

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, June 24, 2013
Hailey City Hall
6:30 p.m.

Call to Order

Public Comment for items not on the agenda

Consent Agenda

- CA 1 Motion to approve minutes of June 10, 2013 regular meeting
- CA 2 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application submitted by Brant Tanner of Tanner Investments, LLC for Design Review of a new single-family residence, to be located at Hailey Townsite, Blk 129, Lot 11A, within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.
- CA 3 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application submitted by Brant Tanner of Tanner Investments, LLC for Design Review of a new single-family residence, to be located at Hailey Townsite, Blk 129, Lot 12A, within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

Workshop

- WS 1 Workshop and public discussion on allowing beekeeping within the City of Hailey, which would involve a text amendment to the Zoning Ordinance.

New Business

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

- SR 1 Discussion of current building activity and upcoming projects
(no documents)
- SR 2 Discussion of the next Planning and Zoning meeting: Monday, July 8, 2013
(no documents)

Adjourn

**MINUTES OF THE
HAILEY PLANNING & ZONING COMMISSION**

Monday, June 10, 2013

Hailey City Hall

6:30 p.m.

Present: Regina Korby, Geoffrey Moore, Owen Scanlon

Absent: Janet Fugate, Jay Cone

Staff: Micah Austin, Kristine Hilt

Call to Order

[6:30:03 PM](#) Chair Moore called the meeting to order.

Public Comment for items not on the agenda

[6:30:47 PM](#) None.

Consent Agenda

CA 1 Motion to approve minutes of May 13, 2013 regular meeting.

CA 2 Motion to approve Findings of Fact and Conclusions of law for a Design Review approval for an application submitted by William and Diane Zei for Design Review of an exterior remodel of a single family dwelling (Zei Residence), located at Hailey, Blk 105, Lots 19-21 (316 S 4th Ave.), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts.

~~CA 3 Motion to approve Findings of Fact and Conclusions of Law for Design Review approval of an application submitted by Blaine County School District for a remodel to the Hailey Elementary School, located at 520 S 1st Ave and encompassing all Lots of Block 3, Lots 13-24 of Block 2 Hailey Townsite within the General Residential (GR) and Townsite Overlay (TO) districts.~~

~~CA 4 Motion to approve Findings of Fact and Conclusions of Law for Design Review approval of an application submitted by Tenaya Plowman Kolar for a remodel to the single family dwelling located at Lots 19 & 20 & North 1/2 of 21, Block 88, Hailey Townsite (310 N 4th Ave.) within the Limited Residential 1 District (LR-1) and within the Townsite Overlay (TO).~~

~~CA 5 Motion to approve Findings of Fact and Conclusions of Law for Design Review approval of an application submitted by Wood River Dental located at 503 N Main (S 1/2 of Lot 9, all of Lot 10, Block 65, Hailey Townsite) for approval of a paint color different what originally was presented by the Wood River Dental in their Design Review application at the March 7, 2013 meeting of the Hailey Planning and Zoning Commission.~~

~~CA 6 Motion to approve Findings of Fact and Conclusions of Law for Design Review approval of an application submitted by the Blaine County School District for the addition of one window to the existing west elevation of the Silver Creek High School located on Lot 1, Block 3 of the Wood River High School Campus PUD within the General Residential (GR) district.~~

[6:31:04 PM](#) Micah Austin pulled CA 3, CA 4, CA 5, and CA 6. Regina Korby pulled CA 2 to recuse herself.

[6:31:52 PM](#) Owen Scanlon moved to approve the Consent Agenda minus items 2, 3, 4, 5, and 6. Geoffrey Moore seconded, and the motion passed unanimously.

[6:32:11 PM](#) Owen Scanlon moved to approve CA 2. Geoffrey Moore seconded, and the motion carried with a majority vote and Ms. Korby recused.

[6:33:05 PM](#) Micah Austin addressed CA 3 by providing overview and background on the project. Discussion included reduction of a door size and questions addressed to Howard Royal, BCSD.

[6:35:00 PM](#) Owen Scanlon moved to approve CA 3. Regina Korby seconded, and the motion carried unanimously.

[6:35:26 PM](#) Addressing CA 4, Micah Austin noted that chimneys are not included in setbacks in Old Hailey. Discussion included exterior changes, and colors without samples provided by the applicant.

[6:37:28 PM](#) Regina Korby moved to approve CA 4. Owen Scanlon seconded and the motion passed unanimously.

[6:37:45 PM](#) Micah Austin provided overview and background on CA 5, noting that colors will be darker than originally approved because matching historical colors remains a challenge.

[6:39:43 PM](#) Regina Korby moved to approve CA 4. Chair Moore seconded and the motion carried with Mr. Scanlon recused.

[6:39:58 PM](#) Micah Austin addressed CA 6 by providing images of the new window to be added to the building.

[6:40:59 PM](#) Owen Scanlon moved to approve CA 6. Regina Korby seconded, and the motion passed unanimously.

New Business

NB 1 Public Hearing and consideration of a Design Review application by Brant Tanner of Tanner Investments, LLC for Design Review of a new single-family residence, to be located at Hailey Townsite, Blk 129, Lot 11A, within the Limited Residential 1 (LR-and Townsite Overlay (TO) Zoning Districts.

[6:41:56 PM](#) Chair Moore noted that the language should be corrected to reflect general residential rather than limited. [6:42:20 PM](#) Micah Austin provided overview and noted that the applicant was present. He further added there had been setback questions on Lot 12A, but the developer has since addressed that matter. Mr. Austin added that drainage and sidewalks were addressed; that the developer can select “in lieu” if he chooses; and that drainage was to be onsite. Mr. Austin further noted the letters received from citizens on this matter.

[6:47:05 PM](#) Discussion included framing lumber size, onsite drains and drainage to existing barrow pits. Chair Moore asked for applicant input before proceeding.

[6:49:29 PM](#) Brant Tanner, applicant, presented samples and explanations of his project. Discussion included ventilation, utility stubs off the alley, setbacks, reasons for running utilities to the alley, and the proposed utility easement under the sidewalk. Chair Moore encouraged running utilities through the neighboring lot rather than under the sidewalk. Tom Hellen noted he did not agree from the City’s perspective.

[7:02:30 PM](#) Chair Moore opened the matter to public comment.

[7:02:43 PM](#) Mark Johnstone, 641 S. River Street, voiced his concerns about the grade change on the River Street side of the project, and how that “significant grade change” would be addressed in regards to snow melt and water drainage. He further opined that the project’s general

orientation does not work well with site or the rest of the neighborhood, and that the existing power poles would be problematic for residents of the project.

[7:05:31 PM](#) Mr. Tanner responded by noting that the drainage from the existing Bungalows was being diverted to his lots, that there are storm drains nearby and existing barrow pits. He further noted the expense of removing the power poles was prohibitive and that he believed his snow storage plans met the City's requirements.

[7:10:16 PM](#) Micah Austin outlined the City's requirements for drainage and snow storage, and noted that there are now only a couple of storm drains along River Street.

[7:10:49 PM](#) Mr. Tanner asked if he may need to apply for a drywell. Mr. Austin said he did not.

[7:11:28 PM](#) Discussion continued on ownership history on the site. Chair Moore noted that the City allowed excess snow storage for the lot's previous owner.

[7:12:14 PM](#) Andrew Hawley, 709 S. River Street, agreed with Mr. Johnstone regarding the "objectionable power poles," snow storage along the alley and onto the current Tanner lot, enforcement of proper snow storage, possible flooding of homes on the opposite side of River Street, and his wishes to protect property values in the neighborhood by requiring high quality finishes on this project.

[7:15:02 PM](#) Mr. Tanner defended his proposed design and finishes.

[7:15:16 PM](#) Chet Howar, Ketchum, hoped to purchase a home on Mr. Tanner's lot and encouraged the Commission's support of the project.

[7:16:04 PM](#) Mark Johnstone asked again about the grade change and advised that the existing sidewalk at the Bungalows is not cleared in winter, noting that sidewalk requirements are inconsequential unless the City enforces clearing. He further reminded that the grade change on the Maple Street side of this project is "significant."

[7:17:42 PM](#) Tony Evans, Idaho Mountain Express, asked if snow storage was an issue for the City and whether there might be other places to store snow.

[7:18:27 PM](#) Robin Christiansen, Picabo, noted the previous owner of the lot went into foreclosure and that she and Mr. Tanner were unaware of excess snow storage there.

[7:19:37 PM](#) Mr. Hawley corrected that it was not the City's snow storage, but that of Atkinsons' Market who contracted to store snow there. He further advised that residents of the neighborhood had grave concerns about that.

[7:21:00 PM](#) Chair Moore brought the meeting back to the Commissioners. Mr. Austin noted a letter received from Colleen Kelly Reali in opposition due to property value concerns.

[7:22:44 PM](#) Mr. Tanner advised he hoped the City would value affordable housing, and that his project was of "equal or greater quality" than the nearby church and abandoned Hitchrack business.

[7:23:30 PM](#) Commission discussion included concerns about elevations facing River Street. Mr. Tanner advised he originally hoped for access from the alley, but changed the siting at City staff's recommendation. Further discussion included location of power poles and guide wires, and how they relate to snow clearing, finish floor elevations, grade on Maple Street, and record grades. Documentation for grades and drainage were not available for the Commission's review.

[7:44:16 PM](#) John O'Meara, 713 S. River Street, advised his property suffers from sheet flooding due to this grade change and encouraged a better drainage plan.

[7:48:10 PM](#) Micah Austin encouraged the Commission to require a drainage plan at the next meeting, and to move forward on this application with the materials supplied and added conditions. Chair Moore requested a drainage plan for the lot as it exists (empty) and another for

the site as built out. Owen Scanlon asked for spot elevations of the four corners of the buildings and the finish grade.

[7:51:33 PM](#) Mr. Tanner hoped he might move forward with ground breaking given the short building season.

[7:51:56 PM](#) Commissioners remained concerned about the grade and drainage, and noted that a grading plan would be necessary for setting foundations. Chair Moore added that he wanted the staff report language to include the sidewalks along Maple Street as well as River Street, and that snow clips should be a condition of approval (not just recommended).

[7:56:49 PM](#) **Owen Scanlon moved to approve the Design Review application by Brant Tanner with conditions A-I, contingent upon an approved drainage/grading plan submitted to City staff, and adding snow clips as a condition. Regina Korby seconded, and the motion passed unanimously.**

[7:59:20 PM](#) Mr. Austin asked for clarification on whether Mr. Tanner should submit plans for plan review prior to his application for a building permit. Commission consensus was agreeable.

NB 2 Public Hearing and consideration of a Design Review application by Brant Tanner of Tanner Investments, LLC for Design Review of a new single-family residence, to be located at Hailey Townsite, Blk 129, Lot 12A, within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts.

[8:00:08 PM](#) **Regina Korby moved to approve NB 2 with conditions A-I the same verbiage as included in the motion for Lot 11A. Owen Scanlon seconded, and the motion carried unanimously.**

[8:01:05 PM](#) Chair Moore inquired of attending citizens if they understood the Commission's actions and whether there were any further questions. None were offered.

Old Business

None.

Commission Reports and Discussion

Staff Reports and Discussion

SR 1 Discussion of allowing beekeeping within the City of Hailey, which would involve a text amendment to the Zoning Ordinance.

[8:02:27 PM](#) Micah Austin advised he received five inquiries on beekeeping and suggested discussion the matter. He provided research materials in Commission packets for review. The Commission suggested more information and public workshops on the issue.

[8:14:57 PM](#) Tony Evans, Idaho Mountain Express and Hailey resident, noted a beekeeping story in the current Sun Valley Guide, and his knowledge of several existing hives in valley neighborhoods. He stressed the value of repopulating hives in light of the current problems with bee colony collapse.

[8:17:41 PM](#) Kristine Hilt added that lot size requirements would be critical, and that perhaps registration would be useful so the community has information and beekeepers have training.

[8:18:37 PM](#) Commission consensus is to move forward with workshops and education efforts.

*SR 2 Discussion of current building activity and upcoming projects
(no documents)*

*SR 3 Discussion of the next Planning and Zoning meeting: Monday, July 8, 2013
(no documents)*

[8:01:43 PM](#) Micah Austin advised on the current agenda for the next meeting.

Adjourn

[8:21:50 PM](#) Owen Scanlon moved to adjourn. Regina Korby seconded, and the motion passed unanimously.

[8:22:12 PM](#) Chair Moore asked to address the question of changing the Commission's meeting time from 6:30 to 5:30 p.m. Discussion included the possible overlap with City Council needs and how to achieve change. Mr. Austin noted there are other locations the Council might use in special instances. Deb Gelet noted this meeting room is the only one equipped with recording equipment for public record. Consensus was reached to continue the discussion when a full Commission is present. [8:24:16 PM](#) .

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 24, 2013 the Hailey Planning & Zoning Commission considered an application submitted by Brant Tanner of Tanner Investments, LLC, for one new single-family residence to be located at Hailey Townsite, Blk 129, Lot 11A (64 W. Maple Street) located within the General Residential (GR) District and within the Townsite Overlay. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice

Notice for the public hearing was published in the Idaho Mountain Express on May 22, 2013 and mailed to property owners within 300 feet on May 22, 2013.

Application

One single-family dwelling located on Lot 11A Block 129 of the Hailey Townsite (64 W Maple Street). Lot is 4800 square feet (60'X80'). The dwelling is two-story with 824 sf on the main level and 778 on the second level for a total living space of 1602 square feet. The garage is designed for two cars and comprises 528 square feet. A covered, front porch accents the home at the entrance. All construction will be in accordance with the 2009 International Residential Code and the Build Better Program of Hailey.

Procedural History

The application was submitted on May 14, 2013 and certified complete on May 30, 2013. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on June 10, 2013, at 6:30 pm in the Council Chambers. At that meeting, the Planning and Zoning Commission conditionally approved the Design Review Application contingent upon an acceptable drainage and grading plan to be submitted to city staff. The drainage and grading plans have been received and are acceptable to staff.

General Requirements for all Design Review Applications

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No concerns</i>
				Life/Safety: <i>No concerns</i>
				Water and Sewer: <i>No concerns</i>
				Building: <i>No concerns</i>
			Streets: <i>No concerns</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Staff Comments</i>	<i>Signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Per 9.4.1, two spaces per dwelling are required with a maximum of 6. • Homes will have a 2-car garages and the following: <ul style="list-style-type: none"> ○ Lot 11A (accessed via alley): One 10'X20' parking pad and a 6'X24' space in front of garage <ul style="list-style-type: none"> ▪ Adequate for two cars ○ Lot 12A (accessed via River Street): 22'X28' parking space, <ul style="list-style-type: none"> ▪ Adequate for two cars
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a) All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c) Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d) Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e) Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff Comments</i>	<i>Applicant will install Dark Sky compliant fixtures, as detailed in the submittal documents. Lights will be:</i>

				<ul style="list-style-type: none"> - <i>Shallow Airtight Ready Housing for the front porch and in front of garage</i> - <i>Forte Lighting Energy Efficient Craftsmen/Mission Outdoor Wall Sconce will be on the back porch. This is compliant with our Dark Sky Ordinance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	See 4.13.6, Zoning Ordinance
			Staff Comments	<p><i>Zoning District: General Residential in the Townsite Overlay. Townsite Overlay bulk requirements apply.</i></p> <ul style="list-style-type: none"> - <i>Max Height: 30'. Proposed building 26' 3" to the peak of the roof</i> - <i>Front Setbacks: TO: 12' from the street.</i> <ul style="list-style-type: none"> o <i>11A structure will be setback 20' from Maple with the front porch located at 12' from Maple</i> o <i>12A, setback is 13' from River Street and set back 12' from Maple. The front porch is located 5' from River</i> - <i>Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required</i> <ul style="list-style-type: none"> o <i>Lot 11A structure is fully compliant on all side setbacks</i> o <i>Lot 12A structure is compliant on all side setbacks, which is a minimum of 9' for this lot. For a lot width of 60', the minimum side setback in the TO is 9'. This is derived from the following formula: (60' X 15% = 9'). The revised plans show a 9' setback on the east side of 12A, adjacent to 11A.</i> - <i>Alley Setback: 6'</i> <ul style="list-style-type: none"> o <i>11A garage is located 6' from the alley right of way.</i> - <i>Maximum Lot coverage: 30% in GR for a two-story dwelling with a garage</i> <ul style="list-style-type: none"> o <i>Both dwellings will cover 28.2% of the total lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<ul style="list-style-type: none"> - <i>Five foot (5') sidewalk will be installed the length of the 12A property line along River Street and the length of the 11A property line along Maple. (see plans)</i> - <i>The sidewalk will stub out at the alley at the end of the 11A property line.</i> - <i>Sidewalk along River St. will connect with existing sidewalks on S. River that terminate the 12A property line.</i> - <i>Applicant has been advised that on-site retention is required for all drainage on the property. Under no circumstances will drainage be allowed to encroach on adjacent properties or into the public right of way.</i> - <i>As shown in the Drainage Plan submitted with the Design Review materials for Lots 11A and 12A, the developer shall grade and develop the lots to retain all storm water on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (B) Required Water System Improvement	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the

			nts	City Engineer.
			Staff Comments	<ul style="list-style-type: none"> - Per the plat for Lots 11A and 12A, water service for Lot 12A will not cross 11A. - Services will be stubbed off of the alley and Maple Street. - All water lines will be installed 6' feet deep. The developer has been notified that if the existing lines are not 6' deep, he will need to drop down the service line to below 6' deep.

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO): 6A.9

1. Site Planning: 6A.9.C.1

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	The pattern created by the Old Hailey town grid should be respected in all site planning decisions.
			Staff Comments	<ul style="list-style-type: none"> • Both Lots 11A and 12A are 60'X80'. While not a traditional Old Hailey Townsite Lot, they fulfill the intent of rectangular lots and allowing for as much open space as possible.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units.
			Staff Comments	<ul style="list-style-type: none"> • The proposed site plan and development is consistent with the required site planning guidelines. • Where possible, access is provided from the alley (Lot 11A). • All utilities will be located underground as shown on the site plan for both lots. • All utilities for both lots are accessed from the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.
			Staff Comments	<ul style="list-style-type: none"> • The structures are designed to maximize solar exposure to the south facing sides on both Lots 11A and 12A as much as possible (more

				<i>emphasized on 12A with south facing windows).</i>
2. Bulk Requirements (Mass and Scale, Height, Setbacks): 6A.9.C.2				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.2	The perceived mass of larger buildings shall be diminished by the design.
			Staff Comments	<ul style="list-style-type: none"> <i>The proposed structures will be consistent in size and mass to the surrounding structures and with the surrounding neighborhood.</i>
3. Architectural Character: 6A.9.C.3				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.a	General: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.
			Staff Comments	<ul style="list-style-type: none"> <i>Architectural style is a two-story bungalow with themes currently found in Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.
			Staff Comments	<ul style="list-style-type: none"> <i>Both entrances face the adjacent street. The dwelling on 11A faces Maple and the dwelling on 12A faces River Street.</i> <i>Unrestricted pedestrian access to both entrances from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			Staff Comments	<ul style="list-style-type: none"> <i>Both structures on Lots 11A and 12A face the adjacent streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.c	Building Form: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			Staff Comments	<ul style="list-style-type: none"> <i>Porch roofs, shed dormer, and pop-out roofs break up the lines of the building. This is consistent with styles and forms found in Old Hailey</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			Staff Comments	<ul style="list-style-type: none"> <i>Porch roofs, shed dormer, and pop-out roofs break up the lines of the building. This is consistent with styles and forms found in Old Hailey</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof pitch and style shall be designed to meet snow storage needs for the site.
			Staff Comments	<ul style="list-style-type: none"> <i>Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas.</i> <i>Designs should avoid locating drip lines over key pedestrian routes.</i> <i>Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.</i>
			Staff Comments	<ul style="list-style-type: none"> <i>Roof materials: Asphalt shingles, designed to retain the snow.</i> <i>Roof Pitch: 8/12, 10/12, and 4/12 (porch roof)</i>

				<ul style="list-style-type: none"> • <i>Snow clips are recommended for the porch roof over the entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<p>Roof Form: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>The following forms are currently found in the neighborhood:</i> <ul style="list-style-type: none"> ○ <i>Architectural asphalt shingles</i> ○ <i>gable end roofs</i> ○ <i>Shed dormers.</i> • <i>The application is consistent with the neighborhood in regards to roof forms and materials</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<p>Roof Form: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Roof pitch is 12/8 and gabled roofs are consistent with the surrounding neighborhood, as well as the DR guidelines.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<p>Wall Planes: Primary wall planes should be parallel to the front lot line.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Both lots have the primary wall plane sited parallel to the front lot line.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<p>Wall Planes: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.</p>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<p>Wall Planes: The use of pop-outs to break up longer wall planes is encouraged.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Proposed structures utilize pop-outs along the south side for 12A and the west side for 11A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<p>Windows: Windows facing streets are encouraged to be of a traditional size, scale and proportion.</p>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<p>Windows: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Where Lots 11A and 12A adjoin, windows have been minimized and oriented to ensure maximum privacy between the dwellings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.g	<p>Decks and Balconies: Decks and balconies shall be in scale with the building and the neighborhood.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>No decks or balconies are proposed. The front porch is in scale with the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.g	<p>Decks and Balconies: Decks and balconies should be designed with the privacy of neighbors in mind when possible.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>No decks or balconies proposed</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	<p>Building Materials and Finishes: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.</p> <p>Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>Wall Materials: Hardy board lap siding (see materials) with 7' exposure between laps. With the lap siding, the appearance of texture will be present.</i> - <i>Pop-outs: Hardy board shingle panels will be used in the pop-out over the front porch. Material is a fiber cement, shingle panel, 5/16" thick.</i> - <i>Wainscoting: Faux stone wainscoting will be present on the front façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	<p>Building Materials and Finishes: Large wall planes shall incorporate more than one</p>

				material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	<i>See above</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural detailing shall be incorporated into the front wall plane of buildings.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Stone wainscoting and shingle panel siding will be present on the front façade. Also, pop-outs and dormers are present on the front façade to break up the wall plane.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Proposed front porch is consistent with the styles of Old Hailey.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> See above notes.

4. Circulation and Parking: 6A.9.C.4

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Adequate parking has been provided and pedestrian access off the adjacent streets is provided and does not interfere with traffic from the streets.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Two car garages are provided with access from the alley onto the structure located on Lot 11A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Where possible, access was provided from the alley.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> For Lot 12A, garage is set back 20' from the street and 14' from the front wall plane, consistent with the setbacks for the zone/overlay and breaks up the front wall plane. Lot 11A garage is accessed via the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> A two car driveway and a two car garage is planned. Developer would like to keep the two car driveway to minimize parking on River St. when necessary and concentrate all parking on-site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.

			Staff Comments	<ul style="list-style-type: none"> Lot 11A has RV parking planned on a 10' X 26' parking pad off the alley. Lot 12A does not have RV parking.
--	--	--	-----------------------	--

5. Alleys: 6A.9.C.5

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties. <i>Staff Comments</i> Lot 12A does not have alley access. Alley access was eliminated during the Lot Line Adjustment to accommodate the current site plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged. <i>Staff Comments</i> <ul style="list-style-type: none"> Lot 11A is accessed via the alley to the garage and RV parking is located off the alley. No accessory buildings are planned for this site (none could be built because of the maximum lot coverage limit.)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity. <i>Staff Comments</i> <ul style="list-style-type: none"> The alley is currently graveled and no improvements are planned. Noxious weeds will be removed before construction commences.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs. <i>Staff Comments</i> Xeriscaping is planned for the alley side of Lot 11A with some paving for access to the garage

6. Accessory Structures: 6A.9.C.6

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.6	Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function. <i>Staff Comments</i> No accessory structures are planned.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical. <i>Staff Comments</i> No accessory structures are planned.

7. Snow Storage: 6A.9.C.7

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: All projects shall be required to provide 25% snow storage on the site. <i>Staff Comments</i> <ul style="list-style-type: none"> The proposed dwellings are setback far enough from the adjacent property lines to avoid shedding onto the adjacent properties.

				- 1750 sf of total lot area is provided for snow storage. This is 25% of the total lot (Lot size is 4800 feet).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	<p>Guideline: A snow storage plan shall be developed for every project showing:</p> <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Snow storage areas do not restrict pedestrian access. Pedestrian access must be unrestricted and visible from the adjacent streets.

8. Existing Mature Trees and Landscaping: 6A.9.C.8

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	<p>Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	<p>Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.</p>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	<p>Guideline: Noxious weeds shall be controlled according to State Law.</p>
			<i>Staff Comments</i>	Noxious weeds are present on the site. Developer plans to scrap the two lots bare before beginning construction.

9. Fences and Walls: 6A.9.C.9

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p>Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.</p>
			<i>Staff Comments</i>	No fences are planned
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p>Guideline: Retaining walls shall be in scale to the streetscape.</p>
			<i>Staff Comments</i>	No retaining walls are planned

10. Historic Structures: 6A.9.C.10 (NOTE: Applicable only to structures built prior to 1940)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.10	<p>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</p> <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ○ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ○ Exterior materials that are compatible with the original building materials should be selected; ○ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ○ The visual impact of the addition should be minimized from the street; ○ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ○ The roof form and slope of the roof on the addition should be in character with the original building; <p>The relationship of wall planes to the street and to interior lots should be preserved with new additions.</p>
			<i>Staff Comments</i>	

6A.6 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.

- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

DECISION

The Design Review of Lot 11A, Block 127, Hailey Townsite (64 W Maple Street), within the General Residential (GR) and Townsite Overlay (TO) zoning districts is hereby approved subject to the following terms and conditions:

1. The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
2. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
3. All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required
4. A sidewalk and drainage improvements, running the length of the property line adjacent to the public right of way is required. An In-lieu contribution to the City of Hailey for sidewalk improvements will be acceptable, according to 6A.7.6 of the Zoning Ordinance.
5. Building service areas shall be located off alley and away from public view or building frontage areas.
6. Blue board insulating material is required for water mains and individual water service lines less than 6 feet deep.

7. All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
8. This Design Review approval shall expire one (1) year from the date these Findings of Fact are signed, unless a building permit application has been submitted to the Building Department.
9. This project is subject to Development Impact Fees pursuant to Municipal Code Chapter 15.16. The estimated fee is determined at the time of Building Permit application.
10. Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
11. Except as otherwise provided, all the required building, landscaping, site, infrastructure improvements and all other conditions of approval shall be constructed and completed, or security in the amount of 150% of the estimated cost as approved by the City, before a Certificate of Occupancy will be issued.
12. This Design Review approval is subject to the following conditions:
 - a) All applicable Fire Department and Building Department requirements shall be met, including but not limited to:
 - a. Prior to installation of the new fence, a fence permit shall be obtained from the Community Development Department and the plans for the fence shall meet the standards of Section 8.1, Hailey Zoning Ordinance.
 - b. No auxiliary apparatus (e.g. utility meters, fire suppression equipment) may extend into any public right-of-way.
 - c. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional parking, improvements and/or approvals.
13. Subject to all restrictions listed on the recorded plat for this lot and, if applicable, subdivisions.

A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this ____ day of _____, 2013.

 Geoffrey Moore, Chair

Attest:

 Kristine Hilt, Community Development Coordinator



1436 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE INTELLECTUAL RIGHTS TO THIS PROPERTY. ALL RIGHTS ARE RESERVED, AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESSED WRITTEN CONSENT OF RFL DESIGN. UNDER PENALTY OF PROSECUTION.

THESE PLANS MAY NOT BE USED FOR THE CONSTRUCTION OF ANY BUILDING EXCEPT THE ONE FOR WHICH THESE PLANS WERE ORIGINALLY ISSUED. SUCH USE WILL INDICATE AN UNAUTHORIZED USE OF COPYRIGHTED MATERIAL.

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 12A

LOCATION INFO:
LOT #
12A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 9, 2013

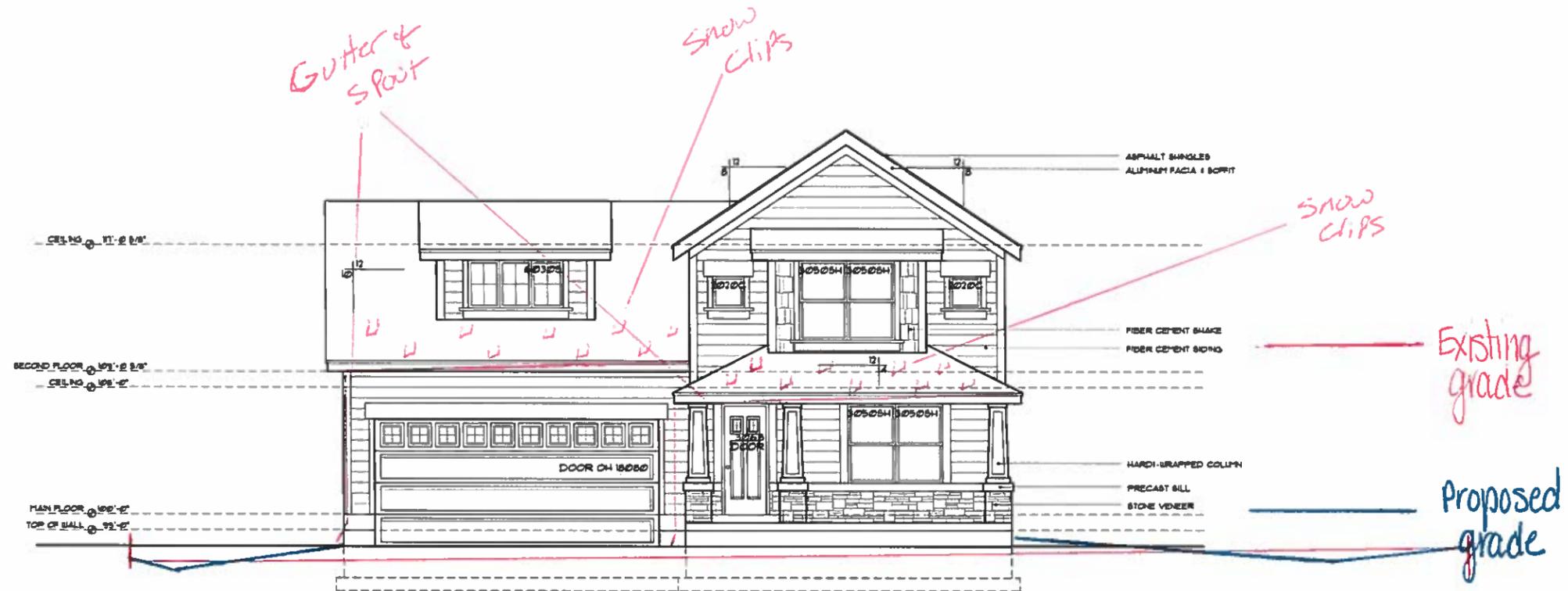
REVISION DATES
05/13/2013
05/15/2013
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER - TANNER - 1-0-0

**FRONT
REAR
ELEVATIONS**

A2 | 1

PAGE 5 OF 25



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



1436 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RML DESIGN MAINTAINS THE INTELLECTUAL RIGHTS TO THIS PROPERTY. ALL RIGHTS ARE RESERVED, AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESSED WRITTEN CONSENT OF RML DESIGN UNDER PENALTY OF PROSECUTION.

THESE PLANS MAY NOT BE USED FOR THE CONSTRUCTION OF ANY BUILDING EXCEPT THE ONE FOR WHICH THESE PLANS WERE ORIGINALLY ISSUED. SUCH USE WILL INDICATE AN UNAUTHORIZED USE OF COPYRIGHTED MATERIAL.

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 12A

LOCATION INFO:
LOT #
12A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 9, 2013

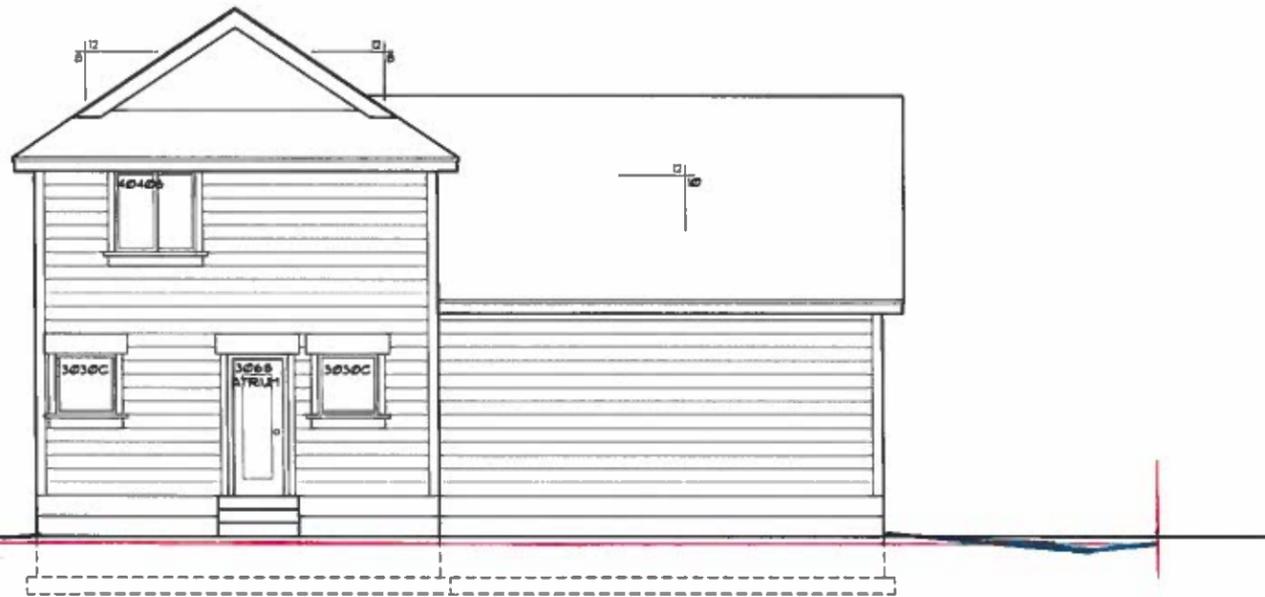
REVISION DATES
05/13/2013
05/15/2013
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER - TANNER - 11-0-0

**REAR
ELEVATION**

A2 | 2

PAGE 6 OF 25



REAR ELEVATION

SCALE: 1/4" = 1'-0"



1438 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE INTELLECTUAL RIGHTS TO THIS PROPERTY. ALL RIGHTS ARE RESERVED, AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESSED WRITTEN CONSENT OF RFL DESIGN UNDER PENALTY OF PROSECUTION.

THESE PLANS MAY NOT BE USED FOR THE CONSTRUCTION OF ANY BUILDING EXCEPT THE ONE FOR WHICH THESE PLANS WERE ORIGINALLY ISSUED. SUCH USE WILL INDICATE AN UNAUTHORIZED USE OF COPYRIGHTED MATERIAL.

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 12A

LOCATION INFO:
LOT #
12A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 9, 2013

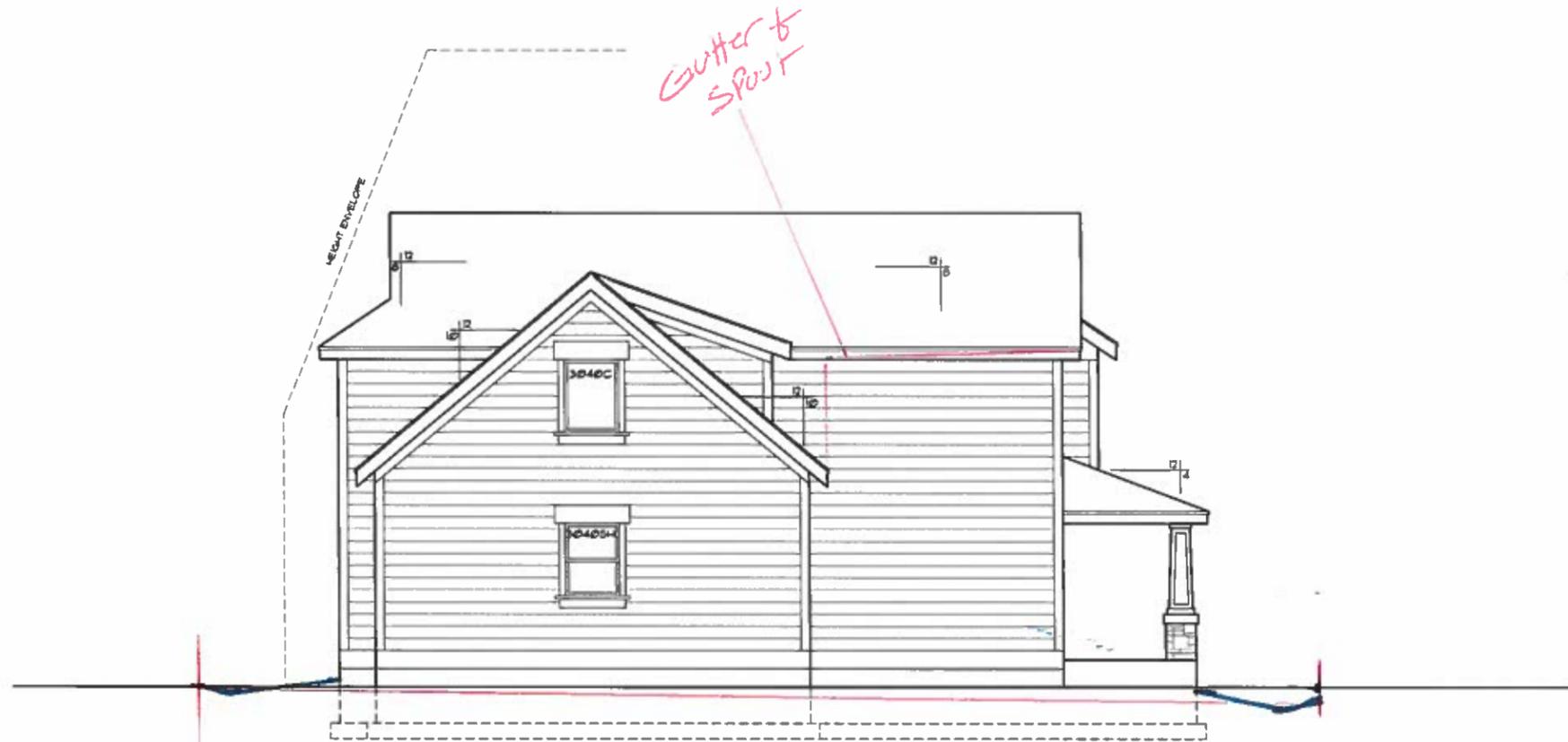
REVISION DATES
05/13/2013
05/15/2013
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER - TANNER - 1 - 0 - 0

**LEFT
ELEVATION**

A2 | 3

PAGE 7 OF 25



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1436 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE
INTELLECTUAL RIGHTS TO THIS
PROPERTY. ALL RIGHTS ARE
RESERVED AND SHALL NOT BE
REPRODUCED OR COPIED WITHOUT
THE EXPRESSED WRITTEN
CONSENT OF RFL DESIGN.
UNDER PENALTY OF PROSECUTION

THESE PLANS MAY NOT BE USED
FOR THE CONSTRUCTION OF ANY
BUILDING EXCEPT THE ONE FOR
WHICH THESE PLANS WERE
ORIGINALLY ISSUED. SUCH USE
WILL INDICATE AN UNAUTHORIZED
USE OF COPYRIGHTED MATERIAL

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 12A

LOCATION INFO:
LOT #
12A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 9, 2013

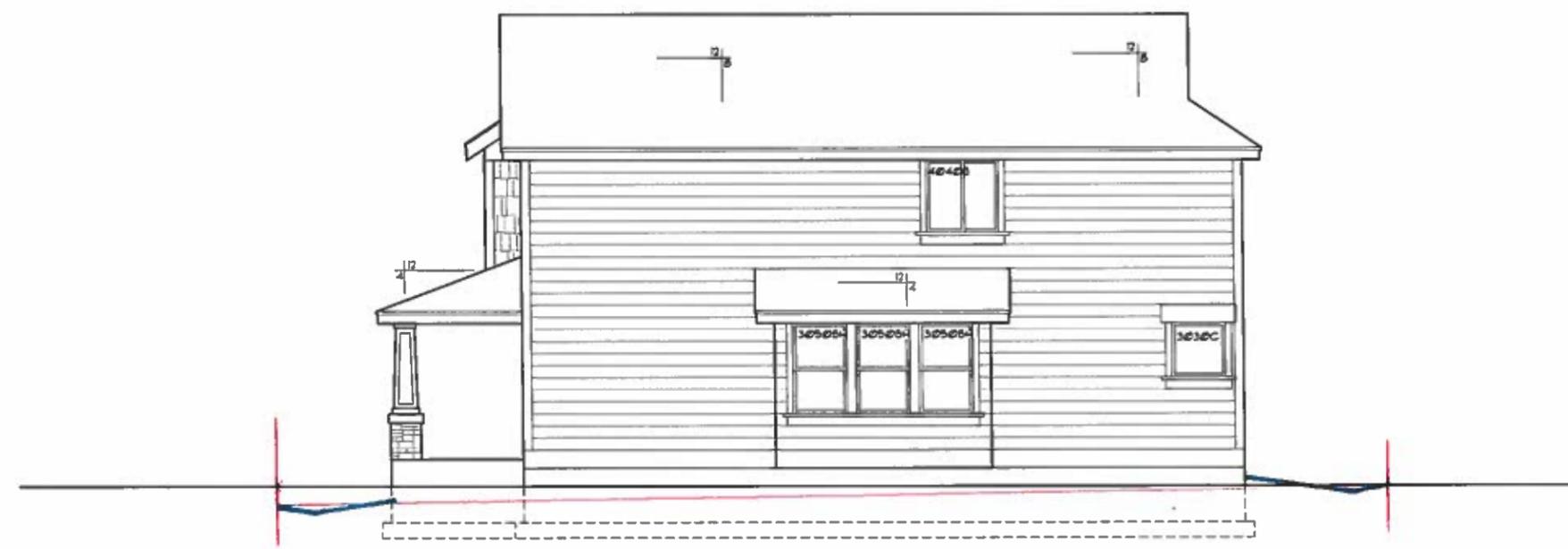
REVISION DATES
05/13/2013
05/15/2013
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER-C/140425-1-0-0

**RIGHT
ELEVATION**

A2 | 4

PAGE 8 OF 25



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1438 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE
INTELLECTUAL RIGHTS TO THIS
PROPERTY. ALL RIGHTS ARE
RESERVED AND SHALL NOT BE
REPRODUCED OR COPIED WITHOUT
THE EXPRESSED WRITTEN
CONSENT OF RFL DESIGN
UNDER PENALTY OF PROSECUTION

THESE PLANS MAY NOT BE USED
FOR THE CONSTRUCTION OF ANY
BUILDING EXCEPT THE ONE FOR
WHICH THESE PLANS WERE
ORIGINALLY ISSUED. SUCH USE
WILL INDICATE AN UNAUTHORIZED
USE OF COPYRIGHTED MATERIAL

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 11A

LOCATION INFO:
LOT #
11A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 15, 2013

REVISION DATES
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER - TANNER - 11A

**FRONT
REAR
ELEVATIONS**

A2 | 1

PAGE 5 OF 25



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



1438 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE
INTELLECTUAL RIGHTS TO THIS
PROPERTY. ALL RIGHTS ARE
RESERVED AND SHALL NOT BE
REPRODUCED OR COPIED WITHOUT
THE EXPRESSED WRITTEN
CONSENT OF RFL DESIGN.
UNDER PENALTY OF PROSECUTION

THESE PLANS MAY NOT BE USED
FOR THE CONSTRUCTION OF ANY
BUILDING EXCEPT THE ONE FOR
WHICH THESE PLANS WERE
ORIGINALLY ISSUED. SUCH USE
WILL INDICATE AN UNAUTHORIZED
USE OF COPYRIGHTED MATERIAL

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 11A

LOCATION INFO:
LOT #
11A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 15, 2013

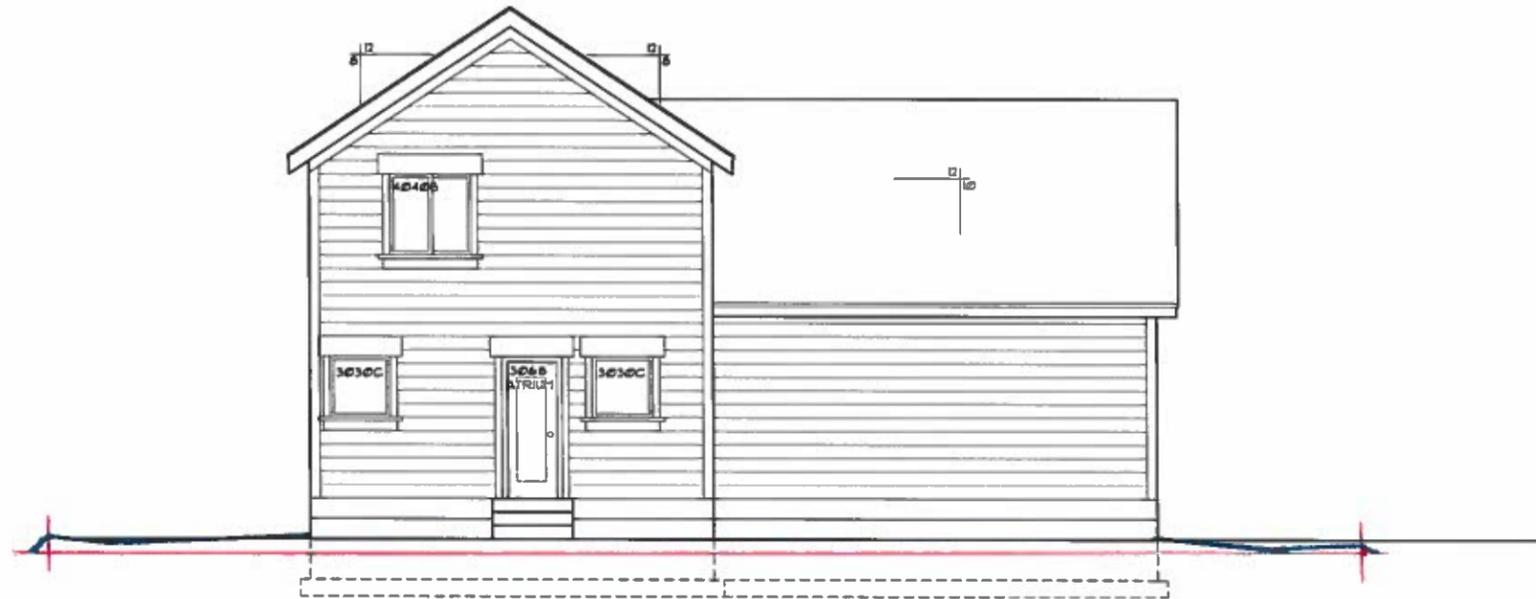
REVISION DATES
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER - 0-TANNER-1-0-B

**REAR
ELEVATION**

A2 | 2

PAGE 6 OF 25



REAR ELEVATION

SCALE: 1/4" = 1'-0"



1438 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE INTELLECTUAL RIGHTS TO THIS PROPERTY. ALL RIGHTS ARE RESERVED AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESSED WRITTEN CONSENT OF RFL DESIGN. UNDER PENALTY OF PROSECUTION.

THESE PLANS MAY NOT BE USED FOR THE CONSTRUCTION OF ANY BUILDING EXCEPT THE ONE FOR WHICH THESE PLANS WERE ORIGINALLY ISSUED. SUCH USE SHALL INDICATE AN UNAUTHORIZED USE OF COPYRIGHTED MATERIAL.

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 11A

LOCATION INFO:
LOT #
11A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 15, 2013

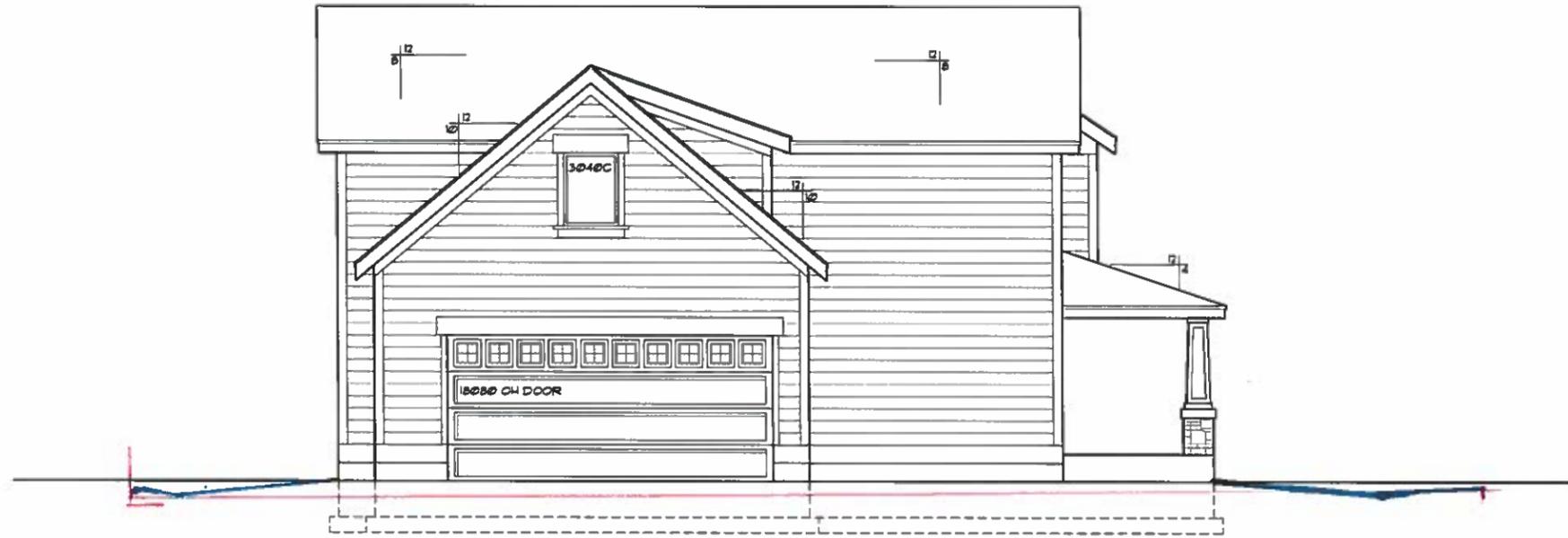
REVISION DATES
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX

1438 Legend Hills Dr. Clearfield, UT 84015

**LEFT
ELEVATION**

A2 | 3

PAGE 7 OF 25



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1438 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE
INTELLECTUAL RIGHTS TO THIS
PROPERTY. ALL RIGHTS ARE
RESERVED, AND SHALL NOT BE
REPRODUCED OR COPIED WITHOUT
THE EXPRESSED WRITTEN
CONSENT OF RFL DESIGN.
UNDER PENALTY OF PROSECUTION

THESE PLANS MAY NOT BE USED
FOR THE CONSTRUCTION OF ANY
BUILDING EXCEPT THE ONE FOR
WHICH THESE PLANS WERE
ORIGINALLY ISSUED. SUCH USE
WILL INDICATE AN UNAUTHORIZED
USE OF COPYRIGHTED MATERIAL.

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 11A

LOCATION INFO:
LOT #
11A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 15, 2013

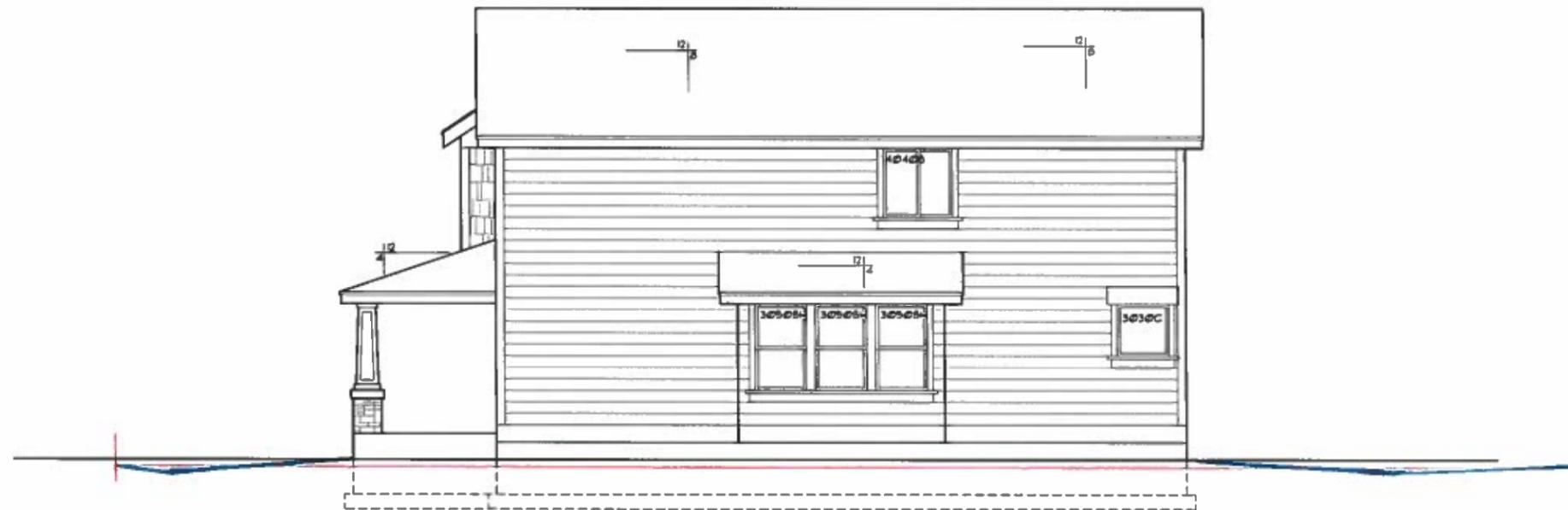
REVISION DATES
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER © TANNER 11A

**RIGHT
ELEVATION**

A2 | 4

PAGE 8 OF 25



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 24, 2013 the Hailey Planning & Zoning Commission considered an application submitted by Brant Tanner of Tanner Investments, LLC, for one new single-family residence to be located at Hailey Townsite, Blk 129, Lot 12A (710 S. River Street) located within the General Residential (GR) District and within the Townsite Overlay. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice

Notice for the public hearing was published in the Idaho Mountain Express on May 22, 2013 and mailed to property owners within 300 feet on May 22, 2013.

Application

One single-family dwelling located on Lot 12A Block 129 of the Hailey Townsite (710 S. River Street). Lot is 4800 square feet (60'X80'). The dwelling is two-story with 824 sf on the main level and 778 on the second level for a total living space of 1602 square feet. The garage is designed for two cars and comprises 528 square feet. A covered, front porch accents the home at the entrance. All construction will be in accordance with the 2009 International Residential Code and the Build Better Program of Hailey.

Procedural History

The application was submitted on May 14, 2013 and certified complete on May 30, 2013. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on June 10, 2013, at 6:30 pm in the Council Chambers. At that meeting, the Planning and Zoning Commission conditionally approved the Design Review Application contingent upon an acceptable drainage and grading plan to be submitted to city staff. The drainage and grading plans have been received and are acceptable to staff.

General Requirements for all Design Review Applications

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No concerns</i>
				Life/Safety: <i>No concerns</i>
				Water and Sewer: <i>No concerns</i>
				Building: <i>No concerns</i>
			Streets: <i>No concerns</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Staff Comments</i>	<i>Signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Per 9.4.1, two spaces per dwelling are required with a maximum of 6. • Homes will have a 2-car garages and the following: <ul style="list-style-type: none"> ○ Lot 11A (accessed via alley): One 10'X20' parking pad and a 6'X24' space in front of garage <ul style="list-style-type: none"> ▪ Adequate for two cars ○ Lot 12A (accessed via River Street): 22'X28' parking space, <ul style="list-style-type: none"> ▪ Adequate for two cars
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a) All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c) Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d) Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e) Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff Comments</i>	<i>Applicant will install Dark Sky compliant fixtures, as detailed in the submittal documents. Lights will be:</i>

				<ul style="list-style-type: none"> - <i>Shallow Airtight Ready Housing for the front porch and in front of garage</i> - <i>Forte Lighting Energy Efficient Craftsmen/Mission Outdoor Wall Sconce will be on the back porch. This is compliant with our Dark Sky Ordinance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	See 4.13.6, Zoning Ordinance
			Staff Comments	<p><i>Zoning District: General Residential in the Townsite Overlay. Townsite Overlay bulk requirements apply.</i></p> <ul style="list-style-type: none"> - <i>Max Height: 30'. Proposed building 26' 3" to the peak of the roof</i> - <i>Front Setbacks: TO: 12' from the street.</i> <ul style="list-style-type: none"> o <i>11A structure will be setback 20' from Maple with the front porch located at 12' from Maple</i> o <i>12A, setback is 13' from River Street and set back 12' from Maple. The front porch is located 5' from River</i> - <i>Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required</i> <ul style="list-style-type: none"> o <i>Lot 11A structure is fully compliant on all side setbacks</i> o <i>Lot 12A structure is compliant on all side setbacks, which is a minimum of 9' for this lot. For a lot width of 60', the minimum side setback in the TO is 9'. This is derived from the following formula: (60' X 15% = 9'). The revised plans show a 9' setback on the east side of 12A, adjacent to 11A.</i> - <i>Alley Setback: 6'</i> <ul style="list-style-type: none"> o <i>11A garage is located 6' from the alley right of way.</i> - <i>Maximum Lot coverage: 30% in GR for a two-story dwelling with a garage</i> <ul style="list-style-type: none"> o <i>Both dwellings will cover 28.2% of the total lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<ul style="list-style-type: none"> - <i>Five foot (5') sidewalk will be installed the length of the 12A property line along River Street and the length of the 11A property line along Maple. (see plans)</i> - <i>The sidewalk will stub out at the alley at the end of the 11A property line.</i> - <i>Sidewalk along River St. will connect with existing sidewalks on S. River that terminate the 12A property line.</i> - <i>Applicant has been advised that on-site retention is required for all drainage on the property. Under no circumstances will drainage be allowed to encroach on adjacent properties or into the public right of way.</i> - <i>As shown in the Drainage Plan submitted with the Design Review materials for Lots 11A and 12A, the developer shall grade and develop the lots to retain all storm water on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (B) Required Water System Improvement	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the

			nts	City Engineer.
			Staff Comments	<ul style="list-style-type: none"> - Per the plat for Lots 11A and 12A, water service for Lot 12A will not cross 11A. - Services will be stubbed off of the alley and Maple Street. - All water lines will be installed 6' feet deep. The developer has been notified that if the existing lines are not 6' deep, he will need to drop down the service line to below 6' deep.

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO): 6A.9

1. Site Planning: 6A.9.C.1

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	The pattern created by the Old Hailey town grid should be respected in all site planning decisions.
			Staff Comments	<ul style="list-style-type: none"> • Both Lots 11A and 12A are 60'X80'. While not a traditional Old Hailey Townsite Lot, they fulfill the intent of rectangular lots and allowing for as much open space as possible.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units.
			Staff Comments	<ul style="list-style-type: none"> • The proposed site plan and development is consistent with the required site planning guidelines. • Where possible, access is provided from the alley (Lot 11A). • All utilities will be located underground as shown on the site plan for both lots. • All utilities for both lots are accessed from the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.
			Staff Comments	<ul style="list-style-type: none"> • The structures are designed to maximize solar exposure to the south facing sides on both Lots 11A and 12A as much as possible (more

				<i>emphasized on 12A with south facing windows).</i>
2. Bulk Requirements (Mass and Scale, Height, Setbacks): 6A.9.C.2				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.2	The perceived mass of larger buildings shall be diminished by the design.
			Staff Comments	<ul style="list-style-type: none"> <i>The proposed structures will be consistent in size and mass to the surrounding structures and with the surrounding neighborhood.</i>
3. Architectural Character: 6A.9.C.3				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.a	General: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.
			Staff Comments	<ul style="list-style-type: none"> <i>Architectural style is a two-story bungalow with themes currently found in Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.
			Staff Comments	<ul style="list-style-type: none"> <i>Both entrances face the adjacent street. The dwelling on 11A faces Maple and the dwelling on 12A faces River Street.</i> <i>Unrestricted pedestrian access to both entrances from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			Staff Comments	<ul style="list-style-type: none"> <i>Both structures on Lots 11A and 12A face the adjacent streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.c	Building Form: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			Staff Comments	<ul style="list-style-type: none"> <i>Porch roofs, shed dormer, and pop-out roofs break up the lines of the building. This is consistent with styles and forms found in Old Hailey</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			Staff Comments	<ul style="list-style-type: none"> <i>Porch roofs, shed dormer, and pop-out roofs break up the lines of the building. This is consistent with styles and forms found in Old Hailey</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof pitch and style shall be designed to meet snow storage needs for the site.
			Staff Comments	<ul style="list-style-type: none"> <i>Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas.</i> <i>Designs should avoid locating drip lines over key pedestrian routes.</i> <i>Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.</i>
			Staff Comments	<ul style="list-style-type: none"> <i>Roof materials: Asphalt shingles, designed to retain the snow.</i> <i>Roof Pitch: 8/12, 10/12, and 4/12 (porch roof)</i>

				<ul style="list-style-type: none"> • <i>Snow clips are recommended for the porch roof over the entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<p>Roof Form: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> • <i>The following forms are currently found in the neighborhood:</i> <ul style="list-style-type: none"> ○ <i>Architectural asphalt shingles</i> ○ <i>gable end roofs</i> ○ <i>Shed dormers.</i> • <i>The application is consistent with the neighborhood in regards to roof forms and materials</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	<p>Roof Form: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> • <i>Roof pitch is 12/8 and gabled roofs are consistent with the surrounding neighborhood, as well as the DR guidelines.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<p>Wall Planes: Primary wall planes should be parallel to the front lot line.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> • <i>Both lots have the primary wall plane sited parallel to the front lot line.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<p>Wall Planes: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.</p> <p><i>Staff Comments</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	<p>Wall Planes: The use of pop-outs to break up longer wall planes is encouraged.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> • <i>Proposed structures utilize pop-outs along the south side for 12A and the west side for 11A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<p>Windows: Windows facing streets are encouraged to be of a traditional size, scale and proportion.</p> <p><i>Staff Comments</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	<p>Windows: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> • <i>Where Lots 11A and 12A adjoin, windows have been minimized and oriented to ensure maximum privacy between the dwellings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.g	<p>Decks and Balconies: Decks and balconies shall be in scale with the building and the neighborhood.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> • <i>No decks or balconies are proposed. The front porch is in scale with the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.g	<p>Decks and Balconies: Decks and balconies should be designed with the privacy of neighbors in mind when possible.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> • <i>No decks or balconies proposed</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	<p>Building Materials and Finishes: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.</p> <p>Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> - <i>Wall Materials: Hardy board lap siding (see materials) with 7' exposure between laps. With the lap siding, the appearance of texture will be present.</i> - <i>Pop-outs: Hardy board shingle panels will be used in the pop-out over the front porch. Material is a fiber cement, shingle panel, 5/16" thick.</i> - <i>Wainscoting: Faux stone wainscoting will be present on the front façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	<p>Building Materials and Finishes: Large wall planes shall incorporate more than one</p>

				material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	<i>See above</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural detailing shall be incorporated into the front wall plane of buildings.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Stone wainscoting and shingle panel siding will be present on the front façade. Also, pop-outs and dormers are present on the front façade to break up the wall plane.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Proposed front porch is consistent with the styles of Old Hailey.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> See above notes.

4. Circulation and Parking: 6A.9.C.4

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Adequate parking has been provided and pedestrian access off the adjacent streets is provided and does not interfere with traffic from the streets.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Two car garages are provided with access from the alley onto the structure located on Lot 11A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Where possible, access was provided from the alley.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> For Lot 12A, garage is set back 20' from the street and 14' from the front wall plane, consistent with the setbacks for the zone/overlay and breaks up the front wall plane. Lot 11A garage is accessed via the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> A two car driveway and a two car garage is planned. Developer would like to keep the two car driveway to minimize parking on River St. when necessary and concentrate all parking on-site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.

			Staff Comments	<ul style="list-style-type: none"> Lot 11A has RV parking planned on a 10' X 26' parking pad off the alley. Lot 12A does not have RV parking.
--	--	--	-----------------------	--

5. Alleys: 6A.9.C.5

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties. <i>Staff Comments</i> Lot 12A does not have alley access. Alley access was eliminated during the Lot Line Adjustment to accommodate the current site plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged. <i>Staff Comments</i> <ul style="list-style-type: none"> Lot 11A is accessed via the alley to the garage and RV parking is located off the alley. No accessory buildings are planned for this site (none could be built because of the maximum lot coverage limit.)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity. <i>Staff Comments</i> <ul style="list-style-type: none"> The alley is currently graveled and no improvements are planned. Noxious weeds will be removed before construction commences.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs. <i>Staff Comments</i> Xeriscaping is planned for the alley side of Lot 11A with some paving for access to the garage

6. Accessory Structures: 6A.9.C.6

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.6	Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function. <i>Staff Comments</i> No accessory structures are planned.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical. <i>Staff Comments</i> No accessory structures are planned.

7. Snow Storage: 6A.9.C.7

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: All projects shall be required to provide 25% snow storage on the site. <i>Staff Comments</i> <ul style="list-style-type: none"> The proposed dwellings are setback far enough from the adjacent property lines to avoid shedding onto the adjacent properties.

				- 1750 sf of total lot area is provided for snow storage. This is 25% of the total lot (Lot size is 4800 feet).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	<p>Guideline: A snow storage plan shall be developed for every project showing:</p> <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Snow storage areas do not restrict pedestrian access. Pedestrian access must be unrestricted and visible from the adjacent streets.

8. Existing Mature Trees and Landscaping: 6A.9.C.8

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	<p>Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	<p>Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.</p>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	<p>Guideline: Noxious weeds shall be controlled according to State Law.</p>
			<i>Staff Comments</i>	Noxious weeds are present on the site. Developer plans to scrap the two lots bare before beginning construction.

9. Fences and Walls: 6A.9.C.9

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p>Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.</p>
			<i>Staff Comments</i>	No fences are planned
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p>Guideline: Retaining walls shall be in scale to the streetscape.</p>
			<i>Staff Comments</i>	No retaining walls are planned

10. Historic Structures: 6A.9.C.10 (NOTE: Applicable only to structures built prior to 1940)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.10	<p>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</p> <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ○ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ○ Exterior materials that are compatible with the original building materials should be selected; ○ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ○ The visual impact of the addition should be minimized from the street; ○ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ○ The roof form and slope of the roof on the addition should be in character with the original building; <p>The relationship of wall planes to the street and to interior lots should be preserved with new additions.</p>
			<i>Staff Comments</i>	

6A.6 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.

- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

DECISION

The Design Review of Lot 12A, Block 127, Hailey Townsite (710 S River Street), within the General Residential (GR) and Townsite Overlay (TO) zoning districts is hereby approved subject to the following terms and conditions:

1. The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
2. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
3. All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required
4. A sidewalk and drainage improvements, running the length of the property line adjacent to the public right of way is required. An In-lieu contribution to the City of Hailey for sidewalk improvements will be acceptable, according to 6A.7.6 of the Zoning Ordinance.
5. Building service areas shall be located off alley and away from public view or building frontage areas.
6. Blue board insulating material is required for water mains and individual water service lines less than 6 feet deep.

7. All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
8. This Design Review approval shall expire one (1) year from the date these Findings of Fact are signed, unless a building permit application has been submitted to the Building Department.
9. This project is subject to Development Impact Fees pursuant to Municipal Code Chapter 15.16. The estimated fee is determined at the time of Building Permit application.
10. Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
11. Except as otherwise provided, all the required building, landscaping, site, infrastructure improvements and all other conditions of approval shall be constructed and completed, or security in the amount of 150% of the estimated cost as approved by the City, before a Certificate of Occupancy will be issued.
12. This Design Review approval is subject to the following conditions:
 - a) All applicable Fire Department and Building Department requirements shall be met, including but not limited to:
 - a. Prior to installation of the new fence, a fence permit shall be obtained from the Community Development Department and the plans for the fence shall meet the standards of Section 8.1, Hailey Zoning Ordinance.
 - b. No auxiliary apparatus (e.g. utility meters, fire suppression equipment) may extend into any public right-of-way.
 - c. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional parking, improvements and/or approvals.
13. Subject to all restrictions listed on the recorded plat for this lot and, if applicable, subdivisions.

A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this ____ day of _____, 2013.

 Geoffrey Moore, Chair

Attest:

 Kristine Hilt, Community Development Coordinator



1436 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE INTELLECTUAL RIGHTS TO THIS PROPERTY. ALL RIGHTS ARE RESERVED, AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESSED WRITTEN CONSENT OF RFL DESIGN. UNDER PENALTY OF PROSECUTION.

THESE PLANS MAY NOT BE USED FOR THE CONSTRUCTION OF ANY BUILDING EXCEPT THE ONE FOR WHICH THESE PLANS WERE ORIGINALLY ISSUED. SUCH USE WILL INDICATE AN UNAUTHORIZED USE OF COPYRIGHTED MATERIAL.

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 12A

LOCATION INFO:
LOT #
12A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 9, 2013

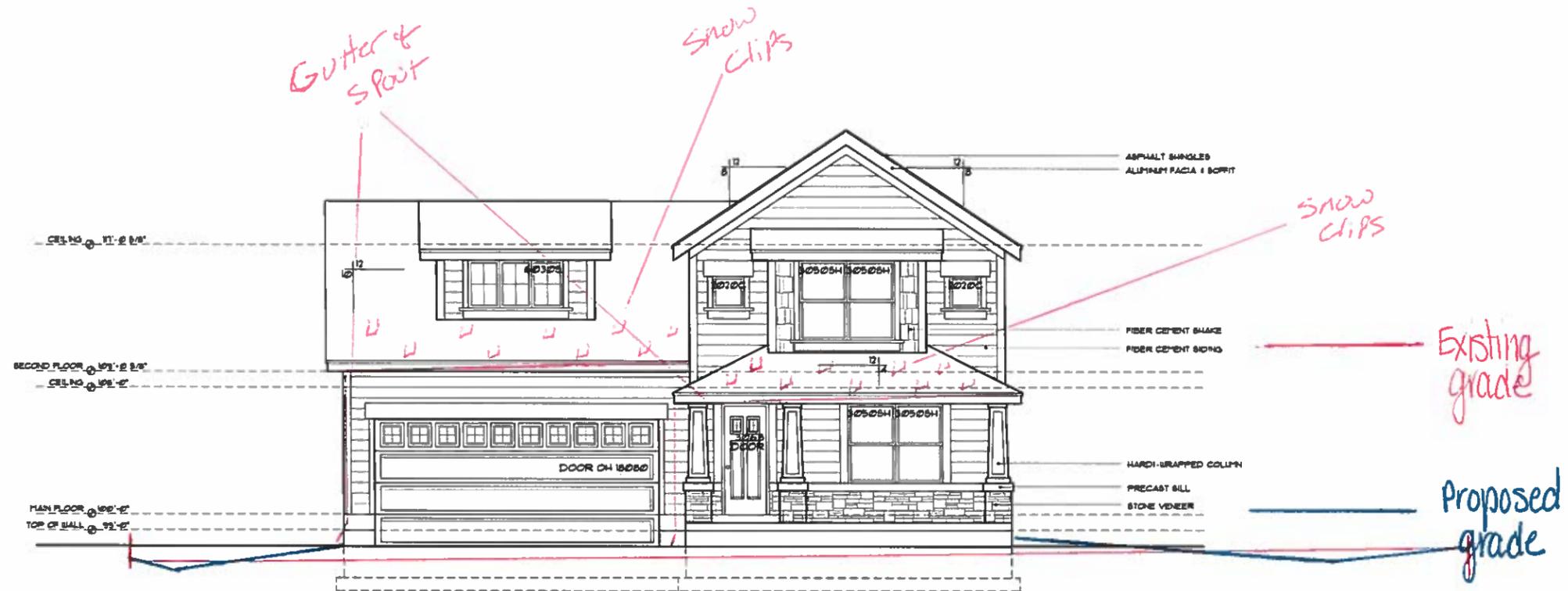
REVISION DATES
05/13/2013
05/15/2013
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER - TANNER - 1-0-0

**FRONT
REAR
ELEVATIONS**

A2 | 1

PAGE 5 OF 25



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



1436 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RML DESIGN MAINTAINS THE
INTELLECTUAL RIGHTS TO THIS
PROPERTY. ALL RIGHTS ARE
RESERVED, AND SHALL NOT BE
REPRODUCED OR COPIED WITHOUT
THE EXPRESSED WRITTEN
CONSENT OF RML DESIGN.
UNDER PENALTY OF PROSECUTION

THESE PLANS MAY NOT BE USED
FOR THE CONSTRUCTION OF ANY
BUILDING EXCEPT THE ONE FOR
WHICH THESE PLANS WERE
ORIGINALLY ISSUED. SUCH USE
WILL INDICATE AN UNAUTHORIZED
USE OF COPYRIGHTED MATERIAL.

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 12A

LOCATION INFO:
LOT #
12A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 9, 2013

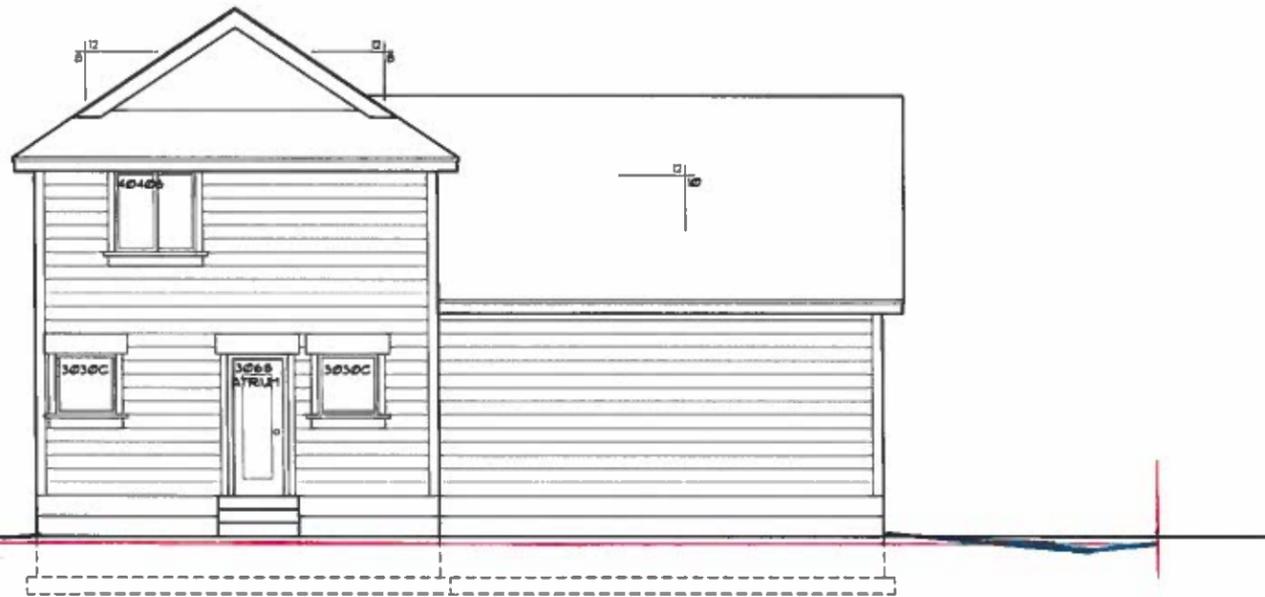
REVISION DATES
05/13/2013
05/15/2013
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER - TANNER - 11-0-0

**REAR
ELEVATION**

A2 | 2

PAGE 6 OF 25



REAR ELEVATION

SCALE: 1/4" = 1'-0"



1438 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE
INTELLECTUAL RIGHTS TO THIS
PROPERTY. ALL RIGHTS ARE
RESERVED, AND SHALL NOT BE
REPRODUCED OR COPIED WITHOUT
THE EXPRESSED WRITTEN
CONSENT OF RFL DESIGN.
UNDER PENALTY OF PROSECUTION

THESE PLANS MAY NOT BE USED
FOR THE CONSTRUCTION OF ANY
BUILDING EXCEPT THE ONE FOR
WHICH THESE PLANS WERE
ORIGINALLY ISSUED. SUCH USE
WILL INDICATE AN UNAUTHORIZED
USE OF COPYRIGHTED MATERIAL.

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 12A

LOCATION INFO:
LOT #
12A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 9, 2013

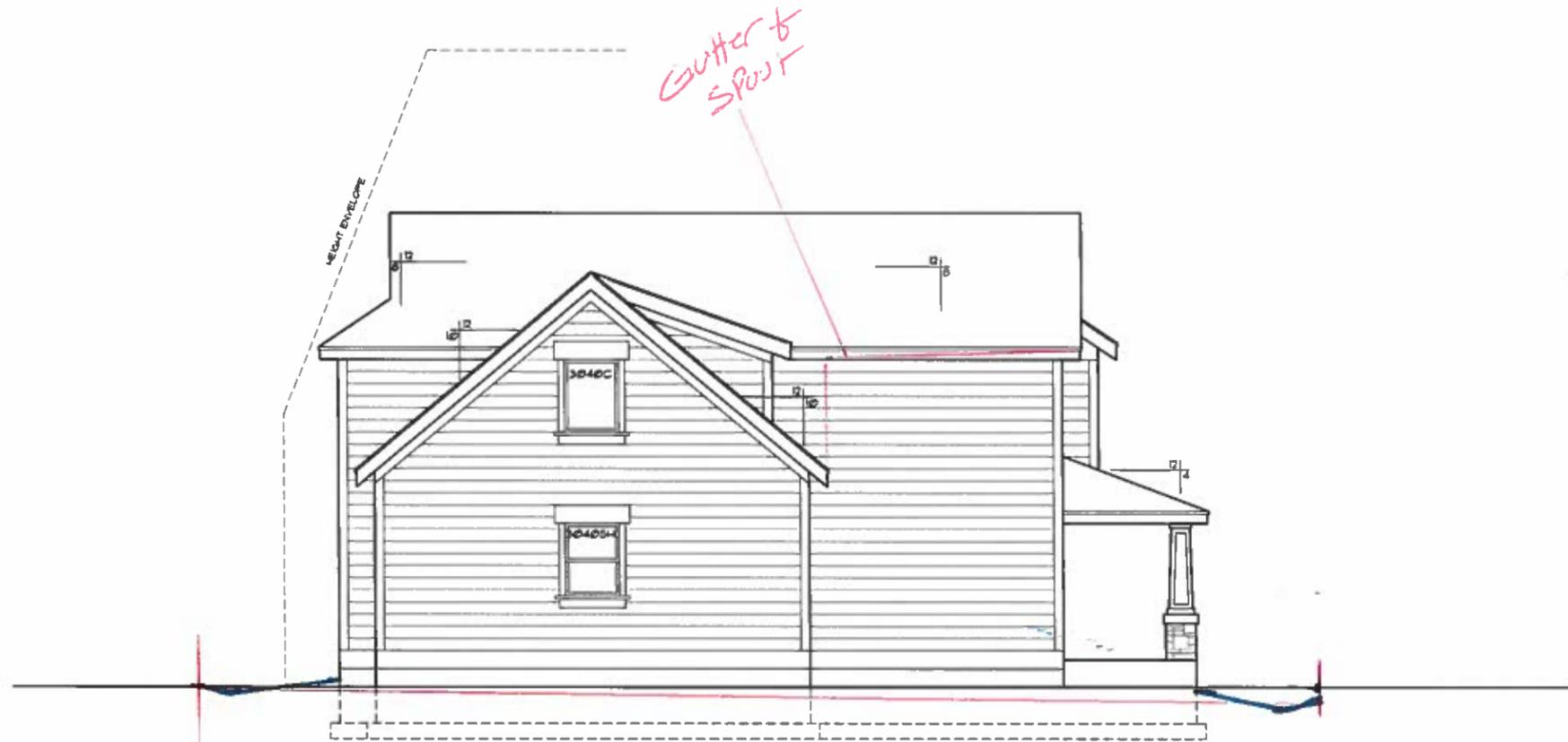
REVISION DATES
05/13/2013
05/15/2013
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER - TANNER - 1 - 0 - 0

**LEFT
ELEVATION**

A2 | 3

PAGE 7 OF 25



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1438 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION

RFL DESIGN MAINTAINS THE
INTELLECTUAL RIGHTS TO THIS
PROPERTY. ALL RIGHTS ARE
RESERVED AND SHALL NOT BE
REPRODUCED OR COPIED WITHOUT
THE EXPRESSED WRITTEN
CONSENT OF RFL DESIGN.
UNDER PENALTY OF PROSECUTION

THESE PLANS MAY NOT BE USED
FOR THE CONSTRUCTION OF ANY
BUILDING EXCEPT THE ONE FOR
WHICH THESE PLANS WERE
ORIGINALLY ISSUED. SUCH USE
WILL INDICATE AN UNAUTHORIZED
USE OF COPYRIGHTED MATERIAL

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 12A

LOCATION INFO:
LOT #
12A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 9, 2013

REVISION DATES
05/13/2013
05/15/2013
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER-C-1-0000-1-0-0

**RIGHT
ELEVATION**

A2 | 4

PAGE 8 OF 25



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1438 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE
INTELLECTUAL RIGHTS TO THIS
PROPERTY. ALL RIGHTS ARE
RESERVED AND SHALL NOT BE
REPRODUCED OR COPIED WITHOUT
THE EXPRESSED WRITTEN
CONSENT OF RFL DESIGN
UNDER PENALTY OF PROSECUTION

THESE PLANS MAY NOT BE USED
FOR THE CONSTRUCTION OF ANY
BUILDING EXCEPT THE ONE FOR
WHICH THESE PLANS WERE
ORIGINALLY ISSUED. SUCH USE
WILL INDICATE AN UNAUTHORIZED
USE OF COPYRIGHTED MATERIAL

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 11A

LOCATION INFO:
LOT #
11A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 15, 2013

REVISION DATES
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER - TANNER - 11A

FRONT
REAR
ELEVATIONS

A2 | 1

PAGE 5 OF 25



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



1438 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION

RFL DESIGN MAINTAINS THE
INTELLECTUAL RIGHTS TO THIS
PROPERTY. ALL RIGHTS ARE
RESERVED AND SHALL NOT BE
REPRODUCED OR COPIED WITHOUT
THE EXPRESSED WRITTEN
CONSENT OF RFL DESIGN.
UNDER PENALTY OF PROSECUTION

THESE PLANS MAY NOT BE USED
FOR THE CONSTRUCTION OF ANY
BUILDING EXCEPT THE ONE FOR
WHICH THESE PLANS WERE
ORIGINALLY ISSUED. SUCH USE
WILL INDICATE AN UNAUTHORIZED
USE OF COPYRIGHTED MATERIAL

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 11A

LOCATION INFO:
LOT #
11A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 15, 2013

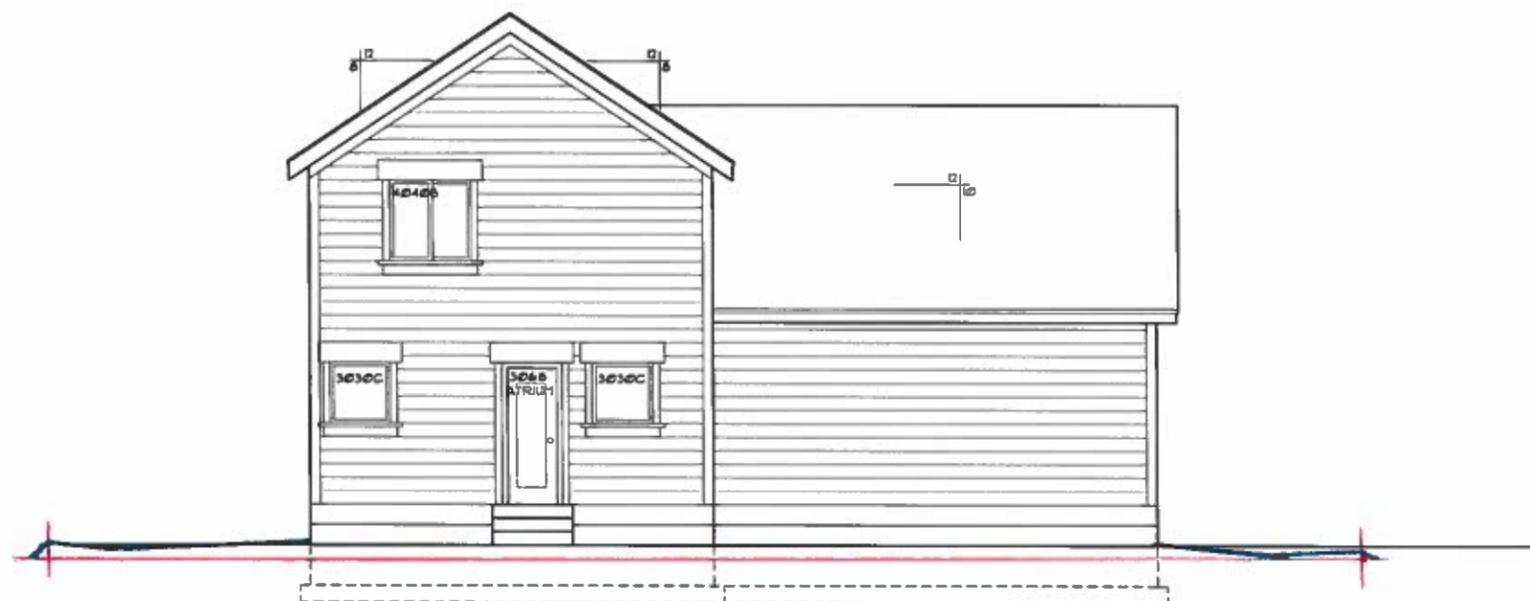
REVISION DATES
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER - 0-TANNER-1-0-B

**REAR
ELEVATION**

A2 | 2

PAGE 6 OF 25



REAR ELEVATION

SCALE: 1/4" = 1'-0"



1438 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE INTELLECTUAL RIGHTS TO THIS PROPERTY. ALL RIGHTS ARE RESERVED AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE EXPRESSED WRITTEN CONSENT OF RFL DESIGN. UNDER PENALTY OF PROSECUTION.

THESE PLANS MAY NOT BE USED FOR THE CONSTRUCTION OF ANY BUILDING EXCEPT THE ONE FOR WHICH THESE PLANS WERE ORIGINALLY BASED. SUCH USE SHALL INDICATE AN UNAUTHORIZED USE OF COPYRIGHTED MATERIAL.

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 11A

LOCATION INFO:
LOT #
11A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 15, 2013

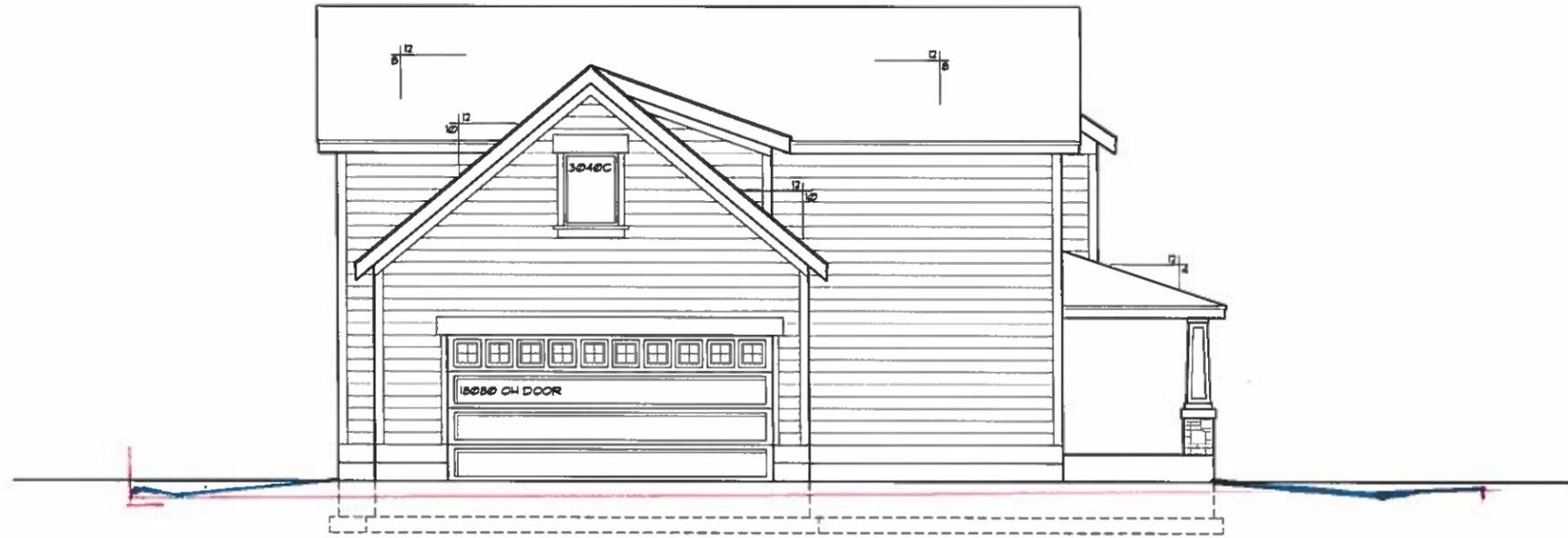
REVISION DATES
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX

1438 S. LEGEND HILLS DR. #320

**LEFT
ELEVATION**

A2 | 3

PAGE 7 OF 25



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



1436 S. LEGEND HILLS DR. #320
CLEARFIELD, UTAH 84015
801.217.3727

ATTENTION
RFL DESIGN MAINTAINS THE
INTELLECTUAL RIGHTS TO THIS
PROPERTY. ALL RIGHTS ARE
RESERVED, AND SHALL NOT BE
REPRODUCED OR COPIED WITHOUT
THE EXPRESSED WRITTEN
CONSENT OF RFL DESIGN.
UNDER PENALTY OF PROSECUTION

THESE PLANS MAY NOT BE USED
FOR THE CONSTRUCTION OF ANY
BUILDING EXCEPT THE ONE FOR
WHICH THESE PLANS WERE
ORIGINALLY ISSUED. SUCH USE
WILL INDICATE AN UNAUTHORIZED
USE OF COPYRIGHTED MATERIAL.

© ALL RIGHTS RESERVED

PROJECT NAME:
TANNER RIVER
LOT 11A

LOCATION INFO:
LOT #
11A
SUBDIVISION
HAILEY TOWN
SITE BLOCK 129
CITY
HAILEY
STATE
IDAHO

CLIENT NAME:
TANNER
CONSTRUCTION

PLAN NAME:
CUSTOM

ORIGINAL RELEASE:
MAY 15, 2013

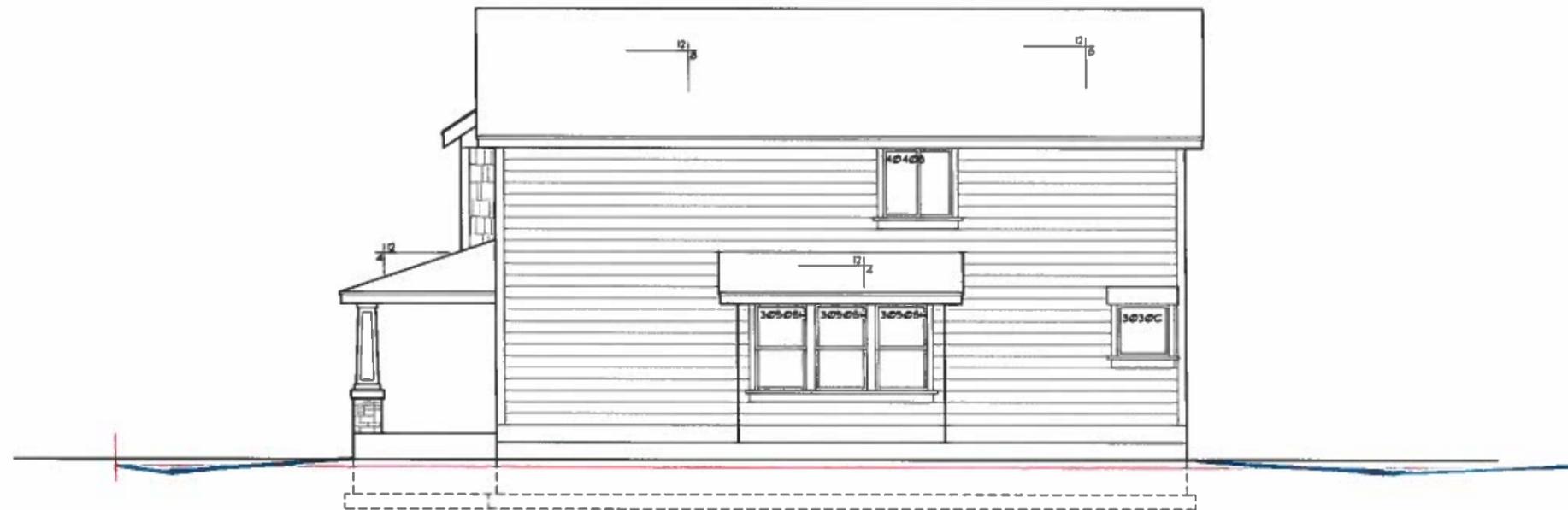
REVISION DATES
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX
XX/XX/XXXX

TANNER RIVER © TANNER 11A

**RIGHT
ELEVATION**

A2 | 4

PAGE 8 OF 25



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

DRAFT Ordinance Addressing Beekeeping in the City of Hailey

KEEPING OF BEEHIVES:

(A) Purpose: The purpose of this section is to protect the public health and safety by establishing terms and conditions under which domestic honeybees and beehives may be kept within the City.

(B) Definitions:

APIARY: Any place where one or more colonies of honeybees are located.

BEEKEEPER: A person who owns or has charge of one (1) or more colonies of honeybees.

COLONY: Honeybees in a hive including queens, workers, and drones.

HIVE: A frame hive, commonly referred to as a Langstroth Hive, which has removable frames.

HONEYBEE: The common domestic honeybee. *Apis mellifera* species, at any stage of maturity, but excluding the African honeybee, *Apis mellifera scutelata* species.

OWNER: Any person or entity who owns, leases or controls a parcel of real property upon which an apiary is kept.

(C) Beekeeping allowed. No Beekeeper or Owner shall place, keep or allow any apiary or colony of bees in or upon any parcel of real property located within the City unless such apiary conforms to the provisions of this section.

(D) Terms and Conditions: All apiaries or colonies of honeybees kept within the City shall conform to the following terms and conditions:

1. The apiary or colony shall consist of no more than two (2) hives on lots that are 8,000 square feet or smaller; three (3) hives on lots from 12,000 to 20,000 square feet and up to five (5) hives on lots that are one-half acre or more.

2. The apiary or colony is maintained only in a side or rear yard of a residential lot. Apiaries or colonies shall not be kept or maintained in a commercial or industrial zone.

3. Honeybees shall be kept in hives with removable frames and shall be kept in sound and usable condition.

4. Hives shall be placed no less than seven feet (7') from any property line and at least six inches (6") above the ground, measured from the ground to the lowest portion of the hive. Hives shall not be placed within thirty feet (30') of any dwelling, porch, gazebo, swing set, sandbox, playground equipment, deck or

swimming pool, unless the owner of such dwelling, equipment or property has given written consent for hive placement.

5. If any hive is located within thirty feet (30') of an adjacent property line, a fence, closed hedge, building or other impervious barrier no less than six feet (6') high and twenty feet (20') in length and shall be located between the hive and the adjacent property line.

6. A fresh water supply will be maintained at all times, except during winter months when the bees are hibernating, within fifteen to twenty five feet of the apiary in order to prevent the bees from congregating at neighboring water sources.

7. No species of bee is kept other than *Apis mellifera*.

8. Queens shall be selected from stock bred for gentleness and non-swarmling characteristics.

9. If the colony exhibits unusually aggressive behavior or when the colony includes Africanized bees, the beekeeper or owner shall promptly remove or re-queen the colony.

10. All hives shall have a legible identification label securely fastened thereupon bearing the name and telephone number of the beekeeper who owns the hive.

11. All apiaries or colonies shall comply with the Idaho State Bee Inspection statute and other applicable state laws.