

**AGENDA**  
**HAILEY PLANNING & ZONING COMMISSION**  
*SPECIAL MEETING*  
**Monday, September 28<sup>th</sup>, 2015**  
**Hailey City Hall**  
**5:30 p.m.**

**Call to Order**

**Public Comment** for items not on the agenda

**Consent Agenda**

[CA 1](#) Motion to approve minutes of September 14<sup>th</sup>, 2015

[CA 2](#) Motion to approve Findings of Fact and Conclusions of Law for a Design Review Modification for Evan's Plumbing, represented by Owen Scanlon, for a new commercial structure to be located at 1631 Lear Lane (Lot 4F, Block 4, Airport West Phase II). The proposed modification will increase the footprint by adding 32' toward the west property line thereby increasing the total footprint by 1,536 square feet. Exterior materials, colors and scale shall remain the same as the original submission.

**New Business and Public Hearings**

[NB 1](#) Continuation of a Design Review application by Leadership Circle, LLC on behalf of 710 N Main, LLC and Lots of Lemon, LLC for a 15,000 square-foot commercial building housing a Specialty Retail Grocer to be located at 700-710 N. Main Street, Hailey (Lot 1, Block 1, North Hailey Business Center, Lots of Lemon Subdivision Lots 1 and 2 and Tax Lot 4451) within the Business (B) Zoning District. The proposal also includes a private road on the south property boundary connecting Main Street to First Avenue.

**Old Business**

**Commission Reports and Discussion**

**Staff Reports and Discussion**

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.  
(no documents)

SR 2 Discussion of the next Planning and Zoning meeting: Tuesday, October 13<sup>th</sup>, 2015.  
(no documents)

**Adjourn**

**MINUTES OF THE  
HAILEY PLANNING & ZONING COMMISSION  
Monday, September 14<sup>th</sup>, 2015  
Hailey City Hall  
5:30 p.m.**

**Present: Dan Smith, Owen Scanlon, Richard Pogue**

**Absent: Regina Korby, Janet Fugate**

**Staff: Lisa Horowitz, Kristine Hilt**

***Call to Order***

[5:29:44 PM](#) Owen Scanlon called the meeting to order. **Dan Smith nominated Owen Scanlon as the temporary PZ Chair. Richard Pogue seconded. No discussion.**

***Public Comment for items not on the agenda***

None.

***Consent Agenda***

CA 1 Motion to approve minutes of August 24<sup>th</sup>, 2015

CA 2 Motion to approve Findings of Fact and Conclusions of Law for a Subdivision, submitted by ARCH Community Housing, of Lots 3 & 4, of Block 66, Hailey Townsite, by creating four residential condominium units and accompanying common spaces. The new subdivision is proposed to be 521 River Street Condominiums consisting of a total condominium area of 2,851.2 square feet.

CA 3 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Dan & Stephy Smith, for an 876 square foot newly built detached accessory structure (garage) on the north side of the existing principal building located at 109 Croy Street West (Lots 19A, Block 1, Croy Addition) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

CA 4 Motion to approve Findings of Fact and Conclusions of Law for a Zone Change application by Scott Miley, represented by Galena Engineering, for an amendment to the City of Hailey Zoning District Map. Proposed changes would rezone the Hailey Townsite, Lots 1-10, Block 45 (17 East Carbonate Street, 209, 211, 215 and 219 N. 1<sup>st</sup> Ave.) from General Residential (GR) to Limited Business (LB).

Owen Scanlon recused himself due to his absence at the last meeting. Dan Smith recused himself from CA 3 as the applicant. [5:31:27 PM](#) **Dan Smith moved to approve CA 1, CA 2 and CA4. Richard Pogue seconded. Richard Pogue motioned to approve CA 3. No discussion.**

***New Business and Public Hearings***

NB 1 Consideration of a Design Review application by Leadership Circle, LLC on behalf of 710 N Main, LLC and Lots of Lemon, LLC for a 15,000 square-foot commercial building housing a Specialty Retail Grocer to be located at 700-710 N. Main Street, Hailey (Lot 1, Block 1, North Hailey Business Center, Lots of Lemon Subdivision Lots 1 and 2 and Tax Lot 4451) within the Business (B) Zoning District. The proposal also includes a private road on the south property boundary connecting Main Street to First Avenue.

[5:32:34 PM](#) Lisa Horowitz summarized the documents and application for the Commission and included details about the site plan and location of the proposed private road and general site circulation.

[5:35:00 PM](#) David Grooms, Vega Architecture, Colorado, stood and introduced the drawings in detail. David included details about typical footprint sizes of Natural Grocer stores, floor plan details, brand and marketing details and typical inventory selection. David then summarized the site plan and site circulation and design. He included details about parking, bike/pedestrian mobility, and delivery of inventory. Owen Scanlon

inquired about delivery hours and noted that McDonald's was very busy earlier in the day and traffic would be congested. David validated Owen's concern and mentioned that more thought process could be dedicated to the delivery schedule.

[5:43:40 PM](#) Dan Smith inquired about the potential neighboring retail occupant that is called out on the site plan. David notified the Commission that no effort had been made to fill the vacancy. Discussion between the Commission and David Grooms included vacant lot plans and drainage onto the vacant lot from the main building.

[5:46:24 PM](#) David Grooms summarized the elevations of the proposed building and included details about glazing, front entrance canopy placement, exterior brick detailing, and materials for construction. David went on with details about exterior lighting and the loading dock.

[5:49:48 PM](#) Dan Smith inquired about the North façade and mentioned that the mass of the building appeared very large. Owen Scanlon added that the surface was lacking human scale and seemed "cold". Discussion between the Commission and David Grooms included different color choices to help break up the mass. David went on to summarize the proposed signage and discussion included details about a master sign plan that would be turned in at a later date. The Commission also inquired about alternatives to the Main Street sign monument design.

[5:55:06 PM](#) David summarized the landscape plan and notified the Commissioners that some of the landscaping purposes were for screening mechanical equipment. Ben Young, Landscape architect, notified the Commissioners of additional landscaping details. Discussion included the existing mechanical transformer box location and screening options.

[5:59:57 PM](#) Brian Yeager, Galena Engineering, stood and introduced the civil drawings for the Commissioners and included details about retaining walls, site drainage, utility locations, ADA accessibility, and sidewalk detailing and measurements. Brian recommended that an alternative to tree location be considered on the south sidewalk stating that locating trees above the water main and within the 6' sidewalk would be difficult but would be necessary to meet City standards.

[6:07:49 PM](#) Lisa Horowitz noted that the existing alley on the south side of the property could not punch through due to an existing structure that could not be removed. Owen Scanlon inquired about site grade and elevation. Brian Yeager clarified and summarized additional drainage details.

[6:12:21 PM](#) Discussion continued to include landscaping placement and visibility issues. Ben Young noted that sidewalk design should be considered with pedestrian safety and circulation in mind. Ben Young also added why he chose the species that were presented to the Commission. He noted that a "relaxed meadow" theme was being sought. Owen Scanlon added that he agreed with Richard Pogue in that alternatives to placing several trees along the sidewalk sections should be considered and should include native grasses or shrubs. Ben Young noted that snow removal determined species selections and uniform landscape patterns.

[6:18:29 PM](#) David Grooms suggested an alternative to the landscape and discussed details with staff and the Commission. David suggested increasing landscape areas and including gravel and curb stops in the process. Discussion included stall depth and drive lane depth.

[6:23:30 PM](#) Brian Yeager went on to summarize the snow storage location and calculations for the Commissioners. Owen Scanlon inquired about who would maintain the private road. Staff notified the Commission that the applicant should be responsible for maintaining the private road. Pete Newman, developer, notified the Commissioners about an existing agreement with McDonalds that would be continued for maintaining snow removal and snow storage for the Northeast corner and easement at that corner of the lot. Discussion continued to include pedestrian circulation, crosswalks, and City standard compliant street lamps.

[6:28:46 PM](#) Owen Scanlon inquired about the future addition and the proposed layout and David Grooms clarified. Richard Pogue inquired about the delivery truck size and delivery schedule. David notified the Commission about the size and timing of the delivery trucks. Discussion included changing delivery schedules, delivery route, and truck access.

[6:33:17 PM](#) Richard Pogue insisted that alternatives be considered to design for the North fascia of the building. Dan Smith inquired about dumpster location and screening. David clarified and discussion between Pete, David and the Commission included dumpster location and screening options as well as dumpster waste.

[6:35:55 PM](#) Chair Scanlon opened the meeting for public comment. None was given and closed.

[6:36:20 PM](#) Dan Smith noted that he had concerns about landscaping placement along the south sidewalk, North fascia detailing and color choice of the exterior siding. Ben Young noted that additional detailing for the sidewalk would be simple and could be given to the Commissioners to be handled administratively. The

Commission and the applicant discussed conditions for approval and which process to take. Discussion included placement of windows and design alternatives. The Commissioners inquired again about the East lot and the landscaping proposed. David notified the Commissioners that no landscaping would be proposed but that weed abatement would take place.

[6:45:21 PM](#) Discussion included addition designing for the exterior of the building. Staff suggested that if the applicant would like to pay for a special meeting, the Planning & Zoning Commission could meet in two weeks to consider the suggested changes.

[6:51:37 PM](#) The applicant requested an opportunity to pay for a special meeting in order to move forward with review of suggested modifications.

Terry Anderson inquired about the project timeline.

[6:53:59 PM](#) Lisa Horowitz read the Commissioners suggestions for changes: color changes to exterior fiber cement lighting, change to modify the landscaping in the south end of the lot, additional awning details extended on the north elevation and wrapping to the east elevation, dumpster enclosure detail to be added, and addition of clerestory windows to brick facades on the west and north, and the addition of two street lamps on the private road.

[6:56:07 PM](#) **Dan Smith motioned to continue the Design Review application by Leadership Circle, LLC on behalf of 710 N Main, LLC and Lots of Lemon, LLC for a 15,000 square-foot commercial building housing a Specialty Retail Grocer to be located at 700-710 N. Main Street, Hailey (Lot 1, Block 1, North Hailey Business Center, Lots of Lemon Subdivision Lots 1 and 2 and Tax Lot 4451) within the Business (B) Zoning District to September 28<sup>th</sup>, 2015. Richard Pogue seconded and the motion passed.**

[6:57:37 PM](#) Chair Scanlon called for a 5 minute recess.

[7:04:08 PM](#) Chair Scanlon called the meeting back to order.

NB 2 *Consideration of a city initiated text amendment and accompanying ordinance to repeal Hailey's Mobility Design Ordinance, Ordinance No. 1116 and subsequent amendments thereto, in their entirety and replace it with a newly codified Mobility Design Ordinance, as Title 18 of the Hailey Municipal Code. This repeal and replacement is intended to codify the Mobility Design Ordinance into the Hailey Municipal Code.*

[7:04:49 PM](#) Lisa Horowitz introduced the proposed changes to the Commissioners. The Commissioners commented on a few details on the changes but included no recommendations.

[7:07:04 PM](#) **Richard Pogue moved to recommend approval of the proposed modifications to Ordinance No. 1116 with the changes proposed in figure no. 17. Dan Smith seconded and the motion carried.**

### *Old Business*

#### *Commission Reports and Discussion*

#### *Staff Reports and Discussion*

SR 1 *Discussion of current building activity, upcoming projects, and zoning code changes.  
(no documents)*

SR 2 *Discussion of the next Planning and Zoning meeting: ~~Tuesday, October 13<sup>th</sup>, 2015.~~  
(no documents)*

Commissioners noted that a special meeting would be held on Monday, September 28<sup>th</sup>, 2015.

### *Adjourn*

[7:09:24 PM](#) **Dan Smith moved to adjourn. Richard Pogue seconded and the motion carried.**

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**FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION**

On June 8, 2015 the Hailey Planning & Zoning Commission considered a Design Review application submitted by Evan’s Plumbing for Design Review of a new commercial facility to be located at lots 4A, 4B, 4F, & 4G of Block 4, Airport West Subdivision Phase II (1631 Lear Lane), within the Service, Commercial, Industrial –Industrial Sub District (SCI-I) Zoning District. The applicant has applied for a Design Review modification to the previously approved proposal. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision in regards to the modification.

**Notice**

Notice is not required per §6A.2.C (Minor Modifications)

**Application**

Design Review modification application for an additional 1,536 sq. ft. to increase the total proposed building floor plan to 8,600 square feet. Applicant has indicated that the owner plans to increase the footprint of the building 32’ extending towards the west property line. All proposed materials shall remain the same as follows: stucco, corrugated steel wall panels, metal clad wood windows, rolled steel wall panels, and steel ‘C’ channel awnings.

**Procedural History**

The design review modification application was submitted on September 15, 2015 and certified complete on September 15, 2015. A public hearing before the Planning and Zoning Commission for approval of the design review modification was held on September 28, 2015, in the Hailey City Council Chambers.

***\*Proposed modifications are highlighted below.***

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: None Life/Safety: None Water and Sewer: Water: ¾” connections will need to be abandoned if applicant chooses to increase connection size. Wastewater: Pg 1 shows 4” sewer service going to existing manhole which is not permitted. Gulfstream access to sewer will be required instead. Building: Add egress man door to garage area, show storage of combustible materials. Streets: None

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	<p><b>8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</b></p> <p><i>Staff Comments</i> Staff will review all signs prior to approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	<p><b>See Section 9.4 for applicable code.</b></p> <p><i>Staff Comments</i> Industrial Parking Spaces: 1 space per 1,000 sq. ft. 8 total spaces are required and 11 are provided.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	<p><b>8B.4.1 General Standards</b></p> <ul style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent:                             <ul style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ul> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ul> <p><i>Staff Comments</i> Lights at man doors will be downcast, 18-29W LED. Lights at overhead doors will be downcast, 13w LED.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p><b>(Insert sections from applicable zoning district)</b></p> <p><i>Staff Comments</i> Maximum Lot Coverage: 70% Current: 0% Proposed: 14% 30% Required Setbacks: 10' on all sides. Proposed: Side-25'6" Front-20' Side-20' Rear- N/A Maximum Building Height: 35'- Proposed building height is 23'</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	<p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p> <p><i>Staff Comments</i> Sidewalks are proposed for Lear Lane and Gulf Stream along the building for pedestrian and parking access. Two existing storm drains will be used for storm water runoff and drainage flows towards the drains.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (B) Required Water System Improvements	<p><b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b></p> <p><i>Staff Comments</i></p>

## Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey

**1. Site Planning: 6A.8 (A) 1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p><i>Staff Comments</i> Building position allows for morning daylight to be utilized in the common and office areas. Building entrance faces the more developed and appropriate surrounding area.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p> <p><i>Staff Comments</i> No existing plant materials will be removed, other than a smattering of native grasses and weeds.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> Trash, storage bins, and additional parking are all located in the rear of the building so that pedestrians may safely park and enter the building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>Staff Comments</i> Snow storage has been modified to be placed at both the Northwestern and Southwestern corners of the property. Snow storage is called out on the exterior of the fence along the most northern section of the property. Staff advises the Commission to examine this area. Trash enclosure is kept screened and away from the building in the rear. Staff recommends for new commercial construction that a letter from Clearcreek Disposal be required of the applicant prior to construction to ensure the adequacy of dumpster design.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p><i>Staff Comments</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> <p><i>Staff Comments</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	<p><b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b></p> <p style="margin-left: 20px;">i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p style="margin-left: 20px;">ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			<i>Staff Comments</i>	<i>The majority of the parking for the building is along the southern side of the building along Gulf Stream. There exists 5 spaces in front of the main entrance which is on the East side and there is additional parking located in the rear of the building on a compacted gravel area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1h	<p><b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b></p>
			<i>Staff Comments</i>	<i>Access to the building will be from Lear Lane and Gulf Stream. There exists an encroachment to the north and west sides of the building from an existing asphalt road from Lear Lane.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	<p><b>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b></p>
			<i>Staff Comments</i>	<i>Snow storage has been relocated to the NW and SW corners of the lot. Staff has advised the applicant to modify snow storage to be placed within the fencing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	<p><b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b></p>
			<i>Staff Comments</i>	<i>Parking/Pedestrian &amp; Circulation: <del>18,700 sq. ft.</del> 17,164 sq. ft.                  Snow Storage required: <del>4,675 sq. ft.</del> 4,291 sq. ft.                  Snow Storage provided: <del>4,700 sq. ft.</del> 4,336 sq. ft.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	<p><b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b></p>
			<i>Staff Comments</i>	<i><del>Snow storage is 24' wide.</del> Snow storage varies in width but is no less than 10 feet in width.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1l	<p><b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b></p>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1m	<p><b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b></p>
			<i>Staff Comments</i>	<i>Staff suggests that all snow storage be placed within the fence.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1n	<p><b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b></p>
			<i>Staff Comments</i>	

**2. Building Design: 6A.8 (A) 2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p> <p><i>Staff Comments</i>                      The design and proportion of the building is harmonious with the surrounding buildings. The scale of the building is designed to be pedestrian friendly and the building incorporates glass doors and windows to invite pedestrians and light inward. <b>The proposed addition is compatible with the previous design and incorporates appropriate scale and mass.</b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2b	<p>b. Standardized corporate building designs are prohibited.</p> <p><i>Staff Comments</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p> <p><i>Staff Comments</i>                      The scale of the building is designed to be pedestrian friendly and the building incorporates glass doors and windows to invite pedestrians and light inward.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p><i>Staff Comments</i>                      Materials include raised steel panels and steel awnings to break up the vertical walls, contrasting and complimenting the used brick veneer. <b>Proposed materials will not change.</b></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>Staff Comments</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p> <p><i>Staff Comments</i>                      Materials are used in variation to create character and natural colors are used to encourage authenticity.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p><i>Staff Comments</i>                      Exterior building colors and material and natural in character and harmonious with surrounding architectural details and color schematics. <b>All proposed colors and materials remain the same.</b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p> <p><i>Staff Comments</i>                      The proposed building incorporates varying stories in size to break up mass. <b>One additional vehicular bay is proposed in the addition. See building plans for details. Additional bay matches previously proposed bays and is compatible with overall design and scale.</b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p>

				<ul style="list-style-type: none"> <li>i) <b>Solar Orientation.</b> If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south.</li> <li>ii) <b>South facing windows with eave coverage.</b> At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii) <b>Double glazed windows.</b></li> <li>iv) <b>Windows with Low Emissivity glazing.</b></li> <li>v) <b>Earth berming against exterior walls</b></li> <li>vi) <b>Alternative energy.</b> Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li>vii) <b>Exterior light shelves.</b> All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul>
			<i>Staff Comments</i>	<i>Solar panels will be used along with south facing windows with awnings, double glazed windows with low emissivity properties, and also photovoltaic panels will be incorporated for electrical generation with battery backup.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2j	<ul style="list-style-type: none"> <li>j. <b>Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</b></li> </ul>
			<i>Staff Comments</i>	<i>There are no sloping roof surfaces to generate snowfall onto pedestrian surfaces.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2k	<ul style="list-style-type: none"> <li>k. <b>Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</b></li> </ul>
			<i>Staff Comments</i>	<i>All roof drainage flows into interior drains.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2l	<ul style="list-style-type: none"> <li>l. <b>Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</b></li> </ul>
			<i>Staff Comments</i>	<i>No vehicle drive-through canopies exist.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2m	<ul style="list-style-type: none"> <li>m. <b>A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</b></li> </ul>
			<i>Staff Comments</i>	<i>Staff will review and verify compliance for any proposed signage.</i>

**3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3a	<ul style="list-style-type: none"> <li>a. <b>Accessory structures shall be designed to be compatible with the principal building(s).</b></li> </ul>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3b	<ul style="list-style-type: none"> <li>b. <b>Accessory structures shall be located at the rear of the property.</b></li> </ul>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	<ul style="list-style-type: none"> <li>c. <b>Walls and fences shall be constructed of materials compatible with other materials used on the site.</b></li> </ul>

			<i>Staff Comments</i>	<i>Walls will be constructed on the periphery of the property and will incorporate similar materials used on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3d	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>
			<i>Staff Comments</i>	<i>Walls and landscaping will provide screening around the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3e	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>
			<i>Staff Comments</i>	<i>Roof mounted equipment is shown as shielded by wall parapets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3f	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b>
			<i>Staff Comments</i>	<i>The flat roofs and solar panels do not detract from the building. All design elements are considered.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>No HVAC equipment is proposed for ground mounting. Trash enclosure will be screened by landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	<b>i. All service lines into the subject property shall be installed underground.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3i	<b>j. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	

**4. Landscaping: 6A.8 (A) 4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>
			<i>Staff Comments</i>	<i>Ash, Aspen, Boxwood, Splurge, Jackman and McKay's White will be planted.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4b	<b>b. All plant species shall be hardy to the Zone 4 environment.</b>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4c	<b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b>
			<i>Staff Comments</i>	<i>Irrigation system will be installed.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4d	<p><b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</b></p>
			<i>Staff Comments</i>	<i>Site planning considers placement of trees and pedestrian circulation. Site is pedestrian friendly.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4e	<p><b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b></p>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4f	<p><b>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</b></p>
			<i>Staff Comments</i>	<i>A large variety of species is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4g	<p><b>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</b></p>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4h	<p><b>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</b></p>
			<i>Staff Comments</i>	<i>Staff will verify.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4i	<p><b>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</b></p>
			<i>Staff Comments</i>	<i>Fencing is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4j	<p><b>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</b></p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4k	<p><b>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.</b></p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4l	<p><b>l. Landscaping should be provided within or in front of extensive retaining walls.</b></p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4m	<p><b>m. Retaining walls over 24" high may require railings or planting buffers for safety.</b></p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4n	<p><b>n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.</b></p>
			<i>Staff Comments</i>	

**Additional Design Review Requirements for all  
 Non-Residential Buildings located within the LI, SCI, TI or A zoning districts**

**1. Site Planning: 6A.8 (C) 1, items (a) thru (c)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(C)1a	<p><b>a. Adjoining parcels shall be considered when planning building configuration, vehicular circulation and access, parking, and drainage.</b></p> <p><i>Staff Comments</i>                      The majority of the surrounding parcels remain undeveloped. Vehicular circulation and site planning allow for successful development for neighboring parcels and will prevent traffic congestion.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(C)1b	<p><b>b. Reciprocal vehicular ingress and egress, circulation, and parking arrangements are encouraged when the adjacent site(s) allows in order to facilitate the ease of vehicular movement between adjoining properties.</b></p> <p><i>Staff Comments</i>                      Parking configuration and location allow for easy vehicular movement and access.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(C)1b	<p><b>c. Vehicle circulation, parking and loading shall not block pedestrian access ways.</b></p> <p><i>Staff Comments</i>                      Pedestrian access will exist in between the parking and the proposed building.</p>

**6A.6 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
  - 1. The project does not jeopardize the health, safety or welfare of the public.
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
  
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
  - 1. Ensure compliance with applicable standards and guidelines.
  - 2. Require conformity to approved plans and specifications.
  - 3. Require security for compliance with the terms of the approval.
  - 4. Minimize adverse impact on other development.
  - 5. Control the sequence, timing and duration of development.
  - 6. Assure that development and landscaping are maintained properly.
  - 7. Require more restrictive standards than those generally found in the Zoning Ordinance.
  
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the

**improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) Applicant shall vacate the underlying lot line separating lots 4F and 4G where the proposed building will be placed. An application for a lot line adjustment shall be submitted prior to issuance of a building permit for construction. The final plat shall be completed prior to issuance of the Certificate of Occupancy.**

### **CONCLUSIONS OF LAW**

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.

4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

### DECISION

The Design Review application submitted by Evan’s Plumbing, represented by Owen Scanlon, for a new 8,600 sq. ft. commercial facility located at lots 4A, 4B, 4F, & 4G of block 4, Airport West Subdivision, Phase II (1631 Lear Lane) of the Service, Commercial, Industrial –Industrial Sub District (SCI-I) Zoning District, is hereby approved finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (g) are met.

A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Janet Fugate, Chair

Attest:

\_\_\_\_\_  
Kristine Hilt, Community Development Coordinator

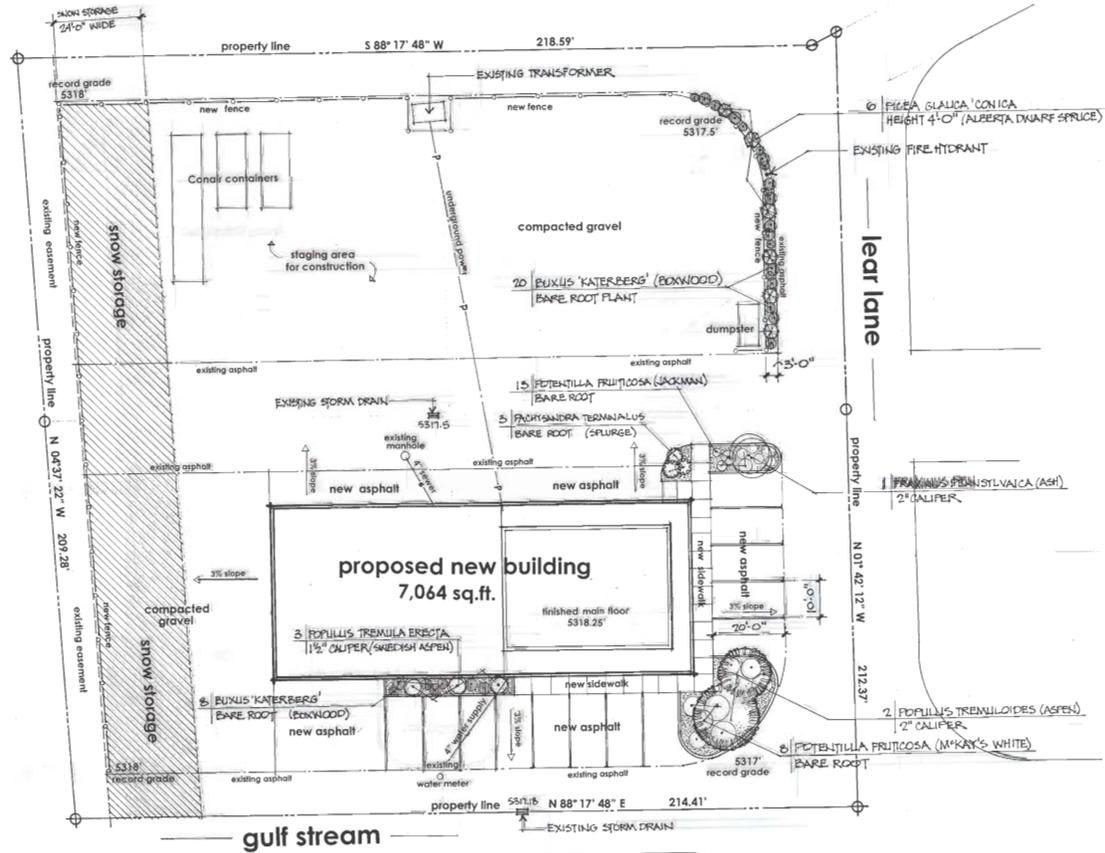


**vicinity map**

SCALE 1" = 128'-0"

PARKING, PEDESTRIAN, & CIRCULATION AREA: 16,700 SQ. FT.  
 SNOW STORAGE REQ'D: 4,675 SQ. FT.  
 SNOW STORAGE PROVIDED: 4,700 SQ. FT.

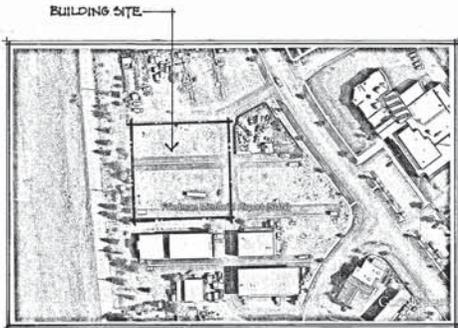
Airport West Subdivision, Phase II	
Lots 4A, 4B, 4F, and 4G	
Lot size: 45,930 sq.ft. or 1.05 acres	
Building tabulation: Main floor-	5,568 sq.ft.
Second floor-	1,496 sq.ft.
Total-	7,064 sq.ft.
Fire sprinklers:	yes
Construction Type:	V



**site development plan**

SCALE 1/16" = 1'-0"

# Revised Site Plan

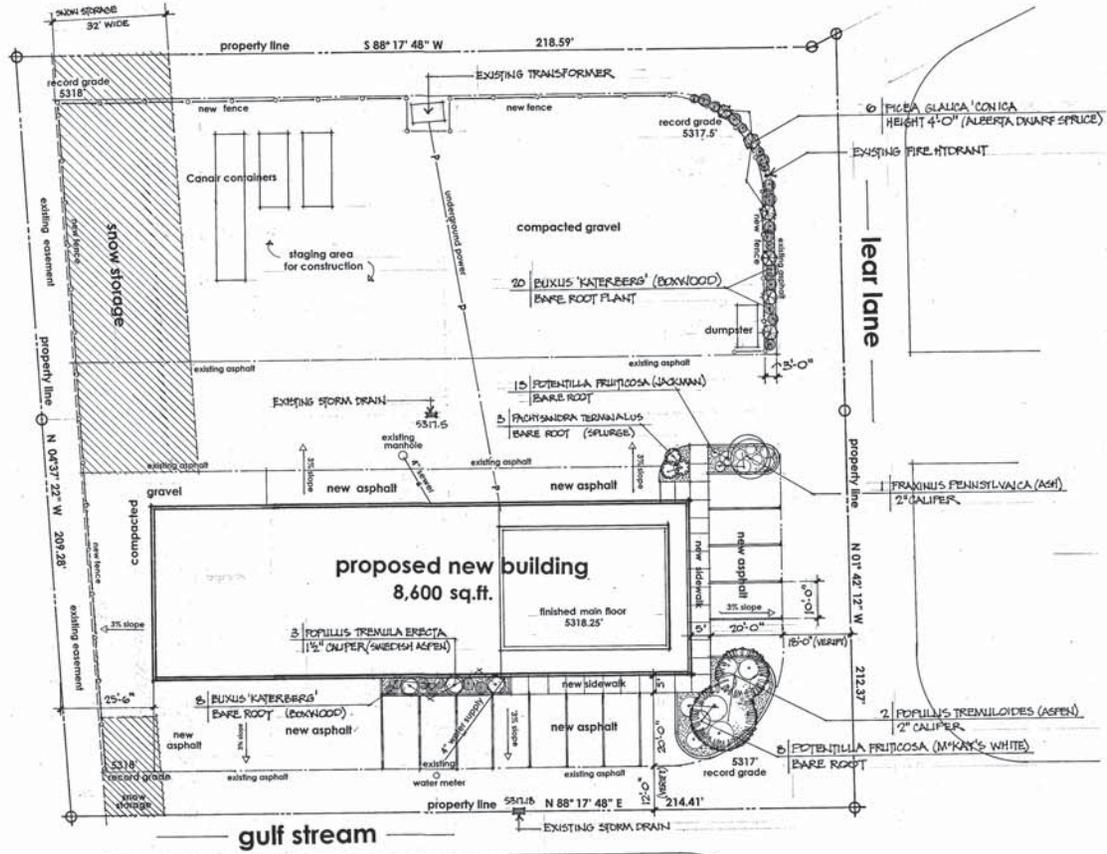


vicinity map

SCALE 1" = 125'-0"

PARKING, PEDESTRIAN, & CIRCULATION AREA: 17,164 sq. FT.  
 SNOW STORAGE RES'D: 4,271 sq. FT.  
 SNOW STORAGE PROVIDED: 4,336 sq. FT.

Airport West Subdivision, Phase II	
Lots 4A, 4B, 4F, and 4G	
Lot size: 45,930 sq. ft. or 1.05 acres	
Building tabulation: Main floor-	7,104 sq. ft.
Second floor-	1,496 sq. ft.
Total-	8,600 sq. ft.
Fire sprinklers: yes	
Construction Type: V	



site development plan

SCALE 1/16" = 1'-0"

ARCHITECT/PLANNER  
 110 N ANGELA DR  
 HAILEY, ID 83333  
 (208) 720-2344

REVISIONS  
 9-1-2015

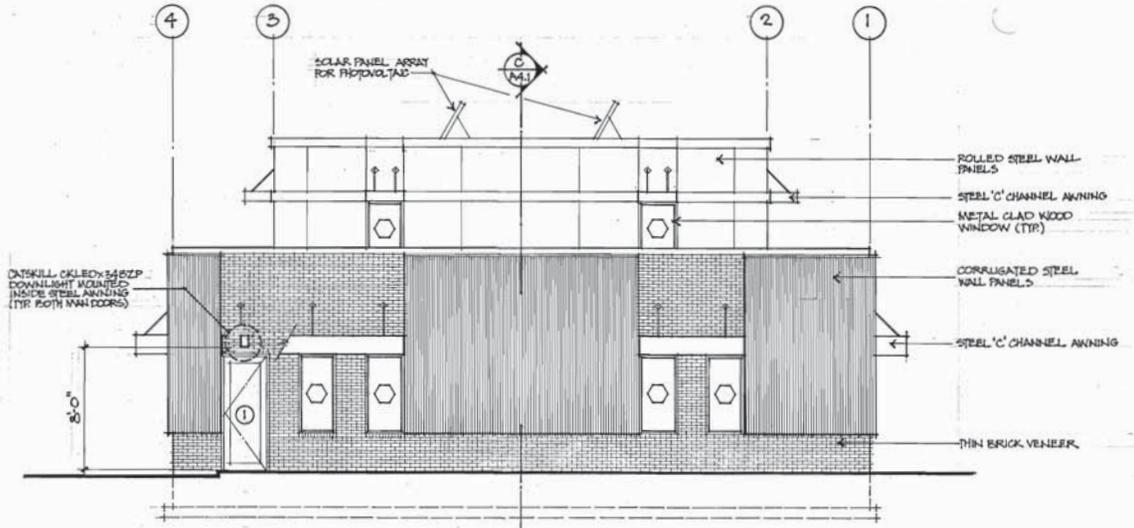
PROJECT NO.  
 DATE  
 DRAWN BY

evans plumbing, inc.  
 hailey, Idaho 83333

1631 lear lane

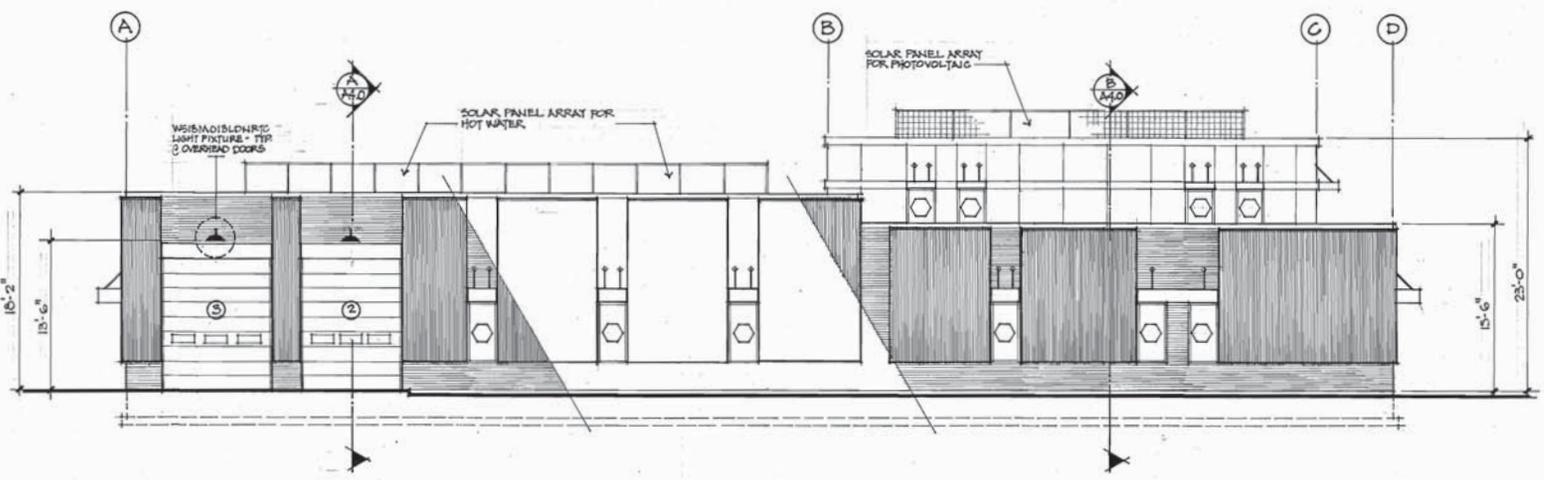


SD-1.0



east elevation

SCALE 1/4" = 1'-0"



south elevation

SCALE 3/16" = 1'-0"

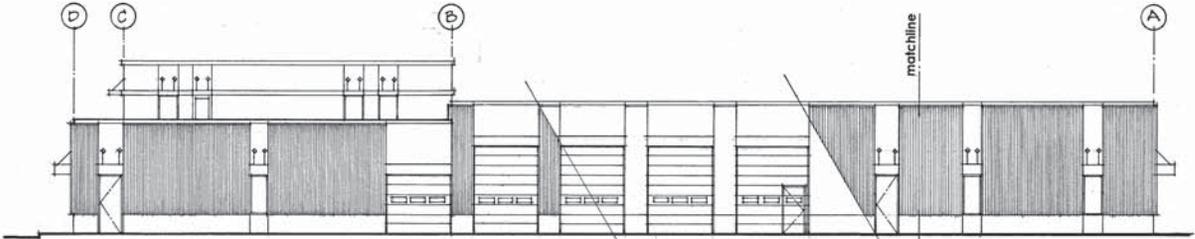
ARCHITECT/PLANNER  
110 N ANGELA DR  
HAILEY, ID 83333  
(208) 726-2344

PROJECT NO.  
DATE  
DRAWN BY

evans plumbing, inc.  
111 gulf stream  
hailey, idaho 83333

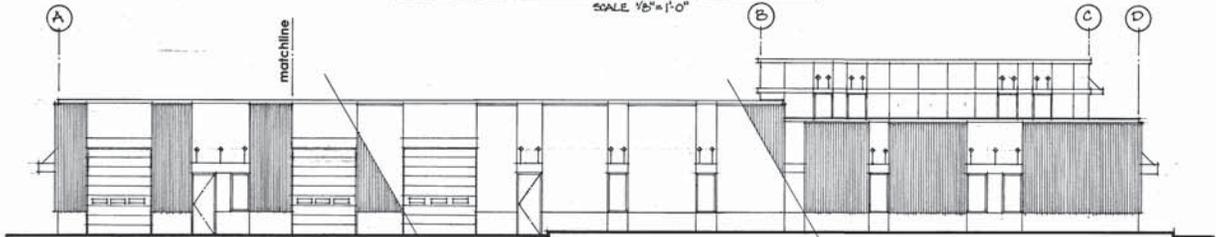
OWEN WRIGHT SCANLON  
NCARB

Revised Elevations



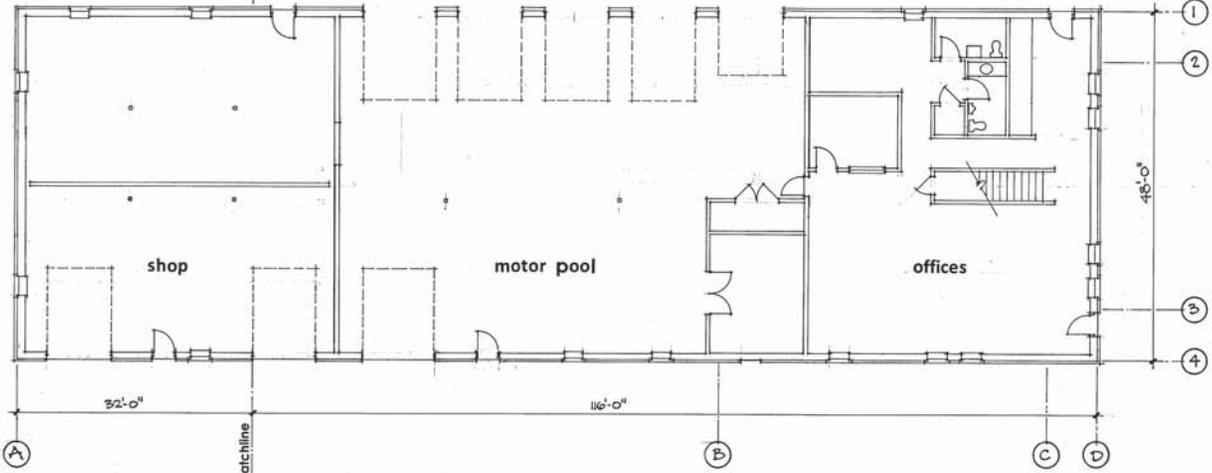
north elevation

SCALE 1/8" = 1'-0"



south elevation

SCALE 1/8" = 1'-0"



main floor plan

SCALE 1/8" = 1'-0"

ARCHITECT/PLANNER  
110 N ANGELA DR  
HAILEY, ID 83333  
(208) 726-2344

REVISED

PROJECT NO.  
DATE  
DRAWN BY

evans plumbing, inc.  
hailey, Idaho 83333  
1631 lear lane

OWEN WRIGHT SCANLON  
M CARB

**[Back to Agenda](#)**

**DESIGN REVIEW  
STAFF REPORT**

**TO:** Hailey Planning and Zoning Commission

**FROM:** Lisa Horowitz Community Development Director

Design Review application by Leadership Circle, LLC on behalf of 710 N Main, LLC and Lots of Lemon, LLC for a 15,000 square-foot commercial building housing a Specialty Retail Grocer to be located at 700-710 N. Main Street, Hailey (Lot 1, Block 1, North Hailey Business Center, Lots of Lemon Subdivision Lots 1 and 2 and Tax Lot 4451) within the Business (B) Zoning District. The proposal also includes a private road on the south property boundary connecting Main Street to First Avenue.

**HEARING:** September 28, 2015

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**Applicant:** 710 Main, LLC represented by Leadership Circle, LLC

**Request:** Design Review for 15,000 specialty retail (Natural Grocers) store, and a proposal for a Private Road on the south property boundary connecting from Main Street to First Avenue.

**Location:** 615 North Main Street (Lot 1, Block 1, North Hailey Business Center, Lots of Lemon Subdivision Lots 1 and 2 and Tax Lot 4451)

**Zoning:** Business (B)

**Notice**

Notice for the public hearing was published in the Idaho Mountain Express on August 26, 2015 and mailed to property owners within 300 feet on August 26, 2015. ***The project was continued on the record from September 14, 2015 to September 28, 2015 with several revisions requested by the Commission. New staff comments in this report are shown in bold and italics.***

### **Application**

The applicant is proposing a new 15,000 specialty retail store on Main Street. The store will be a Natural Grocers, which is a 60-year old brand of specialty grocer/vitamin stores in 13 states ([www.naturalgrocers.com](http://www.naturalgrocers.com)). In Idaho, stores are currently in Boise, Coeur D'Alene Idaho Falls.

The proposal is accessed from three locations: 1) shared drive with McDonalds on the north side of the site; 2) a new private road connecting Main Street to First Avenue; and 3) First Avenue via the new private road. One curb cut on Main Street serving the vacant lot will be consolidated to create the new street.

The new private road will be close to aligning with the new Kings/Good Motors private road on the other side of Main Street, but will have a slight offset due to property boundaries. Staff has suggested that the new private street have a 42' right of way profile, within which would be two 12' drive lanes, two 4' bike lanes and two 6' sidewalks on either side, identical to the Kings/Goode Motor road profile. (Note that for Kings the Commission only required one of the two sidewalks to be constructed at the time of Design Review approval, allowing the sidewalk on the other side of the road to be constructed when the Goode Motors property redevelops). Details on the road have not yet been shown on the plans.

The site plan shows a future retail building of 7,500 square feet. Staff requested a timeline for this building, and/or a revised site plan showing the interim plans for this area. The applicant has stated that market conditions will dictate when the space will be built out, and that they plan in the interim to have a flat dirt pad-ready space surrounded by curb and gutter. This would be a similar solution to the business park in the north end of Bellevue, where several incomplete pads exist. ***The Commission discussed this matter at the September 14, 2015 hearing, and a condition of approval addresses this issue.***

***On September 14, the Commission continued this project with the following specific changes requested:***

- 1. Redesign the sidewalk adjacent to the private street to ensure adequate handicap access (sidewalk width), but to keep as close as possible to the Hailey Street Standards (not a suburban solution).***
- 2. Consider adding additional shrubs throughout.***
- 3. Re-examine visibility of the existing transformer from Main Street.***
- 4. Redesign north building façade to wrap the awning and add clerestory windows- additional detailing and fenestration.***

5. **Redesign east building façade also with a combination of awning and clerestory windows- additional detailing and fenestration.**
6. **Re-evaluate color on the non-brick façade areas to allow for greater shadow- a lighter color may be better.**
7. **Re-submit a dumpster detail that is not boiler-plate.**
8. **Re-design the monument sign to appear less suburban.**
9. **Re-calculate signage to meet Hailey code requirements.**

**Procedural History**

The application was submitted on June 1, 2015 and certified complete on June 24, 2015. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on July 13, 2015, in the Hailey City Council Chambers. ***The project was continued on the record from September 14, 2015 to September 28, 2015 with several revisions requested by the Commission.***

<b>General Requirements for all Design Review Applications</b>					
<b>Compliant</b>			<b>Standards and Staff Comments</b>		
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b>	
				<b>Life/Safety: No comments</b>	
				<b>Water and Sewer:</b> The project must maintain a 10' easement on each side of the sewer mainline (20' total). The two manholes should be accessible at all times with no landscaping or structures blocking access with a Hydro cleaning truck.	
				For Pretreatment requirements there will need to be at least a 1000 gallon FOG (fats, oils, and grease) interceptor installed for Specialty Grocery. If there are future plans for any food preparation within the Retail building, that building may also have to have an interceptor.	
				The Sewer service for Specialty Grocery needs to be connected differently to main line (saddle onto the mainline downstream of manhole instead of upstream as shown).	
				All Sewer work needs to be to City Standards.	
				<b>Building:</b>	
				<b>Streets:</b> Crosswalk striping at the new private road near First Avenue should be thermoplastic and striped per City Standards.	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	<b>8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</b>	
			<b>Staff Comments</b>	<i>The plans show one monument signs and signs mounted on the building faces as shown in the design package. Because there are two tenants, a Master Signage Plan is required. The</i>	

				<p><i>signs will comply with the City's maximum sign area and other bulk regulations. Staff has suggested to the applicant that it would be helpful to see the actual sign designs and colors as part of the Design Review process. <b>The monument sign has been modified to have a 7' brick base. Staff believes this design is more compatible with Main Street Hailey. Overall signage area of all signs has been reduced to meet City standards.</b></i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>9.4 On-site Parking Req.</b></p> <p><b>See Section 9.4 for applicable code.</b>  <b>9.4.2- 1 parking space per 1,000 gross square feet</b></p>	
			<p><b>Staff Comments</b></p> <p><i>The Zoning Code requires 1 parking space per 1,000 gross square feet. The project contains 15,000 gross square feet, and an additional future building of 7,500 square feet so 23 parking spaces are required. The site plan shows 44 parking spaces.</i></p>	
<input checked="" type="checkbox"/>		<input type="checkbox"/>	<p><b>8B.4.1 Outdoor Lighting Standards</b></p>	<p><b>8B.4.1 General Standards</b></p> <ul style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ul>
			<p><b>Staff Comments</b></p> <p><i>A lighting plan has been submitted showing:</i></p> <p><i>Wall planes, wall security lights, recessed downlights, wall packs and six (6) parking lot poles lights. The Photometric plan submitted by the applicant indicates that the new private road will be much darker than the parking lot areas. Staff recommends that two City street lights be added, on near Main Street and one near First Avenue, similar to the street lighting for the Kings/Goode Motors private road. <b>The two lights have been noted on the revised civil plans, and added as a condition of approval.</b></i></p> <p><i>Wall pack lighting is shown on the back of the building not planned for construction at this time. Staff recommends that the lighting plan be revised to show how the lighting plan functions in this area.</i></p> <p><i>All lighting is downcast and meets City standards.</i></p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Bulk Requirements</b></p> <p><b>(Insert sections from applicable zoning district)</b>  <b>Maximum Height: 35'</b>  <b>Setbacks: 0</b>  <b>Lot Coverage: 0</b>  <b>Aggregate Maximum Floor Area: 15 ,000 gross square feet</b></p>	
			<p><b>Staff Comments</b></p> <p><i>The 27' tall building complies with all bulk requirements.</i></p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>6A.7 (A) Required</b></p>	<p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p>

			<b>Street Improvements Required</b>	
			<b>Staff Comments</b>	<p><i>Sidewalks are existing on Main Street, and are provided on the new Private Road on the north side. Sidewalks are an average of 6' in width (Existing Main Street sidewalk is 6' wide). The curb cuts connecting the Natural Grocer private parking lot with the private road have wide angles in several places to allow for truck turning radius. This makes for a large asphalt area that will need to be striped for pedestrian crossing.</i></p> <p><i>Community Development and Public Works staff are comfortable with the sidewalk widths proposed since, a) the new street is a private street, and bike lanes are provided; and b) the sidewalk adjacent to the private road is not a primary thoroughfare. <b>The sidewalk along the private street has been modified per the Commission discussion: it has been moved to be adjacent to the parking, with a landscape strip between the sidewalk and the private street.</b></i></p> <p><i>A site drainage plan has been provided. Six catch basins are showed in the parking lot connecting to drywells in the landscape areas.</i></p>

### Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey

#### 1. Site Planning: 6A.8 (A) 1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1a	<p><b>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</b></p> <p><i>Staff has requested that the primary building be fronted on to Main Street. Pedestrian areas out front of the building provide for solar access.</i></p>
<input type="checkbox"/>	?	<input type="checkbox"/>	6A.8(A)1b	<p><b>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</b></p> <p><i>Staff Comments</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1c	<p><b>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</b></p>

			<b>Staff Comments</b>	<p>The new proposed private street connecting from Main to First Avenue will greatly increase pedestrian and nonmotorized connections in a portion of town with above average block lengths.</p> <p>Proposed 6' wide sidewalks running east/west will connect pedestrians and bicyclists (via new 4' bike lanes) from Main St. to the new building entrance, and then to First Avenue. Crosswalks will be required where the new sidewalk is bisected by the parking lot entrances, and north/south along First Avenue.</p> <p>The sidewalk to the second building (not part of this application) is narrower, which may not be desirable. However, it is 5' wide, allowing for handicap access.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.8(A)1d</b>	<p><b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b></p> <p><b>e. 9.2.2 Loading Space Requirements and Dimensions. The following regulations shall apply to all commercial and industrial uses with on-site loading areas. A. One (1) loading space shall be provided for any single retail, wholesale or warehouse occupancy with a floor area in excess of 4000 square feet, except grocery and convenience stores where one (1) loading space shall be provided for a floor area in excess of 1000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12 feet. B. Convenient access driveways to loading spaces from streets or alleys shall be</b></p>
			<b>Staff Comments</b>	<p>The unloading zone for the building's delivery of merchandise and the trash storage area is proposed along the north side of the building accessed via the shared access with McDonalds. This appears to be the most practical location for the delivery and dumpster locations. A letter from Clearcreek Disposal stating that the dumpster location and design is adequate will be required as a Condition. A screen wall for the primary dumpster is shown in plan, but no other details are shown; details will be brought to the meeting. Note that the primary dumpster is for the most part screened by the building. <b>The applicant has submitted a revised dumpster enclosure detail.</b> The site plan shows space 132' by 12' for truck loading (1,584 square feet). The loading area as designed can accommodate a large delivery truck, or several small trucks. 1,500 square feet is required (3 loading spaces of 500 square feet each).</p> <p>These locations will not impede with snow storage areas.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>6A.8(A)1e</b>	<b>f. Where alleys exist, or are planned, they shall be utilized for building services.</b>
			<b>Staff Comments</b>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>6A.8(A)1f</b>	<b>g. Vending machines located on the exterior of a building shall not be visible from any street.</b>
			<b>Staff Comments</b>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>6A.8(A)1g</b>	<b>h. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain</b>

				<p><i>standards may apply that are not listed here. See code for details.)</i></p> <ul style="list-style-type: none"> <li>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</li> <li>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</li> </ul>
			<b>Staff Comments</b>	<i>The building presents a useable, prominent entrance on Main Street. Parking is proposed on the south side of the building. It is well buffered from the Main Street sidewalk by a variety of landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1h	<ul style="list-style-type: none"> <li>i. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</li> </ul>
			<b>Staff Comments</b>	<i>A Main Street curb cut is being consolidated into a private road as part of this application, which will reduce vehicular/pedestrian conflicts. Additional buffering of the parking is shown on the south side adjacent to the new private street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	<ul style="list-style-type: none"> <li>j. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</li> </ul>
			<b>Staff Comments</b>	<i>A snow storage plan has been submitted showing 8,564 square feet of snow storage areas in easily accessible locations.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	<ul style="list-style-type: none"> <li>k. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</li> </ul>
			<b>Staff Comments</b>	<i>25% of the improved parking/vehicle and pedestrian circulation areas require 8,538 square feet of snow storage. The applicant has shown this amount of snow storage on site, plus a small amount in excess.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	<ul style="list-style-type: none"> <li>l. A designated snow storage area shall not have any dimension less than 10 feet.</li> </ul>
			<b>Staff Comments</b>	<i>Dimensional requirements have been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1l	<ul style="list-style-type: none"> <li>l. Hauling of snow from downtown areas is permissible where other options are not practical.</li> </ul>
			<b>Staff Comments</b>	<i>There appears to be adequate land area for snow storage on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1m	<ul style="list-style-type: none"> <li>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</li> </ul>
			<b>Staff Comments</b>	<i>None of the above are impeded by snow storage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1n	<ul style="list-style-type: none"> <li>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</li> </ul>
			<b>Staff Comments</b>	<i>Snow storage areas are landscape ground cover or asphalt.</i>

**2. Building Design: 6A.8 (A) 2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	<p><b>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</b></p> <p><i>The subject property is outside of the Townsite Overlay, in a portion of downtown with varied building sizes. The roofline height and form proposed are compatible.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2b	<p><b>b. Standardized corporate building designs are prohibited.</b></p> <p><i>The building design is within the range of corporate designs that staff viewed on the Natural Grocer web site. The design is responsive to the Hailey community on two of the four facades, as discussed further herein.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	<p><b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</b></p> <p><i>The design of the proposed building on the south and west facades incorporates appropriately scaled covered walkways, architectural elements such as canopies covering the main entry with soffit above. The space outside of the main entry will incorporate benches, and landscaping.</i></p> <p><i>The east and north facades have very limited architectural detailing. While elements of these elevations will be blocked by vegetation to the north, these facades are not as complete as the south and west facades. The applicant has modified these two elevations per the discussion at the meeting. <b>The north elevation now has a continuous bronze metal canopy over the back 2/3 of the building. A row of transparent glass windows covered by a canopy have been added within the brick portion of this north façade. The east elevation has a partial wrap of the canopy. A row of clerestory windows on this elevation within the brick section may be desirable, to match the north elevation.</b></i></p> <p><i>If the new proposed building is built, the east façade would be largely covered over. However, the applicant has not indicated a time frame for this second project. <b>The Commission discussed this issue, and several changes noted above have been added.</b></i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2d	<p><b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b></p> <p><i>Design features on the street façade include covered walkways architectural elements such as bronze metal canopies, wooden columns, picture windows and two material changes. The site plan on the street side includes benches, and landscaping.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2e	<p><b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b></p> <p><i>N/A</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	<p><b>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</b></p> <p><i>The design of two of the four facades incorporates varying materials, texture and colors.</i></p> <p><i>The east and north facades show much more limited variation in materials, textures and colors. While elements of these elevations will be blocked by vegetation to the north, these facades are not as architecturally varied as the south and west facades. <b>The applicant has provided additional architectural detailing on these facades in the</b></i></p>

				<i>resubmitted design package, attached to this report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p><i>Staff Comments</i>          The materials and color scheme is contemporary and suitable to the Hailey community.  <b>The applicant stated in the 9-14-15 Commission meeting that the proposed brick is real brick.</b>          The other primary material is fiber cement siding. The Commission suggested that the color for this façade element be lighter to allow for shadow and increased visual interest. The applicant has changed the color to a lighter shade, called "Gingerbread House". A color sample is in the packet, and an actual sample will be brought to the meeting.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p> <p><i>Staff Comments</i>          The existing building and addition are single-story.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> <li>i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</li> <li>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii) Double glazed windows.</li> <li>iv) Windows with Low Emissivity glazing.</li> <li>v) Earth berming against exterior walls</li> <li>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul> <p><i>Staff Comments</i>          Due to the location and orientation of the lot with respects to Main Street, incorporating passive solar techniques are limited. The new building has transparent glass double-glazed windows. The following elements are stated by the applicant to be incorporated into the design:</p> <p>100% LED lighting          Bag free store          Hot water heat reclaim          Recycled content in tile and other finishes          Low VOC paints and adhesives          Insulated white roof          De-stratification fans to reduce heating and cooling          Occupancy sensors in offices and restrooms</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2j	<b>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</b>
			<i>Staff Comments</i>	<i>Pedestrian areas are covered by a flat canopy. Parapets are used in other pedestrian areas to contain snow on the roof.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2k	<b>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</b>
			<i>Staff Comments</i>	<i>Downspouts are located at the rear of the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2l	<b>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2m	<b>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</b>
			<i>Staff Comments</i>	<i>A Master Signage Plan has not yet been provided, but will be required as part of the Design Review Approval.</i>

**3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3a	<b>a. Accessory structures shall be designed to be compatible with the principal building(s).</b>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3b	<b>b. Accessory structures shall be located at the rear of the property.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	<b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b>
			<i>Staff Comments</i>	<i>Wood fencing is proposed on the front of the building for portions of the landscape areas. Fences appear to be about 6' tall, although that is an estimate. A material sample has not been submitted, but photos have.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3d	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>
			<i>Staff Comments</i>	<i>Fences appear to be limited in scope, allowing for the building to be seen from the street. The applicant clarified in the meeting that the fences were in part to screen the existing transformer on the north edge of the property abutting Main Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3e	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>

			<i>Staff Comments</i>	<i>All proposed roof-mounted equipment will be screened from ground level view by the proposed roof parapet walls.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3f	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.</b>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>A condition of approval is included requiring that all proposed ground-mounted equipment will be screened from ground level view by the use of walls and/or landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	<b>i. All service lines into the subject property shall be installed underground.</b>
			<i>Staff Comments</i>	<i>All proposed service lines into the addition will be underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3i	<b>j. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	<i>No appurtenances are proposed on existing utility poles.</i>

**4. Landscaping: 6A.8 (A) 4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>
			<i>Staff Comments</i>	<i>All proposed plant material is drought tolerant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4b	<b>b. All plant species shall be hardy to the Zone 4 environment.</b>
			<i>Staff Comments</i>	<i>All proposed plant materials are hardy to Zone 4.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4c	<b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b>
			<i>Staff Comments</i>	<i>The applicant responded to this standard at the meeting; in the opinion of the project landscape architect, drip irrigation is more effective than temporary irrigation.</i>
<input checked="" type="checkbox"/>		<input type="checkbox"/>	6A.8(A)4d	<b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</b>
			<i>Staff Comments</i>	<i>The proposed landscaping incorporates a combination of one tree species, ornamental grasses and perennials. While shrubs are proposed in the Plant Key, only one shrub is shown on the site plan. Grasses are planned for 18’ to 3’ O.C., depending on the species.</i>

				<i>No existing trees are present along Main Street. <b>The Commission requested that the applicant add a few additional shrubs, and that the two trees proposed in the sidewalk along the new private road be moved to a landscape strip. These changes have been shown on the revised landscape plans.</b></i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>The proposed landscaping incorporates a combination of trees, and ornamental grasses that have a variety of colors, textures, and forms.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>Storm water is managed via numerous catch basins in the parking lots that drain to a drywell system in the landscape areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>Maintenance is planned for all landscape areas.</i>
<input type="checkbox"/>		<input checked="" type="checkbox"/>	6A.8(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>N/; the existing retaining wall on the east is not on the subject property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>See "i" above.</i>
<input type="checkbox"/>		<input checked="" type="checkbox"/>	6A.8(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>See "i" above.</i>
<input type="checkbox"/>		<input checked="" type="checkbox"/>	6A.8(A)4l	m. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>No retaining walls are planned.</i>
<input type="checkbox"/>		<input checked="" type="checkbox"/>	6A.8(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>No retaining walls are planned.</i>
<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	6A.8(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>No retaining walls are planned.</i>

**Additional Design Review Requirements for  
Non-Residential Buildings Located within B, LB, or TN**

**1. Site Planning: 6A.8 (B) 1, items (a) thru (b)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)1a	<p><b>a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.</b></p> <p><i>Staff Comments</i> Sidewalks are planned on two of the four building fronts.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)1b	<p><b>b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.</b></p> <p><i>Staff Comments</i> Sidewalk widths vary through the project; the applicant has stated that the sidewalk narrows towards the rear building (not part of this project) to allow an element of that rear building to pop further out, increasing visibility for a future tenant.</p>

**2. Building Design: 6A.8 (B) 2, items (a) thru (h)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2a	<p><b>a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.</b></p> <p><i>Staff Comments</i> The existing building is oriented to the street. The new main entrance is located so as to serve both Main Street and the new Private Road accessing the property.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2b	<p><b>b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image which may often accompany large buildings.</b></p> <p><i>Staff Comments</i> The back building is not designed at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2d	<p><b>c. Building designs shall maximize the human scale of buildings and enhance the small town “sense of place”. This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.</b></p> <p><i>Staff Comments</i> The design team has made efforts to bring a human scale to the design on the Main Street façade. Canopies are proposed the front entrance on two sides of the corner. Two of the facades were presented with limited human scale at the September 14 Commission hearing. <b>Based on input from the Commission, the north elevation now has a continuous bronze metal canopy over the back 2/3 of the building. A row of transparent glass windows covered by a canopy have been added within the brick portion of this façade. The east elevation has a partial wrap of the canopy. A row of clerestory windows on this elevation within the brick section may be desirable, to match the north elevation.</b></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2e	<p><b>d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height</b></p>

				relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2f	e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(B)2g	f. Fire department staging areas shall be incorporated into the design elements of the building.
			<i>Staff Comments</i>	<i>The building will be fully sprinklered.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)2h	g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: <ul style="list-style-type: none"> <li>i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses;</li> <li>ii. Stepping down the massing of the building along the site's edge; and</li> <li>iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns</li> </ul>
			<i>Staff Comments</i>	<i>The project is surrounded by Business (B) zoning and nonresidential uses, with the exception of a small portion of the site that abuts First Avenue. The private road and site landscaping are located in this area.</i>

**3. Landscaping: 6A.8 (B) 3, item (a)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(B)3a	a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.
			<i>Staff Comments</i>	<i>The project is surrounded by Business (B) zoning and nonresidential uses, with the exception of a small portion of the site that abuts First Avenue. The private road and site landscaping are located in this area. The landscape area is 40' wide.</i>

**6A.6 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
1. The project does not jeopardize the health, safety or welfare of the public.
  2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

**B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**

- 1. Ensure compliance with applicable standards and guidelines.**
- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

The following conditions of approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
  - The Private Road, as shown on the design drawings dated June 26, 2015, with the addition of: striped bike lanes, two (2) city-standard street lights, and crosswalks at three (3) locations. Street trees and street lights will be required on the north side of the road at the time of substantial redevelopment of the northerly property.
  - Waste Water Department improvements as noted in the 9/08/15 memo from the Wastewater Department.
  - Water improvements as noted in the forthcoming memo from the Water Department.
- c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- d) All new lighting shall comply with the Outdoor Lighting Ordinance.
- e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- f) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- g) The applicant shall submit a Master Signage Plan and sign permit for staff approval. Proposed sign(s) shall conform to City Zoning requirements, and shall be approved prior to

- installation.
- h) A letter shall be provided from Clearcreek Disposal prior to issuance of a building permit stating that the design and location of the dumpster area is adequate for trash pickup.
  - i) All new ground-mounted utility equipment shall be located to the rear of the building(s) and screened from view.
  - j) The pad for the future building site shall be compacted gravel suitable for fire truck access. This area shall be kept free of weeds, debris or other items.

**C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

#### Motion Language

##### **Approval:**

Motion to approve the Design Review application submitted by Leadership Circle, LLC on behalf of 710 N Main, LLC and Lots of Lemon, LLC for a 15,000 square-foot commercial building housing a Specialty Retail Grocer to be located at 700-710 N. Main Street, Hailey (Lot 1, Block 1, North Hailey Business Center, Lots of Lemon Subdivision Lots 1 and 2 and Tax Lot 4451) within the Business (B) Zoning District,, and recommend to the City Council approval for a Private Road on the north property boundary connecting from Main Street to First Avenue, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (i) are met.

##### **Denial:**

Motion to deny the Design Review application submitted by Leadership Circle, LLC on behalf of 710 N Main, LLC and Lots of Lemon, LLC for a 15,000 square-foot commercial building housing a Specialty Retail Grocer to be located at 700-710 N. Main Street, Hailey (Lot 1, Block 1, North Hailey Business

Center, Lots of Lemon Subdivision Lots 1 and 2 and Tax Lot 4451) within the Business (B) Zoning District, finding that\_\_\_\_[the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

**Continuation:**

Motion to continue the public hearing on Design Review application submitted by Leadership Circle, LLC on behalf of 710 N Main, LLC and Lots of Lemon, LLC for a 15,000 square-foot commercial building housing a Specialty Retail Grocer to be located at 700-710 N. Main Street, Hailey (Lot 1, Block 1, North Hailey Business Center, Lots of Lemon Subdivision Lots 1 and 2 and Tax Lot 4451) within the Business (B) Zoning District, to\_\_\_\_\_[Commission should specify a date).



VICINITY MAP

vega

architecture llc  
 1335 elati st, unit a  
 denver, co 80204  
 t: 303.872.0487  
 c: 720.841.7301  
 f: 480.275.3797

**SPECIALTY RETAIL**

710 N MAIN STREET  
 HAILEY, ID 83333



sheet title  
 VICINITY MAP

dp

app  
 dg

A-1 of 7

issue / date

by

sheet no.

ZONING: B  
 PARKING RATIO: 1/1,000 SF  
 SPECIALTY GROCERY PARKING REQUIRED: 15  
 SPECIALTY GROCERY PARKING MAXIMUM: 35  
 SPECIALTY GROCERY PARKING PROVIDED: 29  
 RETAIL PARKING REQUIRED: 7.5  
 RETAIL PARKING MAXIMUM: 15  
 RETAIL PARKING PROVIDED: 15  
 TOTAL PARKING PROVIDED: 44



CONCEPTUAL SITE PLAN

SCALE: 1" = 20'

vega

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SPECIALTY RETAIL

710 N MAIN STREET  
 HAILEY, ID 83333



sheet title  
 CONCEPTUAL  
 SITE PLAN

dp

app dg

A-2 of 7

Issue / date

sheet no.



WEST ELEVATION

NOT TO SCALE



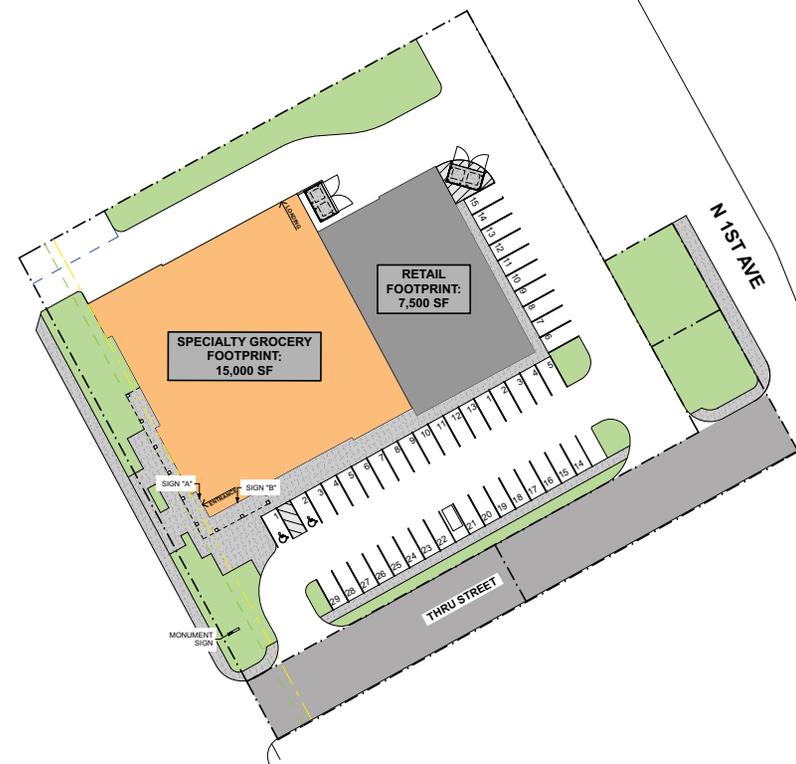
SOUTH ELEVATION

NOT TO SCALE



MONUMENT SIGN

NOT TO SCALE



SIGNAGE SITE PLAN

SCALE: 1" = 30'

vega

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denver, co 80204  
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SPECIALTY RETAIL

710 N MAIN STREET  
HAILEY, ID 83333

Issue / date

sheet title  
CONCEPTUAL  
SIGNAGE PLAN

dp

app dg

A-7 of 7

sheet no.

**SCOPE OF WORK:**  
NEW SINGLE STORY SPECIALTY RETAIL STORE, ASSOCIATED SITE WORK INCLUDING PARKING LOT, SITE FURNISHINGS AND LANDSCAPING.

**OCCUPANCY GROUP:** M | MERCANTILE  
NON-SEPARATED MIXED USE: M, S-2, B  
(WITH A3 ASSEMBLY AS ACCESSORY OCCUPANCY)  
M IS THE MOST RESTRICTIVE OCCUPANCY

**TYPE OF CONSTRUCTION:** TYPE V-B, BUILDING IS SPRINKLERED THROUGHOUT

**ALLOWABLE AREA:** 9,000 SF PER FLOOR + 300% OF 3,000 = 36,000 SF  
(IBC 506.3 AUTOMATIC SPRINKLER SYSTEM INCREASE)

**PROPOSED BUILDING AREA:** 14,992 SF GROUND FLOOR

**ALLOWABLE BLDG HEIGHT:** 35'-0" (1 STORY)

**PROPOSED BLDG HEIGHT:** 27'-0" (1 STORY)

**FIRE SPRINKLER SYSTEM:** FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED PER IBC SECTION 903.3.1.1 (NFPA 13); SYSTEM WILL BE PERMITTED SEPARATELY.

**FIRE ALARM SYSTEM:** FIRE MONITORING AND ALARM SYSTEM SHALL BE PROVIDED PER IBC SECTION 903.3.1.1 (NFPA 13); SYSTEM WILL BE PERMITTED SEPARATELY.

**OCCUPANT LOAD:** SEPARATE MANUAL ALARM SYSTEM IS NOT REQUIRED IN GROUP M OCCUPANCY PER IBC 907.2.7 EXCEPTION 2.

SALES:	10,779 SF @ 30 SF/OCC	= 340 OCC
STOCK STORAGE:	2,344 SF @ 300 SF/OCC	= 8 OCC
BUSINESS:	914 SF @ 100 SF/OCC	= 10 OCC
ASSEMBLY:	434 SF @ 15 SF/OCC	= 29 OCC
KITCHEN, COMMERCIAL:	328 SF @ 200 SF/OCC	= 2 OCC
MECHANICAL:	205 SF @ 300 SF/OCC	= 1 OCC
<b>TOTAL:</b>		<b>= 390 OCC</b>

**NOTE:** OCCUPANT LOAD BASED ON AGGREGATE OCCUPANCIES; REFER TO CODE PLAN FOR OCCUPANCY LOADS OF INDIVIDUAL SPACES.

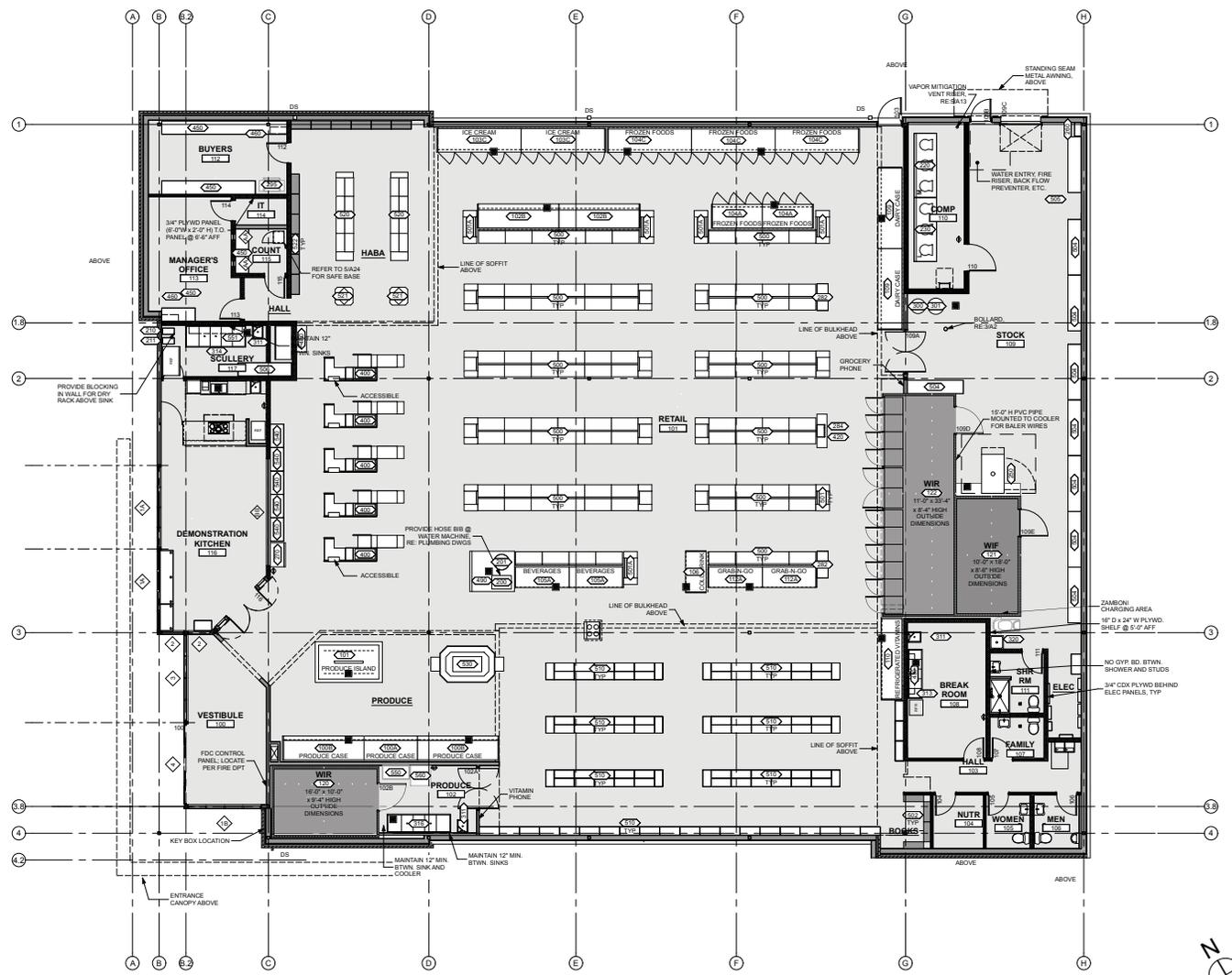
**REQUIRED EGRESS WIDTH:** RETAIL FLOOR: 383 OCC X 0.27/OCC (PER IBC 1005.1) = 76.6"  
TWO EXITS REQUIRED

**PROVIDED EGRESS WIDTH:** RETAIL FLOOR: DOOR 100 = 66.0" CLEAR WIDTH  
DOOR 103 = 36.0" CLEAR WIDTH  
TOTAL = 102.0"

**STOCK ROOM:** DOOR 100B = 32.0" CLEAR WIDTH  
TOTAL = 32.0"

**PLUMBING COUNT:** REQUIRED: PROVIDED:  
WATER CLOSETS: 1M / 1F 1M / 1F JUNIEX  
LAVATORIES: 1M / 1F 1M / 1F JUNIEX  
DRINKING FOUNTAIN: 1 2

**NOTE:** THE BUILDING FOOTPRINT, DOOR LOCATIONS, AND ARRANGEMENT OF SPACE IS SUBJECT TO CHANGE DURING THE CONSTRUCTION DOCUMENT PROCESS. THIS PLAN PROVIDED FOR REFERENCE ONLY



1 CONCEPTUAL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

Issue / date

Sheet title

Sheet No.

App

Sheet No.



EAST ELEVATION  
 1/4" = 1'-0"



NORTH ELEVATION  
 1/4" = 1'-0"

sheet title CONCEPTUAL ELEVATIONS

dp

app dg



WEST ELEVATION

3/16" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

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SPECIALTY RETAIL

710 N MAIN STREET  
 HAILEY, ID 83333

sheet title  
 CONCEPTUAL  
 ELEVATIONS

dp

app dg

A-5 of 7

issue / date

sheet no.



REAR PERSPECTIVE

NOT TO SCALE



ENTRY PERSPECTIVE

NOT TO SCALE

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**SPECIALTY RETAIL**

710 N MAIN STREET  
 HAILEY, ID 83333



issue / date

sheet title  
 CONCEPTUAL  
 PERSPECTIVES

dp

app dg

A-6 of 7

sheet no.



WEST ELEVATION

NOT TO SCALE



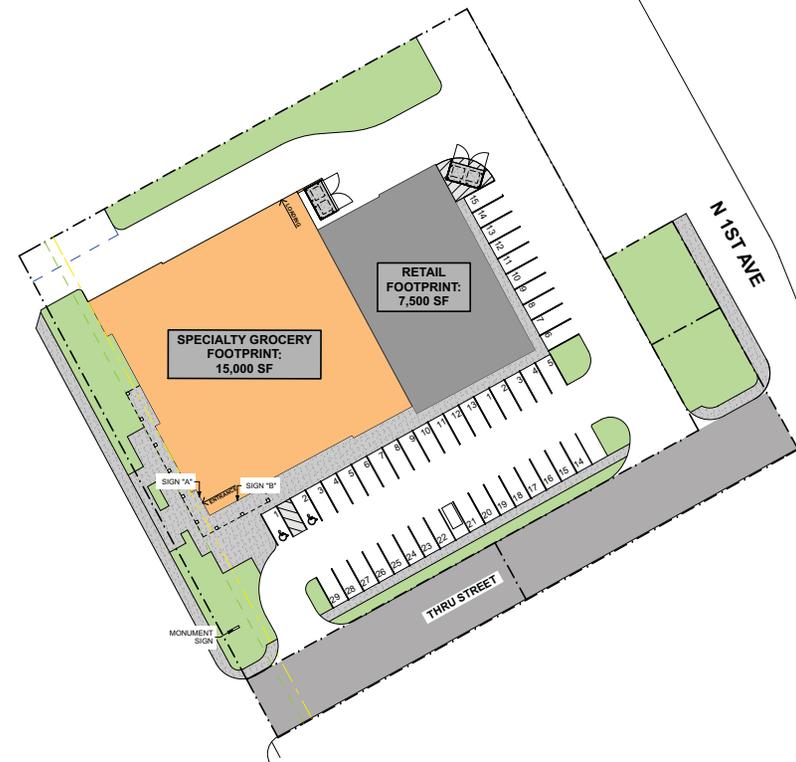
SOUTH ELEVATION

NOT TO SCALE



MONUMENT SIGN

NOT TO SCALE



SIGNAGE SITE PLAN

SCALE: 1" = 30'

vega

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SPECIALTY RETAIL

710 N MAIN STREET  
HAILEY, ID 83333

Issue / date

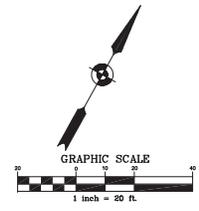
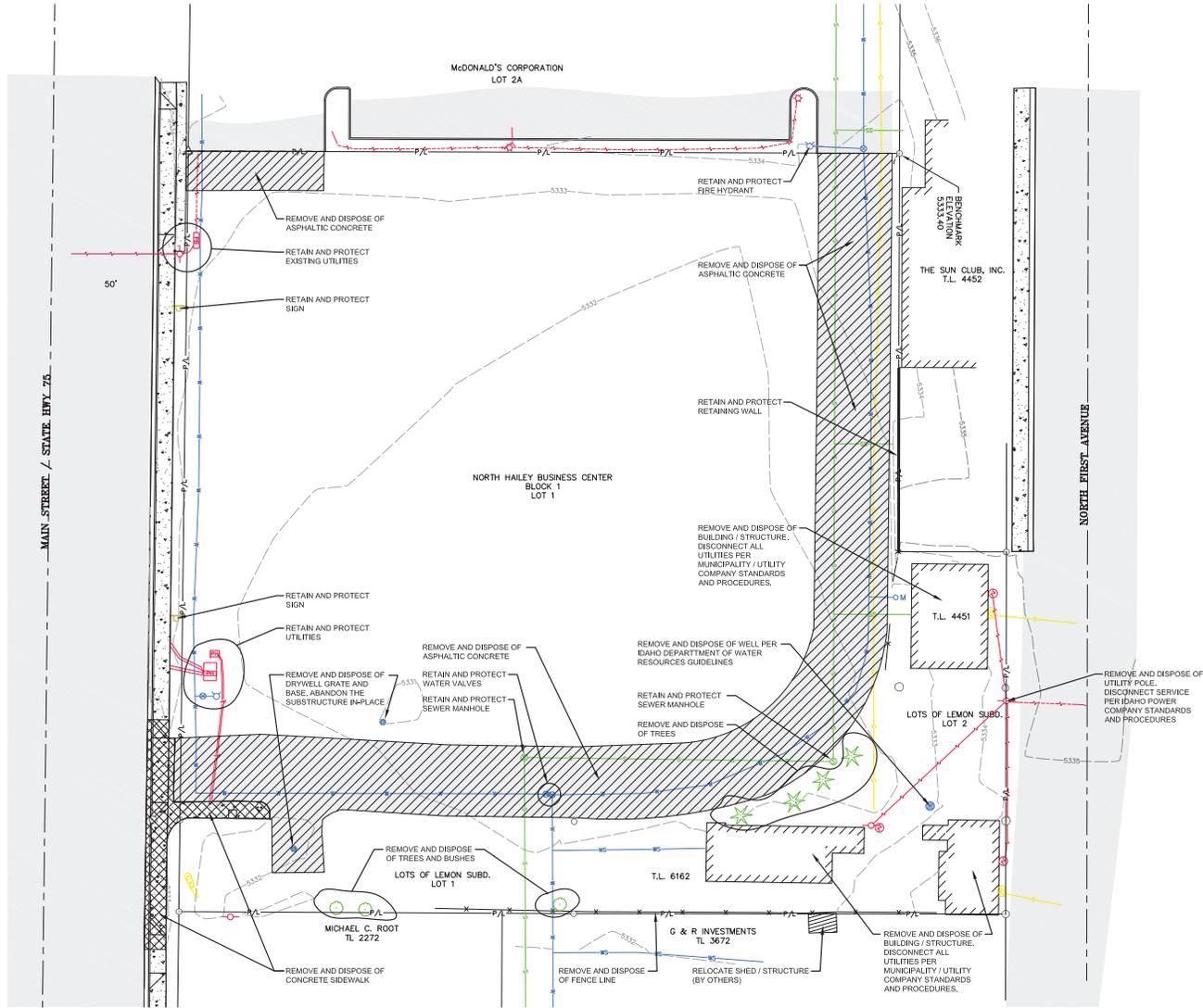
sheet title  
CONCEPTUAL  
SIGNAGE PLAN

dp

app dg

A-7 of 7

sheet no.



NO.	DATE	BY	REVISIONS

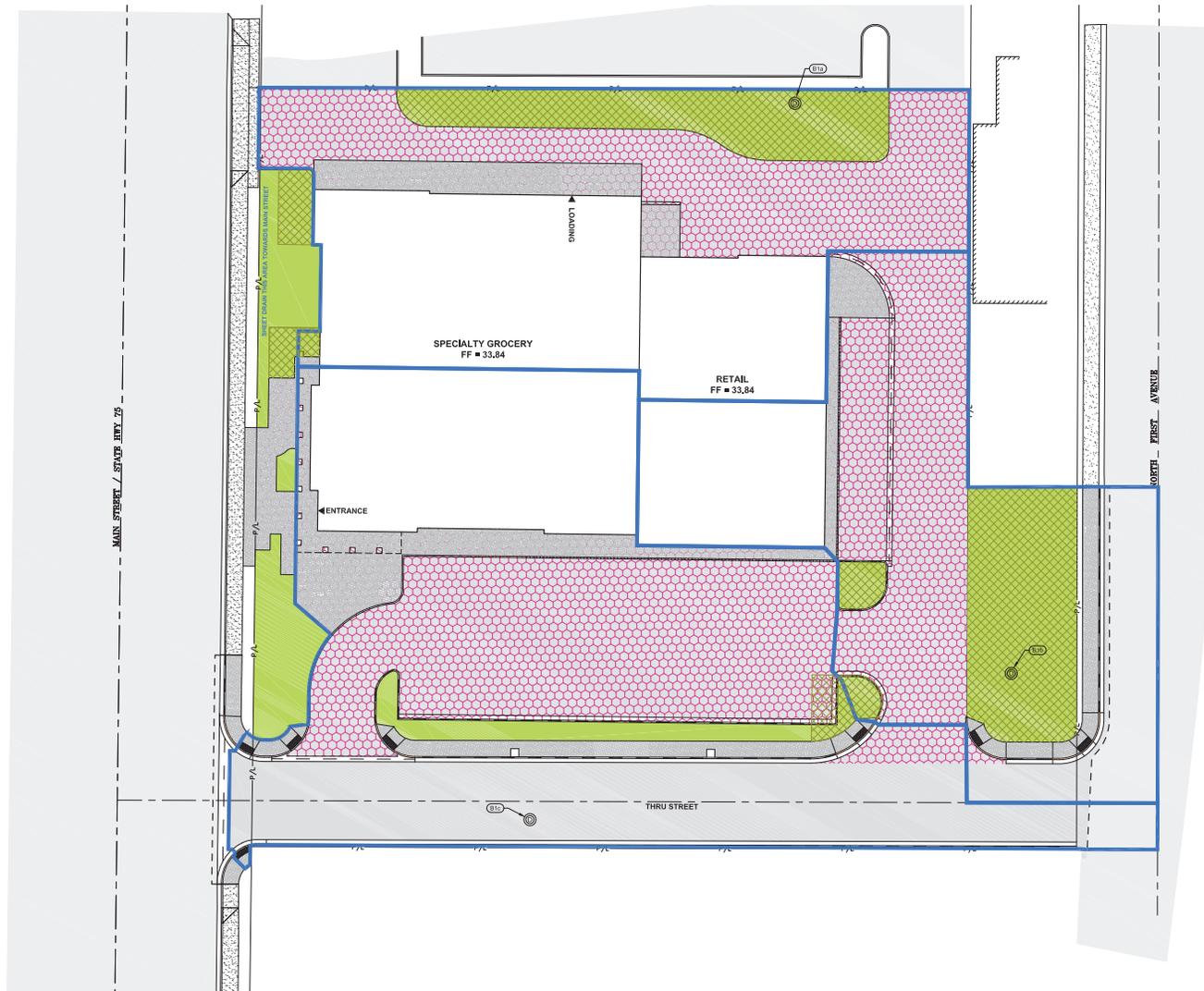
**C-1.0**

**SALEM ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 North River Street  
 Halley, Idaho 83433  
 (208) 756-4412 fax  
 email: jsalem@saalem-engineering.com

**REUSE OF DRAWINGS**  
 These drawings, or any portion thereof, shall not be used on any project or for any other purpose without the written agreement in writing with Salem Engineering, Inc.

**DATE** 07/20/15  
**DESIGNED BY** JLS  
**CHECKED BY** JLS  
**DATE** 07/20/15

**DEMOLITION PLAN**  
**SPECIALTY GROCERY**  
 LOCATED WITHIN SECTION 9, T.2 N., R.18 E., B.M., CITY OF HALLEY, BLAINE COUNTY, IDAHO  
 PREPARED FOR LEADERSHIP CIRCLE, LLC  
 PROJECT # 1503001015  
 Project and 1503001015.dwg/Construction/1503001015\_10:52:17 AM.MDT



	HARDSCAPE AREA (S.F.)	34,163	
	SNOW STORAGE	8,564	25%
	LANDSCAPE	12,079	35%

DRYWELL SIZING	
NUMBER	DRAINAGE
B1a	24,262
B1b	20,314
B1c	34,768

NOTE: Additional storm water may be captured from off-site sources such as North First Avenue and the parking lot to the north.

NO.	DATE	BY	REVISIONS

**C-1.1**

**GALEA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 North River Street  
 Hailey, Idaho 83433  
 (208) 756-4412 fax  
 email: galea@gailea-engineering.com

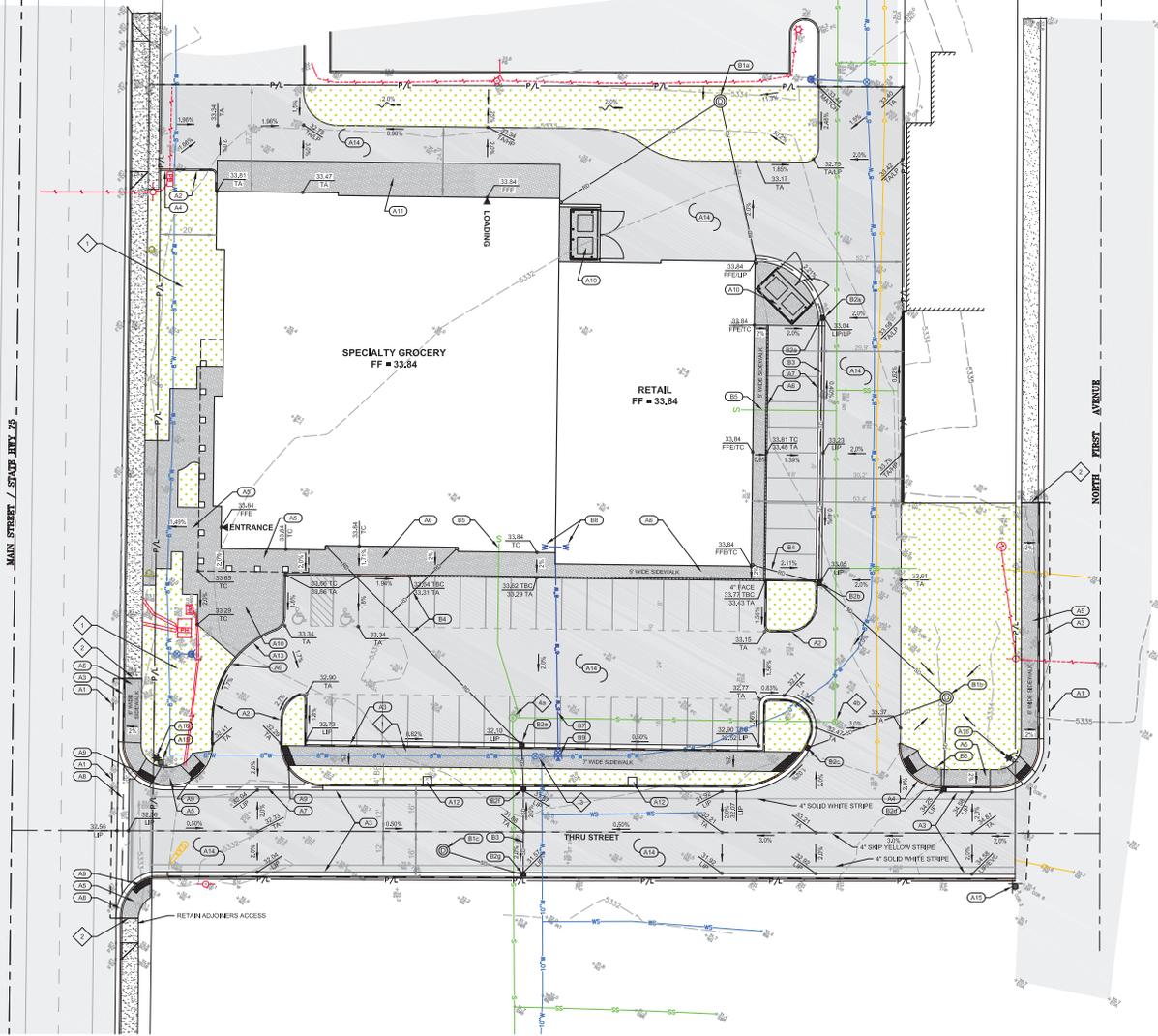
**REUSE OF DRAWINGS**  
 These drawings, or any portion thereof, shall not be used on any project or agreement in violation of the agreement in writing with Galea Engineering, Inc.

DATE REVISION BY  
 02/20/24  
 02/20/24  
 02/20/24

**SPECIALTY GROCERY**  
 SITED AREA USE PLAN  
 LOCATED WITHIN SECTION 9, T2N, R18E, B1M, CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 PREPARED FOR LEADERSHIP CIRCLE, LLC  
 PROJECT: LEADERSHIP CIRCLE  
 PROJECT NO: 2024-02-01  
 DATE: 02/20/24  
 DRAWN BY: JLD  
 CHECKED BY: JLD  
 DATE: 02/20/24  
 PROJECT NO: 2024-02-01  
 PROJECT NAME: LEADERSHIP CIRCLE  
 PROJECT LOCATION: 9S, T2N, R18E, B1M, CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 PROJECT DATE: 02/20/24  
 PROJECT DRAWN BY: JLD  
 PROJECT CHECKED BY: JLD  
 PROJECT DATE: 02/20/24

**LEGEND**

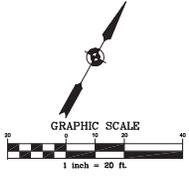
Existing Items		Proposed Items	
-P/L-	Property Boundary	-G-B-	Grade Break
-A/L-	Adjacent Lot Line	-C-G-	Proposed Curb & Gutter
-C-	Centerline	-C-	Proposed Curb
-1'-	1' Contour Interval	-C-T-	Proposed Curb Transition
-5'-	5' Contour Interval	-C-S-	Proposed Concrete Sidewalk
-E-C-G-	Existing Curb & Gutter	-S-F-	Sidewalk w/ 4" Vertical Face
-E-C-S-	Existing Concrete Sidewalk	-A-	Proposed Asphalt
-A-	Existing Asphalt	-4-W-	Proposed 4" Wide Concrete Valley Gutter
-FNC-	FNC = Existing Fence Line	-2-W-	Proposed 2" Wide Concrete Valley Gutter
-RTW-	RTW = Retaining Wall	-C-V-	Concrete Valley Gutter
-S-	Structure	-L-	Proposed Landscape
-G-M-	Gas Main	-L-P-	Proposed Light Pole
-8"-	8" Water Main	-L-S-	Proposed Street & Slup Sign
-10"-	10" Water Main		
-WS-	Water Service		
-S-M-	Sewer Main		
-B-P-	Buried Power Line		
-B-L-P-	Buried Telephone Line		
-E-D-W-	Existing Dry Well/Catch Basin		
-F-H-	Fine Hydrant		
-G-M-	Gas Meter		
-L-P-	Light Pole		
-P-T-&C-	Power, Telephone, & Cable Meters		
-W-M-	Water Meter		
-G-M-	Gas Marker		
-P-B-	Power Box		
-S-MH-	Sewer Manhole		
-T-R-	Telephone Riser		
-U-P-	Utility Pole		
-E-S-	Existing Sign		
-W-V-	Water Valve		
-W-	Well		
-C-T-	Conifer Tree		
-D-T-	Deciduous Tree		
-AP-	AP = Angle Point		
-CC-	CC = Curb Cut		
-EOA-	EOA = Edge of Asphalt		
-EOC-	EOC = Edge of Concrete		
-FF-	FF = Finish Floor Elevation		
-LIP-	LIP = Lip of Gutter		
-NG-	NG = Natural Grade		
-TBC-	TBC = Top Back of Curb		
-TG-	TG = Top of Concrete		
-TP-	TP = Top of Pavement		



- GENERAL CONSTRUCTION REFERENCES**
- (A1) SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE
  - (A2) CONSTRUCT 6" VERTICAL CONCRETE CURB
  - (A3) CONSTRUCT 6" VERTICAL CONCRETE CURB AND GUTTER
  - (A4) CONSTRUCT CONCRETE CURB TRANSITION
  - (A5) CONSTRUCT 4" THICK CONCRETE SIDEWALK
  - (A6) CONSTRUCT THICKENED EDGE CONCRETE SIDEWALK
  - (A7) CONSTRUCT 2" WIDE CONCRETE VALLEY GUTTER
  - (A8) CONSTRUCT 4" WIDE CONCRETE VALLEY GUTTER
  - (A9) INSTALL ADA COMPLIANT DETECTABLE WARNING INSERT
  - (A10) INSTALL 4" THICK CONCRETE PAD OR SIDEWALK
  - (A11) INSTALL CONCRETE PAVEMENT TO SPECIFICATIONS BY STRUCTURAL ENGINEER
  - (A12) INSTALL TREE WELL PER CITY OF HALEY STANDARDS
  - (A13) INSTALL CONCRETE RIBBON FLUSH WITH ASPHALT
  - (A14) CONSTRUCT ASPHALT/TC CONCRETE PARKING LOT / ROW/VALE SURFACE
  - (A15) INSTALL STREET AND STOP SIGN ASSEMBLY
  - (A16) INSTALL CITY OF HALEY STANDARD STREET LIGHT

- UTILITY CONSTRUCTION REFERENCES**
- (B1) INSTALL BENTELL PER CITY OF HALEY STANDARDS
    - a. RIM = 25.02
    - b. RIM = 25.15
    - c. RIM = 25.13
  - (B2) INSTALL CATCH BASIN PER CITY OF HALEY STANDARDS
    - a. RIM = 33.14
    - b. RIM = 32.85
    - INV OUT = 36.14
    - INV IN = 36.28
    - INV OUT = 28.16
  - (B3) RIM = 32.19
  - (B4) RIM = 34.05
  - INV OUT = 25.19
  - INV OUT = 31.25
  - (B5) RIM = 31.50
  - (B6) RIM = 31.37
  - (B7) RIM = 28.50
  - (B8) RIM = 28.50
  - INV OUT = 28.50
  - INV OUT = 28.27
  - (B9) RIM = 34.37
  - (B10) RIM = 27.65
  - INV IN = 27.56
  - INV OUT = 27.56

- CONSTRUCTION NOTES**
- ◆ SEE LANDSCAPE ARCHITECT'S PLAN FOR GRADING AND DRAINAGE DESIGN IN UNPAVED AREAS
  - ◆ MATCH EXISTING LINES AND GRADES
  - ◆ ADJUST WATER VALVE BOX RIM ELEVATION a. RIM = 23.29
  - ◆ ADJUST SEWER MANHOLE I.D. ELEVATION a. RIM = 22.29 b. RIM = 22.71



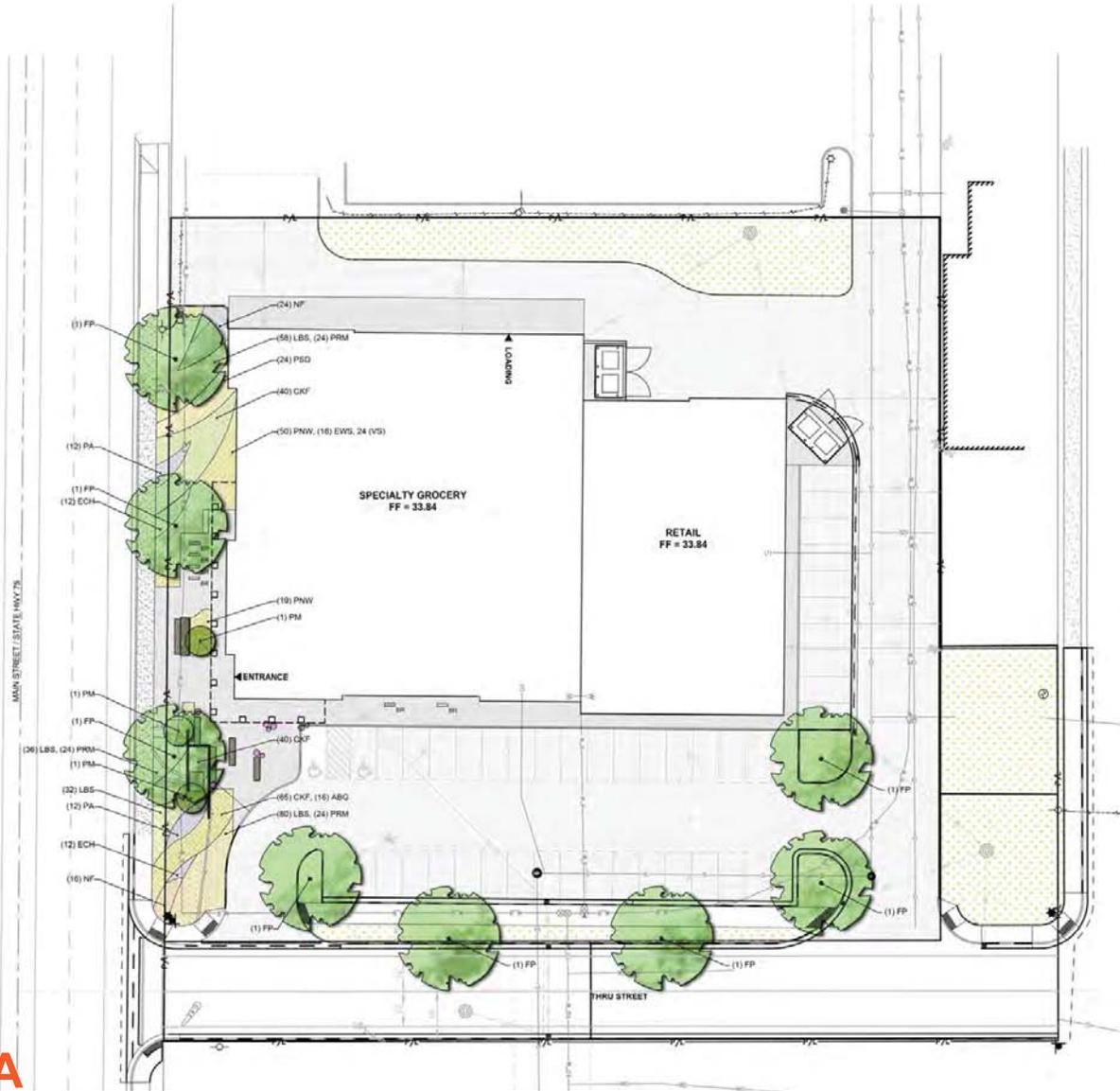
**SALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 North River Street  
 Haley, Idaho 83433  
 (208) 748-4412 fax  
 email: jsalena@salena-engineering.com

**SPECIALTY GROCERY**  
 LOCATED WITHIN SECTION 8, T.2 N., R. 18 E., B.M., CITY OF HALEY, BLAINE COUNTY, IDAHO  
 PREPARED FOR LEADERSHIP CIRCLE, LLC  
 PROJECT: 18-00000001  
 PROJECT/SUBJECT: Hwy Construction/08/01/15.dwg 03/20/15 3:56:03 PM/MTD

NO.	DATE	BY	REVISIONS

**C-1.2**

# Planting Plan



SPECIALTY GROCERY	
SITE LEGEND	
Symbol	Definition
	Property Line
	Proposed Grade Contours
	Proposed Bike Racks (8)
	Dog Water Fountain (1)
	Berches (3)
	Wood Privacy Screen (1)
	Proposed Deciduous: Green Ash (See Plant Key)
	Proposed Evergreen Screening: See Plant Key
	Native Meadow Perennials (+/- 3,749 SF) SEE PLANT KEY
	Additional Landscape Areas (+/- 9,195 SF)
	Flower Pots for Annuals (9)

HAILEY GROCERY				
Plant Key				
SYMBOL	LATIN	COMMON	SIZE	QUANTITY
<b>TREES</b>				
FP	<i>Fraxinus pennsylvanica</i>	Green Ash	3" CAL.	8
<b>SHRUBS</b>				
PM	<i>Pinus mugo</i>	Dwarf Mugo Pine	6'-8'	3
<b>PERENNIALS</b>				
ECH	<i>Echinacea</i>	Purple Cone Flower	1 GAL.	24
EWS	<i>Echinacea 'White Swan'</i>	White Cone Flower	1 GAL.	16
NF	<i>Nepeta faassenii</i>	Cat Mint	1 GAL.	40
PA	<i>Perovskia atriplicifolia</i>	Russian Sage	1 GAL.	24
PRM	<i>Pennisetum strictus</i>	Pennisetum Rocky Mt.	1 GAL.	72
ABG	<i>Aster novibelgii 'Blue glow'</i>	Aster Blue Glow	1 GAL.	16
VS	<i>Veronicastrum 'Siberica'</i>	Siberian Culvers Root	1 GAL.	24
<b>PERENNIAL GRASSES</b>				
CKF	<i>Calamagrostis Karl Forester</i>	Feather Reed Grass	2 GAL.	145
PSD	<i>Panicum 'Zorro'</i>	Switch Grass	1 GAL.	24
LBS	<i>Schizanthus scoparium</i>	Little Bluestem	1 GAL.	206
PNW	<i>Panicum 'Northwind'</i>	Northwind Switch Grass	1 GAL.	69

**BYLA**

# Visual + Materials



East Facing Elevation



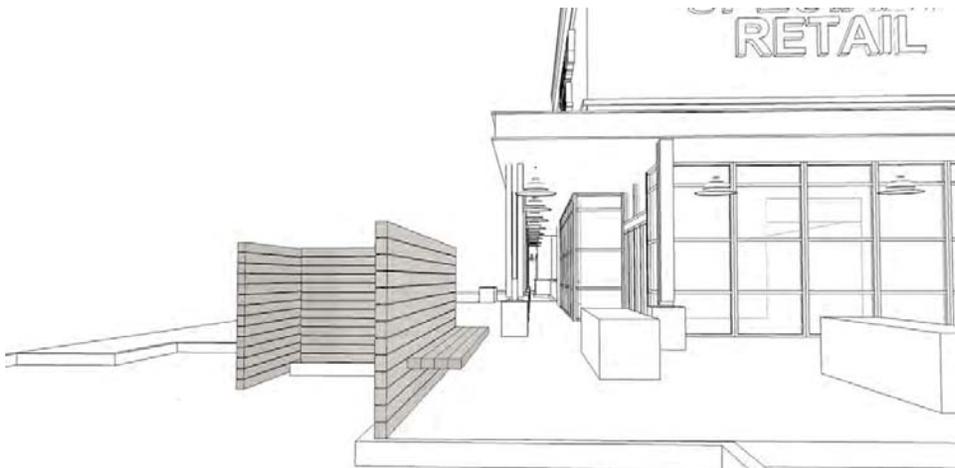
Composite Decking (Trex)



Concrete (Boardform)



Native Meadow (See Plant Images)



North Facing Elevation



Composite Decking (Trex)



Concrete (Boardform)



Native Meadow (See Plant Images)

# Visual + Materials

III



South Facing Elevation



Composite Decking (Trex)



Concrete (Boardform)



Native Meadow (See Plant Images)

IV



Overview (North-East) Elevation



Composite Decking (Trex)



Concrete (Boardform)



Native Meadow (See Plant Images)



*Nepeta x faassini*



*Echinacea purpurea 'White Swan'*



*Echinacea purpurea 'Magnus'*

---

## Plant Material | Perennials



*Perovskia atriplicifolia*



*Penstemon strictus*



*Aster 'Blue Gown'*



*Veronicastrum sibiricum*



*Calamagrostis x acutiflora* 'Karl Foerster'



*Panicum virgatum* 'Northwinds'



*Panicum virgatum* 'Shenandoah'



*Schizachyrium scoparium* 'Little Blue Stem'



*Pinus mugo 'Tannenbaum' (Dwarf)*



*Fraxinus pennsylvanica*

**Sort Order**

A0553

**Color Name**

Gingerbread House

**Color Family**

Oranges

**Notation**

70YR 13/259

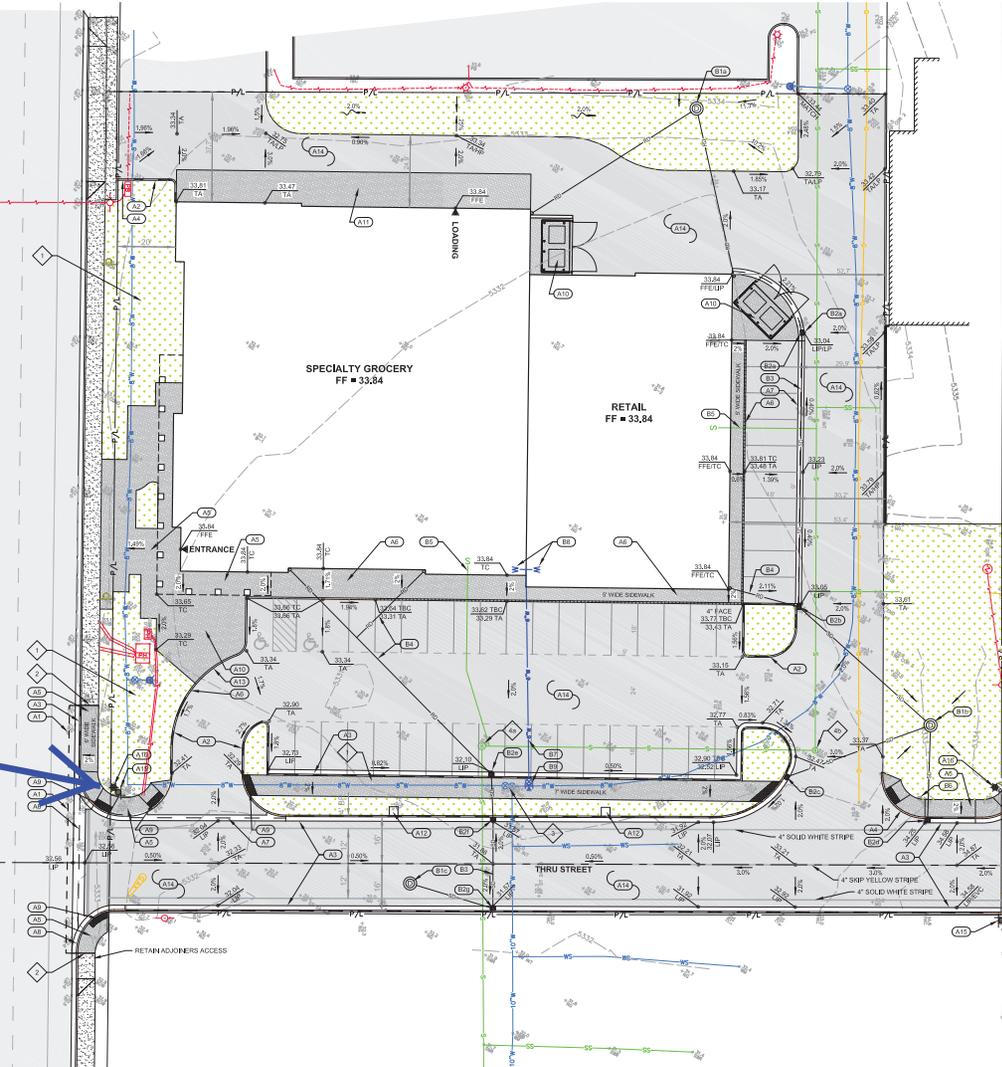
**Order Products**

**Order**



**LEGEND**

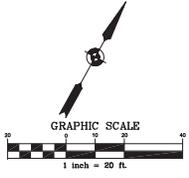
Existing Items		Proposed Items	
-P/L-	Property Boundary	-G-B-	Grade Break
-A/L-	Adjacent Lot Line	-C-G-	Proposed Curb & Gutter
-C/L-	Centerline	-C-	Proposed Curb
-1'-	1' Contour Interval	-T-	Proposed Curb Transition
-5'-	5' Contour Interval	-S-	Proposed Concrete Sidewalk
-E-C/G-	Existing Curb & Gutter	-S-V-F-	Sidewalk w/ 4" Vertical Face
-E-AS-	Existing Asphalt	-A-	Proposed Asphalt
-E-F/L-	Existing Fence Line	-W-	Proposed 4" Wide Concrete Valley Gutter
-E-R/W-	Existing Retaining Wall	-W-G-	Proposed 2" Wide Concrete Valley Gutter
-S-	Structure	-V-	Proposed Valley Gutter
-G-M-	Gas Main	-L-P-	Proposed Light Pole
-8"-	8" Water Main	-S-S-	Proposed Street & Slup Sign
-10"-	10" Water Main		
-WS-	Water Service		
-S-M-	Sewer Main		
-S-S-	Sewer Service		
-B-P-L-	Buried Power Line		
-B-O-P-L-	Buried Overhead Power Line		
-B-T-	Buried Telephone		
-E-D-W/C-B-	Existing Dry Well/Catch Basin		
-F-H-	Fine Hydrant		
-G-M-	Gas Meter		
-L-P-	Light Pole		
-P-T-&C-M-	Power, Telephone, & Cable Meters		
-W-M-	Water Meter		
-G-M-	Gas Marker		
-P-B-	Power Box		
-S-M-H-	Sewer Manhole		
-T-R-	Telephone Riser		
-U-P-	Utility Pole		
-E-S-	Existing Sign		
-W-V-	Water Valve		
-W-	Well		
-C-T-	Conifer Tree		
-D-T-	Deciduous Tree		
-AP-	AP = Angle Point		
-CC-	CC = Curb Cut		
-EOA-	EOA = Edge of Asphalt		
-EOC-	EOC = Edge of Concrete		
-FF-	FF = Finish Floor Elevation		
-LIP-	LIP = Lip of Gutter		
-NG-	NG = Natural Grade		
-TBC-	TBC = Top Back of Curb		
-TG-	TG = Top of Concrete		
-TP-	TP = Top of Pavement		



- GENERAL CONSTRUCTION REFERENCES**
- (A1) SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE
  - (A2) CONSTRUCT 6" VERTICAL CONCRETE CURB
  - (A3) CONSTRUCT 6" VERTICAL CONCRETE CURB AND GUTTER
  - (A4) CONSTRUCT CONCRETE CURB TRANSITION
  - (A5) CONSTRUCT 4" THICK CONCRETE SIDEWALK
  - (A6) CONSTRUCT THICKENED EDGE CONCRETE SIDEWALK
  - (A7) CONSTRUCT 2" WIDE CONCRETE VALLEY GUTTER
  - (A8) CONSTRUCT 4" WIDE CONCRETE VALLEY GUTTER
  - (A9) INSTALL ADA COMPLIANT DETECTABLE WARNING INSERT
  - (A10) INSTALL 4" THICK CONCRETE PAD OR SIDEWALK
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    - a. RIM = 33.14
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    - INV OUT = 36.14
    - INV OUT = 36.28
    - INV OUT = 28.16
  - (B3) INSTALL 12" ADS 14-12 STORM DRAIN PIPE @ 2.0% MINIMUM
    - a. RIM = 32.19
    - b. RIM = 34.05
    - INV OUT = 25.19
    - INV OUT = 31.25
  - (B4) INSTALL 6" ADS 14-12 ROOF DRAIN PIPE @ 2.0% MINIMUM
    - a. RIM = 31.50
    - b. RIM = 31.37
    - INV OUT = 28.50
    - INV OUT = 28.27
  - (B5) INSTALL 12" ADS 14-12 STORM DRAIN PIPE @ 2.0% MINIMUM
    - a. RIM = 27.65
    - b. RIM = 27.56
    - INV OUT = 27.56
  - (B6) INSTALL 6" ADS 14-12 ROOF DRAIN PIPE @ 2.0% MINIMUM
  - (B7) WELL TO BE ABANDONED IN PLACE PER DWR REQUIREMENTS
  - (B8) INSTALL 6" PVC WATER MAIN
  - (B9) INSTALL WATER SERVICE METERS AND FIRE SUPPRESSION HOOKUP PER MECHANICAL DRAWINGS
  - (B10) INSTALL 4" 1/2" STAINLESS STEEL TAPPING SADDLE 6" GATE VALVE W/ THRUST PROTECTION

- CONSTRUCTION NOTES**
- SEE LANDSCAPE ARCHITECTS PLAN FOR GRADING AND DRAINAGE DESIGN IN UNPAVED AREAS
  - MATCH EXISTING LINES AND GRADES
  - ADJUST WATER VALVE BOX RIM ELEVATION a. RIM = 23.29
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 PREPARED FOR LEADERSHIP CIRCLE, LLC  
 PROJECT # 2024-0017  
 PROJECT # 2024-0017.dwg / Construction/06/01/25.dwg 03/20/25 3:56:03 PM/MTD

NO.	DATE	BY	REVISIONS

**C-1.2**