

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, May 13, 2013
Hailey City Hall
6:30 p.m.

Call to Order

Public Comment for items not on the agenda

Consent Agenda

- CA 1 Motion to approve minutes of April 22, 2013 regular meeting
- CA 2 Motion to approve Findings of Fact, Conclusions of Law—Approval of an application submitted by the Blaine County School District for Design Review Exemption for the Wood River Middle School Special Ed Classroom Addition and Remodel within the interior courtyard area of the Wood River Middle School, located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) and within the General Residential (GR) Zoning District.
- CA 3 Motion to approve the Findings of Fact, Conclusions of Law—Approval of an application submitted by Jon McGowan on behalf of Fappo Holdings Idaho LLC for Design Review Exemption for minor exterior alteration to two buildings located at Hailey Townsite, Blk 20, Lots 4-8 (309 S. Main St.) within the Business (B) Zoning District.

New Business

- NB 1 Motion to approve Findings of Fact, Conclusions of Law—Approval of an application by Craig Johnson for Design Review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), which is within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.
- NB 2 Motion to approve Findings of Fact, Conclusions of Law—Approval of an application by The Sage School for Design Review of two new 2,880 sq. ft. modular classrooms to be located at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.
- NB 3 Public Hearing and consideration of a Design Review application by William and Diane Zei for Design Review of an exterior remodel of a single family dwelling (Zei Residence), located at Hailey, Blk 105, Lots 19-21 (316 S 4th Ave.), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts.

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

- NB 4 Public Hearing and Consideration of a Text Amendment Application by Portage Bay Partners for amendments to Hailey's Zoning and Subdivision Ordinances modifying the Service Commercial Industrial (SCI-I) Zoning District regulations and Subdivision Ordinance regulations involving subdivision of the SCI-I zoning district. The proposed amendment would: 1) Allow for the subdivision of lots to create interior lots with a minimum lot size of 162 sq. ft. or the area of a city defined parking stall, whichever is less, and tenancy in common lots; 2) Add definitions for interior lots and tenancy in common lots; 3) Provide for the submittal of a cross-easement agreement, a tenancy in common agreement, association declaration, and a party wall agreement in a subdivision and or design review application; and 4) Modify the access provisions in the subdivision ordinance for interior lots.

Old Business

- OB 1 Public Hearing and consideration of an amendment to Section 8.2 of the Zoning Ordinance which addresses signs and sign regulations. The proposed amendment revises the definition of an Animated Sign, adds a definition for Electronic Message Display (EMD) Sign, and defines the standards and regulations for Electronic Message Display and Animated Signs. (*Continue from 4-22-2013*)

Commission Reports and Discussion

Staff Reports and Discussion

- SR 1 Discussion of Goals and Priorities for the Hailey Planning and Zoning Commission
- SR 2 Discussion of current building activity and upcoming projects.
- SR 3 Discussion of the next Planning and Zoning meeting: Monday, June 10, 2013

Adjourn

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

**MINUTES OF THE
HAILEY PLANNING & ZONING COMMISSION
Monday, April 22, 2013
Hailey City Hall
6:30 p.m.**

Present: Regina Korby, Jay Cone, Geoffrey Moore, Owen Scanlon

Absent: Janet Fugate

Staff: Bart Bingham, Micah Austin, Ned Williamson

Call to Order

[6:28:53 PM](#) Chair Moore called the meeting to order.

Public Comment for items not on the agenda

[6:30:47 PM](#) None.

Consent Agenda

CA 1 Motion to approve minutes of April 8, 2013 Regular Meeting.

[6:31:17 PM](#) Micah Austin noted the minutes were corrected to include the swearing-in language.

[6:34:00 PM](#) **Owen Scanlon moved to approve CA 1. Jay Cone seconded, and the motion passed unanimously.**

[6:34:35 PM](#) Mr. Austin asked Ned Williamson to address the Commission on the matter of electronic signs. Mr. Williamson noted there are some First Amendment protection issues to be considered, and he answered questions from the Commission's last meeting. Mr. Williamson recommended "really tight language" in considering these signs, and further asked for additional time to review the issue.

[6:42:40 PM](#) Chair Moore noted the agenda should be amended to switch the order of Tabs 3 and 4. **Jay Cone moved to amend the agenda to place Tab 3 in place of Tab 4 and vice versa. Owen Scanlon seconded, and the motion carried unanimously.**

New Business

NB 1 Motion to approve Findings of Fact, Conclusions of Law—approval of an annexation request from the Blaine County School District to annex Parcel 4 of a Replat of Maurer Subdivision (Inst.510590), comprising a total of .62 acres, into Hailey City Limits for the purpose of expanding the Wood River Middle School.

[6:43:51 PM](#) Micah Austin reminded of the difference between the design review consideration and the annexation consideration in this matter. He further provided background and overview.

[6:48:42 PM](#) John Gaeddart, BCSD, thanked the Commission and expressed hope for their approval.

[6:49:00 PM](#) Chair Moore opened the matter to public comment. None was offered. Commission discussion included whether the 25' height limit should be a condition of approval and be carried on to plat notes for future reference. Micah Austin noted it is included in the Conclusions of Law. Chair Moore still believed it should be on a plat note for added protection

in the future. Mr. Gaeddart assured that BCSD had no problem with that. Chair Moore also asked for clarification on City services impacts and kitchens included in the project.

[6:51:44 PM](#) Jolyon Sawrey, project architect, explained that the overall project will have only two kitchen sinks rather than the current three and therefore may represent a reduction of impact on City services. He further noted that the courtyard improvements for this project will come before the Commission on a new application. Micah Austin noted he is comfortable with the impact information provided in the engineer's analysis of the project, which shows no additional impact. Commission discussion continued to clarification of the question.

[6:58:01 PM](#) **Regina Korby moved to approve the annexation request from Blaine County School District. Owen Scanlon seconded, and the motion carried unanimously.**

NB 2 Motion to approve Findings of Fact, Conclusions of Law—approval of an application by Strada Capital Inc. for Design Review of an alteration to the exterior of an existing residence by altering the roof over front entry from a shed roof to a gabled roof type and an existing installed window to a garage door and vehicle entry area. The residence being located at Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.) is within the Townsite Overlay (TO) and General Residential (GR) Zoning Districts.

[6:59:14 PM](#) Bart Bingham provided background and overview.

[7:01:34 PM](#) **Jay Cone moved to approve the Findings of Fact, Conclusions of Law for the Strada Capital, Inc. application provided Conditions 1 through 12 are met. Regina Korby seconded, and the motion passed unanimously.**

[7:01:34 PM](#) Chair Moore granted a short recess to allow for a computer re-start in order to rectify a malfunction. [7:12:19 PM](#) The meeting was called back to order.

NB 3 Motion to approve Findings of Fact, Conclusions of Law—approval of an application by Blaine County School District for Design Review of a 4,370 sq. ft. classrooms and hallway addition to the existing Wood River Middle School. The school is located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) and within the General Residential (GR) Zoning District.

[7:16:41 PM](#) Bart Bingham provided the details requested by Commissioners at their last meeting. Parking provisions were emphasized for clarity with John Gaeddart, BCSD, pointing out parking areas on the drawings. [7:23:53 PM](#), Commission discussion included parking clarifications, the importance of memorializing requirements and agreements, and how parking lot/exterior lighting will fit into the City's dark sky ordinance. [7:31:17 PM](#) Paul Stoops, project lighting engineer, clarified information and provided historical background. He further explained requirements to bring existing lighting into current compliance. [7:38:01 PM](#) Mr. Gaeddart continued to address the Commission's questions regarding parking. [7:39:48 PM](#) Chair Moore voiced concerns about the sightline from the bike path and impact on neighbors nearby. He asked to add a condition of approval requiring that future changes around the courtyard area of the project come back to the Commission. [7:42:54 PM](#) Micah Austin explained that Mr. Moore's concerns were already addressed in existing requirements. [7:45:32 PM](#) Jolyon Sawrey clarified plans for the courtyard area. Mr. Sawrey emphasized that there is one current project now before the Commission, but a separate future project could certainly be discussed. [7:48:59 PM](#) Further discussion included whether there would be a separate design review, and whether these plans should be handled as one project or two.

7:52:31 PM Jay Cone moved to go into Executive Session to discuss the applicability of the design review process and requirements. Regina Korby seconded. The majority voted in favor with Mr. Scanlon dissenting.

8:02:44 PM The Commission returned from Executive Session.

8:03:07 PM Chair Moore opened the meeting to public comment.

8:03:16 PM John Gaeddart, BCSD, advised that the school district will submit an application for the second future project by week's end. He noted the district's intention to proceed under Mr. Austin's guidance and to work with the Commission's concerns. Mr. Gaeddart further reminded that timing of the project remains an issue in order to have occupancy by the end of summer.

8:06:11 PM With no further comment offered, Chair Moore closed the public hearing.

8:07:24 PM Regina Korby moved to approve the Findings of Fact, Conclusions of Law, and Decision for the design review application by Blaine County School District, provided conditions (1) through (12) are met. Jay Cone seconded. Discussion continued to emphasize that this review addressed only the four classrooms and the hallway addition, and that the second project must come before the Commission at the next P&Z meeting on May 13, 2013. **In a call for the question, the motion passed unanimously.**

NB 4 Motion to approve Findings of Fact, Conclusions of Law—approval of a Conditional Use Permit request from Mountain Rides Transportation Authority for operating a South Valley Facility on Woodside Subdivision Plat #10, Lot 38, Block 42 (otherwise known as 4021 Glenbrook Dr.) which is located in the Business (B) Zone.

7:12:43 PM Micah Austin summarized the application and reviewed the details.

7:15:10 PM Chair Moore opened the matter to public comment. None was offered.

7:15:24 PM Owen Scanlon moved to approve the Conditional Use Permit request from Mountain Rides Transportation Authority. Regina Korby seconded, and the motion carried unanimously.

NB 5 Public Hearing and consideration of an application by Craig Johnson for Design Review of a new single family residence (Curran Residence) proposed to be built at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), which is within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

8:10:39 PM Bart Bingham provided background, and noted that the phone availability of the project representative at the last P&Z meeting did not work out, so the applicant was present at this meeting. Mr. Bingham addressed the concerns of commissioners at the last meeting and showed the applicant's new information as provided. 8:17:27 PM Mr. Bingham introduced Craig Johnson to answer any questions. Discussion included elevation and drainage, cost savings of a ¾" meter line, and the sidewalk in-lieu fee.

8:19:57 PM Chair Moore opened the meeting to public comment. None was offered.

8:21:57 PM Regina Korby moved to approve the design review application by Craig Johnson provided conditions (a) through (l) are met. Jay Cone seconded, and the motion passed unanimously.

NB 6 Public Hearing and consideration of an Application by The Sage School for Design Review of two new 2,880 sq. ft. modular classrooms to be located at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.

[8:23:58 PM](#) Bart Bingham provided an overview of the application, and noted one letter in opposition was received. Jolyon Sawrey presented for the applicant, clarifying size and exterior appearance of modular buildings, fire access and sidewalk compliance, the process of building with modular structures, foundations and engineering of modulars, the garbage enclosure, existing lighting and new lighting compliance, and materials samples. [8:39:58 PM](#) Commission discussion included zoning and impact on the parking area. Nancy Linscott, Sage School, clarified how zoning approval was originally obtained. She further addressed the impact on the parking area. [8:43:03 PM](#) Mr. Sawrey also commented on the parking issue, and why these structures are temporary rather than permanent. Harry Weekes, Sage School, explained that Airport West specifically asked for a clear reference to temporary structures. Micah Austin noted that the City views these as permanent structures architecturally compatible with Airport West. [8:50:58 PM](#) Commission discussion included window orientation and how closely the Commission must follow guidelines. With concerns about energy efficiency, discussion continued on an “approved alternative” option. Further discussion continued on whether the City’s Build Better Program should apply to this structure, [9:06:09 PM](#) snow storage, fencing, deck and ramp materials, color choices, handrails, skirting and ventilation, soffit material/color, truss/beam color, connectors on trusses, colors of pressure plates and gutters, water and sewer connections.

[9:16:07 PM](#) Chair Moore opened the matter to public comment.

[9:16:35 PM](#) Ari Drougas, 1231 Snow Fly Drive, spoke in favor of the application noting he lives nearby and believes these structures are much improved over early versions of modular buildings.

[9:18:36 PM](#) Peter Boyce, Della View, spoke in favor, adding that he believes the school is an asset to the community.

[9:19:21 PM](#) Pam Gammon, Robin Hood Drive, spoke in favor, noting that the new structures would allow older students to mentor younger ones.

[9:20:09 PM](#) Mary Rau, mother of a Sage School student, spoke in favor.

[9:20:33 PM](#) Collette Evans, mother of a Sage School student, spoke in favor of the project and noted her appreciation of environmental concerns being well addressed.

[9:21:35 PM](#) Nancy Linscott, Sage School, noted the benefit of enhancing the safety of the school facility by having the students together on a more cohesive campus.

[9:23:33 PM](#) Carla Penfield Stroh, 117 West Bullion Street, spoke in support and advised that she also submitted a letter of support to the City.

[9:24:00 PM](#) Bart Bingham noted for the record the opposition of Brad Billger who is concerned about noise and traffic. Micah Austin added that a large number of public comments were received regarding this application, and that Mr. Billger’s was the only one in opposition.

[9:25:21 PM](#) With no further comment offered, Chair Moore closed the matter to public comment. Commission discussion addressed the fact that colors not yet chosen must be presented to staff before building, and that this must be incorporated into the Findings of Fact. Mr. Sawrey assured he would be happy to comply.

[9:28:08 PM](#) Jay Cone moved to approve the design review application by The Sage School provided conditions (a) through (k) are met and with the addition of conditions (l) and (m). That is, drawings and specifications are to be reviewed by at least one staff member and one commission member to show the addition of at least one of the following: one additional energy saving option, or two energy saving elements. Condition (m) will require additional color samples and confirmation of all colors and locations. Owen Scanlon

seconded. Discussion continued on the intent of Mr. Cone's motion language. Mr. Bingham assured there is "an approved alternative" in the existing language. **In a call for the question, the motion carried unanimously.**

[9:32:59 PM](#) Chair Moore called for a brief recess. [9:37:56 PM](#) The meeting was called back to order.

NB 7 Public Hearing and consideration of a City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by deleting the following sections and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5, 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4. All zoning requirements from the preceding sections will be consolidated into the District Use Matrix. The proposed amendment's objective is to make the Zoning Ordinance easier to understand and interpret.

[9:38:06 PM](#) Micah Austin provided a summary and clarification on narratives in bulk requirements that do not fit into the matrix. He further walked the Commission through some portions that he reviewed with Ned Williamson. [9:45:34 PM](#) Discussion included how the commission can review sufficiently for any change of original intent, the importance of consistency, and one added use: "residential assisted living care." [9:53:10 PM](#) Discussion continued on reasons for the matrix, how language applies and some suggested changes, whether "mixed use" is a use or a zone, and the importance of clear definitions. [10:01:10 PM](#) Further discussion included how the matrix addresses convenience stores in gas stations, accessory dwelling units, garages, possible errors of omission, and swimming pools. [10:07:13 PM](#) In addressing the ways in which the matrix meets the code and whether this process is amending the ordinance, Micah Austin made suggested changes directly on his computer. Discussion continued on procedural questions for this meeting.

[10:16:42 PM](#) Owen Scanlon moved to recommend the City Council approve the proposed amendments to City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by deleting the sections listed here and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5, 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4, and as further amended by the Commission during this meeting, finding that the amendments are in accordance with the Comprehensive Plan, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare. Regina Korby seconded, and the motion carried unanimously.

[10:17:59 PM](#) Jay Cone moved to continue to a date certain (May 13, 2013) agenda items OB 1 and SR 1. Owen Scanlon seconded and the motion passed unanimously.

Old Business

OB 1 Public Hearing and consideration of an amendment to Section 8.2 of the Zoning Ordinance which addresses signs and sign regulations. The proposed amendment revises the definition of an Animated Sign, adds a definition for Electronic Message Display (EMD) Sign, and defines the standards and regulations for Electronic Message Display and Animated Signs. (Continue from 4-08-2013)

Commission Reports and Discussion

Staff Reports and Discussion

SR 1 Discussion of Goals and Priorities for the Hailey Planning and Zoning Commission.

SR 2 Discussion of current building activity and upcoming projects.

[10:18:56 PM](#) With 38 permits to date this year, building activity is up considerably.

[10:20:04 PM](#) Bart Bingham introduced the City's new tree guide.

SR 3 Discussion of the next Planning and Zoning meeting: Monday, May 13, 2013.

[10:22:34 PM](#) Jay Cone wondered if the Middle School representatives fully understood the benefit of the Commission's approval tonight given the circumstances. [10:24:08 PM](#) Micah Austin briefly compared what is in the code and what is on the design review checklist. He noted he would like to revise that checklist to avoid circumstances such as came up in this meeting. Mr. Cone expressed hope the code and revised checklist could be compared side-by-side.

Adjourn

[10:26:03 PM](#) Owen Scanlon moved to adjourn. Jay Cone seconded and the motion carried unanimously.

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On May 13, 2013 the Hailey Planning & Zoning Commission considered a recommendation by the Administrator to exempt from design review an application submitted by Blaine County School District (hereinafter “BCSD”) for Design Review approval for a 1,195 sq. ft. addition to the interior courtyard of the Wood River Middle School (hereinafter “WRMS”) to accommodate a remodel of a current classroom and an addition. WRMS is located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) within the General Residential (GR) and Townsite Overlay (TO) districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

6A.1(A). No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:

- 1. A building for a non-residential use within any zoning district.**
- 2. A building for a Public or Semi-Public Use within any zoning district.**
- 3. A Multi-Family Dwelling of three or more units within any zoning district.**
- 4. A Single Family Dwelling, Duplex or Accessory Structure within the Townsite Overlay (TO) District.**
- 5. A Historic Structure.**

The building houses the Wood River Middle School, is open to the public, and provides for a non-residential use. Design review approval is therefore required.

6A.2(A)(3). The Administrator has the authority to recommend exemption of certain projects from the design review requirements, upon finding; the project is minor, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties. Examples include, but are not limited to minor deck additions, changes to siding materials, changes to an existing window or door, an addition of a window or door, and minor landscape changes. Such recommendation for exemption shall be drafted in the form of Findings of Fact and

Conclusions of Law, subject to final decision by the Commission on its consent agenda prior to issuance of a building permit. Should the Commission deny the Administrator's recommendation or should the Administrator determine that the proposal does not meet all of the above evaluation criteria, the project shall be subject to the provisions of this chapter prior to issuance of a building permit.

The Administrator reviewed a request submitted by the Blaine County School District on for alteration of the exterior of an existing building located within the interior courtyard of the Wood River Middle School, located at Northridge Sub No. 4, Blk 1, Lot 2 (900 N. 2nd Ave.) within the General Residential (GR) zoning district. The proposal is to add 1,195 sq. ft of conditioned space for a remodeled classroom, which would add one additional exterior wall to the courtyard.

The Administrator recommends exemption from the design review requirements for the following reasons:

1. After reviewing the complete application and proposal, the Administrator finds the proposed alteration will not conflict with the design review standards of this Chapter;
2. Will not adversely impact any adjacent properties; and
3. Is not prominently visible from a public street [6A.2(A)1]

The alteration adds an addition to an exterior wall but is constructed in the same theme as the school's existing exterior walls, which have all received approval for design review during their own application period. There are no deviations from the architectural theme that is currently established at the WRMS. Identical elevations were approved at the April 22, 2013 meeting of the Planning and Zoning Commission.

Application

BCSD, represented by Jolyon H. Sawrey of Vital ink Environmental Architecture & Consulting, submitted a Design Review Exemption application for a 1,196 sq. ft. WRMS Special Ed Remodel and Addition. The project location is at the WRMS location noted above.

Procedural History

The application was considered before the P&Z Commission on May 13, 2013 as a Design Review Exemption.

CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.

2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Given the unique nature of this project, this constitutes a minor project, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties.
5. The proposed WRMS Special Ed Remodel and Addition is approved and is documented in the project file.

Signed this _____ day of _____, 2013.

Geoffrey Moore, Chair

Attest:

Bart Bingham, Principal Planner

CITY OF HAILEY - Design Review Application

Submittal Date: 05 / 07 / 2013

Project Name: WRMS - SPECIAL-ED REMODEL & ADDITION Parcel No. RPH

Legal Description of Property: Subdivision NORTH RIDGE NO. 4 Lot(s) 2 Block 1

Street Address of Property: 900 N. SECOND AVENUE

Current Zoning of Property: CIR Year of original construction: 1988 + 2003 (Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable) 151,000 Proposed addition or new construction sq. ft. 1,195

Name of Owner of the Property: BLAINE COUNTY SCHOOL DISTRICT

Mailing Address: 118 W. BULLION City: HAILEY State: ID Zip: 83337

Phone: (208) 578-5200 Fax: Cell:

Email Address: HROYAL@BLAINE.SCHOOLS.ORG

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any ex parte discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: [Signature] Date: 4 / 26 / 2013

Name of individual to contact on behalf of Trust or LLC (if applicable):

Mailing Address: City: State: Zip:

Phone: Fax: Cell:

Email Address:

Application Contact (if different than above): JOLYON H. SAUREY

**Application Contact will be the Planning Department's primary point of contact for questions related to the application.

Mailing Address: 30 WYATT DRIVE City: BELLEVUE State: ID Zip: 83313

Phone: Fax: Cell: (208) 720-6315

Email Address: JOLYON@VITALINKARCHITECTURE.COM

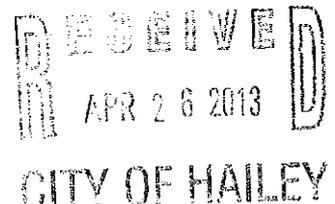
Signature: [Signature] Date: 04 / 26 / 2013

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

- Commercial, Mixed-Use or Multi-Family... \$ 450.00 plus \$25 / 1,000 gross square feet... \$ OR Single-Family Dwelling, Duplex or Accessory Structure in TO... \$ 250.00 OR No Substantial Impact... (Mailing only)... \$ 75.00 OR Modification to DR Approval... (No publication or mailing)... \$ 50.00 OR DR Exemption... (No publication or mailing)... \$ 30.00 Publication cost... \$ 40.00 Mailing (# of addresses) x (postage + .15 paper, envelope & label) \$ DO NOT COUNTY DUPLICATES OR CITY OF HAILEY Total Due... \$ 30.00



DESIGN REVIEW - CHECKLIST

Project Name: Fulmer Court yard
WRMS Special ED Remodel

City Use Only -
 Certified Compete by: [Signature]
 Date: 05 / 07 / 2013

The following items must be submitted with the application for the application to be considered complete (✓):

- ✓ One (1) 24" x 36" set of plans with scale indicated containing the following:
 - ✓ Vicinity map showing project location in relationship to adjacent buildings and surrounding area.
 - ✓ Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions (must show location of adjacent buildings and structures). SEE "CLASSROOMS"
 - ✓ Total square footage of subject property, including lot dimensions.
 - ~~Building setbacks.~~
 - ✓ Staging and contractor parking plan. (FOR PARADE, SEE "CLASSROOMS" SUBMITAL)
 - ✓ Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures).
 - ✓ Landscape plan SEE "SPEC" SHEET & SHEET 6.1
 - ✓ Existing tree to be shown as retained/relocated/removed.
 - ✓ All proposed species type/size/quantity of each.
 - ✓ Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
 - ✓ Floor plan (include gross square footage for each floor, occupancy classification and type of construction).
 - ✓ Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone). SEE NOTES SIT 0.0.
 - ✓ Drainage plan (grading, catch basins, piping, and dry-wells). SEE LANDSCAPE PLAN SIT 1.1
 - ✓ Detailed elevations showing facade of all sides of proposed building and other exterior elements. MUST show elevation points of record grade. Include notes on colors, materials, dimensions.
 - ✓ Colored rendering of at least one side of the proposed building.
 - ✓ Idaho licensed architect (plans for single family dwellings may be stamped by an Idaho licensed structural engineer)
 - ✓ North point and scale.
 - ✓ Six (6) 11" x 17" copies of any larger plans/maps (if project is located within the Townsite Overlay, then one (1) 11" x 17" copy is sufficient). (1) COPY.
 - PDF files of all required documents and 11" x 17" plans/maps; email PDFs to planning@haileycityhall.org.
 - ✓ Color photographs of any existing structures on the site.
 - ✓ Materials and colors sample board. Each sample approximately 12" x 12". SEE ATTACHED PHOTO + ACTUAL "CLASSROOMS" SUBMITAL.
 - ~~Sign Plan (if applicable).~~
 - ~~Area Development Plan (required if property owner also owns adjacent parcels).~~
 - ~~For property located in Airport West, Design Review approval by Airport West Design Board.~~
 - ~~Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.~~
 - ~~Names and addresses of easement holders within subject property.~~
 - ✓ Written statement of how each design review standard is met (contact the Planning Coordinator for which set of standards is applicable to your project).
 - ~~Other information as required by the Zoning Administrator, Hearing Examiner or Commission.~~

City Use Only:

- Double check address
- Advise applicant if Lot Line Adjustment is needed
- Check following basic standards:

<input checked="" type="checkbox"/> Density	<input checked="" type="checkbox"/> Lot coverage
<input checked="" type="checkbox"/> Setbacks	<input checked="" type="checkbox"/> Floor area
<input checked="" type="checkbox"/> Height (plans must show elevation points of record grade)	<input checked="" type="checkbox"/> Parking (# of spaces)

FEATURES & SPECIFICATIONS

INTENDED USE

Provides maintenance-free general illumination for outdoor use in residential and commercial applications such as retail, education, multi-unit housing and storage. Ideal for lighting building facades, parking areas, walkways, garages, loading areas and any other outdoor space requiring reliable safety and security.

CONSTRUCTION

Sturdy weather-resistant aluminum housing with a bronze finish.

High performance LEDs are powered by an MVOLT driver that provides 2,300/3,100 delivered lumens at 5000K. 50,000 hour average LED life means no lamp replacement. Fixture is maintenance-free.

Operating temperature -30°C to 40°C.

Adjustable Dusk-to-Dawn, photocell standard automatically turns light on at dusk and off at dawn for convenience and energy savings.

Photocell can be disabled by rotating the photocell cover.

OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing with Type 3 distribution.

Nighttime Friendly™ full cutoff above 90° angle, standard.

INSTALLATION

Wall or arm mount (mounting arm sold separately).

All mounting hardware included.

LISTINGS

UL Certified to US safety standards. C-UL Certified to Canadian safety standards. Wet location listed.

Tested in accordance with IESNA LM-79 and LM-80 standards. DLC qualified product.

WARRANTY

Five-year limited warranty.

Full warranty terms located at www.AcuityBrands.com/CustomerResources/Terms_and_Conditions.aspx.

NOTE: Specifications are subject to change without notice.

Catalog Number
Notes
Type

Outdoor General Purpose

OLW

LED WALL PACK

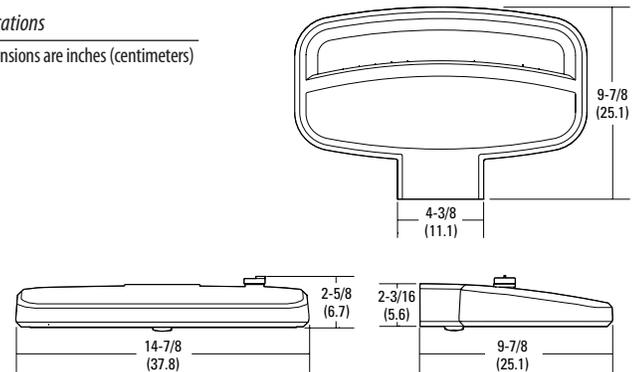


DESIGNLIGHTS
CONSORTIUM



Specifications

All dimensions are inches (centimeters)



OLW23

ORDERING INFORMATION

For shortest lead times, configure products using **bolded options**.

Example: OLW 23

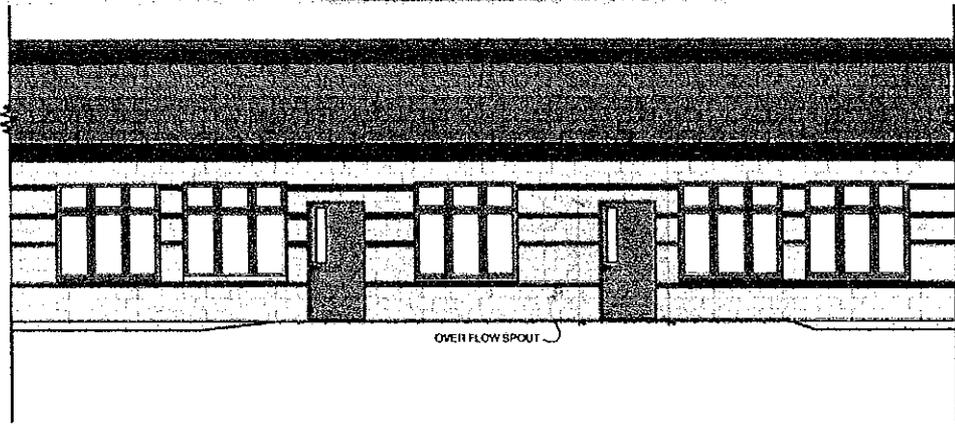
OLW	23			
Series	Lumens / Color Temperature (CCT)	Voltage	Features	Finish
OLW LED Wall Light	23 2300 delivered lumens / 5000K ¹ 31 3100 delivered lumens / 5000K ¹	(blank) MVOLT (120V-277V)	(blank) Photocell included	(blank) DDB Dark Bronze

Accessories: Order as separate catalog number.

OMA M6 14" Aluminum Mounting Arm

Notes

1 Correlated Color Temperature (CCT) shown is nominal per ANSI C78.377-2008.

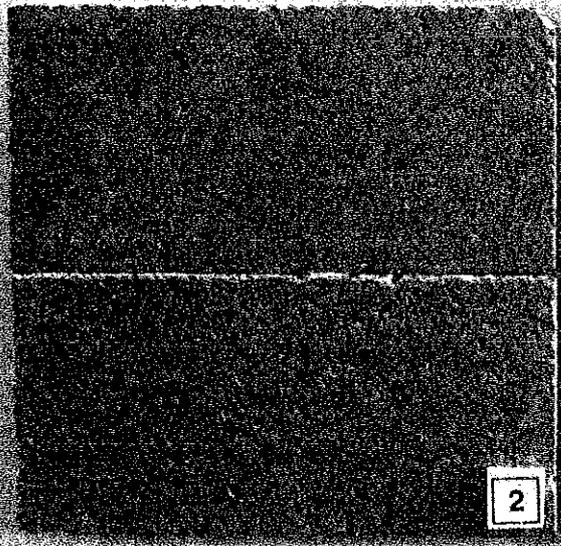
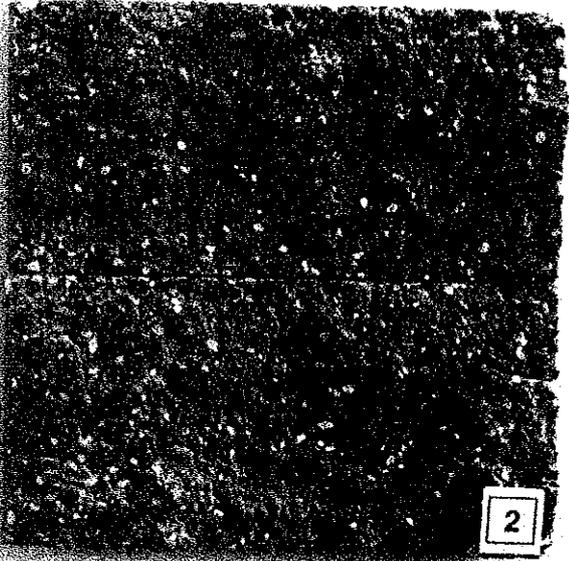


EAST ELEVATION

1/4"=1'-0" ①

Wood River Middle School
SPECIAL - ED

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1
2
3
4

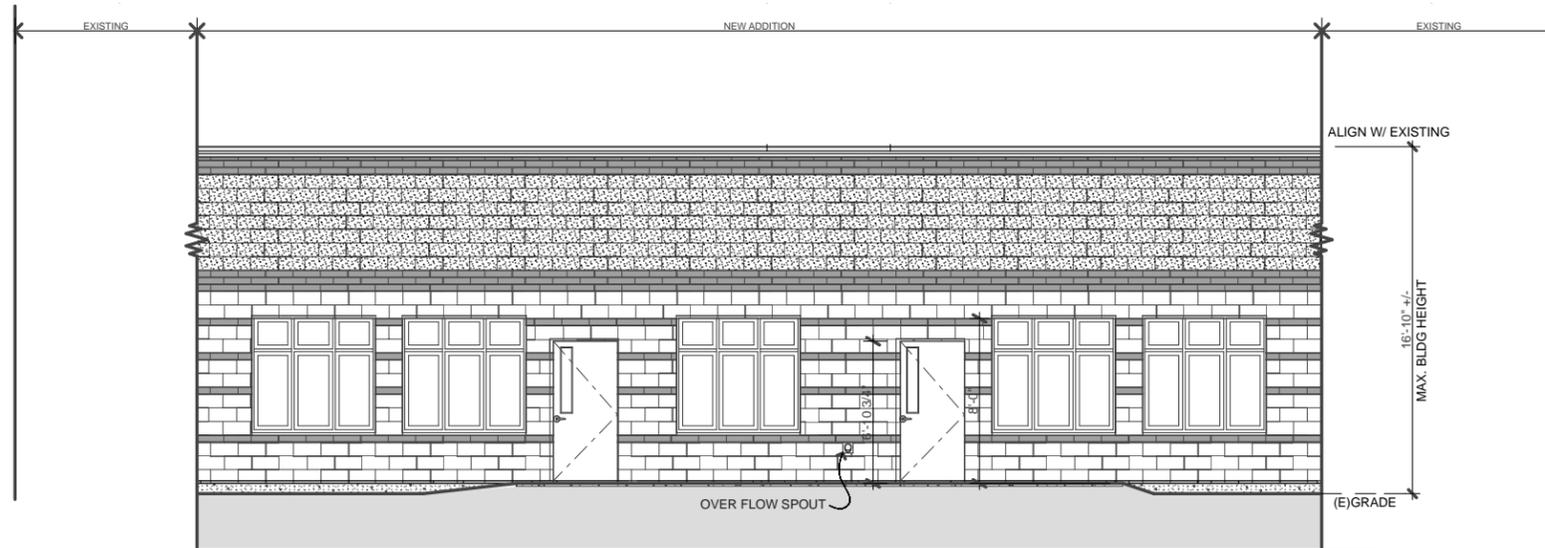
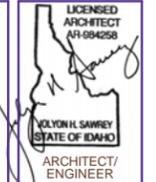


BLAINE COUNTY SCHOOL DISTRICT

blaine.k12.or.us

WOOD RIVER MIDDLE SCHOOL SPECIAL - ED

A NEW ENERGY EFFICIENT ADDITION & DEPT. REMODEL



EAST ELEVATION

1/4"=1'-0"



VICINITY MAP



N.T.S.

PROJECT INFORMATION

DESCRIPTION: LOT 2, BLOCK 1 NORTHRIDGE SUBDIVISION NO. 4
 900 NORTH SECOND AVENUE
 HAILEY, IDAHO 83333

ZONE: GR

SETBACKS: FRONT(SOUTH): N/A SIDE #1(EAST): N/A
(ENTIRELY WITHIN EXISTING COURTYARD) (ENTIRELY WITHIN EXISTING COURTYARD)

BACK (NORTH): N/A SIDE #2:(WEST) N/A
(ENTIRELY WITHIN EXISTING COURTYARD) (ENTIRELY WITHIN EXISTING COURTYARD)

NEW ADDITION HEIGHT: 16'-10" +/- SEE SHEETS 6.1
(ALIGN WITH EXISTING BUILDING)

APPLICABLE BUILDING CODES: 2009 IBC, 2009 IMC, 2009 IPC, 2009 IFGC, 2009 IECC AND 2008 NEC, AS AMENDED BY STATE OF IDAHO AND THE CITY OF HAILEY ARE APPLICABLE TO THIS PROJECT

OCCUPANCY TYPE: GROUP "E" EDUCATION

CONSTRUCTION TYPE: II-B

FIRE SUPPRESSION: THIS ADDITION TO BE EQUIPPED WITH FIRE SUPPRESSION THROUGHOUT

FLOOR AREAS:	EXISTING FACILITY	151,000	SQ.FT.
	NEW ADDITION	1,195	SQ.FT.
TOTAL BLDG. SQ.FT.		152,195	SQ.FT.
	REMODEL OF (E) AREA	2,802	SQ.FT.

PROJECT TEAM

CLIENT:
BLAINE COUNTY SCHOOL DISTRICT
HOWARD ROYAL
 118 W BULLION
 HAILEY, IDAHO 83333
 (208) 578-5000 PHONE

ARCHITECT:
VITAL INK
JOLYON H. SAWREY
 30 WYATT DRIVE
 BELLEVUE, IDAHO 83313
 (208) 720-6315 PHONE
 (866) 760-1895 FAX

ELECTRICAL ENGINEER:
PAUL STOPS ASSOCIATES
PAUL STOOPS
 P.O. BOX 1130
 HAILEY, IDAHO 83333
 (208) 720-5766 PHONE

CONTRACTOR:
CONRAD BROTHERS CONSTRUCTION
TROY BROWN
 KETCHUM, IDAHO 83340
 (208) 309-1230 PHONE

STRUCTURAL ENGINEER:
K&S STRUCTURAL ENGINEERS
DAVE
 614 SOUTH MAIN STREET
 BELLEVUE, IDAHO
 (208) 928-7820 PHONE

MECHANICAL ENGINEER:
BRIAN FORMUSA PE PLLC
BRIAN
 (208) 788-6482 PHONE

CIVIL ENGINEER:
BENCHMARK ENGINEERING
STEVE BUTLER
 KETCHUM, IDAHO 83340
 (208) 720-6423P HONE

PROJECT NOTES

- EXTERIOR LIGHTING:** LIGHT FIXTURES WILL BE A DOWNCAST LOW WATTAGE WALL MOUNTED FIXTURE. SEE SPEC SHEET
- LANDSCAPE PLAN:** LANDSCAPING IS COMPOSED OF (2) EXISTING TREES AND GORUND SURFACE OF ROCK/STONE OVER WEEDBLOCKER IN THE PROJECT AREA. THE TREES ARE TO REMAIN AND WILL BE PROTECTED DURING CONSTRUCTION. THE ROCK/ STONE SURFACE WILL ALSO BE RETURNED TO EXISTING CONDITION AT COMPLETION OF CONSTRUCTION.
- UTILITIES PLAN:** ALL UTILITIES- WATER, SEWER, PHONE, CABLE, GAS, ETC ARE EXISTING TO THE SCHOOL AND WILL BE EXTENDED TO THIS PROJECT INTERNALLY.
- DRAINAGE:** NEW ROOF AREA AS WELL AS MODIFIED GROUND SURFACE AREA WILL BE PIPED(BUILDING) OR SLOPED TO THE EXISTING DRYWELL

SHEET INDEX

SHEET	REV	DESCRIPTION
		ARCHITECTURAL
A0.0		COVER, PROJECT TEAM, BLDG. INFO
A0.1		SPECS, SCHEDULES, CODE SUMMARY
A0.2		ADA, COMCHECK
A1.1		SITE/LANDSCAPE PLAN
A2.0		EXISTING FLOOR PLAN
A2.1		RADON PLAN
A2.2		FLOOR PLAN/ AREA SEPARATION PLAN
A2.3		ADA/CODE PLAN
A2.4		ROOF PLAN
A3.1		SECTIONS
A6.1		DETAILS
A6.1		EXTERIOR ELEVATIONS
A7.1		INTERIOR ELEVATIONS
A7.2		INTERIOR ELEVATIONS
		STRUCTURAL
S0		SPECIFICATIONS
S2		CLASSROOM FOUNDATION PLAN
S2.1		CLASSROOM ROOF FRAMING PLAN
S3		CMU/REBAR PROFILES
S4		STRUCTURAL DETAILS
S5		STRUCTURAL DETAILS
S6		STRUCTURAL DETAILS
		ELECTRICAL
E0.1		COVER SHEET
E2.1		DEMO PLAN
E3.1		POWER/COMM PLAN
E4.1		LIGHTING PLAN
E5.1		ELEC SCHEDULES & SCHEMATICS
		MECHANICAL

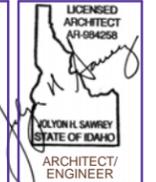
A SPECIALTY REMODEL & ADDITION:
SPECIAL-ED
 HAILEY, IDAHO
 WOOD RIVER MIDDLE SCHOOL

Vital ink MLC
 Environmental Architecture
 & Consulting LLC
 30 Wyatt Drive
 Bellevue, Idaho 83313
 (208) 720-6315 Ph

REVISIONS

DATE
26 APRIL, 2013

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AREA OF NEW ADDITION (LOOKING NORTH)



VIEW OF COURTYARD FROM FAR WEST END (LOOKING EAST)



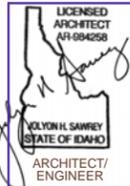
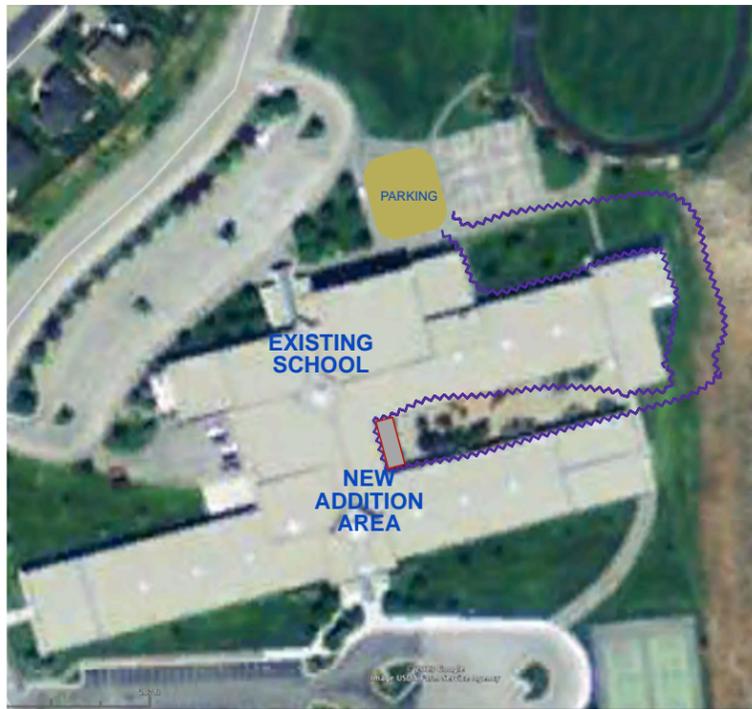
VIEW OF COURTYARD FROM FAR WEST END (LOOKING EAST)



CURRENT KITCHENETTES WITH (3) SINKS



LOOKING WEST AT AREA OF NEW ADDITION



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HAILEY, IDAHO

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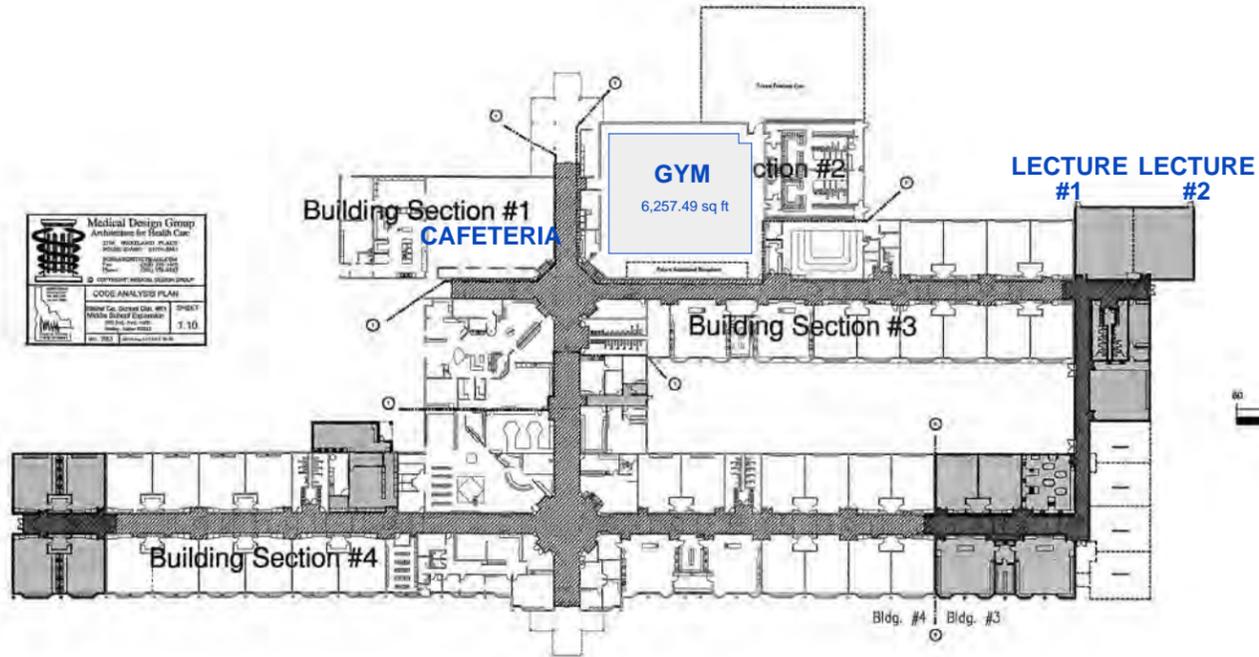
DATE

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1.2 b

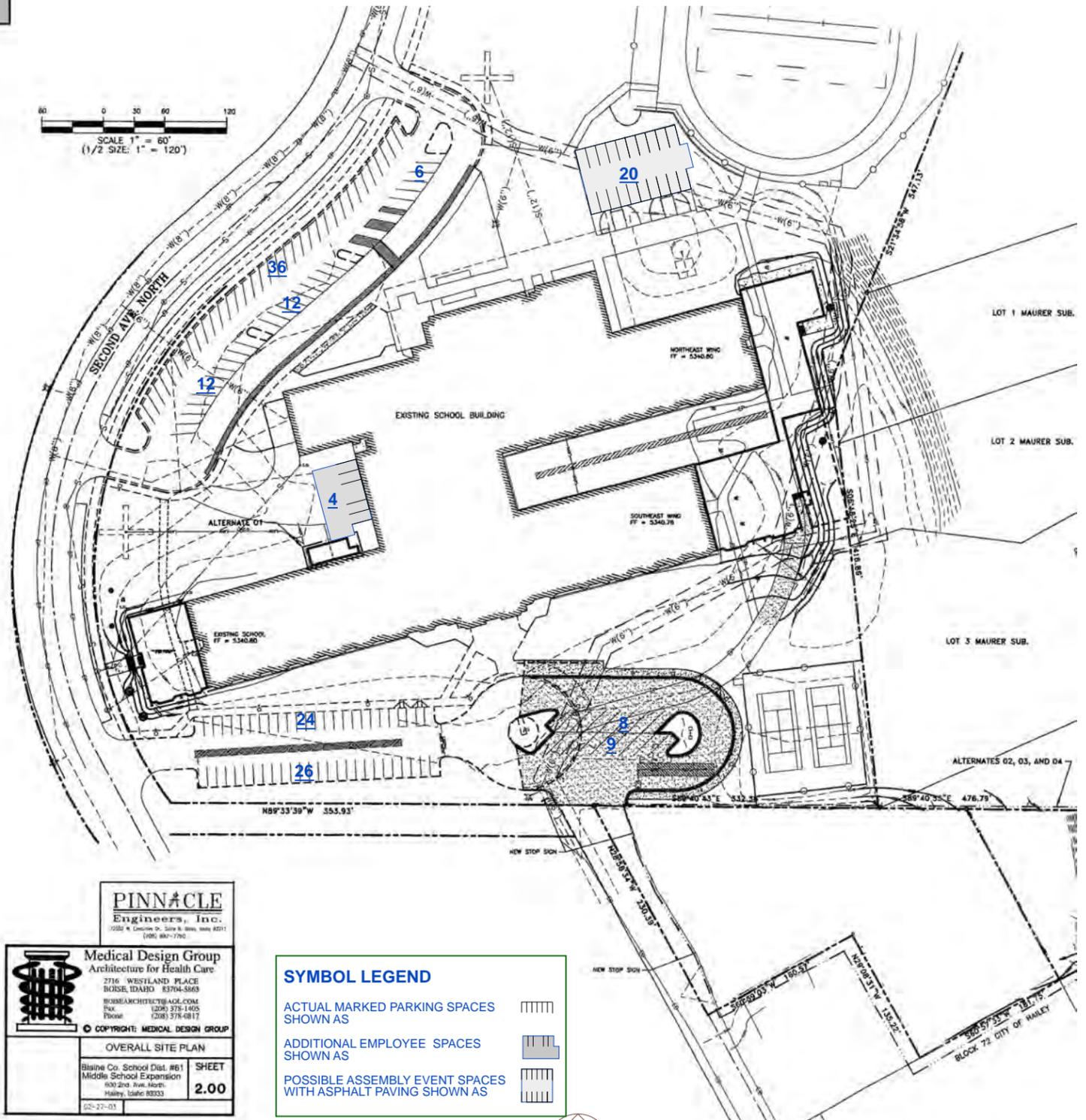
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NOTE:
 1. ORIGINAL BASE DRAWINGS WERE PRODUCED BY OTHERS AND WERE USED UNDER PERMISSION AND PROVIDED BY THE BCSD. IT IS UNDERSTOOD THAT THE BCSD IS THE OWNER OF SAID RESOURCES AND HAS GIVEN PERMISSION TO VI ARCHITECTURE FOR ITS USE AND MODIFICATION WHERE NOTED.
 2. THE INFORMATION ADDED OR MODIFIED TO ARCHITECTURAL DRAWINGS PRODUCED BY OTHERS IS SOLELY PARKING TALLY INFORMATION, OR AREA TABULATIONS FOR OCCUPANT LOADS. ORIGINAL AUTHORSHIP IS SHOWN/NOTED.
 3. ACTUAL PARKING SPACES INSTALLED WERE COUNTED BY VI AND AMOUNTS NOTED. DRAWING MAY VARY SLIGHTLY FROM ACTUAL QTY.
 4. NO NEW IMPROVEMENTS CREATE A NEED FOR MORE/ NEW SNOW STORAGE. SNOW STORAGE TO BE PER EXISTING MAINTENANCE PLAN



PROJECT NORTH
OCCUPANT LOAD DIAGRAM
 1"=50'-0" 2

WRMS PARKING ANALYSIS				
12 APRIL, 2013				
PARKING SPACES SHOWN- SHEETS A1.4a, & A1.4b COMBINED				
SPACES MARKED/ DEFINED	EMPLOYEE SPACES UN-MARKED	OPTIONAL(BASKET-BALL COURT)	STREET SURFACE-WITHIN 300' ADJ.	SURFACE PARKING (PLAY FIELDS)
133	4	20	224	689
TOTAL PARKING SPACES SHOWN(ADJ. TO BLDG, STREET, PLAY FIELDS)				
1070				
PARKING REQUIRED TABULATION SCENARIOS				
SCENARIO "A"- MIDDLE SCHOOL (1) SPACE FOR EVERY TEACHER OR EMPLOYEE				
	QTY.			TOTAL PARKING REQUIRED
TEACHERS	76.25			
EMPLOYEE	18.5			
		TEACHERS & EMPLOYEES		94.75
		TOTAL PARKING PROVIDED SCENARIO "A"		133
		SPACES MARKED/DEFINED		38.25
		SURPLUS SPACES		
SCENARIO "B" - (1) SPACE FOR EVERY (2) PERSONS OF ASSEMBLY AREAS				
ASSEMBLY	AREA (SF)	OCCUPANT CALC. NET SF 7/ OCCUPANT	TOTAL OCCUPANTS	PARKING REQUIRED (Occupant qty/2)
IBC 2009 TABLE 1004.1.1 ASSEMBLY CHAIRS ONLY- 7 NET SF PER OCCUPANT	6257	7	894	447
	POSTED OCCUPANT LOAD			
CAFETERIA	624		624	312
LECTURE #1	311		311	156
LECTURE #2	311		311	156
		TOTAL PARKING REQ. SCENARIO "B"		1070
		SPACES THAT CAN BE PROVIDED		1070
NOTES:				
1. FOR SCENARIO "A" OR "B" THE GREATER PARKING TALLY MUST BE CHOSEN				
2. THE ASSEMBLY AREA OF THE NEW CHOIR ROOM, EXISTING BAND ROOMS THAT ARE SOLELY USED AS TEACHING/CLASSROOM AREAS ARE NOT INCLUDED IN THIS TABULATIONS. THESE SPACES ARE ONLY FOR STUDENTS AND TEACHERS AND WOULD APPLY PER SCENARIO "A". THIS IS BASED ON DISCUSSIONS WITH THE PLANNING ADMINISTRATOR AND FIRE CHIEF. ASSEMBLY AREAS WHERE THE GENERAL PUBLIC WOULD JOIN; TEACHERS, STAFF AND STUDENTS IN AN "ASSEMBLY" CAPACITY ARE INCLUDED IN THIS TALLY AND SHOWN ON THE OCCUPANCY LOAD DIAGRAM. LIBRARIES DO NOT COUNT PER IBC 2009 AS ASSEMBLY AREAS, BUT GYMNASIUMS, CAFETERIAS AND LECTURE HALLS DO.				
3. ARTICLE 9.4 OF THE HAILEY ZONING CODE STATES REGARDING PARKING FOR SCHOOLS: 9.4.4 SCHOOLS ITEM "B" MIDDLE SCHOOLS: 1 FOR EVERY TEACHER OR EMPLOYEE, OR 1 SPACE FOR EVERY TWO PERSONS RATED CAPACITY OF ALL ASSEMBLY AREAS, WHICH EVER IS GREATER				
4. STREET SURFACE PARKING IS PARALLEL SPACES SIZED PER CITY OF HAILEY STANDARDS, AND LOCATIONS CONFIRMED WITH MIKE BALEDGE OF THE CITY FIRE DEPT- SEE ATTACHED LETTER				



Pinnacle Engineers, Inc.
 1022 W. Lincoln Dr. Suite 8, Boise, Idaho 83721
 (208) 887-1790

Medical Design Group Architecture for Health Care
 2716 WESTLAND PLACE
 BOISE, IDAHO 83746-5068
 BURMEARCHITECTURE@AOL.COM
 Fax: (208) 378-1405
 Phone: (208) 378-6817

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OVERALL SITE PLAN

Blaine Co. School Dist. #B1
 Middle School Expansion
 1000 2nd Ave. North
 Hailey, Idaho 83433

SHEET 2.00

02-27-03

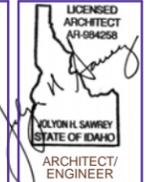
SYMBOL LEGEND

ACTUAL MARKED PARKING SPACES SHOWN AS [Symbol]

ADDITIONAL EMPLOYEE SPACES SHOWN AS [Symbol]

POSSIBLE ASSEMBLY EVENT SPACES WITH ASPHALT PAVING SHOWN AS [Symbol]

PROJECT NORTH
PARKING, CIRCULATION, SNOW STOR. PLAN
 1"=60'-0" 1



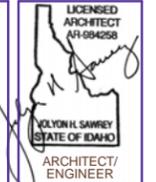
A SPECIALTY REMODEL & ADDITION:
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1.2a
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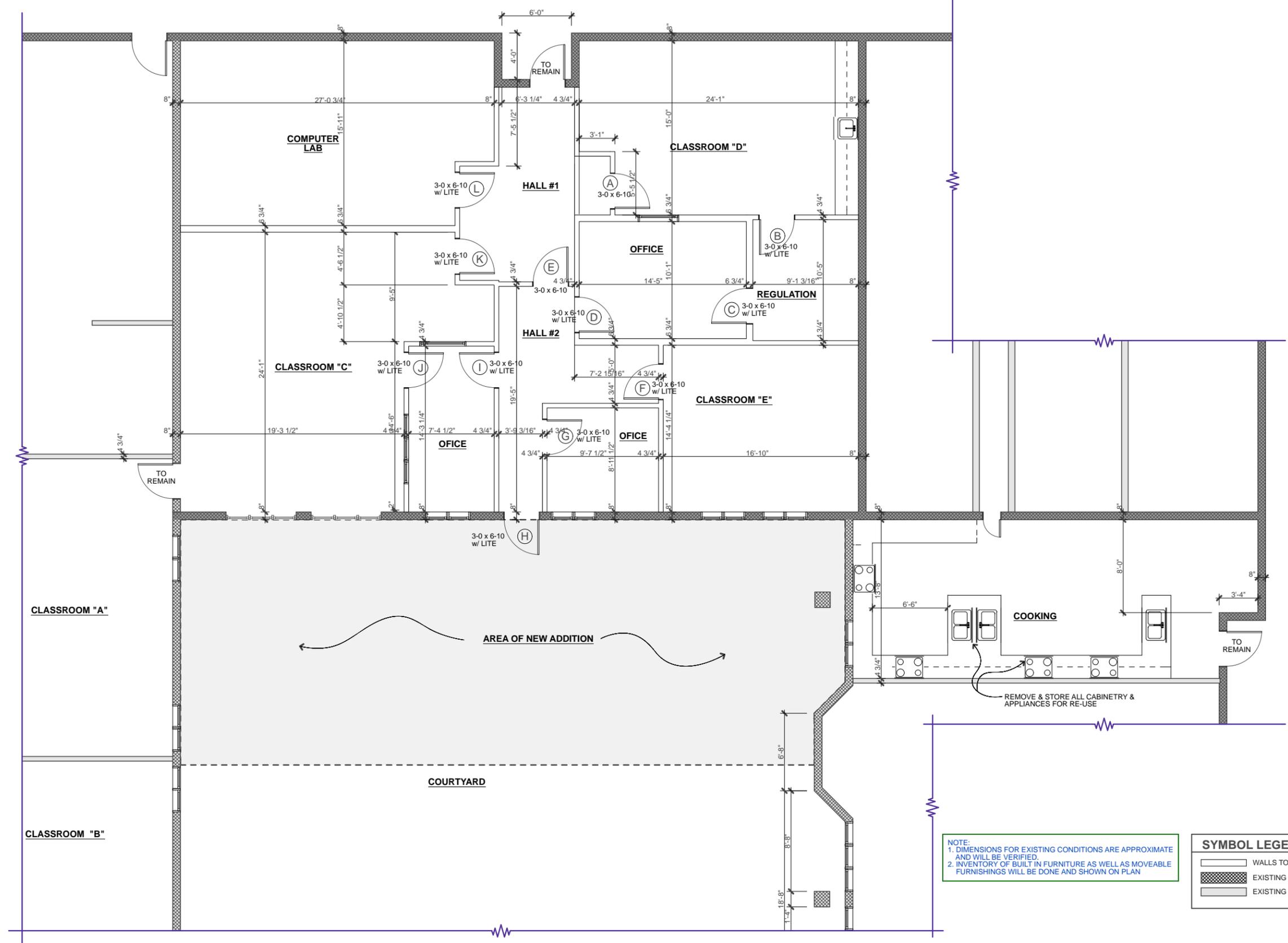
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 & Consulting ^{LLC}
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DATE
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A2.0
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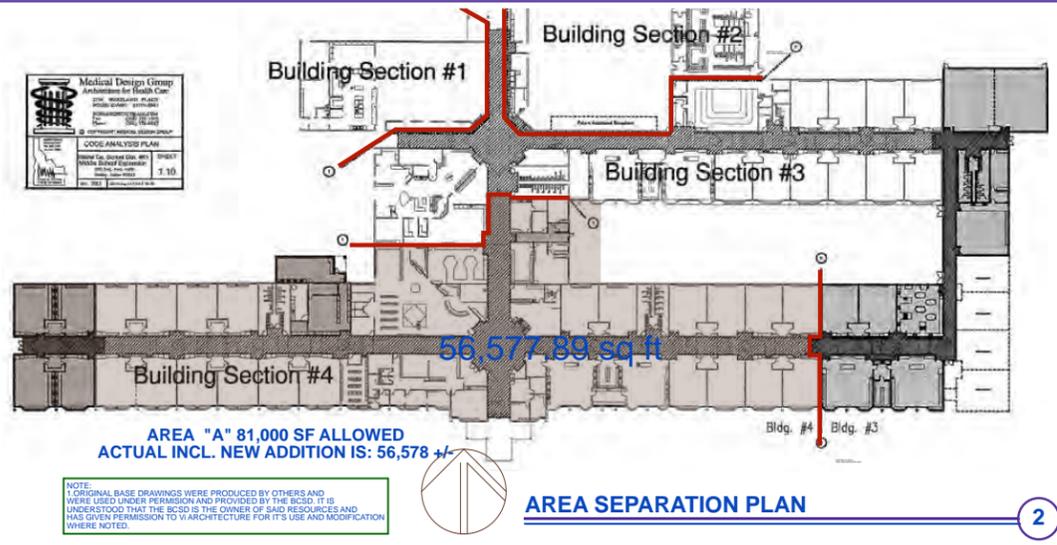
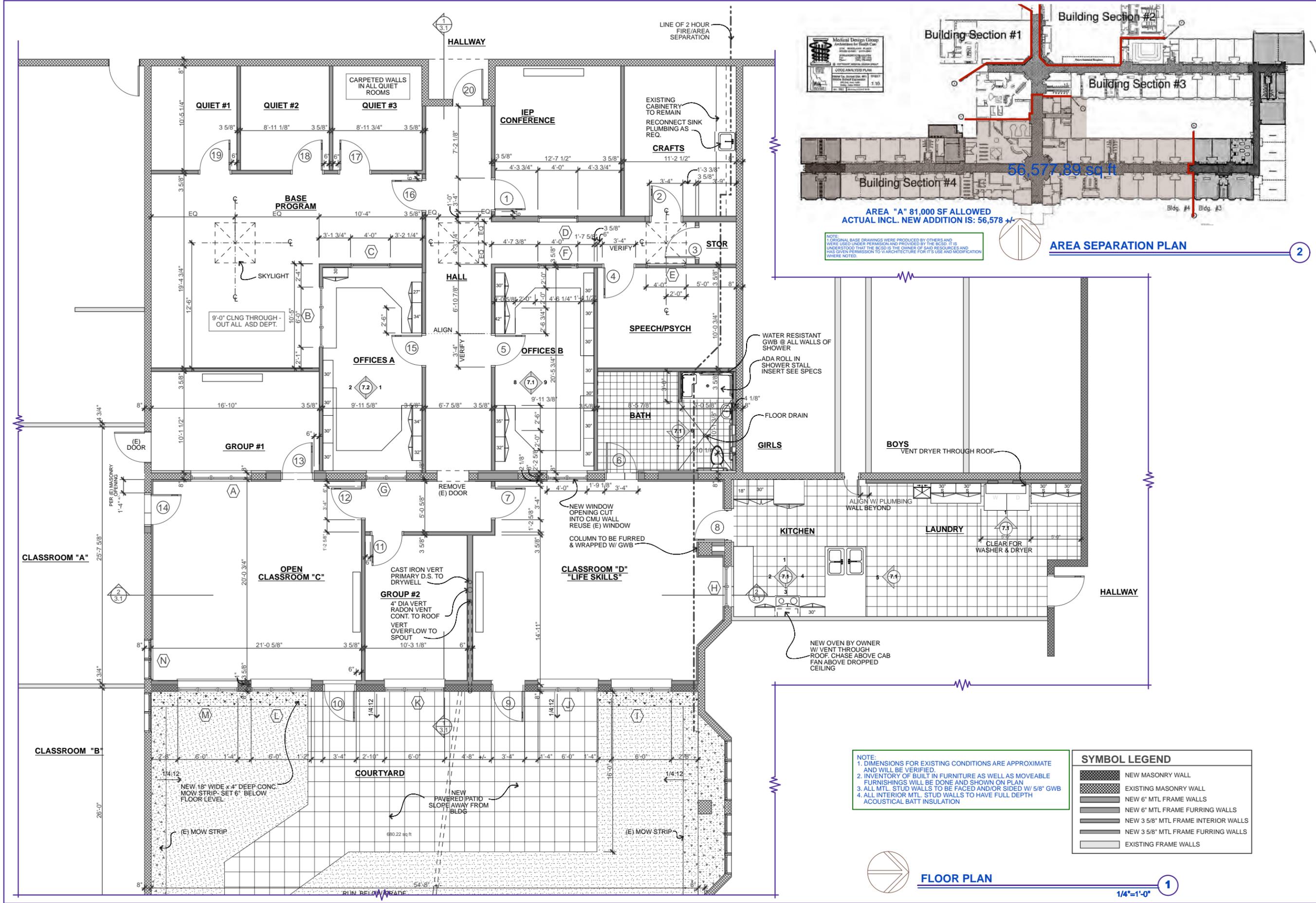
NOTE:
 1. DIMENSIONS FOR EXISTING CONDITIONS ARE APPROXIMATE AND WILL BE VERIFIED.
 2. INVENTORY OF BUILT IN FURNITURE AS WELL AS MOVEABLE FURNISHINGS WILL BE DONE AND SHOWN ON PLAN

SYMBOL LEGEND	
	WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING FRAME WALLS



EXISTING FLOOR PLAN & DEMO PLAN

1/4"=1'-0" **1**



NOTE:
 1. ORIGINAL BASE DRAWINGS WERE PRODUCED BY OTHERS AND WERE USED UNDER PERMISSION AND PROVIDED BY THE BCSD. IT IS UNDERSTOOD THAT THE BCSD IS THE OWNER OF SAID RESOURCES AND HAS GIVEN PERMISSION TO ARCHITECTURE FOR ITS USE AND MODIFICATION WHERE NOTED.

AREA SEPARATION PLAN

NOTE:
 1. DIMENSIONS FOR EXISTING CONDITIONS ARE APPROXIMATE AND WILL BE VERIFIED.
 2. INVENTORY OF BUILT IN FURNITURE AS WELL AS MOVEABLE FURNISHINGS WILL BE DONE AND SHOWN ON PLAN
 3. ALL MTL. STUD WALLS TO BE FACED AND/OR SIDED W/ 5/8" GWB
 4. ALL INTERIOR MTL. STUD WALLS TO HAVE FULL DEPTH ACOUSTICAL BATT INSULATION

SYMBOL LEGEND	
[Pattern]	NEW MASONRY WALL
[Pattern]	EXISTING MASONRY WALL
[Pattern]	NEW 6" MTL FRAME WALLS
[Pattern]	NEW 6" MTL FRAME FURRING WALLS
[Pattern]	NEW 3 5/8" MTL FRAME INTERIOR WALLS
[Pattern]	NEW 3 5/8" MTL FRAME FURRING WALLS
[Pattern]	EXISTING FRAME WALLS

FLOOR PLAN

1/4"=1'-0"

1



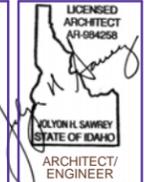
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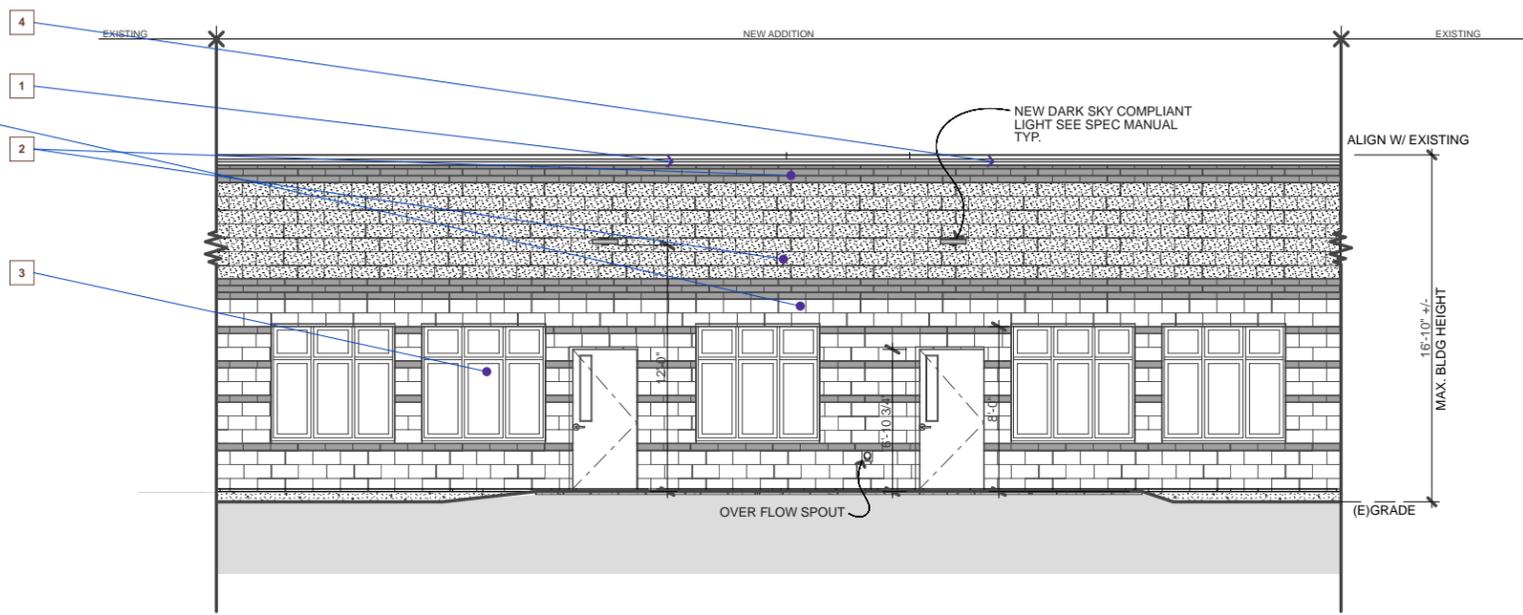
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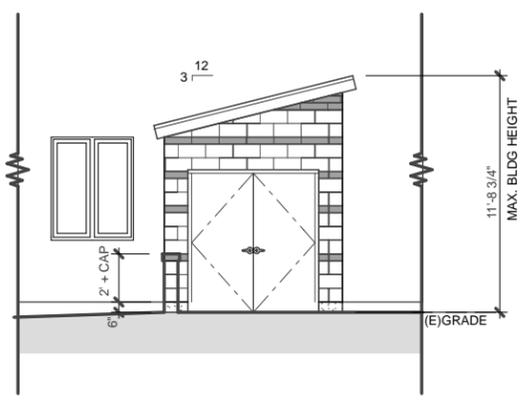


A SPECIALTY REMODEL & ADDITION:
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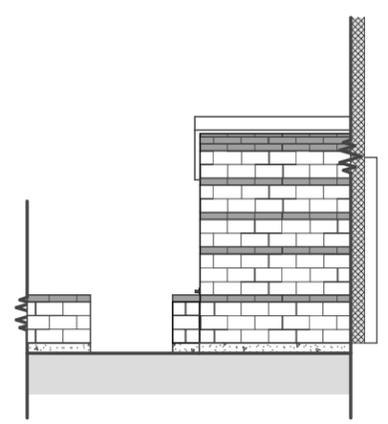
EXTERIOR MATERIALS				
LOC.	MATERIAL	MANUF.	MODEL	FINISH COLOR
1	ROOFING		BALLASTED LOW SLOPE EPDM MEMBRANE ROOFING SYSTEM	MATCH EXISTING ROOFING SYSTEM
2	SIDING- MASONRY	BASALITE	MASONRY (2A)- 8" CMU SMOOTH FACE (2B)- 4" BRICK SMOOTH FACE, (2C)- 8" CMU SPLIT FACED SEE SPEC MANUAL	2A- 630 MOONDUST 2B- 690 BURGUNDY 2C- 640 CANYON RUST MATCH FLASHING
3	WINDOWS/ DOORS	KAWNEER		
4	FLASHING- PARAPET	UNA CLAD	METAL FLASHING WITH HEMED DRIP EDGE(WHERE APPLICABLE), 24G. KYNAR STEEL	TEAL
5	METAL ROOFING	UNA CLAD		TEAL



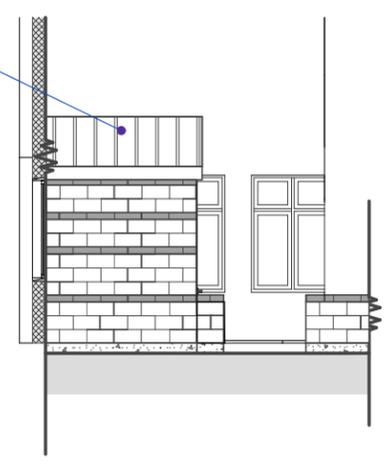
EAST ELEVATION
 1/4"=1'-0" 1



NORTH ELEVATION - SHED
 1/4"=1'-0" 3



WEST ELEVATION-SHED
 1/4"=1'-0" 3



EAST ELEVATION - SHED
 1/4"=1'-0" 2

Vital ink PLLC
 Environmental Architecture
 & Consulting LLC
 30 West Drive
 Bellevue, Idaho 83313
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REVISIONS

DATE
 26 APRIL, 2013

A6.1
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Design Review Exemption Submittal
Blaine County School District
(Wood River Middle School Special – Ed Addition and Remodel)
26 April, 2013

Applicant: Blaine County School District -Wood River Middle School

Request: Design Review Exemption

Location: Northridge Sub No. 4, Blk 1, Lot 2 (900 N 2ND Ave).

Zoning: General Residential District

The City of Hailey Design Review Standards for evaluation were provided by City Staff. I have responded for the project following the provided outline of how this projects intends to meet the requirements.

8.2 Signs.

No signs are proposed for this project

6A.1 Applicability.

A. No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:

- 2. A building for a Public or Semi-Public Use within any zoning district.**

WRMS Special Ed addition and remodel will be to an existing school used for a public use.

6A.3 Permits.

A. No permits shall be issued by any administrative officer or inspector of the City for construction of any building, project, or other improvement requiring a permit before the requirements specified by this Article are met and approval is granted.

Applicant is hereby advised of requirement.

6A.4 Design Review Process.

F. In order for a building permit to be issued after final Design Review approval, final construction drawings must be reviewed and approved by the Building

Department. Application for a building permit must occur within one year of Design Review approval, or as otherwise provided by agreement authorized by law. The expiration date may be extended once, for an additional six (6) months, upon written request. Such request must be received prior to the expiration date.

Applicant is hereby advised of requirement.

6A.7 Improvements Required.

A. Streets.

1. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.

a. The requirement for Sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.

Proposed addition is greater than 500 sq. ft., The entire property already has sidewalks installed as well as complete drainage systems for its entirety. Any new drainage requirements can be met by connecting the new additions' roof drainage to an existing drywell. No additional sidewalks were required for the "Classrooms" design review approval and we find that this project therefore should also not require and sidewalk or drainage improvements

b. The requirement for Sidewalk and drainage improvements may be waived for any remodel or addition to Single Family Dwelling and Duplex projects within the Townsite Overlay District; Sidewalk and drainage improvements shall be required for new Principle Building.

Proposed addition is an addition to a Principle Building.

c. The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110% of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor.

No in-lieu contributions are proposed nor are intended to be made to the City.

2. Sidewalk and drainage improvements shall be located and constructed according to applicable City Standards, except as otherwise provided herein.

b. The Developer or City may propose alternatives to either the standard Sidewalk location or configuration required.

No alternatives are necessary nor proposed.



3. The length of Sidewalk and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any Public Street or Private Street.

Proposed addition does not front a public or private street.

4. New Sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.

No additional circulation connections are necessary for this project as all circulation is done internally, is within the courtyard for simple social access to a patio or a storage structure for maintenance storage equipment.

6A.8 Design Standards.

A. Non-Residential, Multifamily or Mixed Use Building. The following design standards apply to any non-residential, multifamily or mixed use building located within the City of Hailey.

1. Site Planning

a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the occupants and allow for safe access to buildings.

The addition expands into the courtyard approx 21' towards the east. The new wall runs North/South and connects to existing walls on each side. The new exterior walls' window pattern is nearly matching the same amount of glazing area and location as the existing walls. The newly created interior classrooms will have windows installed in partition walls as well as skylights to bring in natural daylight further into the spaces.

b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.

No existing trees are going to be affected. The courtyard is currently a gravel surface with any trees and shrubs being irrigated with a drip system.

c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.

There is no site circulation to public ways. The only exterior circulation is for access to a patio and to a storage shed. A low masonry wall is being constructed to create a visual privacy boundary to keep students close to the special education classroom/ patio area.

d. Building services including loading areas, trash storage/pickup



areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage.

Loading and trash storage pickup for building are existing and are at the northern rear portion of the building.

e. Vending machines located on the exterior of a building shall not be visible from any street.

No vending machines are proposed for this project

f. Except as otherwise provided herein, on-site parking areas shall be located at the rear of the building and buffered from the sidewalk adjacent to the street. Parking and access shall not be obstructed by snow accumulation.

Existing parking areas will remain unchanged. No additional staff is being added due to expansion of classroom areas. Therefore, parking tabulations as already presented for the “Classrooms” project shall address/ cover for this project as well.

g. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.

Snow storage has been previously addressed onsite and proposed new addition does not create any additional need for new parking or snow storage.

h. A designated snow storage area shall not have any dimension less than 10 feet.

Snow storage has been previously addressed onsite.

i. Hauling of snow from downtown areas is permissible where other options are not practical.

Snow storage has been previously addressed onsite.

j. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.

Snow storage has been previously addressed onsite.

k. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.

Snow storage has been previously addressed onsite.

2. Building Design

a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.

Addition is proposed to match existing school in masonry, metal flashing, windows, and flat roof thereby being compatible with the building that it is attached to/ expanding. There are no



surrounding buildings and this addition is entirely within the boundaries of an internal courtyard.

b. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.

The windows/ doors and wall heights are all matching existing sizes on the building are relate to human scale. The design relative to visual and solar connection to the courtyard promotes human activity with the outdoors by means of doors accessing the proposed patio and defined outdoor yard area.

c. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.

Addition is proposed to match existing school in masonry, metal flashing, windows, and flat roof.

d. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.

Exterior walls are proposed to incorporate various types of masonry (CMU smooth face, CMU split faced), flashing-parapet, and windows/doors.

e. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.

Exterior walls are proposed to match existing building and there is no visual ability to relate to any surrounding buildings as the project is surrounded by its' own building.

f. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:

i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.

No special solar orientation is proposed relative to wall plan orientation

ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.

There are no south facing windows

iii) Double glazed windows.

ITEM #1 PROPOSED-Windows will match existing building windows; which are double glazed windows

iv) Windows with Low Emissivity glazing.

ITEM #2 PROPOSED - Windows will match existing building windows and will be Low Emissivity



v) Earth berming against exterior walls

Earth berming against exterior walls is not proposed.

vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.

No alternative energy is proposed on site.

vii) Exterior light shelves. All windows on the southern most facing side of the building shall have external light shelves installed.

Not applicable. Proposed addition does not propose any windows on south elevation.

To meet the “or an approved alternative” to improve energy cost savings. We are upgrading roof insulation and wall insulation to above 2009 IECC measures. These improvement values are. 2009 IECC FOR ZONE 6 Walls mass req. R-12.5, proposed R-21= 41% better, and Roofs insulation entirely above deck req. R-20 continuous, proposed R-38 continuous = 48% better

g. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.

The roof is a low slope design with parapet walls such that all roof drainage is internal. There will be no dripping, snow falling or need for downspouts/ gutters as runoff is managed with internal drain piping. The secondary overflow drain spout is away from doors and is at a height of 2'-0" above grade.

h. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.

The secondary drain is installed as a security measure and should only in an emergency have any drainage occur. This is intended to be a visual reference for an emergency and then the maintenance staff would respond to a roof emergency. Additionally where this discharge would occur is not in a circulation area and the courtyard is not to be used as a circulation route/ area.

4. Landscaping

a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.

No new plantings are proposed. Any disturbed surfaces will be returned to the existing rock/ stone surfacing over weed blocker fabric. No irrigation exists for these areas and none is proposed.

b. All plant species shall be hardy to the Zone 4 environment.

Not applicable as no vegetation is changing.

c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize



water use, such as moisture sensors, are encouraged.

Not applicable as no landscaping is being added or effected areas that require any irrigation.

d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity.

No change to any living landscaping is proposed and no new living landscaping will be added.

e. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.

Proposed plans do not show storm water being retained onsite.

f. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).

Existing and previously used landscape maintenance plan is proposed to continue.

8B.1 Outdoor Lighting General Provisions.

a. Title – Article VIII B Hailey Outdoor Lighting Ordinance.

8B.2 Applicability.

8B.2.1 New Lighting. All exterior lighting installed after the effective date of this Article shall conform to the standards established by this Article.

Outdoor OLW LED wall packs as shown on attached spec sheets will be installed above doors to patios where shown on elevation drawing.

8B.2.2 Existing Lighting. All existing exterior lighting installed before the effective date of this Article shall be brought into conformance with this Article, except Section 8B.4.3, within the following time periods:

a. All existing exterior lighting located on a subject property that is part of an application for design review approval, a conditional use permit, subdivision approval, or a building permit is required to be brought into conformance with this Article before issuance of a Certificate of Occupancy, final inspection or final plat recordation, when applicable.

Applicant has stated through representative, electrical engineer Paul D. Stoops, that the criteria for performance of the Outdoor Lighting Ordinance has not changed since exterior lighting fixtures was last updated at WRMS to comply with the Outdoor Lighting Ordinance. The applicant further states through the representative that further modifications to the WRMS



existing outdoor lighting should not be required. All existing exterior lighting on WRMS shall be brought into conformance if it is not in conformance by replacing or mitigating applicable exterior lighting.

c. All existing exterior lighting on property used for residential, institutional, public and semi-public uses, not affected by Section 8B.2.2 (1) above, that does not comply with this Article is required to be brought into conformance with this Article.

All existing exterior lighting was addressed during the ‘Classrooms’ submittal and Design Review Approval

9.4 On-Site Parking Space Requirements.

9.4.4 Schools.

B. Middle schools: 1 for every teacher or employee, or 1 space for every two persons rated capacity of all assembly areas, whichever is greater.

WRMS satisfies the 1 parking space for every teacher or employee standard as WRMS is projected to have 95 staff members during the 2013-2014 academic year (see WRMS Principal Fritz Peters April 15, 2013 memo) and presently has 133 existing onsite striped parking spaces. WRMS also satisfies the 1 parking space for every two persons rated capacity or at least one space for every two person with the rated capacity requirement (number determined by the four assembly areas at WRMS - gym, cafeteria, and two lecture halls) by providing access/capability to use 1,070 parking spaces (see memo from applicant’s representative, John D. Gaeddert, AICP, dated April 16, 2013). This tally (1,070 parking spaces) is reached by adding 133 existing onsite striped parking spaces, 24 existing onsite non-striped parking spaces, 224 non-striped parallel parking street-side spaces, and 689 overflow grass area parking spaces located north of the school (see attached diagram 1.4b showing parking).

9.4.8 Shared Parking

E. Shared parking spaces may be located on a different lot than the use, which

it serves only where the following conditions are met:

1. The parking is located no more than 300 feet from the use that it serves. The distance between the use and the parking lot shall be measured following a reasonable and safe walking route from the main entrance of the use to the nearest parking lot;

Parking areas on parking diagram 1.4b are within 300 feet of WRMS and are within a reasonable walking distance.

2. The applicant(s) for a building permit or certificate of occupancy for the use which is to be served by a shared parking program shall submit a copy of a written agreement pursuant to subparagraph (h) of this Section along with his or her application for such permit or certificate.

H. Agreement For Shared Parking Plan: The developer(s) applying for a shared

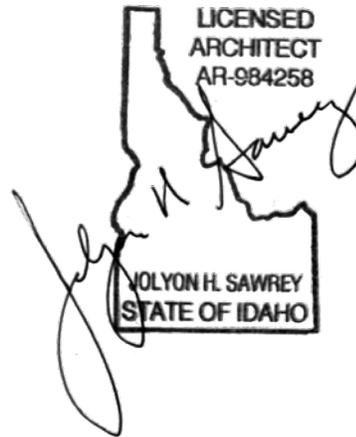


parking program in accordance with this Section shall submit a written agreement approved by the City Attorney requiring that the parking spaces shall be maintained as long as the uses requiring the parking exist or unless the required parking is provided elsewhere in accordance with the provisions of this Section. Such written agreement shall be recorded by the developer(s) with the Blaine County Recorder prior to the issuance of a building permit or business license if no building permit is necessary, and a copy filed in the project review file.

With all parking spaces on either BCSD property or public right-of-ways, a shared parking plan is not required.

Sincerely,

Jolyon H. Sawrey, Architect



FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On May 13, 2013 the Hailey Planning and Zoning Commission considered the recommendation by the Administrator to exempt minor exterior alterations to two older buildings from design review. Both buildings are situated in downtown Hailey and are located at Hailey Townsite, Blk 20, Lots 4-8 (309 S. Main St.). The Commission, having been presented with all information regarding the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Standards of Evaluation

Articles IV, VI(A), and 6A.9 of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review within the Townsite Overlay. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

- 6A.1(A). No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:**
- 1. A building for a non-residential use within any zoning district.**
 - 2. A building for a Public or Semi-Public Use within any zoning district.**
 - 3. A Multi-Family Dwelling of three or more units within any zoning district.**
 - 4. A Single Family Dwelling, Duplex or Accessory Structure within the Townsite Overlay (TO) District.**
 - 5. A Historic Structure.**

Two buildings under consideration have been proposed to receive exterior alterations. They are each simple, older, private buildings which are non-residential, non-public, and are non multi or single-family living quarters. Hence, they do not qualify to receive design review as they do not fit within one of the defined areas above.

The applicant's objective, Fappo Holdings Idaho LLC, in bringing the application is to add small metal dormers over entry way doors to each of the two buildings. It is thought these would help disperse snow from falling on people as they come and go. The dormers would be 5' long and would be attached near the roof's edge. Additionally, they would be made from materials matching those already in place on the buildings (white siding and green tin).

6A.2(A)(3). The Administrator has the authority to recommend exemption of certain projects from the design review requirements, upon finding; the project is minor, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties. Examples include, but are not limited to minor deck additions, changes to siding materials, changes to an existing window or door, an addition of a window or door, and minor landscape changes. Such recommendation for exemption shall be drafted in the form of Findings of Fact and Conclusions of Law, subject to final decision by the Commission on its consent agenda prior to issuance of a building permit. Should the Commission deny the Administrator's recommendation or should the Administrator determine that the proposal does not meet all of the above evaluation criteria, the project shall be subject to the provisions of this chapter prior to issuance of a building permit.

The Administrator reviewed the applicant's request for exemption, and determined the dormers are similar to adding or changing small amounts of deck or siding materials from a small building. After consideration, the Administrator finds that proposed alterations constitute a minor project and will not conflict with design review standards and will not adversely impact any adjacent properties.

As reference for these findings, two computer generated images show the minor additions and nature of the proposed projects. Further, photos of the buildings as they appear are included to provide clarity.

CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law and Decision:

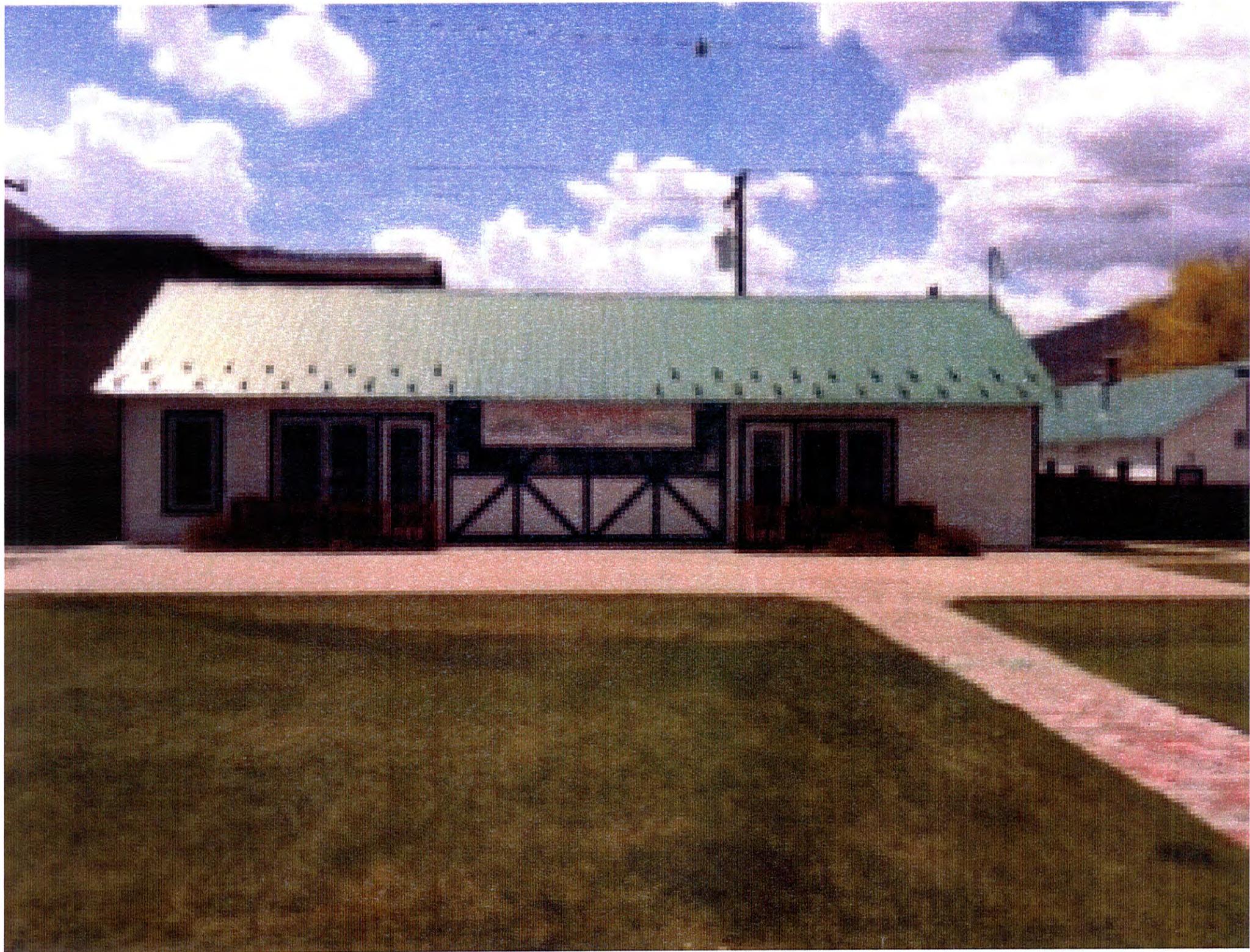
1. The proposed small metal roof dormers at at Hailey Townsite, Blk 20, Lots 4-8 (309 S. Main St.) constitutes a minor project, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties.
2. The proposed color palette of white and green to match existing features and materials on applicable buildings are approved and included as part of this file.
3. This approval exempts this project from the design review requirements and standards of Article VI(A).

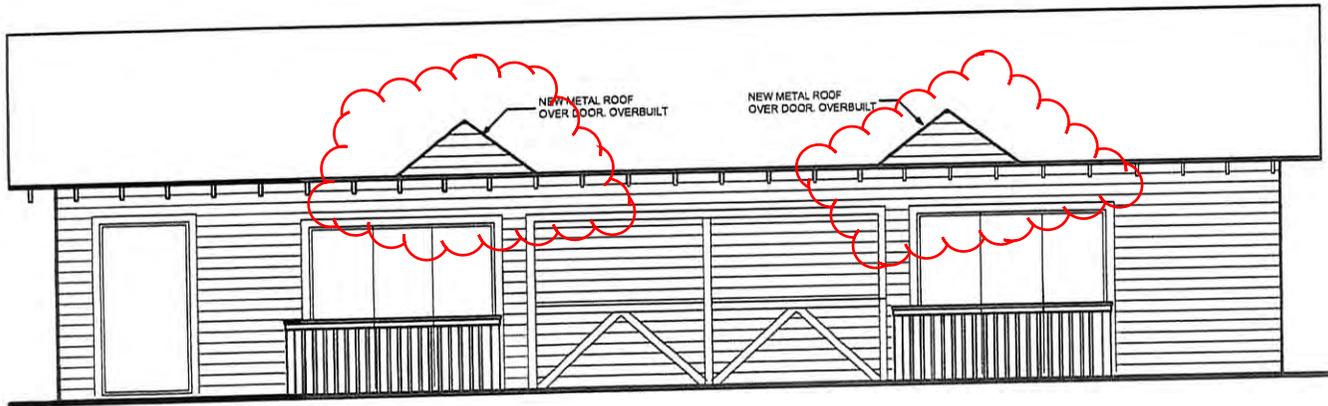
Signed this ____ day of _____, 2012.

Geoffrey Moore, Chair
Hailey Planning and Zoning Commission

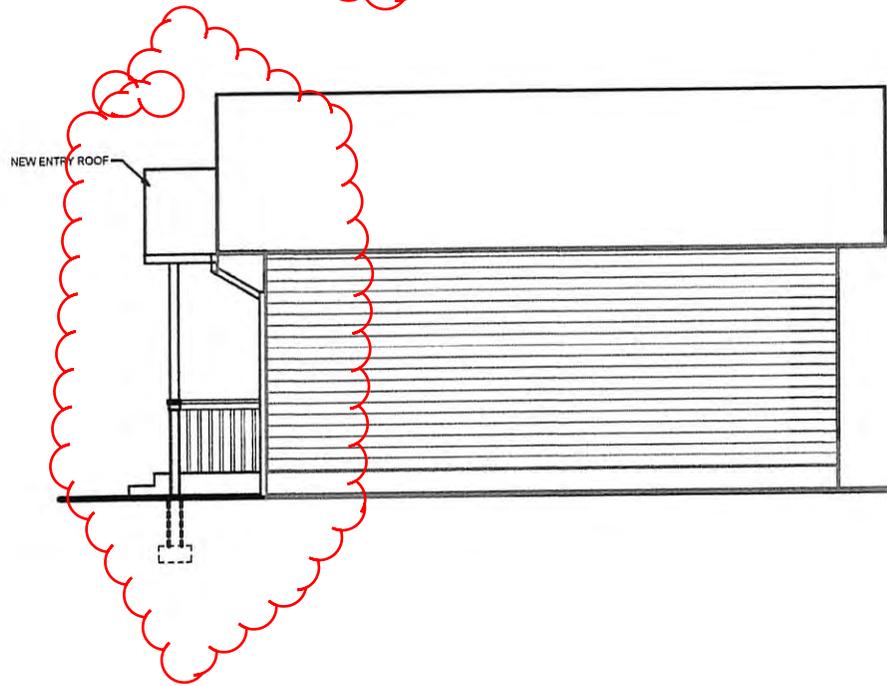
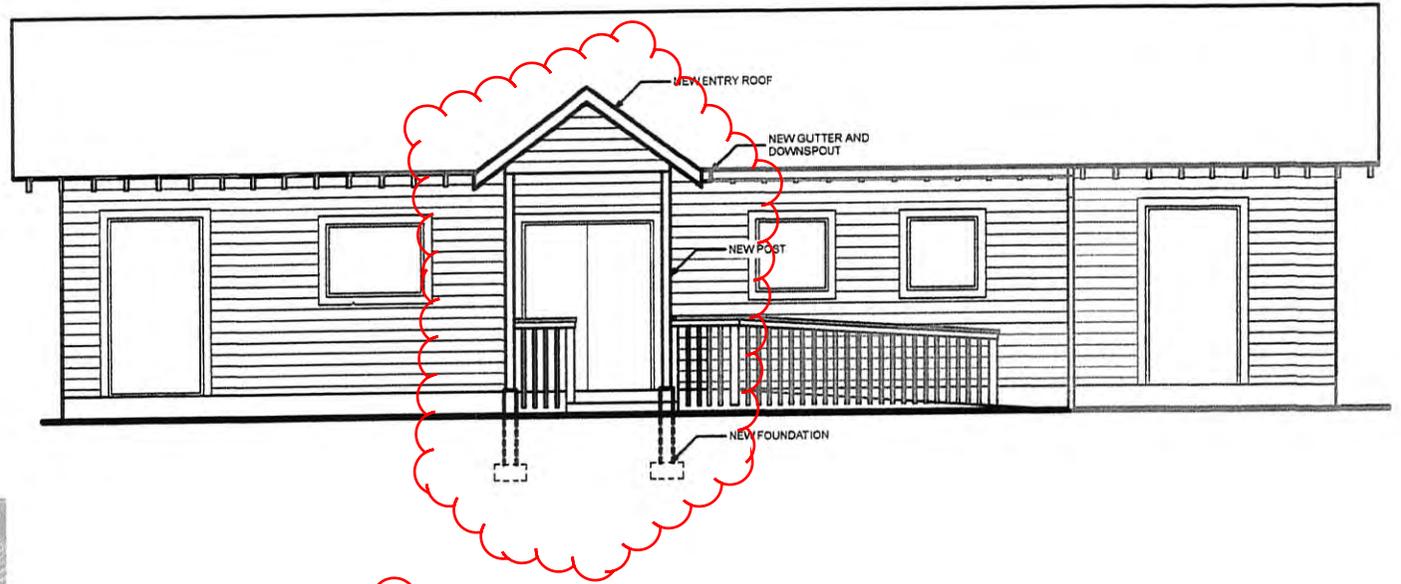
Attest:

Bart Bingham, Principal Planner (Administrator)









FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On May 13, 2013 the Hailey Planning & Zoning Commission considered an application submitted by Craig Johnson submitted a Design Review Application proposing to construct a new two level single family residence with an attached garage.

The residence is located at Hailey Townsite, Blk 47, Am Lot 9A (205 N. 3rd Ave.), within the General Residential (GR) and Townsite Overlay (TO) districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice

Notice for the public hearing was published in the Idaho Mountain Express on March 20, 2013 and mailed to property owners within 300 feet on March 19, 2013.

Application

Craig Johnson submitted a Design Review Application proposing to construct a new two level single family residence with an attached garage.

Procedural History

The application was submitted on March 14, 2013 and certified complete on March 16, 2013. The Planning and Zoning Commission considered the application on April 8, 2013 and continued its consideration and public hearing on it until April 22, 2013.

Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

8.2 Signs.

The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

9 Parking and Loading Spaces

9.1.1 No building or structure shall be erected unless permanently maintained parking and loading spaces have been provided in accordance with the provisions of this Ordinance.

Standards are applied below.

9.2.1 Location of On-Site Parking Spaces. The following regulations shall govern the location of on-site parking spaces and areas, except as otherwise provided below and in section 9.4.8.

A. parking spaces for all single family dwellings shall be located on the same lot as the dwelling which they serve, except as otherwise provided in section 9.4.1.

Parking will be in a garage on the same lot as residence; this is Lot 9A.

D. New on-site parking areas shall be located at the rear of the building, except within the SCI zoning district where parking is allowed at the side of the building.

Onsite parking is in the garage at the rear of residence.

E. On-site parking areas are not permitted between the sidewalk within the public right-of-way and the primary frontage of a building, except where the location of an existing buildings or site conditions precludes another location for parking; such parking requires a landscape buffer, or an alternative approved by the Administrator, between sidewalk and parking.

Onsite parking is in the garage at the rear of the property.

9.2.4 Maintenance. The owner of property used for parking and/or loading shall maintain such area in good condition without holes and free of all dust, trash, other debris and snow.

Owners are hereby advised they shall maintain parking and /or loading area according to standard.

9.2.5 Surfacing and Construction. All required parking and loading spaces, together with driveways, aisles, and other circulation areas, shall be constructed in accordance with the City Standards.

a. Parking areas and driveways for single family and duplex residences may be improved with compacted gravel or other dustless material.

Compacted gravel will be used for the garage driveway.

9.2.6 Drainage. All parking, loading, or other non-permeable surface areas shall provide for on-site drainage of surface water to prevent the drainage of such water onto adjacent properties, walkways, or into the public right-of-way. Drainage provided shall be in accordance with City Standards.

Compacted gravel will be used for the garage driveway.

9.2.7 Lighting. Any parking area which is intended to be used during non-daylight hours shall be properly illuminated to avoid accidents. Any lights used to illuminate a parking lot shall be so arranged as to direct the light away from the adjoining property, and shall be of a type and method of construction to shield the light source from direct view from any adjacent property or right-of-way. All parking area lighting shall comply with the standards as set forth in Article VIII B of this Ordinance.

Kirkham 8 ½” Wide Dark sky Outdoor Wall Light will be used for dark sky down lighting.

9.2.8 Access.

A. Except as otherwise provided herein, any parking area on private property, shall be designed in such a manner that any vehicle leaving or entering the parking area from or onto a public street shall be traveling in a forward motion.

Parking area in garage will be accessed from the alley, not a street.

B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.

Parking area in garage will be accessed from the alley.

C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

Site is serviced by an alley.

D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.

Onsite parking area is in the garage, accessible from the alley.

F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.

One parking space will be in the garage and vehicles may back from the garage parking area. If a future parking area fronting Third Ave. is constructed, one space in the area may be designed so vehicles utilizing the space may back in to the public right-of-way.

G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus "stacking" the parking area.

Not applicable, because driveway providing access to garage does not have length sufficient for "stacking" parking.

9.2.9 Screening and Landscaping.

A. All loading space areas and parking areas shall be screened from a public street and shall be screened on all sides which adjoin or face any residential property.

1. The screening shall consist of an acceptably designed wall, fence or drought tolerant landscaping.

Cedar fencing will be installed between adjoining properties on both sides of garage driveway.

9.4.1 Residential.

A. Single family dwellings: 2 per dwelling minimum, 6 per dwelling maximum.

1. Parking spaces within any garage, carport or similar structure shall be credited at 1 space per nine (9) feet of floor width and 18 feet of floor length.

Garage is credited 1 parking space, and at least one and probably two spaces can be credited for garage gravel driveway.

8B.4. Outdoor Lighting Standards.

8B.4.1 General Standards

- a. All exterior lighting shall be designed, located and lamped in order to prevent:
 - 1. Overlighting;**
 - 2. Energy waste;**
 - 3. Glare;**
 - 4. Light Trespass;**
 - 5. Skyglow.****
- b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.**
- c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.**
- d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.**
- e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.**

Kirkham 8 ½" Wide Dark sky Outdoor Wall Light will be used for exterior lighting. It is a condition of approval that all existing lighting comply with Article 8B of the Hailey Zoning Ordinance.

Bulk Requirements:

4.13.6 Bulk Requirements (For other supplementary location and bulk regulations, see Article VII.)

- a. **Minimum Lot Size –**
Limited Business, Transitional, General Residential districts: 4,500 square feet.

Lot is approximately 5,990 sq. ft.

- b. **Minimum Lot Width –**
Limited Business, Transitional, General Residential districts: 37.5 feet.

Lot width is 49.96’.

- c. **Maximum Building Height –**
Transitional, General Residential, Limited Residential-1 districts: 30 feet

Residence is proposed to be 24’ tall.

- d. **Minimum Setbacks in LR, GR, TN, and LB Districts:**

1. **Setback from any street right-of-way – twelve (12) feet. The following exceptions apply:**
a. **Unenclosed features of a residence (e.g. front porches, stoops, and decks without walls) shall be no closer than five (5) feet to the lot line. Such features do not include carports.**

Setback from 3th Ave. is more than 12’.

- b. **No garage door shall be within twenty (20) feet of any street right-of-way, as measured from the garage door to the street providing access to the garage.**

Garage door is accessed from the alley not 3rd Ave.

2. **Setback from any alley right-of-way – six (6) feet. There shall be a six (6) feet horizontal separation between any building and a water meter vault. (Water meter vault and water service**

line locations may be moved at the property owner’s expense, subject to notification and approval by the City.)

Garage door is 13’ from the alley.

- 3. Setback from property lines abutting other private property --**
 - a. Base setback – fifteen percent (15%) of lot width, or 10 feet, whichever is less. However, no such setback shall be less than six (6) feet. (See Table 1)**

By this standard, the setback is required to be approximately 7.5’. Setbacks on south side of residence are shown to be 13’-6” and setbacks on the north side are shown to be 10’ – 6” satisfying the setback requirement.

- b. Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one (1) foot for every two and a half (2.5) feet of wall height (see Diagram 1 and Table 2), but not less than the base setback noted in subsection (a) above, regardless of underlying zoning.**

Building highest height is 24’ which would require setback to be no less than 9.6 ft. Setbacks on south side of residence are shown to be 13’-6” and setbacks on the north side are shown to be 10’ – 6” satisfying the setback requirement.

- c. Roof overhangs, fire escapes, standard chimneys, bay windows and other features, which are subject to Section 7.2 of this Ordinance (Supplementary Yard Regulations), shall not have a setback less than five (5) feet from property lines abutting other private property.**

One bay window will extend 2’ into south setback area, but it will still be significantly further than 5’ from the south property line.

- d. Wainscot detail not higher than three (3) feet as measured from record grade may intrude not more than six (6) inches into the required setback.**

Not applicable. No wainscot is proposed.

- e. Maximum lot coverage:
General Residential, Limited Residential-1 districts:**

Building Height	Maximum Lot Coverage
2 or more stories above grade, no garage	25%
2 or more stories above grade, with garage	30%
Less than 2 stories above grade, no garage	35%
Less than 2 stories above grade, with	40%

garage	
--------	--

House area is 1,745 sq. ft. and the lot area is approximately 5,990 sq. ft. Lot coverage area equates to being approximately 29% which is within the 30% allowed.

i. Maximum Lot Size—

Transitional, General Residential: 18,000 square feet

Lot size is approximately 5,990 sq ft.

Height of Building. The greatest vertical distance measured from the lowest point of Record Grade or finish grade, whichever is lower, within any portion of the building footprint to the highest point of the roof surface thereof, exclusive of cupolas, chimneys up to ten (10) feet above the highest point of the roof surface, steeples, and spires.

Applicant is hereby advised height of building is from the lowest point of Record Grade or finish grade, whichever is lower.

7.1.1 Cornices, canopies, eaves or similar roof overhang features and cantilevered balconies may extend into a required yard setback not more than three (3) feet.

Eaves or similar roof overhang features will not be more than 3 feet.

7.1.2 Fire escapes required by the IBC or IRC may extend into a required yard setback not more than six (6) feet.

Applicant is hereby advised of standard.

7.1.3 All portions of a chimney shall not extend into a required yard setback by more than two (2) feet.

Chimney will not extend into setback.

7.1.4 Bay windows shall not extend into a required yard setback by more than two (2) feet. Such windows shall be a minimum of two (2) feet from the top of the interior floor.

Bay window extends 2' from main house exterior wall on south elevation.

7.1.5 Pergolas. Supporting columns for Pergolas shall meet required yard setbacks. The roof of a pergola shall not extend into a required yard setback by more than five (5) feet.

Pergolas are not included in the project.

Improvements Required.

A. Streets.

1. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.

a. The requirement for Sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.

Project is greater than 500 sq. ft.

b. The requirement for Sidewalk and drainage improvements may be waived for any remodel or addition to Single Family Dwelling and Duplex projects within the Townsite Overlay District; Sidewalk and drainage improvements shall be required for new Principle Building.

Project is construction of new principle building- a new residence. Thus sidewalks shall be required.

c. The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110% of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.

Applicant has shown future city sidewalk fronting east property line on both the Drainage & Site Plan and Landscape Plans dated April 16, 2013. However, rather than construct the sidewalk, the applicant elected to use the voluntary cash contribution of 110% option. The estimated costs of the sidewalk determined by a qualified contractor are attached and include Tom Hellen's approval. As the bid is \$1400.00, the 110% contribution owed before Certificate of Occupancy is issued is \$1,540.00.

2. Sidewalk and drainage improvements shall be located and constructed according to applicable City Standards, except as otherwise provided herein.

Though the sidewalk is shown on the plans, the sidewalk requirement is not applicable to the applicant as the in-lieu option has been chosen and accepted by the city. The drainage plan is shown on the Drainage & Site Plan dated April 16, 2013.

3. The length of Sidewalk and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any Public Street or Private Street.

Though the sidewalk is shown on the plans, the sidewalk requirement is not applicable to the applicant as the in-lieu option has been chosen and accepted by the city. The

drainage plan is shown on the Drainage & Site Plan dated April 16, 2013 and considered the entire length and width of the property

4. New Sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.

Though the sidewalk is shown on the plans, this requirement is not applicable to the applicant as the in-lieu option has been chosen and accepted by the city.

5. Sites located adjacent to Public Streets or Private Streets that are not currently thru-streets, regardless of whether the street may provide a vehicular connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.

ough the sidewalk is shown on the plans, this requirement is not applicable to the applicant as the in-lieu option has been chosen and accepted by the city.

6A.8 Design Standards

A. Non-Residential, Multifamily or Mixed Use Building. The following design standards apply to any non-residential, multifamily or mixed use building located within the City of Hailey.

4. Landscaping

a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.

Section is not applicable as the application is for a single family residence. Therefore, this requirement does not apply.

B. Water Line Improvements.

1. In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.

Blue board insulating material is required for water mains and individual water service lines less than 6 feet deep.

6A.9 Design Review Guidelines for Residential and Non-Residential Buildings in the Townsite Overlay District (TO).

II. Applicability:

Proposals for new Single Family Dwellings and Accessory Structures and will be reviewed for compliance with these Design Guidelines. Project was reviewed for compliance with guidelines since it is construction of a new single family dwelling (residence).

III. Design Guidelines

C. Specific Guidelines

1. Site Planning

Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.

- **A rectangular lot shape is preferred to a square one, as the rectangular lot pattern is more in keeping with Old Hailey, and most often results in more useable and visible open spaces.**

Lot 9A is rectangular in shape.

Guideline: Site planning for new development and redevelopment shall address the following:

- **scale and massing of new buildings consistent with the surrounding neighborhood;**

House is similar to scale and massing of surrounding neighborhood; two surrounding lots remain vacant.

- **building orientation that respects the established grid pattern of Old Hailey;**
House will orient east and west with entrance doors on both the north and south elevations.

- **clearly visible front entrances;**
Entrances on north and south appear clearly visible.

- **use of alleys as the preferred access for secondary uses and automobile access;**

Garage and shop are shown to be accessed from alley.

Alley is access to parking and garage.

- **adequate storage for recreational vehicles;**
Storage of recreational vehicles would be possible in garage or shop.

Garage may be used to store recreational vehicles.

- **yards and open spaces;**

Steep terrain and large elevation variations on the lot make having open space areas more difficult, but garden areas are shown on north and south elevations.

- **solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines;**

Solar access on site is available from the east, the south, and west. Current plans do not include solar energy.

- **snow storage appropriate for the property;**

Snow storage area is shown to be at southwest corner of property off the alley and adjacent to garage driveway access area.

- **underground utilities for new dwelling units.**

All utilities for new dwelling shall be underground.

Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.

Applicant is hereby advised of guideline.

2. Bulk Requirements (Mass and Scale, Height, Setbacks)

Guideline: The perceived mass of larger buildings shall be diminished by the design.

- **The height of taller buildings should be stepped down on the streetside elevation.**

The Height of the house steps down to a single story porch on the east end of the house and a single story garage on the west end of the house.

- **Buildings with greater mass should be broken into smaller modules.**

Single story porch and single story garage assist in breaking up two story house into smaller modules.

- **Changes in wall planes and building materials should be used to reduce the visual impacts of taller buildings.**

Each of the four elevations are proposed to have changes in wall planes (e.g. south elevation has a bay window) and building materials (e.g. south, east and west elevations have textured plywood and vertical shingle siding).

3. Architectural Character

These standards are not intended to restrict design styles, but to ensure that new ideas and styles also respect the scale and elements of the existing neighborhood.

a. General

Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.

Single siding, textured plywood, fascia, and trim will be used for various portions of the elevations for the residence.

b. Building Orientation

Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.

- **The use of walkways, porches, smaller roof forms and other design elements is encouraged to emphasize the location of the front entry.**

Front entry to house (primary structure) is identified with inset steps.

Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.

Front wall will face the south and not a street; Lot 9A is split into two parts by a significant change in elevation. The elevation change makes aligning the front wall to the street a difficult and costly option.

c. Building Form

Buildings in Old Hailey were most commonly rectangular in shape. In addition, the older buildings were generally oriented with the short side facing the street, and the longer side along the side lot lines. This basic building form is encouraged in the Design Guidelines. Some variations may be compatible where the overall mass and scale of the new building is similar to the other buildings in the neighborhood.

The long side of the house faces adjacent empty lot to the south.

Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.

House is comprised of a combination of rectangles.

d. Roof Form

Roofs help define a neighborhood by creating a pattern on the horizon, framing views to distant areas, and defining light and air between buildings. While a variety of roof styles are present in Old Hailey, most of these roofs are pitched roofs with gable elements. Typically, gabled roof slopes were in the range of 8:12 to 12:12. Ridge lengths were typically a maximum of 40-50 feet in length. This ridge length is an important element in the scale and feel of Old Hailey neighborhoods.

House and garage contain gabled roofs as shown on elevations.

Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.

Front entry to house is defined with an inset entry area with steps.

Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.

Steeper roof pitches on house and garage provide for appropriate snow shedding

Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.

Roofs of proposed house are gabled, similar to those found in surrounding neighborhoods.

Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.

Roofs of house are gabled, similar to those found in surrounding neighborhoods.

e. Wall Planes

Wall planes are the walls of buildings as viewed two-dimensionally. Traditionally, front wall planes in Old Hailey were 25-30 feet in width. The gables ends most often ran parallel to the street. Side wall planes were typically the longer wall plane. Often these side wall planes were broken up with either a jog in the building wall, or a pop-out such as a bay window.

House will be positioned so at least one gabled roof fronts the west, the south, and the east.

Guideline: Primary wall planes should be parallel to the front lot line.

Primary wall planes will be parallel to abutting lot lines on the north and south, not to the front lot line on the east.

Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.

Wall plans will be proportional to lot dimensions. The longer wall planes front the longer north and south lot lines and shorter wall planes front the east and west shorter lot lines.

Guideline: The use of pop-outs to break up longer wall planes is encouraged.

A bay window will be installed along the long south elevation wall plane.

f. Windows

Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.

Not applicable as large elevation change on the lot will reduce capability of seeing windows from the street or seeing out windows to the street (3rd Ave.)

Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.

Not applicable. There are no buildings on either the lot to the south or the lot to the north.

g. Decks and Balconies

Decks and balconies traditionally found in Old Hailey were smaller, subordinate building design elements. They often faced the street, and avoided overhanging near neighboring properties.

Guideline: Decks and balconies shall be in scale with the building and the neighborhood.

- **Decks and balconies should appear as subordinate elements in terms of scale, location and detailing.**

Entry porch will face 3th Ave. and is a little shorter than half the height of the house.

Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.

Entry porch faces east away from neighbors who could potentially occupy the lots to the north and south of Lot 9A where house will be situated.

h. Building Materials and Finishes

Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.

Building materials include textured plywood, shingle siding, fascia, trim, and VG fir doors.

i. Ornamentation and Architectural Detailing

Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.

Ornamental details include a rusted metal roof, shingle siding, and a bay window on the south wall plane.

Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.

House will have covered porches, pella windows, and trim detailings.

Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.

Planned windows, doors, and roof pitch match nearby buildings.

4. Circulation and Parking

Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.

One parking space will be within the garage with access from alley. Pedestrian sidewalks fronting 3rd Ave. are not shown on the plans, but are required.

Guideline: The visual impacts of on-site parking visible from the street shall be minimized.

Parking will be accessed from the alley with potential off-street parking off of 3rd Ave.

Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.

Parking will be from the alley side of property.

Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.

Garage may provide storage areas for recreational vehicles.

5. Alleys

Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.

Parking will be in garage, so alley will remain uninhibited.

Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.

Garage will be located off alley with access from alley.

Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface,

Project is within General Residential so surface of adjacent alley may utilize a dust-free gravel surface.

Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.

Landscaping allowed nearest to alley is only a vegetable garden area; no other landscaping provided for to be near or closer to the alley than the vegetable garden.

7. Snow Storage

Guideline: All projects shall be required to provide 25% snow storage on the site.

Snow storage area is shown on southwest corner of the lot adjacent to the alley. The snow storage area is 16' x 16' totaling 256 sq. ft. Total parking area is 808 sq. ft. which equates to 31% snow storage area to parking area.

8. Existing Mature Trees and Landscaping

Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.

Existing plant material (including a large drought tolerant tree near where the steep terrain exists onsite) is shown on the landscape plan.

Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.

The existing large drought tolerant tree at the east of the lot is shown to remain. Apple and plum trees are also shown on the plans, as are berry and vegetable garden areas.

Guideline: Noxious weeds shall be controlled according to State Law.

Applicant is hereby notified of requirement.

9. Fences and Walls

Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.

No fences or walls are shown to abut 3rd Ave. or the adjacent Alley. Fences, compliant with the fence ordinance are shown both on the north and south edges of the lot and also around the dog kennel. Applicant is hereby notified, however, that a separate fence permit is required prior to any fence construction on the property.

10. Non-residential and Multi-family Uses

Not applicable.

6A.6 Criteria.

A. The Commission shall determine the following before approval is given:

- 1. The project does not jeopardize the health, safety or welfare of the public.**
- 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**

B. Conditions. The Commission may impose any condition deemed necessary. The Commission may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Ordinance.

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.

2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

DECISION

The Design Review of Hailey Townsite, Blk 24, Lots 4 & 5 (305 S. 4th Ave.), within the General Residential (GR) and Townsite Overlay (TO) zoning districts (Alteration to Exterior of Existing Residence) is hereby approved subject to the following terms and conditions:

1. The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
2. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
3. All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required
4. A sidewalk and drainage improvements, running the length of the property line adjacent to 3rd Ave. is required and is shown on the drainage and site plans dated April 16, 2013. In-lieu of this requirement however, the applicant elected to use the voluntary in-lieu cash contribution of 110% rather than constructing the sidewalk. As the estimated costs of construction are \$1400.00, the 110% contribution owed by the applicant before Certificate of Occupancy is issued is \$1,540.00.
5. A separate fence permit is required prior to any fence construction on the property.
6. Building service areas shall be located off alley and away from public view or building frontage areas.
7. Blue board insulating material is required for water mains and individual water service lines less than 6 feet deep.
8. All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
9. This Design Review approval shall expire one (1) year from the date these Findings of Fact are signed, unless a building permit application has been submitted to the Building Department.
10. This project is subject to Development Impact Fees pursuant to Municipal Code Chapter 15.16. The estimated fee is determined at the time of Building Permit application.
11. Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
12. Except as otherwise provided, all the required building, landscaping, site, infrastructure improvements and all other conditions of approval shall be constructed and completed, or security in the amount of 150% of the estimated cost as approved by the City, before a Certificate of Occupancy will be issued.
13. This Design Review approval is subject to the following conditions:
 - a) All applicable Fire Department and Building Department requirements shall be met, including but not limited to:

- i. Prior to installation of the new fence, a fence permit shall be obtained from the Building Department and the plans for the fence shall meet the standards of Section 8.1, Hailey Zoning Ordinance.
 - ii. No auxiliary apparatus (e.g. utility meters, fire suppression equipment) may extend into any public right-of-way.
 - iii. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional parking, improvements and/or approvals.
7. A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this _____ day of _____, 2013.

Geoffrey Moore, Chair

Attest:

Bart Bingham, Principal Planner

City of Hailey - Design Review Application

Submittal Date: 03 / 14 / 13

Project Name: CURRAN RESIDENCE
Legal Description of Property: Subdivision Hailey Townsite Lot(s) A-1m Lot 9A, Block 47
Street Address of Property: 205 N 3RD AVE. HAILEY ID
Current Zoning of Property: General Residential ETO Year of original construction: N/A
Existing building gross sq. ft. (if applicable) N/A Proposed addition or new construction sq. ft. 2421

Name of Owner of the Property: CRAIG JOHNSON
Mailing Address: PO Box 579 City: HAILEY State: ID Zip: 83333
Phone: (208) 788-0996 Fax: (208) 788-0796 Cell: (208) 309-1096
Email Address: CWJ2@MINDSPRING.COM

Property Owner Consent:
By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any ex parte discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: [Signature] Date: 3 / 13 / 13

Name of individual to contact on behalf of Trust or LLC (if applicable):
Mailing Address: City: State: Zip:
Phone: () - Fax: () - Cell: () -
Email Address:

Application Contact (if different than above):
**Application Contact will be the Planning Department's primary point of contact for questions related to the application.
Mailing Address: City: State: Zip:
Phone: () - Fax: () - Cell: () -
Email Address:
Signature: Date: / /

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

- Commercial, Mixed-Use or Multi-Family..... \$ 450.00
plus \$25 / 1,000 gross square feet..... \$
OR [X] Single-Family Dwelling, Duplex or Accessory Structure in TO..... \$ 250.00
OR [] No Substantial Impact..... (Mailing only)..... \$ 75.00
OR [] Modification to DR Approval... (No publication or mailing)..... \$ 50.00
OR [] DR Exemption... (No publication or mailing)..... \$ 30.00
Publication cost..... \$ 40.00
Mailing (# of addresses 34) x (.61 postage + .15 paper, envelope & label) \$ 20.74
DO NOT COUNTY DUPLICATES OR CITY OF HAILEY
Total Due..... \$ 310.74

DESIGN REVIEW - CHECKLIST

City Use Only -

Project Name: CURRAN RESIDENCE

Certified Compete by: _____

Date: ____/____/____

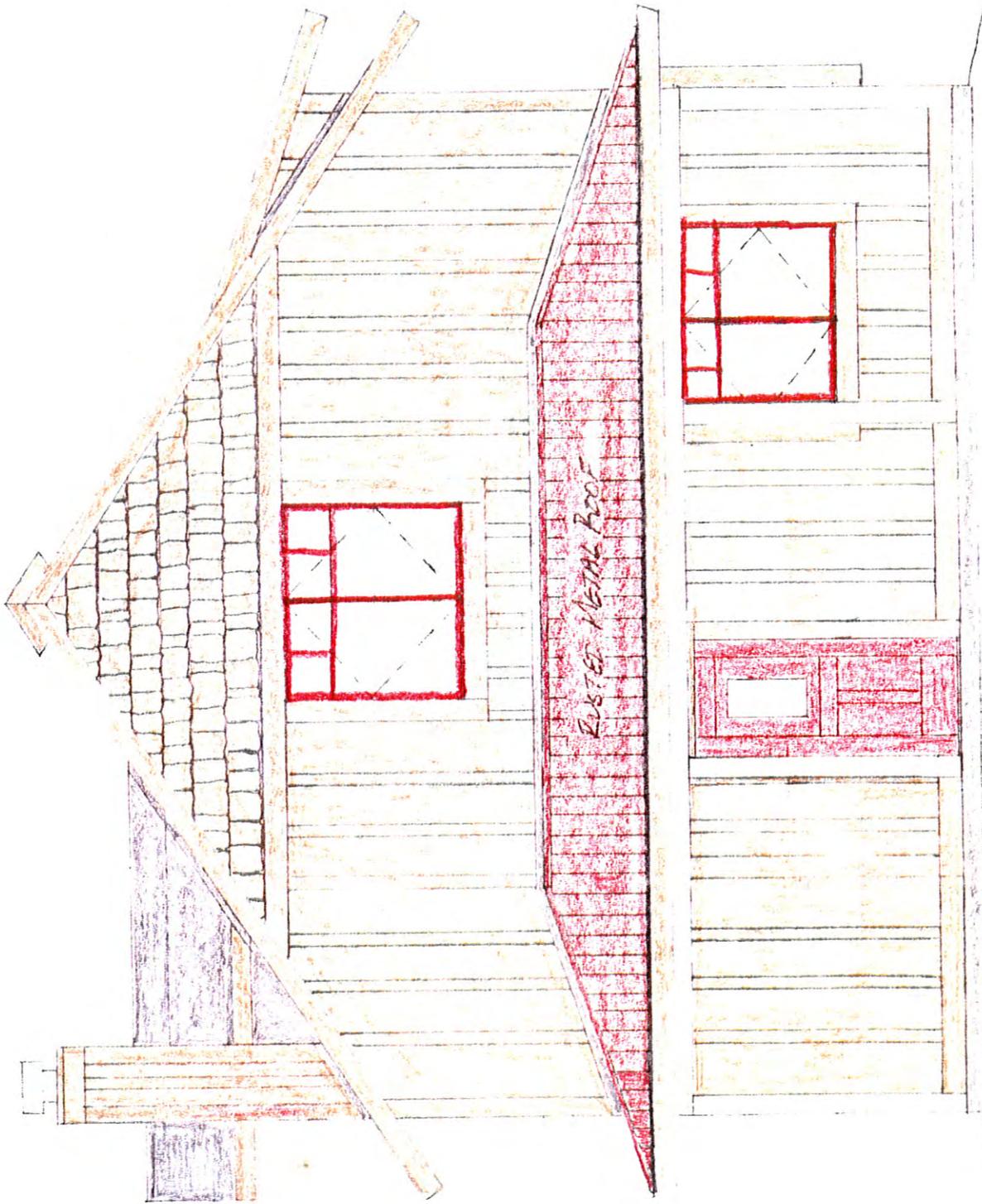
The following items must be submitted with the application for the application to be considered complete (✓):

- ✓ One (1) large set of plans with scale indicated containing the following:
 - ✓ Vicinity map showing project location in relationship to adjacent buildings and surrounding area.
 - ✓ Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions (must show location of adjacent buildings and structures).
 - ✓ Total square footage of subject property, including lot dimensions.
 - ✓ Building setbacks.
 - ✓ Staging and contractor parking plan.
 - ✓ Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures).
 - ✓ Landscape plan
 - ✓ Existing tree to be shown as retained/relocated/removed.
 - ✓ All proposed species type/size/quantity of each.
 - ✓ Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
 - ✓ Floor plan (include gross square footage for each floor, occupancy classification and type of construction).
 - ✓ Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
 - ✓ Drainage plan (grading, catch basins, piping, and dry-wells).
 - ✓ Detailed elevations showing facade of all sides of proposed building and other exterior elements. Must show elevation points of record grade. Include notes on colors, materials, dimensions.
 - ✓ Colored rendering of at least one side of the proposed building.
 - N/A Idaho licensed architect (plans for single family dwellings may be stamped by an Idaho licensed structural engineer)
 - ✓ North point and scale.
 - ✓ Six (6) 11" x 17" copies of any larger plans/maps OR two (2) 11" x 17" copies of any larger plans/maps if project is within the Townsite Overlay.
 - ✓ PDF files of all required documents and 11" x 17" plans/maps.
 - N/A Color photographs of any existing structures on the site.
 - ✓ Materials and colors sample board. Each sample approximately 12" x 12".
 - N/A Sign Plan (if applicable).
 - N/A Area Development Plan (required if property owner also owns adjacent parcels).
 - N/A For property located in Airport West, Design Review approval by Airport West Design Board.
 - ✓ Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
 - N/A Names and addresses of easement holders within subject property.
 - N/A Written statement of how each design review standard is met (contact the Planning Department for which set of standards is applicable to your project).
 - _____ Other information as required by the P&Z Administrator, Hearing Examiner or Commission.

City Use Only:

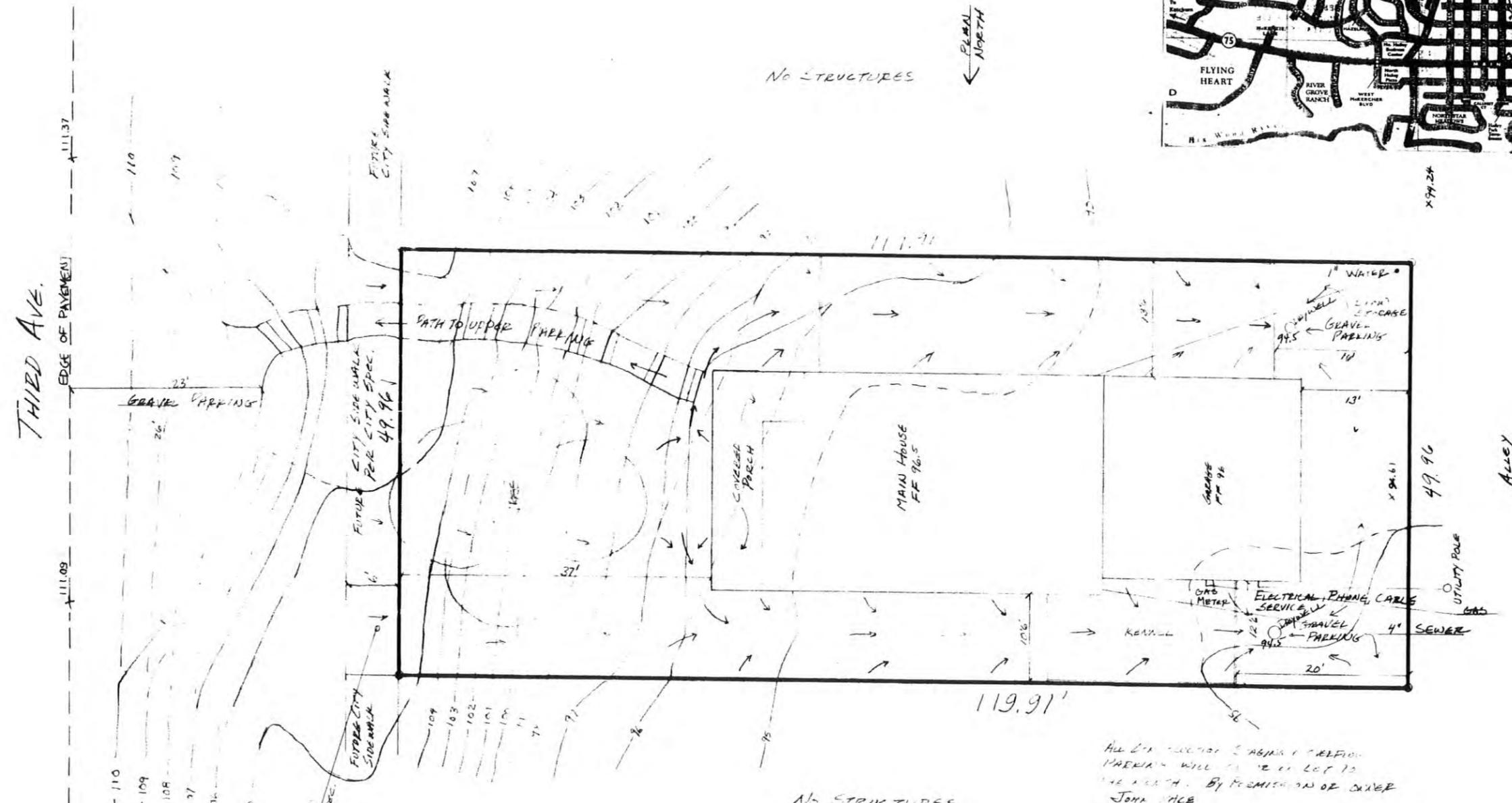
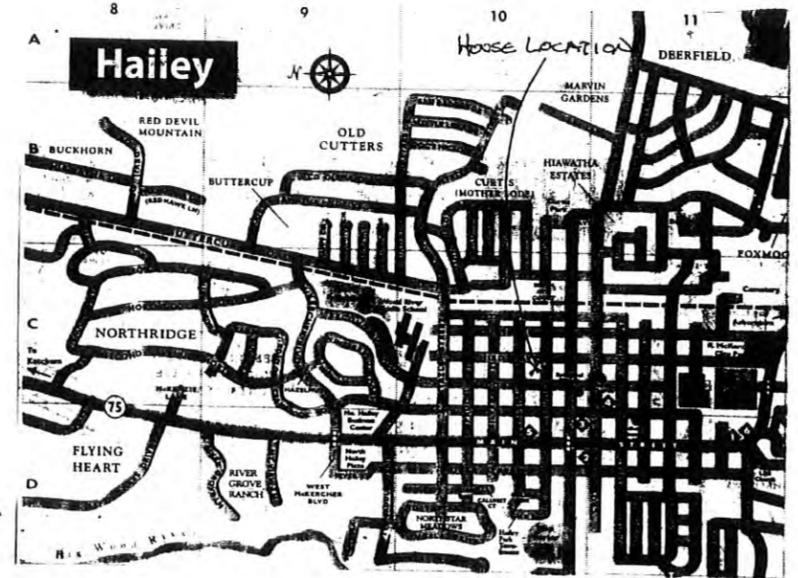
- _____ Double check address
- _____ Advise applicant if Lot Line Adjustment is needed
- _____ Check following basic standards:

_____ Density	_____ Lot coverage
_____ Setbacks	_____ Floor area
_____ Height (plans must show elevation points of record grade)	_____ Parking (# of spaces)



Red Metal Roof

East elevation 1/4" = 1'



LOT 9A BLOCK 47 205 N. 3RD AVE. HAILEY, IDAHO 1/8" = 1'
 FIRST FLOOR SFT 1005 SECOND FLOOR SFT 740 GARAGE SFT 576
 COVERED PORCH SFT 186 LOT COVERAGE 27% LOT SIZE 5990.7 SFT

RECEIVED
 APR 16 2013
 CITY OF HAILEY

DRAINAGE + SITE PLAN

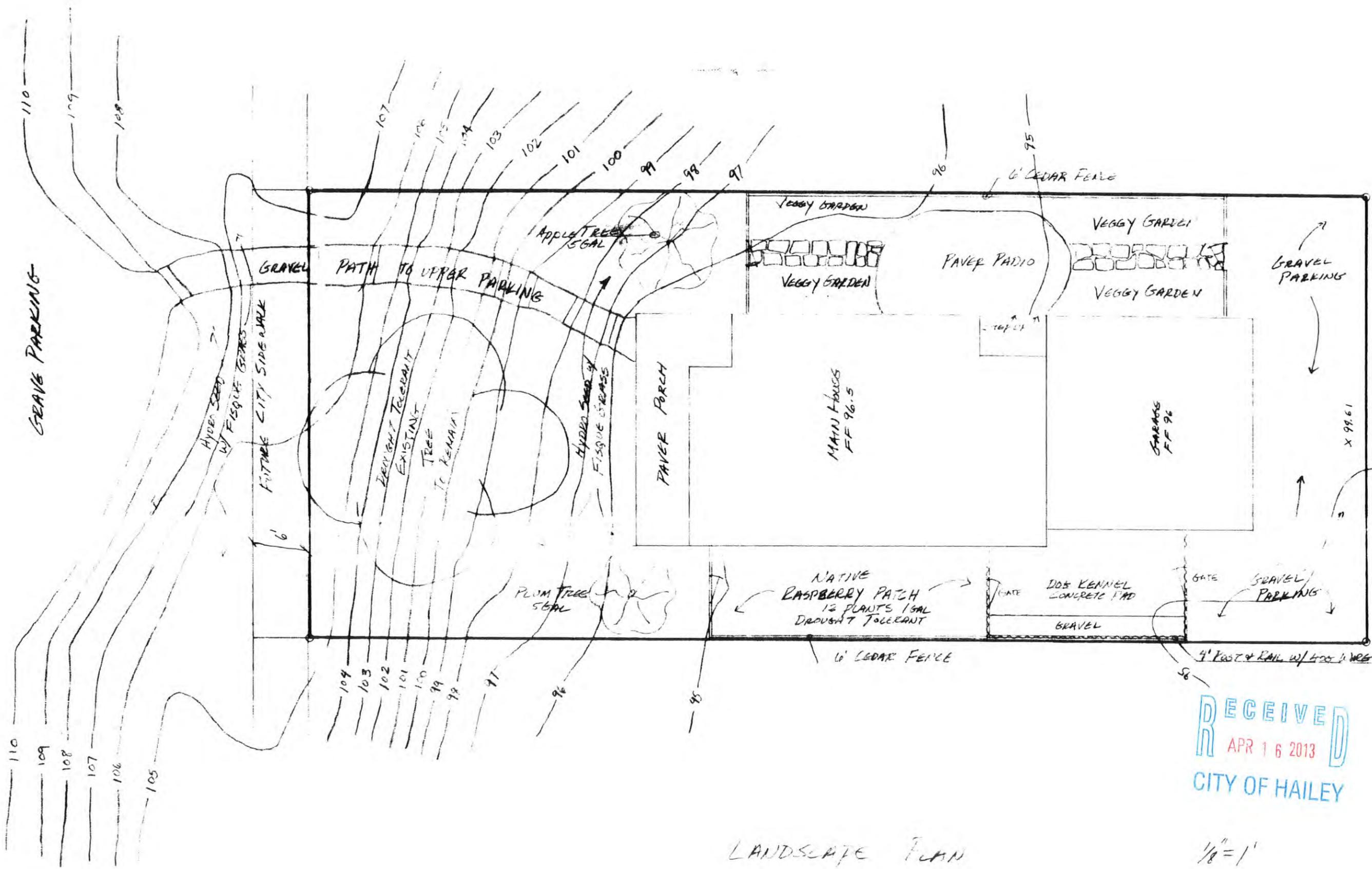
- - - - - EXISTING CONTROLS
 - - - - - 1" = 1" CONTROLS
 → DRAINAGE DIRECTION

THIRD AVE.

EDGE OF PAVEMENT

111.37

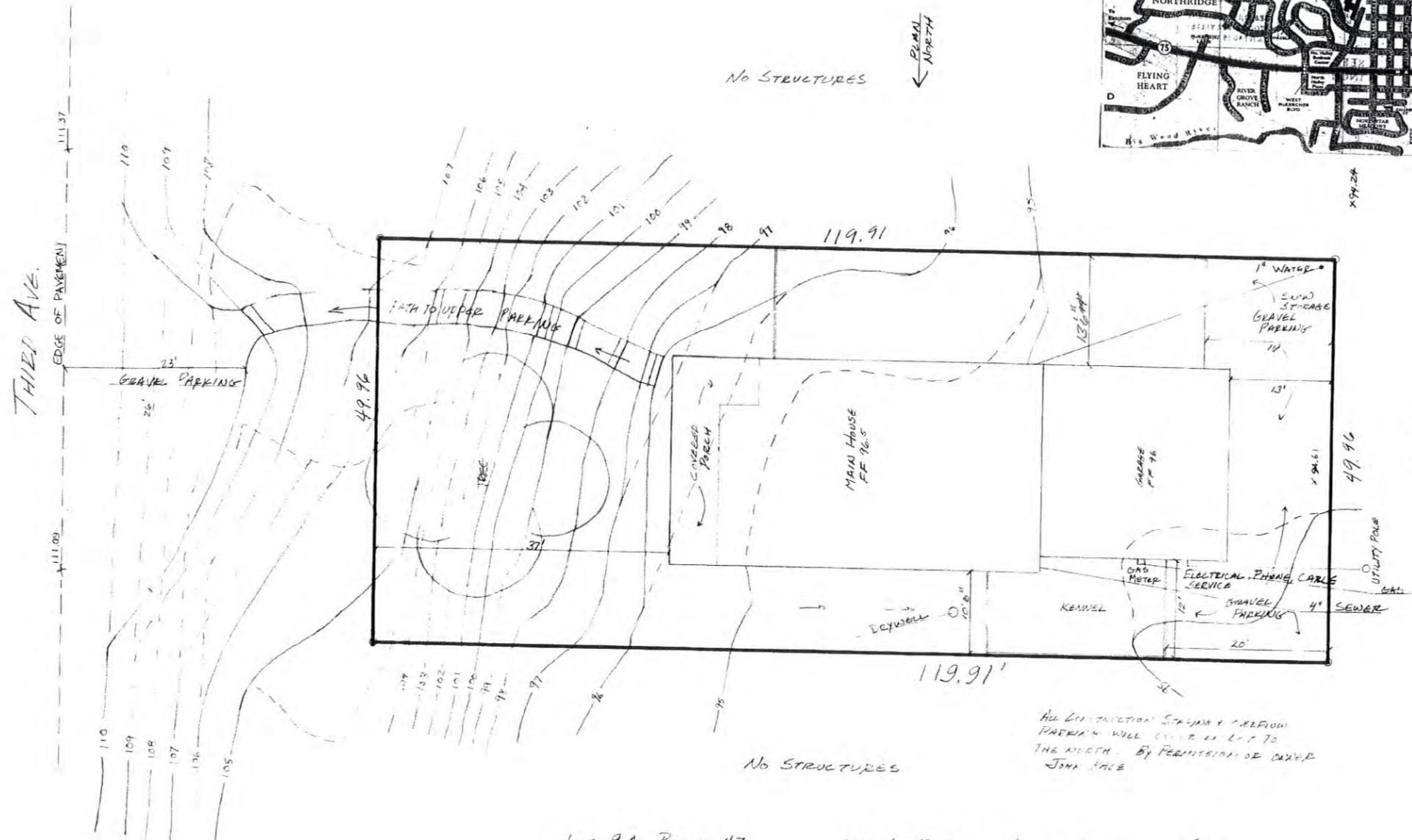
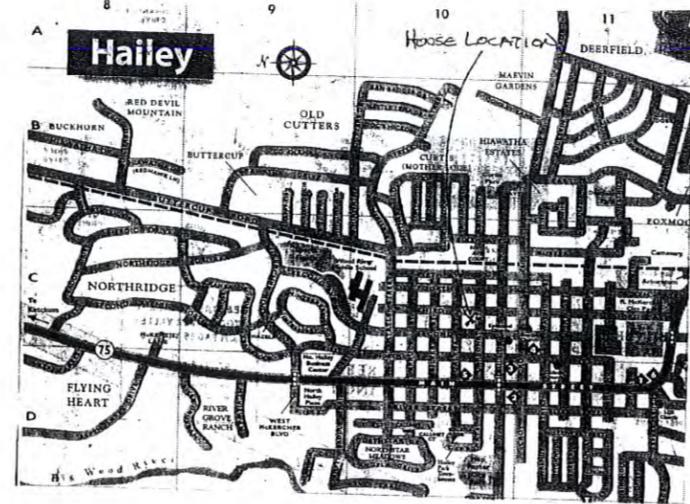
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RECEIVED
 APR 16 2013
 CITY OF HAILEY

LANDSCAPE PLAN

1/8" = 1'



NO STRUCTURES

PLUMB NORTH

NO STRUCTURES

ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PERMITS AND ORDINANCES OF THE CITY OF HAILEY, IDAHO.

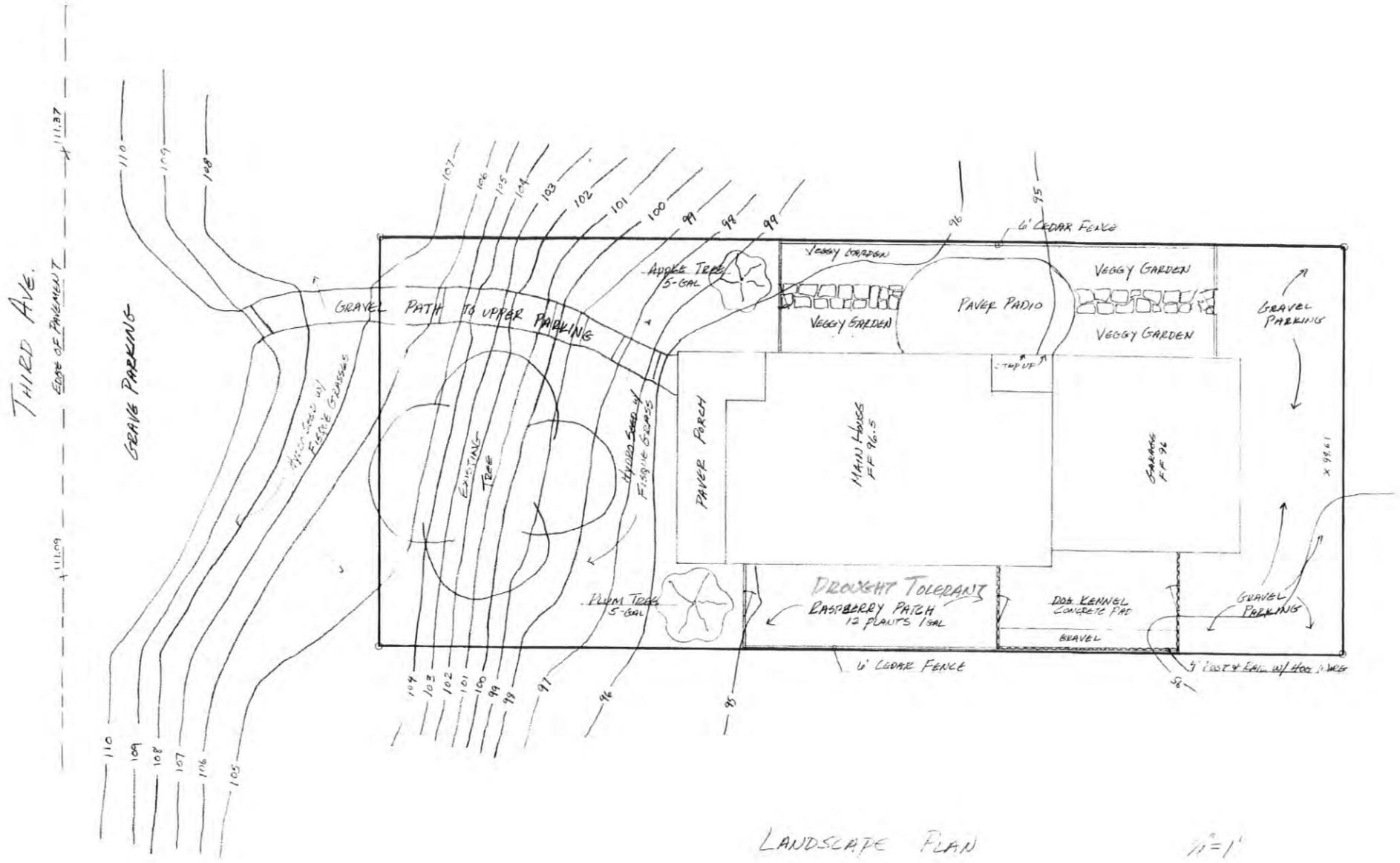
LOT 9A BLOCK 47 205 N. 3RD AVE. HAILEY, IDAHO 1/4" = 1'
 FIRST FLOOR SQ/FT 1005, SECOND FLOOR SQ/FT 740, GARAGE SQ/FT 576
 COVERED PORCH SQ/FT 186 1/2 LOT COVERAGE 27% LOT SIZE 8990.70 SQ/FT

SITE PLAN

--- EXISTING CONTINUES
 ——— NEW CONTINUES

CURRAN RES.

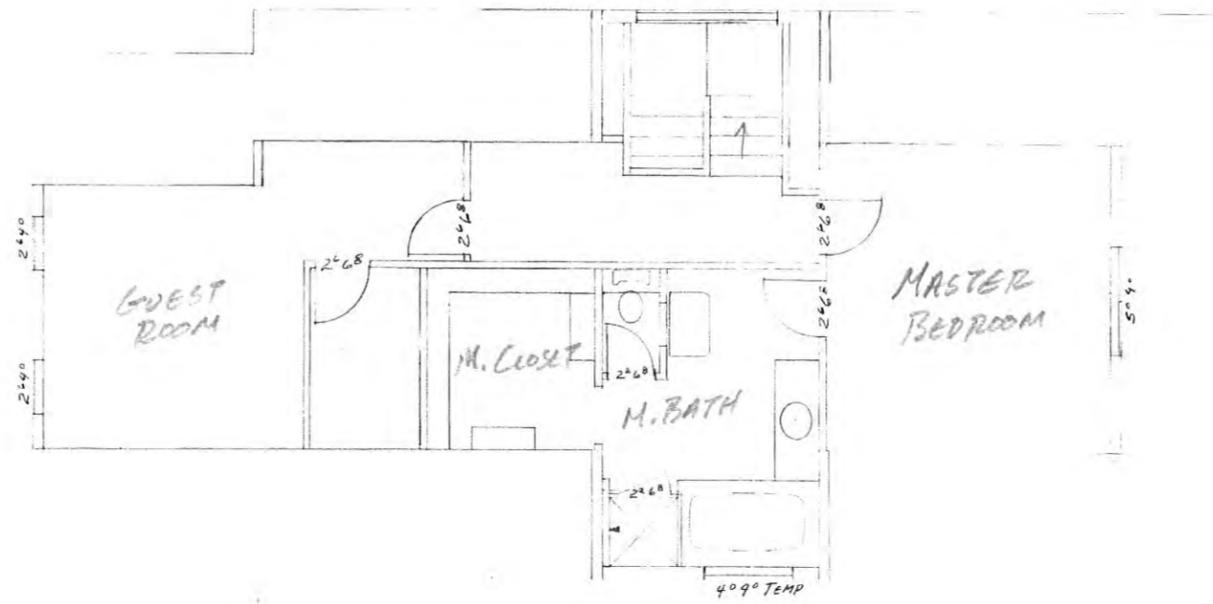
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 CITY OF HAILEY



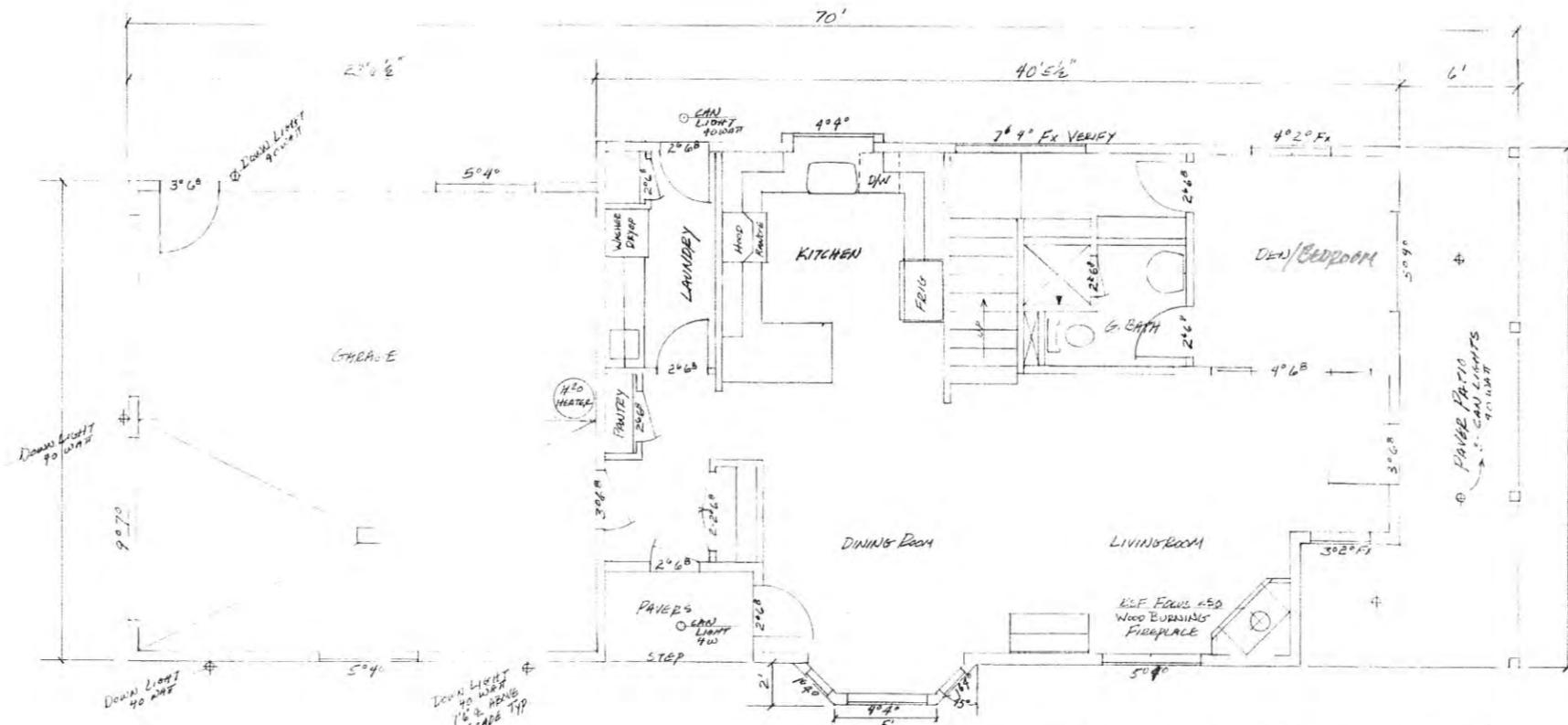
LANDSCAPE PLAN

1/4" = 1'

RECEIVED
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 CITY OF HAILEY

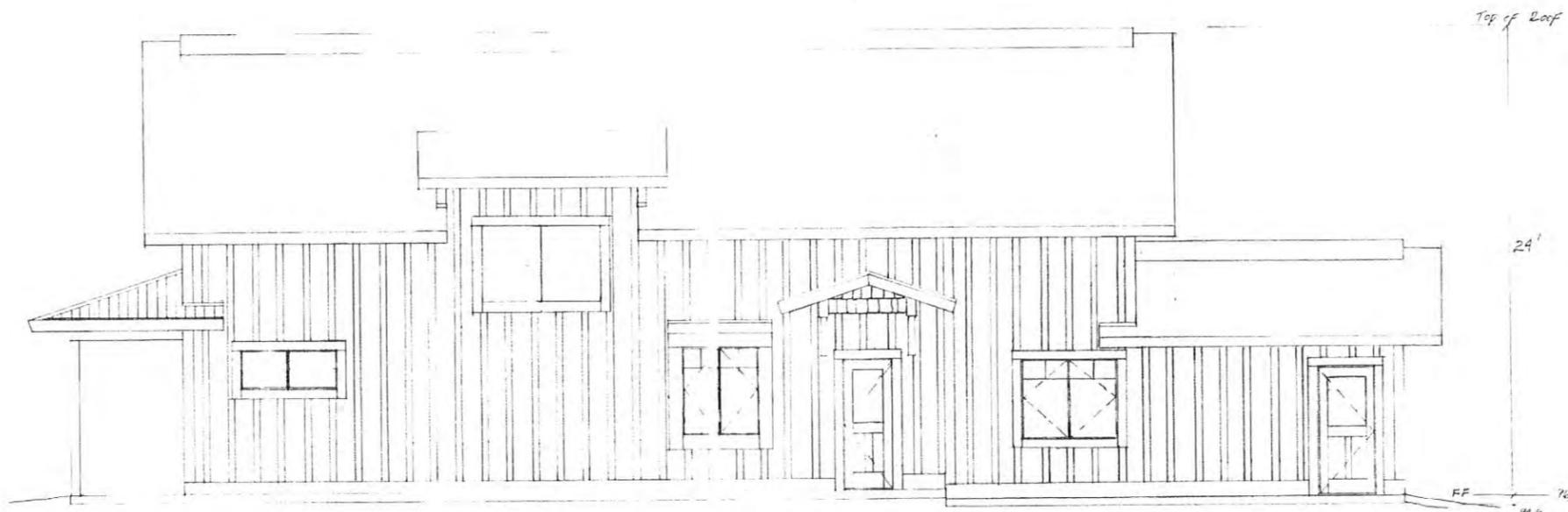


SECOND FLOOR PLAN 1/4" = 1'

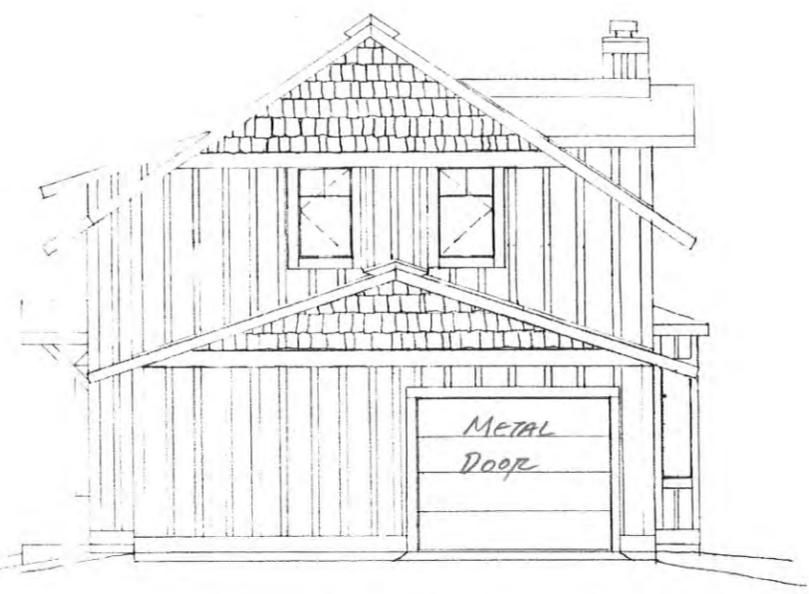


FIRST FLOOR PLAN 1/4" = 1' WOOD FRAME CONSTRUCTION

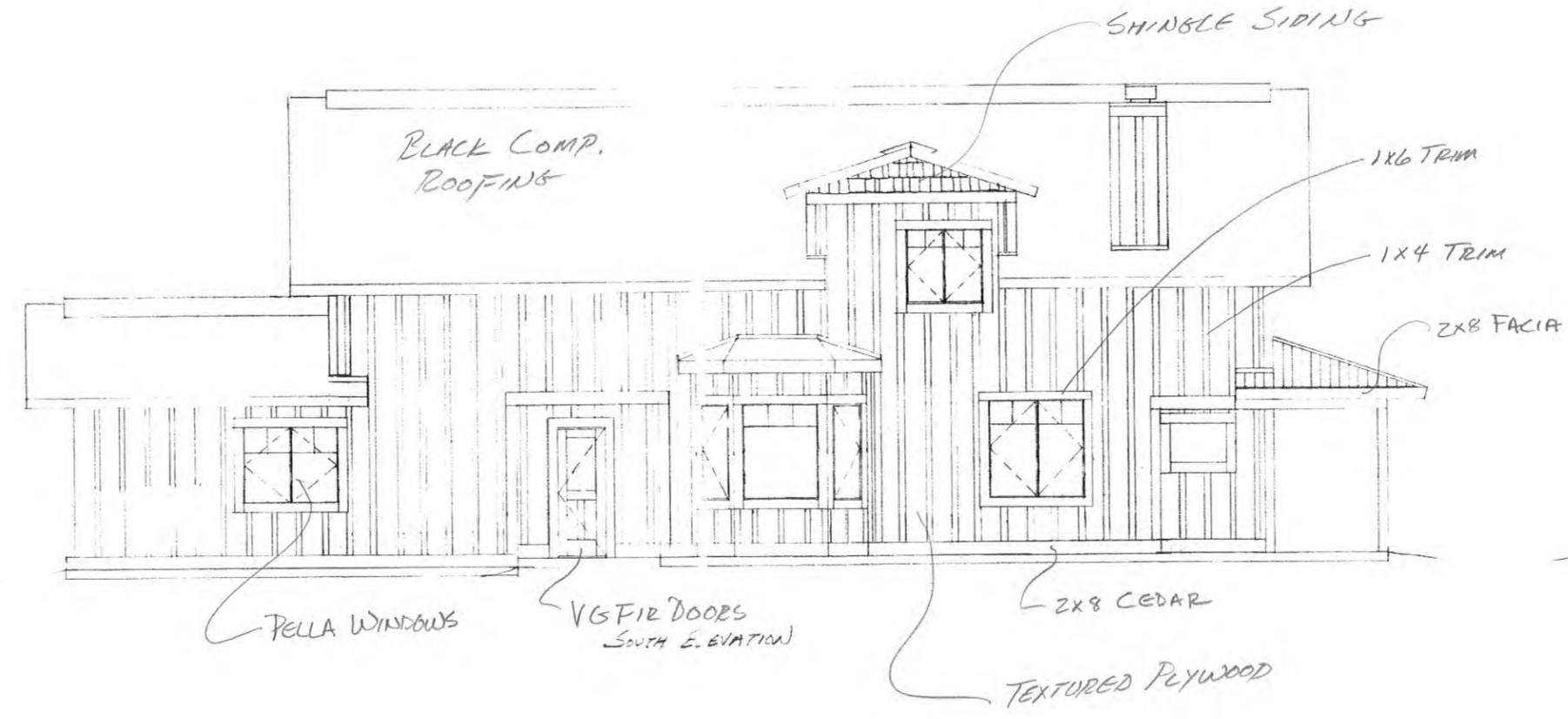
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CITY OF HAILEY



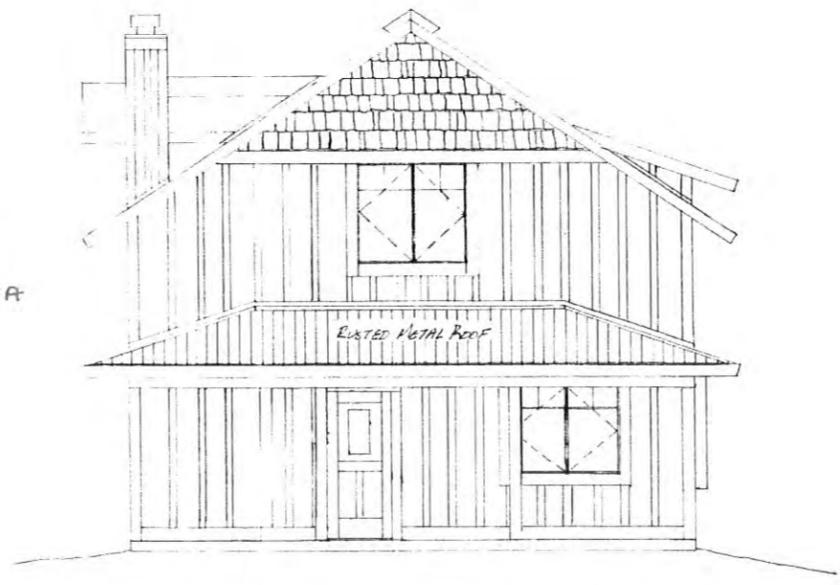
NORTH ELEVATION



WEST ELEVATION

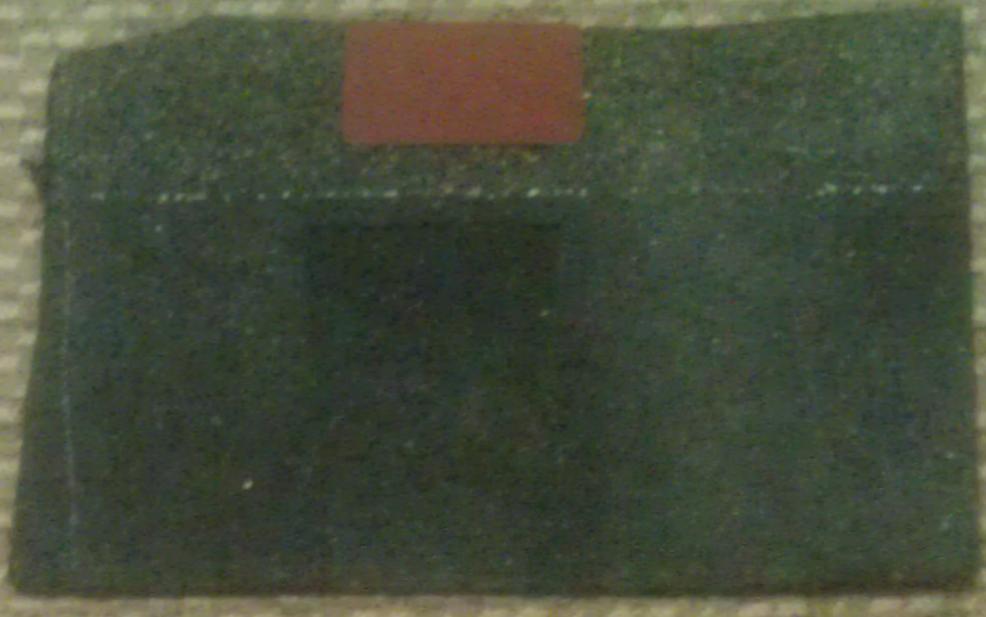


SOUTH E. ELEVATION



EAST ELEVATION 1/4" = 1'

RECEIVED
 MAR 14 2013
 CITY OF HAILEY



PROPOSAL

Page # 1 of 1 pages

Kolman Concrete Inc.
140 LyBunker Lane
Bellevue rd 83713

Proposal Submitted To: <u>Long Builders Inc</u>		Job Name <u>2000 Res-Curtain</u>	Job #
Address		Job Location	
<u>Harley rd</u>		Date	Date of Plans
Phone # <u>788-0090</u>	Fax # <u>785-0790</u>	Architect	

We hereby submit specifications and estimates for:

6' x 50' Sidewalk

city specs - Hailey specs

*Approved
Jim Miller*

We propose hereby to furnish material and labor — complete in accordance with the above specifications for the sum of:

\$ 1400⁰⁰ Dollars

with payments to be made as follows: upon Request

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted [Signature]

Note — this proposal may be withdrawn by us if not accepted within 45 days.

Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Signature _____

Date of Acceptance _____

Signature _____

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On May 13, 2013 the Hailey Planning & Zoning Commission considered an application submitted by The Sage School for Design Review for two new 1,440 sq. ft. Modular Classrooms to be located adjacent to the existing Sage School building at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice

Notice for the public hearing was published in the Idaho Mountain Express on March 20, 2013 and mailed to property owners within 300 feet and public agencies on April 4, 2013.

Application

The Sage School, represented by Jolyon Sawrey of Vital ink Environmental Architecture & Consulting, submitted a Design Review Application for two new 1,440 sq. ft. Modular Classrooms to be located adjacent to the existing Sage School building at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.

Procedural History

The application was submitted on March 15, 2013 and certified complete on March 15, 2013. It was considered before the P&Z Commission on April 22, 2013.

Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

Standards

Department Comments:

Engineering:

The sewer connection for the modulares shall connect to the sewer line at the north end of the Sage School lot and the water connection for the modular shall connect to the water line at the north east corner of the Sage School lot. Connecting at these locations will prevent pavement cutting or digging on Aviation Dr.

Life/Safety

No issues.

Water and Sewer:

No issues.

Building:

No issues.

Streets:

No issues.

Standards of Evaluation

8.2 Signs.

The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

6A.1 Applicability.

A. No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:

2. A building for a Public or Semi-Public Use within any zoning district.

The Sage School Modular Classrooms will be for a school used for a public use, so design review is required.

6A.3 Permits.

A. No permits shall be issued by any administrative officer or inspector of the City for construction of any building, project, or other improvement requiring a permit before the requirements specified by this Article are met and approval is granted.

Applicant is hereby advised of requirement.

6A.4 Design Review Process.

F. In order for a building permit to be issued after final Design Review approval, final construction drawings must be reviewed and approved by the Building Department. Application for a building permit must occur within one year of Design Review approval, or as otherwise provided by agreement authorized by law. The expiration date may be extended once, for an additional six (6) months, upon written request. Such request must be received prior to the expiration date.

Applicant is hereby advised of requirement.

Improvements Required.

A. Streets.

1. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.

a. The requirement for Sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.

The modular classrooms are greater than 500 sq. ft.

b. The requirement for Sidewalk and drainage improvements may be waived for any remodel or addition to Single Family Dwelling and Duplex projects within the Townsite Overlay District; Sidewalk and drainage improvements shall be required for new Principle Building.

Sidewalk and drainage improvements are required.

c. The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110% of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor.

No in-lieu contributions have been made to the City.

2. Sidewalk and drainage improvements shall be located and constructed according to applicable City Standards, except as otherwise provided herein.

b. The Developer or City may propose alternatives to either the standard Sidewalk location or configuration required.

No alternatives have been proposed.

3. The length of Sidewalk and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any Public Street or Private Street.

Existing sidewalk running adjacent to Aviation Way is approximately 4 ft. wide. No new sidewalk fronting Aviation Way is required.

4. New Sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.

A new paver sidewalk connecting existing Sage School with modular and Aviation Dr. as shown on plans A1.1 dated April 16, 2013 shall be installed as a condition of approval to comply with the above requirement.

5. Sites located adjacent to Public Streets or Private Streets that are not currently thru-streets, regardless of whether the street may provide a vehicular connection to the future streets, shall provide sidewalks to facilitate future pedestrian connections.

The Sage School site is located adjacent to Aviation Way and therefore shall provide paver sidewalks noted above to facilitate pedestrian connections.

6A.8 Design Standards.

A. Non-Residential, Multifamily or Mixed Use Building. The following design standards apply to any non-residential, multifamily or mixed use building located within the City of Hailey.

1. Site Planning

a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the occupants and allow for safe access to buildings.

Modulars will be oriented in a north-south direction as shown on plan A1.1 dated April 16, 2013.

b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.

Existing low-lying shrubs, aspen trees, and deciduous and conifer trees are shown on the landscape plan and are shown to remain.

c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.

As a condition of approval, paver sidewalks connecting the schools and Aviation Way as shown on Plan A1.1 dated April 16, 2013 shall be installed.

d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage.

The trash storage area is situated at the corner of the parking entryway adjacent to Aviation Way. This trash storage area shall be relocated to a rear area between the existing building and where the modulars are proposed. This relocation would bring the applicant into compliance with this regulation and minimize conflict between uses.

e. Vending machines located on the exterior of a building shall not be visible from any street.

Applicant is hereby notified of requirement.

f. Parking areas located within the SCI zoning district may be located at the side or rear of the building.

Existing parking area is within SCI zoning and is located at the side and rear of existing building.

g. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

Existing parking area is from a single approach at southern portion of school lot. In conjunction with the proposed modulars, a 20' wide fire access road providing northern access to the rear parking area will be installed. The new entry will not alter the buffer for the rear parking area and will utilize an already existing entryway/curb cut from Aviation Way for the 20' wide fire access.

h. Except as otherwise provided herein, on-site parking areas shall be located at the rear of the building and buffered from the sidewalk adjacent to the street. Parking and access shall not be obstructed by snow accumulation.

Existing parking area is located at the rear of the building and will remain unchanged.

i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.

Existing and new snow storage areas are onsite and are located at the southeast corner of the Sage School lot (providing 4,123 sq. ft. of Snow Storage) and along the sides/edges of the proposed 20' wide fire access road (providing 1,782 sq. ft. of Snow Storage).

j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.

Total snow storage area is 5,905 sq. ft. The total existing and planned parking, and circulation area is 23,616 sq. ft. When this number is multiplied by 25%, it equals 5,904 sq. ft. which is the amount required. Thus, this standard is satisfied.

k. A designated snow storage area shall not have any dimension less than 10 feet.

Snow storage dimension areas are not less than 10 feet, except for snow storage areas fronting both sides/edges of the 20' fire access compacted road mix north entry road.

l. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.

Existing and new snow storage areas are onsite and are located at the southeast corner of the lot (4,123 sq. ft.) and along the sides/edges of proposed 20' wide fire access road at north end of site. These locations satisfy this standard.

m. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.

Snow storage areas have been addressed previously, and are shown to be landscaped.

2. Building Design

a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.

Modular colors and roof slopes are similar to existing Sage School building and other nearby buildings in Airport West Subdivision.

b. Standardized corporate building designs are prohibited.

Not applicable.

c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.

A new paver sidewalk connecting existing Sage School with modular and Aviation Dr. as shown on plans A1.1 dated April 16, 2013 shall be installed as a condition of approval.

d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.

East elevation facing Aviation Drive includes an elevated roof slope at the center of the modular and 6 windows. It also includes siding shingles, and wood textured siding-board and batt.

e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.

Not applicable. Modulares are proposed to be freestanding/connected to each other with a covered deck and are not an addition to an existing building.

f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.

Exterior walls are proposed to incorporate siding shingles, siding board & batt, siding corrugated metal, window and door trim, and soffit and fascia. Color samples for the deck and handrail and confirmation of where they will specifically be used shall be submitted to administrator to ensure compliance. A written description is attached and samples will be provided at the meeting.

g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.

Exterior colors are from a traditional red color palette and exterior textures include materials common in Hailey and in Airport West in particular. The color palette that will be used for exterior walls, trim, and fascia parallels that of the existing onsite building.

h. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:

i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.

Modulars' longer wall planes will be on a north-south axis.

ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.

Windows that will be oriented to the south account for 1/8th of the total windows in the project. This equates to 12.5% of the windows being oriented to the south. Roof overhang on the south elevation is minimal (regular modular overhang) and no awnings are proposed.

iii) Double glazed windows.
Proposed windows are vinyl and are double glazed. **First Technique**

iv) Windows with Low Emissivity glazing.
Proposed windows are 3/4" insulated glass and have low emissivity. **Second Technique**

v) Earth berming against exterior walls
Earth berming against exterior walls is not proposed.

vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.

No alternative is proposed as part of the project.

vii) Exterior light shelves. All windows on the southern most facing side of the building shall have external light shelves installed.

No exterior light shelves are proposed.

1. Drawings and Specifications were reviewed by one Staff Member and one Commissioner to show the addition of at least one of the following to serve as an approved alternative: on additional energy saving option, or two energy saving elements.

a. **The 2009 IECC Code requires R-19.6 insulation measure. The walls in the modules will have R-21 insulation which is a 7% improvement. Third Technique.**

b. **Modular construction, rather than conventionally site built projects, equates to a 20% waste savings of modular construction over site built.**

i. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.

Gutters and snow clips are shown over walkways of covered deck areas.

j. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.

Downspouts will be along the east elevation near the fence area.

3. Accessory Structures, Fences and Equipment/Utilities

a. Accessory structures shall be designed to be compatible with the principal building(s).

Proposed fence fronting Aviation Way will be replaced as existing, except a sidewalk entryway shall be included in it to provide for pedestrian access.

b. Except as otherwise provided herein, accessory structures shall be located at the rear of the property.

Not applicable.

c. Walls and fences shall be constructed of materials compatible with other materials used on the site.

Fence fronting Aviation Way will be replaced as existing, except a sidewalk entryway shall be included in it to provide for pedestrian access.

d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.

Fence fronting Aviation Way will be replaced as existing, except a sidewalk entryway/gateway shall be included within it to provide for pedestrian access. Existing landscaping, including that fronting Aviation Way shall remain.

e. Except as otherwise provided herein, all roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.

No roof-mounted mechanical equipment will be part of the project.

f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.

No alternative energy is part of the project.

g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacles areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.

No ground-mounted mechanical equipment is shown on the plans.

h. All service lines into the subject property shall be installed underground.

Applicant is hereby notified of requirement.

i. Additional appurtenances shall not be located on existing utility poles.

Applicant is hereby notified of requirement.

a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.

Proposed modular colors and roof slopes are similar to existing Sage School building and other nearby buildings in Airport West Subdivision.

2. Landscaping

a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.

Existing onsite landscaping will remain as shown on the plans.

b. All plant species shall be hardy to the Zone 4 environment.

Existing onsite landscaping will remain as shown on the plans.

c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.

Permanent irrigation system supplying water for all landscaped areas will be re-installed/restored following installation of modular buildings.

d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity.

Landscaping includes all low-lying shrubs, aspen trees, deciduous trees, and conifer trees shown on landscape plan (A1.2). No new planting areas are included on plans.

e. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.

Plans show a dry well onsite for storm water.

f. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).

Existing and previously used landscape maintenance plan will continue.

8B.1 Outdoor Lighting General Provisions.

a. Title – Article VIII B Hailey Outdoor Lighting Ordinance.

8B.2 Applicability.

8B.2.1 New Lighting. All exterior lighting installed after the effective date of this Article shall conform to the standards established by this Article.

Forte Lighting 1 Light Outdoor Wall Lanterns as shown on attached spec sheets will be installed on exterior of modular.

8B.2.2 Existing Lighting. All existing exterior lighting installed before the effective date of this Article shall be brought into conformance with this Article, except Section 8B.4.3, within the following time periods:

a. All existing exterior lighting located on a subject property that is part of an application for design review approval, a conditional use permit, subdivision approval, or a building permit is required to be brought into conformance with this Article before issuance of a Certificate of Occupancy, final inspection or final plat recordation, when applicable.

All existing exterior lighting on the existing Sage School shall be brought into compliance by replacing exterior lighting not in compliance. These replacements must be accomplished prior to Certificate of Occupancy.

c. All existing exterior lighting on property used for residential, institutional, public and semi-public uses, not affected by Section 8B.2.2 (1) above, that does not comply with this Article is required to be brought into conformance with this Article.

All existing exterior lighting on the existing Sage School shall be brought into conformance by replacing exterior lighting not in conformance.

9.4 On-Site Parking Space Requirements.

9.4.4 Schools.

A. Elementary schools: 1 for every teacher or employee, or 1 space for every two persons rated capacity of all assembly areas, whichever is greater.

Not applicable.

B. Middle schools: 1 for every teacher or employee, or 1 space for every two persons rated capacity of all assembly areas, whichever is greater.

Present enrollment is 13 teachers or employees which requires 13 spaces. A total of 24 spaces are onsite. There are no assembly areas so 1 space for every two persons rated capacity of assembly areas is not applicable.

C. High schools: 1 for every 5 students and 1 for each teacher and/or employee, or 1 space for every two persons rated capacity of all assembly areas, whichever is greater.

Present High School enrollment is 25 students. Dividing this number by 5 equates to 5 parking spaces required for High School Students. Since the same teachers teach both Middle School and High School at the Sage School, the spaces required for Middle School teachers and employees have already been counted. Thus, the total parking spaces required is 5 plus the 13 for the Middle School teachers and employees which equates to a total of 18 spaces required at the Sage School. A total of 24 spaces are onsite which is sufficient as the number of employees or students will not increase with the addition of the modulars.

6A.6 Criteria.

A. The Commission shall determine the following before approval is given:

- 1. The project does not jeopardize the health, safety or welfare of the public.**
- 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**

B. Conditions. The Commission may impose any condition deemed necessary. The Commission may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional**

twenty percent (20%) to be added to the amount of the original security initially provided.

2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

DECISION

The Design Review of Airport West Sub #2, Blk 4, Lot 2 (The Sage School 2 1,440 sq. ft. Modular Classrooms) within the at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.), within the SCI-Sales Offices zoning district is hereby approved subject to the following terms and conditions:

1. The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
2. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
3. All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
4. The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
5. The sewer connection for the modulars shall connect to the sewer line at the north end of the Sage School lot and the water connection for the modular shall connect to the water line at the north east corner of the Sage School lot.
6. A new paver sidewalk shall be installed connecting existing Sage School with Modulars and Aviation Dr. as shown on plans A1.1 dated April 16, 2013.
7. The trash storage pickup should be relocated to a rear area between the existing building and where the modulars are proposed. The storage area shall be shown on

- updated plans.
8. When fence fronting Aviation Way is replaced, it shall include a sidewalk entryway/gateway to provide for pedestrian access.
 9. Drawings and specifications shall be reviewed by at least one staff member and one commission member to show the addition of at least one of the following:
 - a. One additional energy saving option, or two energy saving elements.
 10. Additional color samples and confirmation of all colors and their locations for the project.
 11. All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
 12. This Design Review approval shall expire one (1) year from the date these Findings of Fact are signed, unless a building permit application has been submitted to the Building Department.
 13. This project is subject to Development Impact Fees pursuant to Municipal Code Chapter 15.16. The estimated fee is determined at the time of Building Permit application.
 14. Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
 15. Except as otherwise provided, all the required building, landscaping, site, infrastructure improvements and all other conditions of approval shall be constructed and completed, or security in the amount of 150% of the estimated cost as approved by the City, before a Certificate of Occupancy will be issued.
 16. This Design Review approval is subject to the following conditions:
 - a) All applicable Fire Department and Building Department requirements shall be met, including but not limited to:
 - i. Prior to installation of the new fence, a fence permit shall be obtained from the Building Department and the plans for the fence shall meet the standards of Section 8.1, Hailey Zoning Ordinance.
 - ii. No auxiliary apparatus (e.g. utility meters, fire suppression equipment) may extend into any public right-of-way.
 - iii. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional parking, improvements and/or approvals.
12. A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this ____ day of _____, 2013.

Geoffrey Moore, Chair

Attest:

Bart Bingham, Principal Planner

City of Hailey - Design Review Application

Submittal Date: ____/____/____

Project Name: The Sage School Portable Classroom Parcel No. _____
Project

RPH 04000040200

Legal Description of Property: Subdivision AIRPORT WEST PHASE 2 Lot(s) 4, Block 2

Street Address of Property: 1451 AVIATION DRIVE, HAILEY, ID 83333

Current Zoning of Property: SCI-50 Year of original construction: N/A

(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable) 8,739 FT.² Proposed addition or new construction sq. ft. _____

Name of Owner of the Property: WM. PIERPOINT (1451 Idaho LLC)

Mailing Address: P.O. Box 5005 City: Rancho Mirage State: CA Zip: 92270-0000

Phone: (208) 788-1035 Fax: () _____ Cell: (208) 309-4028

Email Address: _____

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: by Will Pierpoint Date: 7 / 3 / 2013

Name of individual to contact on behalf of Trust or LLC (if applicable): _____

Mailing Address: _____ City: _____ State: _____ Zip: _____

Phone: () _____ Fax: () _____ Cell: () _____

Email Address: _____

Application Contact (if different than above): Architect: Jolyon Sawrey
NANCY LINSOTT OR HARRY WEEKES (SCHOOL HEAD)

**Application Contact will be the Planning Department's primary point of contact for questions related to the application.

Mailing Address: P.O. Box 30 30 Wyatt Dr. City: HAILEY State: ID Zip: 83333
Bellevue, ID 83313

Phone: (208) 788-0120 Vitalink 720-6315 Cell: (208) 721-2558 (NANCY'S)

Email Address: nancy@thesageschool.org or harry@thesageschool.org or jolyon@vitalinkarchitecture.com

Signature: _____ Date: ____/____/____

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

<input type="checkbox"/> Commercial, Mixed-Use or Multi-Family.....	\$ <u>450.00</u>
plus \$25 / 1,000 gross square feet.....	\$ _____
OR <input type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ 250.00
OR <input type="checkbox"/> No Substantial Impact..... (Mailing only).....	\$ 75.00
OR <input type="checkbox"/> Modification to DR Approval... (No publication or mailing).....	\$ 50.00
OR <input type="checkbox"/> DR Exemption... (No publication or mailing).....	\$ 30.00
Publication cost.....	\$ <u>40.00</u>
Mailing (# of addresses _____) x (_____ postage + .15 paper, envelope & label)	\$ _____
<i>DO NOT COUNTY DUPLICATES OR CITY OF HAILEY</i>	
Total Due.....	\$ _____

1,440 FT² x 2
= 2,880 FT.²
= 50.00
450.00
50.00
40.00

City of Hailey - Design Review Application

Submittal Date: ____/____/____

Project Name: _____ Parcel No. _____

RPH _____

Legal Description of Property: Subdivision _____ Lot(s) _____, Block _____

Street Address of Property: _____

Current Zoning of Property: _____ Year of original construction: _____

(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable) _____ Proposed addition or new construction sq. ft. _____

Name of Owner of the Property: _____

Mailing Address: _____ City: _____ State: _____ Zip: _____

Phone: () _____ - _____ Fax: () _____ - _____ Cell: () _____ - _____

Email Address: _____

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: _____ Date: ____/____/____

Name of individual to contact on behalf of Trust or LLC (if applicable): _____

Mailing Address: _____ City: _____ State: _____ Zip: _____

Phone: () _____ - _____ Fax: () _____ - _____ Cell: () _____ - _____

Email Address: _____

Application Contact (if different than above): _____

****Application Contact will be the Planning Department's primary point of contact for questions related to the application.**

Mailing Address: _____ City: _____ State: _____ Zip: _____

Phone: () _____ - _____ Fax: () _____ - _____ Cell: () _____ - _____

Email Address: _____

Signature: _____ Date: ____/____/____

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

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FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

<input checked="" type="checkbox"/> Commercial, Mixed-Use or Multi-Family.....	\$ 450.00
plus \$25 / 1,000 gross square feet..... <u>2800 SF</u>	\$ <u>75.00</u>
OR <input type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ 250.00
OR <input type="checkbox"/> No Substantial Impact.... (Mailing only).....	\$ 75.00
OR <input type="checkbox"/> Modification to DR Approval... (No publication or mailing).....	\$ 50.00
OR <input type="checkbox"/> DR Exemption... (No publication or mailing).....	\$ 30.00
Publication cost.....	\$ 40.00
Mailing (# of addresses <u>15</u>) x (. <u>46</u> postage + .15 paper, envelope & label)	\$ <u>9.15</u>
<i>DO NOT COUNTY DUPLICATES OR CITY OF HAILEY</i>	
Total Due.....	\$ <u>574.15</u>

DESIGN REVIEW - CHECKLIST

Project Name: Sage School Modular Classrooms

City Use Only -

Certified Compete by

Date: 3 /



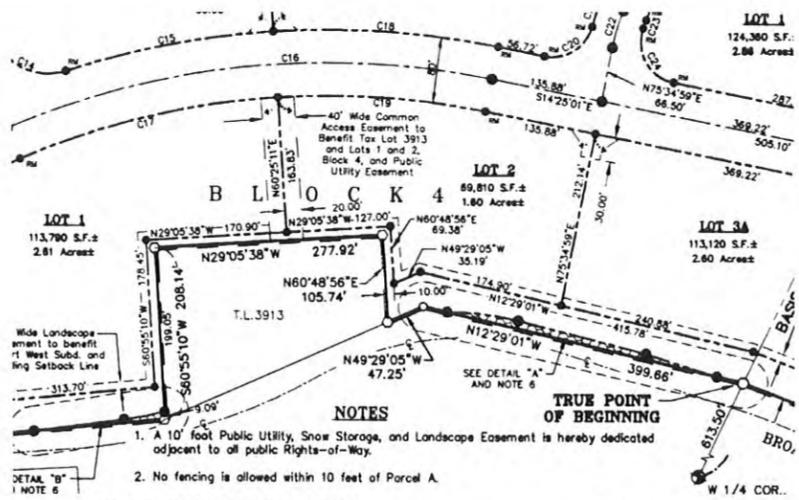
The following items must be submitted with the application for the application to be considered complete (✓):

- One (1) 24" x 36" set of plans with scale indicated containing the following:
- Vicinity map showing project location in relationship to adjacent buildings and surrounding area.
- Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions (must show location of adjacent buildings and structures).
- Total square footage of subject property, including lot dimensions.
- Building setbacks.
- Staging and contractor parking plan.
- Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures).
- Landscape plan
 - Existing tree to be shown as retained/relocated/removed.
 - All proposed species type/size/quantity of each.
 - Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
- Floor plan (include gross square footage for each floor, occupancy classification and type of construction).
- Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
- Drainage plan (grading, catch basins, piping, and dry-wells).
- Detailed elevations showing facade of all sides of proposed building and other exterior elements.
 - Must show elevation points of record grade. Include notes on colors, materials, dimensions.
- Colored rendering of at least one side of the proposed building.
- Idaho licensed architect (plans for single family dwellings may be stamped by an Idaho licensed structural engineer)
- North point and scale.
- Six (6) 11" x 17" copies of any larger plans/maps (if project is located within the Townsite Overlay, then one (1) 11" x 17" copy is sufficient).
- PDF files of all required documents and 11" x 17" plans/maps; email PDFs to planning@haileycityhall.org.
- Color photographs of any existing structures on the site.
- Materials and colors sample board. Each sample approximately 12" x 12".
- Sign Plan (if applicable).
- Area Development Plan (required if property owner also owns adjacent parcels).
- For property located in Airport West, Design Review approval by Airport West Design Board.
- Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- Names and addresses of easement holders within subject property.
- Written statement of how each design review standard is met (contact the Planning Coordinator for which set of standards is applicable to your project).
- Other information as required by the Zoning Administrator, Hearing Examiner or Commission.

City Use Only:

- Double check address
- Advise applicant if Lot Line Adjustment is needed
- Check following basic standards:

<input type="checkbox"/> Density	<input type="checkbox"/> Lot coverage
<input type="checkbox"/> Setbacks	<input type="checkbox"/> Floor area
<input type="checkbox"/> Height (plans must show elevation points of record grade)	<input type="checkbox"/> Parking (# of spaces)



LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT
	DRAINAGE SWELL
	FENCE
	WATER LINE
	POWER LINE
	SNOW STORAGE

PARKING TABULATION:
ARTICLE IX: PARKING & LOADING SPACES

9.4.4 SCHOOLS:

A. ELEMENTARY SCHOOLS- N/A

B. MIDDLE SCHOOLS- 1 FOR EVERY TEACHER OR EMPLOYEE, OR 1 SPACE FOR EVERY TWO PERSONS RATED CAPACITY OF ALL ASSEMBLY AREAS, WHICHEVER IS GREATER.

C. HIGH SCHOOLS- 1 FOR EVERY 5 STUDENTS AND 1 FOR EVERY TEACHER OR EMPLOYEE, OR 1 SPACE FOR EVERY TWO PERSONS RATED CAPACITY OF ALL ASSEMBLY AREAS, WHICHEVER IS GREATER.

THERE ARE NO ASSEMBLY SPACES

PER CODE BASED OCCUPANCY:

TEACHERS/EMPLOYEES = 13
HIGH SCHOOL STUDENTS = 49/5 = 10: 1 MODULAR @ 980 NET SQ.FT. = 49 OCCUPANCY

TOTAL = 23 PARKING SPACES

ACTUAL ENROLLMENT:

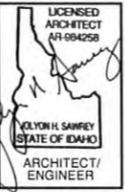
TEACHERS/EMPLOYEES = 13
HIGH SCHOOL STUDENTS = 25/5 = 5

TOTAL = 18 PARKING SPACES REQUIRED

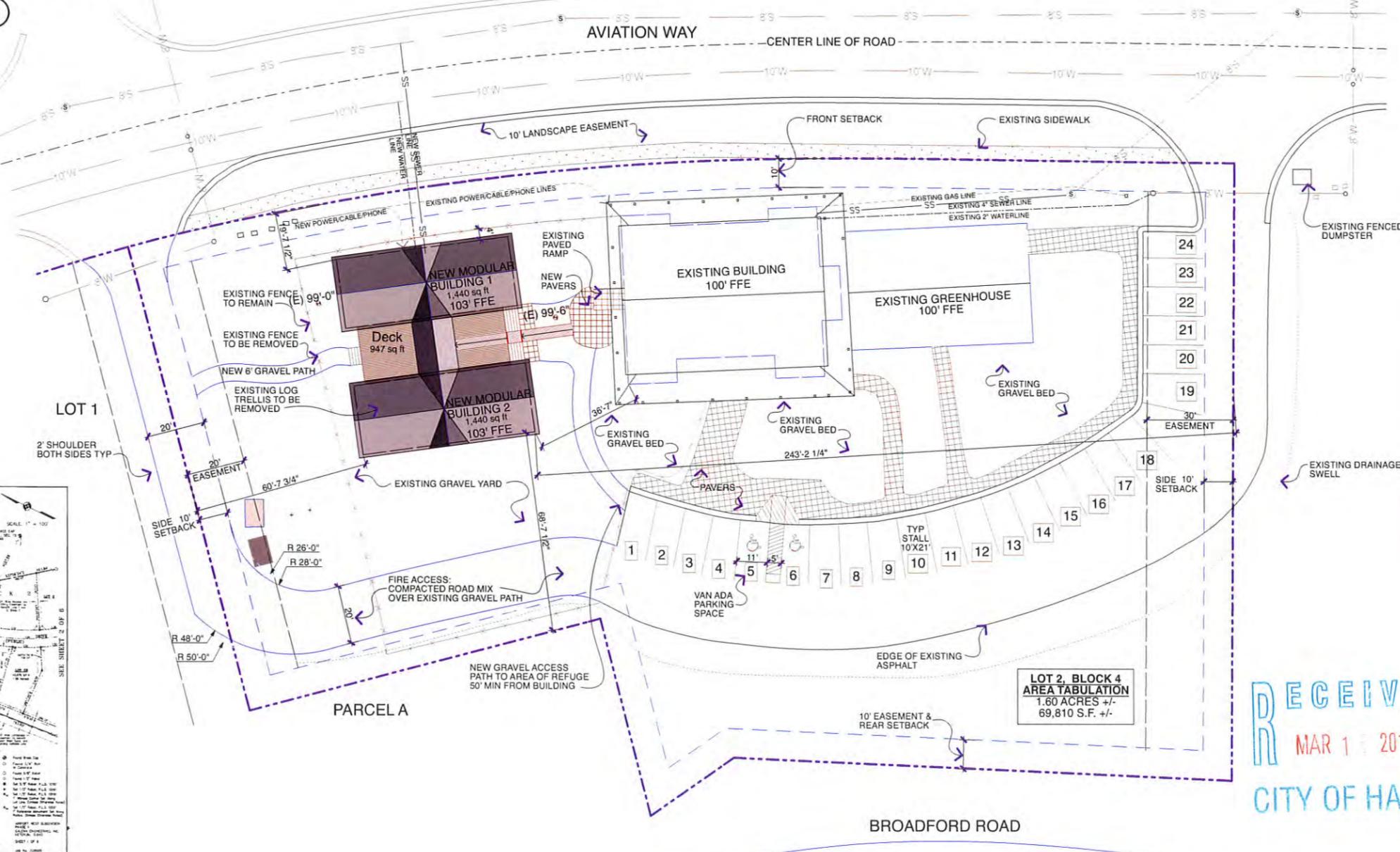
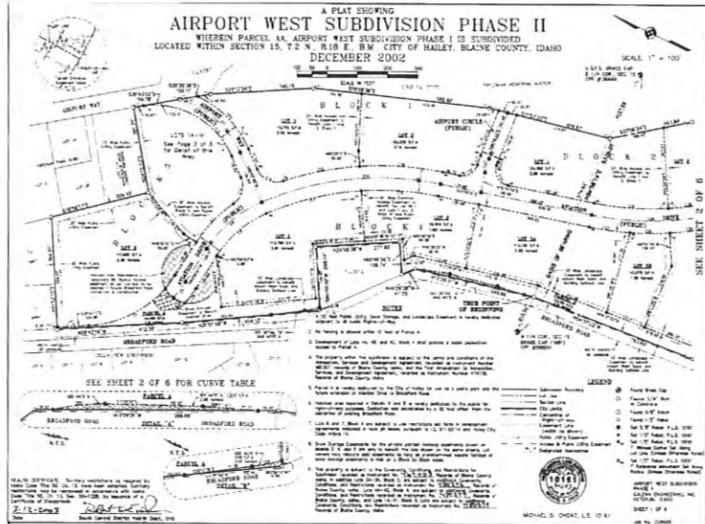
TOTAL PROVIDED = 24 PARKING SPACES

GENERAL NOTES:

- ALL INFORMATION PERTAINING TO EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO GRADES, UTILITY LOCATIONS, LOCATION OF EXISTING STRUCTURES, PAVING, PROPERTY LINES WAS PROVIDED BY THE SAGE SCHOOL. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR INACCURACIES IN THIS INFORMATION. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS.
- ALL UTILITIES ARE TO BE UNDER GROUND
- DARK SKY COMPLIANT LIGHT FIXTURES ABOVE EACH DOOR OF NEW BUILDINGS. SEE 2/A6.2 FOR LOCATIONS



NEW MODULAR CLASSROOMS:
THE SAGE SCHOOL
IDAHO
HAILEY



Vital Ink, Inc.
Environmental Architecture
& Consulting, LLC

30 Wyatt Drive
Bellevue, Idaho 83813

(208) 720-6315 Ph

RECEIVED
MAR 1 2013
CITY OF HAILEY

REVISIONS

DATE
15 MARCH 2013

A1.1

SYMBOL LEGEND	
	CONSTRUCTION PARKING
	CONSTRUCTION STAGING AREA
	CONSTRUCTION DUMPSTER
	RECYCLING BIN
	PORTABLE RESTROOM
	CONSTRUCTION AREA OF DISTURBANCE
	CONSTRUCTION ACCESS

PLANT LEGEND	
	EXISTING LOW-LYING SHRUBS
	EXISTING ASPEN TREE
	EXISTING DECIDUOUS
	EXISTING CONIFER TREE

LEGEND	
	PROPERTY LINE
	SETBACK LINE
	EASEMENT
	DRAINAGE SWELL
	FENCE
	WATER LINE
	POWER LINE
	SNOW STORAGE

SNOW STORAGE TABULATION:
HAILEY ZONING ORDINANCE 532: AMENDED BY ORDINANCE 1097

6A.8 DESIGN STANDARDS:
J. SNOW STORAGE AREAS SHALL NOT BE LESS THAN 25% OF IMPROVED PARKING AND VEHICLE AND PEDESTRIAN CIRCULATION AREAS.

EXISTING PARKING, VEHICLE & PEDESTRIAN CIRCULATION:

PARKING & VEHICLE CIRCULATION	= 13,718 SQ. FT.
PEDESTRIAN CIRCULATION	= 2,771 SQ. FT.
TOTAL	= 16,489 X 25% = 4,122.25 SQ. FT.

VEHICLE & PEDESTRIAN CIRCULATION:

VEHICLE CIRCULATION	= 5,480 SQ. FT.
PEDESTRIAN CIRCULATION	= 700 SQ. FT.
DECK	= 947 SQ. FT.
TOTAL	= 7,127 X 25% = 1,781.75

TOTAL PROVIDED = 5,905 SQ. FT. PROVIDED

GENERAL NOTES:
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NEW MODULAR CLASSROOMS:
THE SAGE SCHOOL
IDAHO
HAILEY



Vital ink
Environmental Architecture
& Consulting
30 Wyatt Drive
Bellevue, Idaho 83313
(208) 726-6315 Ph

REVISIONS

DATE
15 MARCH 2013

A1.2



Photo 5. North elevation of existing building at 1451 Aviation Drive. Proposed portable classrooms would be located in this area.



Photo 3. East elevation of existing buildings at 1451 Aviation Drive. Proposed classrooms will be off the right side of the photo.



Photo 4. View to west of north portion of lot showing location of proposed portable classrooms. Existing fencing and landscaping will be restored following installation and eventual removal of buildings.



Photo 2. South elevation of greenhouse portion of existing building at 1451 Aviation Drive.



Photo 1. West elevation of existing building at 1451 Aviation Drive. Portable classrooms will be off the far left of the photo.

Received by City of Hailey
March 15, 2013

LICENSED
ARCHITECT
AR-984258

KELVIN H. SAWREY
STATE OF IDAHO

ARCHITECT/
ENGINEER

NEW MODULAR CLASSROOMS:
THE SAGE SCHOOL
IDAHO
HAILEY

(208) 720-6315 PH

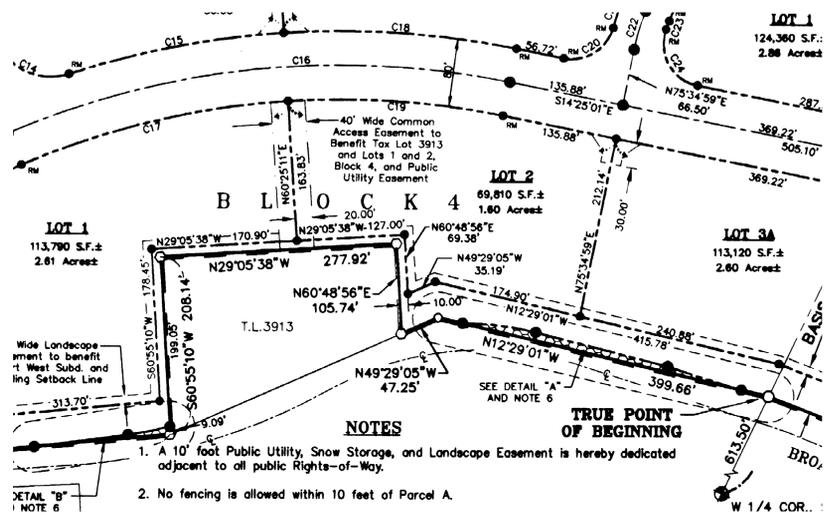
Vital ink nllc
Environmental Architecture
& Consulting AIA

30 Wyatt Drive
Bellevue, Idaho 83313

REVISIONS

DATE
15 MARCH 2013

A0.1



LEGEND

	PROPERTY LINE
	SETBACK LINE
	EASEMENT
	DRAINAGE SWELL
	FENCE
	WATER LINE
	POWER LINE
	SNOW STORAGE

PARKING TABULATION:
ARTICLE IX: PARKING & LOADING SPACES

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THERE ARE NO ASSEMBLY SPACES

PER CODE BASED OCCUPANCY:
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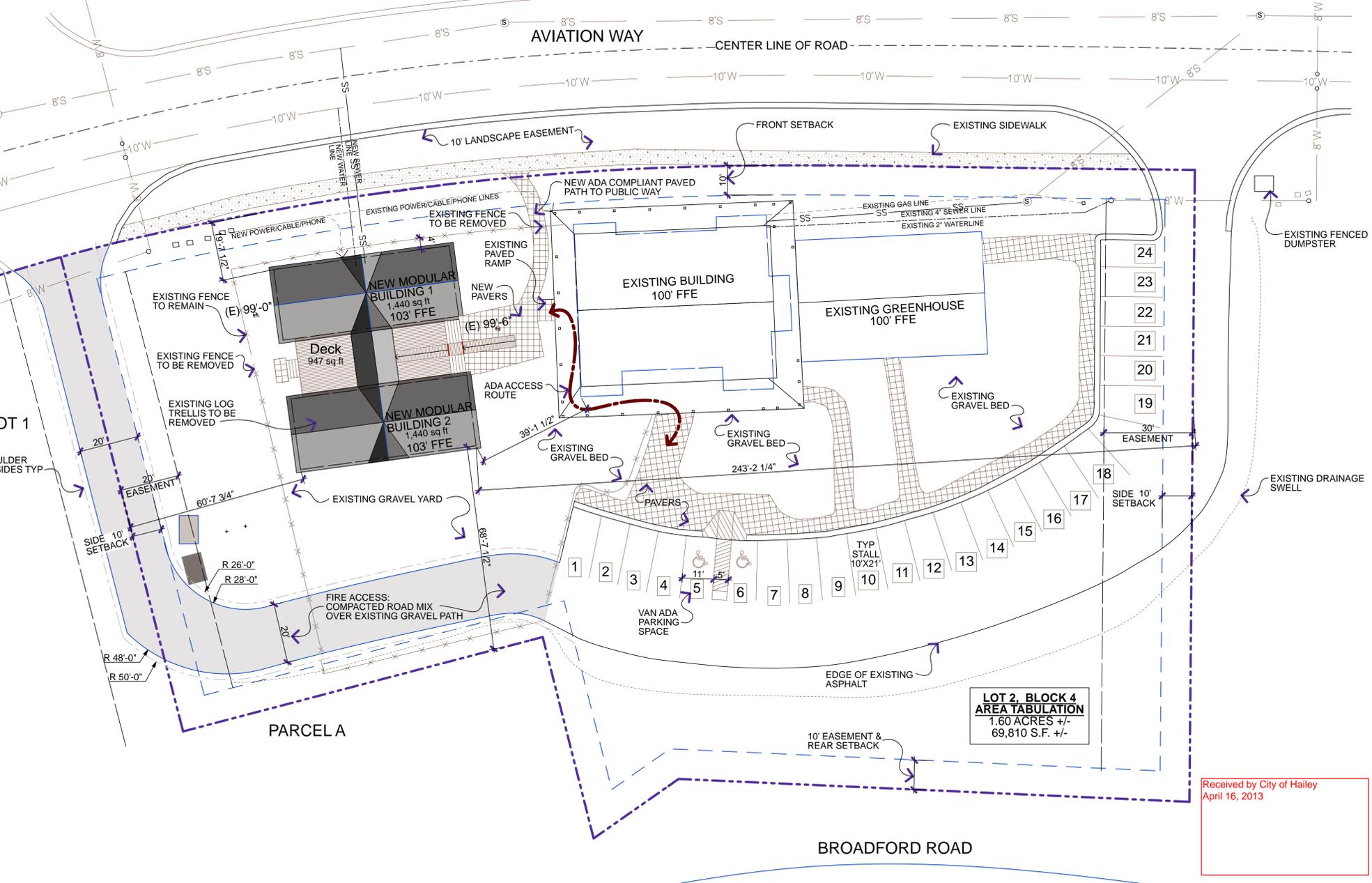
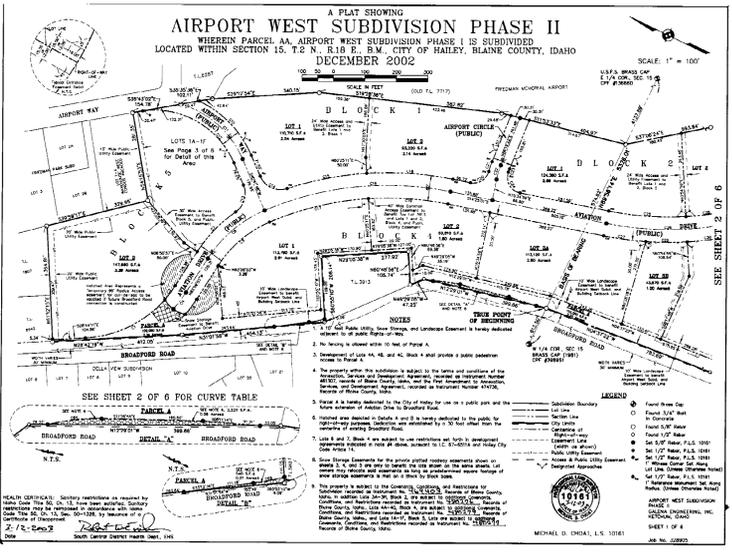
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3. DARK SKY COMPLIANT LIGHT FIXTURES ABOVE EACH DOOR OF NEW BUILDINGS. SEE 2/A6.2 FOR LOCATIONS

NOTES
1. A 10' foot Public Utility, Snow Storage, and Landscape Easement is hereby dedicated adjacent to all public Rights-of-Way.
2. No fencing is allowed within 10 feet of Parcel A.

PLAT: ENLARGED AREA



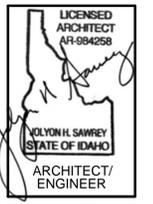
LOT 2, BLOCK 4 AREA TABULATION
1.60 ACRES +/-
69,810 S.F. +/-

Received by City of Hailey
April 16, 2013

PLAT: COMPLETE



SITE, UTILITY, PARKING, FIRE ACCESS PLAN & PLAT



THE SAGE SCHOOL
IDAHO
HAILEY

Vital ink LLC
Environmental Architecture & Consulting
30 Wyatt Drive
Bellevue, Idaho 83313
(208) 720-6315 PH

REVISIONS

DATE
15 MARCH 2013

A1.1

SYMBOL LEGEND	
	CONSTRUCTION PARKING
	CONSTRUCTION STAGING AREA
	CONSTRUCTION DUMPSTER
	RECYCLING BIN
	PORTABLE RESTROOM
	CONSTRUCTION AREA OF DISTURBANCE
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PLANT LEGEND	
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SNOW STORAGE TABULATION:
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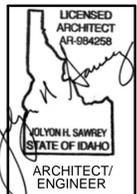
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 PEDESTRIAN CIRCULATION = 2,771 SQ.FT.
 TOTAL = 16,489 X 25% = 4,122.25 SQ.FT.
TOTAL = 4,123 SQ.FT. REQUIRED

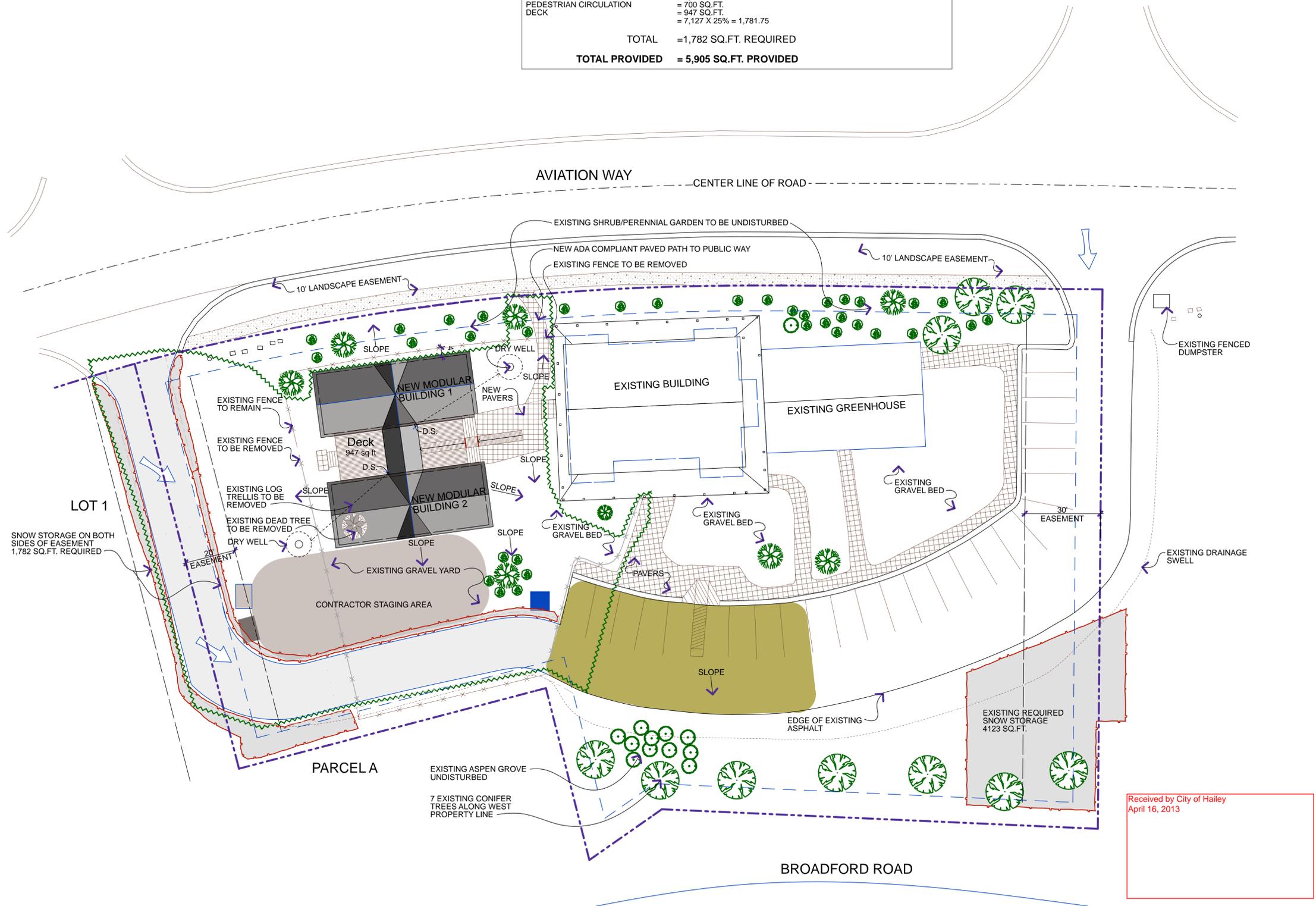
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 VEHICLE CIRCULATION = 5,480 SQ.FT.
 PEDESTRIAN CIRCULATION = 700 SQ.FT.
 DECK = 947 SQ.FT.
 TOTAL = 7,127 X 25% = 1,781.75
TOTAL = 1,782 SQ.FT. REQUIRED

TOTAL PROVIDED = 5,905 SQ.FT. PROVIDED

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NEW MODULAR CLASSROOMS:
THE SAGE SCHOOL
 HAILEY, IDAHO



Received by City of Hailey
 April 16, 2013



CONSTRUCTION STAGING, LANDSCAPE, SNOW STORAGE & DRAINAGE PLAN

1"
 20'-0"

1

Vital ink PLLC
 Environmental Architecture & Consulting LLC
 30 Wyatt Drive
 Bellevue, Idaho 83313
 (208) 720-6315 PH

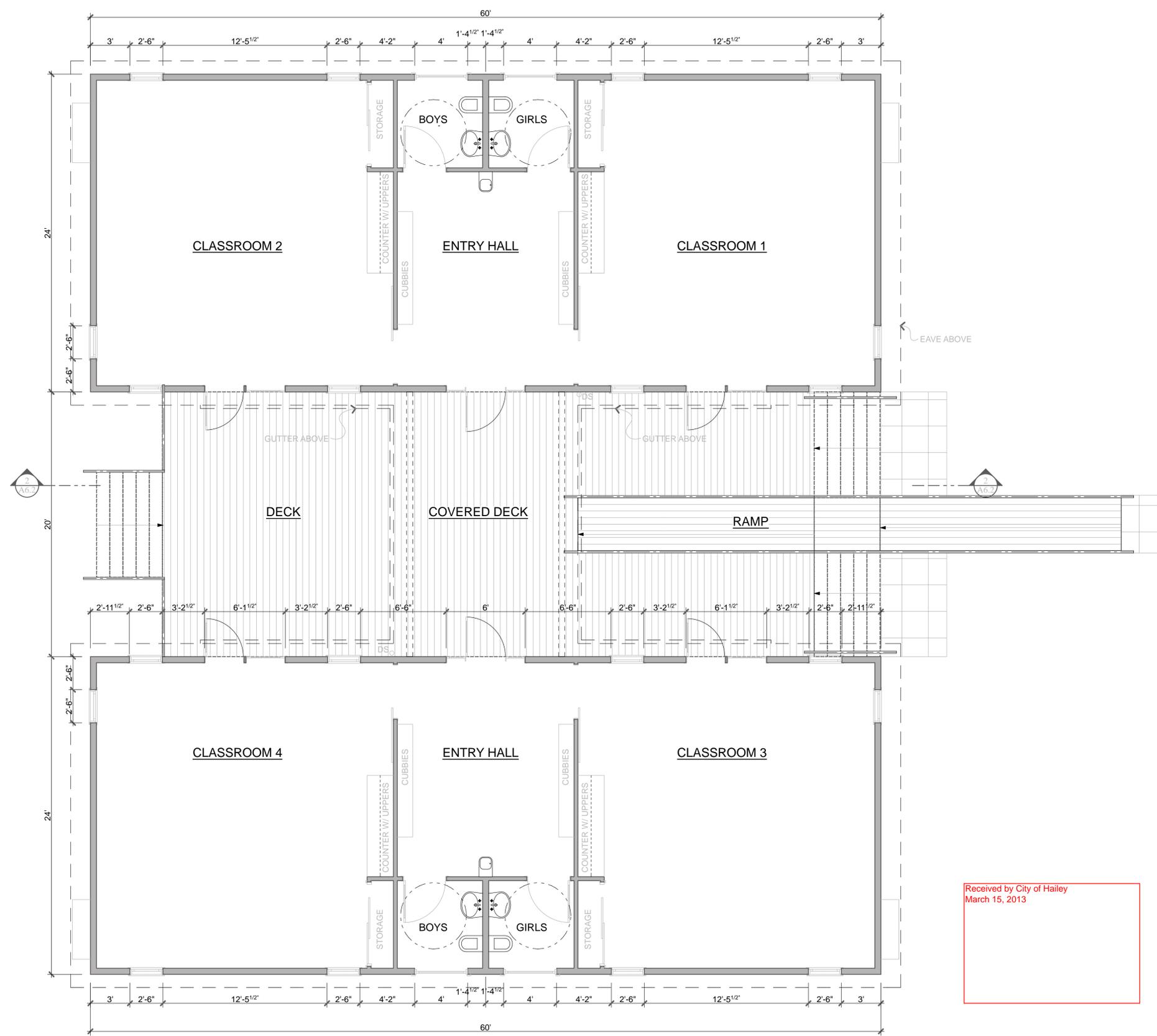
REVISIONS

DATE
 15 MARCH 2013

A1.2

REVISIONS

DATE
15 MARCH 2013



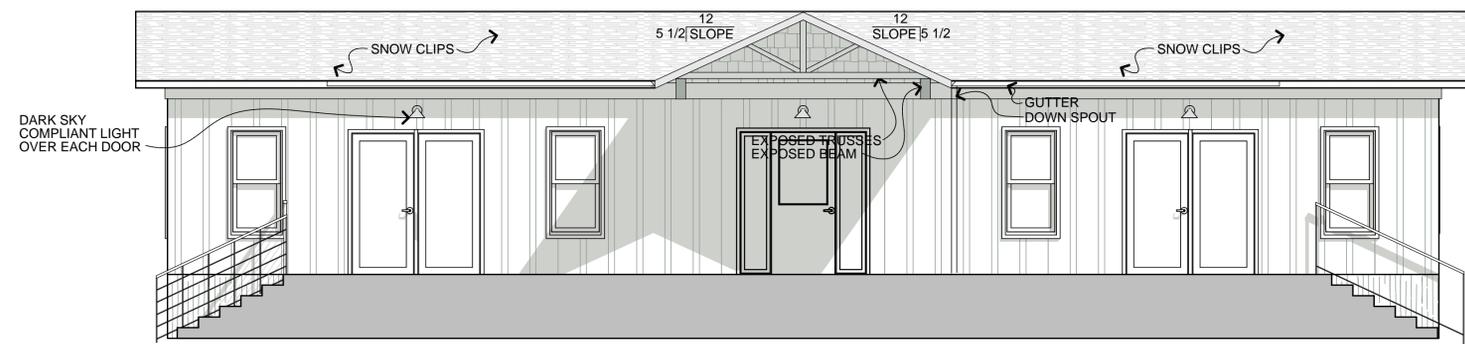
Received by City of Hailey
 March 15, 2013



FLOOR PLAN

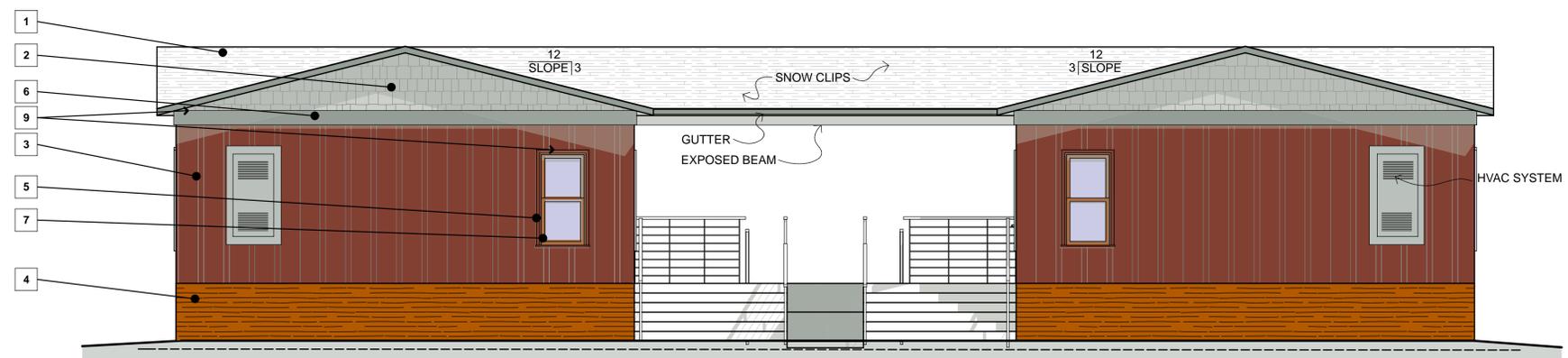
1/4" = 1'-0" **1**

Received by City of Hailey March 15, 2013



SECTION/ELEVATION LOOKING EAST 2
1/4"=1'-0"

EXTERIOR MATERIALS				
LOC.	MATERIAL	MANUF.	MODEL	FINISH COLOR
1	ROOFING		40 YEAR ASPHALT SHINGLES	ANTIQUÉ BLACK
2	SIDING- SHINGLES		HARDI SHINGLES- 6" REVEAL	ATTITUDE GREY
3	SIDING- BOARD & BATT		WOOD TEXTURED WOOD COMPOSITE & BATT'S 8" O.C.	CARRIAGE DOOR
4	SIDING- CORRUGATED METAL		CORTEN	NATURAL RUST
5	WINDOW & DOOR TRIM		WOOD TEXTURED WOOD COMPOSITE	CARRIAGE DOOR
6	2X BAND, SOFFIT & FASCIA		WOOD TEXTURED WOOD COMPOSITE	ROCK BOTTOM
7	WINDOWS		VINYL	ALMOND
8	DOORS		METAL	ROCK BOTTOM
9	FLASHING-		METAL FLASHING WITH HEMED DRIP EDGE(WHERE APPLICABLE), 24G.	BLACK



SOUTH ELEVATION 1
1/4"=1'-0"



02 May, 2013

**CITY OF HAILEY
DESIGN REVIEW ITEMS TO ADDRESS**

The below items were requested to be clarified/ answered as a condition of the projects Design Review approval

Materials, and Colors Clarifications.

Deck- Decking to be clear stained/ sealed redwood

Railings- See attached elevation sketch.

Ramp- The deck would be clear stained/ sealed redwood

Ramp Sides- sides visible whether outside face or inside face against adjacent stairs would be the same rusted Corten steel as the skirts of the modular classrooms.

Beams- Beams spanning the deck area would be GLB of structural pine and clear stained/ sealed

Trusses(Exposed)- The underside is visible from guests on the deck, and this would be painted including the truss pres plates. The color would be the same gray as the soffits as presented on the sample board.

Mechanical systems- The elevations as submitted show these items as gray. The preference as stated at the public meeting is to have them the same color as the siding. We are coordinating with the manuf. to make this so.

Energy Efficiency Requirements

We are proposing the following two attributes (combined) as our “**Other**” energy efficiency

measure to be in compliance with the Design Review criteria.

1. Modular Buildings Construction & Waste Reduction Energy Savings compared to Conventional Site Built Projects:

Per an Article about a modular manuf. (Living Homes), it is stated that the average modular building has a construction material waste factor of 10%. Additionally it is stated that the average site built building wastes 30% or more. This equates to a 20% waste savings of modular construction over site built. Per the NAHB the average 2000 SF conventionally framed building generates 8000lbs. of waste. Therefore the (2) sage school modular buildings if site built would generate 11,520 lbs. of construction waste. With a 20% reduction in waste, this equates to 2,304 lbs less waste. The waste is composed of Lumber, Plywood, Gypsum, and shingles. The average embodied energy in btu's/ lb for these materials is 3,011 btu/lb. **The Energy Saved By Modular Building over Site Built is 6,937,344 btu's**

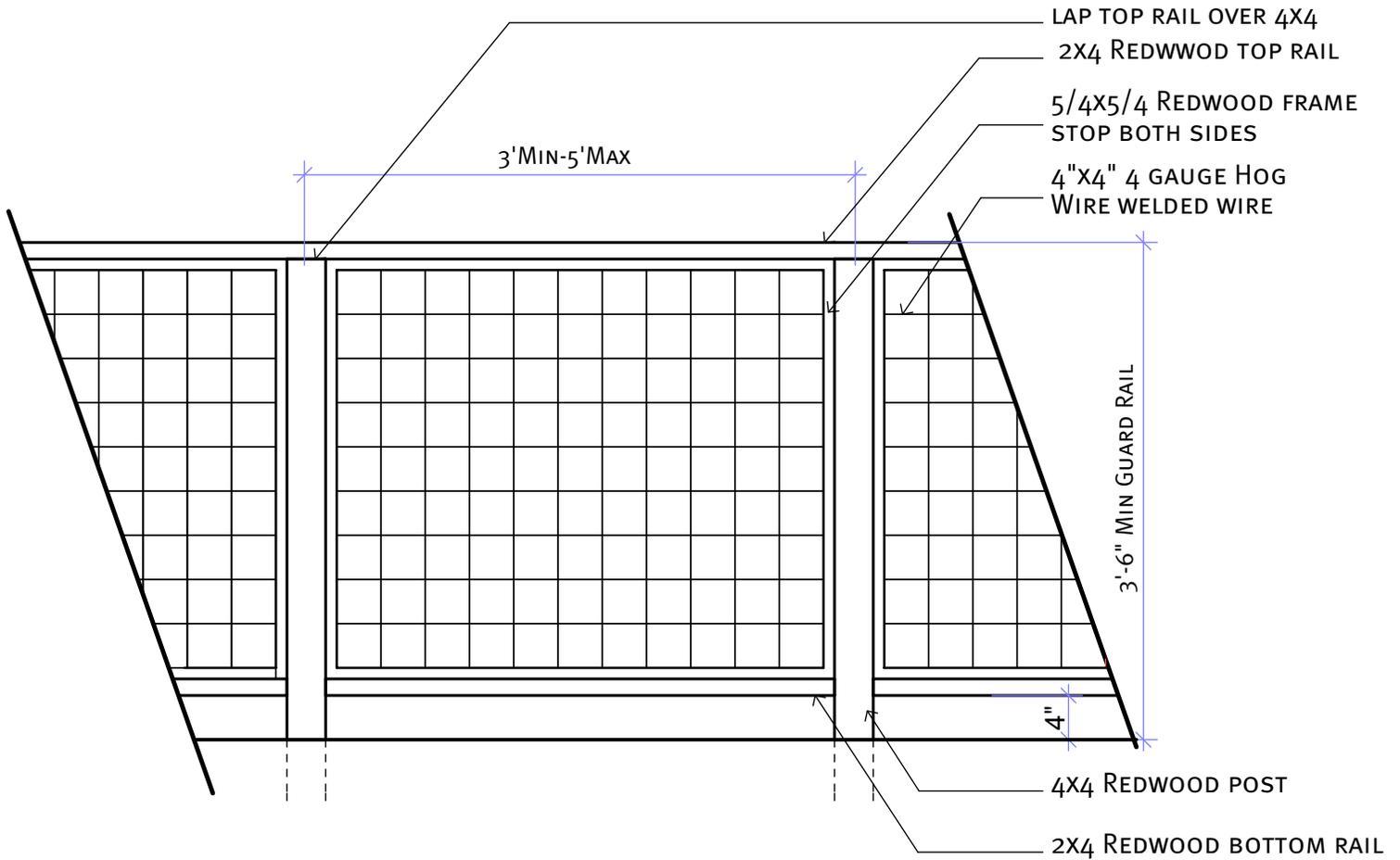
SOURCES:

- <http://mashable.com/2012/07/25/sustainable-prefab-housing/>
- http://www.canadianarchitect.com/asf/perspectives_sustainability/measures_of_sustainability/measures_of_sustainability_embodied.htm
- LEED for Home MR section relative to % of construction waste

2. Above Code Insulation measures have been confirmed to be able to be installed with the modular manuf. The levels of insulation in walls and floor will be above the 2009 IECC as follows:

Walls: Code requires R-19.6 The walls will have R-21 insulation **which is a 7% improvement**



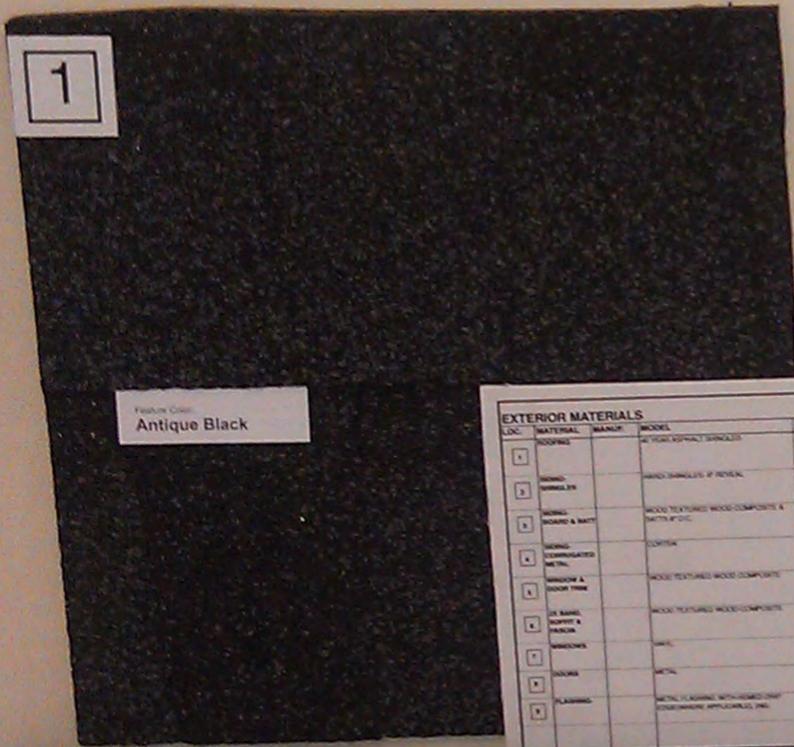


THE SAGE SCHOOL

NEW MODULAR CLASSROOMS



EAST ELEVATION



LOC.	MATERIAL	FINISH	MODEL	FINISH COLOR
1	ROOFING	BY STATE APPROVAL	SHINGLES	ANTIQUE BLACK
2	WALLS	SHINGLES	SHINGLES OF REVEAL	ANTIQUE GRAY
3	WALLS	WOOD GRAIN	WOOD COMPOSITE & BATTEN	CARRIAGE OAK
4	WALLS	WOOD GRAIN	WOOD COMPOSITE	CARRIAGE OAK
5	WALLS	WOOD GRAIN	WOOD COMPOSITE	CARRIAGE OAK
6	WALLS	WOOD GRAIN	WOOD COMPOSITE	CARRIAGE OAK
7	WALLS	WOOD GRAIN	WOOD COMPOSITE	CARRIAGE OAK
8	WALLS	WOOD GRAIN	WOOD COMPOSITE	CARRIAGE OAK
9	WALLS	WOOD GRAIN	WOOD COMPOSITE	CARRIAGE OAK



WESTERN WINDOW

Details...



WESTERN
SELECT

Features & Benefits

Feature

- ✓ 1 3/8" Nail Fin Setback
- ✓ .067" Exterior Wall Thickness
- ✓ Dedicated Picture Frame
- ✓ Welded Frame and Sash
- ✓ Double Wall Pocket Sill
- ✓ 3" Frame Depth
- ✓ Integral Stucco Nubs
- ✓ Integral Sash/Meeting Rail Interlocks with Weatherstripping
- ✓ 3/4" Insulated Glass
- ✓ Clear Grid Buttons
- ✓ Exterior Glazing
- ✓ "T" Mullion
- ✓ Hollows in the Frames, Sash and Meeting Rail
- ✓ Double-wall Interior Dam Leg
- ✓ Structural Testing per AAMA Thermal Testing/Simulations per NFRC
- ✓ Baffled Weep System
- ✓ White & Almond Colors

Benefit

- ✓ Allows convenient installation for various construction materials and styles
- ✓ Strength and stability of frame and sash
- ✓ Compliments the main frame, designed to accommodate large sizes
- ✓ Provides strength and durability; protection from air and water penetration
- ✓ Provides excellent unit strength and structural performance
- ✓ Ideal for new construction; Finished unit has strength and stability
- ✓ Frame designed to accommodate Stucco application
- ✓ Provides a positive interlock and a dual seal between the transom and the lock rail
- ✓ Secures grid and reduces noise
- ✓ Provides optimal thermal performance
- ✓ Ensures weathertight, joint free surfaces on the interior
- ✓ Reduces cost of twin and triple units; improves the appearance
- ✓ For maximum reinforcement of large size units and maximum thermal performance
- ✓ Provides additional structural rigidity and reduces "cupping" of the dam leg
- ✓ Documented performance results from recognized national agencies
- ✓ Improved drainage and reduced air infiltration
- ✓ Design flexibility



Window Type	Model	ANSI AAMA 1115.2-97	NFRC Certified with Low-e Coated Glass	Energy Star Qualified	STC Rated 17" 3/16"
Single-Slider	1105	Yes	33	Yes	31
Single-Hung	1305	Yes	34	Yes	32
Picture	1205	Yes	33	Yes	31

EXISTING DOWNCAST LIGHT FIXTURES MEET THE 85 DEGREE CUT OFF RULE NOT ONLY WITH FIXTURE COVER BUT WITH PLACEMENT UNDER THE COVERED PORCH



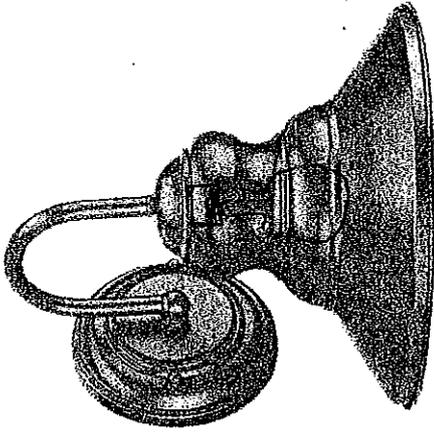
EXISTING WALL MOUNT FIXTURE THAT IS NOT COMPLIANT. THIS FIXTURE WILL EITHER BE:
1. REMOVED AND OUTLET BOX CAPPED
2. A NEW WALL MOUNT FIXTURE THAT MATCHES THE SUBMITTED SPEC SHEET FOR LIGHT FIXTURES TO BE ADDED TO THE MODULAR BUILDINGS WILL BE INSTALLED



Forte Lighting 1027-01-32DS Traditional / Classic 1 Light Outdoor Wall Sconce

Model #: 1027-01-32DS

FORTE
LIGHTING



Finish: Antique Bronze

Product Videos



Watch Justin Bergson's installation of the Forte Lighting 1027-01-32DS.

Learn how to change out your wall sconce to update your home. Follow Justin Bergson as he shows you the step-by-step procedure in making this project a quick and simple one.

Product Details for the Forte Lighting 1027-01-32DS

Forte Lighting 1 Light Outdoor Wall Lantern

Features:

- Dark Sky Compliant
- 9.25" Width x 9.5" Height x 9.25" Extension



ing and reading on April 4th, Thursday at 10:00 AM. Bids will be received at: The Blaine County School District Office 118 West Bullion Street, Hailey, Idaho, 83333

By
Laurie Kaufman
Clerk of the Board

PUBLISH:
IDAHO MOUNTAIN EXPRESS
March 27, & April 3, 2013

NOTICE OF PUBLIC HEARING
HAILEY PLANNING AND ZONING
COMMISSION
Monday, April 22, 2013

Public Notice is hereby given that the Hailey Planning and Zoning Commission

Departments, Community Development, click on Current Applications. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall. Any and all interested persons are invited to submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org or call (208) 788-9815

PUBLISH:
IDAHO MOUNTAIN EXPRESS
March 27, 2013

NOTICES OF
TRUSTEE'S SALES

Trustee has no knowledge of a more particular description of the above referenced real property, but for purposes of compliance with Section 60-113 Idaho Code, the Trustee has been informed that the address of 102 WILLOW RD, HAILEY, ID 83333 is sometimes associated with said real property. Said sale will be made without covenant or warranty regarding title, possession or encumbrances to satisfy the obligation secured by and pursuant to the power of sale conferred in the Deed of Trust executed by STEPHEN W GREER, A MARRIED MAN AS HIS SOLE AND SEPARATE PROPERTY as Grantor/Trustor, in which MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC., AS NOMINEE FOR GREENPOINT MORTGAGE FUNDING, INC., is named as Beneficiary and BLAINE COUNTY TITLE as Trustee and

KNOWLEDGE OF A MORE PARTICULAR DESCRIPTION OF THE ABOVE-DESCRIBED PROPERTY, BUT FOR PURPOSE COMPLIANCE WITH IDAHO CODE SECTION 60-113. THE TRUSTEE BEEN INFORMED THAT THE STREET ADDRESS OF: 302 Eagle Creek Ketchum, ID 83340, MAY SOMETIME BE ASSOCIATED WITH SAID PROPERTY.

If the successful bidder cannot provide the bid price by means of one above means of payment, the sale is postponed for 10 minutes only to the high bidder to obtain payment form prescribed herein above. If the bidder is unsuccessful in obtaining payment as directed within 10 minute sale will be re-held immediately and bid by the high bidder from the pre

LEGAL NOTICES

NOTICE OF TRUSTEE'S SALE

Notice of Trustee's Sale Idaho Code 45-1506 Today's date: February 21, 2013 File No: 7021.14937 Sale date and time (local time): June 24, 2013 at 11:00 AM Sale location: in the office of First American Title Company, 120 2nd Avenue North, Suite 101, Ketchum, ID 83340 Property address: 660 Second Avenue South #3 Ketchum, ID 83340 Successor Trustee: Northwest Trustee Services, Inc. an Idaho Corporation P.O. Box 997 Bellevue, WA 98009 (425) 566-1900 Deed of Trust information Original grantor: Michael Jaffe and Rhonda Jaffe, husband and wife Original trustee: LS Title of Washington Original beneficiary: Mortgage Electronic Registration Systems, Inc. solely as nominee for Countrywide Bank, N.A. Recording date: 10/31/2006 Recorder's instrument number: 541287 and Modified January 30, 2007 as Instrument No. 544318 County: Blaine Sum owing on the obligation, as of February 21, 2013: \$265,945.68 Because of interest, late charges and other charges that may vary from day to day, the amount due on the day you pay may be greater. Hence, if you pay the amount shown above, an adjustment may be necessary after we receive your check. For further information write or call the Successor Trustee at the address or telephone number provided above. Basis of default: failure to make payments when due. Please take notice that the Successor Trustee will sell at public auction to the highest bidder for certified funds or equivalent the property described above. The property address is identified to comply with IC 60-113 but is not warranted to be correct. The property's legal description is: Situated in the County of Blaine and State of Idaho: Unit 3 in Building A as shown on the Condominium Map for Westridge Condominiums Phase 1, recorded as Instrument No. 451304, and as defined and described in the Condominium Declaration for Westridge

recorded 6/26/2006 as Instrument No. 536761 in book xxx, page xxx, of Official Records in the office of the Recorder of BLAINE County Idaho. Please Note: The above Grantors are named to comply with section 45-1506(4)(A) Idaho Code. No representation is made that they are, or are not presently responsible for this obligation set forth herein. The Default for which this sale is to be made is the failure to pay when due, under Deed of Trust and Note dated 6/20/2006. The monthly installments of principal, interest, and impounds (if applicable) of \$3,968.62, due per month for the months of 3/1/2010 through 10/18/2010, and all subsequent installments until the date of sale or reinstatement. The principal balance owing as of this date on the obligation secured by said Deed of Trust is \$584,000.00 together with interest thereon at the current rate of 7.3750 per cent (%) per annum from 2/1/2010. All delinquent amounts are now due, together with accruing late charges, and interest, unpaid and accruing taxes, assessments, trustee's fees, attorney's fees, and any amounts advanced to protect the security associated with this foreclosure and that the beneficiary elects to sell or cause the trust property to be sold to satisfy said obligation. If the Trustee is unable to convey title for any reason, the successful bidder's sole and exclusive remedy shall be the return of monies paid to the Trustee and the successful bidder shall have no further recourse. If the sale is set aside for any reason, the Purchaser at the sale shall be entitled only to a return of the deposit paid. The Purchaser shall have no further recourse against the Mortgagor, the Mortgagee, or the Mortgagee's Attorney. Date: 2/21/2013 By: Pioneer Title Company of Ada County dba Pioneer Lender Trustee Services as Trustee By: Quality Loan Service Corp. of Washington, a Washington Corporation, its attorney-in-fact 2141 5th Avenue San Diego, CA 92101 Tricia Moreno, Assistant Secretary For Sale Information Call: 714-730-2727 or Log on to: www.pioneerlender.com

sale, will be rejected, all in accordance with Idaho Code 45-1502 et. Sec. Said sale will be made without covenant or warranty regarding title, possession or encumbrances to satisfy the obligation secured by and pursuant to the power of sale conferred in the Deed of Trust executed by Andrew Dike Grantor as a single person as Grantor to First Title & Escrow Corp as Successor Trustee for the benefit and security of Federal National Mortgage Association as Successor Beneficiary recorded September 17, 2009 as Instrument No. 571133. Mortgage recorded Blaine County, Idaho. THE ABOVE GRANTORS ARE NAMED TO COMPLY WITH SECTION 45-1506(4)(a) IDAHO CODE. NO REPRESENTATION IS MADE THAT THEY ARE, OR ARE PRESENTLY RESPONSIBLE FOR THIS OBLIGATION.

The default for which this sale is made is failure to:

Make principal and interest pay as set forth on said Deed of Trust Promissory Note. The original amount was \$279,000.00 together with interest thereon at the rate of 4.875 per annum, as evidenced in Promissory Note dated August 31, 2005. Pay are in default for the months of 1/1/2012 through and including February 2013 in the amount of \$1,476.44 month and continuing each and every month thereafter until date of reinstatement. The principal balance as of February 5, 2013 is \$266,945.68 together with accrued and accruing interest thereon at the rate of 4.87500 per annum. In addition to the above, is also due any late charges, advance escrow collection fees, attorney fees or costs associated with this foreclosure.

The balance owing as of this date on the obligation secured by said Deed of Trust is \$266,911.55, excluding interest, costs and expenses actually incurred in enforcing the obligations thereon in this sale, or trustee's fees.

will hold a Public Meeting at 6:30 p.m. on Monday, April 22, 2013, to be held in the upstairs meeting room of Hailey City Hall and will hold Public Hearings on the following items:

- Consideration of an Application by The Sage School for Design Review of two new 2,880 sq. ft. modular classrooms to be located at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.

- Consideration of Text Amendment Application by Portage Bay Partners for an amendment to Section 4.12 of the Zoning Ordinance which regulates the Service Commercial Industrial SCI-4 sub-zoning district. The proposed amendment would specifically revise 4.12.3.4 by adding subsection 1. to say "Interior lot lines used for the purpose of delineating creating commercial lots shall be allowed zero setbacks" and changing subsection 2. to be "Minimum Lot size - None."

Any and all interested persons are invited to attend this public hearing or submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org. Supporting documents for this item(s) can be viewed on the City of Hailey's website as of the date of this publication, go to www.haileycityhall.org, under Meeting click on the Planning and Zoning Commission and select the link for the most current Planning and Zoning agenda. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208-788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this notice, or for special accommodations to participate in the noticed meeting please contact planning@haileycityhall.org or (208) 788-9815.

PUBLISH:
IDAHO MOUNTAIN EXPRESS
March 27, 2013

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

April 4, 2013

Dear Property Owner:

Your property has been identified as being located within 300 feet of the property listed below; this letter is being sent to you to give you the opportunity to comment on the following application related to this property:

- Consideration of an Application by The Sage School for Design Review of two new 2,880 sq. ft. modular classrooms to be located at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.

A map showing the location of the property and renderings of the building are included with this letter.

A public hearing will be held on this application as part of the Hailey Planning and Zoning Commission's meeting on **Monday, April 22, 2013**, at 6:30 p.m., at Hailey City Hall. You are invited to attend this public hearing and/or submit written comments to the Principal Planner at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

March 21, 2013

Dear Public Agency:

The Hailey Planning and Zoning Commission will hold a public hearing on the item(s) listed below on **Monday, April 22, 2013**, at 6:30 p.m., Hailey City Hall.

- Consideration of an Application by The Sage School for Design Review of two new 2,880 sq. ft. modular classrooms to be located at Airport West Sub. #2, Blk 4, Lot 2 (1451 Aviation Dr.) within the SCI-Sales Office zoning district.
- Consideration of a City of Hailey initiated text amendment to the Hailey Zoning Ordinance No. 532 by deleting the following sections and replacing them with a District Use Matrix: §§4.1.2, 4.1.3, 4.1.4, 4.1.5, 4.2.2, 4.2.3, 4.2.4, 4.2.5, 4.3.2, 4.3.3, 4.3.4, 4.3.5, 4.4.2, 4.4.3, 4.4.4, 4.4.5, 4.5.2, 4.5.3, 4.5.4, 4.5.5, 4.6.2, 4.6.3, 4.6.4, 4.6.5, 4.7.2, 4.7.3, 4.7.4, 4.7.5, 4.8.2, 4.8.3, 4.8.4, 4.8.5, 4.9.2, 4.9.3, 4.9.4, 4.9.5, 4.11.2, 4.11.3, 4.11.4, 4.12.2.1, 4.12.2.2, 4.12.2.3, 4.12.2.4, 4.12.3.1, 4.12.3.2, 4.12.3.3, 4.12.3.4. All zoning requirements from the preceding sections will be consolidated into the District Use Matrix. The proposed amendment's objective is to make the Zoning Ordinance easier to understand and interpret. For a copy of the proposed District Use Matrix, please email planning@haileycityhall.org.

This Notice is issued pursuant to Idaho State Code (Local Land Use Planning Act), Section 67-6509, whereby notice must be provided to all political subdivisions providing services within the planning jurisdiction at least 15 days prior to public hearings regarding proposed amendments to the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, or any other land use ordinance.

You are invited to attend this public hearing or submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.

COLETTE M. EVANS, PH.D.

109 Shawnee Ln
Hailey, ID, 83333

T 208.720.9718

inspire@q.com

www.inspirepeace.info

RECEIVED
MAR 22 2013
BY: BB, MA

March 21, 2013
City of Hailey
Community Development Department
Attn: Bart Bingham
115 Main Street South, Suite H
Hailey, ID 83333

Dear Mr. Bart Bingham:

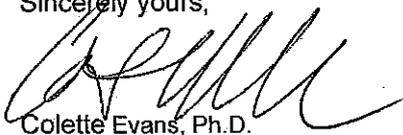
I am writing in support for the Planning and Zoning approval for the addition of modular units to house The Sage School growing student body population. The school is a tremendous asset to the community. The students are actively involved by helping organizations in the community and learning what it takes to become an active participant in the larger community.

Our son, Tobias Verheijen, is currently an 8th grader at The Sage School. He entered the school at 6th grade and absolutely loves the philosophy and educational rigor of the school. The greenhouse and current location is such an asset to educational experience of the students.

One of the most compelling aspects of the school is it's involvement in the surrounding community. The students are busy making pies for the Hunger Coalition, working in their own greenhouse, and volunteering at a variety of community non-profit organizations. The idea of community is central to the school's mission. Having all the students housed on one property, is ideal to encourage the sense of community, ease access to work in the greenhouse, and active participation in the community.

There is a high demand for students to attend The Sage School. As the population grows, we hope that you'll support their growth and idea of community by allowing the approval of the modular units for the current location. To have all the students on one site is ideal to help support the mission of the school. Thank you for your support in this matter.

Sincerely yours,



Colette Evans, Ph.D.

Bart Bingham

From: Susan Michael <susiemichael@cox.net>
Sent: Monday, April 01, 2013 6:02 PM
To: Bart Bingham
Subject: The Sage School

Bart,
I write you in favor of approving the portable classrooms proposed for the The Sage School in Hailey. My son is in his second year at Sage and it is the best educational fit we've found in the valley. I personally fully support the school's mission and do what I can to further its development. An necessary part of how The Sage School teaching/learning methods succeed is through community. Having all the students on the same campus is wildly important. Having viable educational options is crucial for the benefit of our valley's young people, especially successful models like The Sage School. Please know that a favorable vote for the addition of these portable classrooms will bring many fold benefits to a visionary educational community. As a parent doing my best to provide the education my son needs, I thank you in advance for supporting the growth of The Sage School.

Sincerely,
Susan Michael

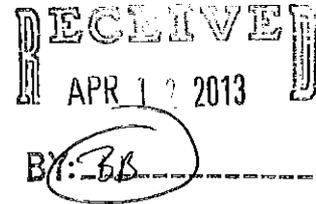
Box 42
Ketchum

726.3730

Anne Winton & John Marsh
PO Box 777
Ketchum, ID 83340
(208) 788-0025

April 10, 2013

Bart Bingham > bart.bingham@haileycityhall.org
Community Development Department
115 Main Street South, Suite H
Hailey, ID 83333



re: Design Review Application > The Sage School

Hello Mr. Bingham >

We are writing to encourage you to please approve the Application from The Sage School for two portable classrooms at their current facility on 1451 Aviation Drive in Hailey.

Our child has attended The Sage School for three years at its current location on Aviation Drive. As you probably know, The Sage School offers an incredible educational opportunity for roughly 60 young people in our Valley. The teachers & administrators are exceptional, bright, dedicated educators; the parents & students who attend are extraordinary folks from all walks of life in our Valley; the curriculum is unique and challenging, highly personalized with a special mission, community-oriented and environmentally sensitive; the Facility is the best it can be considering unimagined growth over a few short years. What you may not know is enrollment has doubled each of the past three years to the point where an off-site classroom just up the street was required this year, and sadly there are waiting lists for some grade levels.

Being able to house all students, teachers and activities in one location is very important, which will make possible the continued and exciting growth of this school. Our child attended Pioneer Montessori School in Ketchum from grades Pre-School through 6th Grade. During these years, that school as well was a rapidly growing, popular environment, and now an established primary & elementary education alternative, in one campus location on Second Avenue. Our child was in the leading class as they expanded their grades, he was for a couple years in a classroom located off-sight in Trail Creek Village due to lack of space at the Second Ave campus until they purchased an adjacent building. While this all worked out, there was an obvious separation and disconnect for him, to the other young peers at the school, and the teachers, administrators, tools and sense of community the entire school at one location now offers.

As The Sage School continues to grow, it will be in everyone's best interest to have the entire school at one campus, especially the students, not only for educational reasons as well as teacher & administrator accessibility, but also for recreational reasons ... to participate and play with the entire student community of similar ages at the same campus, to enjoy and bond with a larger contingent of peers. For many, these students will continue to share educational experiences through high school.

Thank you ...

A handwritten signature in black ink that reads "Anne Winton & John Marsh".

Anne Winton & John Marsh

cc Harry Weekes

DIRECTOR'S OFFICE
300 N 6th Street Suite 103
PO Box 83720
Boise ID 83720-0050
Phone (208) 334-0200
Fax (208) 334-5342



STATE BOARD OF LAND COMMISSIONERS
C. L. "Butch" Otter, Governor
Ben Ysursa, Secretary of State
Lawrence G. Wasden, Attorney General
Brandon D. Woolf, State Controller
Tom Luna, Sup't of Public Instruction

April 16, 2013

Micah Austin
Community Development Director
City of Hailey
115 Main Street South, Suite H
Hailey, ID 83333

e-mail to: planning@haileycityhall.org

RE:

- 1. Sage School, Design Review Approval for the Installation of Two Modular Classrooms on Property Located at 1451 Aviation Drive, Hailey, Idaho**
- 2. Zoning Ordinance Amendment to Hailey Zoning Ordinance #532 to Update the District Use Matrix**

Dear Mr. Austin:

Thank you for the opportunity to review and comment on the applications as noted above.

As you may know, Idaho Department of Lands' (IDL) mission is to manage State Endowment Trust Lands (Endowment Lands) in a manner that will maximize long-term financial returns to the Beneficiary Institutions. The IDL mission is a constitutional mandate and is overseen by the State Board of Land Commissioners. Endowment Lands are not managed for the public at large and should not be referred to as "public lands" or "open space," either specifically or in a generic sense. These are working lands producing revenue for the Beneficiary Institutions.

IDL has reviewed the public hearing notice provided by the City of Hailey for the requests as listed above. Based on the documentation provided to IDL, the applications will not impact Endowment Lands at this time. Should the applications be modified during the review or approval process, IDL requests that updated information be submitted to the Eastern Area Office for additional review.

Thank you again for the opportunity to review and comment on these applications. Please contact our Eastern Area Manager Pat Brown at (208) 525-7167 or myself at (208) 334-0262, if you have questions or need more information.

Sincerely,

Julianne Shaw
Assistant Planner

cc: Patrick A. Brown, Eastern Area Manager
Kate Langford, Strategic Business Analyst – Planning

"Trusted Stewards of Idaho's Resources, From Main Street to Mountaintop"

STAFF REPORT

TO: Hailey Planning and Zoning Commission
FROM: Bart Bingham, Principal Planner
RE: Design Review – Exterior Remodel of (Zei) Single Family Residence
HEARING May 13, 2013

Applicant: William and Diane Zei, represented by Jay Cone Architecture AIA
Request: Design Review
Location: Hailey Townsite, Blk 105, Lots 19-21 (316 S 4th Ave.)
Zoning: Limited Residential (LR-1) and Townsite Overlay (TO) Districts

Notice

Notice for the public hearing was published in the Idaho Mountain Express on April 24, 2013 and mailed to property owners within 300 feet on April 26, 2013.

Application

Jay Cone submitted a Design Review Application which seeks design review approval for plans to remodel the exterior of the existing (Zei) single family dwelling.

Procedural History

The application was submitted on April 5, 2013 and certified complete on April 5, 2013.

Department Comments:

Engineering:

No issues

Life/Safety:

No issues

Water and Sewer:

No issues

Building:

No issues

Streets:

No issues

Standards of Evaluation

8.2 Signs.

The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or a signage plan in Design Review does not constitute approval of a sign permit.

9 Parking and Loading Spaces

9.1.1 No building or structure shall be erected unless permanently maintained parking and loading spaces have been provided in accordance with the provisions of this Ordinance.

Standards are applied below.

9.2.1 Location of On-Site Parking Spaces. The following regulations shall govern the location of on-site parking spaces and areas, except as otherwise provided below and in section 9.4.8.

A. parking spaces for all single family dwellings shall be located on the same lot as the dwelling which they serve, except as otherwise provided in section 9.4.1.

Existing improved parking is on lot 21, not lot 19 or 20 where existing (to be remodeled) single family dwelling. However, Article 13.2.3, Non-Conforming Uses states if two (2) or more lots or a combination of lots and portions of lots with continuous frontage in single ownership are of record at the time of adoption of this Ordinance and if all or part of the lots with no buildings do not meet the requirements established for lot width and area, the lands involved shall be considered to be an undivided parcel for the purposes of this Ordinance. Thus, Lots 19 – 21 may be considered an undivided parcel and parking on a different lot within the parcel is not an issue.

D. New on-site parking areas shall be located at the rear of the building, except within the SCI zoning district where parking is allowed at the side of the building.

No new on-site parking is proposed.

E. On-site parking areas are not permitted between the sidewalk within the public right-of-way and the primary frontage of a building, except where the location of an existing buildings or site conditions precludes another location for parking; such parking requires a landscape buffer, or an alternative approved by the Administrator, between sidewalk and parking.

On-site parking is shown to be off the alley and does not interfere with sidewalks.

9.2.4 Maintenance. The owner of property used for parking and/or loading shall maintain such area in good condition without holes and free of all dust, trash, other debris and snow.

Owners are hereby advised they shall maintain parking and /or loading area according to the standard.

9.2.5 Surfacing and Construction. All required parking and loading spaces, together with driveways, aisles, and other circulation areas, shall be constructed in accordance with the City Standards.

a. Parking areas and driveways for single family and duplex residences may be improved with compacted gravel or other dustless material.

The existing improved parking area is proposed to remain unchanged.

9.2.6 Drainage. All parking, loading, or other non-permeable surface areas shall provide for on-site drainage of surface water to prevent the drainage of such water onto adjacent properties, walkways, or into the public right-of-way. Drainage provided shall be in accordance with City Standards.

Parking area is an improved parking parking area and drainage from it is not shown.

9.2.7 Lighting. Any parking area which is intended to be used during non-daylight hours shall be properly illuminated to avoid accidents. Any lights used to illuminate a parking lot shall be so arranged as to direct the light away from the adjoining property, and shall be of a type and method of construction to shield the light source from direct view from any adjacent property or right-of-way. All parking area lighting shall comply with the standards as set forth in Article VIII B of this Ordinance.

Applicant is hereby advised of standard if future lighting is installed for illuminating the parking area.

9.2.8 Access.

A. Except as otherwise provided herein, any parking area on private property, shall be designed in such a manner that any vehicle leaving or entering the parking area from or onto a public street shall be traveling in a forward motion.

Existing parking area is accessed from the alley. This improved parking area is positioned so vehicles leaving or entering the parking area onto (to alley) may do so by traveling in a forward motion.

B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.

Existing parking area is accessed from the alley.

C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

Not applicable.

D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.

Existing on-site parking areas are located off the alley. A 10" in diameter bush is located immediately next to the driveway and appears to obstruct the views.

F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.

Parking area is wide enough for one parking area and so cars may back from the parking area.

G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus “stacking” the parking area.

Not applicable, because driveway does not have sufficient length for “stacking” parking.

9.2.9 Screening and Landscaping.

A. All loading space areas and parking areas shall be screened from a public street and shall be screened on all sides which adjoin or face any residential property.

1. The screening shall consist of an acceptably designed wall, fence or drought tolerant landscaping.

An existing 2’ diameter willow clump and a 10’ diameter bush are proposed to remain to screen parking from adjoining residential property.

9.4.1 Residential.

A. Single family dwellings: 2 per dwelling minimum, 6 per dwelling maximum.

1. Parking spaces within any garage, carport or similar structure shall be credited at 1 space per nine (9) feet of floor width and 18 feet of floor length.

Existing improved parking area is large enough to accommodate one vehicle. At least one additional space could be utilized for parallel parking off of 4th Ave.

8B.4. Outdoor Lighting Standards.

8B.4.1 General Standards

a. All exterior lighting shall be designed, located and lamped in order to prevent:

- 1. Overlighting;**
- 2. Energy waste;**
- 3. Glare;**
- 4. Light Trespass;**
- 5. Skyglow.**

b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.

c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.

d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.

e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.

9002S-89 Dark Sky Essen Outdoor Sconce is the proposed exterior lighting. It is a condition of approval that all existing lighting comply with Article 8B of the Hailey Zoning Ordinance.

Bulk Requirements:

4.13.6 Bulk Requirements (For other supplementary location and bulk regulations, see Article VII.)

- a. **Minimum Lot Size –**
Limited Business, Transitional, General Residential districts: 4,500 square feet.

The combined three lots equal 9,000 sq. ft.

- b. **Minimum Lot Width –**
Limited Business, Transitional, General Residential districts: 37.5 feet.

The combined lots width is 75’.

- c. **Maximum Building Height –**
Transitional, General Residential, Limited Residential-1 districts: 30 feet

The residence is proposed to be 17’- 01 ¼”

- d. **Minimum Setbacks in LR, GR, TN, and LB Districts:**

1. **Setback from any street right-of-way – twelve (12) feet. The following exceptions apply:**
a. **Unenclosed features of a residence (e.g. front porches, stoops, and decks without walls) shall be no closer than five (5) feet to the lot line. Such features do not include carports.**

The setback from 4th Ave. is substantially more than 12’.

- b. **No garage door shall be within twenty (20) feet of any street right-of-way, as measured from the garage door to the street providing access to the garage.**

Not applicable.

2. **Setback from any alley right-of-way – six (6) feet. There shall be a six (6) feet horizontal separation between any building and a water meter vault. (Water meter vault and water service line locations may be moved at the property owner’s expense, subject to notification and approval by the City.)**

The setback from alley to existing house is 3’-2”. This does not provide enough space to reach the required setback space. Zoning Ordinance 13.6 “Expansion of Non-Conforming Buildings” however, states a non-conforming building may be enlarged so long as the enlargement does not create new non-conformities with respect to such matters as setbacks. The proposed remodel proposes to maintain the setbacks in their long existing location which is allowed by this standard in this case.

3. **Setback from property lines abutting other private property --**
a. **Base setback – fifteen percent (15%) of lot width, or 10 feet, whichever is less. However, no such setback shall be less than six (6) feet. (See Table 1)**

By this standard, the setback is required to be approximately 13.5'. However, the existing setback on the south side of the house is only 2'-7" from the abutting property line. Though shorter than what is required, the existing non-conforming building may remain its shortened setback distance if there are no new non-conformities with respect to setbacks. There does not appear to be any.

- b. Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one (1) foot for every two and a half (2.5) feet of wall height (see Diagram 1 and Table 2), but not less than the base setback noted in subsection (a) above, regardless of underlying zoning.**

The proposed building height is just over 17', which would require the setback to be no less than 6.8'. Again, the 2'-7" setback is shorter than setback requirements, but it is permissible if the non-conformities remain.

- c. Roof overhangs, fire escapes, standard chimneys, bay windows and other features, which are subject to Section 7.2 of this Ordinance (Supplementary Yard Regulations), shall not have a setback less than five (5) feet from property lines abutting other private property.**

Roof overhangs are less than 5' from abutting private property, but the non-conforming portion of the ordinance allows for this if the nonconformity isn't enlarged.

- d. Wainscot detail not higher than three (3) feet as measured from record grade may intrude not more than six (6) inches into the required setback.**

Not applicable. No wainscot is proposed.

- e. Maximum lot coverage:
General Residential, Limited Residential-1 districts:**

Building Height	Maximum Lot Coverage
2 or more stories above grade, no garage	25%
2 or more stories above grade, with garage	30%
Less than 2 stories above grade, no garage	35%
Less than 2 stories above grade, with garage	40%

House area is 748 sq. ft. and the combined lot area is approximately 9,000 sq. ft. Proposed lot coverage is small and fits within the maximum coverage.

- i. Maximum Lot Size—
Transitional, General Residential: 18,000 square feet**

The combined lot size is approximately 9,000 sq ft.

Height of Building. The greatest vertical distance measured from the lowest point of Record Grade or finish grade, whichever is lower, within any portion of the building footprint to the highest point of the roof surface thereof, exclusive of cupolas, chimneys up to ten (10) feet above the highest point of the roof surface, steeples, and spires.

Applicant is hereby advised height of the building is from the lowest point of Record Grade or finish grade, whichever is lower.

7.1.1 Cornices, canopies, eaves or similar roof overhang features and cantilevered balconies may extend into a required yard setback not more than three (3) feet.

Eaves extend into setback on the south side of the house as an allowed non-conforming use. All the other sides of the residence are shown to have ample setback space to work with.

7.1.2 Fire escapes required by the IBC or IRC may extend into a required yard setback not more than six (6) feet.

Applicant is hereby advised of standard.

7.1.3 All portions of a chimney shall not extend into a required yard setback by more than two (2) feet.

Proposed chimney does not extend into setback.

7.1.4 Bay windows shall not extend into a required yard setback by more than two (2) feet. Such windows shall be a minimum of two (2) feet from the top of the interior floor.

Not applicable.

7.1.5 Pergolas. Supporting columns for Pergolas shall meet required yard setbacks. The roof of a pergola shall not extend into a required yard setback by more than five (5) feet.

Not applicable.

6A.7 Improvements Required.

A. Streets.

1. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.

a. The requirement for Sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.

Project is greater than 500 sq. ft.

b. The requirement for Sidewalk and drainage improvements may be waived for any remodel or addition to Single Family Dwelling and Duplex projects within the Townsite Overlay District; Sidewalk and drainage improvements shall be required for new Principle Building.

Project is a remodel to a Single Family Dwelling in the Townsite Overlay, so sidewalk and drainage improvements are waived.

6A.8 Design Standards

A. Non-Residential, Multifamily or Mixed Use Building. The following design standards apply to any non-residential, multifamily or mixed use building located within the City of Hailey.

4. Landscaping

a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.

Section is not applicable as the application is for a single family residence.

B. Water Line Improvements.

1. In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.

Not applicable. Proposal is for a remodel of an existing single family residence.

6A.9 Design Review Guidelines for Residential and Non-Residential Buildings in the Townsite Overlay District (TO).

II. Applicability:

Proposals for new Single Family Dwellings and Accessory Structures and will be reviewed for compliance with these Design Guidelines. A remodel or alteration of the exterior of a Historic Structure that does not add floor area is subject only to 6A.9(III) ©(10).

Not applicable as proposal is for a remodel to an existing single family dwelling, and the dwelling is not an historical structure.

6A.6 Criteria.

A. The Commission shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.

2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission may impose any condition deemed necessary. The Commission may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.

2. Require conformity to approved plans and specifications.

- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
 - e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
 - f) A separate fence permit is required prior to any fence construction on the property.
 - g) Blue board insulating material is required for water mains and individual water service lines less than 6 feet deep.
 - h) Building service areas shall be located off alley and away from public view or building frontage areas.
 - i) All utilities for new dwelling shall be underground.
 - j) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- k) This Design Review approval is for plans dated March 25, 2013 (C1.1 Site Plan, A1.1 Floor Plans, A2.1 Fireplace Elevation/Notes, A3.1 Building Elevations) and (9002S-89 Dark Sky Essen Outdoor Sconce is proposed exterior Light Spec Sheet). The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.

2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

Motion Language

Approval:

Motion to approve the design review application by William and Diane Zei for design review of an exterior remodel of a single family dwelling (Zei Residence), located at Hailey Townsite, Blk 105, Lots 19-21 (316 S 4th Ave.), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (k) are met.

Denial:

Motion to deny the design review application by William and Diane Zei for design review of an exterior remodel of a single family dwelling (Zei Residence), located at Hailey Townsite, Blk 105, Lots 19-21 (316 S 4th Ave.), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts, finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the design review application by William and Diane Zei for design review of an exterior remodel of a single family dwelling (Zei Residence), located at Hailey Townsite, Blk 105, Lots 19-21 (316 S 4th Ave.), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts to _____ [Commission should specify a date].



115 MAIN STREET S. SUITE H
 HAILEY, ID 83333
 PHONE: (208) 788-4221
 FAX: (208) 788-2924

INVOICE #	INVOICE DATE
10787	04/05/2013
DUE DATE	CUSTOMER ACCOUNT NUMBER
04/05/2013	1143
AMOUNT DUE	TERMS:
307.69	Open Terms

BILL TO:

CONE, JAY W

651 ELDORADO LN.
 HAILEY ID 83333

PLEASE DETACH AND RETURN THIS TOP PORTION
 WITH YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY
 115 S MAIN ST STE H
 HAILEY, ID 83333

INVOICE

DESCRIPTION	QUANTITY	CHARGE	EXT. PRICE
PLANNING DESIGN REVIEW- ZEI RESIDENCE	.		250.00
PLANNING PUBLICATION	.		40.00
PLANNING MAIL	.		17.69
			307.69
			TOTAL AMOUNT DUE

THANK YOU FOR YOUR PROMPT PAYMENT
 For Billing Inquiries Call: (208)788-4221
 Office Hours: 9:00 a.m. - 5:00 p.m.
 Monday thru Friday

City of Hailey - Design Review Application

Submittal Date: April /5 /2013

Project Name: Zeii Residence

Parcel No. _____

RPH RPH0000105019A

Legal Description of Property: Subdivision Hailey Townsite Lot(s) 19, 20, 21, Block 105

Street Address of Property: 316 South 4th Ave.

Current Zoning of Property: LR-1 Year of original construction: 1943

(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable) 748 Proposed addition or new construction sq. ft. _____

Name of Owner of the Property: William and Diane Zei

Mailing Address: 4052 Amherst Ave. City: Dallas State: TX Zip: 75225

Phone: () _____ Fax: () _____ Cell: (214) 535 8383

Email Address: bzei@mcleodzei.com

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: *William Zei* Date: 3 / 22 / 2013

Name of individual to contact on behalf of Trust or LLC (if applicable): _____

Mailing Address: _____ City: _____ State: _____ Zip: _____

Phone: () _____ Fax: () _____ Cell: () _____

Email Address: _____

Application Contact (if different than above): Jay Cone

****Application Contact will be the Planning Department's primary point of contact for questions related to the application.**

Mailing Address: 651 EL Dorado Lane City: Hailey State: ID Zip: 83333

Phone: () 578 5226 Fax: () _____ Cell: () _____

Email Address: jccone@jayconearchitecture.com

Signature: *Jay Cone* Date: 3 / 22 / 2013

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: *Cost of additional noticing, recording fees, and other direct costs will also be assessed.*

<input type="checkbox"/> Commercial, Mixed-Use or Multi-Family.....	\$ 450.00
plus \$25 / 1,000 gross square feet.....	\$ _____
OR <input checked="" type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ 250.00
OR <input type="checkbox"/> No Substantial Impact..... (Mailing only).....	\$ 75.00
OR <input type="checkbox"/> Modification to DR Approval... (No publication or mailing).....	\$ 50.00
OR <input type="checkbox"/> DR Exemption... (No publication or mailing).....	\$ 30.00
Publication cost.....	\$ 40.00
Mailing (# of addresses <u>29</u>) x (<u>.61</u> postage + .15 paper, envelope & label)	\$ 17.69
<i>DO NOT COUNTY DUPLICATES OR CITY OF HAILEY</i>	
Total Due.....	\$ <u>307.69</u>

RECEIVED
 APR 0 2013
CITY OF HAILEY
RECEIVED
 APR 0 2013
CITY OF HAILEY

DESIGN REVIEW - CHECKLIST

City Use Only -

Project Name: _____

Certified Compete by: _____

Date: ____/____/____

Take Application and check.

The following items must be submitted with the application for the application to be considered complete (✓):

- One (1) 24" x 36" set of plans with scale indicated containing the following:
 - Vicinity map showing project location in relationship to adjacent buildings and surrounding area.
 - Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions (must show location of adjacent buildings and structures). *Garage*
 - Total square footage of subject property, including lot dimensions.
 - Building setbacks.
 - Staging and contractor parking plan.
 - Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures).
 - Landscape plan
 - Existing tree to be shown as retained/relocated/removed.
 - All proposed species type/size/quantity of each.
 - Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
 - Floor plan (include gross square footage for each floor, occupancy classification and type of construction).
 - Utilities plan (location and size of water and sewer mains and services, ~~gas, electric, TV and phone~~).
 - Drainage plan (grading, catch basins, piping, and dry-wells).
 - Detailed elevations showing facade of all sides of proposed building and other exterior elements.
 - Must show elevation points of record grade. Include notes on colors, materials, dimensions.
 - Colored rendering of at least one side of the proposed building.
 - Idaho licensed architect (plans for single family dwellings may be stamped by an Idaho licensed structural engineer)
 - North point and scale.
 - ~~Five~~ 11" x 17" copies of any larger plans/maps (if project is located within the Townsite Overlay, then one (1) 11" x 17" copy is sufficient).
 - PDF files of all required documents and 11" x 17" plans/maps; email PDFs to planning@haileycityhall.org.
 - Color photographs of any existing structures on the site.
 - Materials and colors sample board. Each sample approximately 12" x 12".
 - Sign Plan (if applicable).
 - Area Development Plan (required if property owner also owns adjacent parcels).
 - For property located in Airport West, Design Review approval by Airport West Design Board.
 - Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
 - Names and addresses of easement holders within subject property.
 - Written statement of how each design review standard is met (contact the Planning Coordinator for which set of standards is applicable to your project).
 - Other information as required by the Zoning Administrator, Hearing Examiner or Commission.

City Use Only:

- Double check address
- Advise applicant if Lot Line Adjustment is needed
- Check following basic standards:

- Density
- Setbacks
- Height (plans must show elevation points of record grade)

- Lot coverage
- Floor area
- Parking (# of spaces)

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 APR 03 2013
CITY OF HAILEY

CITY OF HAILEY
115 MAIN ST SOUTH STE H
HAILEY, ID 83333
208-788-4221

Receipt No: 1.012025 Apr 05, 2013

1143
CONE, JAY W
651 ELODRAOD LN.
HAILEY, ID 83333

Previous Balance:	307.69
Accounts Receivable	
A/R Payments	307.69
001-00-10700	
Accts Rec Cash Clearing Acct	

New Current Balance:	.00
	=====

Check	
Check No: 1817	307.69
Total Applied:	307.69

Change Tendered:	.00
	=====

Duplicate Copy

04/05/13 10:58am

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

April 26, 2013

Dear Property Owner:

Your property has been identified as being located within 300 feet of the property listed below; this letter is being sent to you to give you the opportunity to comment on the following application related to this property:

- Consideration of a Design Review application by William and Diane Zei for Design Review of an exterior remodel of a single family dwelling (Zei Residence), located at Hailey, Blk 105, Lots 19-21 (316 S 4th Ave.), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts.

A map showing the location of the property and renderings of the building are included with this letter.

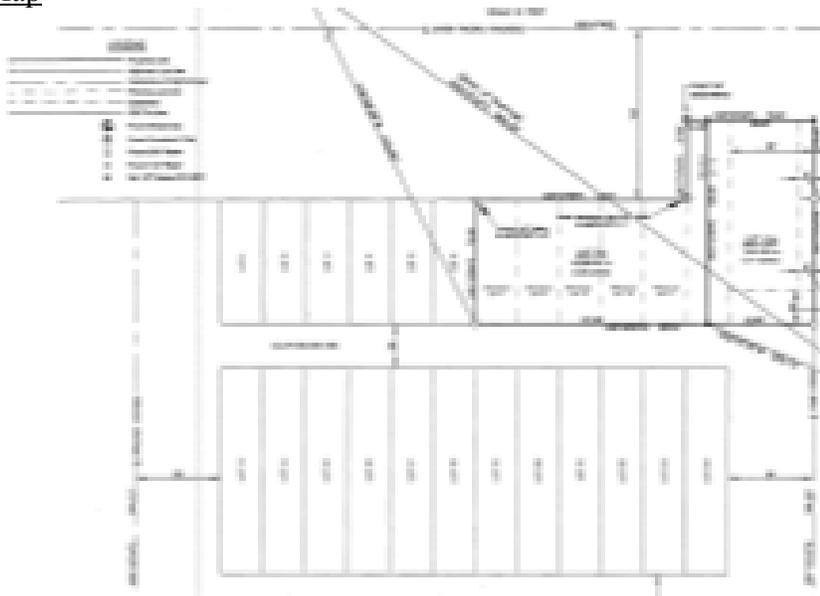
A public hearing will be held on this application as part of the Hailey Planning and Zoning Commission's meeting on **Monday, May 13, 2013**, at 6:30 p.m., at Hailey City Hall. You are invited to attend this public hearing and/or submit written comments to the Principal Planner at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

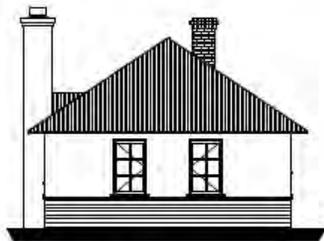
For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.

Zei Residence to be Remodeled

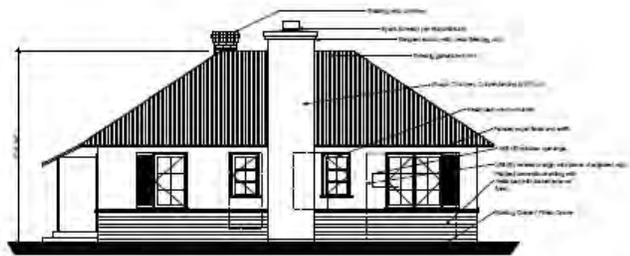
Map



Project Elevations



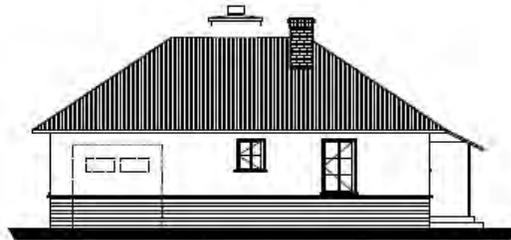
2 SOUTH ELEVATION 1/4" = 1'-0"



1 WEST ELEVATION 1/4" = 1'-0"



4 NORTH ELEVATION 1/4" = 1'-0"



3 EAST ELEVATION 1/4" = 1'-0"

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

April 26, 2013

Dear Public Agency:

The Hailey Planning and Zoning Commission will hold a public hearing on the item(s) listed below on **Monday, May 13, 2013**, at 6:30 p.m., Hailey City Hall.

- Consideration of Text Amendment Application by Portage Bay Partners for amendments to Hailey's Zoning and Subdivision Ordinances modifying the Service Commercial Industrial (SCI-I) Zoning District regulations and Subdivision Ordinance regulations involving subdivision of the SCI-I zoning district. The proposed amendment would 1). allow for the subdivision of lots to create interior lots with a minimum lot size of 162 sq. ft. or the area of a city defined parking stall, whichever is less, and tenancy in common lots, 2). add definitions for interior lots and tenancy in common lots, 3). provide for the submittal of a cross-easement agreement, a tenancy in common agreement, association declaration, and a party wall agreement in a subdivision and or design review application, and 4) modify the access provisions in the subdivision ordinance for interior lots.
- Consideration of a Design Review application by William and Diane Zei for Design Review of an exterior remodel of a single family dwelling (Zei Residence), located at Hailey, Blk 105, Lots 19-21 (316 S 4th Ave.), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts.

This Notice is issued pursuant to Idaho State Code (Local Land Use Planning Act), Section 67-6509, whereby notice must be provided to all political subdivisions providing services within the planning jurisdiction at least 15 days prior to public hearings regarding proposed amendments to the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, or any other land use ordinance.

You are invited to attend this public hearing or submit written comments to the Community Development Department at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org.

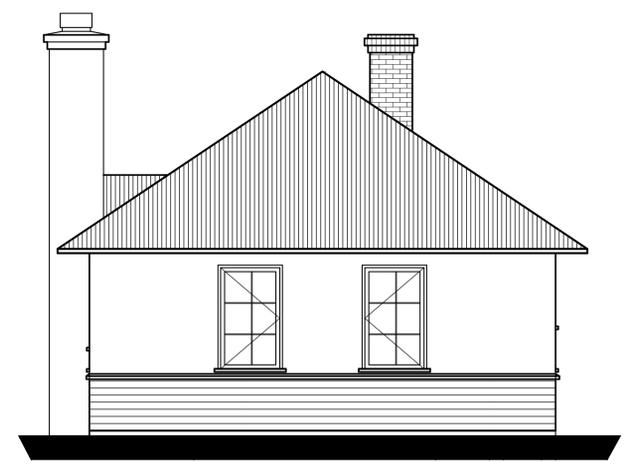
Supporting documents for this application can be viewed on the City of Hailey website the week prior to the meeting; this is accomplished by going to www.haileycityhall.org, clicking on Meetings, Planning & Zoning Commission, and then the meeting date Agenda.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Community Development Department at planning@haileycityhall.org or (208) 788-9815.

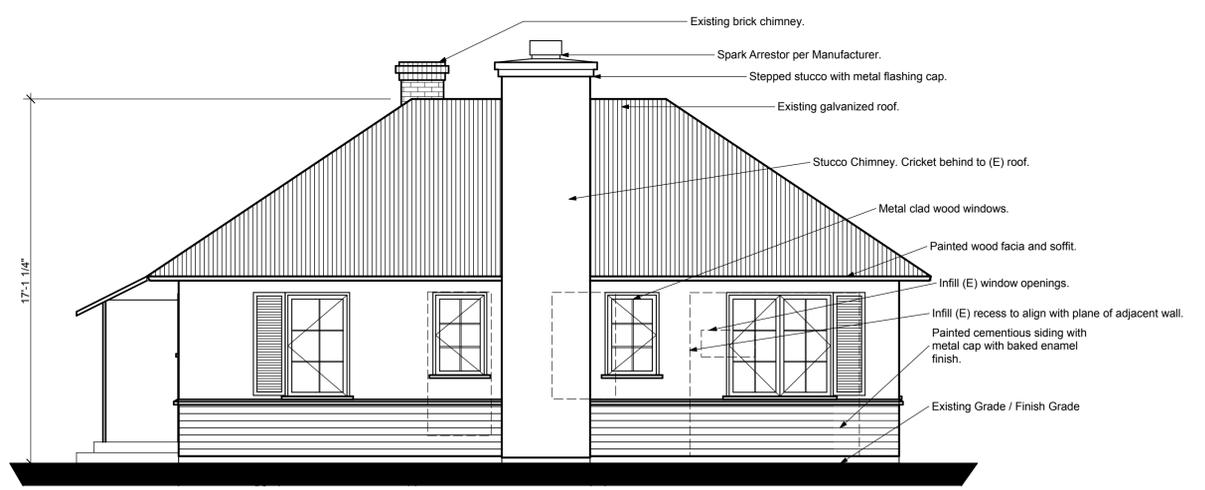
*** PRELIMINARY, NOT FOR CONSTRUCTION ***

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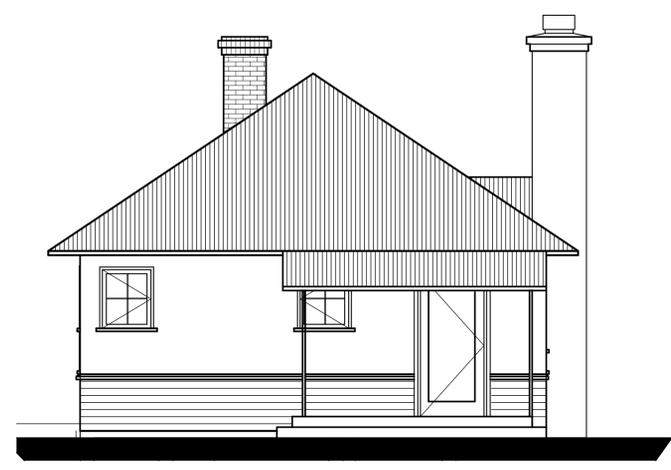
REVISIONS	DATE



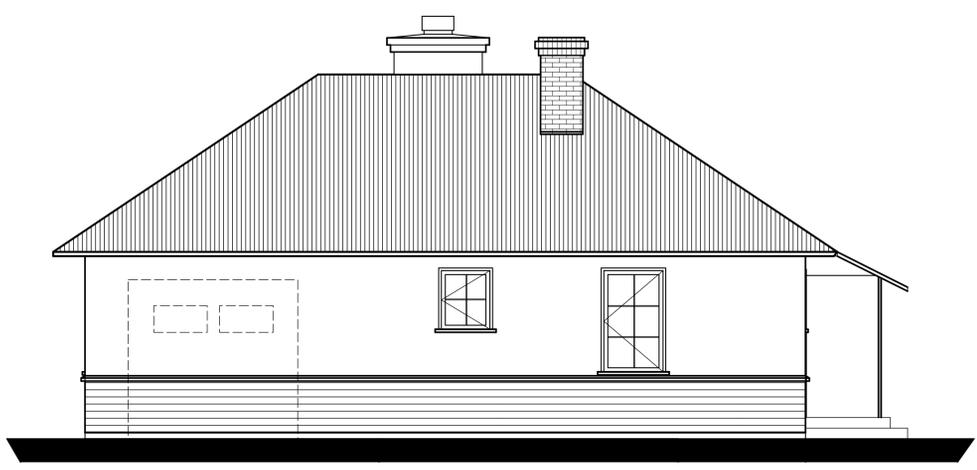
2 SOUTH ELEVATION 1/4" = 1'-0"



1 WEST ELEVATION 1/4" = 1'-0"



4 NORTH ELEVATION 1/4" = 1'-0"

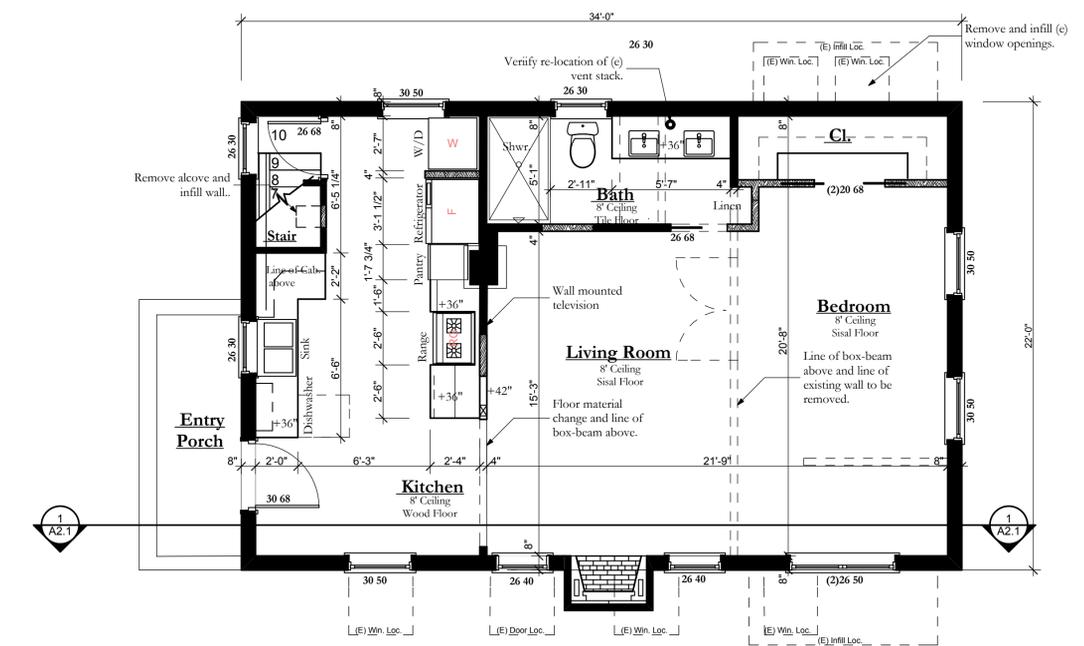


3 EAST ELEVATION 1/4" = 1'-0"

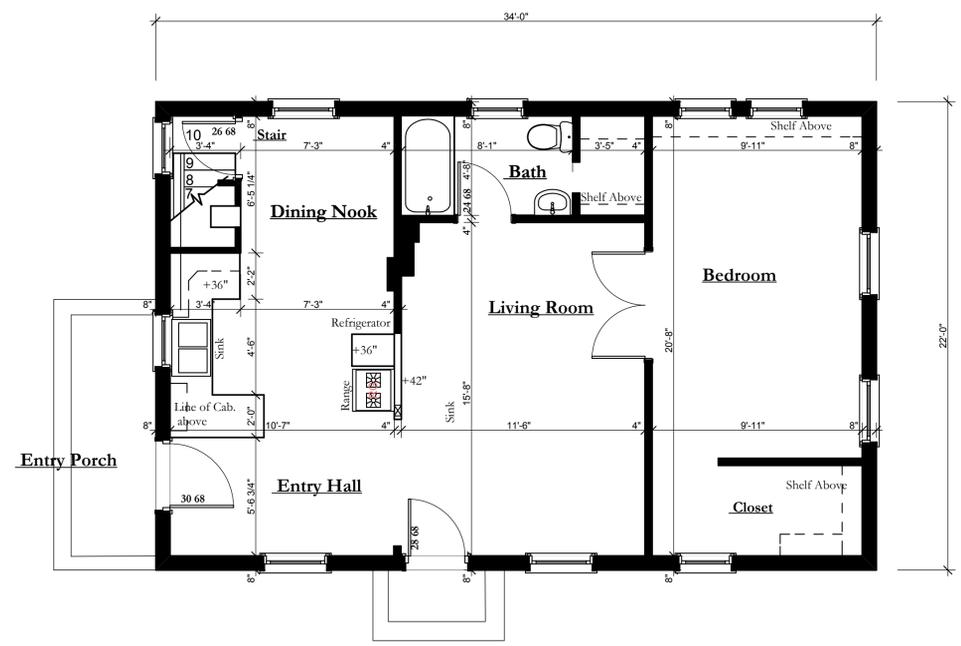


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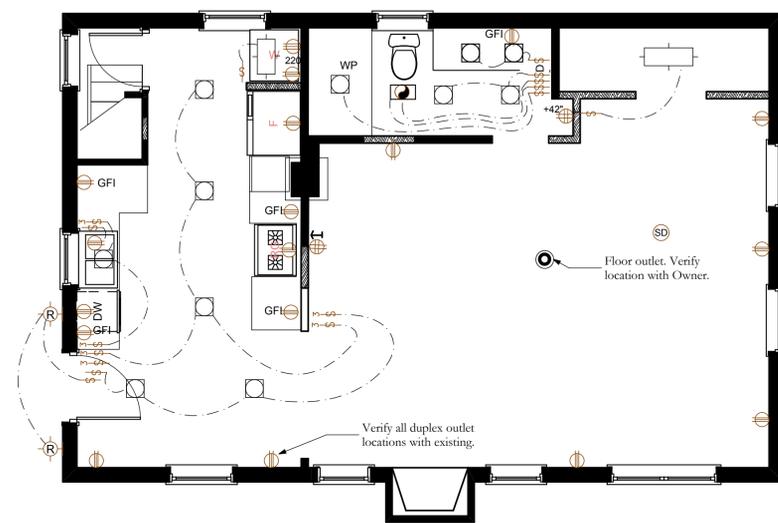
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4 MAIN FLOOR PLAN 1/4" = 1'-0"

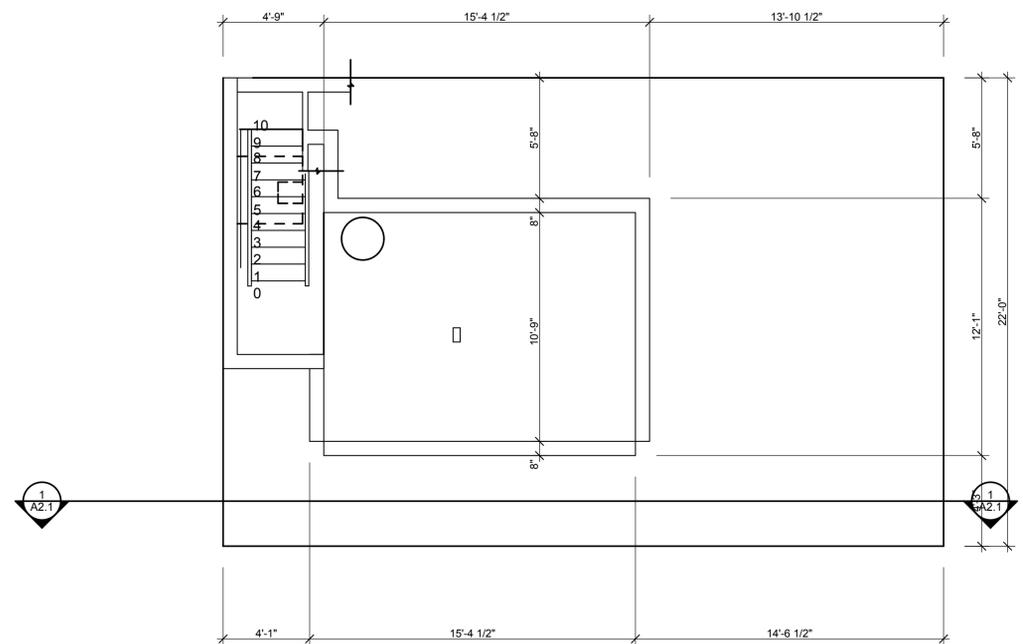


1 MAIN FLOOR PLAN - EXISTING 1/4" = 1'-0"



3 ELECTRICAL PLAN 1/4" = 1'-0"

- ELECTRICAL SYMBOLS:
- Exhaust Fan
 - Surface Mount
 - Duplex Outlet
 - Wall Mount
 - Waterproof Outlet
 - Quadplex Outlet
 - Three Way Switch
 - Switch
 - Duplex Outlet 220
 - Duplex GFI
 - Switched Outlet
 - Smoke Detector
 - Floor Outlet
 - Recessed Can
 - Waterproof
 - Fluorescent Fixture
 - Push Button Switch
 - Telephone
 - Cable TV
 - Undercounter Lighting
 - Hose Bib
 - Switch w/ Dimmer
 - Exhaust Fan



2 BASEMENT PLAN - EXISTING 1/4" = 1'-0"

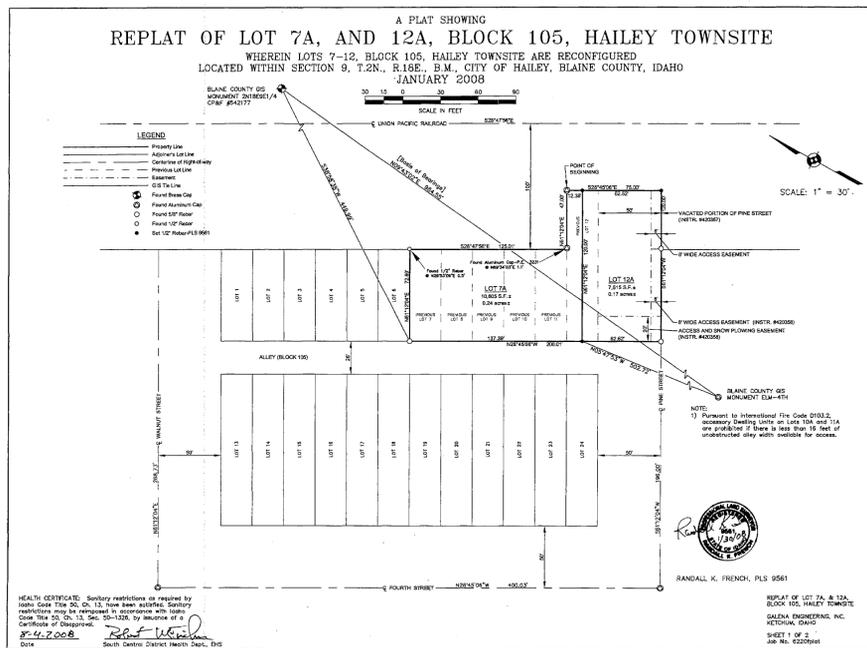


REVISIONS	DATE

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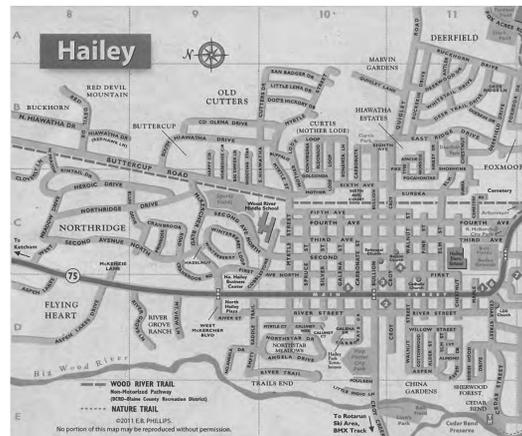
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REVISIONS	DATE



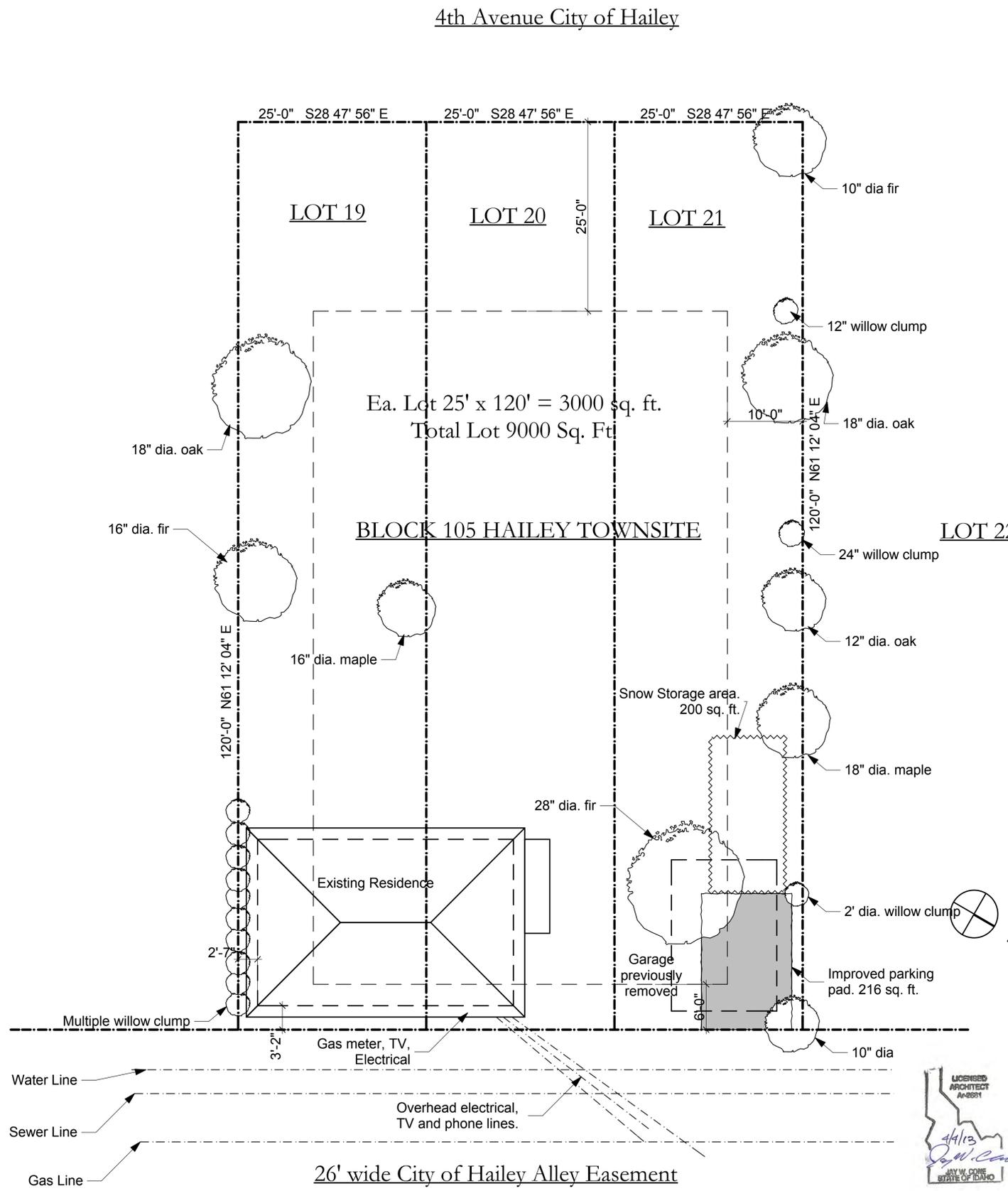
2

PLAT MAP



3

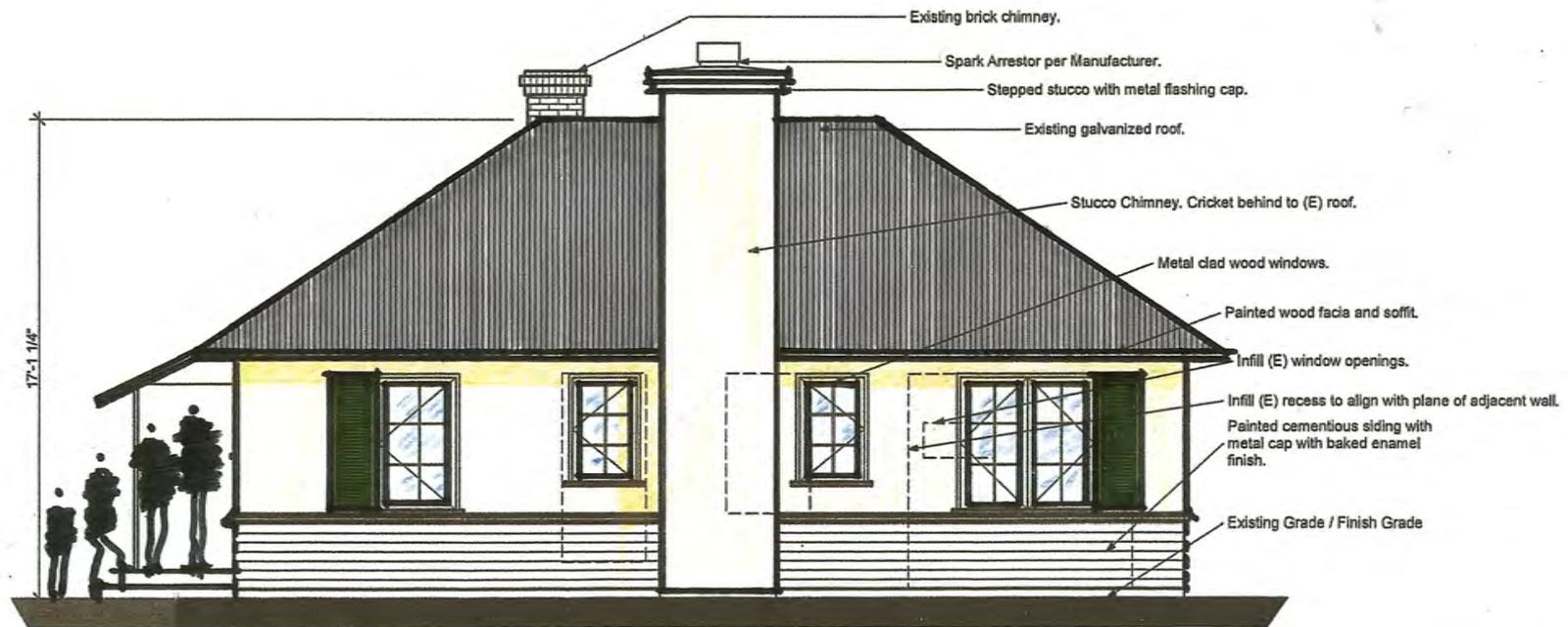
VICINITY MAP



1

SITE PLAN

1/8" = 1'-0"



1

WEST ELEVATION

1/4" = 1'-0"





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Finish

Bronze [Option Images](#)

Quantity

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[Return Policy](#)

Dimensions & Weights

- Width: 6 inches
- Projection: 9 inches
- Height: 6¾ inches
- Backplate Diameter: 4½ inches

Quick Links

- [Dimensions Q & A](#)
- [Accessories](#)
- [Brand Info](#)
- [Reviews](#)

Overview

The Dark Sky Essen Collection combines style with function while giving you a variety of options.

Light Bulb

(1)60w A19 Med.F Incand [\[Compare Bulbs\]](#)

Voltage

120 volt

Installation Listing

Wet Locations [\[Explain\]](#)
 , Dark Sky, Quick Ship

Bulb sold separately

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3
1
6





STAFF REPORT

TO: Hailey Planning and Zoning Commission

FROM: Bart Bingham, Principal Planner

RE: Zoning and Subdivision Ordinance proposed amendments pertaining to the Service Commercial Industrial (SCI-I) Zoning District.

HEARING: May 13, 2013

Notice

Notice for the public hearing was published in the Idaho Mountain Express on April 24, 2013 and mailed to public agencies and area media on April 26, 2013.

Proposal

A text amendment application was submitted by Portage Bay Partners proposing amendments to Hailey's Zoning and Subdivision Ordinances. The amendments would modify regulations in the Service Commercial Industrial (SCI-I) Zoning District, specifically 1) allowing for the subdivision of lots to create interior lots with a minimum lot size of 162 sq. ft. or the area of a city defined parking stall, whichever is less, and tenancy in common lots, 2) adding definitions for interior lots and tenancy in common lots, 3) providing for the submittal of a cross-easement agreement, a tenancy in common agreement, association declaration, and a party wall agreement in a subdivision and or design review application; and 4) modifying the access provisions in the subdivision ordinance for interior lots. Objectives of the applicant include providing more feasibility and options for financial institutions providing real estate financing, backing, and support; enabling buyers and sellers, and stimulating the local economy. Put another way, the amendments propose to enable/allow divisions of real property ownership which financial institutions will likely view favorably when determining whether to lend monies to developers.

The proposed amendment language is incorporated into this staff report by reference, and is attached at the end of it as Exhibit A.

Procedural History

The text amendments were submitted on April 19, 2013, and will be considered by the Planning and Zoning Commission on May 13, 2013.

Department Comments

The amendments were initiated based on objectives for providing more feasibility and options for financial institutions providing real estate financing, backing, and support and more options for borrowers seeking these services. The attached text amendment language was evaluated and adjusted by Ketchum Real Estate Attorney Robert Korb prior to its submittal.

Standards of Evaluation

Note: Standards are in bold print and staff analysis is in lighter type,

ZONING ORDINANCE STANDARDS

14.2 Initiation of Amendment.

Text amendments may be initiated by City Staff, adoption of a motion by the Commission or the Council, or by the filing of an application with the Administrator.
Applicant filed a text amendment application with the city.

14.3.1 Applications for text amendments shall contain the following information:

a. Name, address, and phone number of applicant.

Application contains applicant Portage Bay Partners' name, address, and phone number.

b. Proposed amendment and summary of the specific objective of any proposed change in text.

Applicant submitted proposed amendment, summary of the specific objective (“dividing interests of ownership” through the use of interior lots within a principle lot defined by front, back and side lines).

c. A statement of how the proposed amendment relates to the Comprehensive Plan.

Applicant submitted a statement of how the amendment relates to the Comprehensive plan which is attached.

d. A fee established in a separate ordinance approved by the Council.

The fee was \$519.04 as shown on application materials.

14.6 When evaluating any proposed amendment under this Article, the Commission and Council shall make findings of fact on the following criteria:

a. The proposed amendment is in accordance with the Comprehensive Plan;

The Commission should consider how the proposed amendments relates to the various goals of the Comprehensive Plan (listed below for reference). Three goals have been identified as being the most applicable to this amendment:

5.1 Retain a compact City comprising a central downtown with surrounding diverse neighborhoods.

The City seeks to accommodate population growth through a balanced combination of two means:

- 1. “infill” development or redevelopment of existing land within the current City limits in accordance with existing zoning and density allowances without necessitating the use of density bonuses or waivers, and**
- 2. “expansive” development due to the annexation of new land into the City and/or density increases relating to PUD bonuses and/or zoning amendments.**

The text amendment is a proposed zoning amendment and may be a means to accommodate population growth. The text amendment may comply with Comprehensive plan sub-goal 5.1(2) and may assist in providing for compactness in the SCI-I zoning district.

Section 6.2 Encourage abundant, competitive, and career-oriented opportunities for young workers.

The number of 25-34 year olds living in Hailey in 2011 was only 219. These numbers likely haven't changed significantly. Allowing property ownership interests to be divided through use of interior lots within a principle lot may encourage additional smaller businesses, more spinoffs, and/or new startups, which often are began by young career oriented people and professionals.

7.1 Encourage a variety of projects and programs that meet the needs generated by various segments of the population

Allowing property ownership interests to be divided through use of interior lots within a principle lot may assist to meet the needs of various segments of the population.

Comp Plan Goals (2010)	
1.1	Preserve, protect and restore natural resources including waterways, floodplains, wetlands, soil, community forest, native vegetation, green space and wildlife habitat and migration corridors for the benefit of the City and its residents.
1.2	Efficiently use and conserve resources.
1.3	Promote renewable energy production
1.4	Promote energy conservation
1.5	Promote air quality protection
2.1	Reduce the potential threat to loss of life, limb or property and minimize public expenditures due to natural and man-made hazards.
3.1	Assure the protection and preservation of Special Sites, Areas and Features to maintain a strong community identity for future generations
3.2	Protect the residential character of the original Townsite.
4.1	Create and maintain an interconnected system of parks, recreational facilities, trails, green spaces and natural lands in order to provide diverse recreation opportunities for Hailey residents within ¼ mile to ½ mile of the greatest number of residents.
5.1	Retain a compact City comprised a central downtown with surrounding diverse neighborhoods, areas and characteristics as depicted in the Land Use Map:
a.	Main Street Corridor – area of high density commercial, mixed use and residential development.
b.	Downtown - the historic commercial center containing the greatest concentration of commercial, cultural and civic activity. Downtown is the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.
c.	Community Activity Areas – located at the north and south ends of the Main Street Corridor. High density residential is encouraged. Commercial and mixed use (commercial and residential) development is appropriate, but should be subordinate and secondary to the infill of Downtown.
d.	High Density Residential – high density residential infill is encouraged in the area along Main Street and River Street between Downtown and the north and south ends of Main Street.

e.	Residential Buffer – medium density residential, providing a buffer between lower density residential neighborhoods to the east and west and the Main Street District.
f.	Traditional Residential – Density varies depending on the qualities of different neighborhoods, generally density is higher within a ¼ mile of Downtown, Community Activity Areas or Neighborhood Service Centers and connected by transit service.
g.	Neighborhood Service Centers – Small commercial areas serving residents within walking distance (¼ to ½ mile) where commercial use is subordinate to residential uses and to Downtown or Community Activity Areas.
h.	Light Industrial – Areas containing uses important to a variety of business sectors that focus on the production of products and services that are less compatible with, and do not compete with, uses in Downtown and the Community Activity Areas.
i.	Airport Site Redevelopment – a diversity and integration of uses and community assets that complement and support Downtown and are connected within and to existing neighborhoods.
j.	Community Gateways – areas where one has a sense of arrival or sense of being within a part of town distinguished from others providing opportunities for special design considerations.

5.2	Maintain Downtown as the area containing the greatest concentration of commercial, cultural and civic activity and as the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.
5.3	Continue cooperation with the Blaine County and the Friedman Memorial Airport Authority in regional planning efforts to optimally relocate the airport and plan for the long term redevelopment of the site within the city limits to ensure that changes in land use are beneficial to the community of Hailey.
5.4	Protect open space within and surrounding Hailey, including visible ridgelines, undeveloped hillsides and agricultural areas which help define the unique character of Hailey.
5.5	Lessen dependency on the automobile.
5.6	Manage and accommodate population growth by infill development and, when appropriate, minimal expansion by annexation and/or density increases.
5.7	Encourage development at the densities allowed in the Zoning Code.
6.1	Encourage a diversity of economic development opportunities within Hailey
6.2	Encourage abundant, competitive and career-oriented opportunities for young workers.
7.1	Encourage a variety of projects and programs that meet the needs generated by various segments of the population, especially the needs of those who risk suffering effects of discrimination or are socially or economically disadvantaged.
7.2	Encourage projects and programs that seek to provide opportunities for cultural, cross-cultural and educational enrichment.
8.1	Encourage development that provides opportunities for home ownership and rental homes for individuals and families of all socio-economic levels.
9.1	Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.
10.1.	Create and maintain a pedestrian and bicycle-friendly community that provides a safe, convenient and efficient multi-modal transportation system for all Hailey residents.
11.1	Establish a built environment that maintains a human scale, retains interest, aesthetics, encourages various levels of interaction among all members of the community, and enhances the

character of different neighborhoods.
12.1 Evaluate whether proposed regulatory or administrative actions may result in an unconstitutional taking of private property.
13.1 Encourage and facilitate the development of school facilities that are planned consistently with the city's other land use policies.
13.2 Ensure the provision of safe, adequate, convenient multi-modal transportation access to all existing and future school sites.

b. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;

There are no additional costs or compromise anticipated to public facilities and services. Each individual future application would be considered separately with specific facilities and services standards applied.

c. The proposed uses are compatible with the surrounding area; and

The proposed amendment may attract additional traffic to the SCI-I district, but the general location and vicinity near the airport merits high density and high job attraction.

d. The proposed amendment will promote the public health, safety and general welfare.

It is not anticipated that the proposed amendment will adversely affect the public health, safety and welfare of citizens.

SUBDIVISION ORDINANCE STANDARDS

Section 13.3.1 of the Subdivision Ordinance sets forth the standard of evaluation for text amendments:

- 1. The Commission shall consider the relationship of the proposed amendment to the Comprehensive Plan in making its recommendation to the Council.**

Please see relation to Comprehensive Plan Goals 5.1, 6.2, and 7.1 above.

Summary

The Commission shall hold a public hearing and determine whether the proposed amendments are in accordance with the Comprehensive Plan. The Commission shall recommend to the Council that the proposed amendment be granted or denied, or that a modified amendment is granted and state the reasons for the recommendation.

Upon approval of an amendment, the Council shall pass an ordinance making the amendment part of Hailey Zoning Ordinance No. 532 and Subdivision Ordinance No. 821. The draft ordinance is attached.

Motion Language

Approval Zoning:

Motion to recommend the City Council approve the proposed amendments to Zoning Ordinance Sections 2.1, 4.12.3.4, and 6A.5B, and Subdivision Ordinance Sections 1.2, 3.1.1.1, and 4.5.5, finding that the amendments are in accordance with the Comprehensive Plan, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Denial:

Motion to recommend the City Council deny the proposed amendments to Zoning Ordinance Sections 2.1, 4.12.3.4, and 6A.5B, and Subdivision Ordinance Sections 1.2, 3.1.1.1, and 4.5.5 finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing upon the proposed amendment to Zoning Ordinance Articles 2.2, 4.12.3.4, and 6A.5B, and Subdivision Ordinance Sections 1.2, 3.1.1.1, and 4.5.5 to _____ [the Commission should specify a date].

Table:

Motion to table the proposed Zoning Ordinance Sections 2.2, 4.12.3.4, and 6A.5B, and Subdivision Ordinance Sections 1.2, 3.1.1.1, and 4.5.5.

HAILEY ORDINANCE NO. ____

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING HAILEY’S ZONING ORDINANCE, ORDINANCE NO. 532, BY AMENDING SECTION 2.2 TO ADD THE DEFINITION OF INTERIOR LOT, BY AMENDING SECTION 4.12.3.4 TO ESTABLISH BULK REQUIREMENTS FOR INTERIOR LOTS WITHIN THE SERVICE COMMERCIAL INDUSTRIAL (SCI-I) ZONING DISTRICT AND BY AMENDING SECTION 6A.5B TO REQUIRE THE SUBMITTAL OF AGREEMENTS FOR DESIGN REVIEW ON INTERIOR LOTS; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Hailey City Council has found that the following amendment to the Hailey Zoning Ordinance will generally conform to the Hailey Comprehensive Plan;

WHEREAS, the amendments will not create excessive additional requirements at public cost for public facilities and services;

WHEREAS, the proposed uses are compatible with the surrounding area; and

WHEREAS, the amendment will be in accordance with the safety and welfare of the general public.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. Section 2.2 of Hailey Zoning Ordinance No. 532 is hereby amended by the addition of the definition “Interior Lot,” as follows:

Interior Lot: A lot used solely for the purpose of dividing interests of ownership within a principle lot that meets the bulk requirements of its zoning classification and is defined by front, back and side lines.

Section 2. Section 4.12.3.4 of Hailey Zoning Ordinance No. 532 is hereby amended by the addition of the underlined language, as follows:

4.12.3.4 Bulk Requirements within the **SCI-I** sub district. For other supplementary location and bulk regulations, see Article VII.

- a. Minimum Lot Size: 10,890 square feet.
- b. Maximum Building Height – thirty-five (35) feet.
- c. Maximum Floor Area – Buildings or structures containing an Individual Retail/Wholesale Trade or a Grouped Retail/Wholesale Trade shall b limited to an aggregate gross floor area of 25,000 square feet.
- d. Minimum Front Yard Setback – ten (10) feet.
- e. Minimum Side and Rear Yard Setback – ten (10) feet.
- f. No parking shall be placed within the setback areas.

Ordinance ____

Zoning Text Amendment – Articles 2, 4.12.3.4, & 6A.5B

- g. Maximum Lot Coverage – Not more than seventy percent (70%) of the lot shall be covered by buildings.
- h. All materials, with the exception of trees and plan materials stored on the premises shall be stored within a building or within a wall or screening fence not less than four (4) feet nor greater than eight (8) feet in height.
- i. For the purposes of dividing interests of ownership, interior lot lines may be used to create interior Lots within a principle Lot that is defined by Front, Back and Side Lines.
 - i. Interior Lot lines are those inward of a principle Lot’s Front, Back and Side Lines.
 - ii. Interior lot lines used for the purpose of creating Interior Lots shall have zero Setback.
 - iii. Interior Lots created using interior lot lines shall be no less than 162 square feet or the area of a City defined standard parking stall, whichever is less.
 - iv. Interior Lots, or a combination of Interior Lots, created with interior lot lines shall adhere to the Bulk Requirements of the principle Lot.
 - v. Control over an Interior Lot’s access, parking and utilities shall be managed by a Cross-Easement agreement, a Tenancy in Common agreement, or an Association agreement owned by Interior Lot owners.
 - vi. Interior Lots may create stand-alone lots, lots with stand-alone buildings, or lots with buildings that have a portion that is adjoined to other buildings at interior lot lines. Where interior lots create buildings that are adjoining at lot lines, a party wall agreement shall be made between effected parties.
 - vii. Interior Lots, except Interior Lots platted with existing buildings, must have separate utility services, and services that do not pass through another building or unit.

Section 3. Section 6A.5(B) of Hailey Zoning Ordinance No. 532 is hereby amended by the addition of the underlined language, as follows:

- B. The following information is required with an application for Design Review:
 - 1. The Design Review application form including project name and location, and applicant and representative names and contact information.
 - 2. One (1) full size set of prints and six (6) sets of 11” X 17” copies (two if heard by the Hearing Examiner)—showing at a minimum the following:
 - a. Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures
 - b. Drainage plan (grading, catch basis, piping, and dry-wells).
 - c. Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
 - d. Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation, and snow storage. List square footage of subject property including lot dimensions.
 - e. Landscape plan (existing landscaping on the site shown as retained, relocated or removed; proposed landscaping including species type, size and quantity).

- f. Floor plan. List gross square footage for each floor. List occupancy classification and type of construction.
 - g. Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).
 - h. Exterior Lighting plan, pursuant to Article VIII B, of the Zoning Ordinance (location, height, type, and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting).
 - i. Sign plan (location, dimensions and lighting).
3. Plans and drawings for all buildings, except Single Family Dwellings and Accessory Structures, shall be prepared and stamped by an Idaho licensed architect.
 4. A materials and colors sample board. Each sample should be approximately 12” X 12” in size.
 5. One (1) colored rendering of at least one side of the proposed building.
 6. Staging and contractor parking plan. Statement of where staging will occur, and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters, contracting parting, etc.
 7. A list of the names and addresses of all property owners and residents within three hundred (300) feet of the exterior boundaries of the subject property, in a format acceptable to the City.
 8. Other information as required by the Administrator, Hearing Examiner or the commission.
 9. Payment of applicable fees.
 10. A cross-easement agreement, a tenancy in common agreement, or an association declaration if the applicant intends to build, develop, or remodel a Building on one or more Interior Lots.
 11. A party wall agreement if the applicant intends to build, develop, or remodel a Building on one or more Interior Lots.

Section 4. Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

Section 5. All City of Hailey ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

Section 6. This ordinance shall be in full force and effect from and after the required three (3) readings, approval, and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE
MAYOR THIS ____ DAY OF _____, 2013.

Fritz X. Haemmerle, Mayor, City of Hailey

Attest:

Mary Cone, City Clerk

Publish: Idaho Mountain Express _____, 2013

DRAFT

HAILEY ORDINANCE NO. ____

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING HAILEY’S SUBDIVISION ORDINANCE, ORDINANCE NO. 821, BY AMENDING SECTION 1.2 TO ADD THE DEFINITION OF INTERIOR LOT, BY AMENDING SECTION 3.1.1.1 TO REQUIRE THE SUBMITTAL OF AGREEMENTS A SUBDIVISION CREATING INTERIOR LOTS AND BY AMENDING SECTION 4.5.5 TO MODIFY ACCESS REQUIREMENTS FOR INTERIOR LOTS WITHIN THE SERVICE COMMERCIAL INDUSTRIAL (SCI-I) ZONING DISTRICT AND; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Hailey City Council has found that the following amendment to the Hailey Subdivision Ordinance will generally conform to the Hailey Comprehensive Plan;

WHEREAS, the amendments will not create excessive additional requirements at public cost for public facilities and services; and

WHEREAS, the amendment will be in accordance with the welfare of the general public.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. Section 1.2 of Hailey Subdivision Ordinance No. 821 is hereby amended by the addition of the definition “Interior Lot,” as follows:

Interior Lot: A lot used solely for the purpose of dividing interests of ownership within a principle lot that meets the bulk requirements of its zoning classification and is defined by front, back and side lines.

Section 2. Section 3.1.1.1 of Hailey Subdivision Ordinance No. 821 is hereby amended by the addition of the underlined language, as follows:

3.1.1.1 The following items must also be submitted along with the preliminary plat before such application will be certified as complete:

- The names and mailing addresses of all property owners, along with the legal descriptions of all properties, within 300 feet of the outer boundaries of the parcel proposed for subdivision. The names and mailing addresses of all easement holders within the subject property. This information shall be provided in a format acceptable to the administrator.
- A phasing plan if the Developer intends to develop the project in phases. The Plan must include the numbers of lots in each phase, the infrastructure planned for completion with each phase, the amenities to be constructed with each phase, the deadline for completion of each phase, and all other information pertinent to the completion of the development.

- A draft of any private restrictions proposed to be recorded for the purpose of providing regulations governing the use, building lines, Green Spaces or any aspect of their development, use and maintenance.
- An Area Development Plan if applicable pursuant to Section 4.6.4.
- A community Housing Plan, if applicable, pursuant to Section 4.11.
- Such other information as may be required by the Commission, Hearing Examiner or Administrator.
- An application fee as established by ordinance.
- A cross-easement agreement, a tenancy in common agreement, or an association declaration if the Developer intends to create one or more Interior Lots.
- A party wall agreement if the Developer intends to create one or more Interior Lots.

Section 3. Section 4.5.5 of Hailey Subdivision Ordinance No. 821 is hereby amended by the addition of the underlined language and the deletion of the stricken language, as follows:

4.5.5 All lots shall have frontage on a public or private street except Interior Lots. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.

Section 4. Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

Section 5. All City of Hailey ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

Section 6. This ordinance shall be in full force and effect from and after the required three (3) readings, approval, and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE
MAYOR THIS ____ DAY OF _____, 2013.

Fritz X. Haemmerle, Mayor, City of Hailey

Attest:

Mary Cone, City Clerk

Publish: Idaho Mountain Express _____, 2013

STAFF REPORT

TO: Hailey Planning and Zoning Commission

FROM: Micah Austin, Community Development Director

RE: Zoning Ordinance Amendment – Section 8.2 amending the definition of Animated Signs, adding a definition for Electronic Message Display (EMD), and defining standards and regulations for Electronic Message Display and Animated Signs.

HEARING: March 11, 2013; April 8, 2013; April 22, 2013 (tabled to May 13); May 13, 2013

Notice

Notice for the public hearing was published in the Idaho Mountain Express on Feb 20, 2013 and mailed to public agencies and area media on February 22, 2013

Proposal

The amendment is to Section 8.2 of the Hailey Zoning Ordinance, and proposes amending the definition of Animated Signs, adding a definition for Electronic Message Displays (EMD), and defines the standards for these signs.

Updates and Research since April 8, 2013 Regular Meeting:

At the April 8 meeting of the Planning and Zoning Commission, the Commission asked staff to inquire of the City Attorney regarding the following questions:

1. How likely is litigation if this ordinance is adopted? For example, will businesses have standing to sue the city for not allowing these types of signs for all property owners?
2. By regulating the content of the sign (public information only), can this be challenged?
3. The current draft reads that there shall be one message per 24 hour period. Does this apply to messages in both English and Spanish where the content of the message is identical, but the language is different?

Staff is still waiting to hear back from the City Attorney on answers to the above questions.

Background

In late 2012, the Middle School approached the City of Hailey and inquired whether they could install an electronic message display at their location to replace their current sign that employee movable letters that must be changed out manually. According to our current ordinance, EMDs are not allowed within the City of Hailey. City administration directed Staff to draft an ordinance that addresses the negative impacts of Electronic Message Displays and to establish a process by which to regulate such signs in a way that will not create aesthetic clutter. In researching this issue, staff has drafted an ordinance that strictly regulates Electronic Message Displays and Animated Signs and invites a public process for any entity applying for a Conditional Use Permit for these signs.

Procedural History

The text amendment was considered by the Planning and Zoning Commission on March 11,

2013. At that meeting, the Commission made minor changes and directed staff to bring an updated copy of the ordinance back to the April 8 meeting. At the April 8 meeting, the Commission fielded questions from the public on this ordinance directed staff to research these questions. The City Council will consider this ordinance if the Planning and Zoning Commission recommend it for their consideration.

Department Comments

Electronic Message Displays are the most abused and can be the most aesthetically discouraging signs in any municipality. Bright lights, distracting animation, lack of architectural appeal, and general sign clutter are all byproducts of unregulated Electronic Message Displays. The ordinance under consideration attempts to address all these unappealing consequences of Electronic Message Displays while still allowing creativity for the entity seeking an EMD. Such regulations in the proposal as a single color, no animation, minimum text size, minimum display size, and zoning restrictions are all intended to guide the production of an EMD to be tasteful, attractive, and informative. In addition, the proposed ordinance only allows use of an EMD or Animated Sign by local governments (City of Hailey, Blaine County) and educational institutions (Blaine County School District) for public information and educational purposes. The ordinance expressly regulates the use of an EMD for commercial purposes, as well as restricts usage of such signs in the Business District.

An example of an EMD in Blaine County that is well designed and used is the EMD utilized by the YMCA in Ketchum. Under this proposed ordinance, the YMCA's reader board would be allowed. The level of restrictiveness of the proposed ordinance is acceptable to staff. Here is an example of the YMCA reader board in Ketchum:



Standards of Evaluation

Note: Staff analysis is in lighter type,
Italicized words are words or phrases added by staff for clarification purposes.

14.6 When evaluating any proposed amendment under this Article, the Commission and Council shall make findings of fact on the following criteria:

a. The proposed amendment is in accordance with the Comprehensive Plan;

The Commission should consider how the proposed amendments relates to the various goals of the Comprehensive Plan (listed below for reference). Section 11, Community Design, has been addressed as being most applicable to this application as seen below.

Section 11: COMMUNITY DESIGN

Goal 11.1: Establish a built environment that maintains human scale, retains interest, aesthetics, encourages various levels of interaction among all members of the community, and enhances the character of different neighborhoods.

In researching and drafting this ordinance, staff was guided to the current draft using the above goal from the Comprehensive Plan. For this reason, staff has included certain display regulations that address brightness, illumination, colors, and the content of the messages on the display. The following is a summary of how the ordinance meets this Comp Plan goal:

- 1. **Human Scale:** EMDs are limited to five feet maximum height to maintain human scale. Monument signs are required.*
- 2. **Retains Interest:** Messages are limited to displaying information of public interest and public benefit and are restricted from any commercial messages.*
- 3. **Aesthetics:** The electronic or reader board portion of the sign is limited to a maximum of 33% of the total sign area so as to allow for a more aesthetic and architecturally appealing sign that frames a reader board, rather than becoming overwhelmed by one.*
- 4. **Encourages Interaction:** First, the messages will be of public interest and second, the public is invited to comment on all EMD applications because they would be required to have a CUP for approval.*
- 5. **Enhances the Character of Different Neighborhoods:** The proposed ordinance does not enhance the character of different neighborhoods and could potentially detract from the character of a neighborhood. Design and a well guided public process will be essential to ensuring this is met.*

The proposed amendment could most significantly impact surrounding residential areas if an EMD were approved for a residential neighborhood without significant thought and planning given to minimizing impacts. As part of the CUP process, impacts from lighting, architectural design, and other features of the sign should be scrutinized to ensure that there are no negative consequences to a neighborhood.

Section 5: Land Use, Population and Growth Management

Goals 5.1 (b): Downtown, the historic commercial center containing the greatest concentration of commercial, cultural and civic activity.

The proposed ordinance prohibits animated and electronic message display signs in the Business District, which encompasses all of downtown. This restriction was added to preserve the historical and aesthetic qualities of downtown where the primary activity is commercial. According to our proposed ordinance, EMDs shall be used only for non-commercial messages of public interest and not for any commercial purposes. Where our downtown should always maintain a walkable character, signs should be planned for pedestrian accessibility, rather than for vehicles passing nearby. It is staff's opinion that Animated and EMD signs should not be allowed in the downtown area, thereby meeting this goal of the Comprehensive Plan.

Comp Plan Goals (2010)
1.1 Preserve, protect and restore natural resources including waterways, floodplains, wetlands, soil, community forest, native vegetation, green space and wildlife habitat and migration corridors for the benefit of the City and its residents.
1.2 Efficiently use and conserve resources.
1.3 Promote renewable energy production
1.4 Promote energy conservation
1.5 Promote air quality protection
2.1 Reduce the potential threat to loss of life, limb or property and minimize public expenditures due to natural and man-made hazards.
3.1 Assure the protection and preservation of Special Sites, Areas and Features to maintain a strong community identity for future generations
3.2 Protect the residential character of the original Townsite.
4.1 Create and maintain an interconnected system of parks, recreational facilities, trails, green spaces and natural lands in order to provide diverse recreation opportunities for Hailey residents within ¼ mile to ½ mile of the greatest number of residents.
5.1 Retain a compact City comprised a central downtown with surrounding diverse neighborhoods, areas and characteristics as depicted in the Land Use Map:
a. Main Street Corridor – area of high density commercial, mixed use and residential development.
b. Downtown - the historic commercial center containing the greatest concentration of commercial, cultural and civic activity. Downtown is the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.
c. Community Activity Areas – located at the north and south ends of the Main Street Corridor. High density residential is encouraged. Commercial and mixed use (commercial and residential) development is appropriate, but should be subordinate and secondary to the infill of Downtown.
d. High Density Residential – high density residential infill is encouraged in the area along Main Street and River Street between Downtown and the north and south ends of Main Street.
e. Residential Buffer – medium density residential, providing a buffer between lower density residential neighborhoods to the east and west and the Main Street District.
f. Traditional Residential – Density varies depending on the qualities of different neighborhoods, generally density is higher within a ¼ mile of Downtown, Community Activity Areas or Neighborhood Service Centers and connected by transit service.
g. Neighborhood Service Centers – Small commercial areas serving residents within walking distance (¼ to ½ mile) where commercial use is subordinate to residential uses and to Downtown or Community Activity Areas.
h. Light Industrial – Areas containing uses important to a variety of business sectors that focus on the production of products and services that are less compatible with, and do not compete with, uses in Downtown and the Community Activity Areas.
i. Airport Site Redevelopment – a diversity and integration of uses and community assets that complement and support Downtown and are connected within and to existing neighborhoods.
j. Community Gateways – areas where one has a sense of arrival or sense of being within a part of town distinguished from others providing opportunities for special design considerations.

5.2	Maintain Downtown as the area containing the greatest concentration of commercial, cultural and civic activity and as the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.
5.3	Continue cooperation with the Blaine County and the Friedman Memorial Airport Authority in regional planning efforts to optimally relocate the airport and plan for the long term redevelopment of the site within the city limits to ensure that changes in land use are beneficial to the community of Hailey.
5.4	Protect open space within and surrounding Hailey, including visible ridgelines, undeveloped hillsides and agricultural areas which help define the unique character of Hailey.
5.5	Lessen dependency on the automobile.
5.6	Manage and accommodate population growth by infill development and, when appropriate, minimal expansion by annexation and/or density increases.
5.7	Encourage development at the densities allowed in the Zoning Code.
6.1	Encourage a diversity of economic development opportunities within Hailey
6.2	Encourage abundant, competitive and career-oriented opportunities for young workers.
7.1	Encourage a variety of projects and programs that meet the needs generated by various segments of the population, especially the needs of those who risk suffering effects of discrimination or are socially or economically disadvantaged.
7.2	Encourage projects and programs that seek to provide opportunities for cultural, cross-cultural and educational enrichment.
8.1	Encourage development that provides opportunities for home ownership and rental homes for individuals and families of all socio-economic levels.
9.1	Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.
10.1.	Create and maintain a pedestrian and bicycle-friendly community that provides a safe, convenient and efficient multi-modal transportation system for all Hailey residents.
11.1	Establish a built environment that maintains a human scale, retains interest, aesthetics, encourages various levels of interaction among all members of the community, and enhances the character of different neighborhoods.
12.1	Evaluate whether proposed regulatory or administrative actions may result in an unconstitutional taking of private property.
13.1	Encourage and facilitate the development of school facilities that are planned consistently with the city's other land use policies.
13.2	Ensure the provision of safe, adequate, convenient multi-modal transportation access to all existing and future school sites.

- b. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;**

There are no additional costs or compromise anticipated to public facilities and services.

- c. The proposed uses are compatible with the surrounding area; and**

The proposed amendment could most significantly impact surrounding residential areas if an EMD were approved for a residential neighborhood without significant thought and planning given to minimizing impacts. As part of the CUP process, impact from lighting, architectural design, and other features of the sign should be scrutinized to ensure that there are no negative consequences to a neighborhood.

- d. The proposed amendment will promote the public health, safety and general welfare.**

It is not anticipated that the proposed amendment will adversely affect the public health, safety and welfare of citizens.

Summary

The Commission is required to hold a public hearing and determine whether the proposed amendment is in accordance with the applicable standards of evaluation and make a recommendation to the Council that the proposed amendment be granted or denied, or that a modified amendment be granted.

or

If the proposed change is approved, the Council is required to pass an ordinance making said amendment part of Hailey Zoning Ordinance #532. The draft ordinance is attached.

Motion Language

Approval:

P&Z

Motion to recommend the City Council approve the proposed amendments to Section 8.2 finding that the amendments are in accordance with the Comprehensive Plan, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Council

Motion to approve the proposed amendments to Section 8.2 finding that the amendments are in accordance with the Comprehensive Plan, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare and adopt Ordinance ____ and authorize the mayor to conduct the first reading by title only.

Denial:

P&Z

Motion to recommend the City Council deny the proposed amendments to Section 8.2 finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Council

Motion to deny _____ the proposed amendments to Section 8.2 finding that _____ [the Council should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing upon the proposed amendment to Section 8.2 to _____ [the Commission should specify a date].

Table:

Motion to table the proposed amendment to Section 8.2