

**AGENDA**  
**HAILEY PLANNING & ZONING COMMISSION**  
**Monday, August 24<sup>th</sup>, 2015**  
**Hailey City Hall**  
**5:30 p.m.**

**Call to Order**

**Public Comment** for items not on the agenda

**Consent Agenda**

- [CA 1](#) Motion to approve minutes of July 13<sup>th</sup>, 2015
- [CA 2](#) Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Tom King, Kings Variety Store, represented by Errin Bliss Architecture for an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store located at 615 North Main Street (Lots 1-5 and 11-15, Block 68, Hailey Townsite) in the Business (B) Zone District. The application request includes a proposal for a Private Road on the north property boundary connecting from Main Street to River Street.
- [CA 3](#) Motion to approve Findings of Fact and Conclusions of Law for a Design Review Exemption submitted by Tyler & Jennifer Helms, represented by Riley Buck of Pioneer Cabin Company, for a 129 square foot addition to an existing accessory structure located at 206 2<sup>nd</sup> Avenue North (Lots S 7' of 20, 21, & N 22' of 22, Block 47, Hailey Townsite).
- [CA 4](#) Motion to approve Findings of Fact and Conclusions of Law for a Design Review Exemption submitted by Cuyler and Alyson Swindley for a shed roof dormer addition to an existing primary structure located at 217 4<sup>th</sup> Avenue North (Lots S ½ of 3, 4 & 5, Block 48, Hailey Townsite).

**New Business and Public Hearings**

- [NB 1](#) Consideration of a Design Review application by Dan & Stephy Smith, for an 876 square foot newly built detached accessory structure (garage) on the north side of the existing principal building located at 109 Croy Street West (Lots 19A, Block 1, Croy Addition) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.
- [NB 2](#) Consideration of a Zone Change application by Scott Miley, represented by Galena Engineering, for an amendment to the City of Hailey Zoning District Map. Proposed changes would rezone the Hailey Townsite, Lots 1-10, Block 45 (17 East Carbonate Street, 209, 211, 215 and 219 N. 1<sup>st</sup> Ave.) from General Residential (GR) to Limited Business (LB) thereby allowing addition commercial uses on each lot. Staff will also prepare analysis of other zoning districts for the Commission to consider.
- [NB 3](#) Consideration of an application for a Subdivision, submitted by ARCH Community Housing, of Lots 3 & 4, of Block 66, Hailey Townsite, by creating four residential condominium units and accompanying common spaces. The new subdivision is proposed to be 521 River Street Condominiums consisting of a total condominium area of 2,851.2 square feet. Current property is within the Business (B) and Townsite Overlay (TO) zoning districts. The existing structure houses four apartment units and no new construction is necessary for the condominium conversion.
- NB 4 Consideration of a city initiated text amendment and accompanying ordinance to repeal Hailey's Mobility Design Ordinance, Ordinance No. 1116 and subsequent amendments thereto, in their entirety and replace it with a newly codified Mobility Design Ordinance, as Title 18 of the Hailey Municipal Code. This repeal and replacement is intended to codify the Mobility Design Ordinance into the Hailey Municipal Code.

*\*Documents to be provided at meeting.*

**Old Business**

**Commission Reports and Discussion**

**Staff Reports and Discussion**

- SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.  
(no documents)
- SR 2 Discussion of the next Planning and Zoning meeting: Monday, September 14<sup>th</sup>, 2015.  
(no documents)

**Adjourn**

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

**MINUTES OF THE  
HAILEY PLANNING & ZONING COMMISSION  
Monday, July 13<sup>th</sup>, 2015  
Hailey City Hall  
5:30 p.m.**

***Present: Janet Fugate, Dan Smith, Owen Scanlon, Richard Pogue  
Staff: Lisa Horowitz, Kristine Hilt, Mariel Platt  
Absent: Regina Korby***

**Call to Order**

**5:30:10 PM Chair Fugate called the meeting to order.**

**Public Comment** for items not on the agenda  
*None was given.*

**Consent Agenda**

- CA 1 Motion to approve minutes of June 8<sup>th</sup>, 2015
- CA 2 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by The Rock Church (Wood River Assembly of God) represented by Michael Barker Architect for an exterior renovation to the existing church located at Lots 7 and 8, the north ½ of Lot 9 and the south half of Lot 6 of Block 65, Hailey Townsite, (511 North Main Street) within the Business (B) and Townsite Overlay (TO) Zoning Districts.
- CA 3 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Evans Plumbing, Inc. represented by Owen Scanlon Architect for a new industrial building located at Lots 4A, 4B, 4F and 4G of Airport West Phase 2, (111 Gulf Stream Lane) within the Service Commercial Industrial District (SC-I) Zoning District.
- CA 4 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Kristina Boatwright represented by Liberty Construction/Kolo, LLC for a 1,800 square foot addition to an existing residence and a new garage with a 600 square foot accessory dwelling unit located at the S. ½ of Lot 5, Lots 6 & 7, and the north ½ of Lot 8 of Block 61, Hailey Townsite, (525 N. Fourth Avenue) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.
- CA 5 Motion to approve Findings of Fact and Conclusions of Law for a Design Review Exemption submitted by the Legacy Group, represented by Tanner Construction, for the conversion of an exterior door to a window located at lots 4-5, block 53, Hailey Townsite (313 Main Street North) within the Townsite Overlay (TO) and Business (B) Zoning Districts.
- CA 6 Motion to approved a Design Review Modification submitted by Friedman Memorial Airport, represented by Ruscitto/Latham/Blanton, for Design Review modification for changes to the exterior siding, omission of two horizontal windows, and removal of sun shade canopies and metal tie-rods for the new airport operations building, located on tax lot 8151, FR SEC 10, 15, 22 (1616 Airport Circle), within the Airport District A Zone.
- CA 7 Motion to approve a Design Review Exemption submitted by Janet Longe, represented by Hollis Rumpeltes Architects, for the addition of a 188 sf room to an existing principal structure located at 221 4<sup>th</sup> Avenue North (Lots 1, 2 & N ½ of 3, Block 48, Hailey Townsite) within the Limited Residential -1 (LR-1) and Townsite Overlay (TO) Districts.

**5:30:54 PM Owen Scanlon recused himself from item CA3 and pulled CA6 and CA7. Dan Smith moved to approve CA 1, 2, 4 and 5. Richard Pogue seconded and the motion carried. Dan Smith moved to approved CA 3, Richard Pogue seconded and the motion carried.**

[5:31:59 PM](#) Owen Scanlon asked Nick Latham of RLB Architects to discuss CA 6. Nick Latham, RLB, stood to summarize the changes to the approved design review for the newly constructed Airport Operations building located at Friedman Memorial Airport. He included details about windows, awnings, siding installation, and other minor modifications that have been changed during the current construction phase of the project. Discussion between the applicant and the Commission included details about the changes. [5:42:37 PM](#) Owen Scanlon moved to approve CA 6. Richard Pogue seconded and the motion carried unanimously.

[5:43:06 PM](#) Kristine Hilt showed the Commission elevations of the existing house. [5:47:51 PM](#) Dan Smith moved to approve CA7. Owen Scanlon seconded and the motion carried.

## **New Business and Public Hearings**

NB 1 Consideration of a Design Review application by Tom King, Kings Variety Store, represented by Errin Bliss Architecture for an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store located at 615 North Main Street (Lots 1-5 and 11-15, Block 68, Hailey Townsite in the Business (B) Zone District. The application request includes a proposal for a Private Road on the north property boundary connecting from Main Street to River Street.

[5:49:02 PM](#) Tom King, King's Variety Store, stood and introduced the project and the need for improvements to the existing business. Errin Bliss, project Architect, introduced himself and his background as an architect and resident of the Wood River Valley. Errin then briefed the Commissioners on details of the proposed improvements and addition to King's Variety Store. He included information about the proposed parking lot, site plan, parking, the addition of a new road, the loading/unloading dock for shipments, sidewalk configuration, and dumpster enclosures and proposed wrapped artwork in lieu of enclosures.

[6:00:26 PM](#) Errin continued with information about proposed landscaping and notified the Commissioners about existing landscaping to be removed as well. Owen Scanlon inquired about the proposed landscaping and noted that fruit trees were not desirable for pedestrian walkways due to the fruit falling on the sidewalks.

[6:06:36 PM](#) Discussion between Tom King, Errin Bliss and Commission included floor plan details, entries location, and storage areas.

[6:07:46 PM](#) Errin Bliss introduced the colored renderings of the proposed building elevations and included details about the colors, material samples and signage.

[6:18:27 PM](#) Owen Scanlon inquired about the snow storage. Errin Bliss summarized the proposed snow storage areas for the site and noted that he was proposing on using Goode Motor's lot. Owen Scanlon expressed concern about approving a project that utilizes a neighboring lot for snow storage.

[6:22:08 PM](#) Janet Fugate inquired about lighting. Lisa Horowitz noted key details about the proposed lighting plan and informed the Commissioners about the existing non-conforming lights. Dan Smith included details about the Federal recommended minimums and maximums for parking lot lighting. Dan Smith added that extra illumination for the entrance to the parking lot may be necessary for safety and that the current extra lighting is existing.

[6:28:42 PM](#) Janet Fugate inquired about the private road and who would be responsible for maintenance. Lisa Horowitz noted that the crosswalks, bike lanes, and proposed improvements met City Standards. Dan Smith inquired about site drainage and storm water retention. Lisa Horowitz noted that she had met with the Street Department to review the drainage plan and that the Street Department approved the revised plans.

[6:34:40 PM](#) Janet Fugate inquired about the required parking and Lisa Horowitz noted that the proposed parking exceeded City requirements. Discussion between staff and the Commission included sidewalk placement and parking. Richard Pogue inquired about the proposed wrapped dumpsters. He noted that he was not optimistic about the appearance. Lisa Horowitz notified the Commissioners that the idea had

been one of the Hailey Arts and Historic Preservation Commission. Owen Scanlon inquired about the height of the sidewalk behind the dumpsters and noted that the handrail along the sidewalk and stairs may be used as screening for the dumpster.

**6:41:00 PM** Chair Fugate opened the meeting for public comment. Tony Evans, Hailey resident, noted that he supported the installation of a new access road from River Street to Main Street and that it would be extremely beneficial to residents and pedestrians alike. Tony also noted that he would like to see the City of Hailey support this project and the King's Variety Stores. No other public comment was given. Chair Fugate closed public comment.

**6:44:33 PM** Chair Fugate inquired about the proposed diagonal parking spaces and she noted that diagonal may be more efficient. Errin Bliss noted that with diagonal parking, the parking lot would be directional and limit circulation. Owen Scanlon suggested Swedish Aspens to the applicant for proposed landscaping.

**6:48:16 PM** Chair Fugate noted that the Commission should address the important questions that arose including snow storage, lighting, and the dumpster enclosure. The Commissioners agreed that the dumpster should be enclosed on at least three sides and may be wrapped on the front. They also agreed that the proposed snow storage would be sufficient and that the lighting that was non conforming could remain unchanged.

**6:55:59 PM** Dan Smith moved to approve the Design Review application submitted by Tom King, Kings Variety Store, represented by Errin Bliss Architecture for an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store, and recommend to the City Council approval for a Private Road on the north property boundary connecting from Main Street to River Street, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (j) are met. J being screened dumpster on 3 sides with front wrap. Lisa Horowitz suggested that condition d should be modified to allow existing non conforming lighting. Owen Scanlon seconded and the motion passed unanimously.

NB 2        Consideration of a city initiated text amendment and accompanying ordinance to amend the Hailey Municipal Code, to amend Article 6A, Design Review Section 6.A.1, Design Review Applicability and 6.A.2, Authority of the Administrator. The amendment clarifies what types of projects are approved by the Commission, by Community Development staff, or are exempt from Design Review.

**6:59:16 PM** Lisa Horowitz summarized the most recent changes for the Commission. The Commission discussed the proposed changes, including the proposed clarifications and criteria for moving forward with various projects.

**7:01:05 PM** Chair Fugate opened the meeting for public comment. Geoffrey Moore, Hailey resident, noted a concern about having just the PZ Chair work with staff to approve projects. He suggested having a Commissioner generally work with staff. He also suggested that the proposed changes should include references to definitions for both Accessory Structures and Accessory Dwelling Units. The Commission, staff, and Geoffrey Moore discussed the exact language for his suggested edits.

**7:10:24 PM** Chair Fugate closed public comment.

**7:10:58 PM** Owen Scanlon motioned to approve NB 2 and recommend approval to the City Council a city initiated text amendment and accompanying ordinance to amend the Hailey Municipal Code, to amend Article 6A, Design Review Section 6.A.1, Design Review Applicability and 6.A.2, Authority of the Administrator with the suggested change specified in regards to Accessory Dwelling Units and an addition that a permit be required and added to the matrix. Dan Smith seconded and the motion carried unanimously.

NB 3        Consideration of a city initiated text amendment and accompanying ordinance to amend the

Hailey Municipal Code, to amend Section 5.4, District Use Matrix, to allow Urban Agriculture as an Accessory Use to School regardless of Zone District.

*7:12:35 PM Lisa Horowitz summarized the proposed City initiated text amendment to the Commissioners and included a background of why staff was pursuing the changes. The Commission inquired about what specifically would be approved. Staff noted that it was just bees and chickens. Chair Fugate inquired about what standards a conditional use would follow. Staff clarified.*

*7:14:39 PM Chair Fugate opened the meeting for public comment. Svea Grover, Syringa Mountain School, stood and briefed the Commissioners on why the school would like to incorporate urban agriculture into their curriculum for students. Chair Fugate closed public comment. 7:16:31 PM Owen Scanlon inquired about the fate of the chickens after they were finished laying eggs and Svea Grover noted that they would not be used for butchering learning opportunities. 7:18:23 PM **Richard Pogue moved to approve and recommend the city initiated text amendment and accompanying ordinance to amend the Hailey Municipal Code, to amend Section 5.4, District Use Matrix, to allow Urban Agriculture as an Accessory Use to School regardless of Zone District to the City Council. Owen Scanlon seconded and the motion passed.***

NB 4 Consideration of a city initiated text amendment and accompanying ordinance to repeal Hailey's Subdivision Ordinance, Ordinance No. 821 and subsequent amendments thereto, in their entirety and replace it with a newly codified Subdivision Ordinance, as Title 16 of the Hailey Municipal Code. This repeal and replacement is intended to codify the Subdivision Ordinance into the Hailey Municipal Code.

NB 5 Consideration of a city initiated text amendment and accompanying ordinance to repeal Hailey's Zoning Ordinance, Ordinance No. 532 and subsequent amendments thereto, in their entirety and replace it with a newly codified Zoning Ordinance, as Title 17 of the Hailey Municipal Code. This repeal and replacement is intended to codify the Zoning Ordinance into the Hailey Municipal Code.

*7:35:47 PM Lisa Horowitz summarized the codification process to the Commissioners and noted that there were no documents received from the City Attorney for **NB 4, NB 5, and NB 6**. Lisa Horowitz informed the Commissioners that titles 16, 17, and 18 would need to be repealed in entirety and adopted as is. Discussion between the Commissioners and staff included the renumbering of sections and paragraphs. Staff noted that no text changes were proposed with the exception of the recommendation to move the duties of the Planning and Zoning Commission to Title 2 of the Hailey Municipal Code with the rest of the duties and authorities of the rest of the Commissions and Boards for the City of Hailey.*

*7:48:00 PM Dan Smith noted that he would like to reference a few sections of the old code and cross check those with the newly proposed printed Zoning Code.*

*7:50:42 PM **Richard Pogue motioned to approve the city initiated text amendments and accompanying ordinances to repeal Hailey's Subdivision and Zoning Ordinances, No. 532 and No. 821 and subsequent amendments thereto, in their entirety and replace them with a newly codified Subdivision Ordinance, as Title 16, and a newly codified Zoning Ordinance, as Title 17 of the Hailey Municipal Code. Dan Smith seconded and the motion carried.***

NB 6 Consideration of a city initiated text amendment and accompanying ordinance to repeal Hailey's Mobility Design Ordinance, Ordinance No. 1116 and subsequent amendments thereto, in their entirety and replace it with a newly codified Mobility Design Ordinance, as Title 18 of the Hailey Municipal Code. This repeal and replacement is intended to codify the Mobility Design Ordinance into the Hailey Municipal Code.

*7:53:30 PM **Richard Pogue moved to continue NB 6 to the next Planning & Zoning meeting to be held***

*on August 24, 2015.*

NB 7 Consideration of Amendments to Title 18 Standard Drawings No. 18.14.010.C.4 Sewer Service Connection, to clarify connection standards for new sewers, and retitling said drawing as “Typical Section Connection for New Sewer”, 18.14.010.B.8 clarifying installation standards and providing standard drawings for reduced-pressure principle backflow assemblies and pressure-vacuum breaker assemblies, and 18.14.010.B.3 clarifying meter type and connection requirements for residential water service and creating new Standard Drawings No. 18.14.010.B.9, 18.14.010.B.10 and 18.14.010.B.11 clarifying installation standards and providing standard drawings for reduced-pressure principle backflow assemblies and pressure-vacuum breaker assemblies.

*7:19:26 PM Mariel Platt introduced the proposed changes to the City standard drawings to the Commissioners. Mariel Platt discussed each drawing in detail and explained each one of the drawings and the proposed changes and clarifications.*

*7:28:30 PM Owen Scanlon moved to approve the amendments to Title 18 Standard Drawings No. 18.14.010.C.4 Sewer Service Connection, to clarify connection standards for new sewers, and retitling said drawing as “Typical Section Connection for New Sewer”, 18.14.010.B.8 clarifying installation standards and providing standard drawings for reduced-pressure principle backflow assemblies and pressure-vacuum breaker assemblies, and 18.14.010.B.3 clarifying meter type and connection requirements for residential water service and creating new Standard Drawings No. 18.14.010.B.9, 18.14.010.B.10 and 18.14.010.B.11 clarifying installation standards and providing standard drawings for reduced-pressure principle backflow assemblies and pressure-vacuum breaker assemblies and recommended the amendments to City Council.*

*7:29:38 PM Chair Fugate opened the meeting to public comment. Tony Evans inquired if this was just housekeeping. Mariel Platt confirmed that these amendments were just housekeeping.*

*Chair Fugate closed the meeting to public comment.*

*Richard Pogue seconded and the motion carried.*

*Chair Fugate called for a short recess.*

*7:35:14 PM Chair Fugate called the meeting back to order.*

## **Old Business**

## **Commission Reports and Discussion**

## **Staff Reports and Discussion**

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

*(no documents)*

SR 2 Discussion of the next Planning and Zoning meeting: TBD

*(no documents)*

*The Commission discussed the next meeting dates and determined that the next best available date for Commissioners and staff would be August 24, 2015.*

## **Adjourn**

*7:55:42 PM Owen Scanlon moved to adjourn. Richard Pogue seconded and the motion carried.*

**RETURN TO AGENDA**

## **FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION**

On May 11, 2015 the Hailey Planning & Zoning Commission considered a Design Review application by Tom King, Kings Variety Store, represented by Errin Bliss Architecture for an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store located at 615 North Main Street (Lots 1-5 and 11-15, Block 68, Hailey Townsite in the Business (B) Zone District. The application request includes a proposal for a Private Road on the north property boundary connecting from Main Street to River Street. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

### **FINDINGS OF FACT**

#### **Notice**

Notice for the public hearing was published in the Idaho Mountain Express on June 24, 2015 and mailed to property owners within 300 feet on June 24, 2015.

#### **Application**

The applicant is proposing an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store. The project shows significant exterior design upgrades, and a revised circulation and loading plan.

The proposal includes a new private road connecting Main Street to River Street. Two curb cuts on Main Street (one serving Goode Motors, the other servicing Kings) will be consolidated to create the new street. The new private street would have a 42' right of way profile, within which is two 12' drive lanes, two 4' bike lanes and two 6' sidewalks on either side.

#### **Procedural History**

The application was submitted on June 1, 2015 and certified complete on June 24, 2015. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on July 13, 2015, in the Hailey City Council Chambers.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b>
				<b>Life/Safety: No comments</b>
				<b>Water and Sewer:</b>
				<b>Building:</b>
			Streets: River Street must be under a 3% slope to avoid drainage problems Stop signs should be added at both intersections Crosswalk striping should be thermoplastic and striped per City Standards	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	<b>8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</b>
			Staff Comments	<i>The plans show two monument signs and signs mounted on the building faces as shown in the design package. Only one monument sign is permitted, so one will be eliminated. The signs will comply with the City's maximum sign area and other bulk regulations. Staff has been working with the applicant on a signage package that complies with city regulations, matches the character of Hailey, but respects the Kings logo.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	<b>See Section 9.4 for applicable code.</b> 9.4.2- 1 parking space per 1,000 gross square feet
			Staff Comments	<i>The Zoning Code requires 1 parking space per 1,000 gross square feet. The project contains 31,500 gross square feet (including 12,074 square feet of basement) so 32 parking spaces are required. The site plan shows 51 parking spaces, plus an additional 5 flex spaces that also double as a loading zone on during delivery hours.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	<b>8B.4.1 General Standards</b> <ol style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent:                             <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ol>
			Staff Comments	<i>A lighting plan has been submitted showing:                  Two existing 400-watt high pressure sodium lights on the street side and the south side (called out as EX1) these two lights are existing and are nonconforming with respects to height and illumination. Hailey Code requires that parking lot lighting not exceed an overall illumination of 1.5 foot-candles. The existing parking lot (due to these two lights) is at 3 average foot-candles, exceeding the City regulations. The Commission determined that these existing nonconforming lights should be grandfathered in.</i>

				<p><i>New lighting proposed:</i></p> <p><i>Two parking lot lights ((KAD Led, called out as F1);                  City standard street lights along the south side of theme private road. (City standard, called out as F-2)                  Four wall-pack lights affixed to the building (called out as F3) Six commercial downlights (called out as F4). All lighting is downcast and meets City standards.</i></p> <p><i>All new lighting complies with City standards; however some darker areas do exist in the parking lot as shown on the lighting plan.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Bulk Requirements</b></p> <p><b>(Insert sections from applicable zoning district)</b>  <b>Maximum Height: 35'</b>  <b>Setbacks: 0</b>  <b>Lot Coverage: 0</b>  <b>Aggregate Maximum Floor Area: 36,000 gross square feet</b></p>	<p><i>The 28' tall building complies with all bulk requirements.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>6A.7 (A) Required Street Improvements Required</b></p>	<p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p>
			<p><b>Staff Comments</b></p>	<p><i>Sidewalks are existing on Main Street, and are provided on the new Private Road and On River Street. Sidewalks are an average of 6' in width (Existing Main Street sidewalk is 6' wide).</i></p> <p><i>Community Development and Public Works staff are comfortable with the sidewalk widths proposed since, a) the new street is a private street, and bike lanes are provided; and b) the River Street sidewalk is not in a heavily used retail portion of the street.</i></p> <p><i>A site drainage plan has been provided. Modifications to drainage on River Street have been requested from Public Works staff to alleviate drainage concerns in the south end. These changes have been made and were brought to the meeting.</i></p>

**Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey**

**1. Site Planning: 6A.8 (A) 1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1a	<p><b>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</b></p>
			<b>Staff Comments</b>	<p><i>The location of the existing building creates limitations on where the new addition could go, and limits solar orientation of buildings. Sun exposure for covered walkways and merchandise display areas, as well as for a new main entry is planned.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1b	<p><b>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be</b></p>

				<p style="text-align: center;"><b>preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</b></p>
			<b>Staff Comments</b>	<p><i>All existing plant material has been inventoried and delineated on the landscape plan. There are three large mature trees on the site, one of which may be able to be retained. However, the viability of retaining one tree in the hardscape setting is questionable.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1c	<p><b>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</b></p>
			<b>Staff Comments</b>	<p><i>The new proposed private street connecting from Main to Rivers will greatly increase pedestrian and nonmotorized connections in a portion of town with above average block lengths.</i></p> <p><i>Proposed 6'-6" and 6'-9" wide sidewalks running east/west will connect pedestrians and bicyclists (via new 4' bike lanes) from Main St. to the new building entrance, and then to River St. A proposed 6'-0" wide sidewalk and associated crosswalk along River St. will connect existing sidewalks to the north and south of the site together to form a continuous sidewalk along the entire River Street frontage. Note that the sidewalk along River Street must connect in two different locations on the north and south ends due the location of the existing sidewalks north and south. Staff believes that the sidewalk location shown on the plans is a reasonable solution, allowing for landscaping on both sides of the sidewalk.</i></p> <p><i>The passage width between the street trees and the building is wheelchair accessible, based on the tree grate selected. A minimum of 4' clear zone for wheelchairs is required in Title 18, Mobility Standards. See also additional discussion of street trees elsewhere in this report.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1d	<p><b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b></p> <p><b>e. 9.2.2 Loading Space Requirements and Dimensions. The following regulations shall apply to all commercial and industrial uses with on-site loading areas. A. One (1) loading space shall be provided for any single retail, wholesale or warehouse occupancy with a floor area in excess of 4000 square feet, except grocery and convenience stores where one (1) loading space shall be provided for a floor area in excess of 1000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12 feet. B. Convenient access driveways to loading spaces from streets or alleys shall be</b></p>
			<b>Staff Comments</b>	<p><i>Due to the location of the existing building and on-site parking, space for loading and trash storage/pickup areas are impractical and undesirable at the rear of the building along River Street. Consequently, the unloading zone for the building's delivery of merchandise and the trash storage area is proposed along the north side of the building accessed via the new private road. This appears to be the most practical location for the delivery and dumpster locations. The sidewalk along this frontage is adjacent to the building. A letter from Clearcreek Disposal stating that the dumpster location and design is adequate will be required as a Condition of Approval.</i></p> <p><i>The site plan shows space for several loading areas that meet dimensional requirements. The new addition would require one loading area. The loading area as designed can accommodate a large delivery truck.</i></p> <p><i>These locations will not impede with snow storage areas and will be screened with a combination of landscaping, enclosures, and the building itself. Note that it is also proposed that the trash receptacles themselves will be clad in a vinyl wrap consisting of artistic images. Actual images will be brought to the meeting.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1e	<b>f. Where alleys exist, or are planned, they shall be utilized for building services.</b>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	<b>g. Vending machines located on the exterior of a building shall not be visible from any street.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	<p><b>h. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b></p> <p><b>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b></p> <p><b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b></p>
			<i>Staff Comments</i>	<i>The existing Kings Building is located to the rear of the lot, with the parking in the front adjacent to Main Street. It would not be feasible to move the existing building to the front of the lot. The building entrance is reconfigured, making it a more prominent feature on the site. The parking area is buffered by two existing trees along Main Street, and proposes landscaping along the new private street on the north. One or two additional street trees may be appropriate on the north edge of the property. In summer, the applicant proposes the outdoor garden center will be near the street as shown on the plans. This will also soften the street edge of the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1h	<b>i. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b>
			<i>Staff Comments</i>	<i>Two main Street curb cuts (one on the subject property and one on Goode Motors to the north) are being consolidated into one as part of this application, which will reduce vehicular/pedestrian conflicts. Additional buffering of the parking is shown on the north side adjacent to the new private street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	<b>j. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b>
			<i>Staff Comments</i>	<i>Where practical, on-site snow storage has been provided. However, the applicant has noted that the current/existing snow storage areas are limited. With the proposed building addition and site improvements, it is not possible to meet the on-site storage requirements. Therefore, it is proposed that the majority of snow storage occur at the southwest corner of the Goode lot, directly north of the proposed private drive. This location is currently an empty, underutilized, gravel covered lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	<b>k. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b>
			<i>Staff Comments</i>	<i>25% of the improved parking/vehicle and pedestrian circulation areas require 10,439 square feet of snow storage. The applicant has shown this amount of snow storage on site and on the adjacent undeveloped lot to the north. The Commission discussed this snow storage, and found the plans as submitted to be adequate.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	<b>l. A designated snow storage area shall not have any dimension less than 10 feet.</b>
			<i>Staff Comments</i>	<i>Dimensional requirements have been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1l	<b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b>

			<b>Staff Comments</b>	<i>If the adjacent site were to be redeveloped, snow would need to be hauled from this site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1m	<b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b>
			<b>Staff Comments</b>	<i>None of the above are impeded by snow storage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1n	<b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b>
			<b>Staff Comments</b>	<i>Snow storage areas are landscape ground cover, gravel or asphalt.</i>

**2. Building Design: 6A.8 (A) 2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	<b>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</b>
			<b>Staff Comments</b>	<i>The subject property is outside of the Townsite Overlay, in a portion of downtown with varied building sizes. The roofline height and form proposed are compatible.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2b	<b>b. Standardized corporate building designs are prohibited.</b>
			<b>Staff Comments</b>	<i>The building design is a departure from many of the 18 Kings stores found throughout Idaho and other western states. The design is responsive to the Hailey community, and individualized to the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	<b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</b>
			<b>Staff Comments</b>	<i>The design of the proposed addition and existing building improvements, specifically on the east and north facades, incorporates appropriately scaled covered walkways/outdoor merchandise display areas, architectural elements such as steel shade canopies, and a recessed main entry with soffit above. The space outside of the main entry will incorporate heated concrete pavers, benches, and landscaping to create a vibrant, pleasant space for store related activities and events.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2d	<b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b>
			<b>Staff Comments</b>	<i>Design features include covered walkways/outdoor merchandise display areas, architectural elements such as steel shade canopies, and a recessed main entry with soffit above, and a variety of material changes. The space outside of the main entry will incorporate heated concrete pavers, benches, and landscaping to create a vibrant, pleasant space for store related activities and events.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2e	<b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b>
			<b>Staff Comments</b>	<i>The design of the proposed addition creates a cohesive whole with the existing building by matching and tying into existing roof lines, eaves, joints, and window and door heights. Proposed and existing building materials and colors are used congruently to create a cohesive and seamless design. The design resulting from the addition is a significant upgrade in terms of both architecture and site function.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	<b>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</b>
			<b>Staff Comments</b>	<i>The design of the proposed addition and existing building improvements incorporate varying materials, textures, and colors such as stained cedar siding, corrugated galvanized</i>

			<p><i>metal wall panels, painted metal wall panels, and painted stucco.</i></p> <p><i>The existing rear wall facing River Street may be difficult to improve from an architectural standpoint. The applicant is proposing to paint the top of this wall a color called “Volcanic Rock”, which matches the powder coated steel on other facades. Based on discussion with the applicant in the hearing, the Commission found that this paint strip is not necessary to meet this standard of review.</i></p> <p><i>Also proposed is a dry stack stone base, tying the existing building in to the new addition. Substantial landscaping is proposed on this façade, and staff is of the opinion that this standard has been met.</i></p> <p><i>Similarly issues exist regarding the north faced between the subject property and the Wood River Inn. As shown in the photos submitted, there is already substantial mature landscaping against this wall, screening it from the back parking area of the Wood River Inn. Staff does not recommend any further changes to this façade.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>6A.8(A)2g</b></p> <p><b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b></p> <p><i>Staff Comments</i>  <i>The materials and color scheme is contemporary and suitable to the Hailey community.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>6A.8(A)2h</b></p> <p><b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</b></p> <p><i>Staff Comments</i>  <i>The existing building and addition are single-story.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>6A.8(A)2i</b></p> <p><b>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</b></p> <ul style="list-style-type: none"> <li><b>i) Solar Orientation.</b> If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south.</li> <li><b>ii) South facing windows with eave coverage.</b> At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li><b>iii) Double glazed windows.</b></li> <li><b>iv) Windows with Low Emissivity glazing.</b></li> <li><b>v) Earth berming against exterior walls</b></li> <li><b>vi) Alternative energy.</b> Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li><b>vii) Exterior light shelves.</b> All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul> <p><i>Staff Comments</i>  <i>Due to the location and orientation of the existing building, incorporating passive solar techniques into the proposed addition are limited. The new addition proposes low-e, double glazed windows to minimize summer solar heat gain. The north façade will incorporate north facing clerestory windows with an exterior roof canopy/light shelf. The north windows in combination with the exterior light shelf will provide an even and constant source of daylight in the northern interior of the space and minimize dependency on artificial light sources.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>6A.8(A)2j</b></p> <p><b>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</b></p> <p><i>Staff Comments</i>  <i>The existing and proposed 5:12 shed roof at the east façade will incorporate snow clips, a gutter, and downspouts to prevent snow and ice from accumulating at the sidewalk and parking below. The downspouts will drain into adjacent landscaping areas or tie into the proposed drywell located in the parking lot directly east of the new main entry.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2k	<b>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</b>
			<i>Staff Comments</i>	<i>The existing roof drains located at the west façade of the building drain into proposed landscaped areas. All roof drains for the proposed addition will tie in below grade to new drywells. Please also see item 'j' above.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2l	<b>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</b>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2m	<b>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</b>
			<i>Staff Comments</i>	<i>A Master Signage Plan has been provided, and the signs will be modified to comply with city regulations. The applicant has modified their typical corporate sign to mount the letters for "Kings" directly on to the building. While the current submittal shows two pole-mounted signs, the applicant has stated that they would be willing to switch these to monument signs on a stone base, with lettering mounted on a wood background to match the building.</i>

**3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3a	<b>a. Accessory structures shall be designed to be compatible with the principal building(s).</b>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3b	<b>b. Accessory structures shall be located at the rear of the property.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	<b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b>
			<i>Staff Comments</i>	<i>No new fences are proposed. All site walls are proposed to be clad in a stone veneer matching the proposed stone veneer on the addition and existing building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3d	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>
			<i>Staff Comments</i>	<i>All site walls and retaining walls re proposed to be less than 4'-0" in height and will incorporate planting in front of them to soften the visual impact.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3e	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>
			<i>Staff Comments</i>	<i>The existing roof-mounted equipment is currently screened from ground level view. All proposed roof-mounted equipment will be screened from ground level view as well by the proposed roof parapet walls.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3f	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b>

			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>All proposed ground-mounted equipment will be screened from ground level view by the use of walls and/or landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	<b>i. All service lines into the subject property shall be installed underground.</b>
			<i>Staff Comments</i>	<i>All proposed service lines into the addition will be underground. However, due to cost constraints all existing service lines to the existing building, including overhead power lines, will remain as they are. Idaho Power has confirmed that, even if the pole on the northeast corner were removed, and additional pole would need to be added to support the pole between Kings and the Wood River Inn, which contains transformers.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3i	<b>j. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	<i>No appurtenances are proposed on existing utility poles.</i>

**4. Landscaping: 6A.8 (A) 4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>
			<i>Staff Comments</i>	<i>All proposed plant material is drought tolerant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4b	<b>b. All plant species shall be hardy to the Zone 4 environment.</b>
			<i>Staff Comments</i>	<i>All proposed plant materials are hardy to Zone 4.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4c	<b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b>
			<i>Staff Comments</i>	<i>All drought tolerant grass areas will have a temporary irrigation system installed for at least 2 growing seasons to allow for seed germination.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4d	<b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</b>
			<i>Staff Comments</i>	<i>The proposed landscaping incorporates a combination of trees of varying sizes, shrubs, ground covers, and ornamental grasses. Only two (2) existing trees are present along Main Street. The Commission determined that the landscaping as proposed is adequate to meet this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4e	<b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4f	<b>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds,</b>

				<b>planter boxes, pots, and/or hanging baskets.</b>
			<i>Staff Comments</i>	<i>The proposed landscaping incorporates a combination of trees, shrubs, ground covers, and ornamental grasses that have a variety of colors, textures, and forms. The seasonal garden center also provides a great variety of color and interest. The proposed location of the garden center is close to Main Street, and will create an improved streetscape façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4g	<b>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</b>
			<i>Staff Comments</i>	<i>Strom water is managed via a drywell system. Due to the large amount of existing hardscape, retrofitting to irrigate plant material is not practical.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4h	<b>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</b>
			<i>Staff Comments</i>	<i>Maintenance is planned for all landscape areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4i	<b>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</b>
			<i>Staff Comments</i>	<i>All proposed site retaining walls will be no taller than 4'-0" tall and clad in a stone veneer matching the proposed stone veneer on the addition and existing building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4j	<b>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</b>
			<i>Staff Comments</i>	<i>See "i" above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4k	<b>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.</b>
			<i>Staff Comments</i>	<i>See "i" above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4l	<b>m. Landscaping should be provided within or in front of extensive retaining walls.</b>
			<i>Staff Comments</i>	<i>No extensive retaining walls are planned.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4m	<b>m. Retaining walls over 24" high may require railings or planting buffers for safety.</b>
			<i>Staff Comments</i>	<i>All proposed retaining walls over 2'-0" high may require guardrails as required by the IBC.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4n	<b>n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.</b>
			<i>Staff Comments</i>	<i>The low retaining wall to the rear of the building near River Street could be used for seating.</i>

**Additional Design Review Requirements for  
 Non-Residential Buildings Located within B, LB, or TN**

**1. Site Planning: 6A.8 (B) 1, items (a) thru (b)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)1a	<b>a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.</b>
			<i>Staff Comments</i>	<i>Pedestrian circulation is greatly improved with the site plan proposed. Sidewalks are planned on all building fronts.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)1b	<b>b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.</b>
			<i>Staff Comments</i>	<i>Sidewalk widths vary through the project, but staff finds the proposed widths to be adequate.</i>

<b>2. Building Design: 6A.8 (B) 2, items (a) thru (h)</b>							
<b>Compliant</b>			<b>Standards and Staff Comments</b>				
Yes	No	N/A	City Code      City Standards and <i>Staff Comments</i>				
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<b>3. Landscaping: 6A.8 (B) 3, item (a)</b>			
<b>Compliant</b>			<b>Standards and Staff Comments</b>

Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)3a	<p>a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.</p>
			<i>Staff Comments</i>	<i>All surrounding properties are zoned B.</i>

**6A.6 Criteria.**

**A. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

**B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Ordinance.

**CONCLUSIONS OF LAW**

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

## DECISION

The design review application submitted by submitted by Tom King, Kings Variety Store, represented by Errin Bliss Architecture for an 8,139 square foot addition on the north side of the existing 11,287 square foot Kings Variety Store, and recommend to the City Council approval for a Private Road on the north property boundary connecting from Main Street to River Street, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (j) are met.

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
  - The Private Road, as shown on the design drawings dated June 26, 2015. Street trees and street lights will be required on the north side of the road at the time of substantial redevelopment of the northerly property.
  - Wastewater Department improvements as noted in the 7/02/15 memo from the Wastewater Department.
  - Water improvements as noted in the forthcoming memo from the Water Department.
- c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- d) All new lighting shall comply with the Outdoor Lighting Ordinance. Existing nonconforming parking lot lighting is allowed to remain.
- e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- f) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- g) The applicant shall come back to the Commission showing the vinyl wrap dumpster proposal, or submit a fencing plan for staff approval prior to issuance of Certificate of Occupancy (or Final Framing Inspection).
- h) The applicant shall apply for a new sign permit. Proposed sign(s) shall conform to City Zoning requirements, and shall be approved prior to installation.
- i) A letter shall be provided from Clearcreek Disposal prior to issuance of a building permit stating that the design and location of the dumpster area is adequate for trash pickup.
- j) The dumpster(s) shall be screened from view on three (3) sides and wrapped on the front side.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Janet Fugate, Chair

Attest:

\_\_\_\_\_  
Kristine Hilt, Community Development Coordinator

**RETURN TO AGENDA**

## **FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION**

On August 24, 2015 the Hailey Planning & Zoning Commission considered a recommendation by the Administrator to exempt from design review, pursuant to Section 6A.9.II, an application submitted by Tyler & Jennifer Helms, represented by Riley Buck of Pioneer Cabin Company, for an addition to an existing accessory structure, currently located at 206 2<sup>nd</sup> Avenue North (Hailey Townsite, Lots S 7' of 20, 21, & N 22' of 22, Block 47), within the Limited Residential-1 (LR-1) and Townsite Overlay (TO) Zoning Districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

### **FINDINGS OF FACT**

#### **Summary of Project**

The applicant is requesting an addition to an existing accessory structure to add a storage area above, comprising a total of 129 square feet of new space. The existing structure comprises 286 square feet and the proposed storage area will be built above the existing building. The subject property is located at Lots S 7' of 20, 21, & N 22' of 22, Block 47 (206 2<sup>nd</sup> Avenue North) of the Hailey Townsite. The existing structure and proposed addition meets all setback and bulk requirements for the Limited Residential-1 and Townsite Overlay Zone Districts. Accessory structure and addition will match to design and architecture of the existing primary structure.

#### **Standards of Evaluation**

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

**6A.1(A). No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:**

- 1. A building for a non-residential use within any zoning district.**
- 2. A building for a Public or Semi-Public Use within any zoning district.**
- 3. A Multi-Family Dwelling of three or more units within any zoning district.**
- 4. A Single Family Dwelling, Duplex or Accessory Structure within the Townsite Overlay (TO) District.**
- 5. A Historic Structure.**

The accessory structure located at 206 2<sup>nd</sup> Avenue North is within the Townsite Overlay (TO) District. Therefore, Design Review approval is required according to 6A.1(A) (4).

***6A.9 Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).***

***II. Applicability***

***Proposals for new Single Family Dwellings, Accessory Dwelling Units, Accessory Structures and Duplexes and additions thereto that add floor area equal to or greater than 50% of the original structure will be reviewed for compliance with these Design Guidelines. A remodel or alteration of the exterior of a Historic Structure that does not add floor area is subject only to 6A.9(III)(C)(10).***

The Administrator recommends exemption of this project, as described under summary of project, from design review requirements according to 6A.9(II), as printed above.

After reviewing the complete application and proposal, the Administrator finds the proposed alteration meets the criteria under Section 6.A.9(II) of the Zoning Ordinance because the project:

1. is not an addition of floor area equal to or greater than 50% of the original structure.

**Application**

Pioneer Cabin Company submitted an application on August 3<sup>rd</sup>, 2015, for Design Review Exemption of an addition to an existing accessory structure. It has been determined that this project meets the standards of Section 6A.9.II for Design Review Exemption and notice is not required.

**Procedural History**

The application was considered before the P&Z Commission on August 24<sup>th</sup>, 2015 as a Design Review Exemption.

**CONCLUSIONS OF LAW AND DECISION**

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Given nature of this project, this constitutes a minor project, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties.
5. The proposed improvements are approved and hereby documented.
6. Occupancy shall meet the requirements of the General Residential (GR) Zoning Code.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Janet Fugate, Chair

Attest:

\_\_\_\_\_  
Kristine Hilt, Community Development Coordinator

# THE J&T ACCESSORY BUILDING

HAILEY, IDAHO

28 JULY, 2015

## CITY OF HAILEY: DESIGN REVIEW EXEMPTION SUBMITTAL



PIONEER CABIN COMPANY  
KETCHUM, IDAHO



**DESIGN REVIEW EXEMPTION**



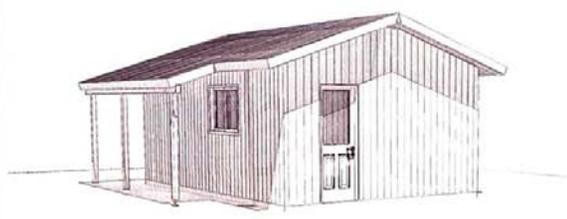
AN ALTERATION OF A STORAGE BLDG:  
**J&T ACCESSORY BUILDING**  
 HAILLEY, IDAHO  
 2ND AVENUE



REVISIONS:


DATE:  
 28 JULY, 2018

**0.1**



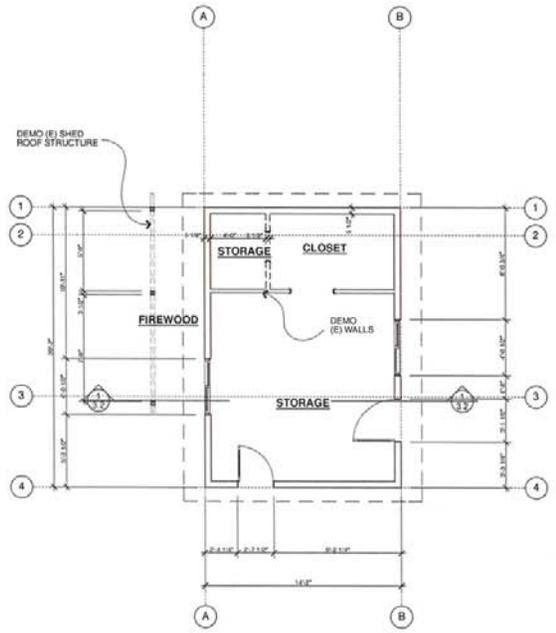
**ACCESSORY BLDG - EXISTING** 2



**EAST - ALLEY SIDE**



**SOUTH SIDE**



**MAIN LEVEL FLOOR PLAN - EXISTING** 3  
 1/4"=1'-0"

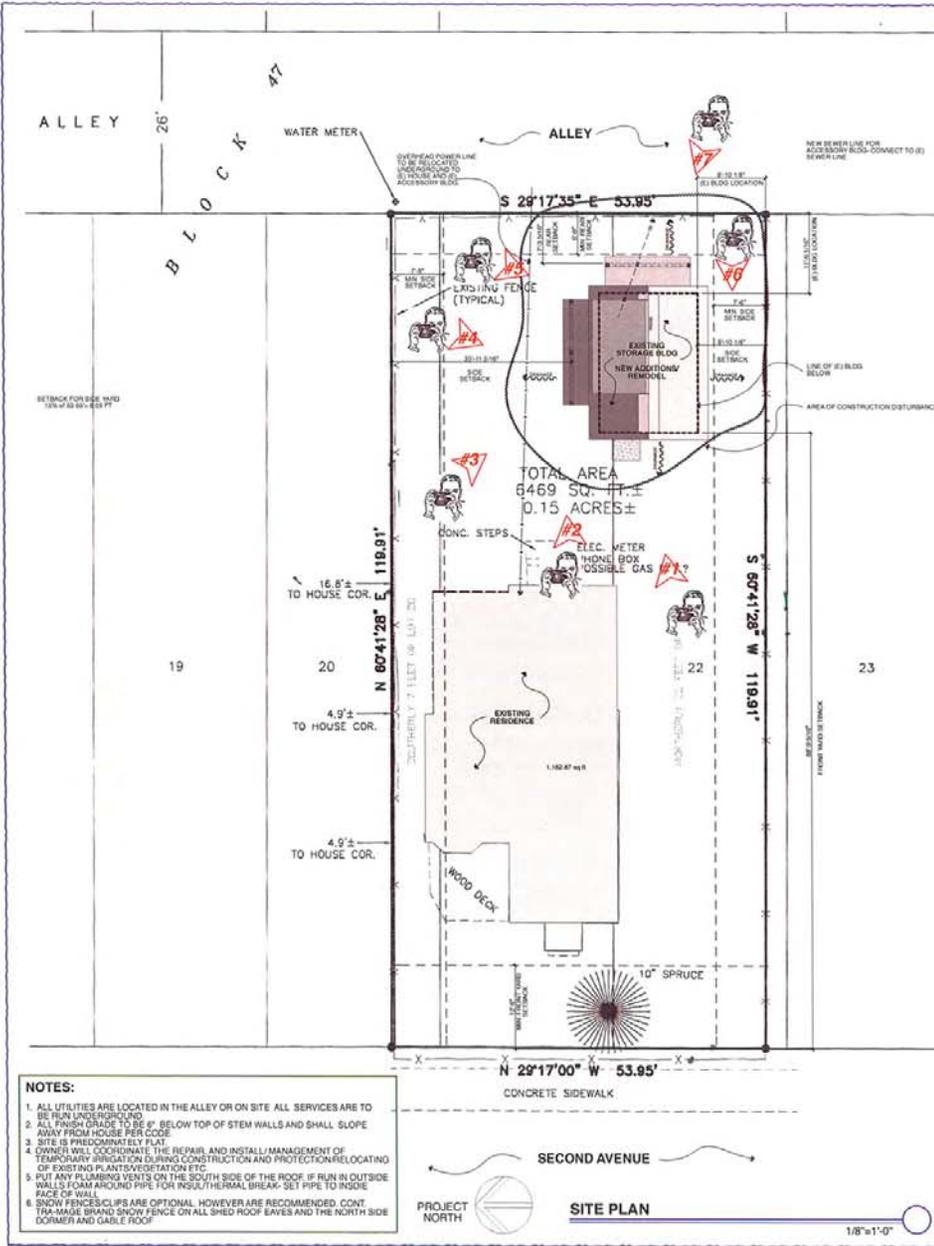


**NORTH SIDE**



**WEST/ENTRY SIDE**

**EXISTING CONDITIONS - PHOTOS** 1



**DESIGN REVIEW EXEMPTION**



PHOTO #7



PHOTO #4



PHOTO #1



PHOTO #5



PHOTO #2



PHOTO #6



PHOTO #3

**EXISTING SITE PHOTOS**



**AN ALTERATION OF A STORAGE BLDG:**  
**J&T ACCESSORY BUILDING**  
 HAILEY, IDAHO  
 2ND AVENUE



**REVISIONS:**


**DATE:**  
 28 JULY, 2015

**1.1**

**DESIGN REVIEW EXEMPTION**



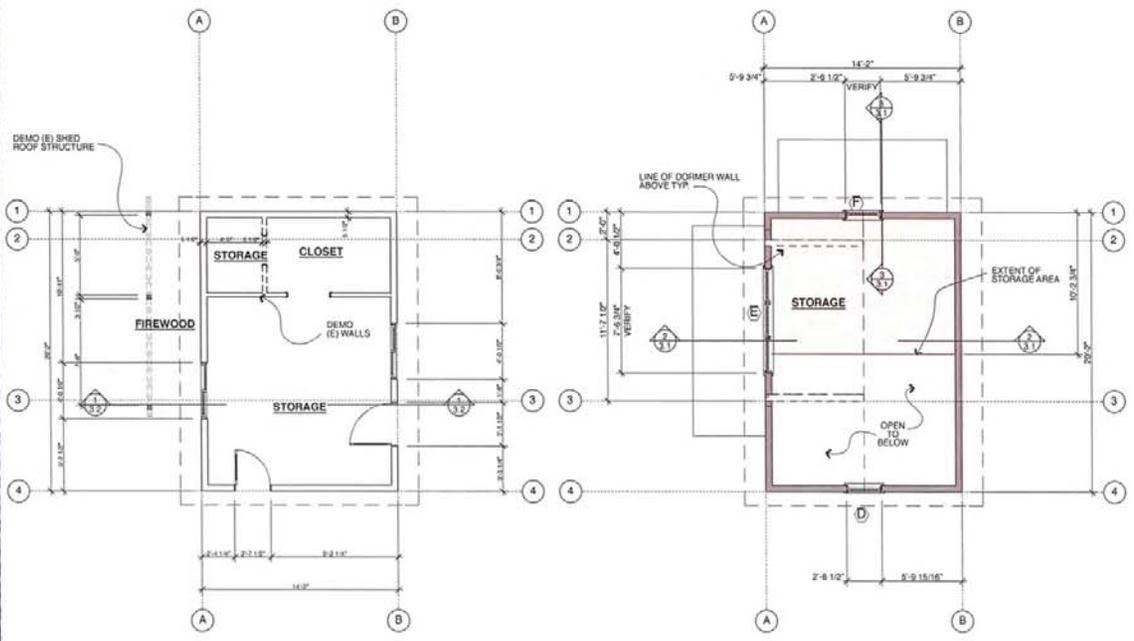
AN ALTERATION OF A STORAGE BLDG:  
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REVISIONS

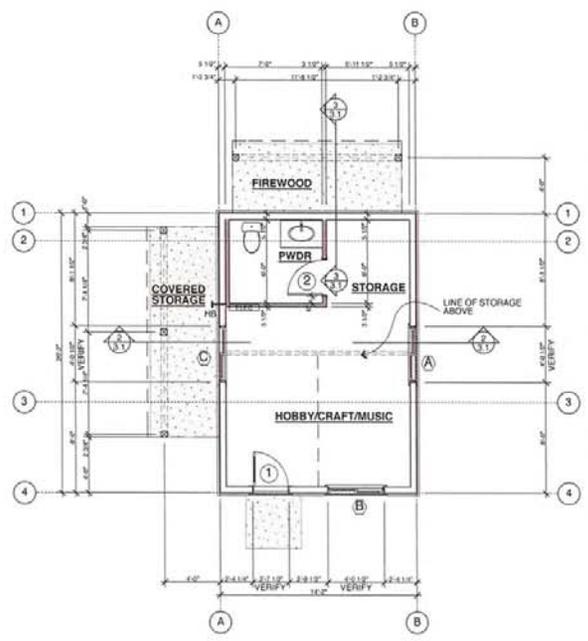

DATE  
 20 JULY, 2015

**2.1**



**MAIN LEVEL FLOOR PLAN - EXISTING**  
 1/4"=1'-0" 3

**UPPER LEVEL FLOOR PLAN - NEW**  
 1/4"=1'-0" 2

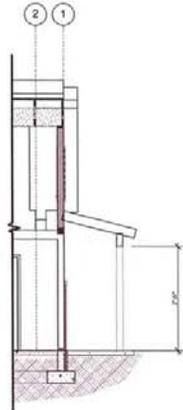


**MAIN LEVEL FLOOR PLAN - NEW**  
 1/4"=1'-0" 1

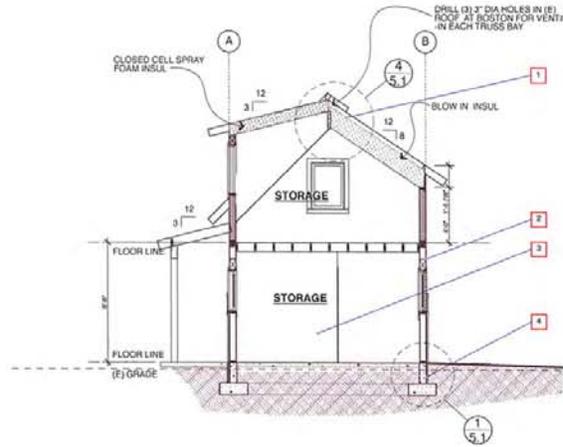


PLOT/FILE: 00011 10.04.14

**NOTES**  
 1 PROVIDE FOUNDATION WATERPROOFING AS REQ. BY THE IRC FOR FOUNDATIONS IN AREAS PRONE TO HIGH WATER TABLES  
 2 SECTION NOTES ARE CODED ONCE PER SHEET THE CODING IS FOR REFERENCE. THE SAME CONDITIONS SYSTEMS APPLY IN OTHER SECTION VIEW  
 3 BLDG SECTIONS ARE FOR DIMENSIONAL AND CONCEPT REFERENCE. SEE SPECIFIC DETAILS, ELEVATIONS, AND FLOOR PLANS FOR MORE INFORMATION

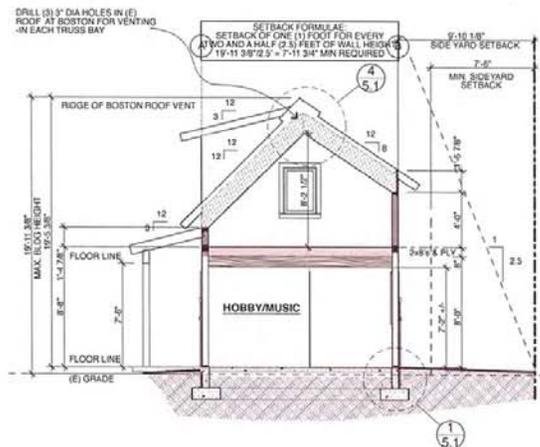


**SECTION - NEW**  
 1/4"=1'-0" 3



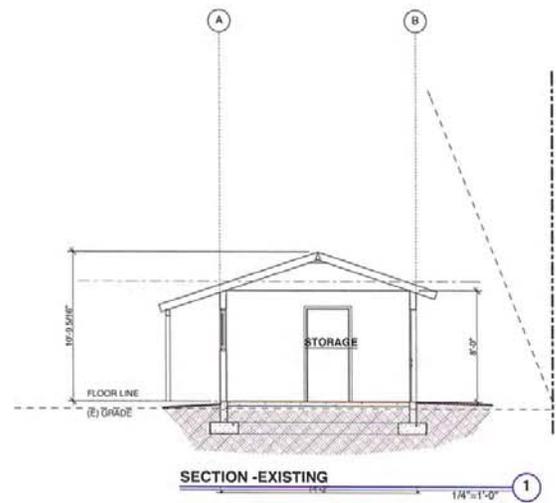
**SECTION - NEW**  
 1/4"=1'-0" 2

**DESIGN REVIEW EXEMPTION**



**SECTION - NEW**  
 1/4"=1'-0" 1

SECTION NOTES/MATERIALS	
KEY	REFERENCE LOCATION
1	TYPICAL BLOPED ROOF CONSTRUCTION EXTERIOR FINISH PER EXT. MATERIALS - CORRUGATED METAL, CLASS 44" ROOF ASSEMBLY ICE AND WATER SHIELD AT EAVE AND UP SLOPE FROM FG HEATED WALL A MIN 4" OR TWO LAPS OF PRODUCT, REMAINDER ICE AND WATER SHIELD OR ROOFING FELT SHEATHING PER STRUCTURAL SPECSDRAWINGS TRUSSES/RAPTERS PER STRUCTURAL SPECSDRAWINGS BLOWN IN CELLULOSE INSUL. R-60 MIN & CLOSED CELL SPRAY VAPOR BARRIER 5/8" DRYWALL CEILING (1) HOUR WHERE REQUIRED BY CODE INTERIOR FINISH PER OWNER SOFFIT: ROUGH BASH PLY WITH VENTING PER DETAILS
2	TYPICAL EXTERIOR FRAMED WALL CONSTRUCTION EXTERIOR FINISH PER EXT. MATERIALS TYVEK WEATHER BARRIER WRAP SHEATHING PER STRUCTURAL SPECSDRAWINGS (E) AND (N) 2X6 WALLS PER STRUCTURAL SPECSDRAWINGS BLOWN IN CELLULOSE INSUL. R-24 MIN VAPOR BARRIER 5/8" DRYWALL (1) HOUR TYPE "X" WHERE REQUIRED BY CODE INTERIOR FINISH PER OWNER
3	TYPICAL INTERIOR FRAMED WALL CONSTRUCTION 5/8" DRYWALL (1) HOUR TYPE "X" WHERE REQUIRED BY CODE 2X WALLS WERE SHOWN ON PLANS 5/8" DRYWALL (1) HOUR TYPE "X" WHERE REQUIRED BY CODE INTERIOR FINISH PER OWNER
4	TYPICAL PERIMETER STEEWALL EXCAVATE ALL SIDES AT EXTERIOR INSTALL R-19 FOAM SHEET TO T.O. STEM FROM 1.0 FTG. COVER IN INTL. FLASHING



**SECTION - EXISTING**  
 1/4"=1'-0" 1

LAKEMAN ARCHITECTS  
 ARCHITECTS  
 1000 S. MAIN ST. SUITE 100  
 BOZEMAN, MONTANA 59717  
 ARCHITECT ENGINEER

AN ALTERATION OF A STORAGE BLDG:  
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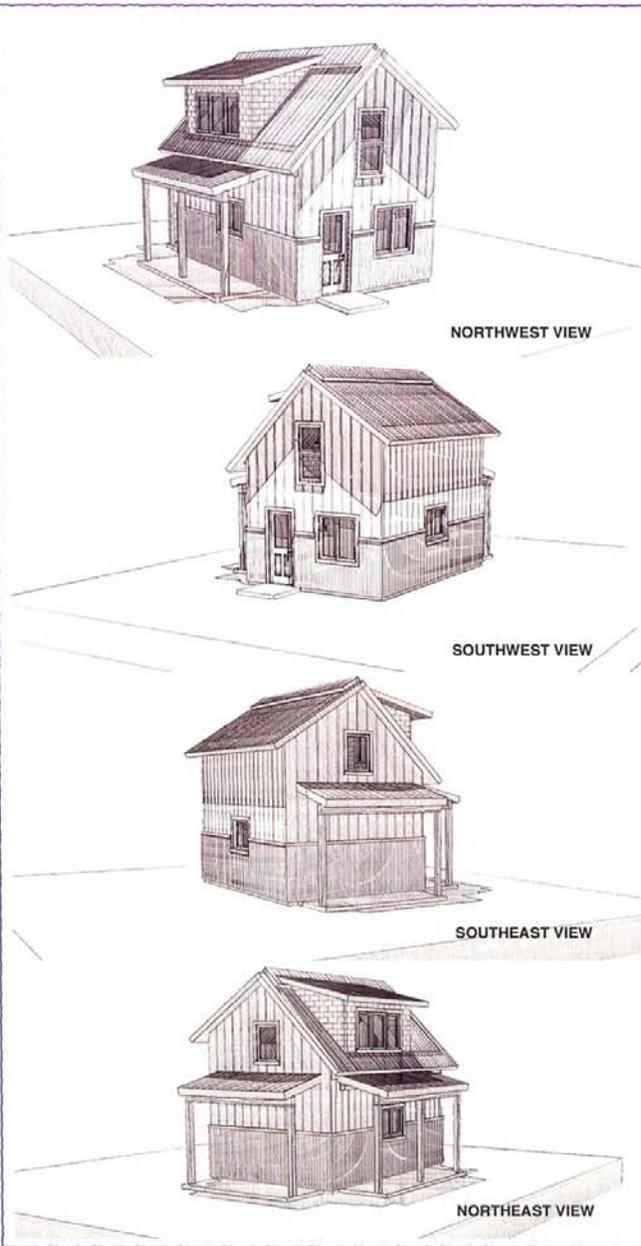
PIONEER CABIN COMPANY  
 1000 S. MAIN ST. SUITE 100  
 BOZEMAN, MONTANA 59717  
 406.533.1111  
 WWW.PIONEERCABIN.COM

REVISIONS

DATE  
 28 JULY, 2015

3.1

POSTED: 08/05/2015

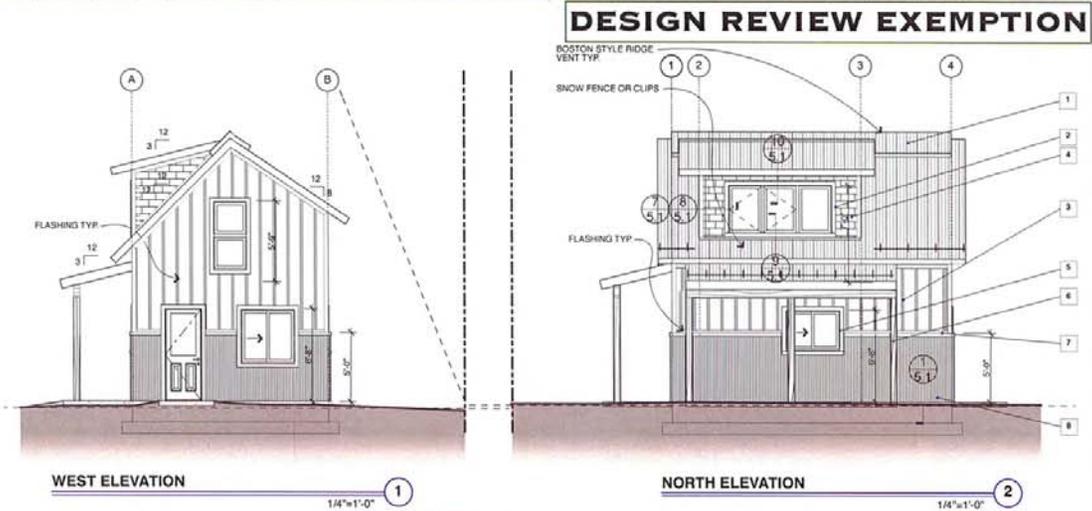


NORTHWEST VIEW

SOUTHWEST VIEW

SOUTHEAST VIEW

NORTHEAST VIEW

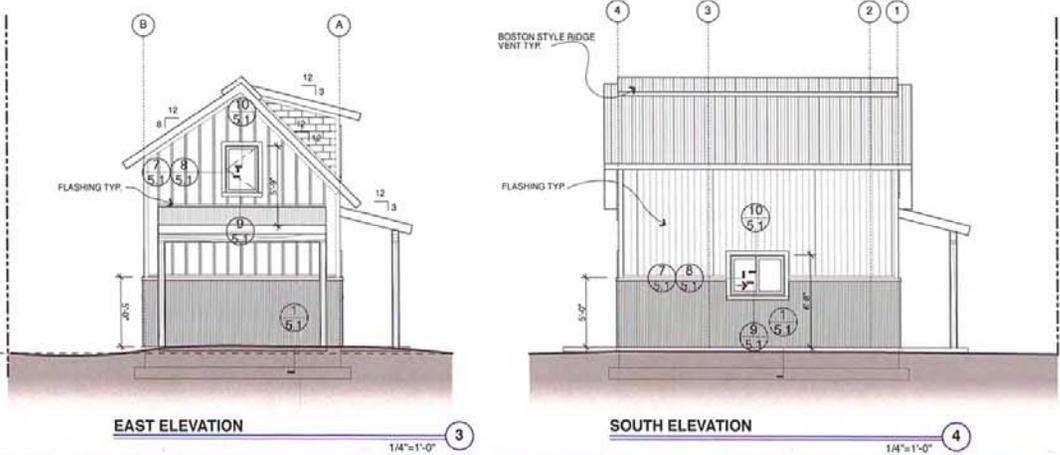


WEST ELEVATION

NORTH ELEVATION

**EXTERIOR MATERIALS**

LOC.	MATERIAL	MANUF.	MODEL	FRESH COLOR
1	ROOFING		STANDARD CLASSIC RB METAL-STRUKA RB	OLD TOWNE GRAY
2	FASCIA & TRIM	CUSTOM	HARDIE	COBBLESTONE
3	SIDING #1	HARDIE	CEMENT WOOD FIBER BOARD AND BATT APPROX. 9" EXPOSED	MONTEREY TAUPE
4	SIDING #2	HARDIE	CEMENT WOOD FIBER SHAKE	MONTEREY TAUPE
5	WINDOWS		VINYL	WHITE
6	POSTS	CUSTOM	9" SQ. DOUGLAS FIR	MATCH MONTEREY TAUPE
7	FLASHING	PAC CLAD	METAL FLASHING WITH HEMED DRIP EDGE	DARK BRONZE
8	WANSICOT		CORRUGATED GALVANIZED	STANDARD GLAZENATION



EAST ELEVATION

SOUTH ELEVATION

**DESIGN REVIEW EXEMPTION**



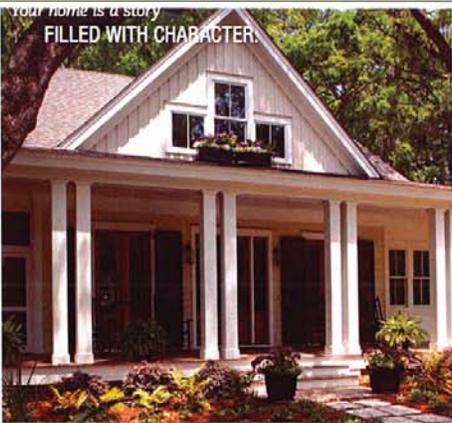
AN ALTERATION OF A STORAGE BLDG:  
**J&T ACCESSORY BUILDING**  
 HAILEY, IDAHO  
 2ND AVENUE



REVISIONS


DATE  
 28 JULY, 2015

**6.1**



SIDING #1 -HARDIE BOARD AND BATT

8:29 am, wednesday

Approaching your house after your morning walk with the dog, it's especially pleasing how the sun accentuates every detail. There's a sense of pride at what you've accomplished.

You were all about capturing the character of a country cottage to fit in with the community. You achieved the design of your dreams with HardiePanel® vertical siding. It perfectly complements the wide front porch that welcomes your neighbors with open arms.



HardiePanel® vertical siding, available in horizontal or vertical styles, comes in a variety of panel sizes. It's easy to install and looks great in either rustic or modern settings. The color can be matched to existing exterior finishes.



SIDING #2- HARDIE SHAKE SHINGLE



ROOFING- CLASSIC RIB METAL



WAINSCOT- GALVANIZED CORRUGATED METAL

# MATERIALS



## HARDIESHINGLE® SIDING

COLOR (SIDING 1&2) - MONTERREY TAUPE



COLOR (ROOFING)- OLD TOWNE GRAY



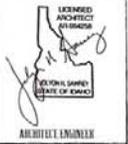
COLOR( TRIM/FASCIA) - SOFT WHITE

### EXTERIOR MATERIALS

LOC.	MATERIAL	MANUF.	MODEL	FINISH COLOR
1	ROOFING		STANDARD CLASSIC RIB METAL- STRATA RIB	OLD TOWNE GRAY
2	FASCIA & TRIM	CUSTOM	HARDIE	COBBLESTONE
3	SIDING #1	HARDIE	CEMENT WOOD FIBER BOARD AND BATT APPROX. 9" EXPOSED	MONTERREY TAUPE
4	SIDING #2	HARDIE	CEMENT WOOD FIBER SHAKE	MONTERREY TAUPE
5	WINDOWS		VINYL	WHITE
6	POSTS	CUSTOM	9" SQ DOUGL'S FIR	MATCH MONTERREY TAUPE
7	FLASHING	PAC CLAD	METAL FLASHING WITH HEMMED DRIP EDGE	DARK BRONZE
8	WAINSCOT		CORRUGATED GALVANIZED	STANDARD GALVANIZATION

# COLORS

## DESIGN REVIEW EXEMPTION



AN ALTERATION OF A STORAGE BLDG:  
**J&T ACCESSORY BUILDING**  
 HAILEY, IDAHO  
 2ND AVENUE



REVISIONS:

DATE:  
 20 JULY, 2015

**6.2**

**RETURN TO AGENDA**

## **FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION**

On August 24, 2015 the Hailey Planning & Zoning Commission considered a recommendation by the Administrator to exempt from design review, pursuant to Section 6A.9.II, an application submitted by Cuyler and Alyson Swindley for a shed roof dormer addition to an existing primary structure, currently located at 217 4<sup>th</sup> Avenue North (Hailey Townsite, Lots S ½ of 3, 4 & 5, Block 48), within the Limited Residential-1 (LR-1) and Townsite Overlay (TO) Zoning Districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

### **FINDINGS OF FACT**

#### **Summary of Project**

The applicant is requesting a shed roof dormer addition to an existing primary structure comprising measurements of 21¼' wide x 8' tall. Two (2) new matching windows are proposed. Dormer roof will be metal to match existing structure. Roof pitch is proposed at 3 ½ : 12. The shed dormer is proposed for the North side of the structure. There exists a smaller shed roof dormer on the South elevation. No new square footage is proposed. The subject property is located at 217 4<sup>th</sup> Avenue North (Hailey Townsite, Lots S ½ of 3, 4 & 5, Block 48) of the Hailey Townsite. The existing structure and proposed dormer addition meets all setback and bulk requirements for the Limited Residential-1 and Townsite Overlay Zone Districts. Shed roof dormer will match to design and architecture of the existing primary structure.

#### **Application**

Cuyler and Alyson Swindley submitted an application on August 19<sup>th</sup>, 2015, for Design Review Exemption of a shed roof dormer addition to an existing primary structure. It has been determined that this project meets the standards of Section 6A.9.II for Design Review Exemption and notice is not required.

#### **Procedural History**

The application was considered before the P&Z Commission on August 24<sup>th</sup>, 2015 as a Design Review Exemption.

#### **Standards of Evaluation**

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

**6A.1(A). No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:**

- 1. A building for a non-residential use within any zoning district.**
- 2. A building for a Public or Semi-Public Use within any zoning**

**district.**

- 3. A Multi-Family Dwelling of three or more units within any zoning district.**
- 4. A Single Family Dwelling, Duplex or Accessory Structure within the Townsite Overlay (TO) District.**
- 5. A Historic Structure.**

The primary structure located at 217 4<sup>th</sup> Avenue North is within the Townsite Overlay (TO) District. Therefore, Design Review approval is required according to 6A.1(A) (4).

#### **6A.2 Authority of the Administrator.**

**A. The Administrator has the authority to review and make, or recommend, decisions as follows:**

**3. The Administrator has the authority to recommend exemption of certain projects from the design review requirements, upon finding; the project is minor, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties. Examples include, but are not limited to minor deck additions, changes to siding materials, changes to an existing window or door, an addition of a window or door, and minor landscape changes. Such recommendation for exemption shall be drafted in the form of Findings of Fact and Conclusions of Law, subject to final decision by the Commission on its consent agenda prior to issuance of a building permit. Should the Commission deny the Administrator's recommendation or should the Administrator determine that the proposal does not meet all of the above evaluation criteria, the project shall be subject to the provisions of this chapter prior to issuance of a building permit.**

The Administrator recommends exemption of this project from design review requirements according to 6A.2.A.3, as printed above. This project involves minor modifications to the exterior façade of the structure, as specifically outlined in the Summary of Project, herein.

After reviewing the complete application and proposal, the Administrator finds the proposed alteration:

1. is minor;
2. will not conflict with the design review standards of this Chapter; and
3. will not adversely impact any adjacent properties.

### **CONCLUSIONS OF LAW AND DECISION**

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

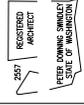
1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Given nature of this project, this constitutes a minor project, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties.
5. The proposed improvements are approved and hereby documented.
6. Occupancy shall meet the requirements of the General Residential (GR) Zoning Code.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Janet Fugate, Chair

Attest:

\_\_\_\_\_  
Kristine Hilt, Community Development Coordinator

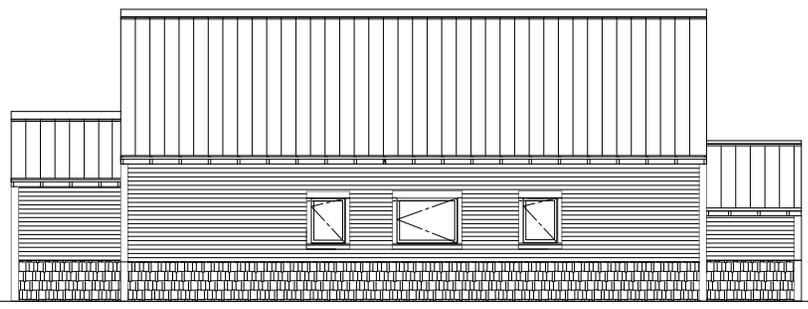


rev: \_\_\_\_\_  
 drn by: CDS  
 date: 7.4.18

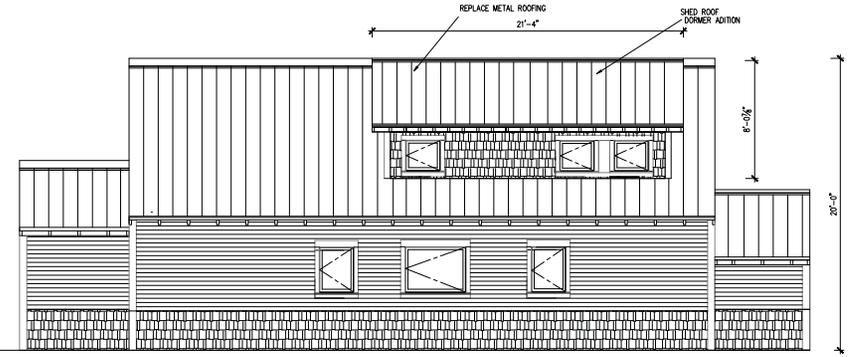
217 N. 4TH AVE.  
 HAILEY, IDAHO 83333

A REMODEL FOR CUYLER SWINDLEY  
 EXTERIOR BUILDING ELEVATIONS

**peter d. swindley**  
 architects and interiors inc.  
 2223 1/2th ave ne, suite F100 Bellevue wa 98004 425-455-9938



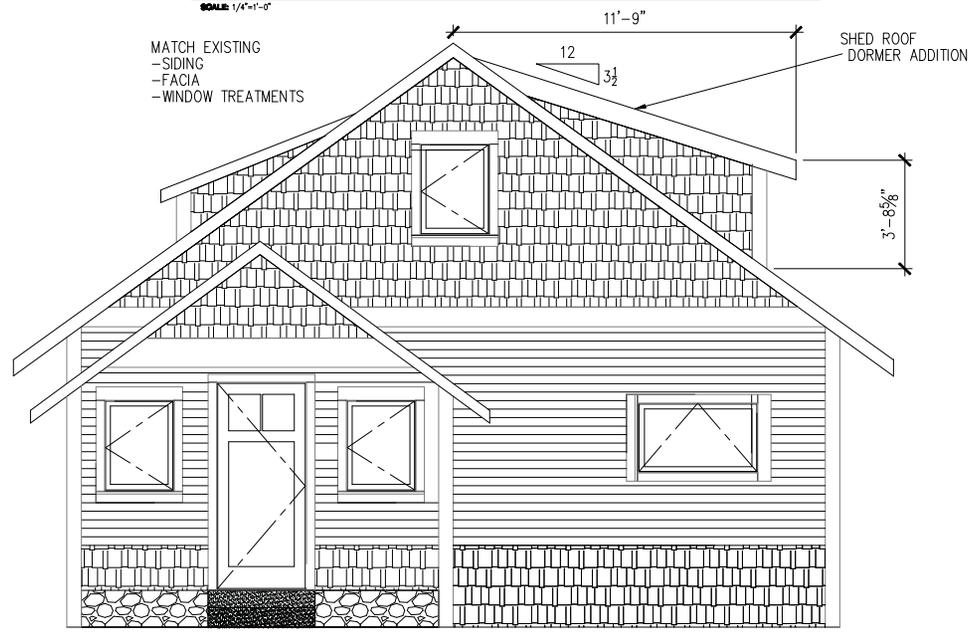
**NORTH ELEVATION / EXISTING**  
 SCALE: 1/4"=1'-0"



**NORTH ELEVATION / PROPOSED**  
 SCALE: 1/4"=1'-0"



**EAST ELEVATION / EXISTING**  
 SCALE: 1/2"=1'-0"



**EAST ELEVATION / PROPOSED**  
 SCALE: 1/2"=1'-0"

**RETURN TO AGENDA**

**DESIGN REVIEW  
STAFF REPORT**

**TO:** Hailey Planning and Zoning Commission

**FROM:** Kristine Hilt, Community Development Coordinator

**RE:** Design Review application by Daniel and Stephanie Smith for Design Review of a new 876 sq. ft. detached garage, to be located at Croy's Addition, Lots 19A, Block 1 (109 Croy Street West), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

**HEARING:** August 24, 2015

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**Applicant:** Daniel and Stephanie Smith

**Request:** Design Review is requested for a newly proposed detached garage.

**Location:** Croys Addition, Lot 19A , Block 1 (109 West Croy Street)

**Zoning:** General Residential (GR) and Townsite Overlay (TO) Zoning Districts

**Notice**

Notice for the public hearing was published in the Idaho Mountain Express on August 5, 2015 and mailed to property owners within 300 feet on August 3, 2015.

**Application**

Applicant is proposing a new detached 876 square foot two car garage on Lot 19A of Block 1 (109 Croy Street West) of the Hailey Townsite. The existing structure and the proposed garage meet all bulk requirements for the Townsite Overlay.

**Procedural History**

The application was submitted on July 6, 2015 and certified complete on August 4, 2015. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on April 13, 2015 in the Hailey City Council Chambers.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: None
				Life/Safety: None
				Water and Sewer: None
				Building: None
			Streets: None	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	Signs are not permitted in the General Residential Zoning district.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			Staff Comments	According to §9.4.1, Two spaces are required for single family residences and two are provided within the garage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	<p><b>8B.4.1 General Standards</b></p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			Staff Comments	Proposed exterior lighting will be shielded, downcast, and night sky compliant. An exterior wall cylinder measures 7" high and uses a BR-30 bulb that produces 65-watts max. A CFL bulb that produces 13-15W may be used.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p><b>Townsite Overlay (TO) General Residential (GR)</b></p> <p>Lot Coverage: 30%</p> <p>Setbacks: 15% for sides &amp; 6' from alley</p> <p>Building Height: 30'</p>

			<b>Staff Comments</b>	<i>Lot area is 9,148 square feet. Current lot coverage is 15.3%. Proposed lot coverage is 2,297 square feet or 25%. Setback from alley right of way is 12'-2 ¼", setback from West (side) lot line is 9' and East (side) lot line is 21'. Proposed building height is 14'.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.7 (A) Required Street Improvements Required</b>	<b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b>
			<b>Staff Comments</b>	<i>According to §6A.7(A).1(b): Sidewalk and drainage improvements may be waived for any remodel or addition to Single Family Dwelling projects within the Townsite Overlay District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.7 (B) Required Water System Improvements</b>	<b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b>
			<b>Staff Comments</b>	<i>Water department will confirm depth and conduct an inspection on water service line.</i>

<b>Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3	<b>1) Site Planning</b>
				<b>Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</b>
			<b>Staff Comments</b>	<i>Grid pattern orientation remains consistent with Old Hailey and alley access to garage supports location and site characteristics. Building walls are parallel to lot lines.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline: Site planning for new development and redevelopment shall address the following:</b> <ul style="list-style-type: none"> <li>• scale and massing of new buildings consistent with the surrounding neighborhood;</li> <li>• building orientation that respects the established grid pattern of Old Hailey;</li> <li>• clearly visible front entrances;</li> <li>• use of alleys as the preferred access for secondary uses and automobile access;</li> <li>• adequate storage for recreational vehicles;</li> <li>• yards and open spaces;</li> <li>• solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines;</li> <li>• snow storage appropriate for the property;</li> <li>• underground utilities for new dwelling units.</li> </ul>
			<b>Staff Comments</b>	<i>The scale and massing fit with the surrounding neighborhood. Proposed utilities will be underground. Scale of garage allows for passive solar to reach property and southern yard</i>

				<i>area. Location of garage allows for vehicular access to lot from alley. Proposed snow storage is 325 square feet with additional area within the vacated alley if necessary.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</b>
			<i>Staff Comments</i>	<i>Dimensions of garage allow for lot to retain maximum passive and solar access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)2	<b>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</b>
				<b>Guideline: The perceived mass of larger buildings shall be diminished by the design.</b>
			<i>Staff Comments</i>	<i>A south facing pop out has been added to break up the mass along with windows placed for solar gain. The garage is completely uniform with the primary residence with regards to breaking up the mass.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3	<b>3. Architectural Character</b>
			6A.9(C)3a	<b>a. General</b>
				<b>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</b>
			<i>Staff Comments</i>	<i>The garage has been designed to match the architecture and character of the principal building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)3b	<b>b. Building Orientation</b>
				<b>Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</b>
			<i>Staff Comments</i>	<i>Front and rear wall planes align with the existing grid pattern and match the principal building's orientation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3c	<b>c. Building Form</b>
				<b>Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</b>
			<i>Staff Comments</i>	<i>The garage has been designed to not have a visual impact from the street, Croy Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3d	<b>d. Roof Form</b>
				<b>Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.</b>
			<i>Staff Comments</i>	<i>Proposed roof line matches existing rear section of principal building allowing for entrance to be clearly defined from the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3d	<b>Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.</b>
				<ul style="list-style-type: none"> <li>• Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas.</li> <li>• Designs should avoid locating drip lines over key pedestrian routes.</li> <li>• Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.</li> </ul>
			<i>Staff Comments</i>	<i>Roof line has a slope of 8:12 which remains consistent with Old Hailey guidelines and drip lines and snow shed areas exist to prevent snow shedding and melting onto pedestrian walkways and adjacent properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3d	<b>Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</b>
			<i>Staff Comments</i>	<i>Proposed roof form, pitch, and materials are similar to the principal building yet very different from residential neighboring structures. Neighboring commercial structures match proposed design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3d	<b>Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</b>

			<b>Staff Comments</b>	<i>Roof pitch is 1/8":12" and is compatible with principal building and commercial structures in the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3e	<b>e. Wall Planes</b>
				<b>Guideline: Primary wall planes should be parallel to the front lot line.</b>
			<b>Staff Comments</b>	<i>All wall planes are proposed to be parallel to all lot lines.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3e	<b>Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.</b>
			<b>Staff Comments</b>	<i>Proposed garage is scaled appropriately to surrounding neighborhood and measures 27x30 with a footprint of 896 square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3e	<b>Guideline: The use of pop-outs to break up longer wall planes is encouraged.</b>
			<b>Staff Comments</b>	<i>A large access door is proposed to break up the front wall plane along the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3f	<b>f. Windows</b>
				<b>Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.</b>
			<b>Staff Comments</b>	<i>Windows facing Croy are appropriate in size and match existing principal building and neighborhood themes and architecture.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3f	<b>Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.</b>
			<b>Staff Comments</b>	<i>Proposed windows encourage privacy from West neighbors. The majority of natural light enters from the West and South side of the garage.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)3g	<b>g. Decks and Balconies</b>
				<b>Guideline: Decks and balconies shall be in scale with the building and the neighborhood.</b>
			<b>Staff Comments</b>	<i>No decks or balconies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)3g	<b>Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.</b>
			<b>Staff Comments</b>	<i>No deck or balcony is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3h	<b>h. Building Materials and Finishes</b>
				<b>Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.</b>
			<b>Staff Comments</b>	<i>A break in the siding is proposed on all four elevation. Colors are to match the existing principal building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3h	<b>Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</b>
			<b>Staff Comments</b>	<i>Colors are to match existing building and trim and design features are used to break up the mass of the wall plane.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3i	<b>i. Ornamentation and Architectural Detailing</b>
				<b>Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.</b>
			<b>Staff Comments</b>	<i>The window placement, coloring, materials, and siding all contribute to architecture details that differentiate the front and side wall planes of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3i	<b>Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</b>
			<b>Staff Comments</b>	<i>This project is not reminiscent of historic residential Old Hailey but matches similar commercial structures that have historic features.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)3i	<b>Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</b>
			<b>Staff Comments</b>	<i>Garage design contributes and conforms to the scale and pattern of the primary structure yet differs from that of the surround neighborhood. Scale, location, and architecture match surrounding commercial structures in the neighborhood.</i>
			6A.9(C)4	<b>4. Circulation and Parking</b>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.</b>
			<i>Staff Comments</i>	<i>Principal building and garage vehicular access shall access from the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)4	<b>Guideline: The visual impacts of on-site parking visible from the street shall be minimized.</b>
			<i>Staff Comments</i>	<i>On-site parking is kept on the North side of the lot away from street visibility and visual impact from the alley is kept minimal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)4	<b>Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.</b>
			<i>Staff Comments</i>	<i>Vehicular access is from the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)4	<b>Guideline: Detached garages accessed from alleys are strongly encouraged.</b>
			<i>Staff Comments</i>	<i>Vehicular access is from the alley.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)4	<b>Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.</b>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)4	<b>Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)4	<b>Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.</b>
			<i>Staff Comments</i>	<i>Space remains in the rear of the lot for additional recreational vehicles.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)5	<b>5. Alleys</b>
				<b>Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.</b>
			<i>Staff Comments</i>	<i>Alley is retained.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)5	<b>Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.</b>
			<i>Staff Comments</i>	<i>Alley is used for garage access, snow storage, and underground utilities location.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)5	<b>Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.</b>
			<i>Staff Comments</i>	<i>Staff will notify property owners of requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)5	<b>Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.</b>
			<i>Staff Comments</i>	<i>Landscaping is existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)6	<b>6. Accessory Structures</b>
				<b>Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.</b>
			<i>Staff Comments</i>	<i>Accessory structure matches the principal building in function, location, and size is appropriate. Footprint of existing building is 1,401 square feet and proposed building has a footprint of 896 square feet.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)6	<b>Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.</b>

			<i>Staff Comments</i>	<i>No ADU is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)7	<b>7. Snow Storage</b>
				<b>Guideline: All projects shall be required to provide 25% snow storage on the site.</b>
			<i>Staff Comments</i>	<i>Parking and pedestrian circulation total 1,216 square feet. The requirement for snow storage is 25% which is equivalent to 304 sq. ft. The applicant has provided 325 square feet along the east side of the garage and driveway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)7	<b>Guideline: A snow storage plan shall be developed for every project showing:</b> <ul style="list-style-type: none"> <li>• Where snow is stored, key pedestrian routes and clear vision triangles.</li> <li>• Consideration given to the impacts on adjacent properties when planning snow storage areas.</li> </ul>
			<i>Staff Comments</i>	<i>Proposed snow storage area of 325 square feet is along the north side of the accessory structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)8	<b>8. Existing Mature Trees and Landscaping</b>
				<b>Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.</b>
			<i>Staff Comments</i>	<i>Existing landscaping is shown on the site plan and remains intact.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)8	<b>Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)8	<b>Guideline: Noxious weeds shall be controlled according to State Law.</b>
			<i>Staff Comments</i>	<i>Homeowners will be advised by City staff.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9(C)9	<b>9. Fences and Walls</b>
				<b>Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.</b>
			<i>Staff Comments</i>	<i>Fencing is pre-existing and meets City standards.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)9	<b>Guideline: Retaining walls shall be in scale to the streetscape.</b>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)10	<b>10. Historic Structures</b>
				<b>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</b> <ul style="list-style-type: none"> <li>• The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance.</li> <li>• The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.</li> </ul>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9(C)10	<b>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</b> <ul style="list-style-type: none"> <li>• The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure.</li> <li>• New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure:</li> </ul>

				<ul style="list-style-type: none"> <li>~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade;</li> <li>~ Exterior materials that are compatible with the original building materials should be selected;</li> <li>~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building;</li> <li>~ The visual impact of the addition should be minimized from the street;</li> <li>~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building;</li> <li>~ The roof form and slope of the roof on the addition should be in character with the original building;</li> <li>~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.</li> </ul>
			<i>Staff Comments</i>	

**6A.6 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
  - 1. The project does not jeopardize the health, safety or welfare of the public.
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
  
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
  - 1. Ensure compliance with applicable standards and guidelines.
  - 2. Require conformity to approved plans and specifications.
  - 3. Require security for compliance with the terms of the approval.
  - 4. Minimize adverse impact on other development.
  - 5. Control the sequence, timing and duration of development.
  - 6. Assure that development and landscaping are maintained properly.
  - 7. Require more restrictive standards than those generally found in the Zoning Ordinance.
  
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. In particular, the existing sewer service pipe shall be replaced as requested by the Hailey Wastewater staff. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- d) The requirement for a sidewalk along First Avenue is hereby waived as allowed for in Title 17, Article 6A.7.b of the Hailey Municipal Code.
- e) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- f) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- g) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- h) Existing mature trees shown on the site plan shall be fenced or otherwise protected at the drip line for the duration of construction.
- i) This project is subject to Development Impact Fees pursuant to Municipal Code Chapter 15.16. The estimated fee is determined at the time of Building Permit application.
- j) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- k) All utilities will be located underground, consistent with 6A.9.C.1.

**Motion Language**

Approval:

Motion to approve the application submitted by Daniel and Stephanie Smith for Design Review of a new 876 sq. ft. detached garage, to be located at Croy's Addition, Lots 19A, Block 1 (109 Croy Street West), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (l) are met.

Denial:

Motion to deny the application submitted by Daniel and Stephanie Smith for Design Review of a new 876 sq. ft. detached garage, to be located at Croy's Addition, Lots 19A, Block 1 (109 Croy Street West), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on the application submitted by Daniel and Stephanie Smith for Design Review of a new 876 sq. ft. detached garage, to be located at Croy's Addition, Lots 19A, Block 1 (109 Croy Street West), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts to \_\_\_\_\_ [Commission should specify a date].

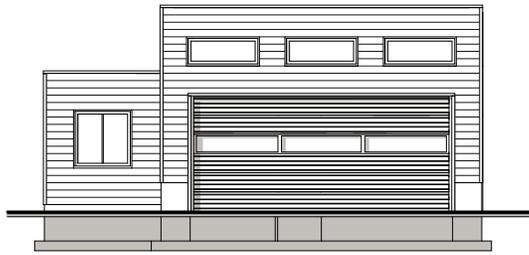
SYMBOLS		LEGEND		PROJECT INFORMATION		PROJECT TEAM		SHEET SCHEDULE		
		<p>LOT: CROY'S ADDITION TO HAILEY, LOT 19A HAILEY, IDAHO 83333</p> <p>SIZE: 0.21 ACRES (OR) 8,990 ± SQUARE FEET</p> <p>ZONE: GENERAL RESIDENTIAL</p> <p>EXISTING SETBACKS: FRONT - 20' SIDE - 10' FROM PROPERTY LINES REAR - 10' FROM PROPERTY LINE</p> <p>AREA ANALYSIS: (GROSS ENCLOSED SQUARE FOOTAGE)</p> <p>GARAGE SHOP = 876 s.f. FOOTPRINT ON SITE = 876 S.F. BUILDING HEIGHT = 14'-0"</p>	<p>OWNERS: DAN &amp; STEPHY SMITH 109 CROY STREET, HAILEY, ID 83333 CELL: 720.6826</p> <p>PROJECT: PROPOSED GARAGE CROY'S ADDITION TO HAILEY LOT 19A BLOCK 1 HAILEY, IDAHO 83333</p> <p>CONTRACTOR:</p> <p>STRUCTURAL ENGINEER: LIV JENSEN 441 EASTRIDGE DRIVE HAILEY, IDAHO 83333 TEL: 208.578.6162</p> <p>PLANNING, ZONING &amp; BUILDING DEPARTMENT: CITY OF HAILEY 115 SOUTH MAIN STREET HAILEY, IDAHO 83333 TEL: 208.788.9815 - P &amp; Z</p> <p>FIRE DEPARTMENT:</p> <p>HEALTH DEPARTMENT: SOUTH CENTRAL HEALTH DISTRICT 808 ERICKSON 117 EAST ASH AVENUE BELLEVUE, IDAHO 83313</p>	<table border="1"> <thead> <tr> <th colspan="2">ARCHITECTURAL</th> </tr> </thead> <tbody> <tr> <td>A-1.0</td> <td>COVER SHEET</td> </tr> <tr> <td>A-2.0</td> <td>PLAN, SECTION &amp; ELEVATIONS</td> </tr> </tbody> </table>	ARCHITECTURAL		A-1.0	COVER SHEET	A-2.0	PLAN, SECTION & ELEVATIONS
ARCHITECTURAL										
A-1.0	COVER SHEET									
A-2.0	PLAN, SECTION & ELEVATIONS									
<h3>PLAT MAP</h3>		<h3>BUILDING CODE</h3> <p><b>ALL WORK SHALL MEET OR EXCEED THE CURRENT ADOPTED CODES:</b></p> <p>2012 INTERNATIONAL BUILDING CODE (2012 IBC)</p> <p>2012 INTERNATIONAL RESIDENTIAL CODE (2012 IRC)</p> <p>2012 INTERNATIONAL ENERGY CONSERVATION CODE (2012 IECC)</p> <p>2012 INTERNATIONAL FIRE CODE (2012 IFC)</p> <p>(AS ADOPTED BY BLAINE COUNTY ORDINANCE NUMBER 2008-02)</p> <p>PROVIDE REQUIRED UNDERFLOOR VENTING/RADON MITIGATION AS REQUIRED.</p> <p>PROVIDE REQUIRED UNDERFLOOR VENTING MOLD MITIGATION AS REQUIRED.</p> <p>PROVIDE UNDERFLOOR (CRAWL SPACE) VENTILATION OF 1 S.F. PER 150 S.F. OF FLOOR AREA</p>		<h3>ADDITIONAL INFORMATION</h3> <p>DRAINAGE: EXISTING DRAINAGE WILL BE PRESERVED. ADDITIONAL GUTTERS AND DOWNSPOUTS WILL BE UTILIZED</p> <p>LANDSCAPE PLAN: SUBJECT PROPERTY CONTAINS MATURE LANDSCAPING. NOTHING ADDITIONAL IS PLANNED AT THIS TIME.</p> <p>LIGHTING PLAN: PROPERTY CONTAINS EXISTING LIGHT FIXTURES. ANY NEW EXTERIOR LIGHT FIXTURES WILL BE SHIELDED, DOWNCAST, NIGHT SKY COMPLIANT.</p>						
<h3>VICINITY MAP</h3>		<h3>SUBDIVISION MAP</h3>		<h3>COLORS, MATERIALS &amp; LIGHTING</h3> <p>EXISTING SHIELDED EXTERIOR DOWNLIGHTS</p> <p>EXTERIOR SIDING TO MATCH (EXISTING)</p> <p>TRIM &amp; FASCIA TO MATCH (EXISTING)</p> <p><b>EXISTING HOUSE</b></p>		<h3>3D DIAGRAMMATIC OF PROJECT</h3> <p><b>PROPOSED GARAGE</b></p>				

Dan & Steph  
Smith  
Hailey, ID 83333  
208.661.6490

SMITH GARAGE  
109 Croy Street, Hailey, ID

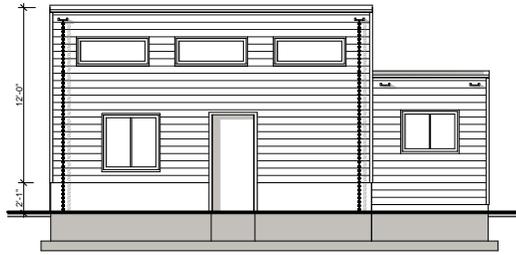
PRELIM DATE:  
06 JULY 2015  
REVISION DATE:  
PERMIT DATE:

A-1.0



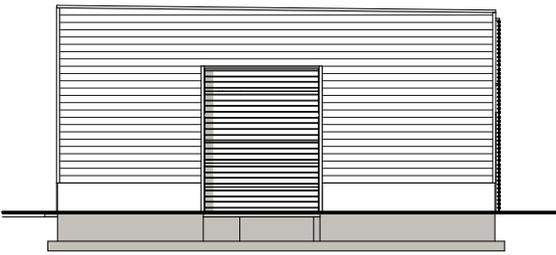
EAST ELEVATION

SCALE: 1/4" = 1'-0"



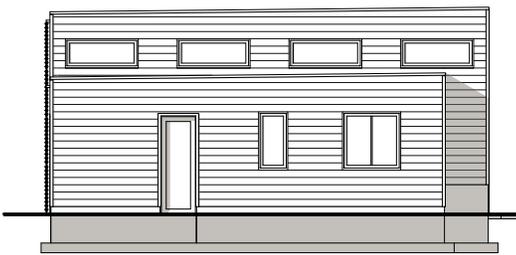
WEST ELEVATION

SCALE: 1/4" = 1'-0"



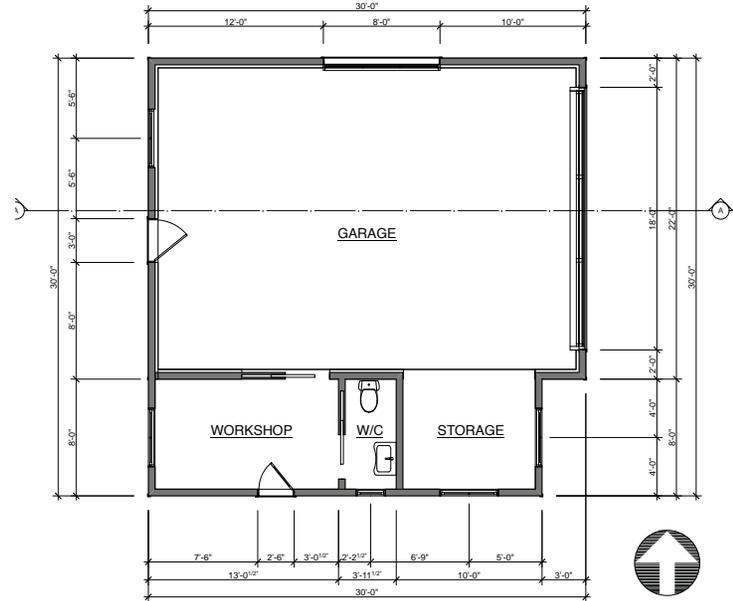
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



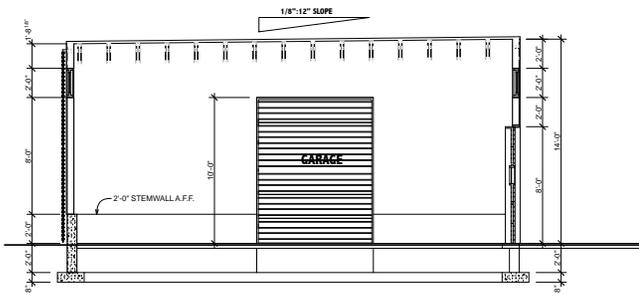
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



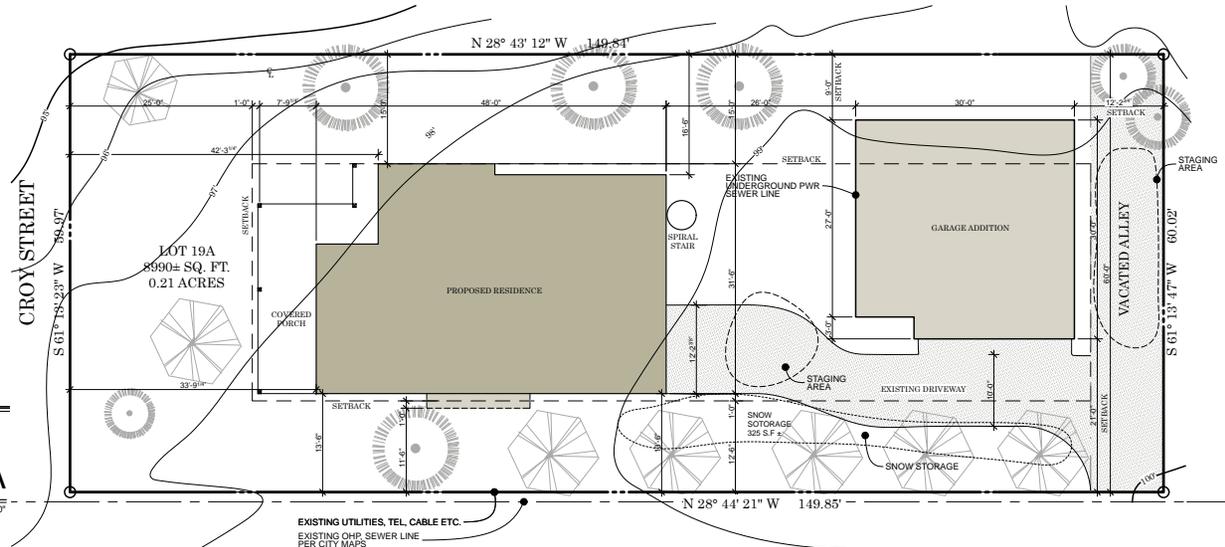
GARAGE PLAN

SCALE: 1/4" = 1'-0"



SECTION - A

SCALE: 1/4" = 1'-0"



EXISTING UTILITIES, TEL, CABLE ETC.  
EXISTING OHP SEWER LINE  
PER CITY MAPS

ALLEY



SITE PLAN

SCALE: 1/8" = 1'-0"

Dan & Stephy  
Smith  
Hailey, ID 83333  
208 881 6490

SMITH GARAGE  
109 Croy Street, Hailey, ID

PRELIM. DATE:  
06 JULY 2015  
REVISION DATE:  
PERMIT DATE:

A-2.0



## 1 Light Outdoor Wall Cylinder -AZ

9234AZ (Architectural Bronze)

### Product Description:

This one light, Wall Cylinder features our Architectural Bronze finish and uses a BR-30 bulb that produces 65-watts (max.) of pure light. It measures 7" high, is U.L. listed for wet location, and is a Dark Skies compliant fixture.

### Available Finishes

Architectural Bronze  
White

### Technical Information

Lamp Included:	Not Included
Extension:	7
Safety Rated:	Wet
HCWO:	3.5
Base Backplate:	4 7/8 X 4.5 X 7/8
CFL Bulb Type:	HYBRID (13-15W)
Dual Mount:	No
Dark Sky:	Yes
Light Source:	Incandescent
Socket Base:	Medium
Number of Bulbs:	1
Lamp Type:	BR-30
Max Watt:	65W
Width:	4.5"
Height:	7"
Finish:	Architectural Bronze

Project
Type
Ordering #
Comments



## 2 Light Outdoor Wall Cylinder - AZ

9244AZ (Architectural Bronze)

### Product Description:

This Wall Cylinder features a unique two light design that shoots light both up and down your walls. It includes our Architectural Bronze finish and uses BR-30 bulbs which produce 65-watts (max.) of pure light. It measures 12" high and is U.L. listed for damp location.

### Available Finishes

Architectural Bronze  
White

### Technical Information

Lamp Included:	Not Included
Extension:	7
Safety Rated:	Damp
HCWO:	6
Base Backplate:	4 7/8 X 4.5 X 7/8
CFL Bulb Type:	HYBRID (13-15W)
Dual Mount:	No
Light Source:	Incandescent
Socket Base:	Medium
Number of Bulbs:	2
Lamp Type:	BR-30
Max Watt:	65W
Width:	4.5"
Height:	12"
Finish:	Architectural Bronze

---

Project

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Type

---

Ordering #

---

Comments

Blank 175

**RETURN TO AGENDA**

## STAFF REPORT

**TO:** Hailey Planning and Zoning Commission  
**FROM:** Lisa Horowitz, Community Development Director  
**RE:** Amendment to Zoning District Map – Lots 1-10, Block 45, Townsite Overlay  
**HEARING:** August 24, 2015

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**Applicant:** Scott Miley, represented by Galena Engineering  
**Request:** Amendment to Zoning District Map by changing the zoning for Lots 1-10, Block 45, Townsite Overlay from General Residential (GR) to Limited Business (LB)  
**Location:** Lots 1-10, Block 45, Townsite Overlay  
**Current Zoning:** General Residential (GR)  
**Proposed Zoning:** Limited Business (LB)

**Note:** Staff analysis is in lighter type.

### **Attachments:**

**Attachment 1:** Matrix of uses allowed in districts under consideration.

**Attachment 2:** Hailey Comprehensive Plan Land Use Map

**Attachment 3:** Analysis of Comprehensive Plan prepared by Applicant

**Attachment 4:** Maps prepared by Applicant

**Attachment 5:** Vacancy Rate of LB Zone District Prepared by Applicant

**Attachment 6:** Public Comment

### **Notice**

Notice for the public hearing scheduled for August 24, 2015 was published in the Idaho Mountain Express on August 3, 2015 and mailed to property owners within 300 feet on and to public agencies and area media on August 3, 2015. Notice was posted on all external boundaries of the property on August 17, 2015.

## **Application**

The applicant, Scott Miley, initiated action for a zone change from General Residential (GR) to Limited Business (LB). The applicant has not stated any particular reasons for the rezone request.

Uses adjacent to the subject property are commercial and residential. Commercial uses include, but are not limited to professional offices, restaurants, retail, and personal services. Lot 10, on the corner of Carbonate and 1<sup>st</sup> Avenue appears to be zoned GR, but contains a residence and a catering business. Lots 11-20, along Main Street,



are zoned Business (B), and contain the Blaine County Historical Museum, Mountain West Bank and the Sun Valley Brewery. The lots to the east across 1<sup>st</sup> Avenue are single-family residential, and are zoned GR. All adjacent properties are within the Townsite Overlay.

The lots in total contain nine (9) dwelling units, which are nonconforming in terms of density and, in some cases, setbacks. Some of these 9 units are accessory units. Current GR zoning would support various densities as described further in this report.

## **Procedural History**

A variety of zone change requests have been considered on these lots by the City in the past:

- 1) A Development Agreement rezone was approved by the City for Lot 10 (the red house/business on the corner of Carbonate and First) for Business (B). Uses were restricted to a residence and a florist shop, with the exterior of the historic building to remain substantially unaltered, and deliveries to occur from the west side. The florist shop was limited to a maximum of 1,000 square feet. The Development Agreement was to become null and void if Lots 1-9 were rezoned to Business. Changes in use were to result in revocation of the Business Zone classification. In 2002, the Florist Shop was changed to a catering business as a home occupation, and the zoning reverted back to GR, although the 2006 staff report noted in #2 below referred to the zoning As B.

- 2) Lots 1-9 applied for a rezone to TN in 2007, with a hearing before the Commission in January 2008. The hearing was continued, but the applicant did not pursue the application.

### **Analysis and Discussion**

Three Zone Districts are analyzed in this report: the current zoning, GR, the requested zoning, LB and the previously requested zoning of TN. The matrix attached to this report shows in details uses permitted, conditionally permitted and prohibited in each of these zone districts.

#### 1. Purposes of Zone Districts:

GR: “The purpose of the General Residential District is to provide a variety of residential uses and preserve the favorable amenities associated with a residential neighborhood. The intent is to preserve the favorable amenities associated with a residential neighborhood.”

TN: “The purpose of the TN District is to provide a buffer zone between residential and business areas. The zone provides for restricted business activities within residential areas, which are directly adjacent to or across a street or alley from established business zones. Uses shall be limited to those that generate relatively little traffic. The residential integrity of the area shall be maintained by preserving the existing buildings and requiring new building designs in keeping with the residential nature of the area, and requiring adequate on-site parking. The term “Transitional” does not imply that the properties within the district will be transitioning from residential to business zoning.”

LB: “The purpose of the LB District is to provide areas for a wide range of residential uses, restricted business uses, and medical facilities. The LB District is intended to allow for commercial uses that would not detract from the established downtown retail businesses, hence general retail is not allowed.”

#### 2. Summary of Uses:

The substantial differences between the three districts are as follows:

- The LB allows a variety of commercial uses not allowed in either TN or GR: car rental companies, contractors offices without exterior storage, finance and insurance firms, gasoline stations and automotive repair (conditionally), medical and personal care stores (conditionally), real estate/property management companies, wholesale retailers and above-ground fuel tanks. (See the matrix for a variety of other nuances between permitted and conditional uses in this zone district as compared to TN and GR.)
- The TN allows professional offices and dwelling units within mixed use buildings as a permitted use, whereas the GR does not.
- The TN requires a conditional use permit for multi-family residential dwelling units whereas multi-family residential dwelling units are a permitted use in GR.

#### 3. Bulk Requirements:

The bulk requirements for both General Residential and Transitional Districts are relatively similar. The only exception being Transitional, within the Townsite Overlay, allows maximum lot coverage of 30%, except 40% shall be allowed where at least 75% of required parking spaces are enclosed within a

structure. Section 4.13.6, g) states General Residential districts within the Townsite Overlay have varying maximum lot coverage standards, from 25% to 40%, based on building height. Bulk requirements for LB are also similar.

#### 4. Density:

Density between the 3 zone districts is quite different. The total lot size of lots 1-10 is 25,000 square feet (.574 acres). Both TN and GR allow 10 units per acre, which could theoretically yield 5.74 multifamily units. If the entire ½ block were redeveloped and the currently lot lines removed, the minimum lot size for single family with no Accessory Dwelling Unit in Townsite Overlay is 4,500 square feet, which results in 5 lots. The minimum lot size with Accessory Dwelling Unit is 7,500 square feet, which allows for 3 lots. If each of the 3 lots had an accessory dwelling unit, a total of 6 dwelling units would be permitted in this ½ block<sup>1</sup>.

LB allows for 20 units per acre, or 11 units.

Further analysis would be required by an architect, but it is likely that the limiting factors in the 6-unit (3 lots plus 3 accessory dwelling units) example for both GR and TN zone districts are lot coverage and parking.



#### 5. Existing Land Uses

As noted in the background section, 9 residential units exist in the ½ block (a combination of single family, accessory and duplex units). Many of these are old and nonconforming, forcing parking on to First Avenue instead of the preferred alley location. This parking arrangement has a large impact on the neighborhood, with an unintended consequence of making this block feel like an extension of the on-street commercial parking on the commercial block due south. Redevelopment of lots in this block could result in a better development pattern of parking in the rear off the alley. The current density of 9 units may be appropriate if parking is reconfigured, and if the scale of redevelopment is compatible. This density cannot be reconstructed under the current zoning.



Old Hailey.

Some of the buildings within the rezone area are maintained in good condition, and others are visibly in need of repair. This is in contrast to the east side of the street, and to other properties due north of the rezone area, which are for the large part well maintained and reflective of the eclectic character of

---

<sup>1</sup> Note that the redevelopment of the entire ½ block is highly unlikely as a new house is under construction at this time on Lots 7-9

This ½ block is also impacted by the types of commercial uses west across the alley: a bank drive-through and the alley servicing Sun Valley Brewery.

### **Standards of Evaluation**

**14.6 When evaluating any proposed amendment under this Article, the Council shall make findings of fact on the following criteria:**

**a. The proposed amendment is in accordance with the Comprehensive Plan;**

The Comprehensive Plan Land Use Map reflects suitable projected land uses for the City. It considers existing conditions, trends, and desirable future situations, the objective being a balanced mix of land uses for the community. The Map establishes a basis and direction for the expansion and/or location of business, residential, industrial, institutional and green space areas within and adjacent to the City. The Map depicts the area proposed for rezone as Residential Buffer but on the border of High Density Residential. Goal 5.1 of the Comprehensive Plan describes Residential Buffer areas as, “medium density residential, providing a buffer between lower density residential neighborhoods to the east and west and the Main Street District.” High Density Residential is described as, “high density residential infill is encouraged in the area along Main Street and River Street between downtown and the north and south ends of Main Street. Residential uses that allow densities greater than GR (10 units/acre) but less than Business (20 units per acre) would most appropriately fulfill the Comprehensive Plan Land Use Map for this area.

Note that the applicant has interpreted the Land Use Map in a different manner, as described in the attachment to this Report.

A further evaluation of the policies of the Comprehensive Plan is underway by staff, and will be brought to the meeting.

**b. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;**

It is anticipated that public facilities and services are available and sufficient to support the full range of uses permitted by all three zone districts under consideration.

**c. The proposed uses are compatible with the surrounding area; and**

Staff does not believe that the commercial uses permitted in the LB zone are compatible with the neighborhood, or fulfill the intended goals of the Land Use Map. However, this ½ block is in

a transition area between business and residential, and it is appropriate to consider zoning that would allow for a transition between intensity of land uses. Note that the applicant has provided an analysis of policies in the Comprehensive Plan that support the request.

**d. The proposed amendment will promote the public health, safety and general welfare.**

This standard needs more discussion before it can be fully evaluated. The Commission should discuss whether the introduction of the nonresidential uses permitted in the LB zone creates a good transition from business, while protecting the integrity of the adjacent residential neighborhoods.

**14.6.1 When evaluating any proposed Zoning Ordinance Map Amendment to rezone property to Business (B) Zoning District, Limited Business (LB) Zoning District, or Transitional (TN) Zoning District, the Commission and Council shall consider the following:**

**a. Vacancy rates of existing buildings and land within the existing Business (B), Limited Business (LB) or Transitional (TN) Zoning Districts. A lower vacancy rate will favor a rezone, while a higher vacancy rate will not favor a rezone.**

The applicant has developed a vacancy analysis for the LB zone, attached to this report. Due to the types of office uses permitted in the LB Zone, staff believes it would be appropriate to analyze vacancy rates in the entire B zone district if the concept of LB zoning for this property is pursued by the Commission. Staff has a general perception that there is abundant office space and vacant land zoned for office in the B District, particularly when River Street is considered. This opinion is anecdotal, and is not based on a vacancy analysis.

**b. The distance of the parcel proposed for rezone from the Central Core Overlay District boundary. A shorter distance from the Central Core Overlay District boundary will favor a rezone, while a longer distance from the Central Core Overlay District boundary will not favor a rezone.**



The properties in question are kitty-corner to the Central Core Overlay District and are very close.

**Summary**

This area raises valid questions as to:

- 1) Impacts of the adjacent Business Uses on this ½ block, and other ½ blocks adjacent to the Business District;
- 2) Best land uses for this area that respect adjacent residential uses and the scale of Old Hailey, and respond to current market demands;
- 3) Appropriateness of the zoning choices available to the Commission. The TN Zone District may need some modification to make it a more appropriate application in this area.
- 4) Additional analysis, such as vacancy of office uses in the Business Zone District.

#### Action

The Commission is required by the Hailey Zoning Code to make a recommendation to the Hailey City Council based on compliance with the Comprehensive Plan and the following criteria:

##### **14.4.2 Recommendation.**

- a. **Following the hearing, if the Commission or Hearing Examiner makes a substantial change from what was presented at the hearing, the Commission or Hearing Examiner may either conduct a further hearing after providing notice of its recommendation, or make its recommendations to the Council, provided the notice of the Commission's or Hearing Examiner's recommendation shall be included in the notice of the hearing to be conducted by the Council.**
- b. **The Commission or Hearing Examiner shall recommend, with reasons therefore, to the Council that the proposed amendment be granted or denied, or that a modified amendment is granted.**
- c. **If the proposal initiated by an applicant is not in accordance with the Comprehensive Plan, the Commission or Hearing Examiner shall notify the applicant of this finding and inform the applicant that the applicant must apply for an amendment to the Comprehensive Plan before the Zoning Ordinance or Zoning Map can be amended.**

If the proposed change is recommended for approval, the City Council will consider the zone change at the public hearing set for a future date.

#### **Motion Language**

Approval:

Motion to recommend approval of the application to the City Council to amend the zone district map for the City of Hailey to change the zoning of Lots 1-10, Block 45 from General Residential (GR) to Limited

Business (LB), finding the amendments are in accordance with the Comprehensive Plan, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Denial:

Motion to recommend denial of the application to the City Council to amend the zone district map for the City of Hailey to change the zoning of Lots 1-10, Block 45 from General Residential (GR) to Limited Business (LB), finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing to \_\_\_\_\_ [the Commission should specify a date] to allow staff to bring back suggested modifications to the TN Zone District that may be more suitable to this particular neighborhood.

# **Exhibit 1**

Category	Description (Excerpt)	Zones and Sub districts		
		GR	LB	TN
<b>RESIDENTIAL</b>				
<b>Residential</b>	Single Family Dwellings	P	P	P
	Manufactured Home	P	P	P
	Multi-Family Dwellings	P	P	C
	Dwelling Units Within Mixed Use Buildings	N	P	N
<b>PUBLIC OR SEMI/PUBLIC</b>				
<b>Public or Semi-Public</b>	Churches	P	P	P
	Colleges, vocational and technical trade schools.	N	N	N
	Government offices and public administration, except correctional institutions.	N	P	N
	Health care and social assistance.	N	P	N
	Municipal Uses limited to water storage and well facilities	N	N	N
	Non-motorized recreational pathways	P	P	P
	Non-profit recreation center	N	N	C
	Parks	P	P	P
	Public recreational or cultural areas	N	N	N
	Public Service, Public Use and Public Utility Facilities.	C	C	C
	Semi-Public Uses.	C	P	C
	Schools. (Refer to §11.4.3 for specific criteria when reviewing schools)	C	C	N
<b>TELECOMMUNICATION</b>				
	PWSF's and WCF's, mounted on any proposed freestanding tower, upon the issuance of Wireless Permit in accordance with the provision of Article VIII A of this Ordinance. (Lattice towers are prohibited.)	N	C	N
	PWSF's or WCF's, attached to street poles or mounted on existing buildings or structures, upon the issuance of a Wireless Permit in accordance with the provisions of Article VIII A of this Ordinance. (Freestanding and lattice towers are prohibited.)	C	P	C
<b>COMMERCIAL</b>				
<b>Commercial</b>	Administrative and support services.	N	N	N
	Airport	N	N	N
	Artist studios, which have no associated gallery.	N	N	N
	Arts, entertainment and recreation uses (indoor and outdoor).	N	P	N
	Arts, entertainment and recreation uses, except outdoor arenas and amusement parks .	N	N	N
	Auto dealerships.	N	N	N
	Automobile rental companies	N	N	N
	Automobile towing.	N	N	N
	Automotive Repair and Maintenance.	N	N	N
	Bed and Breakfast Inn.	C	P	C
	Boarding and Rooming Houses.	C	P	N
	Broadcasting firms, media offices, and related uses.	N	N	N
	Business parks	N	N	N
	Cable television firms.	N	N	N

	Car rental companies.	N	N	N
	Catering Services.	N	P	N
	Commercial brewery, bakery, or food catering where no retail sales are conducted.	N	N	N
	Computer software development, manufacture and service firms.	N	N	N
	Construction and building material sales (except hardware stores).	N	N	N
	Construction contractors.	N	N	N
	Construction equipment and materials rental, storage, sales and service, excluding hardware stores.	N	N	N
	Construction equipment rental, storage, sales and service.	N	N	N
	Construction trade contractors' offices with no exterior storage.	N	C	N
	Construction trade contractors, excluding excavation and landscaping companies.	N	N	N
	Construction trade contractors, including excavation companies.	N	N	N
	Control Tower (Air Traffic)	N	N	N
	Convenience stores, in conjunction with Gasoline Stations that have no more than 1800 square feet of gross floor area. Drive-through service windows are not allowed.	N	N	N
	Convenience Stores.	N	C	N
	Dance and martial art studios, fitness facilities.	N	N	N
	Day Care Centers provided no more than eighteen (18) children will be cared for at any one time.	C	P	C
	Day Care Centers (13+ children).	C	P	C
	Day Care Facilities (up to 12 children)	P	P	P
	Day Care Homes (6 or less children)	P	P	P
	Employee housing for golf courses or recreational facilities	N	N	N
	Fabrication and repair of building materials and components, including log homes.	N	N	N
	Farm supply and equestrian tack and feed stores.	N	N	N
	Fencing supplies and installation.	N	N	N
	Finance and insurance firms.	N	C	N
	Firewood production and storage.	N	N	N
	Flight schools, provided regularly scheduled commercial passenger aircraft services are operated at the Airport.	N	N	N
	Floor covering stores.	N	N	N
	Gasoline Stations and Automotive Repair and Maintenance.	N	C	N
	Gasoline Stations, including card-lock stations.	N	N	N
	Gasoline Stations.	N	N	N
	Gift shops within terminal	N	N	N
	Golf course, public	N	N	N
	Guides and outfitters with no more than 20% of the floor area dedicated to retail sales.	N	N	N
	Helicopter areas, provided regularly scheduled commercial passenger aircraft services are operated at the Airport.	N	N	N
	Home Occupations.	P	P	P
	Hotels or motels with or without attached restaurants.	N	P	N
	Hybrid Production Facilities.	N	N	N
	Indoor recreational facilities primarily for instruction.	N	N	N
	Industrial laundry/dry cleaning service and distribution establishments.	N	N	N
	Interior decorating and design that have no more than 20% of the gross floor area dedicated to on-site retail sales.	N	N	N
	Investigation and Security Services.	N	N	N
	Landscape design and installation firms, and landscape nurseries.	N	N	N
	Landscape design, installation and maintenance firms.	N	N	N

	Laundromat, dry cleaning, and laundry.	N	N	N
	Light Manufacturing.	N	N	N
	Medical and personal care stores.	N	C	N
	Mercantile (wholesale and retail).	N	N	N
	Mixed Use Buildings.	N	P	P
	Motor vehicles and parts dealers, service, rental and leasing.	N	N	N
	Nurseries, greenhouse and floriculture production and sales.	N	N	N
	Outpatient Animal Services.	N	N	N
	Parcel delivery and shipping services.	N	N	N
	Parking facilities and structures.	N	N	N
	Personal Services where retail sales are clearly incidental to the principal use and no outside storage yard or facility is required.	N	P	C
	Photography studios and photo processing.	N	N	N
	Physical fitness facilities.	N	N	N
	Printing and publishing firms.	N	N	N
	Processing and sales of firewood.	N	N	N
	Professional and general offices.	N	P	P
	Radio and television recording studios and stations.	N	N	N
	Real estate and property management companies.	N	P	N
	Recording studios (audio or video) and broadcasting studios.	N	N	N
	Research and development facilities.	N	N	N
	Residential Care Facility	P	P	P
	Restaurants which may or may not include the sale of alcoholic beverages.	N	N	N
	Restaurants within terminal	N	N	N
	Restaurants and bars.	N	C	N
	Restaurants. Drive-through service windows are not allowed.	N	N	N
	Retail trade limited to the following: floor covering and window treatment, household appliances, woodstoves/fireplaces, spa/hot tub, building material and garden equipment and supplies (excluding hardware stores), farm and equestrian, and non-store retail (mail-order and vending machines).	N	N	N
	Sales, rental, and servicing of trailers, mobile homes, farm implements and heavy equipment.	N	N	N
	Services to buildings (janitorial/maintenance) and property management companies.	N	N	N
	Sign studios and manufacturers.	N	N	N
	Snow removal contractors.	N	N	N
	Structures and/or buildings integral to a golf course such as club houses, maintenance, buildings, and rest rooms	N	N	N
	Truck transportation, bus, taxi and limousine services, and couriers.	N	N	N
	Veterinarians, pet grooming, and training with no outdoor kenneling.	N	N	N
	Warehouse and storage facilities, including self-storage facilities and exterior storage facilities.	N	N	N
	Warehouse and storage facilities.	N	N	N
	Wholesale distributors or Wholesale distributors with incidental and subordinate retail sales.	N	C	N
	Wholesale distributors.	N	C	N
	Wholesale trade.	N	N	N
<b>AGRICULTURAL USES</b>				
<b>Agriculture</b>	Horses, a maximum of two (2) horses per acre on lots of one (1) acre minimum size	C	N	N
	Urban Agriculture (see definition)	P	P	P
<b>ACCESSORY USES</b>				
<b>Above Ground Fuel Tanks</b>	Above ground flammable and combustible liquid tanks utilized by a public use	C	C	C

	Above ground fuel tank for private or commercial use	N	P	N
<b>Accessory Dwelling Unit (ADU)</b>	One (1) Accessory Dwelling Unit on lots 7,000 square feet or larger, accessory to a single family dwelling unit or to a non-residential Principal Building. Primary vehicular access to any ADU shall be from a City street or alley. All Accessory Dwelling Units shall have adequate water and sewer services installed to meet City Standards.	A	A	A
<b>Alternative Energy Systems</b>	Freestanding Solar Panels, subject to the maximum building height for the applicable district.	N	C	C
	Roof Mounted Solar Panels, subject to the maximum building height for the applicable district	A	A	A
	Roof Mounted and Freestanding Small Scale Wind Energy System	N	N	N
<b>Garages</b>		A	A	A
<b>Greenhouse/ Private</b>	A greenhouse for private use	A	A	A
<b>Storage</b>	Storage Buildings with a gross floor area of greater than 120 square feet	A	A	A
	Storage Buildings with a gross floor area less than 120 square feet	A	A	A
	Shipping Containers utilized for storage, must be shielded from view with fencing and/or landscaping and shall require a building permit	N	N	N
<b>Swimming Pool</b>		A	N	N
<b>Temporary Structures</b>	Temporary Structures for use of no more than 12 months	C	C	C
<b>BULK REQUIREMENTS</b>				
<b>Lot Dimensions</b>	Minimum Lot Size (square feet)	6000	6000	6000
	Minimum Lot Width (feet)	50	50	50
<b>Building Height</b>	Maximum Building Height (feet)	35	35	35
<b>Setbacks</b>	Minimum Front Yard Setback (feet)	20	20	20
	Minimum Side Yard Setback (feet)	10	10	10
	Minimum Rear Yard Setback (feet)	10	10	10
	Riparian	100	100	100
<b>Multi-Family and Mixed Use Density</b>	Mixed Use Residential Density: Maximum units per acre	--	20	10
	Multi-Family Residential Density: Maximum units per acre	10	20	10
<b>Total Lot Coverage</b>	Total maximum coverage by all buildings, which includes one accessory dwelling unit (percentage)	40%	--	30% <sup>10</sup>
<b>Maximum Floor Area</b>	Aggregate gross floor area for Individual Retail/Wholesale Trade (000's square feet)	--	36	--
	Aggregate gross floor area for Grouped Retail/Wholesale (000's square feet)	--	36	--

# **Exhibit 2**



# HAILEY COMPREHENSIVE PLAN LAND USE MAP RESOLUTION 2010-18

## LAND USE

- Hailey City Limits
- 1/2 Mile Service Area
- 1/4 Mile Service Area
- PARKS ACTIVITY**
- Community Gateways
- Main Street Corridor
- Downtown
- Community Activity Areas
- High Density Residential
- Residential Buffer
- Traditional Residential
- Light Industrial/Business Park
- Airport Site Redevelopment
- Neighborhood Service Centers

## PARKS & GREEN SPACE

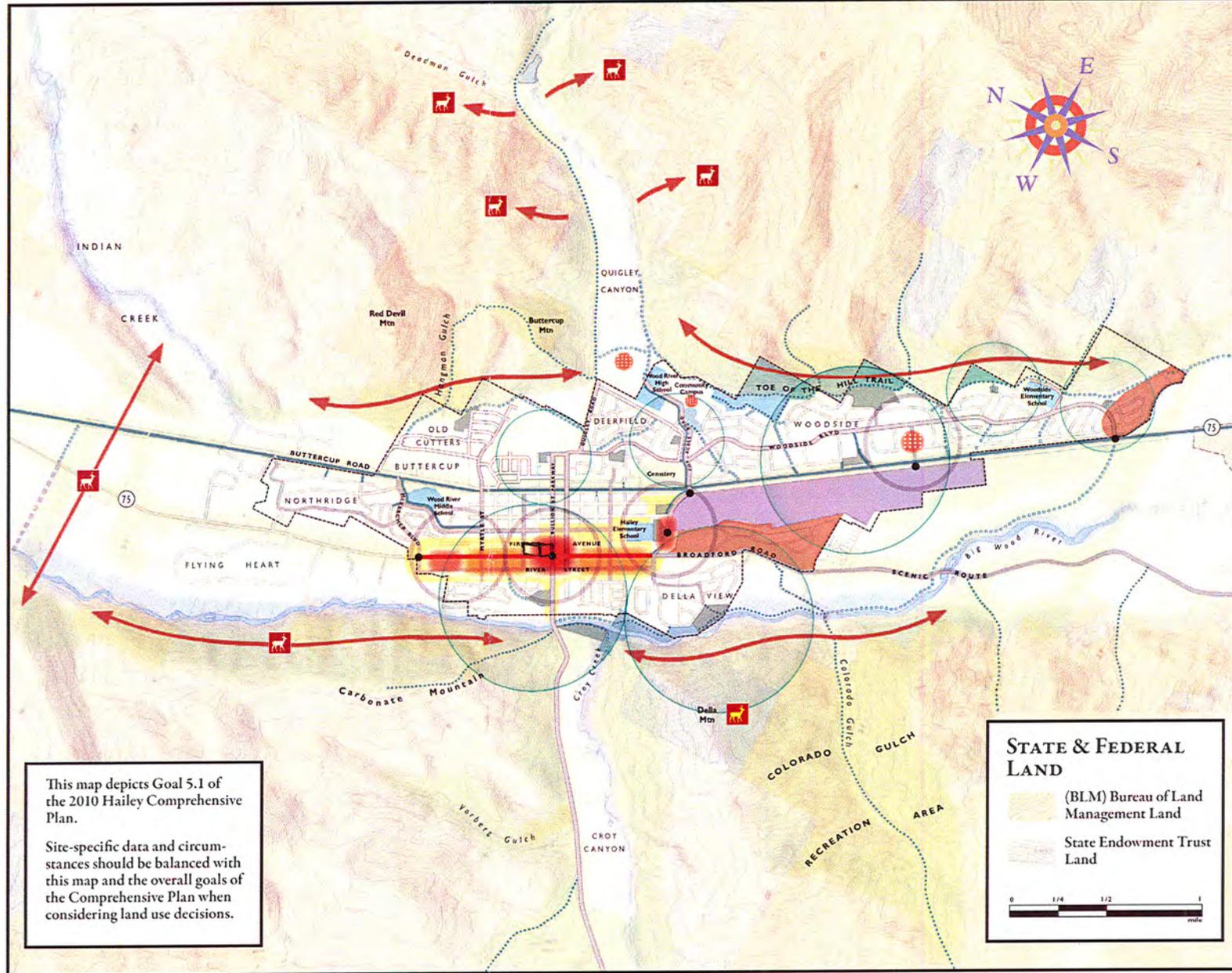
- Existing Parks
- Hillside Green Space
- School Playing Fields
- Other Public Green Space

## HAILEY TRAILS

- Paved Separated Pathways
- Pedestrian & Bicycle Routes
- Trails
- Potential or Proposed Trails

## NATURAL RESOURCES

- Floodplains, Floodways, Waterways and Wetlands
- Open space, Green Space, Greenways and Scenic Corridors
- Wildlife Corridors/Winter Range Areas



This map depicts Goal 5.1 of the 2010 Hailey Comprehensive Plan.

Site-specific data and circumstances should be balanced with this map and the overall goals of the Comprehensive Plan when considering land use decisions.

### STATE & FEDERAL LAND

- (BLM) Bureau of Land Management Land
- State Endowment Trust Land

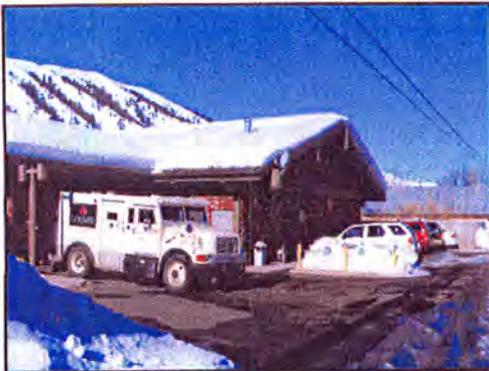
# **Exhibit 3**

**Analysis of the Goals, Policies, and Implementation Portions of  
the Hailey Comprehensive Plan for  
Proposed Zone Change of the West Half 200 Block North  
First Ave., Hailey**

The owners of 209-219 North First Avenue and 17 East Carbonate Street in the Hailey Original Townsite have submitted a zone change application for their property. The proposed change would alter the district of Lots 1 through 10, Block 45, Hailey Original Townsite, from General Residential (GR) to Limited Business (LB).

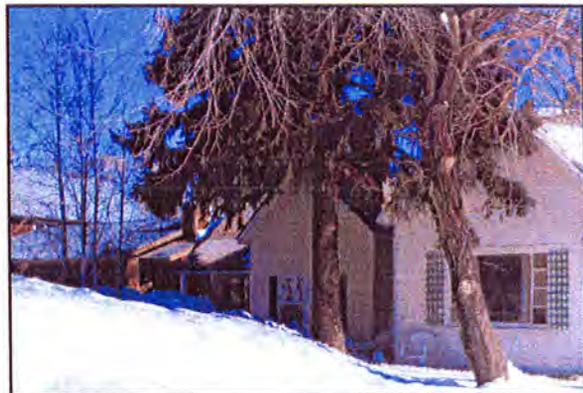
The requested zone change is in both broad and specific accordance with the general direction, goals and policies established in the Hailey Comprehensive Plan. The requested change also meets the direction established by the implementation portions of the Plan, and is in accordance with the Land Use Map that is part of the Plan.

The Hailey Comprehensive Plan states that it is important to recognize the interrelationship of each component of the Comprehensive Plan. The Plan is a working whole. Therefore, singular components must not be separated from the whole plan for reasons of arbitrary illustration. Broadly, the Hailey Comprehensive plan seeks to create and enhance a thriving downtown Business and mixed-use residential area. The Plan is replete with references to a thriving commercial core, a walkable community, mixed residential and commercial properties and neighborhoods, and compact community form. The zone change requested directly responds to the direction the Plan establishes. The property in question is immediately adjacent to the Central Business District, abuts an alley used by businesses, is currently zoned for multi-family residential use, and is one half block to the east of Main Street. The applicant is requesting a change to Limited Business District in order to have the opportunity to create the multi-use buildings envisioned by the Plan.



Business District has, as its core concept, the integration of residential and unobtrusive commercial uses. This half block lies directly between a long established Business District (above) and the residential areas of Old Hailey (right).

The Limited Business District states that its purpose is to provide areas for a wide range of residential uses, restricted business uses, and medical facilities. The LB District is intended to allow for commercial uses that would not detract from the established downtown retail businesses; hence general retail is not allowed. The Limited



Its creators call the Growth Management portion of the Hailey Comprehensive Plan the one element of a Comprehensive Plan that ties the others together. That portion of the plan states "A successful downtown is one component of a successful local economy and community".

The Plan's primary concern is that 'expansive' development does not outpace city services.

The property in

question is located within the

defined city core, and is well

served by all Hailey's

infrastructure. Limited Business

District uses on these properties

may not be any more

infrastructure intensive, and may

be less so, than the existing

residential and multi-family

residential uses. Infill

development is generally

considered as the preferred

method of growth.



The Plan goes on to state "Promoting mixed use in Downtown ensures a diversified, sustainable economic condition". The authors of the Plan understand that managed economic development is key to the welfare of the City. While the Airport West development has met many of the City's needs for light industrial and service commercial uses, office, professional and other service uses permitted by the Limited Business District have been, and should be, limited to the downtown core. The establishment of mixed use (office / residential) development adjacent to the downtown core will add to the economic vitality of the central core.

The crafters of the plan have recognized that the Central Business District of the City of Hailey, in order to remain vibrant, must both infill and, in some ways, expand. The Plan mentions that establishing land use districts for a balanced mix of uses may require expansion of nonresidential zones. Adequate commercial and industrial zoned land will help Hailey as a community by providing jobs as well as homes. The zone change requested will allow the Commission and Council to follow the direction established in the plan.

The Hailey Comprehensive Plan indicates that the City should encourage integration of compatible land uses in order to retain a compact City comprised of a central downtown with surrounding diverse neighborhoods, thereby reducing sprawl and traffic, increasing efficiency,

and creating neighborhood and community character. The land subject to this application borders the Hailey Central Business District on two sides. To the west of this property are the Sun Valley Brewery, Mountain West Bank



(with a drive through), an insurance office and the Blaine County Museum. The residential areas of the northeastern part of the original Townsite are classic 'Old Hailey'. The requested zone change directly corresponds to and follows this portion of the plan. A Limited Business District creates an appropriate buffer between

these intense land uses and 'Old Hailey' residential areas. It also allows for the establishment of higher density land uses in and near the community core.

The Plan suggests that the community enhance the Central Business District as defined in this plan, maintaining it as Hailey's primary retail center, and



should consider ordinance amendments that will support a dynamic and vital downtown core. Expansion of the Business and like districts should be in accordance with the established Land Use Map. A quick review of the Hailey Land Use Map, at left, shows that the

half block in question is clearly indicated as appropriate for Limited Business Zoning as part of the natural growth of the Business District. The Plan lists as one of its tenets that the city should encourage mixed use projects with residential uses to create more diversity and vibrancy in the Central Business District. One of the great benefits of the Limited Business district is the fact that the district allows non-residential uses such as professional offices, adjacent to or in the same structure as residential uses, and only if those uses retain a residential character.

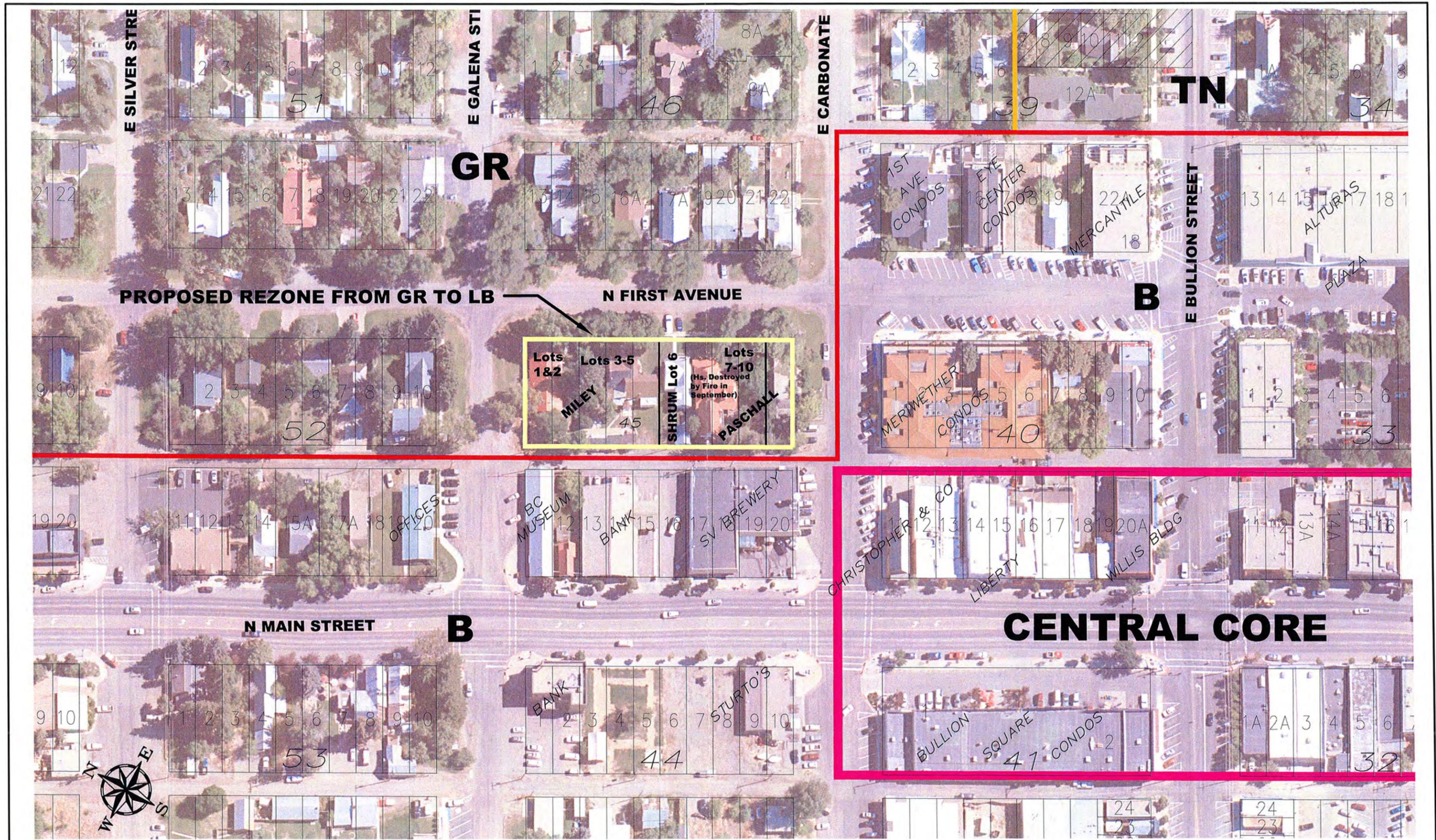
The Economic Development Section of the Comprehensive Plan states that one of its Goals is to "Encourage a diversity of economic development opportunities within Hailey. Limited Business District designation along First Avenue accomplishes this goal through the integration of residential and unobtrusive commercial uses.

The City of Hailey Downtown Strategy is cited several times in the Comprehensive Plan as a reference. Among other things, this plan lists participant responses as to what they would like to see in Downtown Hailey. What they liked most included: Lots of opportunities close together, a variety of services, and ability to walk or bike everywhere. What they felt was needed most included: more breadth east and west of Main Street (both River Street and First Avenue near Carbonate Street are cited in the study), and more businesses with housing above them. Under the Action Plan Section "Consideration of incentives to promote Business Development and encourage investment development within Downtown" is given a Priority Level of "High".

In conclusion, the property in question is clearly shown on the Hailey Land Use Map to be part of the commercial core and is consistent with the Comprehensive Plan's goals and strategies. As stated in the Comprehensive Plan, Part Four, Implementation "The Comprehensive Plan is only as effective as the commitment to adopt and implement policies and standards and allocate funding in a manner that is consistent with the direction provided by the goals of the plan." Elected and appointed officials have the responsibility to further the aims of the Comprehensive Plan and we feel that this rezone is consistent with these aims.

Scott Miley  
Owner, Lots 1-5, Block 45

# **Exhibit 4**



**PROPOSED REZONE FROM GR TO LB**

**N FIRST AVENUE**

**N MAIN STREET**

**B**

**CENTRAL CORE**

**TN**

**B**



**SCALE: 1"=100'**

NO	DATE	BY	REVISIONS

**GALENA ENGINEERING INC.**

**CIVIL ENGINEERS & LAND SURVEYORS**  
 317 NORTH RIVER STREET  
 HAILEY, IDAHO 83333  
 (208) 788-1705  
 (208) 788-4612 FAX  
 EMAIL: galena@galena-engineering.com

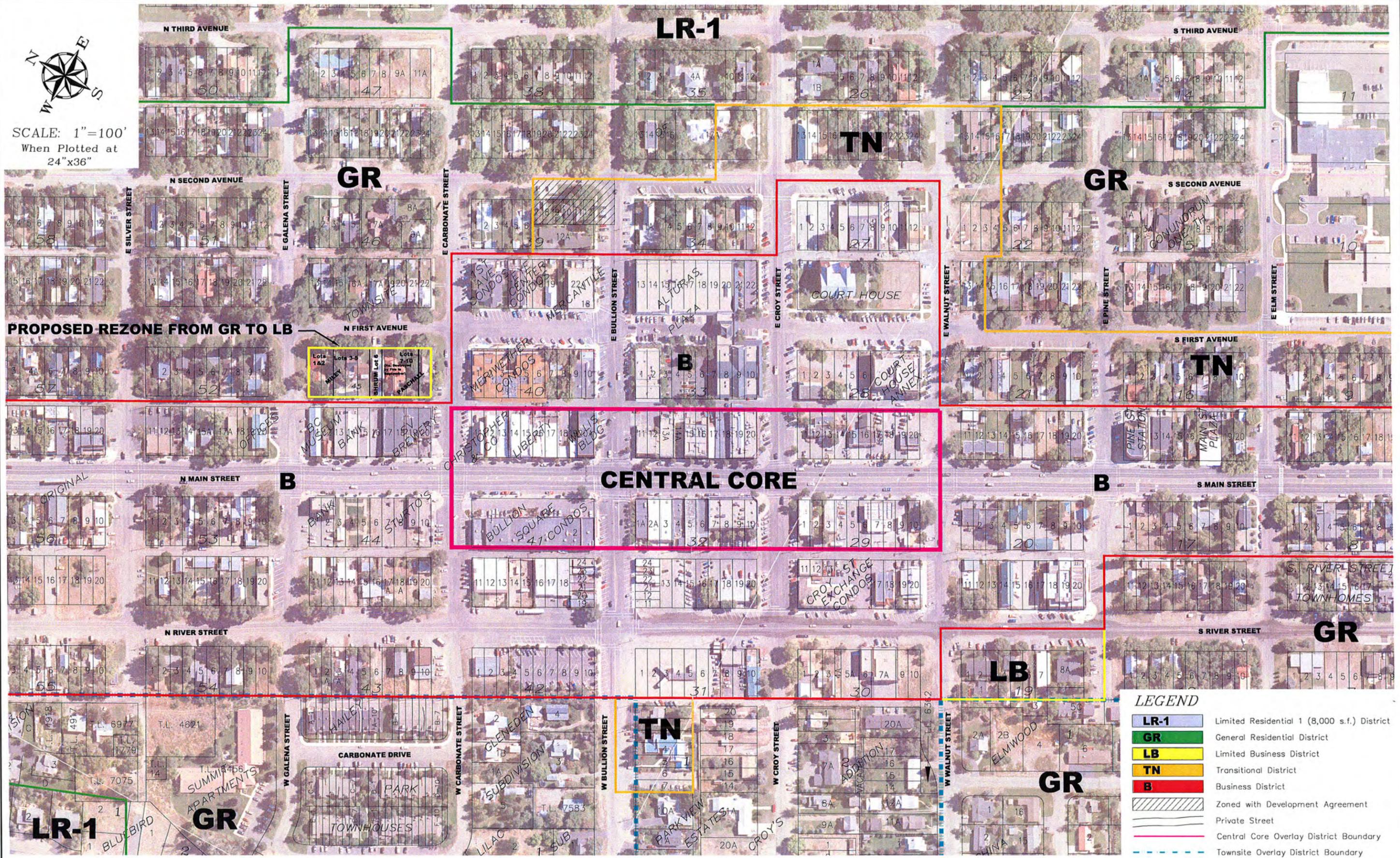
**REUSE OF DRAWINGS**  
 These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

DESIGNED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

Aerial Detail Exhibit for  
**LOTS 1-10, BLK 45, HAILEY TOWNSITE REZONE**  
 LOCATED WITHIN SECTION 9, T.2N., R.18E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 PREPARED FOR SCOTT MILEY



SCALE: 1"=100'  
When Plotted at  
24"x36"



**LEGEND**

<span style="background-color: #ADD8E6; border: 1px solid black; padding: 2px;"> </span>	LR-1	Limited Residential 1 (8,000 s.f.) District
<span style="background-color: #3CB371; border: 1px solid black; padding: 2px;"> </span>	GR	General Residential District
<span style="background-color: #FFFF00; border: 1px solid black; padding: 2px;"> </span>	LB	Limited Business District
<span style="background-color: #FFD700; border: 1px solid black; padding: 2px;"> </span>	TN	Transitional District
<span style="background-color: #FF0000; border: 1px solid black; padding: 2px;"> </span>	B	Business District
<span style="border-bottom: 1px dashed black; width: 20px; display: inline-block;"></span>		Zoned with Development Agreement
<span style="border-bottom: 1px solid black; width: 20px; display: inline-block;"></span>		Private Street
<span style="border-bottom: 2px solid red; width: 20px; display: inline-block;"></span>		Central Core Overlay District Boundary
<span style="border-bottom: 2px dashed blue; width: 20px; display: inline-block;"></span>		Townsite Overlay District Boundary

NO	DATE	BY	REVISIONS

**Galena Engineering Inc.**  
680 Second Avenue North  
P.O. Box 425  
Ketchum, Idaho 83340  
(208) 726-4729  
(208) 726-4783 fax  
email galena@galena-engineering.com

**Civil Engineers & Land Surveyors**  
680 Second Avenue North  
P.O. Box 425  
Ketchum, Idaho 83340  
(208) 726-4729  
(208) 726-4783 fax  
email galena@galena-engineering.com

**REUSE OF DRAWINGS**  
These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

DESIGNED BY	DATE
KMJ	04/21/15
DRAWN BY	DATE
BOY	04/21/15
CHECKED BY	DATE

**DOWNTOWN AERIAL EXHIBIT FOR  
LOTS 1-10, BLK 45, HAILEY TOWNSITE REZONE  
LOCATED WITHIN SECTION 9, T.2N., R.18E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO  
PREPARED FOR SCOTT MILEY**

PROJECT INFORMATION  
P:\sdsproj\7122\dwg\Boundary-Plat\7122 Rezone.dwg 3/2/2015 6:45:51 PM MST **SHT 1 OF 1**



# **Exhibit 5**

## **Evaluation of Vacancy Rates In Existing LB**

**for**

### **Proposed LB Rezone of the East 1/2, Block 44, Hailey Townsite**

A survey of vacancy rates within the 6 existing Limited Business zones was conducted during the first week of August 2015 by Jane Rosen (see attached survey). The survey involved site visits and conversations with owners, property managers and developers, as reflected on the survey spreadsheet. The survey reflects a nearly full occupancy rate within the 4 downtown LB areas. Occupancy in the Copper Ranch Condominium and Sweetwater areas, consisting primarily of residential units and approximately 1 1/2 to 2 miles south of downtown Hailey, reflects high occupancy rates in completed units while the majority of the land is reserved for future phases and is still vacant.

This high rate of occupancy in downtown LB areas reflects positively on the proposed rezone, showing a need for additional LB zoning in downtown Hailey. Additionally, the proposed rezone is directly adjacent to the Downtown Core, while other LB areas are further out. A Limited Business zone in this area will increase the diversity of economic activity near the downtown core, attracting people into the area and increasing the economic health of existing businesses in the area.

## **Evaluation of Vacancy Rates In Existing LB**

**for**

### **Proposed LB Rezone of the East 1/2, Block 44, Hailey Townsite**

A survey of vacancy rates within the 6 existing Limited Business zones was conducted during the first week of August 2015 by Jane Rosen (see attached survey). The survey involved site visits and conversations with owners, property managers and developers, as reflected on the survey spreadsheet. The survey reflects a nearly full occupancy rate within the 4 downtown LB areas. Occupancy in the Copper Ranch Condominium and Sweetwater areas, consisting primarily of residential units and approximately 1 1/2 to 2 miles south of downtown Hailey, reflects high occupancy rates in completed units while the majority of the land is reserved for future phases and is still vacant.

This high rate of occupancy in downtown LB areas reflects positively on the proposed rezone, showing a need for additional LB zoning in downtown Hailey. Additionally, the proposed rezone is directly adjacent to the Downtown Core, while other LB areas are further out. A Limited Business zone in this area will increase the diversity of economic activity near the downtown core, attracting people into the area and increasing the economic health of existing businesses in the area.

**Survey of Occupancy in the Limited Business Zone, City of Hailey**

Lot #	Physical Address	Owner	Use	Occupancy	Notes
<b>Gateway</b>					
Lot 1 BI 1 Gateway Sub	51 Cobblestone Lane	SAWTOOTH GATEWAY LODGING INC	AmericInn (hotel)	64 rooms 100% occupancy summer; winter varies with weather but 100% booked all holidays	788-7950
<b>Block 19 Area</b>					
LOTS NE 75'OF 1,2,3 BLK 19	301 S River St	WEST CRESCENT ADVISORS IDAHO LLC	6 Plex Apartments	Visibly occupied	
LOTS ALL 4,5 & N 12' OF 6	303 S River St	BILLER ALAN D and MELTON NANCY T Trustees	Single family res.	Visibly occupied	
LOTS S 18'OF 6 ALL 7 BLK 19	307 S River St	NAUMANN FRED H and Sally	Single family res.	Visibly occupied	
Lot 8A	315 S River St	TJT HOLDINGS LLC	Tom Crais, S ID Foot and Ankle, Smiles 4 Kids	Occupied	
AM LOT 5C BLK 1	131 W Pine St	Travis Jones	Single family res.	Visibly occupied	
LOTS SW 45'OF 1,2,3 BLK 19	104 W Walnut	BILLER ALAN D and MELTON NANCY T TRUSTEES	Single family res.	Visibly occupied	
<b>Rodeo Grounds Area</b>					
Wertheimer Park Lot 3 BI 1	706 S MAIN ST	Blaine County	Vacated Medical Center- Blaine Manor	Unoccupied	
Wertheimer Park Lot 2 BI 1 FR RODEO GROUNDS & SKATE PARK	782 S MAIN ST	City of Hailey	Rodeo grounds and skate park	Occupied	
Wertheimer Park Lot 1 BI 1; Elementary School Ball fields & FR Rodeo Grounds	520 S 2ND AVE Lgl_Desc4 = & FR RODEO GROUNDS	Blaine County School District	Hailey Elementary Ball Fields and fraction of the rodeo grounds	Occupied	
AM LOT 18 and 20 BLK 135	801 S Main St	NELSON BRENT C NELSON JERRY H CO-TRUSTEE	Snow Bunny	Occupied	

**Survey of Occupancy in the Limited Business Zone, City of Hailey**

LOTS 9,10,11,12 BLK 135	817 S 3 <sup>rd</sup> Street	Rene Bine	Valley Car Wash	Occupied	
LOTS 4,5,6,7,8 BLK 135	809 S 3 <sup>rd</sup> Street	Daniel Thomas	Single family res.	Occupied	
LOTS 1,2,3 BLOCK 135	805 S 3 <sup>rd</sup> Street	Daniel Thomas	Vacant Lot- home torn down	Unoccupied	
LOT 11 & 12 BLK 126	721 S 3 <sup>rd</sup> Street	Blaine County School District	Systems Building	Occupied	
FRIEDMAN PARK SUB AM LOT 11A BLK 2	960 S Main Street	Airport LLC	Chateau Discount Outlet	Occupied	
<b>South 4<sup>th</sup> Avenue Area</b>					
R DAVIS BUSINESS CENTER LOT 1A BLK 1	960 S 4 <sup>th</sup> Street	875 EAST ASSOCIATES LLC	O'Reilly Auto Parts	Occupied	
BDB SUBDIVISION LOT 1 BLK 1	910 S 4 <sup>th</sup> Street	BASHAW BRETT D & BASHAW PATRICIA I E trustees	Silver Creek Supply/ Creative Bath/Kitch	Occupied	
LOTS 7 - 12 & 19 - 24 BLK 137; 26' X 150' OF ALLEY THE AIRPORT INN	820 S 4 <sup>th</sup> Street	TAYLOR HENRY W JR REV TRUST	Airport Inn (motel)	Occupied- 29 guest rooms; assist mgr and mgr's apartments; est. 90% occupancy (per carol)	788-2477- Carol, mgr
LOTS 15,16,17,18 BLK 137; 150X70 OF LOT 1-6 BLOCK 137; 26' X 150' OF ALLEY; 20X70 OF CEDAR ST	812 S 4 <sup>th</sup> Street	RGR PROPERTIES LTD CO LLC	Robert's Electric	Occupied	
LOTS 13,14 BLK 137; 20' OF CEDAR ST 8,407 SF	804 S 4 <sup>th</sup> Street	RGR PROPERTIES LTD CO LLC	Robert's Electric	Occupied	
RPH07060000001	720 S 4 <sup>th</sup> Street	Garland Meadows-common areas + ind.	Garland Meadows Condos	Visibly Occupied	
<b>Copper Ranch Area</b>					
COPPER RANCH CONDO #1; AM PARCEL A5; PHASE 6	No address	LIDO EQUITIES GROUP IDAHO LLC	Copper Ranch	Unoccupied	
COPPER RANCH CONDO #5; PARCEL B1	1970 Woodside Blvd	COPPER RANCH LAND LLC	Copper Ranch-Tennis Club	Occupied	Dan Young const.
LOTS 1 THRU 14 BLK 85 & PARCEL EE (COMMON AREA)	No address	LIDO EQUITIES GROUP IDAHO LLC	Copper Ranch	Unoccupied	
WOODSIDE SUB #18; LOT 1 BLK 67	940 Winterhaven Dr	LIDO EQUITIES GROUP IDAHO LLC	Copper Ranch	Unoccupied	

**Survey of Occupancy in the Limited Business Zone, City of Hailey**

Copper Ranch Condos	Various	LIDO EQUITIES GROUP IDAHO LLC + Individual owners	Copper Ranch	Occupied- 97 units- all occupied	Linda Johnson 788-1700
<b>Sweetwater Area- 788-2164</b>					
SWEETWATER PUD SUBDIVISION BLK 2	No address	HAILEY SWEETWATER PARTNERS LLC	Vacant land in Sweetwater Dev.	Unoccupied	
SWEETWATER PUD TOWNHOUSES PARCEL B2 BLK 4 FUTURE SUB LOTS	833 HEARTLAND WAY	HAILEY SWEETWATER PARTNERS LLC	Vacant land in Sweetwater Dev.	Unoccupied	
SWEETWATER PUD SUBDIVISION PARCEL A PARK/COMMON OPEN SPACE	870 MAPLE LEAF DR	SWEETWATER COMMUNITY ASSOCIATION INC	Community Use	Occupied	
SWEETWATER PUD SUBDIVISION BLK 5	No Address	HAILEY SWEETWATER PARTNERS LLC	Vacant land in Sweetwater Dev.	Unoccupied but construction staging begun.	
Sweetwater Townhouses	Various	Individually owned	Townhouses	Of the 71 currently platted townhome sublots, 52 out of 56 completed units are occupied. 15 more have been framed but not yet completed. 33 more units in Phase 1 have not been platted yet adding up to the 104 units originally planned for Phase 1.	Per Karen Province
SWEETWATER PUD SUBDIVISION BLK 3	No address	HAILEY SWEETWATER PARTNERS LLC	Vacant land in Sweetwater Dev.	Unoccupied	
SWEETWATER PUD SUBDIVISION BLK 1	No address	HAILEY SWEETWATER PARTNERS LLC	Vacant land in Sweetwater Dev.	Unoccupied	
WOODSIDE SUB #6	No address	SPRENGER GRUBB &	Vacant land	Unoccupied	

**Survey of Occupancy in the Limited Business Zone, City of Hailey**

LOT 1 BLK 21		ASSOCIATES INC			
WOODSIDE SUB #6 LOT 2 BLK 21	No address	SPRENGER GRUBB & ASSOCIATES INC	Vacant land	Unoccupied	
WOODSIDE SUB #15 AM LOT 1A BLK 61	2730 WINTERHAVEN DR	SPRENGER GRUBB & ASSOCIATES INC	Vacant land	Unoccupied	For Sale- Jason Roth
WOODSIDE SUB #15 AM LOT 2A BLK 61	2740 WINTERHAVEN DR	SPRENGER GRUBB & ASSOCIATES INC	Vacant land	Unoccupied	For Sale- Jason Roth

# **Exhibit 6**

**Kristine Hilt**

---

**From:** Jane Tyler <tylerjane21@gmail.com>  
**Sent:** Tuesday, August 18, 2015 1:24 PM  
**To:** planning  
**Cc:** c-unextstorm@gmail.com  
**Subject:** rezone

RECEIVED  
AUG 18 2015  
CITY OF HAILEY

August 18th, 2015

Dear Hailey Planning and Zoning Commission:

I am writing you a letter because I cannot attend the August 24th meeting. I have owned the property at 216 N. 1st Ave., lots 13, 14, 15, in Hailey since 1977 and have seen many changes good and bad. I must say I am vehemently opposed to the rezone of lots 1-10, block 45, as it would drastically change the character of a historic "old Hailey" residential neighborhood. For God's sake's Roberta McKutcher grew up in my house.

The creep of the commercial zone north out of the core would be detrimental, irresponsible and unnecessary. I cannot see the need to create more business district in this part of town when nearby commercial properties cannot stay consistently occupied as is. Diluting the neighborhood in this way would ruin the cohesiveness of the residential for blocks east and north.

On the other hand I do not feel Scott Miley is a responsible property owner or landlord. I hired him in the winter of 2010, when I was out of town, to resolve a roof leak at my house. Due to his procrastination and mismanagement, I sustained substantial interior water damage. I would not trust him with a construction project on any level. For years I watched his rental properties continuously deteriorate and be somewhat of an eye-sore. Preserve the neighborhood!

Respectfully submitted

Peter Werschkul

RECEIVED  
AUG 17 2015  
CITY OF HAILEY

Salongo Wendland  
300 N 1st Ave.  
Hailey, ID 83333  
208-871-8913  
tosalongo@yahoo.com  
August 18, 2015

Planning and Zoning Commissioners  
City of Hailey  
115 Main Street South  
Hailey, ID 83333

Dear Commissioners,

I am writing to you in response to a letter I received calling for public comment related to the consideration of zone change application of Hailey Townsite Lots 1-10, Block 45, from General Residential to Limited Business, which would allow limited commercial usage of these lots.

There are a number of reasons that I strongly oppose this proposal. I ask that you carefully consider all of the following in your determination.

First, I do not acknowledge a need for the expansion of our current commercial zoning area. There are plenty of unoccupied and undeveloped commercial properties on the River Street side of Main Street. This area is already zoned Business; there would be no change of zoning required to build a commercial or mixed-use development there. As the Hailey Comprehensive Plan states, "high density residential infill is encouraged in the area along Main Street and River Street between Downtown and the north and south ends of Main Street" (Goal 5.1.d). The plan continues, we must "encourage the infill of existing Central Business District property, for example along River Street, with business and accessory residential uses prior to expanding the Business district" (Policy 5.4.2.c).

That is a pretty clear mandate to develop undeveloped Business acreage as commercial property and to continue to develop residential property as residential property (Goals 5.6 and 5.7). Surely it makes sense only to expand commercial acreage once we have exhausted its current capacity and our beautiful mountain town requires additional commercialization. Yet even then, the plan clearly dictates that "expansion of commercial development adjacent to the highway, especially retail and industrial, whether in the County or within expanded city limits, should be generally avoided" (Policy 12.1.7.b).

Secondly, the differences in bulk requirements between a Limited Business zone and a General Residential zone in the Townsite Overlay district would substantially alter the residential character of this neighborhood block. The maximum lot coverage for an LB zone is 70%, vs. 25-40% in the current GR zone. That is a huge difference in building size for this area. The building height in an LB zone increases an additional 5 feet, as well. Finally, the Maximum Multi-family Residential Density in LB zones is twice as much as it is in a GR zone. Trees and landscaped areas will disappear from our neighborhood in favor of bricks and concrete.

This does not even broach the subject of "commercial creep." The historical townsite area need not be further ravaged to accommodate commercial plans. Included permissible uses in an area zoned for Limited Business are hotels or motels with or without attached restaurants, personal services where

retail sales are clearly incidental to the principal use, health care or social assistance buildings, and real estate and property management companies. Properties in an LB zone are even permitted above-ground, commercial-use fuel tanks. These are just a few of the commercial uses this property could introduce into our quiet residential street. Even if those are not plans the current owner has for his property, changing the zoning will leave these usages completely open to any subsequent owners or renters. The citizens of the Hailey Townsite do not want their homes to abut businesses any more than the next person; although we're only an alley or a block away from Main Street in some cases, these lots have been residential lots since Hailey was first put on the map. The comprehensive plan states as its goal that the city protect the residential character and scale of the original Townsite (Goal 3.2, Comprehensive Plan), which is clearly in keeping with the residents' desires to maintain a safe, quiet, residential district amenable to family homes.

As a longtime valley resident and near neighbor of this property, I thank you for your time and for your circumspect attention to this matter.



Salongo Wendland  
300 N 1st. Ave.  
Hailey

**RETURN TO AGENDA**

**STAFF REPORT**

**TO:** Hailey Planning and Zoning Commission  
**FROM:** Kristine Hilt, Community Development Coordinator  
**RE:** Preliminary Plat – 521 River Street Condominiums  
**HEARING:** August 24, 2015

---

**Applicant:** ARCH Community Housing Trust  
**Project:** 521 River Street Condominiums  
**Request:** Preliminary Plat approval with recommendation to the City Council  
**Location:** Lots 3 & 4, Block 66, Hailey Townsite  
**Zoning:** Business District (B)

**Notice**

Notice for the public hearing was published in the Idaho Mountain Express on August 5, 2015; the notice was mailed to public agencies and to property owners within 300 feet on August 3, 2015.

**Application**

ARCH Community Housing Trust has submitted an application for Preliminary Plat approval for a condominium plat/subdivision of an existing 4-Plex building located on Lots 3&4, Block 66, Hailey Townsite. The property is currently zoning Business and is within the Townsite Overlay. The existing building, an apartment building, is situated on a parcel comprising 7,187 square feet (.165 acres). The applicant proposes divide the building up into four units: Unit 1, Unit 2, Unit 3, and Unit 4. Units 1 and 3 comprise 712.8 sf while units 2 and 4 comprise 710.16 sf. The total land area of the subdivision is 7,187 square feet or .165 acres.

**Department Comments**

**Life/safety issues:** No Comments

**Water and Sewer issues:** If the existing water and wastewater connection is to be used for this condo conversion, instead of installing separate water and wastewater connections for each unit, the CC&Rs must state that the owner's association is responsible for repairs and maintenance of the service lines and utility bills.

**Engineering issues:** No Comments

**Standards of Evaluation:**

**BULK REQUIREMENTS:**

**4.3.5 Bulk Requirements. For other supplementary location and bulk regulations, see Article VII.**

- *The existing 4-plex meet current standards.*

**SECTION 4 - DEVELOPMENT STANDARDS**

**4.0 General Standards.**

The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Ordinance, the Zoning Ordinance and any other applicable Ordinance or policy of the City of Hailey, and shall be in accordance with general provisions of the Comprehensive Plan.

**4.1 Streets.**

Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.

- *Streets are existing and are provided.*

**4.1.1-4.1.11.5 Streets and Driveways**

- *Not applicable as streets as driveways are existing and comply with City standards.*

**4.1.10.5 Private streets shall have adequate and unencumbered 10-foot wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.**

- *Snow storage as required is provided. Total hard surface is 1,330 sf and 25% of that is 334 sf. This is provided on the North and South sides of the lot. Refer to site plan.*

**4.1.12 A parking access lane shall not be considered a street, but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.**

**Development of lots will be in compliance.**

- *Not applicable. No new parking access lanes are proposed*

**4.1.13 Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.**

- *Existing.*

**4.2 Sidewalks and Pathways**

**4.2.1 Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.**

- *Existing sidewalks, curb, and gutter are provided within the City right of way. Parking is existing and non-conforming, according to the Zoning Ord §9.2.1(E), in that vehicular access is within the public right of way and between the sidewalk and the primary frontage of the building.*

**4.2.1.1 Sidewalks and drainage improvements shall be located and constructed according to applicable City Standards, except as otherwise provided herein.**

**4.2.1.2 The length of Sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any Public Street or Private Street.**

- *Existing sidewalks, curb, and gutter are provided within the City right of way.*

**4.2.1.3 New Sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.**

**4.2.1.4 Sites located adjacent to a Public Street or Private Street that are not currently thru-streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.**

**4.2.2 Pathways. The Developer shall install all non-vehicular pathways, to City Standards, in all areas within or adjacent to the property to be developed where Pathways are depicted upon the Master Plan.**

- *Not applicable. No new pathways are proposed.*

**4.2.3 – 4.2.4** *No alternatives are proposed at this time.*

**4.3 Alleys and Easements.**

**4.3.1 Alleys shall be provided in all Business District and Limited Business District developments where feasible.**

*This standard is not applicable because the property is within the GR district.*

**4.3.2 – 4.3.6** *These standards relate to alleys and are not applicable because no alleys are proposed or required.*

**4.3.7 Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.**

- *Easements as depicted will be provided.*

**4.3.8 Easements.** Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:

- *Easements are shown as required on the plat.*

**4.3.8.1** To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot wide fisherman's access easement, measured from the Mean High Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.

- *Not applicable.*

**4.3.8.2** To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.

- *Not applicable.*

**4.3.8.3** To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.

- *Snow storage easements are depicted on the site plan and meet the 25% requirement.*

**4.4 Blocks, 4.5 Lots, 4.6 Orderly Development, 4.7 Perimeter Walls, Gates and Berms, 4.8 Cuts, Fills, Grading and Drainage, 4.9 Overlay Districts**

- *All above requirements have been met in previous construction of existing facilities.*

**4.10 Parks, Pathways and Other Green Spaces.**

**4.10.1.1 - 4.10.1.2 Parks and Pathways.**

- *Not applicable.*

**CONDOMINIUMS (Section 7 of the Subdivision Ordinance)**

**SECTION 7 - CONDOMINIUMS.**

The purpose of this section is to set forth special provisions for property created or converted pursuant to the Condominium Property Act, Idaho Code §§55-1501 *et seq.*, as amended.

**7.1 Plat Procedure.** The Developer of a condominium project shall submit with the preliminary plat application as required by this Ordinance a copy of the proposed by-laws and condominium declarations of the proposed condominium development. The documents shall adequately provide for the control (including billing where applicable) and maintenance of all common utilities, common area, recreational facilities, and Green Space. The Developer may submit a final plat application following inspection and approval by the Building Inspector of the footings and setbacks of the condominium building. Prior to final plat approval, the Developer shall submit to the City a copy of the final by-laws and condominium declarations to be recorded with the County Recorder, including the instruments number(s) under which each document was recorded.

- *521 North River Street by-laws and condominium declarations have been submitted. The City has not and will not in the future determine the enforceability or validity of the Declaration of Covenants, Conditions, and Restrictions or other private agreements.*

**7.2 Garages.** All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular condominium units. Detached garages may be platted on separate sub-lots, provided that the ownership of detached garages is appurtenant to specific condominium units on the condominium plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the condominium project.

- *No garages are proposed.*

**7.3 Storage/Parking Areas.** Condominium projects shall provide parking spaces according to the requirements of Article IX of the Zoning Ordinance.

- *Parking is existing and non-conforming, according to the Zoning Ord §9.2.1(E), in that vehicular access is within the public right of way and between the sidewalk and the primary frontage of the building. The existing platted street and sidewalk are nonconforming in that the parking is accessed across the sidewalk. Staff has requested that the parking area be called out on the plat, and a note added requiring a minimum of six (6) parking spaces be retained.*

- 7.4 Construction Standards. All condominium project construction shall be in accordance with the IBC, IRC and IFC.**
- 7.5 General Applicability. All other provisions of this Ordinance and all applicable ordinances, rules and regulations of the City and all other governmental entities having jurisdiction shall be complied with by Condominium developments.**
- *Upon meeting proposed conditions of approval, the proposed application does not appear to conflict with other provisions.*
- 7.6 Conversion. The conversion by subdivision of existing units into Condominiums shall not be subject to Section 4.10 of this Ordinance.**

**Summary and Suggested Conditions**

The Commission shall review the proposed plat and continue the public hearing, approve, conditionally approve, or deny the preliminary plat. If approved, the plat application will be forwarded to the Council. If the Short Plat process is used, only the Final Plat is required for Council review.

The following conditions are suggested to be placed on any approval of this application:

- a) All Fire Department and Building Department requirements shall be met. Items to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- b) All City infrastructure requirements shall be met as outlined in Section 5 of the Hailey Subdivision Ordinance. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- c) The final plat shall include plat notes # through # as stated on the approved preliminary plat [with the following amendments and additions: if applicable]
- d) Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Section 2.9 of the Subdivision Ordinance.
- e) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Sections 3.3.7 and 5.9.1 of the Subdivision Ordinance, prior to recordation of the final plat.
- f) The final plat must be submitted within one (1) calendar year from the date of approval of the preliminary plat, unless otherwise allowed for within a phasing agreement.
- g) Any subdivision inspection fees due shall be paid prior to recording the final plat.
- h) Any application development impact fees shall be paid prior to recording the final plat.

- i) The existing non-conforming parking is allowed to remain. The parking area shall be noted on the plat and a minimum of six (6) parking spaces shall be retained.
- (j) If the existing water and wastewater connection is to be used for this condo conversion, instead of installing separate water and wastewater connections for each unit, the CC&Rs must state that the owner's association is responsible for repairs and maintenance of the service lines and utility bills.

**Motion Language:**

Approval:

Motion to approve the Preliminary Plat for 521 River Street Condominium, submitted by ARCH Community Housing Trust, finding that the application meets City Standards.

Denial:

Motion to deny Preliminary Plat for 521 River Street Condominium, submitted by ARCH Community Housing Trust, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

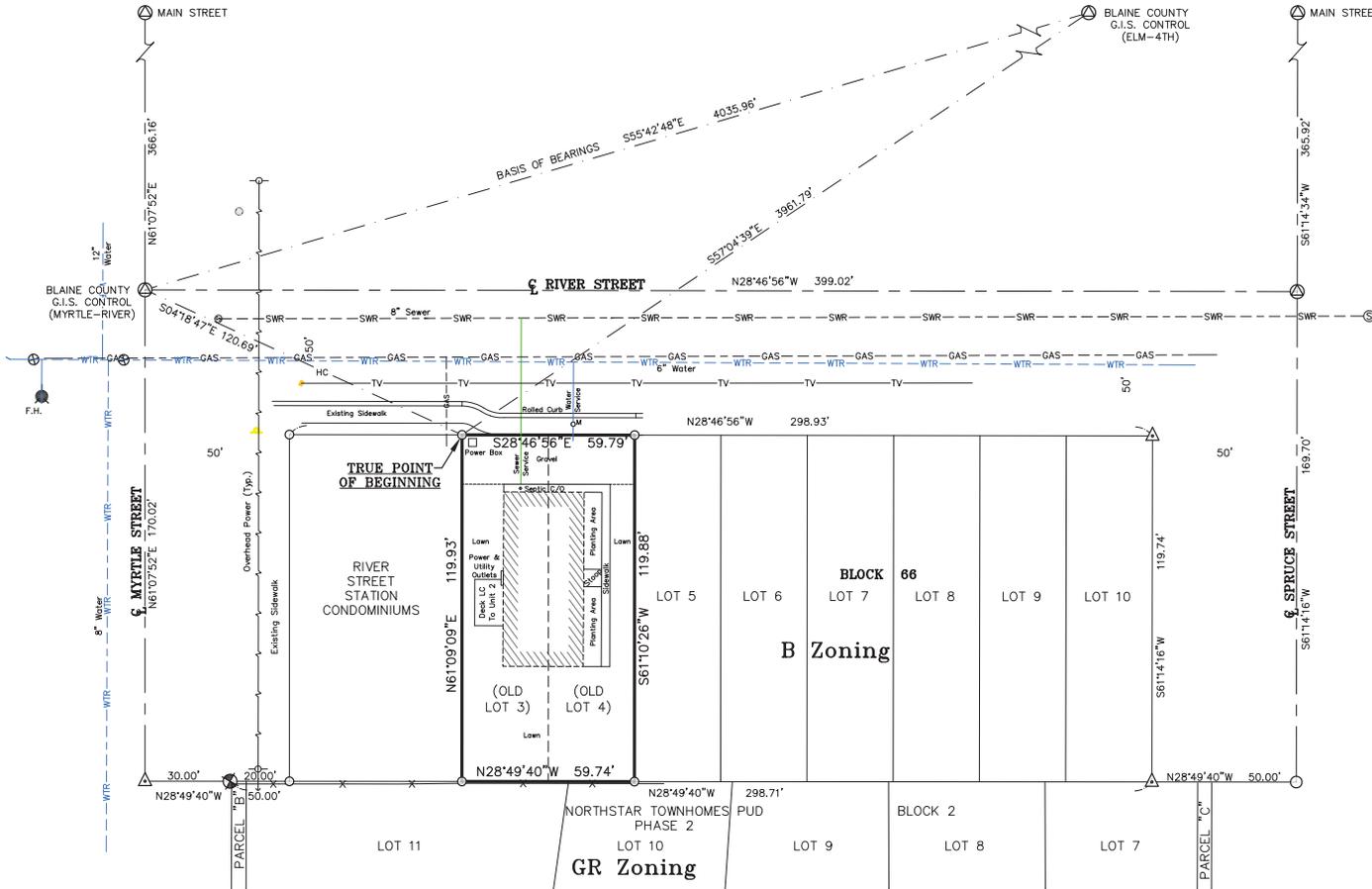
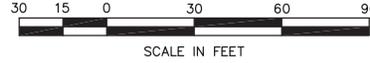
Motion to continue the public hearing upon the Preliminary Plat for 521 River Street Condominium, submitted by ARCH Community Housing Trust to \_\_\_\_\_ [the Commission should specify a date].

# A PLAT SHOWING 521 RIVER STREET CONDOMINIUMS

WHEREIN LOTS 3 AND 4, BLOCK 66, ORIGINAL TOWNSITE OF HAILEY ARE CONVERTED INTO CONDOMINIUM UNITS  
LOCATED WITHIN THE NW1/4 OF SECTION 9, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO

JULY 2015

SCALE: 1" = 30'



### LEGEND

	Property Line
	Previous Lot Line Eliminated By This Plat
	Adjoiner's Lot Line
	Centerline
	Building Outline
	Survey Tie
	Found Brass Cap
	Found Aluminum Cap Monument
	Found 1/2" Rebar
	Found 5/8" Rebar
	Calculated Point (No Pin Set)

### NOTES

- 1) Property shown hereon is subject to the Condominium Declaration of 521 River Street Condominiums, in conjunction with Articles of Incorporation of 521 River Street Condominiums Association, Inc. and Bylaws of 521 River Street Condominiums Association Inc., recorded under Instrument No. \_\_\_\_\_, records of Blaine County, Idaho.
- 2) All area outside of Units that is not designated as Limited Common is Common Area, as defined in the Declaration.
- 3) Topography is basically flat, dropping approximately one foot from front to back.

**SEE SHEET 2 FOR CONDOMINIUM UNIT  
DIMENSIONS, TIES AND ADDITIONAL NOTES**

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of disapproval.

Date \_\_\_\_\_ South Central Public Health District

Brian D. Yeager, P.L.S. 13260

521 RIVER STREET  
CONDOMINIUMS  
GALENA ENGINEERING, INC.  
HAILEY, IDAHO  
SHEET 1 OF 3  
Job No. 7177



# A PLAT SHOWING 521 RIVER STREET CONDOMINIUMS

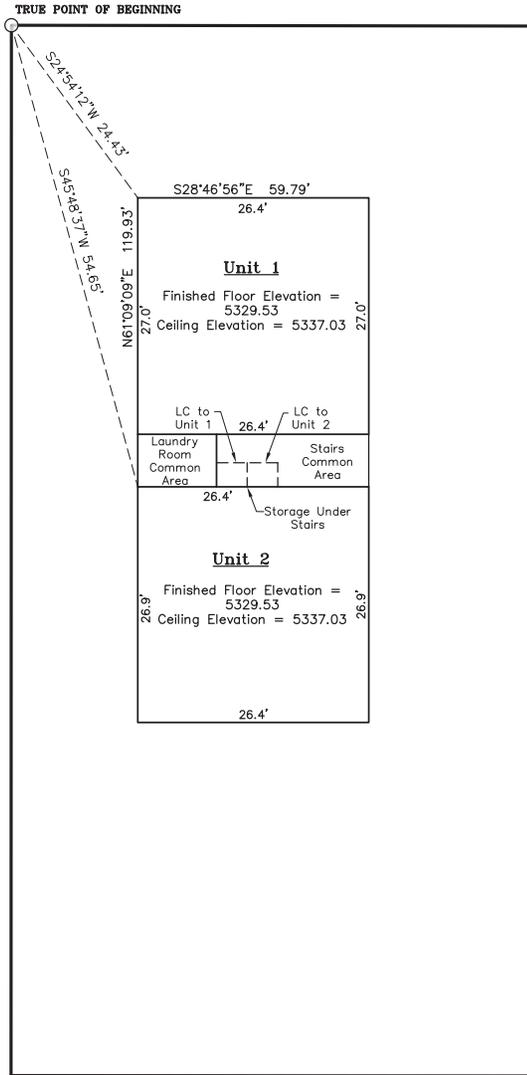
LOCATED WITHIN THE NW1/4 OF SECTION 9, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO

JULY 2015

SCALE: 1" = 10'

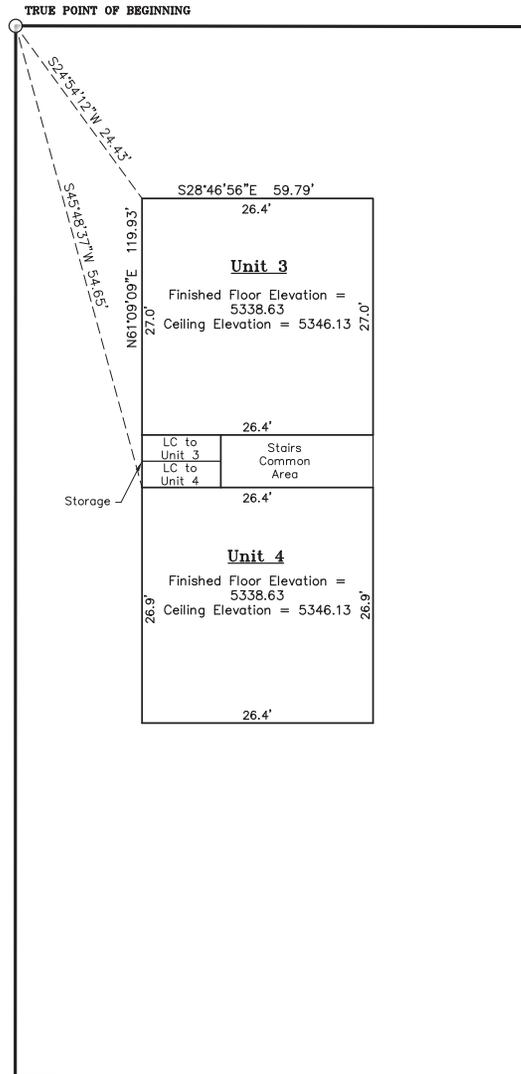


RIVER STREET



FIRST FLOOR

RIVER STREET



SECOND FLOOR

### LEGEND

- Property Line
- Unit Boundary
- Unit Tie
- LC Limited Common to Specified Unit
- Found 5/8" Rebar

### NOTES

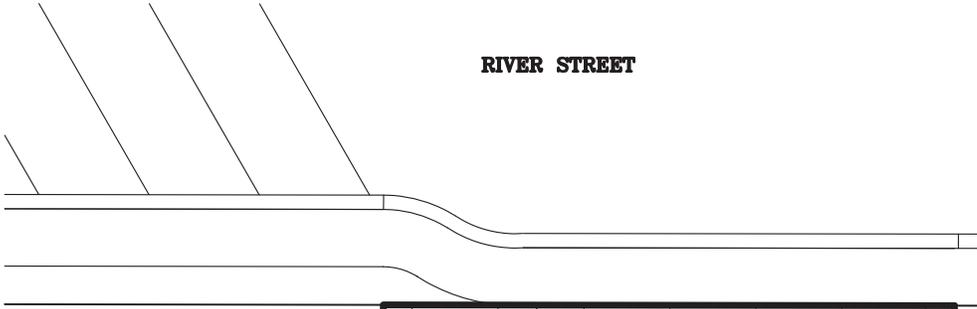
- 1) All area outside of Units that is not designated as Limited Common is Common Area, as defined in the Declaration.
- 2) Building ties are to the interior corners of Unit walls.
- 3) An easement of adequate width to provide for access and maintenance of utilities providing service to Units other than the one in which they are located is hereby reserved by this condominium plat.
- 4) In interpreting the declaration, plat or plats, and deeds, the existing physical boundaries of the unit as originally constructed, or reconstructed in lieu thereof, shall be conclusively presumed to be its boundaries rather than the metes and bounds expressed or depicted in the declaration, plat or plats, and/or deeds, regardless of settling or lateral movement of the building and regardless of minor variances between boundaries shown in the declaration, plat or plats, and/or deeds, and the actual boundaries of the units in the buildings.

**SEE SHEET 1 FOR SURVEY  
INFORMATION AND ADDITIONAL NOTES**

521 RIVER STREET  
CONDOMINIUMS  
GALENA ENGINEERING, INC.  
HAILEY, IDAHO  
SHEET 2 OF 3  
Job No. 7177

Brian D. Yeager, P.L.S. 13260

RIVER STREET



RIVER STREET STATION CONDOMINIUMS

LOT 5

**Unit 1**  
**713 s.f.**

**Unit 3**  
**(Above)**  
**713 s.f.**

**Unit 2**  
**710 s.f.**

**Unit 4**  
**(Above)**  
**710 s.f.**



SCALE: 1" = 20'

4 UNITS @ 1.5 spaces/Unit  
TOTAL PARKING REQUIRED = 6  
TOTAL PARKING PROVIDED = 6

REUSE OF DRAWINGS  
These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..

**Galena Engineering Inc.**

Civil Engineers & Land Surveyors  
317 North River Street  
Hailey, Idaho 83333  
(208) 788-1705  
(208) 788-4612 fax  
email galena@galena-engineering.com

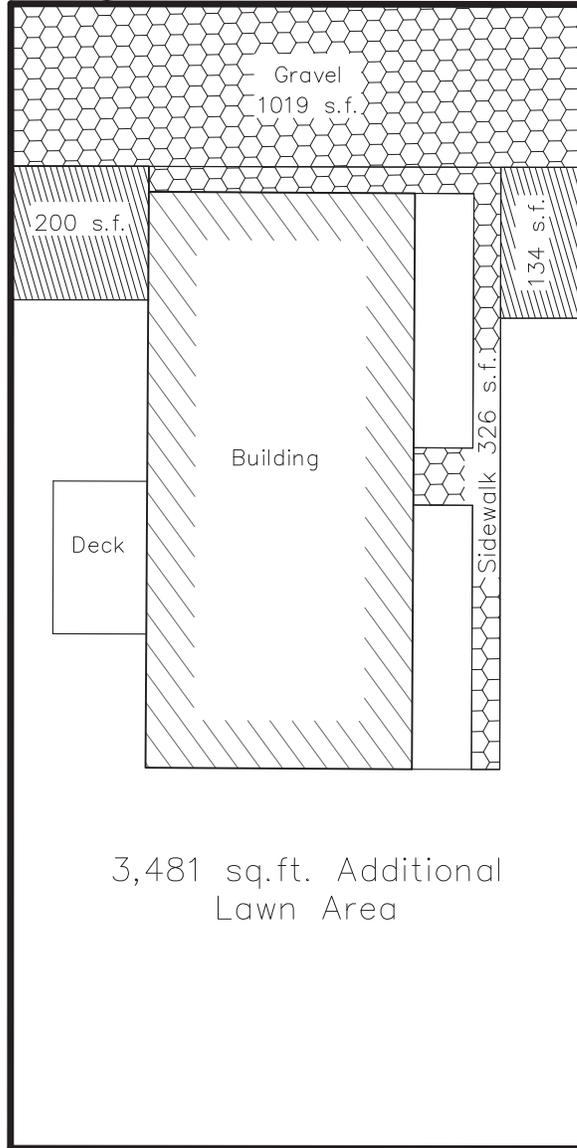
PROJECT INFORMATION

PARKING EXHIBIT FOR  
**521 RIVER STREET CONDOMINIUMS**  
NW1/4 OF SECTION 9, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO  
PREPARED FOR ARCH COMMUNITY HOUSING

SHT 1 OF 1

**RIVER STREET**

RIVER STREET STATION CONDOMINIUMS

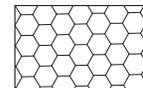


LOT 5



SCALE: 1" = 20'

3,481 sq.ft. Additional Lawn Area



PAVEMENT



SNOW STORAGE

**Total Hard Surface = 1,330 sq. ft.±**  
**Required Snow Storage (25%) = 334 sq. ft.±**  
**Available Snow Storage = 3,815 sq. ft.±**

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**Galena Engineering Inc.**

Civil Engineers & Land Surveyors  
 317 North River Street  
 Hailey, Idaho 83333  
 (208) 788-1705  
 (208) 788-4612 fax  
 email galena@galena-engineering.com

SNOW STORAGE EXHIBIT FOR  
**521 RIVER STREET CONDOMINIUMS**  
 NW1/4 OF SECTION 9, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 PREPARED FOR ARCH

PROJECT INFORMATION

**RETURN TO AGENDA**