

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, April 22, 2013
Hailey City Hall
6:30 p.m.

Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Motion to approve minutes of April 8, 2013 Regular Meeting

New Business

NOTE: Tabs are
linked to e-files

NB 1 Motion to approve Findings of Fact, Conclusions of Law—approval of an annexation request from the Blaine County School District to annex Parcel 4 of a Replat of Maurer Subdivision (Inst.510590), comprising a total of .62 acres, into Hailey City Limits for the purpose of expanding the Wood River Middle School.

NB 2 Motion to approve Findings of Fact, Conclusions of Law—approval of an application by Strada Capital Inc. for Design Review of an alteration to the exterior of an existing residence by altering the roof over front entry from a shed roof to a gabled roof type and an existing installed window to a garage door and vehicle entry area. The residence being located at Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.) is within the Townsite Overlay (TO) and General Residential (GR) Zoning Districts.

NB 3 Motion to approve Findings of Fact, Conclusions of Law—approval of an application by Blaine County School District for Design Review of a 4,370 sq. ft. classrooms and hallway addition to the existing Wood River Middle School. The school is located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) and within the General Residential (GR) Zoning District.

NB 4 Motion to approve Findings of Fact, Conclusions of Law—approval of a Conditional Use Permit request from Mountain Rides Transportation Authority for operating a South Valley Facility on Woodside Subdivision Plat #10, Lot 38, Block 42 (otherwise known as 4021 Glenbrook Dr.) which is located in the Business (B) Zone.

NB 5 Public Hearing and consideration of an application by Craig Johnson for Design Review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), which is within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

NB 6 Public Hearing and consideration of an Application by The Sage School for Design Review of two new 2,880 sq. ft. modular classrooms to be located at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

- NB 7 Public Hearing and consideration of a City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by deleting the following sections and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5 , 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4. All zoning requirements from the preceding sections will be consolidated into the District Use Matrix. The proposed amendment's objective is to make the Zoning Ordinance easier to understand and interpret.

Old Business

- OB 1 Public Hearing and consideration of an amendment to Section 8.2 of the Zoning Ordinance which addresses signs and sign regulations. The proposed amendment revises the definition of an Animated Sign, adds a definition for Electronic Message Display (EMD) Sign, and defines the standards and regulations for Electronic Message Display and Animated Signs. (*Continue from 4-08-2013*)

Commission Reports and Discussion

Staff Reports and Discussion

- SR 1 Discussion of Goals and Priorities for the Hailey Planning and Zoning Commission
- SR 2 Discussion of current building activity and upcoming projects
- SR 3 Discussion of the next Planning and Zoning meeting: Monday, May 13, 2013

Adjourn

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

**MINUTES OF THE MEETING OF THE
HAILEY PLANNING & ZONING COMMISSION**

Monday, April 8, 2013

Hailey City Hall

6:30 p.m.

Present: Regina Korby, Jay Cone, Geoffrey Moore, Janet Fugate, Owen Scanlon

Staff: Micah Austin, Bart Bingham

Call to Order

[6:30:47 PM](#) Chair Moore called the meeting to order.

[6:32:20 PM](#) Janet Fugate moved to amend the agenda to move NB 8 to the Consent Agenda, and to add the swearing in of new and re-appointed Commissioners. Owen Scanlon seconded, and the motion carried unanimously.

[6:33:15 PM](#) Bart Bingham welcomed Regina Korby as a new Commissioner and Owen Scanlon as a returning Commissioner for his third term. Mr. Bingham conducted the swearing in of Ms. Korby and Mr. Scanlon.

Public Comment for items not on the agenda

[6:35:17 PM](#) None.

Consent Agenda

CA 1 Motion to approve minutes of March 11, 2013 Regular Meeting

[6:36:15 PM](#) Janet Fugate pulled CA 1 to abstain due to her absence. Discussion included the reasons for moving NB 8 to the Consent Agenda, removal of the reference to Wood River Chapel in the previous minutes at the 6:55 timestamp, and whether an AT&T representative was present at this meeting. Micah Austin explained that Nadine Bostwick of Powder River Development and AT&T was available by phone. [6:39:09 PM](#) Via speaker phone, Ms. Bostwick clarified that existing equipment would be removed and replaced with upgraded antennae within the same footprint even though it will be 4' taller. She further noted that AT&T's lease was reviewed and approved by property owners.

[6:44:02 PM](#) Owen Scanlon moved to approve CA 1. Jay Cone seconded, and the motion passed unanimously.

CA 2 Public Hearing and consideration of an application by AT&T (Powder River Development Services, LLC) for a Wireless Permit for the installation and operation of roof top equipment, including antennas and associated equipment cabinets for AT&T's Wireless telecommunications network. The equipment would be located at Pine Street Station Condos (400 S. Main St.) within the Business (B) and Townsite Overlay (TO) Zoning Districts.

[6:44:37 PM](#) Jay Cone moved to approve NB 8 (now CA 2) to approve the Findings of Fact, Conclusions of Law and Decision for AT&T precisely as presented to the Commission including all conditions. Owen Scanlon seconded, and the motion carried unanimously.

New Business

NB 1 Motion to approve Findings of Fact, Conclusions of Law and Decision – approval of an application by Maren Properties (Jared and Maren Hill) for Design Review of alterations to the exterior of an existing two floor building with a basement (Wood River Dental) and substantial remodel to the building's main floor. The building is located at Hailey Townsite, Blk 65, Lots S ½ of 9 and all of 10 (503 N. Main).

[6:45:34 PM](#) Owen Scanlon recused himself as he is the architect on this project. Jay Cone inquired about any pending conditions; Bart Bingham assured there were none. **Jay Cone moved to approve the Findings of Fact, Conclusions of Law and Decision for the Maren Properties Wood River Dental project precisely as presented to the Commission including all conditions. Geoffrey Moore seconded, and the motion passed unanimously.**

NB 2 Public Hearing and consideration of an amendment to Section 8.2 of the Zoning Ordinance which addresses signs and sign regulations. The proposed amendment revises the definition of an Animated Sign, adds a definition for Electronic Message Display (EMD) Sign, and defines the standards and regulations for Electronic Message Display and Animated Signs. (Continued from 3-11-2013)

[6:47:16 PM](#) Micah Austin provided background and an update to the Commission's directives on this matter from the previous meeting. These directives addressed limiting hours of operation of these signs, sign size, and the number of messages per 24 hour period. Discussion included the size of monument signs, whether these must comply with design review, no flashing mechanisms allowed, light intensity and movement, the intent that these signs are for public information and education uses only (no commercial uses), whether translation could be accommodated given the one message per 24 hour period restriction, input from prospective sign users, how the City might use these for City business, how to define commercial/governmental use as it may relate to BCRD, the Aquatic Center, Hailey Ice, etc. Discussion continued on methods for qualifying users, and possible unforeseen uses.

[7:04:01 PM](#) Chair Moore opened the matter to public comment.

[7:04:08 PM](#) Tony Evans, Idaho Mountain Express, asked to affirm that the request for these signs first came from Wood River Middle School. He then asked if there are any other places in the City where the City can place a sign (other than Werthheimer Park), and what might the City's messages be. Micah Austin responded that there is no way to foresee exactly what will be on the sign, and explained possible other locations.

[7:08:55 PM](#) Peter Lobb, 4th and Carbonate, opined "this is a bad idea made palatable, but I still think it's a bad idea." He encouraged the Commission to deny the request.

[7:12:07 PM](#) Bob Barrow, Boise resident and Hailey property owner, asked why government entities would be allowed these signs if other entities were not allowed. He further questions the one message per 24-hour period, noting that would not work well in a school district with a large number of Spanish-speaking students and parents.

Tony Evans, Idaho Mountain Express and Hailey resident, noted that "small changes can lead to unexpected outcomes." He further encouraged caution in considering this matter.

[7:16:56 PM](#) With no further comment offered, Chair Moore closed the matter to public input. Commission discussion included whether this matter has been given adequate thorough consideration, how challenges might affect it in the future, possible impact on City staff,

reasoning for allowing signs for the schools and how that compares to allowing them for the City, and considerations for monitoring the content and use.

[7:20:06 PM](#) **Jay Cone moved to continue NB 2 to the April 22, 2013 meeting for more discussion.** Commission discussion included the request for Ned Williamson's advise regarding possible litigation, sign uses, and the City's vision for utilizing such a sign. **Regina Korby seconded Mr. Cone's motion; and it carried unanimously.**

NB 3 Public Hearing and consideration of an annexation request from the Blaine County School District to annex Parcel 4 of a Replat of Maurer Subdivision (Inst.510590), comprising a total of .62 acres, into Hailey City Limits for the purpose of expanding the Wood River Middle School.

[7:26:23 PM](#) Micah Austin provided a summary of the application, and further explanations of size, location, set-backs, impacts and compliance with the Comprehensive Plan.

[7:32:51 PM](#) Jolyon Sawrey, Vital Ink Architecture on behalf of BCSD, provided detailed information on the fire lane and access, emphasizing that this part of the project was focused on the annexation request. [7:35:49 PM](#) John Gaeddart, BCSD, gave a detailed explanation of the site map, and some history of the property including the school's current needs. Mike Chatterton of BCSD was also present.

[7:39:33 PM](#) Commission discussion included clarification of property lines as they relate to topography, whether the Mauer Subdivision would have to re-plat if this annexation gets approval, and height restrictions.

[7:45:26 PM](#) Chair Moore opened the matter to public comment. None was offered.

[7:45:46 PM](#) Discussion included the agreement of the neighborhood with the school's request. Commission consensus was favorable with emphasis on ensuring the 25 foot height limit remains in plat notes.

[7:47:59 PM](#) **Janet Fugate moved to recommend to the City Council the annexation request of Blaine County School District precisely as it was presented to the Commission with all conditions included. Owen Scanlon seconded. Geoffrey Moore emphasized that the underlying zoning of the area must remain GR. A call for the question passed the motion unanimously.** John Gaeddart, BCSD, advised that the project timing would benefit by the Commission's allowance for Staff to begin public notice prior to final signing of documents. Micah Austin assured Commissioners he was comfortable with this. Jay Cone asked for approval from Ned Williamson before proceeding.

NB 4 Public Hearing and consideration of an application by Strada Capital Inc. for Design Review of an alteration to the exterior of an existing residence by altering the roof over front entry from a shed roof to a gabled roof type and an existing installed window to a garage door and vehicle entry area. The residence being located at Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.) is within the Townsite Overlay (TO) and General Residential (GR) Zoning Districts.

[7:52:01 PM](#) Bart Bingham explained that this application was made by Bob Barrow, owner, and project architect Tom Dabney. Mr. Bingham provided an overview of the proposal and materials samples. Tom Dabney spoke on behalf of applicant, and noted the basic elements of the proposal. [7:57:23 PM](#) Discussion included praise and appreciation for the remodel and the quality of the application. Mr. Barrow explained the samples and color choices.

[7:59:30 PM](#) Commission consensus was favorable; some discussion ensued on snow shed concerns at the garage roof near the entry area. Snow clips may be considered there.

[8:03:41 PM](#) Chair Moore opened the matter to public comment. Peter Lobb, 4th and Carbonate, endorsed the application noting “this is great for the neighborhood, a great idea.”

[8:04:31 PM](#) With no further comment offered, the meeting was brought back to the Commission.

[8:05:41 PM](#) **Jay Cone moved to approve the design review application made by Strada Capital, Inc. precisely as it was presented to the Commission with all conditions included. Janet Fugate seconded, and the motion carried unanimously.**

NB 5 Public Hearing and consideration of an application by Craig Johnson for Design Review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), which is within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

[8:07:19 PM](#) Bart provided background for this application and further explanation of some details including the location of the sidewalk. The Commission asked for clarification of the elevation at the sidewalk location. Discussion included whether retaining walls were necessary for grade changes, materials samples, concerns about elevations, concerns about drainage, existing trees, and the difficulty of considering the application without a presentation from the applicant or the architect. Further discussion included parking, [8:25:10 PM](#), snow storage, fencing, overall height, setbacks, wall height, and whether all necessary information was provided for the Commission’s consideration.

[8:35:29 PM](#) Chair Moore opened the matter to public comment. None was offered.

[8:36:06 PM](#) As previously arranged, Micah Austin placed a call to project architect Craig Johnson, but the call went to voice mail.

[8:36:43 PM](#) **Jay Cone moved to continue the application to the April 22, 2013 meeting in order to obtain further information from the architect. Regina Korby seconded, and the motion passed unanimously.**

NB 6 Public Hearing and consideration of an application by Blaine County School District for Design Review of a 4,370 sq. ft. classrooms and hallway addition to the existing Wood River Middle School. The school is located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) and within the General Residential (GR) Zoning District.

[8:37:51 PM](#) Bart Bingham provided an overview of the application. Jolyon Sawrey, architect for BCSD, addressed details, drawings, plans, and materials samples. Paul Stoops, electrical engineer on the project, was present to explain electrical fixtures and functionality.

[8:56:15 PM](#) Commission discussion included sidewalks compliance, importance of considering the entire site plan, parking concerns, ordinance compliance as it relates to parking, drought tolerance in landscaping, roof drainage, and assembly areas.

[9:03:22 PM](#) Chair Moore opened the matter to public comment. None was offered. Micah Austin noted that the parking ordinance was written to specifically address schools, and he read the text aloud. [9:05:27 PM](#) Jolyon Sawrey continued with further information at the Commission’s request.

[9:09:34 PM](#) Discussion included assembly area numbers, roof drainage, and verification methods for application information. Chair Moore clarified points he felt that Staff should address in the Findings of Fact.

[9:18:14 PM](#) **Owen Scanlon moved to approve the design review application precisely as presented by Blaine County School District with all conditions included. Janet Fugate seconded, and the motion unanimously carried.**

[9:19:55 PM](#) Chair Moore called a brief recess.

NB 7 Public Hearing and consideration of a Conditional Use Permit request from Mountain Rides Transportation Authority for operating a South Valley Facility on Woodside Subdivision Plat #10, Lot 38, Block 42 (otherwise known as 4021 Glenbrook Dr.) which is located in the Business (B) Zone.

[9:25:20 PM](#) Micah Austin provided background and explanation of this request, and noted public calls inquiring about this project and applicable zoning. He further noted that signs will be discussed in the future, but he saw no obstacles there. Mr. Austin further addressed parking at the site. Wendy Crosby, Interim Executive Director of Mountain Rides, was present to provide explanations and to answer questions. George Kirk, Mountain Rides, clarified that the application is for a Conditional Use Permit and hoped to address parking concerns, and the future hopes of Mountain Rides. He explained ways in which any impact from idling busses would be mitigated by this location's capacity for indoor bus warm-ups. He described this location as "about as perfect a site as we could find in this valley."

[9:41:49 PM](#) Commission discussion included whether ventilation during bus warm ups would be necessary, this appropriate use in Light Industrial (LI), and possible future use of the second story of the existing building. Wendy Crosby noted that Mountain Rides is looking at this location as "a very long-term home." Discussion continued on prospective jobs provided by this facility, how the facility work in the present and in the future, fuel and used oil storage concerns, the likely number of busses based out of this facility now and in the future, and exterior lighting.

[9:57:21 PM](#) Chair Moore opened the matter to public comment. None was offered.

[9:58:49 PM](#) **Janet Fugate moved to approve the CUP request from Mountain Rides precisely as presented to the Commission with all conditions included. Regina Korby seconded, and the motion passed unanimously.**

Old Business

OB 1 Discussion of a revision to the Zoning Ordinance by summarizing uses and districts into a District Use Matrix.

[10:01:34 PM](#) Micah Austin noted the version before the Commission was final unless Ned Williamson elected to make minor changes. Mr. Austin pointed out one addition in the commercial section, under the heading of residential care facility. He noted this matrix is "an exact interpretation of what's in the Ordinance," and asked Commissioners to review before it comes for public hearing at the April 22, 2013 meeting.

[10:11:26 PM](#) Micah Austin advised the Commission that the new black binders on their desk contained the "Commissioners' Tool Box" for their reference.

Commission Reports and Discussion

Staff Reports and Discussion

SR 1 Discussion of Goals and Priorities for the Hailey Planning and Zoning Commission

SR 2 Discussion of current building activity and upcoming projects

SR 3 Discussion of the next Planning and Zoning meeting: Monday, April 22, 2013

10:13:43 PM Janet Fugate advised she will not be at the next meeting if her daughter receives the scholarship for which she is a candidate. Ms. Fugate will confirm her attendance prior to that meeting.

Adjourn

10:17:11 PM Janet Fugate moved to adjourn this meeting. Owen Scanlon seconded, and the motion carried unanimously.

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 8, 2013 the Hailey Planning & Zoning Commission considered an application for an annexation request from the Blaine County School District to annex Parcel 4 of a Replat of Maurer Subdivision, which is owned by the Blaine County School District and encompasses 0.62 acres into the City of Hailey to accommodate the expansion of the Wood River Middle School with additional classrooms and education facilities. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

I. Notice

Notice for the public hearings on April 8, 2013 before the Planning and Zoning Commission was published in the Mountain Express on March 20, 2013 and mailed out to all Public Agencies on March 25. The property was posted on March 25.

II. Procedural History

An application for annexation was filed on March 7, 2013 and certified complete on March 10, 2013. The Planning and Zoning Commission conducted a public hearing to consider the application on April 8, 2013 at the regular meeting of the Planning and Zoning Commission.

III. Summary of Application

Blaine County School District proposes to expand the Wood River Middle School to accommodate increased classroom space and to provide better facilities for current students and teachers. The footprint of the building expansion would fall outside of current City Limits onto Parcel 4 of a Replat of Maurer Subdivision, which is owned by the Blaine County School District and encompasses 0.62 acres (*Exhibit A*). Approximately 17.8 square feet of the proposed building expansion would be located on Parcel 4, which is currently within the jurisdiction of Blaine County. 481 square feet of the proposed addition infringes on current setbacks. According the plat notes for this replatted subdivision, no structure can be built on this parcel (Parcel 4) until it has been annexed into the City of Hailey. In addition, the plat notes state that building height for this parcel, assuming it is annexed into the City, shall not exceed 25' from existing grade.

With the building expansion crossing County lines into Parcel 4, annexation of 0.62 acres into the City of Hailey is required in order for this project to continue.

IV. Standards for Evaluation: Planning and Zoning Review

The procedure and standards of the Commission's review is established in Hailey Ordinance No. 889, Section 14.01.080, Commission Review:

- **The Commission shall review the particular facts and circumstances of a proposed annexation for the purpose of determining;**
 1. **Whether the proposed annexation will be harmonious and in accordance with specific goals and policies of applicable components of the Hailey Comprehensive Plan, and**
 2. **Whether the proposed annexation generally complies with the Hailey Comprehensive Plan.**
- **The Commission shall also make a recommendation that the property sought to be annexed should be zoned as one or more particular zoning districts, as more fully described in the Hailey Zoning Ordinance.**
- **The Commission shall make findings of fact and conclusions of law relating to the application’s general compliance with the Hailey Comprehensive Plan and to the Commission’s recommendation for zoning.**
- **The Commission shall forward those findings and conclusions in writing to the Council and the applicant.**

V. Impacts on City Services

The Blaine County School District does not plan to install any new water or sewer lines and will not add any additional capacity to our water and sewer system. There will be no new roads, no new lots, and no extensions of City infrastructure to serve this development. The school district does not plan to add any additional students.

1. *Drinking Water System.* No impact. Tom Hellen, Public Works Director, has reviewed the application and has no concerns.
2. *Wastewater Treatment.* No impact. Tom Hellen, Public Works Director, and Roger Parker, WWTP Superintendent, have reviewed the application and have no issues.
3. *Life Safety (Fire and Police).* No impact. Jeff Gunter, Police Chief, and Mike Baledge, Fire Marshal, have reviewed the application and they have no concerns.
4. *Traffic and Transportation.* No impact. There will be no additional students, buses, or additional traffic. Tom Hellen, Public Works Director, has reviewed the application and has no concerns.

5. *Building*. The Building Officials, Wayne Orvik and Joe Rutledge, are working with the architect to ensure these plans comply with 2009 IBC. The building officials have no concerns with this application.

VI. Comprehensive Plan Compliance

The current Comprehensive Plan (2010) contains goals that are applicable to the annexation request from the Blaine County School District and illustrates how the application is in compliance with the Comprehensive Plan. The following tables summarize these goals, which are taken from Section 13: “School Facilities and Transportation”; Section 15.11, “School Facilities”; Section 9, “Public Services, Facilities, and Utilities”; and Section 11, “Community Design.”

Compliance with Comprehensive Plan	
9.1	Plan for the long-term utilities, service and facility needs while minimizing impacts to the greatest extent possible
11.1	Establish a built environment that maintains human scale, retains interest, aesthetics, encourages various levels of interaction among all members of the community, and enhances the character of different neighborhoods
13.1	Encourage and facilitate the development of school facilities that are planned consistently with the city’s other land use policies
15.11.1	Coordinate and cooperate with the Blaine County School District in the master planning and development for new and expanded school district facilities within the City of Hailey to meet the educational goals established by the community.
15.11.2	Encourage the shared use of all public facilities in order to minimize potential burden on property tax payers and maximize opportunities for public use

VII. Zoning for the Property Proposed for Annexation

- Current Blaine County Zoning for Parcel 4 of the Maurer Subdivision is Medium Density Residential (R-.4).
- The Commission recommends zoning this parcel General Residential (GR) for the following reasons:
 - Consistent with surrounding zone where the Middle School is located.
 - According to Article 4.3.2 of the Zoning Ordinance, a school is a permitted use in the GR zone.

VIII. Studies and Research on the Property Proposed for Annexation

- Traffic Study: not required
- Wildlife Study: not required
- Level I Environmental Study: not required
- Contour Map depicting 15% and 25% slope lines:
 - Included in application. See attachments to report
- Avalanche Study: not applicable

- Wetland Study: not applicable
- Fiscal Impact Analysis: not required (City Council may require)

IX. Utilities and Relocation

- The city operates and maintains a water line through Parcel 4 and the property is currently used as emergency/pedestrian access. The easement for the water line is recorded under Instrument Nos. 481909-481911. The new addition will not impact the water line or encroach on the current waterline easement.
- The water line was installed approximately 9 years ago when the School acquired the 0.62 acres in order to serve a fire hydrant on the southeast corner of the school's campus, adjacent to the existing tennis courts.

X. Lot Line Adjustment

- If annexation is approved, the Blaine County School District must submit a request for a Lot Line Adjustment in which the property line for Parcel 4 will vacated, combining Parcel 4 with the 20.82 acres currently owned by the School District.
- A building permit may be issued if the Lot Line Adjustment is in process and there are no issues or concerns from City staff, the public, and adjoining property owners. However, a Certificate of Occupancy will not be issued until the lots have been combined.

XI. Plat Notes and Building Restrictions

- According to the plat containing Parcel 4, "A Replat of Maurer Sub'd," the following notes pertain to the any structures developed on Parcel 4
 - Note #10: Until annexed into the City of Hailey, no structure that requires a county building permit shall be constructed on Parcel 4
 - Note #11: No roof-line constructed on Parcel 4 shall exceed twenty-five feet (25') from existing grade.

XII. Comments from Blaine County Planning and Zoning

- Please refer to Exhibit B of this report

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Section 11.3 of the Hailey Zoning Ordinance and Idaho Code Section 67-6512, was given for the public hearing.
2. Upon compliance with the conditions stated below, the application substantially meets the standards of evaluation set forth in Ordinance No. 889, Section 14.01.080 dictating the review of an annexation request by the Planning and Zoning Commission.
 - a. No roof line constructed on Parcel 4 shall exceed twenty-five (25') from existing grade
 - b. If annexation is approved, a Lot Line Adjustment to join Parcel 4 with Northridge Subdivision #4, Lot 2, Block 1 (Parcel No. RPH04760010020) must be filed, approved, and recorded before the Certificate of Occupancy for the building expansion is approved.
3. The Commission finds this request in compliance with the Comprehensive Plan, citing the sections as listed above.

RECOMMENDATION

Based on the above Findings of Fact, the Commission recommends to City Council, by unanimous vote, approval of the annexation request from the Blaine County School District to annex Parcel 4 of a Replat of Maurer Subdivision, which is owned by the Blaine County School District and encompasses 0.62 acres into the City of Hailey to accommodate the expansion of the Wood River Middle School with additional classrooms and education facilities. The Planning and Zoning Commission recommends zoning this 0.62 acre parcel General Residential (GR).

Signed this _____ day of _____, 2011.

Geoffrey Moore, Chair
Hailey Planning and Zoning Commission

Attest:

Bart Bingham, Principle Planner

**EXHIBIT
B**



BLAINE COUNTY LAND USE AND BUILDING SERVICES
219 1st Avenue South, Suite 208 Hailey, ID 83333
Planning & Zoning: 208-788-5570 ♦ Building Department: 208-788-5573 ♦ Fax 208-788-5576
www.blainecounty.org

March 28, 2013

Micah Austin
Community Development Director
City of Hailey

via e-mail

Dear Micah,

Thank you for the opportunity to comment on the proposed annexation of Parcel 4, Maurer Subdivision, into the City of Hailey. As plat note 10 indicates, annexation prior to construction on this parcel was anticipated. As such, the County supports the School District's application. In response to your specific questions, please see below:

1. What is the current zoning for this parcel? The city is recommending this parcel be zoned GR if annexed.
 - County zoning of this property is Medium Density Residential (R-.4). GR zoning makes sense for the property once annexed.
2. What overlays, boundaries, or other County land use restrictions are currently in place for this parcel?
 - The property is not within any County overlay districts. The R-.4 zoning district allows ag uses, single family and duplex residential as permitted uses. (A school use would require a conditional use permit.) The side and rear yard setbacks are 1 foot for every 2 feet of building height, with a minimum of 10 feet.
3. Any wildlife, environmental, or other concerns?
 - No.
4. Any other information that the County would like included in the record?
 - You noted that the Maurer Subdivision plat note 11 which limits roof height to 25 feet would be applicable. We expect the other Maurer Subdivision lot owners would appreciate this limit being retained for the school addition.
 - As we have discussed, a plat amendment that would make Parcel 4 of Maurer Sub a part of Lot 2, Block 1, Northridge Subdivision IV, is appropriate, with the plat title referencing the change to Parcel 4. A replat of Maurer Subdivision would not be required.

I hope this is responsive to your questions. Don't hesitate to contact me if I can be of further help.

Sincerely,

Kathy Grotto
Senior Planner

cc: Board of County Commissioners
Valdi Pace, Blaine County Assessor
Joel Hall, GIS Program Manager

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 22, 2013 the Hailey Planning & Zoning Commission considered an application submitted by Robert Barrow of Strata Capital Inc. for Design Review approval for alterations to the exterior of an existing residence to alter the roof type over the front entry from a shed roof to a gabled roof and change an existing installed window to a garage door and vehicle entry area. The residence is located at Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.) within the General Residential (GR) and Townsite Overlay (TO) districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice

Notice for the public hearing was published in the Idaho Mountain Express on March 20, 2013 and mailed to property owners within 300 feet and public agencies on March 19, 2013.

Application

Robert Barrow of Strata Capital Inc. (Alteration to Exterior of Residence), represented by Thomas Dabney of TND Architects, submitted a Design Review application for alterations to the exterior of an existing residence by altering the roof type over the front entry from a shed roof to a gabled roof and an existing installed window to a garage door and vehicle entry area.

Procedural History

The application was submitted on February 27, 2013 and certified complete on February 28, 2013.

Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

Standards of Evaluation

Standards of Evaluation

8.2 Signs.

Addition does not include signage.

9 Parking and Loading Spaces

9.1.1 No building or structure shall be erected unless permanently maintained parking and loading spaces have been provided in accordance with the provisions of this Ordinance.

Standards are applied below.

9.2.1 Location of On-Site Parking Spaces. The following regulations shall govern the location of on-site parking spaces and areas, except as otherwise provided below and in section 9.4.8.

A. parking spaces for all single family dwellings shall be located on the same lot as the dwelling which they serve, except as otherwise provided in section 9.4.1.

Parking is shown to remain in front of garage door being replaced with a window.

9.4 On-Site Parking Space Requirements.

9.4 On-Site Parking Space Requirements.

A. For the purpose of this Ordinance, the following on-site parking space requirements shall apply:

Requirements are applied below.

9.4.1 Residential.

A. Single family dwellings: 2 per dwelling minimum, 6 per dwelling maximum.

1. Parking spaces within any garage, carport or similar structure shall be credited at 1 space per nine (9) feet of floor width and 18 feet of floor length.

The residential addition will not change the required amount of parking at the single family residence. The existing parking area in front of the garage door entry area is 25' plus in length, and therefore is credited as 2 parking spaces. The one car garage also counts as one parking space.

8B.4. Outdoor Lighting Standards.

8B.4.1 General Standards

- a. All exterior lighting shall be designed, located and lamped in order to prevent:
 - 1. Overlighting;**
 - 2. Energy waste;**
 - 3. Glare;**
 - 4. Light Trespass;**
 - 5. Skyglow.****
- b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.**
- c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.**
- d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.**

- e. **Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.**

New lighting specs are included with packet material.

Bulk Requirements:

4.13.6 Bulk Requirements (For other supplementary location and bulk regulations, see Article VII.)

- a. **Minimum Lot Size –
Limited Business, Transitional, General Residential districts: 4,500 square feet.**

Lot is approximately 5,950 sq. ft.

- b. **Minimum Lot Width –
Limited Business, Transitional, General Residential districts: 37.5 feet.**

Lot width is 50’.

- c. **Maximum Building Height –
Transitional, General Residential, Limited Residential-1 districts: 30 feet**

The existing building height is 16’-1/8” and will remain unchanged.

- d. **Minimum Setbacks in LR, GR, TN, and LB Districts:**
 - 1. **Setback from any street right-of-way – twelve (12) feet. The following exceptions apply:**
 - a. **Unenclosed features of a residence (e.g. front porches, stoops, and decks without walls) shall be no closer than five (5) feet to the lot line. Such features do not include carports.**

The setback from 4th Ave. is approximately 25’.

- b. **No garage door shall be within twenty (20) feet of any street right-of-way, as measured from the garage door to the street providing access to the garage.**

The garage door is more than 25’ from the street right-of-way.

- 2. **Setback from any alley right-of-way – six (6) feet. There shall be a six (6) feet horizontal separation between any building and a water meter vault. (Water meter vault and water service line locations may be moved at the property owner’s expense, subject to notification and approval by the City.)**

Not applicable.

- 3. Setback from property lines abutting other private property --**
a. Base setback – fifteen percent (15%) of lot width, or 10 feet, whichever is less. However, no such setback shall be less than six (6) feet. (See Table 1)

By this standard, the setback is required to be 7.5'. However, existing south side setback is approximately 4' and northside existing setback is less. Both will remain unchanged by this project. As the residences' year of original construction was in the 1950's, not extending new construction beyond what was the original setback (or outside the original building) qualifies as a nonconforming use as established in Article 13 of the Zoning Code and may remain as it is.

- b. Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one (1) foot for every two and a half (2.5) feet of wall height (see Diagram 1 and Table 2), but not less than the base setback noted in subsection (a) above, regardless of underlying zoning.**

Building wall height will remain unchanged.

- c. Roof overhangs, fire escapes, standard chimneys, bay windows and other features, which are subject to Section 7.2 of this Ordinance (Supplementary Yard Regulations), shall not have a setback less than five (5) feet from property lines abutting other private property.**

All new roof overhangs are greater than 5' from abutting private property lines. However, existing south side roof overhangs are less than 4' and northside overhangs are even less distance from abutting property lines. Both will unchanged. As the residence's year of original construction was in the 1950's, not extending new construction beyond what was the original setback (or outside the original building area) qualifies as a nonconforming use as established in Article 13 of the Zoning Code and may remain as it is.

- d. Wainscot detail not higher than three (3) feet as measured from record grade may intrude not more than six (6) inches into the required setback.**

Not applicable. No new wainscot is proposed.

e. **Maximum lot coverage:**
General Residential, Limited Residential-1 districts:

Building Height	Maximum Lot Coverage
2 or more stories above grade, no garage	25%
2 or more stories above grade, with garage	30%
Less than 2 stories above grade, no garage	35%
Less than 2 stories above grade, with garage	40%

House area is 1,699 sq. ft. and the lot area is approximately 5,950 sq. ft. Lot coverage area equates to being approximately 28.55 % which is well within the 40% allowed.

i. **Maximum Lot Size—**

Lot size will remain unchanged.

Height of Building. The greatest vertical distance measured from the lowest point of Record Grade or finish grade, whichever is lower, within any portion of the building footprint to the highest point of the roof surface thereof, exclusive of cupolas, chimneys up to ten (10) feet above the highest point of the roof surface, steeples, and spires.

Applicant is hereby advised height of building is from the lowest point of Record Grade or finish grade, whichever is lower.

Improvements Required.

A. **Streets.**

1. **Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.**

a. **The requirement for Sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.**

The alteration is less than 500 square feet.

B. **Water Line Improvements.**

1. **In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.**

The alteration will not be accessed from the alley, so water service lines will not be infringed upon.

6A.9 Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

I. Purpose

The Hailey Townsite Design Review Guidelines have been developed to provide standards for development in Old Hailey. The term “Old Hailey” means all land within the Townsite Overlay District. These Design Guidelines address the basic elements of design related to building location, orientation, function and scale, as well as how the building and improvements relate to the neighborhood.

The residential addition is in the Townsite Overlay District.

II. Applicability

Proposals for new Single Family Dwellings, Accessory Dwelling Units, Accessory Structures and Duplexes and additions thereto that add floor area equal to or greater than 50% of the original structure will be reviewed for compliance with these Design Guidelines.

The Application includes a 225 sq. ft. area to be reconverted to a garage, an approximate 325 sq.ft. gable roof shed conversion area, and the remaining existing living area of 1474 sq.ft. The alteration areas do not equate to a 50% or more floor area addition; thus the guidelines for residential buildings in the TO are not applicable.

6A.6 Criteria.

A. The Commission shall determine the following before approval is given:

- 1. The project does not jeopardize the health, safety or welfare of the public.**
- 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**

7. Require more restrictive standards than those generally found in the Zoning Ordinance.

6A.6 Criteria.

A. The Commission shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.

2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission may impose any condition deemed necessary. The Commission may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.

4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.

7. Require more restrictive standards than those generally found in the Zoning Ordinance.

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.

2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

DECISION

The Design Review of Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.), within the General Residential (GR) and Townsite Overlay (TO) zoning districts (Alteration to Exterior of Existing Residence) is hereby approved subject to the following terms and conditions:

1. The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
2. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
3. All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required
4. This Design Review approval is for plans dated March 8, 2013 (AS-01, A01, A02, & A03). The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
5. Blue board insulating material is required for water mains and individual water service lines less than 6 feet deep.
6. All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
7. This Design Review approval shall expire one (1) year from the date these Findings of Fact are signed, unless a building permit application has been submitted to the Building Department.
8. This project is subject to Development Impact Fees pursuant to Municipal Code Chapter 15.16. The estimated fee is determined at the time of Building Permit application.
9. Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.

10. Except as otherwise provided, all the required building, landscaping, site, infrastructure improvements and all other conditions of approval shall be constructed and completed, or security in the amount of 150% of the estimated cost as approved by the City, before a Certificate of Occupancy will be issued.
11. This Design Review approval is subject to the following conditions:
 - a) All applicable Fire Department and Building Department requirements shall be met, including but not limited to:
 - i. Prior to installation of the new fence, a fence permit shall be obtained from the Building Department and the plans for the fence shall meet the standards of Section 8.1, Hailey Zoning Ordinance.
 - ii. No auxiliary apparatus (e.g. utility meters, fire suppression equipment) may extend into any public right-of-way.
 - iii. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional parking, improvements and/or approvals.
7. A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this ____ day of _____, 2013.

Geoffrey Moore, Chair

Attest:

Bart Bingham, Principal Planner

City of Hailey - Design Review Application

Submission Date: 02 / 27 / 13

Project Name: BARROW - 305 S. 4TH AVE Parcel No. _____
 RPH 0000024004A
 Legal Description of Property: Subdivision Hailey Townsite Lot(s) 4+5, Block 24,
 Street Address of Property: 305 S 4th Ave
 Current Zoning of Property: LR-1 / TOWNSITE OVERLAY Year of original construction: 1950
(Only applicable if property is within the Townsite Overlay)
 Existing building gross sq. ft. (if applicable) 1474 Proposed addition or new construction sq. ft. NA

Name of Owner of the Property: STRADA CAPITAL INC
 Mailing Address: PO Box 6152 City: Boise State: ID Zip: 83707
 Phone: (208) 572-6076 Fax: (888) 529-5508 Cell: () _____
 Email Address: BARROWDC@ymail.com

Property Owner Consent:
 By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: [Signature] Date: 2 / 26 / 2013

Name of individual to contact on behalf of Trust or LLC (if applicable): Robert Barrow
 Mailing Address: POB 6152 City: Boise State: ID Zip: 83707
 Phone: (208) 572-6076 Fax: (888) 572-6076 Cell: () _____
 Email Address: BARROWDC@ymail.com

Application Contact (if different than above): THOMAS DADNEY TND ARCHITECTS PLLC
**Application Contact will be the Planning Department's primary point of contact for questions related to the application.
 Mailing Address: 9 E. ELM ST. City: HAILEY State: ID Zip: 83333
 Phone: (208) 725-2255 Fax: () _____ Cell: () _____
 Email Address: TOM@TNDARCH.COM
 Signature: [Signature] Date: 02 / 27 / 13

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

<input type="checkbox"/> Commercial, Mixed-Use or Multi-Family.....	\$ 450.00
plus \$25 / 1,000 gross square feet.....	\$ _____
OR <input checked="" type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ <u>250.00</u>
OR <input type="checkbox"/> No Substantial Impact..... (Mailing only).....	\$ 75.00
OR <input type="checkbox"/> Modification to DR Approval... (No publication or mailing).....	\$ 50.00
OR <input type="checkbox"/> DR Exemption... (No publication or mailing).....	\$ 30.00
Publication cost.....	\$ 40.00
Mailing (# of addresses <u>30</u>) x (. <u>46</u> postage + .15 paper, envelope & label)	\$ <u>18.30</u>
<small>DO NOT COUNTY DUPLICATES OR CITY OF HAILEY</small>	<u>61</u>
Total Due.....	\$ <u>308.30</u>



DESIGN REVIEW - CHECKLIST

City Use Only -

Project Name: BARROW - 305 S. 4TH AVE

Certified Complete by: _____

Date: ____/____/____

The following items must be submitted with the application for the application to be considered complete (✓):

- One (1) 24" x 36" set of plans with scale indicated containing the following:
- Vicinity map showing project location in relationship to adjacent buildings and surrounding area.
- na Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions (must show location of adjacent buildings and structures).
- Total square footage of subject property, including lot dimensions.
- Building setbacks. Existing Structure
- Staging and contractor parking plan. Driveway
- na Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures).
- na Landscape plan
 - Existing tree to be shown as retained/relocated/removed.
 - All proposed species type/size/quantity of each.
 - Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
- Floor plan (include gross square footage for each floor, occupancy classification and type of construction).
- na Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
- na Drainage plan (grading, catch basins, piping, and dry-wells).
- Detailed elevations showing facade of all sides of proposed building and other exterior elements. Must show elevation points of record grade. Include notes on colors, materials, dimensions.
- Colored rendering of at least one side of the proposed building. Photo;
- Idaho licensed architect (plans for single family dwellings may be stamped by an Idaho licensed structural engineer)
- North point and scale.
- Six (6) 11" x 17" copies of any larger plans/maps (if project is located within the Townsite Overlay, then one (1) 11" x 17" copy is sufficient). E-Copy
- PDF files of all required documents and 11" x 17" plans/maps; email PDFs to planning@haileycityhall.org.
- Color photographs of any existing structures on the site. → Photo
- Materials and colors sample board. Each sample approximately 12" x 12". -
- na Sign Plan (if applicable).
- na Area Development Plan (required if property owner also owns adjacent parcels).
- na For property located in Airport West, Design Review approval by Airport West Design Board.
- Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- na Names and addresses of easement holders within subject property.
- Written statement of how each design review standard is met (contact the Planning Coordinator for which set of standards is applicable to your project).
- Other information as required by the Zoning Administrator, Hearing Examiner or Commission.

City Use Only:

- Double check address
- Advise applicant if Lot Line Adjustment is needed
- Check following basic standards:

<input type="checkbox"/> Density	<input type="checkbox"/> Lot coverage
<input type="checkbox"/> Setbacks	<input type="checkbox"/> Floor area
<input type="checkbox"/> Height (plans must show elevation points of record grade)	<input type="checkbox"/> Parking (# of spaces)

IDAHO MOUNTAIN EXPRESS
March 20, 2013

NOTICE OF PUBLIC HEARING
HAILEY PLANNING AND ZONING
COMMISSION
Monday, April 8, 2013

PUBLIC NOTICE IS HEREBY GIVEN that the Hailey Planning and Zoning Commission will hold a Public Meeting at **6:30 p.m. on Monday, April 8, 2013**, to be held in the upstairs meeting room of Hailey City Hall and will hold Public Hearings on the following items:

- Consideration of an application by Blaine County School District for Design Review of a 4,370 sq. ft. classrooms and hallway addition to the existing Wood River Middle School. The school is located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) and within the General Residential (GR) Zoning District.
- Consideration of an application by Strada Capital Inc. for Design Review of an alteration to the exterior of an existing residence by altering the roof over front entry from a shed roof to a gabled roof type and an existing installed window to a garage door and vehicle entry area. The residence being located at Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.) is within the Townsite Overlay (TO) and General Residential (GR) Zoning Districts.
- Consideration of an application by Craig Johnson for Design Review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), which is within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.
- * Consideration of an annexation request from the Blaine County School District to annex Parcel 4 of a Replat of Maurer Subdivision (Inst.510590), comprising a total of .62 acres, into Hailey City Limits for the purpose of expanding the Wood River Middle School.
- * Consideration of a Conditional Use Permit request from Mountain Rides Transportation Authority for operating a South Valley Facility on Woodside Subdivision Plat #10, Lot 38, Block 42 (otherwise known as 4021 Glenbrook Dr.) which is located in the Business (B) Zone.

* Consideration of an application by AT&T (Powder River Development Services, LLC) for a Wireless Permit for the installation and operation of roof top equipment, including antennas and associated equipment cabinets for AT&T's Wireless telecommunications network. The equipment would be located at Pine Street Station Condos (400 S. Main St.) within the Business (B) and Townsite Overlay (TO) Zoning Districts.

Any and all interested persons are invited to attend the public hearings or submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org. Supporting documents for these item(s) can be viewed on the City of Hailey's website as of the date of this publication; go to www.haileycityhall.org, under Meeting, click on the Planning and Zoning Commission and select the link for the most current Planning and Zoning agenda. The staff reports will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208-788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this notice, or for special accommodations to participate in the noticed meeting, please contact planning@haileycityhall.org or (208) 788-9815.

PUBLISH:
IDAHO MOUNTAIN EXPRESS
March 20, 2013

PUBLIC NOTICE

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

March 19, 2013

Dear Property Owner:

Your property has been identified as being located within 300 feet of the property listed below; this letter is being sent to you to give you the opportunity to comment on the following application related to this property:

- Consideration of an application by Strada Capital Inc. for Design Review of an alteration to the exterior of an existing residence by altering the roof over front entry from a shed roof to a gabled roof type and an existing installed window to a garage door and vehicle entry area. The residence being located at Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.) is within the Townsite Overlay (TO) and General Residential (GR) Zoning Districts.

A map showing the location of the property and renderings of the building are included with this letter.

A public hearing will be held on this application as part of the Hailey Planning and Zoning Commission's meeting on **Monday, April 8, 2013**, at 6:30 p.m., at Hailey City Hall. You are invited to attend this public hearing and/or submit written comments to the Principal Planner at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

March 21, 2013

Dear Public Agency:

The Hailey Planning and Zoning Commission will hold a public hearing on the item(s) listed below on **Monday, April 8, 2013**, at 6:30 p.m., Hailey City Hall.

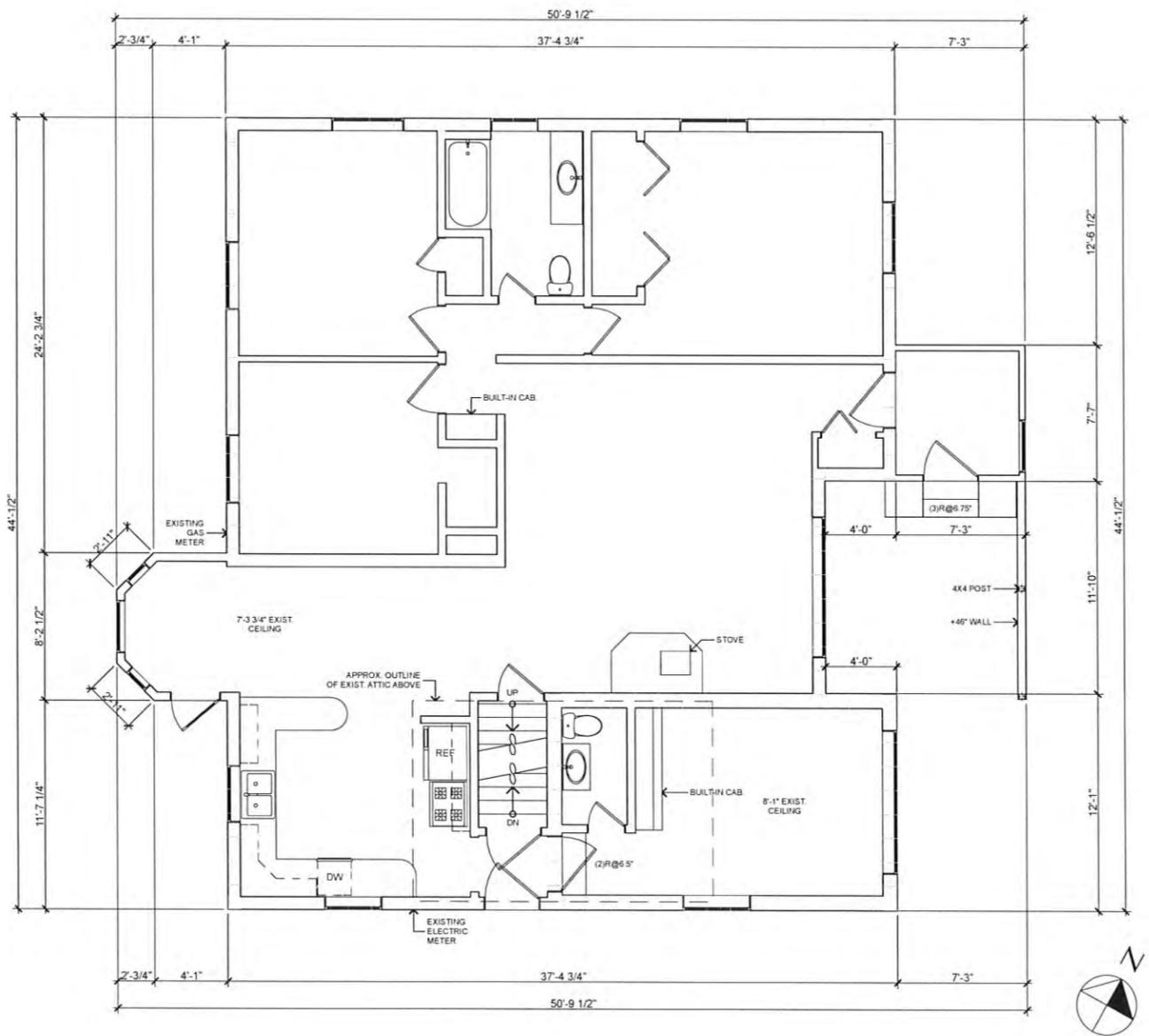
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This Notice is issued pursuant to Idaho State Code (Local Land Use Planning Act), Section 67-6509, whereby notice must be provided to all political subdivisions providing services within the planning jurisdiction at least 15 days prior to public hearings regarding proposed amendments to the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, or any other land use ordinance.

You are invited to attend this public hearing or submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.



LICENSED ARCHITECT AR-984214
Thomas Dabney
 THOMAS N. DABNEY
 STATE OF IDAHO

THOMAS NICOLSON DABNEY
 ARCHITECT

9 east elm street
 hailey, idaho 83333
 tel: 208.725.2255
 email: tom@tndarch.com
 web: tndarch.com
 TND ARCHITECTS PLLC

BARROW DESIGN & CONSTRUCTION
 305 S. FOURTH AVE., HAILEY, IDAHO
 FLOOR PLAN-EXISTING

REVISIONS
00/00/00

PRINT DATE

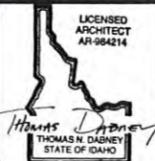
2/27/13

DRAWING SCALE

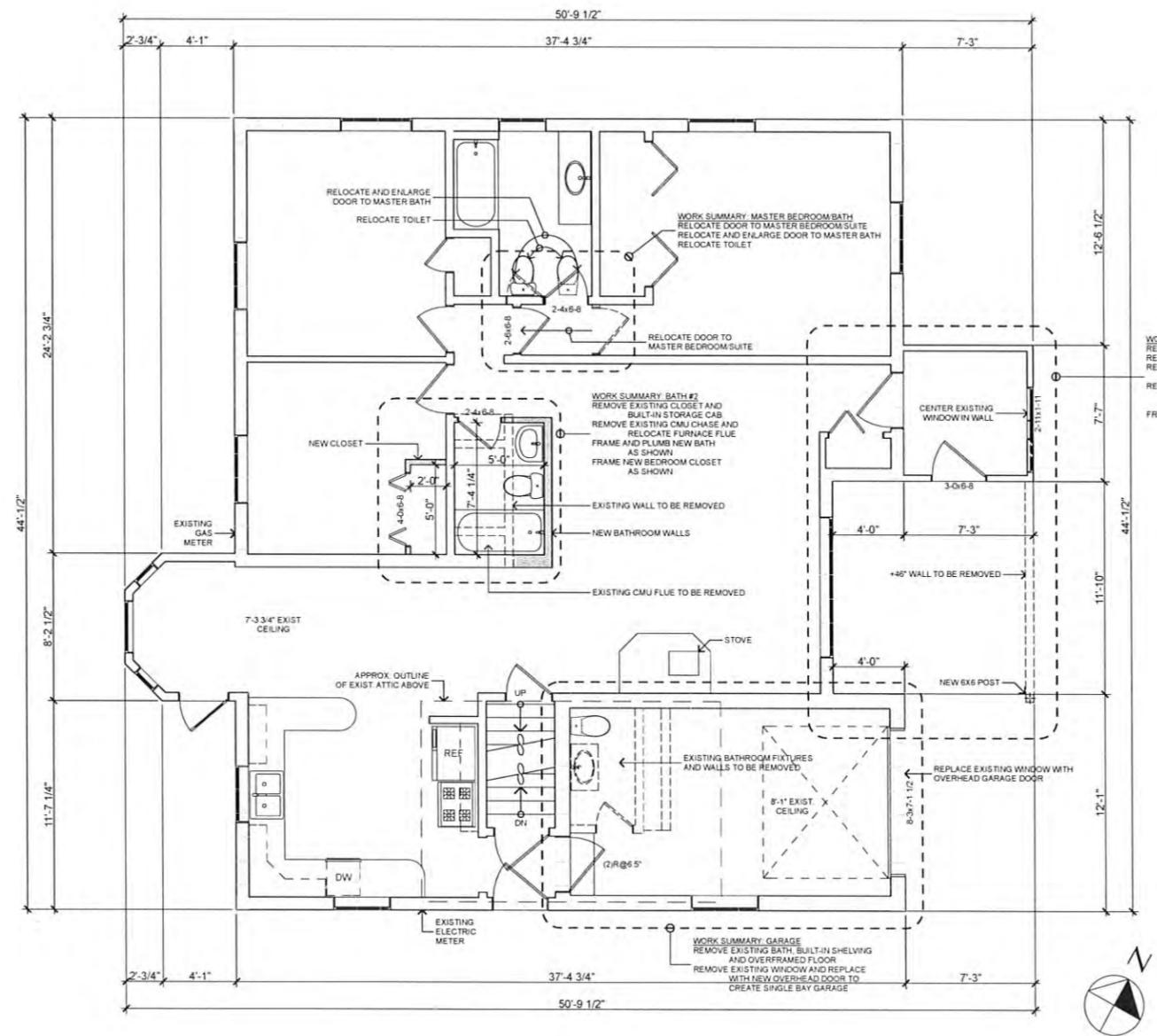
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RECEIVED
 MAR 08 2013
 CITY OF HAILEY

AO 1



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WORK SUMMARY ENTRY ROOF
 REMOVE EXISTING SHED ROOF OVER ENTRY
 REMOVE EXISTING +48" WALL AT ENTRY
 RELOCATE EXISTING WINDOW IN COLD ENTRY
 AS SHOWN
 REFRAME EXISTING COLD ENTRY WALLS TO
 ACCOMMODATE NEW GABLE ENTRY
 ROOF AND NEW COLD ENTRY DOOR
 FRAME NEW GABLE ROOF OVER ENTRY



BARROW DESIGN & CONSTRUCTION
 305 S. FOURTH AVE., HAILEY, IDAHO
FLOOR PLAN-PROPOSED

REVISIONS

00/00/00	

PRINT DATE

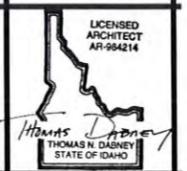
2/27/13

DRAWING SCALE

1/4"=1'-0"

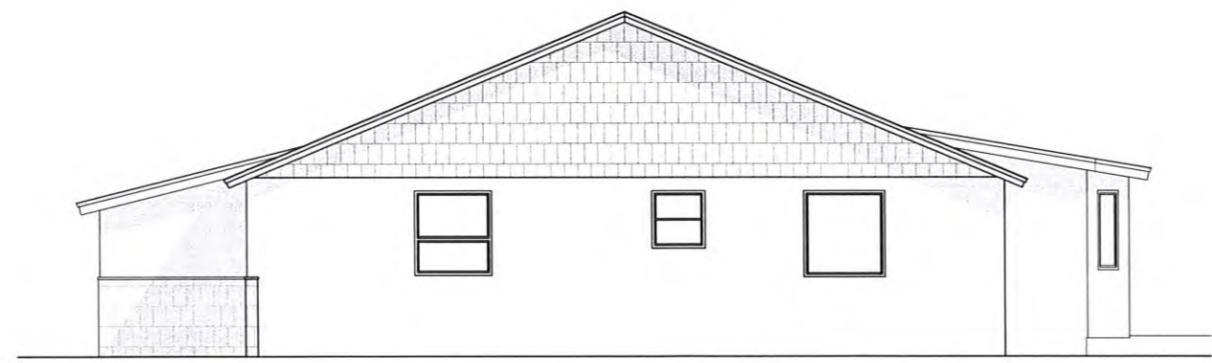
A02

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 MAR 08 2013
 CITY OF HAILEY

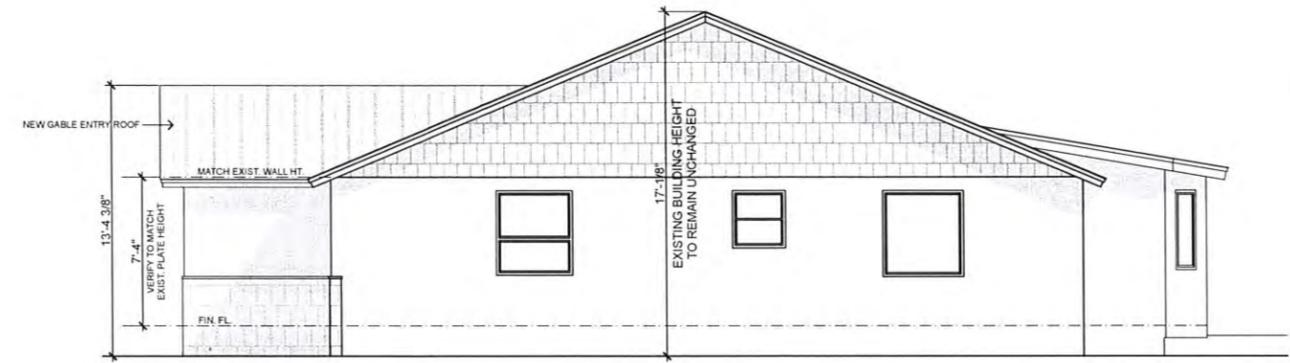


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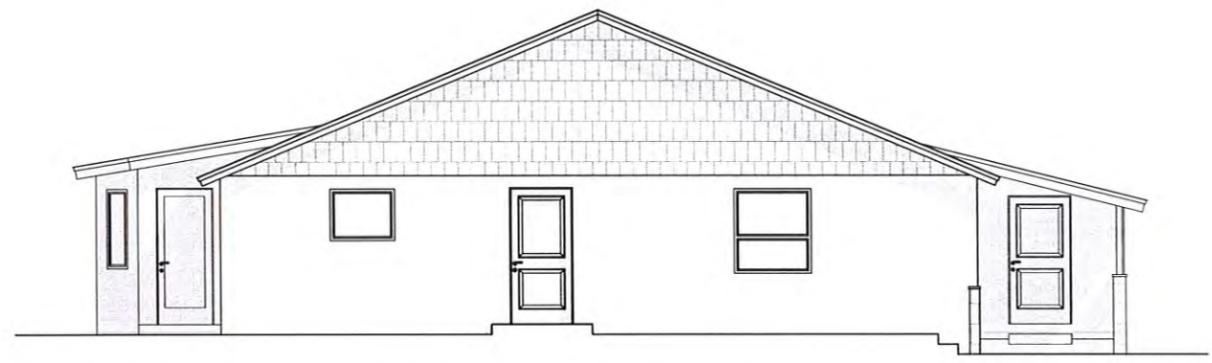
BARROW DESIGN & CONSTRUCTION
 305 S. FOURTH AVE., HAILEY, IDAHO
EXTERIOR ELEVATIONS



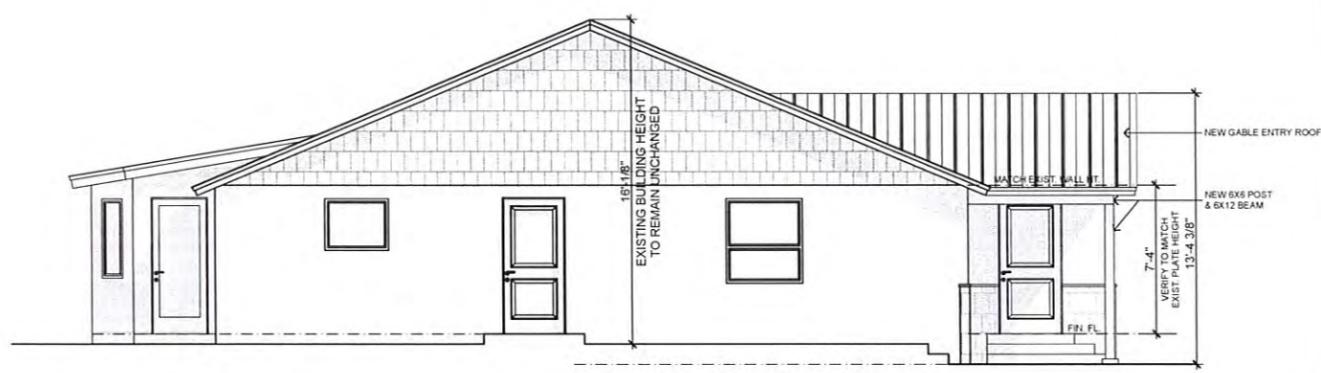
NORTH ELEVATION-EXISTING 1/4" = 1'-0"



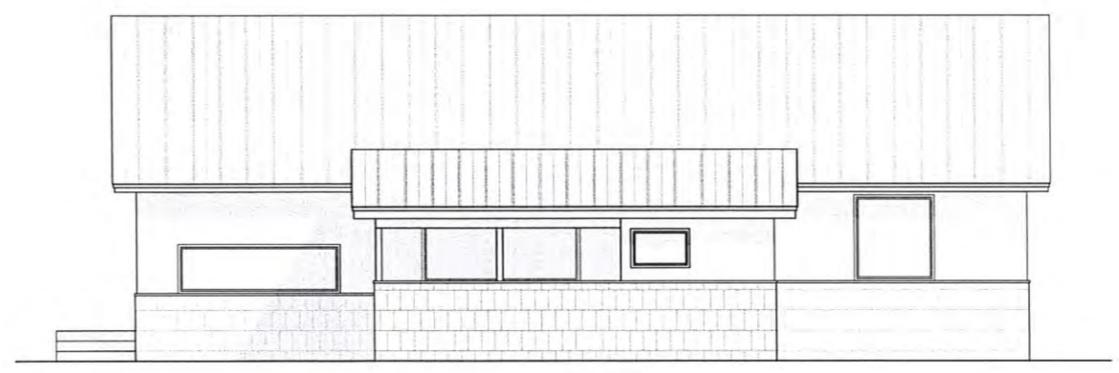
NORTH ELEVATION-PROPOSED 1/4" = 1'-0"



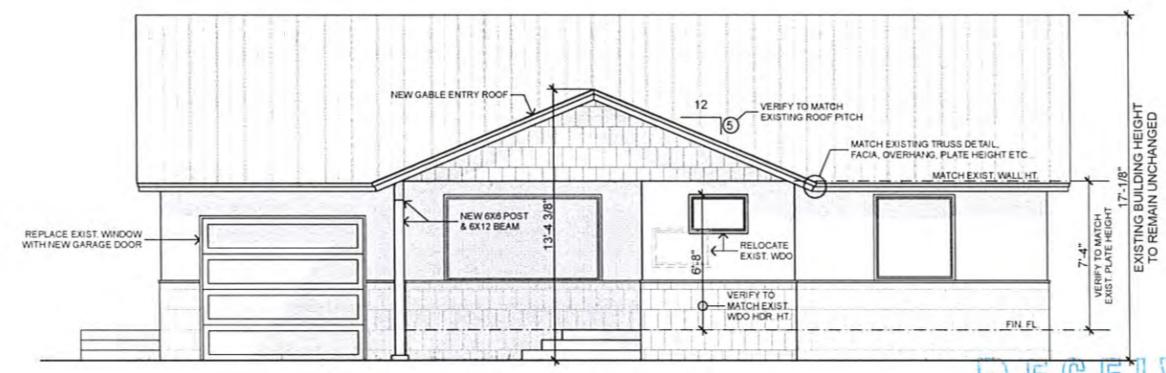
SOUTH ELEVATION-EXISTING 1/4" = 1'-0"



SOUTH ELEVATION-PROPOSED 1/4" = 1'-0"



EAST ELEVATION-EXISTING 1/4" = 1'-0"



EAST ELEVATION-PROPOSED 1/4" = 1'-0"

REVISIONS

00/00/00	

PRINT DATE

2/27/13

DRAWING SCALE

1/4"=1'-0"

A03

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 CITY OF HAILEY



305 4TH AVE., HAILEY
EXISTING STRUCTURE

FREE SHIP TO STORE[†] OR HOME*. NOW AVAILABLE ON OVER 300,000 ITEMS.



Your Store: Twin Falls #1805 [\(Change\)](#)

Like 0

SECURITY WARNING: Please treat the URL above as you would your password and do not share it with anyone.
World Imports Dark Sky Essen Collection 9 in. Wall Mount 1-Light Outdoor Rust Sconce



Model #WI9003S42 Internet #202047257

SECURITY WARNING: Please treat the URL above as you would your password and do not share it with anyone.
(3) Write a Review

\$88.20 /EA-Each

This item cannot be shipped to the following state(s): GU,PR,VI

Free Shipping

Buy Online, Ship to Store

Fixture Color/Finish

Rust finish

PRODUCT DESCRIPTION

Essen outdoor lanterns are specially designed with a unique style that complements the exterior decor of any home. The sturdy, weather resistant aluminum and brass construction with waterproof seal protects the lantern from harsh outdoor elements to ensure the long life of the fixture. The dark sky feature focuses the light where you need it without shining through neighbors windows.

- Weather resistant construction; decorative Rust finish
- Dark Sky design focuses light downward; prevents light pollution
- Assembled dimensions: 9 1/4 in. W x 8 1/4 in. H x 10 1/2 in. Ext.
- Uses 1 regular light bulb, 100-watt maximum (not included)
- MFG Model # : WI9003S42
- MFG Part # : WI9003S42

SPECIFICATIONS

Assembled Depth (in.)	21.5 in	Assembled Height (in.)	22 in
Assembled Width (in.)	12 in	Bulb Type	Incandescent
CSA Listed	No	Color/Finish	Rust
Dusk to Dawn	No	ETL Listed	No
Energy Star Compliant	No	Exterior Lighting Product Type	Wall Mount Light

Fixture Finish	Rust	Fixture Material	Aluminum & Brass
Glass/Lens Type	No glass/lens	Light Bulb Base Type	Medium
Light Source	Incandescent	Manufacturer Warranty	1
Maximum Bulb Wattage	60 W	Motion Sensor	No
Number of Bulbs Required	1	Product Height (in.)	8.25
Product Length (in.)	10.25	Product Weight (lb.)	2.8
Product Width (in.)	9.25	Returnable	90-Day
Size	Medium	Solar Powered	No
Style	Transitional	Weather Resistant	Yes

MORE INFO

Warranty

For warranty information on this product, please call our Internet Customer Service Center at 1-800-435-4654.

SHIPPING OPTIONS

Most orders process within 1 business days.

Please allow an additional 3-5 business days for **Standard Ground Delivery** in the U.S. Orders for this item may be expedited for an additional fee.

Other Delivery Options:

Expedited Delivery: Delivery the second business day.

Express Delivery: Delivery the next business day.

If product is eligible for shipping to AK, HI and US Territories additional transit time and remote surcharges may apply.

This item is also available for pick up in your local store (FREE) within 4-7 business days, plus order processing time.

Valley Taupe (Body)

Basket Beige (Trim)



FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 22, 2013 the Hailey Planning & Zoning Commission considered an application submitted by Blaine County School District (hereinafter “BCSD”) for Design Review approval for a 4,370 sq. ft. Wood River Middle School (hereinafter “WRMS”) Classrooms and Hallway Addition. WRMS is located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) within the General Residential (GR) and Townsite Overlay (TO) districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice

Notice for the public hearing was published in the Idaho Mountain Express on March 20, 2013 and mailed to property owners within 300 feet and public agencies on March 19, 2013.

Application

BCSD, represented by Jolyon H. Sawrey of Vital ink Environmental Architecture & Consulting, submitted a Design Review application for a 4,370 sq. ft. WRMS Classrooms and Hallway Addition. The project location is at the WRMS location noted above.

Procedural History

The application was submitted on March 8, 2013 and certified complete on March 14, 2013. It was considered before the P&Z Commission on April 8, 2014.

Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

Standards

8.2 Signs.

The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

6A.1 Applicability.

A. No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:

2. A building for a Public or Semi-Public Use within any zoning

district.

WRMS Classrooms and Hallway Addition will be to a school used for a public use so design review is required.

6A.3 Permits.

A. No permits shall be issued by any administrative officer or inspector of the City for construction of any building, project, or other improvement requiring a permit before the requirements specified by this Article are met and approval is granted.

Applicant is hereby advised of requirement.

6A.4 Design Review Process.

F. In order for a building permit to be issued after final Design Review approval, final construction drawings must be reviewed and approved by the Building Department. Application for a building permit must occur within one year of Design Review approval, or as otherwise provided by agreement authorized by law. The expiration date may be extended once, for an additional six (6) months, upon written request. Such request must be received prior to the expiration date.

Applicant is hereby advised of requirement.

Improvements Required.

A. Streets.

1. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.

a. The requirement for Sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.

Addition is greater than 500 sq. ft. Thus, sidewalk and drainage improvements shall not be waived by this standard.

b. The requirement for Sidewalk and drainage improvements may be waived for any remodel or addition to Single Family Dwelling and Duplex projects within the Townsite Overlay District; Sidewalk and drainage improvements shall be required for new Principle Building.

Addition is to a Principle Building not a Single Family Dwelling or Duplex.

c. The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110% of the

estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor.

No in-lieu options have been brought or approved by the city.

2. Sidewalk and drainage improvements shall be located and constructed according to applicable City Standards, except as otherwise provided herein.

b. The Developer or City may propose alternatives to either the standard Sidewalk location or configuration required.

No alternatives have been discussed.

3. The length of Sidewalk and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any Public Street or Private Street.

Addition does not front a public or private street.

4. New Sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.

No future sidewalks are planned to connect the south entry alcove to parking or pedestrian areas. An existing paved lane providing pedestrian access from the south entry cove (south elevation) to the WRMS south parking area will remain.

6A.8 Design Standards.

A. Non-Residential, Multifamily or Mixed Use Building. The following design standards apply to any non-residential, multifamily or mixed use building located within the City of Hailey.

1. Site Planning

a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the occupants and allow for safe access to buildings.

Addition's east elevation will have eight eastward facing windows. Paved pedestrian path for access to south entry cove will remain.

b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed.

Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper. Existing plant material is native grasses and sage. Both will remain or will be replanted to return the landscape to its existing state (except for where addition will be located).

c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.

Existing paved lane providing pedestrian access from the south entry cove (south elevation) to the WRMS south parking area will remain.

d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage.

Loading and trash storage pickup for building is existing and located at the northern rear portion of the building.

e. Vending machines located on the exterior of a building shall not be visible from any street.

Applicant is hereby notified of requirement.

f. Except as otherwise provided herein, on-site parking areas shall be located at the rear of the building and buffered from the sidewalk adjacent to the street. Parking and access shall not be obstructed by snow accumulation.

Existing parking areas will remain unchanged. Specific parking standards and application are included later in findings.

g. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.

Snow storage has been previously addressed onsite and the new addition will not create any additional need for snow storage areas.

h. A designated snow storage area shall not have any dimension less than 10 feet.

Snow storage has been previously addressed onsite.

i. Hauling of snow from downtown areas is permissible where other options are not practical.

Snow storage has been previously addressed onsite.

j. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.

Snow storage has been previously addressed onsite.

k. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.

Snow storage has been previously addressed onsite.

2. Building Design

a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.

Addition will match existing school in masonry, metal flashing, windows, and flat roof.

b. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.

Existing paved lane providing pedestrian access from the south entry cove (south elevation) to the WRMS south parking area will remain or be replaced after construction.

c. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.

Addition will match existing school in masonry, metal flashing, windows, and flatroof.

d. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.

Exterior walls will incorporate various types of masonry (CMU smooth face, CMU split faced), flashing-parapet, and windows/doors.

e. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.

Exterior walls will match existing building.

f. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:

i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.

Existing building's longer wall planes are already on an east-west axis.

ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.

Existing building's windows on south elevation contain architectural overhangs and make up a large portion of existing buildings roof coverage.

iii) Double glazed windows.

Addition's windows will match existing building windows.

iv) Windows with Low Emissivity glazing.

Addition's windows will match existing building windows.

v) Earth berming against exterior walls

Earth berming against exterior walls will not be part of the project.

vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.

The addition project does not include alternative energy.

vii) Exterior light shelves. All windows on the southern most facing side of the building shall have external light shelves installed.

Not applicable. Addition will not include any additional windows on south elevation.

g. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.

Metal flashing with hemed drip edge will be installed over entry alcove and where appropriate.

h. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.

Metal flashing with hemed drip edge will be installed over entry alcove and where appropriate, but no downspouts or drains are shown.

4. Landscaping

a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.

Existing native grass outside building footprint will remain or be reseeded as needed to restore the landscape to its present or better condition.

b. All plant species shall be hardy to the Zone 4 environment.

Existing native grass will remain or be reseeded as needed.

c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.

All non-irrigated native grass areas and irrigated Kentucky Blue Grass areas outside building footprint will remain, or be restored from construction effects.

d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity.

All existing deciduous trees onsite are shown to not be effected. All non-irrigated native grass areas and irrigated Kentucky Blue Grass areas are proposed to remain, or be restored from construction effects.

e. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.

Plans do not show storm water being retained onsite.

f. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).

Existing and previously used landscape maintenance plan will continue to be used.

8B.1 Outdoor Lighting General Provisions.

a. Title – Article VIII B Hailey Outdoor Lighting Ordinance.

8B.2 Applicability.

8B.2.1 New Lighting. All exterior lighting installed after the effective date of this Article shall conform to the standards established by this Article.

Outdoor OLW LED wall packs as shown on attached spec sheets will be installed on addition where addition elevations show lighting which matches lighting on existing building.

8B.2.2 Existing Lighting. All existing exterior lighting installed before the effective date of this Article shall be brought into conformance with this Article, except

Section 8B.4.3, within the following time periods:

a. All existing exterior lighting located on a subject property that is part of an application for design review approval, a conditional use permit, subdivision approval, or a building permit is required to be brought into conformance with this Article before issuance of a Certificate of Occupancy, final inspection or final plat recordation, when applicable.

Applicant has stated through representative, electrical engineer Paul D. Stoops, that the criteria for performance of the Outdoor Lighting Ordinance has not changed since exterior lighting fixtures was last updated at WRMS to comply with the Outdoor Lighting Ordinance. The applicant further states through the representative that further modifications to the WRMS existing outdoor lighting should not be required. All existing exterior lighting on WRMS shall be brought into conformance if it is not in conformance by replacing or mitigating applicable exterior lighting.

I. In the event a use is changed, the application for the new business license related to the changed use must be accompanied by evidence that the parking necessary for the new uses does not exceed the amount that was required by the previous uses, or that the applicant can satisfy the parking requirements existing at that time.

c. All existing exterior lighting on property used for residential, institutional, public and semi-public uses, not affected by Section 8B.2.2 (1) above, that does not comply with this Article is required to be brought into conformance with this Article.

All existing exterior lighting on the school, not in conformance shall be brought into conformance by replacing or mitigating applicable exterior lighting.

9.4 On-Site Parking Space Requirements.

9.4.4 Schools.

B. Middle schools: 1 for every teacher or employee, or 1 space for every two persons rated capacity of all assembly areas, whichever is greater.

WRMS satisfies the 1 parking space for every teacher or employee standard as WRMS is projected to have 95 staff members during the 2013-2014 academic year (*see WRMS Principal Fritz Peters April 15, 2013 memo*) and presently has 133 existing onsite striped parking spaces. WRMS also satisfies the 1 parking space for every two persons rated capacity or at least one space for every two person with the rated capacity requirement (number determined by the four assembly areas at WRMS - gym, cafeteria, and two lecture halls) by providing access/capability to use 1,070 parking spaces (*see memo from applicant's representative, John D. Gaeddert, AICP, dated April 16, 2013*). This tally (1,070 parking spaces) is reached by adding 133 existing onsite striped parking spaces, 24 existing onsite non-striped parking spaces, 224 non-striped parallel parking street-side spaces, and 689 overflow grass area parking spaces located north of the school (*see attached diagram 1.4b showing parking*).

9.4.8 Shared Parking

E. Shared parking spaces may be located on a different lot than the use, which it serves only where the following conditions are met:

1. The parking is located no more than 300 feet from the use that it serves. The distance between the use and the parking lot shall be measured following a reasonable and safe walking route from the main entrance of the use to the nearest parking lot;

Parking areas on parking diagram 1.4b are within 300 feet of WRMS and are within a reasonable walking distance.

2. The applicant(s) for a building permit or certificate of occupancy for the use which is to be served by a shared parking program shall submit a copy of a written agreement pursuant to subparagraph (h) of this Section along with his or her application for such permit or certificate.

H. Agreement For Shared Parking Plan: The developer(s) applying for a shared parking program in accordance with this Section shall submit a written agreement approved by the City Attorney requiring that the parking spaces shall be maintained as long as the uses requiring the parking exist or unless the required parking is provided elsewhere in accordance with the provisions of this Section. Such written agreement shall be recorded by the developer(s) with the Blaine County Recorder prior to the issuance of a building permit or business license if no building permit is necessary, and a copy filed in the project review file.

With all parking spaces on either BCSD property or public right-of-ways, a shared parking plan is not required.

6A.6 Criteria.

A. The Commission shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.

2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission may impose any condition deemed necessary. The Commission may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.

4. **Minimize adverse impact on other development.**
5. **Control the sequence, timing and duration of development.**
6. **Assure that development and landscaping are maintained properly.**
7. **Require more restrictive standards than those generally found in the Zoning Ordinance.**

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. **If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**

2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

6A.6 Criteria.

A. The Commission shall determine the following before approval is given:

1. **The project does not jeopardize the health, safety or welfare of the public.**

2. **The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. **Ensure compliance with applicable standards and guidelines.**
2. **Require conformity to approved plans and specifications.**

- approval.
3. **Require security for compliance with the terms of the**
 4. **Minimize adverse impact on other development.**
 5. **Control the sequence, timing and duration of development.**
 6. **Assure that development and landscaping are maintained**
- properly.
7. **Require more restrictive standards than those generally found in the Zoning Ordinance.**

6A.6 Criteria.

A. **The Commission shall determine the following before approval is given:**

1. **The project does not jeopardize the health, safety or welfare of the public.**
2. **The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**

B. **Conditions. The Commission may impose any condition deemed necessary. The Commission may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**

1. **Ensure compliance with applicable standards and guidelines.**
 2. **Require conformity to approved plans and specifications.**
 3. **Require security for compliance with the terms of the**
- approval.
4. **Minimize adverse impact on other development.**
 5. **Control the sequence, timing and duration of development.**
 6. **Assure that development and landscaping are maintained**
- properly.
7. **Require more restrictive standards than those generally found in the Zoning Ordinance.**

C. **Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

1. **If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional**

twenty percent (20%) to be added to the amount of the original security initially provided.

2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

DECISION

The Design Review of Northridge Sub No. 4, Blk 1, Lot 2 (WRMS) Addition within the Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.), within the General Residential (GR) and Townsite Overlay (TO) zoning districts is hereby approved subject to the following terms and conditions:

1. The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
2. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
3. All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
4. The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
5. This Design Review approval is for plans dated March 14, 2013 (1.2, 2.1, 2.2, 6.1), March 14, 2013 (1.3, OLW LED Lighting Wall Pack,), April 1 (1.1 Site Plan), April 16, 2013 WRMS PARKING Summary Plan and related summary in John Gaeddert CLPE April 16, 2013 letter. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

6. All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
7. This Design Review approval shall expire one (1) year from the date these Findings of Fact are signed, unless a building permit application has been submitted to the Building Department.
8. This project is subject to Development Impact Fees pursuant to Municipal Code Chapter 15.16. The estimated fee is determined at the time of Building Permit application.
9. Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
10. Except as otherwise provided, all the required building, landscaping, site, infrastructure improvements and all other conditions of approval shall be constructed and completed, or security in the amount of 150% of the estimated cost as approved by the City, before a Certificate of Occupancy will be issued.
11. This Design Review approval is subject to the following conditions:
 - a) All applicable Fire Department and Building Department requirements shall be met, including but not limited to:
 - i. Prior to installation of the new fence, a fence permit shall be obtained from the Building Department and the plans for the fence shall meet the standards of Section 8.1, Hailey Zoning Ordinance.
 - ii. No auxiliary apparatus (e.g. utility meters, fire suppression equipment) may extend into any public right-of-way.
 - iii. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional parking, improvements and/or approvals.
12. A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this ____ day of _____, 2013.

Geoffrey Moore, Chair

Attest:

Bart Bingham, Principal Planner

City of Hailey - Design Review Application

Submittal Date: 08 / MAR / 2013

Project Name: WOOD RIVER MIDDLE SCHOOL

CLASSROOM ADDITION

RPH RPH04760010020

Parcel No. 370829 (INSTRUMENT #)

Legal Description of Property: Subdivision

LOT 2 BLOCK 1 OF NORTHRIODE NO. IV SUBDIVISION

Street Address of Property: 900 N. 2ND AVENUE

Current Zoning of Property: GR

Year of original construction: 1988, 1998, + 2003

(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable)

Proposed addition or new construction sq. ft.

Name of Owner of the Property: BLAINE COUNTY SCHOOL DISTRICT

Mailing Address: 118 WEST BULLION ST. City: HAILEY State: ID Zip: 83333

Phone: (208) 578-5000 Fax: Cell:

Email Address: MCHATTERTON@BLAINESCHOOLS.ORG

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any ex parte discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: [Signature] Date: 3 / 8 / 2013

Name of individual to contact on behalf of Trust or LLC (if applicable):

Mailing Address: City: State: Zip:

Phone: Fax: Cell:

Email Address:

Application Contact (if different than above): JOLYON H. SAWREY (ARCHITECT)

**Application Contact will be the Planning Department's primary point of contact for questions related to the application.

Mailing Address: 30 WYATT DRIVE City: BELLEVUE State: ID Zip: 83313

Phone: Fax: Cell: (208) 720-6315

Email Address: JOLYON@VITALINKARCHITECTURE.COM

Signature: [Signature] Date: 07 / MAR / 2013

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

<input checked="" type="checkbox"/>	Commercial, Mixed-Use or Multi-Family.....	\$ 450.00
	plus \$25 / 1,000 gross square feet..... (4370 SF)	\$ 125.00
OR <input type="checkbox"/>	Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ 250.00
OR <input type="checkbox"/>	No Substantial Impact..... (Mailing only).....	\$ 75.00
OR <input type="checkbox"/>	Modification to DR Approval... (No publication or mailing).....	\$ 50.00
OR <input type="checkbox"/>	DR Exemption... (No publication or mailing).....	\$ 30.00
	Publication cost.....	\$ 40.00
	Mailing (# of addresses 54) x (.46 postage + .15 paper, envelope & label) = 614	\$ 32.94
	DO NOT COUNTY DUPLICATES OR CITY OF HAILEY	
	Total Due.....	\$ 647.94

DESIGN REVIEW - CHECKLIST

City Use Only -

Project Name: _____

Certified Compete by: _____

Date: ____/____/____

The following items must be submitted with the application for the application to be considered complete (✓):

- ✓ One (1) 24" x 36" set of plans with scale indicated containing the following:
- ✓ Vicinity map showing project location in relationship to adjacent buildings and surrounding area.
- ✓ Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions (must show location of adjacent buildings and structures).
- ✓ Total square footage of subject property, including lot dimensions.
- ✓ Building setbacks.
- ✓ Staging and contractor parking plan.
- ✓ Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures).
- ✓ Landscape plan
 - ✓ Existing tree to be shown as retained/relocated/removed.
 - ✓ All proposed species type/size/quantity of each.
 - ✓ Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
- ✓ Floor plan (include gross square footage for each floor, occupancy classification and type of construction).
- ✓ Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
- ✓ Drainage plan (grading, catch basins, piping, and dry-wells).
- ✓ Detailed elevations showing facade of all sides of proposed building and other exterior elements. **Must show elevation points of record grade.** Include notes on colors, materials, dimensions.
- ✓ *Colored rendering of at least one side of the proposed building.*
- ✓ Idaho licensed architect (plans for single family dwellings may be stamped by an Idaho licensed structural engineer)
- ✓ North point and scale.
- ✓ Six (6) 11" x 17" copies of any larger plans/maps (if project is located within the Townsite Overlay, then one (1) 11" x 17" copy is sufficient).
- ✓ PDF files of all required documents and 11" x 17" plans/maps; email PDFs to planning@haileycityhall.org.
- ✓ Color photographs of any existing structures on the site.
- ✓ Materials and colors sample board. Each sample approximately 12" x 12".
- N/A Sign Plan (if applicable).
- N/A Area Development Plan (required if property owner also owns adjacent parcels).
- N/A For property located in Airport West, Design Review approval by Airport West Design Board.
- ✓ Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- ✓ Names and addresses of easement holders within subject property.
- ✓ Written statement of how each design review standard is met (contact the Planning Coordinator for which set of standards is applicable to your project).
- ___ Other information as required by the Zoning Administrator, Hearing Examiner or Commission.

City Use Only:

- ✓ Double check address
- N/A Advise applicant if Lot Line Adjustment is needed *Annexation in process*
- ___ Check following basic standards:

___ Density	___ Lot coverage
___ Setbacks	___ Floor area
___ Height (plans must show elevation points of record grade)	___ Parking (# of spaces)



115 MAIN STREET S. SUITE H
 HAILEY, ID 83333
 PHONE: (208) 788-4221
 FAX: (208) 788-2924

INVOICE #	INVOICE DATE
10732	03/08/2013
DUE DATE	CUSTOMER ACCOUNT NUMBER
03/08/2013	6402
AMOUNT DUE	TERMS:
647.94	Open Terms

BILL TO:

BLAINE COUNTY SCHOOL DIST #61

MIKE CHATTERTON
 118 W. BULLION ST
 HAILEY ID 83333

PLEASE DETACH AND RETURN THIS TOP PORTION
 WITH YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY
 115 S MAIN ST STE H
 HAILEY, ID 83333

INVOICE

DESCRIPTION	QUANTITY	CHARGE	EXT. PRICE
PLANNING DESIGN REVIEW	.		450.00
PLANNING PUBLICATION	.		40.00
PLANNING MAIL	54.	.61	32.94
PLANNING DR + over 1,000 sq ft.	.		125.00
PLANNING	.		
			647.94
			TOTAL AMOUNT DUE

THANK YOU FOR YOUR PROMPT PAYMENT
 For Billing Inquiries Call: (208)788-4221
 Office Hours: 9:00 a.m. - 5:00 p.m.
 Monday thru Friday

LEGAL NOTICES

IDAHO MOUNTAIN EXPRESS March 20, 2013

NOTICE OF PUBLIC HEARING HAILEY PLANNING AND ZONING COMMISSION Monday, April 8, 2013

PUBLIC NOTICE IS HEREBY GIVEN that the Hailey Planning and Zoning Commission will hold a Public Meeting at 6:30 p.m. on Monday, April 8, 2013, to be held in the upstairs meeting room of Hailey City Hall and will hold Public Hearings on the following items.

- Consideration of an application by Blaine County School District for Design Review of a 4,370 sq. ft. classrooms and hallway addition to the existing Wood River Middle School. The school is located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) and within the General Residential (GR) Zoning District.

- Consideration of an application by Strada Capital Inc. for Design Review of an alteration to the exterior of an existing residence by altering the roof over front entry from a shed roof to a gabled roof type and an existing installed window to a garage door and vehicle entry area. The residence being located at Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.) is within the Townsite Overlay (TO) and General Residential (GR) Zoning Districts.

- Consideration of an application by Craig Johnson for Design Review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), which is within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

- * Consideration of an annexation request from the Blaine County School District to annex Parcel 4 of a Replat of Maurer Subdivision (Inst.510590), comprising a total of .62 acres, into Hailey City Limits for the purpose of expanding the Wood River Middle School.

- * Consideration of a Conditional Use Permit request from Mountain Rides Transportation Authority for operating a South Valley Facility on Woodside Subdivision Plat #10, Lot 38, Block 42 (otherwise known as 4021 Glenbrook Dr.) which is located in the Business (B) Zone.

- * Consideration of an application by AT&T (Powder River Development Services, LLC) for a Wireless Permit for the installation and operation of roof top equipment, including antennas and associated equipment cabinets for AT&T's Wireless telecommunications network. The equipment would be located at Pine Street Station Condos (400 S. Main St.) within the Business (B) and Townsite Overlay (TO) Zoning Districts.

Any and all interested persons are invited to attend the public hearings or submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org. Supporting documents for these item(s) can be viewed on the City of Hailey's website as of the date of this publication; go to www.haileycityhall.org, under Meeting, click on the Planning and Zoning Commission and select the link for the most current Planning and Zoning agenda. The staff reports will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208-788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this notice, or for special accommodations to participate in the noticed meeting, please contact planning@haileycityhall.org or (208) 788-9815.

PUBLISH: IDAHO MOUNTAIN EXPRESS March 20, 2013

PUBLIC NOTICE

DEBCO Construction will begin work April 1, 2013 on Ketchum-Challis Highway, Custer County. Location of work is Mile post 205.4 to Mile post 206.7 on State Hwy 75. Construction activities will consist of installation of traffic control devices, concrete barrier placement, rock scaling and line hole blasting. Traffic will be reduced to one lane during this period with flaggers or automated traffic signals in place.

2013 Construction Schedule

Beginning on or about April 1, 2013 until on or about May 14, 2013
Daylight Hours
Monday thru Friday 8:30 am to 5:00 pm

Public should expect 2 hour road closures from 10am to 12pm and 1:30pm to 3:30pm All other traffic delays will be limited to 15 minutes or less

Schedule exceptions
Anticipated spring start date is April 1 2013 with expected
Completion date on or about May 14th, 2013.

DEBCO CONTACT INFORMATION
DEBCO Construction
P.O. Box 173
Stanley, Idaho 83278
Telephone# 208-838-2509 or 208-476-3617
Fax# 208-838-2443 or 208-476-3226
Email address: chuck@debcousa.com

PUBLISH: IDAHO MOUNTAIN EXPRESS March 20, 2013

NOTICE OF PRE-QUALIFICATION & INTENT TO BID

Conrad Brothers of Idaho, Inc., on behalf of the Blaine County School District #61, as the design-build contractor for the Wood River Middle School Remodel/Addition construction project in Hailey, Idaho, is accepting applications for pre-qualification. Qualified bidders will then be invited to submit bids for the work described on the contract documents prepared by the architect.

All bidders shall have a current Public Works License in the State of Idaho, or shall be licensed upon entering a contract with Conrad Brothers of Idaho, Inc., and all work shall be performed under Idaho Code governing Public Works Projects.

Bidders shall be evaluated based on qualifications, previous experience, and bid amount. Interested parties who are intend to pre-qualify and bid with Conrad Brothers may email us at troy@conradbrothersconstruction.com

PUBLISH: IDAHO MOUNTAIN EXPRESS March 20 & 27, 2013

NOTICES OF TRUSTEE'S SALES

NOTICE OF TRUSTEE'S SALE

NOTICE OF TRUSTEE'S SALE Trustee's Sale No. ID-USB-12013248 NOTICE IS HEREBY GIVEN that, Pioneer Title Company of Ada County dba Pioneer Lender Trustee Services, the duly appointed Successor Trustee, will on June 20, 2013, at the hour of 10:30 AM, of said day, ON THE FRONT STEPS OF THE WEST SIDE OF THE OLD COURTHOUSE BUILDING, 206 1ST AVENUE SOUTH, HAILEY, ID, sell at public auction to the highest bidder, for cash, in lawful money of the United States, all payable at the time of sale, the following described real and personal property (hereafter referred to collectively as the "Property"), situated in the County of BLAINE, State of Idaho, to-wit: LOT 7 IN BLOCK 46 OF WOODSIDE SUBDIVISION FINAL PLAT NO. 11, ACCORDING TO THE OFFICIAL PLAT THEREOF RECORDED AS INSTRUMENT NO. 152506, RECORDS OF BLAINE COUNTY, IDAHO. The Trustee has no knowledge of a more particular description of the above-referenced Property but, for purposes of compliance with Section 60-113 of Idaho Code, the Trustee has been informed that the address of 3730 WOODSIDE BLVD., HAILEY, ID 83333, is sometimes associated with said real property. Said sale will be made without covenant or warranty regarding title, possession or encumbrances to satisfy the obligation secured by and pursuant to the power of sale conferred in the Deed of Trust executed by TRACY EVANS, FRED EVANS, WIFE AND HUSBAND, as Grantor, to ALLIANCE TITLE AND ESCROW CORPORATION, as Trustee, for the benefit and security of MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC., AS NOMINEE FOR USAA FEDERAL SAVINGS BANK, as Beneficiary, dated 10/24/2005, recorded 11/1/2005, under Instrument No. 528288, Mortgage records of BLAINE County, IDAHO, the beneficial interest in which is presently held by U.S. BANK NATIONAL ASSOCIATION. THE ABOVE GRANTORS ARE NAMED TO COMPLY WITH SECTION 45-1506(4)(A), IDAHO CODE. NO REPRESENTATION IS

MADE THAT THEY ARE, OR ARE NOT, PRESENTLY RESPONSIBLE FOR THIS OBLIGATION. The default for which this sale is made is the failure to pay when due under the Deed of Trust Note dated 10/24/2005, THE MONTHLY PAYMENT WHICH BECAME DUE ON 8/1/2012 AND ALL SUBSEQUENT MONTHLY PAYMENTS, PLUS LATE CHARGES AND OTHER COSTS AND FEES AS SET FORTH. Amount due as of February 12, 2013 Delinquent Payments from August 01, 2012 2 payments at \$1,689.22 each \$3,378.44 5 payments at \$1,683.46 each \$8,417.30 (08-01-12 through 02-12-13) Late Charges: \$185.43 Net Other Fees: \$15.00 MTGR Rec Corp Adv: \$372.50 TOTAL: \$12,368.67 All delinquencies are now due, together with unpaid and accruing taxes, assessments, trustee's fees, attorney's fees, costs and advances made to protect the security associated with this foreclosure. The principal balance is \$235,223.30, together with interest thereon at 5.875% per annum from 7/1/2012 to 10/1/2012, 5.875% per annum from 10/1/2012, until paid. The Beneficiary elects to sell or cause the trust property to be sold to satisfy said obligation. Anyone having any objection to the sale on any grounds whatsoever will be afforded an opportunity to be heard as to those objections if they bring a lawsuit to restrain the same. SALE INFORMATION LINE; 714-730-2727 or <http://www.ipsasap.com> DATED: 2/12/2013. Pioneer Title Company of Ada County dba Pioneer Lender Trustee Services By: - c/o PEAK FORECLOSURE SERVICES, INC. 5900 Canoga Avenue, Suite 220 Woodland Hills, CA 91367 Phone: (877)237-7878 A-4361103

PUBLISH: IDAHO MOUNTAIN EXPRESS Feb. 27 & March 6, 13, 20, 2013

NOTICE OF TRUSTEE'S SALE

NOTICE IS HEREBY GIVEN that on Tuesday May 28, 2013, at the hour of ten o'clock a.m. of said day, in the lobby of AmeriTitle, 171 W. 6th Street, Ketchum, Idaho, the Trustee, Edward A. Lawson, will sell at public auction to the highest bidder, for cash in lawful money of the United States of America, all payable at the time of sale, the following described real property ("Property") situated in the County of Blaine, State of Idaho, and described as follows, to wit:

LOT 11 of CHATEAUX OF NORTHWOOD, according to the official plat thereof, recorded as Instrument No. 391749, records of Blaine County, Idaho. And

LOT 12 of CHATEAUX OF NORTHWOOD, according to the official plat thereof, recorded as Instrument No. 391749, records of Blaine County, Idaho.

The Trustee has no knowledge of a more particular description of the Property, but for purposes of compliance with Idaho Code Section 60-113, the Trustee has been informed that the street address of 391 and 401 Northwood Way, Ketchum, Idaho 83340, may sometimes be associated with said Property.

Said sale will be made, without covenant or warranty regarding title, possession or encumbrances, to satisfy the obligation secured by and pursuant to the power of sale conferred in the Deed of Trust ("Deed of trust") executed by JAMES P. BALDWIN and NANCY L. BALDWIN, as trustees of the JAMES P. BALDWIN TRUST NO. 2 and NANCY L. BALDWIN TRUST NO. 2, as Grantor, EDWARD A. LAWSON, as successor trustee and NEWPORT MANAGEMENT ADVISORS, as Beneficiary, said Deed of Trust having been filed of record on November 17, 2010, as Instrument No. 582497 and re-recorded on November 18, 2010, as Instrument No. 582536, Official Records of Blaine County, Idaho.

The default for which the sale is to be made is that a breach of the obligation for which the transfer in trust is security has occurred, in that the payment due on November 1, 2012 under a promissory note ("Note") secured by the above mentioned Deed of Trust was not made, together with service charges, late charges, and any other costs, fees, or expenses incurred by the Beneficiary and/or Trustee associated with this foreclosure as provided by the Deed of Trust or deed of trust note, or by Idaho law.

The balance owing as of the date hereof on the obligation secured by said Deed of Trust is the principal amount of \$3,000,000, with interest accruing on the principal balance at a fixed interest rate of 12%, plus service charges, late charges,

and any other costs or expenses associated with this foreclosure as provided by the Deed of Trust, the Note, or by Idaho law. All delinquent amounts are now due and owing, together with accruing late charges, interest, unpaid and accruing taxes, assessments, trustee's fees, attorney's fees, and any amounts advanced to protect the security of associated with the foreclosure, and the Beneficiary elects to sell or cause the Property to be sold to satisfy said obligation.

If the Trustee is unable to convey title for any reason, the successful bidder's sole and exclusive remedy shall be the return of monies paid to the Trustee, and the successful bidder shall have no further recourse. If the sale is set aside for any reason, the Purchaser at the sale shall be entitled only to a return of the deposit paid. The Purchaser shall have no further recourse against the Trustee, the Beneficiary, or the Trustee's attorney.

NOTICE IS HEREBY GIVEN THAT THIS FIRM IS ATTEMPTING TO COLLECT A DEBT AND ANY INFORMATION OBTAINED WILL BE USED FOR THAT PURPOSE, AND THAT THE DEBT MAY BE DISPUTED. THE NAMING OF THE ABOVE GRANTOR(S) IS DONE TO COMPLY WITH IDAHO CODE SECTION 45-1506(4)(A). NO REPRESENTATION IS MADE THAT THEY ARE, OR ARE NOT RESPONSIBLE FOR THIS OBLIGATION.

Dated this 31st day of January, 2013
/s/ Edward A. Lawson
State of Idaho
County of Blaine

On January 31st., 2013, before me, a Notary Public in and for said State, personally appeared EDWARD A. LAWSON, known or identified to me to be the person whose name is subscribed to the within instrument, and acknowledged to me that he executed the same.

/s/ Judith M. Nicholson
Notary Public for Idaho
Residing at Hailey
My Commission expires 8/11/2017

PUBLISH: IDAHO MOUNTAIN EXPRESS Feb. 27 & March 6, 13, 20, 2013

NOTICE OF TRUSTEE'S SALE

Notice of Trustee's Sale Idaho Code 45-1506 Today's date: February 21, 2013 File No.: 7021.14937 Sale date and time (local time): June 24, 2013 at 11:00 AM Sale location: in the office of First American Title Company, 120 2nd Avenue North, Suite 101 Ketchum, ID 83340 Property address: 660 Second Avenue South #3 Ketchum, ID 83340 Successor Trustee: Northwest Trustee Services, Inc., an Idaho Corporation P.O. Box 997 Bellevue, WA 98009 (425) 586-1900 Deed of Trust information Original grantor: Michael Jaffe and Rhonda Jaffe, husband and wife Original trustee: LS Title of Washington Original beneficiary: Mortgage Electronic Registration Systems, Inc. solely as nominee for Countrywide Bank, N.A. Recording date: 10/31/2006 Recorder's instrument number: 541287 and Modified January 30, 2007 as Instrument No. 544318 County: Blaine Sum owing on the obligation: as of February 21, 2013: \$265,945.68 Because of interest, late charges, and other charges that may vary from day to day, the amount due on the day you pay may be greater. Hence, if you pay the amount shown above, an adjustment may be necessary after we receive your check. For further information write or call the Successor Trustee at the address or telephone number provided above. Basis of default: failure to make payments when due. Please take notice that the Successor Trustee will sell at public auction to the highest bidder for certified funds or equivalent the property described above. The property address is identified to comply with IC 60-113 but is not warranted to be correct. The property's legal description is: Situated in the County of Blaine and State of Idaho: Unit 3 in Building A as shown on the Condominium Map for Westridge Condominiums Phase 1, recorded as Instrument No. 451304, and as defined and described in the Condominium Declaration for Westridge Condominiums, recorded as Instrument No. 451264, and First Amendment recorded as Instrument No. 455408, records of Blaine County, Idaho. The sale is subject to conditions, rules and procedures as described at the sale and which can be reviewed at www.northwesttrustee.com or USA-Foreclosure.com. The sale is made without represen-

tation, warranty or covenant of any kind (TS# 7021.14937) 1002.242796-File N

PUBLISH: IDAHO MOUNTAIN EXPRESS March 6, 13, 20 & 27, 2013

NOTICE OF TRUSTEE'S SALE

Notice of Trustee's Sale TS No.: ID-C-319901-TD On 6/26/2013, at 10:30A (recognized local time), at the following location in the County of BLAINE, State of Idaho: On the front steps of the west side of the Old Courthouse Building, 206 1st Avenue South, Hailey, ID 83333. Pioneer Lender Trustee Services, an Idaho limited liability company, Trustee by Quality Loan Services, Attorney in Fact, as Trustee on behalf of Bank of America, National Association as successor by merger to "LaSalle Bank NA as trustee for Washington Multi Mortgage Pass-Through Certificate WMAST Series 2006-7 Trust will sell at public auction, to the highest bidder, for cash, in lawful money of the United States, all payable at the time of sale, the following real property, situated in the County of BLAINE State of Idaho, and described as follows: LOT BLOCK 1 OF ZINC SPUR RANCH UNIT ONE, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED AS INSTRUMENT NO. 140090, RECORDS OF BLAINE COUNTY, IDAHO. The Trustee has no knowledge of a more particular description of the above referenced real property, but for purposes of compliance with Section 60-113 Idaho Code, the Trustee has been informed that the address of 102 WILLOW RD, HAILEY, ID 83333 is sometimes associated with said real property. Said sale will be made without covenant or warranty regarding title, possession or encumbrances pursuant to the power of sale conferred by the Deed of Trust executed by STEPHEN W. GREER, A MARRIED MAN AS HIS SOLE AND SEPARATE PROPERTY Grantor/Trustor, in which MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC., AS NOMINEE FOR GREENPOINT MORTGAGE FUNDING INC., is named as Beneficiary of BLAINE COUNTY TITLE as Trustee as recorded 6/26/2006 as Instrument 536761 in book xxx, page xxx, of Official Records in the office of the Recorder of BLAINE County, Idaho. Please Note: above Grantors are named to comply with section 45-1506(4)(A), Idaho Code. No representation is made that they are, or are not, presently responsible for this obligation set forth herein. Default for which this sale is to be made is the failure to pay when due, under Deed of Trust and Note dated 6/20/2006. The monthly installments of principal interest, and impounds (if applicable) \$3,968.62, due per month for the month of 3/1/2010 through 10/18/2010, and subsequent installments until the date of sale or reinstatement. The principal balance owing as of this date on the obligation secured by said Deed of Trust: \$584,000.00 together with interest thereon at the current rate of 7.3750 per cent (% per annum from 2/1/2010. All delinquent amounts are now due, together with accruing late charges, and interest, unpaid and accruing taxes, assessments, trustee's fees, attorney's fees, and any amounts advanced to protect the security associated with this foreclosure and the beneficiary elects to sell or cause the trust property to be sold to satisfy said obligation. If the Trustee is unable to convey title for any reason, the successful bidder's sole and exclusive remedy shall be the return of monies paid to the Trustee, and the successful bidder shall have no further recourse. If the sale is set aside for any reason, the Purchaser at the sale shall be entitled only to a return of the deposit paid. The Purchaser shall have no further recourse against the Mortgagee, the Mortgagee, or Mortgagee's Attorney. Date: 2/21/2013 By: Pioneer Title Company of Ada County dba Pioneer Lender Trustee Services Trustee By: Quality Loan Service Company of Washington, a Washington Corporation its attorney-in-fact 2141 5th Avenue San Diego, CA 92101 Tricia Morrison Assistant Secretary For Sale Information. Call: 714-730-2727 or Login to: www.ipsasap.com If you have previously been discharged through bankruptcy, you have been released of personal liability for this loan in which case this letter is intended to exercise the note holder's right against the real property only. THIS IS AN ATTEMPT TO COLLECT A DEBT AND ANY INFORMATION OBTAINED

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

March 19, 2013

Dear Property Owner:

Your property has been identified as being located within 300 feet of the property listed below; this letter is being sent to you to give you the opportunity to comment on the following application related to this property:

- Consideration of an application by Blaine County School District for Design Review of a 4,370 sq. ft. classrooms and hallway addition to the existing Wood River Middle School. The school is located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) and within the General Residential (GR) Zoning District.
- Consideration of an annexation request from the Blaine County School District to annex Parcel 4 of a Replat of Maurer Subdivision (Inst.510590), comprising a total of .62 acres, into Hailey City Limits for the purpose of expanding the Wood River Middle School.

A map showing the location of the property and renderings of the building are included with this letter.

A public hearing will be held on this application as part of the Hailey Planning and Zoning Commission's meeting on **Monday, April 8, 2013**, at 6:30 p.m., at Hailey City Hall. You are invited to attend this public hearing and/or submit written comments to the Principal Planner at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

March 21, 2013

Dear Public Agency:

The Hailey Planning and Zoning Commission will hold a public hearing on the item(s) listed below on **Monday, April 8, 2013**, at 6:30 p.m., Hailey City Hall.

- Consideration of an application by Blaine County School District for Design Review of a 4,370 sq. ft. classrooms and hallway addition to the existing Wood River Middle School. The school is located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) and within the General Residential (GR) Zoning District.
- Consideration of an application by Strada Capital Inc. for Design Review of an alteration to the exterior of an existing residence by altering the roof over front entry from a shed roof to a gabled roof type and an existing installed window to a garage door and vehicle entry area. The residence being located at Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.) is within the Townsite Overlay (TO) and General Residential (GR) Zoning Districts.
- Consideration of an application by Craig Johnson for Design Review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), which is within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.
- Consideration of an annexation request from the Blaine County School District to annex Parcel 4 of a Replat of Maurer Subdivision (Inst.510590), comprising a total of .62 acres, into Hailey City Limits for the purpose of expanding the Wood River Middle School.
- Consideration of a Conditional Use Permit request from Mountain Rides Transportation Authority for operating a South Valley Facility on Woodside Subdivision Plat #10, Lot 38, Block 42 (otherwise known as 4021 Glenbrook Dr.) which is located in the Business (B) Zone.
- Consideration of an application by AT&T (Powder River Development Services, LLC) for a Wireless Permit for the installation and operation of roof top equipment, including antennas and associated equipment cabinets for AT&T's Wireless telecommunications network. The equipment would be located at Pine Street Station Condos (400 S. Main St.) within the Business (B) and Townsite Overlay (TO) Zoning Districts.

This Notice is issued pursuant to Idaho State Code (Local Land Use Planning Act), Section 67-6509, whereby notice must be provided to all political subdivisions providing services within the planning jurisdiction at least 15 days prior to public hearings regarding proposed amendments to the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, or any other land use ordinance.

You are invited to attend this public hearing or submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.



NEW CLASSROOMS IN THIS AREA



HALLWAY TO CONTINUE



SOUTH ELEVATION (ALIGN WITH)



EXISTING SOUTH ELEVATION- NEW ADDITION TO BE LOCATED AT FAR RIGHT



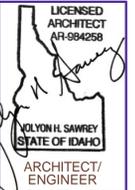
LOOKING DUE NORTH TO NEW ADDITION AREA



COLORS AS MATERIALS WILL BE MATCHED



EXTERIOR WALL SCONCE LIGHT FIXTURE



A NEW ADDITION:
NEW CLASSROOMS
 HAILEY, IDAHO
 WOOD RIVER MIDDLE SCHOOL

(208) 720-6315 PH

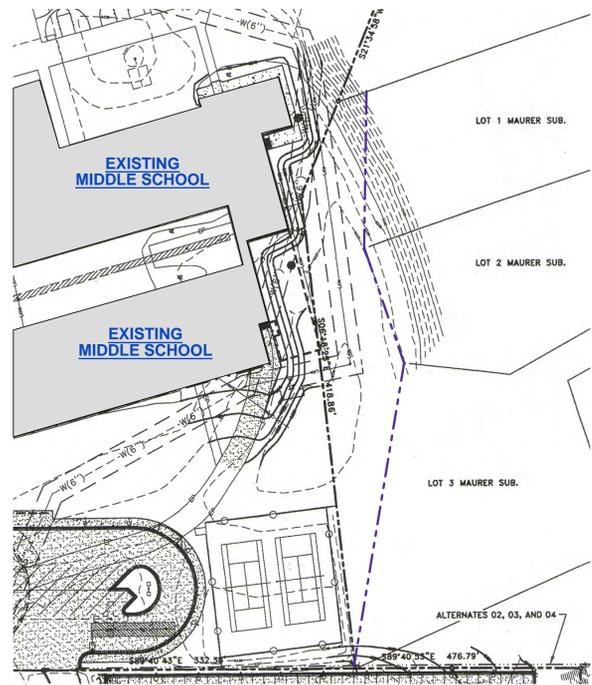


30 Wyatt Drive
 Bellevue, Idaho 83313

REVISIONS

DATE
 08 MARCH, 2013

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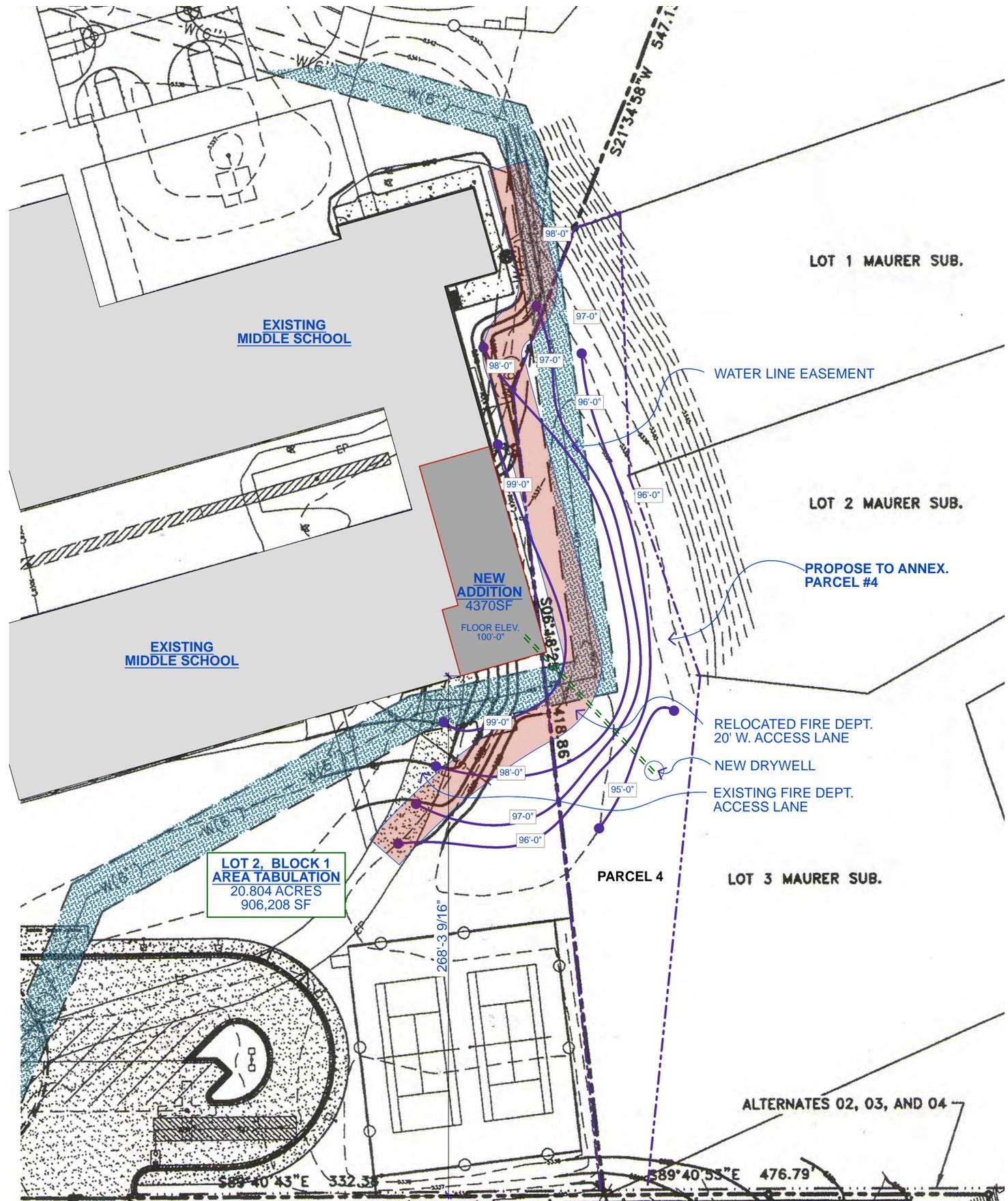
PROJECT NORTH

EXISTING SITE PLAN

NTS

2

NOTES:
1. ALL PARKING, LOADING, GENERAL CIRCULATION, SNOW STORAGE WILL REMAIN THE SAME AS EXISTING. THE FIRE ACCESS LANE WILL MOVE AS SHOWN ONTO THE NEWLY ANNEXED PARCEL 4.



LOT 1 MAURER SUB.

LOT 2 MAURER SUB.

PROPOSE TO ANNEX. PARCEL #4

WATER LINE EASEMENT

RELOCATED FIRE DEPT. 20' W. ACCESS LANE

NEW DRYWELL

EXISTING FIRE DEPT. ACCESS LANE

LOT 2, BLOCK 1 AREA TABULATION
20.804 ACRES
906,208 SF

PARCEL 4

LOT 3 MAURER SUB.

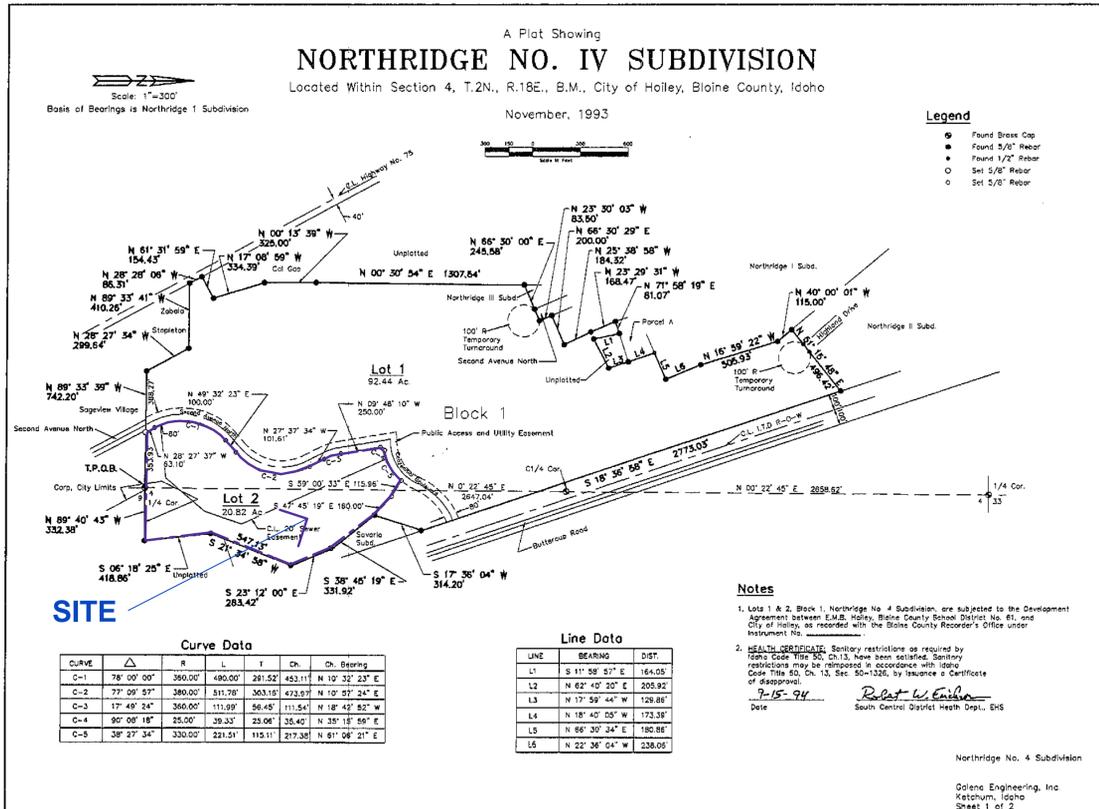
ALTERNATES 02, 03, AND 04

PROJECT NORTH

PROPOSED SITE PLAN

1"=30'-0"

1



A Plat Showing
NORTHDRIDGE NO. IV SUBDIVISION

Located Within Section 4, T.2N., R.18E., B.M., City of Hailey, Blaine County, Idaho

November, 1993

Legend

- Found Break Cap
- Found 3/8" Rebar
- Found 1/2" Rebar
- Set 5/8" Rebar
- Set 3/8" Rebar

Notes

1. Lots 1 & 2, Block 1, Northridge No. 4 Subdivision, are subject to the Development Agreement between E.M.B. Hailey, Blaine County School District No. 81, and City of Hailey, as recorded with the Blaine County Recorder's Office under Instrument No. _____

2. HEALTH ORDINANCE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

7-15-94 Robert W. Carlson
Date South Central District Health Dept., DHS

Northridge No. 4 Subdivision

Golene Engineering, Inc.
Ketchum, Idaho
Sheet 1 of 2
Job No. 2849

Curve Data					
CURVE	Δ	R	L	T	Ch. Bearing
C-1	78° 00' 00"	380.00'	480.00'	281.52'	N 19° 32' 23" E
C-2	77° 09' 57"	280.00'	511.78'	303.15'	N 10° 57' 24" E
C-3	17° 49' 24"	360.00'	111.89'	56.45'	N 18° 42' 52" W
C-4	90° 00' 18"	25.00'	39.33'	23.06'	N 35° 15' 56" E
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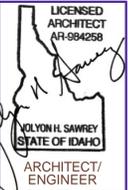
Line Data		
LINE	BEARING	DIST.
L-1	S 11° 58' 57" E	164.05'
L-2	N 62° 40' 50" E	325.82'
L-3	N 17° 59' 44" W	126.86'
L-4	N 18° 40' 05" W	173.38'
L-5	N 66° 30' 24" E	180.86'
L-6	N 22° 36' 04" W	238.05'



LOT 2 BLOCK 1- PLAT

NTS

3



A NEW ADDITION:
NEW CLASSROOMS
HAILEY, IDAHO
WOOD RIVER MIDDLE SCHOOL

(208) 720-6315 PH



30 Wyatt Drive
Bellevue, Idaho 83313

REVISIONS

NO.	DATE	DESCRIPTION

DATE
08 MARCH, 2013

1.1

PLATTEN, 03/08/13 7:00:41



A NEW ADDITION:
NEW CLASSROOMS
 HAILEY, IDAHO
 WOOD RIVER MIDDLE SCHOOL

Vital ink LLC
 Environmental Architecture
 & Consulting AIA

30 Wyatt Drive
 Bellevue, Idaho 83313

(208) 720-6315 PH

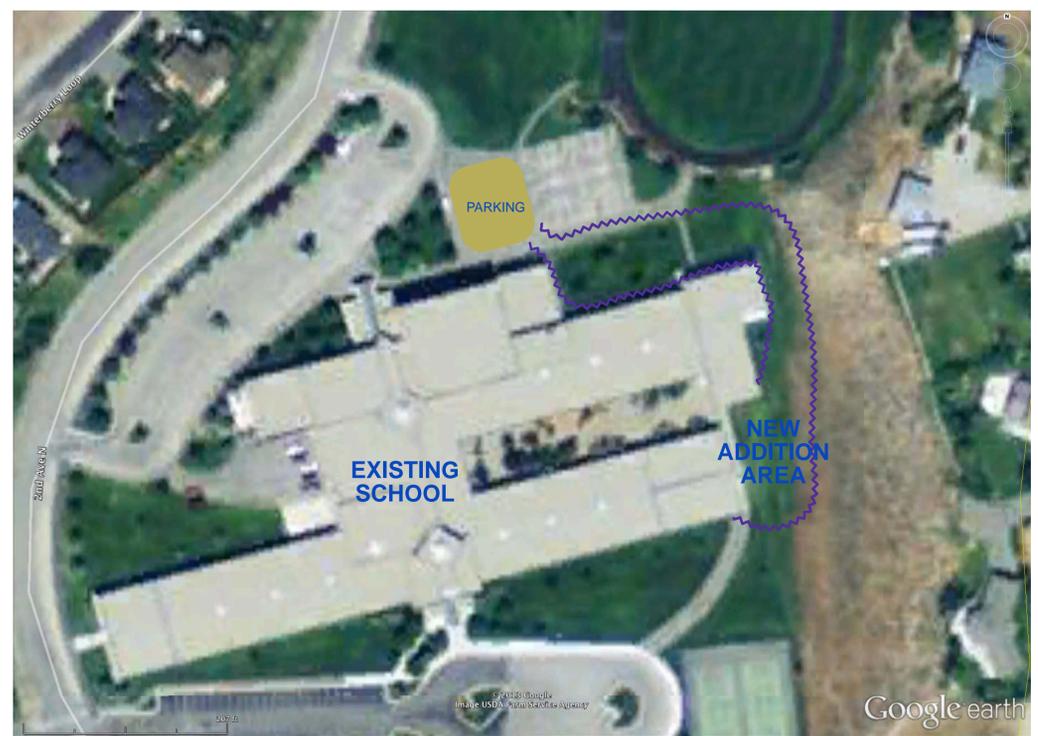
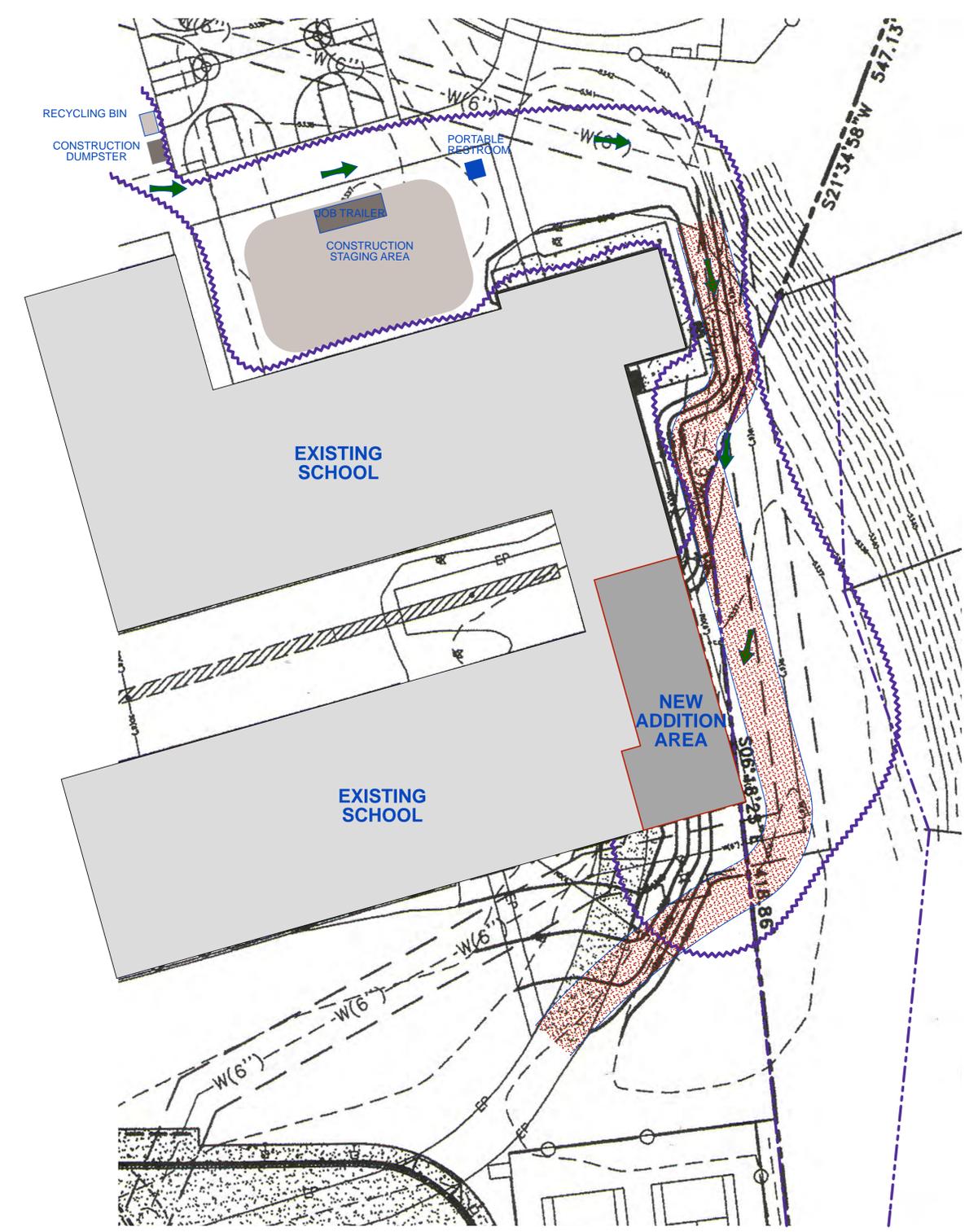
REVISIONS

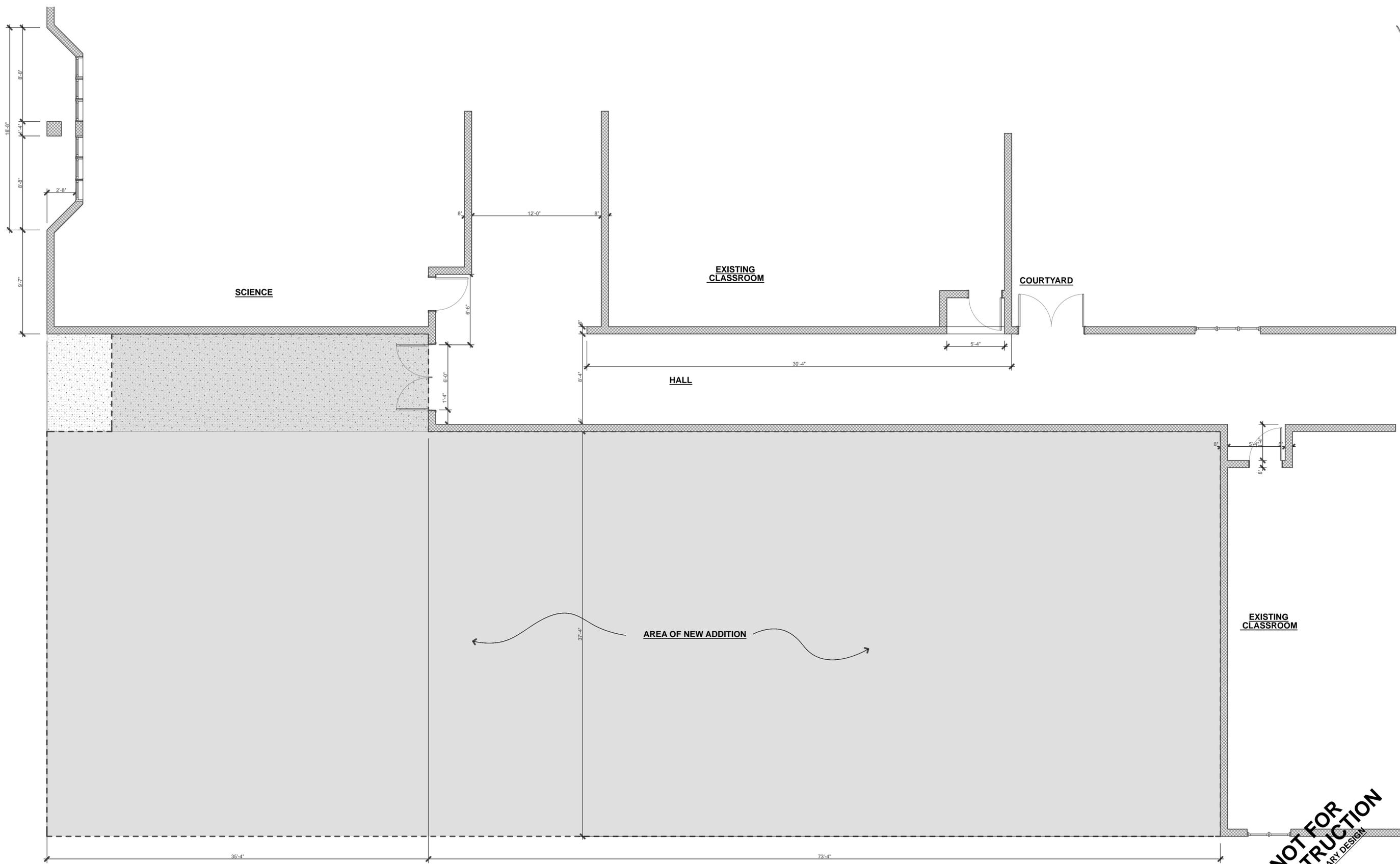
DATE
 08 MARCH, 2013

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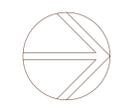
SYMBOL LEGEND

	CONSTRUCTION PARKING
	CONSTRUCTION STAGING AREA
	CONSTRUCTION DUMPSTER
	RECYCLING BIN
	PORTABLE RESTROOM
	CONSTRUCTION AREA OF DISTURBANCE
	CONSTRUCTION ACCESS





SYMBOL LEGEND	
	NEW MASONRY WALL
	EXISTING MASONRY WALL
	NEW FRAME WALLS
	EXISTING FRAME WALLS



EXISTING FLOOR PLAN

NOT FOR CONSTRUCTION
PRELIMINARY DESIGN

1/4"=1'-0"

1

LICENSED ARCHITECT
AR-984268
KOLYON H. SAWREY
STATE OF IDAHO
ARCHITECT/
ENGINEER

A NEW ADDITION:
NEW CLASSROOMS
HAILEY, IDAHO
WOOD RIVER MIDDLE SCHOOL

(208) 720-6315 PH
Vital ink LLC
Environmental Architecture
& Consulting AIA
30 Wyatt Drive
Bellevue, Idaho 83313

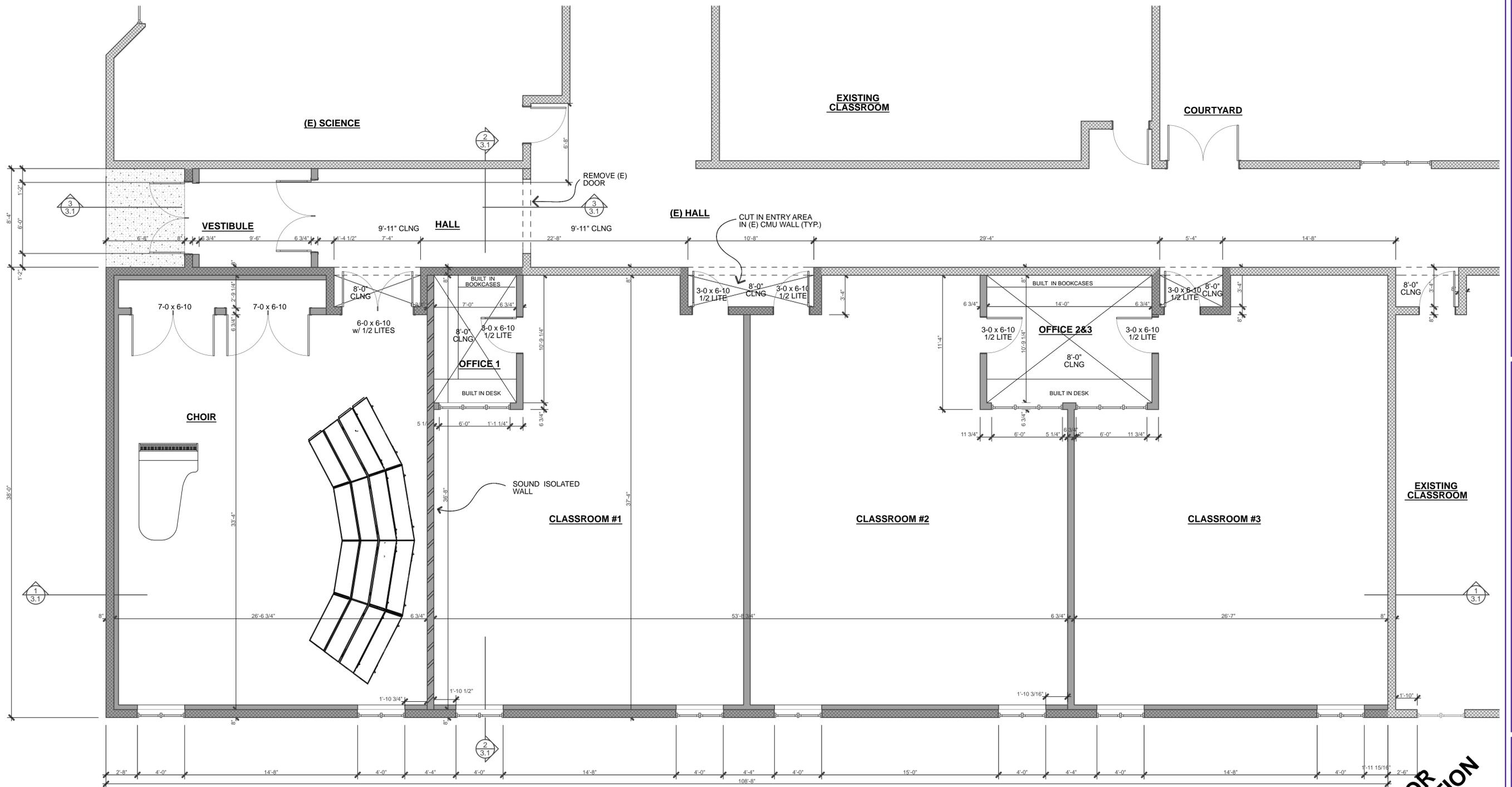
REVISIONS

DATE
08 MARCH, 2013

2.1

PLATTEN, 03/08/13, 09:00:11

REVISIONS



SYMBOL LEGEND

	NEW MASONRY WALL
	EXISTING MASONRY WALL
	NEW FRAME WALLS
	EXISTING FRAME WALLS

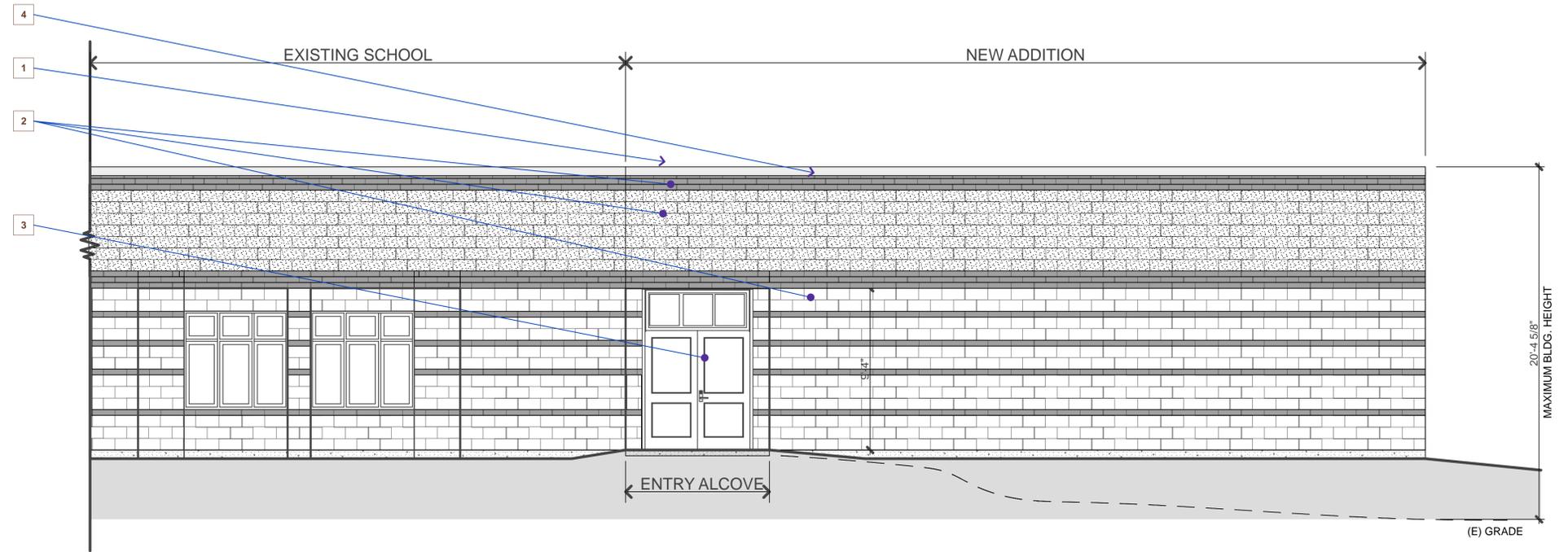


CONCEPT FLOOR PLAN

1/4"=1'-0"

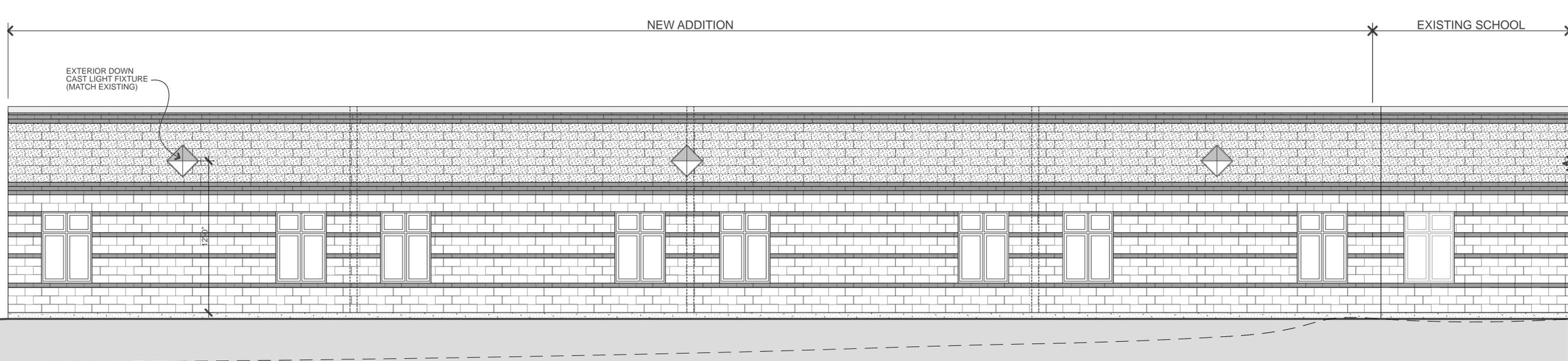
NOT FOR CONSTRUCTION
PRELIMINARY DESIGN

EXTERIOR MATERIALS				
LOC.	MATERIAL	MANUF.	MODEL	FINISH COLOR
1	ROOFING		BALLASTED LOW SLOPE EPDM MEMBRANE ROOFING SYSTEM	MATCH EXISTING ROOFING SYSTEM
2	SIDING- MASONRY	BASALITE	MASONRY (2A)- 8" CMU SMOOTH FACE (2B)- 4" BRICK SMOOTH FACE, (2C)- 8" CMU SPLIT FACED	2A-630 MOONDUST 2B - 690 BURGUNDY 2C - 640 CANYON RUST MATCH FLASHING
3	WINDOWS/ DOORS		ALUMINUM STORE FRONT, WITH THERMALLY BROKEN FRAMES	
4	FLASHING- PARAPET	UNA CLAD	METAL FLASHING WITH HEMED DRIP EDGE(WHERE APPLICABLE), 24G. KYNAR STEEL	TEAL



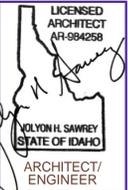
SOUTH ELEVATION

1
1/4"=1'-0"



EAST ELEVATION

2
1/4"=1'-0"



A NEW ADDITION:
NEW CLASSROOMS
HAILEY, IDAHO
WOOD RIVER MIDDLE SCHOOL

(208) 720-6315 PH



30 Wyatt Drive
Bellevue, Idaho 83313

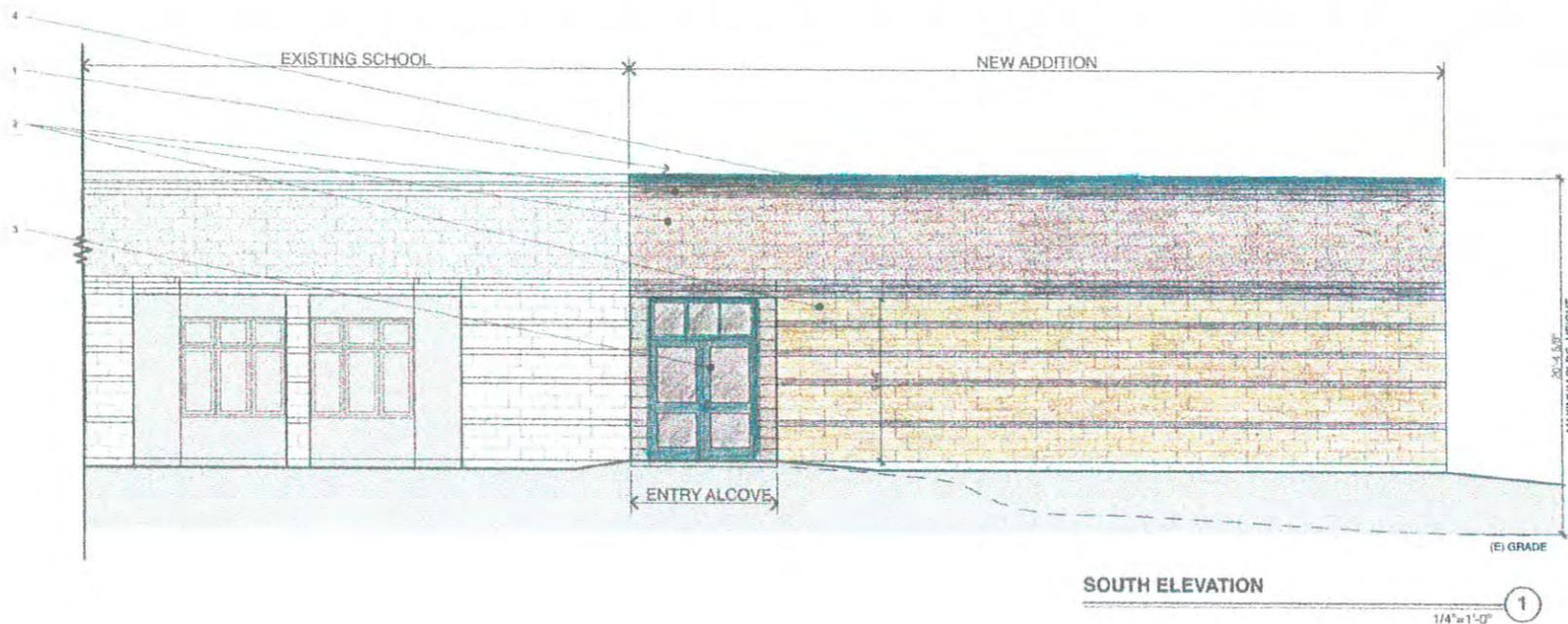
REVISIONS

DATE
08 MARCH, 2013

6.1

WOOD RIVER MIDDLE SCHOOL - CLASSROOMS ADDITION

A NEW ENERGY EFFICIENT, ENVIRONMENTAL, CLASSROOM ADDITION



LICENSED ARCHITECT
AR-66425B
JOLYON H. SAWREY
STATE OF IDAHO
ARCHITECT/ENGINEER

A NEW ADDITION:
NEW CLASSROOMS
HAILEY, IDAHO
WOOD RIVER MIDDLE SCHOOL



VICINITY MAP

N.T.S. 1



PROJECT TEAM

CLIENT:

**BLAINE COUNTY SCHOOL DISTRICT
HOWARD ROYAL**

118 W BULLION
HAILEY, IDAHO 83333
(208) 578-5000 PHONE

ARCHITECT:

**VITAL INK
JOLYON H. SAWREY**

30 WYATT DRIVE
BELLEVUE, IDAHO 83313
(208) 720-6315 PHONE
(866) 760-1895 FAX

CONTRACTOR:

**CONRAD BROTHERS
PAUL CONRAD**

LEWIS ST.
KETCHUM, IDAHO
(208)-726-3830 PHONE

STRUCTURAL ENGINEER:

**K&S STRUCTURAL ENGINEERS
DAVE**

614 SOUTH MAIN STREET
BELLEVUE, IDAHO
(208) 928-7820 PHONE

PROJECT INFORMATION

DESCRIPTION: LOT 2, BLOCK 1 NORTHRIDGE SUBDIVISION NO. 4
900 NORTH SECOND AVENUE
HAILEY, IDAHO 83333

ZONE: GR
SETBACKS: FRONT(SOUTH): 268'-3 9/16" SIDE #1(EAST): 66'-3 1/8"
BACK(NORTH): N/A SIDE #2(WEST): N/A

NEW ADDITION HEIGHT: 20'-4 5/8" (ALIGNS WITH EXISTING BUILDING)

APPLICABLE BUILDING CODES: 2009 IBC, 2009 IMC, 2009 IPC, 2009 IFGC, 2009 IECC AND 2008 NEC, AS AMENDED BY STATE OF IDAHO AND THE CITY OF HAILEY ARE APPLICABLE TO THIS PROJECT

OCCUPANCY TYPE: GROUP "E" EDUCATION
CONSTRUCTION TYPE: V-B W/ A RATED EGRESS CORRIDOR
FIRE SUPPRESSION: THIS ADDITION TO BE EQUIPPED WITH FIRE SUPPRESSION THROUGHOUT

FLOOR AREAS:	EXISTING FACILITY	151,000	SQ. FT.
	NEW CLASSROOM HALL ADDITION	4,370	SQ. FT.
TOTAL NEW BLDG. SQ. FT.		155,370	SQ. FT.

PROJECT NOTES

- EXTERIOR LIGHTING:** LIGHT FIXTURES WILL BE THE SAME AS THE EXISTING SCHOOL EXTERIOR WALL MOUNTED SCONCES AND WILL COMPLY WITH LIGHT BULB CUT OFF REQUIREMENTS, LUMEN OUTPUT, AND LUMINANCE LEVELS FOR REQUIRED AREA AS PER THE CITY OF HAILEY'S DARK SKY ORDINANCE. SPEC SHEETS WILL BE PROVIDED AT TIME OF BUILDING PERMIT SUBMITTAL. AT THE NEW ALCOVE ENTRY TO THE SOUTH THERE WILL BE A DOWNCAST RECESSED CAN LIGHT FIXTURE. THIS FIXTURE WILL COMPLY TO STANDARDS AS NOTED ABOVE WITH FINAL INFORMATION SUBMITTED AT TIME OF BUILDING PERMIT. SEE EXISTING CONDITION PHOTOS FOR REFERENCE.
- LANDSCAPE PLAN:** LANDSCAPING IN EXISTING AREAS WHERE THE NEW CLASS ROOMS ARE PROPOSED TO BE CONSTRUCTED IS SOLELY GRASS LAWN AND A FIRE ACCESS LANE A PAVED PORTION AND ON LAWN. THE NEW CONSTRUCTION WILL REQUIRE LIMITED FILL BE BROUGHT IN FOR FINAL GRADE CONTOURING. THE FINISHED LANDSCAPING WILL BE GRASS LAWN TO MATCH EXISTING. THESE NEW/ RESTORED LANDSCAPED AREAS WILL BE IRRIGATED. SEE EXISTING CONDITION PHOTOS FOR REFERENCE. NO TREES, SHRUBS ARE IN THE PROJECT AREA.
- UTILITIES PLAN:** ALL UTILITIES- WATER, SEWER, PHONE, CABLE, GAS, ETC ARE EXISTING TO THE SCHOOL AND WILL BE EXTENDED TO THIS PROJECT INTERNALLY. IF EXTERNALLY EXTENSIONS ARE REQUIRED ALL NEW RUNS WILL BE BELOW GRADE. THE EXISTING EASEMENT FOR THE WATER MAIN IS NOT BEING EFFECTED BY THIS PROJECT(SEE SITE PLAN FOR REFERENCE).
- DRAINAGE:** THE PROJECT WILL HAVE A NEW DRWELL INSTALLED THAT THE INTERNAL ROOF DRAINS WILL BE RUN TO. EXTERIOR SURFACE DRAINAGE WILL BE THROUGH PERCOLATION INTO EXISTING SOILS THAT ARE GRADED SUCH THAT RUN OFF WILL BE MANAGED ENTIRELY ON THIS PROPERTY. SEE SITE PLAN FOR NEW DRYWELL LOCATION. DRYWELL WILL BE DESIGNED BY A LICENSED CIVIL ENGINEER.

SHEET INDEX

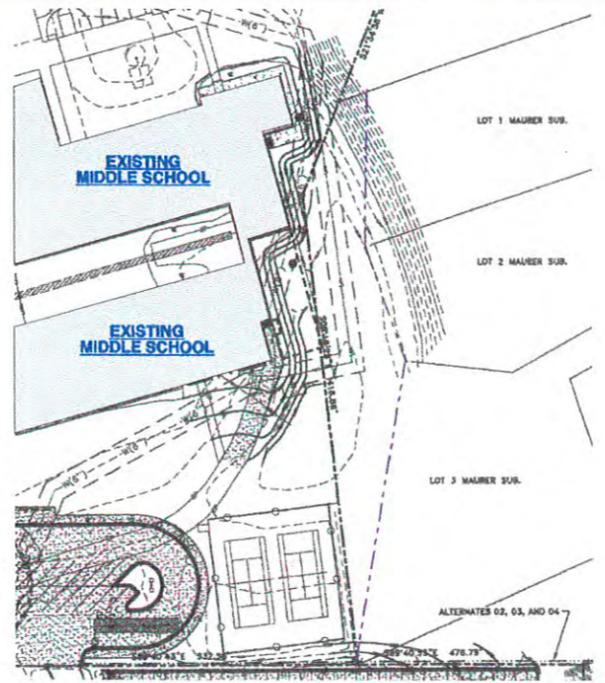
SHEET	REV	DESCRIPTION
ARCHITECTURAL		
A0.0		COVER, PROJECT TEAM, BLDG. INFO
A0.1		EXISTING CONDITIONS- PHOTOS
NEW ADDITION		
A1.1		NEW ADDITION SITE PLAN
A1.2		CONSTRUCTION STAGING PLAN
A2.1		EXISTING FLOOR PLAN
A2.2		NEW FLOOR PLAN
A6.1		EXTERIOR ELEVATIONS

RECEIVED
MAR 08 2013
CITY OF HAILEY

(208) 720-6315 Ph
Vital Ink LLC
Environmental Architecture & Consulting, LLC
30 Wyatt Drive
Bellevue, Idaho 83313

REVISIONS
DATE
08 MARCH, 2013

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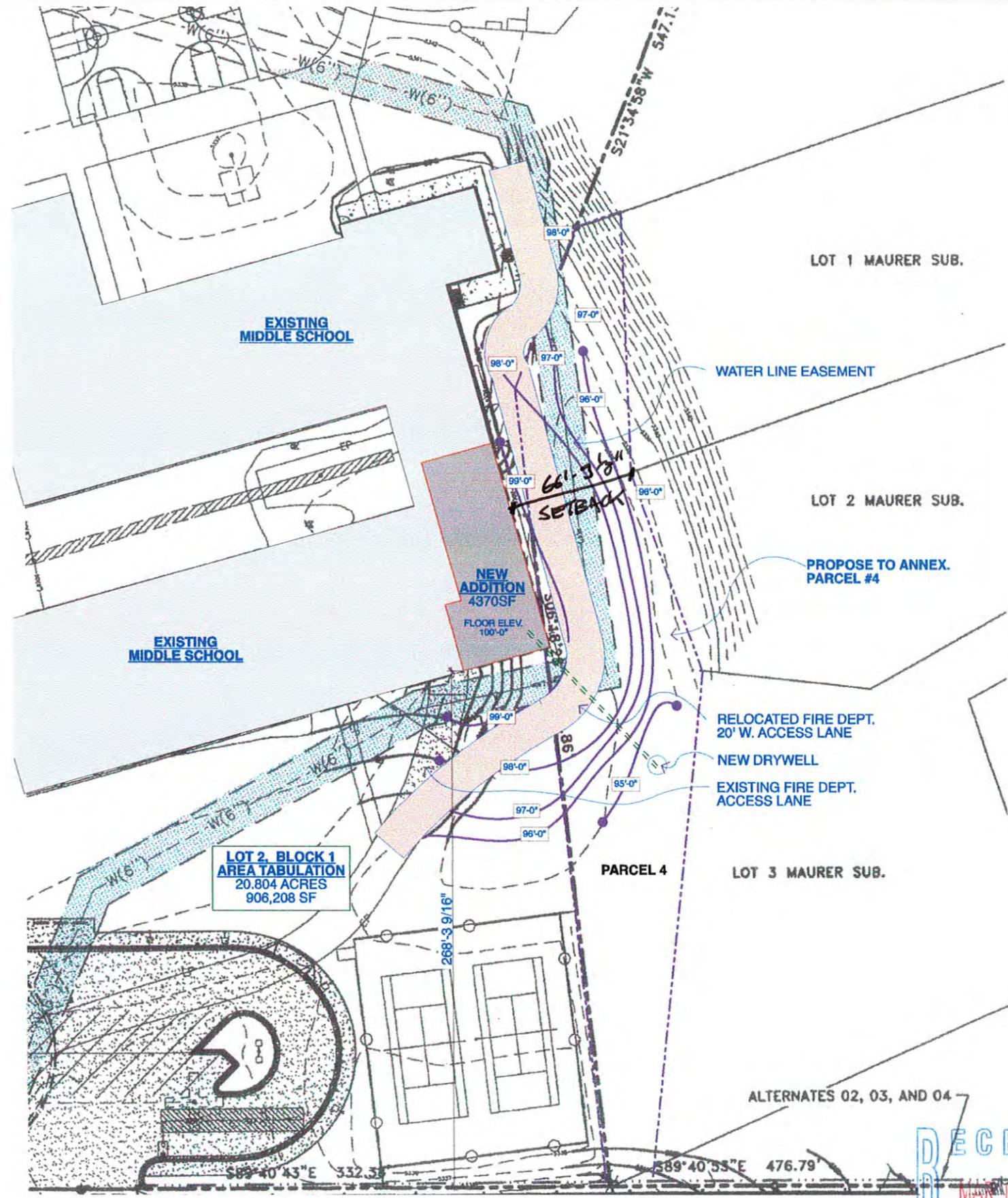
PROJECT NORTH



EXISTING SITE PLAN

NTS 2

NOTES:
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LOT 1 MAURER SUB.

LOT 2 MAURER SUB.

LOT 3 MAURER SUB.

WATER LINE EASEMENT

PROPOSE TO ANNEX. PARCEL #4

RELOCATED FIRE DEPT. 20' W. ACCESS LANE

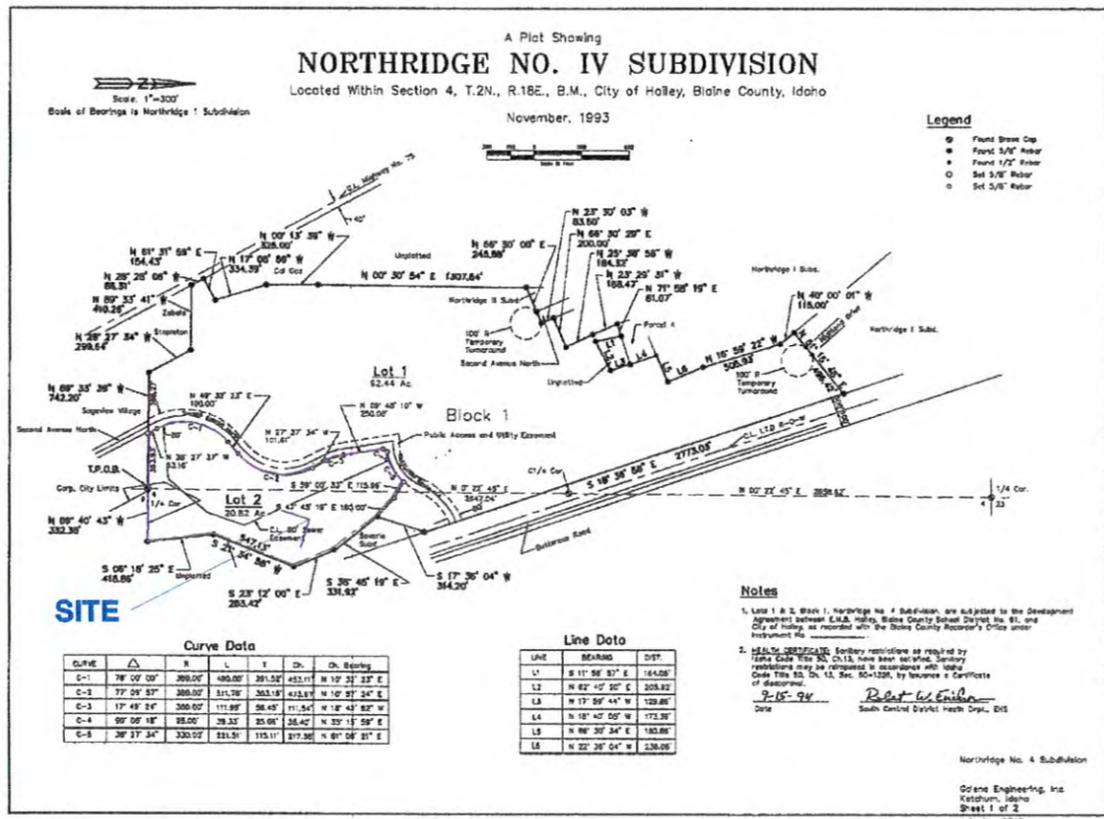
NEW DRYWELL

EXISTING FIRE DEPT. ACCESS LANE

LOT 2, BLOCK 1 AREA TABULATION
20.804 ACRES
906,208 SF

PARCEL 4

ALTERNATES 02, 03, AND 04



NORTHDRIDGE NO. IV SUBDIVISION

Located Within Section 4, T.2N., R.18E., B.M., City of Hailey, Blaine County, Idaho

November, 1993

- Legend
- Found Brass Cap
 - Found 3/8" Rebar
 - Found 1/2" Rebar
 - Set 3/8" Rebar
 - Set 5/8" Rebar

Curve Data

Curve	Δ	R	L	T	Ch. Bearing
C-1	78° 00' 00"	380.00'	480.00'	381.52'	N 10° 31' 23" E
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C-5	38° 37' 34"	320.00'	281.51'	115.11'	N 81° 04' 21" E

Line Data

Line	Bearing	Dist.
L1	S 11° 58' 57" E	164.00'
L2	N 82° 42' 20" E	204.92'
L3	N 17° 59' 44" W	133.80'
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L5	N 89° 37' 34" E	183.80'
L6	N 22° 38' 04" W	238.00'

Notes

1. Lots 1 & 2, Block 1, Northridge No. 4 Subdivision, are subject to the Development Agreement between L.A.A., Inc., Blaine County School District No. 81, and City of Hailey, as recorded with the Blaine County Recorder's Office under Instrument No. _____.
2. ALL SURVEYING, boundary relocations as required by Idaho Code Title 20, Ch. 13, have been completed. Survey relocations may be retraced in accordance with Idaho Code Title 20, Ch. 13, Sec. 20-1226, by licensee's Certificate of Re-licensing.

Date: 9-15-94
Robert W. Smith
 South Central District, State of Idaho

Northridge No. 4 Subdivision
 Grand Engineering, Inc.
 Ketchikan, Idaho
 2-881-1 of 2
 Job No. 0548

LOT 2 BLOCK 1- PLAT

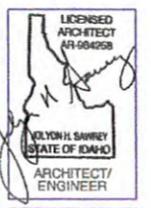
NTS 3

PROJECT NORTH



PROPOSED SITE PLAN

1"=30'-0" 1



A NEW ADDITION:
NEW CLASSROOMS
 HAILEY, IDAHO
 WOOD RIVER MIDDLE SCHOOL

(208) 720-8315 Ph



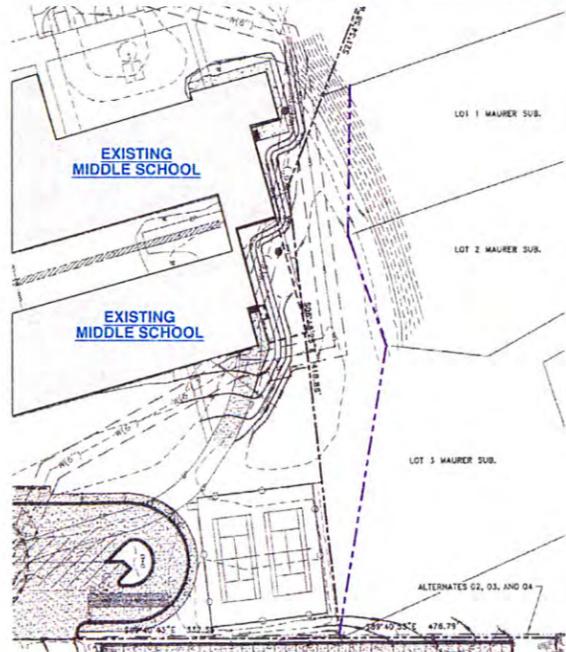
30 Wyatt Drive
 Bellevue, Idaho 83813

REVISIONS

NO.	DATE	DESCRIPTION

RECEIVED
 MARCH 8 2013

CITY OF HAILEY 1.1



PROJECT NORTH



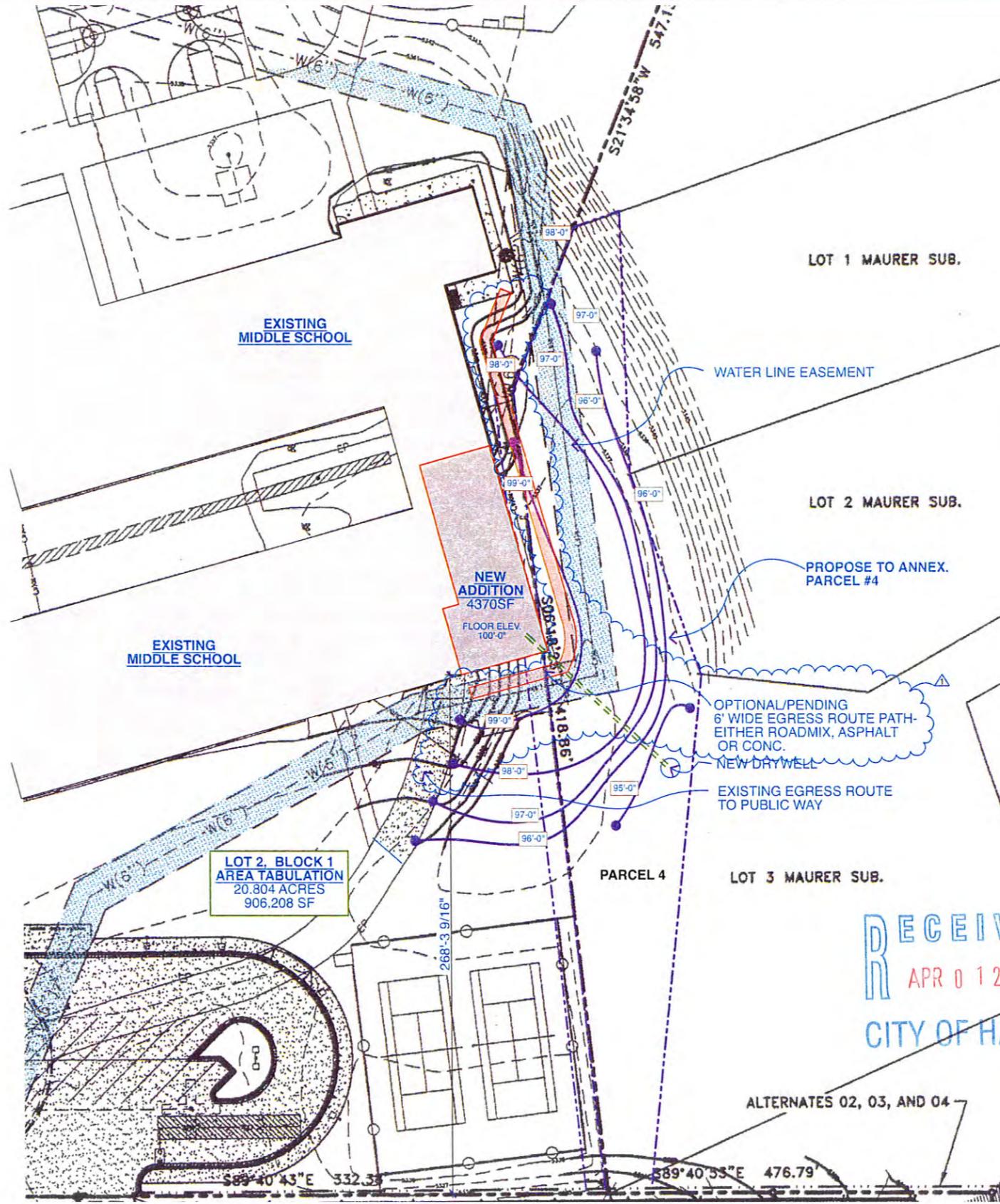
EXISTING SITE PLAN

NTS

2

NOTES:

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LOT 1 MAURER SUB.

LOT 2 MAURER SUB.

LOT 3 MAURER SUB.

EXISTING MIDDLE SCHOOL

EXISTING MIDDLE SCHOOL

NEW ADDITION
4370SF
FLOOR ELEV. 100'-0"

WATER LINE EASEMENT

PROPOSE TO ANNEX. PARCEL #4

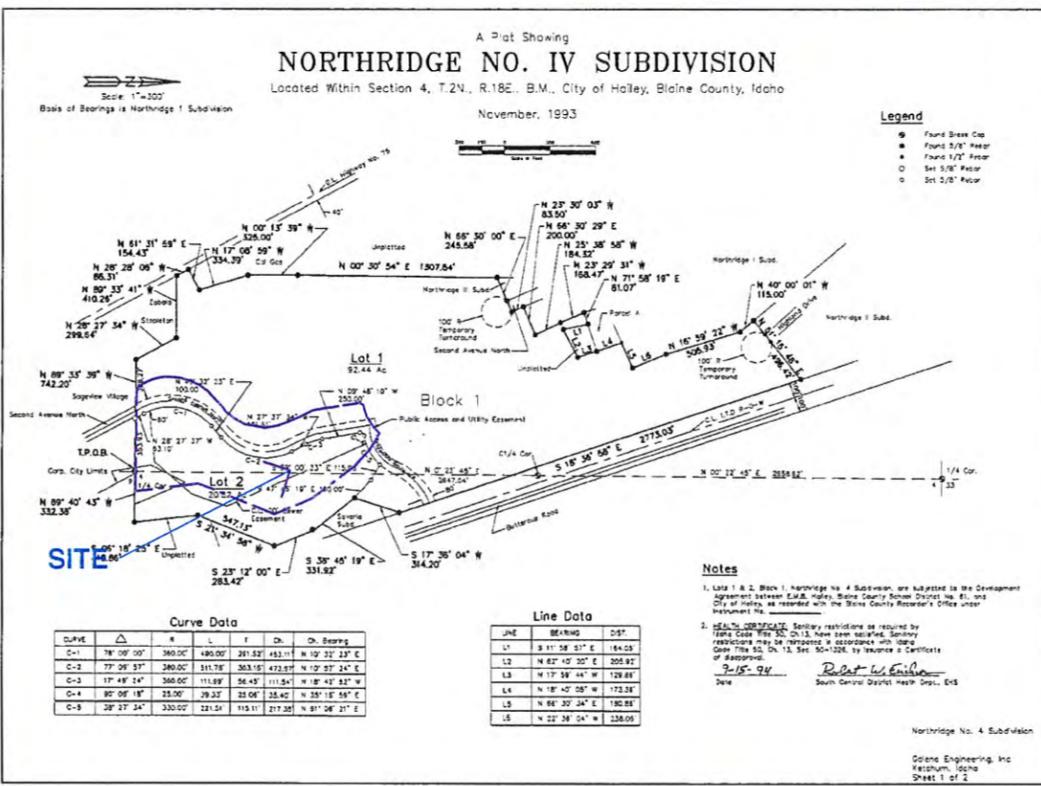
OPTIONAL/PENDING 6' WIDE EGRESS ROUTE PATH- EITHER ROADMIX, ASPHALT OR CONC.

EXISTING EGRESS ROUTE TO PUBLIC WAY

LOT 2, BLOCK 1 AREA TABULATION
20.804 ACRES
906,208 SF

RECEIVED
APR 01 2013
CITY OF HAILEY

ALTERNATES 02, 03, AND 04



NORTH RIDGE NO. IV SUBDIVISION

Located Within Section 4, T.2N., R.18E., B.M., City of Hailey, Blaine County, Idaho

A Plat Showing

November, 1993

- Legend
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2. HEALTH DEPARTMENT: Sanitary restrictions as required by Idaho Code Title 59, Ch. 13, have been satisfied. Sanitary restrictions may be imposed in accordance with Idaho Code Title 59, Ch. 13, Sec. 50-1206, by issuance a Certificate of Sanitation.

9-15-94
Date
Bart W. Emler
South Central District Health Dept., IDH

Northridge No. 4 Subdivision
Delone Engineering, Inc.
Pocatello, Idaho
Sheet 1 of 2
Job No. 2849

LOT 2 BLOCK 1- PLAT

NTS

3

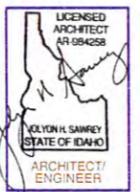
PROJECT NORTH



PROPOSED SITE PLAN

1"=30'-0"

1



A NEW ADDITION:
NEW CLASSROOMS
HAILEY, IDAHO
WOOD RIVER MIDDLE SCHOOL

(208) 726-6315 Ph



30 West Drive
Boise, Idaho 83713

REVISIONS

01	APRIL 13
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DATE
26 MARCH 2013

1.1



PROJECT NORTH

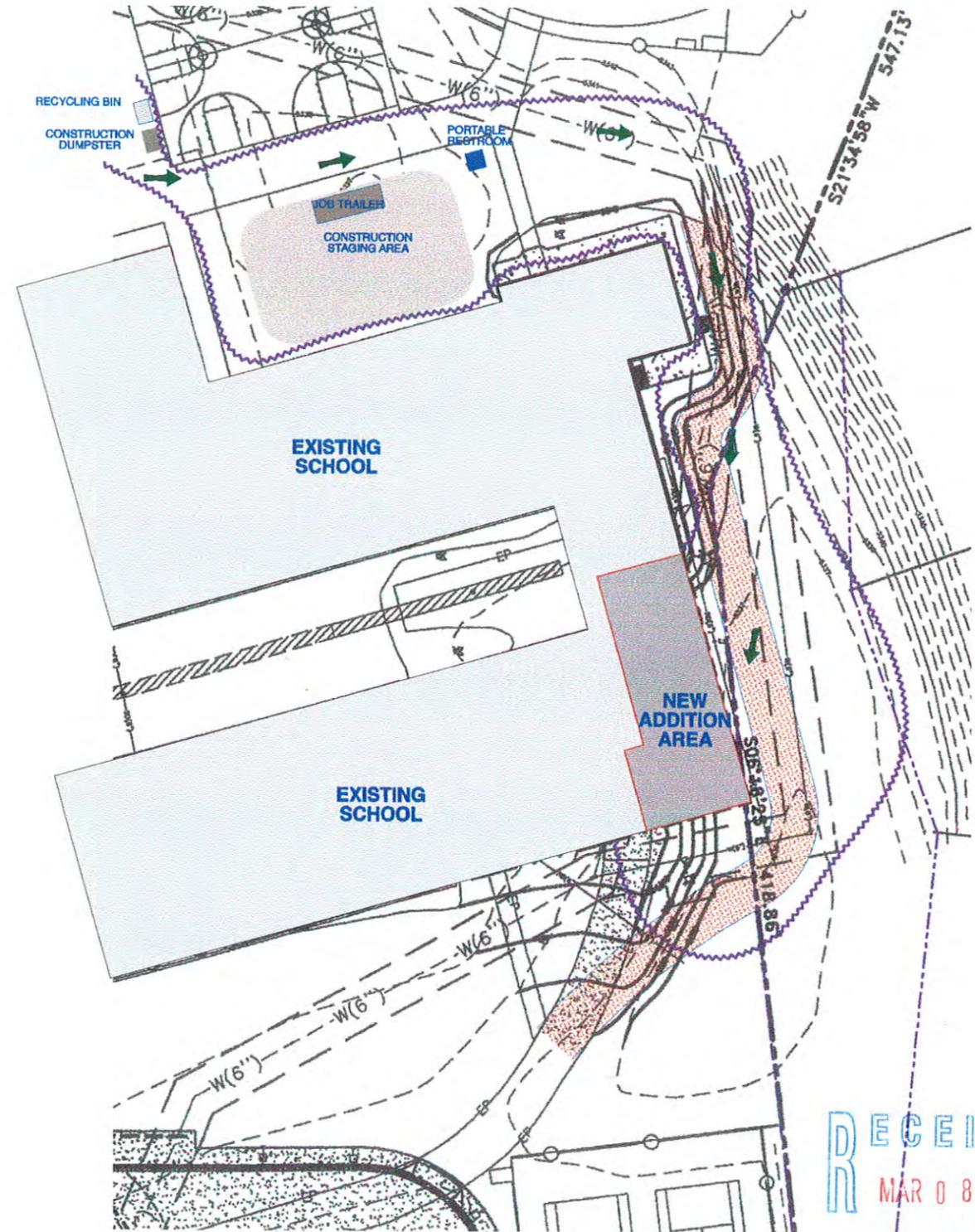


PARKING PLAN

N.T.S.

2

SYMBOL LEGEND	
	CONSTRUCTION PARKING
	CONSTRUCTION STAGING AREA
	CONSTRUCTION DUMPSTER
	RECYCLING BIN
	PORTABLE RESTROOM
	CONSTRUCTION AREA OF DISTURBANCE
	CONSTRUCTION ACCESS



PROJECT NORTH



CONSTRUCTION & STAGING PLAN

1"=30'-0"

1

RECEIVED
MAR 08 2013
CITY OF HAILEY

LICENSED ARCHITECT
AR-004258
KOLYON H. SANNEY
STATE OF IDAHO
ARCHITECT/
ENGINEER

A NEW ADDITION:
NEW CLASSROOMS
HAILEY, IDAHO
WOOD RIVER MIDDLE SCHOOL

(208) 720-6815 Ph
Vital ink PLLC
Environmental Architecture
& Consulting AIA
30 Wyatt Drive
Boilerplate, Idaho 83813

REVISIONS

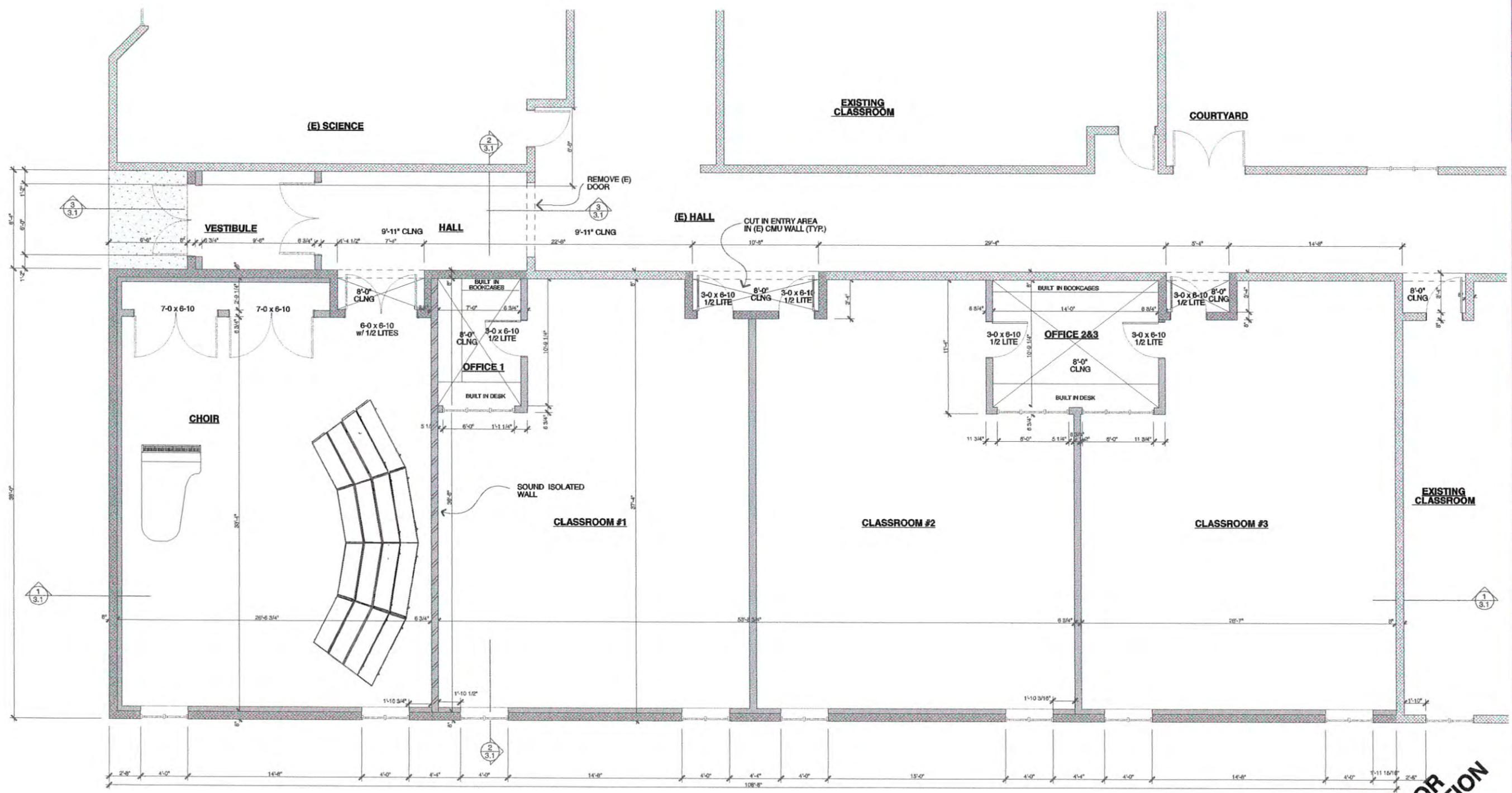
DATE
08 MARCH, 2013

1.2

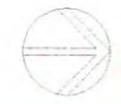
REVISIONS

DATE
 08 MARCH, 2013

2.2



SYMBOL LEGEND	
	NEW MASONRY WALL
	EXISTING MASONRY WALL
	NEW FRAME WALLS
	EXISTING FRAME WALLS



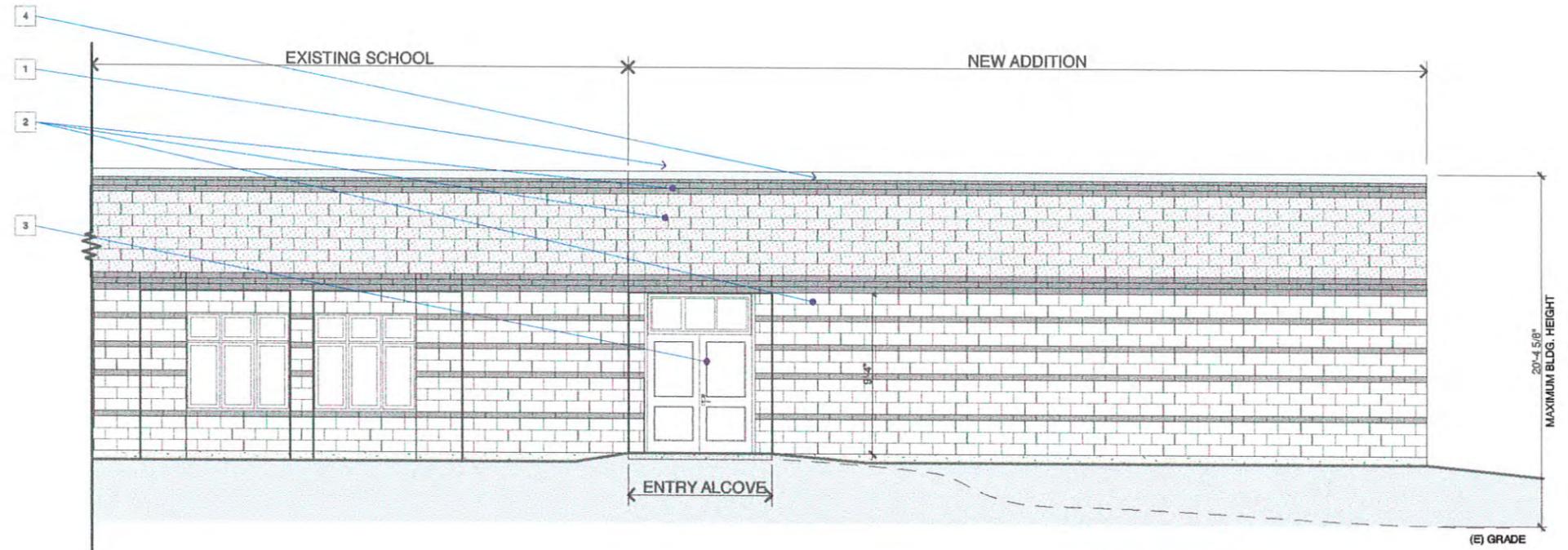
CONCEPT FLOOR PLAN

NOT FOR CONSTRUCTION
 PRELIMINARY DESIGN
 MARCH 2013
 CITY OF HAILEY

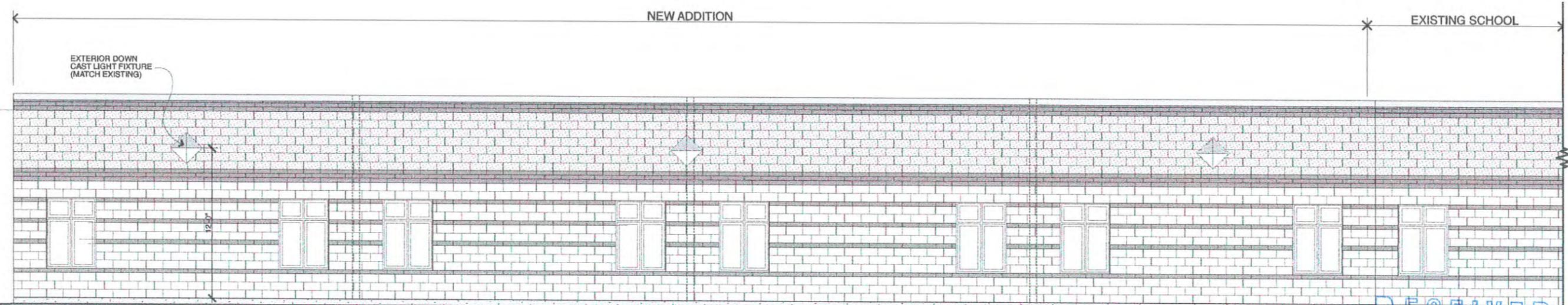
1/4"=1'-0"

1

EXTERIOR MATERIALS				
LOC.	MATERIAL	MANUF.	MODEL	FINISH COLOR
1	ROOFING		BALLASTED LOW SLOPE EPDM MEMBRANE ROOFING SYSTEM	MATCH EXISTING ROOFING SYSTEM
2	SIDING-MASONRY	BASALITE	MASONRY (2A)- 8" CMU SMOOTH FACE (2B)- 4" BRICK SMOOTH FACE, (2C)- 8" CMU SPLIT FACED	2A- 630 MOONDUST 2B - 690 BURGUNDY 2C - 640 CANYON
3	WINDOWS/DOORS		ALUMINUM STORE FRONT, WITH THERMALLY BROKEN FRAMES	RUST MATCH FLASHING
4	FLASHING-PARAPET	UNA CLAD	METAL FLASHING WITH HEMED DRIP EDGE(WHERE APPLICABLE), 24G. KYNAR STEEL	TEAL



SOUTH ELEVATION
1
1/4"=1'-0"



EAST ELEVATION
2
1/4"=1'-0"

RECEIVED
MAR 08 2013
CITY OF HAILEY

LICENSED ARCHITECT
AF-604268
WOLYON H. SAWREY
STATE OF IDAHO
ARCHITECT/ENGINEER

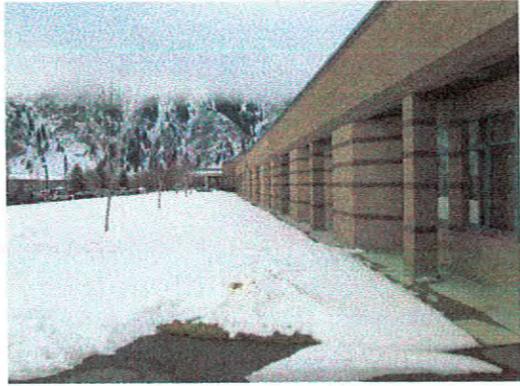
A NEW ADDITION:
NEW CLASSROOMS
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(208) 720-6815 Ph
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& Consulting
30 Wyatt Drive
Bellevue, Idaho 83813

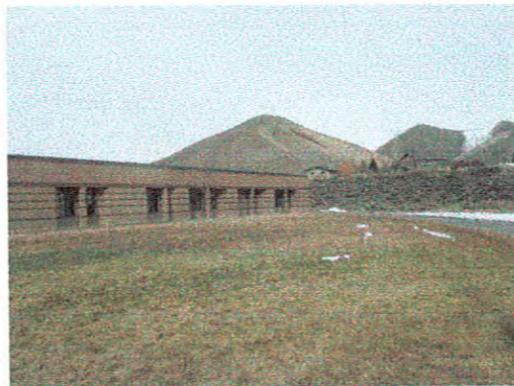
REVISIONS

DATE
08 MARCH, 2013

6.1

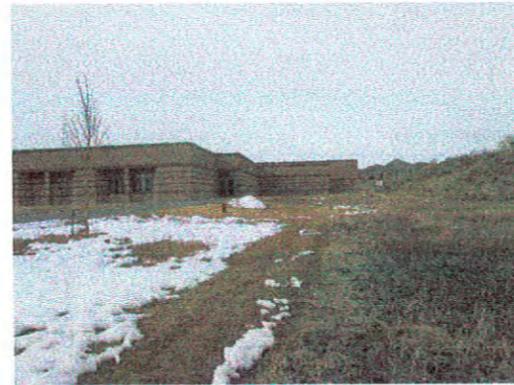


VIEW OF EXISTING DECIDUOUS TREES
NO TREES TO BE EFFECTED



VIEW OF EXISTING LAWN
IRRIGATED KENTUCKY BLUEGRASS

NOTES:
1. ALL TREES TO REMAIN
2. ALL IRRIGATED KENTUCKY BLUE GRASS LAWN AREAS TO REMAIN, BE RESTORED DUE TO CONSTRUCTION EFFECTS AND OR BE REDUCED.
3. ALL NON IRRIGATED NATIVE GRASS AREAS TO REMAIN, BE RESTORED DUE TO CONSTRUCTION EFFECTS AND OR BE REDUCED.
4. SAGE BRUSH AREAS NOT TO BE EFFECTED
5. FIRE DEPT. ACCESS LANE SURFACE TO BE CONFIRMED AS ROADMIX OR ASPHALT



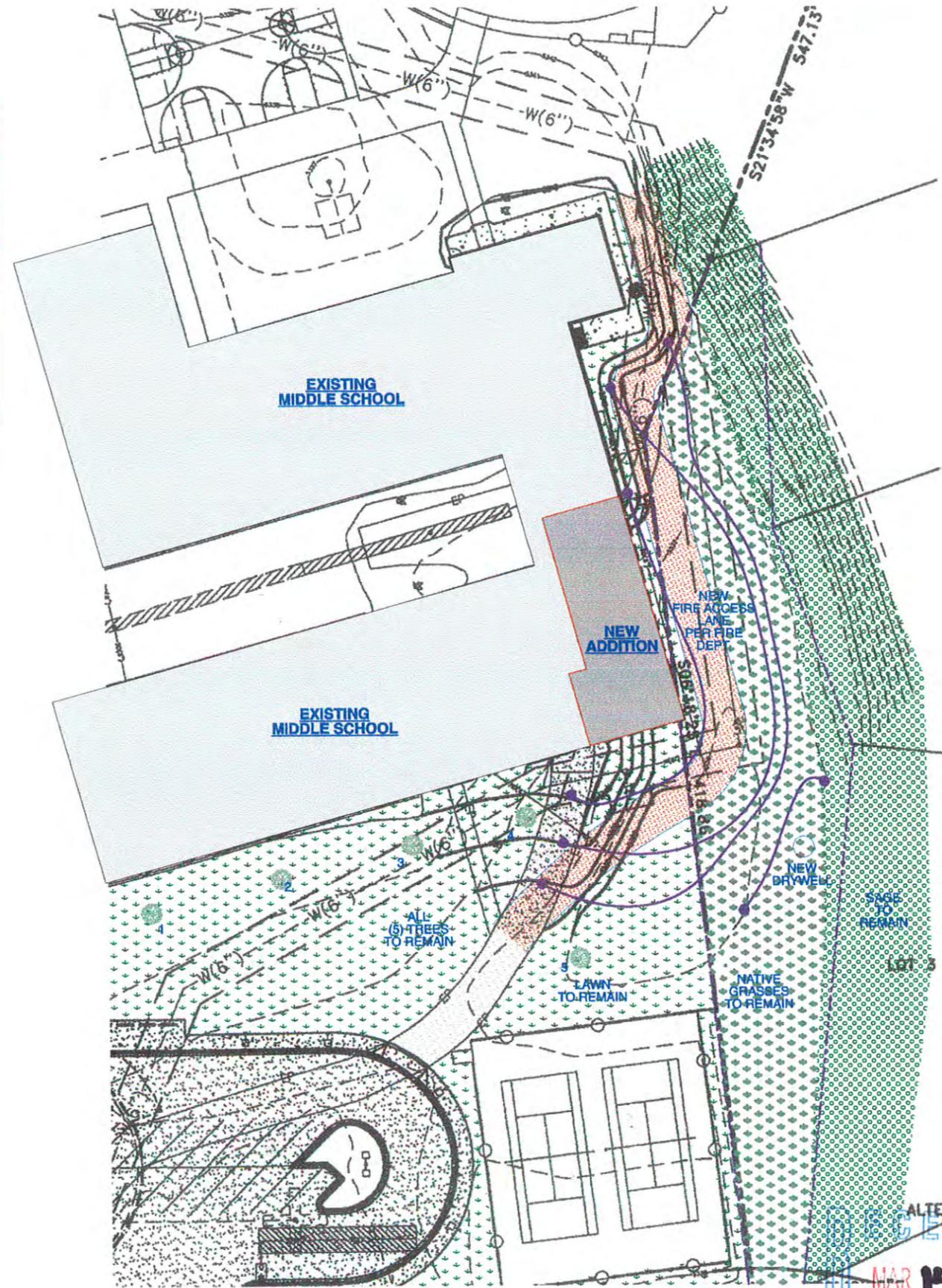
VIEW OF EXISTING NATIVE GRASSES
SAGE ON HILLSIDE

SYMBOL LEGEND

	EXISTING DECIDUOUS TREE
	EXISTING LAWN KENTUCKY BLUEGRASS IRRIGATED
	NATIVE GRASSES & FESQUE NOT IRRIGATED
	NATIVE SAGEBRUSH & GRASSES NOT IRRIGATED
	EXISTING FIRE ACCESS LANE



PROJECT NORTH **LANDSCAPE PLAN- EXISTING** 1"=80'-0" 2



PROJECT NORTH **LANDSCAPE PLAN- PROPOSED** 1"=30'-0" 1

LICENSED ARCHITECT AR-084258
OLYMPIA SAWYER STATE OF IDAHO
ARCHITECT/ENGINEER

A NEW ADDITION:
NEW CLASSROOMS
HAILEY, IDAHO
WOOD RIVER MIDDLE SCHOOL

(208) 720-6815 PH

Vital ink LLC
Environmental Architecture & Consulting

20 Wyatt Drive
Bellevue, Idaho 83213

REVISIONS

DATE
08 MARCH, 2013

ALTERNATIVE
MAR 14 2013
CITY OF HAILEY 1.3

FEATURES & SPECIFICATIONS

INTENDED USE

Provides maintenance-free general illumination for outdoor use in residential and commercial applications such as retail, education, multi-unit housing and storage. Ideal for lighting building facades, parking areas, walkways, garages, loading areas and any other outdoor space requiring reliable safety and security.

CONSTRUCTION

Sturdy weather-resistant aluminum housing with a bronze finish.

High performance LEDs are powered by an MVOLT driver that provides 2,300/3,100 delivered lumens at 5000K. 50,000 hour average LED life means no lamp replacement. Fixture is maintenance-free.

Operating temperature -30°C to 40°C.

Adjustable Dusk-to-Dawn, photocell standard automatically turns light on at dusk and off at dawn for convenience and energy savings.

Photocell can be disabled by rotating the photocell cover.

OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing with Type 3 distribution.

Nighttime Friendly™ full cutoff above 90° angle, standard.

INSTALLATION

Wall or arm mount (mounting arm sold separately).

All mounting hardware included.

LISTINGS

UL Certified to US safety standards. C-UL Certified to Canadian safety standards. Wet location listed.

Tested in accordance with IESNA LM-79 and LM-80 standards. DLC qualified product.

WARRANTY

Five-year limited warranty.

Full warranty terms located at www.AcuityBrands.com/CustomerResources/Terms_and_Conditions.aspx.

NOTE: Specifications are subject to change without notice.

Catalog Number
Notes
Type

Outdoor General Purpose

OLW

LED WALL PACK

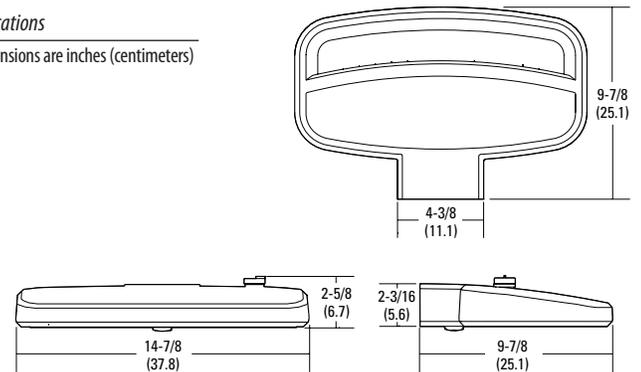


DESIGNLIGHTS
CONSORTIUM



Specifications

All dimensions are inches (centimeters)



OLW23

ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: OLW 23

OLW	23				
Series	Lumens / Color Temperature (CCT)		Voltage	Features	Finish
OLW LED Wall Light	23	2300 delivered lumens / 5000K ¹	(blank) MVOLT (120V-277V)	(blank) Photocell included	(blank) DDB Dark Bronze
	31	3100 delivered lumens / 5000K ¹			

Accessories: Order as separate catalog number.

OMA M6 14" Aluminum Mounting Arm

Notes

1 Correlated Color Temperature (CCT) shown is nominal per ANSI C78,377-2008.



Paul Stoops Associates

Post Office Box 1130
Hailey, ID 83333
tel: (208) 788-8993
fax: (208) 788-7634
email: paul@ps-assoc.com

April 16, 2013

Mr. Micah Austin
Mr. Bart Bingham
City of Hailey, Community Development Department
115 Main Street South, Ste. H
Hailey, ID 83333

re: Wood River Middle School - Exterior Lighting

Gentlemen:

We have been reviewing the existing exterior lighting at Wood River Middle School, in reference to the present Design Review Application, for the proposed Classroom Addition.

The Middle School was constructed in 1995, with a subsequent addition in 2003. Hailey's Outdoor Lighting Ordinance was adopted on June 19, 2002, and was thus in effect in February 2003, when the WRMS addition project was submitted for Design Review. In the Findings of Fact, dated March 17, 2003, Design Review approval was granted, including a condition that: *"All exterior lighting, including all existing lighting, shall comply with the Outdoor Lighting Ordinance prior to issuance of a Certificate of Occupancy."*

Given (1) the conditions in the Findings of Fact, (2) exterior lighting fixture modifications specified on the 2003 plans, and (3) the fact that the performance criteria of the Outdoor Lighting Ordinance have remained unchanged, our understanding, then, is that the City of Hailey deemed the Wood River Middle School to be in compliance with the Outdoor Lighting Ordinance, at the completion of the 2003 construction project. As such, no further modifications to the existing outdoor lighting should be required.

Thank you very much,

Paul D. Stoops, PE
attachment (WRMS Lighting PZ FF 2003.pdf)

FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION

On February 25, 2003 the Hailey Planning and Zoning Commission considered an application submitted by Blaine County School District for Design Review approval for an expansion to the Wood River Middle School, located at 900 2nd Avenue North (Northridge Subdivision #4, Lot 2) . The applicant proposes additions to the end of each wing to be used as additional classrooms, and the creation of an interior courtyard area. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby make the following Findings of Fact, Conclusions of Law, and Decision.

FINDINGS OF FACT

Notice

This application was originally heard by the Commission on January 21, 2003. Following that hearing, it was learned that the public notice for that hearing was flawed, in that the Wood River Journal failed to publish the legal notice.

Notice for the February 25, 2003, public hearing was published in the Wood River Journal on February 5, 2003; the notice was mailed to property owners within 300 feet on February 5, 2003.

Application

Blaine County School District has submitted a Design Review application for a proposed expansion of the Wood River Middle School, located at 900 2nd Avenue North, to be utilized as additional classrooms. The applicant proposes these additions to the end of each wing, and creating an interior courtyard area. Schools are permitted uses in the General Residential (GR) district.

Standards of Evaluation

Section 6A.7 and the Design Review Guidelines of the Hailey Zoning Ordinance establish the criteria for applications for Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

Bulk requirements:

Maximum height in the GR District is 35 feet.

Proposed height is 21 feet (Maximum height of addition)

Required setbacks are Front: 20'; Side and Rear: 10'

Proposed setbacks are Front: approximately 30'; Rear: approximately 15'; Sides: approximately 100' and 240'.

Parking:

The plans show a total of 137 improved spaces (including 7 handicap spaces) existing. This is the parking that was approved when the school was originally built in 1994. The addition of the proposed classrooms does not create the need for additional parking spaces.

There is some need for overflow parking at the Middle School, and the School District has recently purchased property, currently in the County, to accommodate this. It is shown on the site plan as “Additional Parking (gravel).” This area will be subject to a future annexation application.

Engineering issues:

The City Engineer has noted that there is a water main that will need to be relocated in the area of the 7th and 8th grade additions. On site drainage must be maintained.

Life/Safety issues:

The existing fire lanes adjacent to the school must be maintained. The hammerhead turnaround in the area of the 7th grade addition will be built over, but due to other fire enhancements (e.g. hose cabinets installed at each end of the courtyard), the Fire Chief has approved the elimination of this turnaround.

Design Review Guidelines:

GUIDELINE #1 Building should be sited in a manner that preserves existing land forms.

The land in the location of the proposed additions is flat.

GUIDELINE #2 New construction should be compatible with existing adjacent buildings and uses.

The proposed additions are to match the existing building in materials and color.

GUIDELINE #3 Buildings should be sited in a manner that preserves significant vegetation.

No significant vegetation exists in the areas of the proposed additions.

GUIDELINE #10 Snow storage areas should be incorporated into site design.
Snow storage occurs in several areas along the perimeter of the parking areas.

GUIDELINE #11 Roof design should anticipate snow shedding areas.
The roofs of all the proposed additions are flat.

GUIDELINE #13 Site design must consider the placement and screening of service areas and auxiliary structures.

The existing service area is as shown on the plans just to the north of the art room remodel/addition. There is a dumpster enclosure in that area, however, one of the dumpsters is located outside the enclosure.

GUIDELINE #14 Minimize the visual impact of off-street parking and loading areas.

Parking and loading areas are as existing. There is minimal screening of these areas.

GUIDELINE #15 On-site parking must be designed to allow vehicles forward entry and exit from the site.

Circulation allows for forward entry and exit to 2nd Avenue.

GUIDELINE #16 Conflicts between different circulation needs and uses should be minimized.

School buses utilize the northern entrance area. There is a separate travel lane, divided from the employee/faculty parking lot with its own circulation. Parents dropping off and picking up their children primarily utilize the southern entrance area, where there is a circular turnaround. This turnaround is shown on the plan to be modified to a larger, oval shape.

Circulation at the school is problematic at peak times just before school begins and, especially, at the end of the school day, when cars are frequently backed up along 2nd Avenue. The School District is examining the possibility of an additional entrance and/or exit from the school utilizing 3rd Avenue, and through the parcel recently purchased by the School District (but still outside City Limits).

GUIDELINE #17 Building designs should attempt to minimize the apparent scale of buildings.

The building design includes subtle varieties of wall materials and colors. The building is one story, so it has a low profile. Roof details including pyramidal skylight features break up the flat roofline.

GUIDELINE #19 Mechanical equipment and solar panels on roofs must be hidden or deemphasized so that it is not readily visible from nearby properties.

Currently the only mechanical equipment on the roof is one exhaust fan over the kitchen. There is also a single small satellite dish on the roof of the building. No additional roof equipment is needed with the proposed additions.

GUIDELINE #23 Building should be constructed of wall materials that are similar in texture and finish to those found historically in Hailey.

Proposed wall materials are to match the existing, which include both smooth and split face CMU block, with metal roof features.

GUIDELINE #25 Exterior wall colors should harmonize with the site and surrounding buildings.

Body colors are tan and brown, with some green trim elements.

GUIDELINE #26 Exterior lighting systems should be chosen with care so that glare is not created and light is not cast on neighboring properties. All exterior lighting shall comply with the Hailey Outdoor Lighting Ordinance.

The wall packs on the building and the parking lot lights do not comply with the Lighting Ordinance. The applicant is aware that all existing lighting must be brought into compliance. They intend to install a light shield over this fixture which brings it into compliance with the Ordinance. The height of the existing light poles can remain unchanged, per ordinance. They have stated that they will either modify the light fixtures on the existing poles or replace them, and that any new poles will conform with the ordinance.

GUIDELINE #27 Exterior light fixtures should be simple in design and shall comply with the Hailey Outdoor Lighting Ordinance.

Spec sheets for the shields and fixtures were presented at the meeting and will be inspected to ensure compliance with the Lighting Ordinance.

GUIDELINE #31 Consider all the elements of a landscape.

The landscaping in the areas of the proposed additions consists primarily of lawn. The site plan notes that if any trees are disturbed, they will be relocated.

GUIDELINE #35 Utilities, cables, phone lines and electrical must be undergrounded.

No overhead utilities exist at the site.

GUIDELINE #37 Use landscaping to mitigate the visual impact of parking lots.

Parking areas are essentially as existing. There is minimal landscape screening for the parking lots. Screening does exist between the visitor parking area and the adjacent Valley View apartments.

GUIDELINE #41 All final grading and drainage is required to comply with of the Uniform Building Code.

LIGHTING: As approved by Planning and Zoning Commission.

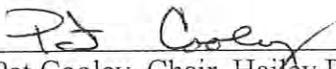
CONCLUSIONS OF LAW, AND DECISION

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law and Decision:

1. That adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. That the project is in accordance with the Hailey Comprehensive Plan.
3. That the project does not jeopardize the health, safety, or welfare of the public.

4. That upon compliance with the conditions set forth, the project conforms to the required specifications outlined in the Design Standards adopted by the City of Hailey.
5. That the project shall receive Design Review approval subject to the following conditions:
 - a) All Fire Department and Building Department requirements shall be met. At this time, these requirements include, but will not be limited to the following:
 - Fire lanes adjacent to the school shall be maintained
 - b) Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. At this time, these improvements include, but will not be limited to the following:
 - Relocation of water main in the area of the 7th and 8th grade additions
 - c) On site drainage shall be maintained;
 - d) All exterior lighting, including all existing lighting, shall comply with the Outdoor Lighting Ordinance prior to issuance of a Certificate of Occupancy;
 - e) All dumpsters shall be placed within the enclosure provided;
 - f) The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

Approved this 17 day of March, 2003.


Pat Cooley, Chair, Hailey Planning and Zoning Commission

Attest:


Tara Hyde, Deputy Clerk

CERTIFICATE OF SERVICE

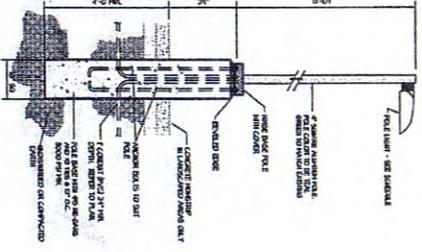
I HEREBY CERTIFY that on the 26 day of March, 2003, I served a true and correct filed copy of the within and foregoing document upon the parties named below, in the manner noted:

- U.S. Mail
- Via Facsimile
- Hand Delivered

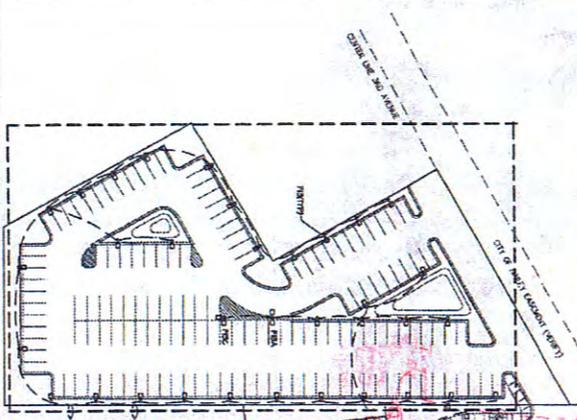
David Davies
2716 Westland Place
Boise, ID 83704-5863

CITY OF HAILEY

By Tara Hyde
Tara Hyde, Deputy Clerk



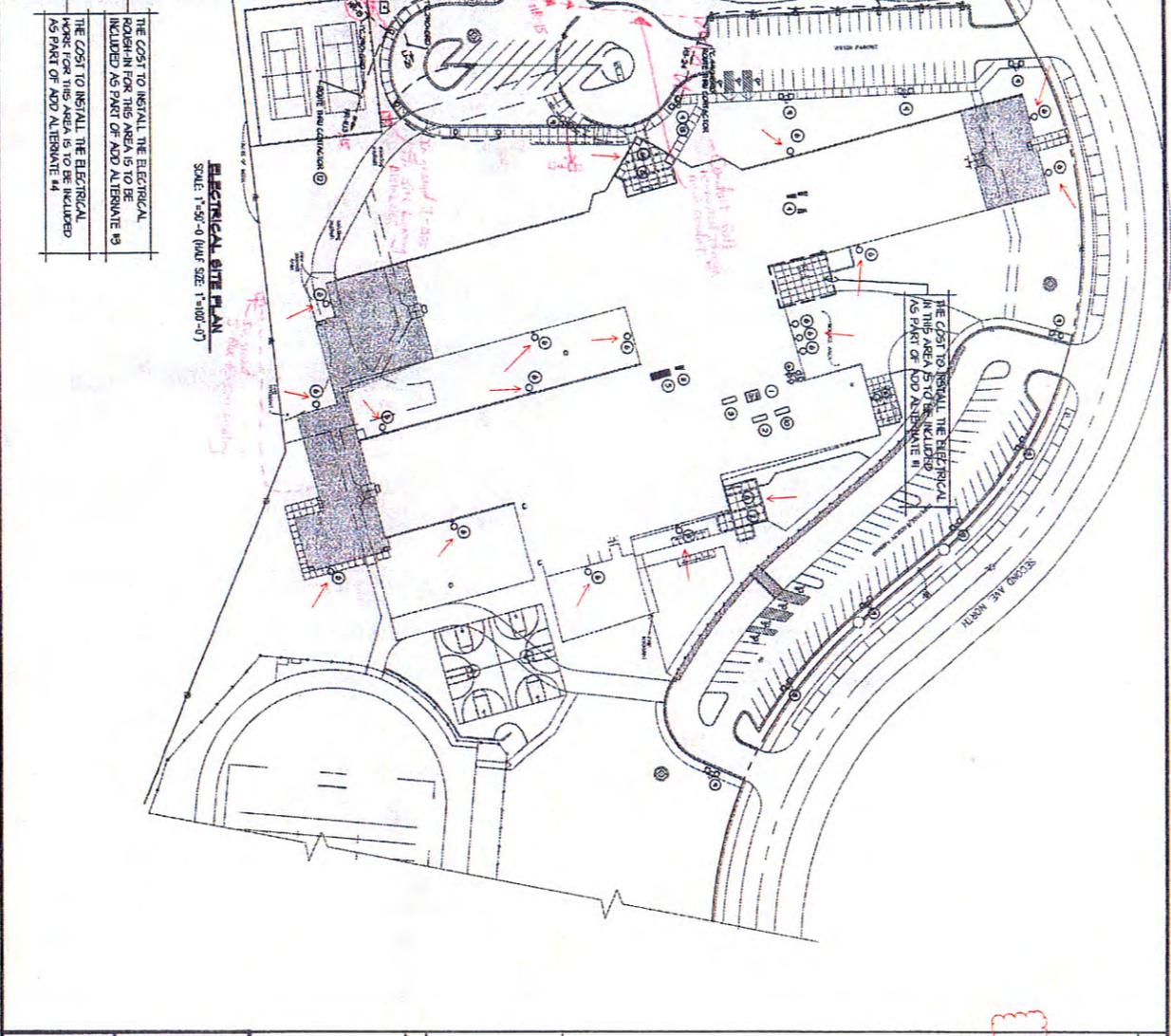
FIS POLE LIGHT MOUNTING DETAIL
NO SCALE



THE COST TO INSTALL THE ELECTRICAL POSITION FOR THIS AREA IS TO BE INCLUDED AS PART OF AOD ALTERNATIVE #3

THE COST TO INSTALL THE ELECTRICAL POSITION FOR THIS AREA IS TO BE INCLUDED AS PART OF AOD ALTERNATIVE #4

ELECTRICAL SITE PLAN
SCALE: 1"=50'-0" (OVER SIZE: 1"=100'-0")



KEY NOTES

- 1. EXISTING FIRE ALARM CABINET (SCHEDULE 40)
- 2. EXISTING TELEPHONE EQUIPMENT (SCHEDULE 40)
- 3. EXISTING METEOROLOGICAL EQUIPMENT (SCHEDULE 40)
- 4. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 5. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 6. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 7. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 8. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 9. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 10. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 11. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 12. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 13. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 14. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 15. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 16. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 17. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 18. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 19. EXISTING ELECTRICAL METER (SCHEDULE 40)
- 20. EXISTING ELECTRICAL METER (SCHEDULE 40)

PROJ. NO. 0271



IPAYNE ENGINEERING, INC.
Consulting Engineers
107 So. 18th Ave.
Peoria, Illinois 61601
Tel (309) 232-4439 Fax (309) 232-1435

Medical Design Group
Architects for Health Care
2715 VERTLAND PLACE
ROCKFORD, ILLINOIS 61107
TEL: (815) 398-2800
FAX: (815) 398-2801
WWW.MEDICALDESIGNGROUP.COM

ELECTRICAL SITE PLAN

Blaine Co. School Dist. #69
Middle School Expansion
900 2nd. Ave. North
Henry, Idaho 83533

FEB 2003

SHEET
16.01

MEMO

TO: Micah Austin
FROM: John Gaeddert
DATE: April 16, 2013

RE: WRMS Parking

The BCSD is able to provide the required 1,070 required parking spaces or 1 space for every two persons within the rated capacity / posted occupancy loads of the four WRMS assembly areas (gym, cafeteria & 2 lecture halls - see Fire Marshal Baledge email and existing parking map) in compliance with §9.4.4.B of the Hailey Municipal Code as follows:

- 133 existing on-site striped parking spaces to accommodate the 2013/14 academic year teacher and staffing levels; (see WRMS Principal Fritz Peters 4/15/13 memo);
- 24 existing on-site unstriped parking spaces within the north basketball court and west delivery / cafeteria area;
- 224 on-street unstriped 22' long shared parallel parking areas along 2nd Avenue North and other adjacent public ROWs within 300' of the school property / principal use as allowed in §9.4.8.E of the Hailey Municipal Code (see attached aerial); **and**
- 689 grass overflow parking areas to the north of the school.

Please note that from a day-to-day standpoint that the existing on-site striped parking regularly provides a **surplus of 38 parking spaces** (133 provided spaces minus next years noted 95 staffing level). These excess spaces exist from a non-assembly Hailey Municipal Code standpoint (see not as strict provision of §9.4.4.B) and a general assessment of available parking during regular school days.

That stated, the number of occasions where the public uses the existing on-site unstriped parking spaces and/or on-street parallel parking is approximately 20 times a year during the following events:

- Home soccer games: about 7 games
- Home football games and Optimist games after 5pm: about 6 games
- All parent teacher conferences: 2 per year
- Music concerts are at the Community Campus
- 8th grade recognition in June: 1 per year, 2 hours during school
- 5th grade parent night in May: 1 per year, 90 minutes from 6:30-8:00
- Open house in September: 1 night 6:30-8:00
- Registration: 2 days and 1 night in August

It should be noted that for each of these events sufficient parking has been available by using the existing on-site asphalt parking areas and on-street parking. For the outdoor sporting events and with many of the home basketball games, the south parking lot is mostly empty with the majority of vehicles parked on the north-side of the school or parallel parked along 2nd Avenue North. In the past, none of the possible 689 grass overflow parking areas has been needed for event parking.

The three events that draw the most patrons and, thus, cars and the greatest need for parking are the two parent teacher conferences and one beginning of the school year open house. These are evening events and the separated bike path along 2nd Avenue North, as well as street and parking lot lighting assure safe ingress/egress to the building.

BCSD submits that its existing parking and the city's allowance of overflow parking onto city streets (with safe routes into the school as noted) and onto non-paved areas at the school (as necessary) is a best management practice worth continuing. This BMP has extensive precedent at numerous venues throughout the city and, most notably, at the Hailey Rodeo Grounds where parking during the 4th of July celebration is accommodated not by a large asphalted parking area at the venue but along neighboring streets and on the playfields of Hailey Elementary. This provision of not having too much asphalt to accommodate "Easter Sunday" type of events is further supported by §9.4.6 of the Hailey Municipal Code, wherein parking in excess of 200% is discouraged.

In 2003 when BCSD submitted a similar classroom addition (between the 7th and 8th grade wings) for Design Review approval by the City, the staff report by Kathy Grotto contained the following notation:

Parking:

The plans show a total of 137 improved spaces (including 7 handicap spaces) existing. This is the parking that was approved when the school was originally built in 1994. The addition of the proposed classrooms does not create the need for additional parking spaces.

The city subsequently recommended overflow parking that is materially consistent with using unimproved city right-of-ways and non-striped areas as set forth above to meet the stipulated parking requirements for the WRMS. We think this is a reasonable approach and would hope the Commission would adopt this tact again. Doing so is consistent with past precedent, other venues in the city and with §9.1.2 of the Hailey Municipal Code, which states "Any person making any alteration to a building ... shall provide the additional parking mandated by the alteration"

At the Commission's discretion, this alteration for 4 classrooms might readily entail a parking count much closer to 2013/2014 staffing levels (95 spaces) or the original 137 approved parking spaces than the 1,070 spaces that might be interpreted as being needed for the WRMS today. We appreciate your deliberations and, again, would request a finding that the current number of improved parking spaces is satisfactory for the purposes of this 4 classroom Design Review approval.

Attachments:

WRMS Principal Fritz Peters Memo of April 15, 2013
Jolyon Sawrey Existing Parking Tabulation Map and Aerial
Fire Marshal Mike Baledge Email Review, dated April 16, 2013

END MEMO

April 15, 2013

Memorandum

To: O.A.C. Members
Fr: Fritz Peters, Principal
Re: Current and Future Staffing

The table below reflects our staffing for the next academic year of 2013-2014. These numbers include part-time positions as well.

2013-2014

Position	Number
Certified Teachers	60.75
Para-Professionals	15.50
Custodial/Food Service	10.00
Admin. Certified	5.50
Admin. Classified	3.00
Total	94.75

Notes:

Admin. Certified include Counselors and Social Worker, and half-time IB Coordinator
Certified include half-time Music Teachers, .25 SLP, and Half-time French Teacher
Kitchen Staff are counted as full-time, but they leave at 1:00 p.m.



Ruler

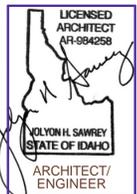
Line Path Pro

Measure the distance between multiple points on the ground

Length: 147.20 Feet

Mouse Navigation

Save Clear



A NEW ADDITION:
NEW CLASSROOMS
 HAILEY, IDAHO
 WOOD RIVER MIDDLE SCHOOL

Vital ink LLC
 Environmental Architecture
 & Consulting LLC

30 Wyatt Drive
 Bellevue, Idaho 83313
 (208) 720-6315 PH

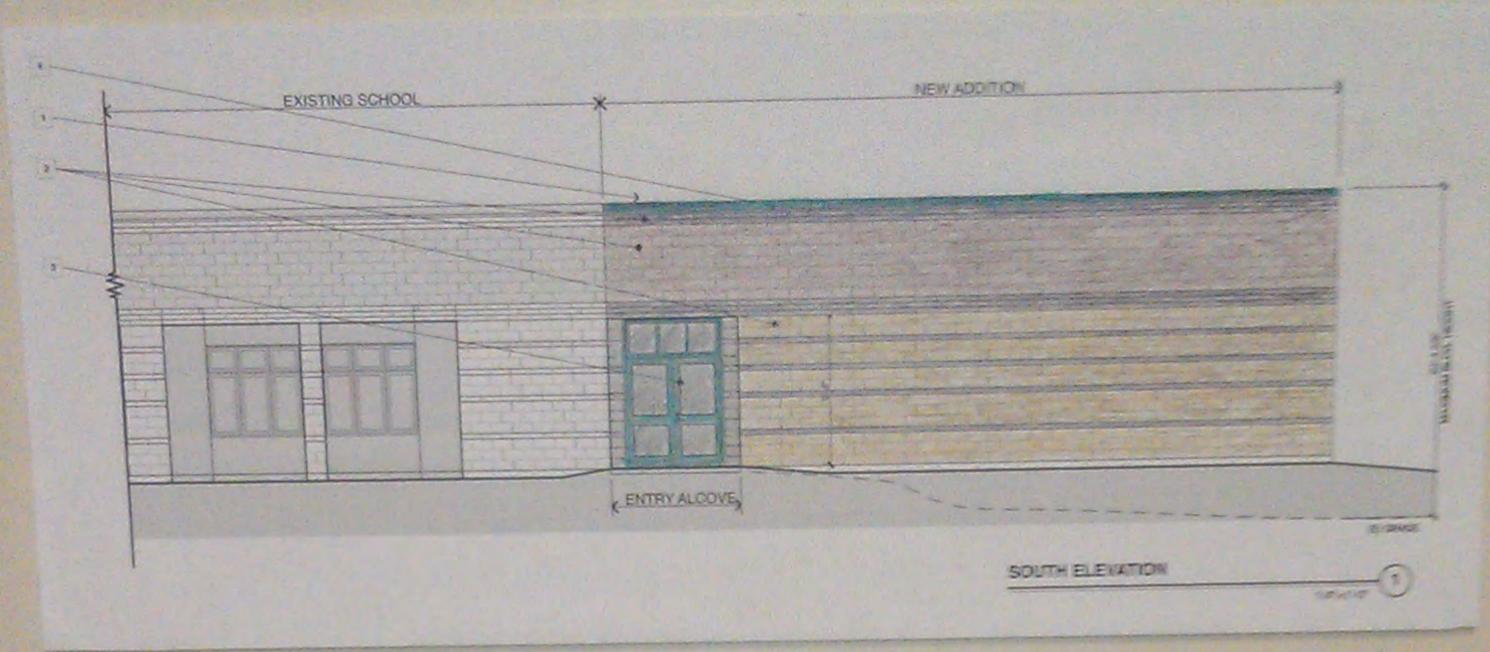
REVISIONS

DATE
 08 APRIL, 2013



PERIMETER PARKING- STREETS & PLAY FIELDS 1
 1"=100'-0"

1.4b



Wood River Middle School
CLASSROOMS ADDITION

LOC.	MATERIAL	BRAND	MODEL	FRESH COLOR
1	ROOFING		SHINGLES (LOW SLOPE) (SPECIAL ORDER) (WOOD SHINGLES)	SHINGLES (LOW SLOPE) (SPECIAL ORDER) (WOOD SHINGLES)
2	ROOFING	BRANIFF	SHINGLES (LOW SLOPE) (SPECIAL ORDER) (WOOD SHINGLES)	SHINGLES (LOW SLOPE) (SPECIAL ORDER) (WOOD SHINGLES)
3	ROOFING	BRANIFF	SHINGLES (LOW SLOPE) (SPECIAL ORDER) (WOOD SHINGLES)	SHINGLES (LOW SLOPE) (SPECIAL ORDER) (WOOD SHINGLES)
4	FLASHING	BRANIFF	SHINGLES (LOW SLOPE) (SPECIAL ORDER) (WOOD SHINGLES)	SHINGLES (LOW SLOPE) (SPECIAL ORDER) (WOOD SHINGLES)



FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 8, 2013 the Hailey Planning & Zoning Commission considered an application for a Conditional Use Permit submitted by Mountain Rides Transportation Authority, represented by Wendy Crosby and George Kirk, for the operation of a public transit facility located to be located at 4021 Glenbrook Dr. (Woodside Subdivision Plat #10, Lot 38, Block 42) within the Business (B) zoning district and is proposed to be used as a public transit facility, which falls under the Public Use distinction in the Zoning Ordinance and requires a Conditional Use Permit under §4.7.3 of the Hailey Zoning Ordinance. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice

Notice for the public hearing on April 8, 2013 was sent to the Mt. Express on March 15 and published in the Mountain Express on March 20. Notices were mailed to the adjoining property owners on March 20 and the property was posted on March 20.

Application

Mountain Rides Transportation Authority, represented by Wendy Crosby and George Kirk, submitted a Conditional Use Permit application for the operation of a public transit facility located at 4021 Glenbrook Dr. (Woodside Subdivision Plat #10, Lot 38, Block 42). The property is located in the Business (B) zoning district and is proposed to be used public transit facility, which falls under the Public Use distinction in the Zoning Ordinance. As a Public Use, this requires a Conditional Use Permit according to our Zoning Ordinance (§4.7.3)

Standards of Evaluation

8.2 Signs.

The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

8B.4. Outdoor Lighting Standards.

8B.4.1 General Standards

- a. All exterior lighting shall be designed, located and lamped in order to prevent:**
 - 1. Overlighting;**
 - 2. Energy waste;**
 - 3. Glare;**
 - 4. Light Trespass;**
 - 5. Skyglow.**
- b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.**

- c. **Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.**
- d. **Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.**
- e. **Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.**
- All new and existing lighting shall comply with Hailey's Outdoor Lighting Ordinance.

9.4 Parking Space Requirements.

9.2.8 Access.

A. Except as otherwise provided herein, any parking area on private property, shall be designed in such a manner that any vehicle leaving or entering the parking area from or onto a public street shall be traveling in a forward motion.

- The applicant has indicated that 17,600 square feet (0.404 acre) of paved asphalt will be utilized for parking and outdoor storage of transit vehicles. City ordinance requires 1 parking space per 1000 square feet of space for Public Uses. With 16,752 square feet in this building, Mountain Rides will be required to site a minimum of 16 parking spaces. There is adequate space to provide for 16 parking spaces.
- The applicant has indicated that they may provide up to 45 parking spaces to accommodate future Park and Ride uses. Currently, the maximum number of parking spaces allotted for this use is 32, based on square footage and use. If the Commission allows MRTA to install 45 spaces, the applicant must meet four of the following criteria. Italics indicates items they currently comply:
 1. *The excess parking area will be commonly used for public interests such as park and ride or car pool lots. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.*
 2. *The excess parking area provided would relieve or help to relieve a substantial shortage of parking within an 800 foot radius.*
 3. The excess parking area will not be adjacent to a public right - of way, and will be separated from the right-of-way by a building.
 4. *The excess parking area is part of an overall development scheme which compensates for insufficient parking in other portions of the same development.*
 5. *The excess parking area will be used as an alternate facility, such as a basketball court or skateboard park, when not in use as an overflow parking area. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.*
 6. The excess parking area will be surfaced with an alternative and attractive material.
- All parking spaces shall meet City Standards and provide adequate spaces for the amount of usage the building will receive.

C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

- Access to Glenbrook Dr. will be from a single approach, as seen on the site plan.

D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.

- Vehicles entering or leaving the parking area are proposed to be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.
- The City Engineer has reviewed the site plans and approves of the egress/ingress plan.

11. Conditional Use Permits

11.4 Criteria for Review.

11.4.1 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location:

a. Will, in fact, constitute a conditional use as established for the zoning district involved; and

- Public Service, Public Use, and Public Utilities currently require a Conditional Use Permit in the Business zone. According to the zoning code, the proposed meets the definition of Public Use, "Use for a public purpose by a city, school district, county, state, or any other public agency or public utility." As a public transit facility, MRTA complies with this definition.

b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;

- The proposed use will be a public transit facility and the functions therein will be similar to how MRTA uses their current building in S. Woodside. Specifically, they will be storing buses, maintaining equipment, washing vehicles, receiving members of the public, and maintaining an administrative office staff. Similar uses are currently found in the immediate vicinity and will not detract nor change the intended character of the area.
- The facility and site is currently being used for storage and maintenance of vehicles, RVs, boats, and other personal property. It is also being used as a shop, office, and some residential use. The proposed use(s) will be similar, but on a larger scale as it will be a public transit facility, rather than a privately used.

c. Will not be hazardous or disturbing to existing or future neighboring uses;

- Traffic to and from the building will be frequent, especially during the daytime hours of operation. Located adjacent to the Light Industrial Zone is the appropriate location for a use with this degree of traffic.

d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and

- No concerns.

e. Will not create excessive additional requirements at public cost for public facilities and services; and

- At this time, no additional cost will be incurred from any public agencies for this facility to function and operate.

f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and

- No externalities are anticipated by this use.
- This application has been reviewed by all city departments and there have been no issues.

g. Will have vehicular approaches to the property which shall be designed so as not to create an interference with traffic on surrounding public thoroughfares;

- Property is accessed via Glenbrook Dr. There will be an increase in traffic to this location, particularly with bus traffic and members of the public. This is not anticipated to place a burden on traffic on surrounding public thoroughfares.

h. Will not result in the destruction, loss, or damage of a natural, scenic, or historic feature.

- Proposed property does not contain a natural, scenic, or historic feature or structure and will be utilizing an existing facility that has landscaping and features already in place.

Comprehensive Plan Compliance

- This application complies with the following goals and objectives of the Comprehensive Plan
 - Goal 5.5: Land Use, Population, and Growth Management
 - “Lessen dependency on the automobile.”
 - This use complies with the Land Use goals of the Comp Plan
 - Goal 10.1 Transportation
 - “Create and maintain a pedestrian and bicycle-friendly community that provides a safe, convenient and efficient multi-modal transportation system for all Hailey residents.”

- Indicator for this goal: Transit Ridership and other transit related indicators.
- This use complies with the transportation goals of the Comp Plan.
- Goal 6.1: Economic Development
 - “Encourage a diversity of economic development opportunities within Hailey.”
 - This use will provide maintenance jobs, administrative jobs, and driver positions to the Hailey economy in the long-term.
 - Four full-time employees would be based out of this facility immediately
 - Within one year, 7.5 FTE will be based out of this facility.

11.6 Conditions.

The Commission or Hearing Examiner may impose any conditions which it deems necessary to secure the purpose of City regulations and give effect to the Comprehensive Plan. Conditions which may be attached include, but are not limited to those which will:

- 11.6.1 Require conformity to approved plans and specifications.**
- 11.6.2 Require or restrict open spaces, buffer strips, walls, fences, signs, concealing hedges, landscaping and lighting.**
- 11.6.3 Restrict volume of traffic generated, require off-street parking, and restrict vehicular movements within the site and points of vehicular ingress and egress or other conditions related to traffic.**
- 11.6.4 Require performance characteristics related to the emission of noise, vibration and other potentially dangerous or objectionable elements.**
- 11.6.5 Limit time of day for the conduct of specified activities.**
- 11.6.6 Require guarantees such as performance bonds or other security for compliance with the terms of the approval.**
- 11.6.7 Require dedications and public improvements on property frontages.**
- 11.6.8 Require irrigation ditches, laterals, and canals to be covered or fenced.**
- 11.6.9 Minimize adverse impact on other development.**
- 11.6.10 Control the sequence, timing and duration of development.**
- 11.6.11 Assure that development is maintained properly.**
- 11.6.12 Designate the exact location and nature of development.**
- 11.6.13 Require the provision for on-site or off-site public services.**
- 11.6.14 Require more restrictive standards than those generally found in this Ordinance.**
- 11.6.15 Mitigate foreseeable social, economic, fiscal and environmental effects.**
- 11.6.16 Set a limit on the duration of the permit when deemed necessary.**
- 11.6.17 Allow for subsequent periodic review.**

The Commission may impose any conditions that are deemed necessary to secure the purpose of City ordinances and give effect to the Comprehensive Plan. Conditions including but not limited to those set forth in Section 11.6 may be placed on any approval.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Section 11.3 of the Hailey Zoning Ordinance and Idaho Code Section 67-6512, was given for the public hearing.
2. Upon compliance with the conditions stated above, the application substantially meets the standards of evaluation (a) through (h) set forth in Section 11.4 of Zoning Ordinance No. 532 and compliance with the parking standards as set forth in 9.2.8 (A) which requires certain improvements to accommodate parking spaces above the maximum allowed spaces per entity.
3. A conditional use permit which is not used within the time specified in the permit, or if no time is specified, within one (1) year after the permit is granted, shall be void pursuant to Section 11.8 of the Hailey Zoning Ordinance.
4. A conditional use permit is void six (6) months after the use for which it is issued is discontinued pursuant to Section 11.8 of the Hailey Zoning Ordinance.
5. All Conditional Use Permits are subject to review and revocation pursuant to Section 11.9 of the Hailey Zoning Ordinance.
6. The issuance of a conditional use permit shall not be considered a precedent for the issuance of other conditional use permits.
7. A conditional use permit is not transferable from one (1) parcel of land to another. The conditional use permit may be transferred from one owner to another for the same use, but if there is a change in use on the property, a new conditional use permit must be obtained.
8. If the City denies an application or request, the applicant or his successor in interest may not file a new application or request for substantially the same conditional use permit for a period of one (1) year from the date the Hearing Examiner or Commission, or Council in the case of an appeal, takes action.
9. An affected person may appeal the decision of the Commission or Hearing Examiner following the procedures in accordance with Section 3.6 of this Ordinance.

DECISION

The Conditional Use Permit for Mountain Rides Transportation Authority, represented by Wendy Crosby and George Kirk, to operate a public transit facility located at 4021 Glenbrook Dr. (Woodside Subdivision Plat #10, Lot 38, Block 42) within the Business (B) zoning district and is hereby approved, subject to the following terms and conditions:

1. All Fire Department and Building Department requirements shall be met.
2. The application must comply with standards of evaluation (a) through (h) set forth in Section 11.4 of Zoning Ordinance No. 532
3. The application must comply with the parking standards as set forth in 9.2.8 (A), requiring that four (4) of the six (6) following conditions are met to accommodate additional parking space above the maximum amount allowed for a Hailey business:
 - The excess parking area will be commonly used for public interests such as park and ride or car pool lots. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.
 - The excess parking area provided would relieve or help to relieve a substantial shortage of parking within an 800 foot radius.
 - The excess parking area will not be adjacent to a public right - of way, and will be separated from the right-of-way by a building.
 - The excess parking area is part of an overall development scheme which compensates for insufficient parking in other portions of the same development.
 - The excess parking area will be used as an alternate facility, such as a basketball court or skateboard park, when not in use as an overflow parking area. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.

Signed this _____ day of _____, 2012.

Geoffrey Moore, Chair of Planning and Zoning Commission

Attest:

Bart Bingham, Principle Planner

STAFF REPORT

TO: Hailey Planning and Zoning Commission
FROM: Bart Bingham, Principal Planner
RE: Design Review – New (Curran) Single Family Residence
HEARING April 22, 2013

Applicant: Craig Johnson (Curran Residence)
Request: Design Review
Location: Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.).
Zoning: General Residential (GR) and Townsite Overlay (TO)

Notice

Notice for the public hearing was published in the Idaho Mountain Express on March 20, 2012 and mailed to property owners within 300 feet on March 19, 2012.

Application

Craig Johnson submitted a Design Review Application proposing to construct a new two level single family residence with an attached garage.

Procedural History

The application was submitted on March 14, 2013 and certified complete on March 16, 2013. The Planning and Zoning Commission considered the application on April 8, 2013 and continued its consideration and public hearing on it until April 22, 2013.

Department Comments:

Engineering:

The water meter connection should be reduced to be 3/4" rather than the present 1" connection. This would reduce the connection fee amount.

Life/Safety:

No issues

Water and Sewer:

No issues

Building:

No issues

Streets:

No issues

Standards of Evaluation

8.2 Signs.

The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

9 Parking and Loading Spaces

9.1.1 No building or structure shall be erected unless permanently maintained parking and loading spaces have been provided in accordance with the provisions of this Ordinance.

Standards are applied below.

9.2.1 Location of On-Site Parking Spaces. The following regulations shall govern the location of on-site parking spaces and areas, except as otherwise provided below and in section 9.4.8.

A. parking spaces for all single family dwellings shall be located on the same lot as the dwelling which they serve, except as otherwise provided in section 9.4.1.

Parking in proposed garage will be on the same lot as proposed residence; this is Lot 9A.

D. New on-site parking areas shall be located at the rear of the building, except within the SCI zoning district where parking is allowed at the side of the building.

Proposed onsite parking is in the garage at the rear of proposed residence.

E. On-site parking areas are not permitted between the sidewalk within the public right-of-way and the primary frontage of a building, except where the location of an existing buildings or site conditions precludes another location for parking; such parking requires a landscape buffer, or an alternative approved by the Administrator, between sidewalk and parking.

Proposed onsite parking is in the garage at the rear of the property.

9.2.4 Maintenance. The owner of property used for parking and/or loading shall maintain such area in good condition without holes and free of all dust, trash, other debris and snow.

Owners are hereby advised they shall maintain parking and /or loading area according to standard.

9.2.5 Surfacing and Construction. All required parking and loading spaces, together with driveways, aisles, and other circulation areas, shall be constructed in accordance with the City Standards.

a. Parking areas and driveways for single family and duplex residences may be improved with compacted gravel or other dustless material.

Compacted gravel is proposed for garage driveway.

9.2.6 Drainage. All parking, loading, or other non-permeable surface areas shall provide for on-site drainage of surface water to prevent the drainage of such water onto adjacent

properties, walkways, or into the public right-of-way. Drainage provided shall be in accordance with City Standards.

Compacted gravel is proposed for garage driveway.

9.2.7 Lighting. Any parking area which is intended to be used during non-daylight hours shall be properly illuminated to avoid accidents. Any lights used to illuminate a parking lot shall be so arranged as to direct the light away from the adjoining property, and shall be of a type and method of construction to shield the light source from direct view from any adjacent property or right-of-way. All parking area lighting shall comply with the standards as set forth in Article VIII B of this Ordinance.

Proposed Kirkham 8 ½" Wide Dark sky Outdoor Wall Light is dark sky down lighting.

9.2.8 Access.

A. Except as otherwise provided herein, any parking area on private property, shall be designed in such a manner that any vehicle leaving or entering the parking area from or onto a public street shall be traveling in a forward motion.

Proposed parking area in garage will be accessed from the alley, not a street.

B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.

Proposed parking area in garage will be accessed from the alley.

C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

Site is serviced by an alley.

D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.

Proposed onsite parking area is in the garage, accessible from the alley.

F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.

One parking space is proposed to be in the garage and vehicles may back from the garage parking area. If a future parking area fronting Third Ave. is constructed, one space in the area may be designed so vehicles utilizing the space may back in to the public right-of-way.

G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus "stacking" the parking area.

Not applicable, because driveway to proposed garage does not have length sufficient for "stacking" parking.

9.2.9 Screening and Landscaping.

A. All loading space areas and parking areas shall be screened from a public street and shall be screened on all sides which adjoin or face any residential property.

1. The screening shall consist of an acceptably designed wall, fence or drought tolerant landscaping.

Cedar fencing is proposed to be installed between adjoining properties on both sides of garage driveway.

9.4.1 Residential.

A. Single family dwellings: 2 per dwelling minimum, 6 per dwelling maximum.

1. Parking spaces within any garage, carport or similar structure shall be credited at 1 space per nine (9) feet of floor width and 18 feet of floor length.

Proposed garage is credited 1 parking space, and at least one and probably two spaces can be credited for garage gravel driveway.

8B.4. Outdoor Lighting Standards.

8B.4.1 General Standards

a. All exterior lighting shall be designed, located and lamped in order to prevent:

- 1. Overlighting;**
- 2. Energy waste;**
- 3. Glare;**
- 4. Light Trespass;**
- 5. Skyglow.**

b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.

c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.

d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.

e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.

Kirkham 8 ½" Wide Dark sky Outdoor Wall Light is proposed exterior lighting. It is a condition of approval that all existing lighting comply with Article 8B of the Hailey Zoning Ordinance.

Bulk Requirements:

4.13.6 Bulk Requirements (For other supplementary location and bulk regulations, see Article VII.)

- a. **Minimum Lot Size –**
Limited Business, Transitional, General Residential districts: 4,500 square feet.

Lot is approximately 5,990 sq. ft.

- b. **Minimum Lot Width –**
Limited Business, Transitional, General Residential districts: 37.5 feet.

Lot width is 49.96’.

- c. **Maximum Building Height –**
Transitional, General Residential, Limited Residential-1 districts: 30 feet

Residence is proposed to be 24’ tall.

- d. **Minimum Setbacks in LR, GR, TN, and LB Districts:**

1. **Setback from any street right-of-way – twelve (12) feet. The following exceptions apply:**
a. **Unenclosed features of a residence (e.g. front porches, stoops, and decks without walls) shall be no closer than five (5) feet to the lot line. Such features do not include carports.**

Setback from 3th Ave. is more than 12’.

- b. **No garage door shall be within twenty (20) feet of any street right-of-way, as measured from the garage door to the street providing access to the garage.**

Proposed garage door is accessed from the alley not 3rd Ave.

2. **Setback from any alley right-of-way – six (6) feet. There shall be a six (6) feet horizontal separation between any building and a water meter vault. (Water meter vault and water service line locations may be moved at the property owner’s expense, subject to notification and approval by the City.)**

Proposed garage door is 13’ from the alley.

3. **Setback from property lines abutting other private property --**
a. **Base setback – fifteen percent (15%) of lot width, or 10 feet, whichever is less. However, no such setback shall be less than six (6) feet. (See Table 1)**

By this standard, the setback is required to be approximately 7.5’. Setbacks on south side of residence are shown to be 13’-6” and setbacks on the north side are shown to be 10’ – 6” satisfying the setback requirement.

- b. Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one (1) foot for every two and a half (2.5) feet of wall height (see Diagram 1 and Table 2), but not less than the base setback noted in subsection (a) above, regardless of underlying zoning.**

Building highest height is 24' which would require setback to be no less than 9.6 ft. Setbacks on south side of residence are shown to be 13'-6" and setbacks on the north side are shown to be 10' – 6" satisfying the setback requirement.

- c. Roof overhangs, fire escapes, standard chimneys, bay windows and other features, which are subject to Section 7.2 of this Ordinance (Supplementary Yard Regulations), shall not have a setback less than five (5) feet from property lines abutting other private property.**

One bay window is proposed to extends 2' into south setback area, but is still significantly further than 5' from the south property line.

- d. Wainscot detail not higher than three (3) feet as measured from record grade may intrude not more than six (6) inches into the required setback.**

Not applicable. No wainscot is proposed.

- e. Maximum lot coverage:
General Residential, Limited Residential-1 districts:**

Building Height	Maximum Lot Coverage
2 or more stories above grade, no garage	25%
2 or more stories above grade, with garage	30%
Less than 2 stories above grade, no garage	35%
Less than 2 stories above grade, with garage	40%

House area is 1,745 sq. ft. and the lot area is approximately 5,990 sq. ft. Proposed lot coverage area equates to being approximately 29% which is within the 30% allowed.

- i. Maximum Lot Size—
Transitional, General Residential: 18,000 square feet**

Lot size is approximately 5,990 sq ft.

Height of Building. The greatest vertical distance measured from the lowest point of Record Grade or finish grade, whichever is lower, within any portion of the building footprint to the highest point of the roof surface thereof, exclusive of cupolas, chimneys up to ten (10) feet above the highest point of the roof surface, steeples, and spires.

Applicant is hereby advised height of building is from the lowest point of Record Grade or finish grade, whichever is lower.

7.1.1 Cornices, canopies, eaves or similar roof overhang features and cantilevered balconies may extend into a required yard setback not more than three (3) feet.

Eaves or similar roof overhang features will not be more than 3 feet.

7.1.2 Fire escapes required by the IBC or IRC may extend into a required yard setback not more than six (6) feet.

Applicant is hereby advised of standard.

7.1.3 All portions of a chimney shall not extend into a required yard setback by more than two (2) feet.

Proposed chimney does not extend into setback.

7.1.4 Bay windows shall not extend into a required yard setback by more than two (2) feet. Such windows shall be a minimum of two (2) feet from the top of the interior floor.

Proposed bay window extends 2' from main house exterior wall on south elevation.

7.1.5 Pergolas. Supporting columns for Pergolas shall meet required yard setbacks. The roof of a pergola shall not extend into a required yard setback by more than five (5) feet.

No pergolas are proposed.

6A.7 Improvements Required.

A. Streets.

1. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.

a. The requirement for Sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.

Project is greater than 500 sq. ft.

b. The requirement for Sidewalk and drainage improvements may be waived for any remodel or addition to Single Family Dwelling and Duplex projects within the Townsite Overlay District; Sidewalk and drainage improvements shall be required for new Principle Building.

Project is construction of new principle building- a new residence. Thus sidewalks shall be required.

c. The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by

the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110% of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.

Applicant has shown future city sidewalk fronting east property line on both the Drainage & Site Plan and Landscape Plans dated April 16, 2013. However, rather than construct the sidewalk, the applicant elected to use the voluntary cash contribution of 110% option. The estimated costs of the sidewalk determined by a qualified contractor are attached and include Tom Hellen's approval. As the bid is \$1400.00, the 110% contribution owed before Certificate of Occupancy is issued is \$1,540.00.

2. Sidewalk and drainage improvements shall be located and constructed according to applicable City Standards, except as otherwise provided herein.

Though the sidewalk is shown on the plans, the sidewalk requirement is not applicable to the applicant as the in-lieu option has been chosen and accepted by the city. The drainage plan is shown on the Drainage & Site Plan dated April 16, 2013.

3. The length of Sidewalk and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any Public Street or Private Street.

Though the sidewalk is shown on the plans, the sidewalk requirement is not applicable to the applicant as the in-lieu option has been chosen and accepted by the city. The drainage plan is shown on the Drainage & Site Plan dated April 16, 2013 and considered the entire length and width of the property

4. New Sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.

Though the sidewalk is shown on the plans, this requirement is not applicable to the applicant as the in-lieu option has been chosen and accepted by the city.

5. Sites located adjacent to Public Streets or Private Streets that are not currently thru-streets, regardless of whether the street may provide a vehicular connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.

Though the sidewalk is shown on the plans, this requirement is not applicable to the applicant as the in-lieu option has been chosen and accepted by the city.

6A.8 Design Standards

A. **Non-Residential, Multifamily or Mixed Use Building.** The following design standards apply to any non-residential, multifamily or mixed use building located within the City of Hailey.

4. Landscaping

a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.

Section is not applicable as the application is for a single family residence. Therefore, this requirement does not apply.

B. Water Line Improvements.

1. In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.

Blue board insulating material is required for water mains and individual water service lines less than 6 feet deep.

6A.9 Design Review Guidelines for Residential and Non-Residential Buildings in the Townsite Overlay District (TO).

II. Applicability:

Proposals for new Single Family Dwellings and Accessory Structures and will be reviewed for compliance with these Design Guidelines.

Proposal includes construction of a new single family dwelling (residence).

III. Design Guidelines

C. Specific Guidelines

1. Site Planning

Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.

- A rectangular lot shape is preferred to a square one, as the rectangular lot pattern is more in keeping with Old Hailey, and most often results in more useable and visible open spaces.

Lot 9A is rectangular in shape.

Guideline: Site planning for new development and redevelopment shall address the following:

- scale and massing of new buildings consistent with the surrounding neighborhood; Proposed house is similar to scale and massing of surrounding neighborhood; two surrounding lots remain vacant.

- **building orientation that respects the established grid pattern of Old Hailey;**

House is proposed to orient east and west with entrance doors on both the north and south elevations.

- **clearly visible front entrances;**

Proposed entrances on north and south appear clearly visible.

- **use of alleys as the preferred access for secondary uses and automobile access;**

Garage and shop are shown to be accessed from alley.

Alley is proposed access.

- **adequate storage for recreational vehicles;**

Storage of recreational vehicles would be possible in garage or shop.

Garage may be used to store recreational vehicles.

- **yards and open spaces;**

Steep terrain and large elevation variations on the lot make having open space areas more difficult, but garden areas are shown on north and south elevations.

- **solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines;**

Solar access on site is available from the east, the south, and west. Current plans do not include solar energy.

- **snow storage appropriate for the property;**

Snow storage area is shown to be at southwest corner of property off the alley and adjacent to garage driveway access area.

- **underground utilities for new dwelling units.**

All utilities for new dwelling shall be underground.

Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.

Applicant is hereby advised of guideline.

2. Bulk Requirements (Mass and Scale, Height, Setbacks)

Guideline: The perceived mass of larger buildings shall be diminished by the design.

- **The height of taller buildings should be stepped down on the streetside elevation.**

The Height of the house steps down to a single story porch on the east end of the house and a single story garage on the west end of the house.

- **Buildings with greater mass should be broken into smaller modules.**

Single story porch and single story garage assist in breaking up proposed two story house into

smaller modules.

- **Changes in wall planes and building materials should be used to reduce the visual impacts of taller buildings.**

Each of the four elevations are proposed to have changes in wall planes (e.g. south elevation has a bay window) and building materials (e.g. south, east and west elevations have textured plywood and vertical shingle siding).

3. Architectural Character

These standards are not intended to restrict design styles, but to ensure that new ideas and styles also respect the scale and elements of the existing neighborhood.

a. General

Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.

Single siding, textured plywood, fascia, and trim are proposed for various portions of the elevations for the residence.

b. Building Orientation

Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.

- **The use of walkways, porches, smaller roof forms and other design elements is encouraged to emphasize the location of the front entry.**

Front entry to house (primary structure) is identified with inset steps.

Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.

Front wall is proposed to face the south and not a street; Lot 9A is split into two parts by a significant change in elevation. The elevation change makes aligning the front wall to the street a difficult and costly option.

c. Building Form

Buildings in Old Hailey were most commonly rectangular in shape. In addition, the older buildings were generally oriented with the short side facing the street, and the longer side along the side lot lines. This basic building form is encouraged in the Design Guidelines. Some variations may be compatible where the overall mass and scale of the new building is similar to the other buildings in the neighborhood.

The long side of the proposed house faces adjacent empty lot to the south.

Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.

House is comprised of a combination of rectangles.

d. Roof Form

Roofs help define a neighborhood by creating a pattern on the horizon, framing views to distant areas, and defining light and air between buildings. While a variety of roof styles are present in Old Hailey, most of these roofs are pitched roofs with gable elements. Typically, gabled roof slopes were in the range of 8:12 to 12:12. Ridge lengths were typically a maximum of 40-50 feet in length. This ridge length is an important element in the scale and feel of Old Hailey neighborhoods.

House and garage contain gabled roofs as shown on elevations.

Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.

Front entry to house is defined with an inset entry area with steps.

Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.

Steeper roof pitches on house and garage provide for appropriate snow shedding

Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.

Roofs of proposed house are gabled, similar to those found in surrounding neighborhoods.

Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.

Roofs of proposed house are gabled, similar to those found in surrounding neighborhoods.

e. Wall Planes

Wall planes are the walls of buildings as viewed two-dimensionally. Traditionally, front wall planes in Old Hailey were 25-30 feet in width. The gables ends most often ran parallel to the street. Side wall planes were typically the longer wall plane. Often these side wall planes were broken up with either a jog in the building wall, or a pop-out such as a bay window.

House is proposed to be positioned so at least one gabled roof fronts the west, the south, and the east.

Guideline: Primary wall planes should be parallel to the front lot line.

Primary wall planes are proposed to be parallel to abutting lot lines on the north and south, not to the front lot line on the east.

Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.

Wall plans appear proportional to lot dimensions. The longer wall planes front the longer north and south lot lines and shorter wall planes front the east and west shorter lot lines.

Guideline: The use of pop-outs to break up longer wall planes is encouraged.

A bay window is proposed along the long south elevation wall plane.

f. Windows

Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.

Not applicable as large elevation change on the lot will reduce capability of seeing windows from the street or seeing out windows to the street (3rd Ave.)

Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.

Not applicable. Presently there are no buildings on either the lot to the south or the lot to the north.

g. Decks and Balconies

Decks and balconies traditionally found in Old Hailey were smaller, subordinate building design elements. They often faced the street, and avoided overhanging near neighboring properties.

Guideline: Decks and balconies shall be in scale with the building and the neighborhood.

- **Decks and balconies should appear as subordinate elements in terms of scale, location and detailing.**

Proposed entry porch faces 3th Ave. and is a little shorter than half the height of the house.

Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.

Proposed entry porch faces east away from neighbors who could potentially occupy the lots to the north and south of Lot 9A where house is proposed.

h. Building Materials and Finishes

Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.

Building materials include textured plywood, shingle siding, fascia, trim, and VG fir doors.

i. Ornamentation and Architectural Detailing

Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.

Ornamental details include a rusted metal roof, shingle siding, and a bay window on the south wall plane.

Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.

House is proposed to have covered porches, pella windows, and trim detailings.

Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.

Proposed windows, doors, and roof pitch match nearby buildings.

4. Circulation and Parking

Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.

One parking space is proposed within garage with access from alley. Pedestrian sidewalks fronting 3rd Ave. are not shown on the plans, but are required.

Guideline: The visual impacts of on-site parking visible from the street shall be minimized. Parking is proposed to be accessed from the alley with potential off-street parking off of 3rd Ave.

Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.

Parking is proposed to be from alley side of property.

Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.

Garage may provide storage areas for recreational vehicles.

5. Alleys

Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.

Parking is proposed in garage, so alley will remain uninhibited.

Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.

Garage is proposed to be located off alley with access from alley.

Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface,

Proposed project is within General Residential so surface of adjacent alley may utilize a dust-free gravel surface.

Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.

Proposed landscaping provides nearest to alley is only a vegetable garden area; no other landscaping is proposed to be near or closer to the alley than the vegetable garden.

7. Snow Storage

Guideline: All projects shall be required to provide 25% snow storage on the site.

Snow storage area is shown on southwest corner of the lot adjacent to the alley. The snow storage area is 16' x 16' totaling 256 sq. ft. Total parking area is 808 sq. ft. which equates to 31% snow storage area to parking area.

8. Existing Mature Trees and Landscaping

Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan. Existing plant material (including a large drought tolerant tree near where the steep terrain exists onsite) is shown on the landscape plan.

Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible. The existing large drought tolerant tree at the east of the lot is shown to remain. Apple and plum trees are also shown on the plans, as are berry and vegetable garden areas.

Guideline: Noxious weeds shall be controlled according to State Law.
Applicant is hereby notified of requirement.

9. Fences and Walls

Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.

No fences or walls are proposed to abut 3rd Ave. or the adjacent Alley. Fences, compliant with the fence ordinance are shown both on the north and south edges of the lot and also around the dog kennel. Applicant is hereby notified, however, that a separate fence permit is required prior to any fence construction on the property.

10. Non-residential and Multi-family Uses

Not applicable.

6A.6 Criteria.

- A. The Commission shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**

B. Conditions. The Commission may impose any condition deemed necessary. The Commission may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**

6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Ordinance.

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
 - e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
 - f) A sidewalk and drainage improvements, running the length of the property line adjacent to 3rd Ave. is required and is shown on the drainage and site plans dated April 16, 2013. In-lieu of this requirement however, the applicant elected to use the voluntary in-lieu cash contribution of 110% rather than constructing the sidewalk. As the estimated costs of construction are \$1400.00, the 110% contribution owed by the applicant before Certificate of Occupancy is issued is \$1,540.00.
 - g) The water meter connection should be reduced to be ¾" rather than the present 1" connection. This will reduce the connection fee amount.
 - h) A separate fence permit is required prior to any fence construction on the property.
 - i) Blue board insulating material is required for water mains and individual water service lines less than 6 feet deep.
 - j) Building service areas shall be located off alley and away from public view or building frontage areas.
- k) All utilities for new dwelling shall be underground.
- l) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.

m) This Design Review approval is for plans dated March 14, 2013 (Floor Plans, Elevations (North, East, South, & West), April 16, 2013 (Drainage & Site Plan, and Landscape Plan) and Kirkham Dark Sky Outdoor Wall Light Spec Sheet). The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.

2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

Motion Language

Approval:

Motion to approve the design review application by Craig Johnson for design review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (m) are met.

Denial:

Motion to deny the design review application by Craig Johnson for design review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the design review application by Craig Johnson for design review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts to _____ [Commission should specify a date].

City of Hailey - Design Review Application

Submittal Date: 03 / 14 / 13

Project Name: CURRAN RESIDENCE
Legal Description of Property: Subdivision Hailey Townsite Lot(s) A-1m Lot 9A, Block 47
Street Address of Property: 205 N 3RD AVE. HAILEY ID
Current Zoning of Property: General Residential ETO Year of original construction: N/A
Existing building gross sq. ft. (if applicable) N/A Proposed addition or new construction sq. ft. 2421

Name of Owner of the Property: CRAIG JOHNSON
Mailing Address: PO Box 579 City: HAILEY State: ID Zip: 83333
Phone: (208) 788-0996 Fax: (208) 788-0796 Cell: (208) 309-1096
Email Address: CWJ2@MINDSPRING.COM

Property Owner Consent:
By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any ex parte discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: [Signature] Date: 3 / 13 / 13

Name of individual to contact on behalf of Trust or LLC (if applicable):
Mailing Address: City: State: Zip:
Phone: () - Fax: () - Cell: () -
Email Address:

Application Contact (if different than above):
**Application Contact will be the Planning Department's primary point of contact for questions related to the application.
Mailing Address: City: State: Zip:
Phone: () - Fax: () - Cell: () -
Email Address:
Signature: Date: / /

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

- Commercial, Mixed-Use or Multi-Family..... \$ 450.00
plus \$25 / 1,000 gross square feet..... \$
OR [X] Single-Family Dwelling, Duplex or Accessory Structure in TO..... \$ 250.00
OR [] No Substantial Impact..... (Mailing only)..... \$ 75.00
OR [] Modification to DR Approval... (No publication or mailing)..... \$ 50.00
OR [] DR Exemption... (No publication or mailing)..... \$ 30.00
Publication cost..... \$ 40.00
Mailing (# of addresses 34) x (.61 postage + .15 paper, envelope & label) \$ 20.74
DO NOT COUNTY DUPLICATES OR CITY OF HAILEY
Total Due..... \$ 310.74

DESIGN REVIEW - CHECKLIST

City Use Only -

Project Name: CURRAN RESIDENCE

Certified Compete by: _____

Date: ____/____/____

The following items must be submitted with the application for the application to be considered complete (✓):

- ✓ One (1) large set of plans with scale indicated containing the following:
- ✓ Vicinity map showing project location in relationship to adjacent buildings and surrounding area.
- ✓ Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions (must show location of adjacent buildings and structures).
- ✓ Total square footage of subject property, including lot dimensions.
- ✓ Building setbacks.
- ✓ Staging and contractor parking plan.
- ✓ Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures).
- ✓ Landscape plan
 - ✓ Existing tree to be shown as retained/relocated/removed.
 - ✓ All proposed species type/size/quantity of each.
 - ✓ Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
- ✓ Floor plan (include gross square footage for each floor, occupancy classification and type of construction).
- ✓ Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
- ✓ Drainage plan (grading, catch basins, piping, and dry-wells).
- ✓ Detailed elevations showing facade of all sides of proposed building and other exterior elements. Must show elevation points of record grade. Include notes on colors, materials, dimensions.
- ✓ Colored rendering of at least one side of the proposed building.
- N/A Idaho licensed architect (plans for single family dwellings may be stamped by an Idaho licensed structural engineer)
- ✓ North point and scale.
- ✓ Six (6) 11" x 17" copies of any larger plans/maps OR two (2) 11" x 17" copies of any larger plans/maps if project is within the Townsite Overlay.
- ✓ PDF files of all required documents and 11" x 17" plans/maps.
- N/A Color photographs of any existing structures on the site.
- ✓ Materials and colors sample board. Each sample approximately 12" x 12".
- N/A Sign Plan (if applicable).
- N/A Area Development Plan (required if property owner also owns adjacent parcels).
- N/A For property located in Airport West, Design Review approval by Airport West Design Board.
- ✓ Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- N/A Names and addresses of easement holders within subject property.
- N/A Written statement of how each design review standard is met (contact the Planning Department for which set of standards is applicable to your project).
- ___ Other information as required by the P&Z Administrator, Hearing Examiner or Commission.

City Use Only:

- ___ Double check address
- ___ Advise applicant if Lot Line Adjustment is needed
- ___ Check following basic standards:

___ Density	___ Lot coverage
___ Setbacks	___ Floor area
___ Height (plans must show elevation points of record grade)	___ Parking (# of spaces)



115 MAIN STREET S. SUITE H
 HAILEY, ID 83333
 PHONE: (208) 788-4221
 FAX: (208) 788-2924

INVOICE #	INVOICE DATE
10741	03/14/2013
DUE DATE	CUSTOMER ACCOUNT NUMBER
03/14/2013	6832
AMOUNT DUE	TERMS:
310.74	Open Terms

BILL TO:

LMJ BUILDERS, LLC

PO BOX 579
 HAILEY ID 83333

PLEASE DETACH AND RETURN THIS TOP PORTION
 WITH YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY
 115 S MAIN ST STE H
 HAILEY, ID 83333

INVOICE

DESCRIPTION	QUANTITY	CHARGE	EXT. PRICE
PLANNING DESIGN REVIEW- Curran Review	1.		250.00
PLANNING PUBLICATION	.		40.00
PLANNING MAIL	34.	.61	20.74
			310.74
			TOTAL AMOUNT DUE

THANK YOU FOR YOUR PROMPT PAYMENT
 For Billing Inquiries Call: (208)788-4221
 Office Hours: 9:00 a.m. - 5:00 p.m.
 Monday thru Friday

CITY OF LOUISIANA
121 N. 3RD ST. SUITE 101
MONROE, LA 70501
504 233-1001

Receipt No. 100000
Nov 11, 2001

02

NAME
LNU SERVICES, LLC
PO BOX 978
MONROE, LA 70502

Account Name
110.74
Account - Revenue Public Deposits
110.74
City of Louisiana Revenue and Cash Clearing acc
110.74

New Current Balance:
1.00

Payment on:

Check 310.74 ORN No. 0100
LNU SERVICES, LLC

Total Applied:
310.74

Change Tendered:
1.00

Thank you for:

Duplicate Copy

01/11/01 10:10 a

IDAHO MOUNTAIN EXPRESS
March 20, 2013

NOTICE OF PUBLIC HEARING
HAILEY PLANNING AND ZONING
COMMISSION
Monday, April 8, 2013

PUBLIC NOTICE IS HEREBY GIVEN that the Hailey Planning and Zoning Commission will hold a Public Meeting at **6:30 p.m. on Monday, April 8, 2013**, to be held in the upstairs meeting room of Hailey City Hall and will hold Public Hearings on the following items:

- Consideration of an application by Blaine County School District for Design Review of a 4,370 sq. ft. classrooms and hallway addition to the existing Wood River Middle School. The school is located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) and within the General Residential (GR) Zoning District.
- Consideration of an application by Strada Capital Inc. for Design Review of an alteration to the exterior of an existing residence by altering the roof over front entry from a shed roof to a gabled roof type and an existing installed window to a garage door and vehicle entry area. The residence being located at Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.) is within the Townsite Overlay (TO) and General Residential (GR) Zoning Districts.
- Consideration of an application by Craig Johnson for Design Review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), which is within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.
- * Consideration of an annexation request from the Blaine County School District to annex Parcel 4 of a Replat of Maurer Subdivision (Inst.510590), comprising a total of .62 acres, into Hailey City Limits for the purpose of expanding the Wood River Middle School.
- * Consideration of a Conditional Use Permit request from Mountain Rides Transportation Authority for operating a South Valley Facility on Woodside Subdivision Plat #10, Lot 38, Block 42 (otherwise known as 4021 Glenbrook Dr.) which is located in the Business (B) Zone.

* Consideration of an application by AT&T (Powder River Development Services, LLC) for a Wireless Permit for the installation and operation of roof top equipment, including antennas and associated equipment cabinets for AT&T's Wireless telecommunications network. The equipment would be located at Pine Street Station Condos (400 S. Main St.) within the Business (B) and Townsite Overlay (TO) Zoning Districts.

Any and all interested persons are invited to attend the public hearings or submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org. Supporting documents for these item(s) can be viewed on the City of Hailey's website as of the date of this publication; go to www.haileycityhall.org, under Meeting, click on the Planning and Zoning Commission and select the link for the most current Planning and Zoning agenda. The staff reports will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208-788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this notice, or for special accommodations to participate in the noticed meeting, please contact planning@haileycityhall.org or (208) 788-9815.

PUBLISH:
IDAHO MOUNTAIN EXPRESS
March 20, 2013

PUBLIC NOTICE

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

March 19, 2013

Dear Property Owner:

Your property has been identified as being located within 300 feet of the property listed below; this letter is being sent to you to give you the opportunity to comment on the following application related to this property:

- Consideration of an application by Craig Johnson for Design Review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), which is within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

A map showing the location of the property and renderings of the building are included with this letter.

A public hearing will be held on this application as part of the Hailey Planning and Zoning Commission's meeting on **Monday, April 8, 2013**, at 6:30 p.m., at Hailey City Hall. You are invited to attend this public hearing and/or submit written comments to the Principal Planner at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

March 21, 2013

Dear Public Agency:

The Hailey Planning and Zoning Commission will hold a public hearing on the item(s) listed below on **Monday, April 8, 2013**, at 6:30 p.m., Hailey City Hall.

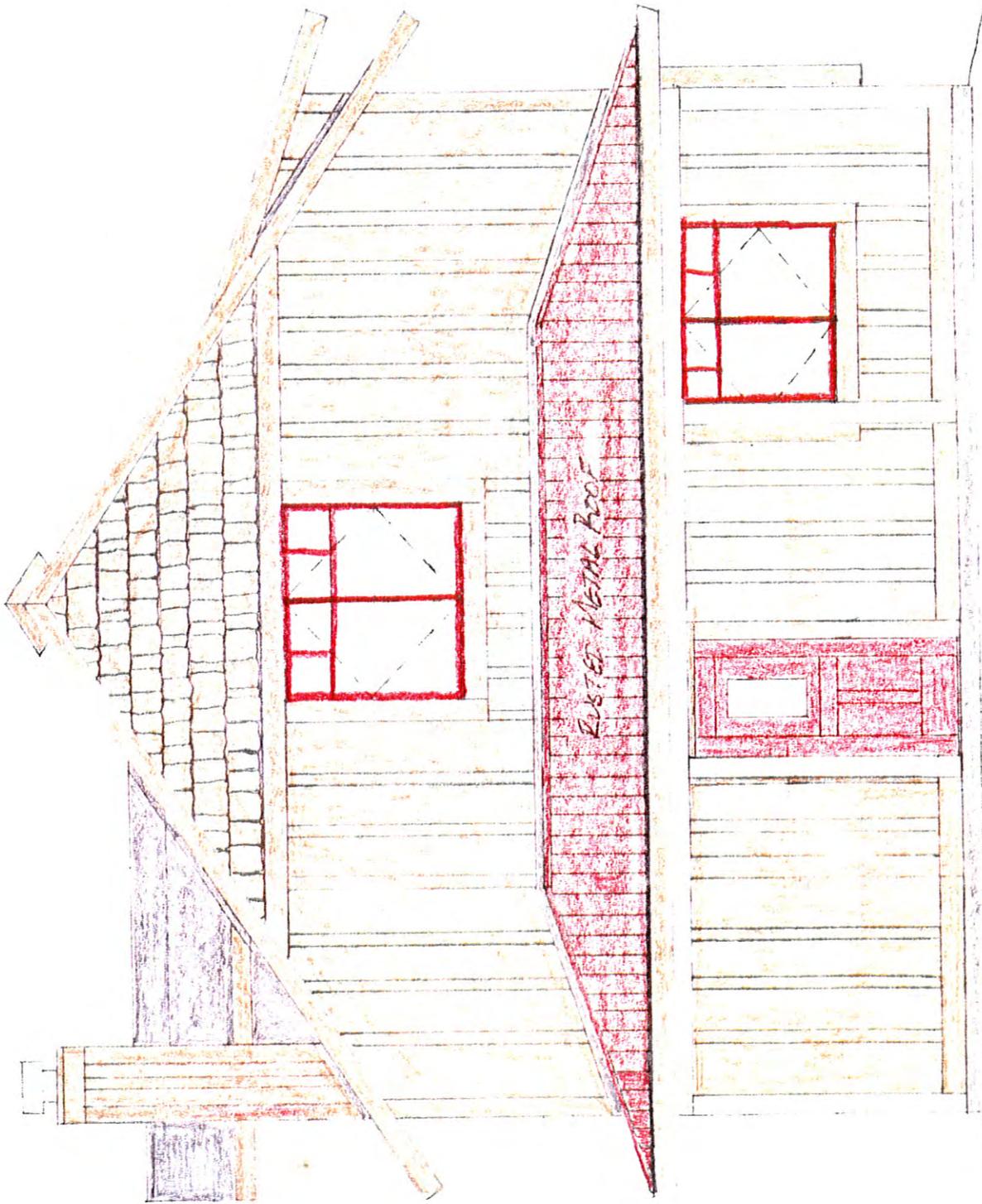
- Consideration of an application by Blaine County School District for Design Review of a 4,370 sq. ft. classrooms and hallway addition to the existing Wood River Middle School. The school is located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) and within the General Residential (GR) Zoning District.
- Consideration of an application by Strada Capital Inc. for Design Review of an alteration to the exterior of an existing residence by altering the roof over front entry from a shed roof to a gabled roof type and an existing installed window to a garage door and vehicle entry area. The residence being located at Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.) is within the Townsite Overlay (TO) and General Residential (GR) Zoning Districts.
- Consideration of an application by Craig Johnson for Design Review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), which is within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.
- Consideration of an annexation request from the Blaine County School District to annex Parcel 4 of a Replat of Maurer Subdivision (Inst.510590), comprising a total of .62 acres, into Hailey City Limits for the purpose of expanding the Wood River Middle School.
- Consideration of a Conditional Use Permit request from Mountain Rides Transportation Authority for operating a South Valley Facility on Woodside Subdivision Plat #10, Lot 38, Block 42 (otherwise known as 4021 Glenbrook Dr.) which is located in the Business (B) Zone.
- Consideration of an application by AT&T (Powder River Development Services, LLC) for a Wireless Permit for the installation and operation of roof top equipment, including antennas and associated equipment cabinets for AT&T's Wireless telecommunications network. The equipment would be located at Pine Street Station Condos (400 S. Main St.) within the Business (B) and Townsite Overlay (TO) Zoning Districts.

This Notice is issued pursuant to Idaho State Code (Local Land Use Planning Act), Section 67-6509, whereby notice must be provided to all political subdivisions providing services within the planning jurisdiction at least 15 days prior to public hearings regarding proposed amendments to the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, or any other land use ordinance.

You are invited to attend this public hearing or submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

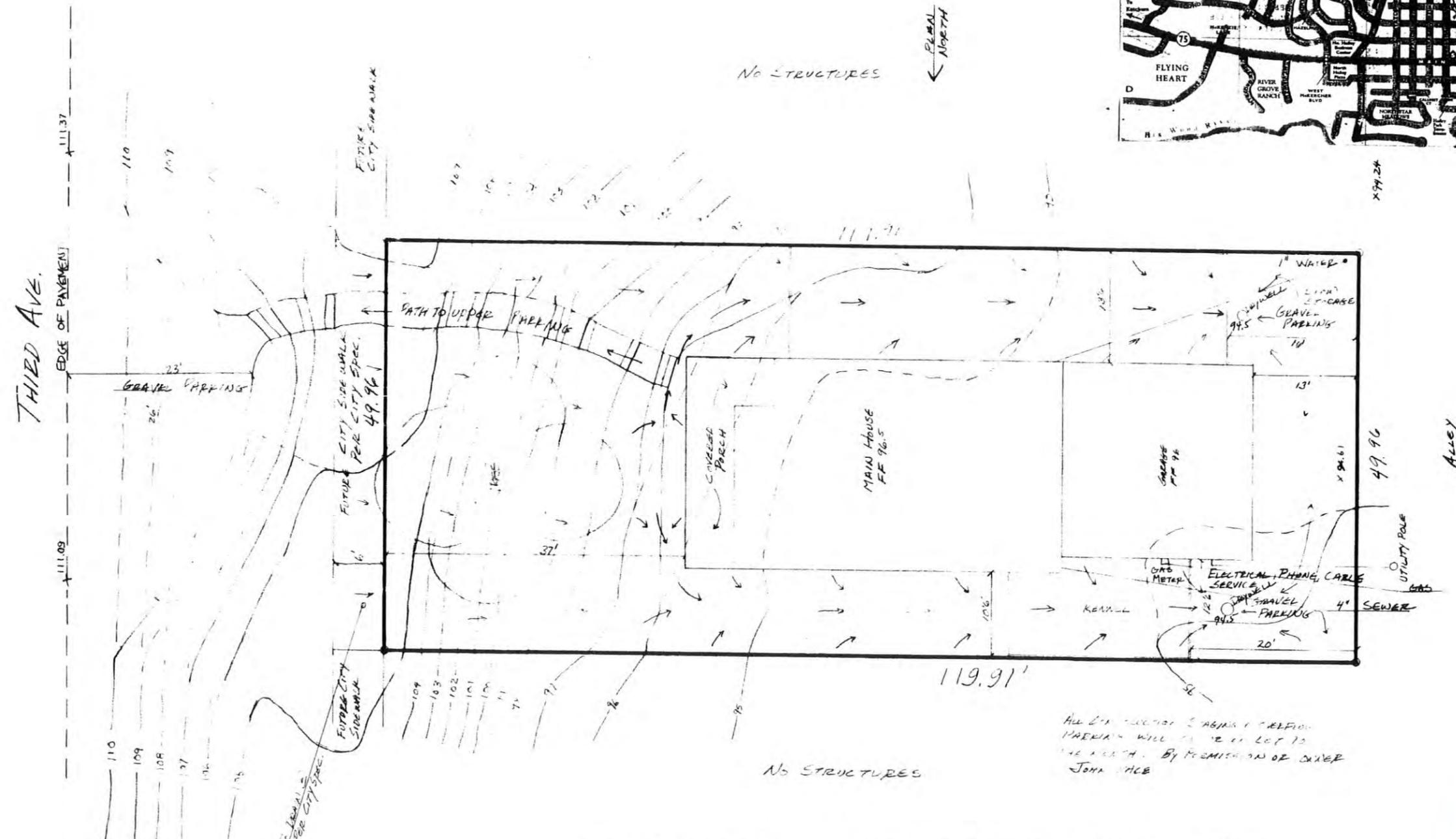
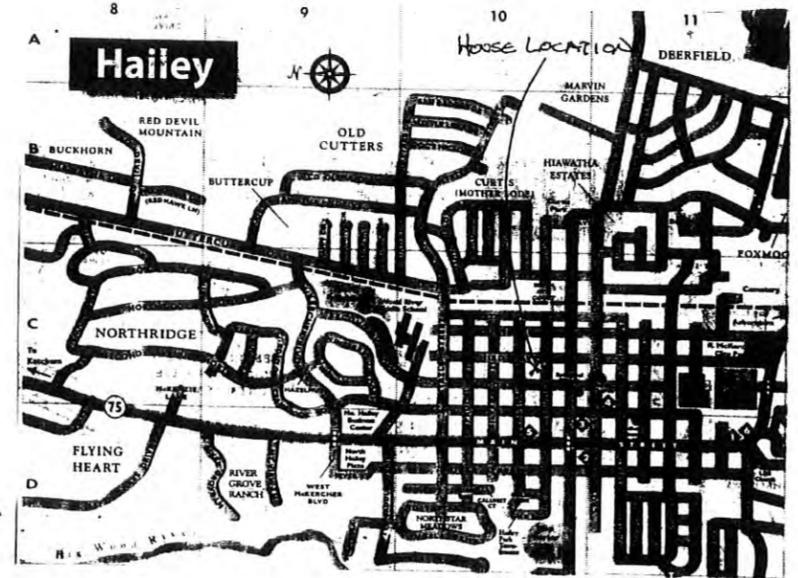
Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.



Red Metal Roof

East elevation 1/4" = 1'



No STRUCTURES

PLANNED NORTH

No STRUCTURES

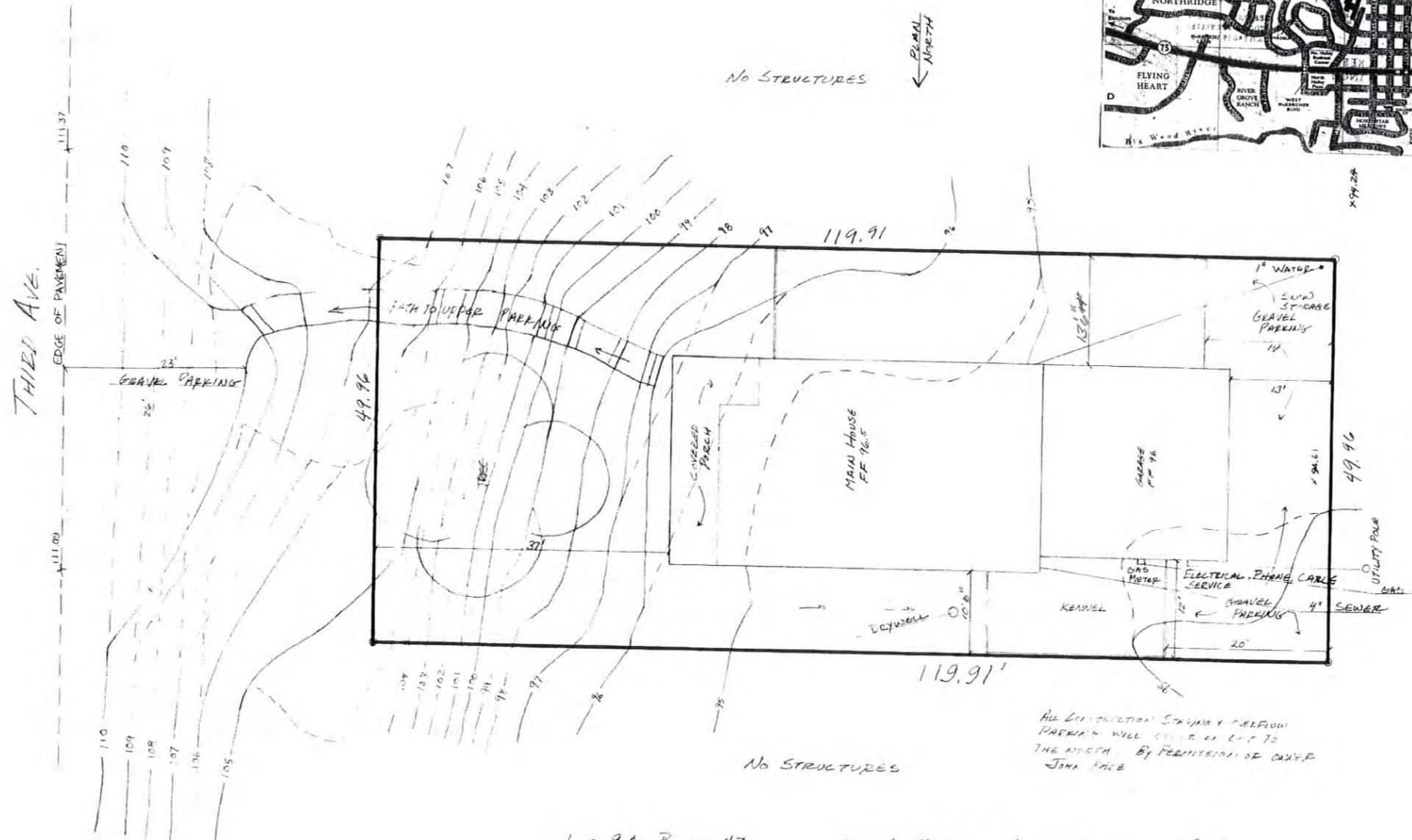
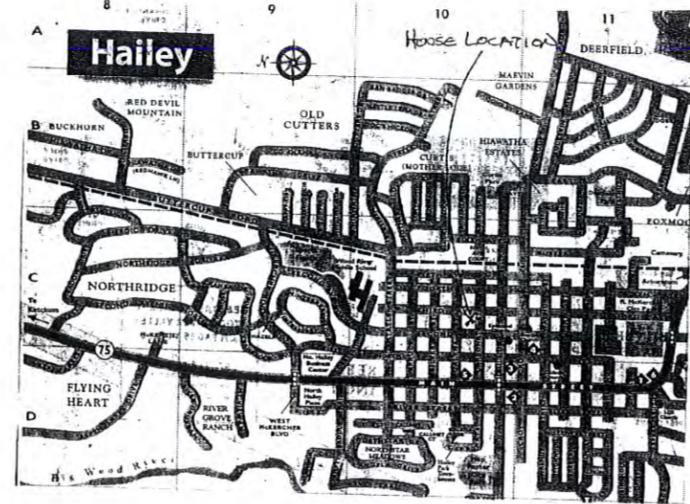
ALL UTILITIES TO BE RELOCATED TO THE FRONT OF LOT 9A BY PERMISSION OF OWNER JOHN SMITH

LOT 9A BLOCK 47 205 N. 3RD AVE. HAILEY, IDAHO 1/8"=1'
 FIRST FLOOR SFT 1005 SECOND FLOOR SFT 740 GARAGE SFT 576
 COVERED PORCH SFT 186 1/2 LOT COVERAGE 27% LOT SIZE 5990.7 SFT

RECEIVED
 APR 16 2013
 CITY OF HAILEY

DRAINAGE + SITE PLAN

--- DRAINAGE CONTROLS
 --- 1"=1" CONTROLS
 → DRAINAGE DIRECTION



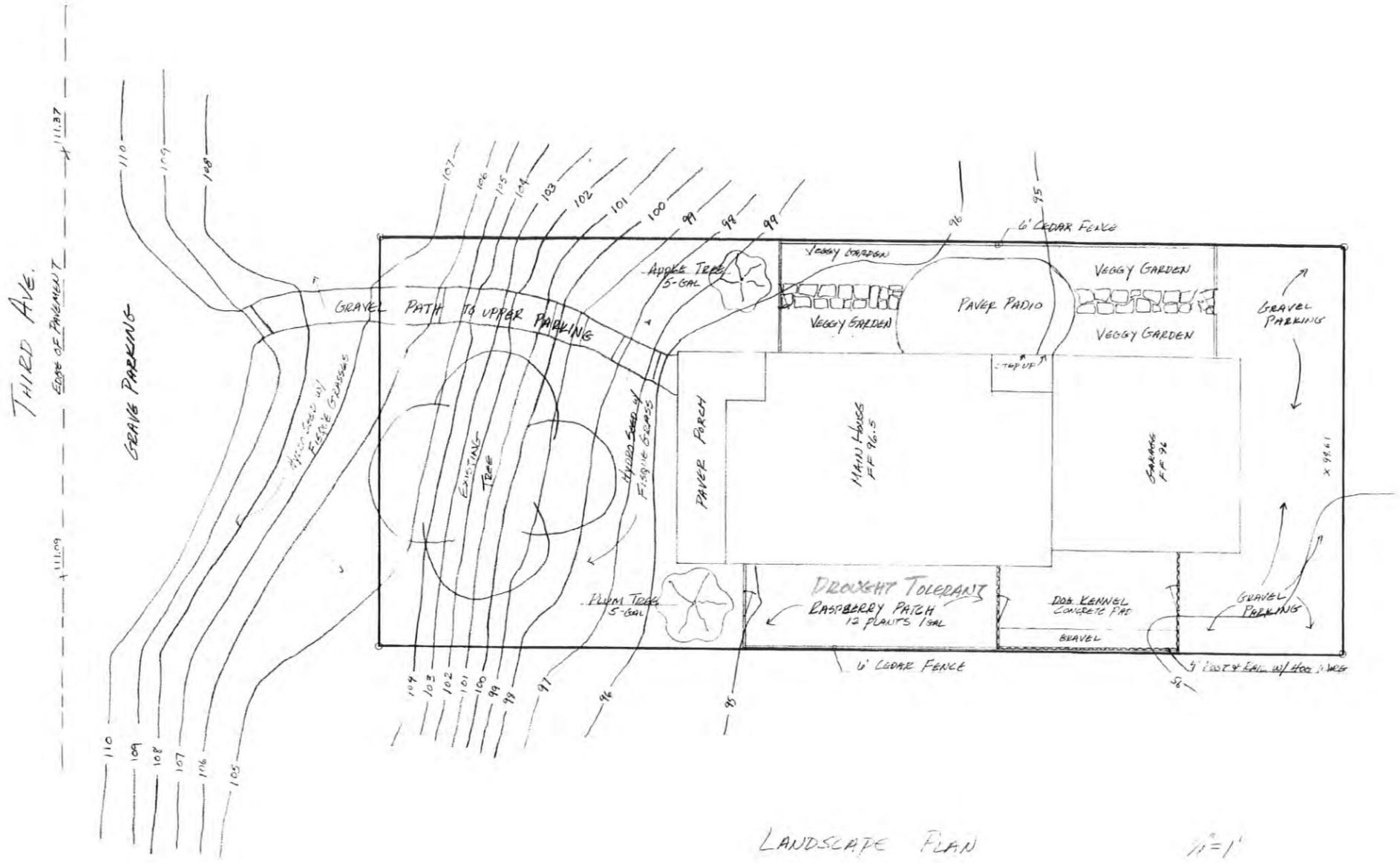
LOT 9A BLOCK 47 205 N. 3RD AVE. HAILEY, IDAHO 1/4" = 1'
 FIRST FLOOR SQ/FT 1005, SECOND FLOOR SQ/FT 740, GARAGE SQ/FT 576
 COVERED PORCH SQ/FT 186 Φ LOT COVERAGE 27% LOT SIZE 5990.70 SQ/FT

SITE PLAN

--- EXISTING CONTROLS
 ——— NEW CONTROLS

CURRAN RES.

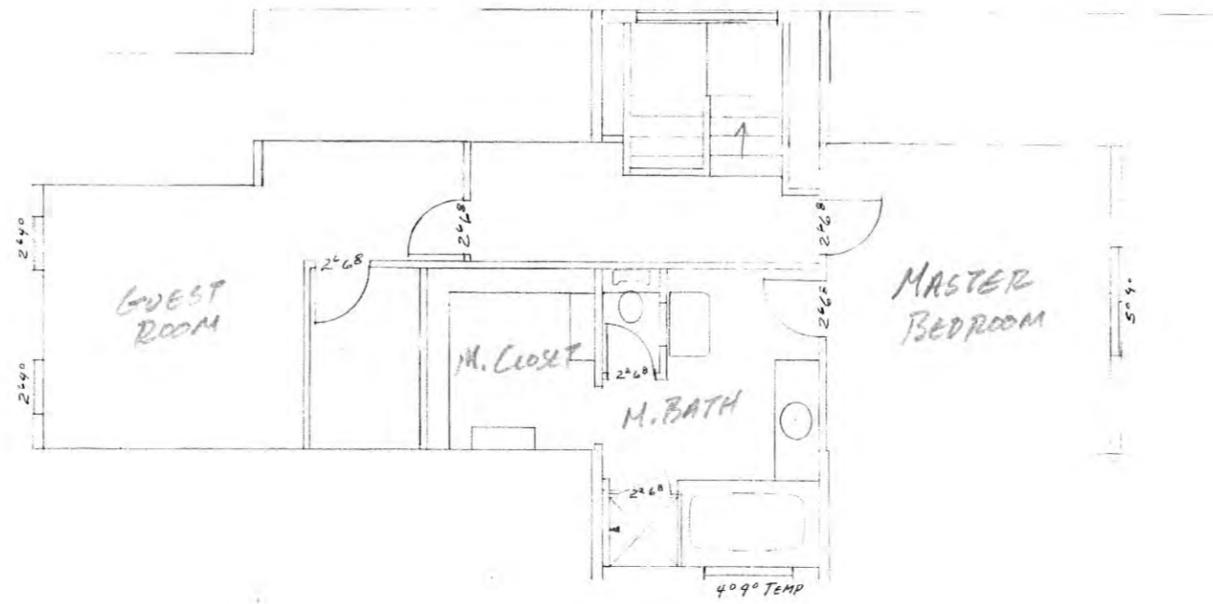
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 CITY OF HAILEY



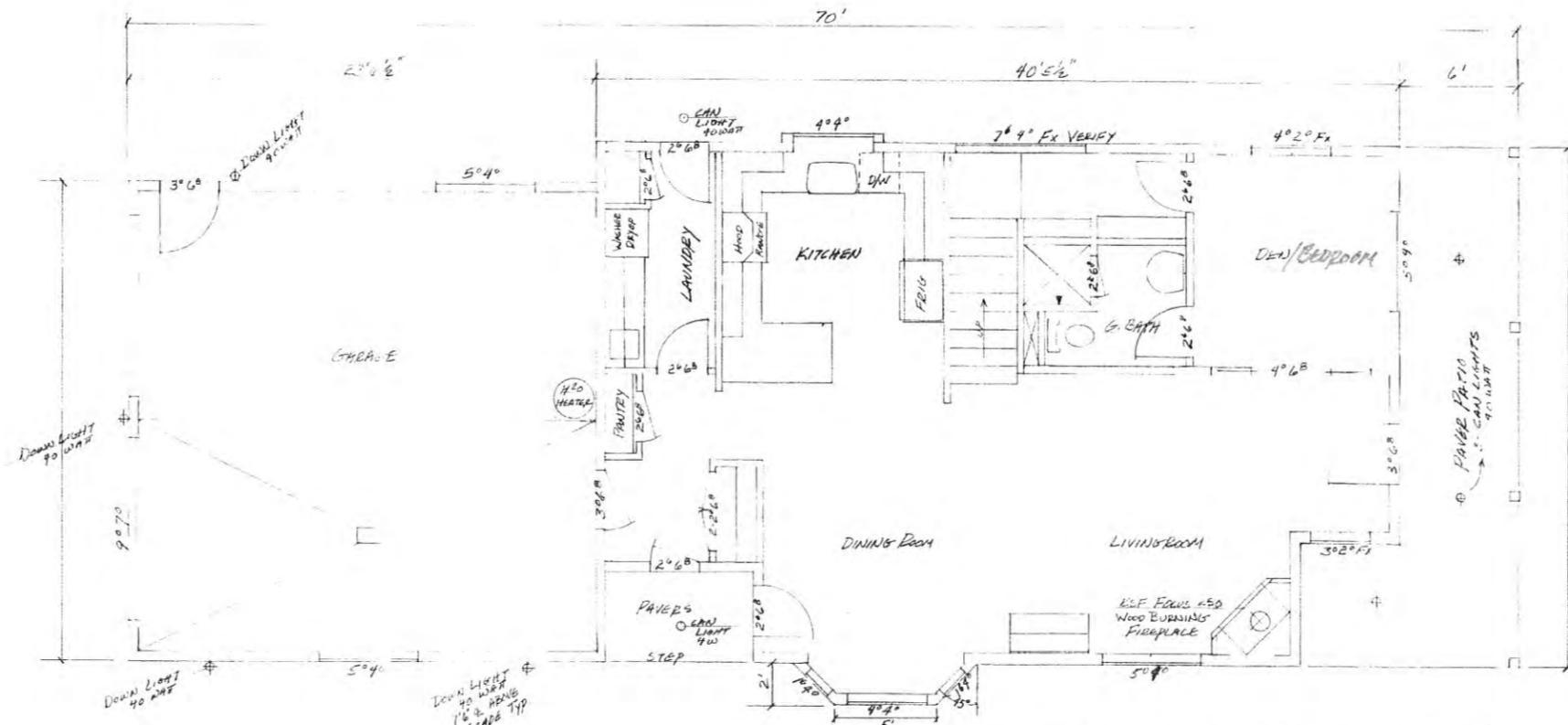
LANDSCAPE PLAN

1/4" = 1'

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 MAR 14 2013
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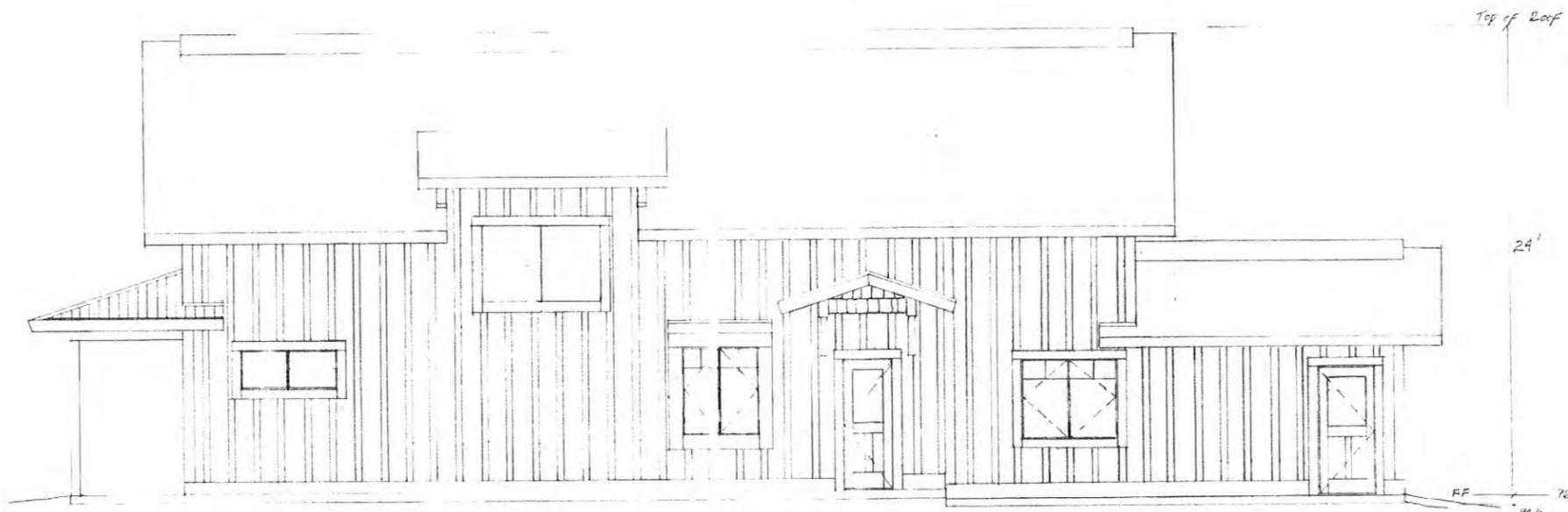


SECOND FLOOR PLAN 1/8" = 1'

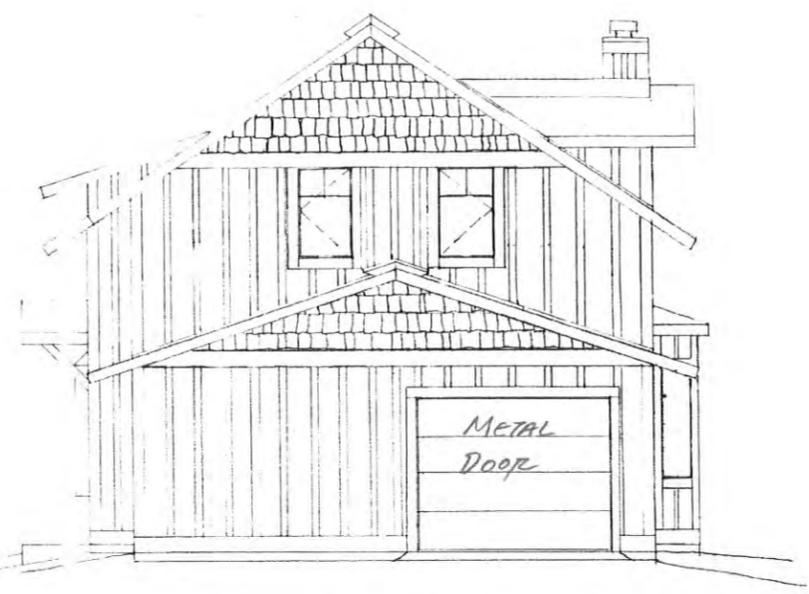


FIRST FLOOR PLAN 1/4" = 1' WOOD FRAME CONSTRUCTION

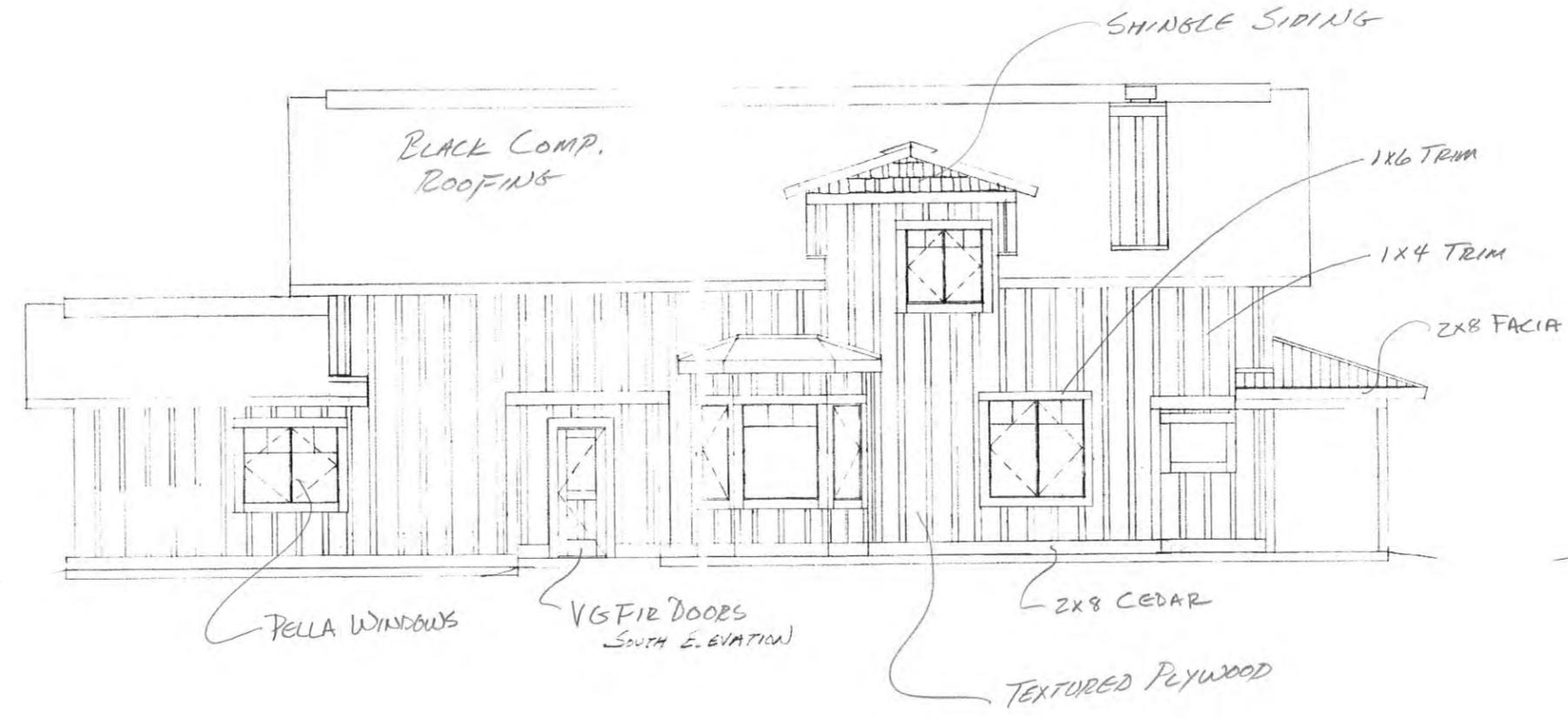
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 MAR 14 2013
 CITY OF HAILEY



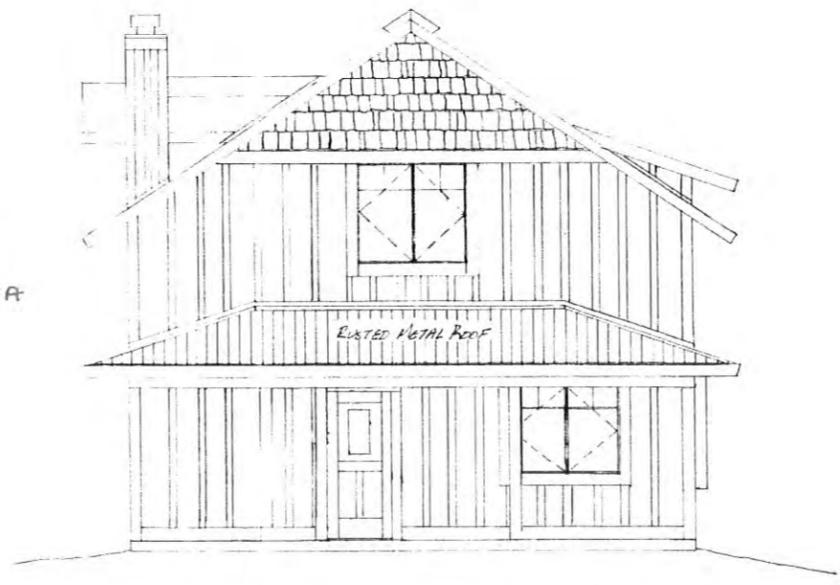
NORTH ELEVATION



WEST ELEVATION

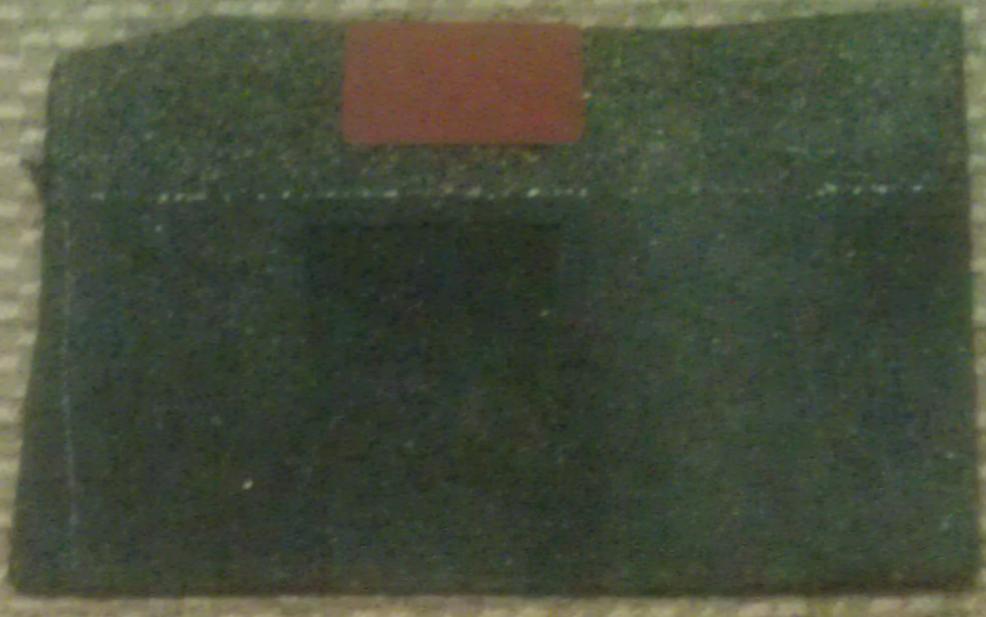


SOUTH ELEVATION



EAST ELEVATION 1/4" = 1'

RECEIVED
 MAR 14 2013
 CITY OF HAILEY



PROPOSAL

Page # 1 of 1 pages

Kolman Concrete Inc.
140 LyBunker Lane
Bellevue rd 83713

Proposal Submitted To: <u>Long Builders Inc</u>		Job Name <u>2000 Res-Curtain</u>	Job #
Address		Job Location	
<u>Harlow Id</u>		Date	Date of Plans
Phone # <u>788-0090</u>	Fax # <u>785-0790</u>	Architect	

We hereby submit specifications and estimates for:

6' x 50' Sidewalk

city specs - Hailey specs

Approved
Jim Miller

We propose hereby to furnish material and labor — complete in accordance with the above specifications for the sum of:

\$ 1400⁰⁰ Dollars

with payments to be made as follows: upon Request

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted [Signature]

Note — this proposal may be withdrawn by us if not accepted within 45 days.

Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Signature _____

Date of Acceptance _____

Signature _____

STAFF REPORT

TO: Hailey Planning and Zoning Commission
FROM: Bart Bingham, Principal Planner
RE: Design Review – The Sage School – (New Modular Classrooms)
HEARING: April 22, 2013

Applicant: The Sage School (New Modular Classrooms)
Request: Design Review
Location: Airport West Sub #2, Blk 4, Lot 2
Zoning: General Residential District

Notice

Notice for the public hearing was published in the Idaho Mountain Express on March 20, 2013 and mailed to property owners within 300 feet and public agencies on April 4, 2013.

Application

The Sage School (hereinafter “The Sage School”) submitted a Design Review Application for two new 2,880 sq. ft. Modular Classrooms to be located adjacent to the existing Sage School building at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.

Procedural History

The application was submitted on March 15, 2013 and certified complete on March 15, 2013.

Department Comments:

Engineering:

The sewer connection for the modulars needs to connect to the sewer line at the north end of the Sage School lot and the water connection for the modular needs to connect to the water line at the north east corner of the Sage School lot. Connecting at these locations will prevent pavement cutting or digging on Aviation Dr.

Life/Safety

No issues.

Water and Sewer:

No issues.

Building:

No issues.

Streets:

No issues.

Standards of Evaluation

8.2 Signs.

The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

6A.1 Applicability.

A. No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:

- 2. A building for a Public or Semi-Public Use within any zoning district.**

The Sage School Modular Classrooms will be for a school used for a public use, so design review is required.

6A.3 Permits.

A. No permits shall be issued by any administrative officer or inspector of the City for construction of any building, project, or other improvement requiring a permit before the requirements specified by this Article are met and approval is granted.

Applicant is hereby advised of requirement.

6A.4 Design Review Process.

F. In order for a building permit to be issued after final Design Review approval, final construction drawings must be reviewed and approved by the Building Department. Application for a building permit must occur within one year of Design Review approval, or as otherwise provided by agreement authorized by law. The expiration date may be extended once, for an additional six (6) months, upon written request. Such request must be received prior to the expiration date.

Applicant is hereby advised of requirement.

6A.7 Improvements Required.

A. Streets.

1. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.

a. The requirement for Sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.

Proposed modular classrooms are greater than 500 sq. ft.

b. The requirement for Sidewalk and drainage improvements may be waived for any remodel or addition to Single Family Dwelling and Duplex projects within the Townsite Overlay District; Sidewalk and drainage improvements shall be required for new Principle Building.

Sidewalk and drainage improvements are required.

c. The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110% of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor.

No in-lieu contributions have been made to the City.

2. Sidewalk and drainage improvements shall be located and constructed according to applicable City Standards, except as otherwise provided herein.

b. The Developer or City may propose alternatives to either the standard Sidewalk location or configuration required.

No alternatives have been proposed.

3. The length of Sidewalk and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any Public Street or Private Street.

Existing sidewalk running adjacent to Aviation Way is approximately 4 ft. wide. No new sidewalk fronting Aviation Way is required.

4. New Sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.

As a condition of approval to comply with the above requirement, concrete, asphalt, or paver sidewalks shall be installed where the 6' wide gravel pedestrian pathways are proposed and shown on plans A1.1 and A1.2 (between the existing school, modulares, and the rear parking area) and a sidewalk meeting the same standards shall be installed to connect the pedestrian path between the exiting building and proposed modulares with the sidewalk fronting Aviation Dr. Installing these concrete, asphalt, or paver sidewalks will provide the pedestrian connections needed. The 6' wide gravel pathway shown on the plans north of the proposed modulares to

connect to the 20' wide fire access may be gravel as it is proposed to be used in the event of a fire emergency and not a regular basis.

5. Sites located adjacent to Public Streets or Private Streets that are not currently thru-streets, regardless of whether the street may provide a vehicular connection to the future streets, shall provide sidewalks to facilitate future pedestrian connections.

The Sage School site is located adjacent to Aviation Way and therefore shall provide sidewalks noted above to facilitate pedestrian connections.

6A.8 Design Standards.

A. Non-Residential, Multifamily or Mixed Use Building. The following design standards apply to any non-residential, multifamily or mixed use building located within the City of Hailey.

1. Site Planning

a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the occupants and allow for safe access to buildings.

Proposed modulars are shown to orient with their longest elevations in a north-south direction, and have a 947 sq. ft. mostly open air (but partially covered) deck connecting the 20' wide separation area between them. If both modulars were oriented in an east-west direction, the orientation would allow for more sun exposure for the deck area but would also allow for substantially more wind interference.

b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.

Existing low-lying shrubs, aspen trees, and deciduous and conifer trees are shown on the landscape plan and are shown to remain.

c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.

As a condition of approval, concrete, asphalt, or paver sidewalks shall be installed where the 6' gravel pedestrian pathways are proposed (between the existing school, modular, and rear parking area) and a sidewalk meeting the same standards shall be installed to connect the pedestrian path between the exiting building and proposed modulars with the sidewalk that fronts Aviation Dr. The proposed 6' wide gravel pathway north of the modulars to connect with the 20' wide fire access may be gravel as it is proposed since it is proposed to be used in the event of emergencies and not regular pedestrian use.

d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage.

As a condition of approval, the trash storage pickup should be relocated to a rear area between the existing building and where the modulares are proposed. The storage area is not on the plans, but shall be shown on updated plans.

e. Vending machines located on the exterior of a building shall not be visible from any street.

Applicant is hereby notified of requirement.

f. Parking areas located within the SCI zoning district may be located at the side or rear of the building.

Existing parking area is within SCI zoning and is located at the side and rear of existing building.

g. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

Existing parking area is from a single approach at southern portion of school lot. In conjunction with the proposed modulares, a 20' wide fire access road providing northern access to the rear parking area is proposed. The proposed new entry would not alter the buffer for the rear parking area and would utilize an already existing entryway/curb cut from Aviation Way for the 20' wide fire access.

h. Except as otherwise provided herein, on-site parking areas shall be located at the rear of the building and buffered from the sidewalk adjacent to the street. Parking and access shall not be obstructed by snow accumulation.

Existing parking area is located at the rear of the building and will remain unchanged.

i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.

Existing and new snow storage areas are onsite and are located at the southeast corner of the Sage School lot (providing 4,123 sq. ft. of Snow Storage) and along the sides/edges of the proposed 20' wide fire access road (providing 1,782 sq. ft. of Snow Storage).

j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.

Total snow storage area proposed is 5,905 sq. ft. The total existing and proposed parking, and circulation area is 23,616 sq. ft. When this number is multiplied by 25%, it equals 5,904 sq. ft. which is the amount required. Thus, this standard is satisfied.

k. A designated snow storage area shall not have any dimension less than 10 feet.

Snow storage dimension areas are not less than 10 feet, except for snow storage areas fronting the both sides/edges of the proposed 20' fire access compacted road mix north entry road.

l. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.

Existing and new snow storage areas are onsite and are located at the southeast corner of the lot (4,123 sq. ft.) and along the sides/edges of proposed 20' wide fire access road at north end of site. These locations satisfy this standard.

m. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.

Snow storage areas have been addressed previously, and are shown to be landscaped.

2. Building Design

a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.

Proposed modular colors and roof slopes are similar to existing Sage School building and other nearby buildings in Airport West Subdivision.

b. Standardized corporate building designs are prohibited.

Not applicable.

c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.

As a condition of approval, concrete, asphalt, or paver sidewalks shall be installed where the 6' gravel pedestrian pathways are proposed (between the existing school, modular, and rear parking area) and a sidewalk meeting the same standards shall be installed to connect the pedestrian path between the exiting building and proposed modulares with the sidewalk fronting Aviation Dr. In addition, a proposed partly covered deck and ramp area emphasize pedestrian and human activity is proposed in the plans.

d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.

East elevation facing Aviation Drive includes an elevated roof slope at the center of the modular and 6 windows. It also includes siding shingles, and wood textured siding-board and batt.

e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.

Not applicable. Modulares are proposed to be freestanding/connected to each other with a covered deck and are not an addition to an existing building.

f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.

Exterior walls are proposed to incorporate siding shingles, siding board & batt, siding corrugated metal, window and door trim, and soffit and fascia.

g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.

Exterior colors are from a traditional red color palette and exterior textures include materials common in Hailey and in Airport West in particular. The color palette proposed for exterior walls, trim, and fascia parallels that of the existing onsite building.

h. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:

i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.

Proposed modulares' longer wall planes are on a north-south axis.

ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.

Proposed windows oriented to the south account for 1/8th of the total windows in the project. This equates to 12.5% of the windows being oriented to the south. Roof overhang on the south elevation is minimal (regular modular overhang) and no awnings are proposed.

iii) Double glazed windows.
Proposed windows are vinyl and are double glazed.

iv) Windows with Low Emissivity glazing.
Proposed windows are 3/4" insulated glass.

v) Earth berming against exterior walls
Earth berming against exterior walls is not proposed.

vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.
No alternative is proposed as part of the project.

vii) Exterior light shelves. All windows on the southern most facing side of the building shall have external light shelves installed.
No exterior light shelves are proposed.

i. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.

Gutters and snow clips are proposed over walkways of covered deck areas.

j. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.

Downspouts are proposed along the east elevation near fence area.

3. Accessory Structures, Fences and Equipment/Utilities

a. Accessory structures shall be designed to be compatible with the principal building(s).

Proposed fence fronting Aviation Way will be replaced as existing, except a sidewalk entryway shall be included in it to provide for pedestrian access.

b. Except as otherwise provided herein, accessory structures shall be located at the rear of the property.

Not applicable.

c. Walls and fences shall be constructed of materials compatible with other materials used on the site.

Proposed fence fronting Aviation Way will be replaced as existing, except a sidewalk entryway shall be included in it to provide for pedestrian access.

d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.

Proposed fence fronting Aviation Way will be replaced as existing, except a sidewalk entryway/gateway shall be included within it to provide for pedestrian access. Existing landscaping, including that fronting Aviation Way shall remain.

e. Except as otherwise provided herein, all roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.

No roof-mounted mechanical equipment is proposed in the project.

f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.

No alternative energy is proposed as part of the project.

- g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacles areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.**

No ground-mounted mechanical equipment is shown on the plans.

- h. All service lines into the subject property shall be installed underground.**

Applicant is hereby notified of requirement.

- i. Additional appurtenances shall not be located on existing utility poles.**

Applicant is hereby notified of requirement.

- a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.**

Proposed modular colors and roof slopes are similar to existing Sage School building and other nearby buildings in Airport West Subdivision.

2. Landscaping

- a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.**

Existing onsite landscaping will remain as shown on the plans.

- b. All plant species shall be hardy to the Zone 4 environment.**

Existing onsite landscaping will remain as shown on the plans.

- c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.**

Permanent irrigation system supplying water for all landscaped areas will be re-installed/restored following installation of the proposed buildings.

- d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity.**

Landscaping includes all low-lying shrubs, aspen trees, deciduous trees, and conifer trees shown on landscape plan (A1.2). No new planting areas are included on plans.

- e. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.**

Proposed plans show a dry well onsite for storm water.

f. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).

Existing and previously used landscape maintenance plan is proposed to continue.

8B.1 Outdoor Lighting General Provisions.

a. Title – Article VIII B Hailey Outdoor Lighting Ordinance.

8B.2 Applicability.

8B.2.1 New Lighting. All exterior lighting installed after the effective date of this Article shall conform to the standards established by this Article.

Forte Lighting 1 Light Outdoor Wall Lanterns as shown on attached spec sheets will be installed on exterior of modular.

8B.2.2 Existing Lighting. All existing exterior lighting installed before the effective date of this Article shall be brought into conformance with this Article, except Section 8B.4.3, within the following time periods:

a. All existing exterior lighting located on a subject property that is part of an application for design review approval, a conditional use permit, subdivision approval, or a building permit is required to be brought into conformance with this Article before issuance of a Certificate of Occupancy, final inspection or final plat recordation, when applicable.

All existing exterior lighting on the existing Sage School shall be brought into compliance by replacing exterior lighting not in compliance. These replacements should be accomplished prior to Certificate of Occupancy.

c. All existing exterior lighting on property used for residential, institutional, public and semi-public uses, not affected by Section 8B.2.2 (1) above, that does not comply with this Article is required to be brought into conformance with this Article.

All existing exterior lighting on the existing Sage School shall be brought into conformance by replacing exterior lighting not in conformance.

9.4 On-Site Parking Space Requirements.

9.4.4 Schools.

A. Elementary schools: 1 for every teacher or employee, or 1 space for every two persons rated capacity of all assembly areas, whichever is greater.

Not applicable.

B. Middle schools: 1 for every teacher or employee, or 1 space for every two persons rated capacity of all assembly areas, whichever is greater.

Present enrollment is 13 teachers or employees which requires 13 spaces. A total of 24 spaces

are onsite. There are no assembly areas so 1 space for every two persons rated capacity of assembly areas is not applicable.

C. High schools: 1 for every 5 students and 1 for each teacher and/or employee, or 1 space for every two persons rated capacity of all assembly areas, whichever is greater. Present High School enrollment is 25 students. Dividing this number by 5 equates to 5 parking spaces required for High School Students. Since the same teachers teach both Middle School and High School at the Sage School, the spaces required for Middle School teachers and employees have already been counted. Thus, the total parking spaces required is 5 plus the 13 for the Middle School teachers and employees which equates to a total of 18 spaces required at the Sage School. A total of 24 spaces are onsite which is sufficient as the number of employees or students will not increase with the addition of the proposed modulares.

6A.6 Criteria.

A. The Commission shall determine the following before approval is given:

- 1. The project does not jeopardize the health, safety or welfare of the public.**
- 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**

B. Conditions. The Commission may impose any condition deemed necessary. The Commission may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.

2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete

construction of the improvements.

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) The sewer connection for the modulars shall connect to the sewer line at the north end of the Sage School lot and the water connection for the modular shall connect to the water line at the north east corner of the Sage School lot.
- f) Concrete, asphalt, or paver sidewalks shall be installed where the 6' wide gravel pedestrian pathways are proposed and shown on plans A1.1 and A1.2 (between the existing school, modulars, and the rear parking area) and a sidewalk meeting the same standards shall be installed to connect the pedestrian path between the exiting building and proposed modulars with the sidewalk fronting Aviation Dr.
- g) The trash storage pickup should be relocated to a rear area between the existing building and where the modulars are proposed. The storage area shall be shown on updated plans.
- h) When fence fronting Aviation Way is replaced, it shall include a sidewalk entryway/gateway to provide for pedestrian access.
- i) All new and existing exterior lighting on the school shall comply with the Outdoor Lighting Ordinance. These replacements should be accomplished prior to Certificate of Occupancy.
- j) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- k) This Design Review approval is for plans dated March 15, 2013 (A0.0, A0.1, A2.1, A6.1, A6.2, Outdoor Lighting Spec), and April 16, 2013 (A1.1 & A1.2). The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

Motion Language

Approval:

Motion to approve the design review application by The Sage School for two new 2,880 sq. ft. Modular Classrooms to be located adjacent to the existing Sage School building at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district. finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (k) are met.

Denial:

Motion to deny the design review application by The Sage School for two new 2,880 sq. ft. Modular Classrooms to be located adjacent to the existing Sage School building at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district, finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the design review application by The Sage School for two new 2,880 sq. ft. Modular Classrooms to be located adjacent to the existing Sage School building at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district, to _____ [Commission should specify a date].

City of Hailey - Design Review Application

Submittal Date: ____/____/____

Project Name: The Sage School Portable Classroom Parcel No. _____
Project

RPH 04000040200

Legal Description of Property: Subdivision AIRPORT WEST PHASE 2 Lot(s) 4, Block 2

Street Address of Property: 1451 AVIATION DRIVE, HAILEY, ID 83333

Current Zoning of Property: SCI-SO Year of original construction: N/A

(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable) 8,739 FT.² Proposed addition or new construction sq. ft. _____

Name of Owner of the Property: WM. PIERPOINT (1451 Idaho LLC)

Mailing Address: P.O. Box 5005 City: Rancho Mirage State: CA Zip: 92270-0000

Phone: (208) 788-1035 Fax: () _____ Cell: (208) 309-4028

Email Address: _____

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: by Will Pierpoint Date: 7 / 3 / 2013

Name of individual to contact on behalf of Trust or LLC (if applicable): _____

Mailing Address: _____ City: _____ State: _____ Zip: _____

Phone: () _____ Fax: () _____ Cell: () _____

Email Address: _____

Application Contact (if different than above): Architect: Jolyon Sawrey
NANCY LINSOTT OR HARRY WEEKES (SCHOOL HEAD)

**Application Contact will be the Planning Department's primary point of contact for questions related to the application.

Mailing Address: P.O. Box 30 30 Wyatt Dr. City: HAILEY State: ID Zip: 83333
Bellevue, ID 83313

Phone: (208) 788-0120 Vitalink 720-6315 Cell: (208) 721-2558 (NANCY'S)

Email Address: nancy@thesageschool.org or harry@thesageschool.org or jolyon@vitalinkarchitecture.com

Signature: _____ Date: ____/____/____

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

<input type="checkbox"/> Commercial, Mixed-Use or Multi-Family.....	\$ <u>450.00</u>
plus \$25 / 1,000 gross square feet.....	\$ _____
OR <input type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ 250.00
OR <input type="checkbox"/> No Substantial Impact..... (Mailing only).....	\$ 75.00
OR <input type="checkbox"/> Modification to DR Approval... (No publication or mailing).....	\$ 50.00
OR <input type="checkbox"/> DR Exemption... (No publication or mailing).....	\$ 30.00
Publication cost.....	\$ <u>40.00</u>
Mailing (# of addresses _____) x (_____ postage + .15 paper, envelope & label)	\$ _____
<i>DO NOT COUNTY DUPLICATES OR CITY OF HAILEY</i>	
Total Due.....	\$ _____

1,440 FT² x 2
= 2,880 FT.²
= 50.⁰⁰
450.⁰⁰
50.⁰⁰
40.⁰⁰

City of Hailey - Design Review Application

Submittal Date: ____/____/____

Project Name: _____ Parcel No. _____

RPH _____

Legal Description of Property: Subdivision _____ Lot(s) _____, Block _____

Street Address of Property: _____

Current Zoning of Property: _____ Year of original construction: _____

(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable) _____ Proposed addition or new construction sq. ft. _____

Name of Owner of the Property: _____

Mailing Address: _____ City: _____ State: _____ Zip: _____

Phone: () _____ - _____ Fax: () _____ - _____ Cell: () _____ - _____

Email Address: _____

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: _____ Date: ____/____/____

Name of individual to contact on behalf of Trust or LLC (if applicable): _____

Mailing Address: _____ City: _____ State: _____ Zip: _____

Phone: () _____ - _____ Fax: () _____ - _____ Cell: () _____ - _____

Email Address: _____

Application Contact (if different than above): _____

****Application Contact will be the Planning Department's primary point of contact for questions related to the application.**

Mailing Address: _____ City: _____ State: _____ Zip: _____

Phone: () _____ - _____ Fax: () _____ - _____ Cell: () _____ - _____

Email Address: _____

Signature: _____ Date: ____/____/____

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

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FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

<input checked="" type="checkbox"/> Commercial, Mixed-Use or Multi-Family.....	\$ 450.00
plus \$25 / 1,000 gross square feet..... <u>2800 SF</u>	\$ <u>75.00</u>
OR <input type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ 250.00
OR <input type="checkbox"/> No Substantial Impact.... (Mailing only).....	\$ 75.00
OR <input type="checkbox"/> Modification to DR Approval.. (No publication or mailing).....	\$ 50.00
OR <input type="checkbox"/> DR Exemption... (No publication or mailing).....	\$ 30.00
Publication cost.....	\$ 40.00
Mailing (# of addresses <u>15</u>) x (. <u>46</u> postage + .15 paper, envelope & label)	\$ <u>9.15</u>
<i>DO NOT COUNTY DUPLICATES OR CITY OF HAILEY</i>	
Total Due.....	\$ <u>574.15</u>

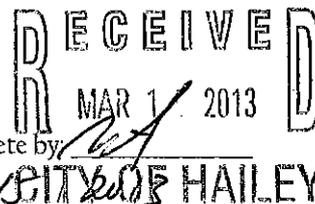
DESIGN REVIEW - CHECKLIST

Project Name: Sage School Modular Classrooms

City Use Only -

Certified Compete by

Date: 3 /



The following items must be submitted with the application for the application to be considered complete (✓):

- One (1) 24" x 36" set of plans with scale indicated containing the following:
- Vicinity map showing project location in relationship to adjacent buildings and surrounding area.
- Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions (must show location of adjacent buildings and structures).
- Total square footage of subject property, including lot dimensions.
- Building setbacks.
- Staging and contractor parking plan.
- Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures).
- Landscape plan
 - Existing tree to be shown as retained/relocated/removed.
 - All proposed species type/size/quantity of each.
 - Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
- Floor plan (include gross square footage for each floor, occupancy classification and type of construction).
- Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
- Drainage plan (grading, catch basins, piping, and dry-wells).
- Detailed elevations showing facade of all sides of proposed building and other exterior elements.
 - Must show elevation points of record grade. Include notes on colors, materials, dimensions.
- Colored rendering of at least one side of the proposed building.
- Idaho licensed architect (plans for single family dwellings may be stamped by an Idaho licensed structural engineer)
- North point and scale.
- Six (6) 11" x 17" copies of any larger plans/maps (if project is located within the Townsite Overlay, then one (1) 11" x 17" copy is sufficient).
- PDF files of all required documents and 11" x 17" plans/maps; email PDFs to planning@haileycityhall.org.
- Color photographs of any existing structures on the site.
- Materials and colors sample board. Each sample approximately 12" x 12".
- Sign Plan (if applicable).
- Area Development Plan (required if property owner also owns adjacent parcels).
- For property located in Airport West, Design Review approval by Airport West Design Board.
- Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- Names and addresses of easement holders within subject property.
- Written statement of how each design review standard is met (contact the Planning Coordinator for which set of standards is applicable to your project).
- Other information as required by the Zoning Administrator, Hearing Examiner or Commission.

City Use Only:

- Double check address
- Advise applicant if Lot Line Adjustment is needed
- Check following basic standards:

<input type="checkbox"/> Density	<input type="checkbox"/> Lot coverage
<input type="checkbox"/> Setbacks	<input type="checkbox"/> Floor area
<input type="checkbox"/> Height (plans must show elevation points of record grade)	<input type="checkbox"/> Parking (# of spaces)



115 MAIN STREET S. SUITE H
 HAILEY, ID 83333
 PHONE: (208) 788-4221
 FAX: (208) 788-2924

INVOICE #	INVOICE DATE
10745	03/15/2013
DUE DATE	CUSTOMER ACCOUNT NUMBER
03/15/2013	7891
AMOUNT DUE	TERMS:
574.15	Open Terms

BILL TO:

THE SAGE SCHOOL, INC.

PO BOX 30
 HAILEY ID 83333

PLEASE DETACH AND RETURN THIS TOP PORTION
 WITH YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY
 115 S MAIN ST STE H
 HAILEY, ID 83333

INVOICE

DESCRIPTION	QUANTITY	CHARGE	EXT. PRICE
PLANNING DESIGN REVIEW	.		450.00
PLANNING DESIGN REVIEW- 2880 SF	.		75.00
PLANNING PUBLICATION	.		40.00
PLANNING MAIL	15.	.61	9.15
			574.15
			TOTAL AMOUNT DUE

THANK YOU FOR YOUR PROMPT PAYMENT
 For Billing Inquiries Call: (208)788-4221
 Office Hours: 9:00 a.m. - 5:00 p.m.
 Monday thru Friday

CITY OF HAILEY
115 MAIN ST SOUTH STE H
HAILEY, ID 83333
208-788-4221

Receipt No: 1.011920 Mar 15, 2013

7891
THE SAGE SCHOOL, INC.
PO BOX 30
HAILEY, ID 83333

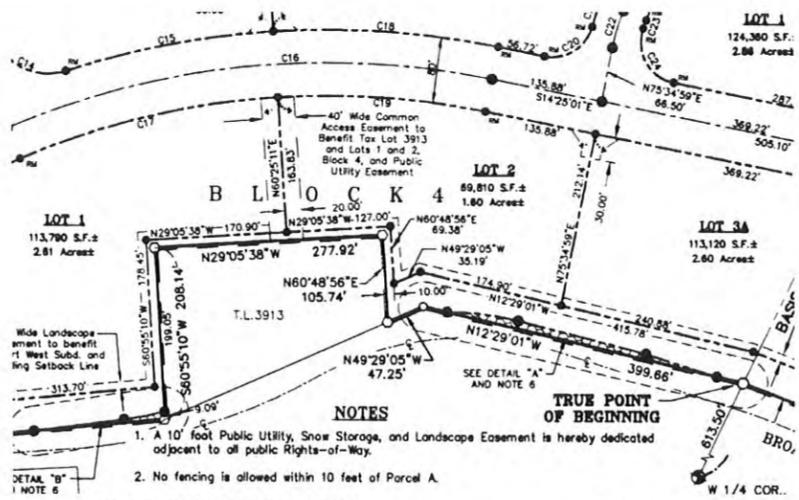
Previous Balance:	574.15
Accounts Receivable	
A/R Payments	574.15
001-00-10700	
Accts Rec Cash Clearing Acct	

New Current Balance:	.00
----------------------	-----

Check	
Check No: 1166	574.15
Total Applied:	574.15

Change Tendered:	.00
------------------	-----

03/15/13 03:39pm



LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT
	DRAINAGE SWELL
	FENCE
	WATER LINE
	POWER LINE
	SNOW STORAGE

PARKING TABULATION:
ARTICLE IX: PARKING & LOADING SPACES

9.4.4 SCHOOLS:

A. ELEMENTARY SCHOOLS- N/A

B. MIDDLE SCHOOLS- 1 FOR EVERY TEACHER OR EMPLOYEE, OR 1 SPACE FOR EVERY TWO PERSONS RATED CAPACITY OF ALL ASSEMBLY AREAS, WHICHEVER IS GREATER.

C. HIGH SCHOOLS- 1 FOR EVERY 5 STUDENTS AND 1 FOR EVERY TEACHER OR EMPLOYEE, OR 1 SPACE FOR EVERY TWO PERSONS RATED CAPACITY OF ALL ASSEMBLY AREAS, WHICHEVER IS GREATER.

THERE ARE NO ASSEMBLY SPACES

PER CODE BASED OCCUPANCY:

TEACHERS/EMPLOYEES = 13
HIGH SCHOOL STUDENTS = 49/5 = 10: 1 MODULAR @ 980 NET SQ.FT. = 49 OCCUPANCY

TOTAL = 23 PARKING SPACES

ACTUAL ENROLLMENT:

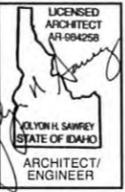
TEACHERS/EMPLOYEES = 13
HIGH SCHOOL STUDENTS = 25/5 = 5

TOTAL = 18 PARKING SPACES REQUIRED

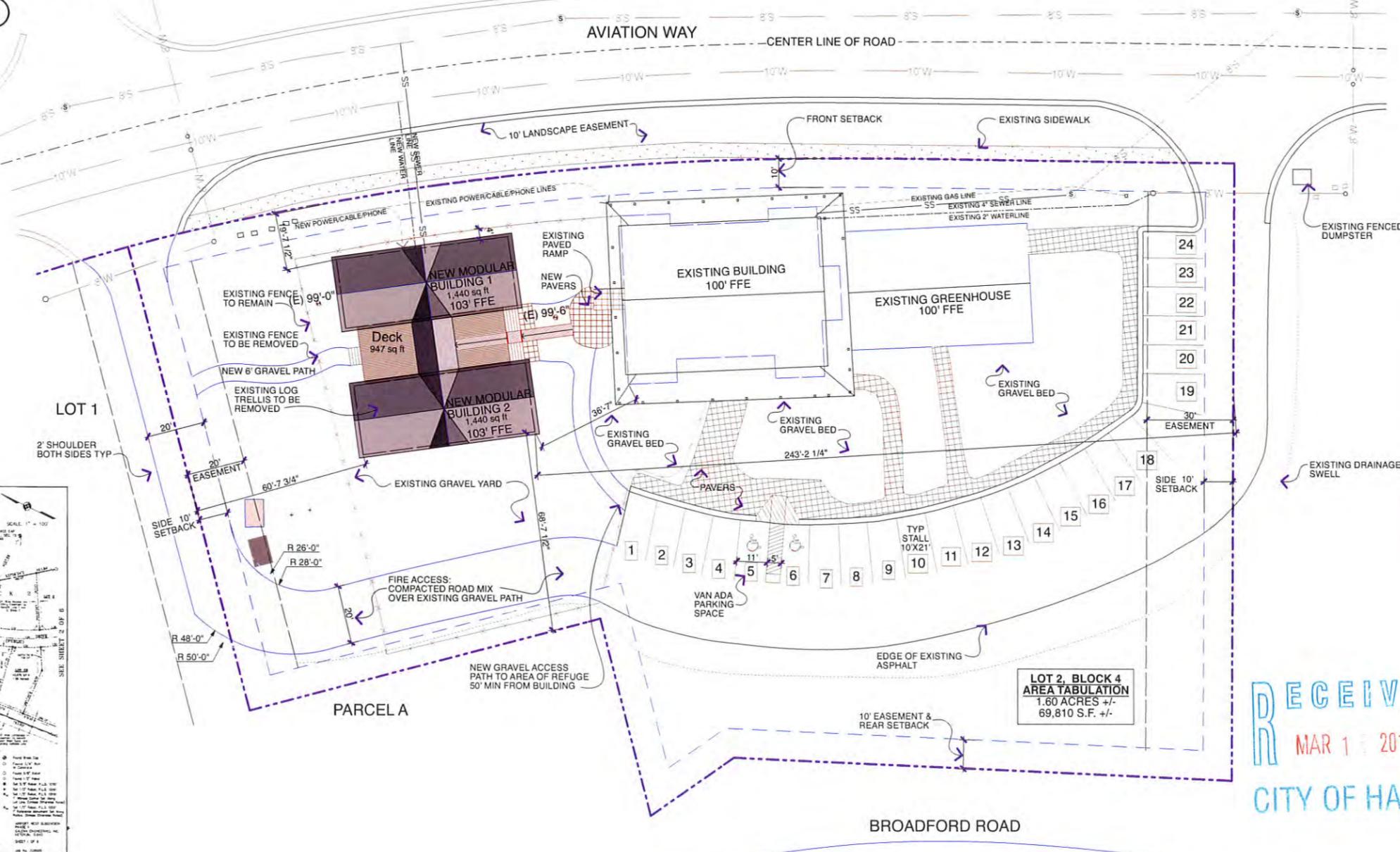
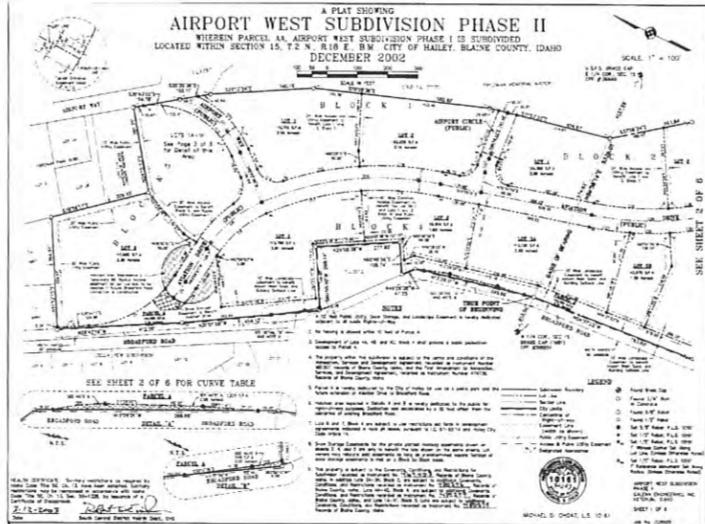
TOTAL PROVIDED = 24 PARKING SPACES

GENERAL NOTES:

- ALL INFORMATION PERTAINING TO EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO GRADES, UTILITY LOCATIONS, LOCATION OF EXISTING STRUCTURES, PAVING, PROPERTY LINES WAS PROVIDED BY THE SAGE SCHOOL. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR INACCURACIES IN THIS INFORMATION. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
- ALL UTILITIES ARE TO BE UNDER GROUND
- DARK SKY COMPLIANT LIGHT FIXTURES ABOVE EACH DOOR OF NEW BUILDINGS. SEE 2/A6.2 FOR LOCATIONS



NEW MODULAR CLASSROOMS:
THE SAGE SCHOOL
IDAHO
HAILEY



Vital Ink, Inc.
Environmental Architecture
& Consulting, LLC

30 Wyatt Drive
Bellevue, Idaho 83813

(208) 720-6315 Ph

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MAR 1 2013
CITY OF HAILEY

REVISIONS

DATE
15 MARCH 2013

SYMBOL LEGEND	
	CONSTRUCTION PARKING
	CONSTRUCTION STAGING AREA
	CONSTRUCTION DUMPSTER
	RECYCLING BIN
	PORTABLE RESTROOM
	CONSTRUCTION AREA OF DISTURBANCE
	CONSTRUCTION ACCESS

PLANT LEGEND	
	EXISTING LOW-LYING SHRUBS
	EXISTING ASPEN TREE
	EXISTING DECIDUOUS
	EXISTING CONIFER TREE

LEGEND	
	PROPERTY LINE
	SETBACK LINE
	EASEMENT
	DRAINAGE SWELL
	FENCE
	WATER LINE
	POWER LINE
	SNOW STORAGE

SNOW STORAGE TABULATION:
HAILEY ZONING ORDINANCE 532: AMENDED BY ORDINANCE 1097

6A.8 DESIGN STANDARDS:
J. SNOW STORAGE AREAS SHALL NOT BE LESS THAN 25% OF IMPROVED PARKING AND VEHICLE AND PEDESTRIAN CIRCULATION AREAS.

EXISTING PARKING, VEHICLE & PEDESTRIAN CIRCULATION:

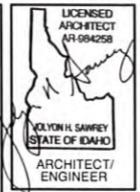
PARKING & VEHICLE CIRCULATION	= 13,718 SQ. FT.
PEDESTRIAN CIRCULATION	= 2,771 SQ. FT.
	= 16,489 X 25% = 4,122.25 SQ. FT.
TOTAL	= 4,123 SQ. FT. REQUIRED

VEHICLE & PEDESTRIAN CIRCULATION:

VEHICLE CIRCULATION	= 5,480 SQ. FT.
PEDESTRIAN CIRCULATION	= 700 SQ. FT.
DECK	= 947 SQ. FT.
	= 7,127 X 25% = 1,781.75
TOTAL	= 1,782 SQ. FT. REQUIRED
TOTAL PROVIDED	= 5,905 SQ. FT. PROVIDED

GENERAL NOTES:

1. ALL INFORMATION PERTAINING TO EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO GRADES, UTILITY LOCATIONS, LOCATION OF EXISTING STRUCTURES, PAVING, PROPERTY LINES WAS PROVIDED BY THE SAGE SCHOOL. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR INACCURACIES IN THIS INFORMATION. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
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NEW MODULAR CLASSROOMS:
THE SAGE SCHOOL
IDAHO
HAILEY



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MAR 15 2013
CITY OF HAILEY

Vital ink
Environmental Architecture
& Consulting
30 Wyatt Drive
Bellevue, Idaho 83313
(208) 726-6315 Ph

REVISIONS

DATE
15 MARCH 2013

A1.2



Photo 5. North elevation of existing building at 1451 Aviation Drive. Proposed portable classrooms would be located in this area.



Photo 3. East elevation of existing buildings at 1451 Aviation Drive. Proposed classrooms will be off the right side of the photo.



Photo 4. View to west of north portion of lot showing location of proposed portable classrooms. Existing fencing and landscaping will be restored following installation and eventual removal of buildings.



Photo 2. South elevation of greenhouse portion of existing building at 1451 Aviation Drive.



Photo 1. West elevation of existing building at 1451 Aviation Drive. Portable classrooms will be off the far left of the photo.

Received by City of Hailey
March 15, 2013

LICENSED
ARCHITECT
AR-984258

KELVIN H. SAWREY
STATE OF IDAHO

ARCHITECT/
ENGINEER

NEW MODULAR CLASSROOMS:
THE SAGE SCHOOL
IDAHO
HAILEY

(208) 720-6315 PH

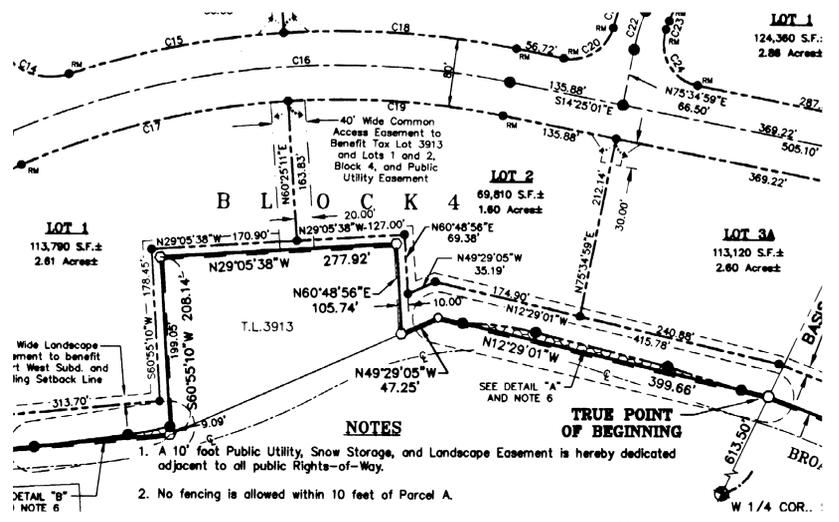
Vital ink nllc
Environmental Architecture
& Consulting AIA

30 Wyatt Drive
Bellevue, Idaho 83313

REVISIONS

DATE
15 MARCH 2013

A0.1



LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT
	DRAINAGE SWELL
	FENCE
	WATER LINE
	POWER LINE
	SNOW STORAGE

PARKING TABULATION:
ARTICLE IX: PARKING & LOADING SPACES

9.4.4 SCHOOLS:
A. ELEMENTARY SCHOOLS- N/A
B. MIDDLE SCHOOLS- 1 FOR EVERY TEACHER OR EMPLOYEE, OR 1 SPACE FOR EVERY TWO PERSONS RATED CAPACITY OF ALL ASSEMBLY AREAS, WHICHEVER IS GREATER.
C. HIGH SCHOOLS- 1 FOR EVERY 5 STUDENTS AND 1 FOR EVERY TEACHER OR EMPLOYEE, OR 1 SPACE FOR EVERY TWO PERSONS RATED CAPACITY OF ALL ASSEMBLY AREAS, WHICHEVER IS GREATER.

THERE ARE NO ASSEMBLY SPACES

PER CODE BASED OCCUPANCY:
TEACHERS/EMPLOYEES = 13
HIGH SCHOOL STUDENTS = 49/5 = 10: 1 MODULAR @ 980 NET SQ.FT. = 49 OCCUPANCY

TOTAL = 23 PARKING SPACES

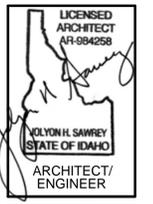
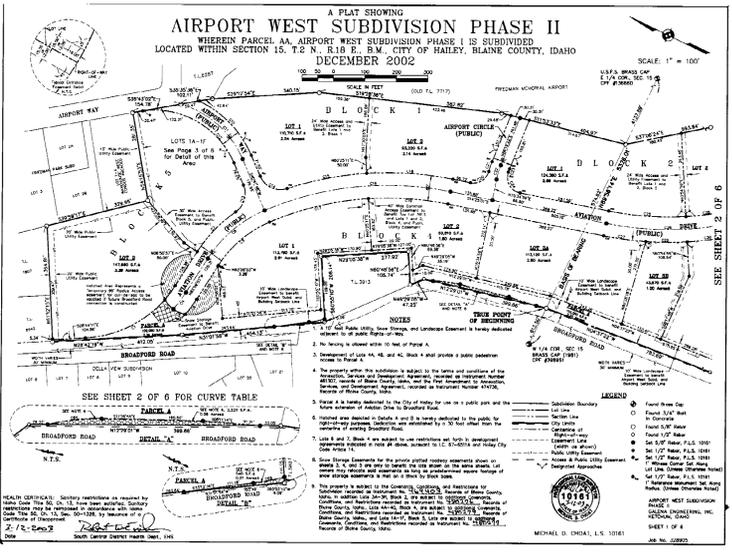
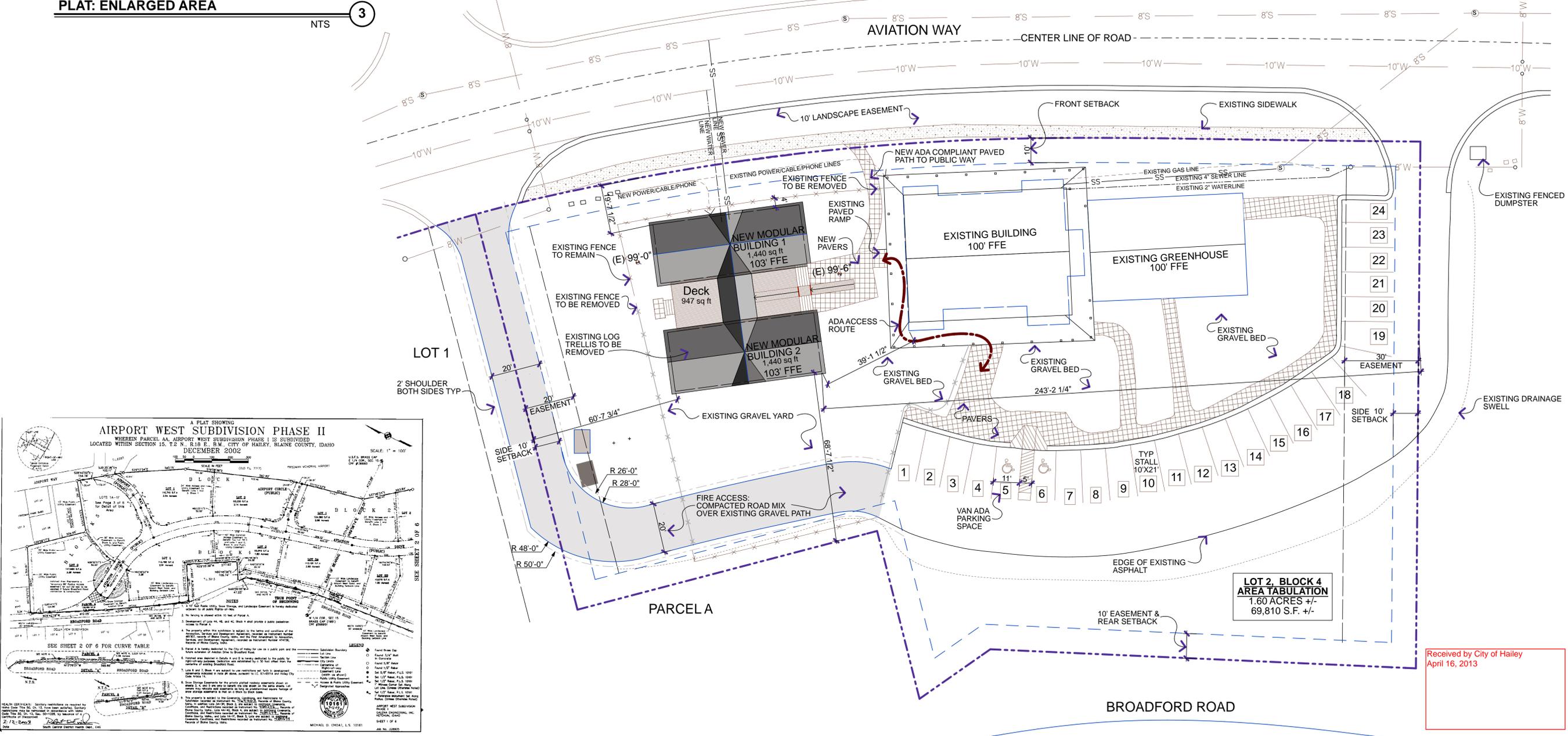
ACTUAL ENROLLMENT:
TEACHERS/EMPLOYEES = 13
HIGH SCHOOL STUDENTS = 25/5 = 5

TOTAL = 18 PARKING SPACES REQUIRED

TOTAL PROVIDED = 24 PARKING SPACES

GENERAL NOTES:

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NEW MODULAR CLASSROOMS:
THE SAGE SCHOOL
HAILEY, IDAHO

Vital Ink, Inc.
Environmental Architecture & Consulting
30 Wyatt Drive
Bellevue, Idaho 83313
(208) 720-6315 PH

REVISIONS

DATE
15 MARCH 2013

A1.1

PLAT: COMPLETE



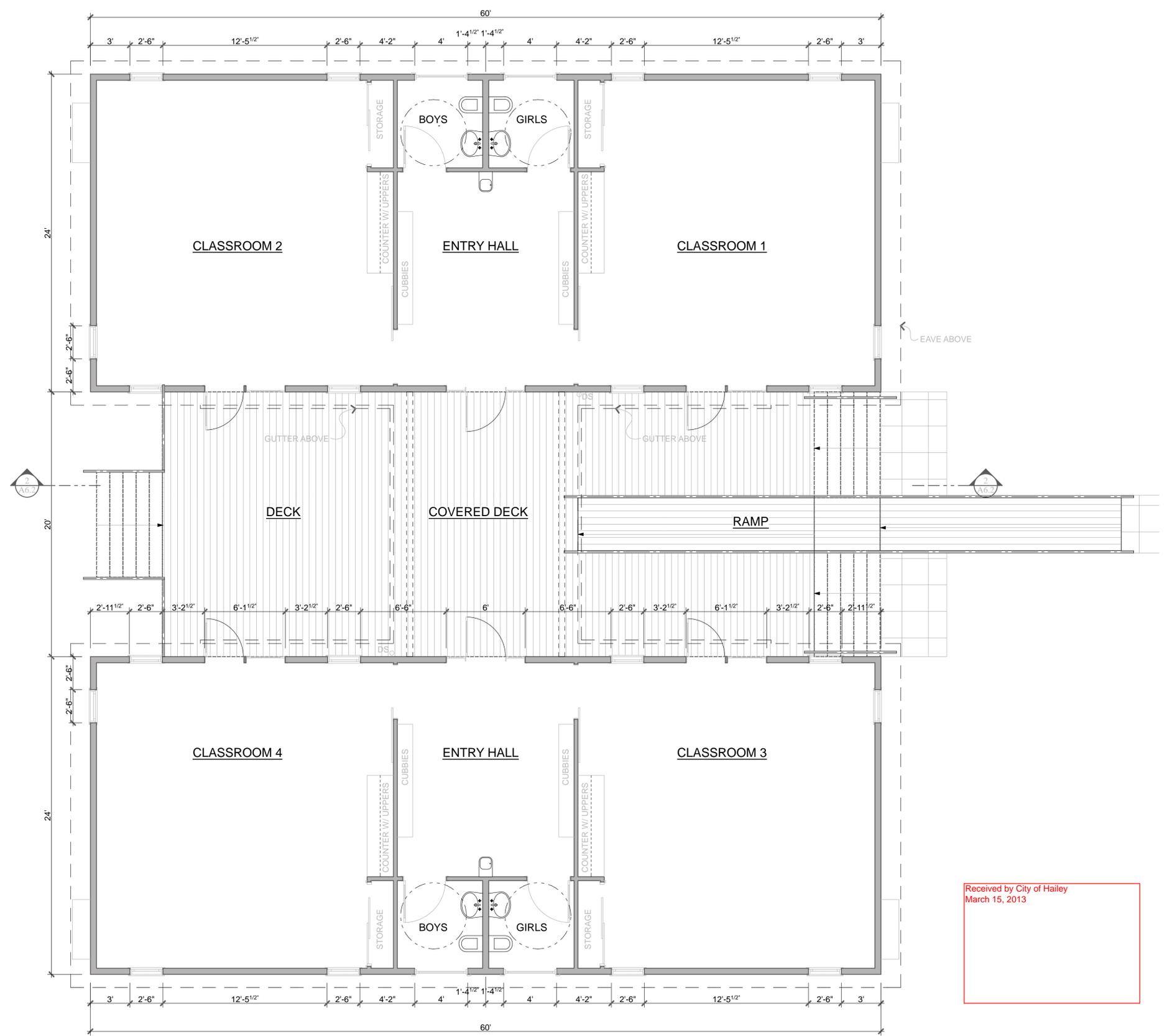
SITE, UTILITY, PARKING, FIRE ACCESS PLAN & PLAT

Received by City of Hailey
April 16, 2013

1"=20'-0"

REVISIONS

DATE
15 MARCH 2013

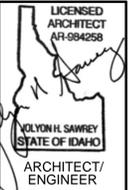


Received by City of Hailey
March 15, 2013



FLOOR PLAN

1/4"=1'-0" **1**



NEW MODULAR CLASSROOMS:
THE SAGE SCHOOL
 IDAHO
 HAILEY

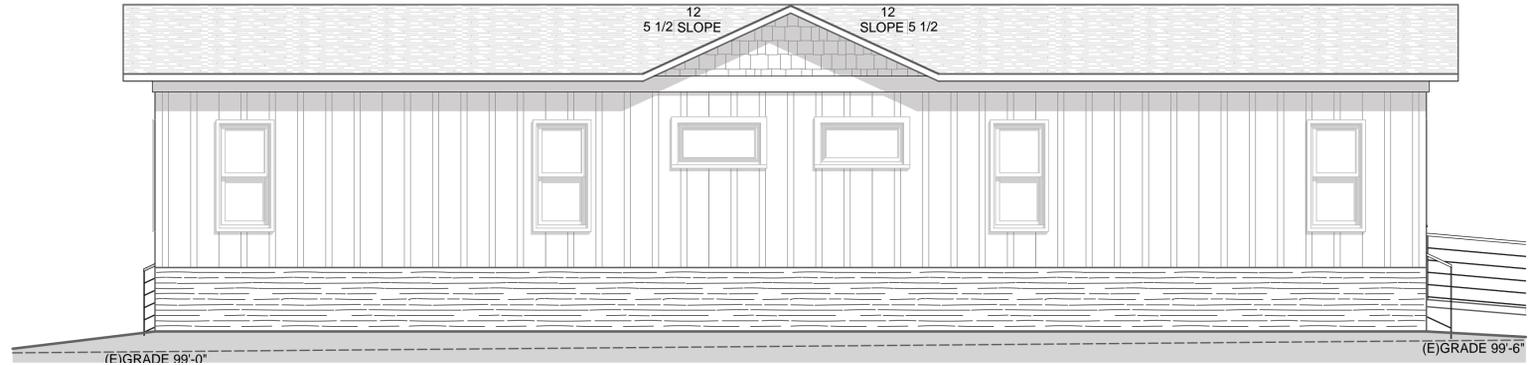
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30 Wyatt Drive
 Bellevue, Idaho 83313

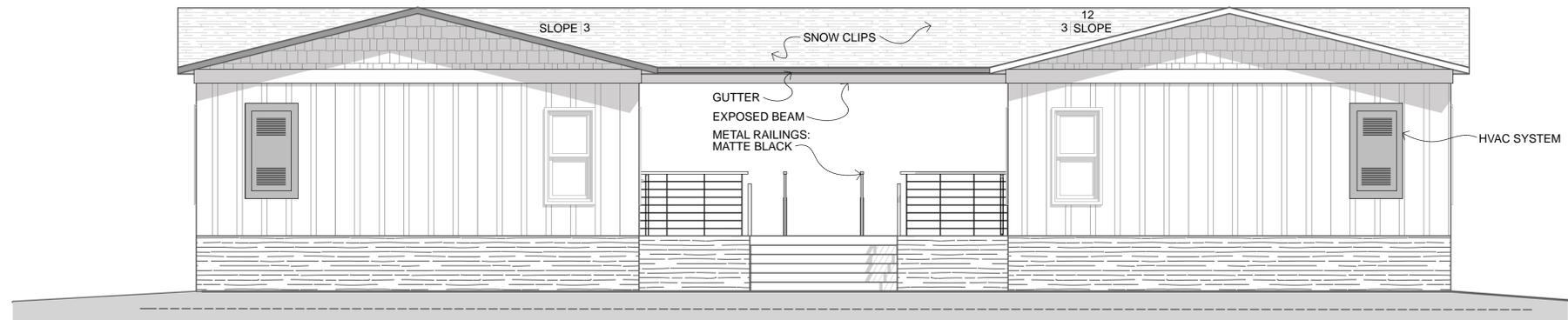
REVISIONS

DATE
 15 MARCH 2013

A6.1

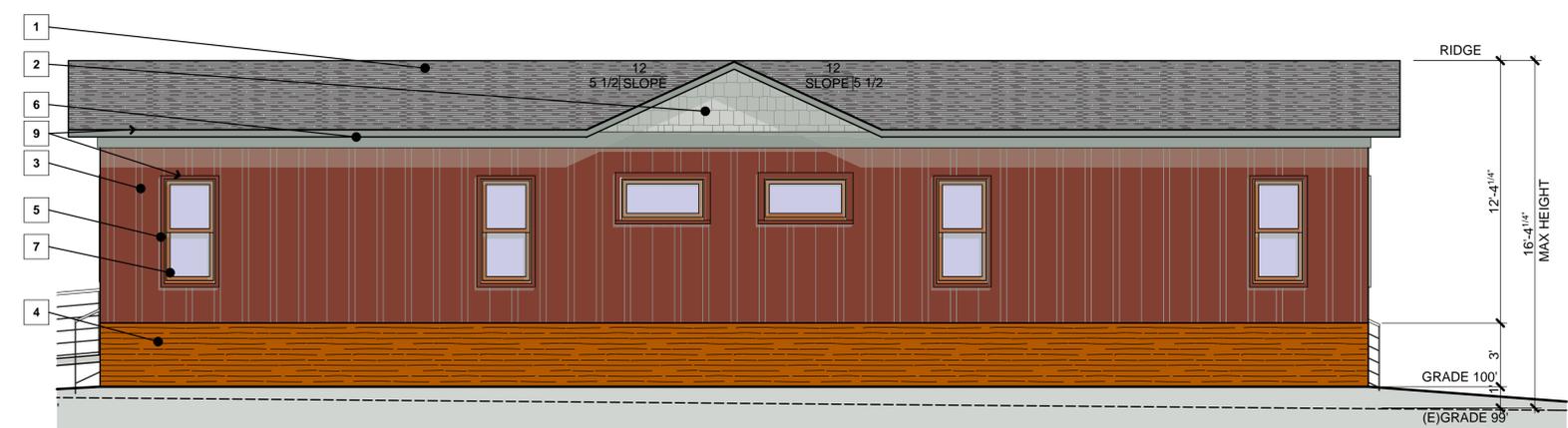


WEST ELEVATION 1/4"=1'-0" 3



NORTH ELEVATION 1/4"=1'-0" 2

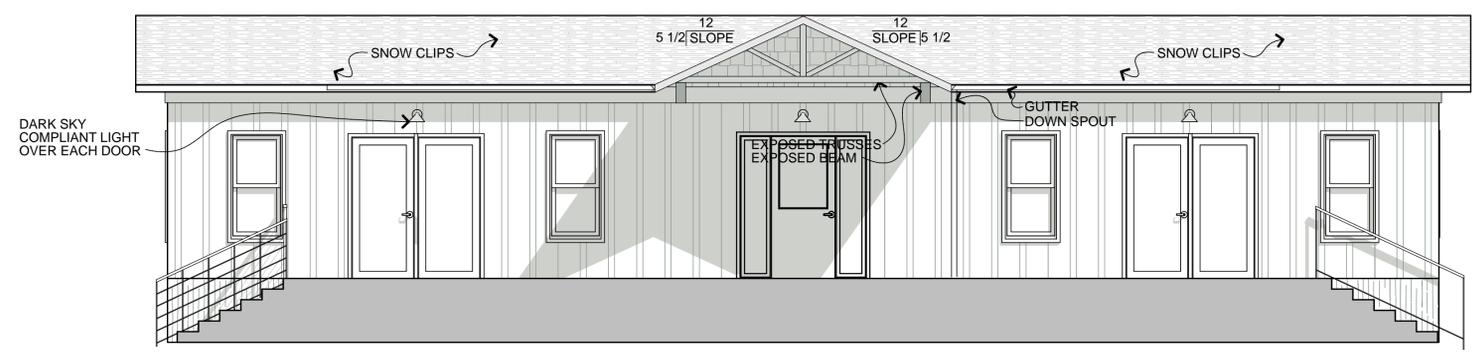
EXTERIOR MATERIALS				
LOC.	MATERIAL	MANUF.	MODEL	FINISH COLOR
1	ROOFING		40 YEAR ASPHALT SHINGLES	ANTIQUE BLACK
2	SIDING- SHINGLES		HARDI SHINGLES- 6" REVEAL	ATTITUDE GREY
3	SIDING- BOARD & BATT		WOOD TEXTURED WOOD COMPOSITE & BATT'S 8" O.C.	CARRIAGE DOOR
4	SIDING- CORRUGATED METAL		CORTEN	NATURAL RUST
5	WINDOW & DOOR TRIM		WOOD TEXTURED WOOD COMPOSITE	CARRIAGE DOOR
6	2X BAND, SOFFIT & FASCIA		WOOD TEXTURED WOOD COMPOSITE	ROCK BOTTOM
7	WINDOWS		VINYL	ALMOND
8	DOORS		METAL	ROCK BOTTOM
9	FLASHING-		METAL FLASHING WITH HEMED DRIP EDGE(WHERE APPLICABLE), 24G.	BLACK



EAST ELEVATION 1/4"=1'-0" 1

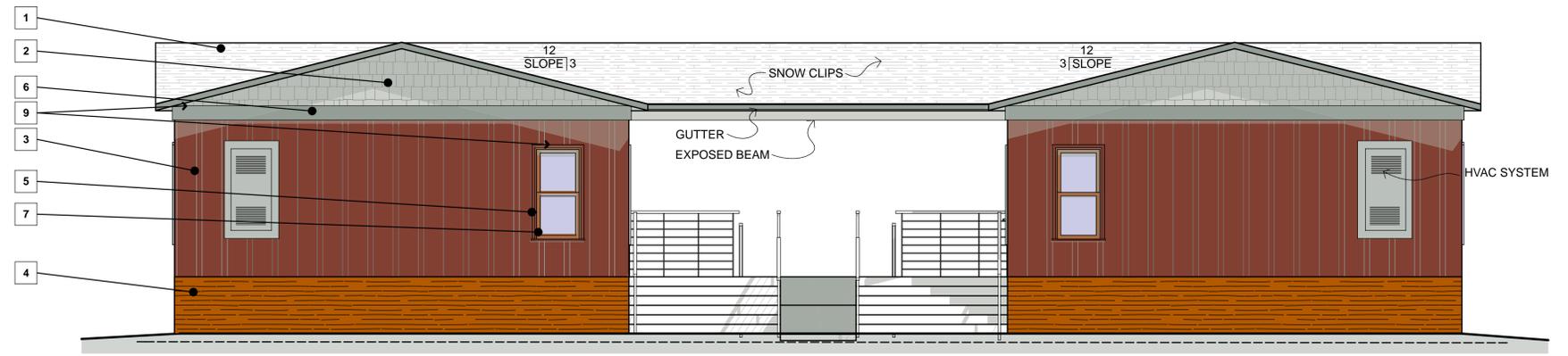
Received by City of Hailey
 March 16, 2013

Received by City of Hailey March 15, 2013



SECTION/ELEVATION LOOKING EAST 2
1/4"=1'-0"

EXTERIOR MATERIALS				
LOC.	MATERIAL	MANUF.	MODEL	FINISH COLOR
1	ROOFING		40 YEAR ASPHALT SHINGLES	ANTIQUE BLACK
2	SIDING- SHINGLES		HARDI SHINGLES- 6" REVEAL	ATTITUDE GREY
3	SIDING- BOARD & BATT		WOOD TEXTURED WOOD COMPOSITE & BATT'S 8" O.C.	CARRIAGE DOOR
4	SIDING- CORRUGATED METAL		CORTEN	NATURAL RUST
5	WINDOW & DOOR TRIM		WOOD TEXTURED WOOD COMPOSITE	CARRIAGE DOOR
6	2X BAND, SOFFIT & FASCIA		WOOD TEXTURED WOOD COMPOSITE	ROCK BOTTOM
7	WINDOWS		VINYL	ALMOND
8	DOORS		METAL	ROCK BOTTOM
9	FLASHING-		METAL FLASHING WITH HEMED DRIP EDGE(WHERE APPLICABLE), 24G.	BLACK



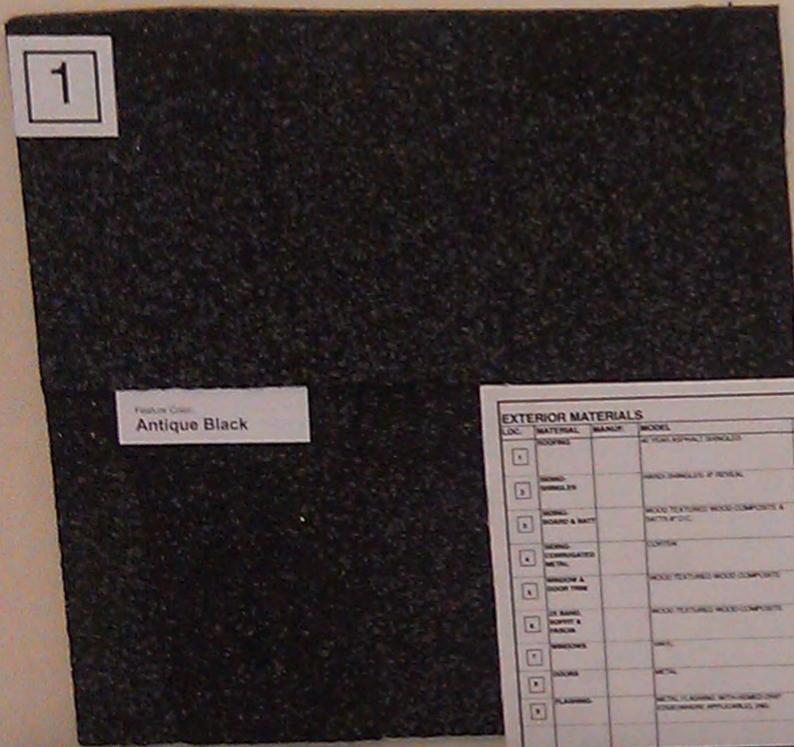
SOUTH ELEVATION 1
1/4"=1'-0"

THE SAGE SCHOOL

NEW MODULAR CLASSROOMS



EAST ELEVATION



Feature Color:
Antique Black

EXTERIOR MATERIALS			
LOC.	MATERIAL	FINISH	COLOR
1	ROOFING	40 YEAR ASPHALT SHINGLES	ANTIQUE BLACK
2	SIDING	HAND SHINGLES OF REDWOOD	ANTIQUE GRAY
3	ROOFING	WOOD TEXTURED WOOD COMPOSITE & BATTLES OF PVC	CARRIAGE OAK
4	ROOFING	CORTEX	NATURAL RED
5	ROOFING & FLOOR TRIM	WOOD TEXTURED WOOD COMPOSITE	CARRIAGE OAK
6	DR. BARR.	WOOD TEXTURED WOOD COMPOSITE	WICK BOTTLE
7	ROOFING & FLOOR	WICK	ALMOND
8	ROOFING	METAL	WICK BOTTLE
9	GLASSING	METAL CLADDING WITH WICKED GRIP	BLACK



WESTERN WINDOW

Details...



WESTERN
SELECT

Features & Benefits

Feature

- ✓ 1 3/8" Nail Fin Setback
- ✓ .067" Exterior Wall Thickness
- ✓ Dedicated Picture Frame
- ✓ Welded Frame and Sash
- ✓ Double Wall Pocket Sill
- ✓ 3" Frame Depth
- ✓ Integral Stucco Nubs
- ✓ Integral Sash/Meeting Rail Interlocks with Weatherstripping
- ✓ 3/4" Insulated Glass
- ✓ Clear Grid Buttons
- ✓ Exterior Glazing
- ✓ "T" Mullion
- ✓ Hollows in the Frames, Sash and Meeting Rail
- ✓ Double-wall Interior Dam Leg
- ✓ Structural Testing per AAMA Thermal Testing/Simulations per NFRC
- ✓ Baffled Weep System
- ✓ White & Almond Colors

Benefit

- ✓ Allows convenient installation for various construction materials and styles
- ✓ Strength and stability of frame and sash
- ✓ Compliments the main frame, designed to accommodate large sizes
- ✓ Provides strength and durability; protection from air and water penetration
- ✓ Provides excellent unit strength and structural performance
- ✓ Ideal for new construction; Finished unit has strength and stability
- ✓ Frame designed to accommodate Stucco application
- ✓ Provides a positive interlock and a dual seal between the transom and the lock rail
- ✓ Secures grid and reduces noise
- ✓ Provides optimal thermal performance
- ✓ Ensures weathertight, joint free surfaces on the interior
- ✓ Reduces cost of twin and triple units; improves the appearance
- ✓ For maximum reinforcement of large size units and maximum thermal performance
- ✓ Provides additional structural rigidity and reduces "cupping" of the dam leg
- ✓ Documented performance results from recognized national agencies
- ✓ Improved drainage and reduced air infiltration
- ✓ Design flexibility



Window Type	Model	ANSI AAMA 1114.5.2.77	NFRC Certified with Low-e Coated Glass	Energy Star Qualified	STC Rated 17" 3/16"
Single-Slider	1105	Yes	33	Yes	31
Single-Hung	1305	Yes	34	Yes	32
Picture	1205	Yes	33	Yes	31

EXISTING DOWNCAST LIGHT FIXTURES MEET THE 85 DEGREE CUT OFF RULE NOT ONLY WITH FIXTURE COVER BUT WITH PLACEMENT UNDER THE COVERED PORCH



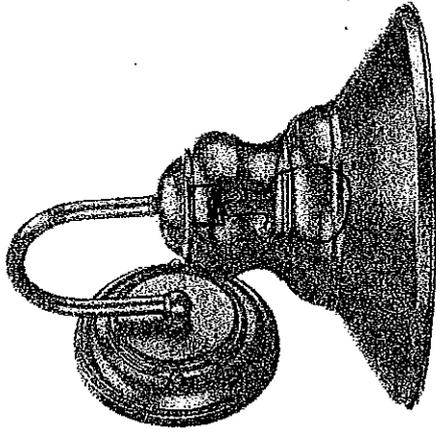
EXISTING WALL MOUNT FIXTURE THAT IS NOT COMPLIANT. THIS FIXTURE WILL EITHER BE:
1. REMOVED AND OUTLET BOX CAPPED
2. A NEW WALL MOUNT FIXTURE THAT MATCHES THE SUBMITTED SPEC SHEET FOR LIGHT FIXTURES TO BE ADDED TO THE MODULAR BUILDINGS WILL BE INSTALLED



Forte Lighting 1027-01-32DS Traditional / Classic 1 Light Outdoor Wall Sconce

Model #: 1027-01-32DS

FORTE
LIGHTING



Finish: Antique Bronze

Product Videos



Watch Justin Bergson's installation of the Forte Lighting 1027-01-32DS.

Learn how to change out your wall sconce to update your home. Follow Justin Bergson as he shows you the step-by-step procedure in making this project a quick and simple one.

Product Details for the Forte Lighting 1027-01-32DS

Forte Lighting 1 Light Outdoor Wall Lantern

Features:

- Dark Sky Compliant
- 9.25" Width x 9.5" Height x 9.25" Extension



ing and reading on April 4th, Thursday at 10:00 AM. Bids will be received at: The Blaine County School District Office 118 West Bullion Street, Hailey, Idaho, 83333

By
Laurie Kaufman
Clerk of the Board

PUBLISH:
IDAHO MOUNTAIN EXPRESS
March 27, & April 3, 2013

NOTICE OF PUBLIC HEARING
HAILEY PLANNING AND ZONING
COMMISSION
Monday, April 22, 2013

Public Notice is hereby given that the Hailey Planning and Zoning Commission

Departments, Community Development, click on Current Applications. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall. Any and all interested persons are invited to submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org or call (208) 788-9815

PUBLISH:
IDAHO MOUNTAIN EXPRESS
March 27, 2013

NOTICES OF
TRUSTEE'S SALES

Trustee has no knowledge of a more particular description of the above referenced real property, but for purposes of compliance with Section 60-113 Idaho Code, the Trustee has been informed that the address of 102 WILLOW RD, HAILEY, ID 83333 is sometimes associated with said real property. Said sale will be made without covenant or warranty regarding title, possession or encumbrances to satisfy the obligation secured by and pursuant to the power of sale conferred in the Deed of Trust executed by STEPHEN W GREER, A MARRIED MAN AS HIS SOLE AND SEPARATE PROPERTY as Grantor/Trustor, in which MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC., AS NOMINEE FOR GREENPOINT MORTGAGE FUNDING, INC., is named as Beneficiary and BLAINE COUNTY TITLE as Trustee and

KNOWLEDGE OF A MORE PARTICULAR DESCRIPTION OF THE ABOVE-DESCRIBED PROPERTY, BUT FOR PURPOSE COMPLIANCE WITH IDAHO CODE SECTION 60-113. THE TRUSTEE BEEN INFORMED THAT THE STREET ADDRESS OF: 302 Eagle Creek Ketchum, ID 83340, MAY SOMETIME BE ASSOCIATED WITH SAID PROPERTY.

If the successful bidder cannot provide the bid price by means of one above means of payment, the sale is postponed for 10 minutes only to the high bidder to obtain payment form prescribed herein above. If the bidder is unsuccessful in obtaining payment as directed within 10 minute sale will be re-held immediately and bid by the high bidder from the pre

LEGAL NOTICES

NOTICE OF TRUSTEE'S SALE

Notice of Trustee's Sale Idaho Code 45-1506 Today's date: February 21, 2013 File No: 7021.14937 Sale date and time (local time): June 24, 2013 at 11:00 AM Sale location: in the office of First American Title Company, 120 2nd Avenue North, Suite 101, Ketchum, ID 83340 Property address: 660 Second Avenue South #3 Ketchum, ID 83340 Successor Trustee: Northwest Trustee Services, Inc. an Idaho Corporation P.O. Box 997 Bellevue, WA 98009 (425) 566-1900 Deed of Trust information Original grantor: Michael Jaffe and Rhonda Jaffe, husband and wife Original trustee: LS Title of Washington Original beneficiary: Mortgage Electronic Registration Systems, Inc. solely as nominee for Countrywide Bank, N.A. Recording date: 10/31/2006 Recorder's instrument number: 541287 and Modified January 30, 2007 as Instrument No. 544318 County: Blaine Sum owing on the obligation, as of February 21, 2013: \$265,945.68 Because of interest, late charges and other charges that may vary from day to day, the amount due on the day you pay may be greater. Hence, if you pay the amount shown above, an adjustment may be necessary after we receive your check. For further information write or call the Successor Trustee at the address or telephone number provided above. Basis of default: failure to make payments when due. Please take notice that the Successor Trustee will sell at public auction to the highest bidder for certified funds or equivalent the property described above. The property address is identified to comply with IC 60-113 but is not warranted to be correct. The property's legal description is: Situated in the County of Blaine and State of Idaho: Unit 3 in Building A as shown on the Condominium Map for Westridge Condominiums Phase 1, recorded as Instrument No. 451304, and as defined and described in the Condominium Declaration for Westridge

recorded 6/26/2006 as Instrument No. 536761 in book xxx, page xxx, of Official Records in the office of the Recorder of BLAINE County Idaho. Please Note: The above Grantors are named to comply with section 45-1506(4)(A) Idaho Code. No representation is made that they are, or are not presently responsible for this obligation set forth herein. The Default for which this sale is to be made is the failure to pay when due, under Deed of Trust and Note dated 6/20/2006. The monthly installments of principal, interest, and impounds (if applicable) of \$3,968.62, due per month for the months of 3/1/2010 through 10/18/2010, and all subsequent installments until the date of sale or reinstatement. The principal balance owing as of this date on the obligation secured by said Deed of Trust is \$584,000.00 together with interest thereon at the current rate of 7.3750 per cent (%) per annum from 2/1/2010. All delinquent amounts are now due, together with accruing late charges, and interest, unpaid and accruing taxes, assessments, trustee's fees, attorney's fees, and any amounts advanced to protect the security associated with this foreclosure and that the beneficiary elects to sell or cause the trust property to be sold to satisfy said obligation. If the Trustee is unable to convey title for any reason, the successful bidder's sole and exclusive remedy shall be the return of monies paid to the Trustee and the successful bidder shall have no further recourse. If the sale is set aside for any reason, the Purchaser at the sale shall be entitled only to a return of the deposit paid. The Purchaser shall have no further recourse against the Mortgagor, the Mortgagee, or the Mortgagee's Attorney. Date: 2/21/2013 By: Pioneer Title Company of Ada County dba Pioneer Lender Trustee Services as Trustee By: Quality Loan Service Corp. of Washington, a Washington Corporation, its attorney-in-fact 2141 5th Avenue San Diego, CA 92101 Tricia Moreno, Assistant Secretary For Sale Information Call: 714-730-2727 or Log on: [sale, will be rejected, all in accordance with Idaho Code 45-1502 et. Sec. Said sale will be made without covenant or warranty regarding title, possession or encumbrances to satisfy the obligation secured by and pursuant to the power of sale conferred in the Deed of Trust executed by Andrew Dike Grantor as a single person as Grantor to First Title & Escrow Corp as Successor Trustee for the benefit and security of Federal National Mortgage Association as Successor Beneficiary recorded September 17, 2009 as Instrument No. 571133. Mortgage recorded Blaine County, Idaho. THE ABOVE GRANTORS ARE NAMED TO COMPLY WITH SECTION 45-1506\(4\)\(a\) IDAHO CODE. NO REPRESENTATION IS MADE THAT THEY ARE, OR ARE PRESENTLY RESPONSIBLE FOR THIS OBLIGATION. The default for which this sale is made is failure to: Make principal and interest pay as set forth on said Deed of Trust Promissory Note. The original amount was \\$279,000.00 together with interest thereon at the rate of 4.875 per annum, as evidenced in Promissory Note dated August 31, 2005. Pay are in default for the months of February 2012 through and including February 2013 in the amount of \\$1,476.44 month and continuing each and every month thereafter until date of reinstatement. The principal balance as of February 5, 2013 is \\$266,911.55 together with accrued and accruing interest thereon at the rate of 4.87500 per annum. In addition to the above, is also due any late charges, advance escrow collection fees, attorney fees or costs associated with this foreclosure. The balance owing as of this date on the obligation secured by said Deed of Trust is \\$266,911.55, excluding interest, costs and expenses actually incurred in enforcing the obligations thereon in this sale, or trustee's fees.](http://www.</p></div><div data-bbox=)

will hold a Public Meeting at 6:30 p.m. on Monday, April 22, 2013, to be held in the upstairs meeting room of Hailey City Hall and will hold Public Hearings on the following items:

- Consideration of an Application by The Sage School for Design Review of two new 2,880 sq. ft. modular classrooms to be located at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.
- Consideration of Text Amendment Application by Portage Bay Partners for an amendment to Section 4.12 of the Zoning Ordinance which regulates the Service Commercial Industrial SCI-4 sub-zoning district. The proposed amendment would specifically revise 4.12.3.4 by adding subsection 1. to say "Interior lot lines used for the purpose of delineating creating commercial lots shall be allowed zero setbacks" and changing subsection 2. to be "Minimum Lot size - None."

Any and all interested persons are invited to attend this public hearing or submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org. Supporting documents for this item(s) can be viewed on the City of Hailey's website as of the date of this publication, go to www.haileycityhall.org, under Meeting click on the Planning and Zoning Commission and select the link for the most current Planning and Zoning agenda. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208-788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this notice, or for special accommodations to participate in the noticed meeting please contact planning@haileycityhall.org or (208) 788-9815.

PUBLISH:
IDAHO MOUNTAIN EXPRESS
March 27, 2013

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

April 4, 2013

Dear Property Owner:

Your property has been identified as being located within 300 feet of the property listed below; this letter is being sent to you to give you the opportunity to comment on the following application related to this property:

- Consideration of an Application by The Sage School for Design Review of two new 2,880 sq. ft. modular classrooms to be located at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.

A map showing the location of the property and renderings of the building are included with this letter.

A public hearing will be held on this application as part of the Hailey Planning and Zoning Commission's meeting on **Monday, April 22, 2013**, at 6:30 p.m., at Hailey City Hall. You are invited to attend this public hearing and/or submit written comments to the Principal Planner at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

March 21, 2013

Dear Public Agency:

The Hailey Planning and Zoning Commission will hold a public hearing on the item(s) listed below on **Monday, April 22, 2013**, at 6:30 p.m., Hailey City Hall.

- Consideration of an Application by The Sage School for Design Review of two new 2,880 sq. ft. modular classrooms to be located at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.
- Consideration of a City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by deleting the following sections and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5, 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4. All zoning requirements from the preceding sections will be consolidated into the District Use Matrix. The proposed amendment's objective is to make the Zoning Ordinance easier to understand and interpret. For a copy of the proposed District Use Matrix, please email planning@haileycityhall.org.

This Notice is issued pursuant to Idaho State Code (Local Land Use Planning Act), Section 67-6509, whereby notice must be provided to all political subdivisions providing services within the planning jurisdiction at least 15 days prior to public hearings regarding proposed amendments to the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, or any other land use ordinance.

You are invited to attend this public hearing or submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.

COLETTE M. EVANS, PH.D.

109 Shawnee Ln
Hailey, ID, 83333

T 208.720.9718

inspire@q.com

www.inspirepeace.info

RECEIVED
MAR 22 2013
BY: BB, MA

March 21, 2013
City of Hailey
Community Development Department
Attn: Bart Bingham
115 Main Street South, Suite H
Hailey, ID 83333

Dear Mr. Bart Bingham:

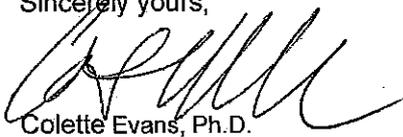
I am writing in support for the Planning and Zoning approval for the addition of modular units to house The Sage School growing student body population. The school is a tremendous asset to the community. The students are actively involved by helping organizations in the community and learning what it takes to become an active participant in the larger community.

Our son, Tobias Verheijen, is currently an 8th grader at The Sage School. He entered the school at 6th grade and absolutely loves the philosophy and educational rigor of the school. The greenhouse and current location is such an asset to educational experience of the students.

One of the most compelling aspects of the school is it's involvement in the surrounding community. The students are busy making pies for the Hunger Coalition, working in their own greenhouse, and volunteering at a variety of community non-profit organizations. The idea of community is central to the school's mission. Having all the students housed on one property, is ideal to encourage the sense of community, ease access to work in the greenhouse, and active participation in the community.

There is a high demand for students to attend The Sage School. As the population grows, we hope that you'll support their growth and idea of community by allowing the approval of the modular units for the current location. To have all the students on one site is ideal to help support the mission of the school. Thank you for your support in this matter.

Sincerely yours,



Colette Evans, Ph.D.

Bart Bingham

From: Susan Michael <susiemichael@cox.net>
Sent: Monday, April 01, 2013 6:02 PM
To: Bart Bingham
Subject: The Sage School

Bart,
I write you in favor of approving the portable classrooms proposed for the The Sage School in Hailey. My son is in his second year at Sage and it is the best educational fit we've found in the valley. I personally fully support the school's mission and do what I can to further its development. An necessary part of how The Sage School teaching/learning methods succeed is through community. Having all the students on the same campus is wildly important. Having viable educational options is crucial for the benefit of our valley's young people, especially successful models like The Sage School. Please know that a favorable vote for the addition of these portable classrooms will bring many fold benefits to a visionary educational community. As a parent doing my best to provide the education my son needs, I thank you in advance for supporting the growth of The Sage School.

Sincerely,
Susan Michael

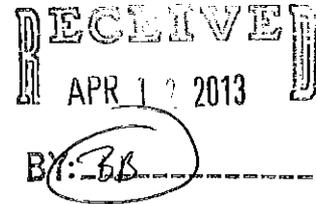
Box 42
Ketchum

726.3730

Anne Winton & John Marsh
PO Box 777
Ketchum, ID 83340
(208) 788-0025

April 10, 2013

Bart Bingham > bart.bingham@haileycityhall.org
Community Development Department
115 Main Street South, Suite H
Hailey, ID 83333



re: Design Review Application > The Sage School

Hello Mr. Bingham >

We are writing to encourage you to please approve the Application from The Sage School for two portable classrooms at their current facility on 1451 Aviation Drive in Hailey.

Our child has attended The Sage School for three years at its current location on Aviation Drive. As you probably know, The Sage School offers an incredible educational opportunity for roughly 60 young people in our Valley. The teachers & administrators are exceptional, bright, dedicated educators; the parents & students who attend are extraordinary folks from all walks of life in our Valley; the curriculum is unique and challenging, highly personalized with a special mission, community-oriented and environmentally sensitive; the Facility is the best it can be considering unimagined growth over a few short years. What you may not know is enrollment has doubled each of the past three years to the point where an off-site classroom just up the street was required this year, and sadly there are waiting lists for some grade levels.

Being able to house all students, teachers and activities in one location is very important, which will make possible the continued and exciting growth of this school. Our child attended Pioneer Montessori School in Ketchum from grades Pre-School through 6th Grade. During these years, that school as well was a rapidly growing, popular environment, and now an established primary & elementary education alternative, in one campus location on Second Avenue. Our child was in the leading class as they expanded their grades, he was for a couple years in a classroom located off-sight in Trail Creek Village due to lack of space at the Second Ave campus until they purchased an adjacent building. While this all worked out, there was an obvious separation and disconnect for him, to the other young peers at the school, and the teachers, administrators, tools and sense of community the entire school at one location now offers.

As The Sage School continues to grow, it will be in everyone's best interest to have the entire school at one campus, especially the students, not only for educational reasons as well as teacher & administrator accessibility, but also for recreational reasons ... to participate and play with the entire student community of similar ages at the same campus, to enjoy and bond with a larger contingent of peers. For many, these students will continue to share educational experiences through high school.

Thank you ...

A handwritten signature in black ink that reads "Anne Winton & John Marsh".

Anne Winton & John Marsh

cc Harry Weekes

DIRECTOR'S OFFICE
300 N 6th Street Suite 103
PO Box 83720
Boise ID 83720-0050
Phone (208) 334-0200
Fax (208) 334-5342



STATE BOARD OF LAND COMMISSIONERS
C. L. "Butch" Otter, Governor
Ben Ysursa, Secretary of State
Lawrence G. Wasden, Attorney General
Brandon D. Woolf, State Controller
Tom Luna, Sup't of Public Instruction

April 16, 2013

Micah Austin
Community Development Director
City of Hailey
115 Main Street South, Suite H
Hailey, ID 83333

e-mail to: planning@haileycityhall.org

RE:

- 1. Sage School, Design Review Approval for the Installation of Two Modular Classrooms on Property Located at 1451 Aviation Drive, Hailey, Idaho**
- 2. Zoning Ordinance Amendment to Hailey Zoning Ordinance #532 to Update the District Use Matrix**

Dear Mr. Austin:

Thank you for the opportunity to review and comment on the applications as noted above.

As you may know, Idaho Department of Lands' (IDL) mission is to manage State Endowment Trust Lands (Endowment Lands) in a manner that will maximize long-term financial returns to the Beneficiary Institutions. The IDL mission is a constitutional mandate and is overseen by the State Board of Land Commissioners. Endowment Lands are not managed for the public at large and should not be referred to as "public lands" or "open space," either specifically or in a generic sense. These are working lands producing revenue for the Beneficiary Institutions.

IDL has reviewed the public hearing notice provided by the City of Hailey for the requests as listed above. Based on the documentation provided to IDL, the applications will not impact Endowment Lands at this time. Should the applications be modified during the review or approval process, IDL requests that updated information be submitted to the Eastern Area Office for additional review.

Thank you again for the opportunity to review and comment on these applications. Please contact our Eastern Area Manager Pat Brown at (208) 525-7167 or myself at (208) 334-0262, if you have questions or need more information.

Sincerely,

Julianne Shaw
Assistant Planner

cc: Patrick A. Brown, Eastern Area Manager
Kate Langford, Strategic Business Analyst – Planning

"Trusted Stewards of Idaho's Resources, From Main Street to Mountaintop"

STAFF REPORT

TO: Hailey Planning and Zoning Commission

FROM: Micah Austin, Community Development Director

RE: Zoning Ordinance Amendment –City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by deleting the following sections and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5 , 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4. All zoning requirements from the preceding sections will be consolidated into the District Use Matrix. The proposed amendment’s objective is to make the Zoning Ordinance easier to understand and interpret.

HEARING: April 22, 2013

Notice

Notice for the public hearing was published in the Idaho Mountain Express on April 3, 2013 and mailed to public agencies and area media on April 5, 2013.

Proposal

The amendment is to to the Hailey Zoning Ordinance No. 532 by deleting the following sections and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5 , 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4. All zoning requirements from the preceding sections will be consolidated into the District Use Matrix. The proposed amendment’s objective is to make the Zoning Ordinance easier to understand and interpret.

Background

Matrices are common tools used by jurisdictions for consolidating district use information and regulations into one concise, easy-to-read, format that saves space and is easily amended. The current draft of the District Use Matrix consolidates all use regulations from the Zoning Ordinance with some minor changes due to inconsistencies and errors. In some cases, uses were combined or eliminated where redundant. The intent of the District Use Matrix was to keep intact the Zoning Ordinance exactly as is currently adopted while still correcting for some inconsistencies. NOTE: The use, “Residential Care Facility” has been added and is not listed in our current zoning ordinance.

Procedural History

The text amendment was considered by the Planning and Zoning Commission on April 22, 2013.

Department Comments

The District Use Matrix is an excellent tool for staff and the public in efficiently and precisely determining the uses that a zone allows. It can be more easily distributed and easily understood while still retaining the same regulatory scope.

Standards of Evaluation

Note: Staff analysis is in lighter type,
Italicized words are words or phrases added by staff for clarification purposes.

14.6 When evaluating any proposed amendment under this Article, the Commission and Council shall make findings of fact on the following criteria:

a. The proposed amendment is in accordance with the Comprehensive Plan;

The Commission should consider how the proposed amendments relates to the various goals of the Comprehensive Plan (listed below for reference). Section 5, Land Use, Population, and Growth Management, has been addressed as being most applicable to this application as seen below. According to Section 5.8.1 of the Comprehensive Plan, this amendment is in accordance with the Plan.

Goal 5.8.1: To develop clear land use and development procedures that protect the public welfare for all development.

1. Policy: Amend Hailey City ordinances as necessary to ensure general consistency between those documents and the Land Use Map.

Comp Plan Goals (2010)
1.1 Preserve, protect and restore natural resources including waterways, floodplains, wetlands, soil, community forest, native vegetation, green space and wildlife habitat and migration corridors for the benefit of the City and its residents.
1.2 Efficiently use and conserve resources.
1.3 Promote renewable energy production
1.4 Promote energy conservation
1.5 Promote air quality protection
2.1 Reduce the potential threat to loss of life, limb or property and minimize public expenditures due to natural and man-made hazards.
3.1 Assure the protection and preservation of Special Sites, Areas and Features to maintain a strong community identity for future generations
3.2 Protect the residential character of the original Townsite.
4.1 Create and maintain an interconnected system of parks, recreational facilities, trails, green spaces and natural lands in order to provide diverse recreation opportunities for Hailey residents within ¼ mile to ½ mile of the greatest number of residents.
5.1 Retain a compact City comprised a central downtown with surrounding diverse neighborhoods, areas and characteristics as depicted in the Land Use Map:
a. Main Street Corridor – area of high density commercial, mixed use and residential development.
b. Downtown - the historic commercial center containing the greatest concentration of commercial, cultural and civic activity. Downtown is the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.
c. Community Activity Areas – located at the north and south ends of the Main Street Corridor. High density residential is encouraged. Commercial and mixed use (commercial and residential) development is appropriate, but should be subordinate and secondary to the infill of Downtown.
d. High Density Residential – high density residential infill is encouraged in the area along Main Street and River Street between Downtown and the north and south ends of Main Street.
e. Residential Buffer – medium density residential, providing a buffer between lower density residential neighborhoods to the east and west and the Main Street District.
f. Traditional Residential – Density varies depending on the qualities of different neighborhoods, generally density is higher within a ¼ mile of Downtown, Community Activity Areas or Neighborhood Service Centers and connected by transit service.
g. Neighborhood Service Centers – Small commercial areas serving residents within walking distance (¼ to ½ mile) where commercial use is subordinate to residential uses and to Downtown or Community Activity Areas.
h. Light Industrial – Areas containing uses important to a variety of business sectors that focus on the production of products and services that are less compatible with, and do not compete with, uses in Downtown and the Community Activity Areas.
i. Airport Site Redevelopment – a diversity and integration of uses and community assets that complement and support Downtown and are connected within and to existing neighborhoods.
j. Community Gateways – areas where one has a sense of arrival or sense of being within a part of town distinguished from others providing opportunities for special design considerations.

5.2	Maintain Downtown as the area containing the greatest concentration of commercial, cultural and civic activity and as the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.
5.3	Continue cooperation with the Blaine County and the Friedman Memorial Airport Authority in regional planning efforts to optimally relocate the airport and plan for the long term redevelopment of the site within the city limits to ensure that changes in land use are beneficial to the community of Hailey.
5.4	Protect open space within and surrounding Hailey, including visible ridgelines, undeveloped hillsides and agricultural areas which help define the unique character of Hailey.
5.5	Lessen dependency on the automobile.
5.6	Manage and accommodate population growth by infill development and, when appropriate, minimal expansion by annexation and/or density increases.
5.7	Encourage development at the densities allowed in the Zoning Code.
6.1	Encourage a diversity of economic development opportunities within Hailey
6.2	Encourage abundant, competitive and career-oriented opportunities for young workers.
7.1	Encourage a variety of projects and programs that meet the needs generated by various segments of the population, especially the needs of those who risk suffering effects of discrimination or are socially or economically disadvantaged.
7.2	Encourage projects and programs that seek to provide opportunities for cultural, cross-cultural and educational enrichment.
8.1	Encourage development that provides opportunities for home ownership and rental homes for individuals and families of all socio-economic levels.
9.1	Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.
10.1.	Create and maintain a pedestrian and bicycle-friendly community that provides a safe, convenient and efficient multi-modal transportation system for all Hailey residents.
11.1	Establish a built environment that maintains a human scale, retains interest, aesthetics, encourages various levels of interaction among all members of the community, and enhances the character of different neighborhoods.
12.1	Evaluate whether proposed regulatory or administrative actions may result in an unconstitutional taking of private property.
13.1	Encourage and facilitate the development of school facilities that are planned consistently with the city's other land use policies.
13.2	Ensure the provision of safe, adequate, convenient multi-modal transportation access to all existing and future school sites.

- b. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;**

Not applicable

- c. The proposed uses are compatible with the surrounding area; and**

Not applicable

- d. The proposed amendment will promote the public health, safety and general welfare.**

The proposed amendment will make the Zoning Ordinance more accessible, easier to understand, and a better tool for staff with working with the public.

Summary

The Commission is required to hold a public hearing and determine whether the proposed amendment is in accordance with the applicable standards of evaluation and make a recommendation to the Council that the proposed amendment be granted or denied, or that a modified amendment be granted.

*****or*****

If the proposed change is approved, the Council is required to pass an ordinance making said amendment part of Hailey Zoning Ordinance #532. The draft ordinance is attached.

Motion Language

Approval:

P&Z

Motion to recommend the City Council approve the proposed amendments to City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by deleting the sections listed here and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5, 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4 finding that the amendments are in accordance with the Comprehensive Plan, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Council

Motion to recommend the City Council approve the proposed amendments to City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by deleting the sections listed here and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5, 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4 finding that the amendments are in accordance with the Comprehensive Plan, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare and adopt Ordinance _____ and authorize the mayor to conduct the first reading by title only.

Denial:

P&Z

Motion to recommend the City Council deny proposed amendments to City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by deleting the sections listed here and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5, 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4 finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Council

Motion to deny proposed amendments to City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by deleting the sections listed here and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2,

4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5 ,
4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2,
4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4 finding that _____
[the Council should cite which standards are not met and provided the reason why each identified
standard is not met].

Continuation:

Motion to continue the public hearing upon the proposed amendment proposed amendments to
City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by deleting the
sections listed here and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5,
4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4,
4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5 , 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3,
4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2,
4.12.3.3, 4.12.3.4 to _____ [the Commission should specify a date].

Table:

Motion to table the proposed amendments to City of Hailey initiated text amendment to the
Hailey Zoning Ordinance No. 532 by deleting the sections listed here and replacing them with a
District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4,
4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3,
4.7.4, 4.7.5 , 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1,
4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4 to a later date: _____.

Chapter REFERENCE: District and Corridor Zone Uses

§ REFERENCE. Purpose

Chapter REFERENCE sets forth the types of land uses permitted and conditionally permitted within Hailey's Districts and Corridors, consistent with Hailey's Future Land Use Map.

§ REFERENCE. Districts & Corridors Land Use: Classification

Primary Uses

Land use shall conform to the designations in REFERENCE (Land Use). Land uses are designated as follows:

Permitted Uses

A "P" indicates that a use is allowed in the respective zoning district. Permitted uses must conform to the applicable requirements of the Land Use Ordinance.

Permitted uses requiring a public hearing are subject to the Procedures for Processing Applications contained in Chapter REFERENCE

Conditional Uses

A "C" indicates that a use is allowed as a Conditional Use in the respective zoning district. Conditional uses are subject to review and approval under the provisions of Chapter REFERENCE, Conditional Use Permits, and following the Procedures for Processing Applications contained in Chapter REFERENCE. Conditional uses must conform to the applicable requirements of the Land Development Code.

Uses Not Allowed

An "N" indicates that a use is not allowed in the respective zoning district, except where State or Federal law otherwise preempts local land use regulation.

Accessory Uses and Structures

An "A" indicated an accessory use is allowed. An accessory use or structure may be permitted in compliance with the applicable provisions of the zone in which it is. An accessory use shall not commence and no accessory structure shall be constructed without a primary use first being lawfully established on the subject site.

Table 17.00.000: Allowed Uses in District and Corridor Zones

Category	Description (Excerpt)	Districts & Corridors												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
RESIDENTIAL														
Residential	Single Family Dwellings	N	P	P	P	N	P	P	N	N	N	N	N	N
	Manufactured Home	N	P	P	P	N	P	P	N	N	N	N	N	N
	Multi-Family Dwellings	N	N	N	P	N	P	C	P	N	N	N	N	N
	Dwelling Units Within Mixed Use Buildings	N	N	N	N	P	P	N	P	N	N	N	P	P
PUBLIC OR SEMI/PUBLIC														
Public or Semi-Public	Churches	N	P	P	P	C	P	P	C	N	N	N	N	N
	Colleges, vocational and technical trade schools.	N	N	N	N	N	N	N	P	N	P	N	P	N
	Government offices and public administration, except correctional institutions.	N	N	N	N	N	P	N	P	N	N	N	N	N
	Health care and social assistance.	N	N	N	N	N	P	N	P	N	N	N	N	N
	Municipal Uses limited to water storage and well facilities	C	N	N	N	N	N	N	N	N	N	N	N	N
	Non-motorized recreational pathways	P	P	P	P	P	P	P	P	P	P	P	P	P
	Non-profit recreation center	N	N	N	N	N	N	C	N	N	N	N	N	N
	Parks	P	P	P	P	P	P	P	P	P	P	P	P	P
	Public recreational or cultural areas	C	N	N	N	N	N	N	N	N	N	N	N	N
	Public Service, Public Use and Public Utility Facilities.	N	C	C	C	N	C	C	C	P	P	N	C	C
	Semi-Public Uses.	N	N	N	C	C	P	C	P	N	N	N	N	N
Schools and other educational services.	N	N	N	P	N	P	N	P	N	N	N	N	N	
TELECOMMUNICATION														
	PWSF's and WCF's, mounted on any proposed freestanding tower, upon the issuance of Wireless Permit in accordance with the provision of Article VIIIA of this Ordinance. (Lattice towers are prohibited.)	N	N	N	N	N	C	N	C	C	C	C	C	C
	PWSF's or WCF's, attached to street poles or mounted on existing buildings or structures, upon the issuance of a Wireless Permit in accordance with the provisions of Article VIIIA of this Ordinance. (Freestanding and	C	C	C	C	C	P	C	P	P	P	P, A	P, A	P, A

17.00: District and Corridor Zones Uses

Category	Description (Excerpt)	Districts & Corridors											A	SCI-SO	SCI-I		
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI						
	lattice towers are prohibited.)																
COMMERCIAL																	
Commercial	Administrative and support services.	N	N	N	N	N	N	N	P	N	N	N	N	N	N	N	N
	Airport	N	N	N	N	N	N	N	N	N	N	N	P	N	N	N	N
	Artist studios, which have no associated gallery.	N	N	N	N	N	N	N	N	N	N	N	N	P	P	N	N
	Arts, entertainment and recreation uses (indoor and outdoor).	N	N	N	N	N	N	P	N	P	N	N	N	N	N	N	N
	Arts, entertainment and recreation uses, except outdoor arenas and amusement parks .	N	N	N	N	N	N	N	N	P	N	N	N	N	N	N	N
	Auto dealerships.	N	N	N	N	N	N	N	N	C	N	N	N	N	N	N	N
	Automobile rental companies	N	N	N	N	N	N	N	N	N	N	N	P	N	N	N	N
	Automobile towing.	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P
	Automotive Repair and Maintenance.	N	N	N	N	N	N	N	N	C	P	N	N	N	N	N	P
	Bed and Breakfast Inn.	N	N	N	C	N	P	C	P	P	N	N	N	N	N	N	N
	Boarding and Rooming Houses.	N	N	N	C	N	P	N	P	N	N	N	N	N	N	N	N
	Broadcasting firms, media offices, and related uses.	N	N	N	N	N	N	N	N	P	N	N	N	N	N	N	N
	Business parks	N	N	N	N	N	N	N	N	N	N	N	C	N	N	N	N
	Cable television firms.	N	N	N	N	N	N	N	N	N	N	P	N	N	N	N	N
	Car rental companies.	N	N	N	N	N	N	N	N	N	P	N	N	N	N	N	N
	Catering Services.	N	N	N	N	C	P	N	P	P	P	N	N	N	N	N	N
	Commercial brewery, bakery, or food catering where no retail sales are conducted.	N	N	N	N	N	N	N	N	N	N	N	N	P	P	N	N
	Computer software development, manufacture and service firms.	N	N	N	N	N	N	N	N	N	N	N	N	P	N	N	N
	Construction and building material sales (except hardware stores).	N	N	N	N	N	N	N	N	N	P	N	N	N	N	N	N
	Construction contractors.	N	N	N	N	N	N	N	N	N	P	N	N	N	N	N	N
	Construction equipment and materials rental, storage, sales and service, excluding hardware stores.	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P
	Construction equipment rental, storage, sales and service.	N	N	N	N	N	N	N	N	N	N	N	N	P	N	N	N
	Construction trade contractors' offices with no exterior storage.	N	N	N	N	N	C	N	N	N	P	N	P	P	N	N	N
Construction trade contractors, excluding excavation and landscaping companies.	N	N	N	N	N	N	N	N	N	N	N	N	P	P	N	N	
Construction trade contractors, including excavation companies.	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	
Control Tower (Air Traffic)	N	N	N	N	N	N	N	N	N	N	N	P	N	N	N	N	
Convenience stores, in conjunction with Gasoline Stations that have no more than 1800 square feet of gross floor area. Drive-through service windows are not allowed.	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	N	
Convenience Stores.	N	N	N	N	N	C	N	N	N	N	N	N	N	N	N	N	

17.00: District and Corridor Zones Uses

Category	Description (Excerpt)	Districts & Corridors													
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I	
	Dance and martial art studios, fitness facilities.	N	N	N	N	N	N	N	N	N	N	N	C	N	
	Day Care Centers provided no more than eighteen (18) children will be cared for at any one time.	N	N	N	C	P	P	C	P	N	N	N	C	N	
	Day Care Centers (13+ children).	N	N	N	C	P	P	C	P	N	N	N	C	N	
	Day Care Facilities (up to 12 children)	N	C	C	P	P	P	P	P	N	N	N	C	N	
	Day Care Homes (6 or less children)	N	P	P	P	P	P	P	P	N	N	N	C	N	
	Employee housing for golf courses or recreational facilities	C	N	N	N	N	N	N	N	N	N	N	N	N	
	Fabrication and repair of building materials and components, including log homes.	N	N	N	N	N	N	N	N	N	N	N	N	P	
	Farm supply and equestrian tack and feed stores.	N	N	N	N	N	N	N	N	N	N	N	N	P	
	Fencing supplies and installation.	N	N	N	N	N	N	N	N	N	N	N	N	P	
	Finance and insurance firms.	N	N	N	N	N	C	N	P	N	N	N	N	N	
	Firewood production and storage.	N	N	N	N	N	N	N	N	N	N	N	N	P	
	Flight schools, provided regularly scheduled commercial passenger aircraft services are operated at the Airport.	N	N	N	N	N	N	N	N	N	N	P	N	N	
	Floor covering stores.	N	N	N	N	N	N	N	N	P	N	N	N	N	
	Gasoline Stations and Automotive Repair and Maintenance.	N	N	N	N	N	C	N	N	N	N	N	N	C	
	Gasoline Stations, including card-lock stations.	N	N	N	N	N	N	N	N	N	N	N	N	C	
	Gasoline Stations.	N	N	N	N	N	N	N	P	P	N	N	N	N	
	Gift shops within terminal	N	N	N	N	N	N	N	N	N	N	P	N	N	
	Golf course, public	P	N	N	N	N	N	N	N	N	N	N	N	N	
	Guides and outfitters with no more than 20% of the floor area dedicated to retail sales.	N	N	N	N	N	N	N	N	N	N	N	P	N	
	Helicopter areas, provided regularly scheduled commercial passenger aircraft services are operated at the Airport.	N	N	N	N	N	N	N	N	N	N	P	N	N	
	Home Occupations.	N	P	P	P	P	P	P	P	N	N	N	N	N	
	Hotels or motels with or without attached restaurants.	N	N	N	N	N	P	N	P	N	N	C	C	N	
	Hybrid Production Facilities.	N	N	N	N	N	N	N	C	N	N	N	P	N	
	Indoor recreational facilities primarily for instruction.	N	N	N	N	N	N	N	N	P	N	N	N	N	
	Industrial laundry/dry cleaning service and distribution establishments.	N	N	N	N	N	N	N	N	P	N	N	N	P	
	Interior decorating and design that have no more than 20% of the gross floor area dedicated to on-site retail sales.	N	N	N	N	N	N	N	N	N	N	N	P	N	
	Investigation and Security Services.	N	N	N	N	N	N	N	N	N	P	N	P	N	
	Landscape design and installation firms, and	N	N	N	N	N	N	N	N	P	N	N	N	P	

17.00: District and Corridor Zones Uses

Category	Description (Excerpt)	Districts & Corridors												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
	landscape nurseries.													
	Landscape design, installation and maintenance firms.	N	N	N	N	N	N	N	N	P	N	N	N	N
	Laundromat, dry cleaning, and laundry.	N	N	N	N	C	N	N	P	N	N	N	C	P
	Light Manufacturing.	N	N	N	N	N	N	N	N	P	P	N	N	P
	Medical and personal care stores.	N	N	N	N	N	C	N	N	N	N	N	N	N
	Mercantile (wholesale and retail).	N	N	N	N	C	N	N	P	N	N	N	N	N
	Mixed Use Buildings.	N	N	N	N	N	N	P	N	N	N	N	N	N
	Motor vehicles and parts dealers, service, rental and leasing.	N	N	N	N	N	N	N	N	P	N	N	N	P
	Nurseries, greenhouse and floriculture production and sales.	N	N	N	N	N	N	N	N	P	N	N	N	N
	Outpatient Animal Services.	N	N	N	N	N	N	N	C	N	N	N	N	N
	Parcel delivery and shipping services.	N	N	N	N	N	N	N		N	N	N	N	P
	Parking facilities and structures.	N	N	N	N	N	N	N	C	N	N	P	N	P
	Personal Services where retail sales are clearly incidental to the principal use and no outside storage yard or facility is required.	N	N	N	N	P	P	C	P	N	N	N	N	N
	Photography studios and photo processing.	N	N	N	N	N	N	N	N	P	P	N	P	N
	Physical fitness facilities.	N	N	N	N	N	N	N	N	N	C	N	N	N
	Printing and publishing firms.	N	N	N	N	N	N	N	N	P	P	N	P	P
	Processing and sales of firewood.	N	N	N	N	N	N	N	N	P	N	N	N	N
	Professional and general offices.	N	N	N	N	C	P	P	P	P	P	N	P	N
	Radio and television recording studios and stations.	N	N	N	N	N	N	N	N	N	P	N	P	N
	Real estate and property management companies.	N	N	N	N	N	P	N	P	N	N	N	N	N
	Recording studios (audio or video) and broadcasting studios.	N	N	N	N	N	N	N	N	P	N	N	N	N
	Research and development facilities.	N	N	N	N	N	N	N	N	P	P	N	P	N
	Residential Care Facility	N	P	P	P	P	P	P	P	N	N	N	N	N
	Restaurants which may or may not include the sale of alcoholic beverages.	N	N	N	N	C	N	N	N	N	N	N	N	N
	Restaurants within terminal	N	N	N	N	N	N	N	N	N	N	P	N	N
	Restaurants and bars.	N	N	N	N	N	C	N	P	N	N	N	N	N
	Restaurants. Drive-through service windows are not allowed.	N	N	N	N	N	N	N	N	N	N	N	C	C
	Retail trade limited to the following: floor covering and window treatment, household appliances, woodstoves/fireplaces, spa/hot tub, building material and garden equipment and supplies (excluding hardware stores), farm and equestrian, and non-store retail (mail-order and vending machines).	N	N	N	N	N	N	N	N	N	N	N	P	N

17.00: District and Corridor Zones Uses

Category	Description (Excerpt)	Districts & Corridors												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
	Sales, rental, and servicing of trailers, mobile homes, farm implements and heavy equipment.	N	N	N	N	N	N	N	N	N	P	N	N	N
	Services to buildings (janitorial/maintenance) and property management companies.	N	N	N	N	N	N	N	N	N	P	N	P	P
	Sign studios and manufacturers.	N	N	N	N	N	N	N	N	N	N	N	N	P
	Snow removal contractors.	N	N	N	N	N	N	N	N	N	N	N	N	P
	Structures and/or buildings integral to a golf course such as club houses, maintenance, buildings, and rest rooms	C	N	N	N	N	N	N	N	N	N	N	N	N
	Truck transportation, bus, taxi and limousine services, and couriers.	N	N	N	N	N	N	N	N	P	N	N	N	P
	Veterinarians, pet grooming, and training with no outdoor kenneling.	N	N	N	N	N	N	N	C	C	P	N	C	P
	Warehouse and storage facilities, including self-storage facilities and exterior storage facilities.	N	N	N	N	N	N	N	N	N	N	N	N	P
	Warehouse and storage facilities.	N	N	N	N	N	N	N	N	P	N	N	N	N
	Wholesale distributors or Wholesale distributors with incidental and subordinate retail sales.	N	N	N	N	N	N	N	N	N	N	N	N	N
	Wholesale distributors.	N	N	N	N	N	C	N	N	N	P	N	N	N
	Wholesale trade.	N	N	N	N	N	N	N	N	P	N	N	P	P
AGRICULTURAL USES														
Agriculture	Horses, a maximum of two (2) horses per acre on lots of one (1) acre minimum size	N	C	C	C	N	N	N	N	N	N	N	N	N
	Urban Agriculture	N	P	P	P	N	P	P	N	N	N	N	N	N
ACCESSORY USES														
Above Ground Fuel Tanks	Above ground flammable and combustible liquid tanks utilized by a public use	N	C	C	C	N	C	C	A	A	C	A	A	A
	Above ground fuel tank for private or commercial use	N	N	N	N	N	P	N	P	P	N	P	P	P
Accessory Dwelling Unit (ADU)	One (1) Accessory Dwelling Unit on lots 7,000 square feet or larger, accessory to a single family dwelling unit or to a non-residential Principal Building. Primary vehicular access to any ADU shall be from a City street or alley. All Accessory Dwelling Units shall have adequate water and sewer services installed to meet City Standards.	N	N	N	A	A	A	A	A	N	N	N	A	A
Alternative Energy Systems	Freestanding Solar Panels, subject to the maximum building height for the applicable district.	N	C	C	C	C	C	C	C	C	C	C	C	C

17.00: District and Corridor Zones Uses

Category	Description (Excerpt)	Districts & Corridors												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
	Roof Mounted Solar Panels, subject to the maximum building height for the applicable district	N	A	A	A	A	A	A	A	A	A	A	A	A
	Roof Mounted and Freestanding Small Scale Wind Energy System	N	N	N	N	N	N	N	C	C	N	C	C	C
Garages		N	A	A	A	A	A	N	A	N	N	N	N	N
Greenhouse/ Private	A greenhouse for private use	N	A	A	A	N	A	A	N	N	N	N	N	N
Storage	Storage Buildings with a gross floor area of greater than 120 square feet	C	A	A	A	A	A	A	A	A	A	A	A	A
	Storage Buildings with a gross floor area less than 120 square feet	A	A	A	A	A	A	A	A	A	A	A	A	A
	Shipping Containers utilized for storage, must be shielded from view with fencing and/or landscaping and shall require a building permit	N	N	N	N	N	N	N	N	A	N	N	N	C
Swimming Pool		N	A	A	A	N	N	N	N	N	N	N	N	N
Temporary Structures	Temporary Structures for use of no more than 12 months	C	C	C	C	C	C	C	C	C	C	C	C	C

17.00: District and Corridor Zones Uses

		BULK REQUIREMENTS												
Lot Dimensions	Minimum Lot Size (square feet)	None	8000	12000	6000 ⁵	6000 ⁸	6000 ⁹	6000 ⁵	0 ⁹	6000	--	¹²	10890	10890
	Minimum Lot Width (feet)	None	75	75	50 ⁶	50 ⁶	50 ⁶	50 ⁶	0 ⁶	60	--	¹²	--	--
Building Height	Maximum Building Height (feet)	35	30	30	35	30	35	35	35	35	35	¹²	35	35
Setbacks	Minimum Front Yard Setback (feet)	20	25	25	20	10	20	20	0 ⁷	10	20	¹²	10	10
	Minimum Side Yard Setback (feet)	10	10 ³	10 ³	10 ⁷	10 ⁷	10 ⁷	10 ⁷	0 ⁷	10 ¹¹	10 ¹¹	¹²	10	10
	Minimum Rear Yard Setback (feet)	10	10 ³	10 ³	10 ⁷	10 ⁷	10 ⁷	10 ⁷	0 ⁷	10 ¹¹	10 ¹¹	¹²	10	10
	Riparian	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	¹²	100 ⁴	100 ⁴
Multi-Family and Mixed Use Density	Mixed Use Residential Density: Maximum units per acre	--	--	--	--	15	20	10	20	--	--	¹²	20	--
	Multi-Family Residential Density: Maximum units per acre	--	--	--	10	--	20	10	20	--	--	¹²	20	--
Total Lot Coverage	Total maximum coverage by all buildings, which includes one accessory dwelling unit (percentage)	--	--	--	40%	--	--	30% ¹⁰	--	75%	75%	¹²	70%	70%
Maximum Floor Area	Aggregate gross floor area for Individual Retail/Wholesale Trade (000's square feet)	--	--	--	--	--	36	--	36	25	25	¹²	25	25
	Aggregate gross floor area for Grouped Retail/Wholesale (000's square feet)	--	--	--	--	--	36	--	50	25	25	¹²	25	25

17.REFERENCE Notes to Bulk Requirements

¹ Must be accessory to the primary use and contained within the walls of the primary structure.

² Indicates use may be allowed where State or Federal law preempts local zoning.

³ The setback from the adjacent property shall be one (1) foot for every two (2) feet of building height for all portions of the building exceeding 20 feet in height, provided, however, no side or rear yard shall be less than ten (10) feet

⁴ Riparian Setback. Unless otherwise provided for herein, all permanent buildings and structures shall have a one hundred foot (100') wide Riparian Setback from the mean high water mark of the Big Wood River. Removal of live vegetation or excavation within the Riparian Setback is prohibited, except for any tree that has been recommended for removal by a certified arborist, in writing, because the tree has been found to potentially endanger the resident(s) of the property on which it is located or any member of the public, or has become hazardous to any street, alley or other public right-of-way or public utility, or because the removal of a tree would substantially improve the health of other trees on the property. Pruning of trees and planting of riparian trees, shrubs and ground cover within the Riparian Setback are allowed, provided however, that all plantings conform to the criteria for evaluation in Section 4.10.7.2(k) of this Ordinance. Where the application of the one hundred foot (100') Riparian Setback and other applicable setbacks will result in a building site of one thousand (1000) square feet or less, the Riparian Setback may be reduced to such an extent that the building site is one thousand (1000) square feet; provided however, the Riparian Setback shall not be less than fifty feet (50').

⁵ In GR, TN zones, townhouse sub-lots shall have an aggregate density of no more than ten (10) lots per acre.

⁶ Townhouse sub-lots shall conform to the standards established in the IFC

⁷ Town house Unit shall be allowed zero setbacks from the lot lines created by a Townhouse Sub-Lot and the separation of the building containing Townhouse Units in a Townhouse Development parcel shall be not less than six (6) feet as measured between any wall or any projection of a building, including but not limited to eaves, cornices, canopies, or other similar roof overhang features, pergolas, chimney chases, bay windows, decks, steps, wainscot, and utility meters; or the minimum distance required by the IBC and IFC, whichever is greater.

⁸ In NB zone, townhouse sub-lots shall have an aggregate density of no more than fifteen (15) lots per acre.

⁹ In LB, B zones, townhouse sub-lots shall have an aggregate density of no more than twenty (20) lots per acre.

¹⁰ In TN zone, 40% lot coverage will be allowed where at least 75% of required parking spaces are enclosed within a structure.

¹¹ In LI and TI zones, the side and rear yard setbacks shall be twenty five (25) feet where the subject property is located adjacent to the following zones: RGB, GR, or TN

¹² Subject to FAA regulations and 14 CFR, Chapter 1, Subchapter E, Part 77, Objects Affecting Navigable Airspace, as amended.

STAFF REPORT

TO: Hailey Planning and Zoning Commission

FROM: Micah Austin, Community Development Director

RE: Zoning Ordinance Amendment – Section 8.2 amending the definition of Animated Signs, adding a definition for Electronic Message Display (EMD), and defining standards and regulations for Electronic Message Display and Animated Signs.

HEARING: March 11, 2013; April 8, 2013; April 22, 2013.

Notice

Notice for the public hearing was published in the Idaho Mountain Express on Feb 20, 2013 and mailed to public agencies and area media on February 22, 2013

Proposal

The amendment is to Section 8.2 of the Hailey Zoning Ordinance, and proposes amending the definition of Animated Signs, adding a definition for Electronic Message Displays (EMD), and defines the standards for these signs.

Updates and Research since April 8, 2013 Regular Meeting:

At the April 8 meeting of the Planning and Zoning Commission, the Commission asked staff to inquire of the City Attorney regarding the following questions:

1. How likely is litigation if this ordinance is adopted? For example, will businesses have standing to sue the city for not allowing these types of signs for all property owners?
2. By regulating the content of the sign (public information only), can this be challenged?
3. The current draft reads that there shall be one message per 24 hour period. Does this apply to messages in both English and Spanish where the content of the message is identical, but the language is different?

Staff is still waiting to hear back from the City Attorney on answers to the above questions.

Background

In late 2012, the Middle School approached the City of Hailey and inquired whether they could install an electronic message display at their location to replace their current sign that employee movable letters that must be changed out manually. According to our current ordinance, EMDs are not allowed within the City of Hailey. City administration directed Staff to draft an ordinance that addresses the negative impacts of Electronic Message Displays and to establish a process by which to regulate such signs in a way that will not create aesthetic clutter. In researching this issue, staff has drafted an ordinance that strictly regulates Electronic Message Displays and Animated Signs and invites a public process for any entity applying for a Conditional Use Permit for these signs.

Procedural History

The text amendment was considered by the Planning and Zoning Commission on March 11,

2013. At that meeting, the Commission made minor changes and directed staff to bring an updated copy of the ordinance back to the April 8 meeting. At the April 8 meeting, the Commission fielded questions from the public on this ordinance directed staff to research these questions. The City Council will consider this ordinance if the Planning and Zoning Commission recommend it for their consideration.

Department Comments

Electronic Message Displays are the most abused and can be the most aesthetically discouraging signs in any municipality. Bright lights, distracting animation, lack of architectural appeal, and general sign clutter are all byproducts of unregulated Electronic Message Displays. The ordinance under consideration attempts to address all these unappealing consequences of Electronic Message Displays while still allowing creativity for the entity seeking an EMD. Such regulations in the proposal as a single color, no animation, minimum text size, minimum display size, and zoning restrictions are all intended to guide the production of an EMD to be tasteful, attractive, and informative. In addition, the proposed ordinance only allows use of an EMD or Animated Sign by local governments (City of Hailey, Blaine County) and educational institutions (Blaine County School District) for public information and educational purposes. The ordinance expressly regulates the use of an EMD for commercial purposes, as well as restricts usage of such signs in the Business District.

An example of an EMD in Blaine County that is well designed and used is the EMD utilized by the YMCA in Ketchum. Under this proposed ordinance, the YMCA's reader board would be allowed. The level of restrictiveness of the proposed ordinance is acceptable to staff. Here is an example of the YMCA reader board in Ketchum:



Standards of Evaluation

Note: Staff analysis is in lighter type,
Italicized words are words or phrases added by staff for clarification purposes.

14.6 When evaluating any proposed amendment under this Article, the Commission and Council shall make findings of fact on the following criteria:

a. The proposed amendment is in accordance with the Comprehensive Plan;

The Commission should consider how the proposed amendments relates to the various goals of the Comprehensive Plan (listed below for reference). Section 11, Community Design, has been addressed as being most applicable to this application as seen below.

Section 11: COMMUNITY DESIGN

Goal 11.1: Establish a built environment that maintains human scale, retains interest, aesthetics, encourages various levels of interaction among all members of the community, and enhances the character of different neighborhoods.

In researching and drafting this ordinance, staff was guided to the current draft using the above goal from the Comprehensive Plan. For this reason, staff has included certain display regulations that address brightness, illumination, colors, and the content of the messages on the display. The following is a summary of how the ordinance meets this Comp Plan goal:

1. **Human Scale:** EMDs are limited to five feet maximum height to maintain human scale. Monument signs are required.
2. **Retains Interest:** Messages are limited to displaying information of public interest and public benefit and are restricted from any commercial messages.
3. **Aesthetics:** The electronic or reader board portion of the sign is limited to a maximum of 33% of the total sign area so as to allow for a more aesthetic and architecturally appealing sign that frames a reader board, rather than becoming overwhelmed by one.
4. **Encourages Interaction:** First, the messages will be of public interest and second, the public is invited to comment on all EMD applications because they would be required to have a CUP for approval.
5. **Enhances the Character of Different Neighborhoods:** The proposed ordinance does not enhance the character of different neighborhoods and could potentially detract from the character of a neighborhood. Design and a well guided public process will be essential to ensuring this is met.

The proposed amendment could most significantly impact surrounding residential areas if an EMD were approved for a residential neighborhood without significant thought and planning given to minimizing impacts. As part of the CUP process, impacts from lighting, architectural design, and other features of the sign should be scrutinized to ensure that there are no negative consequences to a neighborhood.

Section 5: Land Use, Population and Growth Management

Goals 5.1 (b): Downtown, the historic commercial center containing the greatest concentration of commercial, cultural and civic activity.

The proposed ordinance prohibits animated and electronic message display signs in the Business District, which encompasses all of downtown. This restriction was added to preserve the historical and aesthetic qualities of downtown where the primary activity is commercial. According to our proposed ordinance, EMDs shall be used only for non-commercial messages of public interest and not for any commercial purposes. Where our downtown should always maintain a walkable character, signs should be planned for pedestrian accessibility, rather than for vehicles passing nearby. It is staff's opinion that Animated and EMD signs should not be allowed in the downtown area, thereby meeting this goal of the Comprehensive Plan.

Comp Plan Goals (2010)
1.1 Preserve, protect and restore natural resources including waterways, floodplains, wetlands, soil, community forest, native vegetation, green space and wildlife habitat and migration corridors for the benefit of the City and its residents.
1.2 Efficiently use and conserve resources.
1.3 Promote renewable energy production
1.4 Promote energy conservation
1.5 Promote air quality protection
2.1 Reduce the potential threat to loss of life, limb or property and minimize public expenditures due to natural and man-made hazards.
3.1 Assure the protection and preservation of Special Sites, Areas and Features to maintain a strong community identity for future generations
3.2 Protect the residential character of the original Townsite.
4.1 Create and maintain an interconnected system of parks, recreational facilities, trails, green spaces and natural lands in order to provide diverse recreation opportunities for Hailey residents within ¼ mile to ½ mile of the greatest number of residents.
5.1 Retain a compact City comprised a central downtown with surrounding diverse neighborhoods, areas and characteristics as depicted in the Land Use Map:
a. Main Street Corridor – area of high density commercial, mixed use and residential development.
b. Downtown - the historic commercial center containing the greatest concentration of commercial, cultural and civic activity. Downtown is the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.
c. Community Activity Areas – located at the north and south ends of the Main Street Corridor. High density residential is encouraged. Commercial and mixed use (commercial and residential) development is appropriate, but should be subordinate and secondary to the infill of Downtown.
d. High Density Residential – high density residential infill is encouraged in the area along Main Street and River Street between Downtown and the north and south ends of Main Street.
e. Residential Buffer – medium density residential, providing a buffer between lower density residential neighborhoods to the east and west and the Main Street District.
f. Traditional Residential – Density varies depending on the qualities of different neighborhoods, generally density is higher within a ¼ mile of Downtown, Community Activity Areas or Neighborhood Service Centers and connected by transit service.
g. Neighborhood Service Centers – Small commercial areas serving residents within walking distance (¼ to ½ mile) where commercial use is subordinate to residential uses and to Downtown or Community Activity Areas.
h. Light Industrial – Areas containing uses important to a variety of business sectors that focus on the production of products and services that are less compatible with, and do not compete with, uses in Downtown and the Community Activity Areas.
i. Airport Site Redevelopment – a diversity and integration of uses and community assets that complement and support Downtown and are connected within and to existing neighborhoods.
j. Community Gateways – areas where one has a sense of arrival or sense of being within a part of town distinguished from others providing opportunities for special design considerations.

5.2	Maintain Downtown as the area containing the greatest concentration of commercial, cultural and civic activity and as the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.
5.3	Continue cooperation with the Blaine County and the Friedman Memorial Airport Authority in regional planning efforts to optimally relocate the airport and plan for the long term redevelopment of the site within the city limits to ensure that changes in land use are beneficial to the community of Hailey.
5.4	Protect open space within and surrounding Hailey, including visible ridgelines, undeveloped hillsides and agricultural areas which help define the unique character of Hailey.
5.5	Lessen dependency on the automobile.
5.6	Manage and accommodate population growth by infill development and, when appropriate, minimal expansion by annexation and/or density increases.
5.7	Encourage development at the densities allowed in the Zoning Code.
6.1	Encourage a diversity of economic development opportunities within Hailey
6.2	Encourage abundant, competitive and career-oriented opportunities for young workers.
7.1	Encourage a variety of projects and programs that meet the needs generated by various segments of the population, especially the needs of those who risk suffering effects of discrimination or are socially or economically disadvantaged.
7.2	Encourage projects and programs that seek to provide opportunities for cultural, cross-cultural and educational enrichment.
8.1	Encourage development that provides opportunities for home ownership and rental homes for individuals and families of all socio-economic levels.
9.1	Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.
10.1.	Create and maintain a pedestrian and bicycle-friendly community that provides a safe, convenient and efficient multi-modal transportation system for all Hailey residents.
11.1	Establish a built environment that maintains a human scale, retains interest, aesthetics, encourages various levels of interaction among all members of the community, and enhances the character of different neighborhoods.
12.1	Evaluate whether proposed regulatory or administrative actions may result in an unconstitutional taking of private property.
13.1	Encourage and facilitate the development of school facilities that are planned consistently with the city's other land use policies.
13.2	Ensure the provision of safe, adequate, convenient multi-modal transportation access to all existing and future school sites.

- b. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;**

There are no additional costs or compromise anticipated to public facilities and services.

- c. The proposed uses are compatible with the surrounding area; and**

The proposed amendment could most significantly impact surrounding residential areas if an EMD were approved for a residential neighborhood without significant thought and planning given to minimizing impacts. As part of the CUP process, impact from lighting, architectural design, and other features of the sign should be scrutinized to ensure that there are no negative consequences to a neighborhood.

- d. The proposed amendment will promote the public health, safety and general welfare.**

It is not anticipated that the proposed amendment will adversely affect the public health, safety and welfare of citizens.

Summary

The Commission is required to hold a public hearing and determine whether the proposed amendment is in accordance with the applicable standards of evaluation and make a recommendation to the Council that the proposed amendment be granted or denied, or that a modified amendment be granted.

or

If the proposed change is approved, the Council is required to pass an ordinance making said amendment part of Hailey Zoning Ordinance #532. The draft ordinance is attached.

Motion Language

Approval:

P&Z

Motion to recommend the City Council approve the proposed amendments to Section 8.2 finding that the amendments are in accordance with the Comprehensive Plan, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Council

Motion to approve the proposed amendments to Section 8.2 finding that the amendments are in accordance with the Comprehensive Plan, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare and adopt Ordinance ____ and authorize the mayor to conduct the first reading by title only.

Denial:

P&Z

Motion to recommend the City Council deny the proposed amendments to Section 8.2 finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Council

Motion to deny _____ the proposed amendments to Section 8.2 finding that _____ [the Council should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing upon the proposed amendment to Section 8.2 to _____ [the Commission should specify a date].

Table:

Motion to table the proposed amendment to Section 8.2

ORDINANCE NO. ____

AN ORDINANCE OF THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AMENDING SECTION 8.2.11 SPECIFIC SIGN STANDARDS BY CREATING SECTION 8.2.11 (H); DEFINING TERMS; AMENDING SECTION 8.2.6 PROHIBITED SIGNS, AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Hailey wishes to regulate the display of animated signs or electronic message displays (EMD) for limited use by governmental and educational purposes; and

WHEREAS, the current ordinance prohibits all electronic message displays that contain animation or intermittent light sources; and

WHEREAS, the public safety and welfare and uniform aesthetic considerations are promoted by providing for regulations as to the use of animated signs and EMD; and

WHEREAS, the City of Hailey finds a public benefit in allowing certain governmental and educational institutions the opportunity to implement electronic message displays strictly for public information.

BE IT THEREFORE ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

SECTION 1. Section 8.2.2 Definitions is amended to include the following definitions:

“Animated Sign”: Any sign or part of a sign that changes physical position in any way or that uses movement or change of lighting to depict action or create a special effect or scene or the illusion of movement.

“Electronic Message Display”: A sign or portion thereof capable of displaying words, symbols, figures or images that can be electronically or mechanically changed by remote or automatic means.

SECTION 2. Section 8.2.11 (H) is hereby adopted as follows:

A. Any animated sign and electronic message displays (EMD) shall conform to the following requirements:

1. Shall only be allowed for the purpose of informing the public with non-commercial messages of public interest and public education. EMD and animated signs are not allowed for

commercial use or by any entities other than local governments or public educational institutions.

2. Shall contain static messages only, and shall not have movement, or the appearance or optical illusion of movement of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement of any illumination or the flashing/varying of light intensity.

3. No more than one message may be displayed per 24 hour period.

4. Area of EMD or Animated sign shall not occupy more than thirty three (33) percent, or 1/3, of the total sign area. Maximum area for such displays is thirty (30) square feet, which includes front and back sides of the sign.

5. Shall emit a light of constant intensity, not to exceed 5,000 nits on clear days and 500 nits from dusk to dawn. In no event shall such an illuminated sign or device be placed or directed to permit the beams and illumination therefrom to be directed or beamed upon a public thoroughfare, highway, sidewalk or adjacent premises to cause glare or reflection that may constitute a traffic hazard or nuisance. Electronic Message Display portion of the sign shall only operate between 7:00 am and 10:00 pm.

6. Text-only single color message displays with letters no higher than twelve (12) inches.

7. Number: limited to one per location and property.

8. Height: The EMD portion of the sign shall exceed five (5) feet in height from record grade.

9. Such signs, displays, or device may not be installed on a non-conforming sign. A monument sign is required.

10. Allowed by conditional use permit only and in accordance with Section XI of the Zoning Ordinance.

11. Prohibited in the Business Zone (B) and Limited Residential (LR) zone and subdistricts.

SECTION 3. This Ordinance shall become effective upon its passage and publication as provided by law.

PASSED BY THE COUNCIL this ____ day of _____, 2012

SIGNED BY THE MAYOR this ____ day of _____, 2012.

CITY OF HAILEY, IDAHO

FRITZ HAEMMERLE, Mayor

ATTEST:

MARY CONE, City Clerk