

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, July 13th, 2015
Hailey City Hall
5:30 p.m.

Call to Order

Public Comment for items not on the agenda

Consent Agenda

- CA 1** Motion to approve minutes of June 8th, 2015
- CA 2** Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by The Rock Church (Wood River Assembly of God) represented by Michael Barker Architect for an exterior renovation to the existing church located at Lots 7 and 8, the north ½ of Lot 9 and the south half of Lot 6 of Block 65, Hailey Townsite, (511 North Main Street) within the Business (B) and Townsite Overlay (TO) Zoning Districts.
- CA 3** Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Evans Plumbing, Inc. represented by Owen Scanlon Architect for a new industrial building located at Lots 4A, 4B, 4F and 4G of Airport West Phase 2, (111 Gulf Stream Lane) within the Service Commercial Industrial District (SC-I) Zoning District.
- CA 4** Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Kristina Boatwright represented by Liberty Construction/Kolo, LLC for a 1,800 square foot addition to an existing residence and a new garage with a 600 square foot accessory dwelling unit located at the S. ½ of Lot 5, Lots 6 & 7, and the north ½ of Lot 8 of Block 61, Hailey Townsite, (525 N. Fourth Avenue) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.
- CA 5** Motion to approve Findings of Fact and Conclusions of Law for a Design Review Exemption submitted by the Legacy Group, represented by Tanner Construction, for the conversion of an exterior door to a window located at lots 4-5, block 53, Hailey Townsite (313 Main Street North) within the Townsite Overlay (TO) and Business (B) Zoning Districts.
- CA 6** Motion to approved a Design Review Modification submitted by Friedman Memorial Airport, represented by Ruscitto/Latham/Blanton, for Design Review modification for changes to the exterior siding, omission of two horizontal windows, and removal of sun shade canopies and metal tie-rods for the new airport operations building, located on tax lot 8151, FR SEC 10, 15, 22 (1616 Airport Circle), within the Airport District A Zone.
- CA 7** Motion to approve a Design Review Exemption submitted by Janet Longe, represented by Hollis Rumpeltes Architects, for the addition of a 188 sf room to an existing principal structure located at 221 4th Avenue North (Lots 1, 2 & N ½ of 3, Block 48, Hailey Townsite) within the Limited Residential -1 (LR-1) and Townsite Overlay (TO) Districts.

New Business and Public Hearings

- NB 1** Consideration of a Design Review application by Tom King, Kings Variety Store, represented by Errin Bliss Architecture for an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store located at 615 North Main Street (Lots 1-5 and 11-15, Block 68, Hailey Townsite in the Business (B) Zone District. The application request includes a proposal for a Private Road on the north property boundary connecting from Main Street to River Street.

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

- NB 2** Consideration of a city initiated text amendment and accompanying ordinance to amend the Hailey Municipal Code, to amend Article 6A, Design Review Section 6.A.1, Design Review Applicability and 6.A.2, Authority of the Administrator. The amendment clarifies what types of projects are approved by the Commission, by Community Development staff, or are exempt from Design Review.
- NB 3** Consideration of a city initiated text amendment and accompanying ordinance to amend the Hailey Municipal Code, to amend Section 5.4, District Use Matrix, to allow Urban Agriculture as an Accessory Use to School regardless of Zone District.
- NB 4 Consideration of a city initiated text amendment and accompanying ordinance to repeal Hailey’s Subdivision Ordinance, Ordinance No. 821 and subsequent amendments thereto, in their entirety and replace it with a newly codified Subdivision Ordinance, as Title 16 of the Hailey Municipal Code. This repeal and replacement is intended to codify the Subdivision Ordinance into the Hailey Municipal Code. **No documents are available.*
- NB 5 Consideration of a city initiated text amendment and accompanying ordinance to repeal Hailey’s Zoning Ordinance, Ordinance No. 532 and subsequent amendments thereto, in their entirety and replace it with a newly codified Zoning Ordinance, as Title 17 of the Hailey Municipal Code. This repeal and replacement is intended to codify the Zoning Ordinance into the Hailey Municipal Code. **No documents are available.*
- NB 6 Consideration of a city initiated text amendment and accompanying ordinance to repeal Hailey’s Mobility Design Ordinance, Ordinance No. 1116 and subsequent amendments thereto, in their entirety and replace it with a newly codified Mobility Design Ordinance, as Title 18 of the Hailey Municipal Code. This repeal and replacement is intended to codify the Mobility Design Ordinance into the Hailey Municipal Code. **No documents are available.*
- NB 7** Consideration of Amendments to Title 18 Standard Drawings No. 18.14.010.C.4 Sewer Service Connection, to clarify connection standards for new sewers, and retitling said drawing as “Typical Section Connection for New Sewer”, 18.14.010.B.8 clarifying installation standards and providing standard drawings for reduced-pressure principle backflow assemblies and pressure-vacuum breaker assemblies, and 18.14.010.B.3 clarifying meter type and connection requirements for residential water service and creating new Standard Drawings No. 18.14.010.B.9, 18.14.010.B.10 and 18.14.010.B.11 clarifying installation standards and providing standard drawings for reduced-pressure principle backflow assemblies and pressure-vacuum breaker assemblies.

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

- SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.
(no documents)
- SR 2 Discussion of the next Planning and Zoning meeting: TBD.
(no documents)

Adjourn

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

Return to Agenda

**MINUTES OF THE
HAILEY PLANNING & ZONING COMMISSION
Monday, June 8th, 2015
Hailey City Hall
5:30 p.m.**

Present: Regina Korby, Janet Fugate, Dan Smith, Owen Scanlon, Richard Pogue
Absent: None
Staff: Lisa Horowitz, Kristine Hilt

Call to Order

5:33:30 PM Chair Fugate called the meeting to order.

Public Comment for items not on the agenda
None.

Consent Agenda

CA 1 Motion to approve minutes of May 11th, 2015

CA 2 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by City of Hailey for Design Review of a new 4,846 sq. ft. Biosolids handling facility, to be located at Tax Lot 5377 (4297 Glenbrook Drive) within the Light Industrial (LI) Zoning District.

CA 3 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by The Advocates, represented by Dave Hennessy of the Hennessy Company, for Design Review of a 393 sq. ft. carport enclosure attached to an existing structure located at Hailey Croy Addition, Lots 4-7, Block 22 (114 Croy Street West) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

CA 4 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Lido Equities/John Alan Partners represented by TND Architects, LLC for Design Review application for an exterior renovation of an existing tennis and clubhouse building located at Parcel B1, Copper Ranch Phase 5 (1970 Woodside Boulevard) within the Limited Business (LB) Zone District.

CA 5 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Robin and Dean Paschall represented by Bradley Construction for a new 3,000 square foot single family residence located at Lots 7,8 and 9 of Block 45, Hailey Townsite, (209 First Avenue North) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

CA 6 Motion to approve Findings of Fact and Conclusions of Law for a Design Review Exemption submitted application by A Taste of Thai for the exterior painting of an existing building located at lots south 15' of 16 & north 20' of 17, block 40, Hailey Townsite (106-106 ½ Main Street North) within the Townsite Overlay (TO) and Business (B) Zoning Districts.

Regina Korby pulled item CA 1 and Dan Smith pulled item CA 6 for discussion. Dan Smith inquired about the proposed color layout for A Taste of Thai. Staff clarified. Regina Korby noted that CA 1, the minutes, had an error and referred to Vice Chair Fugate. **5:34:32 PM** Regina Korby motioned to approve items 2, 3, 4 & 5. **5:36:32 PM** Owen Scanlon moved to approve items CA 1 and CA 6.

New Business and Public Hearings

NB 1 Consideration of a Design Review application by The Rock Church (Wood River Assembly of

God) represented by Michael Barker Architect for an exterior renovation to the existing church located at Lots 7 and 8, the north ½ of Lot 9 and the south half of Lot 6 of Block 65, Hailey Townsite, (511 North Main Street) within the Business (B) and Townsite Overlay (TO) Zoning Districts.

[5:37:39 PM](#) Michael Barker stood and introduced the project to the Commissioners and included information about the proposed façade changes, materials, and improvements to the existing building. Michael also included information about architectural elements in details along with construction procedures for installation and erection.

[5:41:09 PM](#) Michael Barker then summarized the samples in detail for the Commissioners and detailed where each would be found on the exterior of the building. Discussion between the Commission and Michael Barker included proposed height and additional details of the signage and materials. Discussion continued to include exterior paint colors, roof lines, drainage, existing landscaping and design elements. Owen Scanlon inquired about siding location and installation and flow with existing siding. Michael Barker clarified for the Commission.

[5:49 PM](#) Chair Fugate opened the application for public comment. Peter Lobb, 4th & Carbonate, inquired about a provision for a lightning rod. Michael Barker answered that he had researched the topic and that a decision had not yet been made. Tony Evans, Idaho Mountain Express, inquired about the opacity of the windows in the cupola and if the cupola would be internally lit. Michael Barker notified him that lighting had not yet been decided upon either. Chair Fugate closed public comment. Chair Fugate inquired about signage. Lisa Horowitz notified the Commission that staff had recommended that administrative approval of the signage be done unless the Commission preferred otherwise.

[5:54 PM](#) Lisa Horowitz notified the Commission that the exterior lighting would be dark sky compliant. Chair Fugate inquired about the existing landscaping and asked if the Hailey Tree Committee has not reviewed the landscaping. Lisa Horowitz notified the Commission that the tree in question was in poor health and that the Tree Committee had not reviewed the tree but that it was a safety concern.

[5:57 PM](#) Regina Korby motioned to approve the Design Review application submitted by The Rock Church (Wood River Assembly of God) represented by Michael Barker Architect for an exterior renovation to the existing church located at Lots 7 and 8, the north ½ of Lot 9 and the south half of Lot 6 of Block 65, Hailey Townsite, (511 North Main Street) within the Business (B) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (h) are met. Owen Scanlon seconded and the motion passed unanimously.

[NB 2](#) *Consideration of a Design Review application by Evans Plumbing, Inc. represented by Owen Scanlon Architect for a new industrial building located at Lots 4A, 4B, 4F and 4G of Airport West Phase 2, (111 Gulf Stream Lane) within the Service Commercial Industrial District (SC-I) Zoning District.*

[5:59 PM](#) Lisa Horowitz notified the Commission that Owen Scanlon was the applicant representative and that he would be recusing himself from the Commission. Owen Scanlon introduced the owner, Bryan Evans, and the project to the Commission. He included information about the property and the location of the proposed structure. Owen Scanlon discussed landscaping, parking, site plan specifications, and proposed alternative energy components. Chair Fugate inquired about the alleys for the site. Discussion between the Commission and the applicant included existing utilities and width of alleys.

[6:03 PM](#) Owen Scanlon summarized the floor plan and layout of the new building. He included details about the proposed rooms and functions of each. Owen then introduced the materials, colors, exterior lighting, and design of the exterior of the building to the Commissioners. The Commission inquired about the materials and Owen Scanlon further explained placement of each.

[6:13 PM](#) Chair Fugate opened the application for public comment. None was given.

Regina Korby inquired about current location of the business. Brian Evans clarified about current storage

facilities and office operations and included details about why he is moving forward with a new facility. Regina Korby inquired about screening for the proposed parking lot and storage. Discussion between the owner and the applicant included the benefits and innovation of the proposed renewable energy, lot configuration, access easements for the four lots for the project, and details of snow storage.

6:10 PM Dan Smith motioned to approve the Design Review application submitted by Evan's Plumbing, represented by Owen Scanlon, for a new 7,064 sq. ft. commercial facility located at lots 4A, 4B, 4F, & 4G of block 4, Airport West Subdivision, Phase II (1631 Lear Lane) of the Service, Commercial, Industrial –Industrial Sub District (SCI-I) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (g) are met. Richard Pogue seconded and the motion carried unanimously.

NB 3 *Continuation of a Design Review application by Kristina Boatwright represented by Liberty Construction/Kolo, LLC for a 1,800 square foot addition to an existing residence and a new garage with a 600 square foot accessory dwelling unit located at the S. ½ of Lot 5, Lots 6 & 7, and the north ½ of Lot 8 of Block 61, Hailey Townsite, (525 N. Fourth Avenue) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.*

6:21 PM Lisa Horowitz introduced Logan Patten, Liberty Investments, as the applicant representative. The Commission asked Logan for a brief overview of the project as a refresher since the application was continued from a previous meeting. Regina Korby inquired about the total square footage to be added to the existing structure. Logan Patten introduced the project to the Commissioners from the beginning to clear up confusion about the project details. Dan Smith asked the applicant to include more labeling, detailing, and thorough plans for any future projects to avoid confusion. Discussion between the Commission and the applicant included details about the proposed addition, drainage for the lot, existing landscaping, and proposed elevations of the finished residence and garage/ADU. Owen Scanlon inquired about materials for the project. Logan Patten introduced the materials and chosen colors to the Commissioners.

6:33 PM Discussion between the applicant and Commission included specific details about the location of the materials, design elements of the proposed structures, and proposed windows for the ADU above the garage. Regina Korby noted concern about the proposed number of windows and requested that the applicant include more windows for the ADU. Dan Smith inquired about ADU access and pointed out that access from inside the garage may not be best. Logan Patten pointed out that the access should be from the exterior of the garage instead of from the interior of the garage. Dan Smith inquired about the setbacks from the North side of the lot and noted that the setback requirement should be 10 feet instead of the proposed 8 feet.

6:42 PM The Commission continued to discuss the additional requirement of more windows in order to break up wall planes and mass of the garage/ADU. Discussion also included the proposed width of the staircase accessing the ADU and the Commission noted that the width must be conducive for ease of new tenants moving personal items. Chair Fugate noted that the previous concerns of the Commission have been satisfied.

6:49 PM Chair Fugate opened the application for public comment. Peter Lobb noted that setbacks, building height, and lot coverage were most important to him and that creative should be of upmost importance second only to meeting City requirements. Chair Fugate closed public comment.

6:52 PM Commission recommended an increased number of windows to the south elevation of the ADU as well as an increase in the width of the door and stairway accessing the ADU.

6:53 PM Richard Pogue motioned to approve the design review application submitted by Kristina Boatwright on behalf of Kolo LLC for a remodel of a single-family residential dwelling and new construction of a garage/accessory dwelling unit to be located on S ½ Lot 5, 6, 7, N ½ 8, Block 61

Hailey Townsite, otherwise known as 525 4th Ave N, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (i) are met. (i being a reduction in the building footprint on the north side of the lot in order to meet the required setbacks after lot width is verified.) Owen Scanlon seconded and the motion carried unanimously.

6:54 PM Chair Fugate called a recess.

6:59 PM Chair Fugate called the meeting back to order.

NB 4 *Consideration of a city initiated text amendment to Zoning Ordinance 532 to amend Article 6, Design Review Section 6.A.1, Design Review Applicability and 6.A.2, Authority of the Administrator. The amendment clarifies what types of projects are approved by the Commission, by Community Development staff, or are exempt from Design Review.*

7:00 PM Lisa Horowitz updated the Commission on staff changes to the proposed amendments for the Design Review process and included details about the proposed exemptions and matrix for guidance. Ned Williamson notified the Commission of a few confusing points within the current code that needed clarification. Discussion between staff and the Commission included interpretation of “substantial impact”, what qualified as an exemption, and the proposed matrix. Regina Korby noted that having the Chair come in to review certain projects was necessary.

7:07 PM Discussion continued to include what would come to the consent agenda for the Commission, what projects would be completely exempt from Commission review, the appeal process, definition of minor projects, and square foot additions that would qualify for the full review process.

7:15 PM Peter Lobb, Hailey resident, voiced concerns about “sense of place” and other details that he thought were most important to Hailey’s goals and guidelines and the ultimate purpose of the Design Review purpose.

7:19:51 PM Chair Fugate commented about sense of place and discussion between staff and the Commission continued about Peter Lobb’s points of concern. **7:23:59 PM** The Commission discussed the “50%” rule of whether a project would have to go through the full design review or an abbreviated process. **7:27:39 PM** Discussion continued to include exemptions, discretion of the Chair, language of the proposed matrix, and the appeal process for applicants. **7:33:56 PM** Commission directed staff, Lisa Horowitz, to draft a new ordinance and matrix with the edits suggested by the Commission and Peter Lobb for the next planning and zoning meeting.

7:36:12 PM Dan Smith moved to continue the discussion to the next meeting to be held on July 13th. Owen Scanlon seconded and the motion carried.

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

SR 1 *Discussion of current building activity, upcoming projects, and zoning code changes.
(no documents)*

Kristine Hilt summarized the building reports.

SR 2 *Discussion of the next Planning and Zoning meeting: Monday, July 13th, 2015
(no documents)*

Adjourn

7:38:54 PM Owen Scanlon moved to adjourn. Regina Korby seconded and the motion carried.

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On May 11, 2015 the Hailey Planning & Zoning Commission considered a Design Review Application submitted by Michael Barker Architect on behalf of The Rock Church (Wood River Assembly of God) for an exterior renovation to the existing church located at 511 North Main Street within the Business (B) and Townsite Overlay (TO) Zoning Districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice

Notice was mailed to property owners within 300 feet on May 20, 2015 and published in the Mountain Express on May 20, 2015.

Application

The applicant is requesting design review approval for exterior renovations to an existing 4,519 square foot building located at 511 North Main Street. Modifications include a new cupola and corrugated roof top, new siding and awning, revised signage with new name, updated exterior lighting, new cross, new paint and new front doors. There is no change to the existing square footage, floor plans or exterior circulation or landscaping.

Procedural History

The application was submitted on May 12, 2015 and certified complete on March 12, 2015, with final checklist items submitted on May 28, 2015. The applicant's representative is waiting on materials sample, which will be brought to the meeting. The application was added as an agenda item to the Planning and Zoning Commission for approval or denial of the project on June 1, 2015, in the Hailey City Council Chambers.

General Requirements for all Design Review Applications

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: None
				Life/Safety: No Concerns
				Water and Sewer: No Concerns
				Building: All modifications must comply with building code requirements and City Standards.
			Streets: No Concerns	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	The proposed new sign (and cross) must comply with applicable standards, and a separate sign permit must be approved by Community Development staff prior to installation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			Staff Comments	Parking is existing, and no changes are proposed. The site contains five (5) parallel parking spaces on the north, and an additional 11 spaces shared with the building to the north, for a total of 16. There is also some parking space in the rear adjacent to the alley. Section 9.4 requires 1 parking space for every 5 seats, and 80 seats are existing so 20 spaces are required. No changes are proposed to the existing parking. Ample parking exists on the site to the north in addition to the 11 that are shared. The existing parking lot is gravel; it is well maintained, and drains with several drywells. Staff recommends allowing the gravel parking lot to remain as an existing nonconforming parking lot.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	<p>8B.4.1 General Standards</p> <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ul style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			Staff Comments	Outdoor lighting will comply with 8B.4.1; existing downcast can lights are proposed. Cut sheets are in the submittal packet.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Bulk Requirements	Front, rear and side yard setback requirements: 0'
			Staff Comments	No change to the existing building, which meets setbacks.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (A) Required Street	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
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			Improvements Required	
			Staff Comments	<i>Applicant will not be modifying sidewalks or drainage at this time. The existing City sidewalk along Main Street meets City Standards. A drainage plan has been submitted which shows several existing dry wells which drain the gravel parking lot and small paved area in the front of the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey

1. Site Planning: 6A.8 (A) 1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p><i>Staff Comments</i> The existing building satisfies these requirements.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p> <p><i>Staff Comments</i> No change to the existing three (3) street trees, maple of the front behind the sidewalk and existing evergreens on the north. One of the two existing evergreens is in poor condition, and may need to be removed in the future.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> The applicant will retain the front entrance on Main Street, with handicap access via a ramp.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building</p>

				<p>adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			Staff Comments	A trash can is wheeled to the alley, and is stored inside the church.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			Staff Comments	The building has alley access, and trash is kept off of the alley.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			Staff Comments	The existing parking area is screened from the street with landscaping at the back of the sidewalk.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			Staff Comments	Parking access is from the alley and via one curb cut on Main Street. No changes are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			Staff Comments	Snow storage is shown in several locations on the site plan to comply with 6A.8 (A) 1i.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			Staff Comments	Required snow storage will be verified and confirmed by planning staff; plenty of area existing on the site for snow storage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			Staff Comments	Minimum width is confirmed at 10 feet.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.

	<i>Staff Comments</i>	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	6A.8(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
	<i>Staff Comments</i>	<i>Ample areas exist for the storage of snow in areas that do not impede critical site functions. Snow storage areas equaling 862 square feet are shown on the site</i>
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	6A.8(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
	<i>Staff Comments</i>	<i>Proposed snow storage area is gravel.</i>

2. Building Design: 6A.8 (A) 2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The new cupola and small profile copper corrugated roofing are key design features of the proposed remodel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
X			<i>Staff Comments</i>	<i>The patio area, landscaping and new entry are pedestrian oriented and at a human scale.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>The front façade is a full renovation with a variety of materials and architectural detailing. Masses are broken by material changes.</i>
X	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
<input type="checkbox"/>			<i>Staff Comments</i>	<i>Applicant is proposing to change the materials and colors on the front of the building, including the use of vertical metal siding, flashing, and other details. The materials will be wrapped around the building in a manner that creates a cohesive whole.</i>
X	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
<input type="checkbox"/>			<i>Staff Comments</i>	<i>See comments above.</i>
X	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
<input type="checkbox"/>			<i>Staff Comments</i>	<i>The new materials are copper and natural shades of “champagne” and “expresso”. The building will fit nicely with the dental office to the south that was remodeled over the</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:
				<ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			<i>Staff Comments</i>	<i>The addition will have snow clips and gutters to protect pedestrians using the handicap ramp.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	<i>The plans show that roof areas drain to adjacent landscape and gravel areas with drywells shown.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	

3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
	<input type="checkbox"/>	<input type="checkbox"/> X	6A.8(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s). <i>Staff Comments</i> There are no accessory structures.
	<input type="checkbox"/>	<input type="checkbox"/> X	6A.8(A)3b	b. Accessory structures shall be located at the rear of the property. <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site. <i>Staff Comments</i> The existing natural wood fencing on the south side is compatible with the new facade.
	<input type="checkbox"/>	X <input type="checkbox"/>	6A.8(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact. <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties. <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings. <i>Staff Comments</i>
	<input type="checkbox"/>	<input type="checkbox"/> X	6A.8(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building. <i>Staff Comments</i> Additional fence screening will be located at the rear of the principal building surrounding the relocated dumpster.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	i. All service lines into the subject property shall be installed underground. <i>Staff Comments</i> Existing service lines are above ground, off of the alley. NO change to existing nonconforming service line.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3i	j. Additional appurtenances shall not be located on existing utility poles. <i>Staff Comments</i> No change to existing power service.

4. Landscaping: 6A.8 (A) 4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials

				shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>No change to existing landscaping.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4b <i>Staff Comments</i>	b. All plant species shall be hardy to the Zone 4 environment.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4c <i>Staff Comments</i>	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4d <i>Staff Comments</i>	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI a n d SCI-I zoning district are excluded from this standard.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4e <i>Staff Comments</i>	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4f <i>Staff Comments</i>	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4g <i>Staff Comments</i>	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4h <i>Staff Comments</i>	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4i <i>Staff Comments</i>	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4j <i>Staff Comments</i>	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4k <i>Staff</i>	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4l <i>Staff Comments</i>	i. Landscaping should be provided within or in front of extensive retaining walls.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4m <i>Staff Comments</i>	m. Retaining walls over 24" high may require railings or planting buffers for safety.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4n <i>Staff Comments</i>	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.

**Additional Design Review Requirements for
 Non-Residential Buildings Located within B, LB, or TN**

1. Site Planning: 6A.8 (B) 1, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)1a	a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts. <i>Staff Comments</i> Applicant proposes to retain the entrance along Main Street as the main entrance. A sidewalk exists to allow access from Main Street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)1b	b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks. <i>Staff Comments</i> The front entry area contains an existing patio area. The existing sidewalk on Main Street is 6 feet in width.

2. Building Design: 6A.8 (B) 2, items (a) thru (h)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2a	a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit. <i>Staff Comments</i> The remodel will retain emphasis on the Main Street entrance, and de-emphasize the entrance from the side parking.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2b	b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image, which may often accompany large buildings. <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2d	c. Building designs shall maximize the human scale of buildings and enhance the small town "sense of place". This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human

		scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.
	<i>Staff Comments</i>	<i>The modestly sized existing building is human-scaled, as are the proposed architectural changes.</i>
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	6A.8(B)2e	d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.
	<i>Staff Comments</i>	<i>The building is shown as 29'-8" to the highest point of the proposed cupola.</i>
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	6A.8(B)2f	e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.
	<i>Staff Comments</i>	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	6A.8(B)2g	f. Fire department staging areas shall be incorporated into the design elements of the building.
	<i>Staff Comments</i>	<i>Staging areas are existing at rear of building along alley way and on the north side.</i>
<input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/>	6A.8(B)2h	g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: <ul style="list-style-type: none"> i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses; ii. Stepping down the massing of the building along the site's edge; and iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns
	<i>Staff Comments</i>	No new buildings are proposed.

3. Landscaping: 6A.8 (B) 3, item (a)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)3a	a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.
			<i>Staff Comments</i>	<i>Existing landscaping along the alley on the residential properties creates some screening, along with existing fencing. The existing building and parking were built prior to the adoption of these standards. Room does not exist on the subject property to create an 8-foot wide landscape buffer without losing all alley access. The existing site is considered nonconforming with respects to this standard.</i>

**Additional Design Review Requirements for all
 Non-Residential Buildings located within the LI, SCI, TI or A zoning districts**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(C)1a	a. Adjoining parcels shall be considered when planning building configuration, vehicular circulation and access, parking, and drainage.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(C)1b	b. Reciprocal vehicular ingress and egress, circulation, and parking arrangements are encouraged when the adjacent site(s) allows in order to facilitate the ease of vehicular movement between adjoining properties.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(C)1b	c. Vehicle circulation, parking and loading shall not block pedestrian access ways.
			<i>Staff Comments</i>	

6A.6 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Ordinance.

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.

2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

DECISION

The design review application submitted by The Rock Church (Wood River Assembly of God) represented by Michael Barker Architect for an exterior renovation to the existing church located at Lots 7 and 8, the north ½ of Lot 9 and the south half of Lot 6 of Block 65, Hailey Townsite, (511 North Main Street) within the Business (B) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, and is hereby approved provided conditions (a) through (h) are met.

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) The applicant shall apply for a new sign permit. Proposed sign(s) shall conform to City Zoning requirements, and shall be approved prior to installation.

Signed this _____ day of _____, 2015.

Janet Fugate, Chair

Attest:

Kristine Hilt, Community Development Coordinator

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 8, 2015 the Hailey Planning & Zoning Commission considered a Design Review application submitted by Evan’s Plumbing for Design Review of a new commercial facility to be located at lots 4A, 4B, 4F, & 4G of Block 4, Airport West Subdivision Phase II (1631 Lear Lane), within the Service, Commercial, Industrial –Industrial Sub District (SCI-I) Zoning District. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

Notice

Notice for the public hearing was published in the Idaho Mountain Express on May 20, 2015 and mailed to property owners within 300 feet on May 20, 2015.

Application

Design Review application for a new 7,064 sq. ft. commercial facility located at lots 4A, 4B, 4F, & 4G of block 4, Airport West Subdivision, Phase II (1631 Lear Lane) for a new 2 story structure which will house administrative offices, tool storage, offices, employee break room, and an employee training area. First floor measures 5,568 sq. ft. and the second floor measures 1,496 sq. ft. Materials for the exterior include brick veneer, corrugated steel wall panels, metal clad wood windows, rolled steel wall panels, and steel ‘C’ channel awnings.

Procedural History

The application was submitted on May 1, 2015 and certified complete on May 1, 2015. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on June 8, 2015, in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: None Life/Safety: None Water and Sewer: Water: ¾” connections will need to be abandoned if applicant chooses to increase connection size. Wastewater: Pg 1 shows 4” sewer service going to existing manhole which is not permitted. Gulfstream access to sewer will be required instead. Building: Add egress man door to garage area, show storage of combustible materials. Streets: None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Staff Comments</i>	<i>Staff will review all signs prior to approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			<i>Staff Comments</i>	<i>Industrial Parking Spaces: 1 space per 1,000 sq. ft. 8 total spaces are required and 11 are provided.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff Comments</i>	<i>Lights at man doors will be downcast, 18-29W LED. Lights at overhead doors will be downcast, 13w LED.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	(Insert sections from applicable zoning district)
			<i>Staff Comments</i>	<i>Required Lot Coverage: 70% Current: 0% Proposed: 14.1% Required Setbacks: 10' on all sides. Proposed: 15.4% Maximum Building Height: 35'- Proposed building height is 23'</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>Sidewalks are proposed for Lear Lane and Gulf Stream along the building for pedestrian and parking access. Two existing storm drains will be used for storm water runoff and drainage flows towards the drains.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			<i>Staff Comments</i>	

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey

1. Site Planning: 6A.8 (A) 1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p><i>Staff Comments</i> Building position allows for morning daylight to be utilized in the common and office areas. Building entrance faces the more developed and appropriate surrounding area.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p> <p><i>Staff Comments</i> No existing plant materials will be removed, other than a smattering of native grasses and weeds.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> Trash, storage bins, and additional parking are all located in the rear of the building so that pedestrians may safely park and enter the building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>Staff Comments</i> Snow storage is kept along the western far edge of the property to allow for an open area for material storage and trash pickup. Trash enclosure is kept screened and away from the building in the rear. Staff recommends for new commercial construction that a letter from Clearcreek Disposal be required of the applicant prior to construction to ensure the adequacy of dumpster design.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p><i>Staff Comments</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> <p><i>Staff Comments</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow</p>

				<p>accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <ul style="list-style-type: none"> i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			Staff Comments	<i>The majority of the parking for the building is along the southern side of the building along Gulf Stream. There exists 5 spaces in front of the main entrance which is on the East side and there is additional parking located in the rear of the building on a compacted gravel area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			Staff Comments	<i>Access to the building will be from Lear Lane and Gulf Stream. There exists an encroachment to the north and west sides of the building from an existing asphalt road from Lear Lane.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	<p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>
			Staff Comments	<i>Snow storage is located along the entire western edge of the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p>
			Staff Comments	<i>Parking/Pedestrian & Circulation: 18,700 sq. ft. Snow Storage required: 4,675 sq. ft. Snow Storage provided: 4,700 sq. ft.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p>
			Staff Comments	<i>Snow storage is 24' wide.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p>
			Staff Comments	

2. Building Design: 6A.8 (A) 2, items (a) thru (m)

Compliant	Standards and Staff Comments
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Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The design and proportion of the building is harmonious with the surrounding buildings. The scale of the building is designed to be pedestrian friendly and the building incorporates glass doors and windows to invite pedestrians and light inward.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The scale of the building is designed to be pedestrian friendly and the building incorporates glass doors and windows to invite pedestrians and light inward.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>Materials include raised steel panels and steel awnings to break up the vertical walls, contrasting and complimenting the used brick veneer.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	<i>Materials are used in variation to create character and natural colors are used to encourage authenticity.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<i>Exterior building colors and material and natural in character and harmonious with surrounding architectural details and color schematics.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	<i>The proposed building incorporates varying stories in size to break up mass.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space: i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing.

				<p>v) Earth berming against exterior walls</p> <p>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</p>
			<i>Staff Comments</i>	<i>Solar panels will be used along with south facing windows with awnings, double glazed windows with low emissivity properties, and also photovoltaic panels will be incorporated for electrical generation with battery back up.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<i>There are no sloping roof surfaces to generate snowfall onto pedestrian surfaces.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>
			<i>Staff Comments</i>	<i>All roof drainage flows into interior drains.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p>
			<i>Staff Comments</i>	<i>No vehicle drive-through canopies exist.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p>
			<i>Staff Comments</i>	<i>Staff will review and verify compliance for any proposed signage.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3b	<p>b. Accessory structures shall be located at the rear of the property.</p>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	<p>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</p>
			<i>Staff Comments</i>	<i>Walls will be constructed on the periphery of the property and will incorporate similar materials used on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3d	<p>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</p>
			<i>Staff Comments</i>	<i>Walls and landscaping will provide screening around the property.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3e	<p>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</p> <p><i>Staff Comments</i> Roof mounted equipment is shown as shielded by wall parapets.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3f	<p>f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.</p> <p><i>Staff Comments</i> The flat roofs and solar panels do not detract from the building. All design elements are considered.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	<p>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</p> <p><i>Staff Comments</i> No HVAC equipment is proposed for ground mounting. Trash enclosure will be screened by landscaping.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	<p>i. All service lines into the subject property shall be installed underground.</p> <p><i>Staff Comments</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3i	<p>j. Additional appurtenances shall not be located on existing utility poles.</p> <p><i>Staff Comments</i></p>

4. Landscaping: 6A.8 (A) 4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4a	<p>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</p> <p><i>Staff Comments</i> Ash, Aspen, Boxwood, Splurge, Jackman and McKay’s White will be planted.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4b	<p>b. All plant species shall be hardy to the Zone 4 environment.</p> <p><i>Staff Comments</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4c	<p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p> <p><i>Staff Comments</i> Irrigation system will be installed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</p>

			<i>Staff Comments</i>	<i>Site planning considers placement of trees and pedestrian circulation. Site is pedestrian friendly.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>A large variety of species is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>Staff will verify.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>Fencing is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	

**Additional Design Review Requirements for all
 Non-Residential Buildings located within the LI, SCI, TI or A zoning districts**

1. Site Planning: 6A.8 (C) 1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(C)1a	<p>a. Adjoining parcels shall be considered when planning building configuration, vehicular circulation and access, parking, and drainage.</p> <p><i>Staff Comments</i> The majority of the surrounding parcels remain undeveloped. Vehicular circulation and site planning allow for successful development for neighboring parcels and will prevent traffic congestion.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(C)1b	<p>b. Reciprocal vehicular ingress and egress, circulation, and parking arrangements are encouraged when the adjacent site(s) allows in order to facilitate the ease of vehicular movement between adjoining properties.</p> <p><i>Staff Comments</i> Parking configuration and location allow for easy vehicular movement and access.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(C)1b	<p>c. Vehicle circulation, parking and loading shall not block pedestrian access ways.</p> <p><i>Staff Comments</i> Pedestrian access will exist in between the parking and the proposed building.</p>

6A.6 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Zoning Ordinance.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the

security to the completion of the improvements and complete construction of the improvements.

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

DECISION

The Design Review application submitted by Evan's Plumbing, represented by Owen Scanlon, for a new 7,064 sq. ft. commercial facility located at lots 4A, 4B, 4F, & 4G of block 4, Airport West Subdivision, Phase II (1631 Lear Lane) of the Service, Commercial, Industrial –Industrial Sub District (SCI-I) Zoning District, is hereby approved finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review

Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (g) are met.

A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this ____ day of _____, 2015.

Janet Fugate, Chair

Attest:

Kristine Hilt, Community Development Coordinator

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 8, 2015 the Hailey Planning & Zoning Commission considered a Design Review application submitted by Kristina Boatwright on behalf of Kolo LLC for construction on a new single-family residential dwelling and construction of a garage/accessory dwelling unit to be located on S ½ Lot 5, 6, 7, N ½ 8, Block 61 Hailey Townsite, otherwise known as 525 4th Ave N., within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

Notice

Notice for the public hearing was published in the Idaho Mountain Express on April 22nd, 2015 and mailed to property owners within 300 feet on April 22nd, 2015.

Application

The applicant is proposing an 1,800 square foot addition to an existing residence and a new garage with a 600 square foot accessory dwelling unit. The ADU within the garage will be accessed by an internal staircase in the garage. Access to the 2 car garage will be from the alley.

Procedural History

The Design Review application was submitted on April 17, 2015 and certified complete on the same date. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on June 8, 2015, at 5:30 pm in the Council Chambers. The initial hearing date was held on May 11, 2015. Applicant was not present and the Commission found that questions were unanswered including details about site drainage. The Commission moved to continue the application to the next meeting scheduled for June 8, 2015.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i> Life/Safety: <i>No comment</i> Water and Sewer: <i>No comment</i>

				Building: <i>No comment</i>
				Streets: <i>No comment</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>Signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			Staff Comments	<ul style="list-style-type: none"> • Two spaces per dwelling are required with a maximum of 6, and 1 space for ADU's under 1,000 square feet. • Home will have 2-car garage and the following: <ul style="list-style-type: none"> ▪ One additional space on asphalt pad on alley side
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a) All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c) Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d) Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e) Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			Staff Comments	<i>Plans show fully downcast lighting on the exterior of the dwelling</i> <ul style="list-style-type: none"> - Applicant will install downcast, outdoor lighting fixtures - Lights will be: partially shielded and no higher than 9' in height.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	See 4.13.6, Zoning Ordinance

			Staff Comments	<p>Zoning District: Limited Residential 1 in the Townsite Overlay. Townsite Overlay bulk requirements apply.</p> <ul style="list-style-type: none"> - Max Height: 30'. Proposed height: 28'-8" - Residence Street side Setbacks: 30' from the property line. - Setback from property lines abutting other private property <ul style="list-style-type: none"> O Base Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required O Home is set back 8' on the north side. Plans must be modified to reflect a 10' setback on the north side. O Home is set back 10' on south side. - Alley setback is required at 6'. Garage is setback 33'2" from alley. - Maximum Lot coverage: 30% in LR-1 for a two-story dwelling with a garage <ul style="list-style-type: none"> O Lot is 8,994 square feet, therefore 2,698 sf is allowed for lot coverage O Proposed lot coverage is 1,799, or 20% of total lot coverage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (B) Required Street Improvements	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			Staff Comments	<ul style="list-style-type: none"> - Sidewalks will be required per 6A.7(A)1.b: sidewalks are required when a new principal building is constructed. The applicant may map an in lieu fee in the amount of 110% of the estimated cost of the sidewalk improvements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			Staff Comments	<ul style="list-style-type: none"> - The Applicant has been advised that all water lines coming from the main to the meter vault must be buried more than six feet deep.

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO): 6A.9

1. Site Planning: 6A.9.C.1

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	The pattern created by the Old Hailey town grid should be respected in all site planning decisions.
			Staff Comments	<ul style="list-style-type: none"> • The proposed construction preserves the Old Hailey Townsite lot configuration.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>The proposed site plan and development is consistent with the scale and massing in the neighborhood.</i> • <i>The applicant proposes to access the garage off of the alley.</i> • <i>All utilities will be located underground as shown on the site plan.</i> • <i>Snow storage meets City requirements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>An energy summary is provided on the cover sheet of the plan set.</i>
2. Bulk Requirements (Mass and Scale, Height, Setbacks): 6A.9.C.2				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.2	<p>The perceived mass of larger buildings shall be diminished by the design.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>The proposed structures will be consistent in size and mass to the surrounding structures and with the surrounding neighborhood.</i> • <i>Design effort was made to lower the mass by adding various roof forms and masonry columns to emphasize the human scale.</i> • <i>Siding was changed in elevation changes to avoid blank walls.</i> • <i>Garage is subordinate to the main house.</i>
3. Architectural Character: 6A.9.C.3				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.a	<p>General: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</p>
			<i>Staff Comments</i>	<p><i>Both proposed buildings are reflective of historic design yet add modern flare as seen in pitch and gabled roof ends.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>The front entrance has access to 4th Avenue, and is clearly visible from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Dwelling is situated squarely on the site, which is consistent with Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.c	Building Form: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Porch roofs and gabled roofs break up the mass of the traditional gable. This is consistent with styles and forms found in Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Porch roofs and gabled roofs break up the mass of the traditional gable. This is consistent with styles and forms found in Old Hailey</i> • <i>Roof pitch on the main house is a combination of 4:12 and 6:12.</i> • <i>Varied roof pitches define the entry and break up mass.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof pitch and style shall be designed to meet snow storage needs for the site.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties. <ul style="list-style-type: none"> • <i>Garage roof materials: asphalt shingles. Principal building roof materials:</i> • <i>Roof Pitch: 4:12 and 6:12 varied.</i> • <i>All drip lines are away from pedestrian areas</i> • <i>All snow will be retained on the roof or shed onto the property. No snow will shed onto the adjoining property or the City rights of way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>The following forms are currently found in the neighborhood:</i> <ul style="list-style-type: none"> <i>O Architectural asphalt shingles and color schemes.</i> <i>O Gable end roofs</i> <i>1. 2 story buildings with similar styles and character.</i> • <i>The application is consistent with the neighborhood in regards to roof forms and materials</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.

			Staff Comments	<ul style="list-style-type: none"> Roof Pitch O 4:12 for gables and 6:12 for primary roof pitch.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: Primary wall planes should be parallel to the front lot line.
			Staff Comments	<ul style="list-style-type: none"> Primary walls are shown parallel to the front property lines.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.
			Staff Comments	A. Wall planes contain porch roofs and in some places are stepped in scale, keeping the mass of the primary building down. This is respectful and consistent with the neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: The use of pop-outs to break up longer wall planes is encouraged.
			Staff Comments	<ul style="list-style-type: none"> Wall plane lengths are modest in size.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	Windows: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			Staff Comments	A. Windows are more narrow than wide on the first floor of the principal building and on the garage, consistent with traditional Old Hailey windows.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	Windows: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			Staff Comments	a) The windows are modest on the north facing sides of both the principal structure and the garage. Most windows face west towards the alley and respectful of neighboring privacy.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.g	Decks and Balconies: Decks and balconies shall be in scale with the building and the neighborhood.
			Staff Comments	<ul style="list-style-type: none"> A wrap deck is proposed for the main entrance to the principal building, but is in scale to the building and neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.g	Decks and Balconies: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			Staff Comments	<ul style="list-style-type: none"> The deck is far from adjacent properties
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	Building Materials and Finishes: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged. Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			Staff Comments	<ul style="list-style-type: none"> Wall Materials: Upper: Shiplap 1x8 Lower: Hardy board Vertical 2nd Floor Siding: T&G 1x6 rough cut. Soffit: 1x6 T&G
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.

			<i>Staff Comments</i>	<i>See above</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural detailing shall be incorporated into the front wall plane of buildings.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>A variety of colors, window treatments and covered elements are proposed</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>A front entry porch is planned. Windows have colored trim.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	b) <i>See above notes.</i>
4. Circulation and Parking: 6A.9.C.4				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Adequate parking has been provided and pedestrian access off 4th Avenue is provided and does not interfere with traffic from the streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>The proposed two car garage has alley access, and is visually acceptable due to colors and design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Proposed access is from the alley side of the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>See above.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.

			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> No parking areas exists in front of the street side. Parking for the ADU is off of the alley.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> No RV parking is show but would fit well on the rear of the lot.
5. Alleys: 6A.9.C.5				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			<i>Staff Comments</i>	<i>Alley is retained and provides access to the ADU parking.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Wastewater comes off the alley and is underground to the dwelling. Water comes off of the street side of the lot.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> The alley is currently graveled and no improvements are planned. Noxious weeds will be removed before construction commences.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			<i>Staff Comments</i>	<i>The lot has overgrown noxious weeds and needs maintenance prior to development. Little landscaping is on the alley side but mature trees exist as a buffer on the north side of the lot.</i>
6. Accessory Structures: 6A.9.C.6				

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			<i>Staff Comments</i>	<i>The proposed garage is smaller than the home, and appears subordinate.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			<i>Staff Comments</i>	<i>The garage/ADU building is located at the rear of the lot and matches surrounding lots.</i>

7. Snow Storage: 6A.9.C.7

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: All projects shall be required to provide 25% snow storage on the site.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - Parking and pedestrian circulation surfaces comprise 1,192 square feet. - According to 6A9.C.7, 298 square feet is required (1,192 X 25%) - 298 square feet are shown on the plans for snow storage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			<i>Staff Comments</i>	- Snow storage areas do not restrict pedestrian access. Pedestrian access must be unrestricted and visible from the adjacent streets.

8. Existing Mature Trees and Landscaping: 6A.9.C.8

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			<i>Staff Comments</i>	<i>The lot contains a variety of existing mature landscaping on the north side of the lot. There are shrubs and weeds that need abatement prior to development.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.

			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	Guideline: Noxious weeds shall be controlled according to State Law.
			<i>Staff Comments</i>	<i>Noxious weeds exist and staff will communicate with owners on requirements for removal.</i>
9. Fences and Walls: 6A.9.C.9				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.9	Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			<i>Staff Comments</i>	<i>No existing fencing on site. Both north and south abutting lots have fencing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	Guideline: Retaining walls shall be in scale to the streetscape.
			<i>Staff Comments</i>	

6A.6 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Ordinance.

- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- d) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- f) The requirement for a sidewalk along 4th Avenue remains unless applicant chooses to pay an in lieu fee of 110% of the estimated cost of construction.
- g) This Design Review approval is for plans presented at the public hearing on May 11, 2015 before the Planning and Zoning Commission. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) Building footprint must be modified in order to reflect required setbacks of 10 feet on the north side of the property.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

DECISION

The design review application submitted by Kristina Boatwright on behalf of Kolo LLC for construction on a new single-family residential dwelling and construction of a garage/accessory dwelling unit to be located on S ½ Lot 5, 6, 7, N ½ 8, Block 61 Hailey Townsite, otherwise known as 525 4th Ave N, within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts, is hereby approved finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (h) are met.

A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this ____ day of _____, 2015.

Janet Fugate, Chair

Attest:

Kristine Hilt, Community Development Coordinator

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On July 8, 2015 the Hailey Planning & Zoning Commission considered a recommendation by the Administrator to exempt from design review, pursuant to Section 6A.9.II, an application submitted by the Legacy Group for minor modifications to an existing commercial structure located at 313 Main Street North (Hailey Townsite, Lots 4-5 of Block 53), within the Business (B) and Townsite Overlay (TO) Zoning Districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Summary of Project

The applicant is requesting minor modifications to existing buildings located at 502 Main Street North (Lots 17-20, Block 64, Hailey Townsite). The modifications include an upgrade to an existing sliding door on the south side of the building, an upgrade to an existing window on the East side of the building, and the conversion of one (1) existing South facing door to a window.

Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

6A.1 (A). No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:

- 1. A building for a non-residential use within any zoning district.**
- 2. A building for a Public or Semi-Public Use within any zoning district.**
- 3. A Multi-Family Dwelling of three or more units within any zoning district.**
- 4. A Single Family Dwelling, Duplex or Accessory Structure within the Townsite Overlay (TO) District.**
- 5. A Historic Structure.**

313 Main Street North is a non-residential building. The proposed changes would involve minor modifications to the exterior façade of the structure. Therefore, Design Review approval is required according to 6A.1 (A), subject to 6A.2, below.

6A.2 Authority of the Administrator.

A. The Administrator has the authority to review and make, or recommend, decisions as follows:

1. The Administrator has the authority to recommend for approval or denial certain applications for Design Review that the Administrator determines to have no substantial impact on adjacent properties or on the community at large, subject to final approval or denial by the Commission on its consent agenda. Such recommendation for approval or denial shall specify the standards used in evaluating the application; the reasons for the approval or denial; and conditions of approval, if any. Applications that have no substantial impact may include, but are not limited to: additions under five-hundred (500) square feet or which are not prominently visible from a public street, façade changes and alterations to parking or other site elements.

2. Those applications for projects of an emergency nature, necessary to guard against imminent peril, regardless of zoning district, shall receive administrative review and approval, denial, or conditional approval, subject to criteria set forth in subsection 6A.7.B of this Article. The Administrator may, upon the request of the applicant or the direction of any City official, forward the application to the Commission for review

3. The Administrator has the authority to recommend exemption of certain projects from the design review requirements, upon finding; the project is minor, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties. Examples include, but are not limited to minor deck additions, changes to siding materials, changes to an existing window or door, an addition of a window or door, and minor landscape changes. Such recommendation for exemption shall be drafted in the form of Findings of Fact and Conclusions of Law, subject to final decision by the Commission on its consent agenda prior to issuance of a building permit. Should the Commission deny the Administrator's recommendation or should the Administrator determine that the proposal does not meet all of the above evaluation criteria, the project shall be subject to the provisions of this chapter prior to issuance of a building permit.

4. The Administrator has the authority to approve minor modifications to projects that have received design review approval by the Commission prior to, and for the duration of a valid Building Permit. The Administrator shall make the determination as to what constitutes minor modifications and may include, but are not limited to changes to approved colors and/or siding materials, changes to site plans that do not significantly increase building footprints or significantly change driveway or road alignment, changes to landscape plans that do not decrease the amount of landscaping, changes to dumpster enclosures, changes to exterior lighting fixtures and location, or changes to windows that do not significantly affect project design, appearance or function. All approved modifications must be documented in a memo to the project file and on the approved set of plans on file with the city. For modifications to design review approval that are determined by the Administrator not to be minor, the Administrator has the authority to recommend approval or denial of such modifications, subject to final decision by the Commission on its consent agenda.

Such recommendation for approval or denial shall be drafted in the form of Findings of Fact and Conclusions of Law.

The Administrator recommends exemption of this project from design review requirements according to 6A.2.A.3, as printed above. This project involves minor modifications to the exterior façade of the structure, as specifically outlined in the Summary of Project, herein.

After reviewing the complete application and proposal, the Administrator finds the proposed alteration:

1. is minor;
2. will not conflict with the design review standards of this Chapter; and
3. will not adversely impact any adjacent properties.

Procedural History

The application was submitted on June 24, 2015 and certified complete on June 24, 2015. The application was added as a consent agenda item to the Planning and Zoning Commission for approval or denial of the project on July 8, 2015, in the Hailey City Council Chambers.

CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Given nature of this project, this constitutes a minor project, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties.
5. The proposed improvements are approved and hereby documented.
6. Occupancy shall meet the requirements of the Business (B) Zoning Code.

Signed this _____ day of _____, 2015.

Janet Fugate, Chair

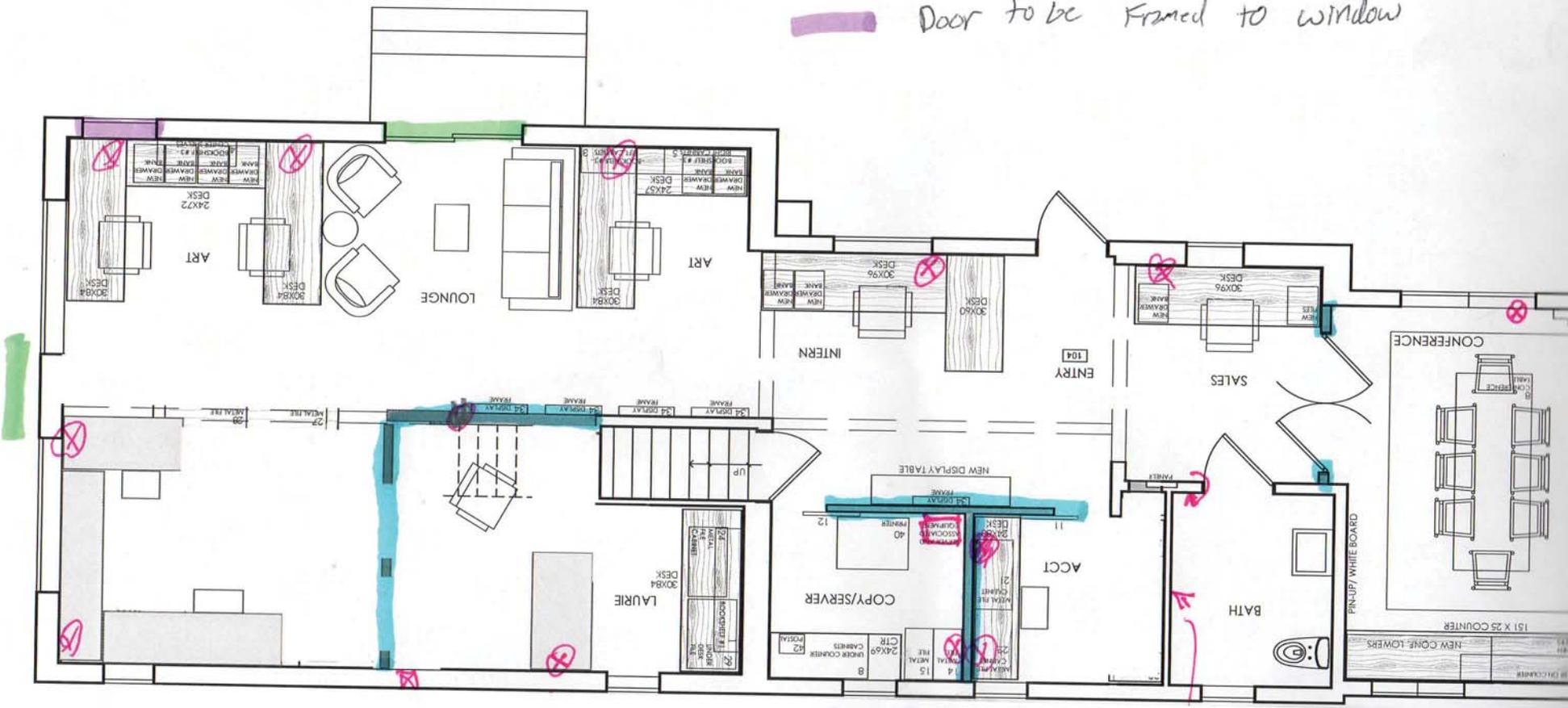
Attest:

Kristine Hilt, Community Development Coordinator

 New Partition walls

 Windows/Doors to be Replaced/Upgraded

 Door to be Framed to window







Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 19, 2015 the Hailey Planning and Zoning Administrator considered a request submitted by Ruscitto/Latham/Blanton on behalf of the Friedman Memorial Airport Authority for Design Review Minor Modifications to the Airport Operations located at Tax Lot 8151 within the Airport District (A). Design Review for this project was approved by the Commission on June 9, 2014. The Administrator, having been presented with all information regarding the proposal and having reviewed the Commission's Findings of Fact and Conditions of Approval regarding the original proposal, hereby recommends approval of the modifications, subject to final decision by the Commission on its consent agenda as authorized by Article IV, Section 6A.3.g, below. The Commission hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Administrator makes the following Findings of Fact:

6A.3.g. the Administrator has the authority to approve minor modifications to projects that have received design review approval by the Commission prior to, and for the duration of a valid Building Permit. The Administrator shall make the determination as to what constitutes minor modifications and may include, but are not limited to changes to approved colors and/or siding materials, changes to site plans that do not increase building footprints or significantly change driveway or road alignment, changes to landscape plans that do not decrease the amount of landscaping, changes to dumpster enclosures, changes to exterior lighting fixtures and location, or changes to windows that do not significantly affect project design, appearance or function. All approved modifications must be documented in a memo to the project file and on the approved set of plans on file with the city. For modifications to design review approval that are determined by the Administrator not to be minor, the Administrator has the authority to recommend approval or denial of such modifications, subject to final decision by the Commission on its consent agenda. Such recommendation for approval or denial shall be drafted in the form of Findings of Fact and Conclusions of Law.

The modifications listed below are minor in the overall scope of the 14,146 square foot building and related design review approval. However, the Administrator has elected to bring these minor modifications to the Commission as a package for approval on the consent agenda. The proposed modifications consist of:

- 1) The 7.2 inch 'box rib' metal siding installed on the A.R.F.F. and S.R.E. equipment bays has been installed horizontally in lieu of the vertical orientation that was proposed in the design review package presented to the City of Hailey. The design team is requesting to emphasize the horizontal dimension for aesthetic reasons.
- 2) The design review package indicated two horizontal windows with a metal sun shade canopy at the north end of the west elevation of the building. During the design development process, it was determined that these two openings could not align vertically with the adjacent horizontal openings that continue south on the

west façade because of structural frame conditions, as well as mechanical system space requirements. Due to these conditions, **the design team proposes that** removing the windows and sun shade canopy provides the most appealing aesthetic results.

- 3) Two sun shade canopies are proposed to be removed from the lower horizontal windows shown on the west elevation at the south end of the building. These two sun shades are proposed to be removed to provide additional natural daylight within the S.R.E. Equipment bay spaces.
- 4) The design review approval showed metal tie-rods along the sun shade canopies at the Administration office area to support the canopy structure. During the design development process, it was determined that these structural elements were no longer necessary to provide adequate support and are proposed to be removed from the design.
- 5) At the Administration office areas, window openings shown in the design review package are proposed to be modified from their original size due to structural requirements. Opening sizes in general are proposed to be reduced slightly to accommodate structural requirements and limitations.
- 6) Mechanical louvers are indicated on the attached construction elevations for the building. The location of these openings had not been determined at the time of the design review submittal. These openings are positioned on the north and south facades of the building to correspond with adjacent architectural elements of the building to reduce visual impact and increase the aesthetic appearance.
- 7) Mechanical HVAC system designs were finalized as part of the building permit process and therefore modified mechanical equipment and penetration locations are shown.

The proposed modifications constitute a minor modification to the overall design review approval for the 14,146 square foot building, which is not located in a key view corridor, and is an integral part of airport operations. The modifications do not significantly affect project design, appearance or function of the original design review approval. The Hailey municipal code anticipates that such design review modifications may occur after design review during the construction process, and such changes are permitted as outlined herein.

CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law and Decision:

1. The proposed modifications are consistent with the Findings of Fact, Conclusions of Law and Decision adopted by the Commission for the aforementioned project on the 9th day of June, 2014.
2. The modifications, as approved, have been noted on the design review drawings on file with the Community Development Department.
3. Approval of the Design Review modification does not in any way waive any Design Review requirements approved by the Commission. All Design Review elements must be installed, or security provided, prior to issuance of a Certificate of Occupancy.

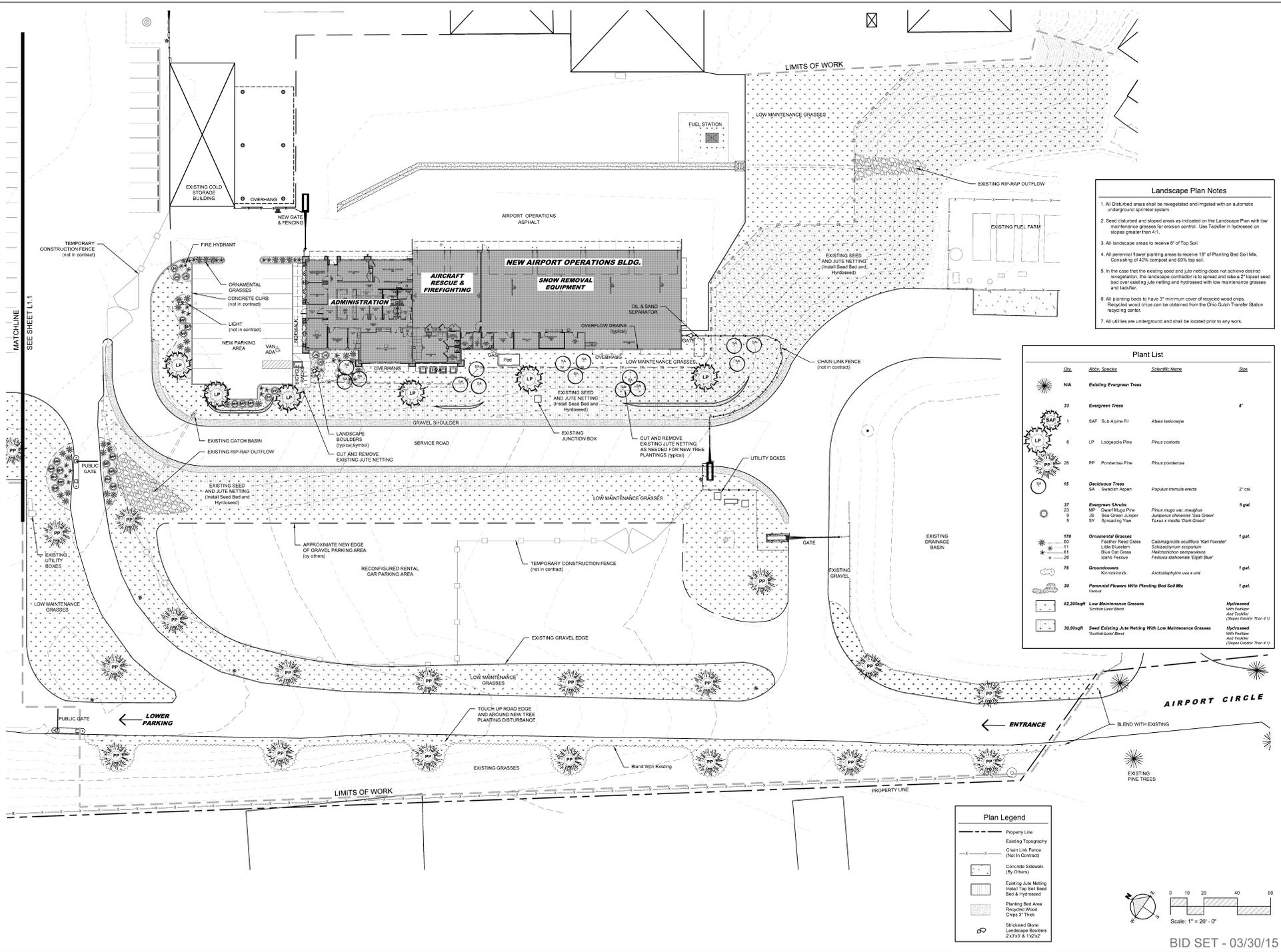
DATED this 13th day of July, 2015.

Signed this ____ day of _____, 2015.

Janet Fugate, Chair

Attest:

Kristine Hilt, Community Development Coordinator

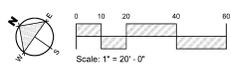
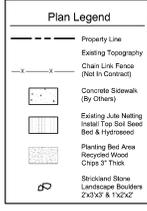


Landscape Plan Notes

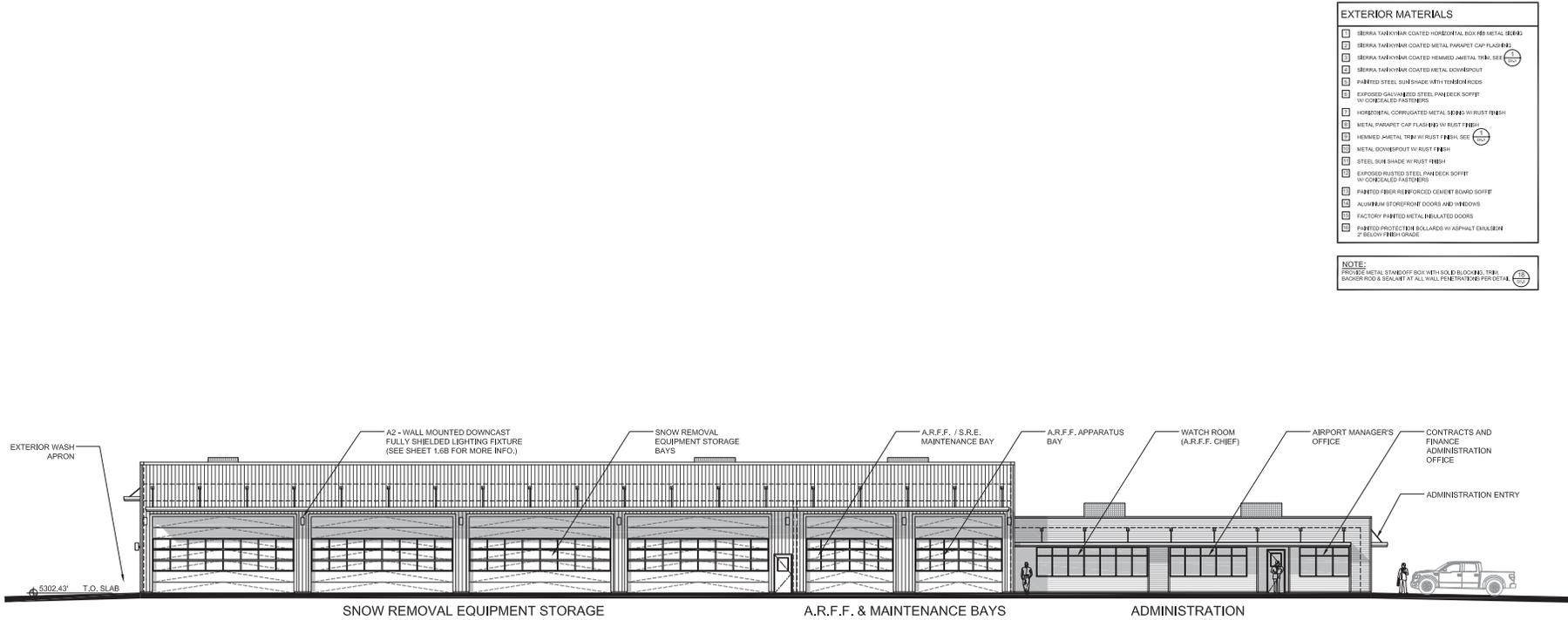
1. All Disturbed areas shall be revegetated and irrigated with an automatic underground sprinkler system.
2. Seed disturbed and sloped areas as indicated on the Landscape Plan with low maintenance grasses for erosion control. Use Tackifier in hydroseed on slopes greater than 4:1.
3. All landscape areas to receive 6" of Top Soil.
4. All potential lower planting areas to receive 18" of Planting Bed Soil Mix. Consisting of 40% compost and 60% top soil.
5. In the case that the existing seed and Lute netting does not achieve desired revegetation, the landscape contractor is to spread and rake a 2" topsoil seed bed over existing Lute netting and hydroseed with low maintenance grasses and tackifier.
6. All planting beds to have 3" minimum cover of recycled wood chips. Recycled wood chips can be obtained from the Ono-Guth Transfer Station recycling center.
7. All utilities are underground and shall be located prior to any work.

Plant List

Qty	Abb. Symbol	Scientific Name	Size
N/A		Existing Evergreen Trees	
33	ET	Evergreen Trees	6"
1	SAF	Sub Alnus Fir	Alnus incana
6	LP	Lodgepole Pine	Pinus contorta
26	PP	Ponderosa Pine	Pinus ponderosa
15	DT	Deciduous Trees	
SA		Swedish Aspen	Populus tremula erecta
37		Evergreen Shrubs	
MP		Dwarf Mugo Pine	Pinus mugo var. mughus
25	SB	Sea Green Juniper	Juniperus horizontal 'Sea Green'
5	SY	Spreading Yew	Taxus x media 'Dark Green'
178		Ornamental Grasses	
60		Festiver Reed Grass	Calamagrostis acutiflora 'Karl Foerster'
11		Lilife Bluegrass	Stipobolium tenuatum
81		Blue Oat Grass	Helictotrichon sempervirens
26		White Fescue	Festuca albinoxantha 'Eggen Blue'
75		Groundcovers	
		Kinnikinnick	Androsymbia flexilis x urtic
30		Perennial Flowers With Planting Bed Soil Mix	
		Scilla	
52,200sqft		Low Maintenance Grasses	
		Scotts Laser Blend	Hydroseed With Tackifier (Slope Greater Than 4:1)
30,000sqft		Seed Existing Lute Netting With Low Maintenance Grasses	
		Scotts Laser Blend	Hydroseed With Tackifier (Slope Greater Than 4:1)



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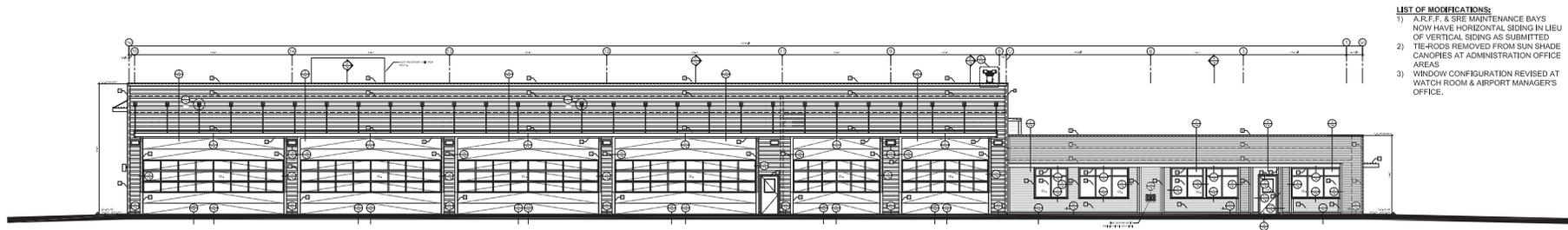
EXTERIOR MATERIALS	
<input type="checkbox"/>	SIERRA THERMOFORM COATED HORIZONTAL BOX END METAL SIDING
<input type="checkbox"/>	SIERRA THERMOFORM COATED METAL PARAPET CAP FLASHING
<input type="checkbox"/>	SIERRA THERMOFORM COATED HEMMED ALUMETAL TRIM (SEE 1-1)
<input type="checkbox"/>	SIERRA THERMOFORM COATED METAL DOWNPOUT
<input type="checkbox"/>	PAINTED STEEL SUN SHADE WITH TIE-BACK RODS
<input type="checkbox"/>	EXPOSED GALVANIZED STEEL PAN DECK SOFFIT W/ CONCEALED FASTENERS
<input type="checkbox"/>	HORIZONTAL CORRUGATED METAL SIDING W/ RUST FINISH
<input type="checkbox"/>	METAL PARAPET CAP FLASHING W/ RUST FINISH
<input type="checkbox"/>	HEAVYWEIGHT ALUMETAL TRIM W/ RUST FINISH (SEE 1-1)
<input type="checkbox"/>	METAL DOWNPOUT W/ RUST FINISH
<input type="checkbox"/>	STEEL SUN SHADE W/ RUST FINISH
<input type="checkbox"/>	EXPOSED GALVANIZED STEEL PAN DECK SOFFIT W/ CONCEALED FASTENERS
<input type="checkbox"/>	PAINTED FIBER REINFORCED CEMENT BOARD SOFFIT
<input type="checkbox"/>	ALUMINUM STOREFRONT DOORS AND WINDOWS
<input type="checkbox"/>	FACTORY PAINTED METAL INSULATED DOORS
<input type="checkbox"/>	PAINTED PROTECTIVE BOLLARDS BY ASPHALT EXCLUSION 2' BELOW FINISH GRADE

NOTE:	
<input type="checkbox"/>	PROVIDE METAL STANDBY BOX WITH SOLID BLOCKING TRIM BOLLARD/ROCK BOLLARD AT ALL WALL FEET/TOE PROJECTIONS

EAST ELEVATION - DESIGN REVIEW SUBMITTAL

LOOKING WEST

SCALE: 1/4" = 1'-0"



- LIST OF MODIFICATIONS:**
- 1) A.R.F.F. & SRE MAINTENANCE BAYS NOW HAVE HORIZONTAL SIDING IN LIEU OF VERTICAL SIDING AS SUBMITTED
 - 2) TIE-RODS REMOVED FROM SUN SHADE CANOPIES AT ADMINISTRATION OFFICE AREAS
 - 3) WINDOW CONFIGURATION REVISED AT WATCH ROOM & AIRPORT MANAGER'S OFFICE.

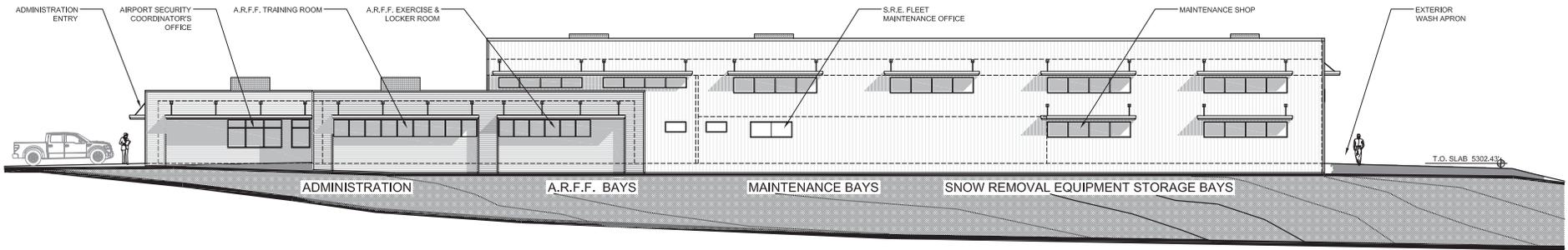
EAST ELEVATION - CONSTRUCTION DOCUMENTS (AS-BUILT)

LOOKING WEST

SCALE: 1/4" = 1'-0"



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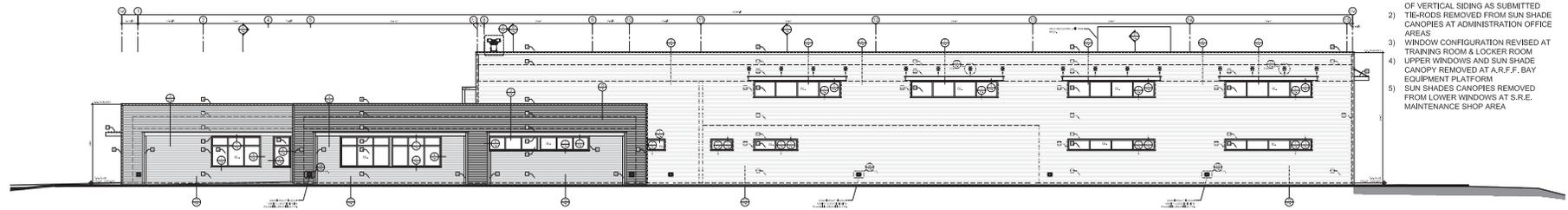
WEST ELEVATION - DESIGN REVIEW SUBMITTAL

LOOKING EAST

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS	
☐	SIERRA THERMOFORM COATED HORIZONTAL BOX FIN METAL SIDING
☐	SIERRA THERMOFORM COATED METAL PARAPET CAP FLASHING
☐	SIERRA THERMOFORM COATED HEMMED ALUMETAL TRIM, SEE (1)
☐	SIERRA THERMOFORM COATED METAL DOWNPOUT
☐	PAINTED STEEL SUN SHADE WITH TIE-BACK RODS
☐	EXPOSED GALVANNEZ STEEL PAN DECK SOFFIT W/ CONCEALED FASTENERS
☐	HORIZONTAL CORRUGATED METAL SIDING W/ RUST FINISH
☐	METAL PARAPET CAP FLASHING W/ RUST FINISH
☐	HEMMED ALUMETAL TRIM W/ RUST FINISH, SEE (2)
☐	METAL DOWNPOUT W/ RUST FINISH
☐	STEEL SUN SHADE W/ RUST FINISH
☐	EXPOSED GALVANNEZ STEEL PAN DECK SOFFIT W/ CONCEALED FASTENERS
☐	PAINTED FIBER REINFORCED CEMENT BOARD SOFFIT
☐	ALUMINUM STOREFRONT DOORS AND WINDOWS
☐	FACTORY PAINTED METAL INSULATED DOORS
☐	PAINTED PROTECTIVE BOLLARDS IN ASPHALT EXHAUSTION 2' BELOW FINISH GRADE

NOTE:	
☐	PROVIDE METAL STANDBY BOX WITH SOLID BLOCKING TRIM, BOLLARD/SLAB SEALANT AT ALL WALL FEET/TOE LINE PROJECTIONS. SEE (3)



WEST ELEVATION - CONSTRUCTION DOCUMENTS (AS-BUILT)

LOOKING EAST

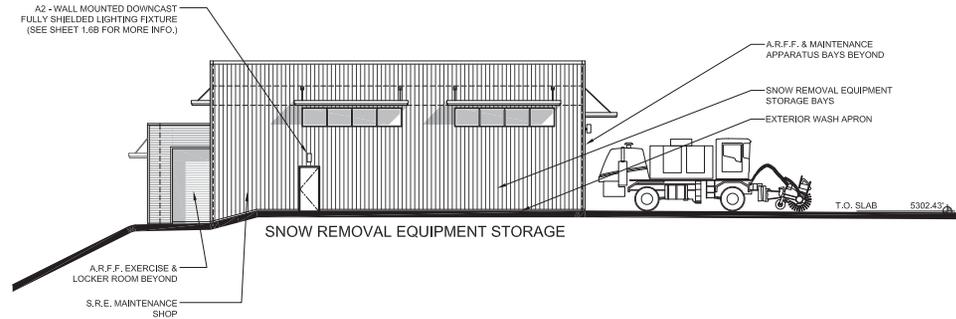
SCALE: 1/4" = 1'-0"

- LIST OF MODIFICATIONS:**
- 1) A.R.F.F. & SRE MAINTENANCE BAYS NOW HAVE HORIZONTAL SIDING IN LIEU OF VERTICAL SIDING AS SUBMITTED
 - 2) TIE-RODS REMOVED FROM SUN SHADE CANOPIES AT ADMINISTRATION OFFICE AREAS
 - 3) WINDOW CONFIGURATION REVISED AT TRAINING ROOM & LOCKER ROOM
 - 4) UPPER WINDOWS AND SUN SHADE CANOPY REMOVED AT A.R.F.F. BAY EQUIPMENT PLATFORM
 - 5) SUN SHADES CANOPIES REMOVED FROM LOWER WINDOWS AT S.R.E. MAINTENANCE SHOP AREA

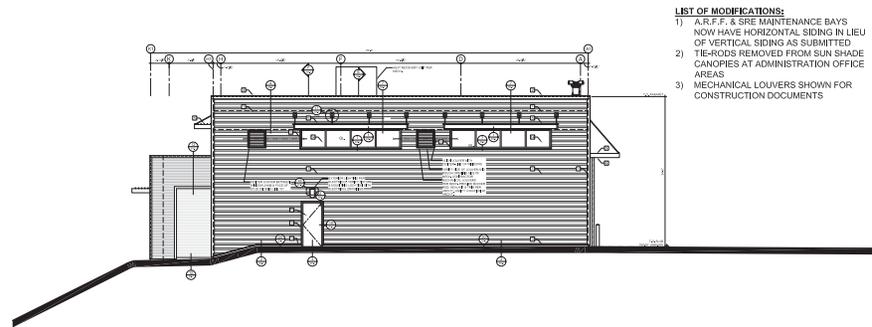
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EXTERIOR MATERIALS	
<input type="checkbox"/>	SIERRA THERMOFORM COATED HORIZONTAL BOX END METAL SIDING
<input type="checkbox"/>	SIERRA THERMOFORM COATED METAL PARAPET CAP FLASHING
<input type="checkbox"/>	SIERRA THERMOFORM COATED HEIMED ALUMETAL TRIM, SEE (1)
<input type="checkbox"/>	SIERRA THERMOFORM COATED METAL DOWNPOUT
<input type="checkbox"/>	PAINTED STEEL SUN SHADE WITH TIE-BOLTS
<input type="checkbox"/>	EXPOSED GALVANIZED STEEL PAN DECK SOFFIT W/ CONCEALED FASTENERS
<input type="checkbox"/>	HORIZONTAL CORRUGATED METAL SIDING W/ RUST FINISH
<input type="checkbox"/>	METAL PARAPET CAP FLASHING W/ RUST FINISH
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<input type="checkbox"/>	METAL DOWNPOUT W/ RUST FINISH
<input type="checkbox"/>	STEEL SUN SHADE W/ RUST FINISH
<input type="checkbox"/>	EXPOSED GALVANIZED STEEL PAN DECK SOFFIT W/ CONCEALED FASTENERS
<input type="checkbox"/>	PAINTED FIBER REINFORCED CEMENT BOARD SOFFIT
<input type="checkbox"/>	ALUMINUM STOREFRONT DOORS AND WINDOWS
<input type="checkbox"/>	FACTORY PAINTED METAL INSULATED DOORS
<input type="checkbox"/>	PAINTED PROTECTIVE BOLLARDS W/ ASPHALT EXHAUSTION 2' BELOW FINISH GRADE

NOTE:	
<input type="checkbox"/>	PROVIDE METAL STANDBOFF BOX WITH SOLID BLOCKING TRIM, BANGERS/ROCK BOLLARD AT ALL WALL FEET/TOE LINE PROTECTA.



SOUTH ELEVATION - DESIGN REVIEW SUBMITTAL
 LOOKING NORTH SCALE: 1/4" = 1'-0"

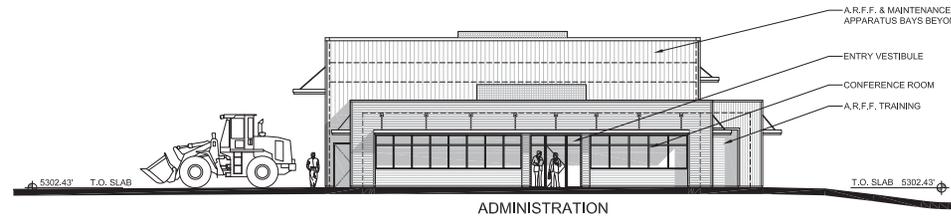


SOUTH ELEVATION - CONSTRUCTION DOCUMENTS (AS-BUILT)
 LOOKING NORTH SCALE: 1/4" = 1'-0"

CONSULTING OF DOCUMENTS: This document and the files and design incorporated herein, as an instrument of professional service, is the property of RUSCICCO/LATFAM/BLANTON ARCHITECTURE P.A., and shall not be used in whole or in part, for any other project without the written authorization of RUSCICCO/LATFAM/BLANTON ARCHITECTURE P.A.

EXTERIOR MATERIALS	
<input type="checkbox"/>	SIERRA THERMOFORM COATED HORIZONTAL BOX END METAL SIDING
<input type="checkbox"/>	SIERRA THERMOFORM COATED METAL PARAPET CAP FLASHING
<input type="checkbox"/>	SIERRA THERMOFORM COATED HEIMED ALUMINUM TRIM, SEE (1)
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<input type="checkbox"/>	METAL PARAPET CAP FLASHING W/ RUST FINISH
<input type="checkbox"/>	HEIMED ALUMINUM TRIM W/ RUST FINISH, SEE (2)
<input type="checkbox"/>	METAL DOWNPOUT W/ RUST FINISH
<input type="checkbox"/>	STEEL SUN SHADE W/ RUST FINISH
<input type="checkbox"/>	EXPOSED GALVANIZED STEEL PAN DECK SOFFIT W/ CONCEALED PARTNERS
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<input type="checkbox"/>	PAINTED PROTECTIVE BOLLARDS W/ ASPHALT EXHAUST 2' BELOW FINISH GRADE

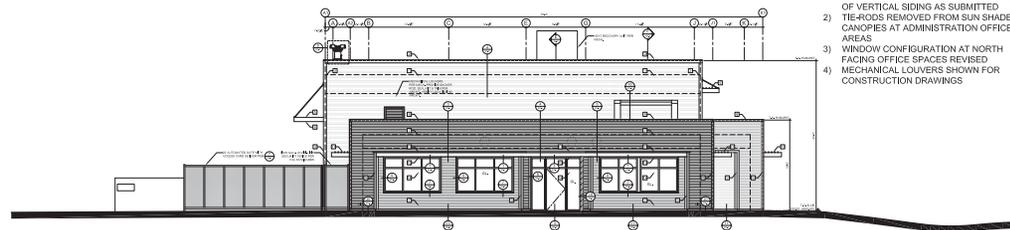
NOTE:
 PROVIDE METAL STANDBY BOX WITH SOLID BLOCKING TRIM, BOLLARD/PROTECTIVE BOLLARD AT ALL WALL FEET/TWINE PROTECTA.



NORTH ELEVATION - DESIGN REVIEW SUBMITTAL

LOOKING SOUTH

SCALE: 1/8" = 1'-0"



LIST OF MODIFICATIONS:

- 1) A.R.F.F. & SRE MAINTENANCE BAYS NOW HAVE HORIZONTAL SIDING IN LIEU OF VERTICAL SIDING AS SUBMITTED
- 2) TIE-RODS REMOVED FROM SUN SHADE CANOPIES AT ADMINISTRATION OFFICE AREAS
- 3) WINDOW CONFIGURATION AT NORTH FACING OFFICE SPACES REVISED
- 4) MECHANICAL LOUVERS SHOWN FOR CONSTRUCTION DRAWINGS

NORTH ELEVATION - CONSTRUCTION DOCUMENTS (AS-BUILT)

LOOKING SOUTH

SCALE: 1/8" = 1'-0"

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On July 13, 2015 the Hailey Planning & Zoning Commission considered a recommendation by the Administrator to exempt from design review, pursuant to Section 6A.9.II, an application submitted by Hollis Rumpeltes Architects for an addition to an existing primary structure, currently located at 221 4th Avenue North (Hailey Townsite, Lots 1, 2 & N ½ 3 of Block 48), within the Limited Residential-1 (LR-1) and Townsite Overlay (TO) Zoning Districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Summary of Project

The applicant is requesting an addition to an existing principal structure to add a room, comprising a total of 188 square feet of new space. The subject property is on 2-1/2 city lots, Lots, 1, 2 ½ 3 of Block 48 (221 4th Avenue North) of the Hailey Townsite. The proposed addition meets all setback and bulk requirements for the Limited Residential-1 and Townsite Overlay Zone Districts, however the existing structure is non-compliant with respect to the setbacks on the North side of the lot. The existing structure extends 1'11" into the City property along East Galena Street. Applicant is not proposing to increase the degree of non-conformity and therefore is not required to bring the entire structure up to current City standards. Staff has reviewed the encroachment and finds that requiring the owner to bring the house up to current requirements will not vastly benefit the City and will not be economically feasible for the owner. The City maintains a 100' right of way along Galena Street.

Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

6A.1(A). No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:

- 1. A building for a non-residential use within any zoning district.**
- 2. A building for a Public or Semi-Public Use within any zoning district.**
- 3. A Multi-Family Dwelling of three or more units within any zoning district.**
- 4. A Single Family Dwelling, Duplex or Accessory Structure within the Townsite Overlay (TO) District.**
- 5. A Historic Structure.**

The accessory structure located at 221 4th Avenue North is within the Townsite Overlay (TO) District. Therefore, Design Review approval is required according to 6A.1(A) (4).

6A.9 Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

II. Applicability

Proposals for new Single Family Dwellings, Accessory Dwelling Units, Accessory Structures and Duplexes and additions thereto that add floor area equal to or greater than 50% of the original structure will be reviewed for compliance with these Design Guidelines. A remodel or alteration of the exterior of a Historic Structure that does not add floor area is subject only to 6A.9(III)(C)(10).

The Administrator recommends exemption of this project, as described under summary of project, from design review requirements according to 6A.9(II), as printed above.

After reviewing the complete application and proposal, the Administrator finds the proposed alteration meets the criteria under Section 6.A.9(II) of the Zoning Ordinance because the project:

1. is not an addition of floor area equal to or greater than 50% of the original structure.

Application

Hollis Rumpeltes Architects submitted an application on July 8, 2015, for Design Review of an addition to an existing principal structure. It has been determined that this project meets the standards of Section 6A.9.II for Design Review Exemption and notice is not required.

Procedural History

The application was considered before the P&Z Commission on July 13, 2015 as a Design Review Exemption.

CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Given nature of this project, this constitutes a minor project, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties.

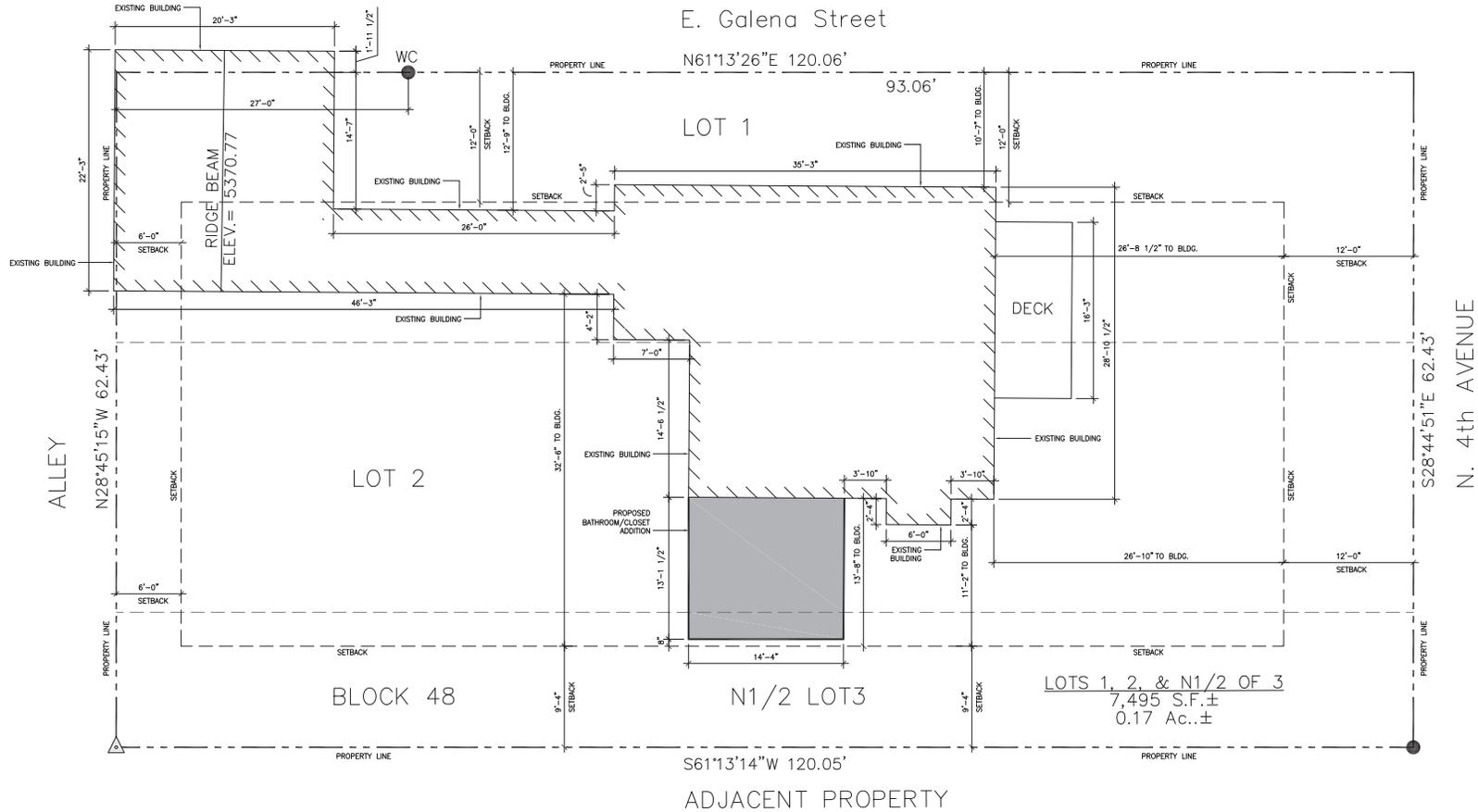
5. The proposed improvements are approved and hereby documented.
6. Occupancy shall meet the requirements of the General Residential (GR) Zoning Code.

Signed this _____ day of _____, 2015.

Janet Fugate, Chair

Attest:

Kristine Hilt, Community Development Coordinator



ISSUE/DATE	BID SET	5.12.2015
DRAWN BY	JLR/DPH	
CHECKED BY	DPH	
DATE		
JOB NO.	1010	

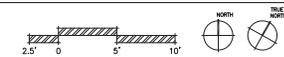
221 4TH

221 4TH STREET
HAILEY, ID 83333

BUILDING SITE PLAN

A **1.1**
CATEGORY SEQUENCE

1 BUILDING SITE PLAN
A1.1 SCALE: 1" = 5'-0"



Return to Agenda

**DESIGN REVIEW
STAFF REPORT**

TO: Hailey Planning and Zoning Commission

FROM: Lisa Horowitz Community Development Director

RE: Design Review application by Tom King, Kings Variety Store, represented by Errin Bliss Architecture for an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store located at 615 North Main Street (Lots 1-5 and 11-15, Block 68, Hailey Townsite in the Business (B) Zone District. The application request includes a proposal for a Private Road on the north property boundary connecting from Main Street to River Street.

HEARING: July 13, 2015

Applicant: Tom King, Kings Variety Store, represented by Errin Bliss Architecture

Request: Design Review for an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store, and a proposal for a Private Road on the north property boundary connecting from Main Street to River Street.

Location: 615 North Main Street (Lots 1-5 and 11-15, Block 68)

Zoning: Business (B)

Notice

Notice for the public hearing was published in the Idaho Mountain Express on June 24, 2015 and mailed to property owners within 300 feet on June 24, 2015.

Application

The applicant is proposing an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store. The project shows significant exterior design upgrades, and a revised circulation and loading plan.

The proposal includes a new private road connecting Main Street to River Street. Two curb cuts on Main Street (one serving Goode Motors, the other servicing Kings) will be consolidated to create the new street. The new private street would have a 42' right of way profile, within which is two 12' drive lanes, two 4' bike lanes and two 6' sidewalks on either side.

Procedural History

The application was submitted on June 1, 2015 and certified complete on June 24, 2015. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on July 13, 2015, in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering:
				Life/Safety: No comments
				Water and Sewer:
				Building:
			Streets: River Street must be under a 3% slope to avoid drainage problems Stop signs should be added at both intersections Crosswalk striping should be thermoplastic and striped per City Standards	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	The plans show two monument signs and signs mounted on the building faces as shown in the design package. Only one monument sign is permitted, so one will be eliminated. The signs will comply with the City's maximum sign area and other bulk regulations. Staff has been working with the applicant on a signage package that complies with city regulations, matches the character of Hailey, but respects the Kings logo.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code. 9.4.2- 1 parking space per 1,000 gross square feet
			Staff Comments	The Zoning Code requires 1 parking space per 1,000 gross square feet. The project contains 31,500 gross square feet (including 12,074 square feet of basement) so 32 parking spaces are required. The site plan shows 51 parking spaces, plus an additional 6 flex spaces that also double as a loading zone on during delivery hours.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards a. All exterior lighting shall be designed, located and lamped in order to prevent: 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow.

				<p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			Staff Comments	<p>A lighting plan has been submitted showing: Two existing 400-watt high pressure sodium lights on the street side and the south side (called out as EX1) these two lights are existing and are nonconforming with respects to height and illumination. Hailey Code requires that parking lot lighting not exceed an overall illumination of 1.5 foot-candles. The existing parking lot (due to these two lights) is at 3 average foot-candles, exceeding the City regulations. The Commission should discuss whether these existing nonconforming lights should be grandfathered in, lowered, or otherwise modified to better comply with city code.</p> <p>New lighting proposed:</p> <p>Two parking lot lights ((KAD Led, called out as F1); City standard street lights along the south side of theme private road. (City standard, called out as F-2) Four wall-pack lights affixed to the building (called out as F3) Six commercial downlights (called out as F4). All lighting is downcast and meets City standards.</p> <p>All new lighting complies with City standards; however some darker areas do exist in the parking lot as shown on the lighting plan.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p>(Insert sections from applicable zoning district) Maximum Height: 35' Setbacks: 0 Lot Coverage: 0 Aggregate Maximum Floor Area: 36,000 gross square feet</p>
			Staff Comments	<p>The 28' tall building complies with all bulk requirements.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			Staff Comments	<p>Sidewalks are existing on Main Street, and are provided on the new Private Road and On River Street. Sidewalks are an average of 6' in width (Existing Main Street sidewalk is 6' wide).</p> <p>Community Development and Public Works staff are comfortable with the sidewalk widths proposed since, a) the new street is a private street, and bike lanes are provided; and b) the River Street sidewalk is not in a heavily used retail portion of the street.</p> <p>A site drainage plan has been provided. Modifications to drainage on River Street have been requested from Public Works staff to alleviate drainage concerns in the south end.</p>

**Design Review Requirements for Non-Residential, Multifamily,
and/or Mixed Use Buildings within the City of Hailey**

1. Site Planning: 6A.8 (A) 1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			<i>Staff Comments</i>	<i>The location of the existing building creates limitations on where the new addition could go, and limits solar orientation of buildings. Sun exposure for covered walkways and merchandise display areas, as well as for a new main entry is planned.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p>
			<i>Staff Comments</i>	<i>All existing plant material has been inventoried and delineated on the landscape plan. There are three large mature trees on the site, one of which may be able to be retained. However, the viability of retaining one tree in the hardscape setting is questionable. A letter from an arborist is in process, and will be brought to the meeting.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			<i>Staff Comments</i>	<p><i>The new proposed private street connecting from Main to Rivers will greatly increase pedestrian and nonmotorized connections in a portion of town with above average block lengths.</i></p> <p><i>Proposed 6'-6" and 6'-9" wide sidewalks running east/west will connect pedestrians and bicyclists (via new 4' bike lanes) from Main St. to the new building entrance, and then to River St. A proposed 6'-0" wide sidewalk and associated crosswalk along River St. will connect existing sidewalks to the north and south of the site together to form a continuous sidewalk along the entire River Street frontage. Note that the sidewalk along River Street must connect in two different locations on the north and south ends due the location of the existing sidewalks north and south. Staff believes that the sidewalk location shown on the plans is a reasonable solution, allowing for landscaping on both sides of the sidewalk.</i></p> <p><i>The passage width between the street trees and the building is wheelchair accessible, based on the tree grate selected. A minimum of 4' clear zone for wheelchairs is required in Title 18, Mobility Standards. See also additional discussion of street trees elsewhere in this report.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p>e. 9.2.2 Loading Space Requirements and Dimensions. The following regulations shall apply to all commercial and industrial uses with on-site loading areas. A. One (1) loading space shall be provided for any single retail, wholesale or warehouse occupancy with a floor area in excess of 4000 square feet, except grocery and convenience stores where one (1) loading space shall be provided for a floor area in excess of 1000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12 feet. B. Convenient access driveways to loading spaces from streets or alleys shall be</p>
			<i>Staff Comments</i>	<p><i>Due to the location of the existing building and on-site parking, space for loading and trash storage/pickup areas are impractical and undesirable at the rear of the building along River Street. Consequently, the unloading zone for the building's delivery of merchandise and the trash storage area is proposed along the north side of the building accessed via the new private road. This appears to be the most practical location for the delivery and dumpster locations. The sidewalk along this frontage is adjacent to the building. A letter from Clearcreek Disposal stating that the dumpster location and design is adequate will be required as a Condition of Approval.</i></p> <p><i>The site plan shows space for several loading areas that meet dimensional requirements. The new addition would require one loading area. The loading area as designed can accommodate a large delivery truck.</i></p> <p><i>These locations will not impede with snow storage areas and will be screened with a combination of landscaping, enclosures, and the building itself. Note that it is also proposed that the trash receptacles themselves will be clad in a vinyl wrap consisting of artistic images. Actual images will be brought to the meeting.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1e	f. Where alleys exist, or are planned, they shall be utilized for building services.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	g. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	<p>h. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>

Kings Variety Store Addition Design Review
 Hailey Townsite, Lots 1-5 and 11-15 and alley, Block 68, 615 North Main Street)
 Hailey Planning Zoning Commission – July 13, 2015
 Design Review Staff Report – Page 6 of 15

				Staff Comments	<i>The existing Kings Building is located to the rear of the lot, with the parking in the front adjacent to Main Street. It would not be feasible to move the existing building to the front of the lot. The building entrance is reconfigured, making it a more prominent feature on the site. The parking area is buffered by two existing trees along Main Street, and proposes landscaping along the new private street on the north. One or two additional street trees may be appropriate on the north edge of the property. In summer, the applicant proposes the outdoor garden center will be near the street as shown on the plans. This will also soften the street edge of the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1h	i. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.	
				Staff Comments	<i>Two main Street curb cuts (one on the subject property and one on Goode Motors to the north) are being consolidated into one as part of this application, which will reduce vehicular/pedestrian conflicts. Additional buffering of the parking is shown on the north side adjacent to the new private street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	j. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.	
				Staff Comments	<i>Where practical, on-site snow storage has been provided. However, the applicant has noted that the current/existing snow storage areas are limited. With the proposed building addition and site improvements, it is not possible to meet the on-site storage requirements. Therefore, it is proposed that the majority of snow storage occur at the southwest corner of the Goode lot, directly north of the proposed private drive. This location is currently an empty, underutilized, gravel covered lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	k. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.	
				Staff Comments	<i>25% of the improved parking/vehicle and pedestrian circulation areas require 10,439 square feet of snow storage. The applicant has shown this amount of snow storage on site and on the adjacent undeveloped lot to the north.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	l. A designated snow storage area shall not have any dimension less than 10 feet.	
				Staff Comments	<i>Dimensional requirements have been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.	
				Staff Comments	<i>If the adjacent site were to be redeveloped, snow would need to be hauled from this site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.	
				Staff Comments	<i>None of the above are impeded by snow storage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.	
				Staff Comments	<i>Snow storage areas are landscape ground cover, gravel or asphalt.</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p> <p><i>Staff Comments</i> The subject property is outside of the Townsite Overlay, in a portion of downtown with varied building sizes. The roofline height and form proposed are compatible.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2b	<p>b. Standardized corporate building designs are prohibited.</p> <p><i>Staff Comments</i> The building design is a departure from many of the 18 Kings stores found throughout Idaho and other western states. The design is responsive to the Hailey community, and individualized to the site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p> <p><i>Staff Comments</i> The design of the proposed addition and existing building improvements, specifically on the east and north facades, incorporates appropriately scaled covered walkways/outdoor merchandise display areas, architectural elements such as steel shade canopies, and a recessed main entry with soffit above. The space outside of the main entry will incorporate heated concrete pavers, benches, and landscaping to create a vibrant, pleasant space for store related activities and events.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p><i>Staff Comments</i> Design features include covered walkways/outdoor merchandise display areas, architectural elements such as steel shade canopies, and a recessed main entry with soffit above, and a variety of material changes. The space outside of the main entry will incorporate heated concrete pavers, benches, and landscaping to create a vibrant, pleasant space for store related activities and events.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>Staff Comments</i> The design of the proposed addition creates a cohesive whole with the existing building by matching and tying into existing roof lines, eaves, joints, and window and door heights. Proposed and existing building materials and colors are used congruently to create a cohesive and seamless design. The design resulting from the addition is a significant upgrade in terms of both architecture and site function.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p> <p><i>Staff Comments</i> The design of the proposed addition and existing building improvements incorporate varying materials, textures, and colors such as stained cedar siding, corrugated galvanized metal wall panels, painted metal wall panels, and painted stucco.</p> <p>The existing rear wall facing River Street may be difficult to improve from an architectural standpoint. The applicant is proposing to paint the top of this wall a color called “Volcanic Rock”, which matches the powder coated steel on other facades. Also proposed is a dry</p>

				<p>stack stone base, tying the existing building in to the new addition. Substantial landscaping is proposed on this façade, and staff is of the opinion that this standard has been met.</p> <p>Similarly issues exist regarding the north faced between the subject property and the Wood River Inn. As shown in the photos submitted, there is already substantial mature landscaping against this wall, screening it from the back parking area of the Wood River Inn. Staff does not recommend any further changes to this façade.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p><i>Staff Comments</i> The materials and color scheme is contemporary and suitable to the Hailey community.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p> <p><i>Staff Comments</i> The existing building and addition are single-story.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed. <p><i>Staff Comments</i> Due to the location and orientation of the existing building, incorporating passive solar techniques into the proposed addition are limited. The new addition proposes low-e, double glazed windows to minimize summer solar heat gain. The north façade will incorporate north facing clerestory windows with an exterior roof canopy/light shelf. The north windows in combination with the exterior light shelf will provide an even and constant source of daylight in the northern interior of the space and minimize dependency on artificial light sources.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> <p><i>Staff Comments</i> The existing and proposed 5:12 shed roof at the east façade will incorporate snow clips, a gutter, and downspouts to prevent snow and ice from accumulating at the sidewalk and parking below. The downspouts will drain into adjacent landscaping areas or tie into the proposed drywell located in the parking lot directly east of the new main entry.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p> <p><i>Staff Comments</i> The existing roof drains located at the west façade of the building drain into proposed landscaped areas. All roof drains for the proposed addition will tie in below grade to new drywells. Please also see item 'j' above.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p> <p><i>Staff Comments</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p> <p><i>Staff Comments</i> A Master Signage Plan has been provided, and the signs will be modified to comply with city regulations. The applicant has modified their typical corporate sign to mount the letters for "Kings" directly on to the building. While the current submittal shows two pole-mounted signs, the applicant has stated that they would be willing to switch these to monument signs on a stone base, with lettering mounted on a wood background to match the building.</p>

3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p> <p><i>Staff Comments</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3b	<p>b. Accessory structures shall be located at the rear of the property.</p> <p><i>Staff Comments</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	<p>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</p> <p><i>Staff Comments</i> No new fences are proposed. All site walls are proposed to be clad in a stone veneer matching the proposed stone veneer on the addition and existing building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3d	<p>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</p> <p><i>Staff Comments</i> All site walls and retaining walls re proposed to be less than 4'-0" in height and will incorporate planting in front of them to soften the visual impact.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3e	<p>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</p>

			Staff Comments	<i>The existing roof-mounted equipment is currently screened from ground level view. All proposed roof-mounted equipment will be screened from ground level view as well by the proposed roof parapet walls.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			Staff Comments	<i>All proposed ground-mounted equipment will be screened from ground level view by the use of walls and/or landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	i. All service lines into the subject property shall be installed underground.
			Staff Comments	<i>All proposed service lines into the addition will be underground. However, due to cost constraints all existing service lines to the existing building, including overhead power lines, will remain as they are. Idaho Power has confirmed that, even if the pole on the northeast corner were removed, and additional pole would need to be added to support the pole between Kings and the Wood River Inn, which contains transformers.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			Staff Comments	<i>No appurtenances are proposed on existing utility poles.</i>

4. Landscaping: 6A.8 (A) 4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			Staff Comments	<i>All proposed plant material is drought tolerant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			Staff Comments	<i>All proposed plant materials are hardy to Zone 4.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			Staff Comments	<i>All drought tolerant grass areas will have a temporary irrigation system installed for at least 2 growing seasons to allow for seed germination.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.

			Staff Comments	<i>The proposed landscaping incorporates a combination of trees of varying sizes, shrubs, ground covers, and ornamental grasses. Only two (2) existing trees are present along Main Street. The Commission should consider whether 2-3 street trees are needed in the sidewalk at the west end of the new Private Road, or within the landscape area in this same vicinity.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			Staff Comments	<i>The proposed landscaping incorporates a combination of trees, shrubs, ground covers, and ornamental grasses that have a variety of colors, textures, and forms. The seasonal garden center also provides a great variety of color and interest. The proposed location of the garden center is close to Main Street, and will create an improved streetscape façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			Staff Comments	<i>Strom water is managed via a drywell system. Due to the large amount of existing hardscape, retrofitting to irrigate plant material is not practical.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			Staff Comments	<i>Maintenance is planned for all landscape areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			Staff Comments	<i>All proposed site retaining walls will be no taller than 4'-0" tall and clad in a stone veneer matching the proposed stone veneer on the addition and existing building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			Staff Comments	<i>See "i" above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.
			Staff Comments	<i>See "i" above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4l	m. Landscaping should be provided within or in front of extensive retaining walls.
			Staff Comments	<i>No extensive retaining walls are planned.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			Staff Comments	<i>All proposed retaining walls over 2'-0" high may require guardrails as required by the IBC.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			Staff Comments	<i>The low retaining wall to the rear of the building near River Street could be used for seating.</i>

Additional Design Review Requirements for Non-Residential Buildings Located within B, LB, or TN

1. Site Planning: 6A.8 (B) 1, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)1a	<p>a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.</p> <p><i>Staff Comments: Pedestrian circulation is greatly improved with the site plan proposed. Sidewalks are planned on all building fronts.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)1b	<p>b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.</p> <p><i>Staff Comments: Sidewalk widths vary through the project, but staff finds the proposed widths to be adequate.</i></p>

2. Building Design: 6A.8 (B) 2, items (a) thru (h)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2a	<p>a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.</p> <p><i>Staff Comments: The existing building is oriented to the street. The new main entrance is located so as to serve both Main Street and the new Private Road accessing the property.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2b	<p>b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image which may often accompany large buildings.</p> <p><i>Staff Comments:</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2d	<p>c. Building designs shall maximize the human scale of buildings and enhance the small town "sense of place". This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.</p> <p><i>Staff Comments: The design team has made efforts to bring a human scale to the design, and to pick styles and materials reflective of Hailey. Canopies are proposed on several facades. The summer outdoor garden center provides good street interest.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2e	<p>d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.</p> <p><i>Staff Comments:</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2f	e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2g	f. Fire department staging areas shall be incorporated into the design elements of the building.
			<i>Staff Comments</i>	The building will be fully sprinklered.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2h	g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: <ul style="list-style-type: none"> i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses; ii. Stepping down the massing of the building along the site's edge; and iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns
			<i>Staff Comments</i>	The project is surrounded by Business (B) zoning and nonresidential uses.

3. Landscaping: 6A.8 (B) 3, item (a)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)3a	a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.
			<i>Staff Comments</i>	All surrounding properties are zoned B.

6A.6 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

The following conditions of approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - The Private Road, as shown on the design drawings dated June 26, 2015. Street trees and street lights will be required on the north side of the road at the time of substantial redevelopment of the northerly property.
 - Waste Water Department improvements as noted in the 7/02/15 memo from the Wastewater Department.
 - Water improvements as noted in the forthcoming memo from the Water Department.
- c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- d) All new lighting shall comply with the Outdoor Lighting Ordinance. Existing lighting shall be modified as follows:
- e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- f) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- g) The applicant shall come back to the Commission showing the vinyl wrap dumpster proposal, or submit a fencing plan for staff approval prior to issuance of Certificate of Occupancy (or Final Framing Inspection).
- h) The applicant shall apply for a new sign permit. Proposed sign(s) shall conform to City Zoning requirements, and shall be approved prior to installation.
- i) A letter shall be provided from Clearcreek Disposal prior to issuance of a building permit stating that the design and location of the dumpster area is adequate for trash pickup.

- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

Motion Language

Approval:

Motion to approve the Design Review application submitted by Tom King, Kings Variety Store, represented by Errin Bliss Architecture for an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store, and recommend to the City Council approval for a Private Road on the north property boundary connecting from Main Street to River Street, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (i) are met.

Denial:

Motion to deny Design Review application submitted by the Design Review application submitted by Tom King, Kings Variety Store, represented by Errin Bliss Architecture for an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store, and recommend to the City Council denial for a Private Road on the north property boundary connecting from Main Street to River Street, finding that _____[the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on Design Review application submitted by the Design by Tom King, Kings Variety Store, represented by Errin Bliss Architecture for an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store, and recommend to the City Council approval for a Private Road on the north property boundary connecting from Main Street to River, to _____[Commission should specify a date).

ABBREVIATIONS

AB	ANCHOR BOLT	LAM	LAMINATE
ABC	AGGREGATE BASE COURSE	MAT	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
AFG	ABOVE FINISH GRADE	MIN	MINIMUM
ALT	ALTERNATE	MISC	MISCELLANEOUS
ALUM	ALUMINUM	MTL	METAL
BD	BOARD	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO	NO NUMBER
BD	BOTTOM OF	NOM	NOMINAL
BOD	BOTTOM OF DECK	N	NORTH
CC	CENTER TO CENTER	NTS	NOT TO SCALE
CIP	CAST IN PLACE	OC	ON CENTER
CL	CENTER LINE	OH	OVERHEAD
CLNG	CILING	OPP	OPPOSITE
CJ	CONTROL JOINT	OSB	ORIENTED STRAND BOARD
CMU	CONCRETE MASONRY UNIT	PL	PLATE
COL	COLLAIN	PR	PAIR
CONC	CONCRETE	RA	RETURN AIR
CONT	CONTINUOUS	RAD	RADIUS
DET	DETAIL	RCP	REFLECTED CEILING PLAN
DIM	DIMENSION	REF	REFERENCE
DN	DOWN	REQD	REQUIRED
DRWG	DRAWING	REV	REVISION
EA	EACH	RC	ROUGH OPENING
ELEC	ELECTRICAL	ROW	RIGHT OF WAY
ELEV	ELEVATION	SC	SOLID CORE
EQ	EQUAL	SCHED	SCHEDULE
EQUIP	EQUIPMENT	SHT	SHEET
EXT	EXTERNDR	SM	SIMILAR
EXIST	EXISTING	STL	STEEL
FA	FIRE ALARM	STRUC	STRUCTURAL
FACP	FIRE ALARM CONTROL PANEL	T&G	TONGUE & GROOVE
FD	FLOOR DRAIN	TO	TOP OF
FEC	FIRE EXTINGUISHER CABINET	TOB	TOP OF BEAM
FF	FINISHED FLOOR ELEVATION	TOM	TOP OF MASONRY
FIN	FINISH	TOW	TOP OF WALL
FLR	FLOOR	TYP	TYPICAL
FT	FOOT OR FEET	UL	UNDERWRITERS LABORATORIES
FV	FIELD VERIFY	UNO	UNLESS NOTED OTHERWISE
GA	GAUGE	VERT	VERTICAL
GALV	GALVANIZED	WC	WATER CLOSET
GLB	GLUE LAMINATED BEAM	WD	WOOD
GYP	GYPSPUM	W	WITH
HB	HOSE BIBB	WO	WITHOUT
HDWR	HARDWARE		
HR	HOUR		
INSUL	INSULATION		
INT	INTERIOR		
JNT	JOINT		

DRAWING SYMBOLS

BUILDING SECTION CUT	
WALL SECTION CUT	
DETAIL SECTION CUT	
DETAIL REFERENCE	
ROOM NAME	
DOOR TYPE	
WINDOW TYPE	
WALL TYPE	
ELEVATION INDICATOR	
INTERIOR ELEVATION	

PROJECT TEAM

BUILDING OWNER:
M.H. KING COMPANY
CORPORATE OFFICE
1552 DAWG AVENUE
BURLEY, IDAHO 83318

GENERAL CONTRACTOR:
T.B.O.

ARCHITECT:
BLISS ARCHITECTURE
ERRIN BLISS, AIA, LEED AP
209-721-7424
PO BOX 53
SUN VALLEY, IDAHO 83353

CIVIL ENGINEER:
GALENA ENGINEERING
BRIAN YEAGER, PE
209-788-4705
317 NORTH RIVER STREET
HAILEY, IDAHO 83333

ELECTRICAL ENGINEER:
PAYNE ENGINEERING
TODD PAYNE, PE
209-224-4559
1823 EAST CENTER STREET
POCATELLO, IDAHO 83201

PROJECT DATA

SITE ADDRESS:
615 NORTH MAIN STREET
HAILEY, IDAHO 83333

PARCEL NUMBER:
RPH000068001A

ZONING DISTRICT:
R1 BUSINESS WITHIN THE TOWNSITE OVERLAY DISTRICT

LOT AREA:
56,173 S.F. (1.33 ACRES)

BUILDING GROSS AREA:
EXISTING BASEMENT LEVEL: 10,792 S.F.
EXISTING MAIN LEVEL: 11,287 S.F.
PROPOSED BASEMENT LEVEL: 1,282 S.F.
PROPOSED MAIN LEVEL: 8,139 S.F.
TOTAL GROSS AREA: 31,500 S.F.

BUILDING HEIGHT:
EXISTING: 22'-0" A.F.F.
PROPOSED: 28'-0" A.F.F.

OCCUPANCY TYPE:
EXISTING: GROUP M
PROPOSED ADDITION: GROUP M

CONSTRUCTION TYPE:
EXISTING: V-8 (SPRINKLERED)
PROPOSED ADDITION: V-8 (SPRINKLERED)

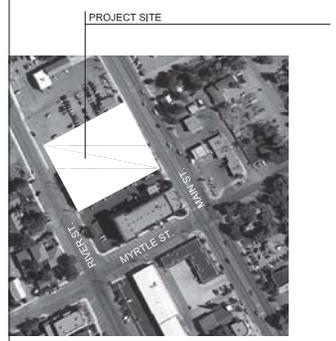
SHEET INDEX

- A000 COVER SHEET
- AS101 CONTEXT SITE PLAN
- AS102 ARCHITECTURAL SITE PLAN
- AS103 STAGING & CONTRACTOR PARKING PLAN
- CL10 CIVIL PRELIMINARY DEMOLITION PLAN
- CU10 CIVIL PRELIMINARY GRADING & UTILITY PLAN
- L101 LANDSCAPE PLAN
- A101 BASEMENT LEVEL FLOOR PLAN
- A102 MAIN LEVEL FLOOR PLAN
- A201 BUILDING ELEVATIONS
- A202 BUILDING ELEVATIONS
- A203 MATERIALS BOARD & RENDERED ELEVATIONS
- A204 SITE PHOTOGRAPHS
- E1 SITE PLAN PHOTOMETRICS

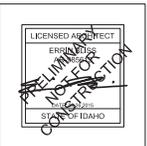
PROJECT DESCRIPTION

PROJECT NAME:
KING'S VARIETY STORE
KING'S OF HAILEY ADDITION

THE PROPOSED PROJECT CONSISTS OF A 1,282 S.F. BASEMENT & 8,139 S.F. MAIN LEVEL ADDITION AND VARIOUS SITE IMPROVEMENTS, INCLUDING A NEW PRIVATE STREET WHICH WILL CONNECT MAIN AND RIVER STREETS TOGETHER.



VICINITY MAP
SCALE: N.T.S.



KING'S VARIETY STORE
 KINGS OF HAILEY ADDITION
 615 NORTH MAIN STREET | HAILEY | IDAHO
BLISSARCHITECTURE | 408 SOUTH MAIN STREET | SUITE 3 | HAILEY IDAHO 83333
 P | 209-721-7424 | W | BLISSARCHITECTURE.COM

KING'S VARIETY STORE

KING'S OF HAILEY ADDITION

PROJECT NO. | 201505

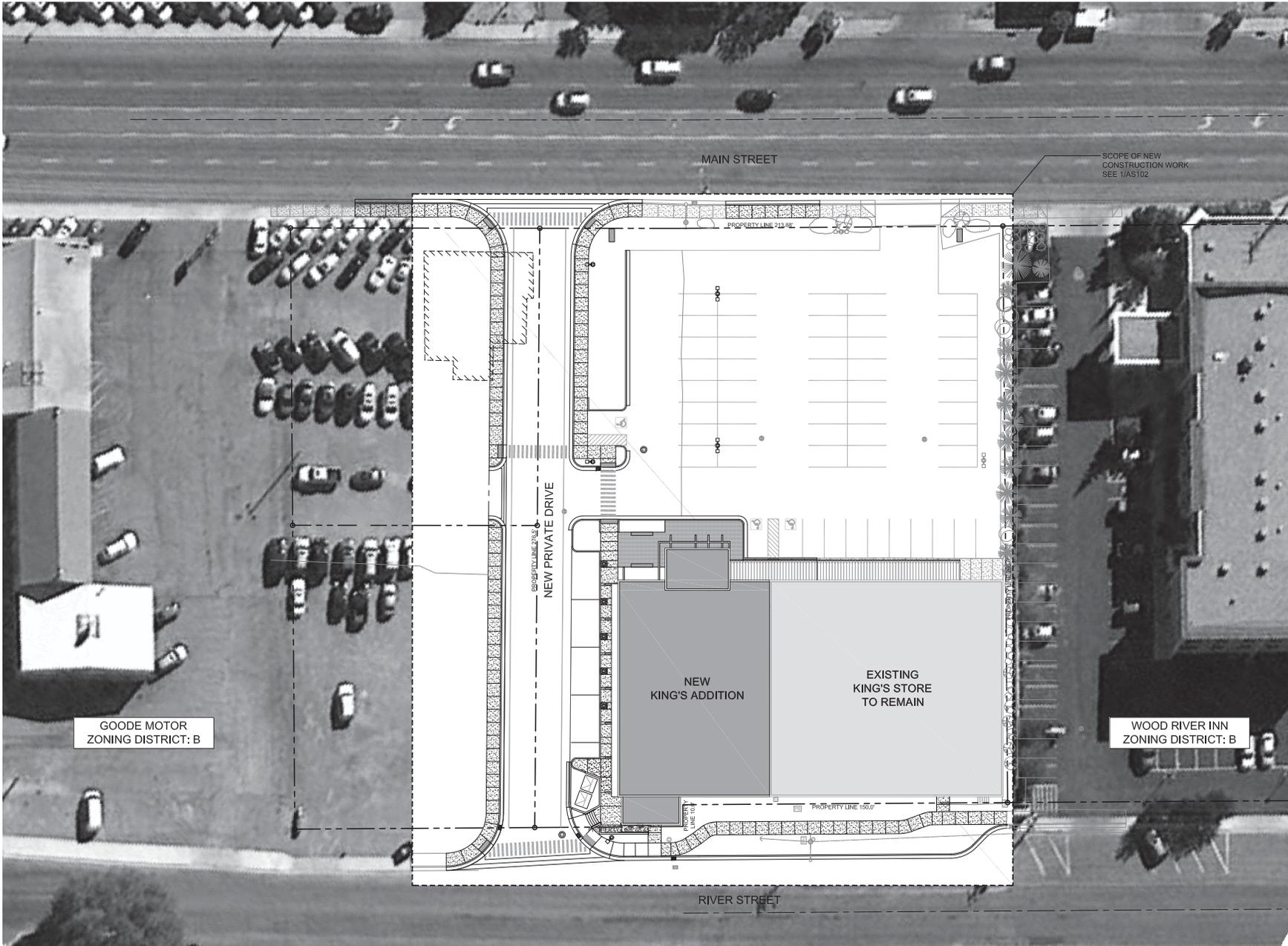
DRAWN BY | EMB
CHECKED BY | EMB

DESIGN REVIEW
DATE | 06 26 2015

COVER SHEET

A000

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GOODE MOTOR
ZONING DISTRICT: B

WOOD RIVER INN
ZONING DISTRICT: B

MAIN STREET

SCOPE OF NEW
CONSTRUCTION WORK
SEE 1/AS102

PROPERTY LINE 215' 96"

PROPERTY LINE 150' 0"

EXISTING DRIVE
NEW PRIVATE DRIVE

NEW
KING'S ADDITION

EXISTING
KING'S STORE
TO REMAIN

RIVER STREET

N | CONTEXT SITE PLAN
SCALE: 1" = 20'-0"

1

FOR
REFERENCE
ONLY

KING'S VARIETY STORE
KING'S OF HAILEY ADDITION
615 NORTH MAIN STREET | HAILEY | IDAHO
BLISSARCHITECTURE | 408 SOUTH MAIN STREET | SUITE 3 | HAILEY IDAHO 83833
P | 208-721-7424 W | BLISSARCHITECTURE.COM

PROJECT NO. | 201505

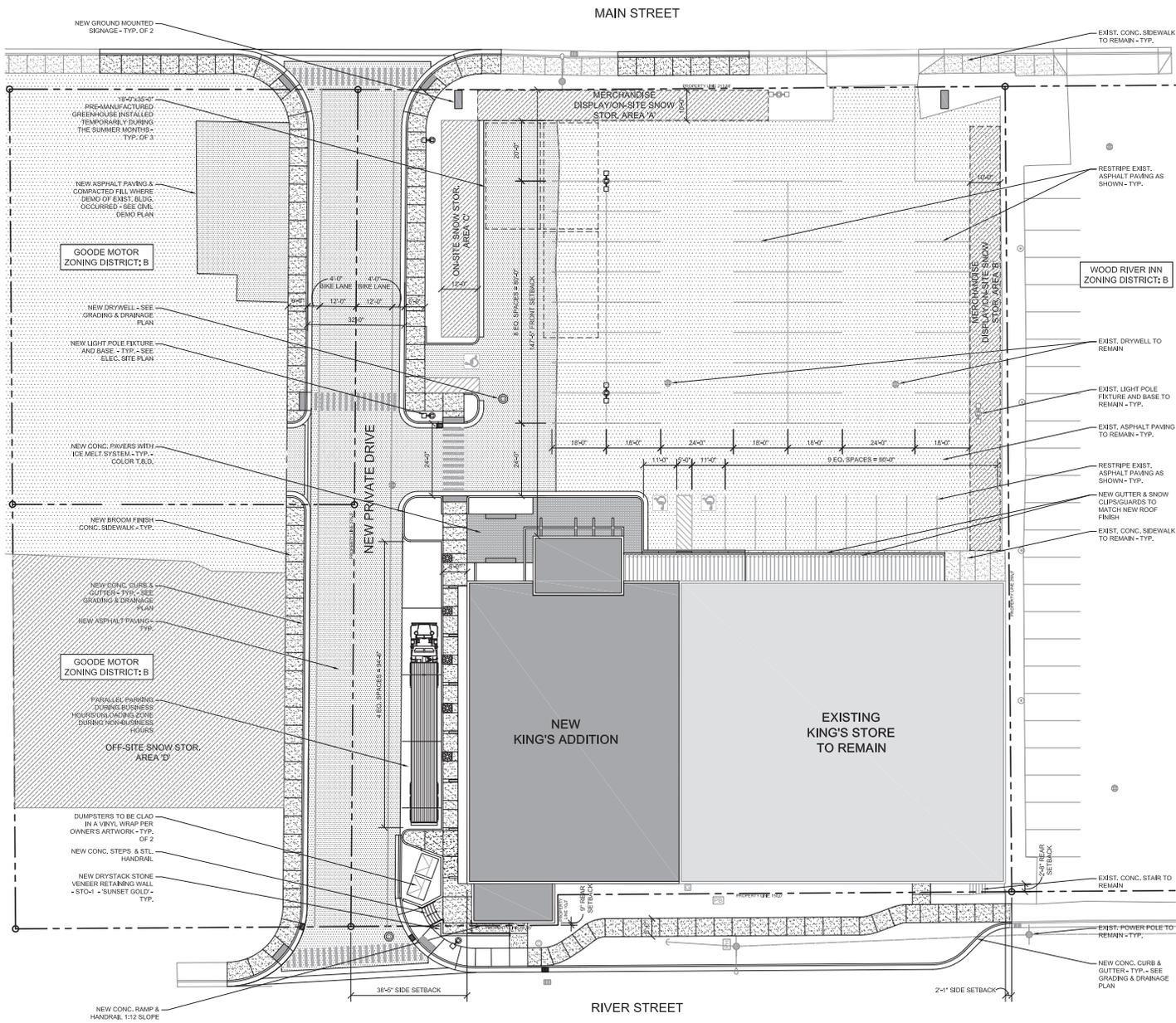
DRAWN BY | EMB
CHECKED BY | EMB

DESIGN REVIEW
DATE | 08 26 2015

CONTEXT SITE PLAN

AS101

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GENERAL NOTES

1. ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
2. ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
3. ALL SLOPED ROOF'S SHEDDING SNOW AND RAIN ONTO PEDESTRIAN AND VEHICULAR CIRCULATION PATHWAYS BELOW TO BE PROVIDED WITH SNOW CLIPS, GUTTERS, & DOWNSPOUTS UNO.

LEGEND

- NEW ASPHALT PAVING
- EXIST. ASPHALT PAVING TO REMAIN
- NEW BROOM FINISH CONC. SIDEWALK
- EXIST. CONC. SIDEWALK TO REMAIN
- NEW CONC. PAVERS WITH ICE MELT SYSTEM - COLOR T.B.O.
- ON-SITE & OFF-SITE SNOW STOR. AREAS

SITE DATA

SITE ADDRESS:
615 NORTH MAIN STREET
HAILEY, IDAHO 83433

PARCEL NUMBER:
RPH00008001A

ZONING DISTRICT:
B BUSINESS WITHIN THE TOWNSITE OVERLAY DISTRICT

LOT AREA:
58,173 S.F. (1.33 ACRES)

BUILDING GROSS AREA:
EXISTING BASEMENT LEVEL: 10,792 S.F.
EXISTING MAIN LEVEL: 11,287 S.F.
PROPOSED BASEMENT LEVEL: 1,282 S.F.
PROPOSED MAIN LEVEL: 8,139 S.F.
TOTAL GROSS AREA: 31,500 S.F.

MIN. FRONT YARD:
REQUIRED: 0'-0"
PROPOSED: 147'-7"

MIN. REAR YARD:
REQUIRED: 0'-0"
PROPOSED: 6'-0" & 2'-4"

MIN. SIDE YARD:
REQUIRED: 0'-0"
PROPOSED: 36'-0" & 2'-4"

MIN. BUILDING HEIGHT:
REQUIRED: 35'-0"
PROPOSED: 28'-0"

PARKING:
REQUIRED: 1 SPACE FOR EVERY 1,000 S.F. OF GROSS BUILDING AREA
PROPOSED: 52 + 3 ACCESSIBLE SPACES = 55 TOTAL SPACES

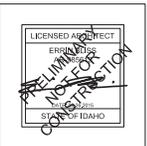
SNOW STORAGE CALCS.

TOTAL IMPROVED PARKING, VEHICLE & PEDESTRIAN CIRCULATION AREAS:
41,476 S.F.

25% OF IMPROVED PARKING, VEHICLE & PEDESTRIAN CIRCULATION AREAS:
REQUIRED: 10,370 S.F.

SNOW STOR. PROVIDED - ON & OFF-SITE:
ON-SITE SNOW STOR. AREA 'A': 960 S.F.
ON-SITE SNOW STOR. AREA 'B': 1,400 S.F.
ON-SITE SNOW STOR. AREA 'C': 858 S.F.
OFF-SITE SNOW STOR. AREA 'D': 7,221 S.F.

TOTAL: 10,439 S.F.



KING'S VARIETY STORE
 KINGS OF HAILEY ADDITION
 615 NORTH MAIN STREET | HAILEY | IDAHO
BLISSARCHITECTURE | 408 SOUTH MAIN STREET | SUITE 3 | HAILEY IDAHO 83433
 P | 208-721-7424 | W | BLISSARCHITECTURE.COM

PROJECT NO. | 201505

DRAWN BY | EMB
CHECKED BY | EMB

DESIGN REVIEW
DATE | 06 26 2015

ARCHITECTURAL
SITE PLAN

AS102

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FOR
REFERENCE
ONLY

KING'S VARIETY STORE
KING'S OF HAILEY ADDITION
615 NORTH MAIN STREET | HAILEY | IDAHO

BLISSARCHITECTURE | 408 SOUTH MAIN STREET | SUITE 3 | HAILEY IDAHO 83433
P | 208-721-7424 W | BLISSARCHITECTURE.COM

PROJECT NO. | 201505

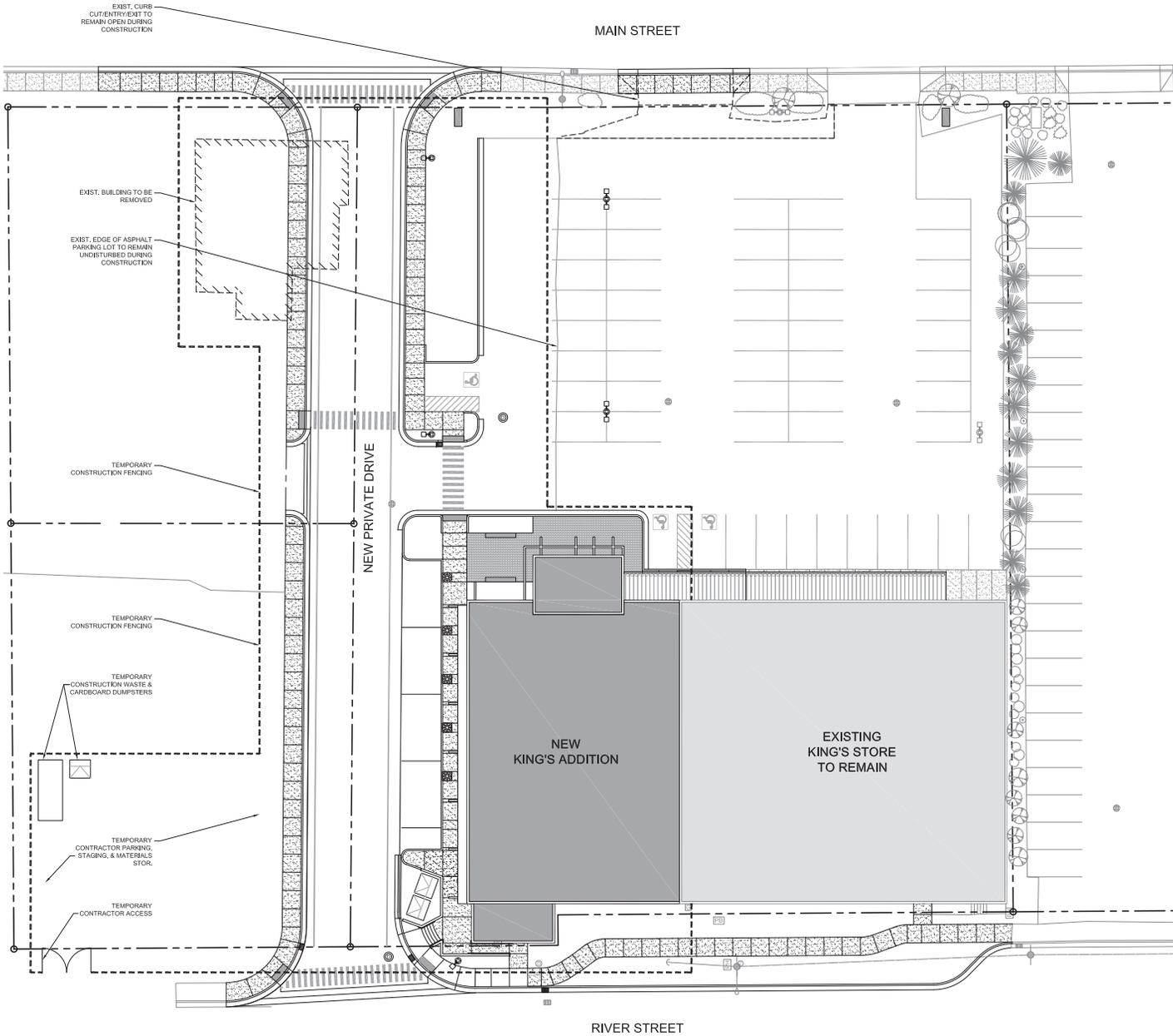
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CHECKED BY | EMB

DESIGN REVIEW
DATE | 08 26 2015

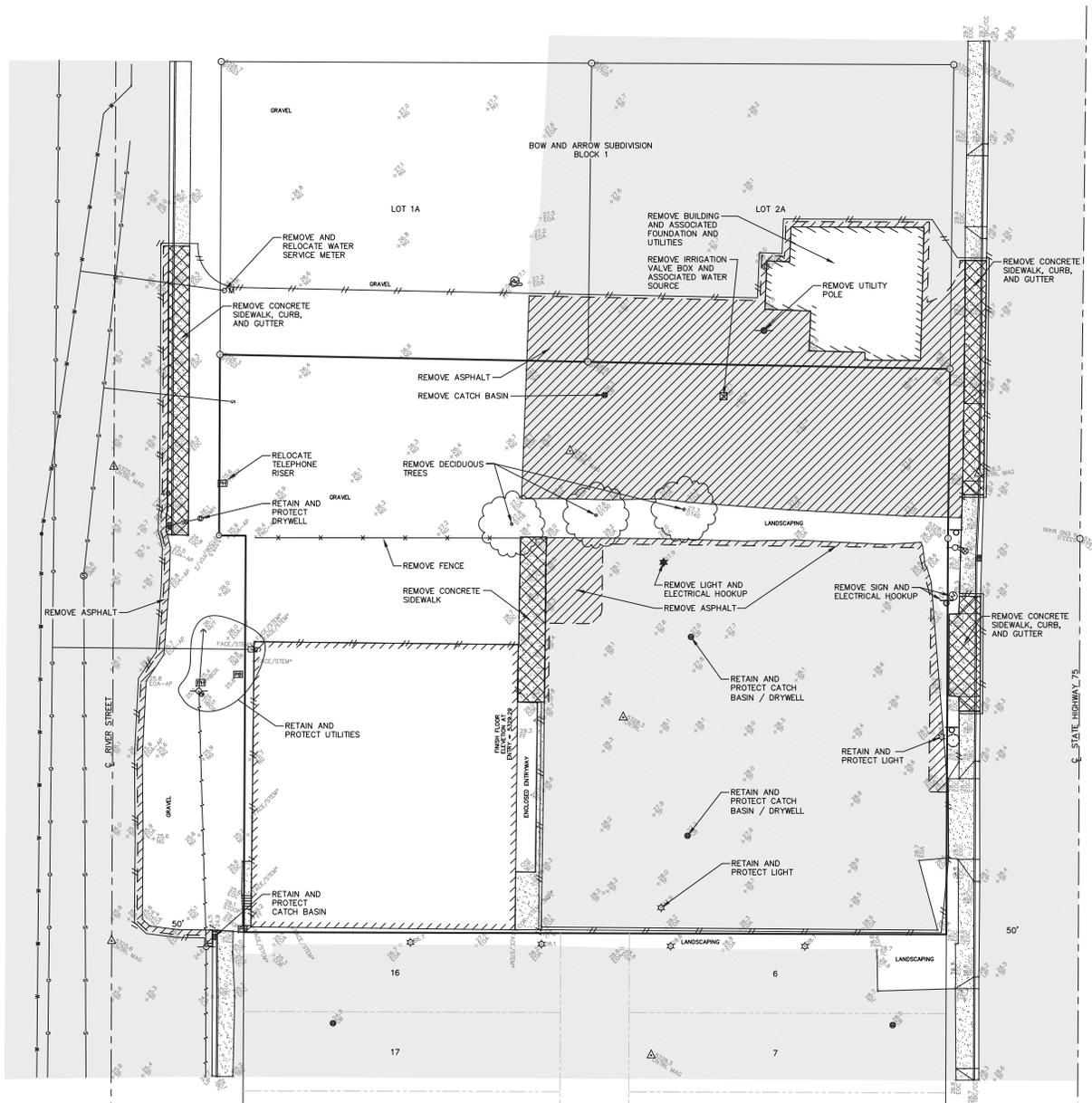
STAGING & CONTRACTOR
PARKING PLAN

AS103

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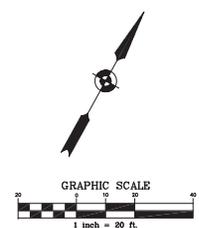
STAGING & CONTRACTOR PARKING PLAN - FOR REFERENCE ONLY
SCALE: 1/16" = 1'-0"



LEGEND

—	Property Line	△	CNTR = Survey Control
—	Adjoiner's Lot Line	○	Found 5/8" Rebar
—	Internal Lot Line	○	Found 1/2" Rebar
—	Centerline of Right-of-way	○	DT = Deciduous Tree
—	FNC = Fence Line	⊕	Sign
▭	Building	⊕	CATV = Cable TV Riser
▭	Concrete Curb & Gutter	⊕	GMTR = Gas Meter
▭	Asphalt	⊕	PHBOX = Power Box
▭	Concrete Sidewalk	⊕	PMTR = Power Meter
—	Gas Line	—	PP = Power Pole
—	Overhead Power Line	—	GUY = Guy Wire
—	Sewer Main	—	LP = Light Pole
—	Sewer Service	—	PHBOX = Phone Riser
—	Storm Drain	—	CB = Catch Basin
—	Water Main	—	SDMW = Dry Well
—	Water Service	—	SMH = Sewer Manhole
—	AP = Angle Point	—	SCO = Sewer Cleanout
—	CC = Curb Cut	—	FFH = Frost Free Hydrant
—	EDA = Edge of Asphalt	—	WV = Water Valve
—	EOC = Edge of Concrete	—	VB = Valve Box
—	FF = Finish Floor Elevation	—	WMTR = Water Meter
—	LIP = Lip of Gutter		
—	NG = Natural Grade		
—	TBC = Top Back of Curb		
—	TC = Top of Concrete		
—	TP = Top of Pavement		
—	Limits of Disturbance		
—	Sawcut Line		
▭	Asphalt to be Removed		
▭	Concrete to be Removed		

- NOTES**
- EXISTING ELECTRIC, GAS, CABLE TV, AND PHONE TO BE TERMINATED AND/OR RELOCATED AS REQUIRED WILL BE BY IDAHO POWER, INTERMOUNTAIN GAS, COX, AND QWEST RESPECTIVELY.
 - CONTRACTOR SHALL REMOVE ADDITIONAL TREES/SHRUBS AS REQUIRED.



FOR DESIGN REVIEW ONLY

NO	DATE	BY	REVISIONS

Galena Engineering Inc.
 317 North River Street
 Hailey, Idaho 83433
 (208) 788-1705
 (208) 788-4812 fax
 email galena@galena-engineering.com

Civil Engineers & Land Surveyors

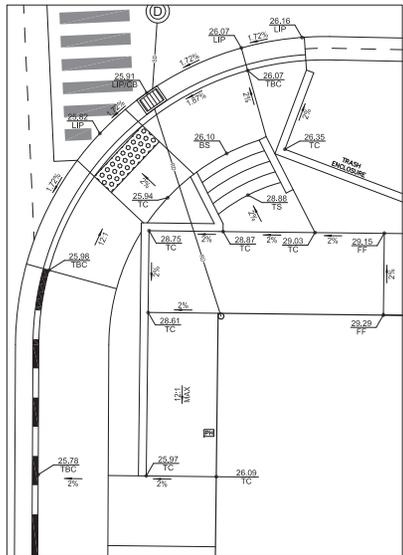
REUSE OF DRAWINGS
 These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

DESIGNED BY: DATE: _____
 DRAWN BY: DATE: _____
 CHECKED BY: DATE: _____
 11/20/23
 FIELD BOOK

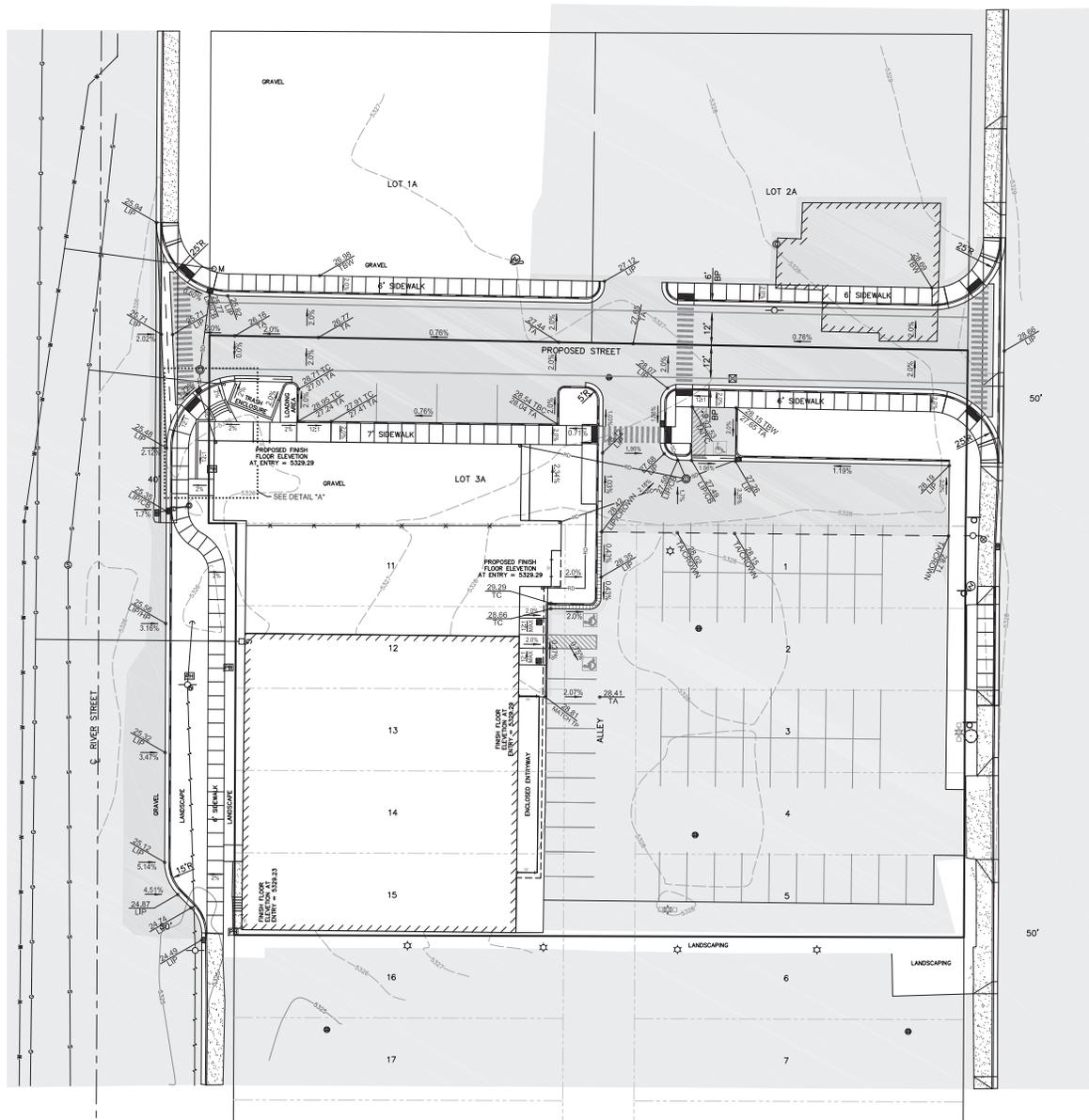
A DEMOLITION PLAN SHOWING
LOTS 1-5, 11-15, & ALLEY, BLOCK 68, HAILEY TOWNSITE
 WITHIN SECTION 9, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
 PREPARED FOR TOM KING

PROJECT INFORMATION
 P:\146\proj\7146\dwg\Construction\Preliminary\7146\Demo_Plan_from Topo.dwg 6/16/2015 10:12:42 AM MDT

C-1.0



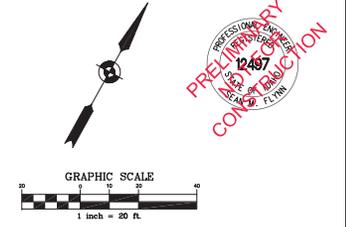
DETAIL "A"
SCALE: 1"=5'



LEGEND

Property Line	ONTNL = Survey Control
Adjoiner's Lot Line	Found 5/8" Rebar
Internal Lot Line	Found 1/2" Rebar
Centerline of Right-of-way	DT = Deciduous Tree
1' Contour Interval	Sign
5' Contour Interval	CATV = Cable TV Riser
FNC = Fence Line	GMR = Gas Meter
Building	PHBOX = Power Box
Concrete Curb & Gutter	PMTR = Power Meter
Asphalt	PP = Power Pole
Concrete Sidewalk	GUY = Guy Wire
Gas Line	LP = Light Pole
Overhead Power Line	PHBOX = Phone Riser
Sewer Main	CB = Catch Basin
Sewer Service	SDMH = Dry Well
Storm Drain	SMH = Sewer Manhole
Water Main	SCD = Sewer Cleanout
Water Service	FFH = Frost Free Hydrant
	WV = Water Valve
	VB = Valve Box
	WMTR = Water Meter
Proposed Concrete Sidewalk	Proposed Spot Elevation
Proposed 4" Wide Concrete Valley Gutter	Proposed Catch Basin
Proposed 2" Wide Concrete Valley Gutter	Proposed Drywell
Proposed 6" Vertical Curb and Gutter	BS = Bottom of Steps
Proposed 6" Vertical Curb and Gutter	TS = Top of Steps
Proposed 6" Reject Curb and Gutter	AP = Angle Point
Proposed Crown of Pavement	CC = Curb Cut
Proposed Asphalt	EDA = Edge of Asphalt
Proposed Roof Drain	ECC = Edge of Concrete
Proposed Storm Drain	FF = Finish Floor Elevation
	LIP = Lip of Gutter
	NG = Natural Grade
	FF = Finish Floor Elevation
	TP = Top of Concrete
	TP = Top of Pavement

- NOTES**
- Boundary information is approximate and based on record information.
 - Utility locations are approximate and locations should be verified before any excavation.
 - Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.



PRELIMINARY
12497
CONSTRUCTION

FOR DESIGN
REVIEW ONLY

NO	DATE	BY	REVISIONS

Galena Engineering Inc.
317 North River Street
Hailey, Idaho 83433
(208) 788-1705
(208) 788-4812 fax
email galena@galena-engineering.com

Civil Engineers & Land Surveyors

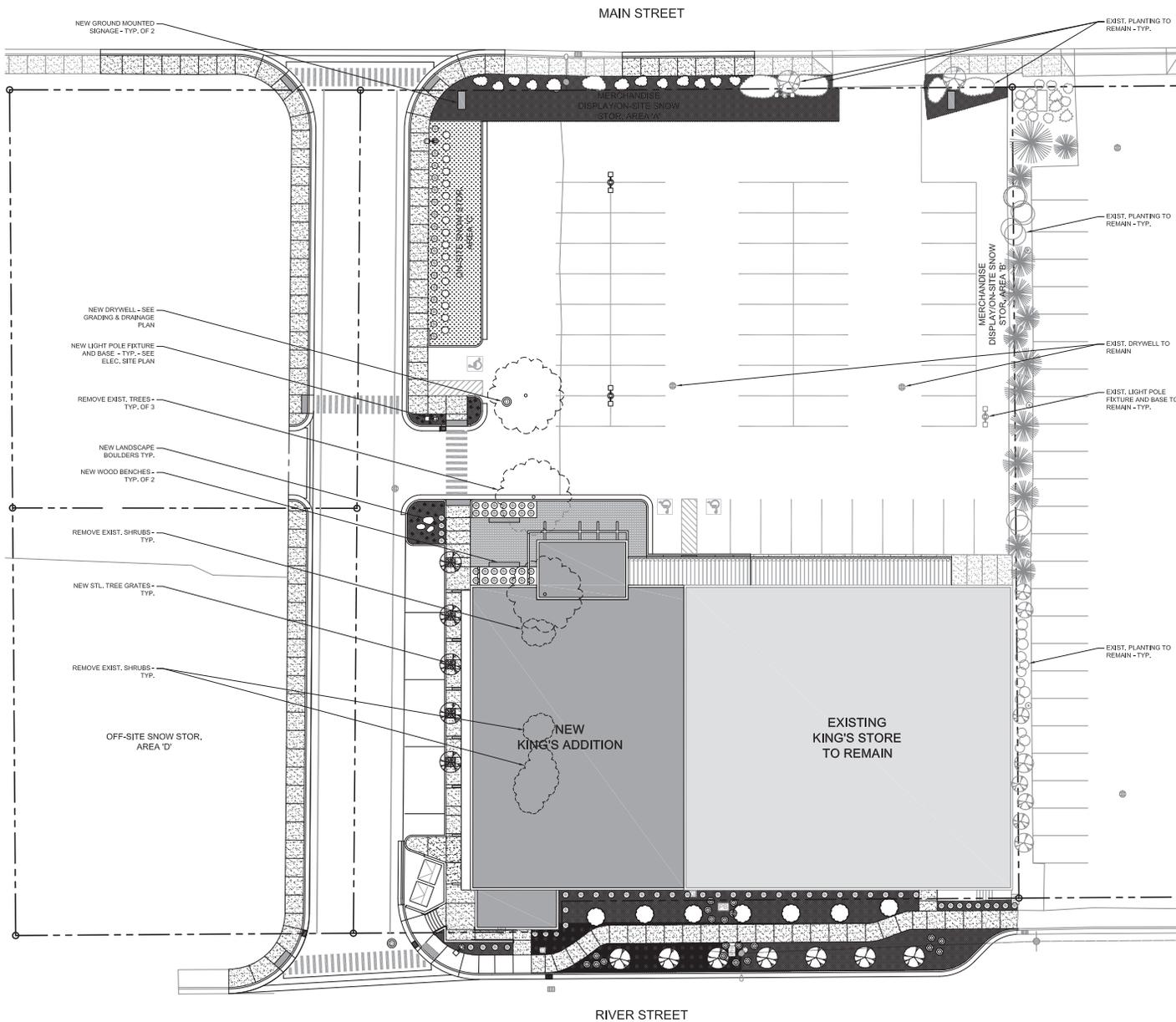
REUSE OF DRAWINGS
These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

DESIGNED BY: DATE
DRAWN BY: 06/20/15 DATE
BY: 06/22/15 DATE
CHECKED BY: DATE
11-02/13
FIELD BOOK

A PRELIMINARY GRADING AND UTILITY PLAN SHOWING
LOTS 1-5, 11-15, & ALLEY, BLOCK 68, HAILEY TOWNSITE
WITHIN SECTION 9, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
PREPARED FOR TOM KING

PROJECT INFORMATION
P:\edakproj\7148\dwg\Construction\Preliminary\7148SSite_Plan_061515.dwg 6/17/2015 9:48:07 AM MDT

C-2.0



GENERAL NOTES

1. ALL SPECIFIED TREES, PLANTS, SHRUBS, & GRASSES TO BE DROUGHT TOLERANT U.N.C.O.
2. ALL SPECIFIED TREES, PLANTS, SHRUBS, & GRASSES TO BE A USDA ZONE HARDINESS 4 OR LESS.
2. ALL DROUGHT TOLERANT GRASS AREAS TO HAVE A TEMPORARY IRRIGATION SYSTEM FOR SEED GERMINATION.

HARDSCAPE & GROUND COVER LEGEND

- NEW NON-MOW, DROUGHT TOLERANT, FESCUE MIX GRASSES
- NEW BARK GROUND COVER TO MATCH EXIST.
- NEW BROOM FINISH CONC. SIDEWALK
- EXIST. CONC. SIDEWALK TO REMAIN
- NEW CONC. PAVERS WITH MELT SYSTEM - COLOR T.B.D.

PLANT LEGEND

- FEATHER REED GRASS: CALAMAGROSTIS X ACUTIFLORA
QUANTITY: 81
SIZE: 1 GAL.
NOTES: DROUGHT TOLERANT
- BLUE OAT GRASS: HELICTOTRICHON SEMPERVIRENS
QUANTITY: 17
SIZE: 1 GAL.
NOTES: DROUGHT TOLERANT
- MUGO SLOWMOUND PINE: PINUS MUGO
QUANTITY: 12
SIZE: 1 GAL.
NOTES: DROUGHT TOLERANT
- BLUE FESCUE: FESTUCA GLAUCA
QUANTITY: 5
SIZE: PLANTS
NOTES: DROUGHT TOLERANT
- BIGTOOTH MAPLE: ACER GRANDIDENTATUM
QUANTITY: 12
SIZE: 2' & 2 1/2' CALIPER
NOTES: DROUGHT TOLERANT
- CANADA CHOKECHERRY:
QUANTITY: 7
SIZE: 2' CALIPER
NOTES: DROUGHT TOLERANT
- BLACK LACE ELDERBERRY: SAMBUCUS NIGRA
QUANTITY: 20
SIZE: 1 GAL.
NOTES: DROUGHT TOLERANT

PRELIMINARY
NOT FOR
CONSTRUCTION

KING'S VARIETY STORE
KINGS OF HALEY ADDITION
615 NORTH MAIN STREET | HALEY | IDAHO

BLISSARCHITECTURE | 408 SOUTH MAIN STREET | SUITE 3 | HALEY IDAHO 83433
P | 208-721-7424 | W | BLISSARCHITECTURE.COM

PROJECT NO. | 201505

DRAWN BY | EMB
CHECKED BY | EMB

DESIGN REVIEW
DATE | 06 26 2015

LANDSCAPE PLAN

L101

LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"

1

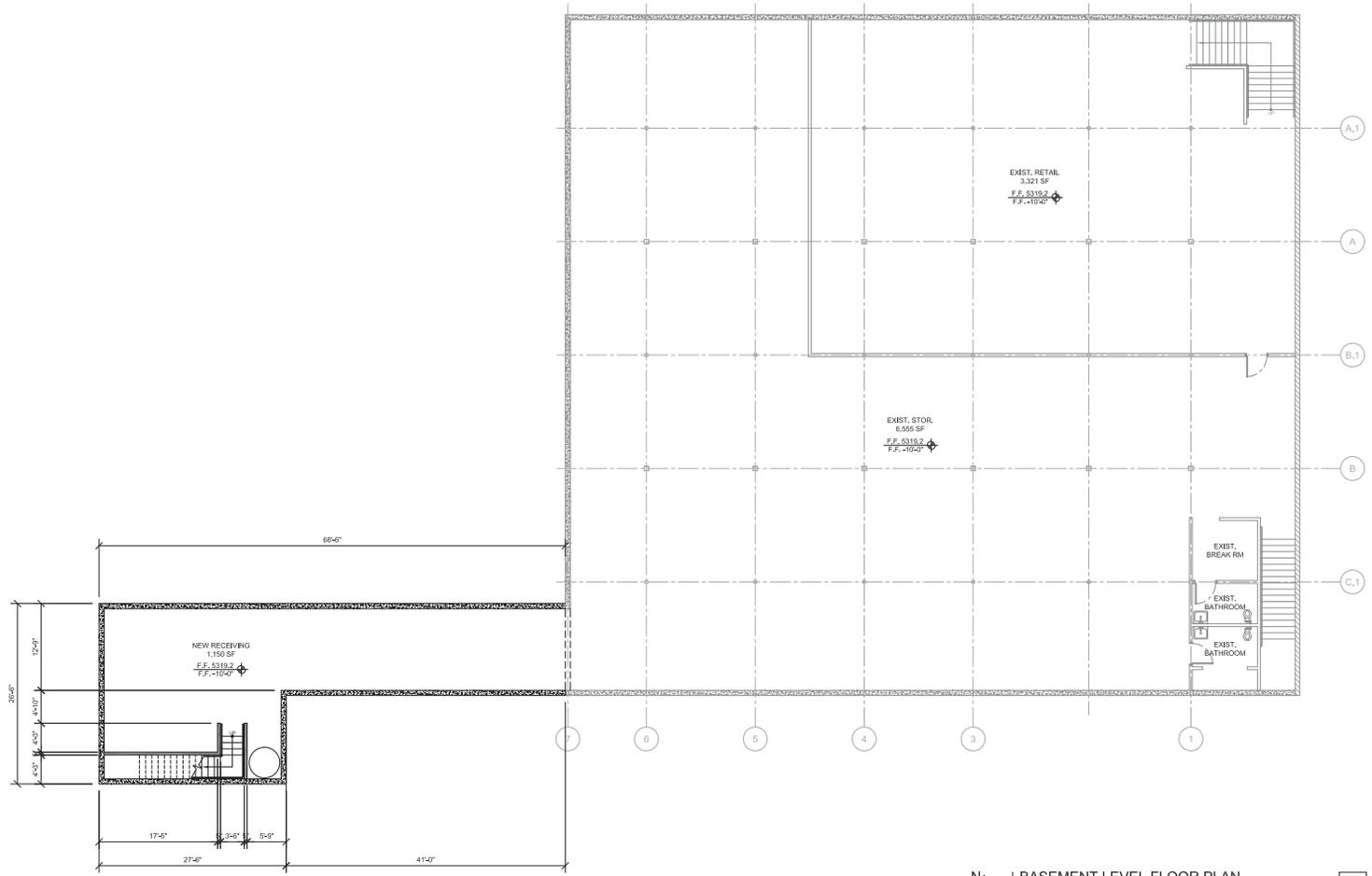
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FLOOR PLAN LEGEND

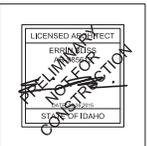
-  EXIST. 8x8x16 CMU FOUNDATION WALL TO REMAIN.
-  EXIST. CONC. FOUNDATION WALL TO REMAIN.
-  NEW CONC. WALL FOUNDATION WALL.
-  EXIST. CONC. FOUNDATION WALL TO BE REMOVED.

GENERAL NOTES

1. ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
2. ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
3. ALL SLOPED ROOF'S SHEDDING SNOW AND RAIN ONTO PEDESTRIAN AND VEHICULAR CIRCULATION PATHWAYS BELOW TO BE PROVIDED WITH SNOW CLIPS, GUTTERS, & DOWNSPOUTS UNO.



BASEMENT LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0" 1

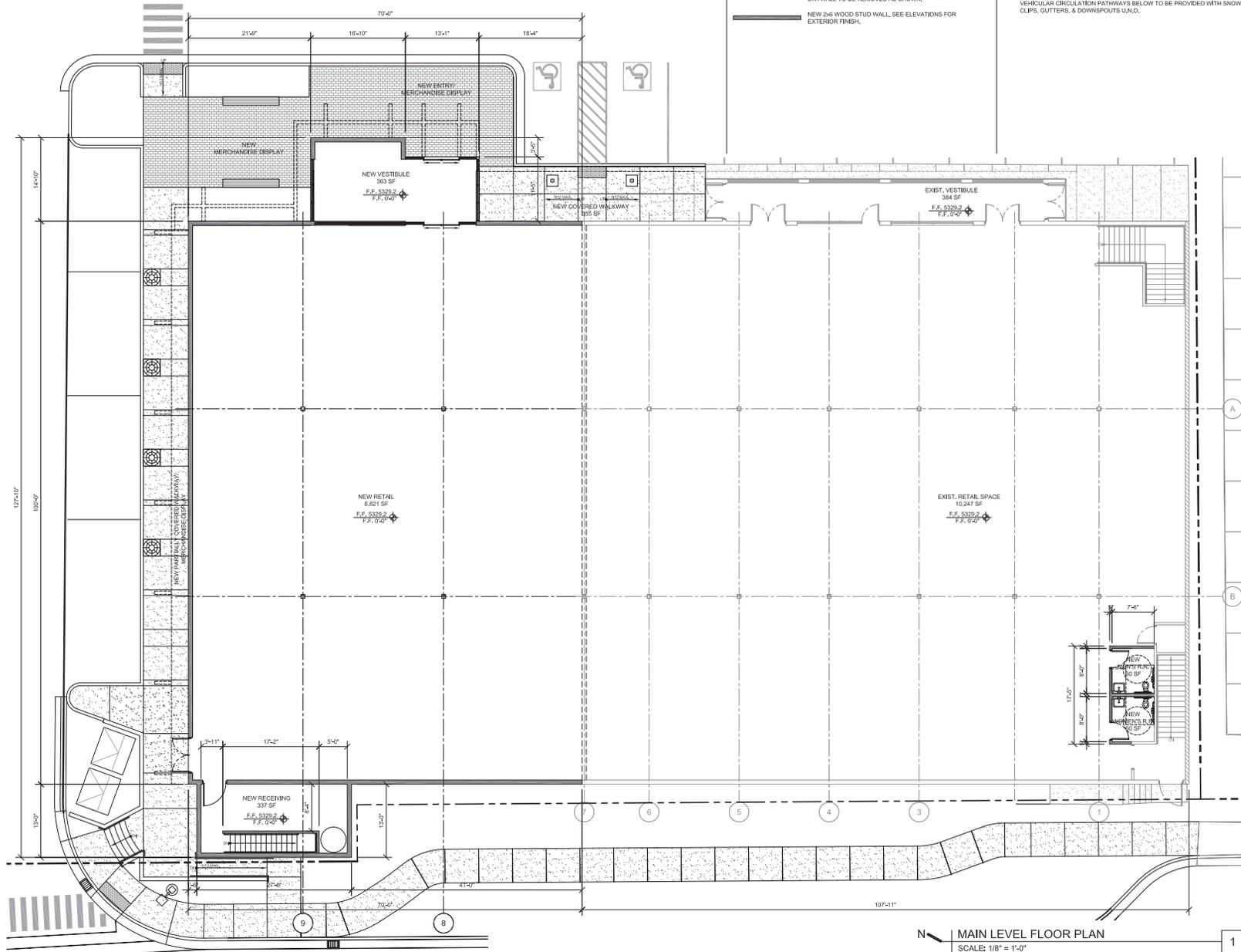


KING'S VARIETY STORE
KINGS OF HAILEY ADDITION
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PROJECT NO. | 201505
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 DESIGN REVIEW DATE | 08 26 2015
 BASEMENT LEVEL FLOOR PLAN

A101

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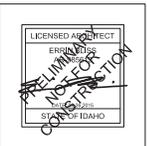


FLOOR PLAN LEGEND

- EXIST. 8x8x16 CMU WALL TO REMAIN.
- EXIST. 2x6 WOOD STUD WALL TO REMAIN. SEE ELEVATIONS FOR EXTERIOR FINISH.
- EXIST. 2x6 WOOD STUD WALL, SHEATHING, STUCCO, & DRYWALL TO BE REMOVED AS SHOWN.
- NEW 2x6 WOOD STUD WALL. SEE ELEVATIONS FOR EXTERIOR FINISH.

GENERAL NOTES

1. ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
2. ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
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KINGS OF HAILEY ADDITION
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 DATE | 08 26 2015

MAIN LEVEL
 FLOOR PLAN

A102

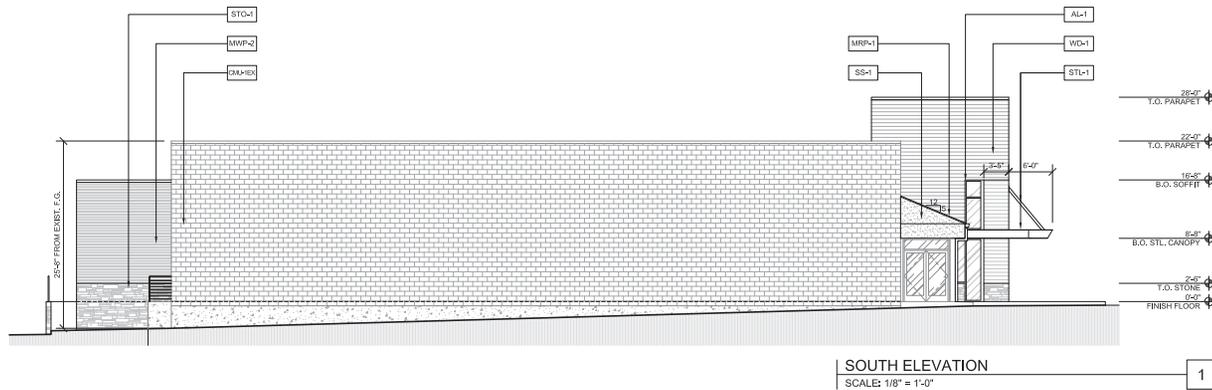
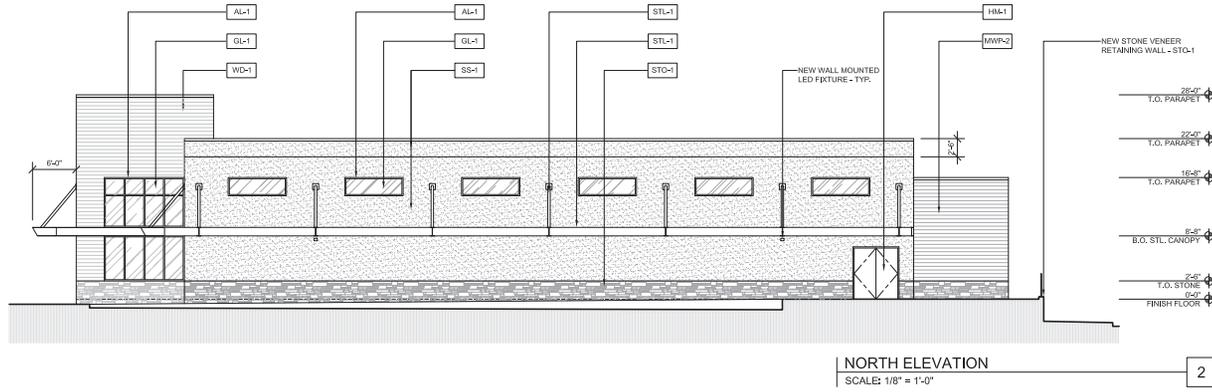
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MATERIAL SCHEDULE

AL-R: NEW CLEAR ANODIZED ALUM. STOREFRONT SYSTEM TO MATCH EXIST.	MWP-R: NEW METAL WALL PANEL PAINTED TO MATCH EXIST - 'TOMBSTONE GRAY' COLOR
AL-1EX: EXIST. CLEAR ANODIZED ALUM. STOREFRONT SYSTEM TO REMAIN.	MWP-1EX: EXIST. METAL WALL PANEL TO BE REPAINTED - 'TOMBSTONE GRAY' COLOR
GL-1: NEW CLEAR, DOUBLE GLAZED, LOW-E GLASS TO MATCH EXIST.	MWP-2: NEW CORRUGATED METAL WALL PANEL - 'GALVANIZED' COLOR
GL-1EX: EXIST. CLEAR GLASS TO REMAIN.	MWP-3: NEW/EXIST. METAL WALL PANEL TO BE PAINTED - 'VOLCANIC ROCK' COLOR
SS-1: NEW SYNTHETIC STUCCO TO MATCH EXIST. - 'TOMBSTONE GRAY' COLOR	STC-1: NEW DRYSTACK STONE VENEER - 'SUNSET GOLD'
SS-1EX: EXIST. SYNTHETIC STUCCO TO BE REPAINTED - 'TOMBSTONE GRAY' COLOR	HM-1: NEW HOLLOW METAL DOOR & FRAME - 'VOLCANIC ROCK' COLOR
WD-1: NEW 1x6 T&G WESTERN RED CEDAR - SEMI-TRANSPARENT STAIN 'SEQUOIA' COLOR	HM-1EX: EXIST. HOLLOW METAL DOOR & FRAME TO BE REPAINTED - 'VOLCANIC ROCK' COLOR
STL-1: NEW POWDER COATED STEEL - 'VOLCANIC ROCK' COLOR	CMU-1EX: EXIST. 8x8x16 CONCRETE MASONRY UNIT WALL TO BE REPAINTED 'TOMBSTONE GRAY' COLOR
MRP-1: NEW CORRUGATED METAL ROOF PANEL - 'GALVANIZED' COLOR	

GENERAL NOTES

1. ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
2. ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
3. ALL SLOPED ROOF'S SHEDDING SNOW AND RAIN ONTO PEDESTRIAN AND VEHICULAR CIRCULATION PATHWAYS BELOW TO BE PROVIDED WITH SNOW CLIPS, CUTTERS, & DOWNSPOUTS UNO.



KING'S VARIETY STORE
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BLISSARCHITECTURE | 408 SOUTH MAIN STREET | SUITE 3 | HAILEY IDAHO 83433
 P | 208-721-7424 | W | BLISSARCHITECTURE.COM

PROJECT NO. | 201505

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DESIGN REVIEW
 DATE | 08 26 2015

BUILDING ELEVATIONS

A201

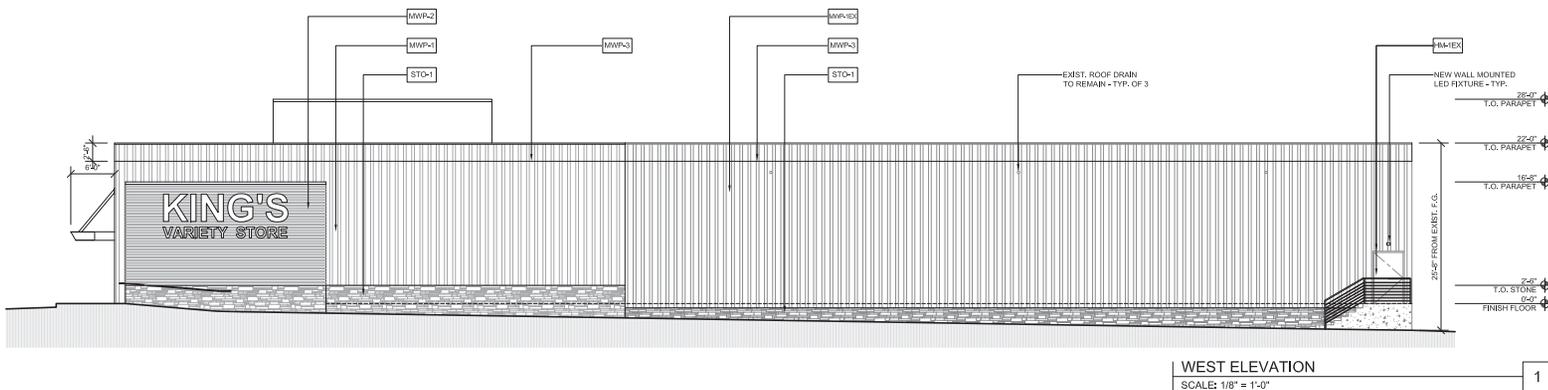
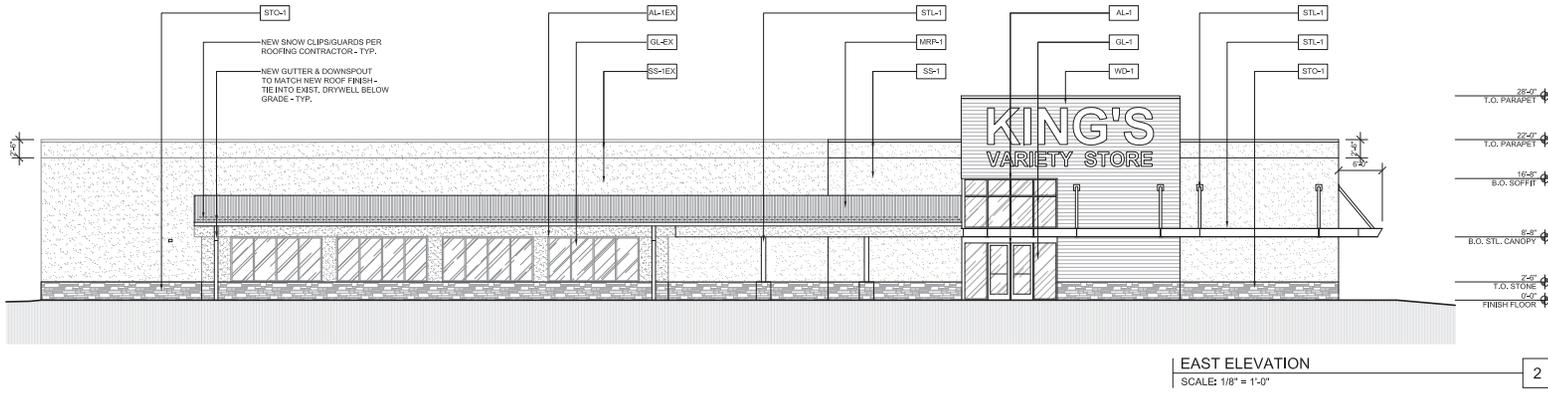
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MATERIAL SCHEDULE

AL-R: NEW CLEAR ANODIZED ALUM. STOREFRONT SYSTEM TO MATCH EXIST.	MWP-R: NEW METAL WALL PANEL PAINTED TO MATCH EXIST - 'TOMBSTONE GRAY' COLOR
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GL-1: NEW CLEAR, DOUBLE GLAZED, LOW-E GLASS TO MATCH EXIST.	MWP-2: NEW CORRUGATED METAL WALL PANEL - 'GALVANIZED' COLOR
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WD-1: NEW 1x6 T&G WESTERN RED CEDAR - SEMI-TRANSPARENT STAIN 'SEQUOIA' COLOR	HM-1EX: EXIST. HOLLOW METAL DOOR & FRAME TO BE REPAINTED - 'VOLCANIC ROCK' COLOR
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MRP-1: NEW CORRUGATED METAL ROOF PANEL - 'GALVANIZED' COLOR	

GENERAL NOTES

1. ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
2. ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
3. ALL SLOPED ROOF'S SHEDDING SNOW AND RAIN ONTO PEDESTRIAN AND VEHICULAR CIRCULATION PATHWAYS BELOW TO BE PROVIDED WITH SNOW CLIPS, GUTTERS, & DOWNSPOUTS UNO.



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PROJECT NO. | 201505

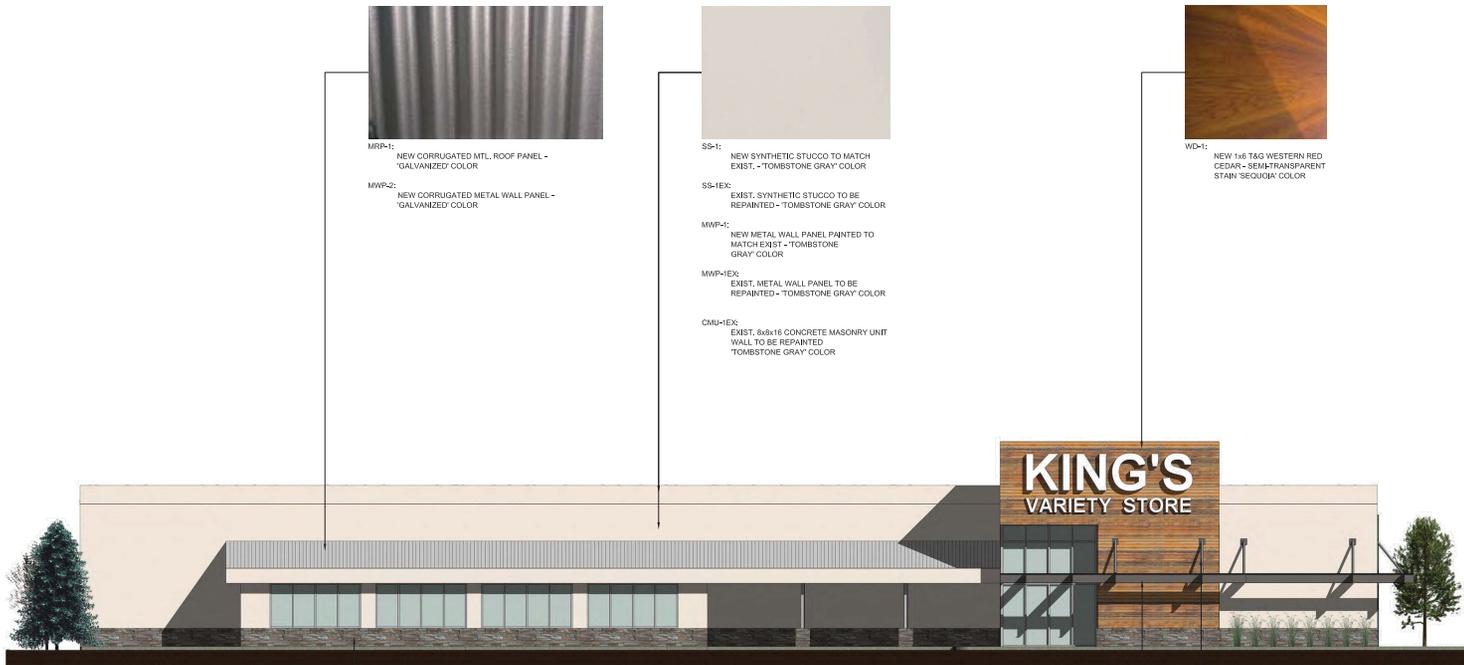
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DESIGN REVIEW
 DATE | 08 26 2015

BUILDING ELEVATIONS

A202

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MRP-1:
NEW CORRUGATED MTL. ROOF PANEL -
'GALVANIZED' COLOR

MWP-2:
NEW CORRUGATED METAL WALL PANEL -
'GALVANIZED' COLOR



SS-1:
NEW SYNTHETIC STUCCO TO MATCH
EXIST. - 'TOMBSTONE GRAY' COLOR

SS-1-EX:
EXIST. SYNTHETIC STUCCO TO BE
REPAINTED - 'TOMBSTONE GRAY' COLOR

MWP-1:
NEW METAL WALL PANEL PAINTED TO
MATCH EXIST - 'TOMBSTONE
GRAY' COLOR

MWP-1-EX:
EXIST. METAL WALL PANEL TO BE
REPAINTED - 'TOMBSTONE GRAY' COLOR

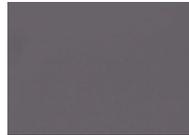
CMU-1-EX:
EXIST. 8x8x16 CONCRETE MASONRY UNIT
WALL TO BE REPAINTED
'TOMBSTONE GRAY' COLOR



WD-1:
NEW 1/4\"/>



STO-1:
NEW DRYSTACK STONE VENEER - 'SUNSET GOLD'



STL-1:
NEW POWDER COATED STEEL -
'VOLCANIC ROCK' COLOR

HM-1:
NEW HOLLOW METAL DOOR & FRAME -
'VOLCANIC ROCK' COLOR

HM-1-EX:
EXIST. HOLLOW METAL DOOR & FRAME
TO BE REPAINTED - 'VOLCANIC ROCK'
COLOR

MWP-3:
NEW/EXIST. METAL WALL PANEL TO BE
PAINTED - 'VOLCANIC ROCK' COLOR

RENDERED EAST ELEVATION
SCALE: 1/8" = 1'-0"

1

KING'S VARIETY STORE
KING'S OF HAILEY ADDITION
615 NORTH MAIN STREET | HAILEY | IDAHO
BLISSARCHITECTURE | 408 SOUTH MAIN STREET | SUITE 3 | HAILEY | IDAHO 83433
P | 208-721-7424 | W | BLISSARCHITECTURE.COM

PROJECT NO. | 201505

DRAWN BY | EMB
CHECKED BY | EMB

DESIGN REVIEW
DATE | 08 26 2015

MATERIALS BOARD &
RENDERED ELEVATION

A203

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FOR
REFERENCE
ONLY



EXIST. SOUTH ELEVATION
SCALE: N.T.S. 4



EXIST. WEST ELEVATION
SCALE: N.T.S. 2



EXIST. NORTH ELEVATION
SCALE: N.T.S. 3



EXIST. EAST ELEVATION
SCALE: N.T.S. 1

KING'S VARIETY STORE
KING'S OF HAILEY ADDITION
615 NORTH MAIN STREET | HAILEY | IDAHO
BLISSARCHITECTURE | 408 SOUTH MAIN STREET | SUITE 3 | HAILEY IDAHO 83433
P | 208-721-7424 W | BLISSARCHITECTURE.COM

PROJECT NO. | 201505

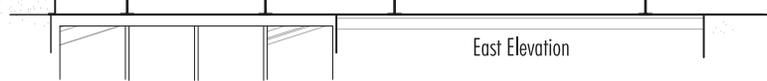
DRAWN BY | EMB
CHECKED BY | EMB

DESIGN REVIEW
DATE | 06 26 2015

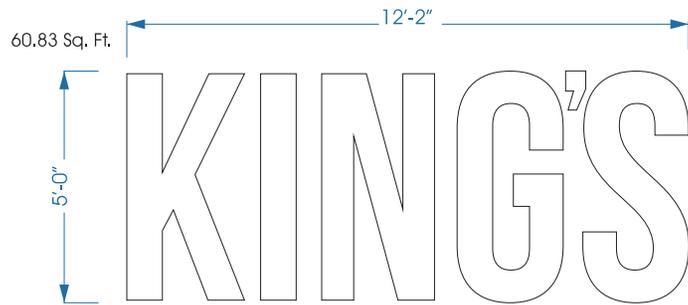
SITE PHOTOGRAPHS

A204

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East Elevation



60.83 Sq. Ft.

KING'S

87.00 Sq. Ft. Total



26.00 Sq. Ft.

VARIETY STORE

Unauthorised use, reproduction and/or display shall render the infringer liable for up to \$150,000 in statutory damages, plus attorney fees and costs for each infringement under the U.S. Copyright Act (17 U.S.C. 412 & 504).
 THIS RENDERING IS CONCEPTUAL---COLORS MAY NOT REPRESENT ACTUAL FINISH---ILLUMINATED AND DAYLIGHT COLORS WILL VARY

CLIENT:
 Kings

ADDRESS:
 615 N Main St.
 Holley, Idaho

JOB LOCATION:

DATE:
 23June2015

SCALE:
 3/8"=1'

ACCOUNT EXECUTIVE:
 Jack Y.

DRAWN BY:
 rdo

FILENAME:
 ...KingsHolley RefImage...

QUOTE #:
 23779

REVISIONS:

PAGE 1 OF 3
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Twin Falls Office
 P.O. BOX 305
 1925 KIMBERLY RD.
 TWIN FALLS, IDAHO 83303
 208.733.1739
 1.800.621.6836
 fax 208.736.8653

Boise/Meridian Office
 2070 E. COMMERCIAL ST.
 MERIDIAN, IDAHO 83642
 208.388.1739
 fax 208.388.3966
 www.lytlesigns.com
 sales@lytlesigns.com



West Elevation

— LAYOUT OPTION —



2 SETS — ILLUMINATED CHANNEL LETTER DISPLAY'S

W/ 2 ea. S/F ILLUMINATED WALL SIGNS

NOTE: EACH ELEVATION IS DIFFERENT SIZES

AN ILLUMINATED CHANNEL LETTER DISPLAY

WHITE ACRYLIC FACES WITH 2" BLACK TRIM-CAP

WHITE ALUMINUM RETURNS AND WHITE L.E.D. ILLUMINATION

(2) S/F ILLUMINATED WALL SIGNS

ALUMINUM CABINET PAINTED WHITE WITH WHITE POLYCARBONATE FACE

TRANSLUCENT VINYL APPLIED (SEE COLOR KEY — PAGE 3)

L.E.D. ILLUMINATION

FLUSH MOUNTED

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CLIENT:
 Kings

ADDRESS:
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 Holley, Idaho

JOB LOCATION:

DATE:
 23 June 2015

SCALE:
 3/8" = 1'

ACCOUNT EXECUTIVE:
 Jack Y.

DRAWN BY:
 rdo

FILENAME:
 ...KingsHolley RefImage...

QUOTE #:
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REVISIONS:

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REREFACE AN ILLUMINATED D/F POLE SIGN

NEW WHITE POLYCARBONATE FACES WITH TRANSLUCENT VINYL APPLIED (SEE COLOR KEY)

NOTE: POLE SIGN TO BE RESIZED & RELOCATED (NEW HEIGHT / LOCATION T.B.D.)

REUSE / REFURBISH POLE & COVER (COLOR T.B.D.)

NEW CONCRETE EMBEDMENT NEEDED

COLOR KEY

Pantone: 1807 Red	Pantone: 7697 Blue	Pantone: 442 Grey	Pantone: 547 Dark Blue
*Translucent Vinyl: #73 Dark Red	*Translucent Vinyl: #57 Olympic Blue	*Translucent Vinyl: #51 Silver Grey	*Translucent Vinyl: #36 Dark Blue
*HP Vinyl: #53 Cardinal Red	*HP Vinyl: #57 Olympic Blue	*HP Vinyl: #31 Medium Grey	*HP Vinyl: #397 Dark Blue

*VINYL COLORS ARE THE CLOSEST COLOR MATCH USING INDUSTRY STANDARD MATERIALS
DIGITAL PRINTING OF COLORS AVAILABLE UPON REQUEST

Unauthorised use, reproduction and/or display shall render the infringer liable for up to \$150,000 in statutory damages, plus attorney fees and costs for each infringement under the U.S. Copyright Act (17 U.S.C. 412 & 504).
THIS RENDERING IS CONCEPTUAL---COLORS MAY NOT REPRESENT ACTUAL FINISH---ILLUMINATED AND DAYLIGHT COLORS WILL VARY

CLIENT:
 Kings

ADDRESS:
 615 N Main St.
 Halley, Idaho

JOB LOCATION:

DATE:
 23June2015

SCALE:
 3/4"=1'

ACCOUNT EXECUTIVE:
 Jack Y.

DRAWN BY:
 rdo

FILENAME:
 ...KingsHalley RefImage...

QUOTE #:
 23779

REVISIONS:

PAGE 3 OF 3
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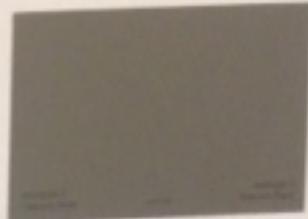




NEW 1/2" X 1/2" WOODEN BR
EXIST. WOOD FINISHING
TO BE REFINISHED



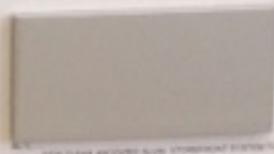
NEW CORRUGATED ALUM.
FINISHING COLOR
NEW CORRUGATED METAL WALL PANEL
TO BE FINISHED COLOR



NEW PINKISH COATED STEEL - VOLCANIC ROCK COLOR
NEW YELLOW METAL DOOR & FRAME - VOLCANIC ROCK COLOR
EXIST. YELLOW METAL DOOR & FRAME TO BE REFINISHED -
VOLCANIC ROCK COLOR
EXIST. METAL WALL PANEL TO BE FINISHED - VOLCANIC
ROCK COLOR



NEW SYNTHETIC BRICK TO MATCH EXIST. - TOMSTONE
GRAY COLOR
EXIST. SYNTHETIC BRICK TO BE REFINISHED - TOMSTONE
GRAY COLOR
NEW METAL WALL PANEL FINISH TO MATCH EXIST.
TOMSTONE GRAY COLOR
EXIST. METAL WALL PANEL TO BE REFINISHED - TOMSTONE
GRAY COLOR
EXIST. 8" X 8" CONCRETE MASONRY UNIT WALL TO BE
REFINISHED TOMSTONE GRAY COLOR



NEW CLEAR ANODIZED ALUM. SHOWERING SYSTEM TO MATCH
EXIST.
EXIST. CLEAR ANODIZED ALUM. SHOWERING SYSTEM TO
REMAIN



Return to Agenda

July 7, 2015

TO: Planning and Zoning Commission

FM: Lisa Horowitz, Community Development Director

RE: Text Amendment clarifying Design Review Exemptions

ATTACHMENT 1: Draft Ordinance clarifying Design Review Exemptions

Summary

Commissioners, staff and legal counsel all agree that clarification is needed as to what types of projects are subject to Design Review. The threshold for Design Review is found in two sections of the Code: Sections 6.A.1 outlines what new construction is required to go through Design Review. Section 6.A.2 outlines the authority of the Administrator, and exemptions. The current language is clear for new construction. For remodels and alterations, the current language makes it confusing for staff and applicants as to what threshold of review is required.

Procedural Process

The Commission has conducted three (3) public workshops on this matter: April 13, May 11 and June 8. Staff has incorporated feedback from those workshops into the attached ordinance draft.

Standards of Evaluation

Note: Staff analysis is in lighter type, *italicized words* are words or phrases added by staff for clarification purposes.

14.6 Criteria for Review. When evaluating any proposed amendment under this Article, the Commission and Council shall make findings of fact on the following criteria:

- a. The proposed amendment is in accordance with the Comprehensive Plan;**

The following is excerpted from the 2010 Comprehensive Plan:

Background Information

Good community design will create a legacy of well-planned public and private improvements for future generations and will include the conservation and enhancement of structures of architectural or historic value, and assure that new development does not detract from the city's historic character, which is one of Hailey's main assets.

The City of Hailey adopted Design Review guidelines in 1990. Since then the guidelines have been regularly amended to improve the results of their implementation.

Goals	Assessment ¹
<p>11.1 Establish a built environment that maintains a human scale, retains interest, aesthetics, encourages various levels of interaction among all members of the community, and enhances the character of different neighborhoods.</p> <p>11.2 Ensure building height and mass respects the scale of the traditional and historic built environment.</p>	<p>Annually tour newly constructed projects to identify areas for improvement in design review standards</p> <p>Periodically tour different neighborhoods.</p>

b. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;

No additional public costs are anticipated from this text change.

c. The proposed uses are compatible with the surrounding area; and

The proposed amendments do not change the threshold for projects requiring design review.

d. The proposed amendment will promote the public health, safety and general welfare.

The proposed amendment will clarify the design review process for the public and decision-makers.

Summary

The Planning and Zoning Commission shall hold a public hearing and determine whether the proposed amendments are in accordance with the applicable standards of evaluation.

The Planning and Zoning Commission shall make a recommendation to the City Council, with **findings on the four standards of evaluation** noted above. If the proposed changes are approved by the City Council, the Council shall pass an ordinance making said amendment part of Hailey Zoning Code Title 17. The draft ordinance is attached.

HAILEY ORDINANCE NO. __

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING HAILEY'S ZONING ORDINANCE, TITLE 17, BY AMENDING CHAPTER 17.06, DESIGN REVIEW, BY PROVIDING A NEW SECTION 17.06.000, PURPOSE OF DESIGN REVIEW; BY AMENDING SECTION 17.06.010, DESIGN REVIEW APPLICABILITY AND 17.06.020, AUTHORITY OF THE ADMINISTRATOR; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Hailey City Council has found that the following amendment to the Hailey Zoning Ordinance conform to the Hailey Comprehensive Plan;

WHEREAS, the Title does not contain a Purposes Section, which is desirable to give context to the regulations; and

WHEREAS, Sections 17.06.010, Design Review Applicability and 17.06.020, Authority of the Administrator, do not provide clarity as to projects requiring design review and projects exempt from design review; and

WHEREAS, the following amendments clarify the design review process, but do not make substantial changes to the design review thresholds; and

WHEREAS, the amendments will promote the public health, safety and general welfare.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section1: Section 17.06 is hereby amended to add a new section, Section 17.06.000, with the addition of the underlined language as follows:

Section 17.06.000. Purpose of Hailey Design Review

The following purposes describe the broad goals of Design Review. They are not intended to be prescriptive or regulatory.

- A. To ensure that the general appearance and function of building design and construction is compatible with character of the City of Hailey and its neighborhoods;
- B. To promote original and high quality design;
- C. To reinforce the historic and cultural character of the Hailey community;
- D. To encourage revitalization of downtown Hailey;
- E. To promote building and site design that fits into the context of established neighborhoods, and reinforces a "sense of place";
- F. To promote sustainable design principles;
- G. To promote walkable development and enhance the character and function of Hailey streets;
- H. To coordinate on site vehicular and non-vehicular traffic circulation patterns with adjacent transportation systems, and to manage the impact of the vehicular traffic on adjacent streets;

- I. To ensure efficient arrangement of on-site parking with regard to building location, safe access points, non-motorized travel, utilities and public services and adjacent land uses;
- J. To prevent unnecessary excavation or fill for building foundations, access roads, driveways and similar improvements including prevention soil erosion and flood damage;
- K. To ensure appropriate and adequate landscaping, with an emphasis on sustainable, low-water use landscaping and;
- L. To protect and conserve the economic base of Hailey including property values.

Section 2. Section 17.06.010 of the Hailey Zoning Ordinance Title 17, Chapter 17.06 is hereby amended by the addition of the underlined language and the deletion of the stricken language, as follows:

Section 17.06.010: Applicability.

- A. No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval or exemption pursuant to this Article, as outlined in the matrix and 17.01.020 below:
- B. ~~1. — A building for a non-residential Principal or Conditional Use within any zoning district.~~
- ~~2. — A building for a Public or Semi Public Use within any zoning district.~~
- ~~3. — A Multi-Family Dwelling of three or more units within any zoning district.~~
- ~~4. — A Single Family Dwelling, Duplex or Accessory Structure within the Townsite Overlay (TO) District.~~
- ~~5. — A Historic Structure.~~
- B. — Exemptions.
 - ~~1. — Murals and public art~~
 - ~~2. — Applications for non-emergency temporary structures are not subject to Design Review, but are subject to the Conditional Use Permit process as set forth in Article XI of the Zoning Ordinance.~~
 - ~~3. — Projects which qualify under Section 6A.2(A)(3) of this Article. (Ord. 1097, §1, 2012, Ord. 1062, §1, 2010)~~

Table 1: Project Types

<u>Type of Use</u>	<u>Exempt (PZ Chair and Administrator)</u>	<u>Hearings Examiner</u>	<u>Full PZ Review</u>
<u>NEW CONSTRUCTION</u>			
<u>All Zones: Non-residential Buildings</u>			<u>X</u>
<u>All Zones: Residential of three (3) or more units</u>			<u>X</u>

<u>Townsite Overlay District: New Single Family or Duplex</u>			<u>X</u>
<u>Townsite Overlay District: Accessory Structures</u>			<u>X</u>
<u>ADDITIONS</u>			
<u>Commercial: Additions under 500 square feet which are not prominently visible from a public street</u>	<u>X</u>		
<u>Townsite Overlay: Single Family, Duplex or Accessory Structure that adds floor area equal to or greater than 50% of the original structure</u>			<u>X</u>
<u>Townsite Overlay: Additions that adds floor area less than 50% of the original structure, and complies with Section 6.A.2.</u>	<u>X</u>		
<u>MODIFICATIONS THAT DO NOT ADD SQUARE FOOTAGE</u>			
<u>Minor Façade Changes, alterations to parking and other site elements</u>	<u>X</u>		
<u>Commercial: Major deck additions; changes to architectural elements which alter the overall style of the building; addition of window(s) or door(s); or changes to existing windows or doors that result in major stylistic changes; changes to architectural elements which alter the overall style of the building.</u>			<u>X</u>
<u>Commercial: Minor deck additions, changes to siding and/or materials, changes to window(s) or door(s) that do not result in major stylistic changes, landscape and/or parking changes that do not materially alter the flow of circulation</u>	<u>X</u>		
<u>Murals and Public Art</u>	<u>X</u>		
<u>Temporary Structures</u>	<u>X</u>		
<u>Projects which qualify under Section 6A.2 (A) (3) of this Article.</u>	<u>X</u>		

Section 3. Section 17.06.020 of the Hailey Zoning Ordinance Title 17, Chapter 17.06 is hereby amended by the addition of the underlined language and the deletion of the stricken language, as follows:

17.06.020: Authority of the Administrator.

The Administrator has the authority to review and make, or recommend, decisions as follows:

~~A. The Administrator has the authority to recommend for approval or denial certain applications for Design Review that the Administrator determines to have no substantial impact on adjacent properties or on the community at large, subject to final approval or denial by the Commission on its consent agenda. Such recommendation for approval or denial shall specify the standards used in evaluating the application; the reasons for the approval or denial; and conditions of approval, if any. Applications that have no substantial impact may include, but are not limited to: additions under five hundred (500) square feet or which are not prominently visible from a public street, façade changes and alterations to parking or other site elements~~

AB. Emergency Applications: Those applications for projects of an emergency nature, necessary to guard against imminent peril, regardless of zoning district, shall receive administrative review and approval, denial, or conditional approval, subject to criteria set forth in subsection 17.06.060B of this Chapter. The Administrator may, upon the request of the applicant or the direction of any City official, forward the application to the Commission for review

B-C. Exemptions: The Administrator, with concurrence from the Chair or the Chair's Designee, has the authority to ~~recommend~~ exemption of certain projects from the design review requirements, upon finding; the project is minor, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties. ~~Examples include, but are not limited to: applications that have no substantial impact, may include, but are not limited to: minor deck additions, changes to siding materials, changes to an existing window(s) or door(s), an addition of a window or door, and minor landscape changes.~~ Such ~~recommendation~~ for exemptions shall be documented in writing on file with the Community Development Department drafted in the form of Findings of Fact and Conclusions of Law, subject to final decision by the Commission on its consent agenda prior to issuance of a building permit. Should the Commission deny the Administrator's recommendation or Administrator and Chair determine that the proposal does not meet all of the above evaluation criteria, the project shall be subject to the provisions of this chapter prior to issuance of a building permit. Exemptions shall be included in the Commissioners packet at regular meetings for informational purposes.

C-D. Minor Modifications: The Administrator has the authority to approve minor modifications to projects that have received design review approval by the Commission prior to, and for the duration of a valid Building Permit. The Administrator shall make the determination as to what constitutes minor modifications and may include, but are not limited to changes to approved colors and/or siding materials, changes to site plans that do not significantly increase building footprints or significantly change driveway or road alignment, changes to landscape plans that do not decrease the amount of landscaping, changes to dumpster enclosures, changes to exterior lighting fixtures and location, or changes to windows that do not significantly affect project design, appearance or function. All approved modifications must be documented in a memo to the project file and on the approved set of plans on file with the city. For modifications to design review approval that are determined by the Administrator not to be minor, the Administrator has the authority to recommend approval or denial of such modifications, subject to final decision by the Commission on its consent agenda. Such recommendation for approval or denial shall be drafted in the form of Findings of Fact and Conclusions of Law.

Section 4. Severability Clause. Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

Section 5. Repealer Clause. All City of Hailey ordinances or parts thereof, which are in conflict herewith, are hereby repealed.

Section 6. Effective Date. This ordinance shall be in full force and effect from and after the required three (3) readings, approval, and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE MAYOR
THIS __ DAY JULY, 2015.

Fritz X. Haemmerle, Mayor, City of Hailey

Attest:

Mary Cone, City Clerk
Published: Idaho Mountain Express _____

[Return to Agenda](#)

July 7, 2015

TO: Planning and Zoning Commission

FM: Lisa Horowitz, Community Development Director

RE: Text Amendment to allow Urban Agriculture as an Accessory use for Schools

ATTACHMENT 1: Draft Ordinance regarding Urban Agriculture as an Accessory use for Schools

Summary

The City adopted Urban Agriculture provisions in 2010, with amendments in 2013. These sections of the code allow for the production of vegetables, fruits, honey and eggs for personal consumption, including production by members of a neighborhood or by a non-profit organization. Urban Agriculture is allowed in the following Zone Districts: LR-1, LR-2, GR, LB, and TN.

It has come to our attention that some schools (those located in the above zones) are allowed to conduct Urban Agriculture, but schools in the B and SCI-SO zone districts are not permitted to do so. (Note that schools are not permitted in a variety of zones; but only the zones that allow both Schools and Urban Agriculture are discussed in this memo.)

Two schools in Hailey are in these zone districts. The Sage School, on Aviation Drive is located in the SCI-SO Zone District. The Syringa Mountain School on Glenbrook Drive is in the B Zone District.

Staff is recommending an amendment to the District Use Matrix that would allow Urban Agriculture as an Accessory use for all Schools. This will level the playing field for all schools with regards to Urban Agriculture, but also limit the types of Urban Agriculture that may occur in the more commercial zone districts.

Standards of Evaluation

Note: Staff analysis is in lighter type,
Italicized words are words or phrases added by staff for clarification purposes.

14.6 Criteria for Review. When evaluating any proposed amendment under this Article, the Commission and Council shall make findings of fact on the following criteria:

a. The proposed amendment is in accordance with the Comprehensive Plan;

The Commission should consider how the proposed amendments relates to the various goals of the Comprehensive Plan. The Comprehensive Plan does not address Urban Agriculture but does encourage any activities that reduce the production of carbon dioxide. Local food production, including the production of honey, is one way to reduce the carbon footprint required for obtaining necessary food. In particular the following is addressed in the Comprehensive Plan, which was cited when Urban Agriculture was first added to Zoning Ordinance:

Environment Section - Greenhouse Gas Emissions

Principle: Strive to meet or exceed the Kyoto Protocol target of reducing greenhouse gas emissions seven percent below 1990 levels.

Implementation:

- a. Identify and implement cost-effective actions that will reduce the community's contribution to total global greenhouse gas emissions.*
- b. Integrate land use, building code, transportation and energy policies to support this goal.*

b. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;

No additional public costs are anticipated from this text change.

c. The proposed uses are compatible with the surrounding area; and

The proposed accessory use is compatible as an accessory use to Schools. The use will be subordinate and limited in scope.

d. The proposed amendment will promote the public health, safety and general welfare.

The proposed amendment will allow all schools in Hailey the opportunity to produce local, fresh, food (honey), and to educate students about Urban Agriculture.

Summary

The Planning and Zoning Commission shall hold a public hearing and determine whether the proposed amendments are in accordance with the applicable standards of evaluation.

The Planning and Zoning Commission shall make a recommendation to the City Council, with **findings on the four standards of evaluation** noted above. If the proposed changes are approved by the City Council, the Council shall pass an ordinance making said amendment part of Hailey Zoning Code Title 17. The draft ordinance is attached.

HAILEY ORDINANCE NO. __

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING HAILEY’S ZONING ORDINANCE, TITLE 17, BY AMENDING SECTION 17.05, OFFICAL USE MAP AND DISTRICT USE MATRIX TO ALLOW URBAN AGRICULTURE AS AN ACCESSORY USE TO SCHOOLS IN ALL ZONING DISTRICTS WHERE SCHOOLS ARE PERMITTED; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Hailey City Council has found that the following amendment to the Hailey Zoning Ordinance conforms to the Hailey Comprehensive Plan;

WHEREAS, schools have a variety of accessory activities to assist in the learning process, and urban agriculture is one such activity;

WHEREAS, schools are permitted conditionally in the GR, LB, B and SCI-SO Zones;

WHEREAS, Urban Agriculture is not permitted in two of the zones that allow schools (B and SCI-SO), creating a hardship for schools in those zones with regards to Urban Agriculture;

WHEREAS, urban agricultural uses, so long as accessory and subordinate, are compatible with the uses in B and SCI-SO zone districts; and

WHEREAS, the amendment will promote the public health, safety and general welfare.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. Portions of the District Use Matrix found in Section 17.05 of the Hailey Zoning Ordinance Title 17 are hereby amended by addition of the underlined language and by deletion of the stricken language, as follows (**changes are highlighted in yellow**):

Section 5.4 District Use Matrix

AGRICULTURAL USES														
Agriculture	Horses, a maximum of two (2) horses per acre on lots of one (1) acre minimum size	N	C	C	C	N	N	N	N	N	N	N	N	N
	Urban Agriculture (see definition)	N	P	P	P	N	P	P	N A	N	N	N	N A	N

Section 2. Severability Clause. Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

Section 3. Repealer Clause. All City of Hailey ordinances or parts thereof, which are in conflict herewith, are hereby repealed.

Section 4. Effective Date. This ordinance shall be in full force and effect from and after the required three (3) readings, approval, and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE MAYOR THIS__ DAY OF ____, 2015.

Fritz X. Haemmerle, Mayor, City of Hailey

Attest:

Mary Cone, City Clerk
Published: Idaho Mountain Express February 18, 2015

Return to Agenda

AGENDA ITEM SUMMARY

DATE: 07/13/15

DEPARTMENT: Public Works

DEPT. HEAD SIGNATURE: MP

SUBJECT: Consideration of Amendments to Title 18 Standard Drawings for water and wastewater.

AUTHORITY: ID Code _____ IAR _____ City Ordinance/Code _____
(IF APPLICABLE)

BACKGROUND/SUMMARY OF ALTERNATIVES CONSIDERED:

The following describes the Standard Drawing No. and the amendment:

- Amendment to Standard Drawing No. 18.14.010.C.4, to clarify connection standards for new sewers;
- Amendment to Standard Drawing Nos. 18.14.010.B.3 and 18.14.010.B.8, clarifying meter type and connection requirements for residential water service and adding that double check valve devices are appropriate for low hazard protection.
- Creating new Standard Drawing Nos. 18.14.010.B.9, 18.14.010.B.10 and 18.14.010.B.11 specifying the required water service layout, installation standards for reduced-pressure principle backflow assemblies and pressure-vacuum breaker assemblies.

FISCAL IMPACT / PROJECT FINANCIAL ANALYSIS:

ACKNOWLEDGEMENT BY OTHER AFFECTED CITY DEPARTMENTS: (IF APPLICABLE)

___ City Attorney	___ Finance	___ Licensing	___ Administrator
___ Library	___ Community Development	___ P&Z Commission	___ Building
___ Police	___ Fire Department	___ Engineer	___ W/WW
___ Streets	___ Parks	<u> X </u> Public Works	___

Mayor _____

RECOMMENDATION FROM APPLICABLE DEPARTMENT HEAD:

Discuss the proposed ordinance and standard drawings and motion to approve Ordinance _____, amending Title 18 Standard Drawings No. 18.14.010.C.4, 18.14.010.B.3 and 18.14.010.B.8 and creating new Standard Drawing No. 18.14.010.B.9, 18.14.010.B.10 and 18.14.010.B.11.

ACTION OF THE CITY COUNCIL:

Date _____
City Clerk _____

FOLLOW-UP:

*Ord./Res./Agrmt./Order Originals: Record *Additional/Exceptional Originals to: _____

HAILEY ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF HAILEY AMENDING, SECTION 18.14 OF THE HAILEY MUNICIPAL CODE, TO CREATE NEW BACKFLOW PREVENTION DEVICE AND IRRIGATION LAYOUT DRAWINGS; TO AMEND EXISTING DOUBLE CHECK VALVE, RESIDENTIAL WATER SERVICE CONNECTION AND SEWER SERVICE CONNECTION STANDARD DRAWINGS; BY PROVIDING FOR A REPEALER CLAUSE; BY PROVIDING FOR A SEVERABILITY CLAUSE AND BY PROVIDING AN EFFECTIVE DATE AFTER PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Mayor and the City Council of the City of Hailey wish to amend the Hailey Municipal Code to ensure the safety of the City of Hailey water supply, to comply with state mandated water regulations, provide clarification, reflect approved and current manufacturer and parts and ensure proper installation of all allowed devices; and

WHEREAS, the Mayor and City Council find that the amendments to the Chapter will further the public health, safety and general welfare.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. Section 18.14 of the Hailey Municipal Code is hereby amended by repealing the existing Standard Drawing No., as follows and replacing them with the attached Standard Drawings dated 2015:

18.14.010.C.4

18.14.010.B.3

18.14.010.B.8

Section 2. Section 18.14 of the Hailey Municipal Code is hereby amended by creating the following new Standard Drawing Numbers:

18.14.010.B.9

18.14.010.B.10

18.14.010.B.11

Section 3. All Ordinances or Resolutions or parts thereof in conflict herewith are hereby repealed and rescinded.

Section 4. If any section, paragraph, sentence or provision hereof or the application thereof to any particular circumstances shall ever be held invalid or unenforceable, such holding shall not affect the remainder hereof, which shall continue in full force and effect and applicable to all circumstances to which it may validly apply.

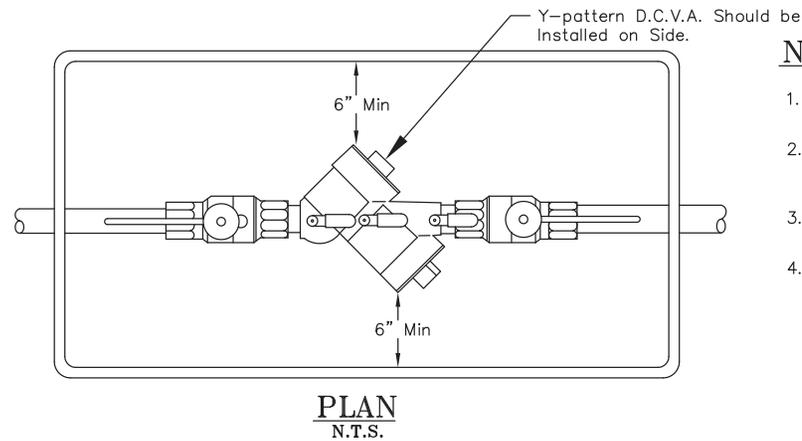
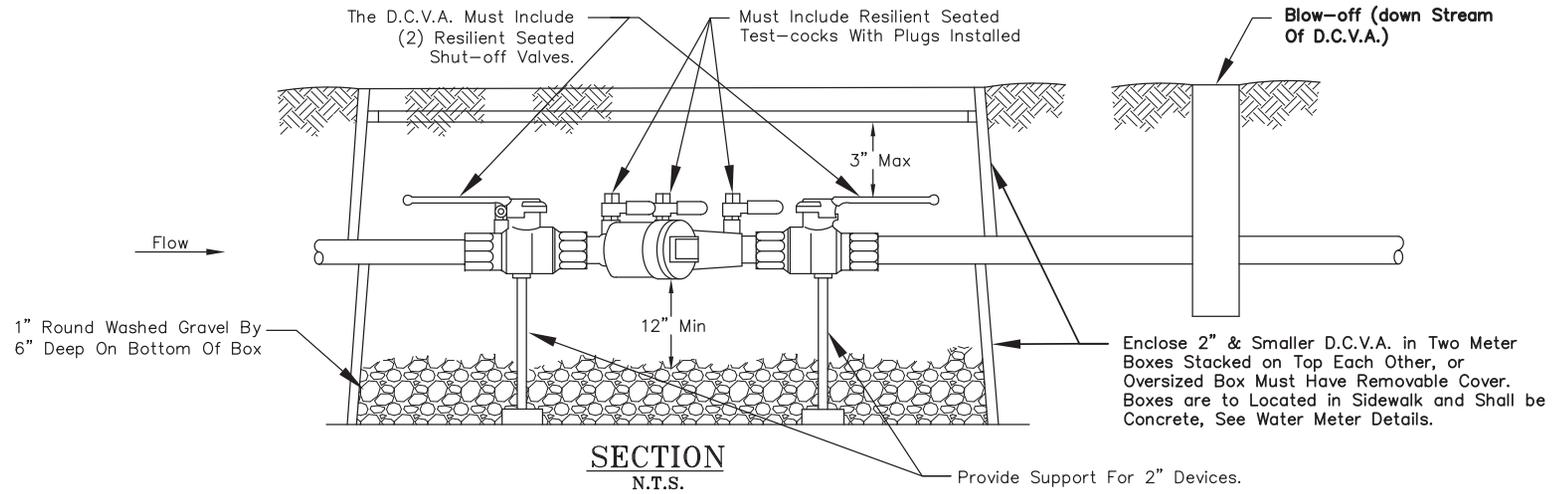
Section 5. This Ordinance shall be in full force and effect after its passage, approval and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL and approved by the Mayor this ___ day of _____, 2015.

Fritz X. Haemmerle, Mayor
City of Hailey

ATTEST:

Mary Cone, City Clerk



NOTES

1. All Backflow devices must be certified by USC Engineering Center and on the Approved List.
2. Proposed devices must be tested prior to and after installation by an Idaho certified backflow device tester or suitable fire system professional.
3. All services shall conform to the vertical and horizontal separation requirements per DEQ.
4. Check valves shall be U.S.C. approved devices.

FOR LOW HAZARD CONDITIONS

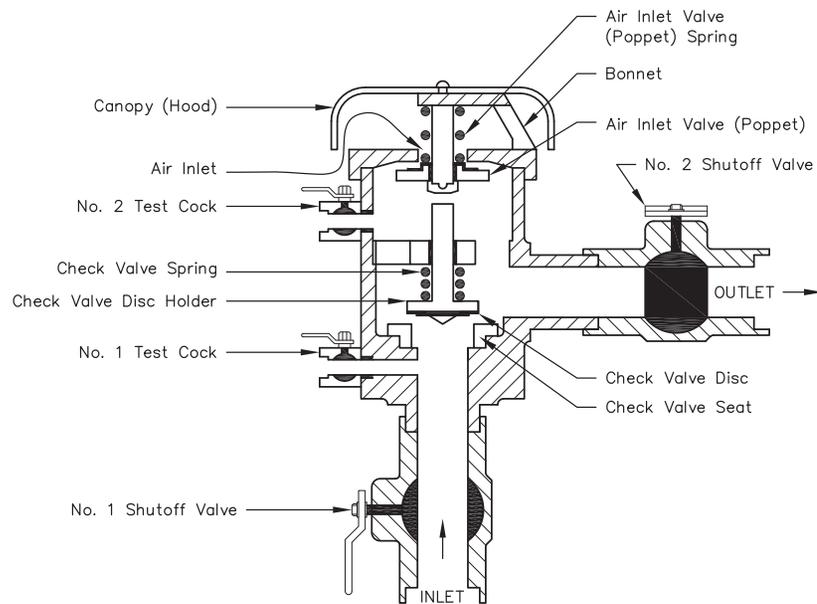
REVISIONS

2015 CITY OF HAILEY
STANDARD DRAWINGS

IRRIGATION SYSTEM
DOUBLE CHECK VALVE
LOW HAZARD ONLY

18.14.010.B.8

DRAWING NO.



N.T.S.

NOTES

1. This device is only for protection for backsiphonage applications in both low health and high hazard conditions.
2. This device must be installed 12" above any down stream pressurized component in the system.
3. See Standard Drawing 18.14.010.b.11 for layout location.

FOR HIGH HAZARD CONDITIONS

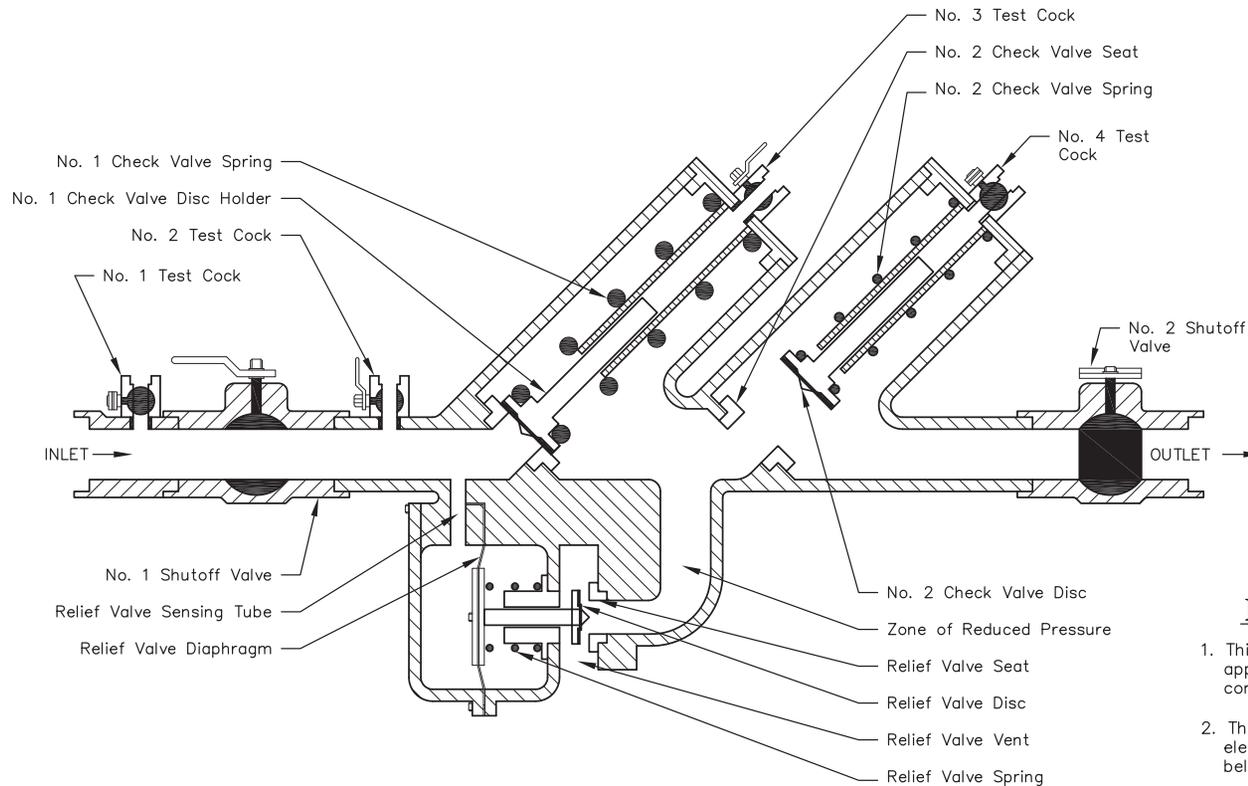
REVISIONS

2015 CITY OF HAILEY
STANDARD DRAWINGS

PRESSURE-VACUUM
BREAKER ASSEMBLY (PVBA)

18.14.010.B.9

DRAWING NO.



N.T.S.

NOTES

1. This device is for backsiphonage and backpressure applications in both low health and high health hazard conditions.
2. This device must be installed 12" above all adjacent ground elevations, and cannot be located in crawl space that is below ground.
3. See Standard Drawing 18.14.010.B.11 for layout location.

FOR HIGH HAZARD CONDITIONS

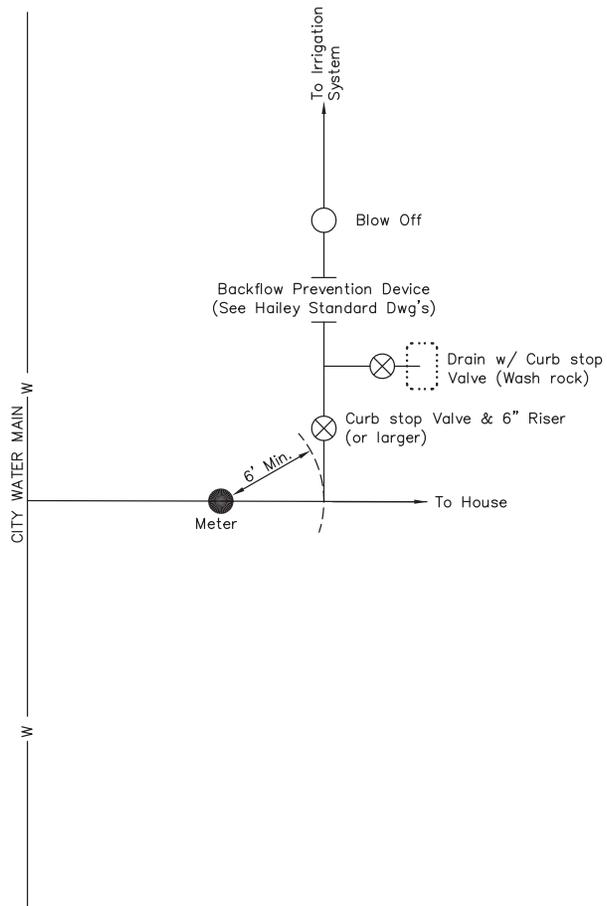
REVISIONS

2015 CITY OF HAILEY
STANDARD DRAWINGS

REDUCED-PRESSURE
PRINCIPLE BACKFLOW
ASSEMBLY (RPBA)

18.14.010.B.10

DRAWING NO.



NOTES

1. This plan is the desired typical layout for new & old development. New Water shall conform to this general conceptual layout except as otherwise specified and approved by the City.
2. The Owner/Developer shall show all Water service locations on design plans as approved by City.
3. Water Meters shall be located a minimum of 6 Feet from Fire Hydrants.

**PLAN VIEW
TYPICAL WATER IRRIGATION LAYOUT**

N.T.S.

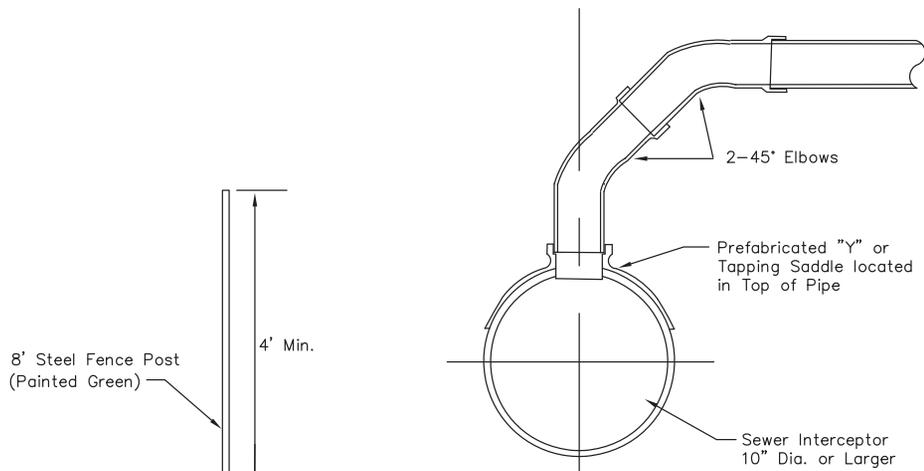
REVISIONS

2015 CITY OF HAILEY
STANDARD DRAWINGS

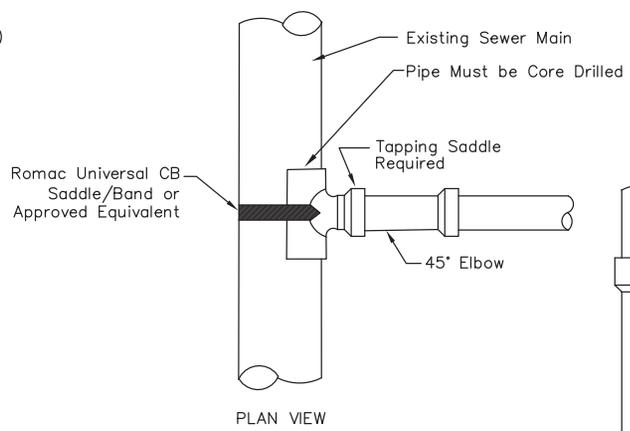
TYPICAL WATER
IRRIGATION LAYOUT

18.14.010.B.11

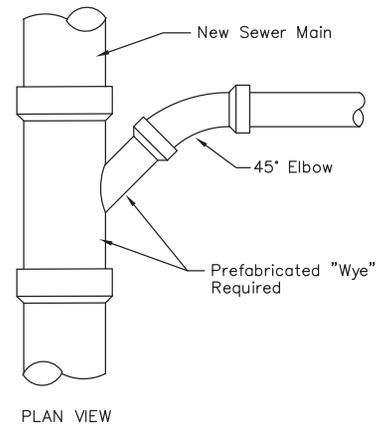
DRAWING NO.



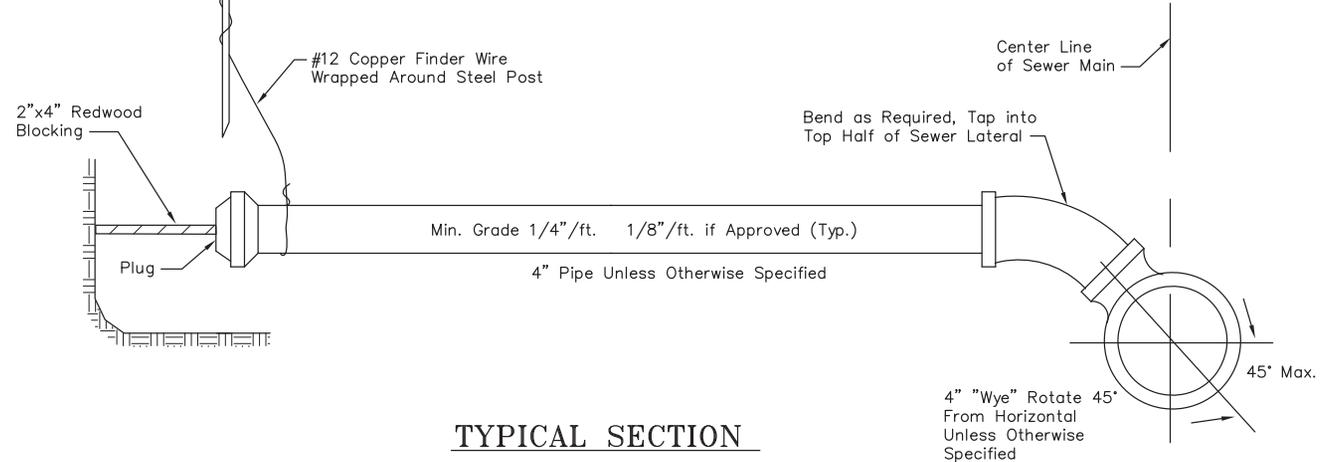
PROFILE VIEW
CONNECTION FOR INTERCEPTOR SEWERS
 N.T.S.



PLAN VIEW
CONNECTION FOR EXISTING SEWER
 N.T.S.



PLAN VIEW
CONNECTION FOR NEW SEWER
 N.T.S.



TYPICAL SECTION
CONNECTION FOR NEW SEWER
 N.T.S.

NOTES

1. Sewer taps shall not enter at manholes.
2. An approved tapping saddle shall be required for all new taps to existing sewer laterals. Saddle to be approved by The City Engineer.
3. An owner constructing a new public sewer system in a subdivision or development shall construct a sewer tap and service for each potential user and extend it into the property.
4. When Sewer and Water lines or services cross refer to the current edition of ISPWC Standard Drawing 407, IDAPA 58.01.08.542.07.a and IDAPA 58.01.08.542.07.b which address the requirements for separation distances between potable water lines (including mains and service lines) with non-potable lines.

REVISIONS	2015 CITY OF HAILEY STANDARD DRAWINGS	SEWER SERVICE CONNECTION	18.14.010.C.4 DRAWING NO.
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