

**AGENDA**  
**HAILEY PLANNING & ZONING COMMISSION**  
**Monday, May 11<sup>th</sup>, 2015**  
**Hailey City Hall**  
**5:30 p.m.**

**Call to Order**

**Public Comment** for items not on the agenda

**Consent Agenda**

**CA 1** Motion to approve minutes of April 13<sup>th</sup>, 2015

**CA 2** Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Taveesak Chanthasuthisombut, represented by Ken Collins, for Design Review of a 400 sq. ft. commercial addition to an existing historic structure and a new 200 sq. ft. accessory structure to be used for office and storage, located at Hailey Townsite, Lot 14, Block 52 (310 Main Street North), within the Business (B) and Townsite Overlay (TO) Zoning Districts.

**CA 3** Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Sandy & Mike Shepard, represented by Charles Maguire, for Design Review of a new 616 sq. ft. detached garage with an accessory 616 sq. ft. dwelling unit addition, to be located at Hailey Townsite, Lots 1, 2, & N 10' of 3, Block 70 (621 2nd Avenue North), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

**CA 4** Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Ivana Radlova, represented by Charles Maguire, for Design Review of a 654 sq. ft. addition to an existing single family home and a remodel to an existing two-story detached 2 car garage with a pre-existing accessory dwelling unit, located at Hailey Townsite, Lots 13-15, Block 12 (304 Elm Street East), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

**New Business and Public Hearings**

**NB 1** Consideration of a Design Review application by the City of Hailey for Design Review of a new 4,846 sq. ft. Biosolids handling facility, to be located at Tax Lot 5377 (4297 Glenbrook Drive) within the Light Industrial (LI) Zoning District.

**NB 2** Consideration of a Design Review application by The Advocates, represented by Dave Hennessy of the Hennessy Company, for Design Review of a 393 sq. ft. carport enclosure attached to an existing structure located at Hailey Croy Addition, Lots 4-7, Block 22 (114 Croy Street West) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

**NB 3** Consideration of a Design Review application by Lido Equities/John Alan Partners represented by TND Architects, LLC for Design Review application for an exterior renovation of an existing tennis and clubhouse building located at Parcel B1, Copper

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

Ranch Phase 5 (1970 Woodside Boulevard) within the Limited Business (LB) Zone District.

**NB 4** Consideration of a Design Review application by Robin and Dean Paschall represented by Bradley Construction for a new 3,000 square foot single family residence located at Lots 7,8 and 9 of Block 45, Hailey Townsite, (209 First Avenue North) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

**NB 5** Consideration of a Design Review application by Kristina Boatwright represented by Liberty Construction/Kolo, LLC for a 1,800 square foot addition to an existing residence and a new garage with a 600 square foot accessory dwelling unit located at the S. ½ of Lot 5, Lots 6 & 7, and the north ½ of Lot 8 of Block 61, Hailey Townsite, (525 N. Fourth Avenue) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

**NB 6** Consideration of a city initiated text amendment to Zoning Ordinance 532 to amend Article 6, Design Review Section 6.A.1, Design Review Applicability and 6.A.2, Authority of the Administrator. The amendment clarifies what types of projects are approved by the Commission, by Community Development staff, or are exempt from Design Review.

## **Old Business**

## **Commission Reports and Discussion**

## **Staff Reports and Discussion**

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.  
*(no documents)*

SR 2 Discussion of the next Planning and Zoning meeting: Monday, June 8<sup>th</sup>, 2015  
*(no documents)*

## **Adjourn**

**MINUTES OF THE  
HAILEY PLANNING & ZONING COMMISSION  
Monday, April 13<sup>th</sup>, 2015  
Hailey City Hall  
5:30 p.m.**

**Present:** Dan Smith, Regina Korby, Richard Pogue, Janet Fugate

**Absent:** Owen Scanlon

**Staff:** Lisa Horowitz, Kristine Hilt

***Call to Order***

**5:30:17 PM** Chair Fugate called the meeting to order.

***Public Comment for items not on the agenda***

**5:30:39 PM** Chair Fugate called for public comment. None was given.

***Consent Agenda***

CA 1      *Motion to approve minutes of March 9<sup>th</sup>, 2015*

CA 2      *Motion to approve minutes of March 23<sup>rd</sup>, 2015*

CA 3      *Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Christopher Roebuck for Design Review of an accessory dwelling unit addition to an existing accessory structure, to be located at Hailey Townsite, Lots ½ of 8, 9, and 10 of Block 52 (15 East Galena Street), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.*

CA 4      *Motion to approve Findings of Fact and Conclusions of Law for a Design Review modification of a single family residence designed by Charles Maguire on behalf of Rob Lonning and Elizabeth Jeffrey located at Hailey Townsite, Block 47, Lot 11A (201 3rd Avenue North), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.*

CA 5      *Motion to approve Findings of Fact and Conclusions of Law for a Design Review Exemption application submitted by the Powerhouse restaurant, represented by Bill Olson, for Design Review exemption of an existing commercial structure, located at Hailey Townsite, Lots 17-20 of Block 64 (502 Main Street North), within the Business (B) and Townsite Overlay (TO) Zoning Districts.*

**5:30:57 PM** Regina Korby motioned to approved the consent agenda. Dan Smith seconded and the motion passed unanimously.

***New Business and Public Hearings***

NB 1      *Consideration of a Design Review application by Taveesak Chanthasuthisombut, represented by Ken Collins, for Design Review of a 400 sq. ft. commercial addition to an existing historic structure and a new 200 sq. ft. accessory structure to be used for office and storage, located at Hailey Townsite, Lot 14, Block 52 (310 Main Street North), within the Business (B) and Townsite Overlay (TO) Zoning Districts.*

[5:31:49 PM](#) Lisa Horowitz introduced the project and summarized the proposed addition and changes to the existing site and building. Horowitz included information about site circulation, parking, snow storage, existing landscaping, and proposed character and architecture of the building.

[5:34:20 PM](#) Ken Collins, applicant representative and contractor, summarized the proposed changes including materials, colors, and style. Taveesak Chanthasuthisombut, owner, added that the style would be a Thai style in order to accentuate the restaurant but that the original style of the building would be matched. Ken Collins added that the Thai style flare would be accomplished by added just a fascia board to the front of traditional fascia boards.

[5:37:48 PM](#) Dan Smith inquired about the fascia, attachment method, overhang, and proposed style compared to existing style. Ken Collins explained the proposed changes to the Commissioners. Commissioners inquired about seating and the owner clarified that only a small number of tables would be added based on room available along Main Street.

[5:42:24 PM](#) Chair Fugate opened the meeting for public comment. Chip Maguire added that he supported the changes and the project. Tony Evans, Idaho Mt. Express, added that he welcomed the project and that the project would be a nice addition to Main Street. Lacey Hernandez, local business owner, commented that she supported the project and the addition's scale compared to the surrounding area.

[5:45:13 PM](#) Chair Fugate closed public comment. The Commission discussed the proposed changes and added that they supported the addition and new style.

[5:46:35 PM](#) **Dan Smith motioned to approve the Design Review application submitted by Dang's Thai Restaurant, represented by Ken Collins Construction, Inc. for Design Review of an addition to an existing commercial building, located at Hailey Townsite, Block 52, Lot 14 (310 North Main Street within the Business (B) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (j) are met. Richard Pogue seconded and the motion passed unanimously.**

*NB 2 Consideration of a Design Review application by Sandy & Mike Shepard, represented by Charles Maguire, for Design Review of a new 616 sq. ft. detached garage with an accessory 616 sq. ft. dwelling unit addition, to be located at Hailey Townsite, Lots 1, 2, & N 10' of 3, Block 70 (621 2nd Avenue North), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.*

[5:48:37 PM](#) Chip Maguire, applicant representative, stood and introduced the project to the Commissioners and included information about the existing home, the proposed detached garage, and the proposed Accessory Dwelling Unit. Chip covered details about location and orientation of proposed garage/ADU, window location, setbacks, parking, and ADU access. Kristine Hilt, staff, summarized the staff report for the Commissioners and notified them that the proposed project conformed to the Zoning Ordinance and the Design Review Guidelines for residential.

[5:56:52 PM](#) Richard Pogue inquired about the choice of colors for the garage as it was similar but matching. Chip Maguire notified the Commissioners that colors were chosen for design.

[5:58:03 PM](#) Lacey Hernandez, neighbors of the project, commented that she had concerns about closeness of proximity, size and mass, balcony location, circulation, parking, alley maintenance, and privacy. She added that the size of the proposed structure was excessive for the neighborhood.

[6:02:04 PM](#) Lisa Horowitz notified the Commissioners that the distance from the ADU to the property line was greater than mentioned in a concern from Lacey Hernandez. Chip Maguire stood and addressed some of Lacey Hernandez' concerns. He included information about parking, the

smaller footprint of the proposed garage compared to standard garage footprints, and south facing windows in regards to privacy for the homeowners and the neighbors.

[6:05:43 PM](#) Lisa Horowitz added information about the required size of ADUs in the Townsite Overlay and added that the ADU complied.

[6:07:07 PM](#) Mike Shepard, owner, added that the proposed size of the garage/ADU matched the surrounding two-story buildings in the neighborhood and added that development for neighboring lots was for higher density housing. He included examples of other buildings that matched in height and size. He added that compact development was a great way to develop downtown Hailey. Ryan Casey, neighbor, added his concerns about viewing corridors and traffic through the alley.

[6:09:53 PM](#) Chair Fugate closed public comment.

[6:10:08 PM](#) Richard Pogue inquired about maintenance of the snow removal. Kristine Hilt notified the Commissioners about the homeowner's responsibility to maintain access during winter months when snow accumulates. Dan Smith inquired about the sewer department's comments. Chip Maguire notified the Commission about plans to examine existing utilities and replace or relocate them if necessary. Discussion continued to include adjacency and location of surrounding neighbors and window placements for the ADU.

**[6:18:23 PM](#) Richard Pogue motioned to approve the application submitted by Sandy & Mike Shepard, represented by Charles Maguire, for Design Review of a new 616 sq. ft. detached garage with an accessory 616 sq. ft. dwelling unit addition, to be located at Hailey Townsite, Lots 1, 2, & N 10' of 3, Block 70 (621 2nd Avenue North), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (l) are met. Regina Korby seconded and the motion passed unanimously.**

*NB 3 Consideration of a Design Review application by Ivana Radlova, represented by Charles Maguire, for Design Review of a 654 sq. ft. addition to an existing single family home and a remodel to an existing two-story detached 2 car garage with a pre-existing accessory dwelling unit, located at Hailey Townsite, Lots 13-15, Block 12 (304 Elm Street East), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.*

[6:20:37 PM](#) Lisa Horowitz introduced the existing structure and the proposed upgrades, additions, and changes of the project.

[6:23:24 PM](#) Chip Maguire, owner representative and architect, stood and introduced the proposed changes. He included information about the existing garage, ADU, and home. Chip continued to include information about the site plan, floor plan, proposed elevations, proposed style and architecture, and conformance with Design Review guidelines. Chip Maguire then summarize the proposed changes to the existing garage/ADU. He included information about the existing non-conformance of the location of the garage and plan of relocating the garage to entirely on the private property. He also added details of the floor plan, elevations, materials, color, and access to the garage.

[6:36:37 PM](#) Commissioners inquired about roof pitch on the garage. Maguire noted that pitch would match existing house. Chair Fugate opened public comment. Larry Young, neighbor, commented that his garage was also accessed from the street and that he supported the project. Chair Fugate closed public comment.

[6:38:27 PM](#) Regina Korby commented that she supported the project but had concerns about the roof pitch. Staff commented that the main roof needed to honor the design guidelines but that flat roof

elements were allowed. Chair Fugate inquired about the encroaching existing fence. Lisa Horowitz commented that an encroachment permit would be required. Ivana Radlova, owner, commented that she would comply with City requirements for the non-conforming existing fence. Neil Bradshaw, partner of owner, commented that they had plans to improve and repair the fences in order to comply with guidelines and standards of the City. Chair Fugate noted that a condition of approval should be added to address the fence. Neil Bradshaw commented that there may be trees in the way of relocation the fence and that a set location should not be a condition. He added that improving and relocating the fence would be in conformance with the encroachment permit regulations.

[6:46:37 PM](#) Chip Maguire inquired about the why the fence was questioned during the design review process. Discussion continued between staff, Commissioners, owners, and the owner representative about the non-conforming fence, reclaiming City property, Design Review guidelines, encroachment permits, and existing location of all structures on the property.

[6:53:24 PM](#) **Janet Fugate motioned to approve the design review application submitted by Charles Maguire on behalf of Ivana Radlova for an expansion to single-family residential dwelling and reconstruction of a garage/accessory dwelling unit to be located on Lots 13-15, Block 12, of the Hailey Townsite, otherwise known as 304 Elm Street, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (i) are met. Richard Pogue seconded and the motion carried unanimously.**

[6:54:52 PM](#) Chair Fugate called a 5 minute recess.

[7:03:45 PM](#) Chair Fugate called the meeting back to order.

*NB 4 Consideration of a city initiated text amendment to Zoning Ordinance 532 to amend Article 6, Design Review Section 6.A.1, Design Review Applicability and 6.A.2, Authority of the Administrator. The amendment clarifies what types of projects are approved by the Commission, by Community Development staff, or are exempt from Design Review.*

[7:04:39 PM](#) Regina Korby recommended that the Commission tabled the workshop to the next meeting due to the absence of Owen Scanlon. Lisa Horowitz inquired about a special meeting. Commission discussed opportunities for meeting.

[7:08:45 PM](#) Lisa Horowitz introduced the current hurdles with the administrator authorities for design review. She introduced a chart to the Commissioners to help clarify projects and routes for each. Lisa then added information about processes for Design Review for other jurisdictions. Lisa added information about the options for having a Hearing Examiner to review smaller projects. Chair Fugate added that having five Commissioners was more effective for addressing various concerns with projects and that only having one individual would possibly limit review. Chair Fugate also noted that she supported having the Commission review all projects. Lisa Horowitz noted that the smaller projects did not necessarily need to go to a Planning & Zoning Commission. Discussion between staff and the Commission included minor vs major projects, adopting a matrix, clearly defining stipulations for design review applications, board vs. one examiner vs. staff, and parameters for moving forward anticipating growth in the City. Commissioners commented that in a small town, having review of projects was important.

[7:25:04 PM](#) Lisa Horowitz summarized the Commissioner's concerns and included the following: summarize the Design Review Guidelines, clearly clarify the requirements for bringing projects to the Commission, hearing examiner may not be the best vehicle for reviewing all aspects of a project.

[7:33:48 PM](#) Discussion between staff and the Commissioners continued about specific areas for

simplifying administrator authorities, guidelines, and the usefulness of a matrix. The topic was continued to the next P&Z Meeting, May 11<sup>th</sup>, 2015.

***Old Business***

***Commission Reports and Discussion***

***Staff Reports and Discussion***

SR 1        *Discussion of current building activity, upcoming projects, and zoning code changes.  
(no documents)*

SR 2        *Discussion of the next Planning and Zoning meeting: Monday, May 11<sup>th</sup>, 2015  
(no documents)*

[7:38:22 PM](#) Lisa Horowitz summarized the upcoming agenda and projects.

***Adjourn***

[7:41:46 PM](#) Regina Korby motioned to adjourn. Richard Pogue seconded and the motion carried.

**RETURN TO AGENDA**

**FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION**

On April 13, 2015 the Hailey Planning & Zoning Commission considered a Design Review application submitted by Ken Collins Construction on behalf of Dang's Thai Restaurant (Taveesak Chanthasuthisombut), owner for a 400 square foot addition to the front of an existing building located at 310 North Main Street (Lot 14, Bock 52, Hailey Townsite in the B and Townsite Overlay (TO) Zoning Districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

**Notice**

Notice was mailed to property owners within 300 feet on March 19, 2015 and published in the Mountain Express on March 27, 2015.

**Application**

The applicant is requesting a 400 square foot addition to the front of an existing building located at 310 North Main Street (Lot 14, Bock 52, Hailey Townsite). Modifications include the 400 square foot addition, exterior paint and fascia design, addition of a 200 square foot shed in the rear yard, addition of a door to the principal building to access the new shed, reconfigured parking off of the alley and relocated dumpster. Existing square footage is 1,053. Total square footage = 1,653. (Note that an existing shed under 120 square feet proposed to be removed is not counted in these calculations.)

**Procedural History**

The application was submitted on March 18, 2015 and certified complete on March 18, 2015. The application was added as an agenda item to the Planning and Zoning Commission for approval or denial of the project on April 13, 2015, in the Hailey City Council Chambers.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: None
				Life/Safety: No Concerns

				<b>Water and Sewer: No Concerns</b>
				<b>Building: All modifications must comply with building code requirements and City Standards.</b>
				<b>Streets: No Concerns</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	<b>8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</b>
			<i>Staff Comments</i>	<i>The existing permitted sign will be re-utilized and installed over the front entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	<b>See Section 9.4 for applicable code.</b>
			<i>Staff Comments</i>	<i>Applicant is proposing to reconfigure two (2) parking stalls off of the alley to the rear of the building. Gross square footage of both the principal and accessory structure is 1.653; therefore 2 stalls are required according to 9.4.2(A).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	<b>8B.4.1 General Standards</b> <ol style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ol>
			<i>Staff Comments</i>	<i>Outdoor lighting will comply with 8B.4.1; existing downcast can light is proposed to be reused.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Bulk Requirements	<b>Front, rear and side yard setback requirements: 0'</b>
			<i>Staff Comments</i>	<i>The proposed addition meets the setback requirements of the Zone District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (A) Required Street Improvements Required	<b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b>
			<i>Staff Comments</i>	<i>Applicant will not be modifying sidewalks or drainage at this time. The existing City sidewalk along Main Street meets City Standards.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (B) Required Water System Improvements	<b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b>
			<i>Staff Comments</i>	

## Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey

### 1. Site Planning: 6A.8 (A) 1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p><i>Staff Comments</i> The existing building and the two minor additions satisfy these requirements.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p> <p><i>Staff Comments</i> The applicant has requested removal of the existing crabapple tree adjacent to the patio area. The Hailey Tree Committee concurs with this request, stating that a fruit tree adjacent to a patio is not ideal due to dropping fruit; the space allotted to the tree is not ideal, and that the crabapple species is not a high value species. A variety of mature trees/shrubs exist to the rear and will not be modified. Seasonal pots are used on the Main Street façade. Room does not exist on the front of the property for additional landscaping.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> The applicant will retain the front entrance on Main Street, with handicap access via a ramp. Customer parking is most likely to be from the public street. Site circulation is straightforward and appears safe to all Departments.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>Staff Comments</i> The applicant is proposing to relocate the dumpster (and enclosure) to the south side of the lot. A dumpster enclosure or other screening has not been shown on the site plans, but the applicant has indicated a willingness to fence the dumpster. This will be made a condition of approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p><i>Staff Comments</i> Alley access is key for loading, unloading, trash receptacles and parking. The alley is retained in the site plan.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. <i>(NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</i> i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			<i>Staff Comments</i>	<i>The existing parking area to the rear of the building off the alley will be improved. The parking is not visible from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Staff Comments</i>	<i>Parking access is from the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			<i>Staff Comments</i>	<i>Snow storage will be kept on site near parking stalls and in adjacent landscape areas to comply with 6A.8 (A) 1i.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>Required snow storage will be verified and confirmed by planning staff.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			<i>Staff Comments</i>	<i>Minimum width will be confirmed at 10 feet.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Ample areas exist for the storage of snow in areas that do not impede critical site functions. Snow storage is shown on the site plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Proposed snow storage area is currently a mixture of grass and pavers</i>

<b>2. Building Design: 6A.8 (A) 2, items (a) thru (m)</b>							
<b>Compliant</b>			<b>Standards and Staff Comments</b>				
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code      City Standards and Staff Comments</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<table border="1"> <tr> <td>6A.8(A)2a</td> <td><b>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</b></td> </tr> <tr> <td><i>Staff Comments</i></td> <td><i>The roofline will match the existing gabled roof.</i></td> </tr> </table>	6A.8(A)2a	<b>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</b>	<i>Staff Comments</i>	<i>The roofline will match the existing gabled roof.</i>
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				<p>an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</p> <p>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</p> <p>iii) Double glazed windows.</p> <p>iv) Windows with Low Emissivity glazing.</p> <p>v) Earth berming against exterior walls</p> <p>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<i>The addition will have snow clips and gutters to protect pedestrians using the handicap ramp.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>
			<i>Staff Comments</i>	<i>The plans note that roof areas drain to adjacent landscape areas.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p>
			<i>Staff Comments</i>	

**3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p>
			<i>Staff Comments</i>	<i>Accessory structure shall be painted to match and ensure compatibility with principal building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3b	<p>b. Accessory structures shall be located at the rear of the property.</p>
			<i>Staff Comments</i>	<i>The proposed accessory structure is to the rear of the building, and will be incorporated as restaurant storage and freezer space.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	<p>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</p>
			<i>Staff</i>	<i>Fencing has not yet been submitted, but will match character and materials used on site.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>Additional fencing will be added on the property line by the alley and surrounding the dumpster. All existing landscaping will be maintained.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>Additional fence screening will be located at the rear of the principal building surrounding the relocated dumpster.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>Existing</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	

**4. Landscaping: 6A.8 (A) 4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines,

				ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4m	m. Retaining walls over 24” high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	

## Additional Design Review Requirements for Non-Residential Buildings Located within B, LB, or TN

### 1. Site Planning: 6A.8 (B) 1, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)1a	<p>a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.</p> <p><i>Staff Comments</i>                      Applicant proposes to retain the West entrance along Main Street as the main entrance. A sidewalk exists to allow access from Main Street.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)1b	<p>b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.</p> <p><i>Staff Comments</i>                      The front entry area will contain a patio, somewhat smaller than currently exists to accommodate the remodel. The existing sidewalk on Main Street is 6 feet in width.</p>

### 2. Building Design: 6A.8 (B) 2, items (a) thru (h)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2a	<p>a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.</p> <p><i>Staff Comments</i>                      The remodel will retain emphasis on the Main Street entrance, and de-emphasize the entrance from the rear alley parking.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2b	<p>b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image, which may often accompany large buildings.</p> <p><i>Staff Comments</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2d	<p>c. Building designs shall maximize the human scale of buildings and enhance the small town "sense of place". This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.</p> <p><i>Staff Comments</i>                      The modestly sized existing building is human-scaled, as is the addition.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2e	<p>d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.</p> <p><i>Staff Comments</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2f	<p>e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.</p>

			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2g	f. Fire department staging areas shall be incorporated into the design elements of the building.
			<i>Staff Comments</i>	<i>Staging areas are existing at rear of building along alley way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2h	g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: <ul style="list-style-type: none"> <li>i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses;</li> <li>ii. Stepping down the massing of the building along the site's edge; and</li> <li>iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns</li> </ul>
			<i>Staff Comments</i>	<i>The shed proposed to be added on the rear of the building adjacent (across the alley) to residential zoning 200 square feet, which is modest in scale.</i>

**3. Landscaping: 6A.8 (B) 3, item (a)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)3a	a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.
			<i>Staff Comments</i>	<i>Existing landscaping along the alley on the residential properties creates some screening, along with existing fencing. The existing building and parking were built prior to the adoption of these standards. Room does not exist on the subject property to create an 8-foot wide landscape buffer without losing all alley access. The existing site is considered nonconforming with respects to this standard.</i>

**Additional Design Review Requirements for all  
 Non-Residential Buildings located within the LI, SCI, TI or A zoning districts**

**1. Site Planning: 6A.8 (C) 1, items (a) thru (c)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(C)1a	a. Adjoining parcels shall be considered when planning building configuration, vehicular circulation and access, parking, and drainage.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(C)1b	b. Reciprocal vehicular ingress and egress, circulation, and parking arrangements are encouraged when the adjacent site(s) allows in order to facilitate the ease of vehicular movement between adjoining properties.

			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(C)1b	c. Vehicle circulation, parking and loading shall not block pedestrian access ways.
			<i>Staff Comments</i>	

**6A.6 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
  2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
1. Ensure compliance with applicable standards and guidelines.
  2. Require conformity to approved plans and specifications.
  3. Require security for compliance with the terms of the approval.
  4. Minimize adverse impact on other development.
  5. Control the sequence, timing and duration of development.
  6. Assure that development and landscaping are maintained properly.
  7. Require more restrictive standards than those generally found in the Zoning Ordinance.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
  2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

## CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

## DECISION

The design review application submitted by Dang's Thai Restaurant, represented by Ken Collins Construction, Inc. for Design Review of an addition to an existing commercial building, located at Hailey Townsite, Block 52, Lot 14 (310 North Main Street within the Business (B) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, and is hereby approved provided conditions (a) through (k) are met.

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) The existing crabapple tree is permitted to be removed.

- i) A dumpster enclosure that matches the existing fencing and/or building shall be submitted for staff approval prior to issuance of a building permit.
- j) On-site grading shall be shown on the building permit to confirm that grades slope away from the building.
- k) Snow clips or other snow protection shall be added over the rear door and at the front entry ramp.

A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Janet Fugate, Chair

Attest:

\_\_\_\_\_  
Kristine Hilt, Community Development Coordinator

**RETURN TO AGENDA**

**FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION**

On March 9, 2015 the Hailey Planning & Zoning Commission considered a Design Review application submitted by Christopher Roebuck for an Accessory Dwelling Unit above an existing accessory structure, currently located at 15 East Galena (Hailey Townsite, Lots ½ 8, 9, 10 of Block 52), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

**FINDINGS OF FACT**

**Notice**

Notice for the public hearing was published in the Idaho Mountain Express on March 25, 2015 and mailed to property owners within 300 feet on March 19, 2015.

**Application**

Applicant is proposing a new detached 616 square foot two car garage with a 616 square foot Accessory Dwelling Unit above, comprising a total of 1,232 square feet on Lots 1, 2, N. 10' of 3 of Block 70 (621 2<sup>nd</sup> Avenue North) of the Hailey Townsite. The proposed ADU is located at the rear of the property off of the alley and includes a new exterior balcony and staircase for access. The existing structure and the proposed addition meet all bulk requirements for the Townsite Overlay.

**Procedural History**

The application was submitted on March 16, 2015 and certified complete on March 16, 2015. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on April 13, 2015 in the Hailey City Council Chambers.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: None
				Life/Safety: None
				Water and Sewer: Sewer service comes in from the alley to existing home. This new ADU will potentially be built on the top of this existing sewer service. This will be a State Plumbing call in if the service needs to be moved or not but I would recommend at the minimum the sewer service pipe be replaced before building the ADU on top of. Some of this piping in old Hailey is AC pipe which is old and brittle. It will be ok for the ADU to connect into existing sewer service, they won't have to make new separate connection onto mainline. -RP
				Building: None
				Streets: None

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>8.2 Signs</b>	<b>8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</b>
			<i>Staff Comments</i>	<i>Signs are not permitted in the General Residential Zoning district.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>9.4 On-site Parking Req.</b>	<b>See Section 9.4 for applicable code.</b>
			<i>Staff Comments</i>	<i>According to §9.4.1, one space is required as the accessory dwelling unit totals 616 square feet. Two spaces are provided within the garage and one additional space is provided adjacent to the garage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>8B.4.1 Outdoor Lighting Standards</b>	<p><b>8B.4.1 General Standards</b></p> <ul style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent:                             <ul style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ul> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ul>
			<i>Staff Comments</i>	<i>Proposed exterior lighting is an 11-Inch wide outdoor wall light with a 9.5-watt LED bulb. Light is downcast and bulb is shielded.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Bulk Requirements</b>	<p><b>Townsite Overlay (TO) General Residential (GR)</b>  <b>Lot Coverage: 30%</b>  <b>Setbacks: 15% for sides &amp; 6' from alley</b>  <b>Building Height: 30'</b></p>
			<i>Staff Comments</i>	<i>Lot area is 7,193 square feet. Current lot coverage is 16.8%. Proposed lot coverage is 1,828 square feet or 25%. Setback from alley right of way is 6', setback from North lot line is 9' and South lot line is 10'. Proposed building height is 27'2".</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.7 (A) Required Street Improvements Required</b>	<b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b>
			<i>Staff Comments</i>	<i>According to §6A.7(A).1(b): Sidewalk and drainage improvements may be waived for any remodel or addition to Single Family Dwelling projects within the Townsite Overlay District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.7 (B) Required Water System Improvements</b>	<b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b>

			<b>Staff Comments</b>	Water department will confirm depth and conduct an inspection on water service line.
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Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3	<b>1) Site Planning</b> <b>Guideline:</b> The pattern created by the Old Hailey town grid should be respected in all site planning decisions. <i>Staff Comments:</i> Grid pattern orientation remains consistent with Old Hailey and alley access to garage supports location and site characteristics. Building walls are parallel to lot lines.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline:</b> Site planning for new development and redevelopment shall address the following: <ul style="list-style-type: none"> <li>• scale and massing of new buildings consistent with the surrounding neighborhood;</li> <li>• building orientation that respects the established grid pattern of Old Hailey;</li> <li>• clearly visible front entrances;</li> <li>• use of alleys as the preferred access for secondary uses and automobile access;</li> <li>• adequate storage for recreational vehicles;</li> <li>• yards and open spaces;</li> <li>• solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines;</li> <li>• snow storage appropriate for the property;</li> <li>• underground utilities for new dwelling units.</li> </ul> <i>Staff Comments:</i> The scale and massing fit with the surrounding neighborhood. Proposed utilities will be underground. Scale of garage allows for passive solar to reach property and southern yard area. Location of garage allows for vehicular access to lot from alley. Proposed snow storage is 139 square feet, 9'x15'.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline:</b> The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines. <i>Staff Comments:</i> Dimensions of garage allow for a long axis to run on the South for passive solar.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)2	<b>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</b> <b>Guideline:</b> The perceived mass of larger buildings shall be diminished by the design. <i>Staff Comments:</i> Siding breaks have been added at the floor line, a cantilever deck off the West side of the garage, and an exterior stair case on the North side all serve to break up the scale and mass of the building. Cedar siding in the gables and an upper band also diminish the mass.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3	<b>3. Architectural Character</b>
			6A.9(C)3a	<b>a. General</b> <b>Guideline:</b> New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built. <i>Staff Comments:</i> The garage has been designed to match the architecture and character of the principal building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3b	<b>b. Building Orientation</b> <b>Guideline:</b> The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.

			<b>Staff Comments</b>	<i>The cantilever balcony with an attractive sliding glass door exists above the garage door which is visible from the alley. The entrance to the staircase is also visible from the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</b>
			<b>Staff Comments</b>	<i>Front and rear wall planes align with the existing grid pattern and match the principal building's orientation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9(C)3c</b>	<b>c. Building Form</b>
				<b>Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</b>
			<b>Staff Comments</b>	<i>The garage has been designed to not have a visual impact from the street, 2<sup>nd</sup> Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9(C)3d</b>	<b>d. Roof Form</b>
				<b>Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.</b>
			<b>Staff Comments</b>	<i>Proposed roof line matches existing rear section of principal building allowing for entrance to be clearly defined from the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9(C)3d</b>	<b>Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.</b> <ul style="list-style-type: none"> <li>• Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas.</li> <li>• Designs should avoid locating drip lines over key pedestrian routes.</li> <li>• Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.</li> </ul>
			<b>Staff Comments</b>	<i>Roof line has a slope of 8:12 which remains consistent with Old Hailey guidelines and drip lines and snow shed areas exist to prevent snow shedding and melting onto pedestrian walkways and adjacent properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9(C)3d</b>	<b>Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</b>
			<b>Staff Comments</b>	<i>Proposed roof form, pitch, and materials are similar to neighborhood and match existing principal building for uniformity.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9(C)3d</b>	<b>Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</b>
			<b>Staff Comments</b>	<i>Roof pitch is 8:12 and is compatible with surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9(C)3e</b>	<b>e. Wall Planes</b>
				<b>Guideline: Primary wall planes should be parallel to the front lot line.</b>
			<b>Staff Comments</b>	<i>All wall planes are proposed to be parallel to all lot lines.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9(C)3e</b>	<b>Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.</b>
			<b>Staff Comments</b>	<i>Proposed garage is scaled appropriately to surrounding neighborhood and measures 22x28 with a footprint of 616 square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9(C)3e</b>	<b>Guideline: The use of pop-outs to break up longer wall planes is encouraged.</b>
			<b>Staff Comments</b>	<i>A cantilevered balcony is used to break up the front wall plane along the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9(C)3f</b>	<b>f. Windows</b>
				<b>Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.</b>
			<b>Staff Comments</b>	<i>Windows facing alley are appropriate in size and match existing principal building and neighborhood themes and architecture.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9(C)3f</b>	<b>Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.</b>
			<b>Staff Comments</b>	<i>Proposed windows encourage privacy from principal building, North neighbors and South neighbors. The majority of natural light enters from the alley side of the garage/ADU.</i>
			<b>6A.9(C)3g</b>	<b>g. Decks and Balconies</b>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline: Decks and balconies shall be in scale with the building and the neighborhood.</b>
			<b>Staff Comments</b>	<i>Balcony is appropriately sized at 53.49 square feet which is 8.6% of the ADU conditioned space.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3g	<b>Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.</b>
			<b>Staff Comments</b>	<i>Balcony faces the alley and gives both neighbors and occupants privacy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3h	<b>h. Building Materials and Finishes</b>
				<b>Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.</b>
			<b>Staff Comments</b>	<i>A break in the siding at floor level of the ADU will break up the wall mass. Colors are to match the existing principal building but will be flipped to add character to the lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3h	<b>Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</b>
			<b>Staff Comments</b>	<i>Dark green will serve as the primary color of the garage/ADU and a lighter taupe color will serve as the trim color. The taupe will serve as a siding break along the middle of the garage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3i	<b>i. Ornamentation and Architectural Detailing</b>
				<b>Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.</b>
			<b>Staff Comments</b>	<i>The balcony, window placement, coloring, materials, and cedar shake siding all contribute to architecture details that differentiate the front wall plane of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3i	<b>Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</b>
			<b>Staff Comments</b>	<i>Cedar shake siding in the gables, a cantilevered balcony, and siding/trim coloring all remain and encourage the historic nature of Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3i	<b>Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</b>
			<b>Staff Comments</b>	<i>Garage/ADU design contributes and conforms to the scale and pattern of the neighborhood. Scale, location, and architecture match surrounding neighborhoods.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)4	<b>4. Circulation and Parking</b>
				<b>Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.</b>
			<b>Staff Comments</b>	<i>Principal building vehicular access shall access from the alley but separately from the additional parking space and snow storage. Pedestrian access to the ADU is kept separate and clear of the vehicular access to the garage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)4	<b>Guideline: The visual impacts of on-site parking visible from the street shall be minimized.</b>
			<b>Staff Comments</b>	<i>On-site parking is kept on the North side of the lot away from street visibility and visual impact from the alley is kept minimal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)4	<b>Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.</b>
			<b>Staff Comments</b>	<i>Vehicular access is from the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)4	<b>Guideline: Detached garages accessed from alleys are strongly encouraged.</b>
			<b>Staff Comments</b>	<i>Vehicular access is from the alley.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)4	<b>Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.</b>
			<b>Staff Comments</b>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)4	<b>Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.</b>

			<b>Staff Comments</b>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)4	<b>Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.</b>
			<b>Staff Comments</b>	<i>Space remains in the rear of the lot for additional recreational vehicles.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)5	<b>5. Alleys</b>
				<b>Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.</b>
			<b>Staff Comments</b>	<i>Alley is retained.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)5	<b>Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.</b>
			<b>Staff Comments</b>	<i>Alley is used for ADU/garage access, snow storage, underground utilities, and accessory building location.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)5	<b>Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.</b>
			<b>Staff Comments</b>	<i>Staff will notify property owners of requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)5	<b>Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.</b>
			<b>Staff Comments</b>	<i>Landscaping is existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)6	<b>6. Accessory Structures</b>
				<b>Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.</b>
			<b>Staff Comments</b>	<i>Accessory structure matches the principal building in function, location, and size is appropriate. Footprint of existing building is 1,212 square feet and proposed building has a footprint of 616 square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)6	<b>Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.</b>
			<b>Staff Comments</b>	<i>Proposed location of the ADU is at the rear of the lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)7	<b>7. Snow Storage</b>
				<b>Guideline: All projects shall be required to provide 25% snow storage on the site.</b>
			<b>Staff Comments</b>	<i>Parking and pedestrian circulation total 549 square feet. The requirement for snow storage is 25% which is equivalent to 137.25 sq. ft. The applicant has provided 137.25 square feet along the north side of the garage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)7	<b>Guideline: A snow storage plan shall be developed for every project showing:</b> <ul style="list-style-type: none"> <li>• Where snow is stored, key pedestrian routes and clear vision triangles.</li> <li>• Consideration given to the impacts on adjacent properties when planning snow storage areas.</li> </ul>
			<b>Staff Comments</b>	<i>Proposed snow storage area of 139 square feet is along the north side of the accessory structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)8	<b>8. Existing Mature Trees and Landscaping</b>
				<b>Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.</b>
			<b>Staff Comments</b>	<i>Existing landscaping is shown on the site plan and remains intact.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)8	Guideline: Noxious weeds shall be controlled according to State Law.
			Staff Comments	Homeowners will be advised by City staff.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)9	9. Fences and Walls
				Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			Staff Comments	Fencing is pre-existing and meets City standards.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)9	Guideline: Retaining walls shall be in scale to the streetscape.
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)10	10. Historic Structures
				General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> <li>• The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance.</li> <li>• The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.</li> </ul>
			Staff Comments	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)10	Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines: <ul style="list-style-type: none"> <li>• The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure.</li> <li>• New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure:                         <ul style="list-style-type: none"> <li>~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade;</li> <li>~ Exterior materials that are compatible with the original building materials should be selected;</li> <li>~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building;</li> <li>~ The visual impact of the addition should be minimized from the street;</li> <li>~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building;</li> <li>~ The roof form and slope of the roof on the addition should be in character with the original building;</li> <li>~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.</li> </ul> </li> </ul>
			Staff Comments	

**6A.6 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.

**RETURN TO AGENDA**

**FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION**

On March 9, 2015 the Hailey Planning & Zoning Commission considered a Design Review application submitted by Charles Maguire, representative, Ivana Radlova, owner for an 829 square foot addition to an existing Old Hailey House, and a 161 square foot addition to an existing garage/accessory dwelling unit., currently located at Lots 13-15 , Block 12, Hailey Townsite (304 Elm Street), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

**Notice**

Notice for the public hearing was published in the Idaho Mountain Express on March 27, 2015 and mailed to property owners within 300 feet on March 19, 2015.

**Application**

The applicant is proposing an 829 square foot addition to an existing Old Hailey House, and a 161 square foot addition to an existing garage/accessory dwelling unit. Both were constructed in 1925, and have been remodeled through the years. The applicants remodel summary attached to this staff report explains the elements of the remodel in detail: additions of master bedroom, bathroom, entryway, expanded kitchen and dining on the ground floor and raising the roof on the second floor to allow for three bedrooms, two baths and a sitting area. Regarding the garage, it will be rebuilt to be entirely within the private property, and the north plane will be extended to create a more standard garage width of 24'. The garage is nonconforming in terms of setbacks from Elm Street. The reconstruction and addition to the garage will be conforming.

**Procedural History**

The Design Review application was submitted on March 18, 2015 and certified complete on the same date. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on April 13, 2015, at 5:30 pm in the Council Chambers.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Department Comments</b>	<b>Engineering:</b> <i>No comments</i>
				<b>Life/Safety:</b> <i>No comment</i>
				<b>Water and Sewer:</b> <i>No comment</i>
				<b>Building:</b> <i>No comment</i>

				<b>Streets:</b> <i>No comment</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>8.2 Signs</b>	<b>8.2 Signs:</b> The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<b>Staff Comments</b>	<i>Signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>9.4 On-site Parking Req.</b>	<b>See Section 9.4 for applicable code.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li>• <i>two spaces per dwelling are required with a maximum of 6, and 1 space for ADU's under 1,000 square feet.</i></li> <li>• <i>Home will have 2-car garage and the following:</i> <ul style="list-style-type: none"> <li>▪ <i>One additional space on gravel pad on alley side in the southeast corner</i></li> </ul> </li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>8B.4.1 Outdoor Lighting Standards</b>	<b>8B.4.1 General Standards</b> <ol style="list-style-type: none"> <li>a) All exterior lighting shall be designed, located and lamped in order to prevent:           <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> </li> <li>b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c) Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d) Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e) Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ol>
			<b>Staff Comments</b>	<i>Plans show fully downcast lighting on the exterior of the dwelling</i> <ul style="list-style-type: none"> <li>- <i>Applicant will install downcast, outdoor lighting fixtures</i></li> <li>- <i>Lights will be: Bayport Collection Dark Sky Outdoor Wall Light</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Bulk Requirements</b>	<b>See 4.13.6, Zoning Ordinance</b>
			<b>Staff Comments</b>	<i>Zoning District: General Residential in the Townsite Overlay. Townsite Overlay bulk requirements apply.</i> <ul style="list-style-type: none"> <li>- <i>Max Height: 30'. Proposed height: 28'-8"</i></li> <li>- <i>Residence Street side Setbacks: 12' from the street.</i></li> <li>- <i>Setback from property lines abutting other private property</i> <ul style="list-style-type: none"> <li>o <i>Base Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required</i> <ul style="list-style-type: none"> <li>▪ <i>Home is set back 12 feet on the two street sides</i></li> <li>▪ <i>Home is set back 22' on south side. Required setback is 11'-3" according to the 75' wide lot (120 X15%=11-3")</i></li> </ul> </li> </ul> </li> <li>- <i>Alley setback is required at 6'. Garage is existing nonconforming at 1'-2" per Section 4.13.7</i></li> <li>- <i>Garage streetside setback is required to be 20'. Garage is nonconforming and encroaches over the property line into the Elm Street right of way approx.. 1'-0". Expansion is proposed on this side, with all</i></li> </ul>

				<p><i>expansion</i></p> <ul style="list-style-type: none"> <li>- <i>on private property. Section 4.13.7 permits expansion “within the plane of the furthest intrusion”. Staff recommends that this be at the property line, as shown on the drawings.</i> <ul style="list-style-type: none"> <li>o <i>Setback based on height of structure</i> <ul style="list-style-type: none"> <li>▪ <i>4.13.6.d.4.b:</i> <ul style="list-style-type: none"> <li>• <b>Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one (1) foot for every two and a half (2.5) feet of wall height (see Diagram 1 and Table 2), but not less than the base setback noted in subsection (a) above, regardless of underlying zoning.</b></li> <li>▪ <i>Highest vertical wall height, measured from record grade, facing adjacent property is existing at 28’-8”</i></li> <li>▪ <i>Required Setback: 28’-6” / 2.5’ = 11’-6”. Setback is 22’</i></li> </ul> </li> </ul> </li> </ul> </li> <li>- <i>Maximum Lot coverage: 30% in GR for a two-story dwelling with a garage</i> <ul style="list-style-type: none"> <li>o <i>Lot is 9002 square feet, therefore 2,700.6 sf is allowed for lot coverage</i></li> <li>o <i>Proposed lot coverage is 2667, or 29.62% of total lot coverage.</i></li> </ul> </li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	- <i>An 10’ wide sidewalk exists on Elm Street, which is a primary school route. The project may be waived from adding a sidewalk on Third Avenue, per Section 6A.7.A. Staff recommends this waiver, which is a condition of approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	- <i>The Applicant has been advised that all water lines coming from the main to the meter vault must be buried more than six feet deep.</i>

## Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO): 6A.9

### 1. Site Planning: 6A.9.C.1

<b>Compliant</b>	<b>Standards and Staff Comments</b>
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Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<b>The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li><i>The proposed addition and reconstruction preserve the Old Hailey Townsite lot configuration, although the house accesses from the long side of the corner lot.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<b>Site planning for new development and redevelopment shall address the following:</b> <ul style="list-style-type: none"> <li><b>scale and massing of new buildings consistent with the surrounding neighborhood;</b></li> <li><b>building orientation that respects the established grid pattern of Old Hailey;</b></li> <li><b>clearly visible front entrances;</b></li> <li><b>use of alleys as the preferred access for secondary uses and automobile access;</b></li> <li><b>adequate storage for recreational vehicles;</b></li> <li><b>yards and open spaces;</b></li> <li><b>solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines;</b></li> <li><b>snow storage appropriate for the property;</b></li> <li><b>underground utilities for new dwelling units.</b></li> </ul>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li><i>The proposed site plan and development is consistent with the scale and massing in the neighborhood.</i></li> <li><i>The applicant proposes to retain the garage access off of Elm Street.</i></li> <li><i>All utilities will be located underground as shown on the site plan.</i></li> <li><i>All utilities are accessed from the alley.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<b>The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li><i>An energy summary is provided on the cover sheet of the plan set.</i></li> </ul>

**2. Bulk Requirements (Mass and Scale, Height, Setbacks): 6A.9.C.2**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.2	<b>The perceived mass of larger buildings shall be diminished by the design.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li><i>The proposed structures will be consistent in size and mass to the surrounding structures and with the surrounding neighborhood.</i></li> <li><i>Design effort was made to lower the mass by adding various roof forms and add to the human scale.</i></li> <li><i>Siding was changed in elevation changes to avoid blank walls.</i></li> <li><i>Garage is subordinate to the main house.</i></li> </ul>

**3. Architectural Character: 6A.9.C.3**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.a	<b>General: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</b>

			<b>Staff Comments</b>	<i>Both buildings are existing; and are reflective of historic design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9.C.3.b</b>	<b>Building Orientation: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>The front entrance has access to Elm Street, and is clearly visible from the street.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9.C.3.b</b>	<b>Building Orientation: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>Dwelling is situated squarely on the site, which is consistent with Old Hailey.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9.C.3.c</b>	<b>Building Form: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>Porch roofs and gabled roofs break up the mass of the traditional gable. This is consistent with styles and forms found in Old Hailey.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9.C.3.d</b>	<b>Roof Form: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>Porch roofs and gabled roofs break up the mass of the traditional gable. This is consistent with styles and forms found in Old Hailey</i></li> <li><i>Roof pitch on the main house is 8:12.</i></li> <li><i>A lower roof wraps around 3 sides of the reconstructed garage.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9.C.3.d</b>	<b>Roof Form: Roof pitch and style shall be designed to meet snow storage needs for the site.</b>
				<ul style="list-style-type: none"> <li><b>Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas.</b></li> <li><b>Designs should avoid locating drip lines over key pedestrian routes.</b></li> <li><b>Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.</b></li> </ul>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>Roof materials: standing seam metal.</i></li> <li><i>Roof Pitch: 8/12 on gables</i></li> <li><i>All drip lines are away from pedestrian areas</i></li> <li><i>All snow will be retained on the roof or shed onto the property. No snow will shed onto the adjoining property or the City rights of way.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9.C.3.d</b>	<b>Roof Form: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>The following forms are currently found in the neighborhood:</i> <ul style="list-style-type: none"> <li><i>Architectural asphalt shingles and standing seam metal</i></li> <li><i>gable end roofs</i></li> <li><i>Shed dormers.</i></li> </ul> </li> <li><i>The application is consistent with the neighborhood in regards to roof forms and materials</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9.C.3.d</b>	<b>Roof Form: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>Roof Pitch</i> <ul style="list-style-type: none"> <li><i>8/12 for gables</i></li> <li><i>Flat roof porch elements</i></li> </ul> </li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.9.C.3.e</b>	<b>Wall Planes: Primary wall planes should be parallel to the front lot line.</b>
			<b>Staff</b>	<ul style="list-style-type: none"> <li><i>Primary wall is shown parallel to the front property line.</i></li> </ul>

			<i>Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<b>Wall Planes: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>Wall planes contain porch roofs and in some places are stepped in scale, keeping the mass of the primary building down. This is respectful and consistent with the neighborhood.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<b>Wall Planes: The use of pop-outs to break up longer wall planes is encouraged.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>Wall plane lengths are modest in size.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<b>Windows: Windows facing streets are encouraged to be of a traditional size, scale and proportion.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>Windows are more narrow than they are wide, consistent with traditional Old Hailey windows.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<b>Windows: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>The building is set back in excess of required setbacks from adjacent property lines.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.g	<b>Decks and Balconies: Decks and balconies shall be in scale with the building and the neighborhood.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>An existing deck on the Third Avenue side will be expanded, but is in scale to the building and neighborhood.</li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.g	<b>Decks and Balconies: Decks and balconies should be designed with the privacy of neighbors in mind when possible.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>The deck is far from adjacent properties</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	<b>Building Materials and Finishes: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.</b> <b>Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>Wall Materials: The lower level is proposed as 4" lap siding and the upper level as board &amp; batt. Wrapping the lower roof wrap around the entire house reduces the scale of the second story. The change in siding will also contribute to this. Treatment is similar for the garage/ADU structure.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	<b>Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</b>
			<i>Staff Comments</i>	See above
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	<b>Ornamentation and Architectural Detailing: Architectural detailing shall be incorporated into the front wall plane of buildings.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>A variety of colors, window treatments and covered elements are proposed</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	<b>Ornamentation and Architectural Detailing: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>A front entry stoop is planned. Windows have colored trim.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	<b>Ornamentation and Architectural Detailing: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>See above notes.</li> </ul>

**4. Circulation and Parking: 6A.9.C.4**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline:</b> Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>Adequate parking has been provided and pedestrian access off the adjacent streets is provided and does not interfere with traffic from the streets.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline:</b> The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>The existing two car garage has street-side access, but is visually acceptable due to colors and design.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline:</b> As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>Existing nonconforming streetside access is permitted to remain.</li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	<b>Guideline:</b> Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>Detached garage is existing and nonconforming.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline:</b> When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>Garage will be moved back to within the property. Door design is subordinate.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline:</b> When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>No parking areas exists in front of the garage. Parking for the ADU is off of the alley.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline:</b> Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>No RV parking is shown, and would not fit well on this lot.</li> </ul>
<b>5. Alleys: 6A.9.C.5</b>				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline:</b> Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			<i>Staff Comments</i>	Alley is retained and provides access to the ADU parking.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline:</b> Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>All utilities come off the alley and are underground to the dwelling.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline:</b> Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>The alley is currently graveled and no improvements are planned.</li> <li>Noxious weeds will be removed before construction commences.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline:</b> Landscaping and other design elements adjacent to alleys should be kept

				simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			<i>Staff Comments</i>	<i>Little landscaping is on the alley side.</i>

**6. Accessory Structures: 6A.9.C.6**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.  <i>Staff Comments</i> <i>The reconstructed Garage is smaller than the home, and appears subordinate.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.  <i>Staff Comments</i> <i>The garage/ADU building is located at the rear of the lot.</i>

**7. Snow Storage: 6A.9.C.7**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: All projects shall be required to provide 25% snow storage on the site.  <i>Staff Comments</i> <ul style="list-style-type: none"> <li>- Parking and pedestrian circulation surfaces comprise 2,019 square feet.</li> <li>- According to 6A9.C.7, 505 square feet is required (2,019 X 25%)</li> <li>- 770 square feet are shown on the plans for snow storage in several on-site locations.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> <li>• Where snow is stored, key pedestrian routes and clear vision triangles.</li> <li>• Consideration given to the impacts on adjacent properties when planning snow storage areas.</li> </ul> <i>Staff Comments</i> <ul style="list-style-type: none"> <li>• Snow storage areas do not restrict pedestrian access. Pedestrian access must be unrestricted and visible from the adjacent streets.</li> </ul>

**8. Existing Mature Trees and Landscaping: 6A.9.C.8**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.  <i>Staff Comments</i> <i>The lot contains a variety of existing mature landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.  <i>Staff Comments</i> <i>The slope of the lot was used in landscaping to incorporate planters and a terraced garden effect.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	Guideline: Noxious weeds shall be controlled according to State Law.  <i>Staff</i> <i>Noxious weeds are present on the site. Developer plans to scrap the two lots bare</i>

			<i>Comments</i>	<i>before beginning construction.</i>
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**9. Fences and Walls: 6A.9.C.9**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.9	<p><b>Guideline:</b> Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.</p> <p><i>Staff Comments</i>  <i>The existing fence is proposed to be retained, and must either be moved back to the property line, or an encroachment permit applied for and approved by Public Works.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p><b>Guideline:</b> Retaining walls shall be in scale to the streetscape.</p> <p><i>Staff Comments</i></p>

**11. Historic Structures: 6A.9.C.11 (NOTE: Applicable only to structures built prior to 1940)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.10	<p><b>General Guidelines:</b> Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</p> <ul style="list-style-type: none"> <li>• The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance.</li> <li>• The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.</li> </ul> <p><i>Staff Comments</i>  <i>The alterations are congruous; and represent good adaptive re-use within townsite overlay.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p><b>Specific Guidelines.</b> Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> <li>• The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure.</li> <li>• New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure:               <ul style="list-style-type: none"> <li>○ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade;</li> <li>○ Exterior materials that are compatible with the original building materials should be selected;</li> <li>○ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building;</li> <li>○ The visual impact of the addition should be minimized from the street;</li> <li>○ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building;</li> <li>○ The roof form and slope of the roof on the addition should be in character with the original building;</li> </ul> </li> </ul>

				The relationship of wall planes to the street and to interior lots should be preserved with new additions.
			<i>Staff Comments</i>	<i>The structures retain the integrity of the original buildings, exterior materials are compatible, size and scale are appropriate, roof forms are in character.</i>

**6A.6 Criteria.**

**A. The Commission or Hearing Examiner shall determine the following before approval is given:**

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

**B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Ordinance.

**C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.
- 3.

## CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

## DECISION

The design review application submitted by Charles Maguire on behalf of Ivana Radlova for an expansion to single-family residential dwelling and reconstruction of a garage/accessory dwelling unit to be located on Lots 13-15, Block 12, of the Hailey Townsite, otherwise known as 304 Elm Street, does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, and is hereby approved provided conditions (a) through (i) are met.

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
  - c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
  - d) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
  - e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
  - f) The requirement for a sidewalk along Third Avenue is hereby waived as allowed for in Title 17, Article 6A.7.b of the Hailey Municipal Code.
  - g) The garage/ADU building is an existing nonconforming structure. Expansion as approved herein in permitted pursuant to Title 17, Section 4.13.7.
  - h) This Design Review approval is for plans presented at the public hearing on April 13, 2015 before the Planning and Zoning Commission. The Planning & Zoning Administrator has the authority to

approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

- i) The existing fence located on the north and west sides of the property shall be relocated in order to vacate City property or the applicant shall file for an encroachment permit per recommendation of the Public Works Department.

**C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

**RETURN TO AGENDA**

**DESIGN REVIEW  
STAFF REPORT**

**TO:** Hailey Planning and Zoning Commission

**FROM:** Kristine Hilt, Community Development Coordinator

**RE:** Design Review Application submitted by City of Hailey for Design Review of a new Bio Solids Handling Facility to be located at Tax Lot 5377 (4297 Glenbrook Drive), within the Light Industrial (LI) Zoning District.

**HEARING:** May 11<sup>th</sup>, 2015

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**Applicant:** City of Hailey Public Works Department

**Request:** Design Review is requested for a new commercial structure, located in the Light Industrial Zoning District

**Location:** Tax Lot 5377 (4297 Glenbrook Drive)

**Zoning:** Light Industrial (LI) Zoning District

**Notice**

Notice for the public hearing was published in the Idaho Mountain Express on April 22<sup>nd</sup>, 2015 and mailed to property owners within 300 feet on April 22<sup>nd</sup>, 2015.

**Application**

Design Review of a new 4,846 sq. ft. Biosolids handling facility that houses pumps, blowers, dewatering equipment, electrical room, and piping. There will be two (2) separate digester tanks located in the rear of the solids processing building that will be housed and covered in one (1) concrete tank that measures 3,234 square feet. There is a proposed awning on the north side of the solids processing building that will protect and cover the area designed for receiving biosolid cakes for transportation out of the facility. HVAC equipment will be installed and compliant with current code. Demolition of the current dome facility is tentatively planned for January or February of 2016, only after construction of the new facility is complete. All other components of the existing site will remain intact.

**Procedural History**

The application was submitted on April 16, 2015 and certified complete on April 16, 2015. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on May 11th, 2015 in the Hailey City Council Chambers.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: No Comments
				Life/Safety: No Comments
				Water and Sewer: No Comments
				Building: No Comments
				Streets: No Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			Staff Comments	Warehouse and storage facilities: 1 space per 1,000 sq. ft. of floor area. 5 spaces are required and provided.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	<b>8B.4.1 General Standards</b> <ol style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ol>
			Staff Comments	Six dark sky friendly LED pole lights on top of the digester basins will be off unless of emergencies which is the case with the existing pole lights. Five LED exterior wall pack 3100 lumen dark sky friendly lights are proposed around the building over doors and walkways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	(Insert sections from applicable zoning district)
			Staff Comments	Required Lot Coverage: 75% Current: 11.6% Proposed: 14.1% Required Setbacks: 10' Rear– Setback requirements are met. Proposed rear setback is 30' Maximum Building Height: 35'- Proposed building height is 19'1"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.

			<b>Staff Comments</b>	<i>Sidewalks exist along Glenbrook Drive in front of the administration building. Tax Lot 5377 does not have direct access to a City Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>6A.7 (B) Required Water System Improvements</b>	<b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b>
			<b>Staff Comments</b>	

**Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey**

**1. Site Planning: 6A.8 (A) 1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p><i>Staff Comments</i> Orientation matches existing orientation of buildings on site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p> <p><i>Staff Comments</i> Landscaping is existing and no new landscaping is proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> Pedestrians will not have direct access to this processing facility but current pedestrian access exists in front of the administration building located at 4297 Glenbrook Drive.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>

			<i>Staff Comments</i>	<i>Building services are existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1e	<b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b>
			<i>Staff Comments</i>	<i>No alleys exist.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	<b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b>
			<i>Staff Comments</i>	<i>No vending machines are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	<b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b> <b>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b> <b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b>
			<i>Staff Comments</i>	<i>Existing parking is located at the southwest corner of the lot screened by an existing structure on a neighboring site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1h	<b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b>
			<i>Staff Comments</i>	<i>No alleys exist.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	<b>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b>
			<i>Staff Comments</i>	<i>The majority of the lot remains vacant and will be provided for accommodating snow storage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	<b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b>
			<i>Staff Comments</i>	<i>Snow storage calculations are irrelevant due to the large size of the lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	<b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b>
			<i>Staff Comments</i>	<i>Designated snow storage will be in compliance with this requirement.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1l	<b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b>
			<i>Staff Comments</i>	<i>All snow storage will remain on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1m	<b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b>
			<i>Staff Comments</i>	<i>Snow Storage will be located at the South end of the lot where no other buildings nor City Streets exist.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Vegetation is existing and is salt and drought tolerant.</i>
<b>2. Building Design: 6A.8 (A) 2, items (a) thru (m)</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The proposed handling facility is compatible with other on site buildings to ensure color matching and architecture character elements are uniform.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>Scale of building is appropriate for use and surround areas.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>Building is proposed for rear of lot to accommodate site demands and use requirements.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	<i>Exterior walls, colors, and materials will match existing surrounding structures on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<i>Proposed to match existing colors and materials on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	<i>Roof pitch is slanted for design and functionality.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to

				<p>improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> <li>i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south.</li> <li>ii) South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii) Double glazed windows.</li> <li>iv) Windows with Low Emissivity glazing.</li> <li>v) Earth berming against exterior walls</li> <li>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul>
			<i>Staff Comments</i>	<i>HVAC controls and system will meet current code requirements. Proposed facility will not be required to meet energy code requirements of other commercial structures as the new facility will not have a human occupation classification.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2j	<ul style="list-style-type: none"> <li>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</li> </ul>
			<i>Staff Comments</i>	<i>Roof pitch is slanted to encourage water flow and shedding off to the South side of the building away from entrances.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2k	<ul style="list-style-type: none"> <li>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</li> </ul>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2l	<ul style="list-style-type: none"> <li>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</li> </ul>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2m	<ul style="list-style-type: none"> <li>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</li> </ul>
			<i>Staff Comments</i>	

**3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3a	<ul style="list-style-type: none"> <li>a. Accessory structures shall be designed to be compatible with the principal building(s).</li> </ul>
			<i>Staff Comments</i>	<i>Proposed structure will be compatible with existing structures on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3b	<ul style="list-style-type: none"> <li>b. Accessory structures shall be located at the rear of the property.</li> </ul>

			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	<b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b>
			<i>Staff Comments</i>	<i>Concrete storage tanks are compatible with existing concrete storage tanks on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3d	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>
			<i>Staff Comments</i>	<i>Landscaping is minimal but existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3e	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>
			<i>Staff Comments</i>	<i>There is no proposed roof-mounted equipment.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3f	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>A landscaped berm is existing along the western property to provide adequate screening for all mechanical equipment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	<b>i. All service lines into the subject property shall be installed underground.</b>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3i	<b>j. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	

**4. Landscaping: 6A.8 (A) 4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>
			<i>Staff Comments</i>	<i>Landscaping is existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4b	<b>b. All plant species shall be hardy to the Zone 4 environment.</b>
			<i>Staff Comments</i>	<i>Landscaping is existing and meets code.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4c	<p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p>
			<i>Staff Comments</i>	<i>Existing landscaping is drought tolerant and includes sage brush and native grasses.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</p>
			<i>Staff Comments</i>	<i>Landscaping is existing. See site plan.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p>
			<i>Staff Comments</i>	<i>Dry wells exist on site to capture storm water.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4h	<p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p>
			<i>Staff Comments</i>	<i>Staff will coordinate with applicant. Maintenance of the current landscaping areas is maintained regularly.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4i	<p>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4j	<p>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4k	<p>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4l	<p>l. Landscaping should be provided within or in front of extensive retaining walls.</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4m	<p>m. Retaining walls over 24" high may require railings or planting buffers for safety.</p>

			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	

**Additional Design Review Requirements for all Non-Residential Buildings located within the LI, SCI, TI or A zoning districts**

**1. Site Planning: 6A.8 (C) 1, items (a) thru (c)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(C)1a	a. Adjoining parcels shall be considered when planning building configuration, vehicular circulation and access, parking, and drainage.
			<i>Staff Comments</i>	<i>Adjoining parcels include farm land and hillside green space.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(C)1b	b. Reciprocal vehicular ingress and egress, circulation, and parking arrangements are encouraged when the adjacent site(s) allows in order to facilitate the ease of vehicular movement between adjoining properties.
			<i>Staff Comments</i>	<i>All vehicular access is from Glenbrook Drive.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(C)1b	c. Vehicle circulation, parking and loading shall not block pedestrian access ways.
			<i>Staff Comments</i>	<i>All circulation, parking and loading is kept in the rear of the lot away from any pedestrian access ways.</i>

**6A.6 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
  2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
1. Ensure compliance with applicable standards and guidelines.
  2. Require conformity to approved plans and specifications.
  3. Require security for compliance with the terms of the approval.
  4. Minimize adverse impact on other development.
  5. Control the sequence, timing and duration of development.
  6. Assure that development and landscaping are maintained properly.
  7. Require more restrictive standards than those generally found in the Zoning Ordinance.

- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

### **Motion Language**

#### **Approval:**

Motion to approve the Design Review application submitted by City of Hailey for Design Review of a new Bio Solids Handling Facility to be located at Tax Lot 5377 (4297 Glenbrook Drive), within the Light Industrial (LI) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable

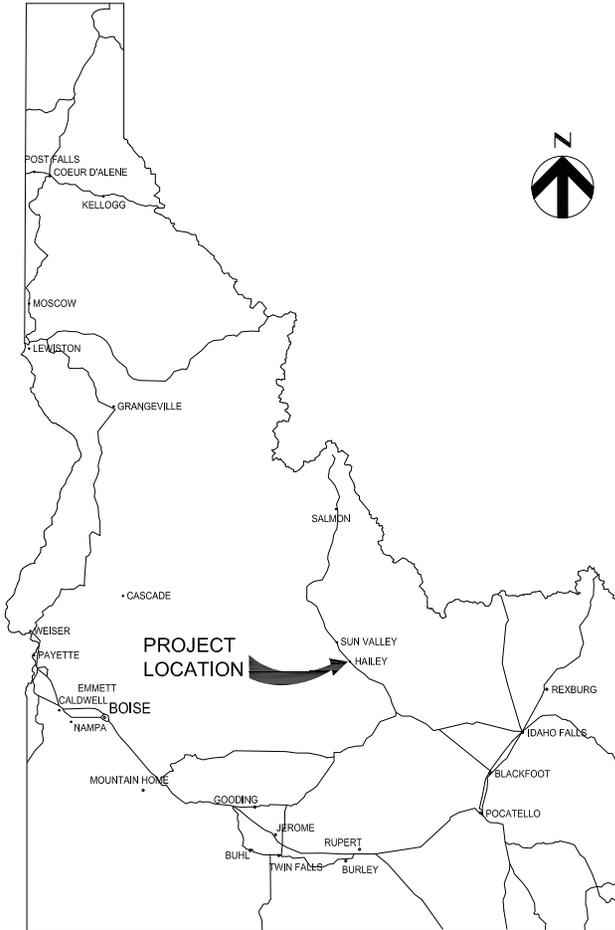
requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (g) are met.

Denial:

Motion to deny Design Review application submitted by City of Hailey for Design Review of a new Bio Solids Handling Facility to be located at Tax Lot 5377 (4297 Glenbrook Drive), within the Light Industrial (LI) Zoning District, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on Design Review application submitted by City of Hailey for Design Review of a new Bio Solids Handling Facility to be located at Tax Lot 5377 (4297 Glenbrook Drive), within the Light Industrial (LI) Zoning District, to \_\_\_\_\_ [Commission should specify a date].



LOCATION MAP

Drawings For

# City of Hailey Wastewater Department

## Solids Handling Improvements

Issued for Bid  
HDR Project No.  
00000000211869  
April 2015



**City of Hailey  
WWTP  
BioSolids Project  
Vicinity Map**

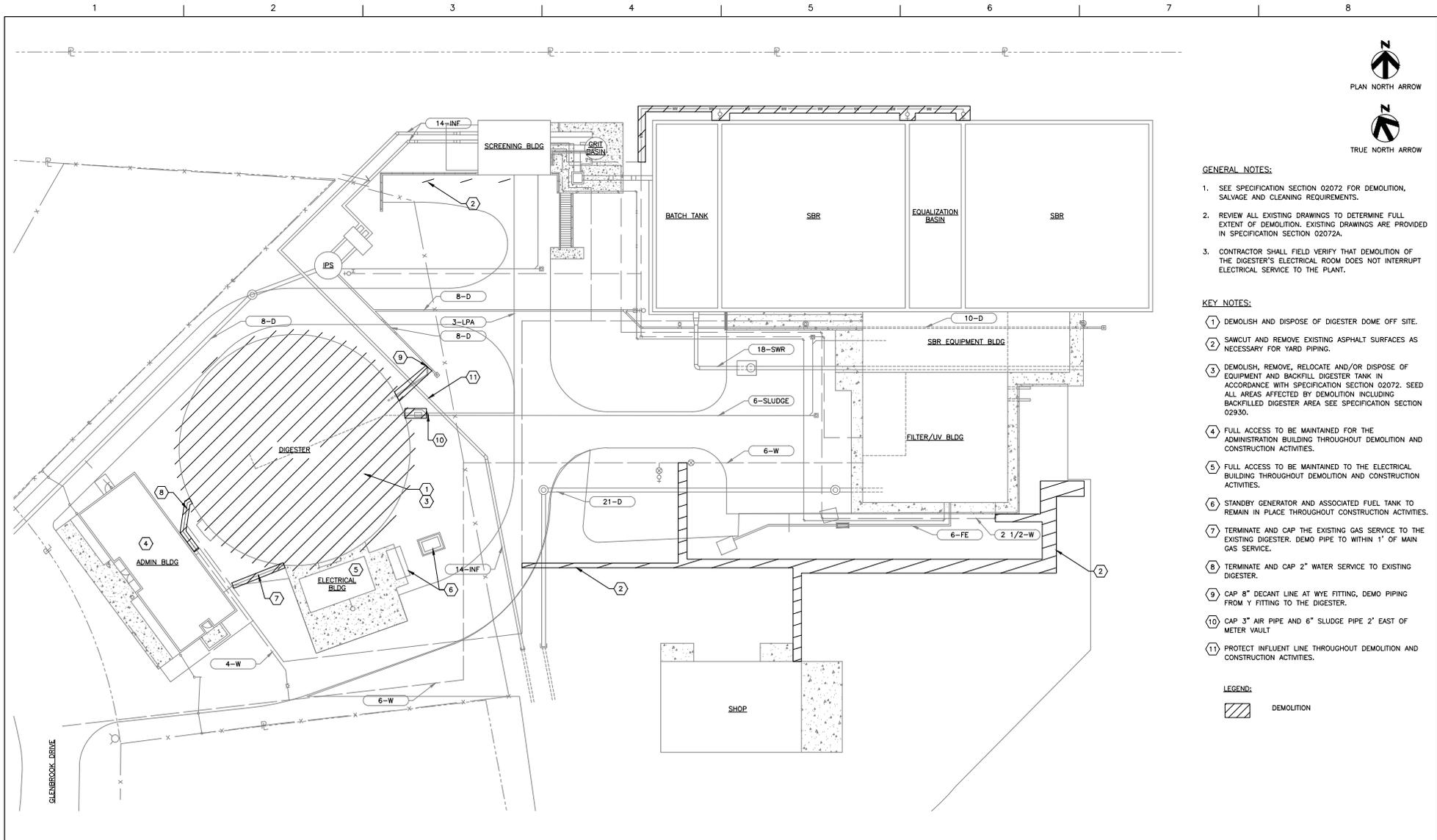


**New Construction**

**Demolition**

1 inch = 50 feet





- GENERAL NOTES:**
- SEE SPECIFICATION SECTION 02072 FOR DEMOLITION, SALVAGE AND CLEANING REQUIREMENTS.
  - REVIEW ALL EXISTING DRAWINGS TO DETERMINE FULL EXTENT OF DEMOLITION. EXISTING DRAWINGS ARE PROVIDED IN SPECIFICATION SECTION 02072A.
  - CONTRACTOR SHALL FIELD VERIFY THAT DEMOLITION OF THE DIGESTER'S ELECTRICAL ROOM DOES NOT INTERRUPT ELECTRICAL SERVICE TO THE PLANT.

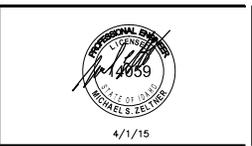
- KEY NOTES:**
- DEMOLISH AND DISPOSE OF DIGESTER DOME OFF SITE.
  - SAWCUT AND REMOVE EXISTING ASPHALT SURFACES AS NECESSARY FOR YARD PIPING.
  - DEMOLISH, REMOVE, RELOCATE AND/OR DISPOSE OF EQUIPMENT AND BACKFILL DIGESTER TANK IN ACCORDANCE WITH SPECIFICATION SECTION 02072. SEED ALL AREAS AFFECTED BY DEMOLITION INCLUDING BACKFILLED DIGESTER AREA SEE SPECIFICATION SECTION 02930.
  - FULL ACCESS TO BE MAINTAINED FOR THE ADMINISTRATION BUILDING THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
  - FULL ACCESS TO BE MAINTAINED TO THE ELECTRICAL BUILDING THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.
  - STANDBY GENERATOR AND ASSOCIATED FUEL TANK TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION ACTIVITIES.
  - TERMINATE AND CAP THE EXISTING GAS SERVICE TO THE EXISTING DIGESTER. DEMO PIPE TO WITHIN 1' OF MAIN GAS SERVICE.
  - TERMINATE AND CAP 2" WATER SERVICE TO EXISTING DIGESTER.
  - CAP 8" DECANT LINE AT WYE FITTING, DEMO PIPING FROM Y FITTING TO THE DIGESTER.
  - CAP 3" AIR PIPE AND 6" SLUDGE PIPE 2' EAST OF METER VAULT
  - PROTECT INFLUENT LINE THROUGHOUT DEMOLITION AND CONSTRUCTION ACTIVITIES.

**LEGEND:**  
 DEMOLITION



ISSUE	DATE	DESCRIPTION
A	4/1/15	ISSUED FOR BID

PROJECT MANAGER	HALEY FALCONER
DESIGNED BY	J. BAKER
DRAWN BY	E. SJOBERG
CHECKED BY	P. ROE
PROJECT NUMBER	00000000211869



**CITY OF HAILEY**  
**WOODSIDE WASTEWATER TREATMENT PLANT**

**SOLIDS HANDLING IMPROVEMENTS**

**SITE DEMOLITION PLAN**

0 1" 2"

FILENAME: X-01.dwg  
 SCALE: 1"=20'

SHEET  
**X-01**



- LEGEND:**
- NEW CONCRETE SURFACES
  - NEW ASPHALT SURFACES
  - EXISTING CONCRETE SURFACES
  - EXISTING ASPHALT SURFACES

CONSTRUCTION CONTROL POINTS				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
W3	63382.12	28925.50	5240.00	NE CORNER OF DIGESTERS
1	63307.48	28886.25	5235.30	SE CORNER OF DIGESTERS
2	63254.74	28890.37	5234.10	NE CORNER OF VALVE VAULT
3	63248.25	28886.96	5234.00	SE CORNER OF VALVE VAULT

(1) ALL BUILDING CONTROL POINTS ARE OUTSIDE OF FACE OF CONCRETE WALL.  
 (2) ALL BUILDING CONTROL POINTS ARE BASED ON TRUE NORTH DIRECTION.

SURVEY CONTROL POINTS				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP-100	TBD	TBD	TBD	TO BE SET AT LOCATION DETERMINED BY CONTRACTOR DURING PRE-CONSTRUCTION MEETING.
CP-101	TBD	TBD	TBD	TO BE SET AT LOCATION DETERMINED BY CONTRACTOR DURING PRE-CONSTRUCTION MEETING.



ISSUE	DATE	DESCRIPTION
A	4/1/15	ISSUED FOR BID

PROJECT MANAGER	HALEY FALCONER
DESIGNED BY	J. BAKER
DRAWN BY	E. SJOBERG
CHECKED BY	P. ROE
PROJECT NUMBER	00000000211869

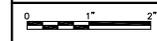


4/1/15



CITY OF HAILEY  
WOODSIDE WASTEWATER  
TREATMENT PLANT

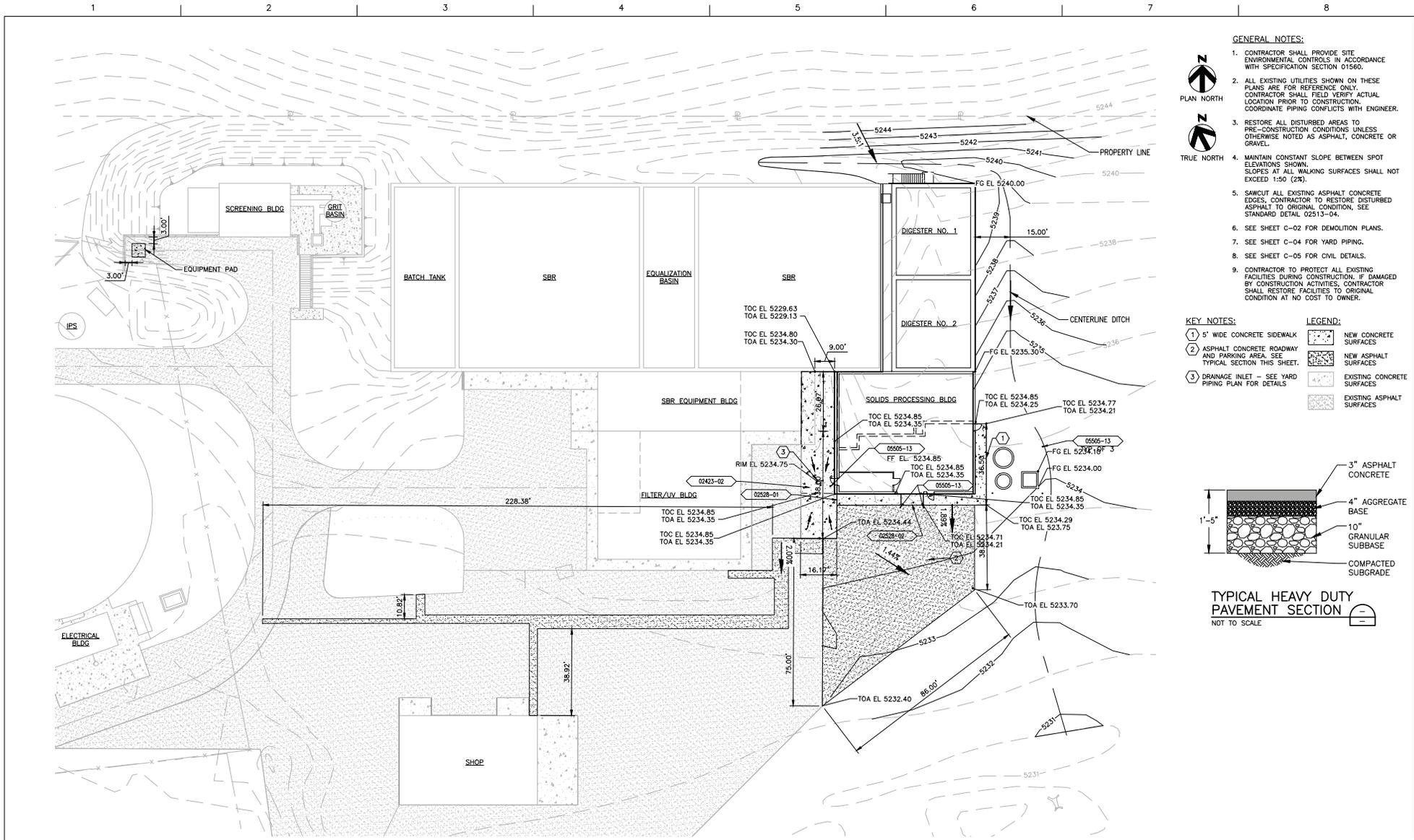
SOLIDS HANDLING  
IMPROVEMENTS



**CIVIL SITE PLAN,  
CONSTRUCTION STAGING,  
SURVEY CONTROL**

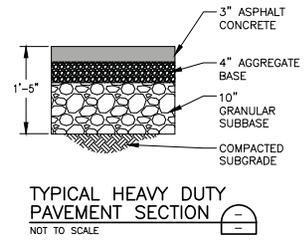
FILENAME	C-01.dwg
SCALE	1"=30'-0"

SHEET  
**C-01**



- GENERAL NOTES:**
- CONTRACTOR SHALL PROVIDE SITE ENVIRONMENTAL CONTROLS IN ACCORDANCE WITH SPECIFICATION SECTION 01560.
  - ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY ACTUAL LOCATION PRIOR TO CONSTRUCTION. COORDINATE PIPING CONFLICTS WITH ENGINEER.
  - RESTORE ALL DISTURBED AREAS TO PRE-CONSTRUCTION CONDITIONS UNLESS OTHERWISE NOTED AS ASPHALT, CONCRETE OR GRAVEL.
  - MAINTAIN CONSTANT SLOPE BETWEEN SPOT ELEVATIONS SHOWN. SLOPES AT ALL WALKING SURFACES SHALL NOT EXCEED 1:50 (2%).
  - SAWCUT ALL EXISTING ASPHALT CONCRETE EDGES. CONTRACTOR TO RESTORE DISTURBED ASPHALT TO ORIGINAL CONDITION. SEE STANDARD DETAIL 02513-04.
  - SEE SHEET C-02 FOR DEMOLITION PLANS.
  - SEE SHEET C-04 FOR YARD PIPING.
  - SEE SHEET C-05 FOR CIVIL DETAILS.
  - CONTRACTOR TO PROTECT ALL EXISTING FACILITIES DURING CONSTRUCTION. IF DAMAGED BY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL RESTORE FACILITIES TO ORIGINAL CONDITION AT NO COST TO OWNER.

- KEY NOTES:**
- 5' WIDE CONCRETE SIDEWALK
  - ASPHALT CONCRETE ROADWAY AND PARKING AREA. SEE TYPICAL SECTION THIS SHEET.
  - DRAINAGE INLET - SEE YARD PIPING PLAN FOR DETAILS.
- LEGEND:**
- NEW CONCRETE SURFACES
  - NEW ASPHALT SURFACES
  - EXISTING CONCRETE SURFACES
  - EXISTING ASPHALT SURFACES



ISSUE	DATE	DESCRIPTION
A	4/1/15	ISSUED FOR BID

PROJECT MANAGER	HALEY FALCONER
DESIGNED BY	J. SINGLETON
DRAWN BY	J. SINGLETON
CHECKED BY	P. ROE
PROJECT NUMBER	00000000211869

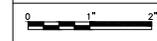


4/1/15



**CITY OF HAILEY**  
WOODSIDE WASTEWATER TREATMENT PLANT

**SOLIDS HANDLING IMPROVEMENTS**

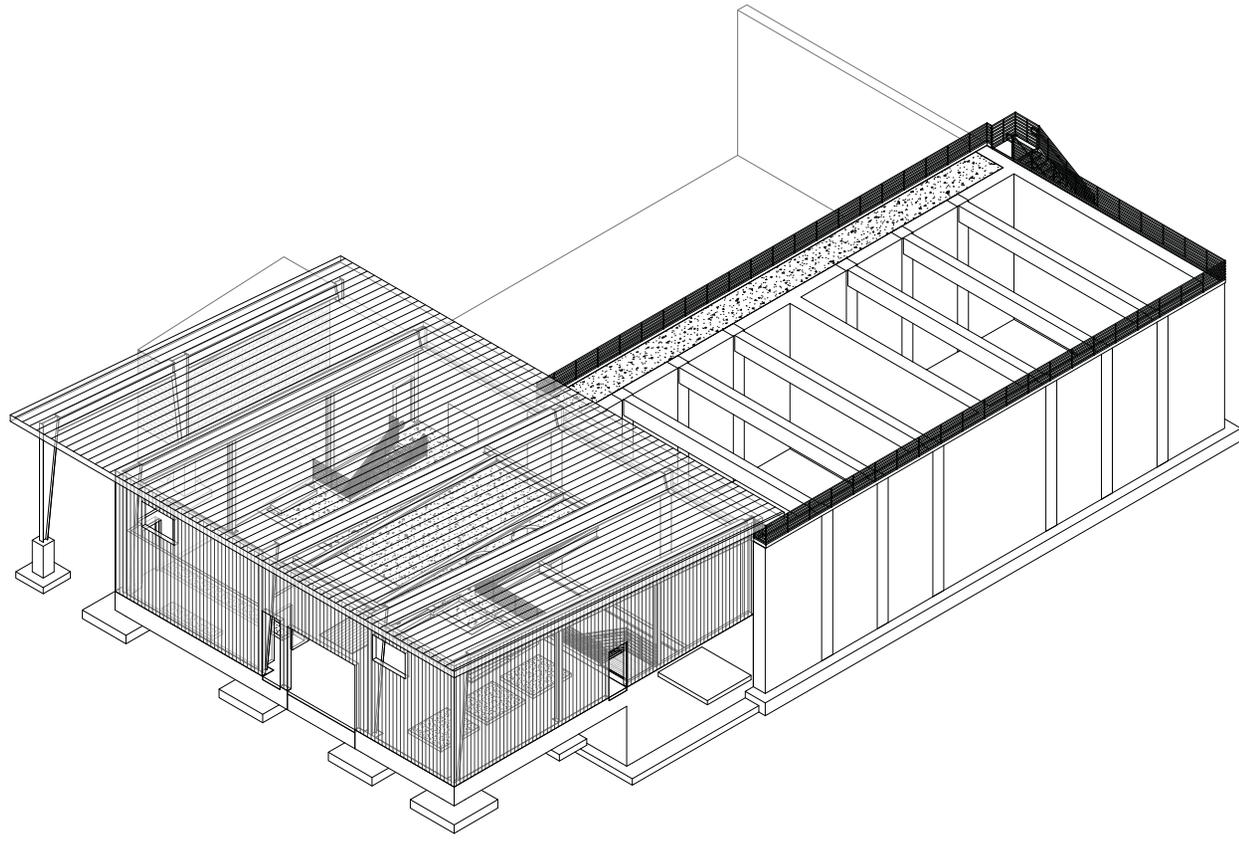


FILENAME	C-03.dwg
SCALE	1"=20'-0"

SHEET  
**C-03**

1 2 3 4 5 6 7 8

**NOTES**  
 ISOMETRIC PLAN NOTES:  
 1. THIS SHEET IS FOR 3D PRESENTATION AND REFERENCE ONLY.

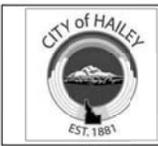


ISOMETRIC DRAWING  
 NTS



ISSUE	DATE	DESCRIPTION
A	4/1/15	ISSUED FOR BID

PROJECT MANAGER	HALEY FALCONER
DESIGNED BY	J. LANE
DRAWN BY	A. HARRIS
CHECKED BY	J. CHAPMAN
PROJECT NUMBER	00000000211869

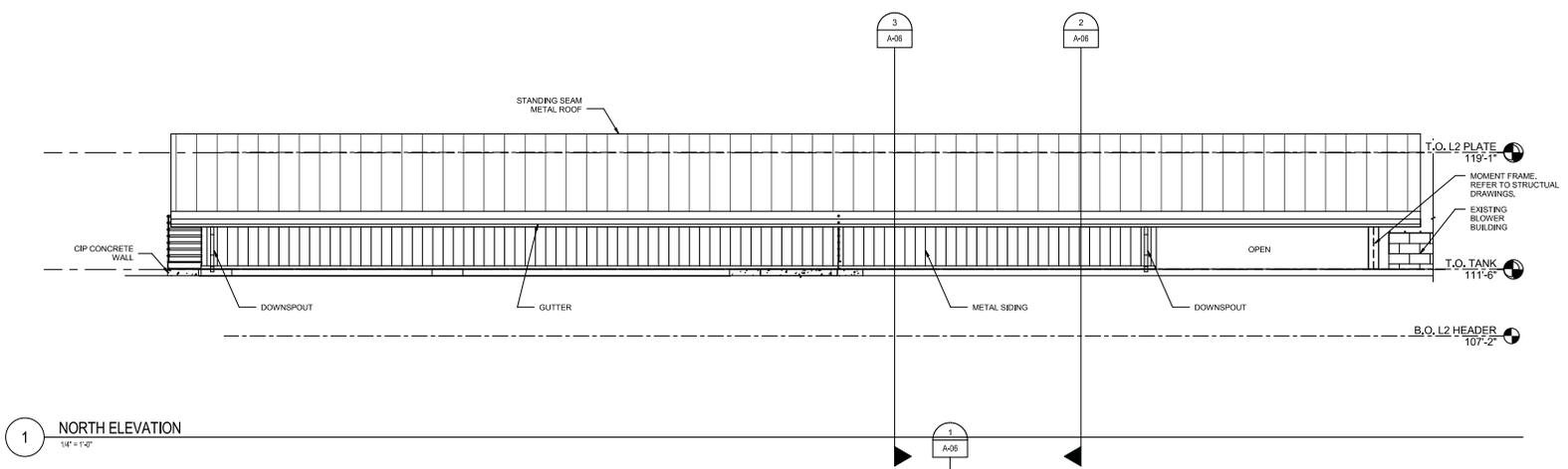


**CITY OF HAILEY  
 WOODSIDE WASTEWATER  
 TREATMENT PLANT**

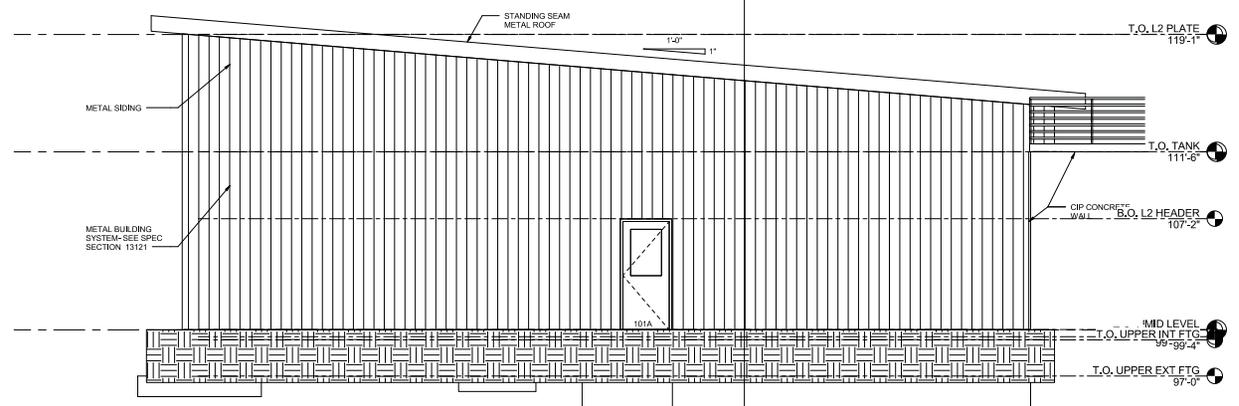
**SOLIDS HANDLING  
 IMPROVEMENTS**

<b>ISOMETRIC DRAWING</b>		FILENAME	13HDR02-STRUC.rvt	SHEET	S-02
		SCALE	AS NOTED		

1 2 3 4 5 6 7 8



1 NORTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"

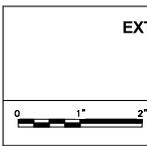


ISSUE	DATE	DESCRIPTION
A	4/1/15	ISSUED FOR BID

PROJECT MANAGER	HALEY FALCONER
DESIGNED BY	D. HOGAN
DRAWN BY	J. SCHWARTZ
CHECKED BY	M. LAMBERT
PROJECT NUMBER	0000000002119899

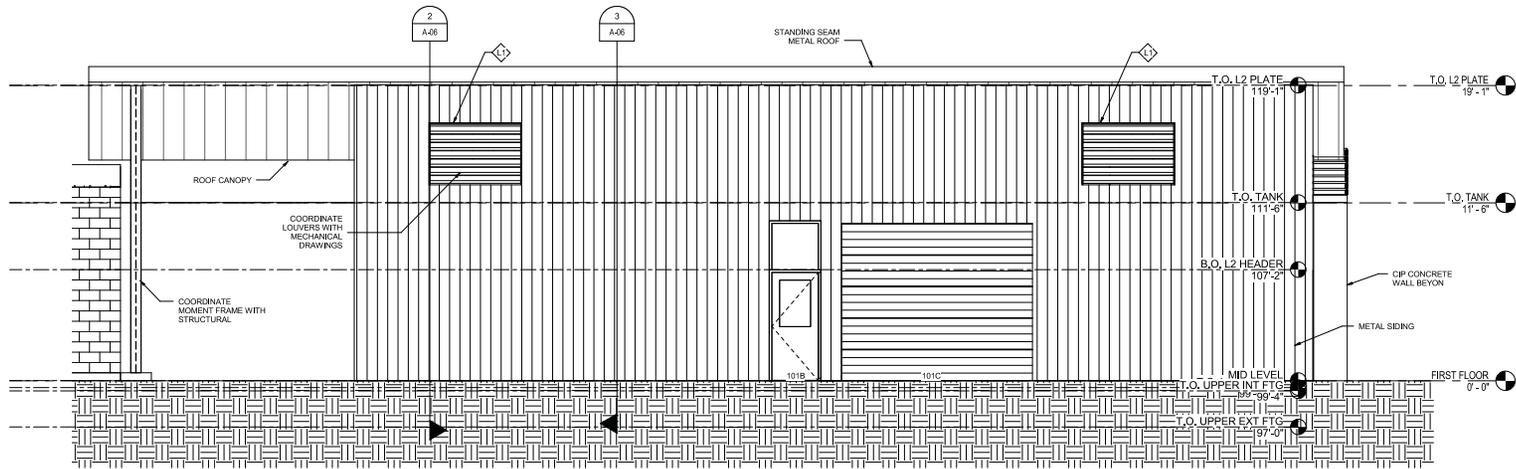


CITY OF HAILEY  
WOODSIDE WASTEWATER  
TREATMENT PLANT  
  
SOLIDS HANDLING  
IMPROVEMENTS

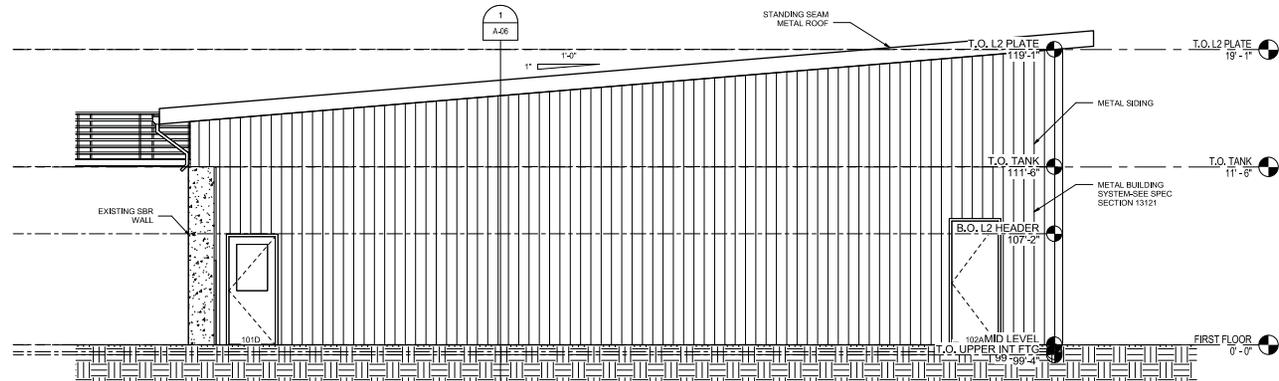


FILENAME	196902-Arch.rvt
SCALE	AS NOTED

EXTERIOR ELEVATIONS  
SHEET  
A-04



1 SOUTH ELEVATION  
1/8" = 1'-0"

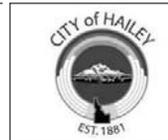


2 WEST ELEVATION  
1/8" = 1'-0"

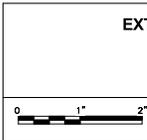


ISSUE	DATE	DESCRIPTION
A	4/1/15	ISSUED FOR BID

PROJECT MANAGER	HALEY FALCONER
DESIGNED BY	D. HOGAN
DRAWN BY	E. SJOBERG
CHECKED BY	M. LAMBERT
PROJECT NUMBER	000000000211889



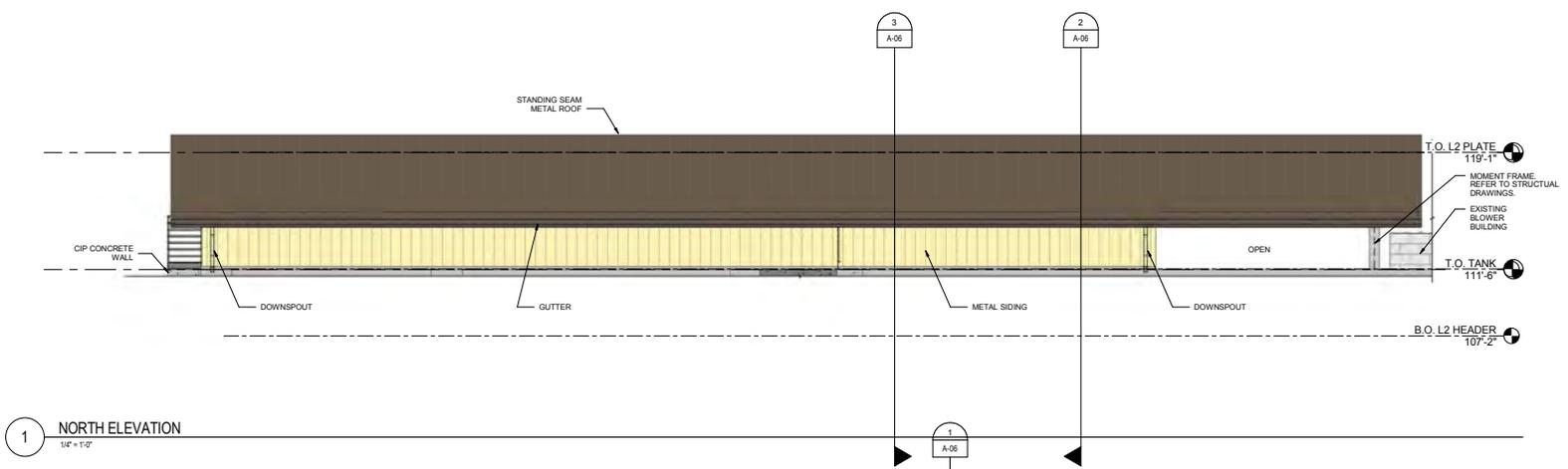
CITY OF HAILEY  
WOODSIDE WASTEWATER  
TREATMENT PLANT  
  
SOLIDS HANDLING  
IMPROVEMENTS



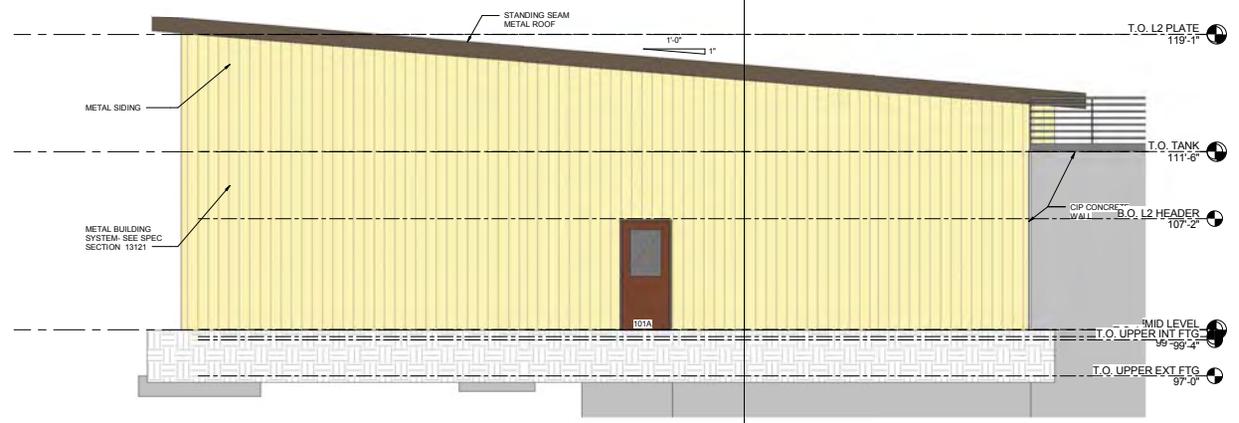
EXTERIOR ELEVATIONS  
  
FILENAME 196902-Arch.rvt  
SCALE AS NOTED

SHEET  
A-05

1 2 3 4 5 6 7 8



1 NORTH ELEVATION  
1/4" = 1'-0"

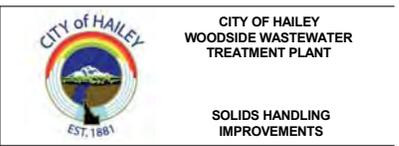


2 EAST ELEVATION  
1/4" = 1'-0"



ISSUE	DATE	DESCRIPTION
A	4/1/15	ISSUED FOR BID

PROJECT MANAGER	HALEY FALCONER
DESIGNED BY	D. HOGAN
DRAWN BY	J. SCHWARTZ
CHECKED BY	M. LAMBERT
PROJECT NUMBER	00000000211869



<b>EXTERIOR ELEVATIONS</b>		FILENAME	196902-Arch.rvt	SHEET	A-04
		SCALE	AS NOTED		









**RETURN TO AGENDA**

**DESIGN REVIEW  
STAFF REPORT**

**TO:** Hailey Planning and Zoning Commission

**FROM:** Lisa Horowitz, Community Development Director

**RE:** Design Review Application submitted by Hennessy Company on behalf of The Advocates for Survivors of Domestic Violence for Design Review of a 477 square foot enclosure of an existing carport (114 W. Croy Street), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

**HEARING:** May 11<sup>th</sup>, 2015

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**Applicant:** Hennessy Company on behalf of Advocates for Survivors of Domestic Violence City of

**Request:** Design Review is requested for a 477 square foot enclosure of an existing carport attached to an existing building

**Location:** Lot 7A, Block 2 Hailey Townsite (114 W. Croy Street)

**Zoning:** General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

**Notice**

Notice for the public hearing was published in the Idaho Mountain Express on April 22<sup>nd</sup>, 2015 and mailed to property owners within 300 feet on April 22<sup>nd</sup>, 2015.

**Application**

Design Review for a 477 square foot enclosure of an existing carport attached to a 4,600 square foot existing building. The existing structure and the proposed addition meet all bulk requirements for the General Residential and Townsite Overlay.

**Procedural History**

The application was submitted on April 8, 2015 and certified complete on April 16, 2015. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on May 11, 2015, in the Hailey City Council Chambers.

## General Requirements for all Design Review Applications

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b> <i>No comments</i>
				<b>Life/Safety:</b> <i>No comments</i>
				<b>Water and Sewer:</b> <i>No comments</i>
				<b>Building:</b> <i>No comments</i>
			<b>Streets:</b> <i>No comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	<b>8.2 Signs:</b> The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Staff Comments</i>	<i>No signs exist or are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	<b>See Section 9.4 for applicable code.</b>
			<i>Staff Comments</i>	<i>The existing building plus the addition requires 5 parking spaces. Six (6) remain in the off-site parking area in the front of the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	<b>8B.4.1 General Standards</b> <ol style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ol>
			<i>Staff Comments</i>	<i>All lighting will be downcast; cut sheets will be required prior to issuance of a building permit.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<b>Zoning District:</b> <i>General Residential in the Townsite Overlay. Townsite Overlay bulk requirements apply.</i> <ul style="list-style-type: none"> <li>- <i>Max Height: 30'. No change to existing height of _</i></li> <li>- <i>Residence Street side Setbacks: 20' from the street.</i></li> <li>- <i>Setback from property lines abutting other private property</i> <ul style="list-style-type: none"> <li>o <i>Base Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required</i> <ul style="list-style-type: none"> <li>▪ <i>Existing building and carport are set back over 25 feet on the street side</i></li> <li>▪ <i>Buildings are set back 10' on all other sides.</i></li> </ul> </li> </ul> </li> <li>- <i>The Alley has been vacated.</i></li> </ul> <b>Lot coverage:</b> <i>unchanged from existing; under 30%</i>
			<i>Staff</i>	

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Comments</b>	
			6A.7 (A) Required Street Improvement s Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>Sidewalk is existing</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (B) Required Water System Improvement s	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			<i>Staff Comments</i>	

## Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey

### 1. Site Planning: 6A.8 (A) 1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1a	a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings
			<i>Staff Comments</i>	<i>The addition does not significantly impact solar exposure on the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1b	b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.
			<i>Staff Comments</i>	<i>No change to existing plant material.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1c	c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.
			<i>Staff Comments</i>	<i>No change to the main building entrance.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1d	d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.
			<i>Staff Comments</i>	<i>No change to the existing trash curbside pickup.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			<i>Staff Comments</i>	<i>The alley has been vacated.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.) i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			<i>Staff Comments</i>	<i>The existing parking area is behind the sidewalk.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Staff Comments</i>	<i>Alley has been vacated.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			<i>Staff Comments</i>	<i>Snow storage is shown on the site plan.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>No change to existing snow storage areas. Actual calculations have been requested of the applicant.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>The snow storage is in a lawn area.</i>

**2. Building Design: 6A.8 (A) 2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.  <i>Staff Comments</i> No change to existing.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2b	b. Standardized corporate building designs are prohibited.  <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.  <i>Staff Comments</i> No change to existing.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.  <i>Staff Comments</i> No change to existing.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.  <i>Staff Comments</i> The enclosed carport with match the existing building; windows are provided consistent with the building design.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.  <i>Staff Comments</i> Corner boards, trim boards and lap siding are proposed, to match existing.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.  <i>Staff Comments</i> Planned to match existing.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.  <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space: <ul style="list-style-type: none"> <li>i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</li> <li>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii) Double glazed windows.</li> <li>iv) Windows with Low Emissivity glazing.</li> <li>v) Earth berming against exterior walls</li> <li>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> </ul>

				vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.
			<i>Staff Comments</i>	<i>The building is existing, and would be difficult to retrofit to meet this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			<i>Staff Comments</i>	<i>Sidewalk areas are protected.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	<i>No change; drainage is accounted for.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	

### 3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>No change to existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>No change to existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.

			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	

**4. Landscaping: 6A.8 (A) 4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>No change to existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>No change to existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>No change to existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			<i>Staff Comments</i>	<i>No change to existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	<i>No change to existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.

			<i>Staff Comments</i>	<i>No change to existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>No change to existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	

**2. Building Design: 6A.8 (B) 2, items (a) thru (h)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2a	a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.
			<i>Staff Comments</i>	<i>No change to existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2b	b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image which may often accompany large buildings.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2d	c. Building designs shall maximize the human scale of buildings and enhance the small town "sense of place". This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.
			<i>Staff Comments</i>	<i>The enclosed carport enhances the pedestrian scale of the entrance area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2e	d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing

				of parapets, cornices, roof, and other architectural elements.
			<i>Staff Comments</i>	<i>No change to existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2f	e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2g	f. Fire department staging areas shall be incorporated into the design elements of the building.
			<i>Staff Comments</i>	<i>No change to existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2h	g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: <ul style="list-style-type: none"> <li>i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses;</li> <li>ii. Stepping down the massing of the building along the site's edge; and</li> <li>iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns</li> </ul>
			<i>Staff Comments</i>	<i>No change to existing.</i>

**3. Landscaping: 6A.8 (B) 3, item (a)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)3a	a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.
			<i>Staff Comments</i>	

**6A.6 Criteria.**

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.

5. **Control the sequence, timing and duration of development.**
6. **Assure that development and landscaping are maintained properly.**
7. **Require more restrictive standards than those generally found in the Zoning Ordinance.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
  - c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
  - d) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
  - e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
  - f) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- C. **Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
  1. **If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

Approval:

Motion to approve the Design Review application submitted by Hennessy Company on behalf of The Advocates for Survivors of Domestic Violence for Design Review of a 477 square foot enclosure of an existing carport located at 114 W. Croy Street Hailey Townsite, Block 2, Lot 7A, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (f) are met.

Denial:

Motion to deny Design Review application submitted by Hennessy Company on behalf of The Advocates for Survivors of Domestic Violence for Design Review of a 477 square foot enclosure of an existing carport located at 114 W. Croy Street Hailey Townsite, Block 2, Lot 7A, finding that\_\_\_\_[the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on Design Review application submitted by Hennessy Company on behalf of The Advocates for Survivors of Domestic Violence for Design Review of a 477 square foot enclosure of an existing carport located at 114 W. Croy Street Hailey Townsite, Block 2, Lot 7A, to \_\_\_\_\_ Commission should specify a date).

RECEIVED  
APR 08 2015

City of Hailey - Design Review Application

Submittal Date:

Project Name: The Advocates Carport addition

Parcel No. RPH

CITY OF HAILEY

Legal Description of Property: Subdivision Hailey Croy Addition

Lot(s) 4,5,6 & 7

Block 2

Street Address of Property: 114 W Croy St, Hailey, ID

Current Zoning of Property: GR

Year of original construction: 1999

(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable) 5,904

Proposed addition or new construction sq. ft. 393

Name of Owner of the Property: The Advocates for Survivors of Domestic Violence

Mailing Address: Box 3216

City: Hailey

State: ID

Zip: 83333

Phone: ( ) 788 - 4191

Fax: ( ) \_\_\_\_\_ - \_\_\_\_\_

Cell: ( ) \_\_\_\_\_ - \_\_\_\_\_

Email Address: Teri@theadvocatesorg.org

Property Owner Consent: [Signature]

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any ex parte discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: [Signature]

Executive Director Date: 1 / 20 / 15

Name of individual to contact on behalf of Trust or LLC (if applicable): \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: ( ) \_\_\_\_\_ - \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ - \_\_\_\_\_ Cell: ( ) \_\_\_\_\_ - \_\_\_\_\_

Email Address: \_\_\_\_\_

Application Contact (if different than above): David Hennessy - Hennessy Company

*\*\*Application Contact will be the Planning Department's primary point of contact for questions related to the application.*

Mailing Address: Box 2720

City: Ketchum

State: ID

Zip: 83340

Phone: ( ) 725 - 2256

Fax: ( ) 725 - 2261

Cell: ( ) \_\_\_\_\_ - \_\_\_\_\_

Email Address: dhennessy@hennessyco.com

Signature: [Signature]

Date: 1 / 20 / 15

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

**FOR CITY USE ONLY** Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

<input type="checkbox"/> Commercial, Mixed-Use or Multi-Family.....	\$ 450.00
plus \$25 / 1,000 gross square feet.....	\$ _____
OR <input checked="" type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ 250.00 —
OR <input type="checkbox"/> No Substantial Impact..... (Mailing only).....	\$ 75.00
OR <input type="checkbox"/> Modification to DR Approval... (No publication or mailing).....	\$ 50.00
OR <input type="checkbox"/> DR Exemption... (No publication or mailing).....	\$ 30.00
Publication cost.....	\$ 40.00 —
Mailing (# of addresses <u>24</u> ) x ( <u>49</u> postage + .15 paper, envelope & label)	\$ <u>15.36</u>
<i>DO NOT COUNTY DUPLICATES OR CITY OF HAILEY</i>	
Total Due.....	\$ <u>305.36</u>

# DESIGN REVIEW—APPLICATION CHECKLIST

Project Name:

Advocates

*City Use Only*

Certified Complete by:

KHA

Date:

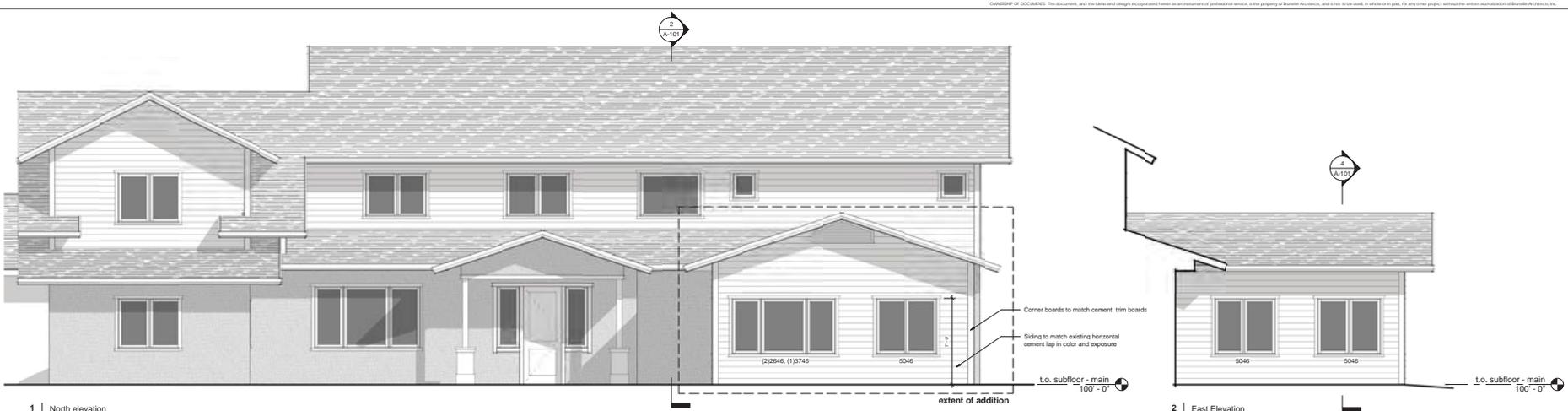
4/16/15

The following items must be submitted with the application for the application to be considered complete (✓):

Yes	No	Item	Description
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1.	The completed Design Review application form including project name and location, and applicant and representative names and contact information.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2.	One (1) 24" x 36" set of plans and survey and one (1) 11" x 17" set showing at a minimum the following:
<input checked="" type="checkbox"/>	<input type="checkbox"/>		a. Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		b. Drainage plan (grading, catch basins, piping, and dry-wells).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		c. Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		d. Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation, and snow storage. List square footage of subject property including lot dimensions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		e. Landscape plan (existing landscaping on the site shown as retained, relocated or removed; proposed landscaping including species type, size and quantity).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		f. Floor plan. List gross square footage for each floor. List occupancy classification and type of construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		g. Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).
<input type="checkbox"/>	<input type="checkbox"/>	?	h. Exterior Lighting plan, pursuant to Article VIII B, of the Zoning Ordinance (location, height, type, and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting).
<input type="checkbox"/>	<input checked="" type="checkbox"/>		i. Sign plan (location, dimensions and lighting).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3.	Plans and drawings for all buildings, except Single Family Dwellings and Accessory Structures, shall be prepared and stamped by an Idaho licensed architect.
<input type="checkbox"/>	<input type="checkbox"/>	4.	A materials and colors sample board. Each sample should be approximately 12"x12" in size.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	5.	One (1) colored rendering of at least one side of the proposed building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	6.	Staging and contractor parking plan. Statement of where staging will occur, and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters, contractor parking, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.	A list of the names and addresses of all property owners and residents within three hundred (300) feet of the exterior boundaries of the subject property, in a format acceptable to the City. (Names and addresses can be obtained using the Blaine County map server <a href="http://maps.co.blaine.id.us/">http://maps.co.blaine.id.us/</a> or from the Blaine County Assessor's office)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8.	Other information as required by the Administrator, Hearing Examiner or the Commission.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	9.	Electronic PDF copies of all documents and materials listed above. <b>(RECOMMENDED)</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	10.	Written statement of how each design review standard is met. <b>(RECOMMENDED)</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	11.	Payment of applicable fees.

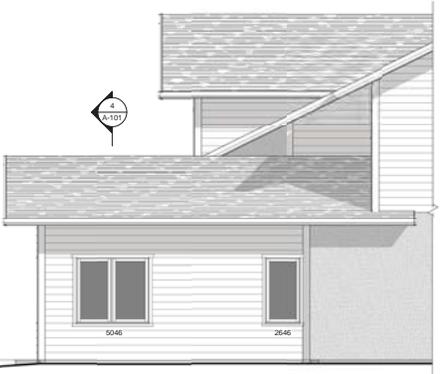
*City Use Only*

<p><input checked="" type="checkbox"/> Verify that application is complete</p> <p><input checked="" type="checkbox"/> Double check address</p> <p><input type="checkbox"/> Advise applicant if Lot Line Adjustment is needed</p>	<p>Check following basic standards</p> <p><input type="checkbox"/> Density</p> <p><input type="checkbox"/> Setbacks</p> <p><input type="checkbox"/> Height (plans must show elevation points of record grade)</p> <p><input type="checkbox"/> Lot coverage</p> <p><input type="checkbox"/> Floor area</p> <p><input type="checkbox"/> Required Parking Spaces</p>
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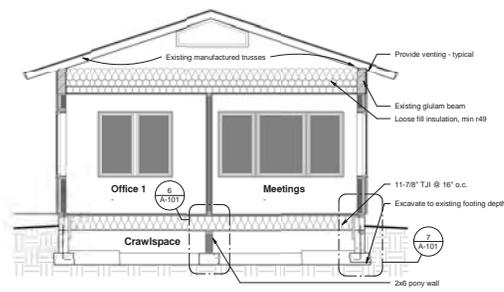


1 | North elevation  
A-101 | 1/4" = 1'-0"

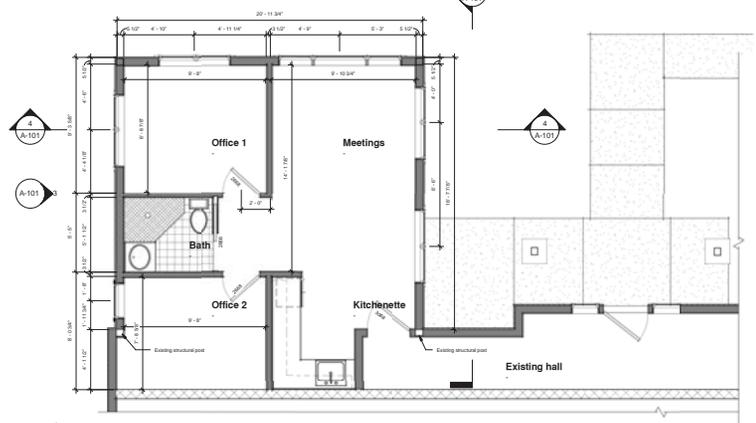
2 | East Elevation  
A-101 | 1/4" = 1'-0"



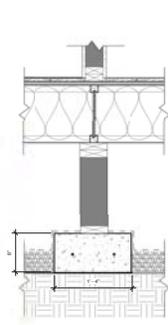
3 | West elevation  
A-101 | 1/4" = 1'-0"



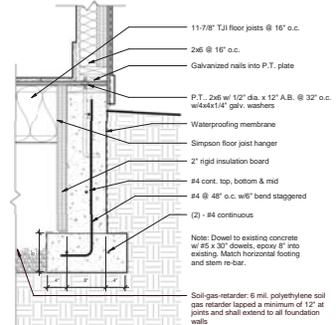
4 | Building Section  
A-101 | 1/4" = 1'-0"



5 | Floor Plan - Main Level  
A-101 | 1/4" = 1'-0"



6 | Detail - wall section  
A-101 | 1" = 1'-0"



7 | Detail - wall section  
A-101 | 1" = 1'-0"



**BRUNELLE ARCHITECTS**  
INC

**Advocates Addition**  
Lots 4,5,6 & 7  
Block 2  
Hailey, ID 83333

Job No: xxx/xxx  
Project Issue Date: 11/24/2014 3:39:03 PM  
Plot Date: 11/24/2014 3:39:03 PM  
Issued for: PM

REVISIONS:




Hailey  
Addition

**A-101**



**RETURN TO AGENDA**

**DESIGN REVIEW  
STAFF REPORT**

**TO:** Hailey Planning and Zoning Commission

**FROM:** Lisa Horowitz, Community Development Director

**RE:** The Club at Copper Ranch Exterior Renovation

**HEARING:** May 11th, 2015

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**Applicant:** Lido Equities and John Alan Partners represented by Tom Dabny.

**Request:** Design Review request for an exterior renovation.

**Location:** Parcel A, Block 1, Copper Ranch in Hailey Condominiums (1970 Woodside Boulevard)

**Zoning:** Limited Business (LB) Zoning District

**Notice**

Notice was mailed to property owners within 300 feet on April 22, 2015 and published in Mountain Express on April 22, 2015.

**Application**

In 2006, Lido Equities Group, received Design Review approval for The Club at Copper Ranch, a complete redesign of the previously approved athletic facility that is a required part of the Copper Ranch Planned Unit Development. The design and the location of the building on the site were changed; the approved building hides a large portion of the old tennis facility. The athletic facility is part of Phase V of the entire Copper Ranch project, which began on June 30, 2006. The Planned Unit Development Agreement (approved May, 2003, amended 2005) further states that the "Owner shall not request Certificate of Occupancy from City for any condominium in Buildings 21 through 27, inclusive, (Phase VI) prior to completion of the Recreation Facilities".

Construction stopped in August 2009 due to the economy. The exterior has remained unfinished since that time. The tennis facility has remained active, but the primary clubhouse building is incomplete and unoccupied.

The applicant is proposing the following changes to the primary building:

- 1) Stucco the entire exterior.
- 2) Add split-faced CMU wainscot at the front entry.
- 3) Replace and repair broken windows.
- 4) Install the storefront door and window system at the front entry as shown on the original DR approval.
- 5) Install exterior doors as shown on the original DR approval.
- 6) Install landscaped planter at each side of the front entry.

- 7) Install a concrete sidewalk leading to the front entry.
- 8) Remove wood screening fence at the NE building side.
- 9) Finish framing at unfinished soffit areas.

The applicant is proposing the following changes to the tennis building:

- 1) New metal siding to match existing on north and south facades.
- 2) Reinforce lower wall sections on north and south walls.
- 3) Remove broken rebar.
- 4) Add flashing over CMU foundation.
- 5) Paint east and west walls and roof.

The changes to the two buildings are shown on aerial photos of the existing façade. Very few site changes are proposed.

#### **Procedural History**

The application was submitted on April 17, 2015 and certified complete on April 18, 2015. The application was added as an agenda item to the Planning and Zoning Commission for approval or denial of the project on May 11, 2015, in the Hailey City Council Chambers.

Public Comment letters are attached to this staff report.

## General Requirements for all Design Review Applications

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: None
				Life/Safety: No Concerns
				Water and Sewer: No Concerns
				Building: All modifications must comply with building code requirements and City Standards.
			Streets: No Concerns	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			Staff Comments	Ten parking spaces existing for the existing tennis facility accessed off of Wimbledon Court. The Code requires _ - parking spaces per tennis court, which equals __ spaces. This area is a combination of paving and gravel. Some paving exists at the front of the building, but a curb cut has not been created. The applicant is proposing to complete the required parking at the time of building occupancy.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	<p><b>8B.4.1 General Standards</b></p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			Staff Comments	Outdoor lighting will comply with 8B.4.1; existing downcast can light is proposed to be reused.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Bulk Requirements	Front, rear and side yard setback requirements: 0'
			Staff Comments	The setback requirements of the Zone District have been me, and are not changed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (A) Required Street	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.

			Improvements Required	
			Staff Comments	<i>Applicant will be adding a new concrete walkway to connect to the existing pavement. The existing City sidewalk along Woodside Boulevard meets City Standards.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (B) Required Water System Improvements	<b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b>
			Staff Comments	

**Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey**

**1. Site Planning: 6A.8 (A) 1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p><i>Staff Comments</i>  <i>No change to the location and orientation of the existing buildings.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p> <p><i>Staff Comments</i>  <i>The applicant is retaining the exiting landscaping. The berm was added along Woodside Boulevard in 2014. Two landscape planters will be added to the front of the building.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i>  <i>The applicant will retain the front entrance on Woodside Boulevard, and add a sidewalk in this area.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building</p>

				<p><b>adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b></p>
			<i>Staff Comments</i>	At this time, trash needs are minimal, and a can is brought curbside weekly. Full occupancy of the building will require a complete of an enclosed dumpster.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1e	<b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	<b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	<p><b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b></p> <p><b>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b></p> <p><b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b></p>
			<i>Staff Comments</i>	<i>The existing parking area is to the side of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1h	<b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b>
			<i>Staff Comments</i>	<i>Parking access is a side lane, approved as part of the PUD.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	<b>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b>
			<i>Staff Comments</i>	<i>Snow storage will be kept on site near parking stalls and in adjacent landscape areas to comply with 6A.8 (A) 1i.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	<b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b>
			<i>Staff Comments</i>	<i>Required snow storage will be verified and confirmed by planning staff.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	<b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b>
			<i>Staff Comments</i>	<i>Minimum width will be confirmed at 10 feet.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1l	<b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b>

	<i>Staff Comments</i>	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	6A.8(A)1m	<b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b>
	<i>Staff Comments</i>	<i>Ample areas exist for the storage of snow in areas that do not impede critical site functions. Snow storage is shown on the site plan.</i>
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	6A.8(A)1n	<b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b>
	<i>Staff Comments</i>	<i>Proposed snow storage area is currently a mixture of grass and gravel areas.</i>

**2. Building Design: 6A.8 (A) 2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	<b>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</b>
			<i>Staff Comments</i>	<i>No changed to the approved building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2b	<b>b. Standardized corporate building designs are prohibited.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	<b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</b>
			<i>Staff Comments</i>	<i>No changed to the approved building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2d	<b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b>
			<i>Staff Comments</i>	<i>The front façade is planned to be completed with a pedestrian entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2e	<b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b>
			<i>Staff Comments</i>	<i>Applicant is proposing to match existing colors from surrounding Copper Ranch buildings that will create a cohesive site plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	<b>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</b>
			<i>Staff Comments</i>	<i>A color/material sample will be brought to the meeting; materials are varied as described in the Background section of this report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2g	<b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b>
				<i>Colors will be harmonious with surrounding properties.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:
				<ul style="list-style-type: none"> <li>i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</li> <li>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii) Double glazed windows.</li> <li>iv) Windows with Low Emissivity glazing.</li> <li>v) Earth berming against exterior walls</li> <li>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			<i>Staff Comments</i>	<i>The addition will have snow clips and gutters to protect pedestrians at the building entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	<i>The plans note that roof areas drain to adjacent landscape areas.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	<i>It is unlikely that a Master Sign Plan will be needed. If multiple signs are proposed, staff will require master sign plan.</i>

**3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>Existing Fencing will be removed; no other fencing is planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>Roof materials will be screened, but are not proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>Existing service lines are underground.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	

**4. Landscaping: 6A.8 (A) 4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials

				shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>The berm installed prior to this application features drought tolerant trees.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4b <i>Staff Comments</i>	b. All plant species shall be hardy to the Zone 4 environment.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4c <i>Staff Comments</i>	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4d <i>Staff Comments</i>	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.  <i>The full site landscaping will be completed closer to occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4e <i>Staff Comments</i>	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.  <i>Planter pots are planned by the front entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4f <i>Staff Comments</i>	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4g <i>Staff Comments</i>	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.  <i>The full site landscaping will be completed closer to occupancy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4h <i>Staff Comments</i>	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).  <i>The full site landscaping will be completed closer to occupancy. The berm at street level is well maintained.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4i <i>Staff Comments</i>	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4j <i>Staff Comments</i>	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4k <i>Staff</i>	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4l <i>Staff Comments</i>	i. Landscaping should be provided within or in front of extensive retaining walls.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4m <i>Staff Comments</i>	m. Retaining walls over 24" high may require railings or planting buffers for safety.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4n <i>Staff Comments</i>	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.

**Additional Design Review Requirements for  
 Non-Residential Buildings Located within B, LB, or TN**

**1. Site Planning: 6A.8 (B) 1, items (a) thru (b)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)1a	a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.  <i>Staff Comments: Applicant proposes to improve the sidewalk at the front entrance to allow access from Woodside Boulevard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)1b	b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.  <i>Staff Comments: Sidewalk widths were determined as part of the Woodside Boulevard reconstruction.</i>

**2. Building Design: 6A.8 (B) 2, items (a) thru (h)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2a	a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.  <i>Staff Comments: The remodel will retain emphasis on the Woodside Boulevard entrance, and de-emphasize the entrance from the parking.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2b	b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image, which may often accompany large buildings.  <i>Staff Comments: A separate entrance for the tennis facility is retained.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2d	c. Building designs shall maximize the human scale of buildings and enhance the small town "sense of place". This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human

		scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.
	<i>Staff Comments</i>	<i>The existing building is large for the neighborhood, but has human-scaled elements.</i>
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	6A.8(B)2e	d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.
	<i>Staff Comments</i>	
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	6A.8(B)2f	e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.
	<i>Staff Comments</i>	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	6A.8(B)2g	f. Fire department staging areas shall be incorporated into the design elements of the building.
	<i>Staff Comments</i>	<i>Staging areas are existing at the front and side of building.</i>
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	6A.8(B)2h	g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: <ul style="list-style-type: none"> <li>i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses;</li> <li>ii. Stepping down the massing of the building along the site's edge; and</li> <li>iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns</li> </ul>
	<i>Staff Comments</i>	<i>Buildings are existing.</i>

**3. Landscaping: 6A.8 (B) 3, item (a)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)3a	a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.
			<i>Staff Comments</i>	<i>Buffering was incorporated into the overall PUD approval.</i>

**Additional Design Review Requirements for all  
 Non-Residential Buildings located within the LI, SCI, TI or A zoning districts**

<b>1. Site Planning: 6A.8 (C) 1, items (a) thru (c)</b>					
<b>Compliant</b>			<b>Standards and Staff Comments</b>		
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(C)1a	a. Adjoining parcels shall be considered when planning building configuration, vehicular circulation and access, parking, and drainage.	
			<i>Staff Comments</i>		
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(C)1b	b. Reciprocal vehicular ingress and egress, circulation, and parking arrangements are encouraged when the adjacent site(s) allows in order to facilitate the ease of vehicular movement between adjoining properties.	
			<i>Staff Comments</i>		
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(C)1b	c. Vehicle circulation, parking and loading shall not block pedestrian access ways.	
			<i>Staff Comments</i>		

**6A.6 Criteria.**

- A. **The Commission or Hearing Examiner shall determine the following before approval is given:**
  - 1. **The project does not jeopardize the health, safety or welfare of the public.**
  - 2. **The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**
  
- B. **Conditions.** **The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
  - 1. **Ensure compliance with applicable standards and guidelines.**
  - 2. **Require conformity to approved plans and specifications.**
  - 3. **Require security for compliance with the terms of the approval.**
  - 4. **Minimize adverse impact on other development.**
  - 5. **Control the sequence, timing and duration of development.**
  - 6. **Assure that development and landscaping are maintained properly.**
  - 7. **Require more restrictive standards than those generally found in the Zoning Ordinance.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be

required upon subsequent change in use, in conformance with Hailey’s Zoning Ordinance at the time of the new use.

- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant’s sole expense include, but will not be limited to, the following requirements and improvements:
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) All of the conditions of the Copper Ranch Planned Unit Development shall remain in effect.

**C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

- 1. **If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

**Motion Language**

Approval:

Motion to approve the Design Review application submitted by Lido Equities and John Alan Partners represented by Tom Dabny for Design Review of exterior improvements to existing recreational buildings, located at Parcel A, Block 1, Copper Ranch in Hailey Condominiums (1970 Woodside Boulevard) within the Limited Business Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (h) are met.

Denial:

Motion to deny the Design Review application submitted by Lido Equities and John Alan Partners represented by Tom Dabny for Design Review of exterior improvements to existing recreational buildings, located at Parcel A, Block 1, Copper Ranch in Hailey Condominiums (1970 Woodside Boulevard) within the Limited Business Zoning District, finding that\_\_\_\_[the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on Design Review application submitted by Lido Equities and John Alan Partners represented by Tom Dabny for Design Review of exterior improvements to existing recreational buildings, located at Parcel A, Block 1, Copper Ranch in Hailey Condominiums (1970 Woodside Boulevard) within the Limited Business Zoning District to\_\_\_\_[Commission should specify a date).



May 6, 2015

## 2015 Copper Ranch Construction Summary

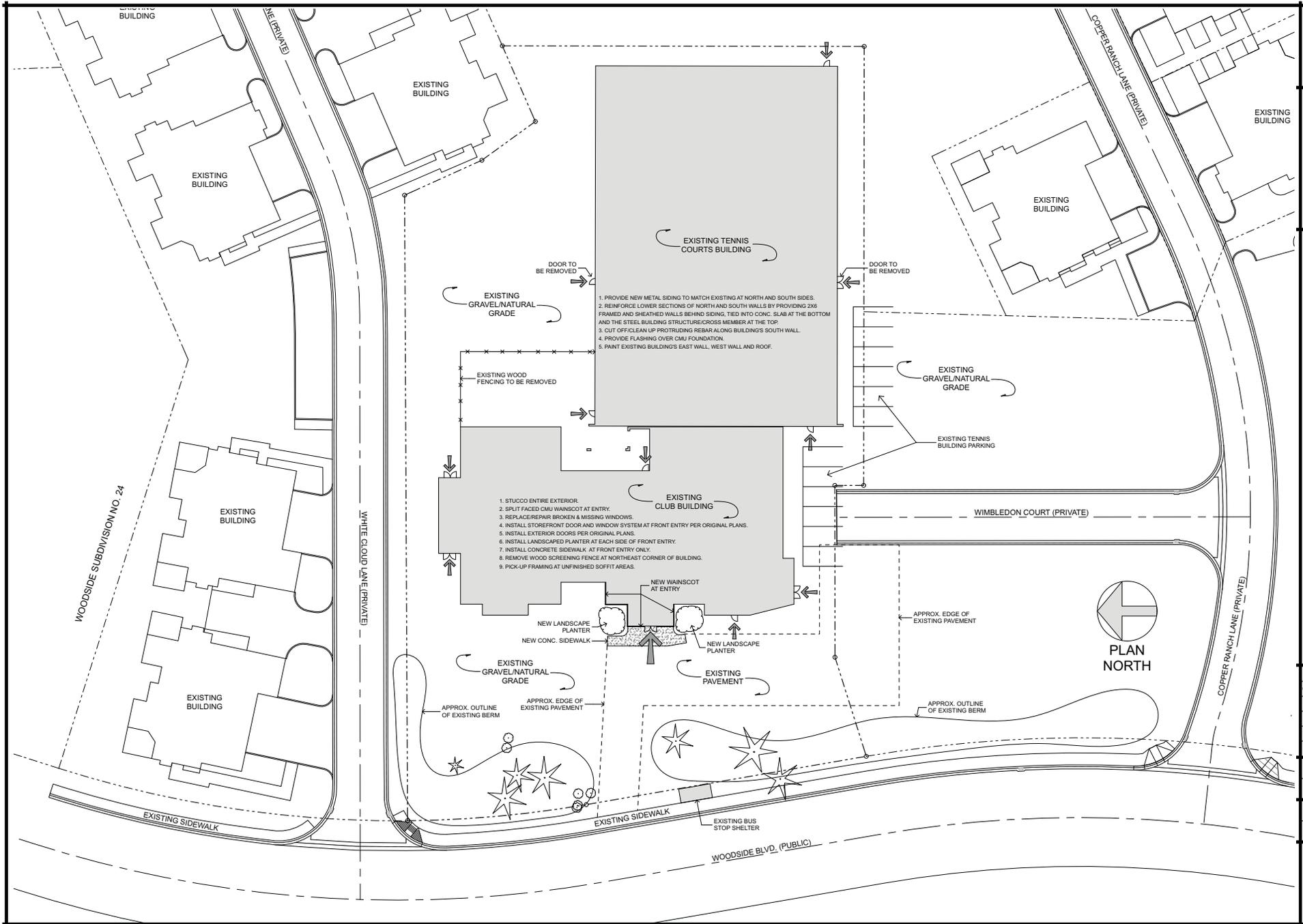
### CLUB BUILDING:

1. STUCCO ENTIRE EXTERIOR.
2. SPLIT FACED CMU WAINSCOT AT ENTRY.
3. REPLACE/REPAIR BROKEN & MISSING WINDOWS.
4. INSTALL STOREFRONT DOOR AND WINDOW SYSTEM AT FRONT ENTRY PER ORIGINAL PLANS.
5. INSTALL EXTERIOR DOORS PER ORIGINAL PLANS.
6. INSTALL LANDSCAPED PLANTER AT EACH SIDE OF FRONT ENTRY.
7. INSTALL CONCRETE SIDEWALK AT FRONT ENTRY ONLY.
8. REMOVE WOOD SCREENING FENCE AT NORTHEAST CORNER OF BUILDING.
9. PICK-UP FRAMING AT UNFINISHED SOFFIT AREAS.

### TENNIS BUILDING:

1. PROVIDE NEW METAL SIDING TO MATCH EXISTING AT NORTH AND SOUTH SIDES.
2. REINFORCE LOWER SECTIONS OF NORTH AND SOUTH WALLS BY PROVIDING 2X6 FRAMED AND SHEATHED WALLS BEHIND SIDING, TIED INTO CONC. SLAB AT THE BOTTOM AND THE STEEL BUILDING STRUCTURE/CROSS MEMBER AT THE TOP.
3. CUT OFF/CLEAN UP PROTRUDING REBAR ALONG BUILDING'S SOUTH WALL.
4. PROVIDE FLASHING OVER CMU FOUNDATION.
5. PAINT EXISTING BUILDING'S EAST WALL, WEST WALL AND ROOF.





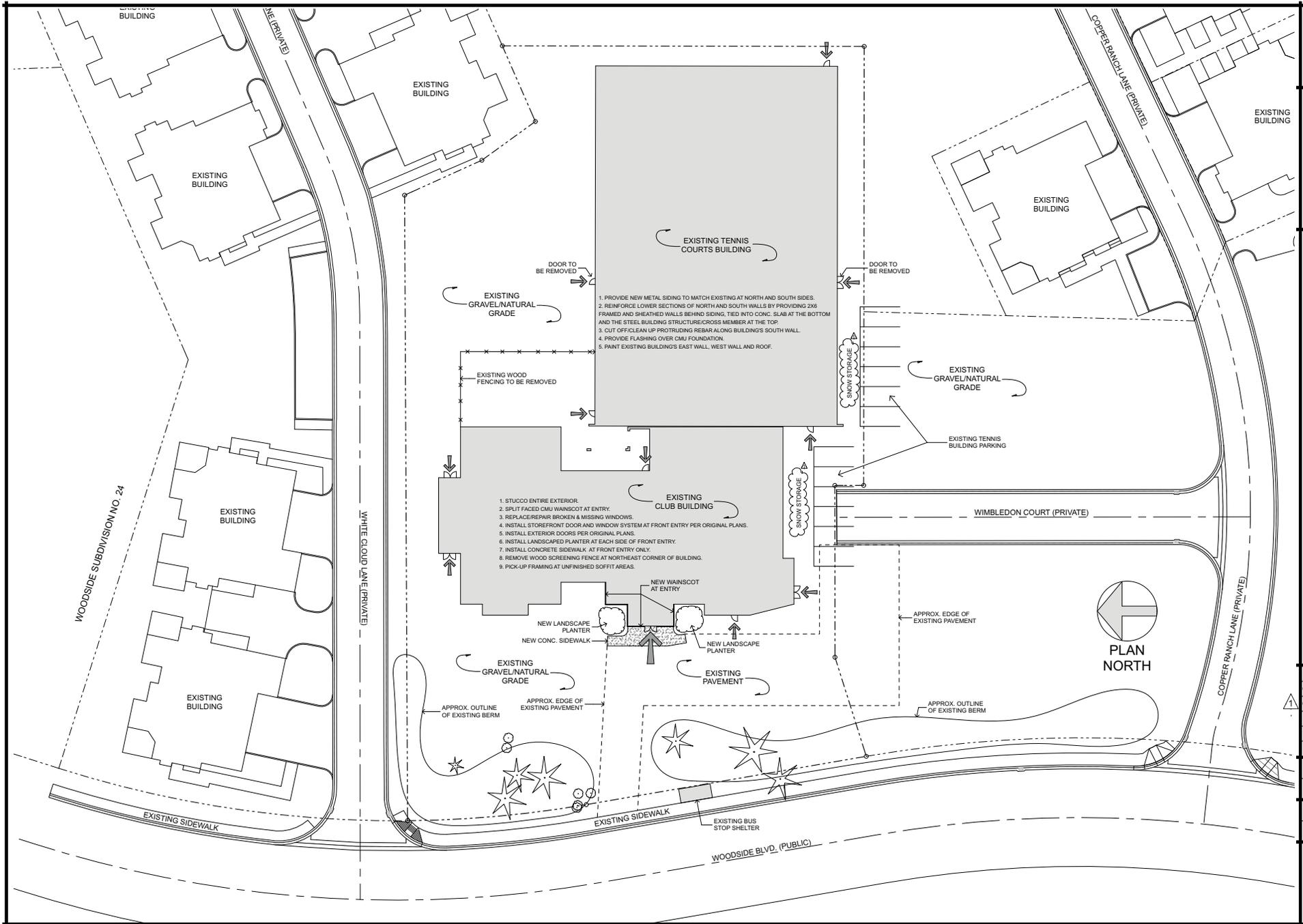
TND ARCHITECTS PLLC  
 THOMAS N. DABNEY  
 ARCHITECT  
 308 225 2250  
 14 EAST 64th STREET  
 HAILEY, IDAHO 83403  
 TONDNDARCH.COM

PROPOSED IMPROVEMENTS TO: **THE CLUB AT COPPER RANCH**  
 PARCEL B1, COPPER RANCH IN HAILEY PHASE 5 1970 WOODSIDE BLVD., HAILEY, IDAHO  
**SITE PLAN - PROPOSED**

REVISIONS	
04/17/2015	DESIGN REVIEW SUBMITTAL #1

PRINT DATE  
 4/17/15  
 DRAWING SCALE  
 1" = 20'-0"

**SITE-01**



EXISTING TENNIS COURTS BUILDING

1. PROVIDE NEW METAL SIDING TO MATCH EXISTING AT NORTH AND SOUTH SIDES.
2. REINFORCE LOWER SECTIONS OF NORTH AND SOUTH WALLS BY PROVIDING 2X6 FRAMED AND SHEATHED WALLS BEHIND SIDING, TIED INTO CONC. SLAB AT THE BOTTOM AND THE STEEL BUILDING STRUCTURE/CROSS MEMBER AT THE TOP.
3. CUT OFF/CLEAN UP PROTRUDING REBAR ALONG BUILDING'S SOUTH WALL.
4. PROVIDE FLASHING OVER CMU FOUNDATION.
5. PAINT EXISTING BUILDING'S EAST WALL, WEST WALL AND ROOF.

EXISTING CLUB BUILDING

1. STUCCO ENTIRE EXTERIOR.
2. SPLIT FACED CMU WAINSCOT AT ENTRY.
3. REPLACE/REPAIR BROKEN & MISSING WINDOWS.
4. INSTALL STOREFRONT DOOR AND WINDOW SYSTEM AT FRONT ENTRY PER ORIGINAL PLANS.
5. INSTALL EXTERIOR DOORS PER ORIGINAL PLANS.
6. INSTALL LANDSCAPED PLANTER AT EACH SIDE OF FRONT ENTRY.
7. INSTALL CONCRETE SIDEWALK AT FRONT ENTRY ONLY.
8. REMOVE WOOD SCREENING FENCE AT NORTHEAST CORNER OF BUILDING.
9. PICK-UP FRAMING AT UNFINISHED SOFFIT AREAS.

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PROPOSED IMPROVEMENTS TO: THE CLUB AT COPPER RANCH  
 PARCEL B1, COPPER RANCH IN HAILEY PHASE 5 1970 WOODSIDE BLVD., HAILEY, IDAHO  
 SITE PLAN - PROPOSED

REVISIONS	
04172015	DESIGN REVIEW SUBMITTAL #1
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 1" = 20'-0"

SITE-01



WEST - FROM WOODSIDE BLVD.



NORTHWEST - FROM WOODSIDE BLVD.



SOUTH - EXISTING TENNIS BLDG. PARKING



WEST - EXISTING LANDSCAPED BERM AND PAVEMENT

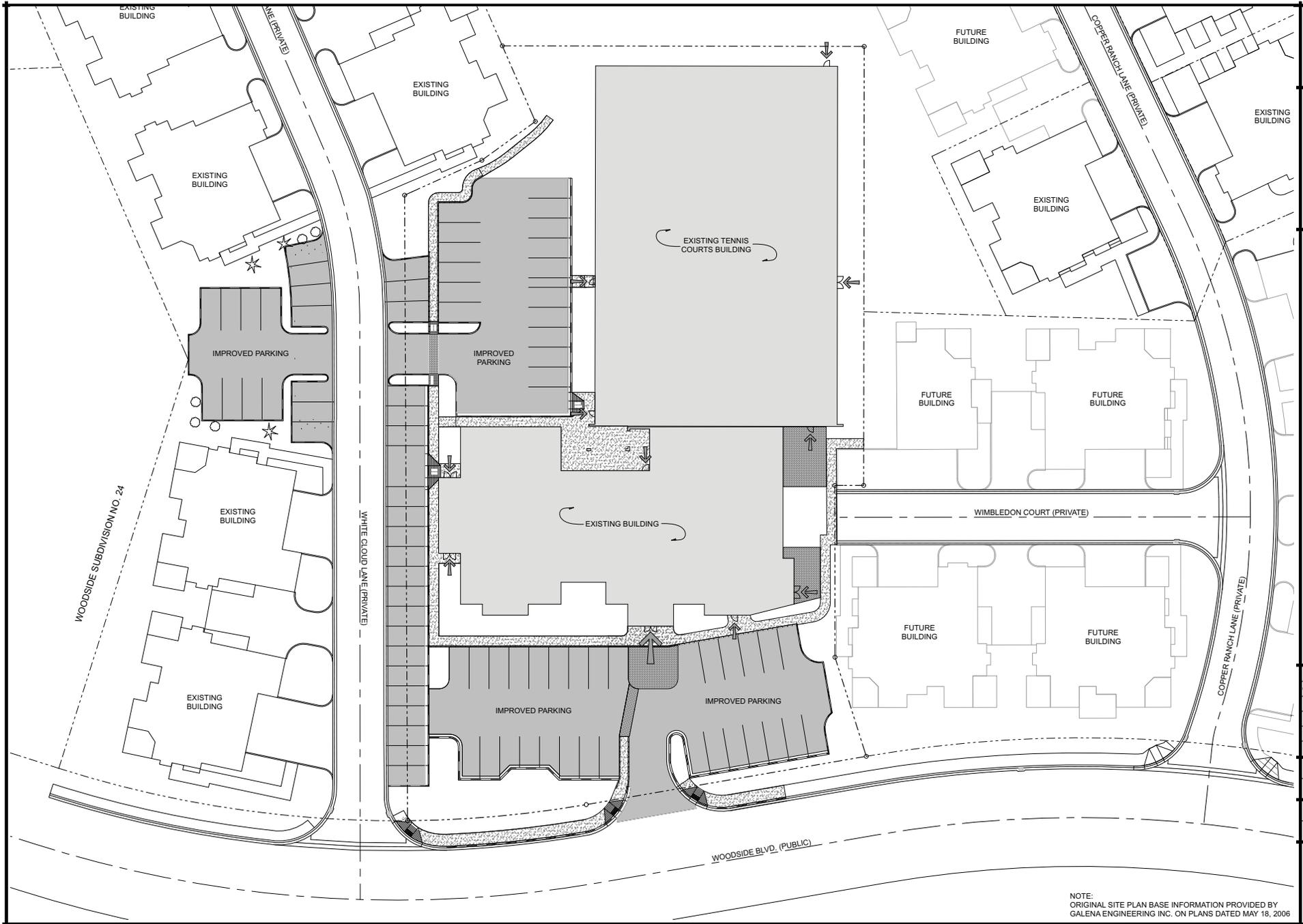
TND ARCHITECTS PLLC  
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PROPOSED IMPROVEMENTS TO: THE CLUB AT COPPER RANCH  
 PARCEL B1, COPPER RANCH IN HAILEY PHASE 5 1970 WOODSIDE BLVD., HAILEY, IDAHO  
 EXISTING SITE PHOTOS

REVISIONS	
04172015	DESIGN REVIEW SUBMITTAL #1

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 DRAWING SCALE  
 NO SCALE

SITE-02



WOODSIDE SUBDIVISION NO. 24

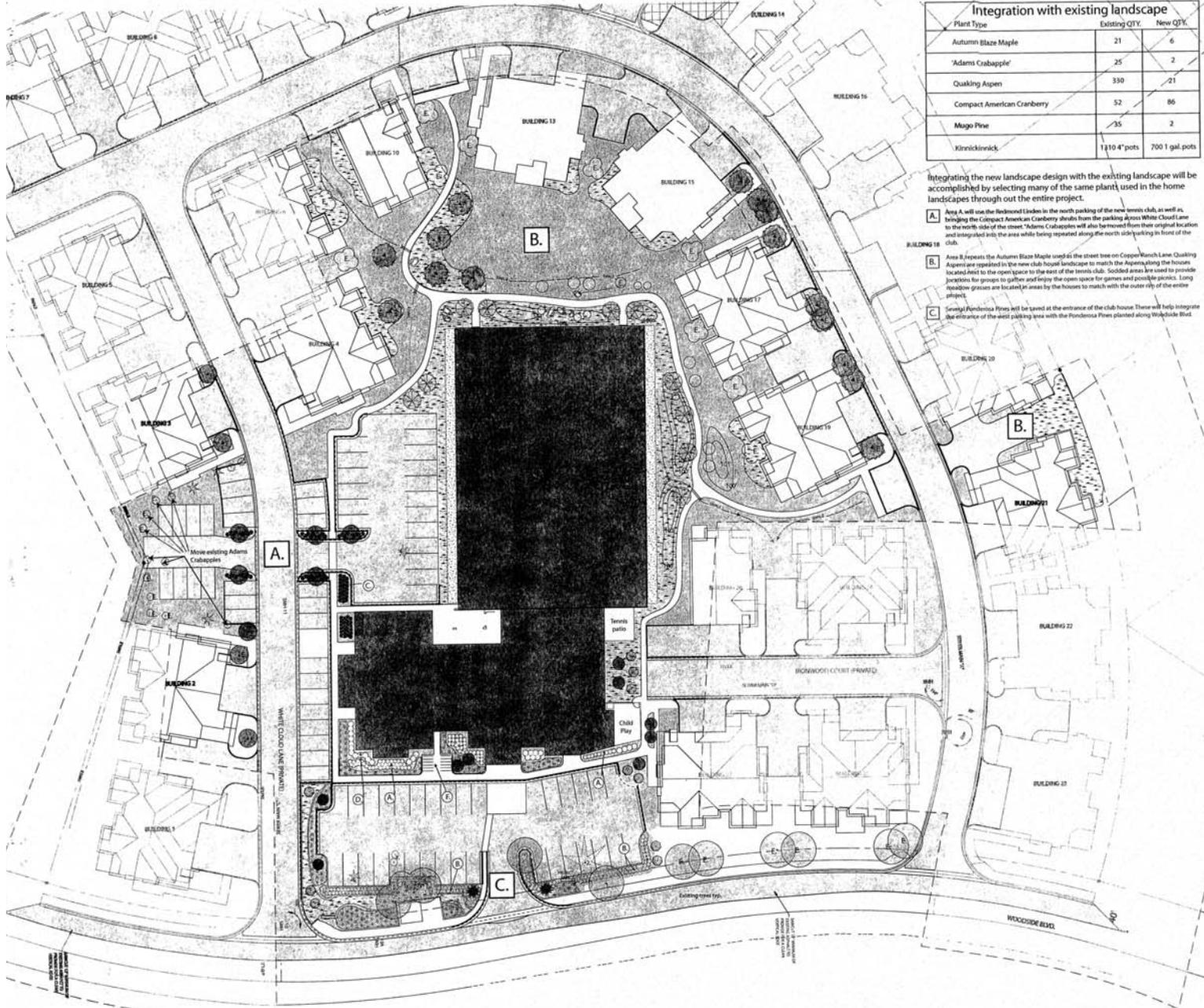
TND ARCHITECTS PLLC  
 THOMAS N. DABNEY  
 ARCHITECT  
 208 225 2265  
 1040 N. DABNEY CO. DR.  
 HAILEY, IDAHO 83403

PROPOSED IMPROVEMENTS TO: THE CLUB AT COPPER RANCH  
 PARCEL B1, COPPER RANCH IN HAILEY PHASE 5, 1970 WOODSIDE BLVD., HAILEY, IDAHO  
 SITE PLAN - 2006 ORIGINAL

REVISIONS	
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PRINT DATE  
4/17/15  
 DRAWING SCALE  
1" = 20'-0"

SITE-03



Integration with existing landscape		
Plant Type	Existing QTY	New QTY
Autumn Blaze Maple	21	6
'Adams Crabapple'	25	2
Quaking Aspen	330	21
Compact American Cranberry	52	86
Mugo Pine	35	2
Kinnickinick	1310 4" pots	700 1 gal. pots

Integrating the new landscape design with the existing landscape will be accomplished by selecting many of the same plants used in the home landscapes throughout the entire project.

- A.** Area A will use the Redmond Linden in the north parking of the new tennis club, as well as bringing the Compact American Cranberry shrubs from the parking across White Cloud Lane to the north side of the street. 'Adams Crabapples' will also be moved from their original location and integrated into the area while being repeated along the north side parking in front of the club.
- B.** Area B repeats the Autumn Blaze Maple used as the street tree on Copper Ranch Lane. Quaking Aspens are repeated in the new club house landscape to match the Aspens along the houses located just to the open space to the east of the tennis club. Sodded areas are used to provide locations for groups to gather and enjoy the open space for games and possible picnics. Long meadow grasses are located in areas by the houses to match with the outer rim of the entire property.
- C.** Several Ponderosa Pines will be saved at the entrance of the club house. These will help integrate the entrance of the west parking area with the Ponderosa Pines planted along Woodside Blvd.

New Plantings			
Symbol	Type	Size	Qty.
[Symbol]	Lawn Grasses	N/A	20,000 sq.ft.
[Symbol]	Natural Grasses	N/A	13,000 sq.ft.
[Symbol]	Mulched Bed	2'-3'	5,000 sq.ft.
[Symbol]	Kinnickinick	1 gal.	700
[Symbol]	2" Washed Gravel	3'-4'	3500 sq.ft.
[Symbol]	Autumn Blaze Maple	4" cal.	QTY Percent of total 6 - 11%
[Symbol]	Armstrong Maple	3" cal.	7 - 13%
[Symbol]	Ginnala Maple Multi	1.5" cal.	10 - 18%
[Symbol]	Upright Mugo Pine	5'-6'	2 - 3.5%
[Symbol]	'Adams' Crabapple	4" cal.	2 - 3.5%
[Symbol]	Redmond Linden	2" cal.	5 - 9%
[Symbol]	Quaking Aspen	2.5" cal.	7 - 8%
[Symbol]	Quaking Aspen	15 cal.	5 - 10%
[Symbol]	Red Cistena Plum	1.5" cal.	10 - 6%
[Symbol]	A. Pervoskia	1 gal.	70
[Symbol]	B. Echinacea 'Magnus'	1 gal.	118
[Symbol]	C. Compact American Cranberry	5 gal.	86
[Symbol]	D. Ninebark 'Darts Gold'	10 gal.	26
[Symbol]	E. Accent Boulders	2'-3" dia.	7
[Symbol]	F. Bike Rack (5 bike capacity)	N/A	2

Existing Trees			
1.	Existing pines to be saved	+ 30 ft.	5
2.	Existing pine to be removed	+ 30 ft.	1
3.	Aspens to be removed	Various	6
4.	Existing pines to be removed	+ 10'	2

- GENERAL NOTES :**
- This plan was created from site survey provided by contractor/ client.
  - All Seasons Landscaping assumes no liability for the accuracy of site plan.
  - Client is responsible for obtaining all local, state, and federal permits for work concerning, but not limited to, environmental, riparian, and wetland areas.
  - Plant symbols are not indicative of planted sizes.
  - Quantities and dimensions to be verified by contractor prior to construction.
- LANDSCAPE NOTES:**
- All shrub, perennial, and tree areas to have 2" small particle bark mulch unless otherwise labeled.
  - All sodded and hydroseeded areas to get 2" screened topsoil prior to planting.
  - All trees to be staked.
  - All plantings to have balanced granular fertilizer added at the time of installation to planting hole.

# Landscape Plan

Scale 1" = 30'

Location: 1930 Woodside Blvd. Hillyard, IL 63333

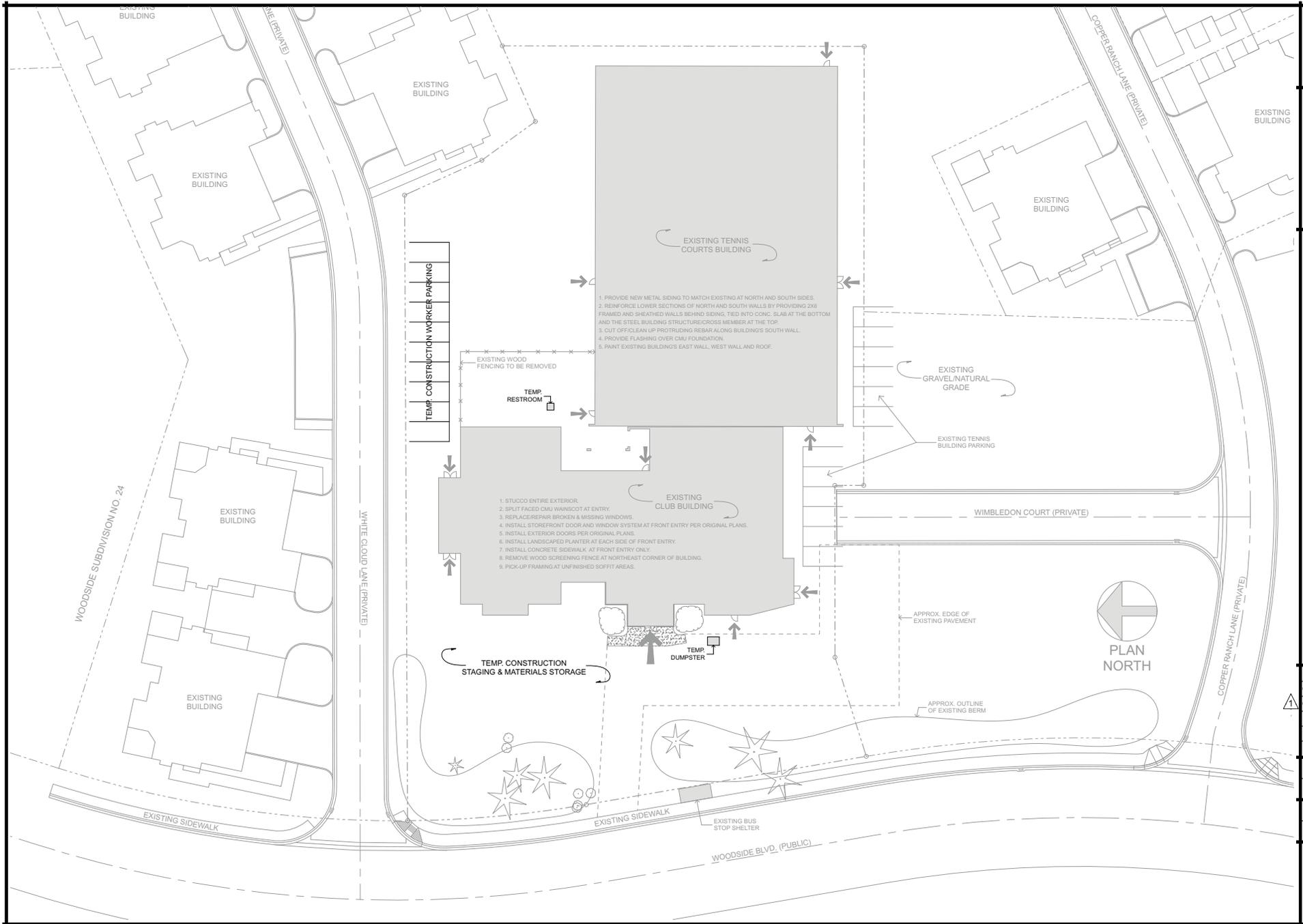
Client: The Club at Copper Ranch

Drawn by: Webb Bink 11-02-06  
 Checked by: Andrew Olson  
 Approved by: Andrew Olson 11-29-06

All Seasons Landscaping  
 208-798-3333 FAX 208-798-0274  
 www.allseasonslandscaping.com

Job number:  
 Sheet number:

11



**TND ARCHITECTS PLLC**  
 THOMAS N. DABNEY  
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 1000 N. DABNEY CO. DR.  
 HAILEY, IDAHO 83401

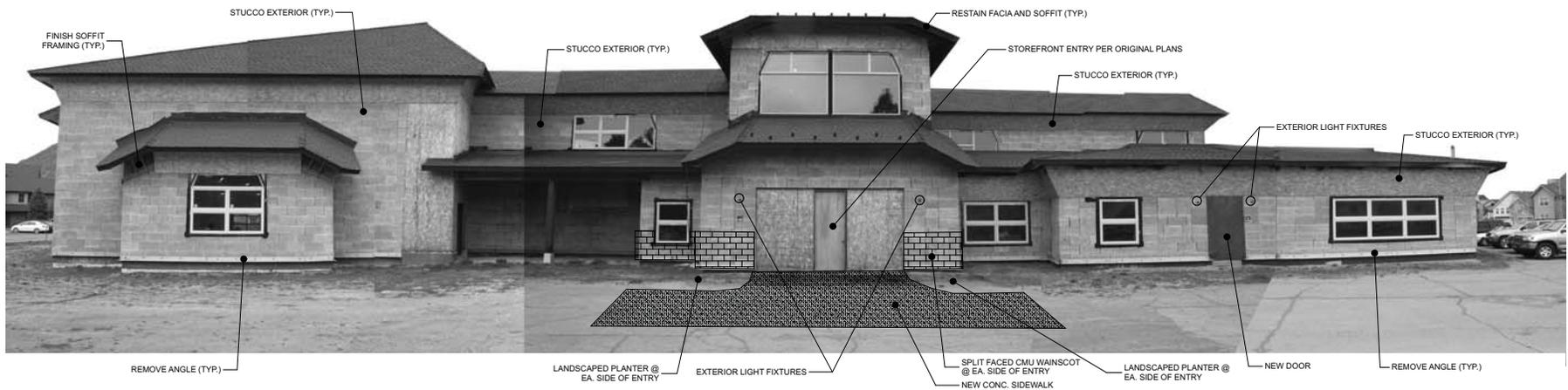
PROPOSED IMPROVEMENTS TO: **THE CLUB AT COPPER RANCH**  
 PARCEL B1, COPPER RANCH IN HAILEY PHASE 5 1970 WOODSIDE BLVD., HAILEY, IDAHO  
**CONSTRUCTION STAGING & CONTRACTOR PLAN**

REVISIONS	
04172015	DESIGN REVIEW SUBMITTAL #1
05062015	DESIGN REVIEW SUBMITTAL #2

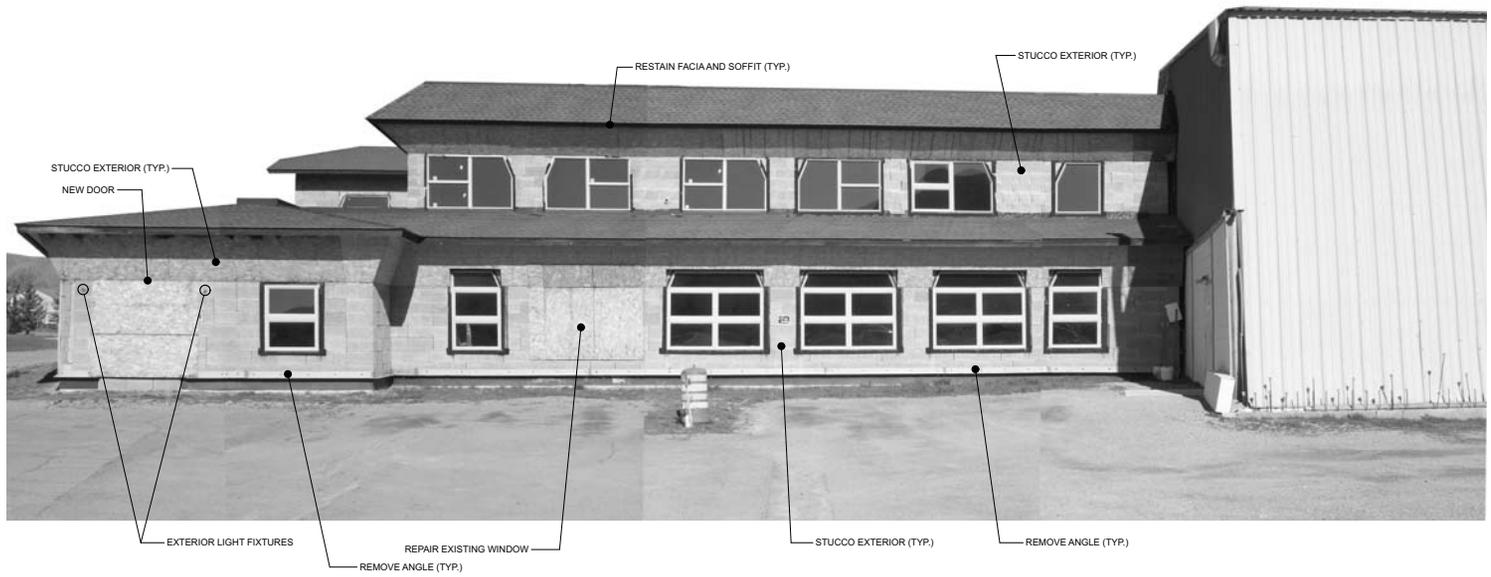
PRINT DATE  
 5/6/15

DRAWING SCALE  
 1" = 20'-0"

**SITE-05**



WEST ELEVATION - WOODSIDE BLVD.



SOUTH ELEVATION - COPPER RANCH LANE

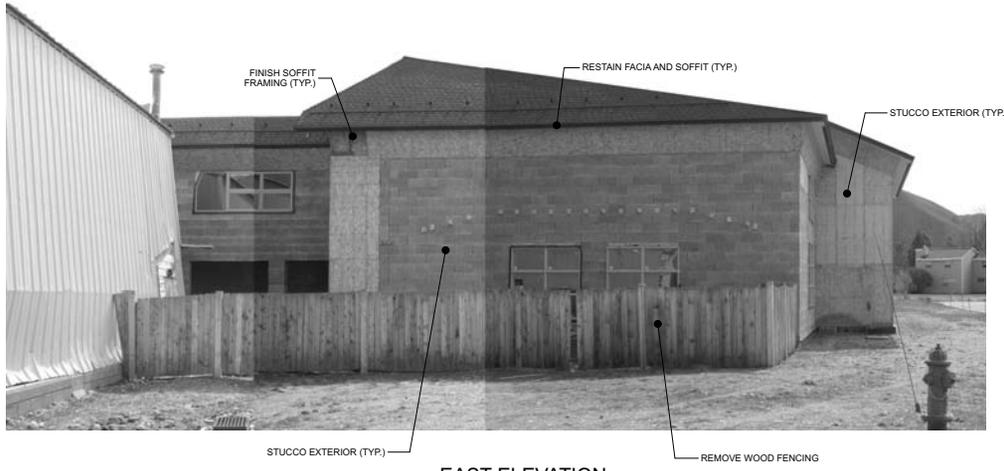
TND ARCHITECTS PLLC  
 THOMAS N. DABNEY  
 ARCHITECT  
 308 225 2250  
 TONDNDARCH.COM  
 48 EAST 634 STREET  
 HAILEY, IDAHO 83430

PROPOSED IMPROVEMENTS TO: THE CLUB AT COPPER RANCH  
 PARCEL B1, COPPER RANCH IN HAILEY PHASE 5 1970 WOODSIDE BLVD., HAILEY, IDAHO  
 CLUB BUILDING - PROPOSED ELEVATIONS

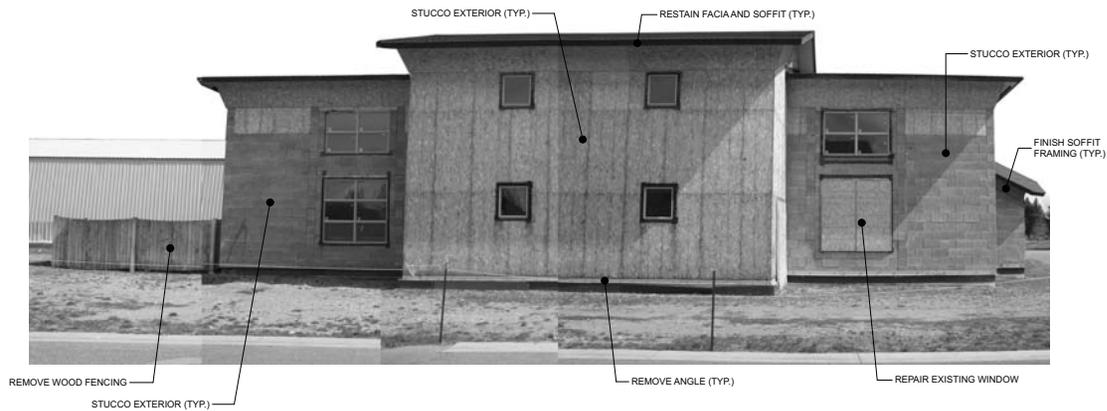
REVISIONS	
04/17/2015	DESIGN REVIEW SUBMITTAL #1

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 4/17/15  
 DRAWING SCALE  
 NO SCALE

A-01



EAST ELEVATION



NORTH ELEVATION - WHITE CLOUD LANE

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PROPOSED IMPROVEMENTS TO: THE CLUB AT COPPER RANCH  
 PARCEL B1, COPPER RANCH IN HAILEY PHASE 5 1970 WOODSIDE BLVD., HAILEY, IDAHO  
 CLUB BUILDING - PROPOSED ELEVATIONS

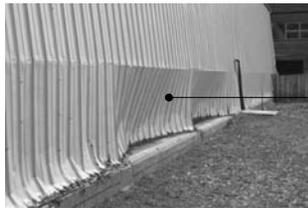
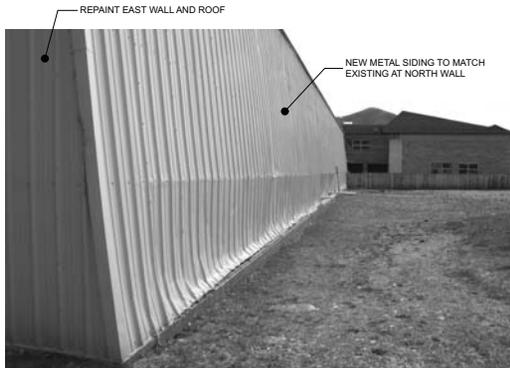
REVISIONS	
04172015	DESIGN REVIEW SUBMITTAL #1

PRINT DATE  
 4/17/15  
 DRAWING SCALE  
 NO SCALE

A-02



EAST ELEVATION - TENNIS BLDG.



NORTH ELEVATION - TENNIS BLDG.



SOUTH ELEVATION - TENNIS BLDG.

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TOM@TNDARCH.COM

PROPOSED IMPROVEMENTS TO: THE CLUB AT COPPER RANCH  
PARCEL B1, COPPER RANCH IN HAILEY PHASE 5 1970 WOODSIDE BLVD., HAILEY, IDAHO

TENNIS BUILDING - PROPOSED ELEVATIONS

REVISIONS

04172015	DESIGN REVIEW SUBMITTAL #1

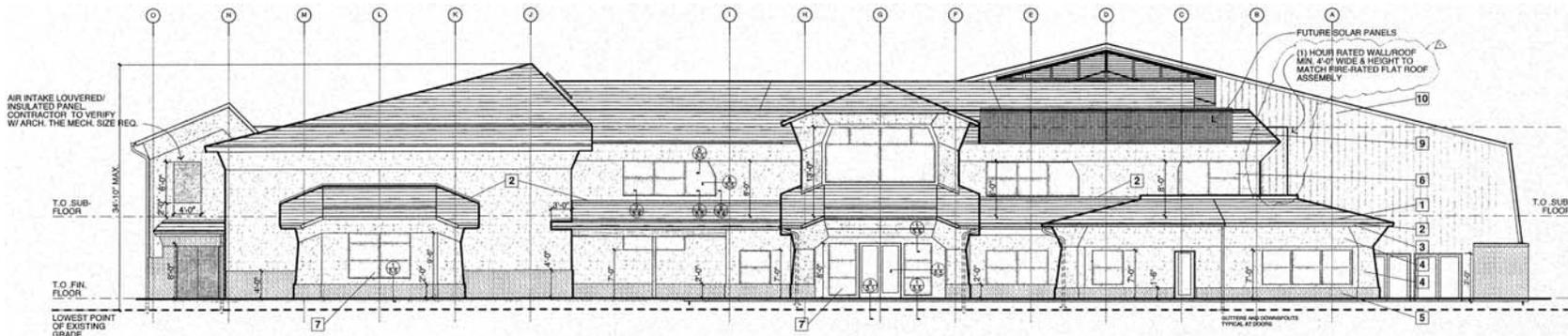
PRINT DATE

4/17/15

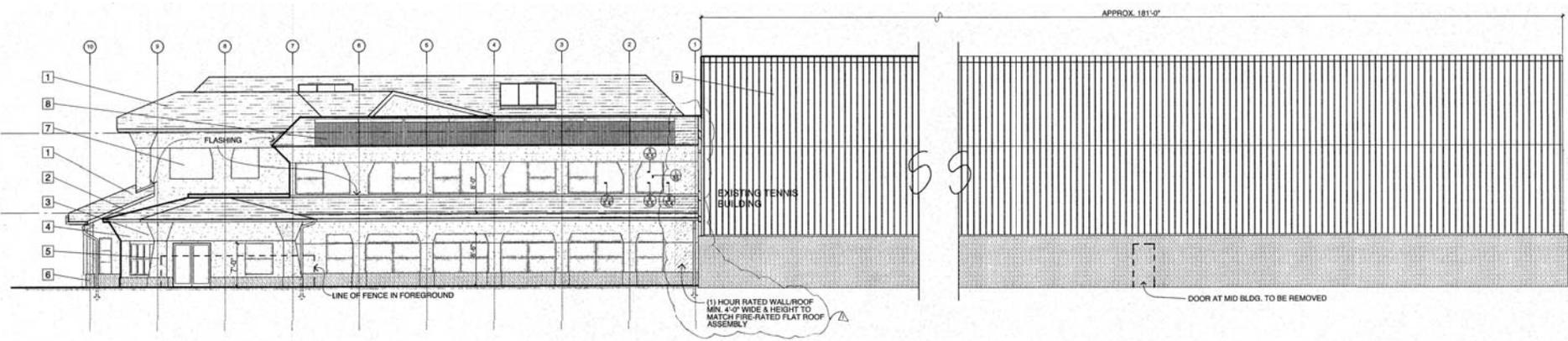
DRAWING SCALE

NO SCALE

A-03



WEST ELEVATION



SOUTH ELEVATION

NOTE:  
ORIGINAL ELEVATIONS FROM CONSTRUCTION DOCUMENTS PLAN SET  
BY LIVING ARCHITECTURE BATES & ASSOCIATES DATED MAY 26, 2006

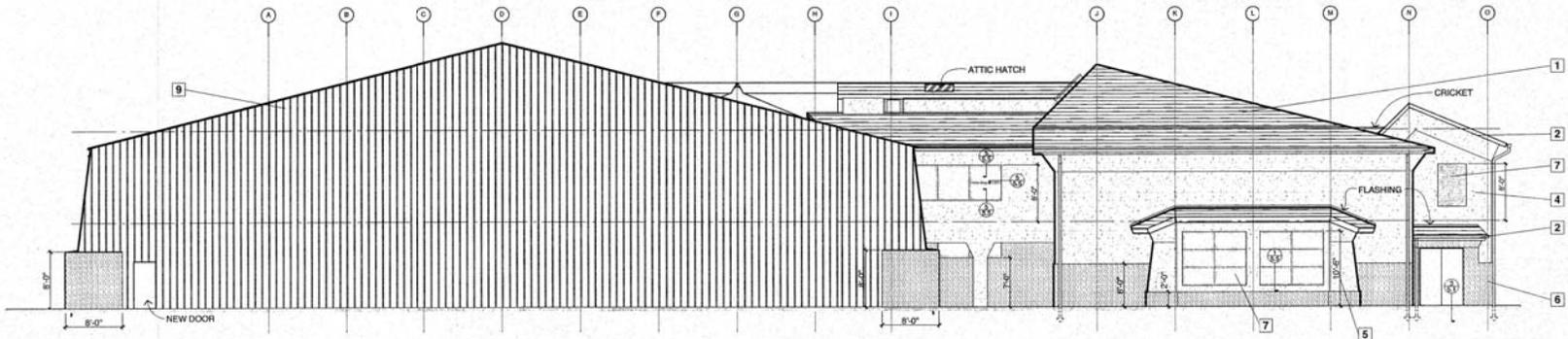
TND ARCHITECTS PLLC  
THOMAS N. DABNEY  
ARCHITECT  
308 225 2255  
TOM@TNDARCH.COM  
48 EAST 634 STREET  
HAILEY, IDAHO 83403

PROPOSED IMPROVEMENTS TO: THE CLUB AT COPPER RANCH  
PARCEL B1, COPPER RANCH IN HAILEY PHASE 5 1970 WOODSIDE BLVD., HAILEY, IDAHO  
EXTERIOR ELEVATIONS - 2006 ORIGINALS

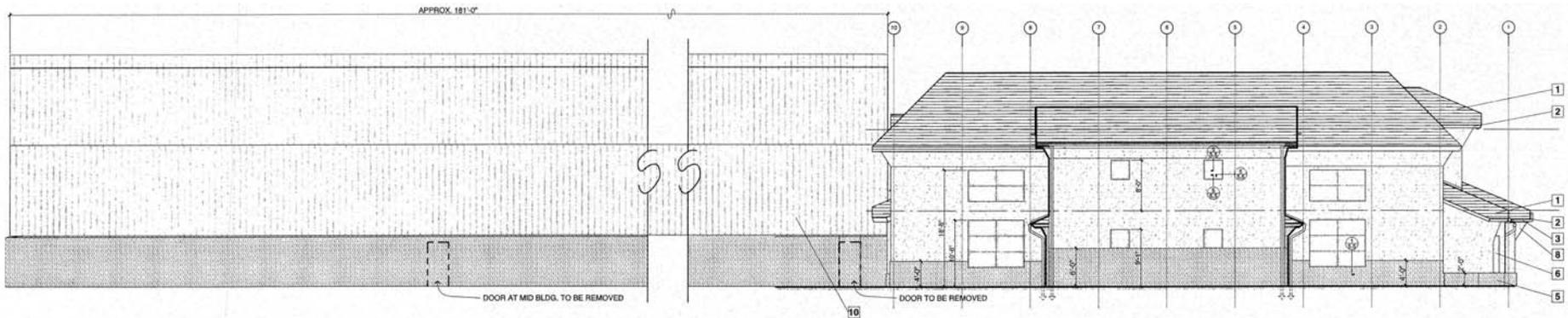
REVISIONS	
04/17/2015	DESIGN REVIEW SUBMITTAL #1

PRINT DATE  
4/17/15  
DRAWING SCALE  
1/8"=1'-0"

A-04



EAST ELEVATION 1" = 1'-0"



NORTH ELEVATION 1" = 1'-0"

NOTE:  
ORIGINAL ELEVATIONS FROM CONSTRUCTION DOCUMENTS PLAN SET  
BY LIVING ARCHITECTURE BATES & ASSOCIATES DATED MAY 26, 2006

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THOMAS N. DABNEY  
ARCHITECT  
308 225 2255  
TOM@TNDARCH.COM

PROPOSED IMPROVEMENTS TO: THE CLUB AT COPPER RANCH  
PARCEL B1, COPPER RANCH IN HALLEY PHASE 5 1970 WOODSIDE BLVD., HALLEY, IDAHO  
EXTERIOR ELEVATIONS - 2006 ORIGINALS

REVISIONS	
04172015	DESIGN REVIEW SUBMITTAL #1

PRINT DATE	4/17/15
DRAWING SCALE	1/8"=1'-0"

A-05

**From:** [Bailey Wayne](#)  
**To:** [Lisa Horowitz](#)  
**Subject:** Re: Design Review for Parcel B1, Copper Ranch Phase 5 (1970 Woodside Blvd)  
**Date:** Friday, May 01, 2015 12:52:36 PM

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Hi Lisa,

Thanks again for allowing me to review the design plan for the Copper Ranch Club and Tennis buildings today. I really appreciate it.

I forgot to ask if there is any specific format that I should use to submit my written comments or is just an e-mail sufficient?

Also, as I mentioned I am very interested in getting more involved in Hailey-centric community activities and plan to be spending more time here than in DC in the coming months, especially from August forward.

Let me know about the format for my comments.

Thanks!

Wayne

---

**From:** Lisa Horowitz <lisa.horowitz@haileycityhall.org>  
**To:** Wayne Bailey <wayne\_bailey\_2000@yahoo.com>  
**Sent:** Wednesday, April 29, 2015 8:48 AM  
**Subject:** Re: Design Review for Parcel B1, Copper Ranch Phase 5 (1970 Woodside Blvd)

Between 11 and noon would be great!

Lisa

Lisa Horowitz

On Apr 29, 2015, at 6:45 AM, Wayne Bailey <[wayne\\_bailey\\_2000@yahoo.com](mailto:wayne_bailey_2000@yahoo.com)> wrote:

Hi Lisa,

I could definitely come in on Friday. Is there a time that works best?

Thanks!

Wayne

## IPad Impaired Typing

On Apr 29, 2015, at 6:41 AM, Lisa Horowitz  
<[lisa.horowitz@haileycityhall.org](mailto:lisa.horowitz@haileycityhall.org)> wrote:

We have a full electronic set of the drawings I could try and email you a couple sheets but they are rather large. Would you be able to come in this afternoon or Friday?

Lisa

Lisa Horowitz

On Apr 28, 2015, at 4:29 PM, Bailey Wayne  
<[wayne\\_bailey\\_2000@yahoo.com](mailto:wayne_bailey_2000@yahoo.com)> wrote:

I will be in Washington, DC on business, departing on May 4th and not returning until May 15th and unable to attend the Planning and Zoning Commission Public Meeting on May 11th. However, I am very interested in seeing the design plan for this property. I currently own property within 300 feet of Parcel B1 and have a definite interest in this design. If possible, could I get a copy of the architect's design before the stated date of the Friday before the meeting on Monday, May 11th? I would like an opportunity to review the design and will provide my comments via e-mail prior to the meeting if I can review the design before hand.

Thank you in advance for your time and consideration.

Wayne M. Bailey

**RETURN TO AGENDA**

**DESIGN REVIEW  
STAFF REPORT**

**TO:** Hailey Planning and Zoning Commission

**FROM:** Lisa Horowitz, Community Development Director

**RE:** Design Review application submitted by Bradley Construction behalf of Robin and Dean Paschall for a re-built single-family residential dwelling to be located on Lots 7-9, Block 45, of the Hailey Townsite, otherwise known as 209 First Avenue North.

**HEARING:** May 11, 2015

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**Applicant:** Bradley Construction on behalf of Robin and Dean Paschall, owners

**Request:** Design Review of a new single family dwelling

**Location:** Lots 7-9, Block 45, of the Hailey Townsite, (209 First Avenue North) L

**Zoning:** General Residential (GR)

**Notice**

Notice for the public hearing was published in the Idaho Mountain Express on April 22, 2015 and mailed to property owners within 300 feet on April, 2015.

**Application**

The applicant is proposing to construct a new 2,243 square foot house. The previous house on the site was completely demolished in a fire in September 2014. An existing Accessory Dwelling Unit of approximately 640 square feet net is located above the garage saved, and will remain. The garage is 540 square feet. The demolished house was nonconforming with regards to the north side yard setbacks. The reconstruction will be conforming.

**Procedural History**

The Design Review application was submitted on April 16, 2015 and certified complete on the same date. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on May 11, 2015, at 5:30 pm in the Council Chambers.



<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b> <i>No comments</i>
				<b>Life/Safety:</b> <i>No comment</i>
				<b>Water and Sewer:</b> <i>No comment</i>
				<b>Building:</b> <i>No comment</i>
			<b>Streets:</b> <i>No comment</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	<b>8.2 Signs:</b> The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Staff Comments</i>	<i>Signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	<b>See Section 9.4 for applicable code.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• two spaces per dwelling are required with a maximum of 6, and 1 space for ADU's under 1,000 square feet. A total of 3 spaces are required for this project.</li> <li>• Home will have 2-car garage. The parking outside the existing garage is substandard at 15' in length (16' is required for a compact space; 18' for a standard space. Note that this parking area was substandard prior to the fire, and the degree of nonconformity is not increasing. Staff recommends that the existing nonconforming parking stall be grandfathered in per Section 13.9.1.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	<b>8B.4.1 General Standards</b> <ol style="list-style-type: none"> <li>a) All exterior lighting shall be designed, located and lamped in order to prevent:               <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> </li> <li>b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c) Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d) Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e) Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ol>
			<i>Staff Comments</i>	<i>Lighting is not yet shown on the plans. Applicant will install downcast, outdoor lighting fixtures; cut sheets will be required prior to issuance of a building permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<b>See 4.13.6, Zoning Ordinance</b>

			<p><b>Staff Comments</b></p> <p><i>Zoning District: General Residential in the Townsite Overlay. Townsite Overlay bulk requirements apply.</i></p> <ul style="list-style-type: none"> <li>- <i>Max Height: 30'. Proposed height: 29'-1"</i></li> <li>- <i>Residence Street side Setbacks: 12' from the street.</i></li> <li>- <i>Setback from property lines abutting other private property</i> <ul style="list-style-type: none"> <li>o <i>Base Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required</i> <ul style="list-style-type: none"> <li>▪ <i>Home is set back 20 feet on the street side</i></li> <li>▪ <i>Home is set back 29'-1" on south side and 10' on the north side. Required setback is based on the building height as described below.</i></li> </ul> </li> </ul> </li> <li>- <i>Alley setback is required at 6'. Garage is existing and is set back 15'.</i> <ul style="list-style-type: none"> <li>o <i>Setback based on height of structure</i> <ul style="list-style-type: none"> <li>▪ <i>4.13.6.d.4.b:</i> <ul style="list-style-type: none"> <li>• <b>Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one (1) foot for every two and a half (2.5) feet of wall height (see Diagram 1 and Table 2), but not less than the base setback noted in subsection (a) above, regardless of underlying zoning.</b></li> <li>▪ <i>Highest vertical wall height, measured from record grade, facing adjacent property is existing at 29'-1"</i></li> <li>▪ <i>Required Setback: 12' per table 2 referenced in Section 4.13.6.d.4.b. However, the north side setback was previously nonconforming (less than 10'). Section 13.9.1 of the Code allows buildings that were destroyed by fire or other calamity to be rebuilt so long as the degree of non-conformity is not increased.</i></li> </ul> </li> </ul> </li> </ul> </li> <li>- <i>Maximum Lot coverage: 30% in GR for a two-story dwelling with a garage</i> <ul style="list-style-type: none"> <li>o <i>Lot is 10,800 square feet, therefore 3,240 sf is allowed for lot coverage</i></li> <li>o <i>Proposed lot coverage is 2,243 21% of total lot coverage.</i></li> </ul> </li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>6A.7 (A) Required Street Improvements Required</b></p> <p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p> <p><b>Staff Comments</b></p> <ul style="list-style-type: none"> <li>- <i>A 5' wide sidewalk exists along the entire property frontage on First Avenue.</i></li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>6A.7 (B) Required Water System Improvements</b></p> <p><b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b></p> <p><b>Staff Comments</b></p> <ul style="list-style-type: none"> <li>- <i>Garage is existing.</i></li> </ul>

## Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO): 6A.9

### 1. Site Planning: 6A.9.C.1

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> <li>The proposed new residence preserves the Old Hailey Townsite lot configuration, although the house accesses from the long side of the corner lot.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> <li>scale and massing of new buildings consistent with the surrounding neighborhood;</li> <li>building orientation that respects the established grid pattern of Old Hailey;</li> <li>clearly visible front entrances;</li> <li>use of alleys as the preferred access for secondary uses and automobile access;</li> <li>adequate storage for recreational vehicles;</li> <li>yards and open spaces;</li> <li>solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines;</li> <li>snow storage appropriate for the property;</li> <li>underground utilities for new dwelling units.</li> </ul> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> <li>The proposed site plan and development is consistent with the scale and massing in the neighborhood.</li> <li>The applicant proposes to retain the garage access off of the alley.</li> <li>All utilities will be located underground as shown on the site plan.</li> <li>All utilities are accessed from the alley.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> <li>The building will meet energy code requirements.</li> </ul>

### 2. Bulk Requirements (Mass and Scale, Height, Setbacks): 6A.9.C.2

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.2	<p>The perceived mass of larger buildings shall be diminished by the design.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> <li>The proposed new residence will be consistent in size and mass to the surrounding structures and with the surrounding neighborhood.</li> <li>Design effort was made to lower the mass by adding various roof forms and add to the human scale.</li> </ul>

				<ul style="list-style-type: none"> <li>Garage is subordinate to the main house.</li> </ul>
<b>3. Architectural Character: 6A.9.C.3</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.a	<p><b>General: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</b></p> <p><i>Staff Comments</i> The new house is reflective of historic design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	<p><b>Building Orientation: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</b></p> <p><i>Staff Comments</i>  <ul style="list-style-type: none"> <li>The front entrance has access to First Avenue, and is clearly visible from the street.</li> </ul> </p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	<p><b>Building Orientation: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</b></p> <p><i>Staff Comments</i>  <ul style="list-style-type: none"> <li>Dwelling is situated squarely on the site, which is consistent with Old Hailey.</li> </ul> </p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.c	<p><b>Building Form: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</b></p> <p><i>Staff Comments</i>  <ul style="list-style-type: none"> <li>Porch roofs and gabled roofs break up the mass of the traditional gable. This is consistent with styles and forms found in Old Hailey.</li> </ul> </p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<p><b>Roof Form: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.</b></p> <p><i>Staff Comments</i>  <ul style="list-style-type: none"> <li>Porch roofs and gabled roofs break up the mass of the traditional gable. This is consistent with styles and forms found in Old Hailey</li> <li>Roof pitch on the main house is 6:12.</li> <li>A lower roof wraps around the front of the house.</li> </ul> </p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<p><b>Roof Form: Roof pitch and style shall be designed to meet snow storage needs for the site.</b></p> <ul style="list-style-type: none"> <li>Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas.</li> <li>Designs should avoid locating drip lines over key pedestrian routes.</li> <li>Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.</li> </ul> <p><i>Staff Comments</i>  <ul style="list-style-type: none"> <li>Roof materials: grey composite shingles.</li> <li>Roof Pitch: 6/12 on gables</li> <li>All drip lines are away from pedestrian areas</li> <li>All snow will be retained on the roof or shed onto the property. No snow will shed onto the adjoining property or the City rights of way.</li> </ul> </p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<p><b>Roof Form: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</b></p> <p><i>Staff Comments</i>  <ul style="list-style-type: none"> <li>The following forms are currently found in the neighborhood:               <ul style="list-style-type: none"> <li>Architectural asphalt shingles and standing seam metal</li> <li>gable end roofs</li> </ul> </li> </ul> </p>

				<ul style="list-style-type: none"> <li>○ <i>Shed dormers.</i></li> <li>● <i>The application is consistent with the neighborhood in regards to roof forms and materials</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<b>Roof Form: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>● <i>Roof Pitch</i> <ul style="list-style-type: none"> <li>○ <i>6/12 for gables</i></li> <li>○ <i>4/12t roof porch elements</i></li> </ul> </li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<b>Wall Planes: Primary wall planes should be parallel to the front lot line.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>● <i>Primary wall is shown parallel to the front property line.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<b>Wall Planes: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>● <i>Wall planes contain porch roofs and in some places are stepped in scale, keeping the mass of the primary building down. This is respectful and consistent with the neighborhood.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<b>Wall Planes: The use of pop-outs to break up longer wall planes is encouraged.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>● <i>Wall plane lengths are modest in size.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<b>Windows: Windows facing streets are encouraged to be of a traditional size, scale and proportion.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>● <i>The majority of the windows are narrower than they are wide, consistent with traditional Old Hailey windows. Picture windows are proposed on the front of the house, under the porch eaves.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<b>Windows: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>● <i>The building is set back in excess of required setbacks from adjacent property to the south, and is set back farther than the previous house on the site on the north.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.g	<b>Decks and Balconies: Decks and balconies shall be in scale with the building and the neighborhood.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>● <i>Decks are planned to the front rear of the house in scale to the building and neighborhood.</i></li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.g	<b>Decks and Balconies: Decks and balconies should be designed with the privacy of neighbors in mind when possible.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>● <i>The decks are well set back from adjacent properties.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	<b>Building Materials and Finishes: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.</b> <b>Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>- <i>Wall Materials: wood siding, yellow with green trim.</i></li> <li>- <i>Note that the unfinished wall on the garage facing the new house will be finished to match existing.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	<b>Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</b>
			<i>Staff Comments</i>	<i>See above</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	<b>Ornamentation and Architectural Detailing: Architectural detailing shall be incorporated into the front wall plane of buildings.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>● <i>A variety of colors, window treatments and covered elements are</i></li> </ul>

				<i>proposed</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	<b>Ornamentation and Architectural Detailing: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• <i>A front entry porch is planned. Windows have colored trim.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	<b>Ornamentation and Architectural Detailing: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• <i>See above notes.</i></li> </ul>

#### 4. Circulation and Parking: 6A.9.C.4

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• <i>Additional parking is available in front of the house in the City right of way. Adequate parking has been provided and pedestrian access off the adjacent streets is provided and does not interfere with traffic from the streets.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline: The visual impacts of on-site parking visible from the street shall be minimized.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• <i>The existing two car garage has alley access, and will not be visible from the street once the house is reconstructed.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• <i>The garage accesses from the alley.</i></li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	<b>Guideline: Detached garages accessed from alleys are strongly encouraged.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• <i>Detached garage is existing and nonconforming.</i></li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	<b>Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>•</li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	<b>Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>•</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• <i>No RV parking is shown, but could be accommodated off of the alley.</i></li> </ul>

#### 5. Alleys: 6A.9.C.5

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• <i>Alley is retained and provides access to the house and ADU parking.</i></li> </ul>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>All utilities come off the alley and are underground to the dwelling.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>The alley is currently paved.</li> <li>Noxious weeds will be removed before construction commences.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.</b>
			<i>Staff Comments</i>	Some existing landscaping is on the alley side; no new alley landscaping is proposed.

### 6. Accessory Structures: 6A.9.C.6

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	<b>Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.</b>
			<i>Staff Comments</i>	The existing garage is smaller than the home, and appears subordinate.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	<b>Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.</b>
			<i>Staff Comments</i>	The garage/ADU building is located at the rear of the lot.

### 7. Snow Storage: 6A.9.C.7

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	<b>Guideline: All projects shall be required to provide 25% snow storage on the site.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>Parking and pedestrian circulation surfaces comprise 625 square feet.</li> <li>According to 6A9.C.7, 156.25 square feet is required (625 X 25%)</li> <li>156.25 square feet are shown on the plans for snow storage in the yard area.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	<b>Guideline: A snow storage plan shall be developed for every project showing:</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>Where snow is stored, key pedestrian routes and clear vision triangles.</li> <li>Consideration given to the impacts on adjacent properties when planning snow storage areas.</li> <li>Snow storage areas do not restrict pedestrian access. Pedestrian access must be unrestricted and visible from the adjacent streets.</li> </ul>

### 8. Existing Mature Trees and Landscaping: 6A.9.C.8

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	<b>Guideline: Existing mature trees shall be shown on the site plan, with notations</b>

				regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			<i>Staff Comments</i>	<i>Existing mature landscaping in the area of the original home was destroyed in the fire. A variety of mature landscaping remains on the south side of the lot, and in the rear by the garage/ADU.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	<b>Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.</b>
			<i>Staff Comments</i>	<i>Existing mature landscaping in the area of the original home was destroyed in the fire. A variety of mature landscaping remains on the south side of the lot, and in the rear by the garage/ADU.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	<b>Guideline: Noxious weeds shall be controlled according to State Law.</b>
			<i>Staff Comments</i>	<i>Noxious weeds are present on the site, but will be abated after construction.</i>

**9. Fences and Walls: 6A.9.C.9**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<b>Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.</b>
			<i>Staff Comments</i>	<i>An existing fence on the back property line will remain unchanged.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<b>Guideline: Retaining walls shall be in scale to the streetscape.</b>
			<i>Staff Comments</i>	

**11. Historic Structures: 6A.9.C.11 (NOTE: Applicable only to structures built prior to 1940)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.10	<b>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</b> <ul style="list-style-type: none"> <li>• The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance.</li> <li>• The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.</li> </ul>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<b>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</b> <ul style="list-style-type: none"> <li>• The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure.</li> <li>• New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure:               <ul style="list-style-type: none"> <li>○ The addition should not destroy or obscure important architectural</li> </ul> </li> </ul>

				<p>features of the original building and/or the primary façade;</p> <ul style="list-style-type: none"> <li>○ Exterior materials that are compatible with the original building materials should be selected;</li> <li>○ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building;</li> <li>○ The visual impact of the addition should be minimized from the street;</li> <li>○ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building;</li> <li>○ The roof form and slope of the roof on the addition should be in character with the original building;</li> </ul> <p>The relationship of wall planes to the street and to interior lots should be preserved with new additions.</p>
			<i>Staff Comments</i>	

**6A.6 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
  - 1. The project does not jeopardize the health, safety or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**
  
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
  - 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the

applicant's sole expense include, but will not be limited to, the following requirements and improvements:

- c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- d) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- f) The side yard setback for the new residence is an existing nonconforming setback. Expansion as approved herein is permitted pursuant to Title 17, Section 13.9.1.
- g) This Design Review approval is for plans presented at the public hearing on May 11, 2015 before the Planning and Zoning Commission. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

**C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

### **Motion Language**

Approval:

Motion to approve the design review application submitted by Bradley Construction behalf of Robin and Dean Paschall for a re-built single-family residential dwelling to be located on Lots 7-9, Block 45, of the Hailey Townsite, otherwise known as 209 First Avenue North, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (h) are met.

Denial:

Motion to deny the design review application submitted by Bradley Construction on behalf of Robin and Dean Paschall for a re-built single-family residential dwelling to be located on Lots 7-9, Block 45, of the Hailey Townsite, otherwise known as 209 First Avenue, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on the application submitted by Bradley Construction behalf of Robin and Dean Paschall for a re-built single-family residential dwelling to be located on Lots 7-9, Block 45, of the Hailey Townsite, otherwise known as 209 First Avenue, to \_\_\_\_\_ [Commission should specify a date].

RECEIVED  
APR 16 2015

City of Hailey - Design Review Application

Submittal Date: / /

CITY OF HAILEY

Project Name: Paschall Residence Parcel No. RPH \_\_\_\_\_  
Legal Description of Property: Subdivision Hailey Townsite Lot(s) 789, Block 45  
Street Address of Property: 209 1st Ave. N., Hailey, ID 83333  
Current Zoning of Property: GR Year of original construction: 1924  
(Only applicable if property is within the Townsite Overlay)  
Existing building gross sq. ft. (if applicable) 630 Proposed addition or new construction sq. ft. 3000

Name of Owner of the Property: Paschall Hailey Properties LLC  
Mailing Address: 1576 Hawthorn Ave City: Boulder State: CO Zip: 80304  
Phone: ( ) - - Fax: ( ) - - Cell: ( ) - -  
Email Address: \_\_\_\_\_

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: Robin Paschall Date: 4/13/15

Name of individual to contact on behalf of Trust or LLC (if applicable): Robin Paschall  
Mailing Address: 209 1st Ave N. City: Hailey State: ID Zip: 83333  
Phone: ( ) - - Fax: ( ) - - Cell: (303) 579-5778  
Email Address: Robin@RobinPaschall.com

Application Contact (if different than above): Jim Bradley  
\*\*Application Contact will be the Planning Department's primary point of contact for questions related to the application.  
Mailing Address: Box 41 City: Hailey State: ID Zip: 83333  
Phone: ( ) 481-2209 Fax: ( ) - - Cell: ( ) - -  
Email Address: bradleyconst@cox.net  
Signature: [Signature] Date:  / /

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

**FOR CITY USE ONLY** Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

- Commercial, Mixed-Use or Multi-Family..... \$ 450.00
- plus \$25 / 1,000 gross square feet..... \$ \_\_\_\_\_
- OR  Single-Family Dwelling, Duplex or Accessory Structure in TO..... \$ 250.00
- OR  No Substantial Impact..... (Mailing only)..... \$ 75.00
- OR  Modification to DR Approval... (No publication or mailing)..... \$ 50.00
- OR  DR Exemption... (No publication or mailing)..... \$ 30.00
- Publication cost..... \$ 40.00
- Mailing (# of addresses 31) x (.49 postage + .15 paper, envelope & label) \$ 19.84
- DO NOT COUNTY DUPLICATES OR CITY OF HAILEY**
- Total Due..... \$ 309.84

## DESIGN REVIEW—APPLICATION CHECKLIST

Project Name: \_\_\_\_\_

*City Use Only*

Certified Complete by _____	
Date: _____ / _____ / _____	

The following items must be submitted with the application for the application to be considered complete (✓):

Yes	No	Item	Description
<input type="checkbox"/>	<input type="checkbox"/>	1.	The completed Design Review application form including project name and location, and applicant and representative names and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	2.	One (1) 24" x 36" set of plans and survey and one (1) <del>11" x 17"</del> set showing at a minimum the following:
<input type="checkbox"/>	<input type="checkbox"/>		a. Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures.
<input type="checkbox"/>	<input type="checkbox"/>		b. Drainage plan (grading, catch basins, piping, and dry-wells).
<input type="checkbox"/>	<input type="checkbox"/>		c. Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
<input type="checkbox"/>	<input type="checkbox"/>		d. Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation, and snow storage. List square footage of subject property including lot dimensions.
<input type="checkbox"/>	<input type="checkbox"/>		e. Landscape plan (existing landscaping on the site shown as retained, relocated or removed; proposed landscaping including species type, size and quantity).
<input type="checkbox"/>	<input type="checkbox"/>		f. Floor plan. List gross square footage for each floor. List occupancy classification and type of construction.
<input type="checkbox"/>	<input type="checkbox"/>		g. Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).
<input type="checkbox"/>	<input type="checkbox"/>		h. Exterior Lighting plan, pursuant to Article VIII B, of the Zoning Ordinance (location, height, type, and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting).
<input type="checkbox"/>	<input type="checkbox"/>		i. Sign plan (location, dimensions and lighting).
<input type="checkbox"/>	<input type="checkbox"/>	3.	Plans and drawings for all buildings, except Single Family Dwellings and Accessory Structures, shall be prepared and stamped by an Idaho licensed architect.
<input type="checkbox"/>	<input type="checkbox"/>	4.	A materials and colors sample board. Each sample should be approximately 12"x12" in size.
<input type="checkbox"/>	<input type="checkbox"/>	5.	One (1) colored rendering of at least one side of the proposed building.
<input type="checkbox"/>	<input type="checkbox"/>	6.	Staging and contractor parking plan. Statement of where staging will occur, and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters, contractor parking, etc.
<input type="checkbox"/>	<input type="checkbox"/>	7.	A list of the names and addresses of all property owners and residents within three hundred (300) feet of the exterior boundaries of the subject property, in a format acceptable to the City. (Names and addresses can be obtained using the Blaine County map server <a href="http://maps.co.blaine.id.us/">http://maps.co.blaine.id.us/</a> or from the Blaine County Assessor's office)
<input type="checkbox"/>	<input type="checkbox"/>	8.	Other information as required by the Administrator, Hearing Examiner or the Commission.
<input type="checkbox"/>	<input type="checkbox"/>	9.	Electronic PDF copies of all documents and materials listed above. <b>(RECOMMENDED)</b>
<input type="checkbox"/>	<input type="checkbox"/>	10.	Written statement of how each design review standard is met. <b>(RECOMMENDED)</b>
<input type="checkbox"/>	<input type="checkbox"/>	11.	Payment of applicable fees.

***City Use Only:***

<p>Verify that application is complete _____</p> <p>Double check address _____</p> <p>Advise applicant if Lot Line Adjustment is needed _____</p>	<p>Check following basic standards:</p> <p>_____ Density</p> <p>_____ Setbacks</p> <p>_____ Height (plans must show elevation points of record grade)</p> <p>_____ Lot coverage</p> <p>_____ Floor area</p> <p>_____ Required Parking Spaces</p>
---	--



# **BRADLEY CONSTRUCTION**

JAMES BRADLEY  
 PO BOX 2272 HAILEY IDAHO 83333  
 CELL (208) 481-2209

209 1st Ave. N., Hailey Idaho

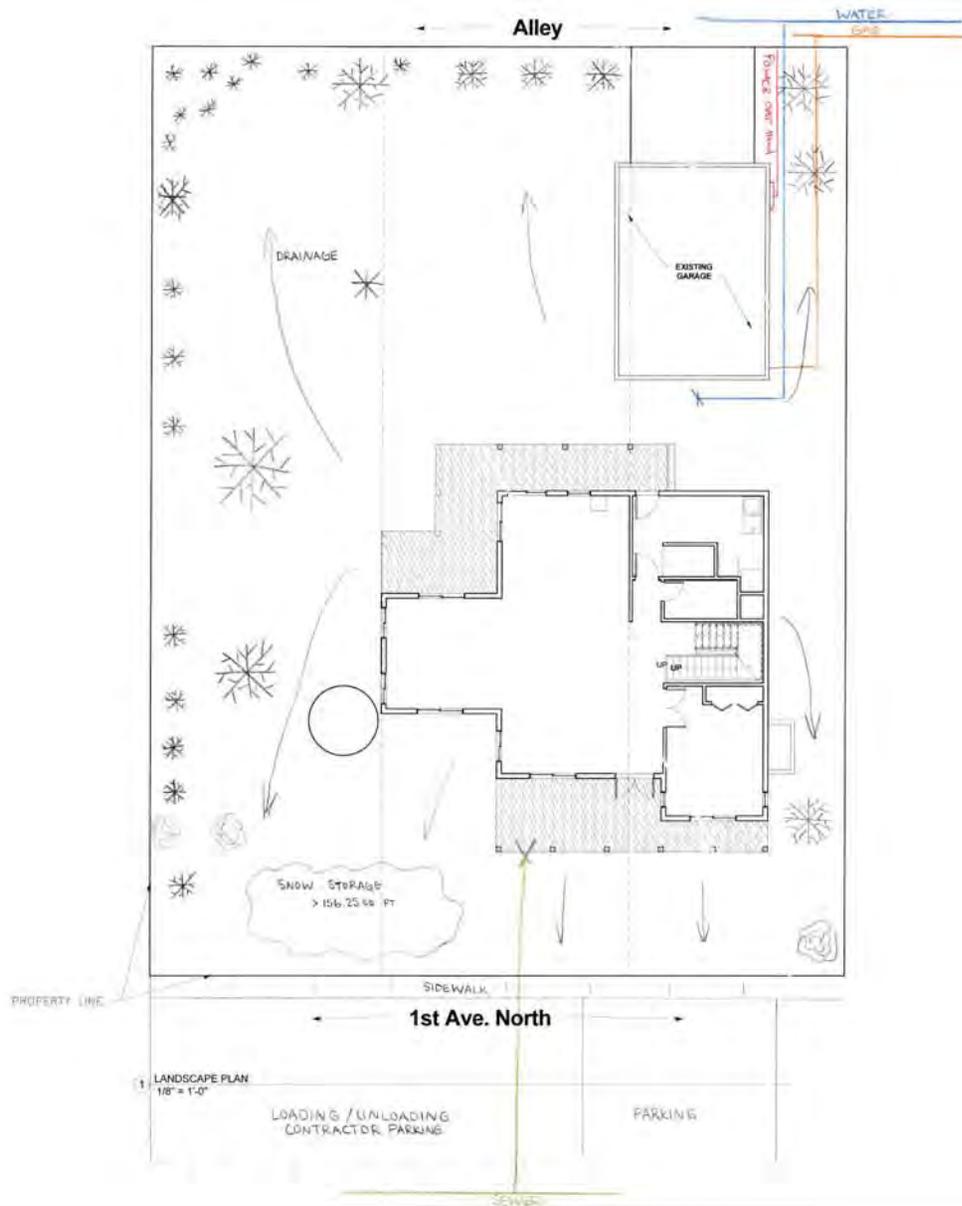
ROBIN AND DEAN PASCHALL HOME

## EXTERIOR ELEVATIONS

Project number 2015-PASCHALL  
 Date 04/09/15  
 Drawn by SDS  
 Checked by JB

**A4**

Scale 1/4" = 1'-0"



SNOW STORAGE TABULATION	
PARKING, PEDESTRIAN CIRCULATION:	
PARKING	= 625 SQ. FT.
	= 625 x 25%
	= 156.25 SQ. FT.
SNOW STORAGE SHALL BE > 156.25 SQ. FT.	

PLANT LEGEND	
	GRASSES
	SHRUBS
	TREES

# BRADLEY CONSTRUCTION

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209 1st Ave. N., Hailey Idaho

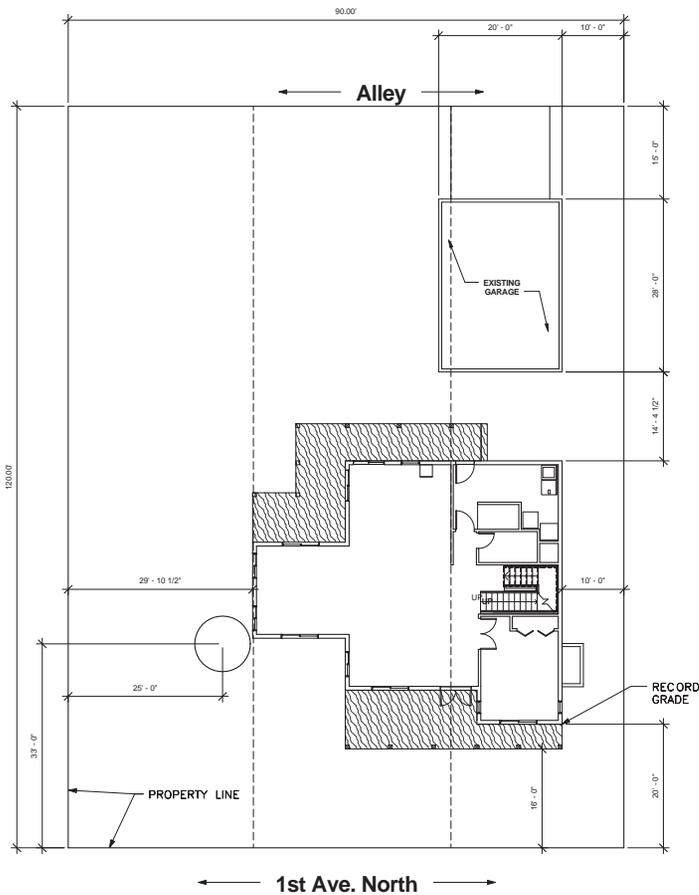
ROBIN AND DEAN PASCHALL HOME

LANDSCAPE PLAN

Project number: 2015-PASCHALL  
 Date: 04/09/15  
 Drawn by: JB  
 Checked by: JB

A0-2

Scale: 1/8" = 1'-0"



### MATERIAL FINISHES

EXTERIOR FINISH - CONCRETE PLANK SIDING  
 ROOF - ARCHITECTURAL ASPHALT SHINGLES

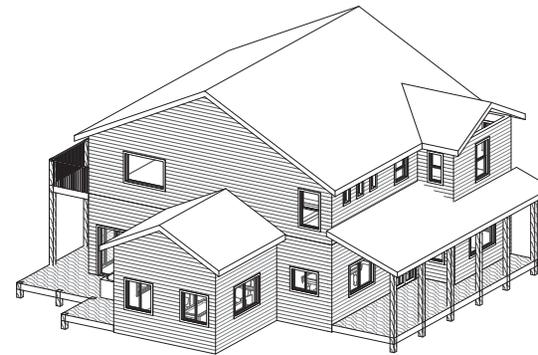
### GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN CONFORMANCE WITH THE 2012 IRC (INTERNATIONAL RESIDENTIAL CODE) AS WELL AS ALL OTHER GOVERNING CITY, COUNTY AND STATE BUILDING CODES AS REQUIRED.
2. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE UNIFORM ELECTRICAL CODE.
3. ALL MECHANICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE UNIFORM MECHANICAL CODE.
4. ALL FOOTING ARE DESIGNED FOR 2000 psi SOIL BEARING PRESSURE.
5. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 psi, AFTER 28 DAYS. REINFORCING STEEL SHALL HAVE A MINIMUM TENSILE STRENGTH OF 60 ksi (GR 60).
6. ALL FINISH GRADING SHALL PROVIDE POSITIVE SLOPE AND DRAINAGE AWAY FROM THE BUILDING.
7. PROVIDE 4" MINIMUM HOUSE NUMBERS ON FRONT OF HOUSE IN CONTRASTING COLORS.
8. THE CONTRACTOR SHALL PROVIDE AND INSTALL A FRESH AIR VENTILATION SYSTEM TO INSURE .3 AIR CHANGES PER HOUR.
9. ALL VENT FAN DUCT SHALL BE EXTENDED TO OUTSIDE THE BUILDING.
10. SEE DRAWING A1 FOR GENERAL NOTES.

SITE



VICINITY MAP



ISO

1 SITE PLAN

1" = 10'-0"

#### GENERAL PROJECT INFORMATION

**PROPERTY ADDRESS**  
 209 1ST AVE NORTH HAILEY IDAHO 83333

**LEGAL DESCRIPTION**  
 HAILEY TOWNSITE LOTS 7,8,9 BLOCK 45

**OWNER:**  
 PASCHALL HAILEY PROPERTIES LLC  
 1576 HAWTHORNE AVE BOULDER CO 80304  
 PHONE: 303-579-5778

#### LAND USE CODE SUMMARY

ZONING: GENERAL RESIDENTIAL, TOWN SITE OVERLAY

BUILDING HEIGHT  
 ALLOWED: 30'-0"  
 PROPOSED: 29'-1"

FRONT SETBACKS: 20'-0"

SIDE SET BACKS:  
 NORTH 10'-0"  
 SOUTH 29'-0"

REAR SETBACK: 15'-0"

#### PROPOSED LOT COVERAGE

PROPOSED HOUSE FOOTPRINT: 1,613 SQFT

EXISTING GARAGE FOOTPRINT: 630 SQFT

TOTAL FOOTPRINT: 2,243 SQFT

LOT AREA: 10,800 SQFT

TOTAL LOT COVERAGE: 21%  
 ALLOWED: 30%

#### PROPOSED HOUSE SQUARE FOOT TOTALS

1ST FLOOR 1613 SF

2ND FLOOR 1382 SF

TOTAL FINISHED SQUARE FOOT : 3,013 SF

UNFINISHED BASEMENT: 1,296 SF

OVERALL W / BASEMENT: 4,309 SF

#### DRAWING INDEX

- A0 SITE PLAN
- A0-2 LANDSCAPE PLAN
- A2 FLOOR PLANS
- A4 EXTERIOR ELEVATIONS
- A5 EXTERIOR ELEVATIONS

**BRADLEY CONSTRUCTION**

JAMES BRADLEY  
 PO BOX 2272 HAILEY IDAHO 83333  
 CELL (208) 481-2209

209 1st Ave. N., Hailey Idaho

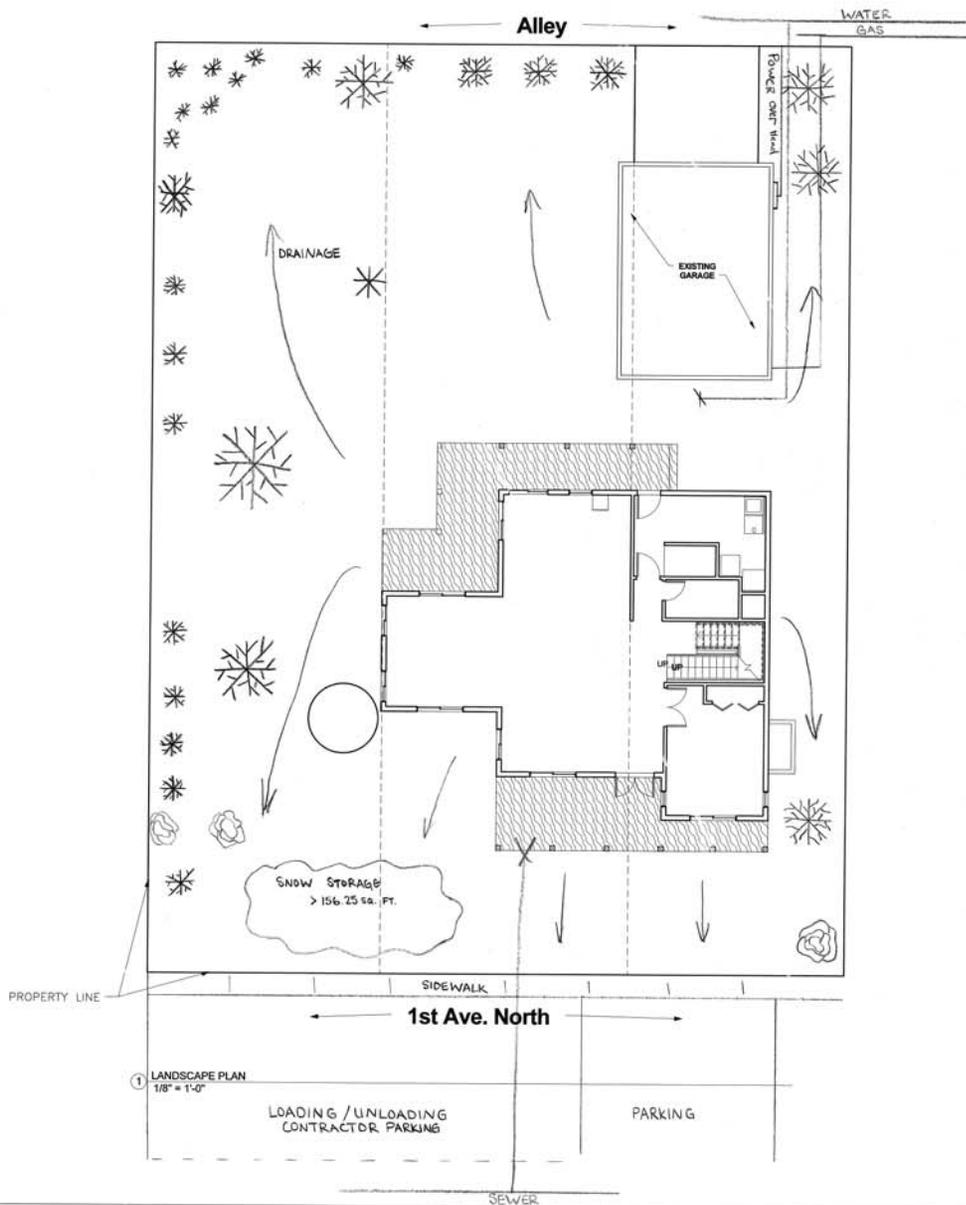
ROBIN AND DEAN PASCHALL HOME

SITE PLAN

Project number	2015-PASCHALL
Date	04/09/15
Drawn by	SDS
Checked by	JB

A0

Scale 1" = 10'-0"



SNOW STORAGE TABULATION	
PARKING, PEDESTRIAN CIRCULATION:	
PARKING	= 625 SQ. FT.
	= 625 x 25%
	= 156.25 SQ. FT.
SNOW STORAGE SHALL BE > 156.25 SQ. FT.	

PLANT LEGEND	
	GRASSES
	SHRUBS
	TREES

LANDSCAPE PLAN  
1/8" = 1'-0"

**BRADLEY CONSTRUCTION**

JAMES BRADLEY  
PO BOX 2272 HAILEY IDAHO 83333  
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---

209 1st Ave. N., Hailey Idaho

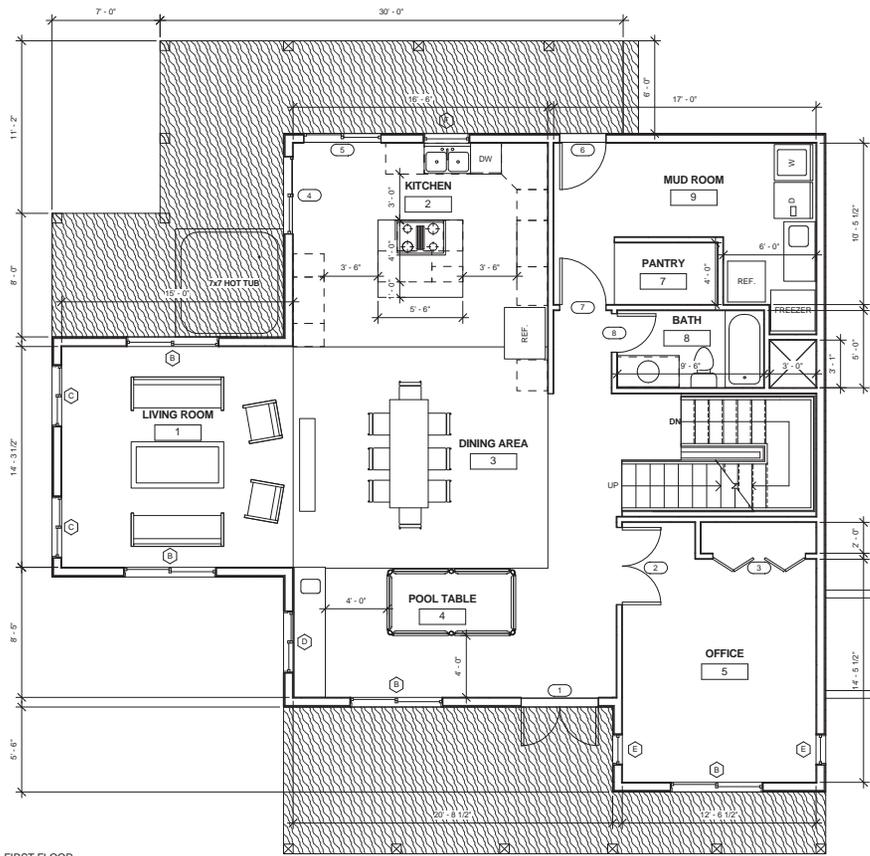
ROBIN AND DEAN PASCHALL HOME

LANDSCAPE PLAN

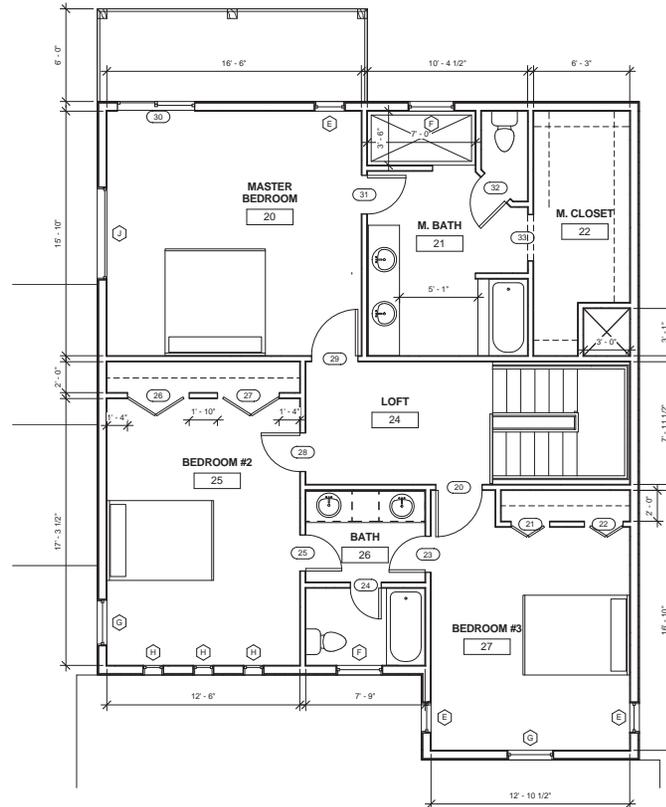
Project number	2015-PASCHALL
Date	04/09/15
Drawn by	JB
Checked by	JB

**A0-2**

Scale 1/8" = 1'-0"



1 FIRST FLOOR  
1/4" = 1'-0"



2 2ND FLOOR  
1/4" = 1'-0"

# BRADLEY CONSTRUCTION

JAMES BRADLEY  
PO BOX 2272 HAILEY IDAHO 83333  
CELL (208) 481-2209

209 1st Ave. N., Hailey Idaho

ROBIN AND DEAN PASCHALL HOME

FLOOR PLANS

Project number 2015-PASCHALL  
Date 04/08/15  
Drawn by SDS  
Checked by JB

A2

Scale 1/4" = 1'-0"



# **BRADLEY CONSTRUCTION**

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 CELL (208) 481-2209

209 1st Ave. N., Hailey  
 Idaho

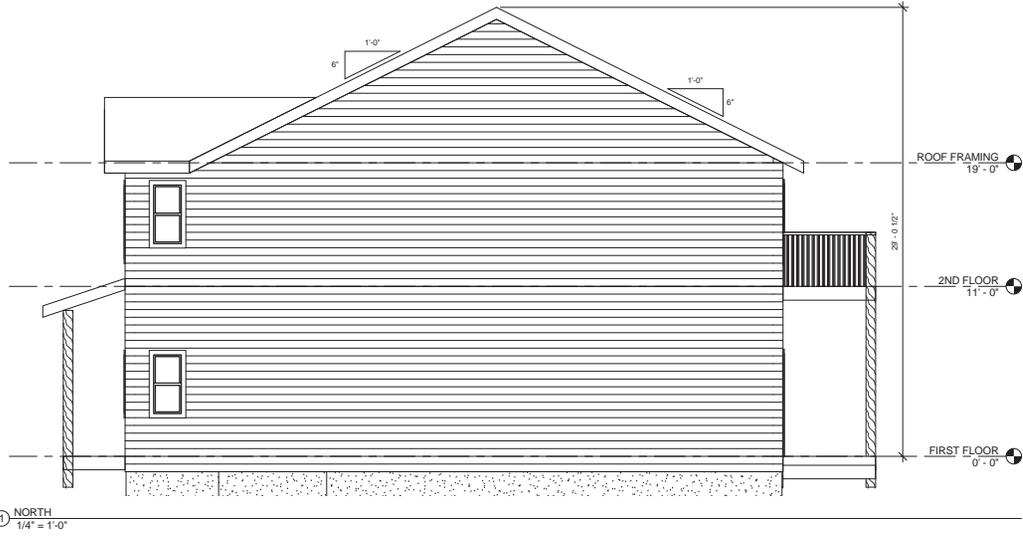
ROBIN AND DEAN  
 PASCHALL HOME

## EXTERIOR ELEVATIONS

Project number 2015-PASCHALL  
 Date 04/09/15  
 Drawn by SDS  
 Checked by JB

**A4**

Scale 1/4" = 1'-0"



# BRADLEY CONSTRUCTION

JAMES BRADLEY  
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 CELL (208) 481-2209

209 1st Ave. N., Hailey Idaho

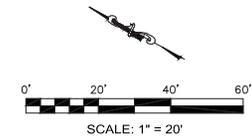
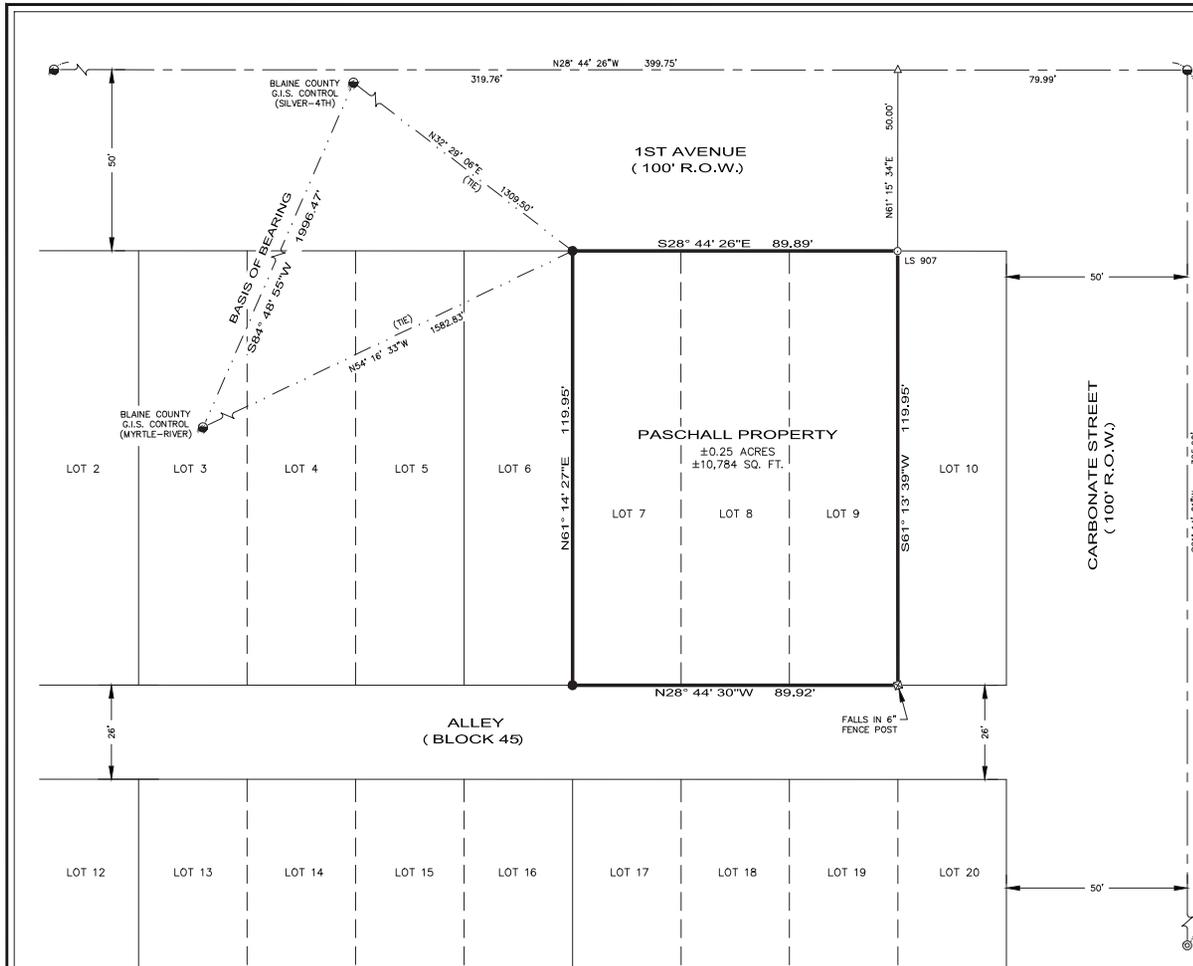
ROBIN AND DEAN PASCHALL HOME

## EXTERIOR ELEVATIONS

Project number	2015-PASCHALL
Date	04/08/15
Drawn by	Author
Checked by	Checker

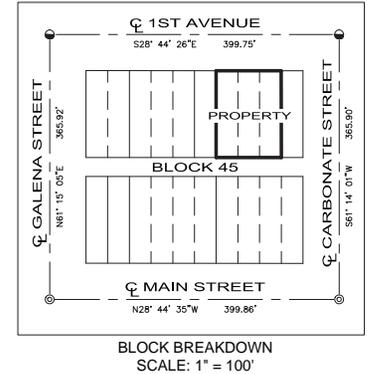
A5

Scale 1/4" = 1'-0"



**LEGEND**

	PROPERTY LINE
	ADJOINING PROPERTY
	LOT LINE
	CENTERLINE
	FOUND 1/2" REBAR
	FOUND 5/8" REBAR
	IN MONUMENT WELL
	FOUND ALUMINUM CAP
	SET NAIL W/BRASS WASHER
	CALCULATED POINT (NO MONUMENT)



- NOTES**
1. THE PURPOSE OF THIS SURVEY IS TO SHOW THE LOCATION OF MONUMENTS FOUND AND SET ON JANUARY 29, 2015 FOR LOTS 7, 8, AND 9, BLOCK 45, HAILEY TOWNSITE.
  2. BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83, CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. ALL BEARINGS SHOWN ARE GRID AZIMUTH.
  3. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
  4. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT OF REAL PROPERTY: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR ANY OTHER LAND-USE REGULATIONS.

**SURVEYORS CERTIFICATE:**  
I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF IDAHO AND THAT THIS MAP IS A TRUE AND ACCURATE MAP OF THE LAND SURVEYED UNDER MY DIRECT SUPERVISION AND THAT IT IS IN CONFORMANCE WITH THE IDAHO STATE CODE.



Cody M. McCammon PLS 11779

PREPARED BY: BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340  
PHONE (208)726-9512 FAX (208)726-9514 EMAIL: mail@bma5b.com  
WEB: http://benchmark-associates.com/

**A RECORD OF SURVEY FOR:**  
**LOTS 7, 8, AND 9, BLOCK 45,**  
**HAILEY TOWNSITE**  
LOCATED WITHIN  
SECTION 9, TOWNSHIP 2 NORTH, RANGE 18 EAST, B.M.,  
CITY OF HAILEY, BLAINE COUNTY, IDAHO

PREPARED FOR : DEAN PASCHALL

PROJECT NO. 15003 DWG BY : CMM LAYOUT: 18 X 24  
RECORD OF SURVEY DATE OF SURVEY: 01/27/2015 SHEET: 1 OF 1











PLANNING



PLANNING



PLANNING



PLANNING

**RETURN TO AGENDA**

**DESIGN REVIEW  
STAFF REPORT**

**TO:** Hailey Planning and Zoning Commission

**FROM:** Kristine Hilt, Community Development Coordinator

**RE:** Design Review application submitted by Kristina Boatwright on behalf of Kolo LLC for construction on a new single-family residential dwelling and construction of a garage/accessory dwelling unit to be located on S ½ Lot 5, 6, 7, N ½ 8, Block 61 Hailey Townsite, otherwise known as 525 4th Ave N.

**HEARING:** April 13, 2015

**Applicant:** Kristina Boatwright, representative, Kolo LLC, owner

**Request:** Design Review of an new single-family dwelling and a detached garage/ADU.

**Location:** S ½ Lot 5, 6, 7, N ½ 8, Block 61 Hailey Townsite (525 4<sup>th</sup> Avenue North)

**Zoning:** Limited Residential 1 (LR-1) and Townsite Overlay (TO)

**Notice**

Notice for the public hearing was published in the Idaho Mountain Express on April 22, 2015 and mailed to property owners within 300 feet on April 22, 2015.

**Application**

The applicant is proposing a 3,225 square foot single family house, and a 680 square foot 2 car garage with a 620 square foot accessory dwelling unit. The existing home will be demolished and only the fireplace will remain. The ADU within the garage will be accessed by an internal staircase in the garage. Access to the 2 car garage will be from the alley.

**Procedural History**

The Design Review application was submitted on April 17, 2015 and certified complete on the same date. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on May 11, 2015, at 5:30 pm in the Council Chambers.

<b>General Requirements for all Design Review Applications</b>					
<b>Compliant</b>			<b>Standards and Staff Comments</b>		
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>	
				Life/Safety: <i>No comment</i>	
				Water and Sewer: <i>No comment</i>	
				Building: <i>No comment</i>	
				Streets: <i>No comment</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.	
			<i>Staff Comments</i>	<i>Signage is prohibited in residential zones.</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.	
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• Two spaces per dwelling are required with a maximum of 6, and 1 space for ADU's under 1,000 square feet.</li> <li>• Home will have 2-car garage and the following: <ul style="list-style-type: none"> <li>▪ One additional space on asphalt pad on alley side</li> </ul> </li> </ul>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards a) All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c) Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d) Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e) Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.	

			<b>Staff Comments</b>	Plans show fully downcast lighting on the exterior of the dwelling <ul style="list-style-type: none"> <li>- Applicant will install downcast, outdoor lighting fixtures</li> <li>- Lights will be: partially shielded and no higher than 9' in height.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Bulk Requirements</b>	<b>See 4.13.6, Zoning Ordinance</b>
			<b>Staff Comments</b>	Zoning District: Limited Residential 1 in the Townsite Overlay. Townsite Overlay bulk requirements apply. <ul style="list-style-type: none"> <li>- Max Height: 30'. Proposed height: 28'-8"</li> <li>- Residence Street side Setbacks: 30' from the property line.</li> <li>- Setback from property lines abutting other private property <ul style="list-style-type: none"> <li>○ Base Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required</li> <li>○ Home is set back 8' on the north side.</li> <li>○ Home is set back 10' on south side.</li> </ul> </li> <li>- Alley setback is required at 6'. Garage is setback 33'2" from alley.</li> <li>- Maximum Lot coverage: 30% in LR-1 for a two-story dwelling with a garage <ul style="list-style-type: none"> <li>○ Lot is 8,994 square feet, therefore 2,698 sf is allowed for lot coverage</li> <li>○ Proposed lot coverage is 1,799, or 20% of total lot coverage.</li> </ul> </li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.7 (B) Required Street Improvements</b>	<b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b>
			<b>Staff Comments</b>	- Sidewalks will be required per 6A.7(A)1.b: sidewalks are required when a new principal building is constructed. The applicant may map an in lieu fee in the amount of 110% of the estimated cost of the sidewalk improvements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.7 (B) Required Water System Improvements</b>	<b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b>
			<b>Staff Comments</b>	- The Applicant has been advised that all water lines coming from the main to the meter vault must be buried more than six feet deep.

<b>Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO): 6A.9</b>				
<b>1. Site Planning: 6A.9.C.1</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>Guideline</b>	<b>City Standards and Staff Comments</b>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<b>The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>The proposed construction preserves the Old Hailey Townsite lot configuration.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<b>Site planning for new development and redevelopment shall address the following:</b> <ul style="list-style-type: none"> <li>scale and massing of new buildings consistent with the surrounding neighborhood;</li> <li>building orientation that respects the established grid pattern of Old Hailey;</li> <li>clearly visible front entrances;</li> <li>use of alleys as the preferred access for secondary uses and automobile access;</li> <li>adequate storage for recreational vehicles;</li> <li>yards and open spaces;</li> <li>solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines;</li> <li>snow storage appropriate for the property;</li> <li>underground utilities for new dwelling units.</li> </ul>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>The proposed site plan and development is consistent with the scale and massing in the neighborhood.</li> <li>The applicant proposes to access the garage off of the alley.</li> <li>All utilities will be located underground as shown on the site plan.</li> <li>Snow storage meets City requirements.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<b>The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>An energy summary is provided on the cover sheet of the plan set.</li> </ul>
<b>2. Bulk Requirements (Mass and Scale, Height, Setbacks): 6A.9.C.2</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.2	<b>The perceived mass of larger buildings shall be diminished by the design.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>The proposed structures will be consistent in size and mass to the surrounding structures and with the surrounding neighborhood.</li> <li>Design effort was made to lower the mass by adding various roof forms and masonry columns to emphasize the human scale.</li> <li>Siding was changed in elevation changes to avoid blank walls.</li> <li>Garage is subordinate to the main house.</li> </ul>
<b>3. Architectural Character: 6A.9.C.3</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.a	<b>General: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</b>

			<b>Staff Comments</b>	<i>Both proposed buildings are reflective of historic design yet add modern flare as seen in pitch and gabled roof ends.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	<b>Building Orientation: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>The front entrance has access to 4th Avenue, and is clearly visible from the street.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	<b>Building Orientation: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>Dwelling is situated squarely on the site, which is consistent with Old Hailey.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.c	<b>Building Form: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>Porch roofs and gabled roofs break up the mass of the traditional gable. This is consistent with styles and forms found in Old Hailey.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<b>Roof Form: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>Porch roofs and gabled roofs break up the mass of the traditional gable. This is consistent with styles and forms found in Old Hailey</i></li> <li><i>Roof pitch on the main house is a combination of 4:12 and 6:12.</i></li> <li><i>Varied roof pitches define the entry and break up mass.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<b>Roof Form: Roof pitch and style shall be designed to meet snow storage needs for the site.</b>
				<ul style="list-style-type: none"> <li><b>Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas.</b></li> <li><b>Designs should avoid locating drip lines over key pedestrian routes.</b></li> <li><b>Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.</b></li> </ul>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>Garage roof materials: asphalt shingles. Principal building roof materials:</i></li> <li><i>Roof Pitch: 4:12 and 6:12 varied.</i></li> <li><i>All drip lines are away from pedestrian areas</i></li> <li><i>All snow will be retained on the roof or shed onto the property. No snow will shed onto the adjoining property or the City rights of way.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<b>Roof Form: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li><i>The following forms are currently found in the neighborhood:</i> <ul style="list-style-type: none"> <li><i>○ Architectural asphalt shingles and color schemes.</i></li> <li><i>○ Gable end roofs</i></li> <li><i>○ 2 story buildings with similar styles and character.</i></li> </ul> </li> <li><i>The application is consistent with the neighborhood in regards to roof forms and materials</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<b>Roof Form: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</b>

			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li>Roof Pitch O 4:12 for gables and 6:12 for primary roof pitch.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<b>Wall Planes: Primary wall planes should be parallel to the front lot line.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li>Primary walls are shown parallel to the front property lines.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<b>Wall Planes: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li>Wall planes contain porch roofs and in some places are stepped in scale, keeping the mass of the primary building down. This is respectful and consistent with the neighborhood.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<b>Wall Planes: The use of pop-outs to break up longer wall planes is encouraged.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li>Wall plane lengths are modest in size.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<b>Windows: Windows facing streets are encouraged to be of a traditional size, scale and proportion.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li>Windows are more narrow than wide on the first floor of the principal building and on the garage, consistent with traditional Old Hailey windows.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<b>Windows: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li>The windows are modest on the north facing sides of both the principal structure and the garage. Most windows face west towards the alley and respectful of neighboring privacy.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.g	<b>Decks and Balconies: Decks and balconies shall be in scale with the building and the neighborhood.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li>A wrap deck is proposed for the main entrance to the principal building, but is in scale to the building and neighborhood.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.g	<b>Decks and Balconies: Decks and balconies should be designed with the privacy of neighbors in mind when possible.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li>The deck is far from adjacent properties</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	<b>Building Materials and Finishes: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.</b> <b>Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li>Wall Materials:</li> <li>Upper: Shiplap 1x8 Lower: Hardy board Vertical 2<sup>nd</sup> Floor Siding: T&amp;G 1x6 rough cut. Soffit: 1x6 T&amp;G</li> </ul>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	<b>Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</b>
			<i>Staff Comments</i>	<i>See above</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	<b>Ornamentation and Architectural Detailing: Architectural detailing shall be incorporated into the front wall plane of buildings.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li><i>A variety of colors, window treatments and covered elements are proposed</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	<b>Ornamentation and Architectural Detailing: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li><i>A front entry porch is planned. Windows have colored trim.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	<b>Ornamentation and Architectural Detailing: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li><i>See above notes.</i></li> </ul>
<b>4. Circulation and Parking: 6A.9.C.4</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li><i>Adequate parking has been provided and pedestrian access off 4th Avenue is provided and does not interfere with traffic from the streets.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline: The visual impacts of on-site parking visible from the street shall be minimized.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li><i>The proposed two car garage has alley access, and is visually acceptable due to colors and design.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li><i>Proposed access is from the alley side of the property.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	<b>Guideline: Detached garages accessed from alleys are strongly encouraged.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li><i>See above.</i></li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	<b>Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.</b>

			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	<b>Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>No parking areas exists in front of the street side. Parking for the ADU is off of the alley.</li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	<b>Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>No RV parking is show but would fit well on the rear of the lot.</li> </ul>
<b>5. Alleys: 6A.9.C.5</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.</b>
			<i>Staff Comments</i>	<i>Alley is retained and provides access to the ADU parking.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>Wastewater comes off the alley and is underground to the dwelling. Water comes off of the street side of the lot.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>The alley is currently graveled and no improvements are planned.</li> <li>Noxious weeds will be removed before construction commences.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	<b>Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.</b>
			<i>Staff Comments</i>	<i>The lot has overgrown noxious weeds and needs maintenance prior to development. Little landscaping is on the alley side but mature trees exist as a buffer on the north side of the lot.</i>
<b>6. Accessory Structures: 6A.9.C.6</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	

Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	<b>Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.</b>
			<i>Staff Comments</i>	<i>The proposed garage is smaller than the home, and appears subordinate.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	<b>Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.</b>
			<i>Staff Comments</i>	<i>The garage/ADU building is located at the rear of the lot and matches surrounding lots.</i>

**7. Snow Storage: 6A.9.C.7**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	<b>Guideline: All projects shall be required to provide 25% snow storage on the site.</b>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>- Parking and pedestrian circulation surfaces comprise 1,192 square feet.</li> <li>- According to 6A9.C.7, 298 square feet is required (1,192 X 25%)</li> <li>- 298 square feet are shown on the plans for snow storage.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	<b>Guideline: A snow storage plan shall be developed for every project showing:</b> <ul style="list-style-type: none"> <li>• Where snow is stored, key pedestrian routes and clear vision triangles.</li> <li>• Consideration given to the impacts on adjacent properties when planning snow storage areas.</li> </ul>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>• Snow storage areas do not restrict pedestrian access. Pedestrian access must be unrestricted and visible from the adjacent streets.</li> </ul>

**8. Existing Mature Trees and Landscaping: 6A.9.C.8**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	<b>Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.</b>
			<i>Staff Comments</i>	<i>The lot contains a variety of existing mature landscaping on the north side of the lot. There are shrubs and weeds that need abatement prior to development.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	<b>Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.</b>
			<i>Staff Comments</i>	

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	<b>Guideline: Noxious weeds shall be controlled according to State Law.</b>
			<i>Staff Comments</i>	<i>Noxious weeds exist and staff will communicate with owners on requirements for removal.</i>
<b>9. Fences and Walls: 6A.9.C.9</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.9	<b>Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.</b>
			<i>Staff Comments</i>	<i>No existing fencing on site. Both north and south abutting lots have fencing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<b>Guideline: Retaining walls shall be in scale to the streetscape.</b>
			<i>Staff Comments</i>	

**6A.6 Criteria.**

**A. The Commission or Hearing Examiner shall determine the following before approval is given:**

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

**B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Ordinance.

**C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which**

**security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- d) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- f) The requirement for a sidewalk along 4th Avenue remains unless applicant chooses to pay an in lieu fee of 110% of the estimated cost of construction.
- g) This Design Review approval is for plans presented at the public hearing on May 11, 2015 before the Planning and Zoning Commission. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

### **Motion Language**

Approval:

Motion to approve the design review application submitted by Kristina Boatwright on behalf of Kolo LLC for construction on a new single-family residential dwelling and construction of a garage/accessory dwelling unit to be located on S ½ Lot 5, 6, 7, N ½ 8, Block 61 Hailey Townsite, otherwise known as 525 4th Ave N, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (h) are met.

Denial:

Motion to deny the design review application submitted by Kristina Boatwright on behalf of Kolo LLC for construction on a new single-family residential dwelling and construction of a garage/accessory dwelling unit to be located on S ½ Lot 5, 6, 7, N ½ 8, Block 61 Hailey Townsite, otherwise known as 525 4th Ave N, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on the application submitted by Kristina Boatwright on behalf of Kolo LLC for construction on a new single-family residential dwelling and construction of a garage/accessory dwelling unit to be located on S ½ Lot 5, 6, 7, N ½ 8, Block 61 Hailey Townsite, otherwise known as 525 4th Ave N, to \_\_\_\_\_ [Commission should specify a date].

**City of Hailey - Design Review Application**

Submittal Date: \_\_\_\_\_

Project Name: 525 N. 4th Ave Parcel No. RPH 0000061005B

Legal Description of Property: Subdivision Hailey Townsite Lot(s) S 1/2 Lot 5, All Lot 7, N 1/2 8, Block (01)

Street Address of Property: 525 N. 4th Ave Hailey ID 83333

Current Zoning of Property: Residential Year of original construction: 1997  
(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable) 1232 sq. ft. Proposed addition or new construction sq. ft. 1800 sq. ft. garage w/ 600 sq. ft. living area

Name of Owner of the Property: Kolo LLC

Mailing Address: PO Box 412 City: Kuna State: ID Zip: 83634

Phone: (208) 880-9546 Fax: (800) 886-7933 Cell: ( ) Same

Email Address: logan@libinc.net

Property Owner Consent:  
 By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: \_\_\_\_\_ Date: 4/16/15

Name of individual to contact on behalf of Trust or LLC (if applicable): \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Cell: ( ) \_\_\_\_\_

Email Address: \_\_\_\_\_

Application Contact (if different than above): Kristina Boatwright  
 \*\*Application Contact will be the Planning Department's primary point of contact for questions related to the application.

Mailing Address: PO Box 412 City: Kuna State: ID Zip: 83634

Phone: ( ) \_\_\_\_\_ Fax: (800) 886-7933 Cell: (208) 921-0697

Email Address: kristina@libinc.net

Signature: \_\_\_\_\_ Date: 4/15/15

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

**FOR CITY USE ONLY** Fees: *Cost of additional noticing, recording fees, and other direct costs will also be assessed.*

<input type="checkbox"/> Commercial, Mixed-Use or Multi-Family.....	\$ 450.00	
plus \$25 / 1,000 gross square feet.....	\$ _____	
OR <input type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ 250.00	250
OR <input type="checkbox"/> No Substantial Impact..... (Mailing only).....	\$ 75.00	40
OR <input type="checkbox"/> Modification to DR Approval... (No publication or mailing).....	\$ 50.00	\$ 14.21
OR <input type="checkbox"/> DR Exemption... (No publication or mailing).....	\$ 30.00	
Publication cost.....	\$ 40.00	
Mailing (# of addresses <u>29</u> ) x (.40) postage + .15 paper, envelope & label)	\$ 14.21	
<b>DO NOT COUNTY DUPLICATES OR CITY OF HAILEY</b>		
Total Due.....	\$ 304.21	\$ 304.21

# DESIGN REVIEW—APPLICATION CHECKLIST

Project Name:

*City Use Only*

Certified

Complete by

Date

VH

5/4/15

The following items must be submitted with the application for the application to be considered complete (✓):

Yes	No	Item	Description
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1.	The completed Design Review application form including project name and location, and applicant and representative names and contact information.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2.	One (1) 24" x 36" set of plans and survey and one (1) 11" x 17" set showing at a minimum the following:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a.	Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b.	Drainage plan (grading, catch basins, piping, and dry-wells).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c.	Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d.	Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation, and snow storage. List square footage of subject property including lot dimensions.
<input type="checkbox"/>	<input type="checkbox"/>	e.	Landscape plan (existing landscaping on the site shown as retained, relocated or removed; proposed landscaping including species type, size and quantity).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	f.	Floor plan. List gross square footage for each floor. List occupancy classification and type of construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g.	Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h.	Exterior Lighting plan, pursuant to Article VIII B, of the Zoning Ordinance (location, height, type, and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i.	Sign plan (location, dimensions and lighting).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3.	Plans and drawings for all buildings, except Single Family Dwellings and Accessory Structures, shall be prepared and stamped by an Idaho licensed architect.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4.	A materials and colors sample board. Each sample should be approximately 12"x12" in size.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	5.	One (1) colored rendering of at least one side of the proposed building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	6.	Staging and contractor parking plan. Statement of where staging will occur, and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters, contractor parking, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.	A list of the names and addresses of all property owners and residents within three hundred (300) feet of the exterior boundaries of the subject property, in a format acceptable to the City. (Names and addresses can be obtained using the Blaine County map server <a href="http://maps.co.blaine.id.us/">http://maps.co.blaine.id.us/</a> or from the Blaine County Assessor's office)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.	Other information as required by the Administrator, Hearing Examiner or the Commission.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	9.	Electronic PDF copies of all documents and materials listed above. <b>(RECOMMENDED)</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	10.	Written statement of how each design review standard is met. <b>(RECOMMENDED)</b>
<input type="checkbox"/>	<input type="checkbox"/>	11.	Payment of applicable fees.

2 sets except from will be from next

**City Use Only:**

- Verify that application is complete
- Double check address
- Advise applicant if Lot Line Adjustment is needed

- Check following basic standards:
- Density
  - Setbacks
  - Height (plans must show elevation points of record grade)
  - Lot coverage
  - Floor area
  - Required Parking Spaces



# HAILEY RESIDENCE

525 N. 4TH ST.  
CITY - BOISE  
COUNTY - ADA, ID

## DRAWING SCHEDULE

- A 1.1 - SITE MAP
- 2.1 - FOUNDATION PLAN
- 3.1 - MAIN FLOOR PLAN
- 3.2 - UPPER FLOOR PLAN
- 3.3 - GARAGE PLAN
- 4.1 - BRACED WALL LOWER
- 4.2 - BRACED WALL UPPER
- 4.3 - BRACED GARAGE
- 5.0 - ROOF PLAN - RESIDENCE
- 5.1 - ELEVATION/ROOF PLAN - GARAGE
- 6.1 - ELEVATIONS
- 6.2 - ELEVATIONS
- 7.1 - DETAILS/SECTIONS
- 7.2 - DETAILS/SECTIONS
- E 1.1 - ELECTRICAL PLAN MAIN
- 1.2 - ELECTRICAL PLAN UPPER
- 1.3 - ELECTRICAL PLAN - GARAGE

## MECHANICAL DRAWINGS

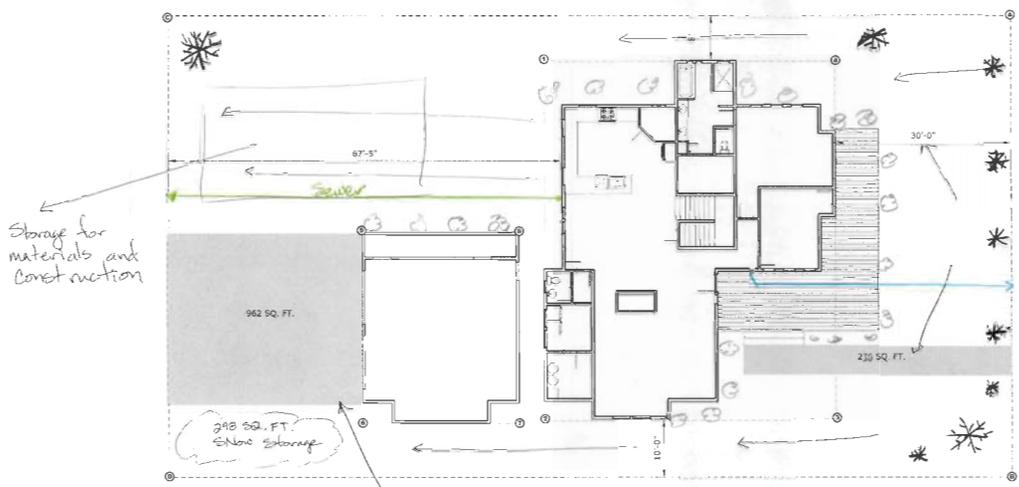
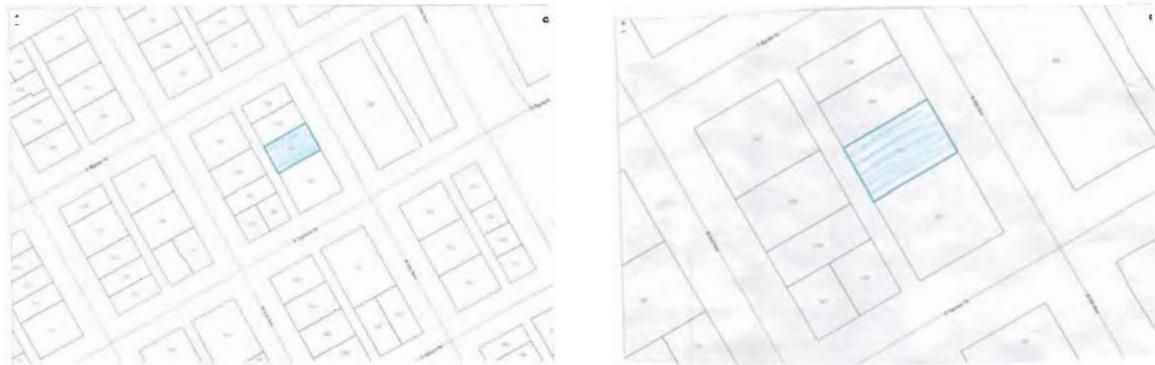
DESIGN/BUILD BY OTHER  
CONTRACTED ENTITIES

SQ. FT. - RESIDENCE - 3225  
MAIN FLOOR - 1975  
UPPER FLOOR - 1250  
COACH HOUSE - 620  
GARAGE - 680

### GENERAL NOTES:

- 1. THE SET OF REQUIREMENTS OR SPECIFICATIONS, INCLUDING INFORMATION, FORMS, AND LETTERS OF INTENT, SHALL BE REVIEWED AND APPROVED BY THE CLIENT PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL UTILITY COMPANIES AND THE CITY OF BOISE. THE LOCAL UTILITY COMPANIES SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO OBTAIN NECESSARY PERMITS AND TO OBTAIN THE LOCATION OF ALL UTILITIES. THE LOCAL UTILITY COMPANIES SHALL BE CONTACTED PRIOR TO CONSTRUCTION TO OBTAIN NECESSARY PERMITS AND TO OBTAIN THE LOCATION OF ALL UTILITIES.
- 2. THE CONTRACTOR SHALL MAINTAIN A POSITIVE SLOPE AWAY FROM THE BUILDING FOR ALL EXTERIOR DRAINAGE AREAS. THE SLOPE SHALL BE 1/8" PER FOOT AND SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
- 3. THE CONTRACTOR SHALL MAINTAIN A POSITIVE SLOPE AWAY FROM THE BUILDING FOR ALL EXTERIOR DRAINAGE AREAS. THE SLOPE SHALL BE 1/8" PER FOOT AND SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
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- 19. THE CONTRACTOR SHALL MAINTAIN A POSITIVE SLOPE AWAY FROM THE BUILDING FOR ALL EXTERIOR DRAINAGE AREAS. THE SLOPE SHALL BE 1/8" PER FOOT AND SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
- 20. THE CONTRACTOR SHALL MAINTAIN A POSITIVE SLOPE AWAY FROM THE BUILDING FOR ALL EXTERIOR DRAINAGE AREAS. THE SLOPE SHALL BE 1/8" PER FOOT AND SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.

PRESCRIBED ENERGY COMPLIANCE	
ROOF	R-30
EXTERIOR WALLS	R-19, MIN.
CRAWLSPACE	N/A
DOORS & WINDOWS	PREFER TO MANUF. SPEC'S
PRESCRIBED DESIGN CRITERIA	
BASIC WIND SPEED	50 MPH
FROST DEPTH	24"
ENERGY STANDARD	2009 IECC



Storage for materials and construction

962 SQ. FT. Main Storage

SCALE 1" = 20"

Snow Storage Tabulation  
- Parking / Pedestrian Circulation  
= 962 SQ. FT. Driveway  
= 250 SQ. FT. Walkway  
492 SQ. FT. Total  
X 25%  
= 248 SQ. FT. Snow Storage

LAYOUT KEY			
	A	B	C
1	843	1162	
2	1563	847	
3	786	395	
4	348	788	
5		493	322
6		771	734
7		913	364
8		397	6010

**SCHEDULE OF GENERAL NOTES:**

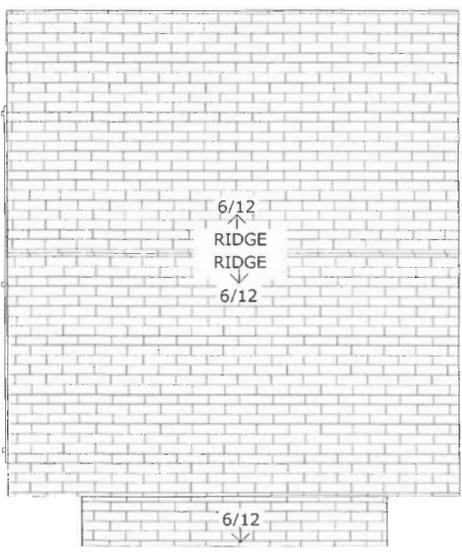
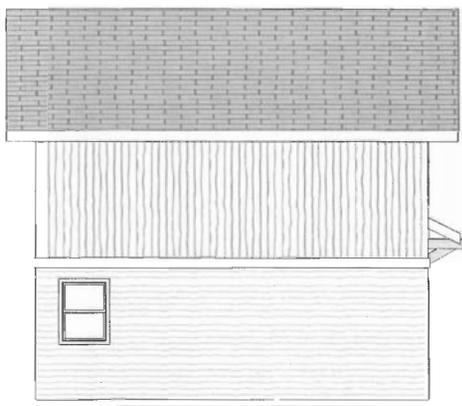
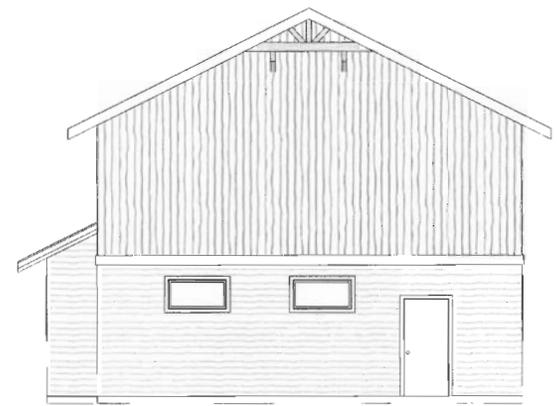
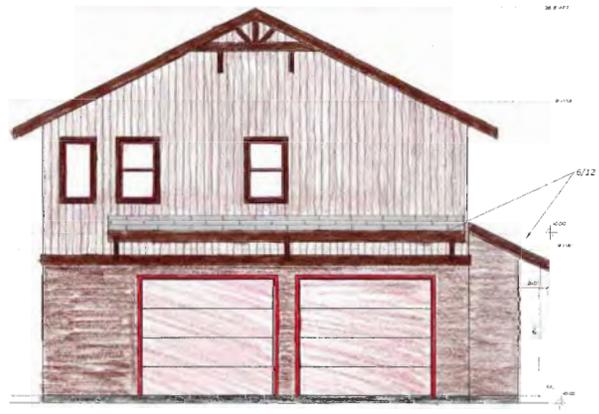
- A. ALL HEIGHTS NOT INDICATED IN THIS NOTE TO BE MEASURED TO FINISH FLOORING SURFACE UNLESS OTHERWISE NOTED.
- B. FINISH FLOORING TO BE VENEER 1/4" x 1/8" SAWN FLOORING AND OR LAMINATE IF LISTED FINISH FLOORING IS NOT ON THE FINAL SET OF CONTRACT DOCUMENTS. THE FINISH FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. FINISH FLOORING SHALL BE INSTALLED BY THE SUB CONTRACTOR AT THE SUB CONTRACTOR'S RISK.
- C. 2" OVERHANG @ EAVE LINES.
- D. ALL BRACKETS, HITCHES AND LAMPS TO BE SUPPLIED BY THE SUB CONTRACTOR AND SUPPLIER TO BE RESPONSIBLE FOR OBTAINING.
- E. ALL 1/2" x 1/2" CORNER STUDS TO BE 2" MINIMUM SPACING @ 16" ON CENTER.
- F. GARAGE DOORWAY IS TO BE 16' x 7' ALL UNITS INCLUDING ALL CONCRETE AND FINISH TO BE CONSTRUCTION PERMITS AND LOCAL PERMITS. PERMITS TO BE OBTAINED BY THE SUB CONTRACTOR.
- G. CONCRETE ALL LIFT POINTS WITH FRISBS WITH SHIRT FRAMING.
- H. ASSURE A MINIMUM OF 10% BEAM SUPPORTS TO BE.
- I. NOTIFY ALL PROPERTY OWNERS AND ADJACENT PROPERTY OWNERS OF ANY LOCATIONS.
- J. ALL 1/2" x 1/2" EXTERIOR ELEVATIONS TO BE CONSTRUCTION PERMITS.
- K. FINISH FLOORING TO BE MEASURED TO FINISH FLOORING SURFACE.
- L. ALL EXTERIOR WALLS TO BE CONSTRUCTION PERMITS TO BE OBTAINED BY THE SUB CONTRACTOR.

**VENTILATION NOTES:**

- A. TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF SPACE. VENTILATING AREA SHALL BE MEASURED AS THE NET FREE VENTILATING AREA. THE NET FREE VENTILATING AREA SHALL BE MEASURED AS THE NET FREE VENTILATING AREA. THE NET FREE VENTILATING AREA SHALL BE MEASURED AS THE NET FREE VENTILATING AREA.
- B. ALL EXTERIOR WALLS TO BE CONSTRUCTION PERMITS TO BE OBTAINED BY THE SUB CONTRACTOR.

**JOIST/TRUSS MANUFACTURER**

- NOTE:**
- A. THE SUB CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LOCAL PERMITS. PERMITS TO BE OBTAINED BY THE SUB CONTRACTOR.
  - B. FINISH FLOORING TO BE MEASURED TO FINISH FLOORING SURFACE.



5.1 GARAGE ELEVATION/ROOF  
SCALE 1/4" = 1'-0"



6.1 ELEVATION  
SCALE 1/4" = 1'-0"



HAILEY RESIDENCE 525 N. 4TH ST.  
EAGLE  
ADA COUNTY

DOCUMENT DATE:  
3/5/2015

DRAWN BY:  
STEVE HICKS  
208.954.9076

ELEVATIONS

A6.1



6.2 ELEVATION  
SCALE 1/4" = 1'-0"



HAILEY RESIDENCE 525 N. 4TH ST.  
EAGLE  
ADA COUNTY

DOCUMENT DATE:  
3/5/2015

DRAWN BY:  
STEVE HICKS  
208.954.9076

ELEVATIONS

A6.2



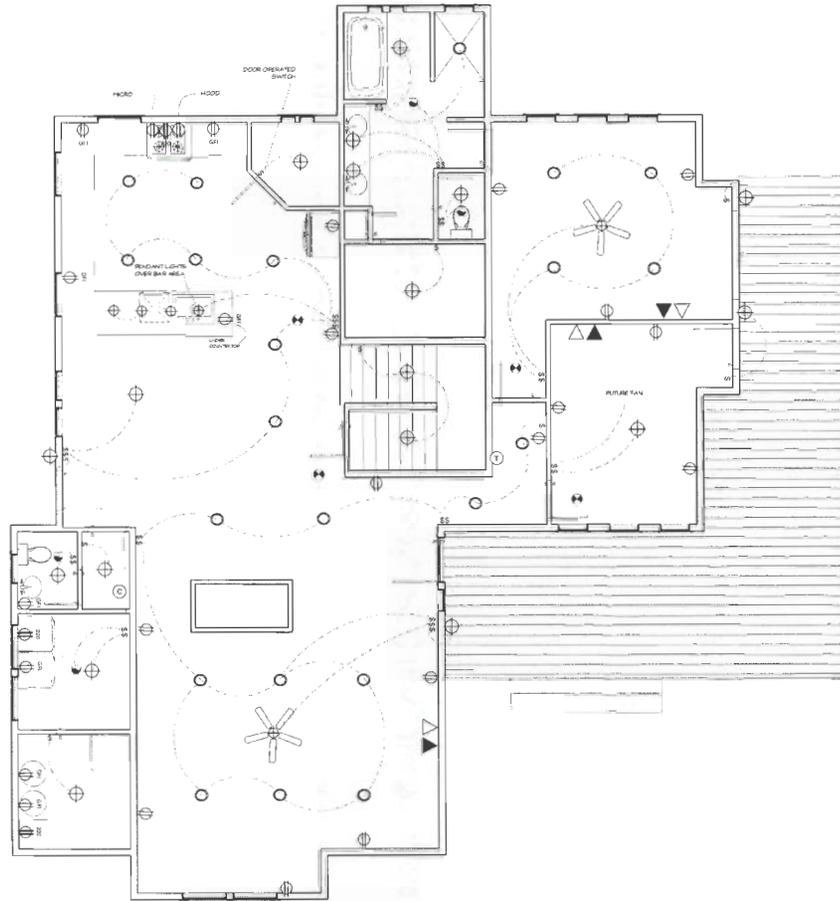


**LEGEND**

- ⊕ LIGHT FIXTURE
- RECESSED CAN LIGHT
- RECEPTACLE
- ⊖ EXHAUST FAN
- ⊗ SMOKE DETECTOR
- ⊙ CARBON MONOXIDE
- ▽ CABLE/CAT 5
- ▽ TELEPHONE
- ⊞ SWITCH
- ⊞ DIMMER SWITCH
- ⊞ WALL SCONCE
- ⊞ THERMOSTAT 50° A.F.F.

**SCHEDULE OF GENERAL NOTES:**

1. THE ELECTRICAL LOCATIONS ARE SCHEMATIC AND SHOULD BE CONSULTED WITH THE ELECTRICAL CONTRACTOR FOR ACTUAL DEPENDS AND LOCATIONS SHALL BE DETERMINED BY THE APPLICABLE CODES AND BUILDING OFFICIALS.
2. ALL F.F. TO NUMBER 3 AND NUMBER 4 EXCLUSIONS FOR MARKINGS AND LOCATIONS.
3. CARBON MONOXIDE DETECTORS SHOULD BE PLACED AT THE CORNER NEAREST THE ENTRY.
4. CARBON MONOXIDE DETECTORS SHOULD BE PLACED AS NEAR THE FIRST VENT INCH IN ORDER IN THE SYSTEM AS POSSIBLE.
5. VENTILATION FAN FIXTURES IN BATHROOMS AND LAUNDRY ROOM SHOULD BE PLACED SEPARATE FROM LIGHT FIXTURES.



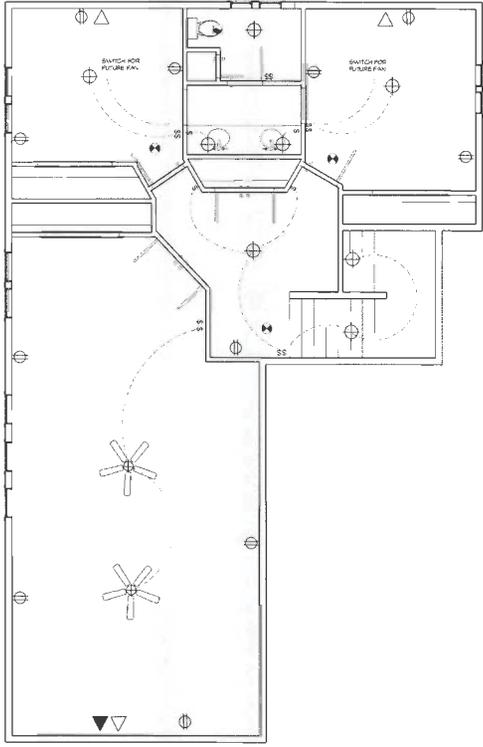
**1.1 ELECTRIC MAIN**

SCALE 1/4" = 1'-0"

**LEGEND**

	LIGHT FIXTURE
	RECESSED CAN LIGHT
	RECEPTACLE
	EXHAUST FAN
	SMOKE DETECTOR
	CARBON MONOXIDE
	CABLE/CAT 5
	TELEPHONE
	SWITCH
	DIMMER SWITCH
	WALL SCONCE
	THERMOSTAT 66° A.F.F.

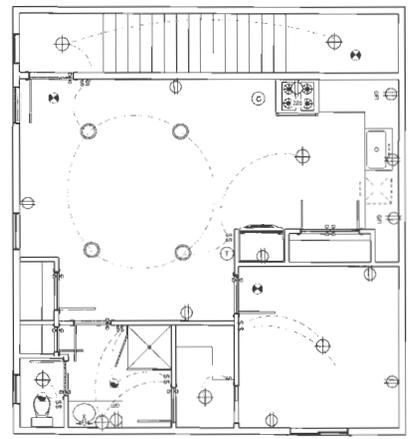
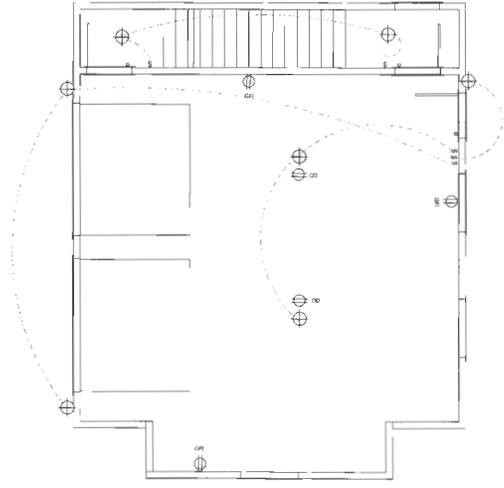
- SCHEDULE OF GENERAL NOTES:**
1. ALL ELECTRICAL LOCATIONS ARE SYMBOLIC AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL DEVICE AND LOCATIONS SHALL BE DETERMINED BY THE APPROPRIATE CODES AND BUILDING OFFICIAL.
  2. REFER TO MANUAL 2 AND MANUAL 10 FOR INFORMATION FOR HVAC TYPES AND LOCATIONS.
  3. CARBON MONOXIDE DETECTORS SHOULD BE PLACED AT THE LOWEST POINT POSSIBLE.
  4. CARBON MONOXIDE DETECTORS SHOULD BE PLACED AS NEAR THE EXITS AS FEASIBLE ALONG AN EXISTING SYSTEM IF POSSIBLE.
  5. VENTILATION FAN FIXTURES IN BATHROOMS AND KITCHENS SHOULD BE PLACED SEPARATE FROM LIGHT FIXTURES.



**LEGEND**

- ⊕ LIGHT FIXTURE
- RECESSED CAN LIGHT
- ⊖ RECEPTACLE
- ⊞ EXHAUST FAN
- ⊞ SMOKE DETECTOR
- ⊞ CARBON MONOXIDE
- ▽ CABLE/CAT 5
- ▽ TELEPHONE
- ⊞ SWITCH
- ⊞ DIMMER SWITCH
- ⊞ WALL SCONCE
- ⊞ THERMOSTAT 40' A.F.F.

- SCHEDULE OF GENERAL NOTES:**
1. THE ELECTRICAL LOCATIONS ARE SCHMATIC AND SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL TYPES AND LOCATIONS SHALL BE AS DETERMINED BY THE APPROPRIATE LOCAL AND BUILDING OFFICIALS.
  2. REFER TO SCHEDULE 2 AND MANUAL TO DETERMINE THE TYPE, SIZE AND LOCATIONS.
  3. CARBON MONOXIDE DETECTORS SHOULD BE PLACED AT THE LOWEST FEASIBLE POINT.
  4. CARBON MONOXIDE DETECTORS SHOULD BE PLACED AS NEAR THE FIRST FLOOR AS POSSIBLE IN EACH SYSTEM.
  5. VENTILATION FIXTURES IN BATHROOMS AND LAUNDRY ROOM SHOULD BE PLACED SEPARATE FROM LIGHT FIXTURES.



**1.3 ELECTRIC GARAGE**  
SCALE 1/4" = 1'-0"

**REINFORCING SCHEDULE:**  
THE FOLLOWING REINFORCING SHALL BE INSTALLED AT FINISH FLOOR LEVEL UNLESS OTHERWISE NOTED.  
1. ALL 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
2. ALL 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
3. ALL 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.

**GENERAL NOTES:**  
1. CONTRACTOR SHALL VERIFY ALL FOUNDATION CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.  
2. CONTRACTOR SHALL VERIFY ALL FOUNDATION CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.  
3. CONTRACTOR SHALL VERIFY ALL FOUNDATION CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.  
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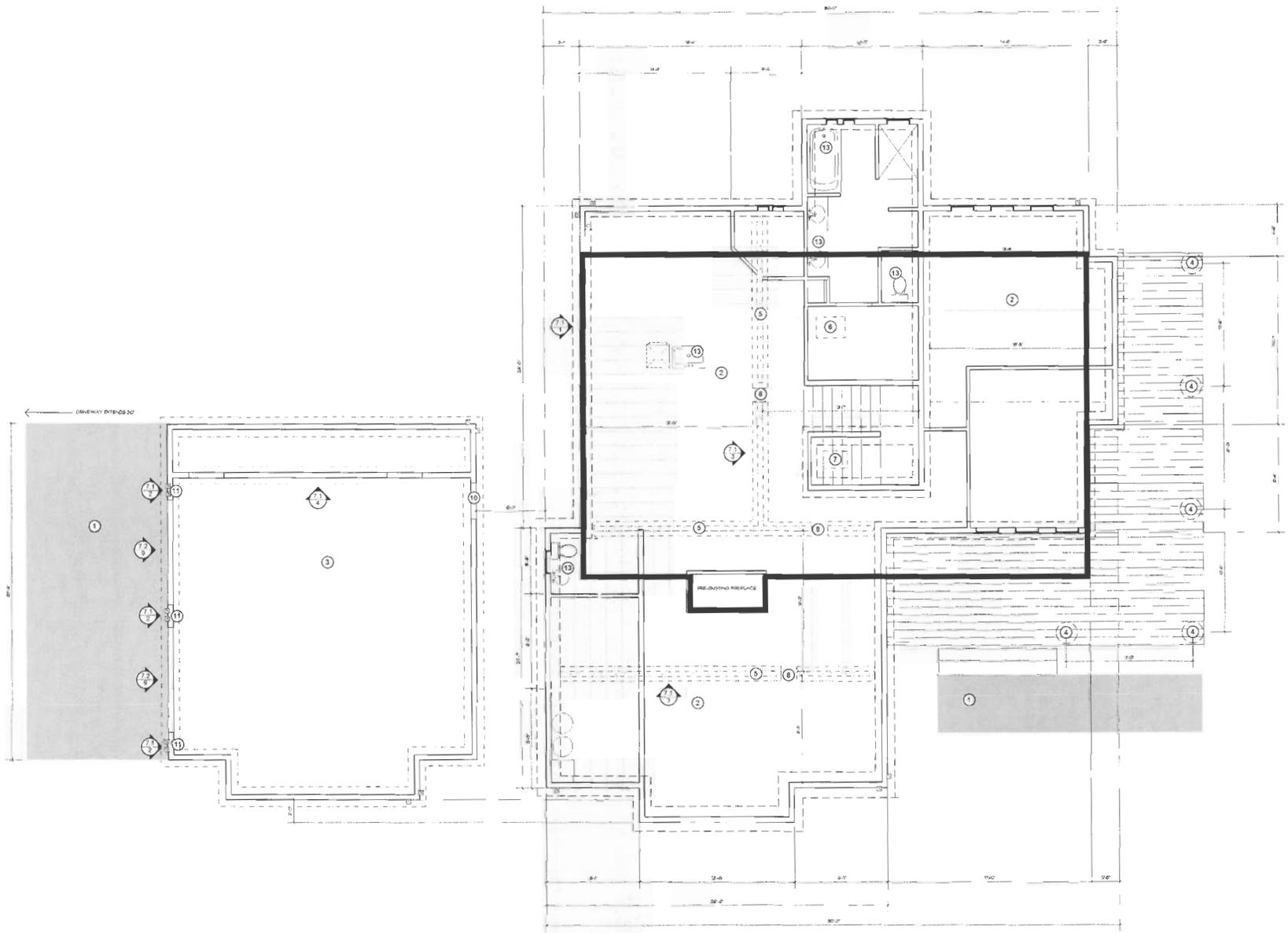
**FOUNDATION KEYNOTES:**  
1. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
2. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
3. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
4. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
5. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.

**FOUNDATION NOTES:**  
1. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
2. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
3. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
4. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
5. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.

**FLOOR SYSTEM NOTES:**  
1. FLOOR SYSTEM TO CONSIST OF 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
2. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
3. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.

**FOUNDATION SCHEDULE:**  
1. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
2. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
3. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
4. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.  
5. 12" DIA. CORES SHALL BE REINFORCED WITH 1# 12" DIA. BARS IN CENTER LINE OF FOOTING UNLESS OTHERWISE NOTED.

**BASMENT FLOOR:**  
5" @ 18" OSB Sheathing w/10# Nails on 12" O.C. Stud  
1" @ 12" P.T. of Poly w/ 1/2" @ 12" Anchor Bars @ 12" O.C.



**2.0 FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"



**SCHEDULE OF GENERAL NOTES:**

1. ALL FIRST FLOOR DIMENSIONS ARE TO FIN HEIGHT U.O.M.
2. UNFINISHED SPACES SHALL BE TO BE FINISHED SUCH THAT THE SOURCE OF FINISHES IS STATED.
3. VERIFY CONDITIONS AND SPECIFICATIONS OF ALL FIXTURES AND EQUIPMENT PROVIDED BY OWNER AND INSTALL THEM.
4. ALL FIXTURES/ APPLIANCES SHALL BE INSTALLED WITH A FINISH PERFECT GARNISH MAT. (ALL GYPSUM SHALL BE FLASHED TO MATCH THE MAT. AT ALL JOINTS)
5. ALL DOORS NOT INDICATED TO BE FROM THE LOCKER.
6. ALL WALLS NOT DESIGNATED OTHERWISE: BOARD CONNECTION OR PORTAL FRAME CONDITION WILL BE CONFORM TO BRACING CONDITION SEE SHEET WALL SCHEDULE.

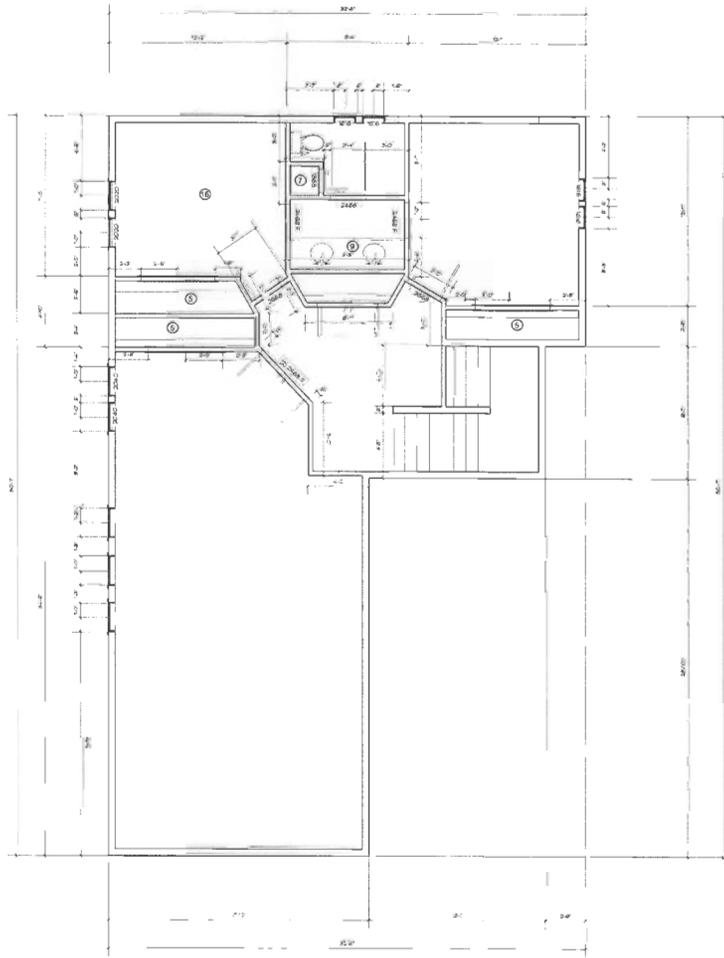
**SCHEDULE OF KEYNOTES:**

1. EXTERIOR CONCRETE FOUNDATION (SEE SHEET FOUNDATION)
2. EXTERIOR CONCRETE FOUNDATION (SEE SHEET FOUNDATION)
3. EXTERIOR CONCRETE FOUNDATION (SEE SHEET FOUNDATION)
4. EXTERIOR CONCRETE FOUNDATION (SEE SHEET FOUNDATION)
5. ROOF AND SKYLIGHT (SEE SHEET ROOF)
6. ROOF
7. (S) SKYLIGHT
8. KITCHEN CABINETS
9. BATH CABINETS
10. BULLER WALL (SEE SHEET WALL)

**WALL TYPES:**

**EXTERIOR WALL - TYPICAL**  
 1/2" COP. RD. (IND.)  
 2X6 STUDS @ 24" O.C.  
 GYPSUM BOARD AND SINGLE WALL PLATE  
 N-41 BATT INSULATION @ 2" MIN. R-VALUE  
 SEE WALL BRACK SCHEDULE (WHERE APPLICABLE)

**INTERIOR NON-BEARING WALL**  
 1/2" COP. RD. (IND.)  
 2X6 STUDS @ 24" O.C.  
 1/2" COP. RD. (IND.)



**3.2 UPPER FLOOR**  
SCALE 1/4" = 1'-0"









**SCHEDULE OF GENERAL NOTES:**

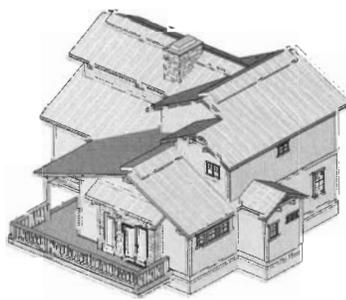
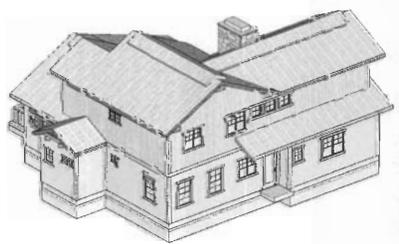
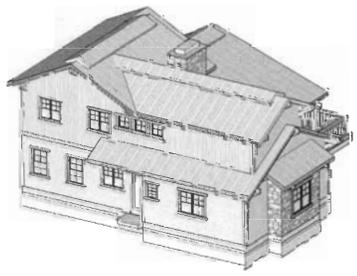
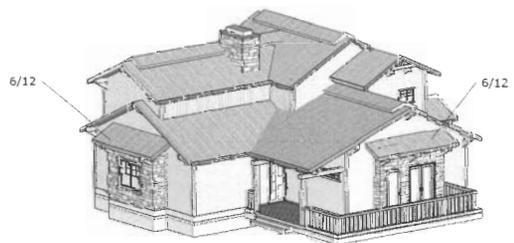
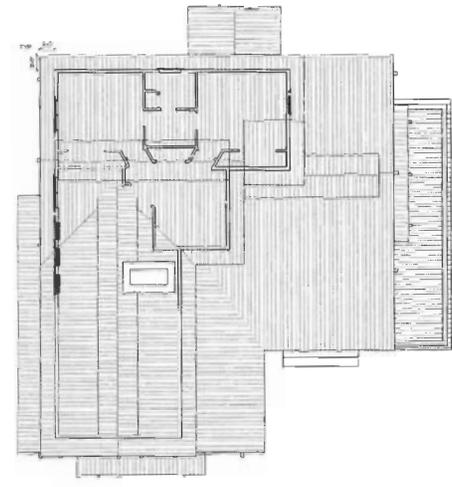
- A. ALL HEIGHTS NOT INDICATED BY NOTE TO BE KEPT AS SHOWN UNLESS NOTED BY FLAT OR SLOPE & VERTICAL DISTANCE.
- B. THIS GARAGE TO BE VERIFIED BY TRUSS MANUFACTURER AND FOR ALL OTHER REQUIREMENTS AND FOUND ON THE FINAL SET OF CONSTRUCTION DOCUMENTS. CONTACT THE MANUFACTURER WITH THE LOCATION, PROJECT ELEVATION, HEIGHT, AND NUMBER FOR THIS PROJECT AS REFERENCED ON THIS SET OF CONSTRUCTION DOCUMENTS.
- C. 2" OVERBAND @ 6/12.
- D. ALL BRIMS IN ROOF AND UNDER TO BE VERIFIED BY GENERAL CONTRACTOR AND SUPPLIER PRIOR TO CONSTRUCTION.
- E. ALL STEEL CORNER CHAIRS TO BE "HARRISON" BRAND BY "HARRISON" CO. IN.
- F. FURNISH OR VERIFY ALL DIMENSIONS AND CONDITIONS FROM FOUNDATION TO AND BE SURE ANY DISCREPANCIES WITH THESE NOTES.
- G. COORDINATE ALL LOADS WITH TRUSS AND SHIP DRAWINGS.
- H. ASSUME A MINIMUM OF 24" OR 24" ON SLOPE PER 12".
- I. REFER TO FOUNDATION PLANS FOR HOLD-DOWN ANCHOR TYPES AND LOCATIONS.
- J. REFER TO EXISTING ELEVATIONS FOR HOOP BRACE LOCATIONS.
- K. TRUSS MANUFACTURER TO VERIFY ALL PLATE HEIGHTS FROM 2" TO 6" PER 12".
- L. ALL ROOF BRIMS SHALL BE KEPT TO BE BLOCKED AT ALL RAFTERS TOES, ALL BRIMS TO BE ANCHORED TO THE TRUSS BY BLOCKING, ALL BRIMS TO BE 2" TO 6" PER 12".

**VENTILATION NOTES:**

- A. TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300TH OF THE UNFLOORED SPACE VENTILATED TO ACCEPT THAT THE TOTAL AREA OF VENTILATION TO BE PROVIDED IS 3.0 SQ. FT. PER 1,000 CU. FT. OF UNFLOORED SPACE. THE REQUIRED VENTILATION AREA SHALL BE PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED. THE VENTILATOR SHALL BE LOCATED AT THE PEAK AND INCLINED TOWARD THE ROOF TO THE INCLOSURE OF THE SPACE. THE VENTILATOR SHALL BE LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED. THE VENTILATOR SHALL BE LOCATED AT THE PEAK AND INCLINED TOWARD THE ROOF TO THE INCLOSURE OF THE SPACE.

**JOIST/TRUSS MANUFACTURER NOTE:**

- JOIST AND BEAM:**  
FURNISH ELEVATIONS AND HAS BEEN MADE TO TRANSFER LOADS TO THE TRUSS MANUFACTURER. JOIST MANUFACTURER SHALL VERIFY ALL DIMENSIONS AND HANGER REQUIREMENTS PRIOR TO CONSTRUCTION.
- ROOF TRUSSES:**  
ELEVATIONS AND HAS BEEN MADE TO PROVIDE A CORNER BRACE AND BEAM TO THE TRUSS MANUFACTURER. TRUSS MANUFACTURER SHALL VERIFY ALL DIMENSIONS AND HANGER REQUIREMENTS PRIOR TO CONSTRUCTION AND OF TIGHT.



5.0 ROOF PLAN  
SCALE 1/4" = 1'-0"



HAILEY RESIDENCE 525 N. 4TH ST.  
EAGLE  
ADA COUNTY

DOCUMENT DATE:  
3/5/2015

DRAWN BY:  
STEVE HICKS  
208.954.9076

ROOF PLAN

A5.0







**RETURN TO AGENDA**

May 7, 2015

TO: Planning and Zoning Commission

FM: Lisa Horowitz, Community Development Director

RE: Work Session on Design Review Threshold

ATTACHMENT 1: Design Review Threshold Matrix Draft

ATTACHMENT 2: Design Review Comparison of Other Communities

Commissioners, staff and legal counsel all agree that clarification is needed as to what types of projects are subject to Design Review. This was discussed at the last PZ meeting, and this memo has been updated to include that input.

## 1. History

The City of Hailey first enacted a Design Review process in 1989. At that time, discretion was given to staff to determine which projects should come to the Commission and which projects staff could approve. The design review process was consider “guidelines” and was not included in the Hailey Zoning code. This version was amended in 2001, and was placed in the Zoning Code (giving Design Review more authority). The language in the 2001 version was very close to today’s rules.

## 2. Current regulations.

Attachment 1 outlines the current zoning code regulations for Design Review. The threshold is found in two sections of the Code: Sections 6.A.1 outline what new construction is required to go through Design Review. Section 6.A.2 outlines the authority of the Administrator, and exemptions. The current language is clear for new construction. For remodels and alterations, the current language makes it confusing for staff and applicants as to what threshold of review is required.

## 3. Hearing Examiner

The Hailey Code allows for a Hearing Examiner. A Hearing Examiner is a common tool employed by cities and counties. It creates a neutral third party who reviews projects compliance with adopted standards, and considers neighborhood input similar to the

Planning and Zoning Commission. The types of projects that would go to a Hearings Examiner are outlined in Section 3.4 of the Hailey Code. At the last meeting, the Commissioners indicated that a Hearing Examiner is not the preferred option at this time.

#### 4. Staff Review of lesser projects

Other cities assign a variety of lesser projects to their professional staff for review and approval. A partial list of research into other cities is attached for Commissioner review. The City of Hailey has the lowest threshold of projects required to go to the Commission of any city surveyed with the exception of Sun Valley. Based on the last PZ workshop and discussions with Commissioners over the last several weeks, staff has modified the matrix to show what types of projects could be reviewed and approved by staff in the future.

#### 5. Commissioner Consent Agenda

The consent agenda was designed at a time when the Commissioners agendas were so packed that smaller items (that had previously gone to Hearings Examiner) were placed there. The Consent Agenda as currently designed does not save any staff time whatsoever. The same amount of effort is needed on the part of staff to prepare items for consent agenda as is needed for the discussion items. This is likely why many cities as they grow delegate more projects to staff for administrative approval, and/or utilize a Hearing Examiner. Staff suggests a more streamlined approach to projects on the Consent Agenda with briefer staff reports.

#### 6. Draft Purposes and Matrix

A matrix may be a clearer way of outlining the various project thresholds: new construction, additions that add square footage over a certain size, and remodels that do not add square footage. The matrix could also clarify which items go to the Commission, a Hearings Examiner and/or staff. Staff has prepared a draft matrix for Commission discussion. The current code does not contain a "Purposes" section. This is desirable to clarify for the community the intent of the design review process. A draft purposes section is also attached.

**Excerpt Title 17 Hailey Zoning Code Design Review Applicability and Authority of the Administrator**

**ARTICLE VI A  
DESIGN REVIEW**

6A.1 Applicability.

A. No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:

1. A building for a non-residential Principal or Conditional Use within any zoning district.

2. A building for a Public or Semi-Public Use within any zoning district.

3. A Multi-Family Dwelling of three or more units within any zoning district.

4. A Single Family Dwelling, Duplex or Accessory Structure within the Townsite Overlay (TO) District.

5. A Historic Structure.

B. Exemptions.

1. Murals and public art

2. Applications for non-emergency temporary structures are not subject to Design Review, but are subject to the Conditional Use Permit process as set forth in Article XI of the Zoning Ordinance.

3. Projects which qualify under Section 6A.2(A)(3) of this Article.  
(Ord. 1097, §1, 2012, Ord. 1062, §1, 2010)

## 6A.2 Authority of the Administrator.

A. The Administrator has the authority to review and make, or recommend, decisions as follows:

1. The Administrator has the authority to recommend for approval or denial certain applications for Design Review that the Administrator determines to have no substantial impact on adjacent properties or on the community at large, subject to final approval or denial by the Commission on its consent agenda. Such recommendation for approval or denial shall specify the standards used in evaluating the application; the reasons for the approval or denial; and conditions of approval, if any. Applications that have no substantial impact may include, but are not limited to: additions under five-hundred (500) square feet or which are not prominently visible from a public street, façade changes and alterations to parking or other site elements.

2. Those applications for projects of an emergency nature, necessary to guard against imminent peril, regardless of zoning district, shall receive administrative review and approval, denial, or conditional approval, subject to criteria set forth in subsection 6A.7.B-of this Article. The Administrator may, upon the request of the applicant or the direction of any City official, forward the application to the Commission for review

3. The Administrator has the authority to recommend exemption of certain projects from the design review requirements, upon finding; the project is minor, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties. Examples include, but are not limited to minor deck additions, changes to siding materials, changes to an existing window or door, an addition of a window or door, and minor landscape changes. Such recommendation for exemption shall be drafted in the form of Findings of Fact and Conclusions of Law, subject to final decision by the Commission on its consent agenda prior to issuance of a building permit. Should the Commission deny the Administrator's recommendation or should the Administrator determine that the proposal does not meet all of the above evaluation criteria, the project shall be subject to the provisions of this chapter prior to issuance of a building permit.

4. The Administrator has the authority to approve minor modifications to projects that have received design review approval by the Commission prior to, and for the duration of a valid Building Permit. The Administrator shall make the determination as to what constitutes minor modifications and may include, but are not limited to changes to approved colors and/or siding materials, changes to site plans that do not significantly increase building footprints or significantly change driveway or road alignment, changes to landscape plans that do not decrease the amount of landscaping, changes to dumpster enclosures, changes to exterior lighting fixtures and location, or changes to windows that do not significantly affect project design, appearance or function. All approved modifications must be documented in a memo to the project file and on the approved set of plans on file with the city. For modifications to design review approval that are determined by the Administrator not to be minor, the Administrator has the authority to recommend approval or denial of such modifications, subject to final decision by the Commission on its consent agenda. Such recommendation for approval or denial shall be drafted in the form of Findings of Fact and Conclusions of Law.

(Ord. 1062, §3, 2010; Ord. 1009, §1, 2008)

## **Purpose of Hailey Design Review**

1. To ensure that the general appearance and function of building design and construction is compatible with character of the City of Hailey and its neighborhoods;
2. To promote original and high quality design;
3. To reinforce the historic and cultural character of the Hailey community;
4. To encourage revitalization of downtown Hailey;
5. To promote building and site design that fits into the context of established neighborhoods, and reinforces a “sense of place”;
6. To promote sustainable design principles;
7. To promote compact, walkable development and enhance the character and function of Hailey streets;
8. To coordinate on site vehicular and non-vehicular traffic circulation patterns with adjacent transportation systems, and to manage the impact of the vehicular traffic on adjacent streets;
8. To ensure efficient arrangement of on-site parking with regard to building location, safe access points, non-motorized travel, utilities and public services and adjacent land uses;
9. To prevent unnecessary excavation or fill for building foundations, access roads, driveways and similar improvements including prevention soil erosion and flood damage;
11. To ensure appropriate and adequate landscaping, with an emphasis on sustainable, low-water use landscaping;
12. To protect and conserve the economic base of Hailey including property values.

## Projects Requiring Design Review

**Table 1: Categories of Review**

Category of Review	Why?	Notice
<b>Not Subject to Design Review Exempt:</b>	The project is minor in nature, and would not have a substantial impact on adjacent properties	None
<b>Hearings Examiner and/or Staff</b>	Staff: develop list of smaller projects and streamlined process; notice to neighbors?  Hearings Examiner: List Currently in the Code: Smaller projects can be reviewed by an impartial professional trained in the field of planning and zoning or architecture	Could be a 10-day notice with staff review  Neighbors within 300' are given 15 day public hearing notice
<b>Consent</b>	The project is minor in nature; time is saved on the PZ Agenda for other items Need streamlined staff report for these	Neighbors within 300' are given 15 day public hearing notice
<b>Full PZ Review</b>	The City has found that new non-residential construction; residential projects 3 units or greater; conditional use permits	Neighbors within 300' are given 15 day public hearing notice
<b>Administrative Staff Approval</b>	After Design Review is complete, small changes often occur during the building permit process; the administrator has authority for some of these minor changes during the building permit process as outlined in the Code	

**Table 2: Project Types**

Type of Use	Exempt	Administrative Staff Approval	Hearings Examiner	PZ Consent Agenda	Full PZ Review
<b>NEW CONSTRUCTION</b>					
<b>Non-residential Buildings: all zones</b>					X
<b>Residential of three (3) or more units: all zones</b>					X
<b>Townsite Overlay: New Single Family or Duplex</b>		X			
<b>Accessory Structures</b>		X			
<b>ADDITIONS</b>					

<b>Commercial: Additions under 500 square feet which are not prominently visible from a public street</b>		X			
<b>Townsite Overlay: Single Family, Duplex or Accessory Structure that adds floor area equal to or greater than 50% of the original structure</b>		X			
<b>Townsite Overlay: Additions that adds floor area less than 50% of the original structure</b>	X				
<b>MODIFICATIONS THAT DO NOT ADD SQUARE FOOTAGE</b>					
<b>Minor Façade Changes, alterations to parking and other site elements</b>	X				
<b>Commercial: Major deck additions; changes to architectural elements which alter the overall style of the building; addition of window(s) or door(s); or changes to existing windows or doors that result in major stylistic changes; changes to architectural elements which alter the overall style of the building.</b>			X		
<b>Commercial: Minor deck additions, changes to siding and/or materials, changes to window(s) or door(s) that do not result in major stylistic changes, landscape and/or parking changes that do not materially alter the flow of circulation</b>		X			
<b>Townsite Overlay: Major deck additions, changes to architectural elements which alter the overall style</b>		X			

<b>of the building, major stylistic changes to existing windows or doors, or additions of windows and doors that materially alter the style; changes to architectural elements which alter the overall style of the building, major landscape changes</b>					
<b>Townsite Overlay: Minor deck additions, changes to siding and/or materials, minor changes to or additions of window(s) or door(s), minor landscape and parking changes</b>	X				
<b>Murals and Public Art</b>	X				
<b>Temporary Structures</b>	X				

## Chart of Design Review Threshold in other communities

<b>Town</b>	<b>Residential Threshold for projects to go to the Commission</b>	<b>Commercial Threshold for Projects to go to the Commission</b>	<b>Additions</b>	<b>Notes</b>
<b>Bellevue</b>	2 or more units	New commercial or moved structures	Minor modifications can be approved by staff	
<b>Boise, ID</b>	Over 6 units and/or over 2 story (Under 2 story of less than 6 units approved by staff)	Office/Commercial over 5,000 square feet  Industrial over 10,000 square feet	In D District, all additions approved by Staff. In DD District, all minor additions approved by staff	
<b>Bozeman, MT</b>	20 or more units	30,000 square feet or more of office, retail, service, industrial or more than 2 bldgs. per site or parking for more than 60 vehicles	Approved by staff	
<b>Carbondale, CO</b>				
<b>Driggs, ID</b>	Only multifamily buildings in commercial zones	New commercial and modifications only in commercial zones (no light industrial)	Only in commercial zone	Projects go to a Design Review Committee who recommends to PZ. PZ more focused on subdivisions, code changes etc.
<b>Grand Junction, CO</b>	No Design Review	No Design Review	No Design Review	Planning and Zoning looks at changes to Future Land Use Map; zoning changes, Conditional Use Permit. All subdivisions reviewed/approved by staff
<b>Ketchum</b>	2 or more units; single family in Mountain Overlay	all	Minor modifications defined similarly to Hailey; some can be approved by staff	
<b>Sun Valley</b>	Single Family and greater	all	Minor alterations administratively reviewed, but not well defined; deck extensions, landscape alterations, fences are administratively approved with neighbor notice and staff findings	