

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, December 14th, 2015
Hailey City Hall
5:30 p.m.

Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Motion to approve minutes of November 9th, 2015

CA 2 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application from Carl and Kirsten Hjelm for a 746 square foot addition to a single family house and shed located at 212 Second Avenue South (S 10' of Lot 18, Lot 19 and the N 15' of Lot 20, Hailey Townsite Block 26) located in the Transitional (T) and Townsite Overlay (TO) zoning districts.

CA 3 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application submitted by Smith Optics for a newly developed parking area to be located at the vacant lot at 17 West Silver Street (Lots 18,19, & 20 of Block 56, Hailey Townsite) within the Business (B) and Townsite Overlay (TO) Zoning Districts.

CA 4 Motion to approve Findings of Fact and Conclusions of Law for a Conditional Use Permit application from UPS for a temporary structure to be located at 111 South River Street (Lots 1-7 of Block 31, Hailey Townsite) within the Business (B) and Townsite Overlay (TO) Zoning Districts.

New Business and Public Hearings

NB 1 Consideration of a Design Review application submitted by Katie Van Hees for a new 2,120 square foot single family residence located at 117 Carbonate Street East (Lot 8A, Block 46, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zone Districts.

NB 2 Consideration of a Conditional Use Permit application submitted by the Sawtooth Brewery for a brewery (Hybrid Production Facility) to be located at 110 N River Street (Lots 16-18, Block 41, Hailey Townsite) in the Business (B) and Townsite Overlay (TO) Districts.

NB 3 Consideration of a City initiated text amendment to Subdivision Code Section 3.1.1, Procedure, to require a Title Report as a requirement of preliminary plats.

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

- SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.
(no documents)
- SR 2 Discussion of the next Planning and Zoning meeting: Monday, January 25th, 2016.
(no documents)

Adjourn

**MINUTES OF THE
HAILEY PLANNING & ZONING COMMISSION
Monday, November 9th, 2015
Hailey City Hall
5:30 p.m.**

Present: Richard Pogue, Regina Korby, Dan Smith, Janet Fugate, Owen Scanlon
Staff: Lisa Horowitz, Kristine Hilt, Ned Williamson (for NB3)
Absent: None

Call to Order

5:29:52 PM Chair Fugate called the meeting to order.

Public Comment for items not on the agenda

None was given.

Consent Agenda

CA 1 *Motion to approve minutes of October 13th, 2015*

5:30:36 PM Richard Pogue moved to approve CA 1. Owen Scanlon seconded and the motion passed unanimously.

New Business and Public Hearings

NB 1 *Consideration of a Design Review application from Carl and Kirsten Hjelm for a 746 square foot addition to a single family house and shed located at 212 Second Avenue South (S 10' of Lot 18, Lot 19 and the N 15' of Lot 20, Hailey Townsite Block 26) located in the Transitional (T) and Townsite Overlay (TO) zoning districts.*

5:31:26 PM Lisa Horowitz introduced the applicant.

5:31:50 PM Carl Hjelm stood and introduced the project to the Commissioners. He included details about the layout and configuration of the proposed addition as well as details about the existing structure and limitations due to age. Carl noted that the existing architectural themes and styles will remain consistent. Dan Smith inquired about the location of the shed. Carl Hjelm noted that he had plans to move it from 4" over the neighboring property line to 4" on his side of the property line. Lisa Horowitz read the section of the code applicable to existing non-conforming structures. Lisa Horowitz noted that the degree of non-conformity may not be increased.

5:37:22 PM Chair Fugate opened the application to public comment. None was given and public comment was closed.

The Commission discussed the application. Janet Fugate noted a letter of approval from a neighbor.

5:39:56 PM Regina Korby motioned to approve the design review application submitted by Carl and Kirsten Hjelm for an expansion to an existing single-family residential dwelling and shed located on the S. 10' of Lot 18, Lot 19 and the N. 15' of Lot 20, Block 26, of the Hailey Townsite, (212 South Second Avenue), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (j) are met. Dan Smith seconded and the motion passed unanimously.

NB 2 *Consideration of a Design Review application from Smith Optics for a newly developed parking area to be located at the vacant lot at 17 West Silver Street (Lots 18,19,20 of Block*

56, Hailey Townsite) within the Business (B) and Townsite Overlay (TO) Zoning Districts. Lot is proposed in order to service the influx of employees starting employment at 409 Main Street North.

[5:41:50 PM](#) Lisa Horowitz introduced the application and notified the Commissioners of why the parking lot must go through design review. Ron Hayes, Smith Optics, stood and notified the Commissioners of Smith Optics' employees' needs for additional parking.

[5:45:03 PM](#) Samantha Stahlnecker, Benchmark Associates, stood and informed the Commissioners of the specific details of the proposed improved lot, parking spaces, and snow storage. Samantha addressed a City comment about accessing the lot from River Street. Samantha noted that there existed 35 feet of snow storage and that Smith Optics was not addressing current drainage issues. Lisa Horowitz noted that the City Street Department would like Smith Optics needs to address ponding issues if they arose. Discussion between the Commission and applicant included finished grade and slope.

[5:50:24 PM](#) Lisa Horowitz encouraged the Commissioners to address possible landscaping buffers and/or fencing to prohibit entry from River and Silver Streets. Lisa Horowitz went on to summarize the standards of guidelines for the Commissioners.

[5:54:30 PM](#) Owen Scanlon inquired about landscaping requirements for this parking lot. Lisa Horowitz noted that there were no requirements for a lot this size. Discussion included number of proposed employees, time frame of use of lot, and lease details for the bare land.

[5:57:39 PM](#) Chair Fugate opened the application to public comment. Matt Engel, Hailey resident and property manager, notified the Commissioners of the land lease details. He also included details of the current condition of the lot. Sandy Kelly, Hailey Resident, stood in favor of the application and also inquired of the status of the Roark Building and also the improvements proposed for the lot. She inquired about implantation of sidewalks and if the Roark Building is for sale and also encouraged the applicant should promote public transportation as well as commuting.

[6:01:35 PM](#) Chair Fugate closed public comment. Discussion included barricades that would prevent Silver Street or River Street entry. Dan Smith asked to review the Arial photo and the Commission and staff reviewed the photo. Owen Scanlon inquired about a quote for a post and chain fence. Ron Hayes notified the Commissioners that Smith Optics would be happy to comply with that requirement. Regina Korby inquired about the scope and limitations of the Commissioners in regards to requiring a fence. Chair Fugate commented that it was commendable that Smith Optics was providing additional parking for their employees.

[6:08:49 PM](#) Owen Scanlon motioned to approve the Design Review application submitted by Benchmark Associates on behalf of Smith Optics for an employee parking lot to be located at 17 West Silver Street, Hailey (Lots 18-20, Block 56, Hailey Townsite) within the Business (B) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (i) are met, H being amended to include the installation of a pole and chain fence. Dan Smith seconded and the motion passed unanimously.

NB 3 Consideration of a Conditional Use Permit application from UPS for a temporary structure to be located at 111 South River Street (Lots 1-7 of Block 31, Hailey Townsite) within the Business (B) and Townsite Overlay (TO) Zoning Districts. The proposed temporary structure will be a UPS package distribution facility.

[6:10:24 PM](#) Lisa Horowitz handed out information to the Commissioners that included information about the history of UPS in the City of Hailey. She included details about prior modification to the site, prior building permits, previous zoning classification and new zoning classification. [6:14:32 PM](#) Ned Williamson noted that UPS could possibly be a non-conforming use. Ned included additional details about the uses that UPS was classified under and the history of each. Ned also noted that the only box

that was blank in the whole district use matrix was related to the use that UPS was currently classified under. Ned Williamson finished by stating that it was unintended to portray UPS as a non-conforming use.

[6:21:08 PM](#) Chair Fugate inquired about the definition of the use. She noted that UPS should not be defined as assembly but as storage or delivery service. Chair Fugate inquired about moving forward with the application as a “Conforming Use”. Ned Williamson confirmed. [6:23:22 PM](#) Judy Younce, introduced the application as a “temporary use facility”. She included details about the specific site and noted that the current configuration is not typical of UPS any longer. Judy noted that UPS was unaware that a Conditional Use Permit was needed for the temporary structure. She apologized on behalf of UPS and noted that fixing issues of the existing lot were a priority. Judy included specific details about the temporary structure for the Commissioners.

[6:28:46 PM](#) Lisa Horowitz notified the Commissioners that the City Engineer was not in favor of requiring sidewalks or curb and gutter at this time until the City had funds to implement the same to surrounding areas. The applicant notified the Commission that UPS has no plans to relocate. Discussion between the applicant, staff and the Commission included a timeline of the original installation of the temporary structure, compliance, requirements for a conditional use permit, and definition of a “temporary structure”. Dan Smith inquired if the application was complete. Lisa Horowitz noted that the application was complete for her processing for the use proposed. Dan Smith directed his inquiry to the applicant and the applicant answered his specific questions. The questions included increase in traffic and fleet of vehicles, volume of deliveries, and communities serviced by the location.

[6:42:40 PM](#) Lisa Horowitz inquired about the temporary structure’s main purpose. Judy commented that it was necessary to improve the working conditions for the employees due to the influx of packages and deliveries for the holidays and e-commerce.

[6:43:43 PM](#) Chair Fugate opened the application for public comment. Keith Nelson, Nelson’s Auto Service, noted that the idling was an issue and also the dust during warmer months. Tony Evans, resident of Hailey, noted that this seemed like an industrial use in a residential area. Ned Williamson noted that the zoning was Commercial.

[6:47:30 PM](#) Chair Fugate closed public comment.

Regina Korby suggested and inquired of a condition of approval that the conditional use permit be approved but that the use be visited after the peak season to ensure that essential activity be undisturbed. Judy noted that dust abatement would also be very damaging to drainage and water percolation and may cause more harmful impacts.

[6:56:36 PM](#) Lisa Horowitz mentioned that the Commissioners should review the application at hand which included the increased use based on the installation of the temporary structure. Regina Korby also noted that drainage, dust abatement, and parking were not part of the conditional use permit application. Chair Fugate noted that the concerns should be noted to be addressed at a future date when the “use” of UPS be addressed at a later date.

[6:58:39 PM](#) Discussion included rephrasing the conditional use permit approval language and conditions of approval.

[7:01:26 PM](#) Erica Ritzen, UPS employee, noted that the vehicles that were parked in the corner along River Street and Bullion Street were not UPS employee’s cars.

[7:02:23 PM](#) Discussion continued to include approval language and review period. Lisa Horowitz mentioned that the review would be of the operation and compliance.

[7:07:40 PM](#) Richard Pogue noted that the use was much more industrial than it is commercial.

[7:08:34 PM](#) **Dan Smith Motion to approve conditional use permit application for Conditional Use Permit application by UPS for a temporary peak car to be used during the holiday season at the Hailey Distribution Center located at 111 South River Street (Lot 1-7, Block 31, Hailey Townsite) and finding that the application meets each of the criteria for review (a) through (h) cited in Zoning Ordinance Article 11.4, Section 11.4.1, that the conditional use permit complies with the Comprehensive Plan, and that the conditional use permit is subject to condition (a) thru**

(d) as modified. Owen Scanlon seconded and the motion passed unanimously.

NB 4 Notice of an amendment to the Hailey Comprehensive Plan, Part Five, Capital Improvement Plan to incorporate new text and description of the 2015 TischlerBise DIF analysis and Report, and to replace Section 1, Development Impact Fees with said report.

[7:11:26 PM](#) Lisa Horowitz noted that the report was unavailable for the Commission to review.

[7:12:01 PM](#) **Dan Smith moved to continue an amendment to the Hailey Comprehensive Plan, Part Five, Capital Improvement Plan to incorporate new text and description of the 2015 TischlerBise DIF analysis and Report, and to replace Section 1, Development Impact Fees. Regina Korby seconded. The motion passed.**

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

*SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.
(no documents)*

[7:13:06 PM](#) Lisa Horowitz notified the Commissioners of the upcoming Holiday Square. Lisa also notified the Commissioners of the presence of the street/traffic study consultants' presence in town during December and also the scheduled opening of Hailey Ice.

*SR 2 Discussion of the next Planning and Zoning meeting: Monday, December 14th, 2015.
(no documents)*

Adjourn

[7:19:16 PM](#) **Regina Korby motioned to adjourn. Owen Scanlon seconded and the motion passed.**

Return to Agenda

FINDINGS OF FACT AND CONCLUSIONS OF LAW AND DECISION

On November 9, 2015, the Hailey Planning & Zoning Commission considered a Design Review application submitted by submitted by Carl and Kirsten Hjelm for an expansion to an existing single-family residential dwelling and shed located on the S. 10' of Lot 18, Lot 19 and the N. 15' of Lot 20, Block 26, of the Hailey Townsite, otherwise known as 212 South Second Avenue. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice

Notice for the public hearing was published in the Idaho Mountain Express on October 21, 2015 and mailed to property owners within 300 feet on October 19, 2015.

Application

The applicant is proposing a 746 square foot second story addition to an existing Old Hailey House, and shed. The shed and house are not connected on the ground floor, but will be connected on the second floor. This Old Hailey residence was constructed in 1881, and may have originally been a barn for a house that was destroyed by fire. The shed was likely built in the 1930s. The applicants plan to add a master bedroom and family room to the second floor, as shown in the floor plan. The shed is nonconforming in terms of being built over the property line to the north. The applicant proposes to relocate the north wall of the shed to be within the property. The addition to the shed will be conforming, and will meet City setbacks.

Procedural History

The Design Review application was submitted on September 14, 2015 and certified complete on the same date. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on November 9, 2015, at 5:30 pm in the Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department	Engineering: <i>No comments</i>

			Comments	Life/Safety: <i>No comment</i>
				Water and Sewer: <i>No comment</i>
				Building: <i>No comment</i>
				Streets: <i>No comment</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>No signage is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			Staff Comments	<ul style="list-style-type: none"> ▪ <i>Parking will remain within the 100' right of way as permitted by Section 9.4.1 of the Zoning Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a) All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c) Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d) Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e) Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			Staff Comments	<i>Site photos show fully downcast lighting on the exterior of the dwelling</i> -
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	See 4.13.6, Zoning Ordinance
			Staff Comments	<i>Zoning District: Transitional in the Townsite Overlay. Townsite Overlay bulk requirements apply.</i> <ul style="list-style-type: none"> - <i>Max Height: 35'. Existing house height: 27'-10". Height of addition: 23'=4"</i> - <i>Residence Street side Setbacks: 12' from the street.</i> - <i>Setback from property lines abutting other private property</i> <ul style="list-style-type: none"> o <i>Base Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required</i> <ul style="list-style-type: none"> ▪ <i>Home is set back 50 feet on the street side</i> ▪ <i>Home is set back 13' on the north side and 12'-7" on the south side. Required setback is 7'-6" according to the 50' wide lot (50 X15%=7'-6")</i> - <i>The shed is nonconforming with regards to the side yard setback per Section 4.13.7, and is currently located over the property line, and will be</i>

				<p>relocated to be 4" inside the property line.</p> <ul style="list-style-type: none"> - Alley setback is required at 6'. Shed is set back 8'-3" - Section 4.13.7 permits expansion "within the plane of the furthest intrusion". Staff recommends that this be at the property line, as shown on the drawings. <ul style="list-style-type: none"> o Setback based on height of structure <ul style="list-style-type: none"> ▪ 4.13.6.d.4.b: <ul style="list-style-type: none"> • Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one (1) foot for every two and a half (2.5) feet of wall height (see Diagram 1 and Table 2), but not less than the base setback noted in subsection (a) above, regardless of underlying zoning. ▪ Highest vertical wall height of the proposed addition, measured from record grade, facing adjacent property is existing at 23'-4" ▪ Required Setback: 23'-4" / 2.5' = 9'-4". Setback is 13' and 12'-7" - Maximum Lot coverage: 30% in GR for a two-story dwelling with a garage <ul style="list-style-type: none"> o Lot is 5,995.5 square feet, therefore 1,798.65 sf is allowed for lot coverage o Proposed lot coverage is 1,367.68, or 22.81% of total lot coverage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	- Sidewalks exist in front of the house. Site drainage will not be changed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	- The Applicant has been advised that all water lines coming from the main to the meter vault must be buried more than six feet deep.

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO): 6A.9

1. Site Planning: 6A.9.C.1				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> The proposed addition and reconstruction preserve the Old Hailey Townsite lot configuration.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> scale and massing of new buildings consistent with the surrounding neighborhood; building orientation that respects the established grid pattern of Old Hailey; clearly visible front entrances; use of alleys as the preferred access for secondary uses and automobile access; adequate storage for recreational vehicles; yards and open spaces; solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; snow storage appropriate for the property; underground utilities for new dwelling units. <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> The proposed site plan and development is consistent with the scale and massing in the neighborhood. Snow storage for vehicle parking will remain in the street on Second Avenue. The Street Department has not encountered any issues with this residential snow storage in this area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> An energy summary will be required as part of the building permit.
2. Bulk Requirements (Mass and Scale, Height, Setbacks): 6A.9.C.2				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.2	<p>The perceived mass of larger buildings shall be diminished by the design.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> The proposed structures will be consistent in size and mass to the surrounding structures and with the surrounding neighborhood. Design effort was made to lower the mass by adding various roof forms that add to the human scale.
3. Architectural Character: 6A.9.C.3				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.a	<p>General: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they</p>

				are built.
			<i>Staff Comments</i>	<i>Both buildings are existing; and are reflective of historic design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>The front entrance has access to Second Avenue, and is clearly visible from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Dwelling is situated squarely on the site, which is consistent with Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.c	Building Form: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>The proposed new roof lines are compatible with the existing, and consistent with styles and forms found in Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Porch roofs and gabled roofs break up the mass of the traditional gable. This is consistent with styles and forms found in Old Hailey</i> <i>Roof pitch on the main house is 8:12.</i> <i>An 8:12 roof pitch is proposed for the addition.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof pitch and style shall be designed to meet snow storage needs for the site.
				<ul style="list-style-type: none"> Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. Designs should avoid locating drip lines over key pedestrian routes. Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Roof materials: standing seam metal.</i> <i>Roof Pitch: 8/12 on gables</i> <i>All drip lines are away from pedestrian areas</i> <i>All snow will be retained on the roof or shed onto the property. No snow will shed onto the adjoining property or the City rights of way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>The following forms are currently found in the neighborhood:</i> <ul style="list-style-type: none"> <i>Architectural asphalt shingles and standing seam metal</i> <i>gable end roofs</i> <i>Shed dormers.</i> <i>The application is consistent with the neighborhood in regards to roof forms and materials</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Roof Pitch</i> <ul style="list-style-type: none"> <i>8/12 for the existing house</i>

				○ 5/12 for the addition
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: Primary wall planes should be parallel to the front lot line.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Primary wall is shown parallel to the front property line.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Wall planes contain porch roofs and in some places are stepped in scale, keeping the mass of the primary building down. This is respectful and consistent with the neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: The use of pop-outs to break up longer wall planes is encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Wall plane lengths are modest in size.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	Windows: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Windows are more narrow than they are wide, consistent with traditional Old Hailey windows.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	Windows: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> The building is set back in excess of required setbacks from adjacent property lines.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.g	Decks and Balconies: Decks and balconies shall be in scale with the building and the neighborhood.
			<i>Staff Comments</i>	No decks are proposed
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.g	Decks and Balconies: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			<i>Staff Comments</i>	No decks are proposed
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	Building Materials and Finishes: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged. Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	- A materials sample and color board has been submitted and will match existing
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	See above
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural detailing shall be incorporated into the front wall plane of buildings.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> A variety of colors, window treatments and covered elements are existing and proposed
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> A front entry stoop is existing. Windows have colored trim.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> See above notes.

4. Circulation and Parking: 6A.9.C.4				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues. <i>Staff Comments</i> <ul style="list-style-type: none"> • Adequate parking has been provided and pedestrian access off the adjacent street is provided and does not interfere with traffic from the streets.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized. <i>Staff Comments</i> <ul style="list-style-type: none"> • Parking is in the street in front of the house
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side. <i>Staff Comments</i> <ul style="list-style-type: none"> • Existing nonconforming streetside access is permitted to remain.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: Detached garages accessed from alleys are strongly encouraged. <i>Staff Comments</i> <ul style="list-style-type: none"> • Detached shed is existing, and is near the alley. A single door exists on the alley side.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane. <i>Staff Comments</i> <ul style="list-style-type: none"> •
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized. <i>Staff Comments</i> <ul style="list-style-type: none"> • The existing parking will be allowed to remain.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning. <i>Staff Comments</i> <ul style="list-style-type: none"> • No RV parking is shown, and would not fit well on this lot.
5. Alleys: 6A.9.C.5				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties. <i>Staff Comments</i> <p>Alley is retained.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged. <i>Staff Comments</i> <ul style="list-style-type: none"> • All utilities come off the alley and will be relocated closer to the alley to allow for the addition.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.

			Staff Comments	<ul style="list-style-type: none"> The alley is currently graveled and no improvements are planned. Noxious weeds will be removed before construction commences.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			Staff Comments	<i>Little landscaping is on the alley side.</i>

6. Accessory Structures: 6A.9.C.6

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			Staff Comments	<i>The existing shed is smaller than the home, and appears subordinate.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			Staff Comments	<i>The shed building is located at the rear of the lot.</i>

7. Snow Storage: 6A.9.C.7

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: All projects shall be required to provide 25% snow storage on the site.
			Staff Comments	- <i>Over 25% of the site is open and available for snow storage in the event that the Street Department determines that the existing arrangement is no longer workable.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: A snow storage plan shall be developed for every project showing:
			Staff Comments	<ul style="list-style-type: none"> Where snow is stored, key pedestrian routes and clear vision triangles. Consideration given to the impacts on adjacent properties when planning snow storage areas. <i>Snow storage areas do not restrict pedestrian access. Pedestrian access must be unrestricted and visible from the adjacent streets.</i>

8. Existing Mature Trees and Landscaping: 6A.9.C.8

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			Staff Comments	<i>The lot contains a variety of existing mature landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			Staff Comments	<i>A variety of mature landscaping exists on the site.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	Guideline: Noxious weeds shall be controlled according to State Law.
			<i>Staff Comments</i>	<i>Noxious weeds will be controlled.</i>
9. Fences and Walls: 6A.9.C.9				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.9	Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			<i>Staff Comments</i>	<i>The existing fence is proposed to be retained, and is transparent in nature.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	Guideline: Retaining walls shall be in scale to the streetscape.
			<i>Staff Comments</i>	
11. Historic Structures: 6A.9.C.11 (NOTE: Applicable only to structures built prior to 1940)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.10	General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			<i>Staff Comments</i>	<i>The alterations are congruous; and represent good adaptive re-use within townsite overlay.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines: <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ○ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ○ Exterior materials that are compatible with the original building materials should be selected; ○ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ○ The visual impact of the addition should be minimized from the street; ○ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ○ The roof form and slope of the roof on the addition should be in

				character with the original building; The relationship of wall planes to the street and to interior lots should be preserved with new additions.
			<i>Staff Comments</i>	<i>The structures retain the integrity of the original buildings, exterior materials are compatible, size and scale are appropriate, roof forms are in character.</i>

6A.6 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

- 1. The project does not jeopardize the health, safety or welfare of the public.**
- 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to**

apply the security to the completion of the improvements and complete construction of the improvements.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

The design review application submitted by Carl and Kirsten Hjelm for an expansion to an existing single-family residential dwelling and shed located on the S. 10' of Lot 18, Lot 19 and the N. 15' of Lot 20, Block 26, of the Hailey Townsite, (212 South Second Avenue) is hereby approved subject to the following conditions:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
 - d) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
 - e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
 - f) The existing shed building is an existing nonconforming structure. Expansion as approved herein in permitted pursuant to Title 17, Section 4.13.7, with the condition that the north wall of the shed be entirely relocated on to the subject property.
 - g) This Design Review approval is for plans presented at the public hearing on November 9, 2015 before the Planning and Zoning Commission. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
 - h) 25% of the lot shall remain free and clear for snow storage, to be used in the future if snow storage on Second Avenue is determined by the City to be impractical.

A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this ____ day of _____, 2015.

Janet Fugate, Chair

Attest:

Kristine Hilt, Community Development Coordinator

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FINDINGS OF FACT AND CONCLUSIONS OF LAW AND DECISION

On November 9, 2015, the Hailey Planning & Zoning Commission considered a Design Review application submitted by submitted by application by Benchmark Associates on behalf of Smith Optics for an employee parking lot to be located at 17 West Silver Street, Hailey (Lots 18-20, Block 56, Hailey Townsite) within the Business (B) Zoning District. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice

Notice for the public hearing was published in the Idaho Mountain Express on October 21, 2015 and mailed to property owners within 300 feet on October 19, 2015.

Application

The applicant, Smith Optics, is moving approximately 30 employees into the Roark Building, 409 N. Main Street. The Roark Building, constructed in 2001, was required to have 6 on-site parking spaces (an additional two were credited on the street). Smith Optics does not believe the 6 spaces are adequate to accommodate their staff of 30.

The applicant is proposing to redesign two vacant lots northwest off of the alley behind the Roark Law Firm to accommodate 21 parking spaces. The lot would be accessed off of the alley, and would be finished with compacted road mix. It will be signed as private parking.

Procedural History

The application was submitted on October 7, 2015 and certified complete on October 30, 2015. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on November 9, 2015, in the Hailey City Council Chambers.

The Hailey Zoning Code contains the following criteria for the review of parking lots:

9.4.6.1 The Commission shall consider the following criteria when evaluating any application for parking in excess of that normally permitted. Applicants are required to satisfy at least 4 of the following criteria:

1. The excess parking area will be commonly used for public interests such as park and ride or car pool lots. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.

Employees may carpool to the site. This proposal is for a private use, and is not intended to be a Park and Ride lot for the general public.

2. The excess parking area provided would relieve or help to relieve a substantial shortage of parking within an 800 foot radius.

Parking on Main Street in this area is limited. Much of the parking in the area is from users that come and go during the day. Smith has indicated that they need a proximate location for all-day parking for their 30 office employees. Since River and Silver Street do not have curb, gutter and sidewalk, parking on these side streets is not developed in an orderly fashion, an/or is simply not available. On-street parking on Silver and River in this area is not available at all in the winter, as the City pushes snow to the side of the road, eliminating any area for parking.

3. The excess parking area will not be adjacent to a public right - of way, and will be separated from the right-of-way by a building.

The parking lot is proposed to be accessed from a single location off of the alley. The City Engineer suggests that a fence or landscaping be added at the back of the stalls shown along River Street and Silver Street to prevent drivers from driving straight out of the parking stalls on to the public street. It was noted in the hearing that the parking area is 45' from the edge of asphalt.

4. The excess parking area is part of an overall development scheme which compensates for insufficient parking in other portions of the same development.

All-day parking for The Roarke Law Firm Building is limited. This parking lot will accommodate 30 employees relocating from Ketchum to Hailey.

5. The excess parking area will be used as an alternate facility, such as a basketball court or skateboard park, when not in use as an overflow parking area. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.

It may be impractical to sue the parking lot for the above-mentioned uses, as it will be compacted gravel. It will be available for overflow parking after 5:00 pm and on weekends.

6. The excess parking area will surfaced with an alternative and attractive material.

The compacted gravel is a generic application, and does not appear to be any more or less attractive than asphalt. A weed and dust abatement plan has been recommended as a condition of approval.

Two areas of existing landscaping are noted: a batch of tress/shrubs within the City right of way on River Street and in the northeast corner of the lot where the handicap stall is located (private property). Staff recommends that the landscaping in the City right of way be retained to help buffer the proposal.

The City Engineer has also noted that the handicap spot does not have an ADA accessible route to the building. The applicant stated in the hearing that this stall would be eliminated.

9.2.6 Drainage. All parking, loading, or other non-permeable surface areas shall provide for on-site drainage of surface water to prevent the drainage of such water onto adjacent properties, walkways, or into the public right-of-way. Drainage provided shall be in accordance with City Standards.

The City Engineer and Street Superintendent have noted that, due to the way snow is plowed on Silver Street, this parking lot may be very muddy or have standing water resulting from City snow. The applicant acknowledged this issue in the meeting.

6A.6 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

The design review application submitted by Benchmark Associates on behalf of Smith Optics for an employee parking lot to be located at 17 West Silver Street, Hailey (Lots 18-20, Block 56, Hailey Townsite) within the Business (B) Zoning District is hereby approved subject to the following conditions:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- d) Any new lighting shall comply with the Outdoor Lighting Ordinance.
- e) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- f) Existing landscaping in the City right of Way shall be retained.
- g) A dust and weed abatement plan shall be submitted. Weeds shall be kept free from the site

at all times.

- h) A post and chain fence shall be added to the plans to prevent cars from pulling through the stalls facing River Street and Silver Street.
- i) The handicap stall shall either be eliminated, or an ADA accessible route shall be delineated on the plans.

A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this ____ day of _____, 2015.

Janet Fugate, Chair

Attest:

Kristine Hilt, Community Development Coordinator

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FINDINGS OF FACT AND CONCLUSIONS OF LAW AND DECISION

On November 9, 2015, the Hailey Planning & Zoning Commission considered an application by United Parcel Service (UPS) for a Conditional Use Permit application for a temporary peak car to be used during the holiday season at the Hailey Distribution Center, 111 South River Street (Lot 1-7, Block 31, Hailey Townsite) in the Business (B) and Townsite Overlay (TO) Zoning Districts. According to §5.4 of the Zoning Ordinance, a Temporary Storage Container requires a Conditional Use Permit in the Business (B) District. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

Notice

Notice for the public hearing on November 9, 2015 was sent to the Mt. Express on October 14 and published in the Mountain Express on October 19, 2015. Notices were mailed to the adjoining property owners on and the property was posted on November 2, 2015.

Application

UPS submitted a Conditional Use Permit application for a temporary peak car to be used during the holiday season at the Hailey Distribution Center. According to §5.4 of the Zoning Ordinance, a Temporary Storage Container requires a Conditional Use Permit in the Business (B) District. The container is currently in site, but is not connected to the primary building. The temporary storage container will be 8' wide by 40' long.

UPS is considered to be the world's largest package delivery company, delivering 15 million packages per day to 6.1 million customers in 220 countries. The UPS Hailey Distribution Center has been in the current location since 1988, operating out of a 792 square foot modular building. The City approved the primary modular building in the early 1990's. The facility has remained busy, and in fact has grown busier due to the increase in internet purchases and the closing of the retail UPS facility in Hailey.

Staff has initiated conversations with UPS officials and the property owner about the long term plans for the Hailey facility.

General Requirements for all Conditional Use Permits				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.2.2	Complete Application: 11.2.2 The application shall include at least the following information: <ol style="list-style-type: none"> a. Name, address, and phone number of the applicant. b. Proof of interest in the subject property by the applicant, such as a deed, contract of sale, option to purchase, or lease agreement. c. Legal description of the subject property, including street address. d. Description of existing use. e. Zoning district of subject property.

			<p>f. Description of proposed conditional use.</p> <p>g. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, traffic access and traffic circulation, open spaces, easements, existing and proposed grade, energy efficiency considerations, landscaping, exterior lighting plan as required by Article VIII B of this Ordinance, refuse and service areas, utilities, signs, property lines, north arrow, and rendering of building exteriors, where applicable.</p> <p>h. A narrative statement evaluating the effects on adjoining property, the effect of such elements as noise, glare, odor, fumes, and vibration on adjoining property.</p> <p>i. A narrative statement identifying surrounding land uses and discussing the general compatibility of the proposed use with adjacent and other properties in the district.</p> <p>j. A narrative discussion of the relationship of the proposed use to the Comprehensive Plan.</p> <p>k. A list of the names and addresses of all property owners and residents within three hundred (300) feet of the external boundaries of the land being considered.</p> <p>l. Any other information as requested by the Administrator to determine if the proposed conditional use meets the intent and requirements of this Article.</p> <p>m. A fee established in a separate ordinance approved by the Council</p> <p>The hearing began with an explanation by staff and the City Attorney regarding the current use. Chronology of UPS on the subject property is as follows:</p> <p>1988- Letter from the Hailey Planning Department stating that permanent structures are required for the use to conform to the Hailey Zoning Code- use was considered conforming.</p> <p>1996- Letter from Carl Hjelm to UPS outlining Design Review Process- no mention of the use being nonconforming</p> <p>2001 City adopted SCI-I Zone with a permitted use of “Assembly and packaging firms” prior to Grotto letter to UPS. Not known when Assembly and packaging firms” was changed to the currently language in the Matrix, “Parcel Delivery and Shipping Services”.</p> <p>2001- Letter from Kathy Grotto approving an addition to the building- no mention of the use being nonconforming</p> <p>District Use Matrix as adopted has a “blank” in the square “Parcel Delivery and Shipping Services”; history with City files would indicate that it was permitted; at the very least it is ambiguous. City Attorney advised the Commission that, in the case of an ambiguous use, the courts would rule in favor of the applicant. The Commission should take up the issue of the use, “Parcel Delive4ry and Shipping Services” at another time in a duly noticed meeting so as to remedy the “blank” in the District Use Matrix.</p> <p>Use being requested in this application is an accessory use to the primary use: Temporary Structure:</p> <p style="padding-left: 40px;">“Temporary Structure is any building, modular unit or structure that is intended for an7y use for a period of not more than one (1) year, excluding construction trailers or other structures erected sole in conjunction with a construction project.”</p> <p>Item H was not submitted in writing, and was discussed in the meeting after and overview by the applicant’s representative. It was described by the applicant that the Hailey Distribution Center has seen an increase in activity, and that 70% of the business occurs in peak times such as the winter holidays. These increases would be present wit6h or without the Temporary Peak Car. The Temporary Peak Car is to increase the comfort level (warmth) of the employees during winter month. In warmer climates, the same activities are accomplished with exterior tables.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Department Engineering:</p>

			<p>and Boards/Commissions Comments</p> <ul style="list-style-type: none"> - Circulation is a concern due to the open curb cuts on all sides and the lack of curb, gutter and sidewalk. This application for a temporary facility would not trigger those more extensive improvements. However, staff is engaged in discussions about the long term plans for the Hailey facility. - The City Engineer recommends that trucks should not enter or exit the site within 50' of the street intersection, and those trucks to do not park at the northeast corner of the site to preserve site visibility. - Adjacent businesses questioned the long term use of diesel trucks, and noted their need to be warmed up before they can be driven. - Dust was raised as a seasonal issue by adjacent landowners: this past year was worse than previous years.
			<p>Life/Safety:</p> <ul style="list-style-type: none"> - Police Department <ul style="list-style-type: none"> o No concerns - Fire Department No concerns.
			<p>Water and Sewer:</p> <ul style="list-style-type: none"> -
			<p>Building:</p> <ul style="list-style-type: none"> - No concerns.
			<p>Streets:</p> <ul style="list-style-type: none"> - A seasonal drainage issues exists on the northwest property corner. A Catch- basin and drywell are recommended in the public right of way, which would need to be installed in the spring. This issue was discussed at the meeting, and deferred to a further review of project compliance.
			<p>Boards and Committees:</p> <ul style="list-style-type: none"> - No concerns.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>8.2 Signs</p> <p>8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p>
			<p><i>Commission Findings</i></p> <ul style="list-style-type: none"> - <i>No signs are proposed.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>8B.4.1 Outdoor Lighting Standards</p> <p>8B.4.1 General Standards</p> <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full

				<p>cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<i>Commission Findings</i>	<ul style="list-style-type: none"> All new and existing lighting shall comply with Hailey's Outdoor Lighting Ordinance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4.8 A On-site Parking Req.	<p>See Section 9.4 for applicable code.</p> <ul style="list-style-type: none"> Require 1 space for 1,000 square feet, or, if the site is considered warehouse and storage, 1 space per every (full time) employee, whichever is greater.
			<i>Commission Findings</i>	<p>The site is large enough to accommodate 1 space per employee (13 full time) and 1-2 customer spaces based on building size of less than 1,000 square feet.</p> <p>The parking has never been striped, as it is gravel. Staff and the City Engineer believe the best long-term solution to organize parking and pedestrian/bike activities are curb, gutter and sidewalk. That requirement is not triggered by a Temporary Storage container.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (B)	<p>B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.</p>
			<i>Commission Findings</i>	<p>Many, but not all of the truck traffic use the alley, which is also not paved. Concerns exist from adjacent businesses regarding the degradation of the paved portions of the alley.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	9.4.8 (C)	<p>C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			<i>Commission Findings</i>	<p>It is not possible to meet this standard without curb, gutter and sidewalk, which is not required of this permit.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4.8 (D)	<p>D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.</p>
			<i>Commission Findings</i>	<p>The site is nonconforming with regards to this standard.</p> <p>The City Engineer recommends that no trucks be permitted to enter or exit the site from within 50' of the intersection, and they also be restricted from parking in this area.</p> <p>The applicant indicated that the temporary truck parking in this 50' zone can be relocated.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (E)	<p>E. Access for subdivisions shall be provided in accordance with standards set forth in Section 4 of the Subdivision Ordinance.</p>

			<i>Commission Findings</i>	<ul style="list-style-type: none"> • <i>Not applicable</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (F)	F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.
			<i>Commission Findings</i>	<i>The site is nonconforming with regards to this standard. However, most customers do not back in and out of the parking lot into the street due to the high traffic volumes on River Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (G)	G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus “stacking” the parking area. For non-residential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • <i>Not applicable</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Article 5.4: Bulk Requirements	Business (B) District: <ul style="list-style-type: none"> - Minimum Lot Size: 0 - Maximum Lot Width: 0 - Maximum Building Height: 35 - Front Setback: 0 ft - Side and Rear Yard Setback: 0 feet
			<i>Commission Findings</i>	<ul style="list-style-type: none"> - <i>Existing building meets all bulk requirements, as does the temporary storage container.</i>
Section 11.4 Criteria for Review of Conditional Use Permits				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.1	Compliance with the Comprehensive Plan 11.1 Purpose. The City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.
			<i>Commission Findings</i>	<i>This application complies with the following goals and objectives of the Comprehensive Plan</i> <ul style="list-style-type: none"> • <i>Goal 6.1: Economic Development“</i> <ul style="list-style-type: none"> ○ <i>Encourage a diversity of economic development opportunities within Hailey.”</i> ○ <i>This use provides 13 full-time jobs and up to 25 seasonal jobs</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(a)	11.4.1 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location: <ol style="list-style-type: none"> a. Will, in fact, constitute a conditional use as established for the zoning

				district involved; and
			<i>Commission Findings</i>	<ul style="list-style-type: none"> According to §5.4 of the Zoning Ordinance, Temporary Storage Containers currently require a Conditional Use Permit in the Business (B) zone. The temporary storage container will be removed in late February.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(b)	<p>b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;</p>
			<i>Commission Findings</i>	<ul style="list-style-type: none"> The existing use has been in place for 27 years. It is more industrial in nature than some other uses in the area, although business uses in this area of River Street are mixed. The proposed temporary storage container does not materially detract nor change the character of the area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(c)	<p>c. Will not be hazardous or disturbing to existing or future neighboring uses;</p>
			<i>Commission Findings</i>	<ul style="list-style-type: none"> Traffic to and from the building is seasonally high. However, many business uses could have greater vehicle trips if the site were built out for retail/commercial uses. The size of trucks and the idling are a concern for neighboring uses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(d)	<p>d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and</p>
			<i>Commission Findings</i>	<p>A catch basin and drywell are needed in the public right of way at the northwest corner of the lot to mitigate drainage issues resulting from snow plowing on the UPS site. (City staff installed a French drain in this area, but it did not remedy the problem). The catch basin/drywell can be installed in the spring.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(e)	<p>e. Will not create excessive additional requirements at public cost for public facilities and services; and</p>
			<i>Commission Findings</i>	<ul style="list-style-type: none"> At this time, no additional cost will be incurred from any public agencies for this facility to function and operate.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(f)	<p>f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and</p>
			<i>Commission Findings</i>	<ul style="list-style-type: none"> No externalities are anticipated by this use. This application has been reviewed by all city departments and there have been no issues. Public comment as to fumes and dust were noted on the record.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(g)	g. Will have vehicular approaches to the property which shall be designed so as not to create an interference with traffic on surrounding public thoroughfares;
			<i>Commission Findings</i>	•
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(h)	b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;
			<i>Commission Findings</i>	• <i>Proposed property does not contain a natural, scenic, or historic feature or structure. The temporary structure is to the rear, and does not change the essential character of the area.</i>

11.6 Conditions.

The Commission or Hearing Examiner may impose any conditions which it deems necessary to secure the purpose of City regulations and give effect to the Comprehensive Plan. Conditions which may be attached include, but are not limited to those which will:

- 11.6.1 Require conformity to approved plans and specifications.
- 11.6.2 Require or restrict open spaces, buffer strips, walls, fences, signs, concealing hedges, landscaping and lighting.
- 11.6.3 Restrict volume of traffic generated, require off-street parking, and restrict vehicular movements within the site and points of vehicular ingress and egress or other conditions related to traffic.
- 11.6.4 Require performance characteristics related to the emission of noise, vibration and other potentially dangerous or objectionable elements.
- 11.6.5 Limit time of day for the conduct of specified activities.
- 11.6.6 Require guarantees such as performance bonds or other security for compliance with the terms of the approval.
- 11.6.7 Require dedications and public improvements on property frontages.
- 11.6.8 Require irrigation ditches, laterals, and canals to be covered or fenced.
- 11.6.9 Minimize adverse impact on other development.
- 11.6.10 Control the sequence, timing and duration of development.
- 11.6.11 Assure that development is maintained properly.
- 11.6.12 Designate the exact location and nature of development.
- 11.6.13 Require the provision for on-site or off-site public services.
- 11.6.14 Require more restrictive standards than those generally found in this Ordinance.
- 11.6.15 Mitigate foreseeable social, economic, fiscal and environmental effects.
- 11.6.16 Set a limit on the duration of the permit when deemed necessary.

11.6.17 Allow for subsequent periodic review.

The Commission may impose any conditions that are deemed necessary to secure the purpose of City ordinances and give effect to the Comprehensive Plan. Conditions including but not limited to those set forth in Section 11.6 may be placed on any approval.

Summary

Section 11.1 of the Hailey Zoning Ordinance states that “the City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.”

Conditional Use Permits are subject to review and revocation pursuant to Section 11.9 of the Hailey Zoning Ordinance. This statement will be included in the Findings of Fact, Conclusions of Law, and Decision for any CUP approved by the Commission.

By ordinance, the Commission is required to make a decision to approve, conditionally approve, or deny the application within forty-five (45) days after conclusion of the public hearing and issue its decision together with the reasons therefore. The Commission is required to review the application, all supporting documents and plans, and Section 11 of the Zoning Ordinance, in making their decision.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 11 was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Section 11 , other Articles of the Zoning Ordinance and City Standards

The application for Conditional Use Permit submitted by UPS for a temporary peak car to be used during the holiday season at the Hailey Distribution Center located at 111 South River Street (Lot 1-7, Block 31, Hailey Townsite) is hereby approved subject to the following conditions:

- a) All Fire Department and Building Department requirements shall be met in regard all maintenance, administrative, and other functions of this facility.
- b) Trucks shall not enter or exit the site within 50’ of the street intersection, and no trucks or vehicles should be parked at the northeast corner of the site, nor the City

- right-of-way in this vicinity to preserve site visibility.
- c) The applicant shall comply with the UPS Company idling rules and procedures at all times.
 - d) The site and uses shall be reviewed for compliance with these findings six (6) months from the date of these findings of fact.

Motion Language

Approval:

Motion to approve conditional use permit application and finding that the application meets each of the criteria for review (a) through (h) cited in Zoning Ordinance Article 11.4, Section 11.4.1, that the conditional use permit complies with the Comprehensive Plan, and that the conditional use permit is subject to condition (a) thru (d) noted above.

Denial:

Motion to deny conditional use permit application by UPS for a temporary peak car to be used during the holiday season at the Hailey Distribution Center located at 111 South River Street (Lot 1-7, Block 31, Hailey Townsite), citing the following reasons for denial _____.

Continuation:

Motion to continue discussion of the conditional use permit application by UPS for a temporary peak car to be used during the holiday season at the Hailey Distribution Center located at 111 South River Street (Lot 1-7, Block 31, Hailey Townsite) to a later day as specified here _____.

Return to Agenda

**DESIGN REVIEW
STAFF REPORT**

TO: Hailey Planning and Zoning Commission

FROM: Lisa Horowitz, Community Development Director

RE: Design Review application submitted by Katie Van Hees for a new 2,120 square foot single family residence located at 117 Carbonate Street East (Lot 8A, Block 46)

HEARING: December 14, 2015

Applicant: Katie Van Hees, owner

Request: Design Review for on new single-family dwelling

Location: 117 Carbonate Street East (Lot 8A, Block 46)

Zoning: General Residential (GR) and Townsite Overlay (TO)

Notice

Notice for the public hearing was published in the Idaho Mountain Express on November 25, 2015 and mailed to property owners within 300 feet on November 24, 2015.

Application

Consideration of a Design Review application submitted by Katie Van Hees for a new 2,120 square foot single family residence located at 117 Carbonate Street East (Lot 8A, Block 46, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zone Districts.

One single-family dwelling located on Lot 11A, Block 47 of the Hailey Townsite. Lot is 5,991 square feet and proposed lot coverage is 29%. The dwelling is two-story with 1,054 (livable) square feet of ground floor space, 769 square feet on the second floor (the remaining square footage is in the 1+ car garage, and partial basement/crawl space). The garage is designed for one car (plus storage) and adequate parking is provided. The architecture utilizes historical themes and varied roof pitches to make for interesting elevations on a unique lot in Old Hailey. The lot contains a solar easement for the benefit of the adjacent property to the east that has been maintained with the design. All construction will be in accordance with the 2012 International Residential Code and the Build Better Program of Hailey.

Procedural History

The application was submitted on November 16 and certified complete on November 17, 2015. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on December 14, at 5:30 pm in the Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No concerns</i>
				Life/Safety: <i>No concerns</i>
				Water and Sewer: <i>No concerns</i>
				Building: <i>No concerns</i>
				Streets: <i>No concerns</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Staff Comments</i>	<i>Signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Per 9.4.1, two spaces per dwelling are required with a maximum of 6. • Home will have a 1-car garage accessed off of 2nd Avenue and the following: <ul style="list-style-type: none"> ▪ One additional space in front of the garage ▪ 2nd Avenue has space for cars on the public Right of Way
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a) All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c) Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d) Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e) Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff Comments</i>	<i>Plans show fully downcast lighting on the exterior of the dwelling</i> - <i>All lights will be wall-mounted LED downlights</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk	See 4.13.6, Zoning Ordinance

			<p>Requirements</p> <p>Staff Comments</p> <p>Zoning District: <i>General Residential in the Townsite Overlay. Townsite Overlay bulk requirements apply.</i></p> <ul style="list-style-type: none"> - <i>Max Height: 30'. Proposed building 24'-6" to the peak of the roof</i> - <i>Front Setbacks: TO: 12' from the street.</i> <ul style="list-style-type: none"> o <i>Front setback is 27'-6" along Carbonate</i> o <i>Front setback along 2nd Avenue is 12'</i> - <i>Setback from property lines abutting other private property</i> <ul style="list-style-type: none"> o <i>Base Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required</i> <ul style="list-style-type: none"> ▪ <i>Required setback is 7' 7" according to the 49.14' wide lot (49.14 X15%=7'-7")</i> ▪ <i>Home is set back 7'-7" to 12' 11" on west side</i> ▪ <i>Home is set back 9'-7" on north side</i> o <i>Setback based on height of structure</i> <ul style="list-style-type: none"> ▪ 4.13.6.d.4.b: <ul style="list-style-type: none"> • Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one (1) foot for every two and a half (2.5) feet of wall height (see Diagram 1 and Table 2), but not less than the base setback noted in subsection (a) above, regardless of underlying zoning. ▪ <i>Highest vertical wall height, measured from record grade, facing adjacent property (north side): 23'-10"</i> ▪ Required Setback: 23'-10" / 2.5' = 9.56' required setback. (9'-7" proposed) - <i>Maximum Lot coverage: 30% in GR for a two-story dwelling with a garage</i> <ul style="list-style-type: none"> o <i>Lot is 4501 square feet, therefore 1350.3 sf is allowed for lot coverage</i> o <i>Proposed lot coverage is 1348, or 29.9% of total lot coverage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>6A.7 (A) Required Street Improvements Required</p> <p>Staff Comments</p> <ul style="list-style-type: none"> - <i>Five foot (5') sidewalks are existing in both Carbonate and Second Avenue. The Street Superintendent has reviewed the age and condition of the sidewalk and finds it satisfactory</i> - <i>The site is fairly flat. Spot elevations and site survey document that drainage is adequate, away from the building, and does not impact any adjacent properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>6A.7 (B) Required Water System Improvements</p> <p>Staff Comments</p> <p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p> <ul style="list-style-type: none"> - <i>The service line coming off this vault will be buried more than 6' deep.</i>

				- <i>The Developer has been advised that all water lines must be buried more than six feet deep.</i>
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Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO): 6A.9				
1. Site Planning: 6A.9.C.1				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	The pattern created by the Old Hailey town grid should be respected in all site planning decisions.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>The lot preserves the Old Hailey Townsite lot configuration, although there is no longer alley access. The applicant has chosen to make the front door access off of Carbonate and the garage off of 2nd, making the front door a prominent façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>The proposed site plan and development is consistent with the required site planning guidelines.</i> • <i>Solar access has been respected for the adjacent property: a solar easement is platted on this lot.</i> • <i>All utilities will be located underground as shown on the site plan for both lots.</i> • <i>All utilities for both the dwelling are accessed from the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Glazing is on the south and east sides</i> • <i>Windows are triple paned</i> • <i>Energy conserving appliances are proposed</i>

2. Bulk Requirements (Mass and Scale, Height, Setbacks): 6A.9.C.2				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.2	The perceived mass of larger buildings shall be diminished by the design.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>The proposed structure is a very respectful scale for the neighborhood, and will be consistent in size and mass to the surrounding structures and with the surrounding neighborhood.</i> • <i>Design effort was made to lower the mass by adding various roof forms and add to the human scale.</i> • <i>Siding was changed in elevation changes to avoid blank walls.</i>
3. Architectural Character: 6A.9.C.3				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.a	General: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Architectural style is a two-story modern bungalow with themes currently found in Old Hailey.</i> • <i>Material use of board and bat and metal siding is consistent with historical homes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Front entrance is clearly visible from Carbonate and is scaled to a pedestrian level.</i> • <i>Front entrance has pedestrian access to Carbonate Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Dwelling is situated respect the grid pattern, which is consistent with Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.c	Building Form: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Porch roofs, shed roofs, and gabled roofs, and pop-out roofs break up the mass of the traditional gable. This is consistent with styles and forms found in Old Hailey</i> • <i>Roof lines are varied, breaking up the two-story building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Porch roofs, shed roofs, and gabled roofs, and pop-out roofs break up the mass of the traditional gable. This is consistent with styles and forms found in Old Hailey</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<p>Roof Form: Roof pitch and style shall be designed to meet snow storage needs for the site.</p> <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Roof materials: metal, with clips designed to retain the snow. • Roof Pitches vary with 6:12 the most predominant roof pitch • All drip lines are away from pedestrian areas • All snow will be retained on the roof or shed onto the property. No snow will shed onto the adjoining property or the City rights of way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<p>Roof Form: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • The following forms are currently found in the neighborhood: <ul style="list-style-type: none"> ○ Metal roofs ○ gable end roofs ○ Shed dormers. • The application is consistent with the neighborhood in regards to roof forms and materials
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<p>Roof Form: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Roof Pitch <ul style="list-style-type: none"> ○ 6/12 for gables ○ 1.5/12 for various roof elements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<p>Wall Planes: Primary wall planes should be parallel to the front lot line.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Primary wall is shown parallel to the front property line.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<p>Wall Planes: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Wall plane is two-slope and stepped in scale, keeping the mass of the building down. This is respectful and consistent with the neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<p>Wall Planes: The use of pop-outs to break up longer wall planes is encouraged.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • The house is modest in scale and does not contain long wall planes
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<p>Windows: Windows facing streets are encouraged to be of a traditional size, scale and proportion.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Windows are more narrow than they are wide, and contain mullions, which is consistent with traditional Old Hailey windows.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<p>Windows: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Windows on adjoining property lines have been minimized and oriented away from the neighboring dwelling.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.g	<p>Decks and Balconies: Decks and balconies shall be in scale with the building and the neighborhood.</p>
			<i>Staff Comments</i>	A small deck is proposed on the 2 nd Avenue side of the lot.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.g	<p>Decks and Balconies: Decks and balconies should be designed with the privacy of</p>

				neighbors in mind when possible.
			<i>Staff Comments</i>	<i>The modestly sized deck faces the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	Building Materials and Finishes: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged. Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	- <i>Wall Materials: board and batt and shake accent siding are used to create a varied design on all facades.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	<i>See above</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural detailing shall be incorporated into the front wall plane of buildings.
			<i>Staff Comments</i>	• <i>Roof variation and window design create a high amount of architectural detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	• <i>No porch is proposed, although the front entryway is a stoop.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	• <i>See above notes.</i>

4. Circulation and Parking: 6A.9.C.4

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	• <i>Adequate parking has been provided and pedestrian access off the adjacent streets is provided and does not interfere with traffic from the streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	• <i>One car garage is provided with access from Second Street appears subordinate to the design.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	•
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	•
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	• <i>Garage is set back and subordinate to the wall plane.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Garage is planned for the alley
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> No RV parking is shown, but the lot is small and may not accommodate an RV.

5. Alleys: 6A.9.C.5

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.5	Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> All utilities are underground to the dwelling.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			<i>Staff Comments</i>	<ul style="list-style-type: none">
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			<i>Staff Comments</i>	

6. Accessory Structures: 6A.9.C.6

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.6	Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			<i>Staff Comments</i>	

7. Snow Storage: 6A.9.C.7

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: All projects shall be required to provide 25% snow storage on the site.

			<i>Staff Comments</i>	<ul style="list-style-type: none"> - Parking and pedestrian circulation surfaces comprises square feet. - According to 6A9.C.7, square feet is required (X 25%) - 50 sf is required and 152 sf is shown on the plans for snow storage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Snow storage areas do not restrict pedestrian access. Pedestrian access must be unrestricted and visible from the adjacent streets.

8. Existing Mature Trees and Landscaping: 6A.9.C.8

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			<i>Staff Comments</i>	<i>Lot contains a variety of existing vegetation, much of which will be retained.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			<i>Staff Comments</i>	<i>Historic lilacs will be retained.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	Guideline: Noxious weeds shall be controlled according to State Law.
			<i>Staff Comments</i>	<i>Noxious weeds are not present on the site.</i>

9. Fences and Walls: 6A.9.C.9

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.9	Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			<i>Staff Comments</i>	<i>A low white picket fence is planned on the two street sides.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	Guideline: Retaining walls shall be in scale to the streetscape.
			<i>Staff Comments</i>	•

11. Historic Structures: 6A.9.C.11 (NOTE: Applicable only to structures built prior to 1940)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.10	<p>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</p> <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			<i>Staff Comments</i>	<i>Structure is not historical.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ○ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ○ Exterior materials that are compatible with the original building materials should be selected; ○ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ○ The visual impact of the addition should be minimized from the street; ○ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ○ The roof form and slope of the roof on the addition should be in character with the original building; <p>The relationship of wall planes to the street and to interior lots should be preserved with new additions.</p>
			<i>Staff Comments</i>	<i>Structure is not historical.</i>

6A.6 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.

- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
 - b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
 - c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
 - e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
 - f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
 - g) This Design Review approval is for plans presented at the public hearing on December 14, 2015 before the Planning and Zoning Commission. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

Motion Language

Approval:

Motion to approve the design review application submitted by Katie Van Hees for a new 2,120 square foot single family residence located at 117 Carbonate Street East (Lot 8A, Block 46, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zone Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (h) are met.

Denial:

Motion to deny the design review application submitted by Katie Van Hees for a new 2,120 square foot single family residence located at 117 Carbonate Street East (Lot 8A, Block 46, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zone District, finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on the application submitted by Katie Van Hees for a new 2,120 square foot single family residence located at 117 Carbonate Street East (Lot 8A, Block 46, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zone District to _____ [Commission should specify a date].

SHEET SCHEDULE

A-1.0	COVER SHEET
	SURVEY - (ORION)
C-1	CIVIL SURVEY
	ARCHITECTURAL
A-1.1	ARCHITECTURAL SITE PLAN 1:10 SCALE
A-1.2	MAIN LEVEL FLOOR PLAN
A-1.3	UPPER LEVEL FLOOR PLAN
A-1.4	BASEMENT / MECHANICAL PLAN
A-2.0	EXTERIOR ELEVATIONS
A-3.0	BUILDING SECTIONS
A-3.1	BUILDING SECTIONS
A-4.0	NOTES & ENERGY DOCUMENTATION
A-4.1	DOOR & WINDOW SCHEDULE
A-4.2	RENDERINGS AND IMAGES
	LANDSCAPE PLAN
L-04	LANDSCAPE PLAN
	ELECTRICAL PLAN
E-1	ELECTRICAL PLAN
	STRUCTURAL (TIM TAYLOR)
S-1	STRUCTURAL SPECIFICATIONS AND NOTES
S-2	FOUNDATION PLAN & LOWER LEVEL FRAMING PLAN
S-3	UPPER FLOOR ANDS LOWER ROOF FRAMING PLAN
S-4	UPPER ROOF FRAMING PLAN
D-1	DETAILS
D-2	DETAILS
D-3	DETAILS

PROJECT TEAM

OWNER:	KATIE VAN HEES PO BOX 1545 BELLEVUE, IDAHO 83313
PROJECT:	PROPOSED NEW RESIDENCE 117 CARBONATE EAST HAILEY, IDAHO 83333
SURVEYOR:	ORION SURVEYING STEVE SCHWARTZ PO BOX 695 BELLEVUE, IDAHO 83340 TEL: 208-727-1988
STRUCTURAL ENGINEER:	TIM TAYLOR, S.E. #7480 PO BOX 1030 KETCHUM, IDAHO 83340 TEL: 208-788-5642
ENERGY RATER:	JOHN REUTER GREENWORKS JOHN REUTER PO BOX 4714 KETCHUM, IDAHO 83340 TEL: 208-721-2922
CONTRACTOR:	TBD
PLANNING, ZONING & BUILDING DEPARTMENT:	CITY OF HAILEY 115 MAIN STREET SOUTH, STE H HAILEY, IDAHO 83333 TEL: 208-788-4221 - P & Z
FIRE DEPARTMENT:	KETCHUM F.D. - BART LASSMAN 617 2ND AVE SOUTH HAILEY, ID 83333 TEL: 208-788-3147
HEALTH DEPARTMENT:	SOUTH CENTRAL HEALTH DISTRICT BOB ERICKSSON 117 EAST ASH AVENUE BELLEVUE, IDAHO 83313 TEL: 208-788-4335

ABBREVIATIONS

L	ANGLE	FOS	FACE OF STUD	R	RISER
AB	ANCHOR BOLT	FP	FIREPLACE	RAD	RADIUS
ABV	ABOVE	FRM	FRAME	RAD HTG	RADIANT HEATING
AC	AIR CONDITION	FTG	FOOTING	REC	RECEISSION
ADL	ADJUSTABLE	FUR	FURNISH	REF	REFRIGERATOR
ALUM	ALUMINUM	FZR	FREZZER	REG	REGISTER
ASPH	ASPHALT	GA	GUAGE	REIN	REINFORCED
BD	BOARD	GDV	GALVANIZED DISPOSAL	REQD	REQUIRED
BL	BLOCK	GIR	GIRDER	RESL	RESILIENT
BLS	BLOW IN BLANKET SYSTEM	GLB	GLUE LAMINATED BEAM	RJ	ROOF JOIST
BFD	BASE FLOOD ELEVATION	GLS	GLUE LAMINATED STRAND LUMBER	RM	ROOM
BFG	BLOCKING	GR	GRADE	RO	ROOF OPENING
BSM	BEAM	GRD	GRASS	RR	ROOF RAFTER
BN	BOUNDARY MAILING	GRD	GRASS	S4S	SURFACE FOUR SIDES
BO	BOTTOM	GRD	GRASS	SB	SHEAR BOLT
CAB	CABINET	GRD	GRASS	SC	SCUD CORE
CB	CATCH BASIN	GRD	GRASS	SD	SMOKE DETECTOR
CBM	CERAMIC TILE	GRD	GRASS	SEC OPO	SECURITY OPENING
CER	CERAMIC	GRD	GRASS	SECT	SECTION
CI	CAST IRON	GRD	GRASS	SH	SHIELD
CL	CENTERLINE	GRD	GRASS	SH & DP	SHIELD & DOUBLE POLE
CLOR	CLEARING JOIST	GRD	GRASS	SHT	SHEATHING
CLOS	CLOSED	GRD	GRASS	SHWR	SHOWER
CMU	CONCRETE MASONRY UNIT	GRD	GRASS	SIM	SIMILAR
CTR	COUNTER	GRD	GRASS	SL	SILING
COL	COLUMN	GRD	GRASS	SPIC	SPECIFICATION
COMB	COMBINATION	GRD	GRASS	SPK	SPEAKER
CONC	CONCRETE	GRD	GRASS	SQ	SQUARE
CONN	CONNECTION	GRD	GRASS	ST STL	STANDARD STEEL
CONT	CONTINUOUS	GRD	GRASS	STD	STANDARD
CRN	CROWN	GRD	GRASS	STL	STEEL
CTSK	COUNTERSINK	GRD	GRASS	STOR	STORAGE
D	DRIVER	GRD	GRASS	SUSP	SUSPENDED
DIA	DIAMETER	GRD	GRASS	SYM	SYMMETRICAL
DN	DOWN	GRD	GRASS	T&G	TONGUE & GROOVE
DP	DEEP	GRD	GRASS	T&A	TENSION ANCHOR
DR	DOOR	GRD	GRASS	TB	TOWEL BAR
DS	DOWNSPOUT	GRD	GRASS	TC	TRASH COMPACTOR
DWG	DRAWING	GRD	GRASS	TEMP	TEMPERATURE
DWR	DRAWER	GRD	GRASS	TER	TERRAZZO
E	EXISTING	GRD	GRASS	TD	TOP OF DRAIN
EA	EACH	GRD	GRASS	TOC	TOP OF CURB
ELEC	ELECTRIC	GRD	GRASS	TRK	TRUCK
EN	EDGE MAILING	GRD	GRASS	TRJ	TRUSS JOIST
ENCL	ENCLOSURE	GRD	GRASS	TN	TIN
EQ	EQUAL	GRD	GRASS	TP	TOP OF FINISH
EQUIP	EQUIPMENT	GRD	GRASS	TRM	TOLERANCE
EW	EACH WAY	GRD	GRASS	TRN	TUBULAR STEEL
EXIST	EXISTING	GRD	GRASS	TV	TELEVISION
EXT	EXTENDING	GRD	GRASS	TW	TOP OF WALL
F	FIXED	GRD	GRASS	TRNS	TRANSPARENT
FAU	FORCED AIR UNIT	GRD	GRASS	TRP	TRYPIC
FD	FLOOR DRAIN	GRD	GRASS	UNF	UNFINISHED
FG	FUEL GAS	GRD	GRASS	UNO	UNLESS NOTED OTHERWISE
FL	FLOOR GLASS	GRD	GRASS	VERT	VERTICAL
FQ	FLOOR JOIST	GRD	GRASS	W	WASHER
FLR	FLOOR LINE	GRD	GRASS	WF	WITH
FLRG	FLOORING	GRD	GRASS	WC	WATER CLOSET
FLUOR	FLUORESCENT	GRD	GRASS	WD	WOOD
FO	FOUNDATION	GRD	GRASS	WID	WIDE
FOC	FACE OF CONCRETE	GRD	GRASS	WH	WATER HEATER
FOF	FACE OF FINISH	GRD	GRASS	WC	WALK IN CLOSET
		GRD	GRASS	WID	WITHOUT
		GRD	GRASS	WP	WATERPROOFING
		GRD	GRASS	WSCT	WAINSCOT
		GRD	GRASS	WT	WEIGHT

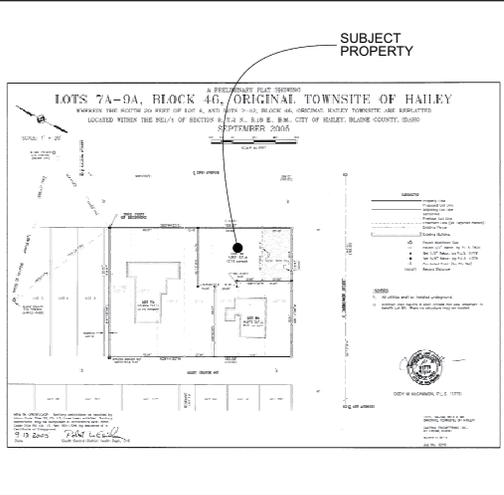
LEGEND

[Symbol]	2x6 STUD
[Symbol]	2x4 STUD
[Symbol]	UNIT MASONRY
[Symbol]	CONCRETE / STEAM WALL
[Symbol]	STONE VENEER
[Symbol]	FINISH WOOD
[Symbol]	METAL
[Symbol]	TILE
[Symbol]	BUILDING SECTION NO.
[Symbol]	WALL SECTION NO.
[Symbol]	DETAIL NO.
[Symbol]	SHEET NO.
[Symbol]	DOOR NUMBER
[Symbol]	WINDOW NUMBER
[Symbol]	ROOM NUMBER

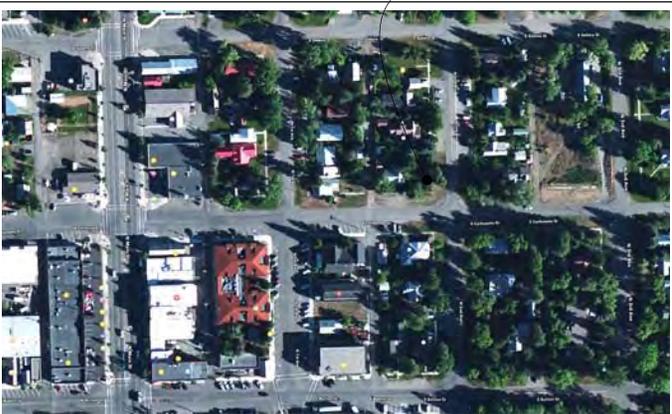
SYMBOLS

[Symbol]	BUILDING SECTION NO.
[Symbol]	WALL SECTION NO.
[Symbol]	DETAIL NO.
[Symbol]	SHEET NO.
[Symbol]	DOOR NUMBER
[Symbol]	WINDOW NUMBER
[Symbol]	ROOM NUMBER

SUBDIVISION MAP



VICINITY MAP



ADDITIONAL INFORMATION

DRAINAGE: GUTTERS AND DOWNSPOUTS TO DRYWELLS WILL BE PROVIDED WHERE REQUIRED.

LANDSCAPE PLAN: SUBJECT PROPERTY CONTAINS MATURE LANDSCAPING. NOTHING ADDITIONAL IS PLANNED WITH THE EXCEPTION BEING PLANTERS AND FLOWER BEDS. SECTIONS OF UNHEALTHY LILAC BUSHES ARE ALONG THE EXISTING FENCELINE WILL BE REMOVED. THE NEW ENTRY FROM CARBONATE WILL HAVE A NEW ENTRY ARCH AND PATH INSTALLED.

DRAINAGE PLAN: THE LOT IS MAINLY FLAT. FRESH GRADE WILL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE. PROVIDE FOUNDATION PERIMETER DRAINAGE WELLS AND REQUIRE DRYWELLS AT ALL DOWNSPOUT LOCATIONS.

LIGHTING: ANY LIGHTING WILL BE SHIELDED LED NIGHT SKY COMPLIANT FIXTURES.

OTHER: SNOW RETENTION DEVICES WILL BE PROVIDED AT ALL OVERHANGING ROOFS WHERE CIRCULATION AND ACCESS OCCURS

EXT. LIGHT FIXTURES

B-K LIGHTING, WALL MOUNTED LED DOWNLIGHT, NIGHT SKY COMPLIANT



PROJECT INFORMATION

LOT:	LOT 8A, BLOCK 46, ORIGINAL TOWNSITE OF HAILEY
SIZE:	4,501 SQUARE FEET (APPROX. 10 ± ACRES)
ZONE:	"TOWNSITE OVERLAY" / GR
SETBACKS:	FRONT - 27' 6" EAST SIDE - 12' FROM PROPERTY LINE WEST SIDE - 7'-7" FROM PROPERTY LINE REAR - 7'-7" FROM PROPERTY LINE
AREA ANALYSIS: (GROSS ENCLOSED SQUARE FOOTAGE)	
MAIN LEVEL LIVING	= 1,054 S.F.
SECOND LEVEL LIVING	= 770 S.F.
GARAGE	= 294 S.F.
BASEMENT	= 424 S.F.
TOTAL LIVING AREA	= 1,824 S.F.
TOTAL STRUCTURE	= 2,542 S.F.
TOTAL LOT COVERAGE	1,348 S.F. = 29.9%

BUILDING CODE

ALL WORK SHALL MEET OR EXCEED THE CURRENT ADOPTED CODES:

2012 INTERNATIONAL BUILDING CODE (2012 IBC)
2012 INTERNATIONAL RESIDENTIAL CODE (2012 IRC)
2012 ENERGY CONSERVATION CODE (2012 IECC)
2009 FIRE CODE (2009 IFC)
2009 FIRE CODE (2009 IEC)
(AS ADOPTED BY BLAINE COUNTY ORDINANCE NUMBER 2008-02)

PROVIDE REQUIRED UNDERFLOOR VENTING/RADON MITIGATION AS REQUIRED.

PROVIDE REQUIRED UNDERFLOOR VENTING MOLD MITIGATION AS REQUIRED.

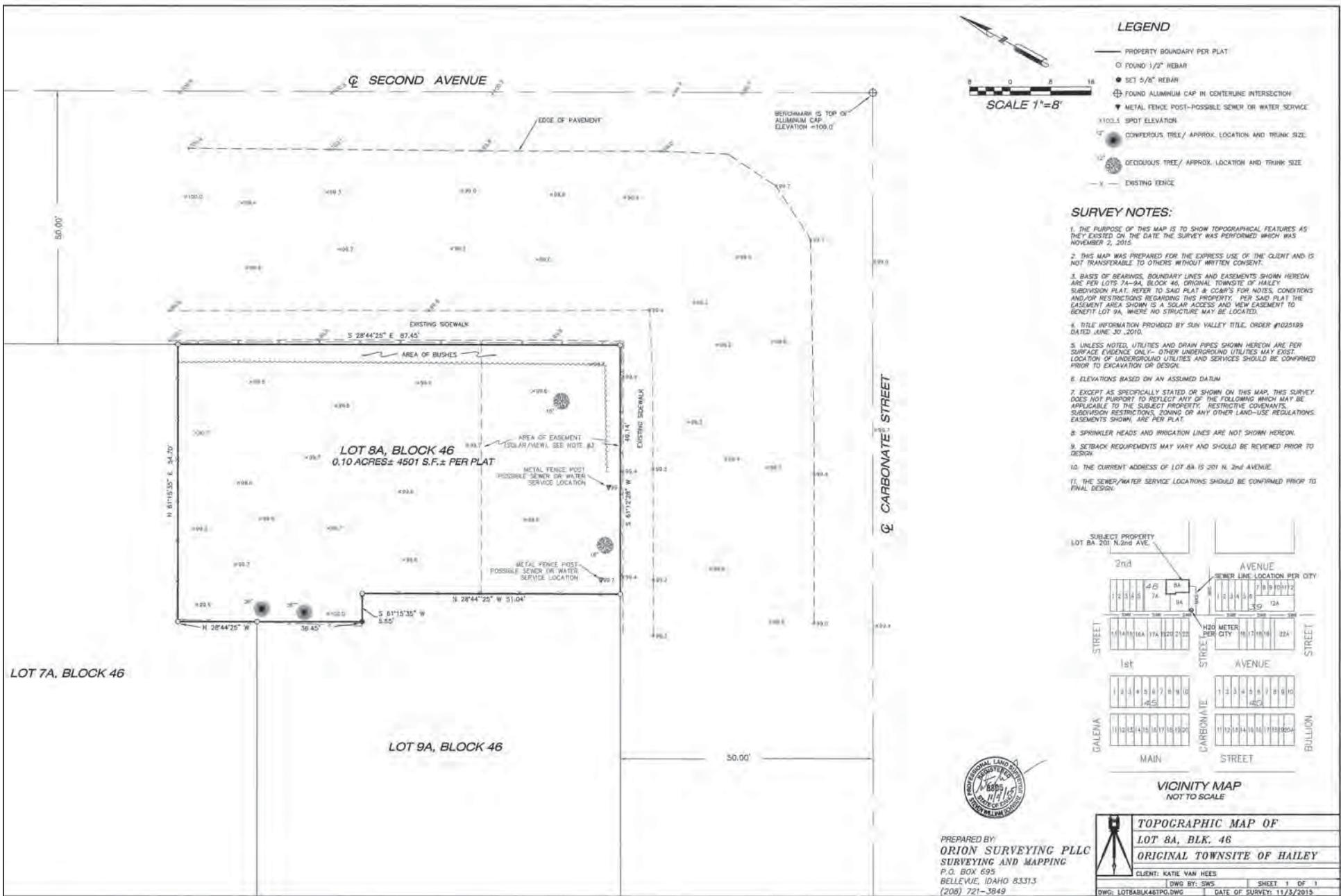
PROVIDE UNDERFLOOR (CRAWL SPACE) VENTILATION OF 1 S.F. PER 150 S.F. OF FLOOR AREA

PERSPECTIVE



A NEW RESIDENCE FOR:
KATIE VAN HEES
LOT 8A, BLOCK 46, OLD HALEY TOWNSITE, HALEY, IDAHO

DRAWING:
SURVEY



LOT 7A, BLOCK 46

LOT 9A, BLOCK 46

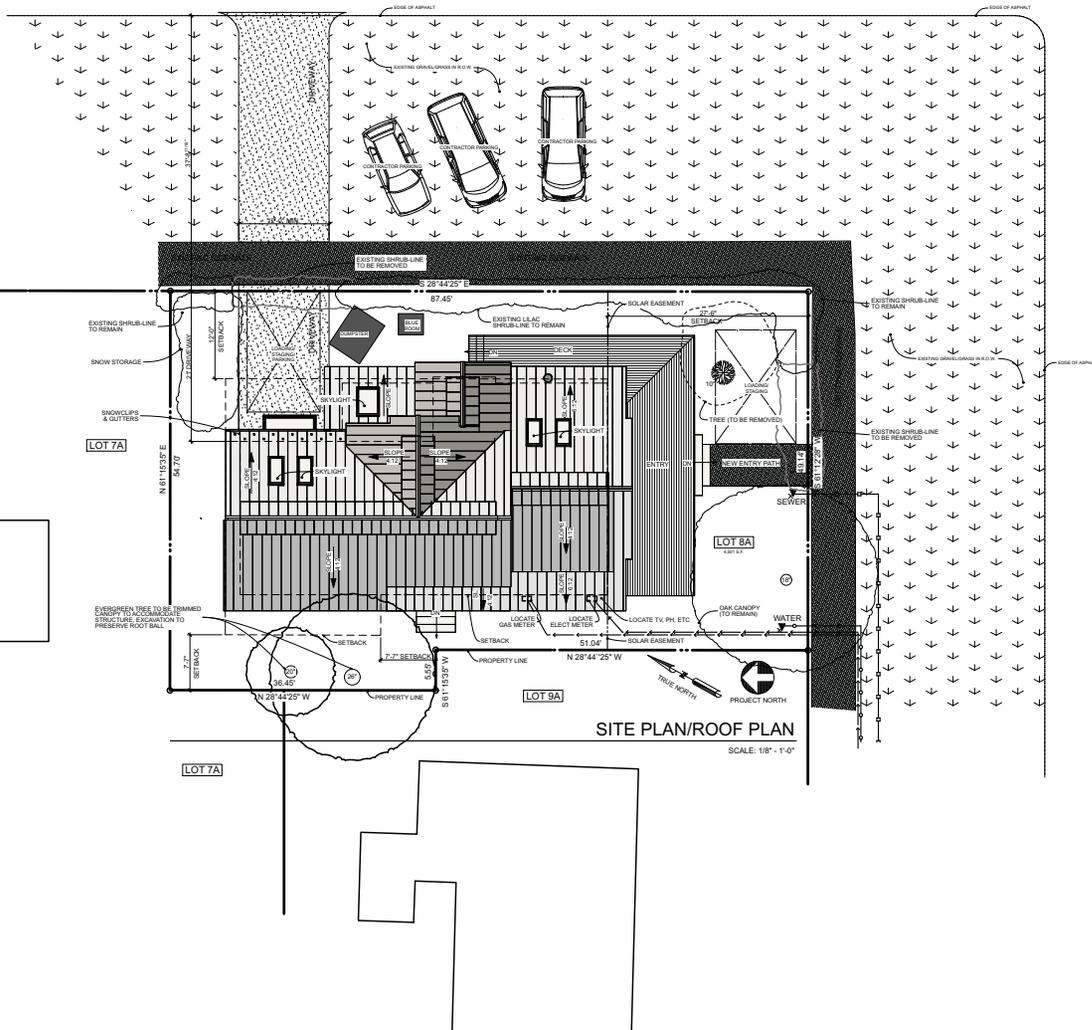


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GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES AND UTILITY CONNECTIONS.
- CONTRACTOR SHALL CONNECT ALL UTILITIES INDICATED ON DRAWINGS AS REQUIRED.
- CONTRACTOR RESPONSIBLE TO PROVIDE TEMPORARY CONSTRUCTION FENCING AND/OR BARRICADES AS MAY BE REQUIRED.
- CONTRACTOR TO INSTALL DRYWELLS AS REQUIRED.
- ALL INTERIOR WALLS TO BE 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
- ALL INTERIOR BEARING WALLS AND PLUMBING WALLS TO BE 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM WALL BOARD UNLESS NOTED OTHERWISE.
- ALL GYP. BD. TO BE 5/8" TYPE "X".
- ALL WINDOWS TO BE LOW E2.
- PROVIDE EGRESS WINDOWS AS REQUIRED BY IBC.
- PROVIDE THERMOPANE GLASS AS REQUIRED BY IBC.
- ALL WORK SHALL CONFORM TO CURRENT IBC.
- VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, OR PROCEDURES REQUIRED TO PERFORM HIS WORK.
- PROVIDE FIRE AND SMART STOPS PER CODE.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED.
- SLOPE ALL DECKS, WALKS, DRIVEWAYS, AND PATIOS AWAY FROM BUILDING UNLESS NOTED OTHERWISE.
- DO NOT SIGNIFICANTLY MODIFY OR MODIFY THE WORK SHOWN WITHOUT PRIOR APPROVAL.
- REPORT ANY DISCREPANCIES TO THE BUILDER IMMEDIATELY.
- THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MAY BE REPRODUCED ONLY WITH THE PERMISSION OF THE OWNER.
- DO NOT SCALE DRAWINGS.
- VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO BUILDER
- NOTES AND DETAILS TAKE PRECEDENCE OVER THE GENERAL AND TYPICAL.
- NOT EVERY DETAIL OR CONDITION IS EXPLICITLY SHOWN (OR EXPECTED TO BE SHOWN) ON THE DRAWINGS. THE CONTRACTOR WILL USE GENERALLY ACCEPTED INDUSTRY STANDARDS OF GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
- SHOP DRAWINGS FOR ALL EXPOSED STEEL CONNECTIONS SHALL BE REVIEWED BY THE STRUCTURAL ENGINEER.
- NOTE: INSULATION VALUES ARE TO MINIMUM REQUIREMENTS, IT IS RECOMMENDED TO WORK TO HIGHER STANDARDS
- PROVIDE REQUIRED RADON MITIGATION SYSTEM AND MECHANICAL VENTING.
- PROVIDE REQUIRED WATERPROOFING, WATERPROOFING MEMBRANES, FLASHING, ICE AND WATER SHIELD, PERIMETER DRAINS, DRYWELLS, ETC. AT ALL APPROPRIATE LOCATIONS, V.I.F.
- RECYCLE CLEAN WOOD AND CARDBOARD
- PROVIDE FOUNDATION PERIMETER DRAINS, GUTTERS, DOWNSPOUTS AND DRYWELLS
- PROVIDE POSITIVE SLOPE DRAINAGE AT ALL LOCATIONS

SECOND AVENUE



CARBONATE STREET

OWNER INFO

PROJECT NO.

CONTRACTOR

A NEW RESIDENCE FOR:
KATIE VAN HEES
LOT 8A, BLOCK 48, OLD HALEY TOWNSITE, HALEY, IDAHO

DRAWING:
SITE ROOF PLAN

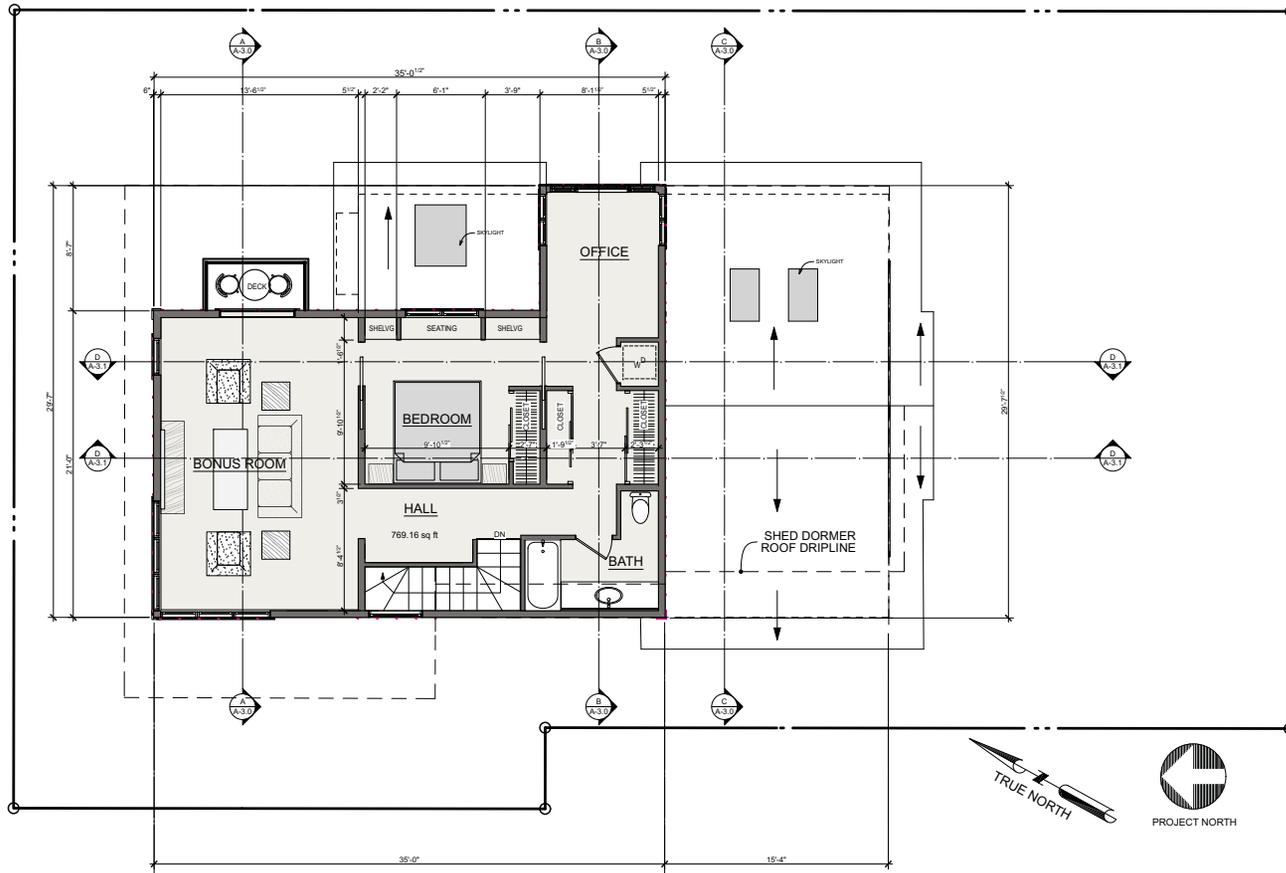
DATE

11/16/15

SHEET NUMBER

A-1.1

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SECOND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

OWNER INFO

PROJECT NO.

CONTRACTOR

A NEW RESIDENCE FOR:
KATIE VAN HEES
LOT 8A, BLOCK 16, OLD HALEY TOWNSITE, HALEY, IDAHO

DRAWING:
SECOND LEVEL FLOOR PLAN

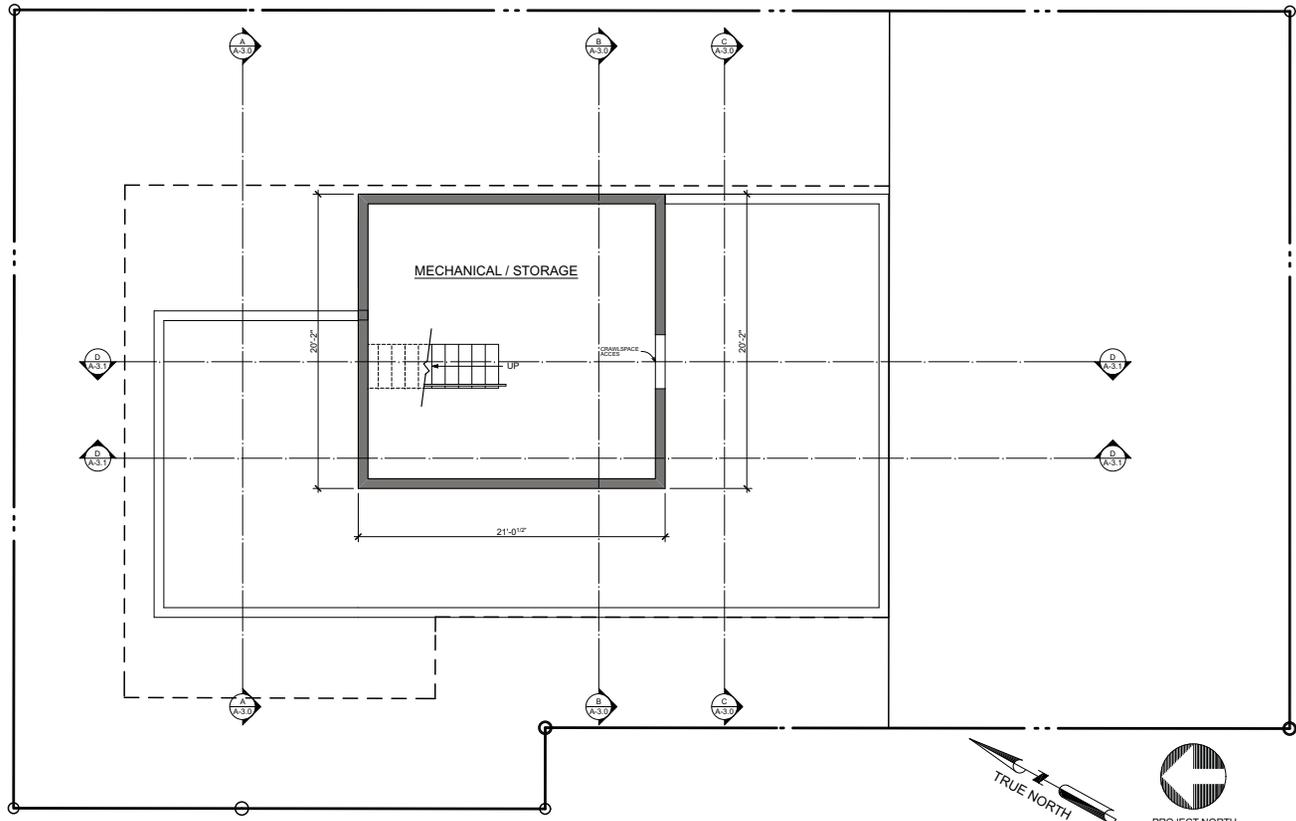
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11/16/15

SHEET NUMBER

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MECHANICAL/BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

OWNER INFO

PROJECT NO.

CONTRACTOR

A NEW RESIDENCE FOR:
KATIE VAN HEES
LOT 8A, BLOCK 48, OLD HALEY TOWNSITE, HALEY, IDAHO

DRAWING :
BASEMENT - MECHANICAL ROOM

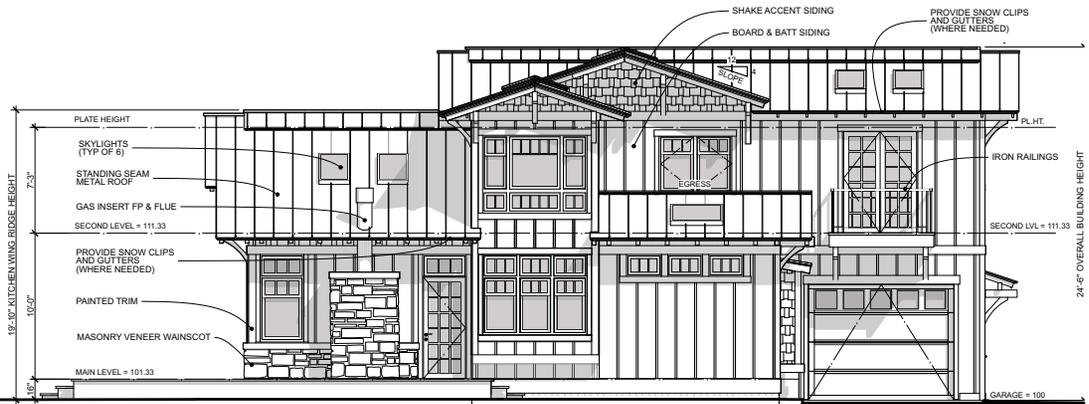
DATE:
11/16/15

SHEET NUMBER:
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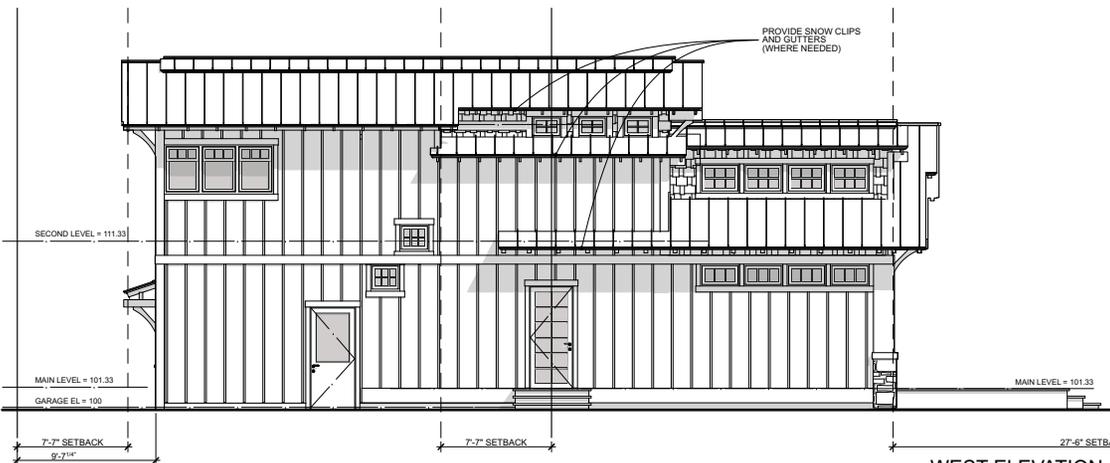
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NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

OWNER INFO

PROJECT NO.

CONTRACTOR

A NEW RESIDENCE FOR:
KATIE VAN HEES
LOT 8A, BLOCK 18, OLD HALEY TOWNSITE, HALEY, IDAHO

DRAWING:
EXTERIOR ELEVATIONS

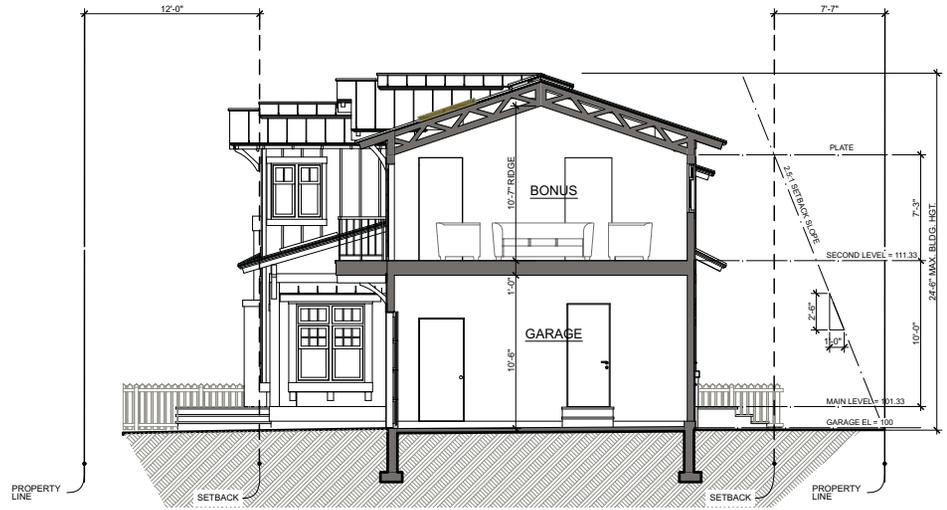
DATE

11/16/15

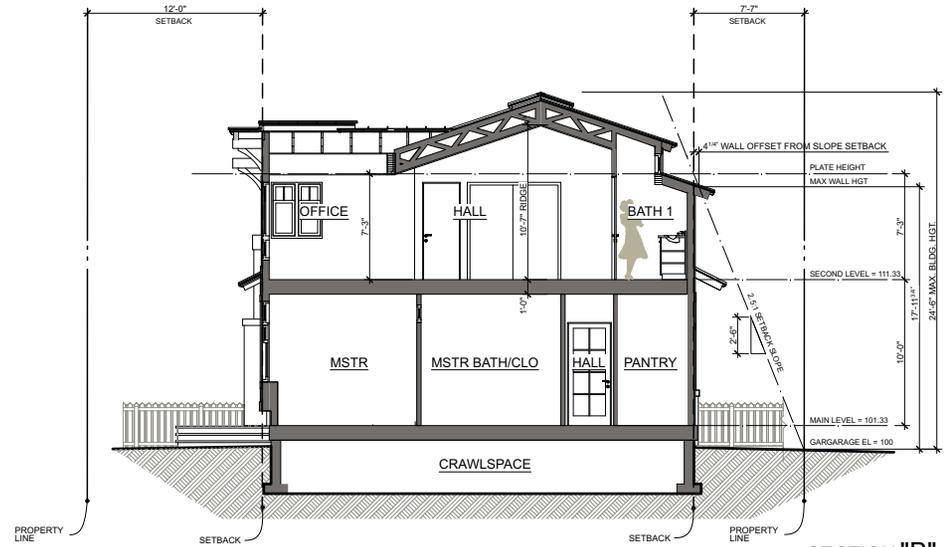
SHEET NUMBER

A-2.0

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SECTION "A"
SCALE: 1/4" = 1'-0"



SECTION "B"
SCALE: 1/4" = 1'-0"

OWNER INFO

PROJECT NO.

CONTRACTOR

A NEW RESIDENCE FOR:
KATIE VAN HEES
LOT 8A, BLOCK 48, OLD HALEY TOWNSITE, HALEY, IDAHO

DRAWING :
BUILDING SECTIONS

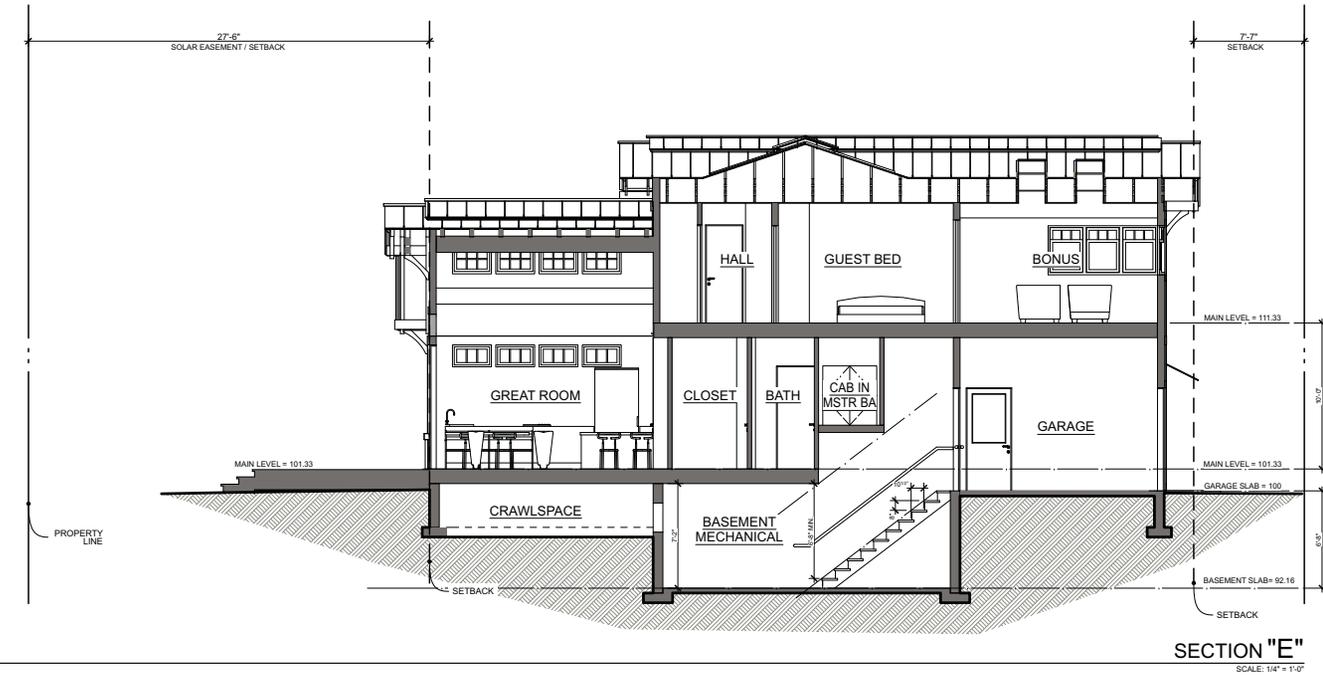
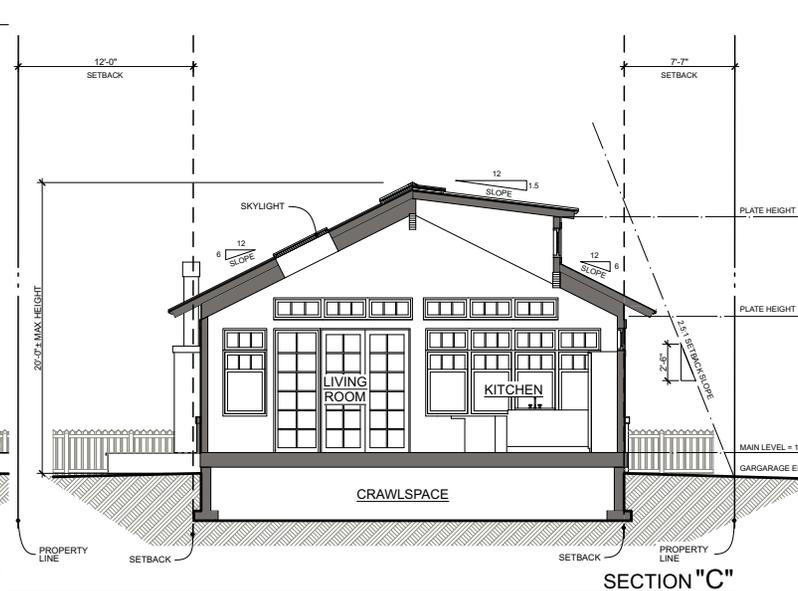
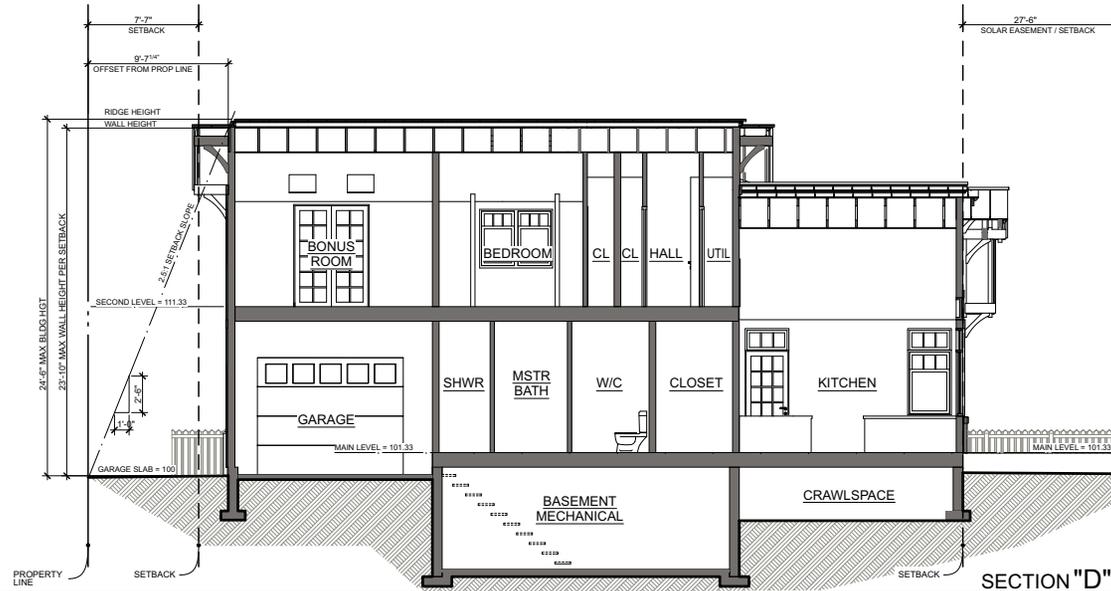
DATE:

11/16/15

SHEET NUMBER

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OWNER INFO

PROJECT NO.

CONTRACTOR

A NEW RESIDENCE FOR:
KATIE VAN HEES
LOT 8A, BLOCK 16, OLD HALEY TOWNSITE, HALEY, IDAHO

DRAWING:
BUILDING SECTIONS

DATE:
11/16/15

SHEET NUMBER:
A-3.1

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WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



PLAN VIEW

TO REMAIN
 TO BE REMOVED
 TO REMAIN



S.E. PERSPECTIVE

OWNER INFO

PROJECT NO.

CONTRACTOR

A NEW RESIDENCE FOR:
KATIE VAN HEES
 LOT 8A, BLOCK 46, OLD HALEY TOWNSITE, HALEY, IDAHO

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DRAWING:
IMAGES

DATE:

11/16/15

SHEET NUMBER

A-4.2



2013

B
BUSINESS
SOURCE

SPECIAL
EVENT

Return to Agenda

STAFF REPORT

TO: Hailey Planning & Zoning Commission

FROM: Lisa Horowitz, Community Development Director

RE: Conditional Use Permit – Sawtooth Brewery production facility, offices and tap room (Lots 16-18, Block 41 Hailey Townsite)

HEARING: December 14, 2015

Applicant: Paul Holle, Head Brewer, Sawtooth Brewery

Location: 110 North River Street (Lot 16-18, Block 41, Hailey Townsite)

Zoning: Business (B) and Townsite Overlay (TO)

Note: Staff analysis is in lighter type

Notice

Notice for the public hearing on December 14, 2015 was sent to the Mt. Express on __ and published in the Mountain Express on __, 2015. Notices were mailed to the adjoining property owners on and the property was posted on __ 2015.

Application

Sawtooth Brewery is buying the existing 7,890 square foot building on a .248 acre site located at 110 North River Street for the purposes of a brewery and tap room. Breweries are considered to be a Hybrid Production Facility in the Hailey Zoning Code, and are a Conditional Use per the use matrix.

The proposed use will include beer brewing facilities, office space and a tap room that will serve beer and wine by the glass, and canned beer for off-premise consumption.

The site will house __ employees, who will manage the 8 tanks of beer production, as well as the corporate offices for Sawtooth Brewery and the 460 square foot tasting room.

This building, constructed in 1978, is owned by Watkins Distribution, and was used for many years to distribute Watkins beverage products through the region. The last 15 years the building was leased to Pepsi for distribution.

Very few exterior changes are proposed: a sign, and the placement of a granary, as shown on the site plan.

General Requirements for all Conditional Use Permits					
Compliant			Standards and Commission Findings		
Yes	No	N/A	City Code	<i>City Standards and Commission Findings</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.2.2	<p>Complete Application:</p> <p>11.2.2 The application shall include at least the following information:</p> <ul style="list-style-type: none"> a. Name, address, and phone number of the applicant. b. Proof of interest in the subject property by the applicant, such as a deed, contract of sale, option to purchase, or lease agreement. c. Legal description of the subject property, including street address. d. Description of existing use. e. Zoning district of subject property. f. Description of proposed conditional use. g. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, traffic access and traffic circulation, open spaces, easements, existing and proposed grade, energy efficiency considerations, landscaping, exterior lighting plan as required by Article VIII B of this Ordinance, refuse and service areas, utilities, signs, property lines, north arrow, and rendering of building exteriors, where applicable. h. A narrative statement evaluating the effects on adjoining property, the effect of such elements as noise, glare, odor, fumes, and vibration on adjoining property. i. A narrative statement identifying surrounding land uses and discussing the general compatibility of the proposed use with adjacent and other properties in the district. j. A narrative discussion of the relationship of the proposed use to the Comprehensive Plan. k. A list of the names and addresses of all property owners and residents within three hundred (300) feet of the external boundaries of the land being considered. l. Any other information as requested by the Administrator to determine if the proposed conditional use meets the intent and requirements of this Article. m. A fee established in a separate ordinance approved by the Council. 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department and Boards/Commissions Comments	<p>Engineering:</p> <ul style="list-style-type: none"> - Circulation over the long run is a concern due to the open curb cuts on River Street and the lack of curb, gutter and sidewalk. This application is a new use in an existing building, and does not trigger the requirement for a sidewalk. A complete renovation of River Street is anticipated in 2017 or 2018, and staff recommends that the sidewalk be improved at that time, and the parking reconfigured to reduce the curb cut. - 	
				<p>Life/Safety:</p> <ul style="list-style-type: none"> - Police Department <ul style="list-style-type: none"> o No concerns - Fire Department No concerns. 	
				<p>Water and Sewer:</p> <ul style="list-style-type: none"> - The project must comply with all requirements of the wastewater department with regards to brewing materials. 	

				Building: - No concerns.
				Streets: - No concerns
				Boards and Committees: - No concerns.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Commission Findings</i>	- One new sign is proposed, which will be affixed to the front of the building, and will conform to City regulations.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Commission Findings</i>	<ul style="list-style-type: none"> ● No lighting is shown at this time. All new and existing lighting shall comply with Hailey's Outdoor Lighting Ordinance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4.8 A On-site Parking Req.	See Section 9.4 for applicable code. - Require 1 space for 1,000 square feet, or, if the site is considered warehouse and storage, 1 space per every (full time) employee, whichever is greater.
			<i>Commission Findings</i>	<p>The site currently contains nine (9) head-in parking spaces. Two of these would be removed to accommodate the granary and an outdoor seating area.</p> <p>The remaining seven (7) parking spaces can accommodate 1 space per employee (3 full time) and 1 customer spaces based on an interior retail size of less than 1,000 square feet.</p> <p>The parking has never been striped. Staff and the City Engineer believe the best long-term solution to organize parking and pedestrian/bike activities are curb, gutter and sidewalk. That requirement is not triggered by this application, and will</p>

				<i>be addressed as part of the River Street Master Plan.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (B)	B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.
			<i>Commission Findings</i>	<i>The existing building was not designed with an access off of the alley.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	9.4.8 (C)	C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Commission Findings</i>	<i>The applicant proposes to confine the truck access to a single bay: the building currently contains three (3) truck bays facing River Street. The remaining two bays will not be used for delivery purposes. The applicant anticipates three (3) delivery trucks per week.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4.8 (D)	D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.
			<i>Commission Findings</i>	<i>The truck loading area is clearly visible, and is thirty (30) feet in depth, which is ample room for a truck to be off of the street. Adding a sidewalk in this location would not increase site safety, as the sidewalk would be directly in front of the truck parking zone.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (E)	E. Access for subdivisions shall be provided in accordance with standards set forth in Section 4 of the Subdivision Ordinance.
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • <i>Not applicable</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (F)	F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.
			<i>Commission Findings</i>	<i>The site is nonconforming with regards to this standard. All of the existing parking backs out on to the street. Staff and the City Engineer have looked at possible interim solutions in advance of a full redesign of River Street, but none are comfortable with the current design.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (G)	G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus “stacking” the parking area. For non-residential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • <i>Not applicable</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Article 5.4: Bulk Requirements	Limited Business (B) District: <ul style="list-style-type: none"> - Minimum Lot Size: 0 - Maximum Lot Width: 0 - Maximum Building Height: 35

				<ul style="list-style-type: none"> - Front Setback: 0 ft - Side and Rear Yard Setback: 0 feet
			<i>Commission Findings</i>	- Existing building meets all bulk requirements.
Section 11.4 Criteria for Review of Conditional Use Permits				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.1	<p>Compliance with the Comprehensive Plan</p> <p>11.1 Purpose. The City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.</p>
			<i>Commission Findings</i>	<p><i>This application complies with the following goals and objectives of the Comprehensive Plan</i></p> <ul style="list-style-type: none"> • <i>Goal 6.1: Economic Development“</i> <ul style="list-style-type: none"> ○ <i>Encourage a diversity of economic development opportunities within Hailey.”</i> ○ <i>This use provides 3 full-time jobs, growing to as many as 10 more over the next decade</i> ○ <i>The use will add to the economic vitality of River Street</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(a)	<p>11.4.1 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location:</p> <p>a. Will, in fact, constitute a conditional use as established for the zoning district involved; and</p>
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • <i>According to §5.4 of the Zoning Ordinance, Hybrid Production Facilities currently require a Conditional Use Permit in the Business (B) zone. The Sun Valley Brewery was approved through a similar process.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(b)	<p>b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;</p>
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • <i>The existing nonconforming parking and loading arrangement has been in place for over 20 years. The building is functional in nature: business uses in this area of River Street are mixed, including the Park-and-Ride/recycling facility directly across the street and a variety of retail/office/warehouse facilities in the vicinity. The proposed use will add vibrancy and activity to River Street, a goal of the City.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(c)	c. Will not be hazardous or disturbing to existing or future neighboring uses;

			Commission Findings	<ul style="list-style-type: none"> The applicant has indicated that there will be 3 trucks per week. Water vapor is an output of beer production. Spent grain will be removed within 24 hours. The facility will be a zero-waste facility according to the applicant.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(d)	<p>d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and</p>
			Commission Findings	<i>No concerns have been raised by City Departments.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(e)	<p>e. Will not create excessive additional requirements at public cost for public facilities and services; and</p>
			Commission Findings	<ul style="list-style-type: none"> At this time, no additional cost will be incurred from any public agencies for this facility to function and operate.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(f)	<p>f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and</p>
			Commission Findings	<ul style="list-style-type: none"> Externalities anticipated by this use are a low amount of truck traffic and possible beer odors. The City does not receive complaints about odors from the existing Sun Valley Brewery, located on Main Street and very near residential uses. The truck traffic anticipated by this use will be less in volume than was existing on the site when Pepsi was distributing daily from the premises. This application has been reviewed by all city departments and there have been no issues.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(g)	<p>g. Will have vehicular approaches to the property which shall be designed so as not to create an interference with traffic on surrounding public thoroughfares;</p>
			Commission Findings	<ul style="list-style-type: none"> The access is not at an intersection.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(h)	<p>b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;</p>
			Commission Findings	<ul style="list-style-type: none"> Proposed property does not contain a natural, scenic, or historic feature or structure. The addition of the granary, outdoor seating and business sign will add to the vitality of the area.

11.6 Conditions.

The Commission or Hearing Examiner may impose any conditions which it deems necessary to secure the purpose of City regulations and give effect to the Comprehensive Plan. Conditions which may be attached include, but are not limited to those which will:

- 11.6.1 Require conformity to approved plans and specifications.**
- 11.6.2 Require or restrict open spaces, buffer strips, walls, fences, signs, concealing hedges, landscaping and lighting.**
- 11.6.3 Restrict volume of traffic generated, require off-street parking, and restrict vehicular movements within the site and points of vehicular ingress and egress or other conditions related to traffic.**
- 11.6.4 Require performance characteristics related to the emission of noise, vibration and other potentially dangerous or objectionable elements.**
- 11.6.5 Limit time of day for the conduct of specified activities.**
- 11.6.6 Require guarantees such as performance bonds or other security for compliance with the terms of the approval.**
- 11.6.7 Require dedications and public improvements on property frontages.**
- 11.6.8 Require irrigation ditches, laterals, and canals to be covered or fenced.**
- 11.6.9 Minimize adverse impact on other development.**
- 11.6.10 Control the sequence, timing and duration of development.**
- 11.6.11 Assure that development is maintained properly.**
- 11.6.12 Designate the exact location and nature of development.**
- 11.6.13 Require the provision for on-site or off-site public services.**
- 11.6.14 Require more restrictive standards than those generally found in this Ordinance.**
- 11.6.15 Mitigate foreseeable social, economic, fiscal and environmental effects.**
- 11.6.16 Set a limit on the duration of the permit when deemed necessary.**
- 11.6.17 Allow for subsequent periodic review.**

The Commission may impose any conditions that are deemed necessary to secure the purpose of City ordinances and give effect to the Comprehensive Plan. Conditions including but not limited to those set forth in Section 11.6 may be placed on any approval.

Summary

Section 11.1 of the Hailey Zoning Ordinance states that “the City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.”

Conditional Use Permits are subject to review and revocation pursuant to Section 11.9 of the Hailey Zoning Ordinance. This statement will be included in the Findings of Fact, Conclusions of Law, and Decision for any CUP approved by the Commission.

By ordinance, the Commission is required to make a decision to approve, conditionally approve, or deny the application within forty-five (45) days after conclusion of the public hearing and issue its decision together with the reasons therefore. The Commission is required to review the application, all supporting documents and plans, and Section 11 of the Zoning Ordinance, in making their decision.

The Commission should make findings related to the criteria of Section 11.4, (a) through (h).

Suggested Conditions

The following conditions are suggested to be placed on any approval of this application:

- a) All Fire Department and Building Department requirements shall be met in regard all maintenance, administrative, and other functions of this facility.
- b)

Motion Language

Approval:

Motion to approve conditional use permit application for Conditional Use Permit application by Sawtooth Brewery production facility, offices and tap room (Lots 16-18, Block 41 Hailey Townsite) and finding that the application meets each of the criteria for review (a) through (h) cited in Zoning Ordinance Article 11.4, Section 11.4.1, that the conditional use permit complies with the Comprehensive Plan, and that the conditional use permit is subject to condition (a) thru (h) noted above.

Denial:

Motion to deny conditional use permit application by UPS for a temporary peak car to be used during the holiday season at the Hailey Distribution Center located at 111 South River Street (Lot 1-7, Block 31, Hailey Townsite), citing the following reasons for denial _____.

Continuation:

Motion to continue discussion of the conditional use permit application by UPS for a temporary peak car to be used during the holiday season at the Hailey Distribution Center located at 111 South River Street (Lot 1-7, Block 31, Hailey Townsite) to a later day as specified here _____.



Existing Use:

The property is current vacant.

The last use was distribution and office for Pepsi. Prior to that it was a distribution center for Watkins Distributing, a beer distributor.

Proposed Conditional Use:

The proposed use is for using the facility to

- Produce and distribute beer
- Office Space
- Tap Room (beer and wine by the glass on premise, canned and bottled beer sales for off premise)

Surrounding Uses and impacts, Comprehensive plan:

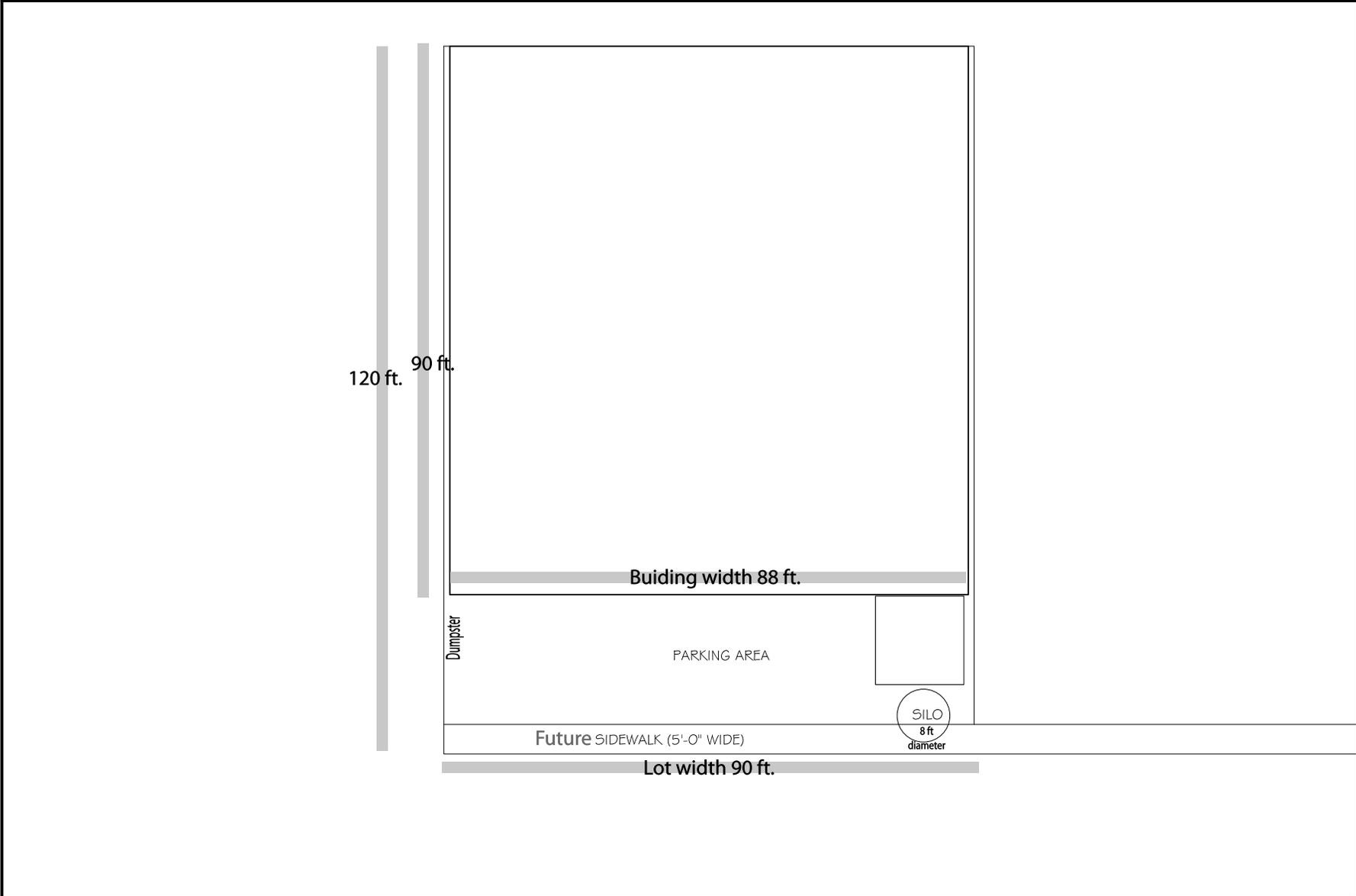
The surrounding tenants include:

- Offices
 - Real Estate
- Retail
 - Thrift store
 - Sporting Goods Store
 - 5 Restaurants
 - Hardware store
 - 2 Cell Phone stores
 - Dollar Store
- Distribution
 - UPS
 - Recycling center
- Parking
 - 2 parking lots including 1 park and ride

The impact will be very minimal. The majority of the space will be used for production, office and distribution with the retail aspect fitting in with the existing businesses.

There will be very minimal noise (mostly unloading and loading trucks with grain and beer), no additional glare, no additional vibrations. The only output will be water vapor with a minimal barley aroma. All spent grain will be removed within 24 hours.

The site fits within the comprehensive plan with the focus on the development of River Street with vibrant, long term, community oriented tenants. We will enable the installation of sidewalks across the site except for access to 2 bay doors.



DRAWN BY:
LIZZ BURKE

ALL DIMENSIONS AND
SIZE DESIGNATIONS
GIVEN ARE SUBJECT TO
VERIFICATION ON JOB
SITE AND ADJUSTMENT
TO FIT JOB CONDITION.

DESIGN PLANS ARE
PROVIDED FOR THE
FAIR USE BY THE CLIENT
OR HIS AGENT IN
COMPLETING THE
PROJECT AS LISTED
WITHIN THIS CONTRACT.
DESIGN PLANS REMAIN
THE PROPERTY OF THIS
FIRM AND CANNOT BE
USED OR REUSED
WITHOUT PERMISSION.

PUBLIC HOUSE
6TH ST. E
KETCHUM, ID 83340



DESIGNANDINTERIORS

DATE

NOVEMBER 10 2015

SCALE

1/8" = 1'-0"

PAGE #



Return to Agenda

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

December 14, 2015

TO: Planning and Zoning Commission

FM: Lisa Horowitz, Community Development Director

RE: Public Hearing on proposed additions to the Subdivision Ordinance

ATTACHMENT 1: Subdivision Code Section 3, Procedures

Many cities routinely require a Title Report as part of the subdivision process. Title Reports disclose a variety of information pertinent to the subdividing land, such as easements and encumbrances affecting property. The City of Hailey does not currently require title reports as part of the subdivision process. Staff recommends that the Subdivision Code be amended to add this requirement. See the attached draft language (underlined) related to this matter.

Additionally, staff has added language to require applicants to submit a full-sized copy of final plats upon completion of the subdivision process.

SECTION 3 – PROCEDURE

No plat shall be recorded or offered for record with the County Recorder until the final plat has been approved by the Council, or in the case of a Lot Line Adjustment, the Administrator or Hearing Examiner, and shall bear thereon the approval of the Mayor and Council, as attested by the City Clerk, and the City Engineer.

3.1 Commission or Hearing Examiner Preliminary Plat Approval Review.

In seeking to subdivide land or other property into building lots or other parcels and to dedicate streets, alleys, or other land for public use, the Developer shall submit six (6) copies of a preliminary plat to the Commission or, in the case of a Short Plat, two (2) copies to the Hearing Examiner. The Administrator shall place the application on the next Commission or Hearing Examiner agenda for which space is available and when all notice requirements can be met.

The Administrator shall place public notice of the application and public hearing in a newspaper of general circulation, and to owners of property located within three - hundred (300) feet of the boundaries of the proposed subdivision, and all easement holders within the subject property, no less than fifteen (15) days prior to the scheduled date of hearing. The applicant shall provide the mailing addresses of all property owners within 300 feet of the outer boundaries of the parcel proposed for subdivision.

3.1.1 The Preliminary plat, prepared by a Professional Land Surveyor, and formally filed shall have a scale no smaller than 1" = 100' and shall contain at least the following information:

- The proposed name of the subdivision.
- The name and address of the Developer, the engineer or surveyor of the subdivision.
- The location of the subdivision as forming a part of some larger tract or parcel of land referred to in the records of the County Recorder.
- North point, scale and date.
- Zoning districts(s) and boundaries, including any overlay district(s) and boundaries.
- The zoning requested for each area if a map amendment is requested.
- The boundary lines of the tract to be subdivided shall be accurate in scale and bearing.
- A contour map at a one foot (1') contour interval to show the general topography and record grade of the tract.
- The location, widths and other dimensions of all existing or platted streets and other important features such as power lines, water courses, easements, topography, substantial vegetation, wetlands, floodplain and floodway areas, avalanche areas, buildings, structures, or any other natural or manmade features, within, contiguous to, or in the general area of the property to be subdivided.
- The location, widths and other dimensions of proposed streets, alleys, easements, parks, lots and Green Space.
- The plan and cross section of proposed streets and alleys showing widths of roadways, location of sidewalks, curb and gutter, location and species of street trees, drainage areas, parking areas, snow storage areas, or any other improvement proposed or required for the rights-of-way.

- The proposed names of all the streets whether new or continuous. The new street names must not be the same or similar to any other street names used in Blaine County.
- The location of existing and proposed sanitary sewer mains (including profile view), sewer services, storm drains, water supply mains, water services including water vaults and meters, fire hydrants and culverts within the property and immediately adjacent thereto.
- The proposed lot and block numbers.
- The size of each lot shown in both square feet and acres.
- All parcels of land intended to be dedicated for public use or reserved for the use of all property owners with the purpose indicated, and planned improvements to that parcel or parcels.

3.1.1.1 The following items must also be submitted along with the preliminary plat before such application will be certified as complete:

- The names and mailing addresses of all property owners, along with the legal descriptions of all properties, within 300 feet of the outer boundaries of the parcel proposed for subdivision. The names and mailing addresses of all easement holders within the subject property. This information shall be provided in a format acceptable to the Administrator.
- A title report or book title, as determined by the Administrator
- A phasing plan if the Developer intends to develop the project in phases. The Plan must include the numbers of lots in each phase, the infrastructure planned for completion with each phase, the amenities to be constructed with each phase, the deadline for completion of each phase, and all other information pertinent to the completion of the development.
- A draft of any private restrictions proposed to be recorded for the purpose of providing regulations governing the use, building lines, Green Spaces or any aspect of their development, use and maintenance.
- An Area Development Plan if applicable pursuant to Section 4.6.4.
- Such other information as may be required by the Commission, Hearing Examiner or Administrator.
- An application fee as established by ordinance.

(Ord. 1071, § 1-3, 2010)

3.1.2 If the subject property is located within or partially within the Flood Hazard Overlay District, an application for Flood Hazard Development Permit shall be submitted along with the preliminary plat for concurrent review by the Commission or Hearing Examiner.

3.1.3 Following receipt of a completed application, the applicant shall be required to diligently pursue the application by providing revised plans, plat maps, etc. when requested by Planning Staff, the Hearing Examiner or the Commission, in a timely fashion. If the applicant fails to meet this requirement, the City shall, in writing, request the applicant to withdraw its application. After such request to withdraw, if the applicant fails to take any further action on the application for a period of twelve (12) consecutive months, the application shall automatically expire. When such application has expired, the applicant must re-apply and pay any applicable fees.

- 3.1.4 The Commission shall hold a public hearing and recommend to approve, conditionally approve, or deny the preliminary plat application, or in the case of a short plat the Commission or Hearing Examiner shall hold a public hearing and approve, conditionally approve, or deny the preliminary plat. The Commission or Hearing Examiner may table or continue the application, when specific information has been requested from the applicant. A denial of the proposed short plat by the Commission or Hearing Examiner is a denial of the application, and, unless appealed to the Council, the application will be terminated and the application fee forfeited.
- 3.2 Council Preliminary Plat Approval.
- 3.2.1 Following the recommendation for preliminary plat approval, conditional approval or denial by the Commission, the applicant shall re-submit drawings, as necessary, showing modifications to the plans required by the Commission.
- 3.2.2 Following receipt of a completed application, the applicant shall be required to diligently pursue the application by providing revised plans, plat maps, etc. when requested by Planning Staff, the Commission or Council, in a timely fashion. Where the applicant fails to meet this requirement, the city shall, in writing, request the applicant to withdraw its application. After such request to withdraw, if the applicant fails to take any further action on the application for a period of twelve (12) consecutive months the application shall automatically expire. When such application has expired, the applicant must re-apply and pay any applicable fees.
- 3.2.3 Following receipt of the revised plans, or if no revisions are required, the application will be noticed, under the same procedure specified in Section 3.1, above, for the next available meeting of the Council. The Council shall hold a public hearing and approve, conditionally approve, or deny the preliminary plat application. The Council may table or continue the application, when specific information has been requested from the applicant. The Council shall review any and all conditions placed on any plat approval and accept, reject or modify those conditions. The Council may place additional conditions of approval on the application.
- 3.2.4 One (1) copy of the approved preliminary plat will be kept on file for public examination at the office of the City Engineer and one (1) copy at the office of the Administrator. The approval of the preliminary plat shall be valid for a period of one (1) calendar year unless an extension of time is applied for and granted by the Council, or unless otherwise allowed for within a phasing agreement.
- 3.2.5 Following preliminary plat approval, the applicant shall install improvements as required under Section 5 of this Ordinance and by the Commission, Hearing Examiner, or Council. A separate fee for inspection of improvements by City personnel shall be paid by the Developer before the final plat is recorded or any posted security released. Before the inspection, the Developer shall provide the City with the cost estimate of the subdivision improvements that require inspection by city personnel. Upon review and approval of the

cost estimate by the City Engineer, the Developer shall pay to the City of Hailey \$1,000 or 1.5% of the estimated cost, whichever is greater, as a fee for the inspection of the subdivision improvements and other related services.

3.3 Final Plat Approval.

The final plat, prepared by a Professional Land Surveyor, must be submitted within one (1) calendar year from the date of approval of the preliminary plat, unless otherwise allowed for within a phasing agreement or as otherwise provided herein. Plats not submitted for final approval within one (1) year or according to the phasing agreement, shall be considered expired and preliminary plat approval shall become null and void. The Council may extend the deadline for submitting the final plat upon holding a public hearing.

- 3.3.1 The applicant shall submit six (6) copies of the final plat. The Administrator shall place the application for final plat approval on the next Council agenda for which space is available and all notice requirements can be met.
- 3.3.2 The Administrator shall review the final plat application to ensure that the application submitted is consistent with the approved preliminary plat. The conditions imposed on the preliminary plat approval must be either completed or shown on plans or the plat prior to any public notice for final plat approval.
- 3.3.3 The Administrator shall place public notice of the application and public hearing in a newspaper of general circulation, and to owners of property located within three hundred (300) feet of the boundaries of the proposed subdivision, and all easement holders within the subject property, no less than fifteen (15) days prior to the scheduled date of hearing.
- 3.3.4 The Council shall hold a public hearing and approve, conditionally approve, or deny the final plat application. In the event that the Council finds that final plat does not substantially conform to the approved preliminary plat, the Council shall consider the plat an amended preliminary plat and remand it to the Commission or Hearing Examiner for preliminary plat review.
- 3.3.5 The Administrator shall ensure that any conditions imposed by the Council, or required by this Ordinance, shall be met by the applicant prior to signature of the plat sheets for the purpose of recordation. Any final plat must be recorded within one (1) calendar year of the date of final plat approval, unless otherwise allowed for within a phasing agreement. Plats not recorded within one (1) year from the date of approval by the Council, or according to the phasing agreement, shall be considered expired and such approval shall become null and void. The Council may extend the deadline for recording the plat upon holding a public hearing.

The final plat submitted for signature shall conform to the requirements found in Idaho Code §§50-1301 *et seq.*, as amended, and to the requirements set forth by Blaine County for digital plat submittals. The plat shall also contain the following information:

The exterior boundary of the subdivision shall be tied to not less than two (2) recognized County or City survey monuments, and the plat shall identify the monuments and other information as necessary to comply with Blaine County's requirements for digital plat submittals.

All lots shall be numbered by progressive numbers in each block separately; blocks shall also be numbered consecutively throughout all adjoining plats of the same master name.

The size of each lot shall be shown in both square feet and acres.

All plat notes required by the Council shall be shown on the face of the plat.

Upon the back sheet(s), the required forms shall be lettered for the following: Registered Professional Engineer and/or Land Surveyor's "Certificate of Survey"; owner's dedication certificate with Notary Public's Acknowledgment; the approval of the Mayor and Council of Hailey as attested by the City Clerk; approval by the City Engineer and other certificates required by Idaho Code; and acceptance of the plat by the Blaine County Recorder's and Blaine County Treasurer's offices.

The final plat shall be accompanied by copies of any private restrictions proposed to be recorded for the purpose of providing regulations governing the use, building lines, Green Spaces or any aspect of their development, use and maintenance.

Any approved Area Development Plan for contiguous parcels shall be recorded concurrently with the final plat.

- 3.3.6 The Administrator shall ensure that any conditions imposed by the Council shall be met by the applicant prior to signature of the plat sheets for the purpose of recordation. Thereafter, the City shall release either the signed plats or the performance bond upon the application by the Developer. The applicant shall provide one full-size copy of the recorded final plat.
- 3.3.7 The Developer may, in lieu of actual construction, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering and the improvements not previously installed by the Developer, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.

3.4 Short Plat Procedure.

3.4.1 Applications for division of property which create four or fewer residential building parcels, two non-residential parcels, and applications for platting townhouse or condominium units in existing or approved structures, can, at the sole discretion of the Administrator, be reviewed through an abbreviated process. This process shall be known as a short plat procedure. The process shall be as follows:

3.4.2 Short plat applications shall be heard by the Hearing Examiner, except that the Administrator and Chair of the Commission, jointly, shall have discretion and authority to refer a short plat application to the Commission. The Developer shall submit the preliminary plat to the Hearing Examiner or Commission for approval. The Hearing Examiner or Commission shall hold a public hearing and approve, conditionally approve, or deny the preliminary plat application. The preliminary plat application shall meet all criteria established in this Ordinance.

3.4.3 Following the preliminary plat approval or conditional approval by the Hearing Examiner or the Commission, as required under this Ordinance, the applicant may submit a final plat to be noticed for a public hearing at the next available meeting of the Council. The Council shall hold a public hearing and approve, conditionally approve, or deny the final plat application. The final plat application shall meet all criteria established in this Ordinance.

3.4.4 Notwithstanding exceptions for the abbreviated process granted herein, short plats shall be required to meet all other requirements of this Ordinance.

3.5 Suspension of applications.

Upon adoption by the Council of an ordinance specifying good cause therefore, including without limitation the absence of additional water or sewer capacity or other circumstances indicating that additional development would negatively affect the welfare of the residents of Hailey, the consideration and approval of new subdivisions may be suspended. Any such suspension or moratorium may be lifted by the adoption of a further ordinance upon determination that the circumstances requiring the suspension have been remedied or no longer exist, or may automatically expire in accordance with the original ordinance.