

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, March 10, 2014
Hailey City Hall
5:30 p.m.

Call to Order

Public Comment for items not on the agenda

Consent Agenda

- CA 1 Motion to approve minutes of February 24, 2014 special meeting
- CA 2 Motion to approve Findings of Fact and Conclusions of Law for a Conditional Use Permit application from Chateau Discount Outlet, represented by Ken Sangha, for operating a Wholesale Distributor on Friedman Park Subdivision, Lot 11A, Block 2 (otherwise known as 960 South Main Street) which is located in the Limited Business (LB) Zone.

New Business and Public Hearings

- NB 1 Consideration of a Design Review application by Hailey Ice Inc., represented by Chris Benson and Shaun Kelly, for Design Review of a newly constructed outdoor ice rink to be located within the Hailey Townsite, Lots 22-24 of Block 126, Lots 10-12 and 20-22 of Block 127, Lots 13-17 of Block 135 and all Lots within Block 134 (771 Main Street South), within the Limited Business (LB) and Townsite Overlay (TO) Zoning Districts.
- NB 2 Consideration of a Design Review application by Jonathan Marvel for Design Review of a garage addition to an existing accessory structure, to be located at Hailey Townsite, Lots 1-4 of Block 36 (316 East Bullion Street), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts.
- NB 3 Public Workshop
Consideration of a City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by amending Section 5.4 by changing Schools from Permitted uses to Conditional Uses in General Residential (GR), Business (B), and Limited Business (LB) districts and add Schools as Conditional Uses in SCI-O and SCI-I. The amendment also proposes changes to Section 9.4 to amend parking requirements for Institutional Uses and Section 11 to require siting and evaluation standards for consideration of a School as part of a Conditional Use Permit.

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

- SR 1 Discussion of current building activity and upcoming projects

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

SR 2 Discussion of the next Planning and Zoning meeting: Monday, April 14, 2014
 (no documents)

Adjourn

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

**MINUTES OF THE
HAILEY PLANNING & ZONING COMMISSION
Monday, February 24, 2014
Hailey City Hall
5:30 p.m.**

Present: Jay Cone, Owen Scanlon, Regina Korby
Staff: Micah Austin, Kristine Hilt, Ned Williamson
Absent: Janet Fugate

Call to Order

[5:35:08 PM](#) Chair Cone called the meeting to order.

Public Comment for items not on the agenda

[5:36:42 PM](#) Julia Dupois stood and thanked the Commission for circulating a sign in sheet and calling out that the sheet was indeed a sign in sheet. No other comment was offered.

Consent Agenda

CA 1 ——— Motion to approve minutes of February 10, 2014 regular meeting

[5:38:13 PM](#) Regina Korby motioned to approve the consent agenda. Owen Scanlon seconded and the motion passed unanimously.

New Business and Public Hearings

NB 1 ——— ~~Public Workshop~~

~~Consideration of a City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by amending Section 5.4 by changing Schools from Permitted uses to Conditional Uses in General Residential (GR), Business (B), and Limited Business (LB) districts and add Schools as Conditional Uses in SCI O and SCI I. The amendment also proposes changes to Section 9.4 to amend parking requirements for Institutional Uses and Section 11 to require siting and evaluation standards for consideration of a School as part of a Conditional Use Permit.~~

[5:39:30 PM](#) Chair Cone briefed the audience on workshop formulation and organization. He added how the structure of the workshop should proceed. [5:40:31 PM](#) Micah Austin summarized the parking research portion of the staff report submitted to the Commission. Micah went on to summarize parking requirements for schools throughout the state of Idaho based on City codes researched. He added that the text addressing parking in the current City of Hailey code was not changed and that discussion with the Commission in regards to those requirements should commence. [5:45:06 PM](#) Micah Austin summarized additional public comment that was received prior to the meeting along with updates to the proposed text amendment for the Commission. [5:47:31 PM](#) Ned Williamson briefed the Commissioners on changes of the previously proposed text amendment including definitions, zoning requirements, parking requirements, application submittal, enrollment, and condition use permitting requirements. [5:57:15 PM](#) Micah Austin added that the local school district read and approved of the current changes in regards to conditional use requirements. [5:57:49 PM](#) Ned Williamson went on to summarize changes and included requirements on collector streets, local infrastructure improvements, traffic, parking, fencing, and landscaping. [6:01:30 PM](#) Micah Austin added information about new requirements for collector streets. [6:02:46 PM](#) Chair Cone asked for public comment about the changes presented by Ned Williamson and Micah Austin. Discussion between City staff, Commissioners and audience members commenced. Discussion included parking requirements and ratios, bussing, and assembly areas. Discussion went on to include schools that do not designate nor set

aside assembly areas. [6:15:18 PM](#) Chair Cone added that the proposed parking space requirements may be inadequate. Discussion continued to include possible solutions and options for parking requirements and assembly designation. [6:18:08 PM](#) Susan McBryant, Hailey, suggested direction for the Commissioners for parking requirements. Micah Austin added information from research he conducted on neighboring Idaho Cities. [6:19:25 PM](#) Owen Scanlon inquired about required land for school uses and square footage. Micah Austin answered with information from his research including requirements for Pocatello, Idaho schools based on their code. Discussion continued on acreage requirements for schools and fencing. [6:24:32 PM](#) Chair Cone continued to push forward on changes throughout the document. Discussion went on to include application and staff requirements for school and proposed plans. [6:29:26 PM](#) Commissioners and staff discussed effectiveness of a checklist and requirements that may be missing upon submittal. Micah Austin informed the Commissioners and audience members about current City checklists along with problems associated with them. [6:32:27 PM](#) Discussion included requirements for building codes for residences versus commercial buildings including schools, checklists guidelines, and application submittal requirements. [6:40:16 PM](#) Discussion continued to include charter requirements and information, definitions of terms including “gross square footage”, and parking loads and requirements. Public inquired about possibilities of taxpayers having to bail out unfinished public school projects. Ned Williamson answered that he was not completely certain. [6:52:14 PM](#) Discussion continued to cover traffic to and from schools, traffic studies and patterns, pedestrian traffic, water usage requirements, and lack of language in certain areas of text. [7:02:22 PM](#) Ned Williamson and the Commission discussed proposed intent for terms including use, space, student addition, square footage and requirements under each term. [7:06:08 PM](#) Commissioners expressed concern about language in relation to parking requirements in conjunction with additions of square footage and student enrollment. [7:11:10 PM](#) Discussion continued to include requirements for existing schools applying for conditional use permits, building footprint definition of primary versus secondary structures, and parking requirements for each. [7:16:41 PM](#) Susan McBryant added her concerns about proximity of schools to neighboring residential buildings. She added suggestions about standards for buffering residential zones. Discussion between Commissioners and Staff addressed Susan’s suggestions and options for each. [7:25:35 PM](#) Susan McBryant added concerns about the need for Commissioners to conduct site visits for schools applying for conditional use permits. [7:31:27 PM](#) Discussion continued to include requirements for noticing surrounding property owners, mandatory Commission site visits and opportunities presented with them. Commission commented that they feel that site visits are useful but should not be mandatory. [7:33:11 PM](#) Julia Dupois addressed public notice and size requirements in local papers. She requested larger notices in the local newspaper. Commissioners and audience members continued to discuss responsibilities of local community member’s civic duty and requirements for noticing. [7:38:08 PM](#) Chair Cone notified the audience members that the Commission addressed projects in terms of use, scope, and noticing requirements in meetings after hearing large concern about noticing from community members. Discussion continued to include concern about buffer zones in neighborhoods. [7:46:17 PM](#) Tony Evans, Idaho Mt. Express, inquired about staff direction in regards to areas of the text amendment that were not clear or decided upon. Chair Cone answered that the unresolved issues needed to be drafted and worked upon in the near future and revisited at a future date. [7:49:37 PM](#) Regina Korby inquired about shared parking agreements and written consent. Ned Williamson added that the City shared parking requirements covered written consent agreements. [7:50:56 PM](#) **Owen Scanlon motioned to continue the topic to the next Planning & Zoning meeting on March 10, 2014. Regina Korby seconded and the motion passed.**

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

~~SR 1 — Discussion of current building activity and upcoming projects~~

~~SR 2 — Discussion of the next Planning and Zoning meeting: Monday, March 10, 2014
(no documents)~~

[7:51:48 PM](#) Micah Austin notified the Commissioners of the upcoming meeting topics for March 10, 2014. Commissioners continued to discuss notification of the Hailey Ice application and decided that the project had sufficient noticing.

Adjourn

[7:55:36 PM](#) Regina Korby motioned to adjourn. Owen Scanlon seconded and the motion passed.

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On February 10, 2014, the Hailey Planning and Zoning Commission considered an application for a Conditional Use Permit submitted by Airport LLC, represented by Ken Sangha, for the operation of a Wholesale Distributor located at 960 S. Main Street (Lot 11A, Block 2, Friedman Park Subdivision) within the Limited Business (LB) zoning district. According to §5.4 of the Zoning Ordinance, a Wholesale Distributor requires a Conditional Use Permit in the Limited Business (LB) District. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision

FINDINGS OF FACT

Public Hearing

On February 10, 2014, the Hailey Planning and Zoning Commission held a public hearing to consider an application for a Conditional Use Permit submitted by Airport LLC, represented by Ken Sangha, for the operation of a Wholesale Distributor located at 960 S. Main Street (Lot 11A, Block 2, Friedman Park Subdivision) within the Limited Business (LB) zoning district.

Notice

Notice for the public hearing on February 10 was sent to the Mt. Express on January 17 and published in the Mountain Express on January 22, 2014. Notices were mailed to the adjoining property owners on January 17 and the property was posted on January 24, 2014.

Application

Airport LLC, represented by Ken Sangha, submitted a Conditional Use Permit application for the operation of a Wholesale Distributor located at 960 S. Main Street (Lot 11A, Block 2, Friedman Park Subdivision). The existing building is 3,600 square feet. The property is located in the Limited Business (LB) zoning district and is proposed to be used as a Wholesale Distributor of furniture. According to §5.4 of the Zoning Ordinance, a Wholesale Distributor requires a Conditional Use Permit in the Limited Business (LB) District.

General Requirements for all Conditional Use Permits					
Compliant			Standards and Commission Findings		
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.2.2	<p>Complete Application:</p> <p>11.2.2 The application shall include at least the following information:</p> <ul style="list-style-type: none"> a. Name, address, and phone number of the applicant. b. Proof of interest in the subject property by the applicant, such as a deed, contract of sale, option to purchase, or lease agreement. c. Legal description of the subject property, including street address. d. Description of existing use. e. Zoning district of subject property. f. Description of proposed conditional use. g. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, traffic access and traffic circulation, open spaces, easements, existing and proposed grade, energy efficiency considerations, landscaping, exterior lighting plan as required by Article VIII B of this Ordinance, refuse and service areas, utilities, signs, property lines, north arrow, and rendering of building exteriors, where applicable. h. A narrative statement evaluating the effects on adjoining property, the effect of such elements as noise, glare, odor, fumes, and vibration on adjoining property. i. A narrative statement identifying surrounding land uses and discussing the general compatibility of the proposed use with adjacent and other properties in the district. j. A narrative discussion of the relationship of the proposed use to the Comprehensive Plan. k. A list of the names and addresses of all property owners and residents within three hundred (300) feet of the external boundaries of the land being considered. l. Any other information as requested by the Administrator to determine if the proposed conditional use meets the intent and requirements of this Article. m. A fee established in a separate ordinance approved by the Council. 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department and Boards/Commissions Comments	<p>Engineering:</p> <ul style="list-style-type: none"> - See comments below from Water/Sewer and Streets. 	
				<p>Life/Safety:</p> <ul style="list-style-type: none"> - Police Department <ul style="list-style-type: none"> o No concerns - Fire Department <ol style="list-style-type: none"> 1. This business would be a change of use which would require the property to be brought up to current codes and standards. 2. The existing fire systems would have to be repaired or removed. 3. The west side of the building is built on the current property line and would require a four hour fire wall or working fire sprinkler system. (city code) 4. With the above concerns addressed, the Fire Prevention Department is okay with moving forward with the CUP, but a proper analysis of 	

				<p>the building will have to be done prior to any business operating out of the building.</p> <p>Water and Sewer:</p> <ul style="list-style-type: none"> - The water is off at the meter for this property. - In 2013, the City Water Department was sent to the building to turn the water on and found there was a leak on the property. After meeting with someone who could get into the building, they found the leak was inside and had us turn the water back off. The leak may not have been fixed and is the responsibility of the property owner. <p>Building:</p> <ul style="list-style-type: none"> - A change of use would be required for this proposed use - All areas accessible to the public will require ADA improvements prior to issuance of a Certificate of Occupancy. - No commercial activity may proceed without the issuance of a Certificate of Occupancy. <p>Streets:</p> <ul style="list-style-type: none"> - No concerns. <p>Boards and Committees:</p> <ul style="list-style-type: none"> - No concerns.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	<p>8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p>
			<i>Commission Findings</i>	<ul style="list-style-type: none"> - <i>No sign permit has been filed and sign is proposed as part of this application.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	<p>8B.4.1 General Standards</p> <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Commission</i>	<ul style="list-style-type: none"> ● <i>All new and existing lighting shall comply with Hailey's Outdoor Lighting</i>

			<i>Findings</i>	<i>Ordinance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4.8 A On-site Parking Req.	<p>See Section 9.4 for applicable code.</p> <ul style="list-style-type: none"> - Require 1 space for every teacher or employee or 1 space for every two person rated capacity of all assembly areas, whichever is greater.
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • <i>Building is 3,600 square feet, requiring a minimum of 1 space per 1,000 square feet of building. Thus, the minimum required is four (4) spaces. There is more than adequate asphalt available for parking at this location, however there is no landscaping to screen the parking areas.</i> • <i>The applicant has indicated that he could provide up to 12 spaces if necessary, however no spaces are currently painted.</i> • <i>If the Commission allows the applicant to install 12 parking spaces, the applicant must meet four of the following criteria. Italics indicates items they could currently comply with:</i> <ul style="list-style-type: none"> ○ <i>The excess parking area will be commonly used for public interests such as park and ride or car pool lots. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.</i> ○ <i>The excess parking area provided would relieve or help to relieve a substantial shortage of parking within an 800 foot radius. (Possible overflow parking from Rodeo Arena)</i> ○ <i>The excess parking area will not be adjacent to a public right - of way, and will be separated from the right-of-way by a building.</i> ○ <i>The excess parking area is part of an overall development scheme which compensates for insufficient parking in other portions of the same development.</i> ○ <i>The excess parking area will be used as an alternate facility, such as a basketball court or skateboard park, when not in use as an overflow parking area. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.</i> ○ <i>The excess parking area will be surfaced with an alternative and attractive material.</i> • <i>All parking spaces shall meet City Standards and provide adequate spaces for the amount of usage the building will receive.</i> • <i>The site is entirely devoid of landscaping, which exposes all parking areas and all elements of the building with no buffering whatsoever. Staff recommends a landscape and buffering requirement if the Commission allows the 12 parking spaces as presented.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (B)	<p>B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.</p>
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • <i>Not Applicable</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4.8 (C)	<p>C. If the site is not serviced by an alley, access shall be from a single approach to the</p>

				street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • Access to Highway 75 will be from a single approach, as seen on the site plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4.8 (D)	D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • Vehicles entering or leaving the parking area will be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street. • The City Engineer has reviewed the site plans and approves of the egress/ingress plan.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (E)	E. Access for subdivisions shall be provided in accordance with standards set forth in Section 4 of the Subdivision Ordinance.
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • Not applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (F)	F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • Not applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (G)	G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus “stacking” the parking area. For non-residential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • Not applicable
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Article 5.4: Bulk Requirements	Limited Business (LB) District: <ul style="list-style-type: none"> - Minimum Lot Size: 6,000 ft - Maximum Lot Width: 50 - Maximum Building Height: 35 - Front Setback: 20 ft - Side and Rear Yard Setback: 10 feet
			<i>Commission Findings</i>	<ul style="list-style-type: none"> - Existing building meets all bulk requirements except for on the west side of the property. There is some question as to where the property line is located in relation to the existing building. The applicant should supply documentation as to the correct location of the property line prior to issuance of a Building Permit. The land use records show the property line running through the existing building, although this would need to be verified/dispelled by a record of survey.

Section 11.4 Criteria for Review of Conditional Use Permits					
Compliant			Standards and Commission Findings		
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.1	Compliance with the Comprehensive Plan 11.1 Purpose. The City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.	
			<i>Commission Findings</i>	This application complies with the following goals and objectives of the Comprehensive Plan <ul style="list-style-type: none"> • Goal 6.1: Economic Development“ <ul style="list-style-type: none"> ○ Encourage a diversity of economic development opportunities within Hailey.” ○ This use will provide 1 full-time jobs ○ Initial employees would be based out of this facility immediately ○ Within six months to one year, 6 FTE will be based out of this facility. • Goal 6.2: Economic Development <ul style="list-style-type: none"> ○ “Encourage abundant, competitive, and career-oriented opportunities for young workers” ○ The jobs created will be sale oriented and can be scaled for a variety of employee skills and talents. 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(a)	11.4.1 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location: <ol style="list-style-type: none"> a. Will, in fact, constitute a conditional use as established for the zoning district involved; and 	
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • According to §5.4 of the Zoning Ordinance, Wholesale Distributors currently require a Conditional Use Permit in the Limited Business (LB) zone. The owner, Ken Sangha, reports that he would like to distribute furniture at wholesale costs to the public. The business will not be a retail establishment, focusing entirely on wholesale distribution. 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(b)	b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;	
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • The proposed use will be a Wholesale Distributor with periodic visit from customer, vendors, and for deliveries. Specifically, they will be storing and selling furniture, merchandise, and other items to the public from this location. Currently, there are no Wholesale Distributor adjacent to this project, however there are similar uses found in the vicinity along Airport Rd and 4th Avenue. 	

				<ul style="list-style-type: none"> The facility and site is currently vacant but may be used as a storage facility for the owner's personal items. The current design is that of a warehouse with few aesthetic features of note. Any improvement to the façade of the building would be acceptable, given the building does not match the aesthetic appeal of other surrounding buildings. The proposed use is not anticipated to detract nor change the intended character of the area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(c)	<p>c. Will not be hazardous or disturbing to existing or future neighboring uses;</p> <p><i>Commission Findings</i></p> <ul style="list-style-type: none"> Traffic to and from the building will be based on deliveries and customer volume, especially during the daytime hours of operation. Located adjacent to Highway 75 and the Airport is the appropriate location for a use with this degree of traffic.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(d)	<p>d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and</p> <p><i>Commission Findings</i></p> <ul style="list-style-type: none"> No concerns
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(e)	<p>e. Will not create excessive additional requirements at public cost for public facilities and services; and</p> <p><i>Commission Findings</i></p> <ul style="list-style-type: none"> At this time, no additional cost will be incurred from any public agencies for this facility to function and operate.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(f)	<p>f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and</p> <p><i>Commission Findings</i></p> <ul style="list-style-type: none"> No externalities are anticipated by this use. This application has been reviewed by all city departments and there have been no issues.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(g)	<p>g. Will have vehicular approaches to the property which shall be designed so as not to create an interference with traffic on surrounding public thoroughfares;</p> <p><i>Commission Findings</i></p> <ul style="list-style-type: none"> Property is accessed via Highway 75 There will be an increase in traffic to this location, particularly with customers entering and leaving the property but also with deliveries throughout the week. Highway 75 is designed for extremely high traffic volumes, is maintained by the State of Idaho, and driveway access has already been provided for this facility off of the highway. This is not anticipated to place a burden on traffic on

				<i>surrounding public thoroughfares.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(h)	<p>b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;</p>
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • <i>Proposed property does not contain a natural, scenic, or historic feature or structure and will be utilizing an existing facility that has landscaping and features already in place.</i>

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 11.3 was sent out to the public and all other required entities.
2. The project, as submitted to the City of Hailey on December 31, 2013 and as presented by Mr. Ken Sanghan on February 10, 2014, will not jeopardize the health, safety, or welfare of the public.
3. The Planning and Zoning Commission has reviewed the project according to the criteria established in Section 11.4 of the Zoning Ordinance and finds the project in compliance with these criteria and in compliance with the Comprehensive Plan.

DECISION

The Design Review application for a Conditional Use Permit submitted by Airport LLC, represented by Ken Sangha, for the operation of a Wholesale Distributor located at 960 S. Main Street (Lot 11A, Block 2, Friedman Park Subdivision) within the Limited Business (LB) zoning district is hereby approved, subject to the following conditions:

- a) All Fire Department and Building Department requirements shall be met in regard all maintenance, administrative, and other functions of this facility.
- b) Landscaping shall be added to the property to buffer the parking and building from Highway 75. Staff must review and approve a landscaping plan to be submitted by the applicant but no further review is necessary by the Hailey Planning and Zoning Commission.

Signed this _____ day of _____, 2014.

Jay Cone, Chair

Attest:

Kristine Hilt, Community Development Coordinator

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on the _____ day of _____, 2014,
I served a true and correct filed copy of the within and foregoing document upon the parties
named below, in the manner noted:

<input type="checkbox"/>	U.S. Mail	Airport LLC ATTN: Ken Sangha PO Box 9200 Ketchum, Idaho 83340 C/O Ken Sangha kensangha@gmail.com
<input type="checkbox"/>	Via Electronic Mail	
<input type="checkbox"/>	Via Facsimile	
<input type="checkbox"/>	Hand Delivered	

CITY OF HAILEY

By _____
Kristine Hilt, Community Development Coordinator

**DESIGN REVIEW
STAFF REPORT**

TO: Hailey Planning and Zoning Commission

FROM: Micah Austin, Community Development Director

RE: Public Hearing and consideration of a Design Review application by Hailey Ice Inc., represented by Chris Benson and Michael Bulls, for Design Review of a newly constructed outdoor ice rink to be located within the Hailey Townsite, Lots 22-24 of Block 126, Lots 10-12 and 20-22 of Block 127, Lots 13-17 of Block 135 and all Lots within Block 134 (771 Main Street South), within the Limited Business (LB) and Townsite Overlay (TO) Zoning Districts.

HEARING: March 10, 2014

Applicant: Hailey Ice Inc., represented by Chris Benson and Michael Bulls of RLB

Request: Design Review for new construction of an outdoor ice rink/arena.

Location: Hailey Townsite, Lots 22-24 of Block 126, Lots 10-12 and 20-22 of Block 127, Lots 13-17 of Block 135 and all Lots within Block 134 (771 Main Street South)

Zoning: Limited Business (LB), and within the Townsite Overlay (TO)

Notice

Notice for the public hearing was published in the Idaho Mountain Express on February 19, 2013 and mailed to property owners within 300 feet on February 19, 2013

Application

Construction of an outdoor ice arena to utilize the existing foundations poured and abandoned several years ago by Hailey Ice when funds did not materialize to build a fully enclosed ice arena. This application may be considered as Phase 1 of two phases where the second and final phase would be to build a full enclosed arena as originally planned. The application is for a three buildings totaling 3,935 square feet of conditioned and unconditioned space along with a 17,000 square foot ice rink. The three proposed buildings are: 1) Ice Plant Building; 2) Locker Room Building; and 3) Players' Bench Building. Except for the Ice Plant Building, the structures will be removed when Hailey Ice is in a position to build a fully enclosed arena, as originally proposed several years ago. Pending approval, construction on this

project would commence as soon as possible with the goal of opening an operational facility for the 2014-2015 winter and hockey seasons.

Procedural History

On March 10, 2014, a public hearing was held before the Hailey Planning and Zoning Commission on an application submitted by Hailey Ice for and 17,000 square foot ice rink with three accessory buildings.

General Requirements for all Design Review Applications					
Compliant			Standards and Staff Comments		
Yes	No	N/A	City Code	City Standards and Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department and Boards/Commissions Comments	Engineering: - All concerns have been addressed in the most recent draft of the site plan	
				Life/Safety: - Police Department <ul style="list-style-type: none"> o No concerns with the overall proposal, design, and layout o Graffiti Wall <ul style="list-style-type: none"> ▪ There are concerns over a “graffiti wall” and the Police Department is against it ▪ Law enforcement studies show that graffiti walls do not reduce graffiti and have been shown to increase the prevalence of graffiti in some cases ▪ The following was taken from information submitted by the Chief of Police: <ul style="list-style-type: none"> • “While well intentioned, legal [graffiti] walls send a mixed message and often cause more harm than good. They may appear to work at first, but after a period of time, the surrounding areas also become covered with graffiti.” 	
				- Fire Department <ul style="list-style-type: none"> o The Fire Department has reviewed all plans and proposed facilities. All concerns have been met up to this point. 	
				Water - No concerns Sewer - No issues with sewer since they are proposing portable units - Concern with disposing of melted rink water: If they have to drain the rink for some reason, where will this ice melt rink water go? It would not be allowed into the sewer system but probably could be put into a storm drain or out into the fields north of the rink. Just need clarification on this.	

				<p>Building:</p> <ul style="list-style-type: none"> - Restroom facilities must be provided when Hailey Ice is operating the rink for hockey or other public gatherings. - This requirement can be achieved with portable bathrooms or a permanent structure.
				<p>Streets:</p> <ul style="list-style-type: none"> - Hailey Ice will be responsible for all snow/ice removal on the sidewalk directly adjacent to their building
				<p><u>Boards and Commissions</u></p> <p>Tree Committee:</p> <ul style="list-style-type: none"> - Landscaping should be added to the site with trees placed along the front of the building - Trees should be chosen from the Wood River Tree guide or as approved by the Hailey Tree Committee <p>Parks and Lands Board</p> <p>Hailey Parks and Lands Board had three concerns:</p> <ol style="list-style-type: none"> 1. Graffiti wall too close to Hailey Elementary and Skatepark 2. It appeared that there is no setback met between the ice rink and Blaine Manor property. <i>(Staff Response: The setback is 15' and this complies with the bulk requirements.)</i> 3. There was concern that no access to the skatepark is left on the west side of the property. <p>Discussion of creating access from Highway 75, through the fence, was held.</p> <p>Hailey Arts and Historic Preservation Commission:</p> <ul style="list-style-type: none"> - A public art component should be added to the front of the building, perhaps as a public “graffiti” art wall (see PD comment above regarding a graffiti wall) - Any fencing or infrastructure components should incorporate public art into the design, including lighting, shade poles, benches, and other site infrastructure - The following are suggestions on how to incorporate public art into the site planning and design: <ul style="list-style-type: none"> o 1. An artistic fence - There is currently a chain link fence designed to separate the rink from the skate park. This fence will be the backdrop visual anchor from the road. Can we turn a negative to a positive and make the fence more interesting either through plastic pieces woven through in a design, get kids involved in the creation of an art piece here in or on the fence, etc. etc. Could the fence be a "donor wall" for future fundraising for the site where we come up with a design for placing donor objects into

				<p>the fence and the art reflects the campaigns' progress to attain its goal?</p> <ul style="list-style-type: none"> ○ 2. The large shade covers over the rink itself - they are currently just grey netting. Colored nettings? Patterned? ○ 3. Pedestrian walkway in front of rink - can we add interesting paver placement at no real new cost? ○ 4. Signage/Way Finding - if any new signs go in, can they be made to be interesting, artistic and reflect the different components of the rodeo grounds? ○ 5. Pedestrian access - could we paint footsteps or shadows into the paving or crosswalks etc. to guide the right pedestrian flow but do something interesting...or embed a design? 																								
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	<p>8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p>																								
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>A possible sign location is proposed on the site plan. The sign location and design is not finalized and will be submitted with an application for a sign permit at a later date.</i> - <i>With no plans for a sign submitted but the intention to install a sign, the Commission may consider a requirement to present the sign permit on the Consent Agenda when that is filed.</i> 																								
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	<p>See Section 9.4 for applicable code.</p>																								
			<i>Staff Comments</i>	<p><i>Existing, previously approved, parking calculations are located on the Site Plan and represent what was built for all of Werthheimer Park's facilities. The occupancy rating for the original proposal was calculated at 400. Parking was planned according to this figure, based on Section 9.4.2.</i></p> <p>The following chart shows what was original approved and built for Ice Rink and all of Werthheimer Park:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Facility</th> <th>Size of Use</th> <th>Factor</th> <th>Parking Required</th> </tr> </thead> <tbody> <tr> <td>Ice Rink</td> <td>400 people</td> <td>1 space per 4.5 people</td> <td>89</td> </tr> <tr> <td>Interpretive Center</td> <td>2,160 sq. ft.</td> <td>1 space per 1,000 sq. ft.</td> <td>2</td> </tr> <tr> <td>Multi-Use Event Arena</td> <td>67,744 sq. ft.</td> <td>1 space per 5,000 sq. ft.</td> <td>13</td> </tr> <tr> <td>Skate Park</td> <td>41,142 sq. ft.</td> <td>1 space per 5,000 sq. ft.</td> <td>8</td> </tr> <tr> <td>Total</td> <td></td> <td></td> <td>112</td> </tr> </tbody> </table>	Facility	Size of Use	Factor	Parking Required	Ice Rink	400 people	1 space per 4.5 people	89	Interpretive Center	2,160 sq. ft.	1 space per 1,000 sq. ft.	2	Multi-Use Event Arena	67,744 sq. ft.	1 space per 5,000 sq. ft.	13	Skate Park	41,142 sq. ft.	1 space per 5,000 sq. ft.	8	Total			112
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Total Winter Time	Minus Skate Park and Multi-Use Event Arena	91					
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>9.4.7 (A) Bicycle Parking Req.</p> <p>All multi-family residential and commercial development including new construction and additions, must provide at least three (3) bicycle parking spaces or bicycle spaces equivalent to twenty five (25%) of the required number of vehicle parking spaces, whichever is greater</p>	<p>Staff Comments</p> <ul style="list-style-type: none"> - The applicant has indicated that 112 parking spaces are required, which requires 28 bicycle parking spaces. - Currently, only 8 bicycle parking spaces are provided at the Welcome Center - The applicant does not have any bicycle parking spaces shown on the plans and does not comply with this requirement. - The original approval of this project stated the following in regards to bicycle parking, with the sections highlighted addressing the ice rink: <ul style="list-style-type: none"> o 32 bicycle parking spaces are provided by one rack in each of the following locations (8 spaces per rack): south wall of interpretive center, south wall of the ice rink (main entrance), north wall of the ice rink (main entrance), and east wall of the ice rink (restroom entrance). 75% of the bicycle parking surrounds a facility that will predominately be used during the winter, whereas only 25% of the spaces are proposed outside of an area that will predominately used during snow-free months, when cyclists are prevalent. It is a condition of approval that the bike racks and their proposed location comply with the bike rack City Standards and that some of the bicycle spaces required be provided adjacent to the arena or interpretive center. 			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>8B.4.1 Outdoor Lighting Standards</p>	<p>8B.4.1 General Standards</p> <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator. 			
			<p>Staff Comments</p>	<ul style="list-style-type: none"> - A photometric study is included and is shown on the exterior lighting plan. That study indicates zero or close to zero light levels (foot candles) at the adjacent property lines. 			

				<ul style="list-style-type: none"> - <i>Lighting specifications are shown on the exterior lighting plan and meet the requirement of Section 8B</i> - <i>Lighting proposed are:</i> <ul style="list-style-type: none"> o <i>Type A: Surface mount wall fixture shall be downlit with full cut-off to prevent light trespass</i> o <i>Type B: Overhead post mount sports fixture shall be shielded with tip visor to mitigate light trespass</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<ul style="list-style-type: none"> - <i>Existing sidewalk and drainage improvements are already installed for the majority of Werthheimer Park, but no pedestrian sidewalk currently exists adjacent to the proposed ice rink.</i> - <i>The applicant proposes to continue the existing concrete sidewalk adjacent to the skate park with concrete pavers to provide an accessible route to the entrance of the outdoor ice rink. Refer to Site Plan.</i> - <i>Sidewalk pavers continue to the entrance</i> - <i>All other area of pedestrian access utilize compacted gravel instead of concrete and/or pavers</i> - <i>The applicant has indicated that compacted gravel and pavers are proposed to save cost in constructing the rink.</i> - <i>Staff recommends a concrete sidewalk along the full length of the building to accommodate pedestrian access from the parking lot.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Req.	4.13.6 Bulk Requirements.
			Staff Comments	<p style="text-align: center;">a. Minimum Lot Size –</p> <p>Limited Business, Transitional, General Residential districts: 4,500 square feet.</p> <p>Original Townsite Lots that are slightly less than 3,000 square feet (in blocks where lots are 25 feet wide) or 3,600 square feet (in blocks where lots are 30 feet wide) may be rounded up to 3,000 square feet or 3,600 square feet, as the case may be, provided that the original Townsite Lot meets the definition of a Lot of Record.</p>

				<ul style="list-style-type: none">- <i>The property is 5.31 acres or 231,304 square feet.</i>b. Minimum Lot Width – <u>Limited Business, Transitional, General Residential districts: 37.5 feet.</u><ul style="list-style-type: none">- <i>The lot width is 410 feet.</i>c. Maximum Building Height – <u>Limited Business district: 35 feet.</u><ul style="list-style-type: none">- <i>Tallest proposed structure is the ice plant facility at 18' 8 ¼"</i>- <i>Lighting poles will be 35 feet</i>d. Minimum Setbacks in LR, GR, TN, and LB Districts:<ol style="list-style-type: none">1. Setback from any street right-of-way – twelve (12) feet. The following exceptions apply:<ol style="list-style-type: none">a. Unenclosed features of a residence (e.g. front porches, stoops, and decks without walls) shall be no closer than five (5) feet to the lot line. Such features do not include carports.. No garage door shall be within twenty (20) feet of any street right-of-way, as measured from the garage door to the street providing access to the garage.<ul style="list-style-type: none">- <i>The Hailey Ice Rink is located more than 100 feet from the Main Street Right of Way.</i>2. Setback from any alley right-of-way – six (6) feet. There shall be a six (6) feet horizontal separation between any building and a water meter vault. (Water meter vault and water service line locations may be moved at the property owner's expense, subject to notification and approval by the City.)<ul style="list-style-type: none">- <i>There are no alleys adjacent to the Hailey Ice rink project.</i>3. Setback from any Idaho Transportation Department/Wood River Trail right-of-way – five (5) feet. The following exception applies:<ol style="list-style-type: none">a. No garage door shall be within twenty (20) feet of the right-of-way, as measured from the garage door to the right-of-way, where this right-of-way provides access to the garage.<ul style="list-style-type: none">- <i>The ice rink is setback more than 100 feet from the Main Street right of way.</i>
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			<p>4. Setback from property lines abutting other private property --</p> <p>a. Base setback – fifteen percent (15%) of lot width, or 10 feet, whichever is less. However, no such setback shall be less than six (6) feet. (See Table 1)</p> <p>- 10 feet is less than 15% of the lot width. The Ice rink is setback 15 feet from the adjacent property lines.</p>
Title 18: Mobility Design Ordinance Requirements			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>18.06.010 Street Classifications, Types, and Designations</p> <p><i>Staff Comments</i> - The primary access to the site is from Main Street, which is an arterial road classification according to 18.06.010</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>18.06.012 Street Design and Guideline Standards</p> <p><i>Staff Comments</i> - All access drives and sidewalks that connect to roads and sidewalks off-site were completed in previous phases of the construction of Werthheimer Park and comply with the Street Design and Guideline Standards.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>18.06.016 Traffic Calming</p> <p><i>Staff Comments</i> No street improvements are proposed. All improvements are located on-site and off the public right of way.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>18.06.022 Pedestrian Facility Design Guidelines and Standards</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> - No street improvements are proposed. - All improvements are located on-site and off the public right of way. - All required crosswalks and curb cuts for ramps exist on Highway 75
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>18.06.024 Bicycle Facility Design Guidelines and Standards</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> - The applicant is not proposing any bike racks for this ice rink facility, which is intended for winter use. - Bike racks located adjacent to the Welcome Center exist and are available adjacent to other facilities. - See Section 9.4.7 for Bicycle Parking requirements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>18.06.026 Street Tree Guidelines and Standards</p> <p><i>Staff Comments</i> No street trees are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>18.06.028 Streetscape Elements Guidelines and Standards</p> <p><i>Staff Comments</i> No streetscape elements are proposed</p>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey				
1. Site Planning: 6A.8 (A) 1, items (a) thru (n)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1a	a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings <i>Staff Comments</i> - Structures are not to be occupied and are temporary or mechanical in nature.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1b	a. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper. <i>Staff Comments</i> - There is no existing mature landscaping on this site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1c	a. Site circulation shall be designed so pedestrians have safe access to and through the site and to building. <i>Staff Comments</i> - Adequate pedestrian access is provided from the existing on-site parking lot and from Main Street. - A walking path of compacted gravel will also be provided for pedestrians accessing the site from the north.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1d	a. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building. <i>Staff Comments</i> - Trash will be contained within the fence line of the ice rink facility, rather than behind the building. - A temporary dumpster may be utilized for special events and its proposed location is shown on the Site Plan. - The temporary dumpster would be used only when the ice rink is in

				<i>operation</i>		
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1e	a. Where alleys exist, or are planned, they shall be utilized for building services.		
			<i>Staff Comments</i>	- N/A		
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	a. Vending machines located on the exterior of a building shall not be visible from any street.		
			<i>Staff Comments</i>	- No vending machines are proposed.		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	a. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)		
			<i>Staff Comments</i>	- All on-site parking is existing. - The majority of the parking is located between the ice rink and the arena, not between the primary buildings and the sidewalk adjacent to Main Street.		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1h	a. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.		
			<i>Staff Comments</i>	- Access to on-site parking is existing - Access is from Main Street and from the fire lane exiting the site to the north		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	a. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.		
			<i>Staff Comments</i>	- Snow storage areas are existing and are shown on the site plan		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	a. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.		
			<i>Staff Comments</i>	- Site plan shows existing, previously approved, snow storage locations and calculations for Werthheimer Park. - The following chart shows the approved snow storage areas for all of Werthheimer Park		
				Total parking and Circulation Areas	60,787 sq. ft.	
				Total snow storage required (25% of parking and circulation areas)	15,195 sq. ft.	
				Snow Storage Provided		
				Area "A"	1,541 sq. ft.	
				Area "B"	1,447 sq. ft.	
				Area "C"	1,113 sq. ft.	
				Area "D"	1,323 sq. ft.	
				Area "E"	9,932 sq. ft.	
				Total provided	15,356 sq. ft.	

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	a. A designated snow storage area shall not have any dimension less than 10 feet.
			<i>Staff Comments</i>	- Existing snow storage areas are at least 10 feet in any dimension.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	- All snow will be stored and retained on site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	- Snow storage is shown on the plan as hatched areas and does not impede pedestrian access or circulation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	- Existing snow storage areas are at non vegetated areas

2. Building Design: 6A.8 (A) 2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	- The proposed buildings are single story with low slope shed roofs and a flat roof on the ice plan building. - There are no existing adjacent buildings that are similar in size and design to the proposed buildings, thus the proposed buildings are not necessarily “compatible” surrounding buildings. However, all existing uses adjacent to the ice rink are recreational or have a public/semi-public function, which are compatible uses to the proposed ice rink.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2b	a. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	- The elevations are not standard corporate designs.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	a. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	- The buildings are designed to be functional, not to be architectural masterpieces that encourage human activity and interaction. They basic and have a function to perform.

				<ul style="list-style-type: none"> - <i>All proposed building are single story and, with exception of the ice plant building, are designed specifically for the user and the user's activity.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2d	<ul style="list-style-type: none"> a. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>All proposed buildings are located more than 100 feet from Main Street and buffered by the Skatepark and Welcome Center.</i> - <i>All proposed buildings are single story building without any large surfaces or volumes that face the street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2e	<ul style="list-style-type: none"> a. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>The proposed buildings are new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	<ul style="list-style-type: none"> a. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>All proposed buildings shall be sided with board and batt per the submitted siding sample board and other materials and textures are designated on the exterior materials sheet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2g	<ul style="list-style-type: none"> a. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>The proposed exterior materials are shown on the exterior materials sheet and have been selected to be harmonious with the other buildings in the Werthheimer Park.</i> - <i>Neutral tone grays were selected to blend with the rodeo arena buildings and a red accent color for the swing doors was picked to match the Welcome Center.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2h	<ul style="list-style-type: none"> a. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>There are no proposed two story buildings.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2i	<ul style="list-style-type: none"> i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space: <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the

				<p>building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</p> <p>iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southern most facing side of the building shall have external light shelves installed.</p>
			<i>Staff Comments</i>	- <i>The applicant has indicated that none of the proposed buildings will utilize any of the alternative energy source techniques.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<p>- All sloped roofs are low angle with asphalt shakes that will retain snow. - No snow clips or gutters are proposed. - No walking surfaces are proposed at the roof line on the downhill, drip edge side of the roof.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2k	<p>a. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>
			<i>Staff Comments</i>	- <i>Based on roof configurations, downspouts are not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2l	<p>a. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p>
			<i>Staff Comments</i>	- <i>N/A</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2m	<p>a. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p>
			<i>Staff Comments</i>	<p>- A possible sign location is proposed on the floor plan. - The sign location and design is not finalized - Applicant proposes to submit a sign permit to the Commission at a later date for approval.</p>

3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p>
			<i>Staff Comments</i>	- <i>No accessory structures are proposed outside of the ice rink area.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3b	a. Accessory structures shall be located at the rear of the property.
			Staff Comments	- N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	a. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			Staff Comments	- The perimeter fence is proposed to be galvanized metal chain link fencing that will match the existing chain link material utilized at the Rodeo Arena. - See the recommendations from the Hailey Arts and Historic Preservation Commission regarding incorporation of public art into the design of fences and other infrastructure.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3d	a. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			Staff Comments	- Fencing is proposed at 6' tall to reduce visual impact. - The applicant has indicate that no plantings or landscaping are proposed
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3e	a. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			Staff Comments	- No roof projections or roof mounted mechanical equipment are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3f	a. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			Staff Comments	- N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	a. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			Staff Comments	- The condenser for the ice plant building will be screened with a 10' tall sound wall that is shown on the Floor Plan and Site Plan. - The electrical transformer will be partially screened by fencing to the southeast and will not have a significant visual impact.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	a. All service lines into the subject property shall be installed underground.
			Staff Comments	- All utilities will remain underground. - There are no plans to bring any utilities above ground.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3i	

				a. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	N/A

4. Landscaping: 6A.8 (A) 4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4a	<p>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> - No plantings are proposed. - The applicant's "Drainage and Landscape Plan" states the following: <ul style="list-style-type: none"> o "No mature planting will be removed for the construction of any of the proposed buildings and ice rink, for the construction of any of the proposed buildings. All landscaping on adjacent, completed, portions of the property will not be disturbed." - The original approval of this project included significant landscaping requirements, which have been met in all areas of the project except for the ice rink. The applicant has indicated this is Phase 1 of this project and that Phase 2 would include significant plantings to align with the original approval. - For project under consideration, there is no landscaping proposed.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4b	<p>a. All plant species shall be hardy to the Zone 4 environment.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> - No plants are proposed
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4c	<p>a. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p> <p><i>Staff Comments</i></p> <p>No irrigation system is proposed.</p>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4d	<p>a. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> - No plantings or landscaping are proposed.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4e	a. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	- <i>Project is located in the LB zone</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4f	a. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	- <i>No plantings, landscaping, hanging basket, etc. are proposed.</i> - <i>The site will be utilized primarily in the winter season.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4g	a. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	- <i>All ground surfaces, not including the ice rink concrete slab & rubber padded walking surface, will be semi-pervious to water, with the use of areas of gravel fill over geotech fabric, compacted gravel, & concrete pavers.</i> - <i>Drainage will be directed to previously installed drainage system.</i> - <i>All parking areas are existing with engineered drainage plans including proper slope, drains & drywells.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4h	a. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	- <i>No landscaping is proposed</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4i	a. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	- <i>No retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4j	a. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	- <i>No retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4k	a. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.
			<i>Staff Comments</i>	- <i>No retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4l	a. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	- <i>No retaining walls are proposed.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4m	a. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	- No retaining walls are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4n	a. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	- No retaining walls are proposed.

Design Review Requirements for Non-Residential Buildings located in B, LB, or TN Zoning Districts (6.A.8.B. 1-3)				
1. Site Planning: 6A.8.B.1				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8.B.1.a	a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.
			<i>Staff Comments</i>	- The site plan shows a concrete paver sidewalk connecting the existing concrete sidewalk to the main entrance and the existing ADA curb cut serving the ADA parking spaces. - The Building Official has reviewed the plans and has no additional changes at this time.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8.B.1.b	b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks underground utilities for new dwelling units.
			<i>Staff Comments</i>	- Six foot sidewalks are proposed to match the existing sidewalk running from the Highway to the ice rink. - At the main entrance, a concrete paver walking surface provides a large area for congregation of people entering the ice rink facility.
2. Building Design: 6A.8.B.2.a-9				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8.B.2.a	a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.
			<i>Staff Comments</i>	- Proposed ice rink and buildings are located off Main Street and are not adjacent to a public right of way
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8.B.2.b	b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image which may often accompany large buildings.

			<i>Staff Comments</i>	- N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8.B.2.c	c. Building designs shall maximize the human scale of buildings and enhance the small town “sense of place”. This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>The proposed buildings are small in scale and designed specifically for the function of the ice rink.</i> - <i>The Hailey ice rink is integral to Hailey’s “sense of place.”</i> - <i>All proposed building are single story and are designed specifically for the user and the user’s activity.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8.B.2.d	d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.
			<i>Staff Comments</i>	- N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8.B.2.e	e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.
			<i>Staff Comments</i>	- N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8.B.2.f	f. Fire department staging areas shall be incorporated into the design elements of the building
			<i>Staff Comments</i>	- N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8.B.2.g	g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: <ul style="list-style-type: none"> i) Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses; ii) Stepping down the massing of the building along the site’s edge; and iii) Limiting the length of or articulating building facades to reflect adjacent residential patterns
			<i>Staff Comments</i>	- <i>Proposed buildings are not adjacent to residential areas and are single story with low slope shed roofs and a flat roof on the ice plan building that are compatible with surrounding buildings.</i>

4. Landscaping: 6A.8.B.3.a

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8.B.3.a	a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.

			<i>Staff Comments</i>	<ul style="list-style-type: none"> - An existing access drive separates the proposed ice plant building and the GR zoned Nelson Ball Fields to the north. - No landscape buffer is proposed.
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Design Review Guidelines for Residential and Non-residential Buildings in the Townsite Overlay District (TO): 6A.9

1. Site Planning: 6A.9.C.1

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.1	The pattern created by the Old Hailey town grid should be respected in all site planning decisions. <i>Staff Comments</i> - N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	Site planning for new development and redevelopment shall address the following: <ul style="list-style-type: none"> scale and massing of new buildings consistent with the surrounding neighborhood; building orientation that respects the established grid pattern of Old Hailey; clearly visible front entrances; use of alleys as the preferred access for secondary uses and automobile access; adequate storage for recreational vehicles; yards and open spaces; solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; snow storage appropriate for the property; underground utilities for new dwelling units. <i>Staff Comments</i> - The proposed site plan and development is consistent with the required site planning guideline of this requirement. - All utilities will remain underground as shown on the site utilities plan.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.1	The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines. <i>Staff Comments</i> - N/A

2. Bulk Requirements (Mass and Scale, Height, Setbacks): 6A.9.C.2

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.2	The perceived mass of larger buildings shall be diminished by the design.
			<i>Staff Comments</i>	- <i>Proposed buildings are single story with low slope shed roofs and a flat roof on the ice plan building that are compatible with surrounding buildings.</i>
3. Architectural Character: 6A.9.C.3				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.a	General: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.
			<i>Staff Comments</i>	- <i>Material use of board and bat siding is consistent with character of surrounding buildings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.
			<i>Staff Comments</i>	- <i>The main entrance to the facility is clearly visible as users enter the Wertheimer Park.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.b	Building Orientation: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			<i>Staff Comments</i>	- <i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.c	Building Form: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			<i>Staff Comments</i>	- <i>Material use of board and bat siding and low slope shed roofs is compatible with the character surrounding buildings and found throughout Old Hailey</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			<i>Staff Comments</i>	- <i>No roof forms are proposed at the entry of the ice rink.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof pitch and style shall be designed to meet snow storage needs for the site.
				<ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>The sloped roof materials are Asphalt shingles that are designed to retain the snow.</i> - <i>The shed roof Pitch 3/12 and all drip lines are away from pedestrian areas.</i> - <i>All snow will be retained on the roof or shed onto the property.</i> - <i>No snow will shed onto the adjoining property or the City rights of</i>

				<i>way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.
			<i>Staff Comments</i>	- <i>The application is consistent with the neighborhood in regards to roof forms and materials</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.
			<i>Staff Comments</i>	- <i>The application is consistent with the neighborhood in regards to roof forms.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: Primary wall planes should be parallel to the front lot line.
			<i>Staff Comments</i>	- <i>Proposed building walls are shown parallel to the adjacent property lines.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.
			<i>Staff Comments</i>	- <i>The proposed buildings are single story and respect the scale of the surrounding.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: The use of pop-outs to break up longer wall planes is encouraged.
			<i>Staff Comments</i>	- <i>Three separate building are proposed that minimize the effect of long wall planes.</i> - <i>No pop-outs are used or proposed</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.f	Windows: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			<i>Staff Comments</i>	- <i>No windows are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.f	Windows: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			<i>Staff Comments</i>	- <i>No windows are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.g	Decks and Balconies: Decks and balconies shall be in scale with the building and the neighborhood.
			<i>Staff Comments</i>	- <i>No decks or balconies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.g	Decks and Balconies: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			<i>Staff Comments</i>	- <i>No decks or balconies proposed</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	Building Materials and Finishes: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged. Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	- <i>No large wall planes are proposed.</i> - <i>The exterior materials sheet calls out the proposed materials and colors that will provide visual interest.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	- <i>No large wall planes are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural detailing shall be incorporated into the front wall plane of buildings.

			<i>Staff Comments</i>	- <i>Board and bat siding with corner trim is proposed for all three buildings with corner trim and roof fascia.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	- <i>No porch is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	N/A

4. Circulation and Parking: 6A.9.C.4

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	- <i>Safe pedestrian routes have been provided from Main Street and the parking spaces including the ADA parking spaces.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	- <i>The on-site parking is existing and set back from streets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			<i>Staff Comments</i>	N/A

5. Alleys: 6A.9.C.5

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.5	Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and

				placement of accessory buildings that access off of alleys is encouraged.
			<i>Staff Comments</i>	<i>All utilities are existing and are shown on the site utilities plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			<i>Staff Comments</i>	<i>All parking and access roads are existing and are paved.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			<i>Staff Comments</i>	<i>N/A</i>

6. Accessory Structures: 6A.9.C.6

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.6	Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			<i>Staff Comments</i>	<i>N/A</i>

7. Snow Storage: 6A.9.C.7

Compliant			Standards and Staff Comments																			
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>																		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: All projects shall be required to provide 25% snow storage on the site.																		
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>Site plan shows existing snow storage locations and calculations for required snow storage areas for the entire Werthheimer Park.</i> - <i>See graph below for calculations:</i> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2" style="text-align: center;">Snow Storage Provided</th> </tr> </thead> <tbody> <tr> <td style="text-align: right;">Total parking and Circulation Areas</td> <td style="text-align: right;">60,787 sq. ft.</td> </tr> <tr> <td style="text-align: right;">Total snow storage required (25% of parking and circulation areas)</td> <td style="text-align: right;">15,195 sq. ft.</td> </tr> <tr> <td style="text-align: right;">Area "A"</td> <td style="text-align: right;">1,541 sq. ft.</td> </tr> <tr> <td style="text-align: right;">Area "B"</td> <td style="text-align: right;">1,447 sq. ft.</td> </tr> <tr> <td style="text-align: right;">Area "C"</td> <td style="text-align: right;">1,113 sq. ft.</td> </tr> <tr> <td style="text-align: right;">Area "D"</td> <td style="text-align: right;">1,323 sq. ft.</td> </tr> <tr> <td style="text-align: right;">Area "E"</td> <td style="text-align: right;">9,932 sq. ft.</td> </tr> <tr> <td style="text-align: right;">Total provided</td> <td style="text-align: right;">15,356 sq. ft.</td> </tr> </tbody> </table>	Snow Storage Provided		Total parking and Circulation Areas	60,787 sq. ft.	Total snow storage required (25% of parking and circulation areas)	15,195 sq. ft.	Area "A"	1,541 sq. ft.	Area "B"	1,447 sq. ft.	Area "C"	1,113 sq. ft.	Area "D"	1,323 sq. ft.	Area "E"	9,932 sq. ft.	Total provided	15,356 sq. ft.
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Area "E"	9,932 sq. ft.																					
Total provided	15,356 sq. ft.																					
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas. 																		
			<i>Staff Comments</i>	- <i>Snow storage areas do not restrict pedestrian access.</i>																		

8. Existing Mature Trees and Landscaping: 6A.9.C.8				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	<p>Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.</p> <p><i>Staff Comments</i></p> <p>- Lot is bare, with no existing trees.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	<p>Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.</p> <p><i>Staff Comments</i></p> <p>- The site is flat with no proposed plantings.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	<p>Guideline: Noxious weeds shall be controlled according to State Law.</p> <p><i>Staff Comments</i></p> <p>All weeds will be removed from the site.</p>
9. Fences and Walls: 6A.9.C.9				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.9	<p>Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.</p> <p><i>Staff Comments</i></p> <p>- 6' tall chain link fence is proposed instead of an 8' tall perimeter fence to help minimize the appearance.</p> <p>- See comments from the HAHPC regarding the incorporation of public art into site planning.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p>Guideline: Retaining walls shall be in scale to the streetscape.</p> <p><i>Staff Comments</i></p> <p>N/A</p>
11. Historic Structures: 6A.9.C.11 (NOTE: Applicable only to structures built prior to 1940)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.10	<p>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</p> <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure. <p><i>Staff Comments</i></p> <p>- No historic buildings are on site.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p>

				<ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ○ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ○ Exterior materials that are compatible with the original building materials should be selected; ○ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ○ The visual impact of the addition should be minimized from the street; ○ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ○ The roof form and slope of the roof on the addition should be in character with the original building; <p>The relationship of wall planes to the street and to interior lots should be preserved with new additions.</p>
			<i>Staff Comments</i>	- <i>No historic buildings are on site.</i>

6A.6 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Ordinance.

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
 - e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
 - f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
 - g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
 - h) All utilities will be located underground, consistent with 6A.9.C.1.
- C. **Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
 - 1. **If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

Motion Language

Approval:

Motion to approve the design review application submitted by Hailey Ice Inc., represented by Chris Benson and Shaun Kelly, for Design Review of a newly constructed outdoor ice rink to be located within

the Hailey Townsite, Lots 22-24 of Block 126, Lots 10-12 and 20-22 of Block 127, Lots 13-17 of Block 135 and all Lots within Block 134 (771 Main Street South) finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (h) are met.

Denial:

Motion to deny the design review application submitted by Hailey Ice Inc., represented by Chris Benson and Shaun Kelly, for Design Review of a newly constructed outdoor ice rink to be located within the Hailey Townsite, Lots 22-24 of Block 126, Lots 10-12 and 20-22 of Block 127, Lots 13-17 of Block 135 and all Lots within Block 134 (771 Main Street South), finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on the design review application submitted by Hailey Ice Inc., represented by Chris Benson and Shaun Kelly, for Design Review of a newly constructed outdoor ice rink to be located within the Hailey Townsite, Lots 22-24 of Block 126, Lots 10-12 and 20-22 of Block 127, Lots 13-17 of Block 135 and all Lots within Block 134 (771 Main Street South) to _____ [Commission should specify a date].

City of Hailey - Design Review Application

APR 16 2014

Submittal Date: 2/13/2014

RECEIVED FEB 13 2014 CITY OF HAILEY

Project Name: Hailey Ice Rink Facility

Parcel No. RPH RPH0000426013A

Legal Description of Property: Subdivision 22-24 / 10-12 / 13-17 / BIK 126 / 20-22 / BIK 127 / BIK 135

All of Block 134 CITY OF HAILEY Block

Street Address of Property: 771 Main Street South

Current Zoning of Property: LB

Year of original construction: 2010

Existing building gross sq. ft. (if applicable) None

(Only applicable if property is within the Townsite Overlay) Proposed addition or new construction sq. ft. 3,935 sf

Name of Owner of the Property: Hailey Ice, Inc.

Mailing Address: P.O. Box 4616

City: Hailey

State: ID

Zip: 83333

Phone: () 788 - 3325

Fax: () - -

Cell: () - -

Email Address: chris@svwsd.com

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any ex parte discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: [Signature]

Date: 2 / 13 / 14

Name of individual to contact on behalf of Trust or LLC (if applicable):

Mailing Address:

City:

State:

Zip:

Phone: () - -

Fax: () - -

Cell: () - -

Email Address:

Application Contact (if different than above):

**Application Contact will be the Planning Department's primary point of contact for questions related to the application.

Mailing Address:

City:

State:

Zip:

Phone: () - -

Fax: () - -

Cell: () - -

Email Address:

Signature:

Date: / /

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

<input checked="" type="checkbox"/> Commercial, Mixed-Use or Multi-Family.....	\$ 450.00
plus \$25 / 1,000 gross square feet.....	\$ 100.00
OR <input type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ 250.00
OR <input type="checkbox"/> No Substantial Impact..... (Mailing only).....	\$ 75.00
OR <input type="checkbox"/> Modification to DR Approval... (No publication or mailing).....	\$ 50.00
OR <input type="checkbox"/> DR Exemption... (No publication or mailing).....	\$ 30.00
Publication cost.....	\$ 40.00
Mailing (# of addresses ²³) x (⁴⁹ postage + .15 paper, envelope & label)	\$ 14.72
DO NOT COUNTY DUPLICATES OR CITY OF HAILEY	
Total Due.....	\$ 604.72

DESIGN REVIEW—APPLICATION CHECKLIST

Project Name: Hailey Ice

City Use Only

Certified Complete by:	<u>VH</u>
Date:	<u>02/13/14</u>

The following items must be submitted with the application for the application to be considered complete (✓):

Yes	No	Item	Description
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1.	The completed Design Review application form including project name and location, and applicant and representative names and contact information.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2.	One (1) 24" x 36" set of plans and survey and one (1) 11" x 17" set showing at a minimum the following:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a.	Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b.	Drainage plan (grading, catch basins, piping, and dry-wells).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c.	Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d.	Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation, and snow storage. List square footage of subject property including lot dimensions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e.	Landscape plan (existing landscaping on the site shown as retained, relocated or removed; proposed landscaping including species type, size and quantity).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	f.	Floor plan. List gross square footage for each floor. List occupancy classification and type of construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g.	Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	h.	Exterior Lighting plan, pursuant to Article VIII B, of the Zoning Ordinance (location, height, type, and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	i.	Sign plan (location, dimensions and lighting). <u>(Proposed Location)</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3.	Plans and drawings for all buildings, except Single Family Dwellings and Accessory Structures, shall be prepared and stamped by an Idaho licensed architect.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4.	A materials and colors sample board. Each sample should be approximately 12"x12" in size.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	5.	One (1) colored rendering of at least one side of the proposed building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	6.	Staging and contractor parking plan. Statement of where staging will occur, and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters, contractor parking, etc.
<input type="checkbox"/>	<input type="checkbox"/>	7.	A list of the names and addresses of all property owners and residents within three hundred (300) feet of the exterior boundaries of the subject property, in a format acceptable to the City. (Names and addresses can be obtained using the Blaine County map server http://maps.co.blaine.id.us/ or from the Blaine County Assessor's office)
<input type="checkbox"/>	<input type="checkbox"/>	8.	Other information as required by the Administrator, Hearing Examiner or the Commission.
<input type="checkbox"/>	<input type="checkbox"/>	9.	Electronic PDF copies of all documents and materials listed above. (RECOMMENDED)
<input type="checkbox"/>	<input type="checkbox"/>	10.	Written statement of how each design review standard is met. (RECOMMENDED)
<input type="checkbox"/>	<input type="checkbox"/>	11.	Payment of applicable fees.

City Use Only:

<p><input type="checkbox"/> Verify that application is complete</p> <p><input type="checkbox"/> Double check address</p> <p><input type="checkbox"/> Advise applicant if Lot Line Adjustment is needed</p>	<p>Check following basic standards:</p> <p><input type="checkbox"/> Density</p> <p><input type="checkbox"/> Setbacks</p> <p><input type="checkbox"/> Height (plans must show elevation points of record grade)</p> <p><input type="checkbox"/> Lot coverage</p> <p><input type="checkbox"/> Floor area</p> <p><input type="checkbox"/> Required Parking Spaces</p>
--	--

HAILEY ICE RINK FACILITY

HAILEY, IDAHO

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DESIGN REVIEW SUBMITTAL: FEBRUARY 11, 2014
ARCHITECTURA P.A.



VICINITY MAP

SCALE: 1" = 100'



PROJECT INFORMATION

STREET ADDRESS:	771 MAIN STREET SOUTH HAILEY, IDAHO
LEGAL DESCRIPTION:	LOTS 22-24 BLOCK 126, LOTS 10-12 & 20-22 BLOCK 127, LOTS 13-17 BLOCK 135, ALL OF BLOCK 134, AND TOGETHER WITH THE ADJOINING VACATED STREETS AND ALLEYS ADJACENT TO ALL LOTS AND BLOCKS DESCRIBED.
LOT AREA:	5.31 ACRES
ZONING:	LB - LIMITED BUSINESS
PROJECT USE:	ICE RINK FACILITY
OCCUPANCY:	A-5 ASSEMBLY
TYPES OF CONSTRUCTION:	
ICE PLANT BUILDING:	TYPE V-B
LOCKER ROOM BUILDING:	TYPE V-B
PLAYERS' BENCH BUILDING:	TYPE V-B
BUILDING FLOOR AREA:	
ICE PLANT BUILDING:	2,022 SQ. FT.
LOCKER ROOM BUILDING:	1,417 SQ. FT.
PLAYERS' BENCH BUILDING:	498 SQ. FT.
TOTAL:	3,935 SQ. FT.
BUILDING HEIGHTS:	
ICE PLANT BUILDING:	18' - 8" ± FROM EXISTING GRADE
LOCKER ROOM BUILDING:	14' - 11" ± FROM EXISTING GRADE
PLAYERS' BENCH BUILDING:	12' - 2" ± FROM EXISTING GRADE

INDEX OF DRAWINGS

1.0	PROJECT INFORMATION
2.0	SITE PLAN
2.1	SITE UTILITIES PLAN
3.0	FLOOR PLAN
3.1	EXTERIOR LIGHTING PLAN
4.0	SITE SECTIONS & EAST SITE ELEVATION
5.0	BUILDING ELEVATIONS
5.1	EXTERIOR MATERIALS

PROJECT TEAM

OWNER
HAILEY ICE, INC.
 RON FAIRFAX, PRESIDENT
 CHRIS BENSON, VICE PRESIDENT
 JIM LASKI, VICE PRESIDENT
 P.O. BOX 4616
 HAILEY, ID 83333

ARCHITECT
RUSCITTO/LATHAM/BLANTON
ARCHITECTURA P.A.
 MICHAEL BULLS AIA
 P.O. Box 419
 Sun Valley, Idaho 83353
 (208) 726.5608
 (208) 726.1033 Fax

STRUCTURAL DESIGN
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 Sun Valley, Idaho 83353
 (208) 726.5608
 (208) 726.1033 Fax

RUSCITTO/LATHAM/BLANTON

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208 726 5608
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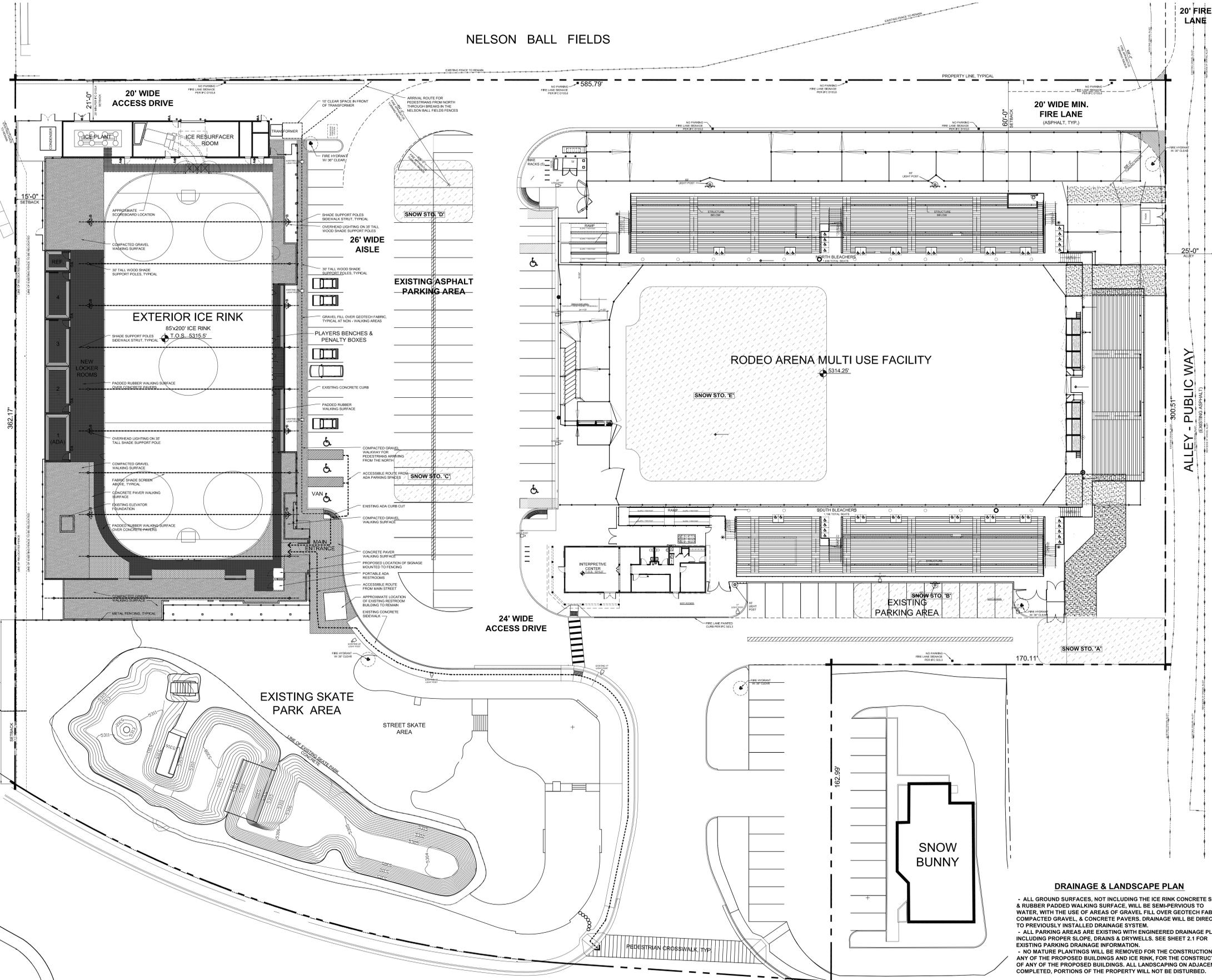
HAILEY ICE RINK FACILITY

1.0

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NELSON BALL FIELDS

BLAINE MANOR



DRAINAGE & LANDSCAPE PLAN

- ALL GROUND SURFACES, NOT INCLUDING THE ICE RINK CONCRETE SLAB & RUBBER PADDED WALKING SURFACE, WILL BE SEMI-PERVIOUS TO WATER, WITH THE USE OF AREAS OF GRAVEL FILL OVER GEOTECH FABRIC, COMPACTED GRAVEL, & CONCRETE PAVERS. DRAINAGE WILL BE DIRECTED TO PREVIOUSLY INSTALLED DRAINAGE SYSTEM.
- ALL PARKING AREAS ARE EXISTING WITH ENGINEERED DRAINAGE PLANS INCLUDING PROPER SLOPE, DRAINS & DRYWELLS. SEE SHEET 2.1 FOR EXISTING PARKING DRAINAGE INFORMATION.
- NO MATURE PLANTINGS WILL BE REMOVED FOR THE CONSTRUCTION OF ANY OF THE PROPOSED BUILDINGS AND ICE RINK, FOR THE CONSTRUCTION OF ANY OF THE PROPOSED BUILDINGS. ALL LANDSCAPING ON ADJACENT, COMPLETED, PORTIONS OF THE PROPERTY WILL NOT BE DISTURBED.

STAGING & CONTRACTOR PARKING PLAN

- A PORTION OF THE ROW OF PARKING CLOSEST TO THE PROPOSED ICE RINK FACILITY WILL BE THE STAGING LOCATION OF THE MAJORITY OF THE BUILDING MATERIALS. IF ADDITIONAL SPACE IS NEEDED, OR IF OTHER EVENTS REQUIRE THE USE OF THOSE PARKING SPACES, THERE IS SUFFICIENT SPACE FOR MATERIAL STORAGE WITHIN THE CONSTRUCTION FENCING AT THE NORTHWEST AND SOUTHWEST CORNERS OF THE PROPERTY. NO PORTION OF THE EXISTING FIRE ACCESS LANE WILL BE BLOCKED.
- EXISTING CONSTRUCTION FENCING WILL REMAIN DURING CONSTRUCTION WITH ADJUSTMENTS TO FENCE LOCATIONS AS CONSTRUCTION PROGRESS REQUIRES. TEMPORARY CONSTRUCTION FENCING WILL BE REMOVED WHEN PROPOSED PERMANENT FENCING IS INSTALLED.
- CONTRACTOR AND WORKER PARKING, JOBSITE TRAILER, TEMPORARY PORTABLE RESTROOMS AND JOBSITE DUMPSTERS WILL UTILIZE A PORTION OF THE ROW OF PARKING CLOSEST TO THE PROPOSED ICE RINK.
- EXCAVATION STOCKPILE AREAS WILL BE LOCATED IN THE NORTHWEST CORNER AND THE

SNOW STORAGE CALCULATIONS

TOTAL PARKING AND CIRCULATION AREA	60,787 SQ.FT.
TOTAL SNOW STORAGE REQUIRED (25% OF PARKING & CIRCULATION AREA)	15,197 SQ.FT.
SNOW STORAGE PROVIDED:	
SNOW STORAGE 'A'	1,541 SQ.FT.
SNOW STORAGE 'B'	1,447 SQ.FT.
SNOW STORAGE 'C'	1,113 SQ.FT.
SNOW STORAGE 'D'	1,323 SQ.FT.
SNOW STORAGE 'E'	9,932 SQ.FT.
TOTAL	15,356 SQ.FT.

EXISTING PARKING CALCULATIONS

FACILITY	FACTOR	PARKING REQUIRED	PARKING PROVIDED
ICE RINK		89*	
INTERPRETIVE CENTER	2,160 SQ.FT. / 1,000	2	
RODEO ARENA	59,524 SQ.FT. / 5,000	12	
SKATE PARK	41,142 SQ.FT. / 5,000	8	
TOTAL		112	112
TOTAL WINTER SEASON REQUIREMENTS	MINUS SKATE PARK & RODEO ARENA	90	90
BICYCLE SPACES	112 x .25	28	28

* NUMBER USED WITH ORIGINAL APPROVED DESIGN REVIEW APPLICATION



LOT AREA: 231,360 SQ.FT. (5.31 AC.)

SCALE : 1" = 20' - 0"

DESIGN REVIEW SUBMITTAL: FEBRUARY 11, 2014
ARCHITECTURA P.A.

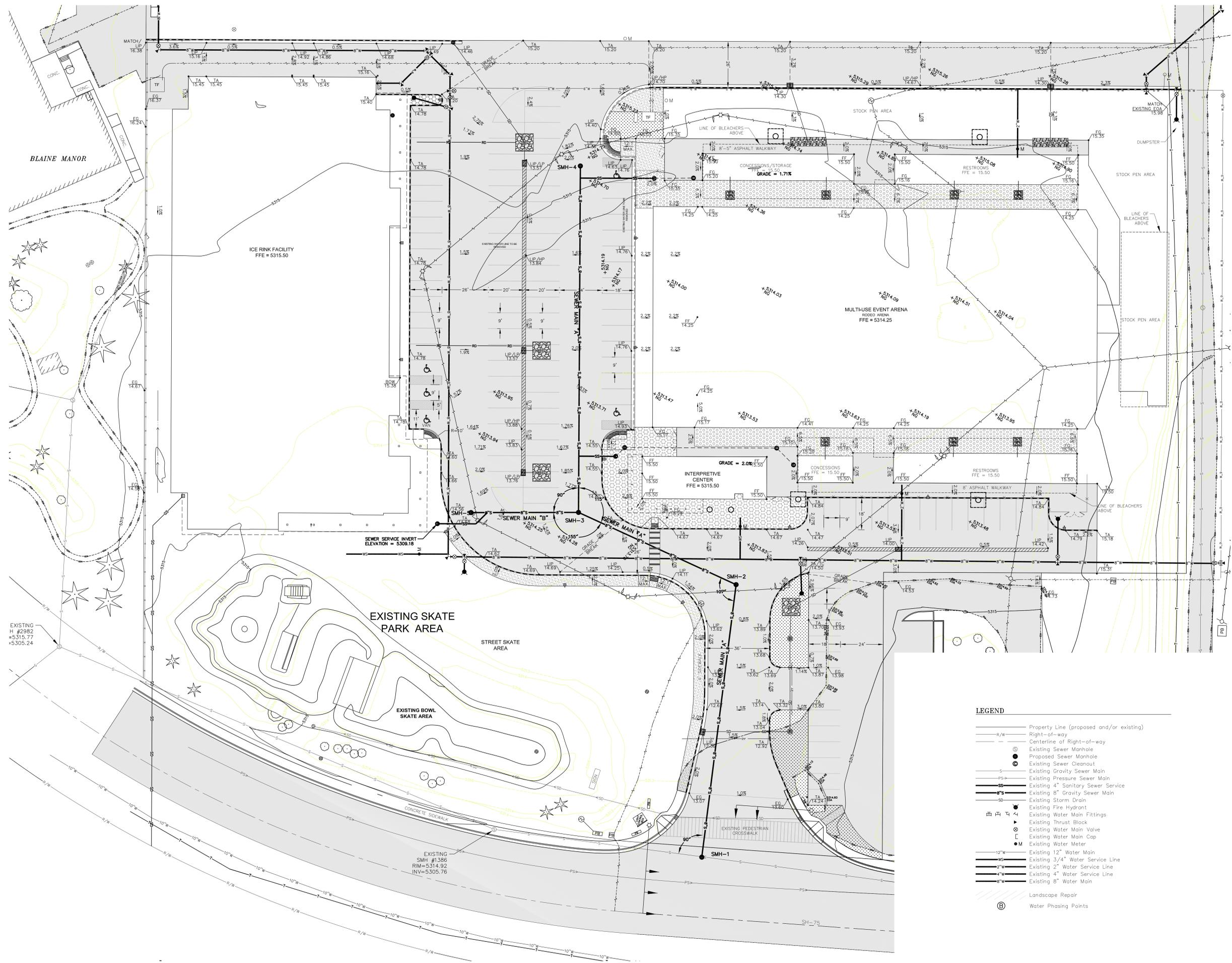
RUSCITTO/LATCHAM/BLANTON

HAILEY ICE RINK FACILITY

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2.0

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LEGEND

- Property Line (proposed and/or existing)
- R/W- Right-of-way
- Centerline of Right-of-way
- ⊙ Existing Sewer Manhole
- ⊙ Proposed Sewer Manhole
- ⊙ Existing Sewer Cleanout
- Existing Gravity Sewer Main
- Existing Pressure Sewer Main
- Existing 4" Sanitary Sewer Service
- Existing 8" Gravity Sewer Main
- Existing Storm Drain
- ⊙ Existing Fire Hydrant
- ⊙ Existing Water Main Fittings
- ⊙ Existing Thrust Block
- ⊙ Existing Water Main Valve
- ⊙ Existing Water Main Cap
- ⊙ Existing Water Meter
- Existing 12" Water Main
- Existing 3/4" Water Service Line
- Existing 2" Water Service Line
- Existing 4" Water Service Line
- Existing 8" Water Main
- ⊙ Landscape Repair
- ⊙ Water Phasing Points

SITE UTILITIES PLAN - EXISTING CONDITIONS
NO PROPOSED CHANGES

SCALE: 1" = 20' - 0"



2.1

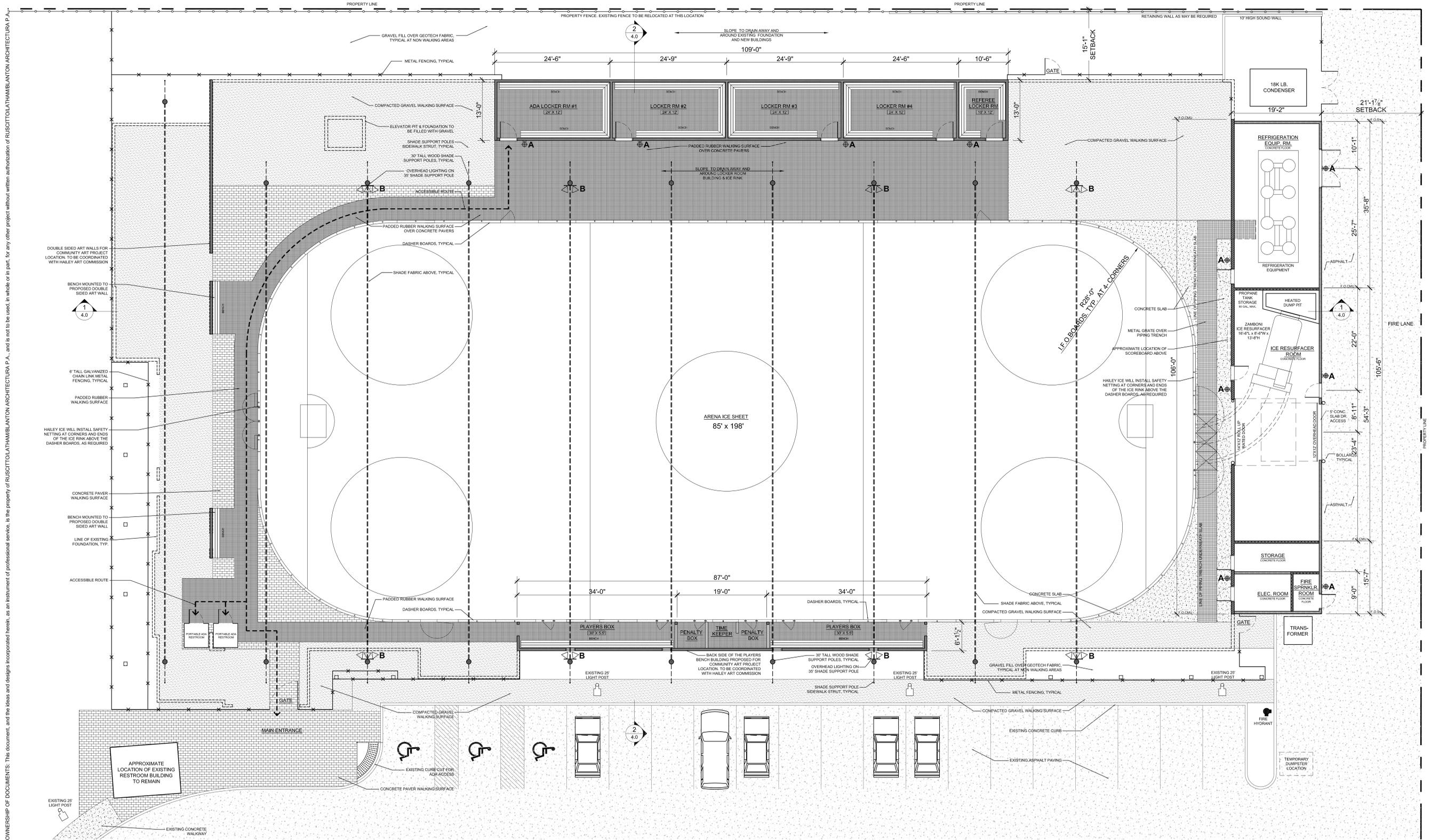
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ARCHITECTURA P.A.

HAILEY ICE RINK FACILITY



EXTERIOR LIGHT FIXTURE TYPES

- TYPE A - SURFACE MOUNT WALL FIXTURE
FIXTURE SHALL BE DOWNLIT W/ FULL CUT-OFF TO PREVENT LIGHT TRESPASS
- TYPE B - OVERHEAD POST MOUNT SPORTS FIXTURE
FIXTURE SHALL BE SHIELDED W/ TOP VISOR TO MITIGATE LIGHT TRESPASS

NOTE: SEE SHEET 3.1 FOR EXTERIOR LIGHTING INFORMATION

WALL LEGEND

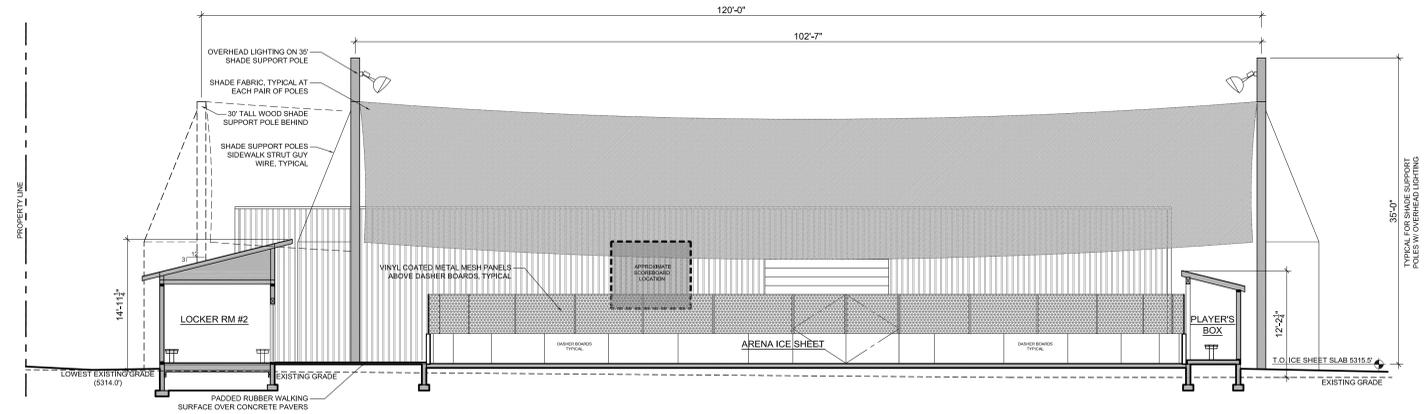
[Symbol]	6" STEEL STUDS
[Symbol]	2x6 WOOD STUDS @ 24" O.C.
[Symbol]	6" CMU, FULL HEIGHT WALL
[Symbol]	8" CMU

FLOOR PLAN
SCALE: 1/8" = 1'-0"



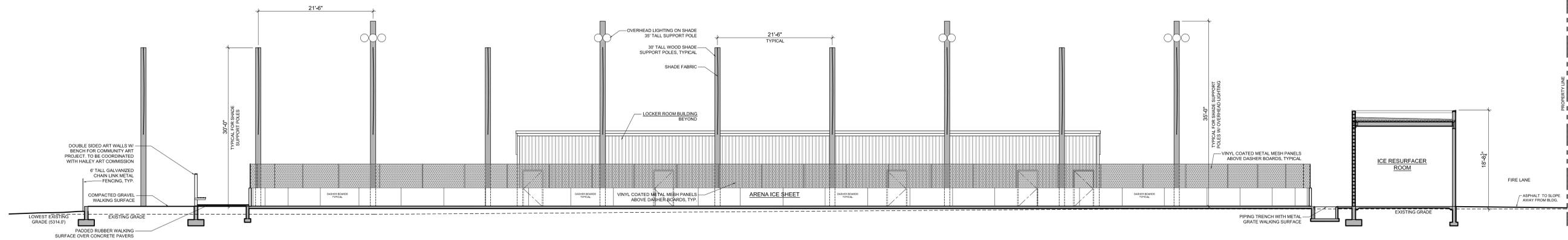
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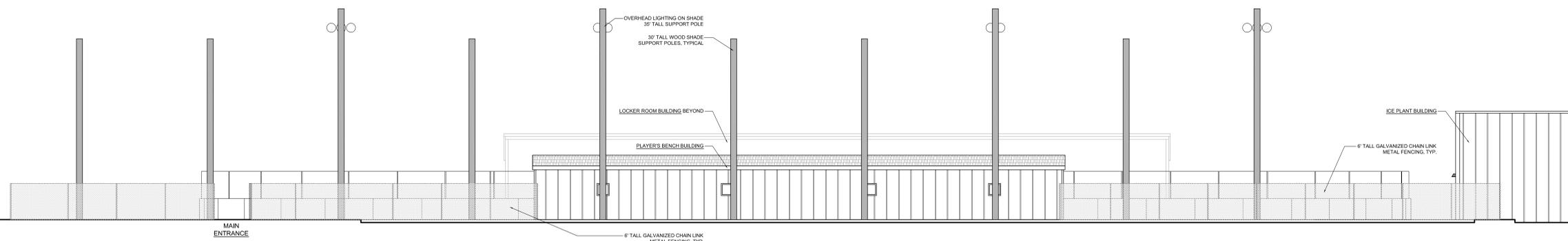
SITE SECTION 2

SCALE : 3/8" = 1'-0"



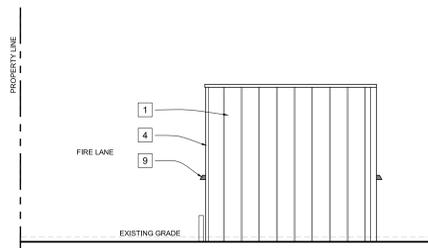
SITE SECTION 1

SCALE : 3/8" = 1'-0"

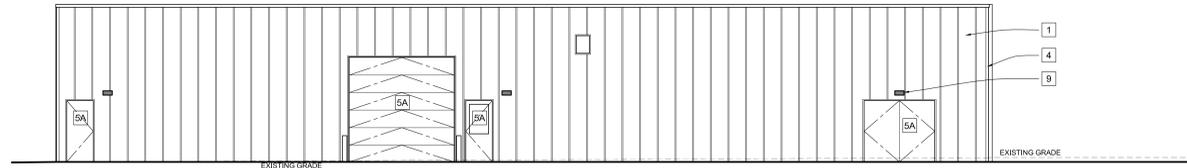


EAST SITE ELEVATION - LOOKING WEST

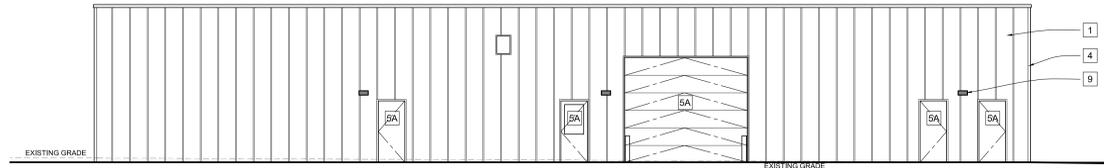
SCALE : 3/8" = 1'-0"



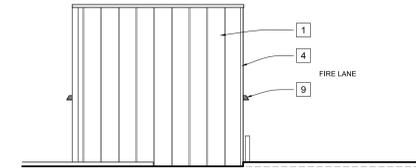
ICE PLANT BUILDING WEST ELEVATION - LOOKING EAST
SCALE: 1/8" = 1'-0"



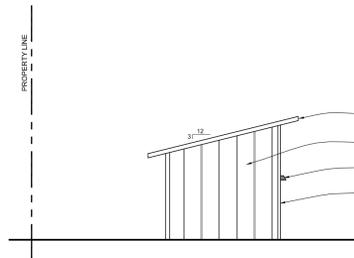
ICE PLANT BUILDING NORTH ELEVATION - LOOKING SOUTH
SCALE: 1/8" = 1'-0"



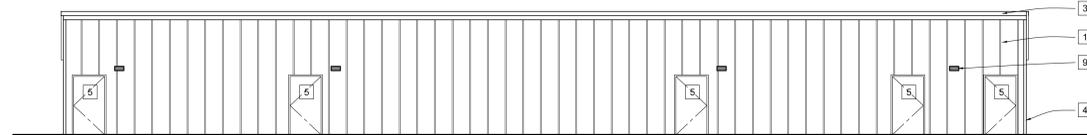
ICE PLANT BUILDING NORTH ELEVATION ELEVATION - LOOKING SOUTH
SCALE: 1/8" = 1'-0"



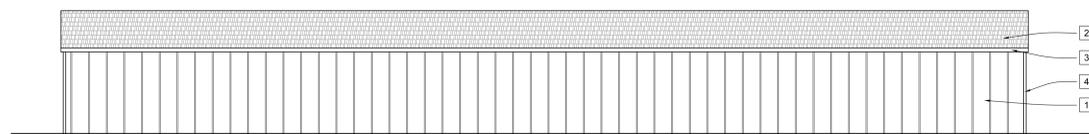
ICE PLANT BUILDING EAST ELEVATION - LOOKING WEST
SCALE: 1/8" = 1'-0"



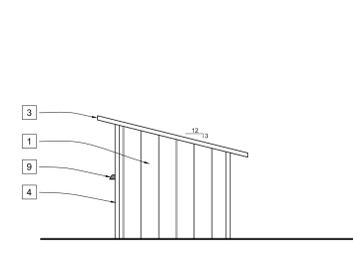
LOCKER ROOM BUILDING SOUTH ELEVATION - LOOKING NORTH
SCALE: 1/8" = 1'-0"



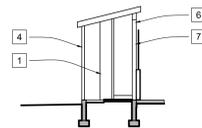
LOCKER ROOM BUILDING EAST ELEVATION - LOOKING WEST
SCALE: 1/8" = 1'-0"



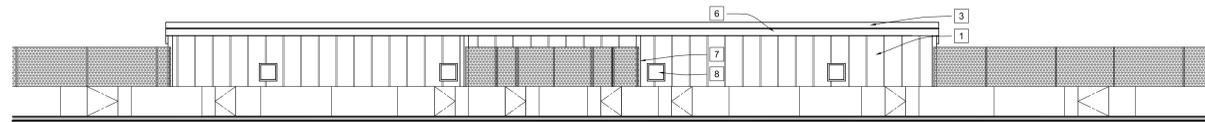
LOCKER ROOM BUILDING WEST ELEVATION - LOOKING EAST
SCALE: 1/8" = 1'-0"



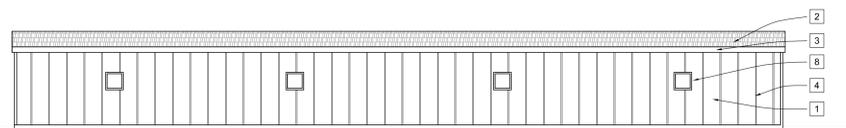
LOCKER ROOM BUILDING NORTH ELEVATION - LOOKING SOUTH
SCALE: 1/8" = 1'-0"



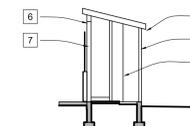
PLAYERS BENCH BUILDING NORTH ELEVATION - LOOKING SOUTH
SCALE: 1/8" = 1'-0"



PLAYERS BENCH BUILDING WEST ELEVATION - LOOKING EAST
SCALE: 1/8" = 1'-0"



PLAYERS BENCH BUILDING EAST ELEVATION - LOOKING WEST
SCALE: 1/8" = 1'-0"



PLAYERS BENCH BUILDING SOUTH ELEVATION - LOOKING NORTH
SCALE: 1/8" = 1'-0"

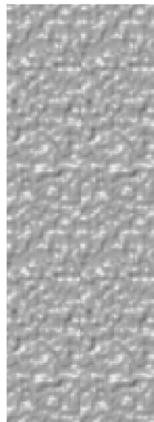
EXTERIOR MATERIALS

- 1 VERTICAL BOARD & BATT SIDING
PAINTED - BENJAMIN MOORE PLATINUM GRAY PM-7
 - 2 ASPHALT SHAKE ROOF
 - 3 2X ROOF FASCIA
PAINTED - BENJAMIN MOORE CHARCOAL SLATE PM-6
 - 4 1x CORNER, WINDOW & WALL TRIM
PAINTED - BENJAMIN MOORE PLATINUM GRAY PM-7
 - 5 METAL DOOR
PAINTED - BENJAMIN MOORE HERITAGE RED PM-18
 - 5A METAL DOOR (ICE PLANT BUILDING)
PAINTED - BENJAMIN MOORE PLATINUM GRAY PM-7
 - 6 WOOD BEAM
PAINTED - BENJAMIN MOORE PLATINUM GRAY PM-7
 - 7 WOOD COLUMN
PAINTED - BENJAMIN MOORE PLATINUM GRAY PM-7
 - 8 ACRYLIC GLASS WINDOW
CLEAR
 - 9 TYPE 'A' LIGHT FIXTURE (SEE SHT 3.1)
DARK BRONZE
- NOTE: SEE SHT. 5.1 FOR COLOR REPRESENTATIONS OF EXTERIOR MATERIALS



NOTE: ARTISTIC RENDERING IS AN APPROXIMATION OF THE PROPOSED ICE RINK FACILITY. SEE PLANS, SECTIONS & ELEVATIONS FOR MORE INFORMATION.

PERSPECTIVE RENDERING - LOOKING WEST



GALVANIZED CHAIN LINK FENCE



PAINTED METAL DOOR COLOR
BENJAMIN MOORE HERITAGE RED, PM-18
(TO MATCH INTERPRETIVE CENTER
METAL SIDING COLOR)



PAINTED WOOD SIDING, TRIM & ICE PLANT
BUILDING OVERHEAD AND SWING DOOR COLOR
BENJAMIN MOORE PLATINUM GRAY, PM-7



ASPHALT ROOF SHAKE
OWENS CORNING DRIFTWOOD
OR SIMILAR



80% BLACK KNIT
SHADE FABRIC



PAINTED WOOD FASCIA COLOR
BENJAMIN MOORE CHARCOAL SLATE, PM-8,

**DESIGN REVIEW
STAFF REPORT**

TO: Hailey Planning and Zoning Commission

FROM: Micah Austin, Community Development Director

RE: Design Review application by Jonathan Marvel for Design Review of a garage addition to an existing accessory structure, to be located at Hailey Townsite, Lots 1-4 of Block 36 (316 East Bullion Street), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts

HEARING: March 10, 2014

Applicant: Jonathan Marvel

Request: Design Review is requested for an addition to an Accessory Structure (garage), located in the Townsite Overlay

Location: Hailey Townsite, Lots 1-4 of Block 36 (316 East Bullion Street)

Zoning: Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts

Notice

Notice for the public hearing was published in the Idaho Mountain Express on February 19, 2013 and mailed to property owners within 300 feet on February 19, 2013

Application

Addition and renovation of an existing garage to add a second story room (studio), comprising a total of 384 square feet of new space to the garage on Lots 1-4 of Block 36 (316 East Bullion Street) of the Hailey Townsite. The proposed new room will be 384 square feet and a new exterior balcony and staircase added to the structure. The accessory structure will continue to be used as a garage and storage area with a work studio on the second story. The addition will have no kitchen facilities and the applicant has not indicated there is any intention of using it as an Accessory Dwelling Unit; however the lot is large enough for an ADU. Demolition of the current roof structure will occur, but all other components of the existing structure will remain intact. The existing structure and the proposed addition meet all bulk requirements for the Townsite Overlay.

Procedural History

The application was submitted on February 13, 2014 and certified complete on June 6, 2013. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on July 8, 2013, in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application -
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No concerns</i>
				Life/Safety: <i>No concerns</i>
				Water and Sewer: <i>No concerns</i>
				Building: - To add a second story to the existing garage may require additional structural supports to the main level and foundation. - This will be reviewed during the Plan Review stage of the Building Permit - Other than potential structural issues that will be verified later, the Building Official has no other concerns Streets: <i>No concerns</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	- <i>No signage is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			Staff Comments	- <i>Currently, two parking spaces are provided.</i> - <i>No additional parking spaces are required because no living space or Service Units are proposed.</i> - <i>The space added above the garage is proposed for studio space only.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards a) All exterior lighting shall be designed, located and lamped in order to prevent: 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c) Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d) Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e) Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.

			Staff Comments	<ul style="list-style-type: none"> - <i>Per the plans, all outdoor lighting will utilize be shielded down lights with 15 watt bulbs at 6' above floor level.</i> - <i>Photo of proposed light was submitted with the application</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	See 4.13.6, Zoning Ordinance
			Staff Comments	<p><i>Zoning District: Limited Residential in the Townsite Overlay. Townsite Overlay bulk requirements apply.</i></p> <ul style="list-style-type: none"> - <i>Max Height: 30'.</i> <ul style="list-style-type: none"> o <i>Proposed building will be 24' 2 3/4" to peak of the new roof line, per the plans submitted</i> - <i>Front Setbacks: TO: 12' from the street.</i> <ul style="list-style-type: none"> o <i>Proposed Accessory Structure is located in the rear of the lot</i> - <i>Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required</i> <ul style="list-style-type: none"> o <i>Lot is 100 feet wide, therefore the minimum setback is 10'</i> o <i>The current garage is 18 feet from the Right of Way on Bullion Street and 15 feet from the alley</i> o <i>Addition complies with setbacks in all respects.</i> - <i>Alley Setback: 6'</i> <ul style="list-style-type: none"> o <i>New portion of accessory structure is located 15 feet from the alley</i> - <i>Maximum Lot coverage: 40% in LR for a single story dwelling with a garage</i> <ul style="list-style-type: none"> o <i>Lot size: 12,000 sf</i> o <i>Maximum Lot coverage is 4,800 square feet</i> o <i>Existing principle structure: 1,350 square feet</i> o <i>Proposed: 384</i> o <i>Total Proposed: 1,734</i> o <i>Proposed Lot coverage is 37.12%</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<ul style="list-style-type: none"> - <i>The Drainage plan shows all water flowing away from the proposed structure at a 1% grade.</i> <ul style="list-style-type: none"> o <i>The drainage plan shows that no storm water will drain onto the adjoining properties.</i> - <i>Staff recommends waiving the requirement for sidewalks for the following reasons:</i> <ul style="list-style-type: none"> o <i>No sidewalks exist on either side of the home</i> o <i>A line of mature elm trees exists where the sidewalk would be located, and would require removal</i> o <i>The City Engineer recommends waiving the sidewalk requirement.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>6A.7 (B) Required Water System Improvements</p> <p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<p>Staff Comments</p> <ul style="list-style-type: none"> - <i>The project does not involve changing, rerouting or disturbing the existing water line in the alley.</i> - <i>The project does not involve changing, rerouting or disturbing the existing meter and/or vault</i> - <i>A new service line will be installed for the studio but access from the existing service line, thus utilizing the existing meter.</i> - <i>All repairs or maintenance of the new water line are the sole responsibility of the owner</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey

3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p> <p><i>Garage is built with the same architectural theme and materials as the principle building. With the following changes:</i></p> <ul style="list-style-type: none"> - <i>Roof pitch is identical to the home</i> - <i>All proposed additions match both the existing building and the Principal Building</i> - <i>Window cladding color will also match both buildings.</i>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3b	<p>a. Accessory structures shall be located at the rear of the property.</p> <p>- <i>The garage is located at the rear of the lot, adjacent to the alley and neighboring property line.</i></p>
			Staff Comments	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3c	<p>b. Walls and fences shall be constructed of materials compatible with other materials used on the site.</p> <p>- <i>No walls or fences are proposed</i></p>
			Staff Comments	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3d	<p>c. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</p> <p>- <i>No walls or fences are proposed</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3e	<p>d. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind</p>

				Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	- No roof projections, outside of standard venting for the sink, is proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3f	e. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	- No alternative energy source will be placed on the building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	f. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	- No ground-mounted equipment is proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	a. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	All utilities are shown to be underground. - A new water and sewer line are the only new utility lines necessary
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3i	b. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	None

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO): 6A.9

6. Accessory Structures: 6A.9.C.6

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			<i>Staff Comments</i>	- The garage is located in the rear of the lot to emphasize the subordinate nature of the building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			<i>Staff Comments</i>	- Proposed garage is located in the rear of the lot.

10. Non-residential and Multi-Family Uses: 6A.9.C.10

Compliant			Standards and Staff Comments	
-----------	--	--	------------------------------	--

Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.10	Guideline: Non-residential uses in Old Hailey should be designed with a residential, human scale in mind.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>The proposed garage is designed to fit well with the existing building and with themes currently found in Old Hailey.</i> - <i>It is not a dwelling unit, however the lot size allows for a dwelling unit if the owner, or any future owner, converted the structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.9	Guideline: Parking for non-residential uses shall be carefully planned to avoid pedestrian conflicts and to be subordinate to other design elements on the site.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>The garage does not create the need for additional parking. Parking onsite meets requirements</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.9	Guideline: Utilities for non-residential and multifamily structures shall be integrated into the site design. Utilities should, in most cases, be fully screened from view.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>Other than a water line to the garage, no additional utility services or facilities thereof will be added.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	Guideline: Multi-family structures shall be designed with a single family residential scale in mind. This includes:
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Breaking up wall planes; • Use of individual walk-up entrances; • Breaking up of parking areas; • Ensuring parking areas are subordinate to other uses. <ul style="list-style-type: none"> - <i>Proposed structure is a garage and will not be used as Multi-Family structure.</i>

6A.6 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Ordinance.

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
 - e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
 - f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
 - g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
 - h) All utilities will be located underground, consistent with 6A.9.C.1.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
 - 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

Motion Language

Approval:

Motion to approve the application submitted by Jonathan Marvel for Design Review of a garage addition to an existing accessory structure, to be located at Hailey Townsite, Lots 1-4 of Block 36 (316 East Bullion Street), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (h) are met.

Denial:

Motion to deny the application submitted by Jonathan Marvel for Design Review of a garage addition to an existing accessory structure, to be located at Hailey Townsite, Lots 1-4 of Block 36 (316 East Bullion Street), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts, finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on the application submitted by Jonathan Marvel for Design Review of a garage addition to an existing accessory structure, to be located at Hailey Townsite, Lots 1-4 of Block 36 (316 East Bullion Street), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts to _____ [Commission should specify a date].

City of Hailey - Design Review Application

Submittal Date: A/R 9189
Parcel No. RPP
Lot(s) 1,2,3,4 Block 36
FEB 13 2014

Project Name: Marvel Studio
Legal Description of Property: Subdivision Hailey Town Site
Street Address of Property: 316 East Bullion Street
Current Zoning of Property: LR-1
Existing building gross sq. ft. (if applicable) _____

CITY OF HAILEY
Year of original construction: 1984 & 1990
(Only applicable if property is within the Townsite Overlay)
Proposed addition or new construction sq. ft. 384

Name of Owner of the Property: Jonathan & Stefanie Marvel
Mailing Address: P.O. Box 1602 City: Hailey State: ID Zip: 83333
Phone: () 788 2988 Fax: () _____ Cell: () 720 1560
Email Address: jhmarvel@cox.net

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: [Signature] Date: 2 / 13 / 2014

Name of individual to contact on behalf of Trust or LLC (if applicable): _____
Mailing Address: _____ City: _____ State: _____ Zip: _____
Phone: () _____ Fax: () _____ Cell: () _____
Email Address: _____

Application Contact (if different than above): _____
****Application Contact will be the Planning Department's primary point of contact for questions related to the application.**
Mailing Address: _____ City: _____ State: _____ Zip: _____
Phone: () _____ Fax: () _____ Cell: () _____
Email Address: _____
Signature: _____ Date: ____/____/____

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

- Commercial, Mixed-Use or Multi-Family..... \$ 450.00
plus \$25 / 1,000 gross square feet..... \$ _____
- OR Single-Family Dwelling, Duplex or Accessory Structure in TO..... \$ 250.00
- OR No Substantial Impact..... (Mailing only)..... \$ 75.00
- OR Modification to DR Approval.. (No publication or mailing)..... \$ 50.00
- OR DR Exemption.. (No publication or mailing)..... \$ 30.00
- Publication cost..... \$ 40.00
- Mailing (# of addresses 28) x (.49 postage + .15 paper, envelope & label) \$ 17.92
- DO NOT COUNTY DUPLICATES OR CITY OF HAILEY**
- Total Due..... \$ 307.92

DESIGN REVIEW—APPLICATION CHECKLIST

Project Name: **Jon Marvel Addition**

City Use Only

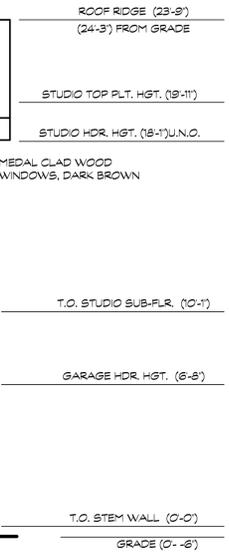
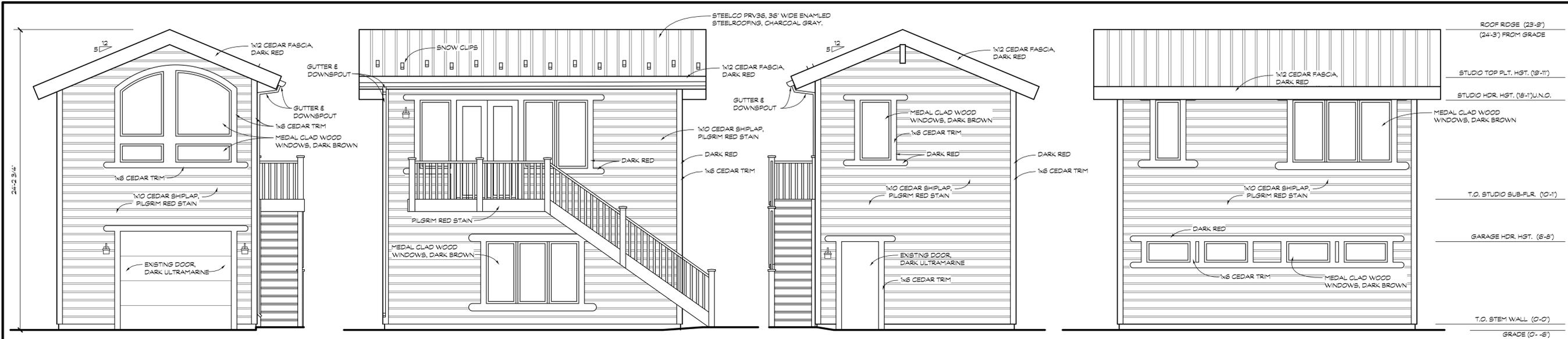
Certified Complete by:	KH
Date:	/ /

The following items must be submitted with the application for the application to be considered complete (✓):

Yes	No	Item	Description
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1.	The completed Design Review application form including project name and location, and applicant and representative names and contact information.
<input type="checkbox"/>	<input type="checkbox"/>	2.	One (1) 24" x 36" set of plans and survey and one (1) 11" x 17" set showing at a minimum the following:
<input type="checkbox"/>	<input type="checkbox"/>	a.	<input checked="" type="checkbox"/> Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b.	Drainage plan (grading, catch basins, piping, and dry-wells).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c.	Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d.	Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation, and snow storage. List square footage of subject property including lot dimensions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e.	Landscape plan (existing landscaping on the site shown as retained, relocated or removed; proposed landscaping including species type, size and quantity).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	f.	Floor plan. List gross square footage for each floor. List occupancy classification and type of construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g.	Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	h.	Exterior Lighting plan, pursuant to Article VIII B, of the Zoning Ordinance (location, height, type, and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i.	Sign plan (location, dimensions and lighting).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3.	Plans and drawings for all buildings, except Single Family Dwellings and Accessory Structures, shall be prepared and stamped by an Idaho licensed architect.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4.	A materials and colors sample board. Each sample should be approximately 12"x12" in size.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	5.	One (1) colored rendering of at least one side of the proposed building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	6.	Staging and contractor parking plan. Statement of where staging will occur, and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters, contractor parking, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.	A list of the names and addresses of all property owners and residents within three hundred (300) feet of the exterior boundaries of the subject property, in a format acceptable to the City. (Names and addresses can be obtained using the Blaine County map server http://maps.co.blaine.id.us/ or from the Blaine County Assessor's office)
<input type="checkbox"/>	<input type="checkbox"/>	8.	Other information as required by the Administrator, Hearing Examiner or the Commission.
<input type="checkbox"/>	<input type="checkbox"/>	9.	Electronic PDF copies of all documents and materials listed above. (RECOMMENDED)
<input type="checkbox"/>	<input type="checkbox"/>	10.	Written statement of how each design review standard is met. (RECOMMENDED)
<input type="checkbox"/>	<input type="checkbox"/>	11.	Payment of applicable fees.

City Use Only:

<p>___ Verify that application is complete</p> <p>___ Double check address</p> <p>___ Advise applicant if Lot Line Adjustment is needed</p>	<p>___ Check following basic standards:</p> <p>___ Density</p> <p>___ Setbacks</p> <p>___ Height (plans must show elevation points of record grade)</p> <p>___ Lot coverage</p> <p>___ Floor area</p> <p>___ Required Parking Spaces</p>
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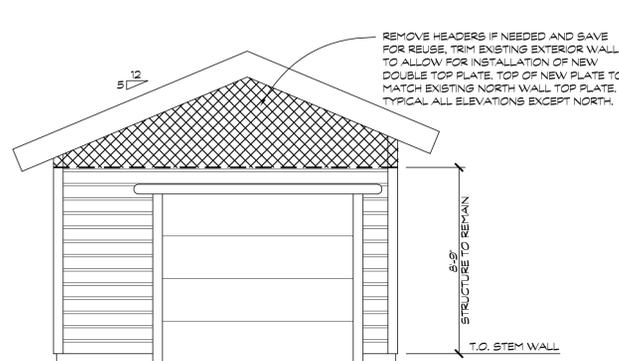


WEST ELEVATION -NEW
SCALE: 1/4\"/>

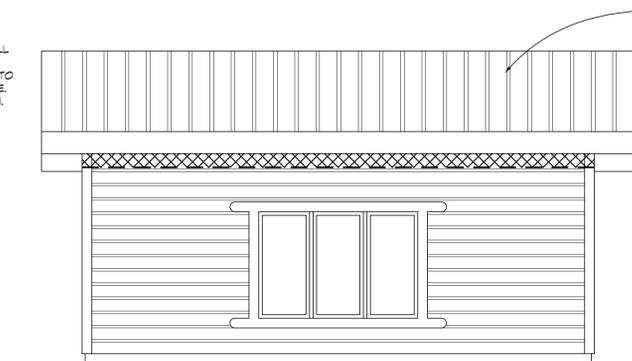
SOUTH ELEVATION -NEW
SCALE: 1/4\"/>

EAST ELEVATION -NEW
SCALE: 1/4\"/>

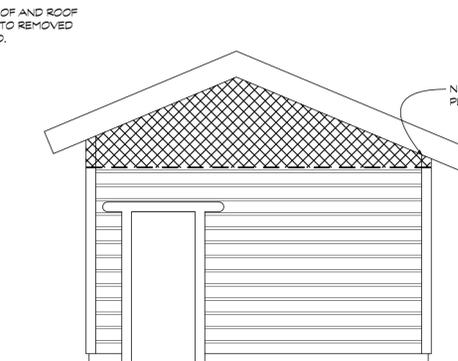
NORTH ELEVATION -NEW
SCALE: 1/4\"/>



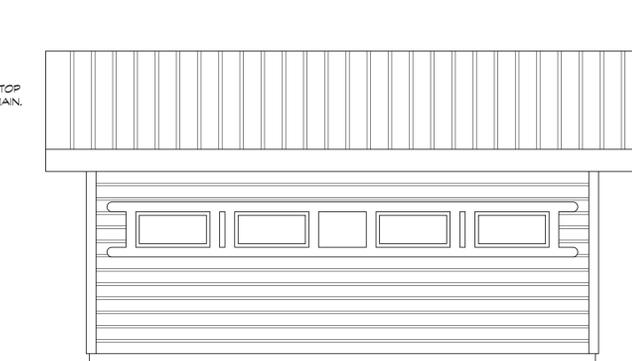
WEST ELEVATION -DEMO
SCALE: 1/4\"/>



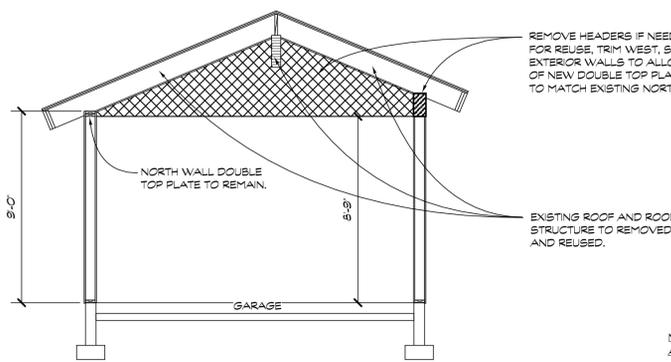
SOUTH ELEVATION -DEMO
SCALE: 1/4\"/>



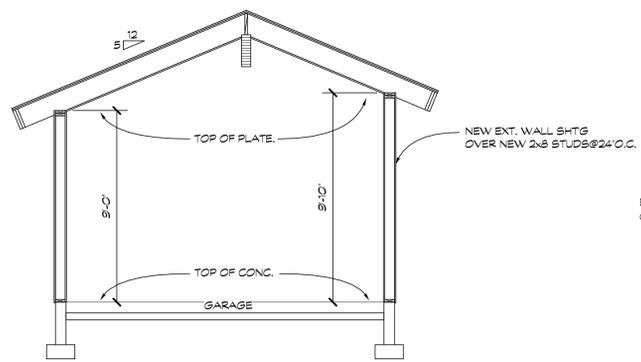
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SCALE: 1/4\"/>



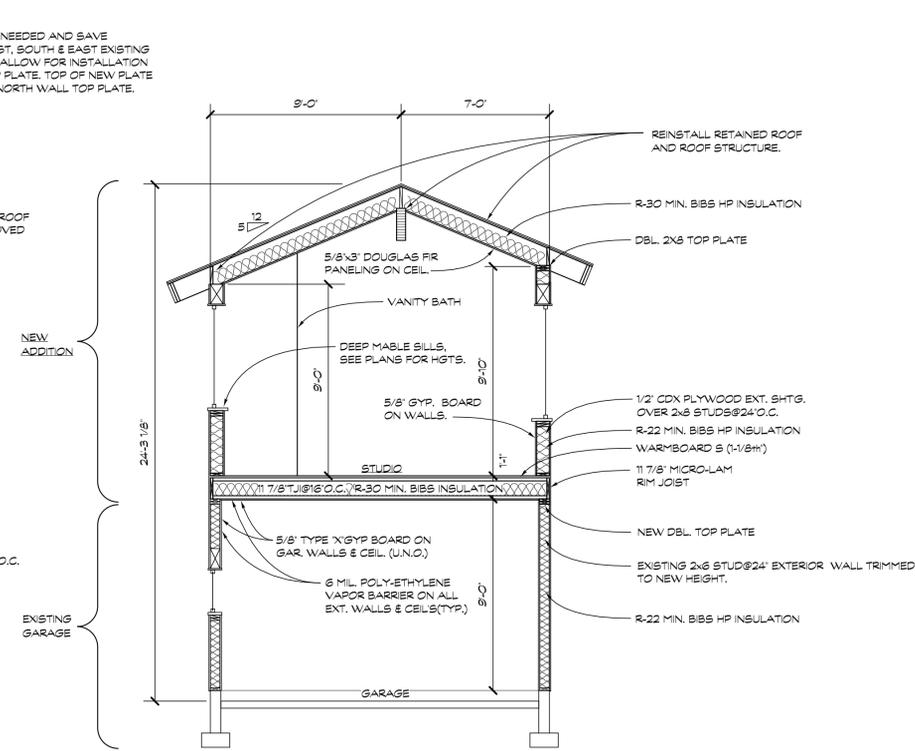
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SCALE: 1/4\"/>



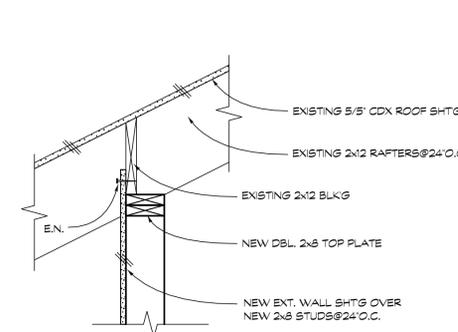
GARAGE SECTION -DEMO
SCALE: 1/4\"/>



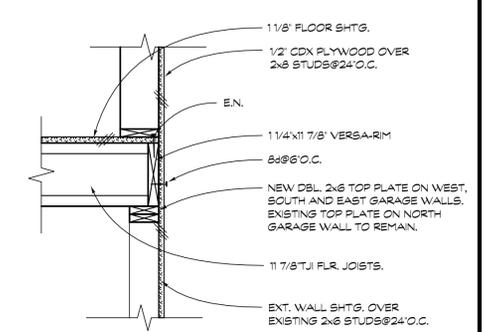
GARAGE SECTION -EXISTING
SCALE: 1/4\"/>



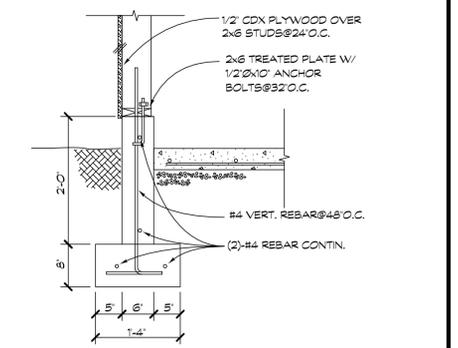
NEW BUILDING SECTION A-A
SCALE: 1/4\"/>



ROOF FRAMING DETAIL



WALL AND FLOOR FRAMING DETAIL
SCALE: 3/4\"/>

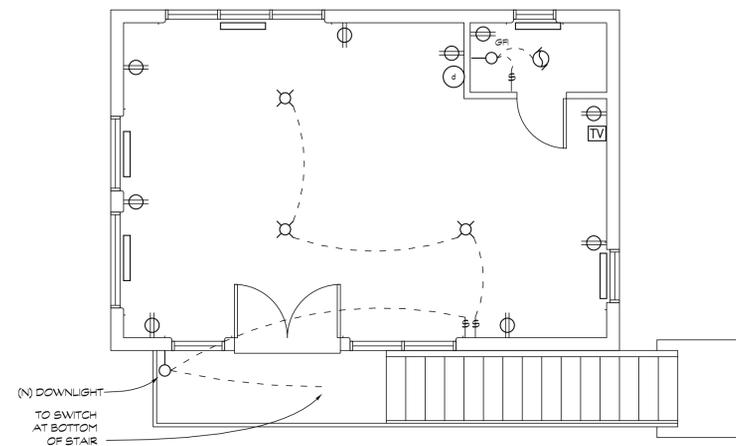


EXIST. FD'N. & WALL DETAIL
SCALE: 3/4\"/>

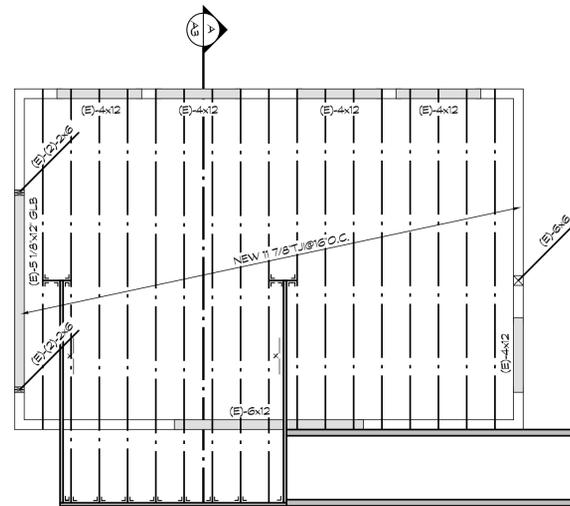
ELEVATIONS,
SECTIONS &
DETAILS

REVISIONS	BY

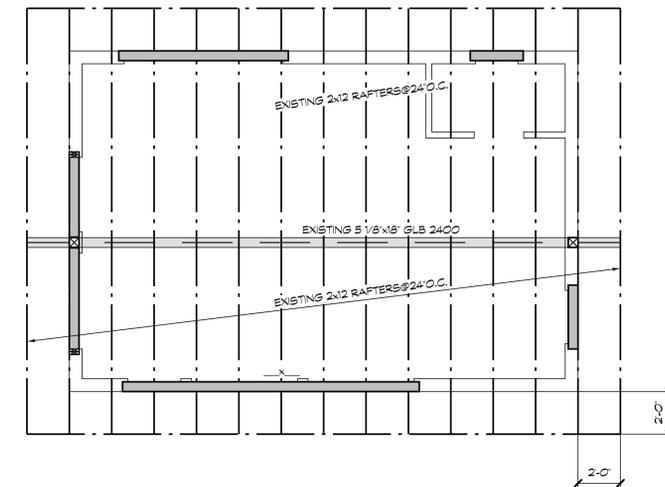
DATE 02/13/14
SCALE AS NOTED
DRAWN BLS/KDS
JOB
SHEET



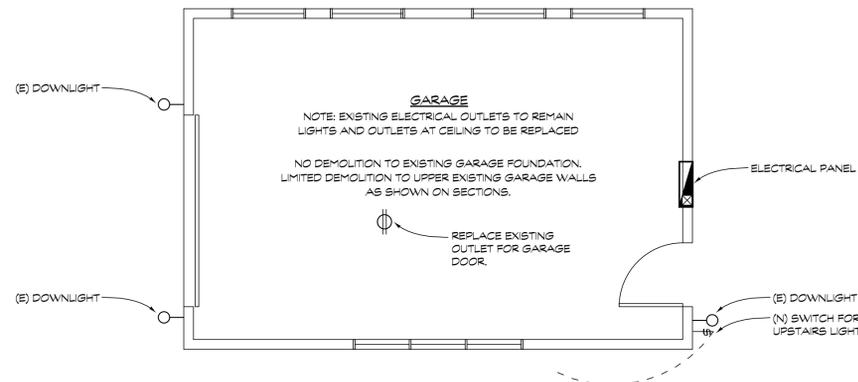
NEW STUDIO ELECTRICAL PLAN
SCALE: 1/4"=1'-0"



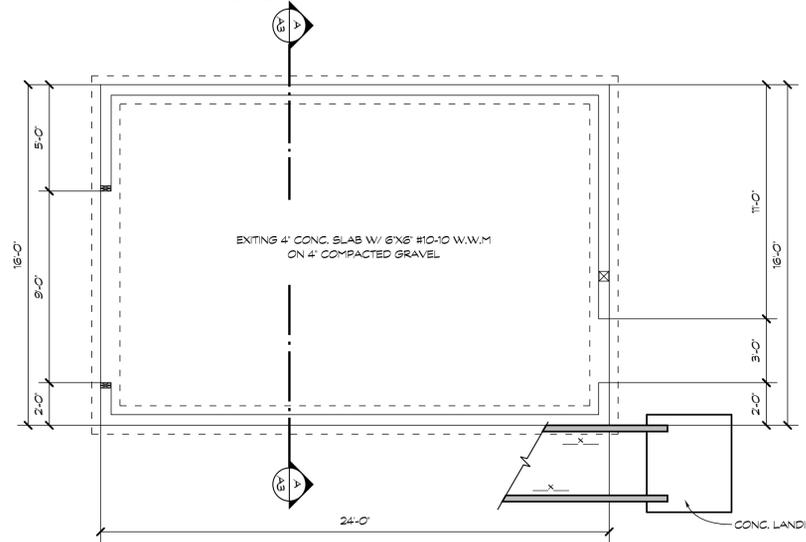
2ND STORY-STUDIO ADDITION-FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



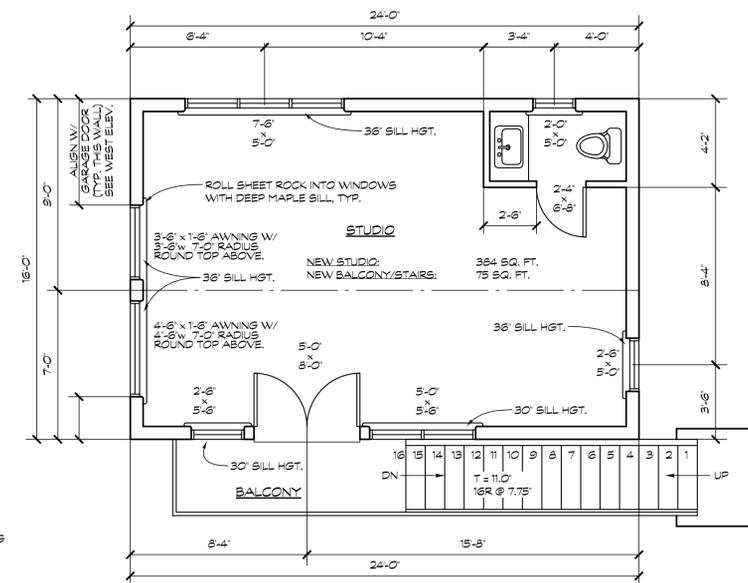
NEW ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



NEW GARAGE ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

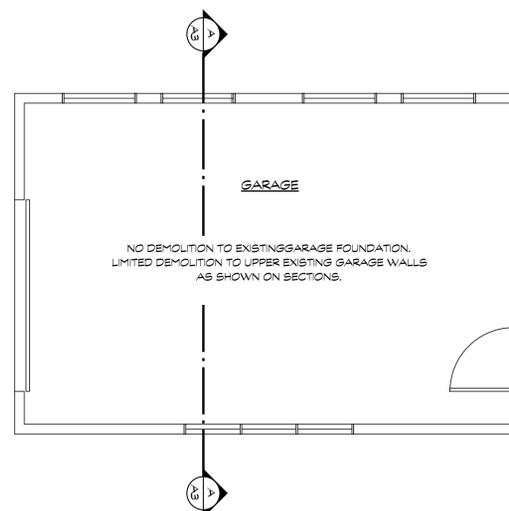


EXISTING & NEW FOUNDATION PLAN
SCALE: 1/4"=1'-0"

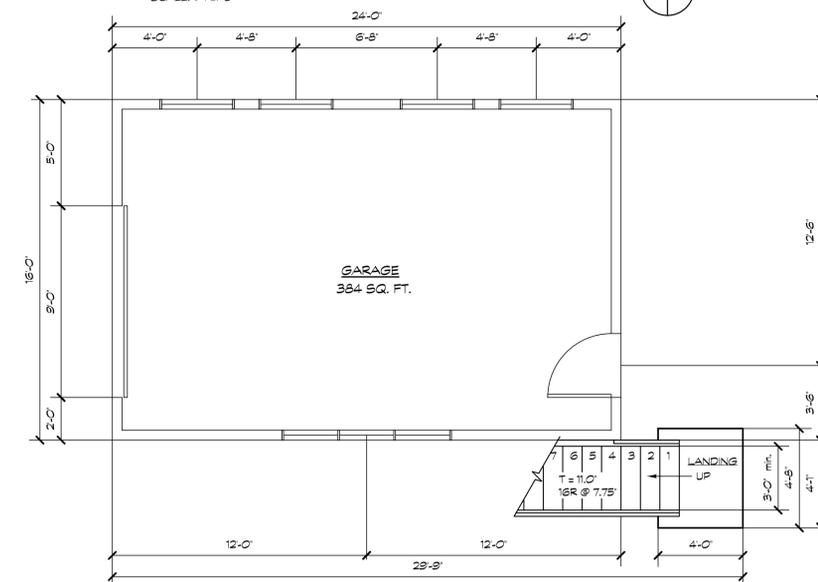


NEW STUDIO ADDITION FLOOR PLAN
SCALE: 1/4"=1'-0"

ELECTRICAL SYMBOLS	
	SMOKE DETECTOR
	ELECTRIC WALL HEATER
	1/2 SWITCHED OUTLET
	220 V OUTLET
	DUPLEX RECEPTACLE @ STANDARD 14" MOUNTING HGT.
	FOURPLEX RECEPTACLE @ 42" MOUNTING HGT. GFI AT COUNTERS
	DUPLEX RECEPTACLE - WEATHER PROOF
	DUPLEX RECEPTACLE - GFI
	EXHAUST FAN
	CABLE TELEVISION
	RECESSED FIXTURE
	MAIN PANEL
	ELECTRICAL METER
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	SWITCH
	EXISTING
	NEW



EXISTING GARAGE DEMO PLAN
SCALE: 1/4"=1'-0"



NEW GARAGE PLAN
SCALE: 1/4"=1'-0"

FLOOR PLANS

REVISIONS BY

DATE 02/13/14

SCALE AS NOTED

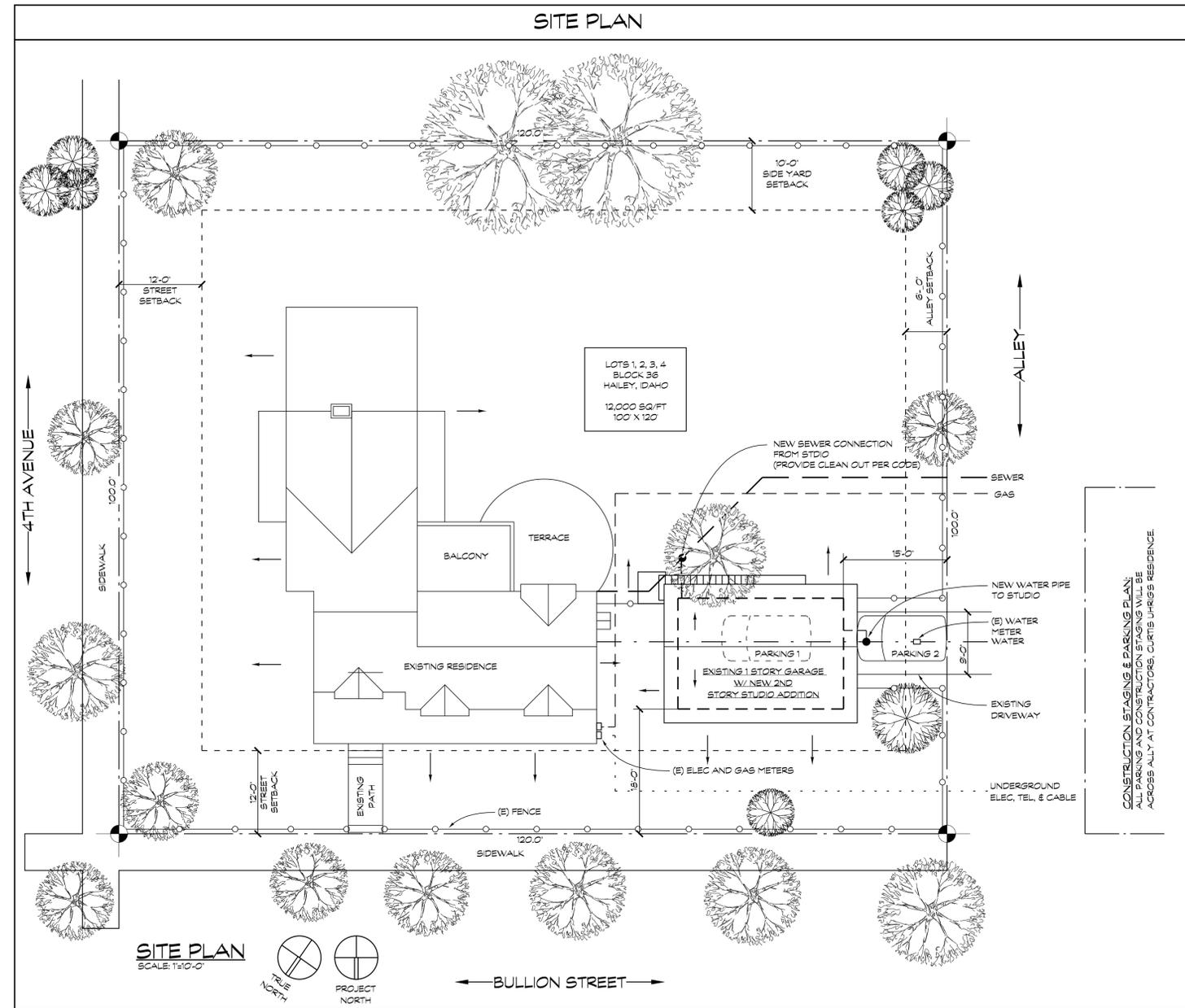
DRAWN BLS/KDS

JOB

SHEET

A2

SHEET INDEX	
A1	SITE PLAN
A2	DEMO, NEW & ELECTRICAL FLOOR PLANS
A3	DEMO & NEW BUILDING SECTIONS & ELEVATIONS



LANDSCAPING:
ALL TREES REMAIN

OCCUPANCY:
CLASS 'U'

CONSTRUCTION:
TYPE V - WOOD FRAME

PARKING:
TWO ON SITE PARKING PLACES PROVIDED.

SNOW STORAGE:
SNOW FROM DRIVEWAY STORED ON PROPERTY AT NORTH SIDE OF GARAGE. SOUTH STUDIO ROOF SNOWS HELD ON ROOF.

PROJECT SQUARE FEET:

EXISTING GARAGE	384
NEW STUDIO ADDITION	384
NEW EXTERIOR BALCONY/STAIRCASE	78
TOTAL NEW	384

DRAINAGE NOTES:
ARROWS INDICATE DIRECTION OF SLOPE. ON SITE RETAINAGE OF ALL ROOF DRAINAGE

UTILITY NOTES:
FIELD VERIFY EXACT LOCATIONS OF ALL UTILITIES PRIOR TO COMMENCING WORK

LIGHTING NOTES:
SHIELDED DOWN LIGHTS WITH 15 WATT BULBS AT 6' ABOVE FLOOR LEVEL. SEE PHOTOS.

SITE PLAN

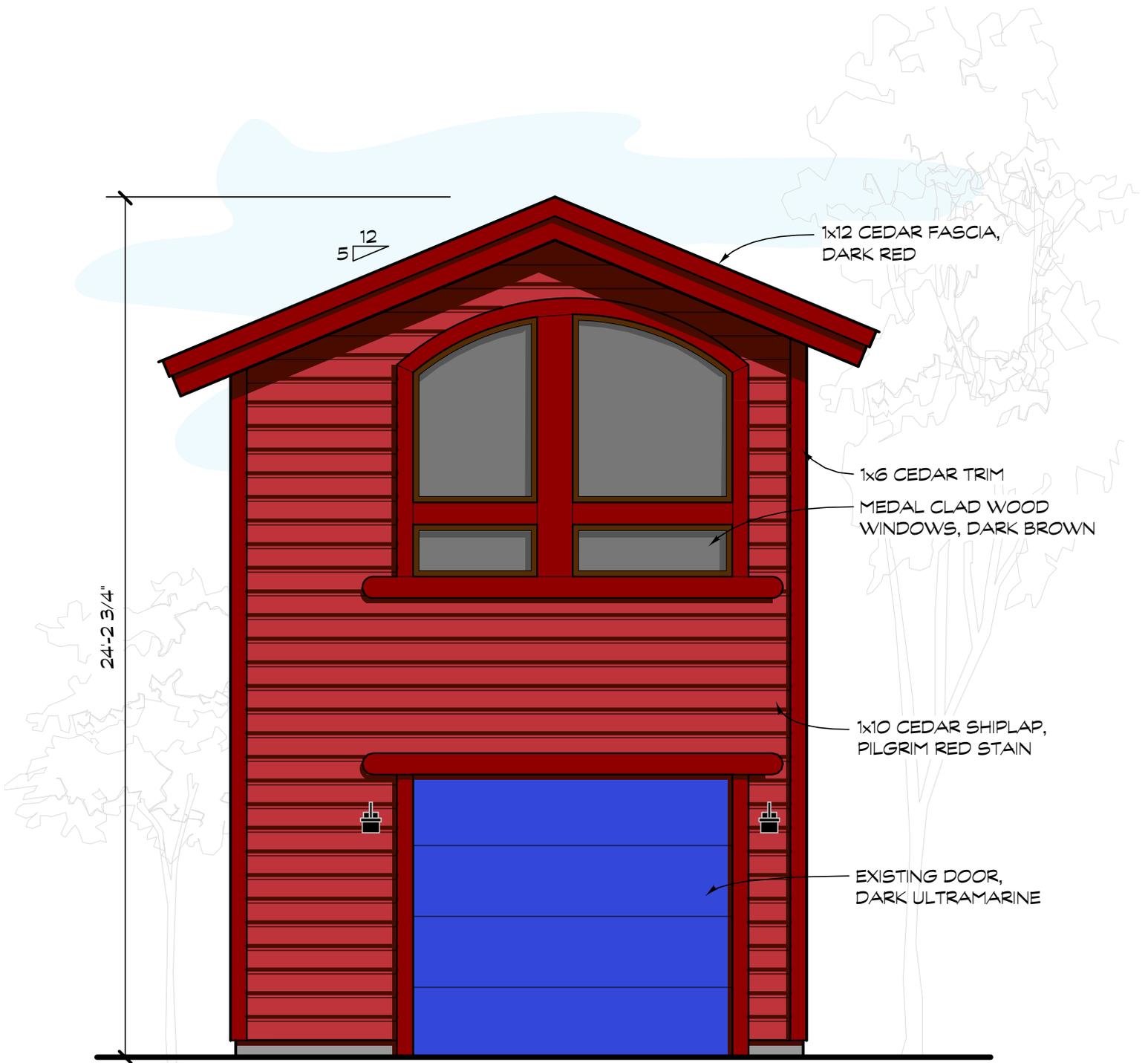
REVISIONS	BY

DATE: 02/13/14
SCALE: AS NOTED
DRAWN: BLS/KDS
JOB:

SHEET

A1

MARVEL STUDIO
316 E. BULLION HAILEY, IDAHO 83333



WEST ELEVATION
SCALE: 1/4"=1'-0"

MARVEL STUDIO











STAFF REPORT

TO: Hailey Planning and Zoning Commission

FROM: Micah Austin, Community Development Director

RE: Zoning Ordinance Amendment – Consideration of a City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by amending Section 5.4 by changing Schools from Permitted uses to Conditional Uses in General Residential (GR), Business (B), and Limited Business (LB) districts and add Schools as Conditional Uses in SCI-O and SCI-I. The amendment also proposes changes to Section 9.4 to amend parking requirements for Institutional Uses and Section 11 to require siting and evaluation standards for consideration of a School as part of a Conditional Use Permit.

HEARING: Planning and Zoning: February 10, 2014
Planning and Zoning Workshop: February 24, 2014
Planning and Zoning: March 10, 2014

Notice

Notice for the public hearing on February 10 before the Planning and Zoning Commission was published in the Idaho Mountain Express on January 19 and January 21 and mailed to public agencies and area media on January 14, 2014. Notice for the public hearing on February 24 was published in the Idaho Mountain Express on February 19, 2014.

Proposal

The proposed text amendment makes changes to Section 5.4 by changing Schools from Permitted uses to Conditional Uses in General Residential (GR), Business (B), and Limited Business (LB) districts and add Schools as Conditional Uses in SCI-O and SCI-I. The amendment also proposes changes to Section 9.4 to amend parking requirements for Institutional Uses and Section 11 to require siting and evaluation standards for consideration of a School as part of a Conditional Use Permit.

Background

Schools are currently Permitted Uses within Business (B), General Residential (GR), and Limited Business (LB) zones. As a Permitted Use, only Design Review would apply to a new school within these zones. A recent application for a new school within the China Gardens Subdivision raised many questions as to whether Schools should be required to follow a Conditional Use Permit process to ensure that a proposed school does not incur any undue hardships or impacts to the existing neighborhood, public services, or cause any foreseeable and avoidable impacts. At the direction of the Mayor and City Council, staff has prepared the proposed ordinance with input from all existing and proposed schools within Hailey City Limits. Blaine County School District, Sage School, and the proposed Syringa Mountain School have all had the opportunity to comment on the amendment as well as the public. Comments have been received from all schools and from members of the public. In addition, comments were received from the public during the Public Hearing on this amendment on February 10, 2014. The current proposed ordinance reflects these comments, as applicable, and represents staff's recommendation to the

Hailey Planning and Zoning Commission.

Procedural History

The text amendment was considered by the Planning and Zoning Commission on February 10, 2014, at which time the public commented on the ordinance during a public hearing. Following this public hearing, staff was directed to make changes to the draft based on the public comments and schedule a workshop meeting for February 24 when the Commission would have an open discussion on the amendments with the public. The workshop is scheduled for February 24, 2014 at 5:30 pm.

Department Comments

In drafting the proposed ordinance, staff did extensive research on best practices in siting and approving schools within the State of Idaho and in other parts of the nation. When doing this research, it was discovered that planning practices for schools were far from standard and varied from one end of the regulatory spectrum to the other. In some instances, staff found that cities had few or no standards for citing schools apart from the standard criteria for evaluating any Conditional Use Permit, regardless of proposed. In other instances, the standards required for schools were highly restrictive and did not particularly seem appropriate or applicable for our community. The proposed ordinance represents staff's attempt to address all major concerns that were brought up at the recent application for a new school while incorporating the best practices that are applicable to our community.

The changes proposed address parking, site planning, traffic and pedestrian safety, and other concerns that were previously difficult to address for any new school with our current ordinance. For example, the proposed ordinance requires an on-site parking requirement when no assembly areas are called out. This particular amendment proposed addressing this issue with the following language, "If no assembly areas are proposed, the required minimum number of on-site parking spaces shall be one (1) space for every teacher and employee, or five (5) spaces per 1,000 square feet of Gross Area, whichever is greater." The intent of this requirement is not to create large asphalt parking lots of impermeable surfaces, but represents a maximum requirement if a school does not fit the criteria of the previous on-site parking requirements.

Another proposed requirement is provide a traffic study that would be prepared by a licensed engineer. According to the ordinance, "The traffic study shall include but is not limited to 1) a description of the source of vehicle trips (*e.g.*, students, teachers, deliveries, etc.), 2) an estimate of average daily trips including trips during peak hours, 3) an estimate of increased waiting times at keys intersections on projected routes of travel to and from the School, 4) a description of average drop-off and pick-up times per student, 5) a description of designated area for drop-off and pick-up of students, along with a projected average time for drop-off and pick-up, 6) a description of proposed traffic calming measures and 7) a description of proposed traffic reduction measures." The objective for the traffic study is to fully inform the public, the City of Hailey officials, the Planning and Zoning Commission, and the applicants of the traffic impacts to the neighborhood and address any safety concerns. It is anticipated that this information will be critical in determining whether the selected site is appropriate for locating a school and, with

all other information provided by the applicant, will be used by the Commission in making their decision.

Other proposed standards address landscape safety, public infrastructure demand, public infrastructure planning, and significant consideration for public safety and welfare. It is important to note that the objective for this amendment is not to frustrate the planning efforts for any school or to discourage new schools within Hailey, but rather to ensure that all schools are sited and planned so as to fully maximize their effectiveness and benefit to the community while minimizing or eliminating any undue burden the schools may cause to the community.

Standards of Evaluation

Note: Staff analysis is in lighter type,
Italicized words are words or phrases added by staff for clarification purposes.

14.6 When evaluating any proposed amendment under this Article, the Commission and Council shall make findings of fact on the following criteria:

a. The proposed amendment is in accordance with the Comprehensive Plan;
The Council should consider how the proposed amendment relates to the various goals of the Comprehensive Plan (listed below for reference). Section 9, Public Services, Facilities, and Utilities, has been addressed as being most applicable to this application as seen below.

Section 9: Public Services, Facilities and Utilities

The following excerpt from Section 9 of the Comprehensive Plan that contains section applicable to this application. Emphasis added.

Public Facilities

The City of Hailey adopted the Capital Improvement Plan as an element of the Comprehensive Plan in 2007 as required by Idaho Code Section 67-8208. The Capital Improvement Plan is overseen by the Public Works Department and updated in the spring of each year as part of the annual budget process. The Capital Improvement Plan projects the costs for street projects, water projects, wastewater projects, sidewalk projects, path and trail projects, park projects, city building projects (city hall, library, police and fire stations, etc) and storm water projects. The City Council prioritizes these projects through the annual budget process.

Consistent with the above section of the Comp Plan, the proposed has requirements for ensuring that all public infrastructure is adequate to accommodate the proposed school.

Emergency Services

In addition to law enforcement, the Hailey Police provide a number of services to the Community, such as bicycle safety, fingerprinting services, vacant home and vacation checks,

business checks, theft prevention education, vehicle lockouts, and a traffic school. The Police Department has its headquarters at City Hall.

The Hailey Fire Department is comprised of 3 divisions; Administration, Prevention and Operations. Currently the department has a single station located at 617 S. Third Street. New stations are planned for the central Woodside area, and the Northridge areas, which would allow the existing aging station to be decommissioned.

Consistent with the above, the proposed amendment contains landscaping and access requirements that have been recommended and approved by both the Police Department and the Fire Department. These standards ensure that the public, students, and emergency personnel are as safe as possible when responding to an emergency at the school.

Goal 9.1: Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.

The proposed amendments comply with this goal. The intent of the amendment is to minimize impacts of schools and to ensure the public health, welfare, and safety are addressed.

Comp Plan Goals (2010)
1.1 Preserve, protect and restore natural resources including waterways, floodplains, wetlands, soil, community forest, native vegetation, green space and wildlife habitat and migration corridors for the benefit of the City and its residents.
1.2 Efficiently use and conserve resources.
1.3 Promote renewable energy production
1.4 Promote energy conservation
1.5 Promote air quality protection
2.1 Reduce the potential threat to loss of life, limb or property and minimize public expenditures due to natural and man-made hazards.
3.1 Assure the protection and preservation of Special Sites, Areas and Features to maintain a strong community identity for future generations
3.2 Protect the residential character of the original Townsite.
4.1 Create and maintain an interconnected system of parks, recreational facilities, trails, green spaces and natural lands in order to provide diverse recreation opportunities for Hailey residents within ¼ mile to ½ mile of the greatest number of residents.
5.1 Retain a compact City comprised a central downtown with surrounding diverse neighborhoods, areas and characteristics as depicted in the Land Use Map:
a. Main Street Corridor – area of high density commercial, mixed use and residential development.
b. Downtown - the historic commercial center containing the greatest concentration of commercial, cultural and civic activity. Downtown is the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.
c. Community Activity Areas – located at the north and south ends of the Main Street Corridor. High density residential is encouraged. Commercial and mixed use (commercial and residential) development is appropriate, but should be subordinate and secondary to the infill of Downtown.
d. High Density Residential – high density residential infill is encouraged in the area along Main Street and River Street between Downtown and the north and south ends of Main Street.
e. Residential Buffer – medium density residential, providing a buffer between lower density residential neighborhoods to the east and west and the Main Street District.
f. Traditional Residential – Density varies depending on the qualities of different neighborhoods, generally density is higher within a ¼ mile of Downtown, Community Activity Areas or Neighborhood Service Centers and connected by transit service.
g. Neighborhood Service Centers – Small commercial areas serving residents within walking distance (¼ to ½ mile) where commercial use is subordinate to residential uses and to Downtown or Community Activity Areas.
h. Light Industrial – Areas containing uses important to a variety of business sectors that focus on the production of products and services that are less compatible with, and do not compete with, uses in Downtown and the Community Activity Areas.
i. Airport Site Redevelopment – a diversity and integration of uses and community assets that complement and support Downtown and are connected within and to existing

neighborhoods.
j. Community Gateways – areas where one has a sense of arrival or sense of being within a part of town distinguished from others providing opportunities for special design considerations.
5.2 Maintain Downtown as the area containing the greatest concentration of commercial, cultural and civic activity and as the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.
5.3 Continue cooperation with the Blaine County and the Friedman Memorial Airport Authority in regional planning efforts to optimally relocate the airport and plan for the long term redevelopment of the site within the city limits to ensure that changes in land use are beneficial to the community of Hailey.
5.4 Protect open space within and surrounding Hailey, including visible ridgelines, undeveloped hillsides and agricultural areas which help define the unique character of Hailey.
5.5 Lessen dependency on the automobile.
5.6 Manage and accommodate population growth by infill development and, when appropriate, minimal expansion by annexation and/or density increases.
5.7 Encourage development at the densities allowed in the Zoning Code.
6.1 Encourage a diversity of economic development opportunities within Hailey
6.2 Encourage abundant, competitive and career-oriented opportunities for young workers.
7.1 Encourage a variety of projects and programs that meet the needs generated by various segments of the population, especially the needs of those who risk suffering effects of discrimination or are socially or economically disadvantaged.
7.2 Encourage projects and programs that seek to provide opportunities for cultural, cross-cultural and educational enrichment.
8.1 Encourage development that provides opportunities for home ownership and rental homes for individuals and families of all socio-economic levels.
9.1 Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.
10.1. Create and maintain a pedestrian and bicycle-friendly community that provides a safe, convenient and efficient multi-modal transportation system for all Hailey residents.
11.1 Establish a built environment that maintains a human scale, retains interest, aesthetics, encourages various levels of interaction among all members of the community, and enhances the character of different neighborhoods.
12.1 Evaluate whether proposed regulatory or administrative actions may result in an unconstitutional taking of private property.
13.1 Encourage and facilitate the development of school facilities that are planned consistently with the city’s other land use policies.
13.2 Ensure the provision of safe, adequate, convenient multi-modal transportation access to all existing and future school sites.

- b. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;**

The amendment will ensure that all public facilities are available to accommodate new schools, thereby fulfilling this requirement of the text amendment.

- c. The proposed uses are compatible with the surrounding area; and**

The amendment will provide opportunity for the public to comment whether schools are compatible with the surrounding area. In addition, the Planning and Zoning Commission will have the ability to make this determination as part of the CUP process.

- d. The proposed amendment will promote the public health, safety and general welfare.**

The proposed amendment is primarily and fundamentally designed to promote the health, safety, and general welfare of the public.

Motion Language

Approval:

Motion to recommend to the City Council the proposed amendments to the Hailey Zoning Ordinance No. 532 by amending Section 5.4, Section 9.4, and Section 11 to require siting and evaluation standards for consideration of a School as part of a Conditional Use Permit.

Denial:

Council

Motion to recommend to the City Council denial of the proposed amendments to the Hailey Zoning Ordinance No. 532 by amending Section 5.4, Section 9.4, and Section 11 to require siting and evaluation standards for consideration of a School as part of a Conditional Use Permit, finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing upon the proposed amendments to _____ [the Commission should specify a date].

Table:

Motion to table the proposed amendments.

HAILEY ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING HAILEY’S ZONING ORDINANCE, ORDINANCE NO. 532, BY AMENDING SECTION 2.2 TO REVISE THE DEFINITION OF SCHOOL; AMENDING SECTION 5.4 TO MAKE SCHOOLS A CONDITIONAL USE IN THE GENERAL RESIDENTIAL (GR), LIMITED BUSINESS (LB), BUSINESS (B) AND SERVICE COMMERCIAL INDUSTRIAL – SALES AND OFFICE (SCI-SO) ZONING DISTRICTS; AMENDING SECTION 9.4.4 TO CLARIFY PARKING REQUIREMENTS FOR SCHOOLS; AMENDING SECTION 11.2.2 TO REQUIRE A TRAFFIC STUDY, A PEDESTRIAN AND BICYCLE PLAN AND A WATER DEMAND ESTIMATE; ADDING A NEW SUBSECTION 11.4.3 TO ADD STANDARDS FOR A SCHOOL CONDITIONAL USE PERMIT; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, Idaho Code § 67-6512 authorize the City of Hailey to establish conditional use permits;

WHEREAS, Hailey Zoning Ordinance allows schools as permitted uses in the General Residential (GR), Limited Business (LB) and Business (B) zoning districts, but disallows schools in the Service Commercial Industrial District – Sales and Office (SCI-SO) zoning districts;

WHEREAS, the City of Hailey believes it is in the public health, safety and welfare to make schools a conditional use in the General Residential (GR), Limited Business (LB), Business (B) and the Service Commercial Industrial District – Sales and Office (SCI-SO) zoning districts;

WHEREAS, the Hailey City Council has found that the following amendments to the Hailey Zoning Ordinance will generally conform to the Hailey Comprehensive Plan;

WHEREAS, the amendments will not create excessive additional requirements at public cost for public facilities and services; and

WHEREAS, the amendment will be in accordance with the public health, safety and general welfare.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. The definition of “Schools” found in Section 2.2 of the Hailey Zoning Ordinance No. 532, is hereby amended by addition of the underlined language and by deletion of the stricken language, as follows:

Schools. ~~The term schools~~ An institution providing academic instruction and shall include kindergarten, elementary, junior-high, middle and high schools. For the purpose of this definition, Schools do not include post-secondary schools, such as universities, colleges and vocational or trade schools.

Section 2. Portions of the District Use Matrix found in Section 5.4 of the Hailey Zoning Ordinance No. 532 are hereby amended by addition of the underlined language and by deletion of the stricken language, as follows:

Section 5.4 District Use Matrix

Category	Description (Excerpt)	Districts & Corridors										TI	A	SCI-SO	SCI-I	
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI						
PUBLIC OR SEMI/PUBLIC																
	Schools. <u>(Refer to §11.4.3 for specific criteria when reviewing schools)</u>	N	N	N	<u>P</u> <u>C</u>	N	<u>P</u> <u>C</u>	N	<u>P</u> <u>C</u>	N	N	N	N	N <u>C</u>	N	

Section 3. Section 9.4.4 of the Hailey Zoning Ordinance No. 532 is hereby amended by addition of the underlined language and by deletion of the stricken language, as follows:

9.4.4 Schools.

a. Elementary schools: One (1) space for every teacher and employee, or one (1) space for every two (2) seats of the largest assembly area on the School site, whichever is greater. If no assembly areas are proposed, the required minimum number of on-site parking spaces shall be one (1) space for every teacher and employee, or five (5) spaces per 1,000 square feet of gross area, whichever is greater.

b. Middle schools: One (1) space for every teacher and employee, or one (1) space for every two (2) seats of all the largest assembly areas on the School site, whichever is greater. If no assembly areas are proposed, the required minimum number of on-site parking spaces shall be one (1) space for every teacher and employee, or five (5) spaces per 1,000 square feet of gross area, whichever is greater.

c. High schools: One (1) space for every five (5) students and one (1) space for each teacher and/or employee, or one (1) space for every two (2) seats of all the largest assembly areas on the School site, whichever is greater. If no assembly areas are proposed, the required minimum number of on-site parking spaces shall be one (1) space for every teacher and employee, or five (5) spaces per 1,000 square feet of gross area, whichever is greater.

d. Colleges, universities, professional or trade schools: 1 space for every 3 students and 1 space for each employee.

Section 4. Section 11.2.2 of the Hailey Zoning Ordinance No. 532 is hereby amended by addition of the underlined language, as follows:

11.2.2 The application shall include at least the following information:

- a. Name, address, and phone number of the applicant.
- b. Proof of interest in the subject property by the applicant, such as a deed, contract of sale, option to purchase, or lease agreement.
- c. Legal description of the subject property, including street address.
- d. Description of existing use.
- e. Zoning district of subject property.
- f. Description of proposed conditional use.
- g. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, traffic access and traffic circulation, open spaces, easements, existing and proposed grade, energy efficiency considerations, landscaping, exterior lighting plan as required by Article VIII B of this Ordinance, refuse and service areas, utilities, signs, property lines, north arrow, and rendering of building exteriors, where applicable.
- h. A narrative statement evaluating the effects on adjoining property, the effect of such elements as noise, glare, odor, fumes, and vibration on adjoining property.
- i. A narrative statement identifying surrounding land uses and discussing the general compatibility of the proposed use with adjacent and other properties in the district.
- j. A narrative discussion ~~of the relationship of the proposed use to the Comprehensive Plan~~ describing how the application meets each applicable criteria for review.
- k. A list of the names and addresses of all property owners and residents within three hundred (300) feet of the external boundaries of the land being considered.
 1. For a School conditional use permit application, the following must be completed with submittal of the conditional use permit application:
 1. A narrative statement stating the projected enrollment, the grades attending the school, the projected hours of operation for normal school days and after school activities, and anticipated special events;
 2. Description of security measures;
 3. Evidence of financial ability to construct and maintain a School;
 4. Bicycle and bussing plan;
 5. A site plan showing all proposed principal and accessory buildings and structures, including school buildings, administrative buildings and maintenance facilities, and parking areas, vehicle and bus circulation areas, pick-up and drop-off areas, playgrounds and open areas;
 6. Water demand estimate for all on-site water consumption submitted by a licensed engineer; and
 7. Traffic study certified by a licensed engineer. The traffic study shall include but is not limited to the following:
 - i. Existing Conditions. The traffic study shall provide a description of existing conditions which identifies the study area, the traffic volumes in the study area and any adjustment to the traffic volumes based on seasonal variation ;
 - ii. Projected Conditions. The traffic study shall provide a description of traffic projections in the first and tenth year of use which a)

identifies the source of vehicle trips (e.g., students, parents, teachers, deliveries, etc.), b) estimates the average number of daily trips including trips during peak hours, c) estimates a trip generation rate based on, at a minimum, existing local school data, and d) establishes a trip generation estimate;

iii. Traffic and Improvement Analysis. The traffic study shall provide a level of service analysis, an estimate of increased waiting times at keys intersections on projected routes of travel to and from the School and a warrant analysis for infrastructure improvement;

iv. Description of average drop-off and pick-up times per student;

v. Description of designated area for drop-off and pick-up of students, along with a projected average time for drop-off and pick-up;

vi. Description of proposed traffic calming measures;

vii. Description of proposed traffic reduction measures;

viii. Description of projected pedestrian traffic to and from the

School; and

ix. Recommendation of infrastructure required to provide for safe and efficient vehicular and pedestrian movement to and from the School.

The applicant and Administrator may conduct a pre-application meeting and agree to include more or less information in the traffic study and agree on the scope of certain information based on the particular facts and circumstances of the application.

8. Any operational guide, such as a charter or petition for charter school, setting forth the proposed number of students in each grade, teachers, paraprofessionals, administrative staff and other support staff, hours of operation, and description of school activities on-site.

m. Any other information as requested by the Administrator to determine if the proposed conditional use meets the intent and requirements of this Article.

n. A fee established in a separate ordinance approved by the Council.

Section 5. Section 11.4 of the Hailey Zoning Ordinance No. 532 is hereby amended by addition of a new subsection 11.4.3, as follows:

11.4.3 Schools.

11.4.3.1 Applicability. A conditional use permit is required for the following:

- a. A new School;
- b. The remodel of an existing School which increases enrollment in any one year by the lesser of 50% or seventy five (75) students;
- c. The remodel of an existing School which substantially increases the intensity of an existing School (e.g., conversion of a middle school into a high school which increases parking requirements and which may affect traffic); and
- d. The remodel of an existing School which increases the “net area” of a School by ten percent (10%). For the purpose of this section, “net area” shall mean the area consistently used by students, teachers and employees for instruction such as class rooms and assembly areas,

but does not include hallways, storage areas, employee break areas, restrooms and machinery rooms.

Any other expansion of a School will not require an application for a conditional use permit.

11.4.3.2 Criteria for Review. The Commission shall review the particular facts and circumstances based on the standards set forth below for the entire School. Before any approval of a conditional use permit, the Commission shall find adequate evidence showing that such use at the proposed location:

- a. Will comply with the standards for any conditional use found in Section 11.4.1.
- b. Will be located on or within four hundred feet (400') as measured along an existing Collector Street, as designated by §18.06.010 of the Hailey Municipal Code.
- c. Will have sidewalks, bike and vehicle facilities necessary to accommodate vehicular, pedestrian and bicycle traffic on-site and between the nearest Collector Street and the School site.
- d. Will comply with the parking requirements in Article IX of the Hailey Zoning Ordinance, unless the applicant can provide and guarantee alternative parking arrangements such as shared parking or bussing of staff and parents.
- e. Will comply with the outdoor lighting requirements in Article VIII B of the Hailey Zoning Ordinance.
- f. Will construct fencing around all play areas at elementary schools adjacent to private or public streets in accordance with Article VIII of the Hailey Zoning Ordinance.
- g. Will comply with the following site design standards:
 - i. Landscaping shall be restricted to trees with canopies higher than ten feet (10') and bushes less than three feet (3') high to deter hiding.
 - ii. A minimum of thirty five feet (35') of space on real property owned or leased by the School shall be provided around buildings in which trees and bushes shall be separated (*i.e.*, not clumped) and maintained and in which no buildings will be constructed.
 - iii. Sidewalks, bike and vehicle improvements shall meet the applicable standards in Title 18 of the Hailey Municipal Code.

Section 6. Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

Section 7. All Ordinances or parts thereof in conflict herewith are hereby repealed and rescinded.

Section 8. This Ordinance shall be in full force and effect from and after its passage, approval, and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE MAYOR THIS ___ DAY OF _____, 2014.

Fritz X. Haemmerle, Mayor

Attest:

Mary Cone, City Clerk

March 5, 2014

To:
Hailey Planning and Zoning Commission
Proposed School Conditional Use Permit

MAR 06 2014

Dear Commissioners,

I hate to be redundant but I want to reiterate the need to at least have language in the permit that says the commission has the obligation/ability to inform property/home owners more than 300 feet from the external boundaries of the property being applied for. It is unfair to expect the home owners to have the time to inform people in a timely fashion with all information necessary. I personally made copies of the letter sent by Syringa Mountain School, and by the county and distributed them but due to weather, illness and other time constraints some people were not informed until two days before the meeting. This is not fair to those people. Especially people who will be affected by traffic. As in the case of SMS people on Elm street, the north side did not know about the school, nor did people on Walnut and Aspen where we discovered later the traffic would be directed. I think something like 800 feet for schools would be more appropriate. However, it at least needs to be stated that the notification area is something that can be considered on a permit by permit basis as the CUP will be in use after the present commissioners are gone.

I would also like the collector street clarified, on the Table listing the classification of streets it states Elm St. is a residential collector and School Connection.. It seems pretty obvious to me that this only means Elm Street east of Main, but it is not stated that way. So could Elm Street West be considered a collector? And thus put the property in China Gardens back on list of possible sites? As people on the South side of Elm street were notified and not on the north side of Elm, it is only 300 feet from a collector if I am reading the Table correctly.

As to the definition of a school, I think other states have made it clear that Charter Schools are not the same as neighborhood schools as the traffic can be considerable greater, and the need to raise money to pay for the school makes its impact on a neighborhood much greater.

Thank you for your consideration of my thoughts.

Sincerely

Ann Fuller
521 Aspen Drive
Hailey, Idaho
83333