83433 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org).

Supporting documents for this item(s) can be viewed on the City of Hailey website as of the date of this letter; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on Current Applications or Ordinance Amendments. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Planning Coordinator at [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

**SOUTH CENTRAL  
SUPERVISORY AREA**  
324 South 417 East, Ste. 2  
Jerome, ID 83338-6206  
Phone (208) 324-2561  
FAX (208) 324-2917



**TOM SCHULTZ, DIRECTOR**  
EQUAL OPPORTUNITY EMPLOYER

**STATE BOARD OF LAND COMMISSIONERS**  
*C.L. "Butch" Otter, Governor*  
*Ben Ysursa, Secretary of State*  
*Lawrence G. Wasden, Attorney General*  
*Brandon Woolf, State Controller*  
*Tom Luna, Sup't of Public Instruction*

December 4, 2012

Beth Robrahn  
Community Development Director  
City of Hailey  
115 Main Street South, Suite H  
Hailey, ID 83333

e-mail to: [planning@haileycityhall.org](mailto:planning@haileycityhall.org)

**RE: Terra Form Companies - To Construct a New Commercial Building for Wholesale and Retail Use  
Conditional Use Permit and Design Review  
960 S 4<sup>th</sup> Avenue, Hailey, Idaho – Section 10 T2N R18E BM**

Dear Ms. Robrahn:

Thank you for the opportunity to review and comment on the applications as noted above, submitted by Terra Form Companies, for property located at 960 S. 4<sup>th</sup> Avenue, Hailey, Idaho.

As you may know, Idaho Department of Lands' (IDL) mission is to manage State Endowment Trust Lands (State Trust Lands) in a manner that will maximize long-term financial returns to the Beneficiary Institutions. The IDL mission is a constitutional mandate and is overseen by the State Board of Land Commissioners. State Trust Lands are not managed for the public at large and should not be referred to as "public lands" or "open space," either specifically or in a generic sense. These are working lands producing revenue for the Beneficiary Institutions.

IDL has reviewed the public hearing notice provided by the City of Hailey for the Terra Form Companies requests. Based on the documentation provided to IDL, the applications will not impact State Trust Lands at this time. Should the applications be modified during the review or approval process, IDL requests that updated information be submitted to the South Central Area Office for additional review.

Thank you again for the opportunity to review and comment on these applications; we look forward to working with you again in the future. Please contact me at (208) 324-2561 if you have questions or need more information.

Sincerely,

Timothy C. Duffner  
South Central Area Manager

cc: Kate Langford, Strategic Business Analyst – Planning  
Julianne Shaw, Assistant Plann

| Parcel Number  | Owner 1                                 | Owner 2                            | Mail Address Line 1                     | Mail Address Line 2                  | Mail Address Line 3        | Mail Address Line 4 | Mail Address Line 5 | Property Address          | Legal Desc 1                               |
|----------------|-----------------------------------------|------------------------------------|-----------------------------------------|--------------------------------------|----------------------------|---------------------|---------------------|---------------------------|--------------------------------------------|
| RPH04080010010 | BASHAW<br>BRETT<br>D<br>TRUSTEE         | BASHAW<br>PATRICIA<br>E<br>TRUSTEE | 301 E<br>EDGEWATER<br>AVE               | NEWPORT<br>BEACH<br>CA<br>92661-0000 |                            |                     |                     | 910 S<br>4TH<br>AVE       | BDB<br>SUBDIVISION                         |
| RPH2N180150010 | BLAINE<br>COUNTY                        |                                    | 206 S<br>1ST<br>AVE<br>STE 200          | HAILEY<br>ID<br>83333-0000           |                            |                     |                     | 1610<br>AIRPORT<br>CIR    | HAILEY                                     |
| RPH0000122001A | HAILEY<br>CEMETERY<br>DISTRICT          |                                    | BOX<br>4515                             | HAILEY<br>ID<br>83333-0000           |                            |                     |                     |                           | HAILEY                                     |
| RPH047500000AA | HAILEY<br>CITY OF                       |                                    | 115 S<br>MAIN<br>ST<br>STE<br>H         | HAILEY<br>ID<br>83333-0000           |                            |                     |                     | 1020<br>WOODSIDE<br>BLVD  | WOODSIDE<br>SUBD                           |
| RPH04750020010 | MARCH<br>BANKS<br>JOSEPH<br>BRENT       | CRAIG<br>HILL<br>CAROL<br>E        | 1207 N<br>14TH<br>ST                    | BOISE<br>ID<br>83702-0000            |                            |                     |                     | 520<br>FOX<br>ACRES<br>RD | WOODSIDE<br>SUB #1                         |
| RPH2N180100170 | MASONIC<br>HAILEY<br>LODGE<br>#16       |                                    | PO BOX<br>233                           | HAILEY<br>ID<br>83333-0000           |                            |                     |                     | 541<br>FOX<br>ACRES<br>RD | FR<br>S1/2SW<br>-2<br>PARCELS<br>SEC<br>10 |
| RPH0000137007A | TAYLOR<br>HENRY<br>W JR<br>REV<br>TRUST |                                    | <a href="#">C/O<br/>AIRPORT<br/>INN</a> | 820<br>4TH<br>AVE S                  | HAILEY<br>ID<br>83333-0000 |                     |                     | 820 S<br>4TH<br>AVE       | HAILEY                                     |

|                        |                                        |  |                              |                                           |  |  |  |                     |                                             |
|------------------------|----------------------------------------|--|------------------------------|-------------------------------------------|--|--|--|---------------------|---------------------------------------------|
| RPH048<br>600100<br>10 | ZIONS<br>FIRST<br>NATION<br>AL<br>BANK |  | 1 S<br>MAIN<br>ST STE<br>500 | SALT<br>LAKE<br>CITY UT<br>84133-<br>1109 |  |  |  | 950 S<br>4TH<br>AVE | R<br>DAVIS<br>BUSINE<br>SS<br>CENTER<br>SUB |
|------------------------|----------------------------------------|--|------------------------------|-------------------------------------------|--|--|--|---------------------|---------------------------------------------|