

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, July 8, 2013
Hailey City Hall
6:30 p.m.

Call to Order

Public Comment for items not on the agenda

Consent Agenda

- CA 1 Motion to approve minutes of June 24, 2013 regular meeting and workshop on beekeeping.
- CA 2 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application submitted by Brant Tanner of Tanner Investments, LLC for Design Review of a new single-family residence, to be located at Hailey Townsite, Blk 129, Lot 12A, within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.
- CA 3 Motion to approve Findings of Fact and Conclusions of Law for a Design Review exemption application submitted by Sturtos Hailey, represented by Jeff Davis, for new paint colors for the exterior of the building located on Lots 9 and 10, Block 44, Hailey Townsite (1 West Carbonate)

New Business

- NB 1 Public hearing and consideration of a Design Review application by The Cottages of Sun Valley, represented by Jason Tomlinson and Suzanne Asay, for the construction of a Residential Care Facility, providing assisted and independent living services, located on Lot 2, Block 1 of Northridge Subdivision #8 (northeast corner of McKercher/Hwy75 intersection), within the Limited Residential 1 (LR-1) District. In addition to the Design Review application, public comment is invited for any public infrastructure improvements constructed in connection to this project, pursuant to Title 18 of the Hailey Municipal Code.
- NB 2 Public Hearing and consideration of a Design Review application by Gerald and Lisa Flaherty for the construction of an accessory structure (garage with a garden room), located at Hailey Townsite, Blk 24, Lots 21 & 22 (316 3rd Avenue South), within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts. In addition to the Design Review application, public comment is invited for any public infrastructure improvements constructed in connection to this project, pursuant to Title 18 of the Hailey Municipal Code.
- NB 3 Public Hearing and consideration of an application for Preliminary Plat proposal for Northridge VIII Subdivision to be located at Lot 2, Block 1, within the Limited

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

Residential 1 (LR-1) Zoning District. Proposed name of subdivision is Northridge X Subdivision with a total property area of 4.75 acres spreading across a total of 2 Lots. In addition to the Preliminary Plat application, public comment is invited for any public infrastructure improvements constructed in connection to this project, pursuant to Title 18 of the Hailey Municipal Code.

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

SR 1 Discussion of current building activity and upcoming projects
(no documents)

SR 2 Discussion of the next Planning and Zoning meeting: Monday, July 22, 2013
(no documents)

**NOTE: The Planning and Zoning meeting on July 22 will begin at 5:30 pm.
After that date, all Planning and Zoning meeting will begin at 5:30 pm.**

Adjourn

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

**MINUTES OF THE
HAILEY PLANNING & ZONING COMMISSION
Monday, June 24, 2013
Hailey City Hall
6:30 p.m.**

Present: Geoffrey Moore, Owen Scanlon, Regina Korby, Jay Cone

Absent: Janet Fugate

Staff: Micah Austin, Kristine Hilt, Jim Lynch

Call to Order

[6:30:27 PM](#) Chair Moore called the meeting to order.

Public Comment for items not on the agenda

[6:31:12 PM](#) None.

Consent Agenda

CA 1 Motion to approve minutes of June 10, 2013 regular meeting

[6:31:39 PM](#) **Owen Scanlon moved to pull item CA 2 and CA 3.** Jay Cone added that he was not present for previous reviews. Regina Korby noted that on the previous minutes at 7:15 pm, Chet Hower was spelled incorrectly. It should be documented as Chad Howard.

[6:32:24 PM](#) **Chair Moore moved to approve minutes. Regina Korby seconded and the motion passed unanimously.**

CA 2 & 3 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application submitted by Brant Tanner of Tanner Investments, LLC for Design Review of a new single-family residence, to be located at Hailey Townsite, Blk 129, Lot 11A & 12A, within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

[6:32:55 PM](#) Owen Scanlon expressed concerns in regards to drainage and plat elevations adding that the design review criteria have still not been met. Discussion continued to include the possibility of retaining walls and dry well. Brant Tanner defended his interpretation of the needs of the commission adding that he did not recall certain requests being made in the previous meeting. Chair Moore added concerns about the driveway exiting into River Street. He noted slope and egress concerns. [6:39:52 PM](#) Discussion of grade and elevation continued about slope and driveway concerns. Chair Moore noted his concerns as safety issues of an unsupportive foundation. [6:43:48 PM](#) Brant Tanner recalled the previous meetings requirements including grading plan and snow clips. [6:44:53 PM](#) Chair Moore and Brant Tanner continued discussion of immediate slope of driveway including the footers of the foundation. Jay Cone asked Owen Scanlon if he had a similar interpretation of the numbers while pointing out that the City Building Official, Jim Lynch, was present at the meeting. Jay Cone then added that according to the ordinance, elevation requirements had been previously set for similar projects of this nature. Discussion continued about Design Review criteria, slope and grade. [6:51:26 PM](#) Discussion between Micah Austin and the commission continued to involve city ordinance, requirements, and further specific needs of Lot 12A. Micah Austin asked the commission if they had concerns

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with Lot 11A. Chair Moore and Owen Scanlon noted they did not have any concerns. [6:54:33 PM](#) Chair Moore and Owen Scanlon clarified specific needs and asked the advice of the City Engineer, Tom Hellen who is not present. Micah Austin read Tom Hellen's email response to Brant Tanner's plans which clarified city drainage requirements. [7:02:13 PM](#) The commission and Micah Austin conversed requirements, specifics, and purposes of each. Discussion of the role of the commission and decision making continued. [7:08:35 PM](#) Micah Austin asked for a final clarification of the Commission's requests. Owen Scanlon and Chair Moore clarified. Jay Cone added that some of the requests had already been submitted. [7:14:29 PM](#) Chair Moore and Owen Scanlon continued to outline concerns about the safety of the future residents in regards to the proposed slope of the driveway. Jim Lynch, Building Official, added code requirements for passing inspections. [7:19:15 PM](#) Jay Cone and Regina Korby noted that the encroachment would be inspected by the City Engineer, Tom Hellen, and the Building Official, Jim Lynch. [7:22:43 PM](#) Regina Korby added that certain concerns of the council may not be within the realm of their purpose.

[7:24:31 PM](#) [7:24:31 PM](#) Jay Cone moved to approve the Design Review application by Brant Tanner for Block 129, Lot 11A. Regina Korby seconded, and the motion carried unanimously.

[7:25:28 PM](#) Jay Cone moved to continue the Design Review application by Brant Tanner for Block 129, Lot 12 A to the upcoming Planning and Zoning meeting, July 8th, with the following requests:

1. Finished floor elevation
2. Spot elevation of all four corners
3. Elevations of top and bottom of driveway
4. Confirm record of grade

Regina Korby seconded. Chair Moore added the following conditions:

5. Location of sidewalk in proximity to property line
6. Dimensions of stairs coming off public sidewalk to dwelling on Lot 12A

[7:28:14 PM](#) Brant Tanner requested permission to submit building permit applications for both lots. Jay Cone noted that no building permit application may be submitted with final approval of the Design Review. Micah Austin clarified that Brant Tanner could submit the building permits for processing purposes, however a permit would not be issued for the dwelling on Lot 12A until after the Findings of Fact had been approved.

[7:29:03 PM](#) Chair Moore moved to approve the motion with the conditions outlined and the motion passed unanimously.

Workshop

[7:30:55 PM](#) Chair Moore motions to take a short recess. The motion passes unanimously.

WS 1 Workshop and public discussion on allowing beekeeping within the City of Hailey, which would involve a text amendment to the Zoning Ordinance.

[7:34:37 PM](#) Micah Austin introduced special guests, Tom Harned from 5b Hives and Kate Besst from Willow Creek nursery. Micah Austin started the workshop by relating the draft ordinance to that of a similar ordinance drafted in Idaho Falls, Idaho. The Commissioners and guests

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proceeded to conduct a discussion of beekeeping that included purchase, boxes vs hives vs colonies, drifting bees, size, queens, seasonal trends, and reproduction. [7:43:53 PM](#) Hallie Reikowsky, representative of the Hunger Coalition, arrived and joined in the discussion. Conversation continued, mostly about breeding, life cycle, eggs, death, and temperature variances. Chair Moore inquired about community noticing requirements. Micah Austin and the Commissioners discussed specific needs and issues to be covered in the ordinance including lot size, enforcement, safety and information for citizens. [8:05:49 PM](#) Discussion continued on species of bees, honey flow, harvest, commercial bee keeping vs. residential beekeeping, and maintenance of hives. [8:27:26 PM](#) Conversation of the drafted ordinance continued and included the possibilities of lightening the restrictions. A consensus across the board was agreed upon in regards to less restrictions for beekeeping within city limits. [8:41:24 PM](#) Micah Austin offered to take ordinance for revision based on suggestions and discussion within workshop. [8:43:36 PM](#) Last minute comments from everyone on the idea of beekeeping and purpose of allowing it. General consensus included prohibiting vs. promoting commercial beekeeping. [8:48:35 PM](#) Tom Harden, Kate Besst, and Hallie Reikowsky departed the workshop. Chair Moore called the next item on agenda.

New Business

None

Old Business

None

Commission Reports and Discussion

Staff Reports and Discussion

SR 1 Discussion of current building activity and upcoming projects
(no documents)

SR 2 Discussion of the next Planning and Zoning meeting: Monday, July 8, 2013
(no documents)

[8:49:31 PM](#) Micah Austin briefed the Commissioners on the upcoming July 8th meeting agenda items. Mister Austin then briefed the commissioners on the July 22nd agenda items as well.

[8:56:25 PM](#) Chair Moore requested moving the meeting time of the Planning & Zoning Commission to 5:30 p.m. instead of 6:30 p.m. for all meetings in the future starting with July 22nd. **Jay Cone moved to change meeting time from 6:30 to 5:30pm for Hailey Planning & Zoning. Regina Korby seconded. Chair Moore called for ayes and the motion passed unanimously.** [8:58:12 PM](#) Final discussion included sending appropriate notification out to the public of the new meeting time.

Adjourn

Jay Cone moved to adjourn. Regina Korby seconded and the motion passed unanimously.

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On July 8, 2013 the Hailey Planning & Zoning Commission considered an application submitted by Brant Tanner of Tanner Investments, LLC, for one new single-family residence to be located at Hailey Townsite, Blk 129, Lot 12A (710 S. River Street) located with the General Residential (GR) District and within the Townsite Overlay. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice

Notice for the public hearing was published in the Idaho Mountain Express on May 22, 2013 and mailed to property owners within 300 feet on May 22, 2013.

Application

One single-family dwelling located on Lot 12A Block 129 of the Hailey Townsite (710 S. River Street). Lot is 4800 square feet (60'X80'). The dwelling is two-story with 824 sf on the main level and 778 on the second level for a total living space of 1602 square feet. The garage is designed for two cars and comprises 528 square feet. A covered, front porch accents the home at the entrance. All construction will be in accordance with the 2009 International Residential Code and the Build Better Program of Hailey.

Procedural History

The application was submitted on May 14, 2013 and certified complete on May 30, 2013. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on June 10, 2013, at 6:30 pm in the Council Chambers. At that meeting, the Planning and Zoning Commission conditionally approved the Design Review Application contingent upon an acceptable drainage and grading plan to be submitted to city staff. On June 24, the Planning and Zoning Commission voted to continued discussion on this project, until Brant Tanner can present a grading and drainage plan acceptable to the Commission. The Findings of Fact were considered for approval on July 8, 2013, pending submittal of a grading and drainage plan acceptable to the Commission.

The drainage plan submitted by the applicant has been reviewed by the City Engineer and approved.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No concerns</i>
				Life/Safety: <i>No concerns</i>
				Water and Sewer: <i>No concerns</i>
				Building: <i>No concerns</i>
			Streets: <i>No concerns</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Staff Comments</i>	<i>Signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Per 9.4.1, two spaces per dwelling are required with a maximum of 6. • Homes will have a 2-car garages and the following: <ul style="list-style-type: none"> ○ Lot 11A (accessed via alley): One 10'X20' parking pad and a 6'X24' space in front of garage <ul style="list-style-type: none"> ▪ Adequate for two cars ○ Lot 12A (accessed via River Street): 22'X28' parking space, <ul style="list-style-type: none"> ▪ Adequate for two cars
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a) All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c) Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d) Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e) Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff Comments</i>	<i>Applicant will install Dark Sky compliant fixtures, as detailed in the submittal documents. Lights will be:</i>

				<ul style="list-style-type: none"> - <i>Shallow Airtight Ready Housing for the front porch and in front of garage</i> - <i>Forte Lighting Energy Efficient Craftsmen/Mission Outdoor Wall Sconce will be on the back porch. This is compliant with our Dark Sky Ordinance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	See 4.13.6, Zoning Ordinance
			Staff Comments	<p><i>Zoning District: General Residential in the Townsite Overlay. Townsite Overlay bulk requirements apply.</i></p> <ul style="list-style-type: none"> - <i>Max Height: 30'. Proposed building 26' 3" to the peak of the roof</i> - <i>Front Setbacks: TO: 12' from the street.</i> <ul style="list-style-type: none"> o <i>11A structure will be setback 20' from Maple with the front porch located at 12' from Maple</i> o <i>12A, setback is 13' from River Street and set back 12' from Maple. The front porch is located 5' from River</i> - <i>Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required</i> <ul style="list-style-type: none"> o <i>Lot 11A structure is fully compliant on all side setbacks</i> o <i>Lot 12A structure is compliant on all side setbacks, which is a minimum of 9' for this lot. For a lot width of 60', the minimum side setback in the TO is 9'. This is derived from the following formula: (60' X 15% = 9'). The revised plans show a 9' setback on the east side of 12A, adjacent to 11A.</i> - <i>Alley Setback: 6'</i> <ul style="list-style-type: none"> o <i>11A garage is located 6' from the alley right of way.</i> - <i>Maximum Lot coverage: 30% in GR for a two-story dwelling with a garage</i> <ul style="list-style-type: none"> o <i>Both dwellings will cover 28.2% of the total lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<ul style="list-style-type: none"> - <i>Five foot (5') sidewalk will be installed the length of the 12A property line along River Street and the length of the 11A property line along Maple. (see plans)</i> - <i>The sidewalk will stub out at the alley at the end of the 11A property line.</i> - <i>Sidewalk along River St. will connect with existing sidewalks on S. River that terminate the 12A property line.</i> - <i>Applicant has been advised that on-site retention is required for all drainage on the property. Under no circumstances will drainage be allowed to encroach on adjacent properties or into the public right of way.</i> - <i>As shown in the Drainage Plan submitted with the Design Review materials for Lots 11A and 12A, the developer shall grade and develop the lots to retain all storm water on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (B) Required Water System Improvement	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the

			nts	City Engineer.
			Staff Comments	<ul style="list-style-type: none"> - Per the plat for Lots 11A and 12A, water service for Lot 12A will not cross 11A. - Services will be stubbed off of the alley and Maple Street. - All water lines will be installed 6' feet deep. The developer has been notified that if the existing lines are not 6' deep, he will need to drop down the service line to below 6' deep.

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO): 6A.9

1. Site Planning: 6A.9.C.1

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	The pattern created by the Old Hailey town grid should be respected in all site planning decisions.
			Staff Comments	<ul style="list-style-type: none"> • Both Lots 11A and 12A are 60'X80'. While not a traditional Old Hailey Townsite Lot, they fulfill the intent of rectangular lots and allowing for as much open space as possible.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	<p>Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units.
			Staff Comments	<ul style="list-style-type: none"> • The proposed site plan and development is consistent with the required site planning guidelines. • Where possible, access is provided from the alley (Lot 11A). • All utilities will be located underground as shown on the site plan for both lots. • All utilities for both lots are accessed from the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.1	The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.
			Staff Comments	<ul style="list-style-type: none"> • The structures are designed to maximize solar exposure to the south facing sides on both Lots 11A and 12A as much as possible (more

				<i>emphasized on 12A with south facing windows).</i>
2. Bulk Requirements (Mass and Scale, Height, Setbacks): 6A.9.C.2				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.2	The perceived mass of larger buildings shall be diminished by the design.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>The proposed structures will be consistent in size and mass to the surrounding structures and with the surrounding neighborhood.</i>
3. Architectural Character: 6A.9.C.3				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.a	General: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Architectural style is a two-story bungalow with themes currently found in Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Both entrances face the adjacent street. The dwelling on 11A faces Maple and the dwelling on 12A faces River Street.</i> <i>Unrestricted pedestrian access to both entrances from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.b	Building Orientation: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Both structures on Lots 11A and 12A face the adjacent streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.c	Building Form: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Porch roofs, shed dormer, and pop-out roofs break up the lines of the building. This is consistent with styles and forms found in Old Hailey</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Porch roofs, shed dormer, and pop-out roofs break up the lines of the building. This is consistent with styles and forms found in Old Hailey</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: Roof pitch and style shall be designed to meet snow storage needs for the site.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas.</i> <i>Designs should avoid locating drip lines over key pedestrian routes.</i> <i>Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.</i>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <i>Roof materials: Asphalt shingles, designed to retain the snow.</i> <i>Roof Pitch: 8/12, 10/12, and 4/12 (porch roof)</i>

				<ul style="list-style-type: none"> • <i>Snow clips are recommended for the porch roof over the entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>The following forms are currently found in the neighborhood:</i> <ul style="list-style-type: none"> ○ <i>Architectural asphalt shingles</i> ○ <i>gable end roofs</i> ○ <i>Shed dormers.</i> • <i>The application is consistent with the neighborhood in regards to roof forms and materials</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.d	Roof Form: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Roof pitch is 12/8 and gabled roofs are consistent with the surrounding neighborhood, as well as the DR guidelines.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: Primary wall planes should be parallel to the front lot line.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Both lots have the primary wall plane sited parallel to the front lot line.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.e	Wall Planes: The use of pop-outs to break up longer wall planes is encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Proposed structures utilize pop-outs along the south side for 12A and the west side for 11A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	Windows: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.f	Windows: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>Where Lots 11A and 12A adjoin, windows have been minimized and oriented to ensure maximum privacy between the dwellings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.g	Decks and Balconies: Decks and balconies shall be in scale with the building and the neighborhood.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>No decks or balconies are proposed. The front porch is in scale with the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.3.g	Decks and Balconies: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • <i>No decks or balconies proposed</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	Building Materials and Finishes: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged. Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>Wall Materials: Hardy board lap siding (see materials) with 7' exposure between laps. With the lap siding, the appearance of texture will be present.</i> - <i>Pop-outs: Hardy board shingle panels will be used in the pop-out over the front porch. Material is a fiber cement, shingle panel, 5/16" thick.</i> - <i>Wainscoting: Faux stone wainscoting will be present on the front façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.h	Building Materials and Finishes: Large wall planes shall incorporate more than one

				material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	<i>See above</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural detailing shall be incorporated into the front wall plane of buildings.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Stone wainscoting and shingle panel siding will be present on the front façade. Also, pop-outs and dormers are present on the front façade to break up the wall plane.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Proposed front porch is consistent with the styles of Old Hailey.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.3.i	Ornamentation and Architectural Detailing: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> See above notes.

4. Circulation and Parking: 6A.9.C.4

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Adequate parking has been provided and pedestrian access off the adjacent streets is provided and does not interfere with traffic from the streets.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Two car garages are provided with access from the alley onto the structure located on Lot 11A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Where possible, access was provided from the alley.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> For Lot 12A, garage is set back 20' from the street and 14' from the front wall plane, consistent with the setbacks for the zone/overlay and breaks up the front wall plane. Lot 11A garage is accessed via the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> A two car driveway and a two car garage is planned. Developer would like to keep the two car driveway to minimize parking on River St. when necessary and concentrate all parking on-site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.

			Staff Comments	<ul style="list-style-type: none"> Lot 11A has RV parking planned on a 10' X 26' parking pad off the alley. Lot 12A does not have RV parking.
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5. Alleys: 6A.9.C.5

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties. Staff Comments <i>Lot 12A does not have alley access. Alley access was eliminated during the Lot Line Adjustment to accommodate the current site plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged. Staff Comments <ul style="list-style-type: none"> Lot 11A is accessed via the alley to the garage and RV parking is located off the alley. No accessory buildings are planned for this site (none could be built because of the maximum lot coverage limit.)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity. Staff Comments <ul style="list-style-type: none"> The alley is currently graveled and no improvements are planned. Noxious weeds will be removed before construction commences.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs. Staff Comments <i>Xeriscaping is planned for the alley side of Lot 11A with some paving for access to the garage</i>

6. Accessory Structures: 6A.9.C.6

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.6	Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function. Staff Comments <i>No accessory structures are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical. Staff Comments <i>No accessory structures are planned.</i>

7. Snow Storage: 6A.9.C.7

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: All projects shall be required to provide 25% snow storage on the site. Staff Comments <ul style="list-style-type: none"> The proposed dwellings are setback far enough from the adjacent property lines to avoid shedding onto the adjacent properties.

				- 1750 sf of total lot area is provided for snow storage. This is 25% of the total lot (Lot size is 4800 feet).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • Snow storage areas do not restrict pedestrian access. Pedestrian access must be unrestricted and visible from the adjacent streets.

8. Existing Mature Trees and Landscaping: 6A.9.C.8

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.8	Guideline: Noxious weeds shall be controlled according to State Law.
			<i>Staff Comments</i>	Noxious weeds are present on the site. Developer plans to scrap the two lots bare before beginning construction.

9. Fences and Walls: 6A.9.C.9

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			<i>Staff Comments</i>	No fences are planned
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	Guideline: Retaining walls shall be in scale to the streetscape.
			<i>Staff Comments</i>	No retaining walls are planned

10. Historic Structures: 6A.9.C.10 (NOTE: Applicable only to structures built prior to 1940)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.10	<p>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</p> <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	<p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ○ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ○ Exterior materials that are compatible with the original building materials should be selected; ○ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ○ The visual impact of the addition should be minimized from the street; ○ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ○ The roof form and slope of the roof on the addition should be in character with the original building; <p>The relationship of wall planes to the street and to interior lots should be preserved with new additions.</p>
			<i>Staff Comments</i>	

6A.6 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.

- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

DECISION

The Design Review of Lot 12A, Block 127, Hailey Townsite (710 S River Street), within the General Residential (GR) and Townsite Overlay (TO) zoning districts is hereby approved subject to the following terms and conditions:

1. The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
2. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
3. All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required
4. A sidewalk and drainage improvements, running the length of the property line adjacent to the public right of way is required. An In-lieu contribution to the City of Hailey for sidewalk improvements will be acceptable, according to 6A.7.6 of the Zoning Ordinance.
5. Building service areas shall be located off alley and away from public view or building frontage areas.
6. Blue board insulating material is required for water mains and individual water service lines less than 6 feet deep.

7. All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
8. This Design Review approval shall expire one (1) year from the date these Findings of Fact are signed, unless a building permit application has been submitted to the Building Department.
9. This project is subject to Development Impact Fees pursuant to Municipal Code Chapter 15.16. The estimated fee is determined at the time of Building Permit application.
10. Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
11. Except as otherwise provided, all the required building, landscaping, site, infrastructure improvements and all other conditions of approval shall be constructed and completed, or security in the amount of 150% of the estimated cost as approved by the City, before a Certificate of Occupancy will be issued.
12. This Design Review approval is subject to the following conditions:
 - a) All applicable Fire Department and Building Department requirements shall be met, including but not limited to:
 - a. Prior to installation of the new fence, a fence permit shall be obtained from the Community Development Department and the plans for the fence shall meet the standards of Section 8.1, Hailey Zoning Ordinance.
 - b. No auxiliary apparatus (e.g. utility meters, fire suppression equipment) may extend into any public right-of-way.
 - c. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional parking, improvements and/or approvals.
13. Subject to all restrictions listed on the recorded plat for this lot and, if applicable, subdivisions.

A party aggrieved by a final decision of the Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this ____ day of _____, 2013.

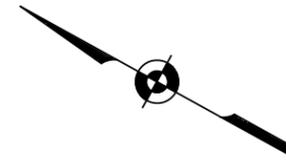
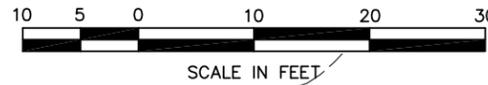
Geoffrey Moore, Chair

Attest:

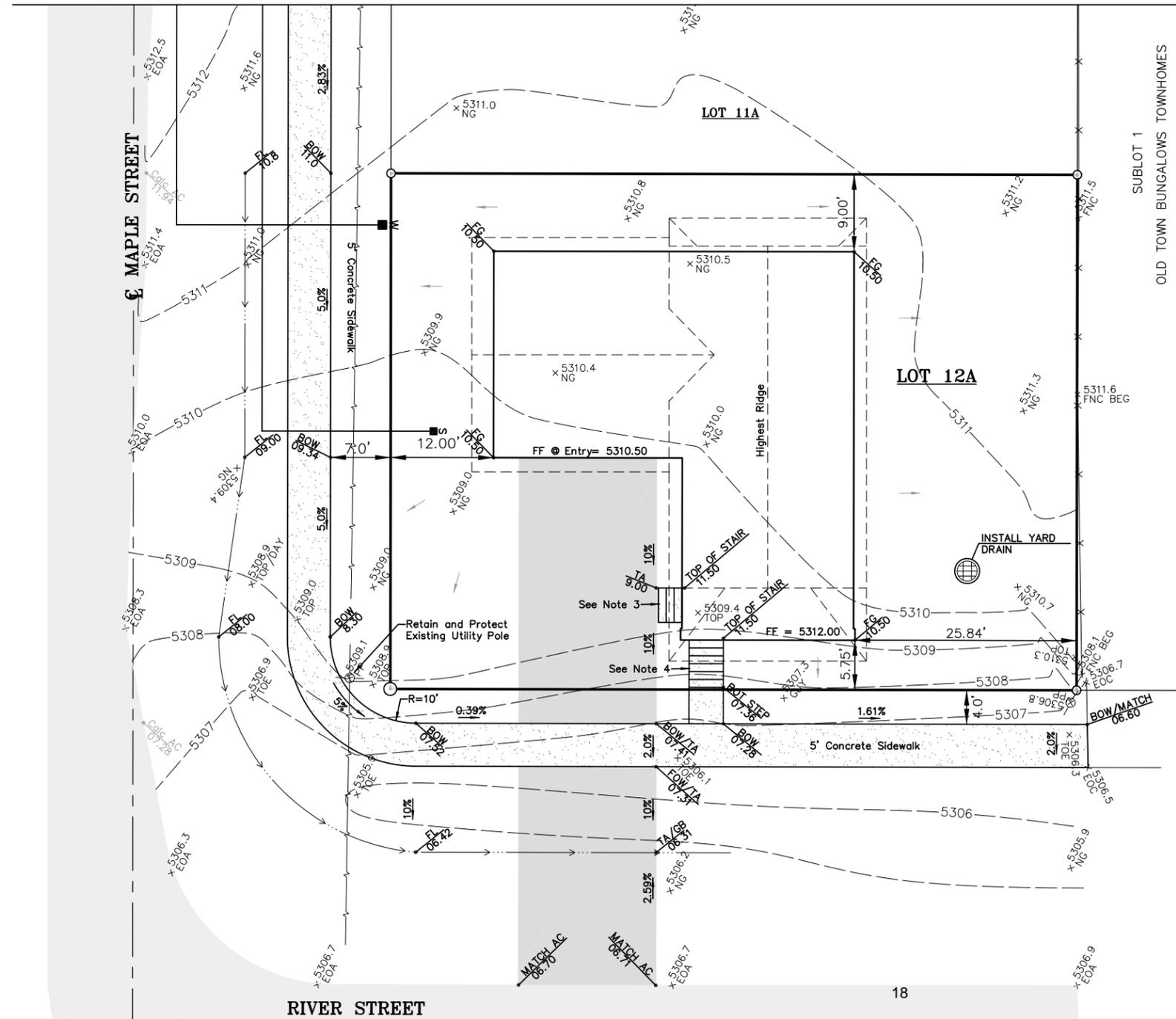
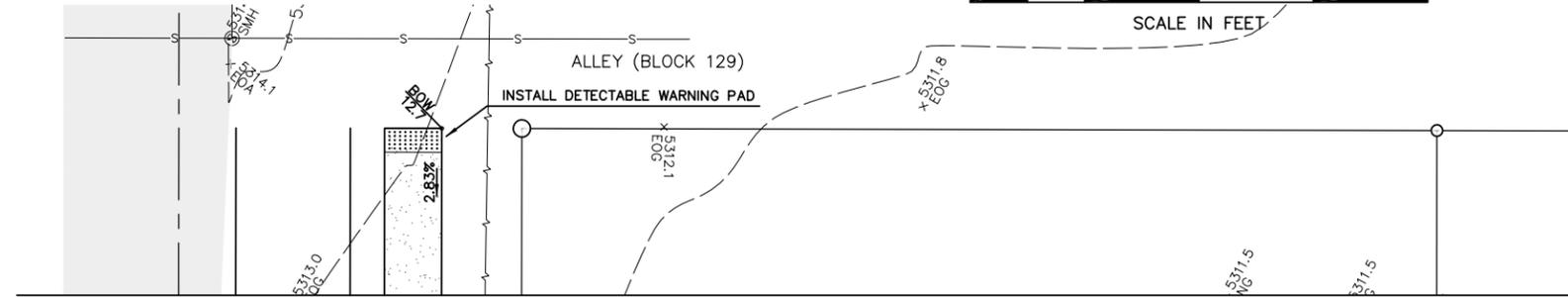
Kristine Hilt, Community Development Coordinator

A CONCEPTUAL ELEVATION, GRADING AND LAYOUT SHEET SHOWING
LOTS 12A, BLOCK 129, HAILEY TOWNSITE
 LOCATED WITHIN THE SE1/4 OF SECTION 9, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO

JULY 2013



SCALE: 1" = 10'



LEGEND

	Property Boundary
	Adjoining Lot Line
	Found 1/2" Rebar
	Found 5/8" Rebar
	Roof Outline
	Outside Face of Foundation Wall
	Existing Ground Spot Elevation May 2013
	Centerline of Right-of-way
	Existing Asphalt
	Proposed Asphalt
	Proposed Concrete
	Existing Utility Pole
	Proposed Water Service
	Proposed Sewer Service
	Proposed Spot Elevation
	Proposed Grade
	Proposed Drywell
	Existing 1' Contour Interval
	Existing 5' Contour Interval

NOTES

1. See recorded plat for boundary information and notes.
2. Building footprints shown hereon are based on architectural drawings provided by client, dated May 15, 2013.
3. Location of 4' wide stairs as desired by developer.
4. Conceptual location of 4' wide stairs if required by City of Hailey.

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On July 8, 2013 the Hailey Planning & Zoning Commission considered a recommendation by the Administrator to exempt from design review an application submitted by Sturtos Hailey at 1 W. Carbonate St (Lots 9 and 10, Block 44, Hailey Townsite) for approval of a new paint colors for the trim and base of the building, not affecting the brick facades. The parcel is within the General Business District (B) and within the Townsite Overlay (TO). The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

6A.1(A). No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:

- 1. A building for a non-residential use within any zoning district.**
- 2. A building for a Public or Semi-Public Use within any zoning district.**
- 3. A Multi-Family Dwelling of three or more units within any zoning district.**
- 4. A Single Family Dwelling, Duplex or Accessory Structure within the Townsite Overlay (TO) District.**
- 5. A Historic Structure.**

The building houses Sturtos Hailey, is open to the public, and provides for a non-residential use. Design review approval is therefore required.

6A.2(A)(3). The Administrator has the authority to recommend exemption of certain projects from the design review requirements, upon finding; the project is minor, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties. Examples include, but are not limited to minor deck additions, changes to siding materials, changes to an existing window or door, an addition of a window or door, and minor landscape changes. Such recommendation for exemption shall be drafted in the form of Findings of Fact and Conclusions of Law, subject to final decision by the Commission on its consent agenda prior to issuance of a building permit. Should the Commission deny the

Administrator’s recommendation or should the Administrator determine that the proposal does not meet all of the above evaluation criteria, the project shall be subject to the provisions of this chapter prior to issuance of a building permit.

The Administrator reviewed a request submitted by Sturtos Hailey at 1 W. Carbonate St (Lots 9 and 10, Block 44, Hailey Townsite) for approval of a new paint colors for the trim and base of the building, not affecting the brick facades. The parcel is within the General Business District (B) and within the Townsite Overlay (TO). Sturtos Hailey was recently purchased and the new owner, Mr. Jeff Davis, is making some improvements to the exterior in order to maintain the building and give it a fresh look. The proposal is to paint all surfaces that currently are painted with a base color of a cream-white and a trim color of dark blue.

The Administrator recommends exemption from the design review requirements for the reasons stated below. After reviewing the complete application and proposal, the Administrator finds the proposed alteration

1. is minor;
2. will not conflict with the design review standards of this Chapter; and
3. will not adversely impact any adjacent properties.

The alteration will change the color of paint used on the exterior, but does not alter any structural or architectural elements of the building.

Application

Sturtos Hailey, represented by Jeff Davis, Owner, submitted a Design Review Exemption application for new paint colors used on the exterior of the building located at 1 W. Carbonate.

Procedural History

The application was considered before the P&Z Commission on July 8, 2013 as a Design Review Exemption.

CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Given nature of this project, this constitutes a minor project, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties.

5. The proposed paint color is approved and is documented in the project file.

Signed this ____ day of _____, 2013.

Geoffrey Moore, Chair

Attest:

Kristine Hilt, Community Development Coordinator

Acct # 9157

RECEIVED JUN 27 2013

City of Hailey - Design Review Application

Submittal Date:

Project Name: STURTOS Hailey Parcel No. RPH
Legal Description of Property: Subdivision STURTOS Hailey Lot(s) 9 ÷ 1 Block 44
Street Address of Property: 1 W. Carbonate
Current Zoning of Property: Business Year of original construction:
Existing building gross sq. ft. (if applicable) 5,000 Proposed addition or new construction sq. ft. N/A

Name of Owner of the Property: STURTOS Hailey
Mailing Address: 1 W Carbonate City: Hailey State: ID Zip: 83333
Phone: () Fax: () Cell: (208) 720-5614
Email Address: STURTOSHailey.com JEFFDAVIS@STURTOSHailey.com

Property Owner Consent:
By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507.
Property Owner's Signature: Jeffrey Davis Date: 6/27/13

Name of individual to contact on behalf of Trust or LLC (if applicable): JEFFREY DAVIS
Mailing Address: 1 W. Carbonate City: Hailey State: ID Zip: 83333
Phone: (208) 788-784 Fax: () Cell: (208) 720-5614
Email Address: JEFFDAVIS@STURTOSHailey.com

Application Contact (if different than above):
**Application Contact will be the Planning Department's primary point of contact for questions related to the application.
Mailing Address: City: State: Zip:
Phone: () Fax: () Cell: ()
Email Address:
Signature: Date: / /

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

- Commercial, Mixed-Use or Multi-Family... \$ 450.00
plus \$25 / 1,000 gross square feet... \$
OR Single-Family Dwelling, Duplex or Accessory Structure in TO... \$ 250.00
OR No Substantial Impact... (Mailing only)... \$ 75.00
OR Modification to DR Approval... (No publication or mailing)... \$ 50.00
OR DR Exemption... (No publication or mailing)... \$ 30.00
Publication cost... \$ 40.00
Mailing (# of addresses) x (. postage + .15 paper, envelope & label) \$
DO NOT COUNTY DUPLICATES OR CITY OF HAILEY
Total Due... \$ 30.00

Trim Color

Base Color

**DESIGN REVIEW
STAFF REPORT**

TO: Hailey Planning and Zoning Commission

FROM: Micah Austin, Community Development Director

RE: Design Review application by the Cottages of Sun Valley, represented by Garold Maxfield (CEO) and Jason Tomlinson (Architect) for a new Residential Care Facility to be constructed operated on Lot 2, Block 1 of Northridge 8 Subdivision

HEARING: July 8, 2013

Applicant: The Cottages of Sun Valley, represented by Garold Maxfield (CEO) and Jason Tomlinson (Architect)

Request: Design Review for a Residential Care Facility comprising two 11,407 sf buildings on a single lot.

Location: Lot 2, Block 1, Northridge 8 Subdivision.

Zoning: Limited Residential 1 (LR-1)

Notice

Notice for the public hearing was published in the Idaho Mountain Express on June 19, 2013 and mailed to all property owners within 300 feet on June 18. Notice was mailed to public agencies and media on June 18, 2013.

Application

A Residential Care Facility is proposed for Lot 2, Block 1 of Northridge 8 Subdivisions. The Facility will consist of two separate buildings comprising 11,407 square feet each. One facility will be dedicated to memory care for elderly and infirm individuals requiring care related to memory loss impairments. The other building will be dedicated to independent and some assisted living for elderly and infirm individuals who can perform some, if not all, functions of daily living without assistance. Parking is located in the rear of the lot. Landscaping is shown on all sides of the buildings and along all lot lines. Seven foot wide sidewalks will be constructed along McKercher Boulevard with a 6' drainage swale maintained between sidewalk and the edge of asphalt on McKercher Boulevard. For sidewalks along Highway 75 and Cranbrook Road, the developer has elected to pay a fee in lieu of sidewalk requirements. The exterior materials of the buildings, and all accessory structures pertaining to the

buildings, are comprised of hardi board fascia, cedar shake siding, rough sawn timber trusses, stone veneer wainscoting, hardi board lap siding, architectural (dimensional) shingles, and a concrete foundation.

The completed application includes a site plan, vicinity map, drainage map, utilities plan, parking specification, snow storage plan, circulation details, lot dimensions, building dimensions, landscape plan, floor plan, detailed elevations of all structures, exterior lighting plan, sign plan, materials and color samples, staging and contractor plan, and one colored rendering of the buildings. The plans are stamped by Jason Tomlinson, a licensed Idaho Architect (AR-15296).

Procedural History

The application was submitted on June 14, 2013 and certified complete on June 28, 2013. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on July 8, 2013 at 6:30 pm in the Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <ul style="list-style-type: none"> - Tom Hellen has reviewed the plans (6-24-2013) and has no concerns.
				Life/Safety: <ul style="list-style-type: none"> - Mike Baledge has reviewed the plans and has requested one additional fire hydrant near the entrance to the site. - This change is accurately reflected on the current site plan.
				Water and Sewer: <ul style="list-style-type: none"> - No concerns.
				Building: <ul style="list-style-type: none"> - Jim Lynch reviewed the plans on 6-24-2013 and has no concerns.
				Streets: <ul style="list-style-type: none"> - Tom Hellen reviewed the plans on 6-24-2013 and has no concerns.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>The signage proposed meets city standards for square footage and lighting.</i> <ul style="list-style-type: none"> - Proposed sign is 21.3 square feet. According to 8.2, this building is allowed 150 square feet of signage - Each building has 106' of frontage onto McKercher Blvd. - The sign will be lit with recessed cans (spotlit) where the source of light is not visible. This is compliant with 8B.4.1.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code. <ul style="list-style-type: none"> - Require 1 space for every 3 beds
			Staff Comments	<i>According to 9.4.3, the required number of parking spaces for this use is one (1) space for every three (3) beds. With 32 beds, 10.66 spaces are required, which is rounded down to 10, according to 9.4(A)1.</i> <ul style="list-style-type: none"> - The site plan shows 19 spaces. - According to 9.4.6, the maximum number of parking spaces for any use is 200% of the required number. <ul style="list-style-type: none"> o The maximum amount allowed for this building and use is 20 spaces. This is derived from 1 space for every 3 beds, multiplied by two. (32/3=10.6; 10 X 2 = 20)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1	8B.4.1 General Standards

			<p>Outdoor Lighting Standards</p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<p>Staff Comments</p> <p><i>All lighting meets the outdoor lighting standards:</i></p> <ul style="list-style-type: none"> - Four down lights for the clocktower/sign at the entryway (Lithonia, standard exterior can. all LED) - Entry canopies and covered patio space for the buildings will have recessed can lighting ((Lithonia, standard exterior can. LED lighting will be used) - Site lighting will use nine (9) monument lights with wall mounted box fixtures concealed from view with rough sawn shed roof (see plans). Lithonia Contour series KACM LED Wall Mounted Light Fixture will be used in all monument lighting. - The flag pole and flags will be uplighted. According 8B.4.2(h), this is allowed provided the maximum lumen output does not exceed 1,300 lumens and flag is displayed. When the flag is not displayed, lighting shall not be used. The proposed light will not exceed 1,300 lumens.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Bulk Requirements</p> <p>Limited Residential (LR) District:</p> <ul style="list-style-type: none"> - Minimum Lot Size: 8,000 ft - Maximum Lot Width: 75 - Maximum Building Height: 30 - Front Setback: 25 ft - Side and Rear Yard Setback: 1 foot for every 2 feet of building height
			<p>Staff Comments</p> <p><i>Maximum Building Height: 30 ft</i></p> <ul style="list-style-type: none"> - Elevations show an actual height of 22'6" <p><i>Front Setback: 25 ft</i></p> <ul style="list-style-type: none"> - Building is setback 25 feet from McKercher Blvd <p><i>Side and Rear: Required 13' setback derived from building height</i></p> <ul style="list-style-type: none"> - Building is setback from Cranbrook 80'

				<ul style="list-style-type: none"> - Building is setback from HWY 75 50' - Building is setback from back property line (north side) 21' feet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>6A.7 (A) Required Street Improvements Required</p> <p>Staff Comments</p>	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> <p>Sidewalks:</p> <ul style="list-style-type: none"> - Seven foot (7') sidewalk is required and will be installed along McKercher Boulevard, in compliance with the Mobility Design Ordinance - Seven foot (7') sidewalk is required and planned along Hwy 75 <ul style="list-style-type: none"> o Developer has elected to pay an In Lieu fee for this sidewalk. o Lineal footage is 225' along Hwy 75 - Five foot (5') sidewalk is required and planned along Cranbrook Dr. <ul style="list-style-type: none"> o Developer has elected to pay an In Lieu fee for this sidewalk. As of this writing (6-24-2013), the applicant has not submitted an estimate of the in-lieu fees o Lineal footage is 90' along Cranbrook Dr. - In Lieu Fee Amount and Calculation <ul style="list-style-type: none"> o Total area for both sidewalks is 2,205 square feet @ \$4.75/sf o Total Cost= \$10,475 o Required 110% of Cost= \$11,522.50 o Payment of the In Lieu Fee is required before Certificate of Occupancy is issued o Bid specs are provided for reference. <p>Drainage:</p> <ul style="list-style-type: none"> - According to Title 18, the Mobility Design Ordinance, a natural swale drainage is allowed along McKercher Blvd (18.06.012.C). McKercher Blvd is considered a Residential/Collector according to Title 18. - The swale will be retained with a seven foot (7') mow strip intact between McKercher Blvd and the property line. - Per the City Engineer, a concrete rolled edge will be added to the edge of McKercher Blvd to assist with the longevity of McKercher Boulevard. - The civil site plan shows all drainage improvements. The City Engineer has reviewed this plan and has no concerns.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>6A.7 (B) Required Water System Improvements</p>	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>

			<i>Staff Comments</i>	
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Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey

1. Site Planning: 6A.8 (A) 1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			<i>Staff Comments</i>	<p><i>Southern exposure is best on the McKercher side of the buildings with all pedestrian access via the western and eastern sides of the two facilities. Where possible, the buidings have been situated to ensure the maximum exposure.</i></p> <ul style="list-style-type: none"> - <i>The north facing sides have no pedestrian access, minimizing ice and the risk for slipping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p>
			<i>Staff Comments</i>	<p><i>Per the landscape plan, all landscaping will be new. No trees are existing on site.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			<i>Staff Comments</i>	<p><i>Adequate pedestrian access is off of McKercher Blvd on either side of the drive entry.</i></p> <ul style="list-style-type: none"> - <i>Pedestrian access to and from each building to McKercher Blvd is provided</i> - <i>Pedestrian sidewalks to each building will be eight feet (8') wide</i> - <i>Pedestrian access to the parking lot is provided via six foot (6') wide sidewalks.</i> - <i>Pedestrian access from each building is delineated clearly across the drive aisles.</i> -

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1d	d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.
			<i>Staff Comments</i>	- <i>Trash enclosure in the rear of the property is screened with landscaping and a block enclosure. The submitted plan show elevations for this enclosure.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			<i>Staff Comments</i>	<i>No alley access on this site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	<i>No vending machines are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)
			<i>Staff Comments</i>	<i>Except for four handicap compatible spaces, all other parking is located at the rear of the lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Staff Comments</i>	<i>A single approach is shown on the site plan with two 21' drive aisles. This meets fire department specifications.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			<i>Staff Comments</i>	<i>Site plan shows 5,150 sf for snow storage, which equates to 26% of total impervious services used for parking.</i> <ul style="list-style-type: none"> - <i>Total paving and concrete surfaces for parking equates to 19,942 square feet</i> - <i>5,150 square feet is dedicated to snow storage, equating to 26% of the total paving and concrete areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>Site plan shows 5,150 sf for snow storage, which equates to 26% of total impervious services used for parking.</i> <ul style="list-style-type: none"> - <i>Total paving and concrete surfaces for parking equates to 19,942 square feet</i> - <i>5,150 square feet is dedicated to snow storage, equating to 26% of the total paving and concrete areas.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			<i>Staff Comments</i>	- <i>The current snow storage plan shows six different sites for snow storage. None of these sites have a dimension less than 10 feet.</i> o <i>The smallest dimension shown is approximately 11 feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	<i>All snow will be stored and retained on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Snow storage is shown on the plan as hatched areas, adjacent to the parking area at the rear of the lot and at the entrance. Snow storage does not impede pedestrian access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Grass and turf is planned for the snow areas.</i>

2. Building Design: 6A.8 (A) 2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The surrounding uses are residential, and commercial (across highway). The design is scaled for a more residential feel, rather than commercial and is compatible with the surrounding uses.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	<i>The elevations are not standard corporate designs and have been customized for Hailey and are site specific.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The buildings have a distinctive front with clear pedestrian access. In addition, the central island and gazebo encourage pedestrians and passive recreation of the site.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	- <i>The “Front Elevations” as shown on the plans does not face McKercher but faces inward. This is not compliant with our current code, however the developer can redesign the current facades</i>

				<p><i>facing Mc Kercher so as to have the look and feel of a “front façade.” This has been done with other developments, such as the Pioneer Federal bank and the Stinker Convenience Store.</i></p> <ul style="list-style-type: none"> - <i>The current Front Facades utilize the following techniques to distinguish them from other sides of the building:</i> <ul style="list-style-type: none"> o <i>A courtyard and patio spaces have been added to emphasize human scale of the buildings.</i> o <i>Building offsets, stepped roof lines, and portico shares defining the entrance to the buildings.</i> o <i>Four-side architectural throughout the buildings on all sides.</i> o <i>Materials for all buildings:</i> <ul style="list-style-type: none"> ▪ <i>Stone wainscoting</i> ▪ <i>Hardy lap siding</i> ▪ <i>Stained cedar shake in gables</i> ▪ <i>Rough sawn false trusses</i> ▪ <i>Prominent raised ridge vents</i> ▪ <i>Gabled ends are all staggered</i> ▪ <i>Thickened fascia, 12” deep stacked fascia</i> ▪ <i>Shingles: 50 year architectural comp (dimensional)</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p>
			<i>Staff Comments</i>	<i>No addition is planned. Building is new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p>
			<i>Staff Comments</i>	<p><i>The following are used to define the exterior walls of the buildings:</i></p> <ul style="list-style-type: none"> - <i>Building offsets, stepped roof lines, and portico shares defining the entrance to the buildings.</i> - <i>Four-side architectural throughout the buildings on all sides.</i> - <i>Materials for all buildings:</i> <ul style="list-style-type: none"> o <i>Stone wainscoting</i> o <i>Hardy lap siding</i> o <i>Stained cedar shake in gables</i> o <i>Rough sawn false trusses</i> o <i>Prominent raised ridge vents</i> o <i>Gabled ends are all staggered</i> o <i>Thickened fascia, 12” deep stacked fascia</i> o <i>Shingles: 50 year architectural comp (dimensional)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p>
			<i>Staff</i>	<i>The following are used to define the exterior walls of the buildings:</i>

			Comments	<ul style="list-style-type: none"> - <i>Building offsets, stepped roof lines, and portico shares defining the entrance to the buildings.</i> - <i>Four-side architectural throughout the buildings on all sides.</i> - <i>Materials for all buildings:</i> <ul style="list-style-type: none"> o <i>Stone wainscoting</i> o <i>Hardy lap siding</i> o <i>Stained cedar shake in gables</i> o <i>Rough sawn false trusses</i> o <i>Prominent raised ridge vents</i> o <i>Gabled ends are all staggered</i> o <i>Thickened fascia, 12" deep stacked fascia</i> <p><i>Shingles: 50 year architectural comp (dimensional)</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p>
			Staff Comments	<i>Building does not have a flat roof. (Roof pitch is 4/12)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southern most facing side of the building shall have external light shelves installed.
			Staff Comments	<p><i>At application submission, the applicant has chosen to submit the following items building will utilize the following techniques:</i></p> <ol style="list-style-type: none"> 1. iii) Double glazed windows on all exterior windows of both buildings 2. iv) All windows will be double paned, low-E windows. 3. vii) Solar powered attic ventilation fans will be used. 4. ?) Energy Heel truss package used on all trusses <ul style="list-style-type: none"> <i>i. Used to maintain full depth of insulation throughout the attic space</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			Staff	- <i>Snow clips and gutters are shown on plans over all areas over</i>

			<i>Comments</i>	<i>walkways and pedestrian access areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	- All downspouts are shown draining into vegetative areas of the landscaped plans.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	- Portico shares are designed to be consistent with the architectural design.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	- One sign is proposed. No other signs are proposed for this facility.

3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	Garage is built with the same architectural theme and materials as the principle building. The following are used to define the exterior walls of the garage: e. Building offsets, stepped roof lines, and portico shares defining the entrance to the buildings. f. Four-side architectural throughout the buildings on all sides. g. Materials for all buildings: 1. Stone wainscoting 2. Hardy lap siding 3. Stained cedar shake in gables 4. Rough sawn false trusses 5. Prominent raised ridge vents 6. Gabled ends are all staggered 7. Thickened fascia, 12" deep stacked fascia Shingles: 50 year architectural comp (dimensional)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	- The garage is located at the rear of the lot, adjacent to the parking area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	- One fence is planned around the Wandering Garden. o 6' tall black, wrought iron fence is planned.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>Walls and fenced are minimized and, where appropriate, positioned in the rear of the lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>No roof projections, outside of standard venting, are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>Other than the solar roof vents, there is no alternative energy sources planned.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>h. Trash enclosure in the rear of the property is screened with landscaping and a block enclosure. The submitted plan shows elevations for this enclosure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>i. All utilities are shown to be underground.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>None</i>

4. Landscaping: 6A.8 (A) 4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>All species meet the specifications for the Wood River Valley tree guide.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>All species meet the specifications for the Wood River Valley tree guide.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize

				water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>The irrigation system proposed utilizes drip system and water conservation measures where appropriate.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			<i>Staff Comments</i>	<i>Landscape shows compliance with all standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	<i>Designated planter boxes and flower beds are shown around the entryway of the buildings as well as around the front marquee (clock tower) area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>Even though this is located within the LR district, it is fully compliant with pedestrian scaled landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>Drainage plan has been reviewed and approved by the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>Landscape plan provides a narrative to maintaining the areas.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>None planned for the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>None planned for the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>None planned for the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>None planned for the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>None planned for the site.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>None planned for the site.</i>

6A.6 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey’s Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant’s sole expense include, but will not be limited to, the following requirements and improvements:
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.

- e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
 - f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
 - g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
 - h) All utilities will be located underground, consistent with 6A.9.C.1.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

Motion Language

Approval:

Motion to approve the design review application for the Cottages of Sun Valley, represented by Garold Maxfield (CEO) and Jason Tomlinson (Architect) for a new Residential Care Facility to be constructed and operated on Lot 2, Block 1 of Northridge 8 (VIII) finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (h) are met.

Denial:

Motion to deny the design review application for the Cottages of Sun Valley, represented by Garold Maxfield (CEO) and Jason Tomlinson (Architect) for a new Residential Care Facility to be constructed and operated on Lot 2, Block 1 of Northridge 8 (VIII), finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on the design review application for the Cottages of Sun Valley, represented by Garold Maxfield (CEO) and Jason Tomlinson (Architect) for a new Residential Care Facility to be constructed and operated on Lot 2, Block 1 of Northridge 8 (VIII) to _____
[Commission should specify a date].

City of Hailey - Design Review Application

Submittal Date: 06 / 10 / 2013

Project Name: The Cottages of Sun Valley

Parcel No. _____

RPH 0464000020

Legal Description of Property: Subdivision Northridge VIII

Lot(s) 2, Block 1

Street Address of Property: _____

Current Zoning of Property: LR-1 & LR-2

Year of original construction: N/A

(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable) N/A

Proposed addition or new construction sq. ft. 22,720

Name of Owner of the Property: West of First, LLC

Mailing Address: 9533 W. Pico Blvd Ste. A

City: Los Angeles

State: CA

Zip: 90035

Phone: (310) 277-8688

Fax: () _____

Cell: () _____

Email Address: MCaplow@Caplow.com

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code 667-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: _____

Date: 06 / 10 / 2013

Name of individual to contact on behalf of Trust or LLC (if applicable): Mark Caplow

Mailing Address: _____

City: _____

State: _____

Zip: _____

Phone: () _____

Fax: () _____

Cell: (310) 926-8484

Email Address: mcaplow@caplow.com

Application Contact (if different than above): Garold Maxfield

**Application Contact will be the Planning Department's primary point of contact for questions related to the application.

Mailing Address: 1079 S. Ancona Ave. #110

City: Eagle

State: ID

Zip: 83616

Phone: () 475-1805

Fax: () _____

Cell: () 631-0996

Email Address: garold@thecottages.biz

Signature: Garold Maxfield

Date: 06 / 10 / 2013

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

<input checked="" type="checkbox"/>	Commercial, Mixed-Use or Multi-Family.....	\$ 450.00	✓
	plus \$25 / 1,000 gross square feet.....	\$ <u>600.00</u>	✓
OR <input type="checkbox"/>	Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ 250.00	
OR <input type="checkbox"/>	No Substantial Impact..... (Mailing only).....	\$ 75.00	
OR <input type="checkbox"/>	Modification to DR Approval... (No publication or mailing).....	\$ 50.00	
OR <input type="checkbox"/>	DR Exemption... (No publication or mailing).....	\$ 30.00	
	Publication cost.....	\$ 40.00	✓
	Mailing (# of addresses <u>22</u>) x (<u>.40</u> postage + .15 paper, envelope & label)	\$ <u>13.22</u>	✓
	DO NOT COUNTY DUPLICATES OR CITY OF HAILEY		
	Total Due.....	\$ <u>1103.42</u>	

Design Review- revised 09/02/11

Wm LLC-SX
#A754 6/12



1079 S ANCONA AVE, STE 110
EAGLE, IDAHO 83616
(208) 658-1558



6/12/2013

PAY TO THE ORDER OF City of Hailey

\$ **1,103.42

One Thousand One Hundred Three and 42/100*****

DOLLARS

City of Hailey
115 Main Street South, Ste H
Hailey, ID 83333

AUTHORIZED SIGNATURE

MEMO Design Review Application 04640000020

⑈004754⑈ ⑆324173383⑆ 919506337⑈

THE COTTAGES LLC

City of Hailey

6/12/2013

1,103.42

Checking account Pio Design Review Application 04640000020

1,103.42



COMMERCIAL SIGNS

1000 10th Ave. Suite 100
Denver, CO 80202
303.733.1111

NOT FOR CONSTRUCTION
10/15/2014
10/15/2014
10/15/2014

The Cottages
of
Hailey



FRONT ELEVATION

NOT TO SCALE

-  Exterior Walls
Olympic "Rattan Palm" - D11-5
-  Trim
Olympic "Spiced Vinegar" - C14-3
-  Fascia & Soffit
Olympic "Seal Skin" - D14-6
-  Exterior Doors
Olympic "Jute" - C14-4

- Truss stain - Cabot "Cordovan"
- Cedar Shingle - Cabot "New Cedar"
- Roofing - Certainteed Landmark Solaris
"Burnt Sienna"
- Stone - Eldorado Fieldledge "Veneto"

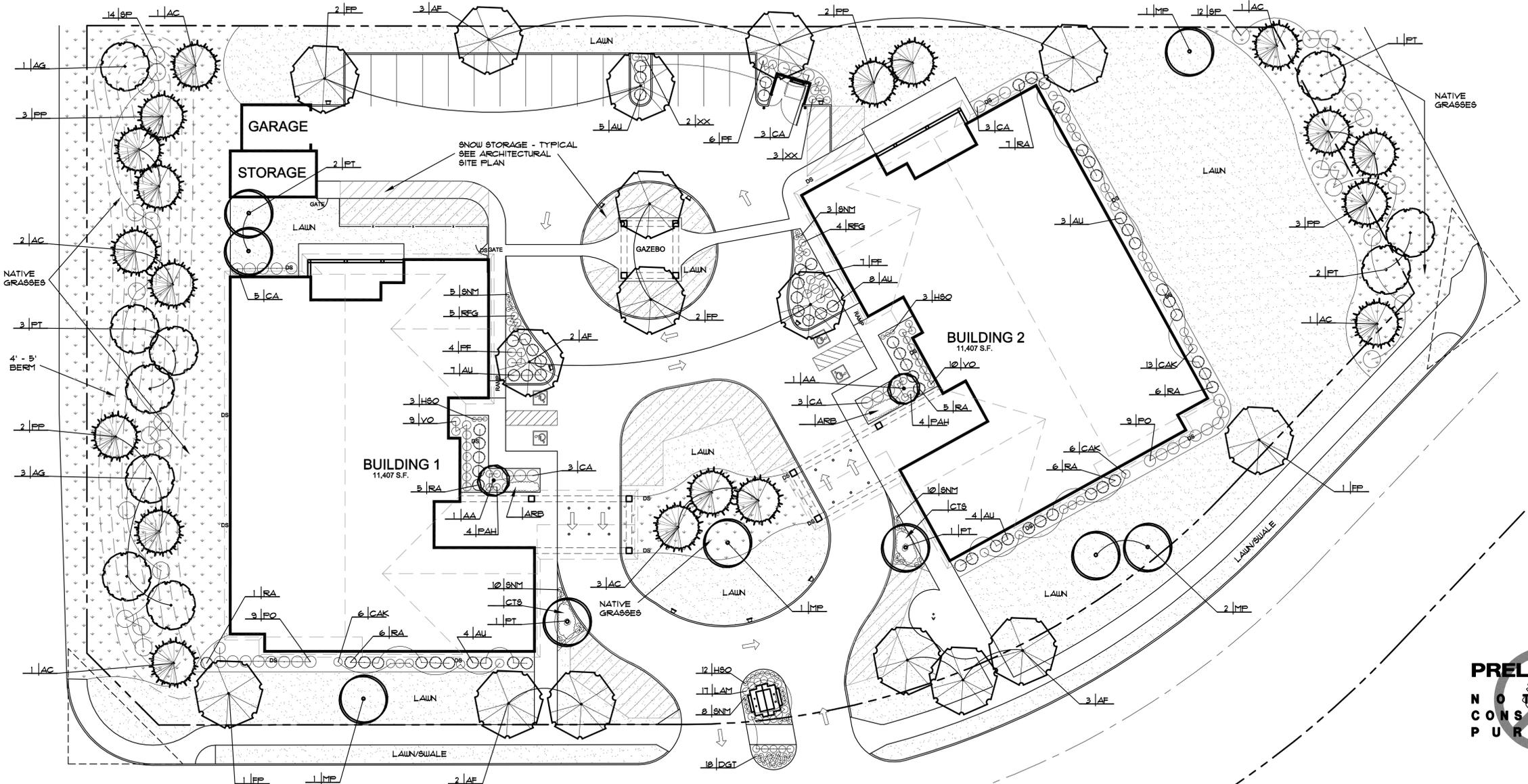
A4.1

South
LANDSCAPE ARCHITECTURE, P.C.
2002 S. VISTA AVE.
BOISE, IDAHO 83705
(208) 342-2989
FAX (208) 342-2993

TD
TOMLINSON DESIGNS
335 W. State Street, Suite C
Eagle, ID 83616
208-938-7012
208-938-3256 fax



STATE HWY 75

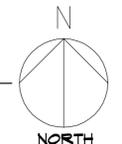


MCKERCHER BLVD

PRELIMINARY
NOT FOR
CONSTRUCTION
PURPOSES

PRELIMINARY LANDSCAPE PLAN

SCALE: 1"=20' - 0"



PLANT SCHEDULE

KEY	BOTANICAL NAME COMMON NAME	% of 54 Total	PLANTING SIZE	SHRUBS	GROUND COVERS/ PERRENIALS/GRASSES	
TREES				SHRUBS		
AC	Abies concolor White Fir	11% (9)	SEE NOTES	AA	Amelanchier alnifolia 'Saskatoon' Saskatoon Serviceberry	
AG	Acer ginnala 'Flame' Amur Maple (clump form)	8% (4)	"	AU	Arctostaphylos uva-ursi 'Massachusetts' Massachusetts Kinnikinnik	
AF	Acer x freemanii 'Jeffersred' Autumn Blaze Maple	18% (10)	"	CA	Cornus alba 'Ballhalo' Ivory Halo Dogwood	
FF	Fraxinus pennsylvanica 'Cimmaron' Cimmaron Ash	11% (6)	"	FO	Physocarpus opulifolius 'Summerwine' Summerwine Ninebark	
MF	Malus 'Prairiefire' Prairiefire Crabapple	10% (5)	"	FF	Potentilla fruticosa 'Yellow Gem' Yellow Gem Cinquefoil	
PF	Picea pungens 'Glauca' Blue Spruce	18% (10)	"	RA	Rhus aromatica 'Grow Low' Grow Low Sumac	
PT	Populus tremuloides Quaking Aspen	18% (10)	"	9P	Salix purpurea nana Blue Arctic Willow	
				VO	Viburnum opulus 'Nanum' Dwarf Cranberrybush	
					ARB	Ajuga reptans 'Bronze Beauty' Bronze Beauty Carpet Bugle
					CAK	Calamagrostis x acutiflora 'Karl Forester' Karl Forester Grass
					CTS	Cerastium tomentosum Snow in Summer
					DGT	Dianthus gratianopolitanus 'Tiny Rubies' Tiny Rubies Dianthus
					H80	Hemerocallis x 'Stella de Oro' Stella de Oro Daylily
					LAM	Lavendula angustifolia 'Mustad' Mustad English Lavender
					PAH	Pennisetum alopecuroides 'Hainsi' Dwarf Fountain Grass
					RFG	Rudbeckia fulgida 'Goldatum' Goldatum Black Eyed Susan
					SNM	Salvia nemorosa 'May Night' May Night Salvia

PLANTING NOTES

- All plant material shall conform to the American Nurseryman Standards for type and size shown. PLANTING SIZE FOR TREES SHALL BE 4" CALIPER FOR 10% OF ALL TREES, 20% SHALL BE 3" CALIPER, 20% SHALL BE 2 1/2" CALIPER, AND REMAINING SHALL BE 2" CALIPER.
- All planting beds and tree wells in lawn areas (wells to be 3' in diameter) shall be covered with a minimum of 3" of small (1") bark chips.
- All lawn areas shall have a minimum of 6" of topsoil and planting beds shall have 12" of topsoil.
- All lawn areas shall be seeded with 100% Turf Type Tall Fescue. All Native Grass Areas shall be seeded with 33% Sheep Fescue and 33% Hard Fescue and 33% Chewing Fescue.
- All landscaped areas shall have an automatic underground sprinkler system which insures complete coverage and properly zoned for required water uses.

**The Cottages
at Hailey, Idaho**

The Cottages
of
Hailey

TBD
TBD

PRELIM LANDSCAPE PLAN

Sheet Title

Scale

GM1201

Project Number

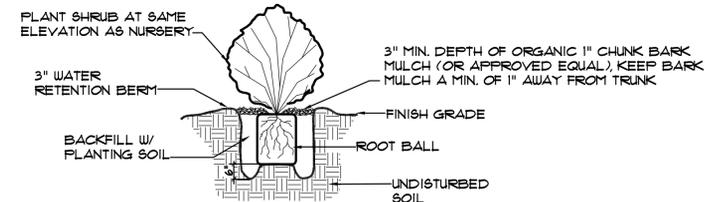
6/21/13

Date

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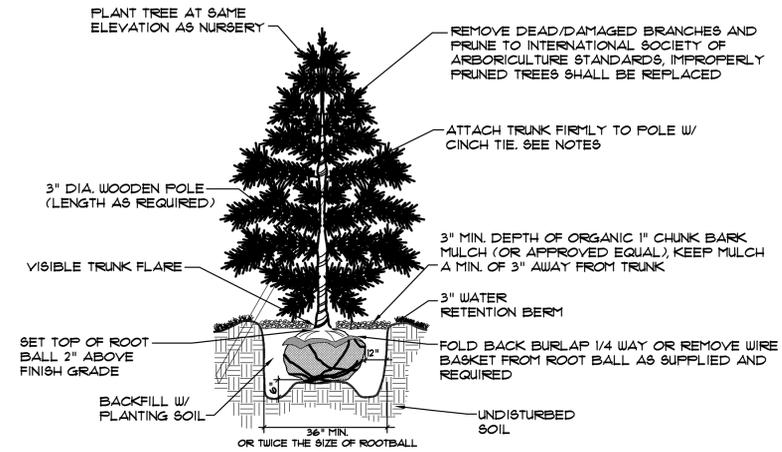
Revisions

L.1



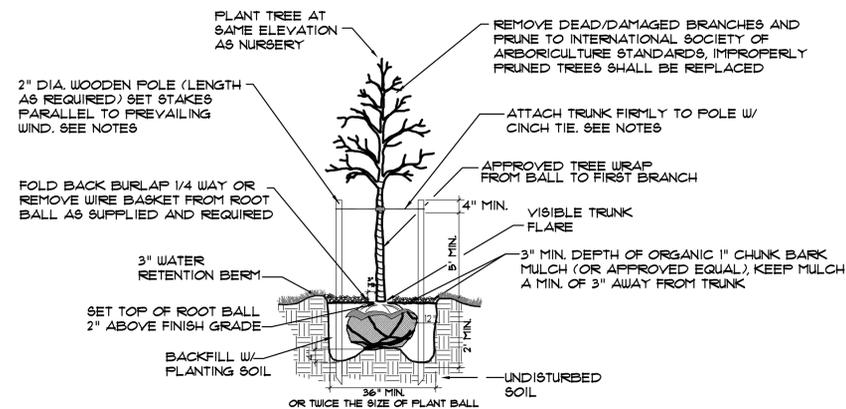
NOTE - DIG HOLE TWICE THE SIZE OF ROOT BALL

① SHRUB PLANTING DETAIL
NO SCALE



NOTES:
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR THE TERM OF THE WARRANTY.
2. WRAP RUBBER CINCH TIE (OR APPROVED EQUAL) AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT MOVEMENT.
3. WATER IN BACKFILL BELOW THE ROOT BALL PRIOR TO SETTING TREE (TO INSURE NO SETTling WILL OCCUR).
4. DEEP SOAK TREE TWICE WITHIN THE FIRST 48 HOURS.

② CONIFEROUS TREE PLANTING DETAIL
NO SCALE



NOTES:
1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR THE TERM OF THE WARRANTY.
2. WRAP RUBBER CINCH TIE (OR APPROVED EQUAL) AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT MOVEMENT.
3. WATER IN BACKFILL BELOW THE ROOT BALL PRIOR TO SETTING TREE (TO INSURE NO SETTling WILL OCCUR).
4. DEEP SOAK TREE TWICE WITHIN THE FIRST 48 HOURS.

③ DECIDUOUS TREE PLANTING DETAIL
NO SCALE

PRELIMINARY
NO FOR
CONSTRUCTION
PURPOSES

The Cottages at Hailey, Idaho

The Cottages
of
Hailey

TBD
TBD

PRELIM SITE PLAN

Sheet Title

Scale

GM1201

Project Number

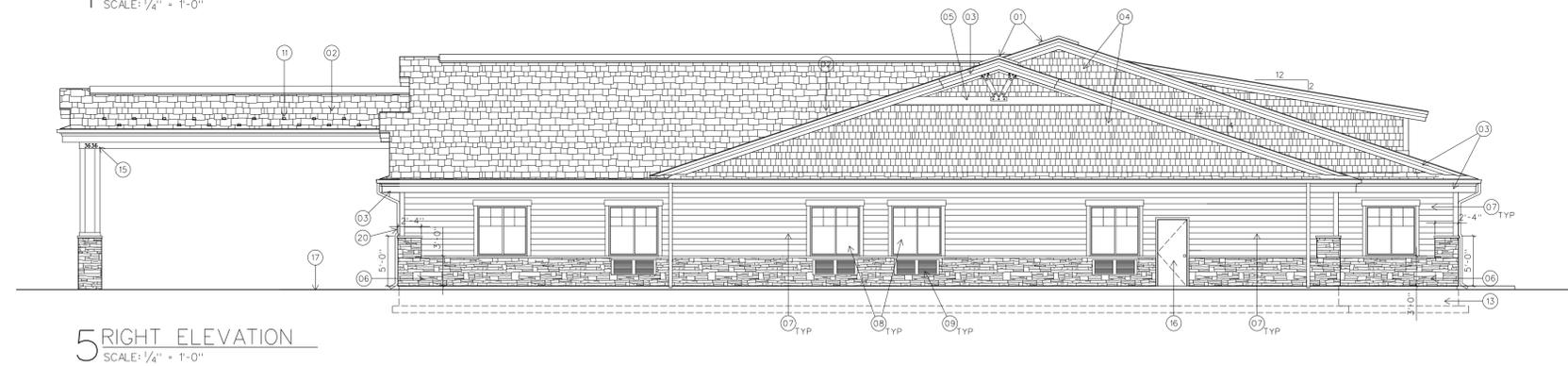
5/5/12

Date

File Name

Revisions

L.2



1 KEYED NOTES

01. BOSTON RAISED RIDGE VENT
02. 50 YR ASPHALT SHINGLE ROOFING
03. BUILT UP "HARDI" BOARD FASCIA
04. CEDAR SHAKE SIDING, STAIN
05. SURFACE APPLIED ROUGH SAWN TIMBER TRUSS
06. STONE VENEER WITH SILL CAP PER OWNER'S SPEC'S
07. 7" "HARDI" TRUE LAP SIDING
08. WINDOW ASSEMBLY, RE: A10.0 AND FLOOR PLANS
09. PTAC HVAC UNIT, RE: MECHANICAL DRAWINGS
10. 2X12 ANKLE BAND
11. STAGGERED SNOW CLEATS
12. ENTRY DOOR ASSEMBLY
13. CONCRETE FOUNDATION, RE: STRUCTURAL DRAWINGS
14. NOT USED
15. 4" TALL ADDRESS IDENTIFICATION NUMBERS
16. DOOR ASSEMBLY, RE: A10.0 AND FLOOR PLANS
17. FINISH GRADE, SLOPE AWAY FROM BUILDING
18. BUILDING BEYOND
19. RAIN GUTTER
20. DOWNSPOUT
21. HVAC CONDENSING UNIT, RE: MECHANICAL DRAWINGS
22. ELECTRICAL EQUIPMENT, STONE SILL CAP NOTCHED TO ACCEPT CONDUIT



TOMLINSON DESIGNS

335 W. State Street, Suite C
 Eagle, ID 83616
 Ph. 208/938-7012
 Cel. 208/602-3596
 tomlinsondesigns@comcast.net

LICENSED
 ARCHITECT
 AR-15296

Jason Tomlinson

DATE: 6/25/2013
 JASON W. TOMLINSON
 STATE OF IDAHO

The Cottages
 Assisted Living
 Hailey, Idaho

EXTERIOR ELEVATIONS
 Sheet title

Scale

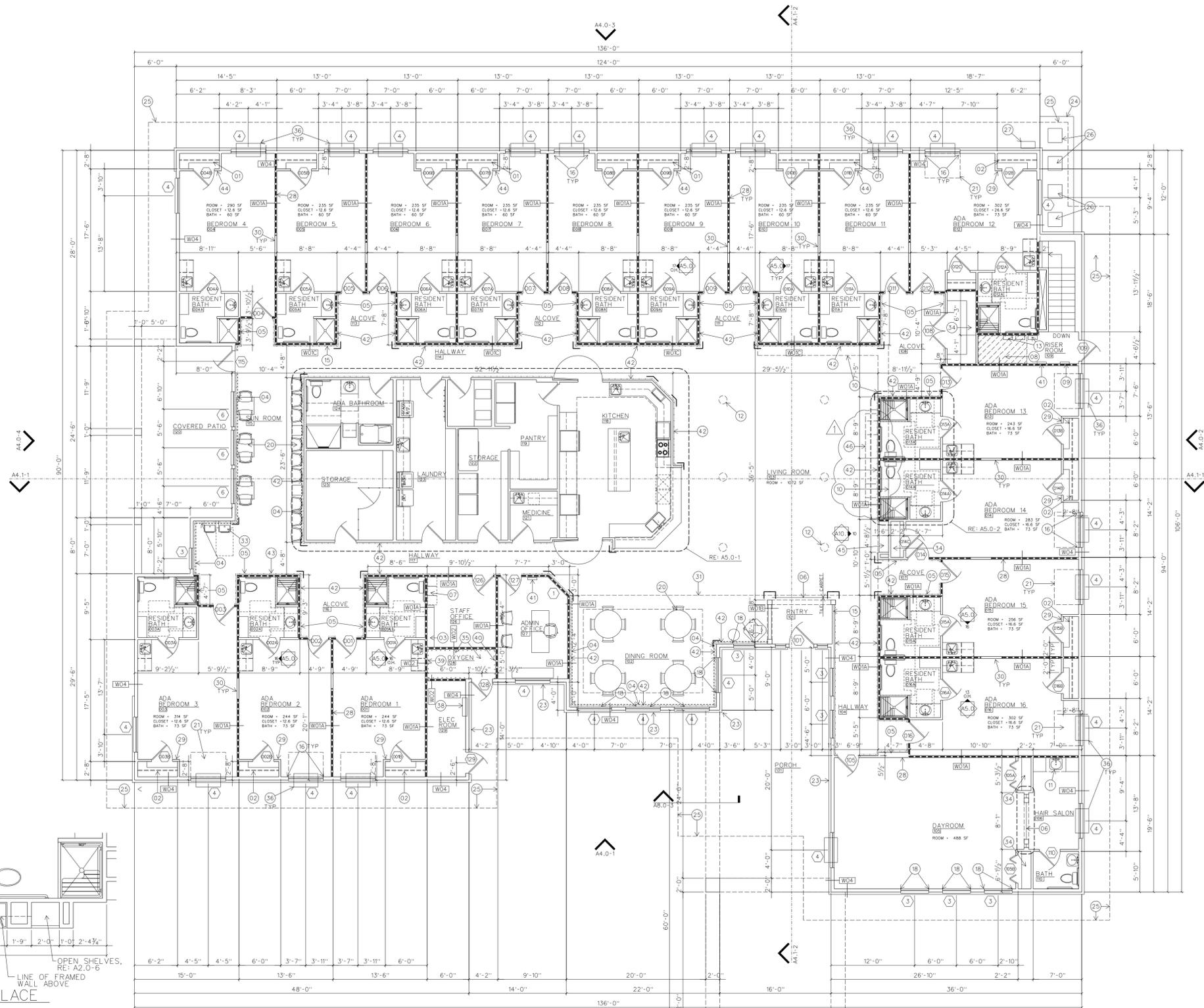
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6/21/2013
 Date

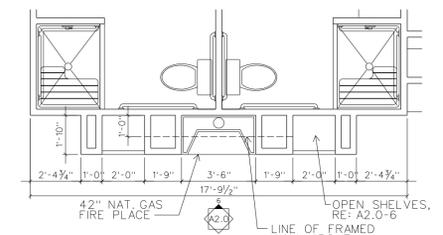
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1/13/2013
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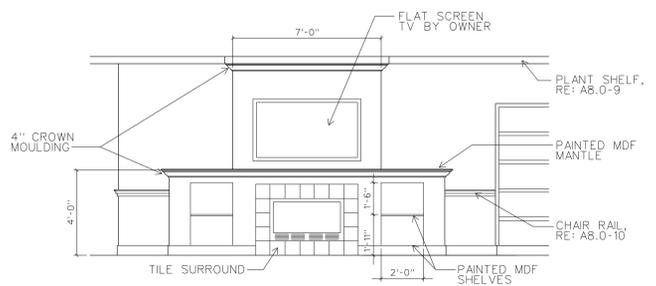
A4.0



4 FLOOR PLAN
SCALE: 1/8" = 1'-0"
11,360 SF



5 OPTIONAL FIRE PLACE
SCALE: 1/4" = 1'-0"



6 FIRE PLACE ELEVATION
SCALE: 1/4" = 1'-0"

1 GENERAL NOTES:

- A. GRAB BAR SPECIFICATION PER CABO-ANSI A117.1-1998 SECTION 604.5.2.609.2. DESIGN WITH BLOCKING TO WITHSTAND A 250 lb LOAD APPLIED AT ANY POINT ON THE BAR.
- B. PROVIDE DOOR SIGNAGE PER CABO-ANSI A117.1-1998 SECTION 703. MOUNT SIGN 48" TO 60" A.F.F. MEASURED TO THE BASELINE OF THE CHARACTERS. DOOR MOUNTED SIGNS SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.
- C. PROVIDE DOOR SIGNAGE PER CABO-ANSI A117.1-1998 SECTION 703. MOUNT SIGN 48" TO 60" A.F.F. MEASURED TO THE BASELINE OF THE CHARACTERS. DOOR MOUNTED SIGNS SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.
- D. RE: A10.0 FOR INTERIOR FINISH MATERIALS.
- E. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE MAX 5 lbs.
- F. PROVIDE SOLID BLOCKING BEHIND ALL WALL MOUNTED EQUIPMENT AND FIXTURES.
- G. BEDROOM/RESIDENT BATHROOMS NOTED AS "ADA" MUST BE FULLY ACCESSIBLE THROUGHOUT.
- H. ALL SPACES ARE ON AN ACCESSIBLE ROUTE PER ADA EXCEPT NON-ADA BEDROOMS. THE STORAGE RM No. 122, THE FIRE RISER ROOM No. 123, DAY ROOM BATHROOM No. 110, THE OXYGEN ROOM No. 128 AND THE ELECTRICAL ROOM No. 129.
- I. RE: A01.0 FOR WALL TYPE INFORMATION. ALL INTERIOR WALLS ARE WALL TYPE W01 UNLESS NOTED OTHERWISE.
- J. RE: A10.0 FOR DOOR AND HARDWARE SCHEDULES.
- K. DIMENSIONS ARE TO FACE OF STUDY RACE OF CONCRETE WALLS. CENTER LINES OF WINDOWS AND DOORS UNLESS NOTED OTHERWISE.

2 LEGEND

- CHAIR RAIL, RE: A8.0-10
- COMBINATION CHAIR RAIL AND HAND RAIL, RE: A8.0-11
- INTERIOR LOAD BEARING WALL, RE: STRUCTURAL
- SOUND INSULATION
- 4" HIGH x 3/4" THICK PLYWOOD WAINSCOT
- BEAD BOARD WAINSCOT
- CORNER GUARD

3 KEYED NOTES

- 01. 24" DEEP MELAMINE SHELF WITH CLOTHES ROD. INSTALL SECOND SET OF CLOTHES ROD HARDWARE TO ALLOW CLOTHES ROD TO BE INSTALLED AT A LOWER ELEVATION.
- 02. 24" DEEP MELAMINE SHELF WITH CLOTHES ROD. CONSTRUCT SHELF AND CLOTHES ROD TO BE ADJUSTABLE OR INSTALL AT ACCESSIBLE HEIGHT.
- 03. 12" DEEP MELAMINE SHELVES, RE: INTERIOR ELEVATIONS.
- 04. BEAD BOARD WAINSCOT
- 05. RECESSED DISPLAY NICHE TYPICAL, RE: DETAIL A5.0-17A. MOUNT EDGE OF DISPLAY SHELF 1/2" FROM THE INSIDE CORNER OF WALL OR THE EDGE OF THE DOOR FRAME.
- 06. LINE INDICATES CHANGE IN FLOORING MATERIAL. PROVIDE ADA COMPLIANT TRANSITION AS REQUIRED, TYPICAL.
- 07. (3) FOUR TIER LOCKERS.
- 08. MAINTAIN 4'x7' CLEAR FLOOR SPACE FOR INSTALL OF FIRE RISER.
- 09. IRRIGATION CONTROL PANEL, RE: LANDSCAPE AND ELECTRICAL DRAWINGS.
- 10. PAINT/DISPLAY SHELF ABOVE, RE: A9.0-7.
- 11. BEAUTY SINK BY OTHERS, PROVIDE SOLID BLOCKING IN WALL.
- 12. 14" SOLAR TUBE, FIELD VERIFY LOCATION WITH POTENTIAL CONFLICTS WITH TRUSS PLACEMENT.
- 13. WALL MOUNTED ON-DEMAND HOT WATER HEATERS - RE: CIRC PUMP AND WATER SOFTENER (IF APPLICABLE). HIGH TEMP (160 DEGREES) HOT WATER PROVIDED TO LARGE KITCHEN SINK, DISHWASHERS AND WASHING MACHINE.
- 14. WATER SOFTENER.
- 15. SEMI-RECESSED FIRE EXTINGUISHER CABINET, RE: A9.0-1.
- 16. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR INSTALLATION OF WINDOW COVERING BRACKETS. CURTAIN ROD END BRACKETS LOCATED 0" TO 3" ABOVE AND 1" TO 4" OUTSIDE WINDOW OPENING.
- 17. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR INSTALLATION OF WINDOW COVERING BRACKETS. CURTAIN ROD END BRACKETS LOCATED 12" ABOVE AND 6" OUTSIDE WINDOW OPENING WITH ONE CENTER BRACKET LOCATED 12" ABOVE WINDOW OPENING.
- 18. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR INSTALLATION OF WINDOW COVERING BRACKETS. CURTAIN ROD END BRACKETS LOCATED 6" ABOVE AND 6" OUTSIDE WINDOW OPENING. VALANCE BRACKETS LOCATED 12" ABOVE AND 12" OUTSIDE WINDOW OPENING.
- 19. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR INSTALLATION OF WINDOW COVERING BRACKETS. CURTAIN ROD END BRACKETS LOCATED 12" ABOVE AND 3" TO 6" OUTSIDE WINDOW OPENING WITH TWO INTERMEDIATE BRACKETS AT THIRD POINTS LOCATED 12" ABOVE WINDOW OPENING.
- 20. F.F. & E. OF01.
- 21. 42"x60" MIN. CLEAR FLOOR SPACE AT ACCESSIBLE WINDOW.
- 22. PROVIDE IN-WALL BLOCKING AS REQUIRED FOR INSTALLATION OF WINDOW COVERING BRACKETS. CURTAIN ROD END BRACKETS LOCATED 12" ABOVE AND 3" TO 6" OUTSIDE WINDOW OPENING WITH ONE CENTER BRACKETS LOCATED 12" ABOVE WINDOW OPENING.
- 23. STONE VENEER WAINSCOT, RE: A4.1-3.
- 24. CONCRETE PAD FOR CONDENSING UNIT, RE: MECHANICAL DRAWINGS.
- 25. ROOF LINE ABOVE.
- 26. HVAC CONDENSING UNITS, RE: MECHANICAL DRAWINGS.
- 27. PROPOSED GAS METER LOCATION.
- 28. SOUND INSULATION AT COMMON WALLS, TYP.
- 29. 2'-6"D x 5'-6"W OUTSIDE DIMENSIONS ON CLOSETS IN ALL ADA BEDROOMS.
- 30. FRAMING FOR FUTURE 3'-0" WIDE DOOR/OPENING.
- 31. SOFFIT ABOVE.
- 32. DELAYED EGRESS LOCKS AT MEMORY CARE FACILITY ONLY.
- 33. ACCESSIBLE HI-LO DRINKING FOUNTAIN WHERE REQUIRED BY BUILDING OFFICIAL.
- 34. 16" DEEP MELAMINE SHELVES, SPACE 24" VERTICALLY.
- 35. WALL TYPE W02 AND CEILING TYPE C02 ONE-HOUR FIRE RATED ASSEMBLIES THIS ROOM WITH 60 MIN. RATED DOOR AND FRAME.
- 36. PTAC UNIT, TYPICAL, RE: MECHANICAL DRAWINGS.
- 37. ELECTRICAL SERVICE.
- 38. PHONE/CABLE D-MARK.
- 39. INSTALL 4'-0" HIGH x 5/8" CDX PLYWOOD AT OXYGEN ROOM PERIMETER, INSTALL EYELETS AND CHAIN TO SECURE OXYGEN TANK TO WALL.
- 40. INSTALL 6"x10" TRANSFER GRILLE IN EXTERIOR WALL WITHIN 6" OF CEILING TO SERVE OXYGEN ROOM, RE: MECHANICAL DRAWINGS.
- 41. FIRE SYSTEM CONTROL PANEL, RE: ELECTRICAL DRAWINGS.
- 42. CHAIR RAIL, RE: A8.0-10
- 43. COMBINATION CHAIR RAIL AND HANDRAIL, RE: A8.0-11
- 44. 2'-6"D x 4'-6"W OUTSIDE DIMENSION ON CLOSETS IN STANDARD BEDROOMS.
- 45. BUILT IN BOOK SHELVES, RE:
- 46. OPTIONAL FIRE PLACE, RE: A2.0-5



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tomlinsondesigns@cablone.net

LICENSED ARCHITECT
AR-15296
Jason W. Tomlinson
DATE: 6/25/2013
JASON W. TOMLINSON
STATE OF IDAHO

The Cottages
Assisted Living
Hailey, Idaho

FLOOR PLAN
Sheet 111e

Scale

GM1301
Project Number

6/21/2013
Date

File Name
1/13/2013
Revisions

A2.0



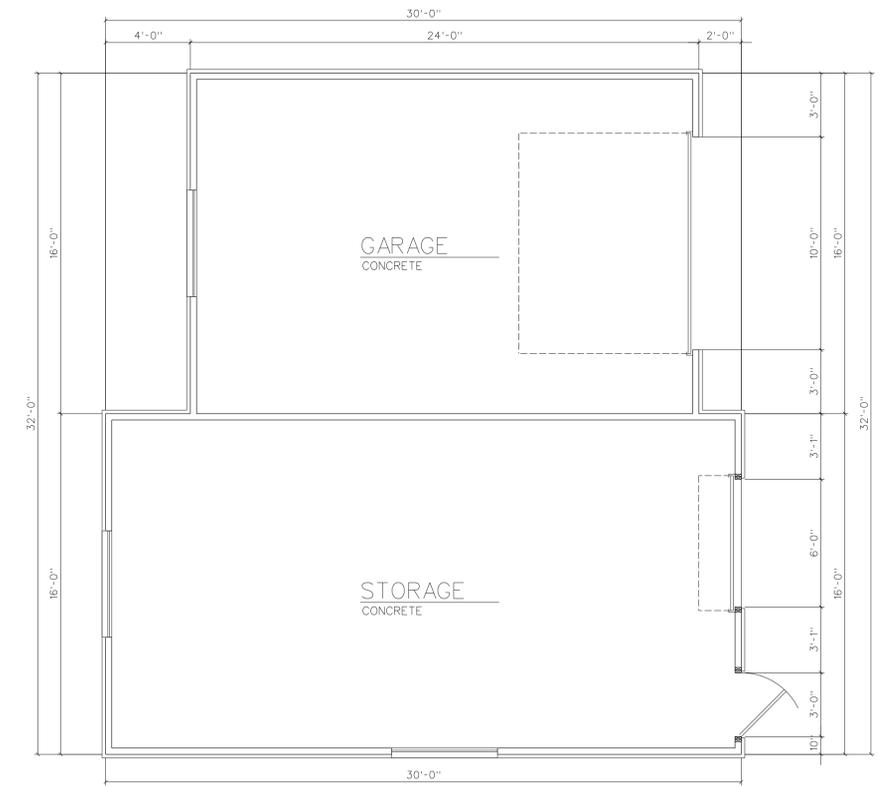
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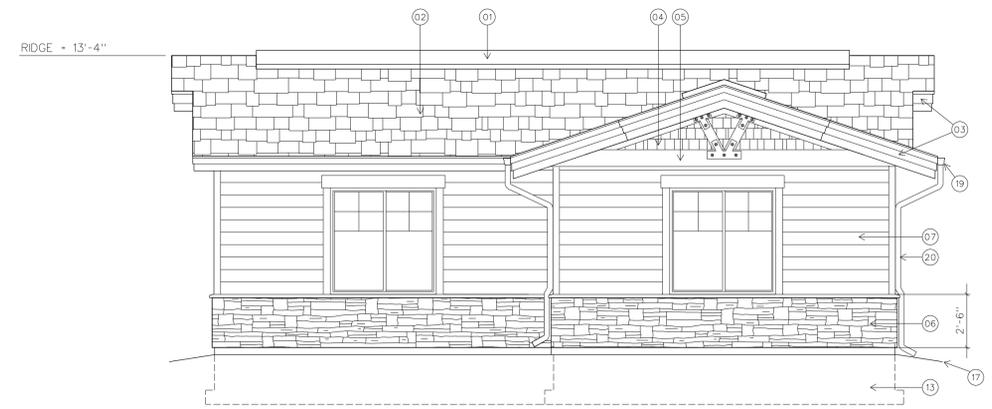
LICENSED
ARCHITECT
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DATE: 6/25/2013
JASON W. TOMLINSON
STATE OF IDAHO

KEYED NOTES

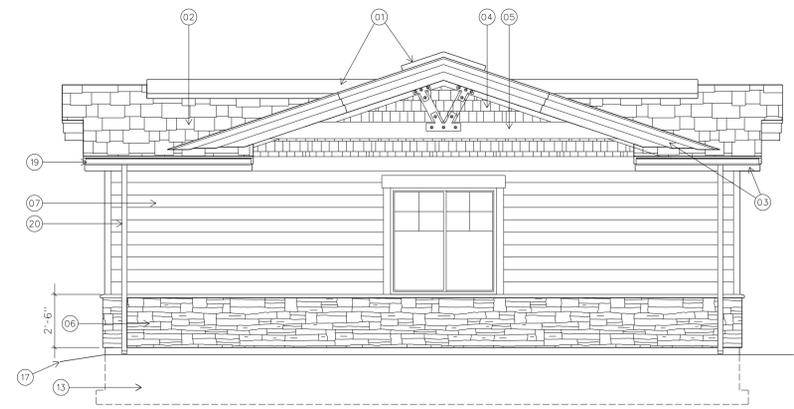
01. BOSTON RAISED RIDGE VENT
02. 50 YR ASPHALT SHINGLE ROOFING
03. BUILT UP "HARDI" BOARD FASCIA
04. CEDAR SHAKE SIDING, STAIN
05. SURFACE APPLIED ROUGH SAWN TIMBER TRUSS
06. STONE VENEER WITH SILL CAP PER OWNER'S SPEC'S
07. 7" "HARDI" TRUE LAP SIDING
08. WINDOW ASSEMBLY, RE: A10.0 AND FLOOR PLANS
09. PTAC HVAC UNIT, RE: MECHANICAL DRAWINGS
10. 2X12 ANKLE BAND
11. STAGGERED SNOW CLEATS
12. ENTRY DOOR ASSEMBLY
13. CONCRETE FOUNDATION, RE: STRUCTURAL DRAWINGS
14. NOT USED
15. NOT USED
16. DOOR ASSEMBLY, RE: A10.0 AND FLOOR PLANS
17. FINISH GRADE, SLOPE AWAY FROM BUILDING
18. NOT USED
19. RAIN GUTTER
20. DOWNSPOUT
21. NOT USED
22. ELECTRICAL EQUIPMENT, STONE SILL CAP NOTCHED TO ACCEPT CONDUIT



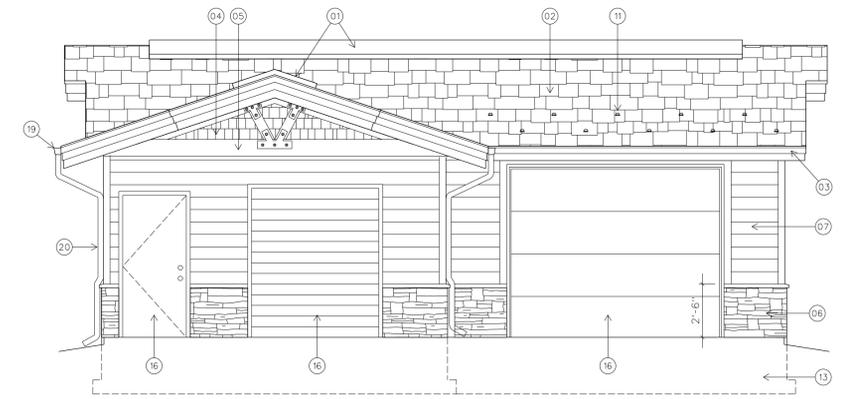
1 STORAGE BUILDING FLOOR PLAN
SCALE: 1/4" = 1'-0"



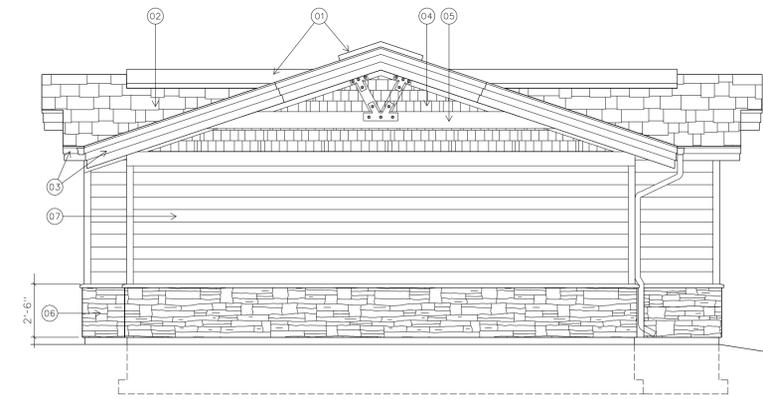
2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



4 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



5 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

The Cottages
Assisted Living
Hailey, Idaho

STORAGE BUILDING
Sheet title

Scale _____

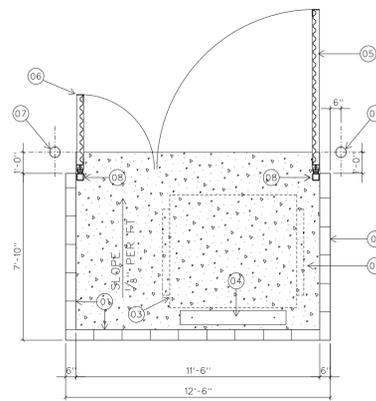
GM1301
Project Number

6/21/2013
Date

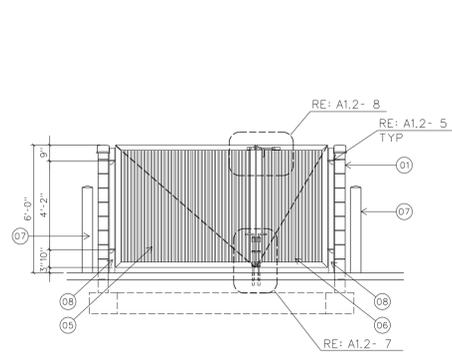
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Revisions _____

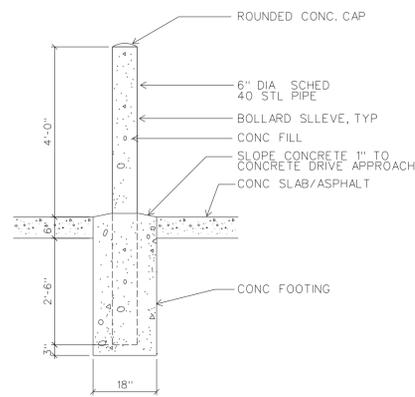
A1.3



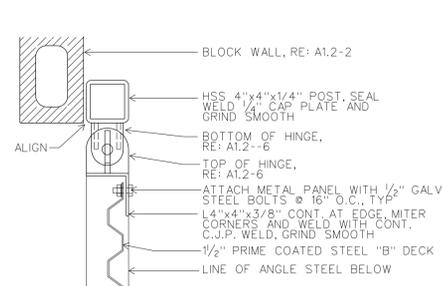
2 FOOTING PENETRATION
SCALE: 1/4" = 1'-0"



3 RE-ENTRANT SLAB CORNERS
SCALE: 1/4" = 1'-0"



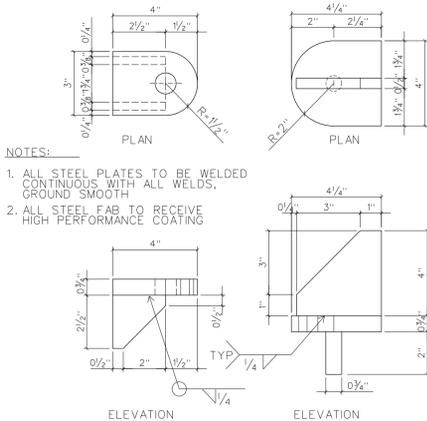
4 CORNER REINFORCEMENT
SCALE: 1/2" = 1'-0"



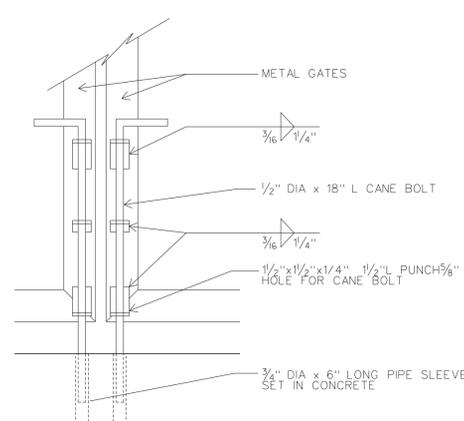
5 FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"

2 KEYED NOTES

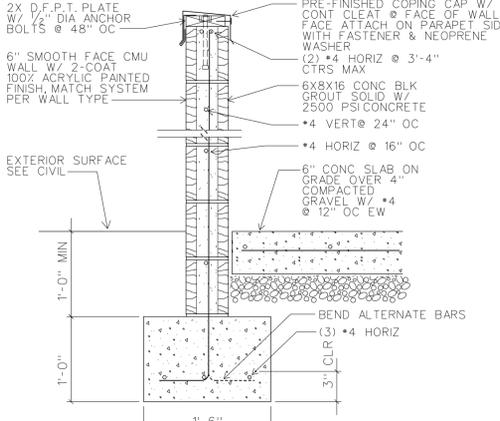
- 01. 6" STRUCTURAL, FULLY GROUTED, REINFORCED SMOOTH FACE CMU.
- 02. 4" CONCRETE SLAB OVER 4" CRUSHED ROCK BASE.
- 03. TRASH DUMPSTER BY OTHERS, VERIFY SIZE.
- 04. PRE-CAST CONCRETE PARKING BUMPER.
- 05. SWINGING STEEL GATE, RE: A1.2-3.
- 06. SWINGING STEEL GATE/DOOR, RE: A1.2-3.
- 07. PIPE BOLLARD, RE: A1.2-4
- 08. 4"x4" STEEL COLUMN, RE: A1.2-5



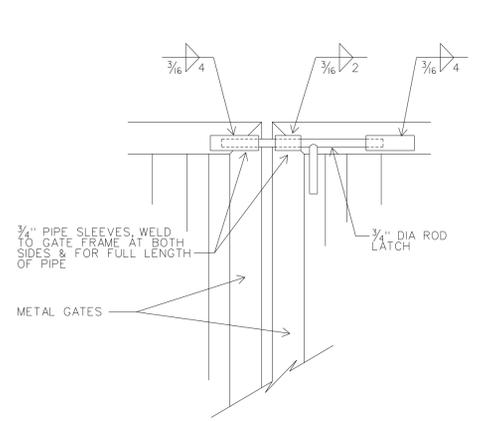
6 CONCRETE JOINTS
SCALE: 1/2" = 1'-0"



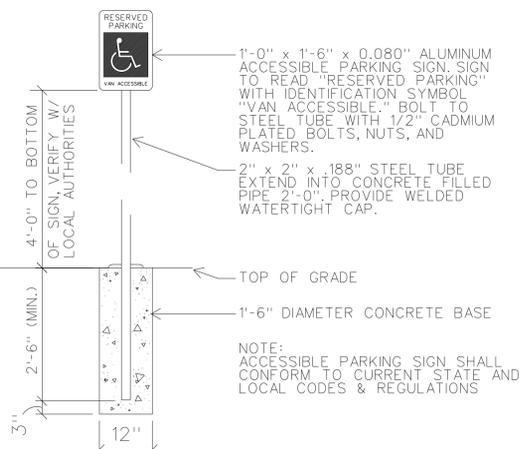
7 INTERIOR COLUMN FOOTING
SCALE: 1/2" = 1'-0"



8 STONE LEDGER DETAIL
SCALE: 1" = 1'-0"



9 STONE LEDGER DETAIL
SCALE: 1/2" = 1'-0"



10 HANDICAP PARKING SIGN
SCALE: N.T.S.

TD
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LICENSED ARCHITECT AR-15296
Jason Tomlinson
DATE: 6/25/2013
JASON W. TOMLINSON
STATE OF IDAHO

The Cottages
Assisted Living
Hailey, Idaho

TRASH ENCLOSURE
Sheet title

Scale

GM1301
Project Number

6/21/2013
Date

File Name

Revisions

A1.2



Conceptual Bid Proposal

Date: 6/28/2013

Project & Location:
Hailey Cottages

Submitted to:
Micah Austin
City of Hailey
Hailey, ID

Scope of Work:
Excavate native soil. Import 4" of $\frac{3}{4}$ " Minus base material. Place and Compact. Install 4" Concrete Sidewalk with no rebar, additive mixtures, etc.

Approximately 2,205 SF @ \$4.75 per SF = \$10,475.00

TOTAL BID- Ten Thousand Four Hundred Seventy-Five Dollars - \$10,475

Thank you for the opportunity to bid on the above project.

Justin King
Director of Operations – Excavation
Corporate Treasurer

619 N. Cloverdale | Boise, ID 83713 | Phone: 208.853.1720 | Fax: 208.853.6588

**DESIGN REVIEW
STAFF REPORT**

TO: Hailey Planning and Zoning Commission

FROM: Micah Austin, Community Development Director

RE: Design Review application by Gerald Flaherty for an accessory structure to be located at Lots 21 and 22, Block 24, Hailey Townsite (316 3rd Avenue S.), located with the LR-1 district and within the Townsite Overlay.

HEARING: July 8, 2013

Applicant: Gerald Flaherty

Request: Design Review is requested for an Accessory Structure (garage) to be located in the Townsite Overlay

Location: Lots 21 and 22, Block 24, Hailey Townsite (316 3rd Avenue S.)

Zoning: Limited Residential 1 (LR-1)

Notice

Notice for the public hearing was published in the Idaho Mountain Express on June 19, 2013 and mailed to property owners within 300 feet on June 19, 2013

Application

Addition and renovation of an accessory structure (garage) comprising 718 square feet on Lots 21 and 22, Block 24 of the Hailey Townsite. The accessory structure will be used as a garage and storage area. An existing garage will be demolished and rebuilt on the current foundation, which is non-conforming according to our bulk requirements. Section 13.9.1 allows for the demolition and reconstruction of a non-conforming building but requires no expansion of the original foundation or increase in the height of the building, however all new additions to the building must meet current bulk requirements. The new (replaced) garage meets these criteria and all new additions to the building meet the requirements of current setbacks and bulk requirements. This makes for a unique and interesting garage.

Procedural History

The application was submitted on June 6, 2013 and certified complete on June 6, 2013. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on July 8, 2013, in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application <ul style="list-style-type: none"> - <i>The current plan does not address storm water drainage but the applicant has indicated that he will present a finished drainage plan to present at the July 8 meeting. At the time of submittal, the applicant had not finished the drainage plan.</i> - <i>Except for a drainage plan, the application is complete.</i> - <i>All exterior lights will be recessed and “Dark Sky” compliant, however the owner has not chosen the specific lights yet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>The City Engineer is requesting that no sidewalks are not installed, mainly because large, mature elm trees are located in the right of way where a sidewalk would be required.</i>
				Life/Safety: <i>No concerns</i>
				Water and Sewer: <i>No concerns</i>
				Building: <i>No concerns</i>
			Streets: <i>No concerns</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	8.2 Signs: <i>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</i>
			Staff Comments	- <i>No signage is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code.
			Staff Comments	- <i>No additional parking spaces are required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a) All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b) All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c) Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d) Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e) Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any

				<p style="text-align: center;">such application by the Lighting Administrator.</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> - <i>Per the plans, all outdoor lighting will utilize recessed cans.</i> - <i>Specifications for the exterior lighting was not provided in the application because the owner is still deciding which style to purchase.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Bulk Requirements</p> <p><i>Staff Comments</i></p> <p><i>Zoning District: Limited Residential in the Townsite Overlay. Townsite Overlay bulk requirements apply.</i></p> <ul style="list-style-type: none"> - <i>Max Height: 30'.</i> <ul style="list-style-type: none"> o <i>Proposed building will be 19' 1 5/8"</i> - <i>Front Setbacks: TO: 12' from the street.</i> <ul style="list-style-type: none"> o <i>Proposed Accessory Structure is located in the rear of the lot</i> - <i>Side Setback: 15% of lot width, no less than 6' and 10' is the maximum required</i> <ul style="list-style-type: none"> o <i>The owner will be using the footprint of the existing accessory structure (garage), which is non-conforming. All expansions from this existing footprint comply with the minimum setback requirements.</i> o <i>Setback to new section of building is 10'. Minimum required for this lot is 7.5'</i> o <i>Complies with provisions of 13.9.1 for non-conforming buildings and expansions.</i> - <i>Alley Setback: 6'</i> <ul style="list-style-type: none"> o <i>New portion of accessory structure is located 6' from the alley</i> - <i>Maximum Lot coverage: 40% in LR for a single story dwelling with a garage</i> <ul style="list-style-type: none"> o <i>Lot size: 6000 sf</i> o <i>Maximum Lot coverage is 2400</i> o <i>Existing principle structure: 822</i> o <i>Proposed: 718</i> o <i>Proposed Lot coverage is 27.3%</i> 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>6A.7 (A) Required Street Improvements Required</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> - <i>The Drainage plan shows all water flowing away from the proposed structure at a 1% grade.</i> <ul style="list-style-type: none"> o <i>Where ever possible, the water drains into the yard, however the west portions of the garage drain into the alley.</i> o <i>The drainage plan shows that no storm water will drain onto the adjoining properties.</i> 	

				<ul style="list-style-type: none"> ○ - <i>Staff recommends waiving the requirement for sidewalks for the following reasons:</i> <ul style="list-style-type: none"> ○ <i>No sidewalks exist on either side of the home</i> ○ <i>A line of mature elm trees exists where the sidewalk would be located, and would require removal</i> ○ <i>The City Engineer recommends waiving the sidewalk requirement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	- <i>The project does not involve changing, rerouting or disturbing the existing water line in the alley.</i>

**Design Review Requirements for Non-Residential, Multifamily,
and/or Mixed Use Buildings within the City of Hailey**

3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p> <p><i>Garage is built with the same architectural theme and materials as the principle building. With the following changes:</i></p> <ul style="list-style-type: none"> - <i>Where the existing structure stands, the roof line will remain the same. Pitch is 4.5/12</i> - <i>Where the new addition will be built, the roof pitch is 9.5/12 to match the principle dwelling on the same lot.</i>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3b	<p>a. Accessory structures shall be located at the rear of the property.</p> <p>- <i>The garage is located at the rear of the lot, adjacent to the alley and neighboring property line.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3c	<p>b. Walls and fences shall be constructed of materials compatible with other materials used on the site.</p> <p>- <i>The fence will be replaced with a cedar fence to match the existing cedar fence.</i></p> <p>- <i>Metal roofing will be used to match the existing home. (Sample reflects the exact roofing that will be used)</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3d	<p>c. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual</p>

				impact.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>No new landscaping walls are proposed.</i> - <i>Fencing will be replaced with new cedar fencing.</i> - <i>Existing landscaping will remain.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3e	<p>d. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>No roof projections, outside of standard venting for the sink, is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3f	<p>e. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>No alternative energy source will be placed on the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	<p>f. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>No ground-mounted equipment is proposed.</i> -
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	<p>a. All service lines into the subject property shall be installed underground.</p>
			<i>Staff Comments</i>	<p><i>All utilities are shown to be underground.</i></p> <ul style="list-style-type: none"> - <i>A new water line is the only new utility line necessary</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3i	<p>b. Additional appurtenances shall not be located on existing utility poles.</p>
			<i>Staff Comments</i>	<p><i>None</i></p>

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO): 6A.9				
6. Accessory Structures: 6A.9.C.6				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.6	<p>Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>Proposed garage is smaller in size and broken up with varying levels and roof lines.</i>

				- <i>The garage is located in the rear of the lot to emphasize the subordinate nature of the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			<i>Staff Comments</i>	- <i>Proposed garage is located in the rear of the lot.</i>
10. Non-residential and Multi-Family Uses: 6A.9.C.10				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.10	Guideline: Non-residential uses in Old Hailey should be designed with a residential, human scale in mind.
			<i>Staff Comments</i>	- <i>The proposed garage is designed to fit well with the existing building and with themes currently found in Old Hailey.</i> - <i>It is not a dwelling unit, however it has the look and feel of a dwelling unit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.9.C.9	Guideline: Parking for non-residential uses shall be carefully planned to avoid pedestrian conflicts and to be subordinate to other design elements on the site.
			<i>Staff Comments</i>	- <i>The garage does not create the need for additional.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	Guideline: Utilities for non-residential and multifamily structures shall be integrated into the site design. Utilities should, in most cases, be fully screened from view.
			<i>Staff Comments</i>	- <i>Other than a water line to the garage, no additional utility services or facilities thereof will be added.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.9.C.9	Guideline: Multi-family structures shall be designed with a single family residential scale in mind. This includes: <ul style="list-style-type: none"> • Breaking up wall planes; • Use of individual walk-up entrances; • Breaking up of parking areas; • Ensuring parking areas are subordinate to other uses.
			<i>Staff Comments</i>	- <i>Proposed structure is a garage and will not be used as Multi-Family structure.</i>

6A.6 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
1. Ensure compliance with applicable standards and guidelines.

- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
 - b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
 - c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
 - e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
 - f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
 - g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
 - h) All utilities will be located underground, consistent with 6A.9.C.1.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

Motion Language

Approval:

Motion to approve the design review application by Gerald Flaherty for an accessory structure to be located at Lots 21 and 22, Block 24, Hailey Townsite (316 3rd Avenue S.), located with the LR-1 district and within the Townsite Overlay, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (h) are met.

Denial:

Motion to deny the design review application by Gerald Flaherty for an accessory structure to be located at Lots 21 and 22, Block 24, Hailey Townsite (316 3rd Avenue S.), finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on the design review application by Gerald Flaherty for an accessory structure to be located at Lots 21 and 22, Block 24, Hailey Townsite (316 3rd Avenue S.) to _____ [Commission should specify a date].

City of Hailey - Design Review Application

Submittal Date: 06/26/13

Project Name: 316 3rd Avenue South Parcel No. RPH 0000024021A
Legal Description of Property: Subdivision Hailey Lot(s) 2/2, 2/2, Block 24
Street Address of Property: 2 LR-1 1/2 HTO
Current Zoning of Property: 316 3rd Ave S. Year of original construction:
(Only applicable if property is within the Townsite Overlay)
Existing building gross sq. ft. (if applicable) Proposed addition or new construction sq. ft.

Name of Owner of the Property: Gerald Flaherty
Mailing Address: Box 3974 City: Hailey State: ID Zip: 83333
Phone: (208) 471-0426 Fax: () Cell: ()
Email Address: jerry@thevalleyclub.com

Property Owner Consent:
By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any ex parte discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: Date: / /

Name of individual to contact on behalf of Trust or LLC (if applicable):
Mailing Address: City: State: Zip:
Phone: () Fax: () Cell: ()
Email Address:

Application Contact (if different than above):
**Application Contact will be the Planning Department's primary point of contact for questions related to the application.
Mailing Address: City: State: Zip:
Phone: () Fax: () Cell: ()
Email Address:
Signature: [Signature] Date: 6-27-13 / /

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

- Commercial, Mixed-Use or Multi-Family..... \$ 450.00
plus \$25 / 1,000 gross square feet..... \$
OR [X] Single-Family Dwelling, Duplex or Accessory Structure in TO..... \$ 250.00
OR [] No Substantial Impact..... (Mailing only)..... \$ 75.00
OR [] Modification to DR Approval.. (No publication or mailing)..... \$ 50.00
OR [] DR Exemption.. (No publication or mailing)..... \$ 30.00
Publication cost..... \$ 40.00
Mailing (# of addresses 31) x (.46 postage + .15 paper, envelope & label) \$ 18.91
DO NOT COUNTY DUPLICATES OR CITY OF HAILEY
Total Due..... \$ 308.91

DESIGN REVIEW—APPLICATION CHECKLIST

Project Name:

Flaherty Accessory Structure
- 316 3rd Ave. South

City Use Only

Certified
Complete by:
Date: / /

The following items must be submitted with the application for the application to be considered complete (✓):

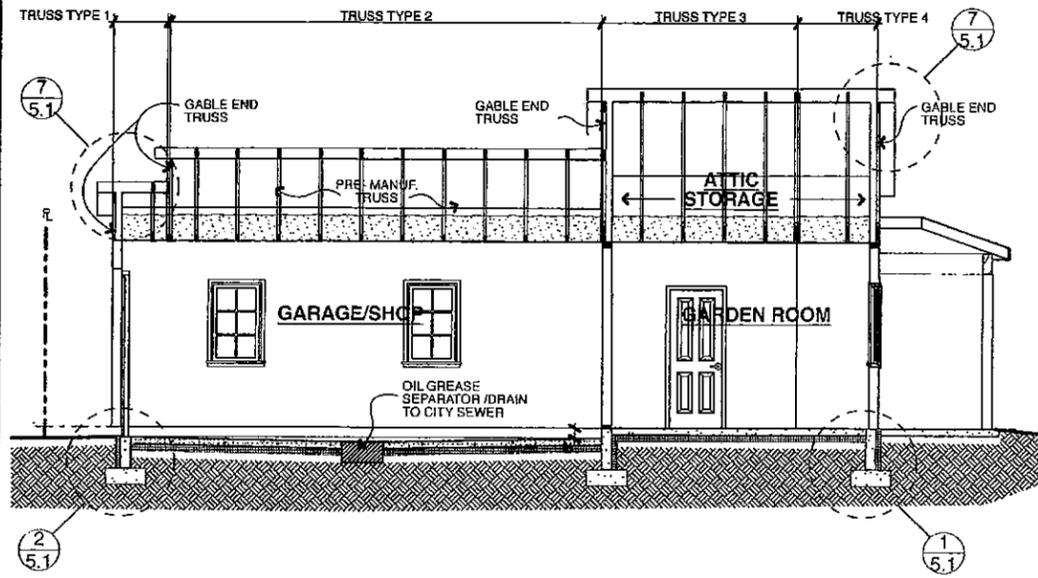
Yes	No	Item	Description
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1.	The completed Design Review application form including project name and location, and applicant and representative names and contact information.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2.	One (1) 24" x 36" set of plans and survey and one (1) 11" x 17" set showing at a minimum the following:
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	a.	Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b.	Drainage plan (grading, catch basins, piping, and dry-wells).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c.	Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d.	Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation, and snow storage. List square footage of subject property including lot dimensions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e.	Landscape plan (existing landscaping on the site shown as retained, relocated or removed; proposed landscaping including species type, size and quantity).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	f.	Floor plan. List gross square footage for each floor. List occupancy classification and type of construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g.	Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	h.	Exterior Lighting plan, pursuant to Article VIII B, of the Zoning Ordinance (location, height, type, and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	i.	Sign plan (location, dimensions and lighting).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3.	Plans and drawings for all buildings, except Single Family Dwellings and Accessory Structures, shall be prepared and stamped by an Idaho licensed architect.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4.	A materials and colors sample board. Each sample should be approximately 12"x12" in size.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	5.	One (1) colored rendering of at least one side of the proposed building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	6.	Staging and contractor parking plan. Statement of where staging will occur, and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters, contractor parking, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.	A list of the names and addresses of all property owners and residents within three hundred (300) feet of the exterior boundaries of the subject property, in a format acceptable to the City. (Names and addresses can be obtained using the Blaine County map server http://maps.co.blaine.id.us/ or from the Blaine County Assessor's office)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	8.	Other information as required by the Administrator, Hearing Examiner or the Commission.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	9.	Electronic PDF copies of all documents and materials listed above. (RECOMMENDED)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	10.	Written statement of how each design review standard is met. (RECOMMENDED)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	11.	Payment of applicable fees.

828
 816
 716
 1691

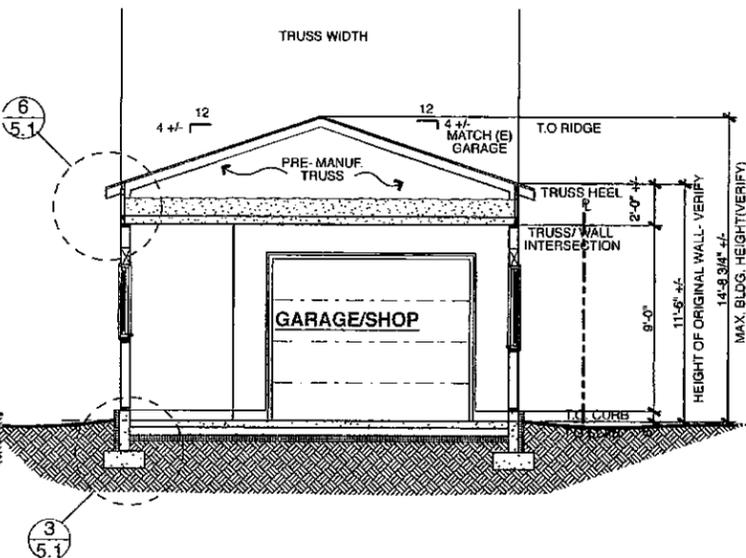
20 x 22 = 616
 17 x 10 = 170 = 802
 6 x 6 = 36

City Use Only:

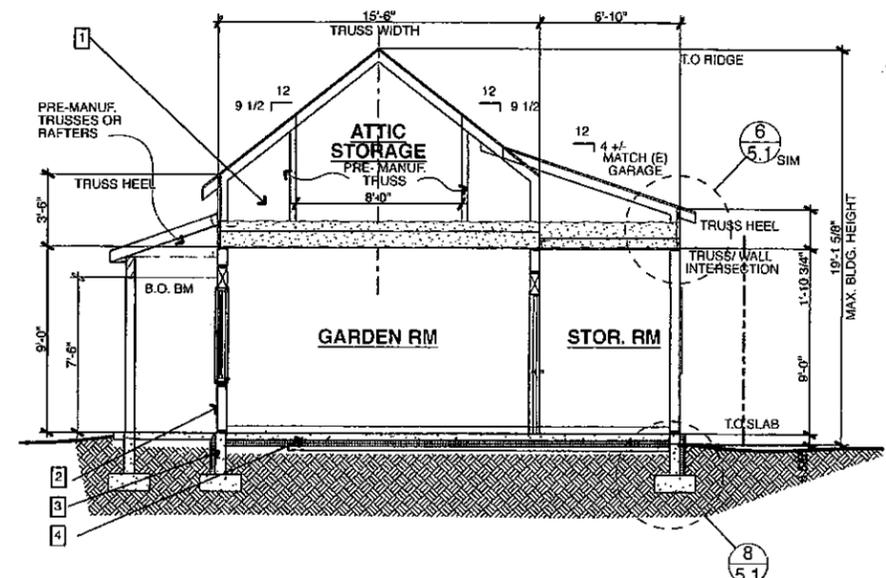
<p>___ Verify that application is complete</p> <p>___ Double check address</p> <p>___ Advise applicant if Lot Line Adjustment is needed</p>	<p>___ Check following basic standards:</p> <p>___ Density</p> <p>___ Setbacks</p> <p>___ Height (plans must show elevation points of record grade)</p> <p>___ Lot coverage</p> <p>___ Floor area</p> <p>___ Required Parking Spaces</p>
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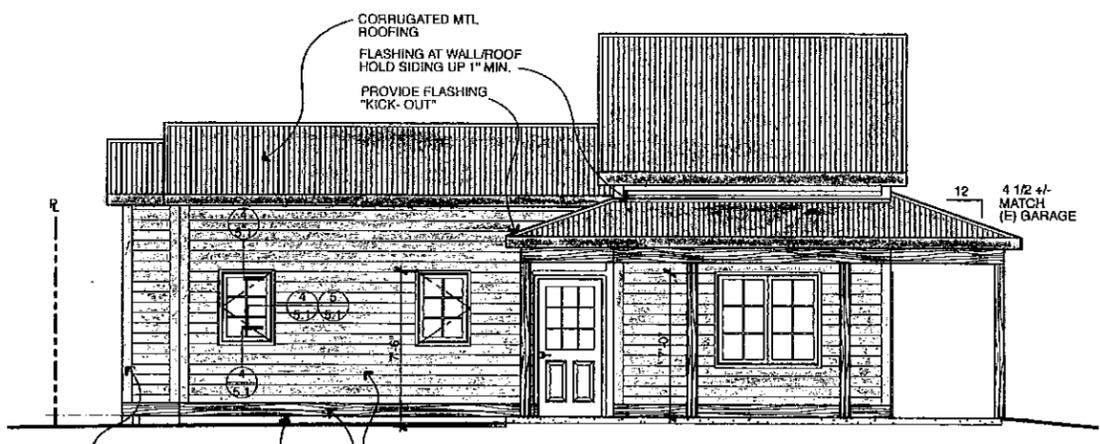
SECTION 3
1/4" = 1'-0"



SECTION 2
1/4" = 1'-0"

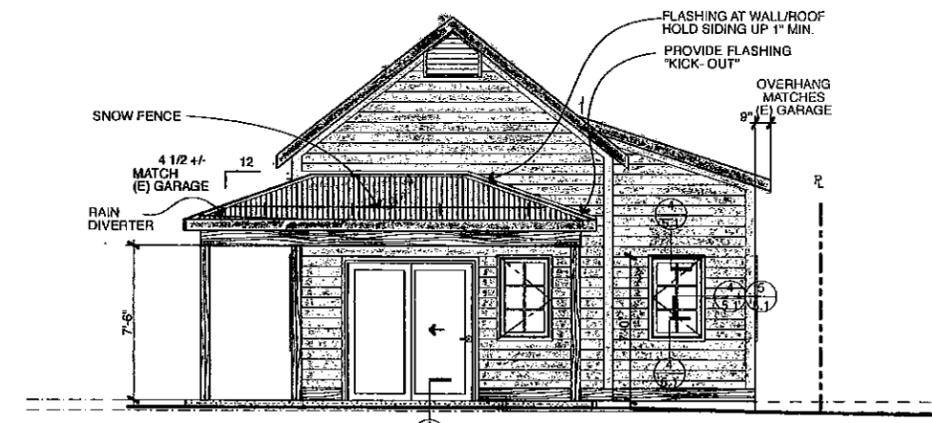


SECTION 1
1/4" = 1'-0"

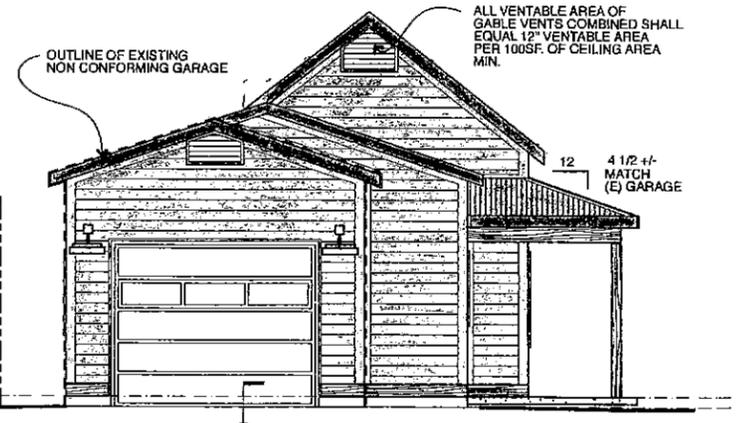


NORTH ELEVATION 5
1/4" = 1'-0"

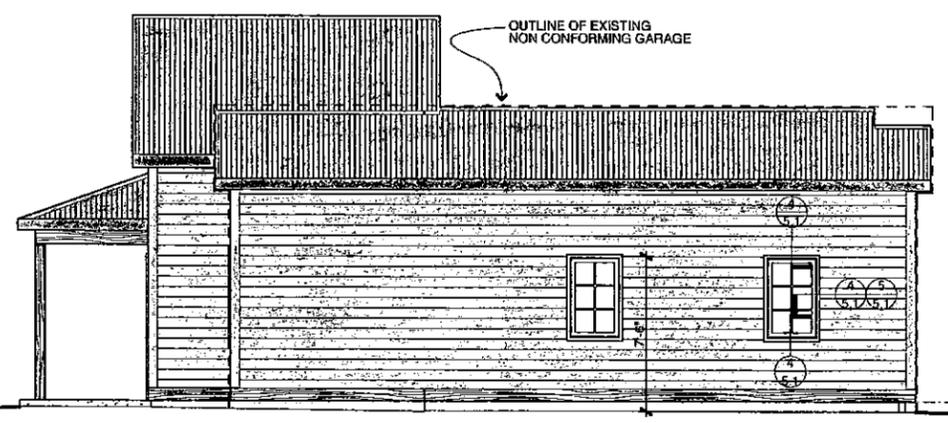
SECTION NOTES/MATERIALS	
KEY	REFERENCE LOCATION
1	TYPICAL SLOPED ROOF CONSTRUCTION FACTORY PAINTED, CORRUGATED METAL ROOF ATTACHED WITH GASKETED SCREWS, OVER ICE & H2O SHIELD AT EAVES AND UPSLOPE 5' FROM EXT. FACE OF WALL. STD ASPHALTIC IMPREGNATED UNDERLAYMENT REMAINDER OF ROOF AS REQ. BY CODE. SHEATHING PER CODE TRUSSES PER TRUSS MANUF. BLOWN IN CELLULOSE INSUL R-50 MIN 5/8" DRYWALL CEILING W/ VAPOR BARRIER ON BOTTOM OF TRUSS CHORD ZERO VOC PRIMER AND PAINT
2	TYPICAL EXTERIOR FRAMED WALL CONSTRUCTION CEMENT WOOD FIBRE SIDING TYVEK HOUSE WRAP SHEATHING PER CODE 2X6 WALLS BLOWN IN CELLULOSE INSUL R-21+ VAPOR BARRIER ON WARM SIDE OF WALL ON STUD 5/8" DRYWALL ZERO VOC PRIMER AND PAINT
3	TYPICAL FOUNDATION WALL 2" RIGID EXTRUDED POLYURETHANE CLOSED CELL FOAM BOARD R-10 MIN. CONCRETE SEALED PER CODE AS REQ. WITH "PEEL N STICK"
4	TYPICAL SLAB ON GRADE SLAB GARAGE, CONCRETE SEALED WITH "CURE N SEAL", GARDEN RM SMOOTH TROWELED WITH INTEGRAL COLORED CONCRETE & ACRYLIC CLEAR TOP FINISH, OR ACID STAINED, ACRYLIC FINISH SYSTEM. 2" RIGID EXTRUDED POLYURETHANE CLOSED CELL FOAM BOARD R-10 MIN. COMPACTED FILL AS REQ.



ELEVATION 4
1/4" = 1'-0"



EAST ELEVATION 6
1/4" = 1'-0"



ELEVATION 7
1/4" = 1'-0"

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AUG 22 2012
CITY OF HAILEY

LICENSED ARCHITECT
AR 994268
WYOMIN SHERRETT
STATE OF IDAHO
EXP. 18 DEC, 2012
ORIG. WET STAMPED
SIGNED COPY ON
FILE AT V. OFFICE

New Work Areas
FLAHERTY GARAGE/ & GARDEN ROOM IDAHO
HAILEY

Vital ink LLC
Environmental Architecture
& Consulting
30 Wyatt Drive, Bellevue, Idaho 83313
(208) 720-6315 Ph

REVISIONS

DATE
24 AUG, 2012

A3.1

GENERAL NOTES AND STRUCTURAL SPECIFICATIONS

Any discrepancies in the drawing, notes and specifications, shall be reported to owner's representative for clarification. The contractor shall verify and coordinate dimensions prior to proceeding with any work or fabrication.

Roof: LL 100 psf (Snow) Floor: Slab on grade
DL 20 psf
TL 120 psf

Seismic Design - 2009 IBC w/ 35% Snow Load & Design Soil Parameters, SDS=0.45, SDC 'C'

Wind Loading -2009 IBC W/80 MPH, (3 Second Gust) Exposure B

Soil - 2000 psf bearing pressure assumed on firm, drained, undisturbed granular strata. Owner and Contractor to verify soil adequacy. Compact to 95%, if disturbed.

Concrete - 3000 psi in 28 days, minimum 5 sack mix, 4% minimum entrained air

Bolts - A307, U.S.O.

Steel - A36 (plates, bars)

Nails - Common wire or galvanized box.

Framing per - 2009 IBC

Sawn Lumber - 2x DF-L #2 or better
- 4x DF-L #2 or better
- 6x and up DF-L #1 or better

Laminated Veneer Lumber (LVL):

Shall conform to Boise Engineered Wood Products as 2.0E, Fb=2800 psi minimum.

Trusses - Trusses to be manufactured to the dimensions provided by the Architect & stamped by an Idaho Civil Engineer. Shop drawings to be submitted to the Engineer of Record for approval prior to fabrication.

Connections per Simpson Co.

Flywood or OSB:

Roof 5/8" CDX/OSB with 40/20 span rating
Wall 7/16" CDX/OSB with 24/0 span rating

Safety - The engineer has not been retained nor compensated to provide design and/or construction review services related to the contractor's safety precautions or to means, methods, techniques, sequences or procedures for the contractor to perform his work. The undertaking of periodic site visits by the engineer shall not be construed as supervision of actual construction, nor make him responsible for providing a safe place for the performance of work by the contractor, subcontractors, suppliers or their employees.

FOUNDATION NOTES

THE ENGINEER HAS PREPARED THIS DRAWING BASED ON THE DIMENSIONS, ELEVATIONS, & TOP OF CONCRETE PROVIDED BY THE ARCHITECT. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS, & TOP OF CONCRETE PRIOR TO COMMENCING CONSTRUCTION.

ALIGN HOLD DOWNS w/ END OF SHEARWALL NOTED, ATTACH TO DBL STUDS, USE HOLD DOWN EMBED AS PER MFR.

DO NOT BACKFILL WALLS UNTIL FLOOR IS FRAMED & SHEATHED, AND CONC. HAS CURED 7 DAYS, MIN.

☒ DENOTES (2) 2x6 TRIMMERS PLUS KING STUD OR (3) 2x6 STUDS MIN. UNO.

▽ DENOTES SHEARWALL ABOVE

FOOTING SCHEDULE		
TYPE	SIZE	REINFORCEMENT AT 3" CLR FROM BOTTOM
F2.5	2'-6"x2'-6"x12"	(3) #4's EACH WAY

FRAMING NOTES

THE ENGINEER HAS PREPARED THIS DRAWING BASED ON THE DIMENSIONS, ELEVATIONS, & TOP OF CONCRETE PROVIDED BY THE ARCHITECT. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS, & TOP OF CONCRETE PRIOR TO COMMENCING CONSTRUCTION.

ATTACH STRAPS OVER SHTS & NAIL INTO FRMG. TYP

STICH ALL STUD BUNDLES TOGETHER WITH (2) 10d COMMON @ 18" o.c. MAX. ATTACH SHEATHING TO EACH STUD w/ TYP. NAILING

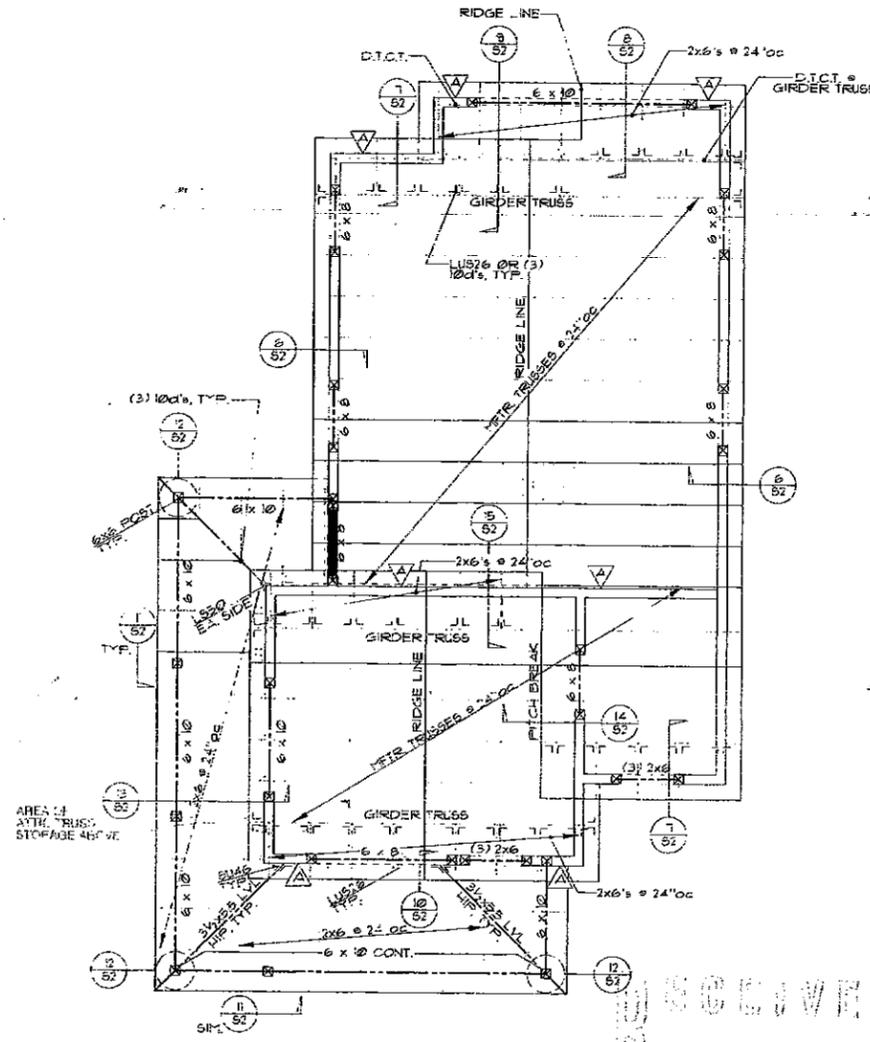
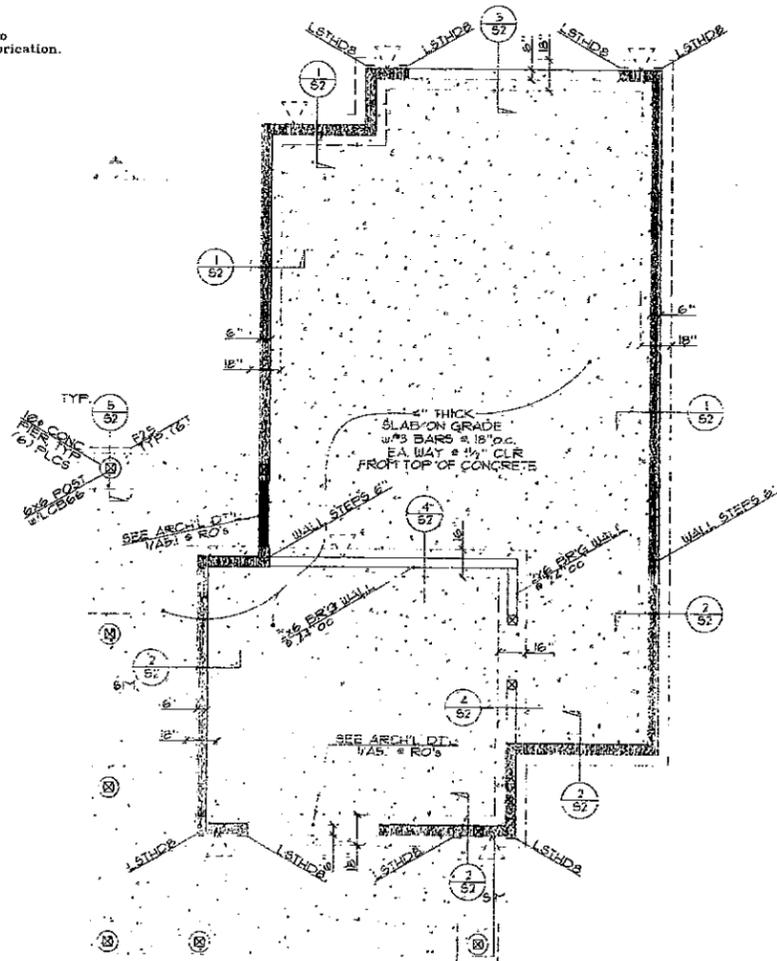
☒ DENOTES (2) 2x6 TRIMMERS PLUS KING STUD OR (3) 2x6 STUDS MIN. UNO.

▽ DENOTES SHEARWALL SEE SHEARWALL SCHEDULE

TYPICAL HEADER SUPPORTS ARE (2) TRIMMERS w/ KING STUD UNO.

TYPICAL BEARING WALLS SHALL BE 2x6 STUDS @ 24" o.c. W/DBL TOP IE ALIGN W/ TRUSSES.

SHEARWALL SCHEDULE	
SYMBOL	DESCRIPTION
▽	1/16" CDX/OSB BLK ALL EDGES, NAIL w/ 8d's @ 6" o.c EDGES, 8d @ 12" o.c FIELD.



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SEP 11 2012
CITY OF HAILEY

REVIEW SET

HAILEY, IDAHO

FLAHERTY GARAGE & GARDEN ROOM

PROJECT # 1231

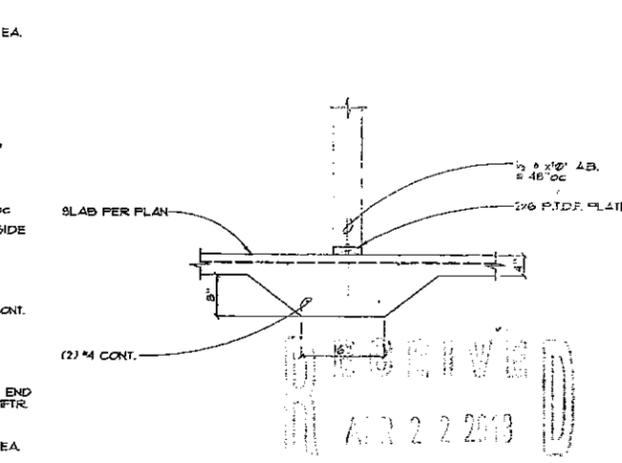
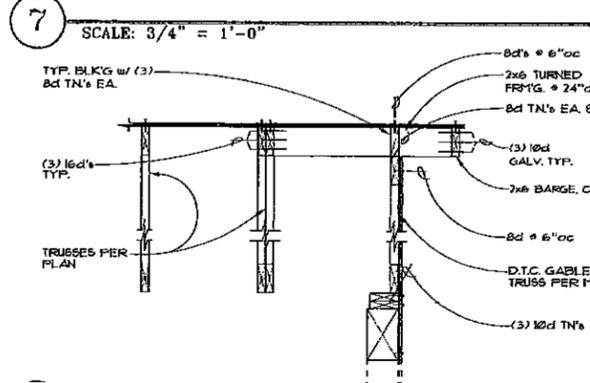
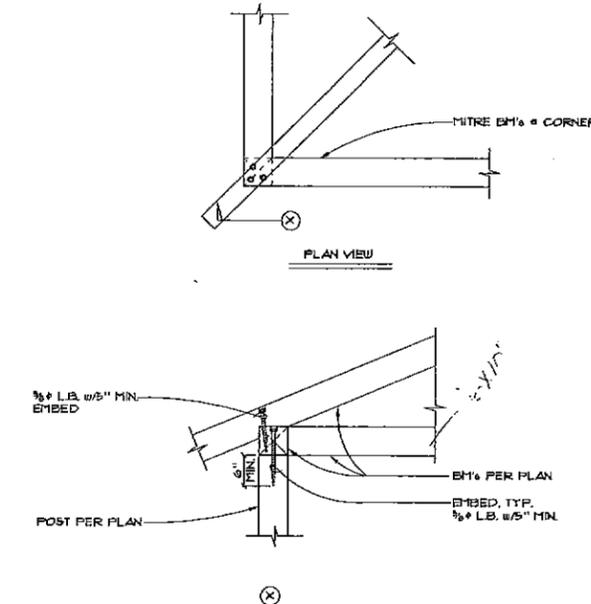
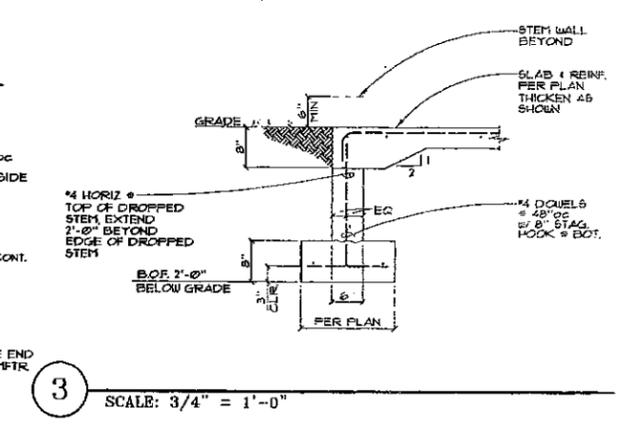
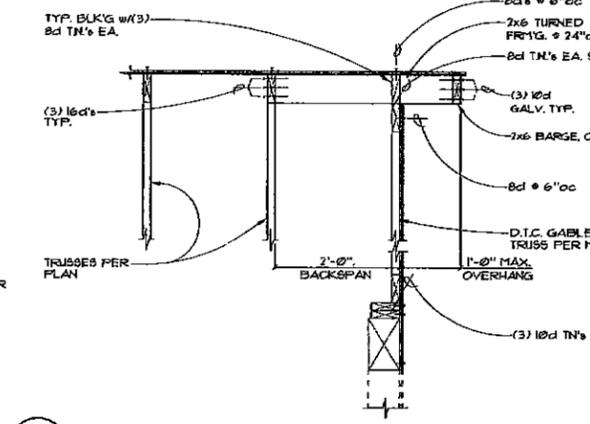
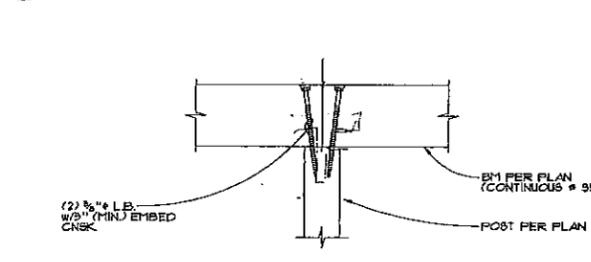
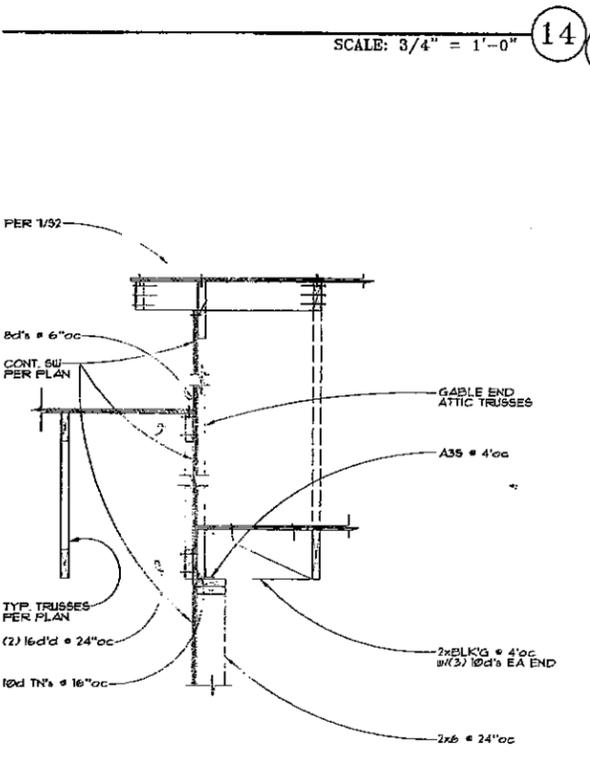
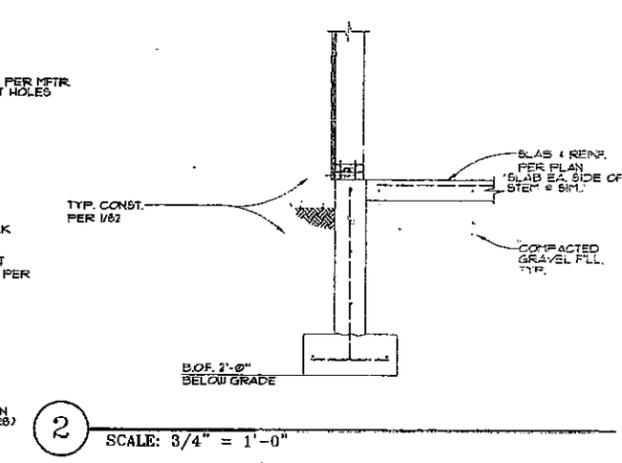
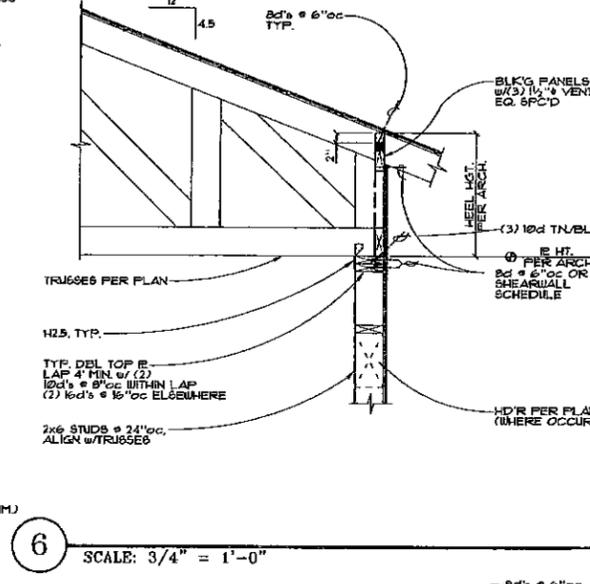
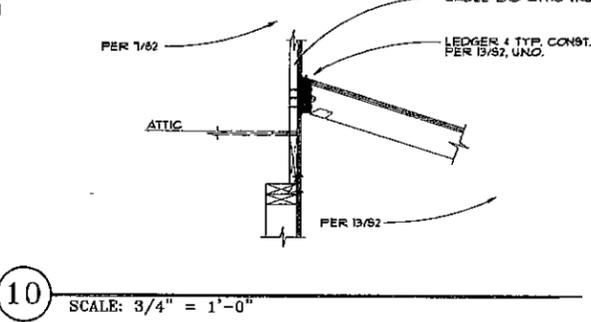
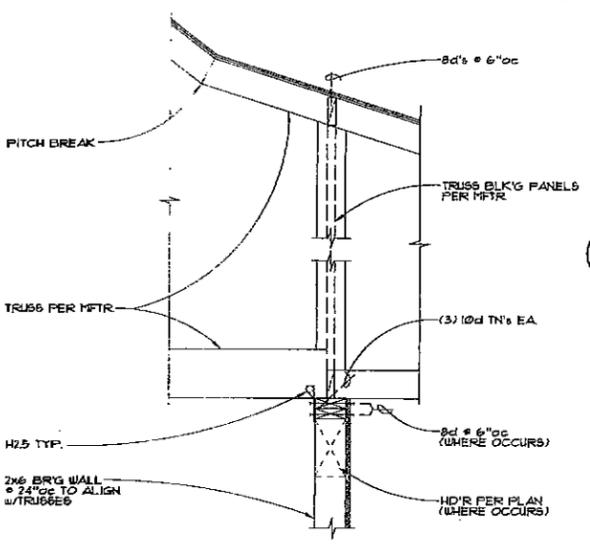
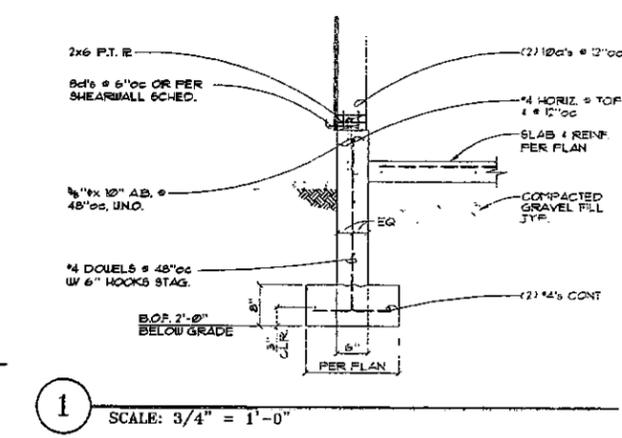
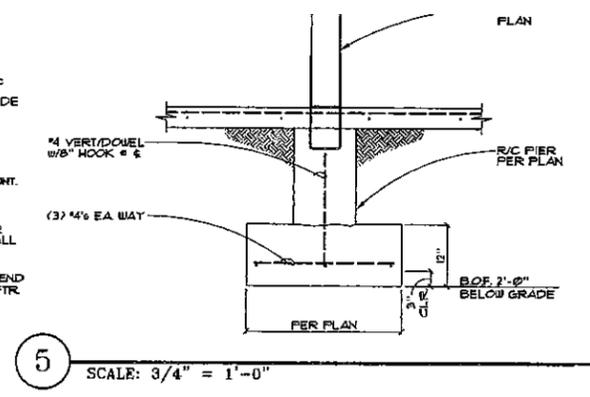
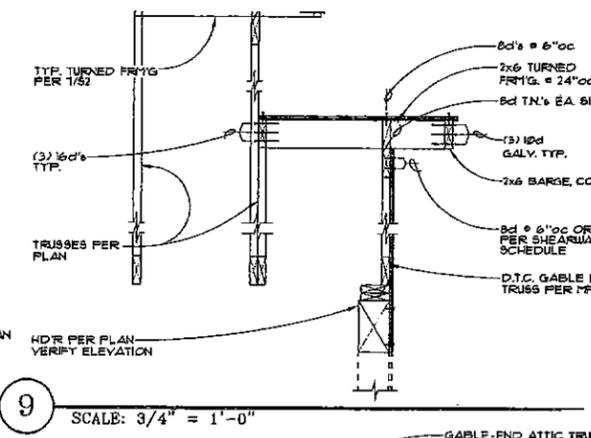
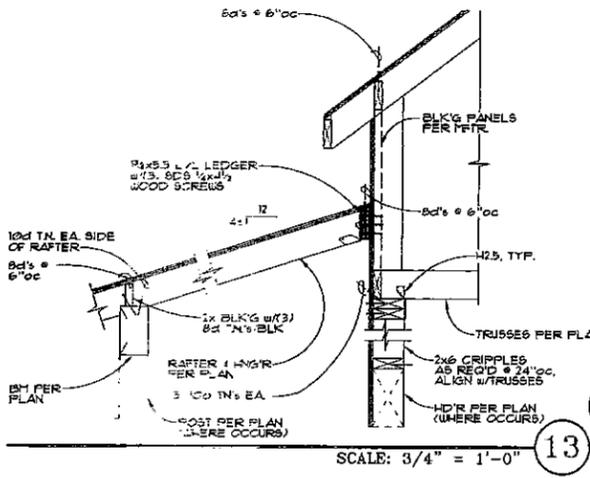
DATE/SET
SEPTEMBER 6, 2012
REVIEW SET

ROOF FRAMING
&
FOUNDATION PLAN

SHEET:

S1

Konrad & Stohler
Structural Engineering, LLC
P.O. Box 7910 • P. 823-7911 • kstohler@konradandstohler.com
614 S. Main, Bellevue Idaho, 83319



REVIEW SET
 SEP 22 2012
 CITY OF HAILEY

REVIEW SET

FLAHERTY GARAGE & GARDEN ROOM HAILEY, IDAHO

Konrad & Sohler
 Structural Engineering, LLC
 T: 828-7810 F: 828-7811 ksohler@konradsohler.com
 614 S. Main, Bellevue Idaho, 83813

PROJECT # 1231

DATE/SET
 SEPTEMBER 6, 2012
 REVIEW SET

STRUCTURAL DETAILS

SHEET: **S2**

PERMIT SET

1) GENERAL DATA

1.1 IT IS THE INTENT OF THE OWNER THAT EFFORTS BE MADE TO BUILD THIS PROJECT WITH A MINIMUM OF POTENTIAL TOXIC CHEMICAL PRODUCTS. MATERIAL SAFETY DATA SHEETS (MSDS) AND TECHNICAL LITERATURE FROM THE MANUFACTURER FOR ALL PRODUCTS NOT SPECIFIED SHALL BE SUBMITTED FOR REVIEW TO THE ARCHITECT A MINIMUM OF 2 WEEKS BEFORE ORDERING TO ALLOW FOR RESEARCH INTO LESS TOXIC ALTERNATIVES.

1.2 CHEMICALS, PETROCHEMICALS, SOLVENTS, OR GAS AND OILS FOR USE IN CONSTRUCTION OR FOR CONSTRUCTION MACHINERY SHALL NOT BE STORED IN THE STRUCTURE AT ANY TIME AND WHEN ON SITE WILL BE HANDLED WITH EXTREME CARE TO PREVENT SPILLING ON THE SITE.

1.3 NO SMOKING WILL BE ALLOWED WITHIN OR IN THE VICINITY OF THE STRUCTURE.

1.4 WORK TO BE PERFORMED SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CURRENTLY ADOPTED BUILDING CODES. THIS SHALL INCLUDE BUT NOT BE LIMITED TO THE IBC, IFC, IRC, NEC, ANSI, IBC OR ANY OTHER STATE, OR LOCALLY ADOPTED BUILDING CODES. IN ADDITION ALL WORK SHALL BE DONE PER MANUFACTURER'S SPECIFICATIONS REQUIREMENTS AS WELL AS PER SPECIFIC TRADE OR INSTITUTES REQUIREMENTS OR PRACTICES FOR MATERIALS OR TRADE CRAFT AS WELL AS CONSTRUCTED TO LOCAL REGIONAL BEST PRACTICES. ANY APPLICABLE CODES OR DESIGN REVIEW/INSPECTION/DESIGN GUIDELINE DOCUMENTS, RULES OR REGULATIONS AT THE CONTRACTOR'S SOLE EXPENSE. CONTACT THE ARCHITECT PRIOR TO CONSTRUCTION FOR ANY NECESSARY CODE/CONSTRUCTION RELATED CLARIFICATIONS.

1.5 IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT AND OR MANAGE THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE APPLICABLE CODES OR STANDARDS. IF WORK PERFORMED IS NOT IN COMPLIANCE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY CORRECTIONS TO BRING THE WORK INTO COMPLIANCE AT THE CONTRACTOR'S SOLE EXPENSE. CONTACT THE ARCHITECT PRIOR TO CONSTRUCTION FOR ANY NECESSARY CODE/CONSTRUCTION RELATED CLARIFICATIONS.

1.6 THE USE OF THE WORD "PROVIDE" SHALL MEAN THROUGHOUT THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS THAT THE CONTRACTOR PROVIDES THE NECESSARY PARTS AND EQUIPMENT AND COMPLETELY INSTALLS SAID ITEMS IN A FINISHED SAFE FUNCTIONING/OPERATING MANNER.

1.7 FOR ANY CONSTRUCTION THAT RELATES TO EXISTING CONDITIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ANY AND ALL EXISTING DIMENSIONS. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN ADVANCE OF CONSTRUCTION FOR CLARIFICATION.

1.8 DURING ANY AND ALL CONSTRUCTION OR CONSTRUCTION RELATED ACTIVITIES ON THE PROJECT SITE, THE CONTRACTOR IS RESPONSIBLE THAT THE "WORK" IS BEING PERFORMED IN A SAFE, OSHA COMPLIANT, LOCAL ORDINANCE REQUIRED MANNER. THESE PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF THE CONTRACTOR. ADDITIONALLY THE CONTRACTOR IS RESPONSIBLE FOR ALL OF HIS/HER HIRING/SUBCONTRACTOR TRADES THAT THEIR WORK IS BEING PERFORMED SAFELY AND IN A MANNER COMPLIANT WITH ALL THE CONSTRUCTION DOCUMENT REQUIREMENTS, CODES, AND MANUFACTURER'S REQUIREMENTS.

1.9 IF THE CONTRACTOR DISCOVERS ANY ERROR, DISCREPANCY, INCONSISTENCY IN THE CONSTRUCTION DOCUMENTS, THIS MATTER SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT IMMEDIATELY FOR RESOLUTION/CLARIFICATION. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION AFTER DISCOVERY OF SAID DISCREPANCY ETC. THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECTION OF ANY WORK THAT MAY BE NECESSARY FOR PROJECT PERFORMED RELATIVE TO THE DISCREPANCY.

1.10 ALL PRODUCTS, SYSTEMS, MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS AND REQUIREMENTS. CERTAIN MANUF. HAVE SPECIFIC REQUIREMENTS RELATIVE TO CLIMATE ZONE OR ELEVATION. BE AWARE AND FOLLOW INSTRUCTIONS BY MANUF. FOR THE SITE LOCATION OF THIS PROJECT. NOT ALL INSTRUCTIONS MAY BE PROVIDED BY OR WITH THE PRODUCT/SYSTEMS THAT ARRIVE ON THE PROJECT SITE. IT IS YOUR RESPONSIBILITY TO ACQUIRE THESE REQUIREMENTS, BE TRAINED, AND INSTALL ACCORDINGLY. ALSO, YOU ARE RESPONSIBLE FOR COMPATIBILITY BETWEEN DIFFERENT PRODUCTS, SYSTEMS, AND MATERIALS. IF YOU HAVE ANY DOUBT/CONCERN FOR PROPER USE, INSTALLATION REQUIREMENTS ETC., CONTACT ARCHITECT FOR CLARIFICATION.

1.11 THE STATE ADOPTED CODES ARE THE MINIMUM CODE STANDARDS THAT MUST BE MET. IF THERE ARE LOCAL CODES, LOCAL/REGIONAL STANDARDS/BEST PRACTICES, THE MORE STRICT/BETTER PRACTICE SHALL BE INSTALLED.

1.12 THE CONSTRUCTION DOCUMENTS AND THE PROVIDED SPECIFICATIONS MAY NOT COVER/ADDRESS/RESPECT ALL OF THE INFORMATION THAT ONE MAY DEEM NECESSARY FOR CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THESE RESOURCES AND IF IT IS DETERMINED THAT ADDITIONAL INFORMATION IS NECESSARY, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO ANY CONSTRUCTION. UPON THE CONTRACTOR'S REVIEW OF THE DOCUMENTS, IF ERRORS, OMISSIONS, INACCURACIES ARE FOUND, CONTACT THE ARCHITECT PRIOR TO CONSTRUCTION FOR CLARIFICATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM EXISTING CONDITIONS AND DIMENSIONS AND TO CONTACT TO THE ARCHITECT IF ANY DISCREPANCIES ARE FOUND.

1.13 PROTECTION OF BUILDING MATERIALS DURING STORAGE AND CONSTRUCTED ITEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. THIS PROTECTION IS FOR LIFE SAFETY, DURABILITY PROTECTION OF MATERIALS FOR SUCH INSTANCES AS MOLD, WATER DAMAGE, MOISTURE CONTENT LEVELS, INK, STAINING, ETC. THE CONTRACTOR SHALL PROVIDE THE NECESSARY PROTECTION, BRACING, SECURING TO PROTECT ALL ASPECTS OF MATERIALS USE AND SECURITY. WIND PROTECTION IS CRITICAL WITH REGARDS TO LIGHT ITEMS AND OR REFUSE AND PROTECTION MEASURES SHALL BE IMPLEMENTED.

1.14 A STANDARD ABBREVIATIONS LIST, SYMBOL LEGENDS, WALL TYPES, NOTES, GRAPHICS ETC. IN THE CONSTRUCTION DOCUMENTS/SPECIFICATIONS AND ARE USED BY THE ARCHITECT IN EFFORTS TO CLEARLY AND EFFICIENTLY COMMUNICATE THE ASPECTS OF THE PROJECTS NECESSARY FOR CONSTRUCTION. IF ANY COMMUNICATED ITEM IS UNCLEAR, MISUNDERSTOOD ETC.: IT IS YOUR RESPONSIBILITY TO CONTACT THE ARCHITECT FOR CLARIFICATION.

1.15 IT SHALL BE UNDERSTOOD THAT THE ARCHITECT'S SITE VISITS ARE PURELY FOR OBSERVATION/QUESTION AND ANSWER AND SHALL NOT BE CONSIDERED AS INSPECTIONS. ADDITIONALLY THE BUILDING OFFICIAL'S INSPECTIONS/SITE INSPECTIONS MAY NOT BE FOUND TO BE BINDING WITH REGARDS TO CONSTRUCTION ACCURACY/COMPLIANCE FOR ALL AREAS OF THEIR INSPECTIONS. THEREFORE IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR ALL CONSTRUCTIONS' COMPLIANCE WITH THE MENTIONED CODES, MANUF. INDUSTRY STANDARDS AND LOCAL AND REGIONAL BEST PRACTICES.

1.16 THE ARCHITECTURAL DIMENSIONS IS BASED ON A MINIMUM 1/8" TOLERANCE FOR GENERAL CONSTRUCTION (NOT FINISH WORK). PLUMBERS, SQUARE, FLUSH SHALL BE 1/8" TOLERANCE IN ALL DIRECTIONS OVER 10' SQUARE.

1.17 FOR AREAS WITHIN THE SCOPE OF THE WORK THAT WILL REQUIRE SHOP DRAWINGS BY MANUF. OR SUBCONTRACTORS, SAID SUBMITTALS SHALL BE SUBMITTED TO ARCHITECT IN ADVANCE OF ORDERING OR CONSTRUCTION FOR HIS/HER REVIEW. ARCHITECT'S REVIEW IS FOR GENERAL COMPLIANCE. THE SUBCONTRACTOR IS RESPONSIBLE FOR TECHNICAL/ DIMENSIONAL DETAILS. IF ANY CHANGES ARE MADE WITHIN THE SHOP DRAWINGS/ SPECIFICATIONS THAT ARE DIFFERENT THAN WHAT THE ARCHITECT NOTED/SPECIFIED, ETC., SAID VARIATIONS SHALL BE CLEARLY HIGHLIGHTED SO THAT THE ARCHITECT'S REVIEW WILL BE ABLE TO READILY SEE THE SUGGESTED VARIATIONS.

1.18 THE BUILDING DEPARTMENT REQUIRES THAT A CURRENT SET OF CONSTRUCTION DOCUMENTS REMAIN ON SITE FOR THE CONSTRUCTION PURPOSES AT ALL TIMES. AS ANY REVISIONS, CLARIFICATIONS, ADDENDA ARE ISSUED, THE CONTRACTOR SHALL MAKE SURE THAT THE MOST CURRENT RESOURCES ARE ON SITE AND AVAILABLE FOR ALL WORKERS ON THE PROJECT. ADDITIONALLY ANY SUBCONTRACTORS THAT NEED ELECTRONICALLY DELIVERED COPIES OF SAID CONSTRUCTION DOCUMENTS/RESOURCES, THE CONTRACTOR SHALL KEEP THOSE PARTIES CURRENT AND INFORMED AT ALL TIMES.

1.19 THE CONTRACTOR SHALL IMPLEMENT PRACTICE THAT ALL EROSION CONTROLS, DUST, NOISE MEASURES AS REQUIRED BY THE LOCAL, STATE, AND NEIGHBORHOOD ENTITIES, PROPER GARBAGE STORAGE, RECYCLABLE SORTING, BATHROOM FACILITIES, PROTECTION OF SENSITIVE VEGETATION AND DESIGNATION OF THE CONSTRUCTION AREA SHALL BE IMPLEMENTED AND PRACTICED BY THE CONTRACTOR AND ALL SUBCONTRACTORS.

1.20 AS SOON AS ANY CONSTRUCTION DOCUMENT DISCREPANCY/ISSUE IS DISCOVERED THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR ASSISTANCE IN ISSUE RESOLUTION. IF THE ARCHITECT IS NOT NOTIFIED PROMPTLY THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR EFFECTIVE/CONSEQUENCES OF FURTHER ACTION DONE BY THE CONTRACTOR.

1.21 THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING ALL LIFE SAFETY MATTERS SUCH AS: FIRE CODE SEALING, CLEARANCES, STRUCTURAL ATTACHMENTS, SPACINGS, SIZES, ETC. INSULATION AND AIR SEALING PERFORMANCE, ELECTRICAL AND PLUMBING INSTALLATIONS, ETC. THIS LIST IS NOT ALL INCLUSIVE BUT IS INTENDED TO PROVIDE A CONCEPT FOR THE WASTEFULNESS OF THE CONTRACTOR'S INSPECTION RESPONSIBILITIES FOR WORK PERFORMED BY THEM OR OTHERS. THE CONTRACTOR SHALL NOT RELY ON THE BUILDING OFFICIAL'S INSPECTION'S REVIEW FOR COMPLIANCE. IF IN DOUBT THE CONTRACTOR MAY ELECT AND OR IF REQUIRED USE THIRD PARTY REVIEW/INSPECTION AGENCIES. ANY ADDITIONAL COSTS FOR THIS LEVEL OF SERVICE SHALL BE PRE-APPROVED BY OWNER PRIOR TO IMPLEMENTATION.

1.22 THIRD PARTY INSPECTIONS AND TESTING ARE A NECESSARY REQUIRED SERVICE BY THE BUILDING CODES, BUILDING OFFICIALS ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHEN/WHERE THESE SERVICES ARE REQUIRED AND TO IMPLEMENT THE HIRING, SCHEDULING, PERFORMANCE OF THE NECESSARY WORK.

1.23 IF A DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND ANY CODES, MANUF. REQUIREMENTS, INDUSTRY STANDARDS AND BEST PRACTICES, THE CONTRACTOR SHALL IMPLEMENT THE HIGHER, BETTER, MORE STRICT STANDARD.

1.24 PRIOR TO AND DURING CONSTRUCTION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY GOVERNING AGENCY PERMITS, REVIEWS, INSPECTIONS. THIS MAY INCLUDE BUILDING, DEMO, EXCAVATION, HEALTH, FIRE, THIRD PARTY ENERGY INSPECTIONS, FRAMING, FOUNDATION, INSULATION, HVAC COMMISSIONING PLANNING APPROVALS AND ASSOCIATED INSPECTIONS.

1.25 CONSTRUCTION DOCUMENTS PRODUCED BY THE ARCHITECT ARE NEVER TO BE SCALED FOR DIMENSION. ALL CONSTRUCTION SHALL BE BASED ON WRITTEN DIMENSION. IF WRITTEN DIMENSIONS WHERE APPLICABLE ARE NOT PROVIDED, IT IS YOUR RESPONSIBILITY TO CONTACT THE ARCHITECT FOR A WRITTEN RESPONSE OF NECESSARY INFORMATION.

1.26 THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE WORK, PROPERTY AND PERSONS FOR SAFETY AND DAMAGE. THIS IS THROUGH MEANS OF FENCING, EDUCATION, INSURANCE, BEST PRACTICES FOR THIS USE, ETC.

1.27 ANY DISPUTES THAT ARISE THAT ARE NOT READILY RESOLVED BETWEEN OWNER, ARCHITECT, CONTRACTOR, MEDIATION SHALL BE THE NEXT REQUIRED STEP IN RESOLUTION. MEDIATION SHALL TAKE PLACE IN THE LOCAL VICINITY OF THE PROJECT BY A NON-BASED THIRD PARTY MEDIATOR.

2) SITE WORK

2.1 ALL TRASH, WRAPPING, PAPER, AND WASTE CONSTRUCTION MATERIAL WILL BE CLEANED FROM SITE BEFORE BACKFILLING, GRADING, OR FINAL GRADING.

2.2 ALL BACKFILL AND FINAL GRADING SHALL SLOPE AWAY FROM BUILDING.

3) CONCRETE

3.1 ALL CONCRETE DELIVERED TO SITE WILL BE CERTIFIED FREE OF FLY ASH, AND CHEMICAL ADDITIVES. REQUESTS FOR CHEMICAL ADDITIVES SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL 5 DAYS PRIOR TO INTENDED USE, WITH M.S.D.S. AND OTHER SUPPORTING TECHNICAL INFORMATION.

3.2 SEAL ALL EXPOSED INTERIOR CONCRETE SLABS- VERIFY PRODUCT WITH ARCHITECT PRIOR TO SEALING.

4) DOORS & WINDOWS

4.1 PROVIDE DOUBLE OR TRIPLE PANE LOW 'E' WINDOWS WITH A U-VALUE OF LESS THAN .30.

4.2 ALL DOORS AND WINDOWS TO BE INSTALLED TO MANUF. AND RESPECTIVE TRADE INDUSTRY STANDARDS FOR WATERPROOFING, FLASHING ETC.

4.3 DOOR AND WINDOW MANUF./SUPPLIER/INSTALLER TO PROVIDE CORRECT EGRESS OPERATORS, TEMPERED GLASS, AND HIGH ALTITUDE GLASS WHERE REQUIRED BY PROJECT LOCATION AND/OR APPLICABLE CODES.

4.4 PROVIDE ALL EGRESS HARDWARE STYLE AND TYPE AND SELF-CLOSERS WHERE REQUIRED BY CODE.

5) MECHANICAL

5.1 CONTRACTOR IS RESPONSIBLE FOR ALL FRIEDRAFT DAMPERS AND INSTALLATION METHODS AND MEANS REGARDING FINE SEPARATION ASSEMBLIES AS REQUIRED BY ALL APPLICABLE CODES.

5.2 ANY EXTERIOR HOSE BIBS SHALL BE OF A 1/2" OR GREATER DEPTH "FROST FREE" TYPE AND SHOULD BE INSTALLED AS REQUIRED- IN ALIGNMENT WITH AN INTERIOR PERPENDICULAR WALL. CONSULT ARCHITECT IF LOCATION IS OF CONCERN PRIOR TO INSTALLATION.

5.3 ALL METERS, GAS APPLIANCES, SHALL BE INSTALLED IN ACCORDANCE TO COMBUSTIBLE CLEARANCES PER CODE AND AS REQUIRED BY MANUF. NOTIFY ARCHITECT IF LOCATIONS ARE IN QUESTION.

5.4 ALL CHIMNEY, VENT PIPES, OR FLUES SHALL TERMINATE AT HEIGHTS REQUIRED BY CODE. NONE SHALL BE PLACED WITHIN 48" OF ROOF VALLEYS.

5.5 ALL PENETRATIONS IN THE THERMAL ENVELOPE OF THE BUILDING SHALL BE SEALED WITH SEALANT, GASKETING, OR BOTH AS APPLICABLE. ALL PENETRATIONS INTO EXISTING BUILDINGS SHALL BE FIRE CALKED/SEALED.

5.6 ALL MECHANICAL EQUIPMENT SHALL BE DESIGNED, AND INSTALLED PER REQUIRED CODES, MANUFACTURER'S REQ. AND SHALL BE COMMISSIONED TO MEET APPLICABLE ENERGY CODE, ASHRAE, AND MANUFACTURER'S PERFORMANCE CRITERIA.

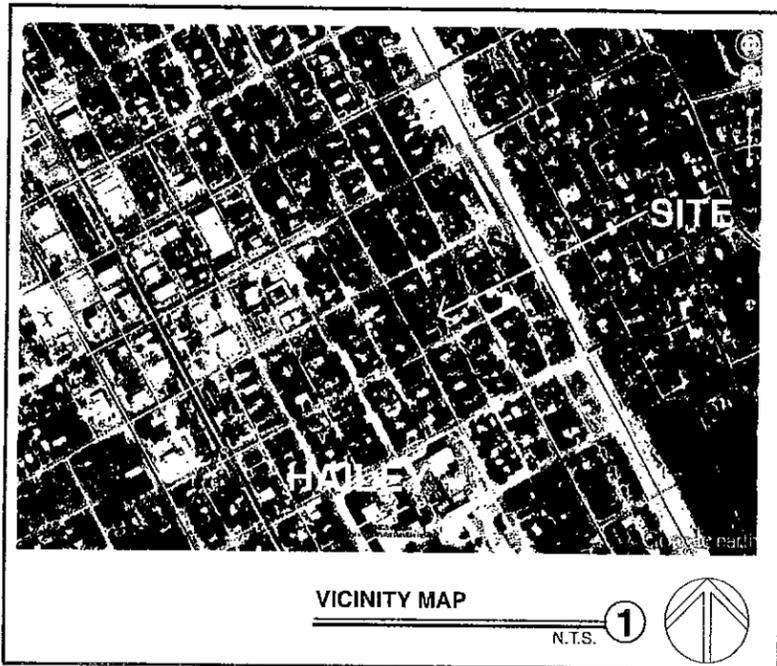
5.7 ALL HOT WATER PIPING CARRYING FLUIDS OVER 100° SHALL BE INSULATED FOR THEIR ENTIRETY, WHICH INCLUDES DOMESTIC AND MECHANICAL SYSTEMS PIPING. ALL DUCTWORK SHALL BE INSULATED, AND INSULATED PER CODE.

6) ELECTRICAL

6.1 ALL METERS, PANELS AND FITURES SHALL BE INSTALLED IN ACCORDANCE WITH LOCATIONS AND CLEARANCES PER CODE AND AS REQUIRED BY MANUF. NOTIFY ARCHITECT IF LOCATIONS ARE IN QUESTION. NO PANELS/METERS SHALL BE WITHIN 10' IN ANY DIRECTION FROM A SLEEPING SPACE.

6.2 ALL PENETRATIONS IN THE THERMAL ENVELOPE OF THE BUILDING SHALL BE SEALED WITH SEALANT, GASKETING, OR BOTH AS APPLICABLE. ALL PENETRATIONS INTO EXISTING BUILDINGS SHALL BE FIRE CALKED/SEALED.

6.3 ALL LIGHT FIXTURES SHALL USE EITHER CFL, FLUORESCENT OR LED BULBS, UNLESS SPECIFICALLY NOTED.



LICENSED ARCHITECT
AR-994268
JERRY H. SAWREY
STATE OF IDAHO
EXP. 18 DEC, 2012
ORIG. WET STAMPED
SIGNED COPY ON
FILE AT W. OFFICE

New Work Areas
FLAHERTY GARAGE/ & GARDEN ROOM
HAILEY IDAHO

STANDARD ABBREVIATIONS			
A.F.F.	ABOVE FINISH FLOOR	FP	FIRE PLACE
ADJ	ADJUSTABLE	FLR	FLOOR
A.S.	ANCHOR BOLT	FT	FOOT OR FEET
&	AND	FTG	FOOTING
∠	ANGLE	FRMG	FRAMING
APPROX	APPROXIMATELY	GI	GALVANIZED IRON
ARCH	ARCHITECT	GL	GLASS
AT	AT	GB	GLASS BLOCK
BM	BEAM	GLB	GLUE-LAM BEAM
BRNG	BEARING	GLC	GLUE-LAM COLUMN
BLK	BLOCK	GYP	GYPSPUM
BLKG	BLOCKING	HRDWR	HARDWARE
BD	BOARD	HRDWD	HARDWOOD
BTM	BOTTOM	HTR	HEATER
BO	BOTTOM OF	HT	HEIGHT
BLDG	BUILDING	H	HEIGHT OR HIGH
CAB	CABINET	H.D.	HOLD DOWN
CSMT	CASEMENT	H.C.	HOLLOW CORE
CLG	CEILING	HDRIZ	HORIZONTAL
CTR	CENTER	HB	HOSE BIB
∅	CENTERLINE	IN	INCH
CLR	CLEAR	I.O.	INSIDE DIAMETER
CL	CLOSET	I.B.O.	INSTALLED BY OWNER
COL	COLUMN	INSUL	INSULATION OR INSULATED
CONC	CONCRETE	INT	INTERIOR
CONN	CONNECTION	JST	JOIST
CONSTR	CONSTRUCTION	LAV	LAVATORY
CONTR	CONTRACTOR	LENTH	LENGTH
COORD	COORDINATE	LF	LINEAR FEET
OTL	DETAIL	LOC	LOCATION OR LOCATED
DIA	DIAMETER	MB	MACHINE BOLT
∅	DIAMETER OR ROUND	MANUF	MANUFACTURED
∅	DIMENSION	MFR	MANUFACTURER
DIR	DIRECTION	M.S.D.S.	MATERIAL SAFETY DATA SHEET
DWR	DISHWASHER	MAX	MAXIMUM
DR	DOOR	MECH	MECHANICAL
DBL	DOUBLE	M-L	MICRO-LAM
D.F.	DOUGLAS FIR	MIN	MINIMUM
DN	DOWN	MISC	MISCELLANEOUS
DRW	DRAWER	MS	MULTIPLE STUD
DRWG	DRAWING	(N)	NEW
D.T.C.	DROPPED TOP CHORD	NOM	NOMINAL
D	DRYER OR DEEP	N.I.C.	NOT IN CONTRACT
EA	EACH	N.T.S.	NOT TO SCALE
E.W.	EACH WAY	O.C.	ON CENTER
E.N.	EDGE NAIL	OPP	OPPOSITE
ELKC	ELECTRICAL	OSB	ORIENTED STRAND BOARD
E.M.F.	ELECTROMAGNETIC FIELD	O.D.	OUTSIDE DIAMETER
ELEV	ELEVATION	PNTD	PAINTED
ERV	ENVELOPE	P-L	PARALLEL
EO	EQUAL	PERF	PERFORATED
EQUIP	EQUIPMENT	PERIM	PERIMETER
EQUIV	EQUIVALENT	PERP	PERPENDICULAR
(E)	EXISTING	PV	PHOTOVOLTAIC
EXT	EXTERIOR	PC	PIPE COLLAR
FIN	FINISH	PL	PLATE
FCN	FOUNDATION	PLY	PLYWOOD
		F.O.	FACE OF
		F.F.E.	FINISH FLOOR ELEVATION
		RT	PRESSURE TANK
		R.T.	PRESSURE TREATED
		P.B.O.	PROVIDED BY OWNER
		REF	REFERENCE
		REINF	REINFORCEMENT
		REQ	REQUIRED
		R	RISER, RADIUS
		R.D.	ROOF DRAIN
		RM	ROOM
		R.O.	ROUGH OPENING
		R.S.	ROUGH SAWN
		SCHED	SCHEDULE
		SECT	SECTION
		SHT	SHEET
		SHTG	SHEDTING
		SHWR	SHOWER
		SIM	SIMILAR
		S.C.	SOLID CORE
		SDND	SOFTWOOD
		SPEC	SPECIFICATION
		SQ	SQUARE
		STL	STEEL
		STOR	STORAGE
		STRUCT	STRUCTURAL
		SUB	SUBCONTRACTOR
		SUBFLR	SUBFLOOR
		SURD	SURROUND
		TEL	TELEPHONE
		TERR	TERRACE
		TR	TRAP
		TRAP	TRAPZOID
		T	TREAD
		T.S.	TUBE STEEL
		TYP	TYPICAL
		U.O.N.	UNLESS OTHERWISE NOTED
		VER	VERIFY
		V.F.R.	VERIFY IN FIELD
		V.L.	VERSALAM
		VERT	VERTICAL
		V.O.	VERIFY W/ OWNER
		W	WASHER OR WIDE
		W.C.	WATER CLOSET
		W.H.	WATER HEATER
		W.P.	WATERPROOF
		WT	WEIGHT
		W.W.F.	WELDED WIRE FABRIC
		WIN	WINDOW
		W	WITH
		W/O	WITHOUT
		W.C.H.P.	WOODCHIP
		#	ROUND OR NUMBER
		PRELIM	PRELIMINARY
		YD	YARD

PROJECT TEAM

CLIENT:
JERRY & LISA FLAHERTY
316 3RD AVENUE SOUTH
HAILEY, IDAHO
(208) 471-0426 PHONE

ARCHITECT:
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JOLYON H. SAWREY
30 WYATT DRIVE
BELLEVUE, IDAHO 83113
(208) 720-6315 PHONE
JOLYON@VITALINKARCHITECTURE.COM

PROJECT NOTES

1. ALL NEW UTILITIES SHALL BE RUN UNDERGROUND
2. A RADON MITIGATION SYSTEM IS RECOMMENDED TO BE INSTALLED IN THE GARDEN ROOM
3. EXISTING SITE DRAINAGE WILL REMAIN UNAFFECTED
4. UPON EXCAVATION LANDSCAPING CONTRACTOR SHALL TEMPORARILY REPAIR IRRIGATION FOR PLANTS DURING CONSTRUCTION. ROOTS THAT ARE CUT DURING EXCAVATION SHALL BE SEALED, PRUNED, CLEAN CUT AS REQ. PLANTS TO BE FERTILIZED FOR EFFECTIVE PLANT PRESERVATION. PLANTINGS TO BE PROTECTED DURING CONSTRUCTION SHALL BE FENCED.
5. CONTRACTOR TO STAKE AREAS OF CONSTRUCTION DISTURBANCE WITH TEMP. FENCING



PROJECT INFORMATION

ADDRESS: 316 3RD AVENUE SOUTH
HAILEY, IDAHO 83133

LEGAL DESCRIPTION:
HAILEY, IDAHO 83133
LIMITED RESIDENTIAL "LR"

ZONE:
MATCH (E) GARAGE & 6' FOR NEW ALLEY

SETBACKS: WEST: 50' ± EAST: MATCH (E) GARAGE & 6' FOR NEW ALLEY
NORTH: 20' ± SOUTH: MATCH (E) GARAGE & 10' FOR NEW SIDE

BLDG. HEIGHT: 19'-1 5/8"

NOTE: THE EXISTING GARAGE IS LOCATED IN NON CONFORMING SETBACK LOCATIONS TO THE EAST AND SOUTH. THE NEW GARAGE WILL BE BUILT IN THE EXACT LOCATION AND SHAPE AND WILL NOT INCREASE ANY NONCONFORMITY. ADDITIONAL NEW AREAS WILL BE ADDED TO THE REGULATED PORTION. THESE AREAS WILL BE LOCATED AND BUILT TO COMPLY WITH ZONING CODE, SETBACKS AND BUILDING HEIGHTS. SEE SITE PLAN, FLOOR PLAN, SECTIONS, AND ELEVATIONS FOR FURTHER CLARIFICATION.

APPLICABLE BUILDING CODES: 2009 IBC, 2009 IMC, CURRENT UPC/IPC, 2009 IFGC, 2009 IECC AND 2009 NEC, AS AMENDED BY STATE OF IDAHO AND AND THE CITY OF HAILEY. ALL APPLICABLE TO THIS PROJECT.

OCCUPANCY TYPE: "R" RESIDENTIAL
CONSTRUCTION TYPE: "VB"

FLOOR AREAS:	GARAGE	466	SQ.FT.
	GARDEN ROOM	272	SQ.FT.
	TOTAL BLDG FLOOR AREA	738	SQ.FT.

SHEET INDEX

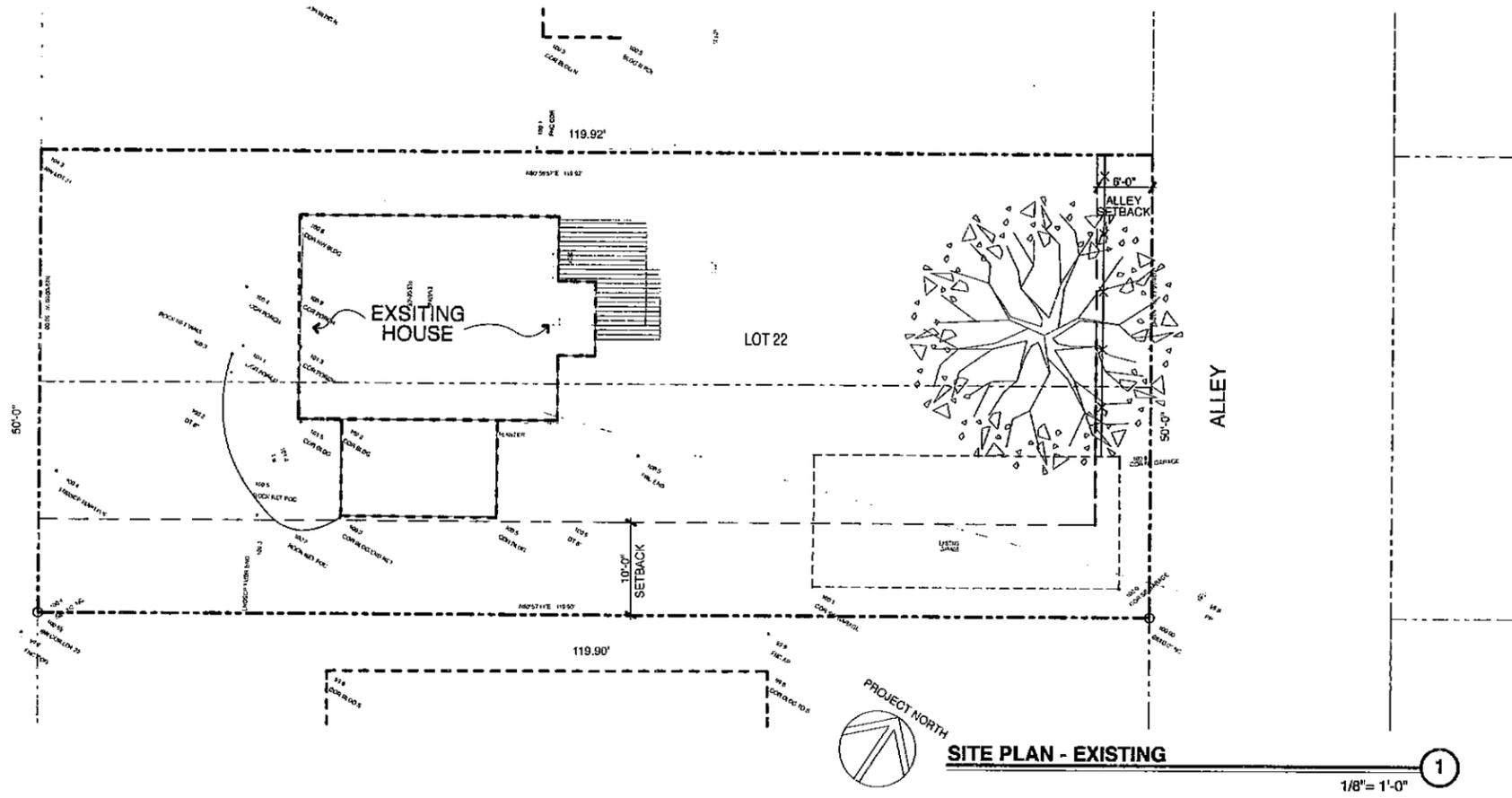
SHEET	REV	DESCRIPTION
		ARCHITECTURAL
A0.0		COVER, PROJECT TEAM, BLDG. INFO, ABBRV
A1.1		EXISTING AND NEW SITE PLANS
A2.1		NEW FLOOR & ELECTRICAL PLANS
A3.1		SECTIONS/ELEVATIONS
A5.1		DETAILS

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(208) 720-6315 PH

REVISIONS

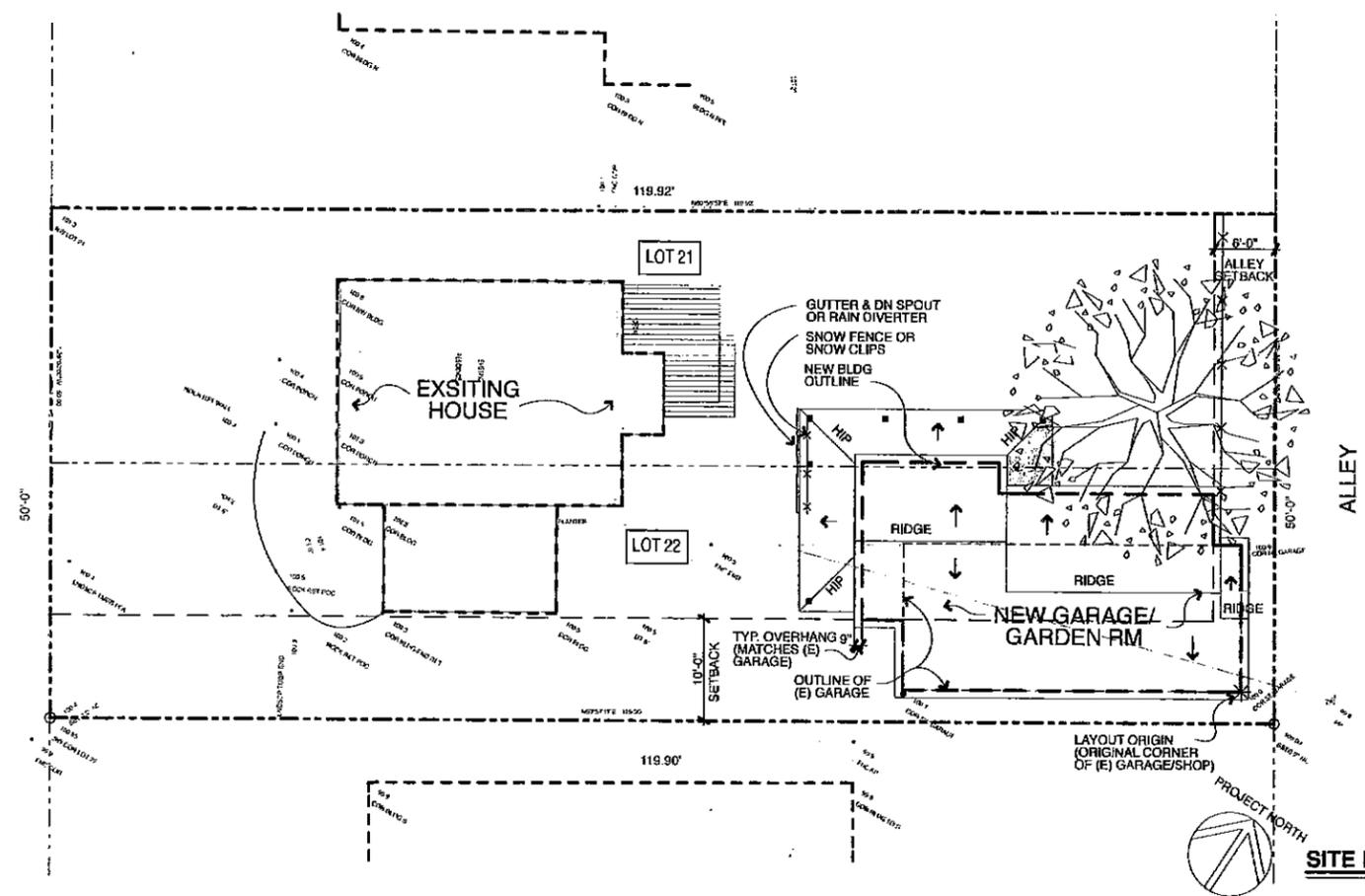
DATE
24 AUG, 2012

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SITE PLAN - EXISTING

1/8" = 1'-0" ①



SITE PLAN - NEW

1/8" = 1'-0" ①

PERMIT SET

NOTES

1. ALL NEW UTILITIES, ELEC. TO BE RUN BELOW GRADE
2. FINAL CONSTRUCTION GRADE TO BE 6" BELOW FLOOR LEVEL & SHALL SLOPE AWAY FROM BLDG
3. CONTRACTOR TO VERIFY EXACT LOCATION OF NEW GARAGE BLDG. AND THAT THE SOUTH EAST CORNER AND SOUTHERN & EASTERN WALLS OF NEW GARAGE MUST BE CONSTRUCTED EXACTLY IN THE ORIGINAL GARAGE LOCATION
4. LANDSCAPING SHOWN IS EXISTING
5. SITE SHALL BE CONSIDERED AS FLAT.
6. THERE ARE NO KNOWN EASEMENTS ON THIS PROPERTY
7. THE PROJECT IS INTEND TO COMMENCE CONSTRUCTION IN THE LATE SUMMER OF 2012 WITH A 90 DAY CONSTRUCTION SCHEDULE FOR COMPLETION BEFORE WINTER.
8. EXCAVATION WILL TAKE PLACE VIA ACCESS FROM THE ALLEY.
9. CONTRACTOR PARKING WILL BE EITHER IN THE PRIVATE DRIVEWAY OR ON THE SIDE OF THE ADJ. PUBLIC STREETS NO TRAFFIC CONTROL WILL BE NECESSARY.

REGISTERED ARCHITECT
IDAHO 984288
CLYDE H. SAMNEY
STATE OF IDAHO

EXP. 18 DEC, 2012

ORIG. SET STAMPED
SIGNED COPY ON
FILE AT VI OFFICE

New Work Areas
FLAHERTY GARAGE/ & GARDEN ROOM
HAILEY IDAHO

Vital ink P.L.L.C.
Environmental Architecture
& Consulting, AIA
30 Wyatt Drive, Bellevue, Idaho 83313
(208) 720-8315 Ph

REVISIONS

DATE
24 AUG, 2012

A1.1

DEC 21 2012
CITY OF HAILEY

3-WAY SWITCH	MOTION SENSORED	4- PLEX OUTLET	TELEPHONE/COMM
4-WAY SWITCH	MONO SPOT- LIGHT	FLOOR OUTLET	DOOR BELL
JAMB OPERATED SWITCH	PORCELAIN SOCKET LIGHT	DUPLEX OUTLET	CABLE/SATELLITE
DISCONNECT SWITCH	RECESSED CAN LIGHT	SWITCHED OUTLET	CEILING MOUNT SPEAKER
GARBAGE DISPOSAL SWITCH	SURFACE MOUNTED LIGHT	GROUND FAULT OUTLET	WALL MOUNT SPEAKER
RHEOSTAT SWITCH	RECESSED CAN - WALL WASH	GAS METER	VOLUME CONTROL
VOLUME SWITCH	WALL MOUNTED LIGHT	ELECTRIC METER	THERMOSTAT
TIMER SWITCH	WATER PROOF LIGHT	WATER METER	WALL EX FAN AND LIGHT
	4'-0" TRACK LIGHT	SMOKE/FIRE/HT DETECTOR	CEILING EX. FAN AND LIGHT
	FLUORESCENT LIGHT		CEILING EXHAUST FAN
			WALL EXHAUST FAN
			CABLE /TV/ SATELLITE/ INTERNET

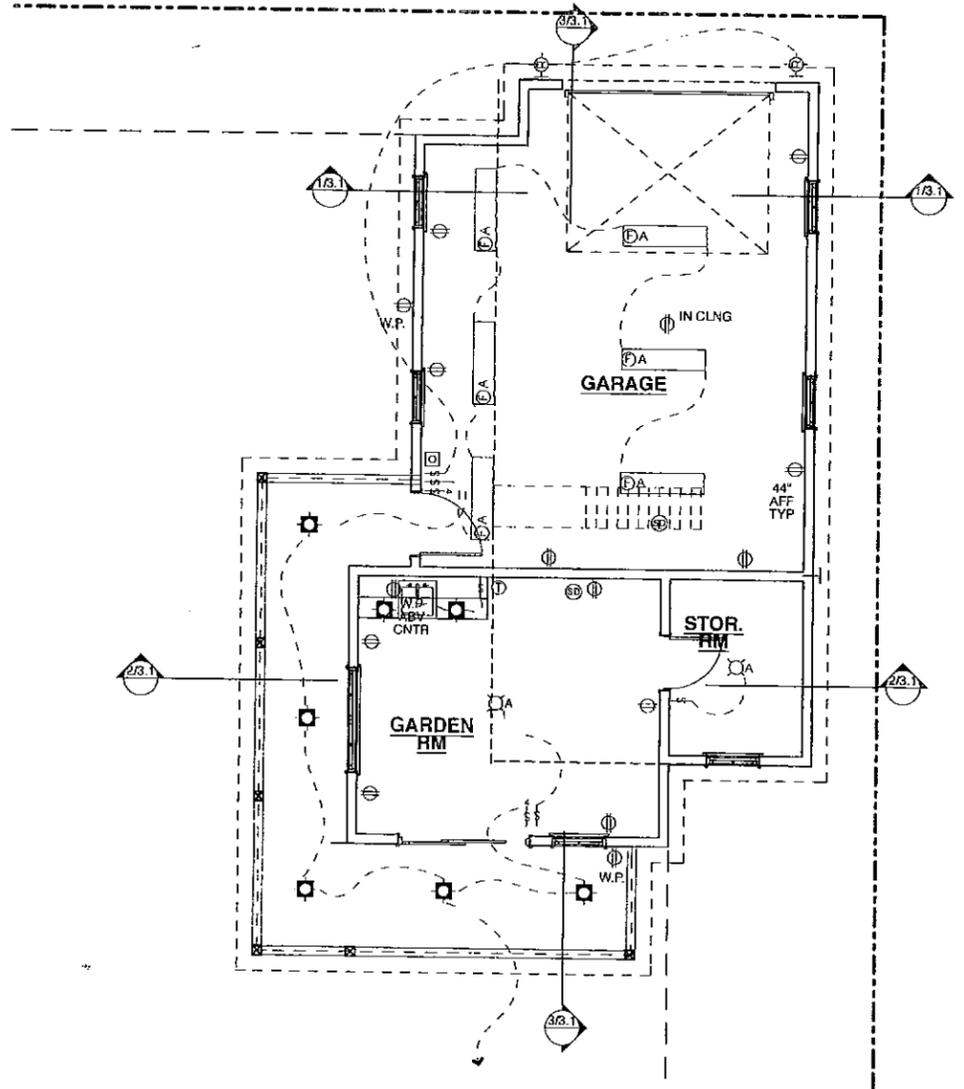
NOTES:

1. OUTLETS SHOWN ARE @ 12" A.F.F. IN GARDEN ROOM & 44" A.F.F. IN GARAGE UNLESS NOTED OTHERWISE
2. ALL ELECTRICAL FIXTURES, SWITCHING, WIRING TO BE INSTALLED AS REQ BY THE ELECTRICAL CODE FOR THIS BUILDING TYPE.
3. ALL LIGHT FIXTURES THAT PENETRATE THE CEILING AND COME INTO CONTACT WITH INSULATION SHALL BE INSUL. RATED AND OF AN AIR SEALED HOUSING.
4. ELECTRICIAN IS RESPONSIBLE FOR SMOKE/FIRE DETECTORS, PER CODE.
5. OUTLETS SHOWN ARE A MINIMUM AS FOR PREFERRED LOCATIONS BY THE OWNER. PROVIDE ADDITIONAL OUTLETS AS REQ. BY CODE.

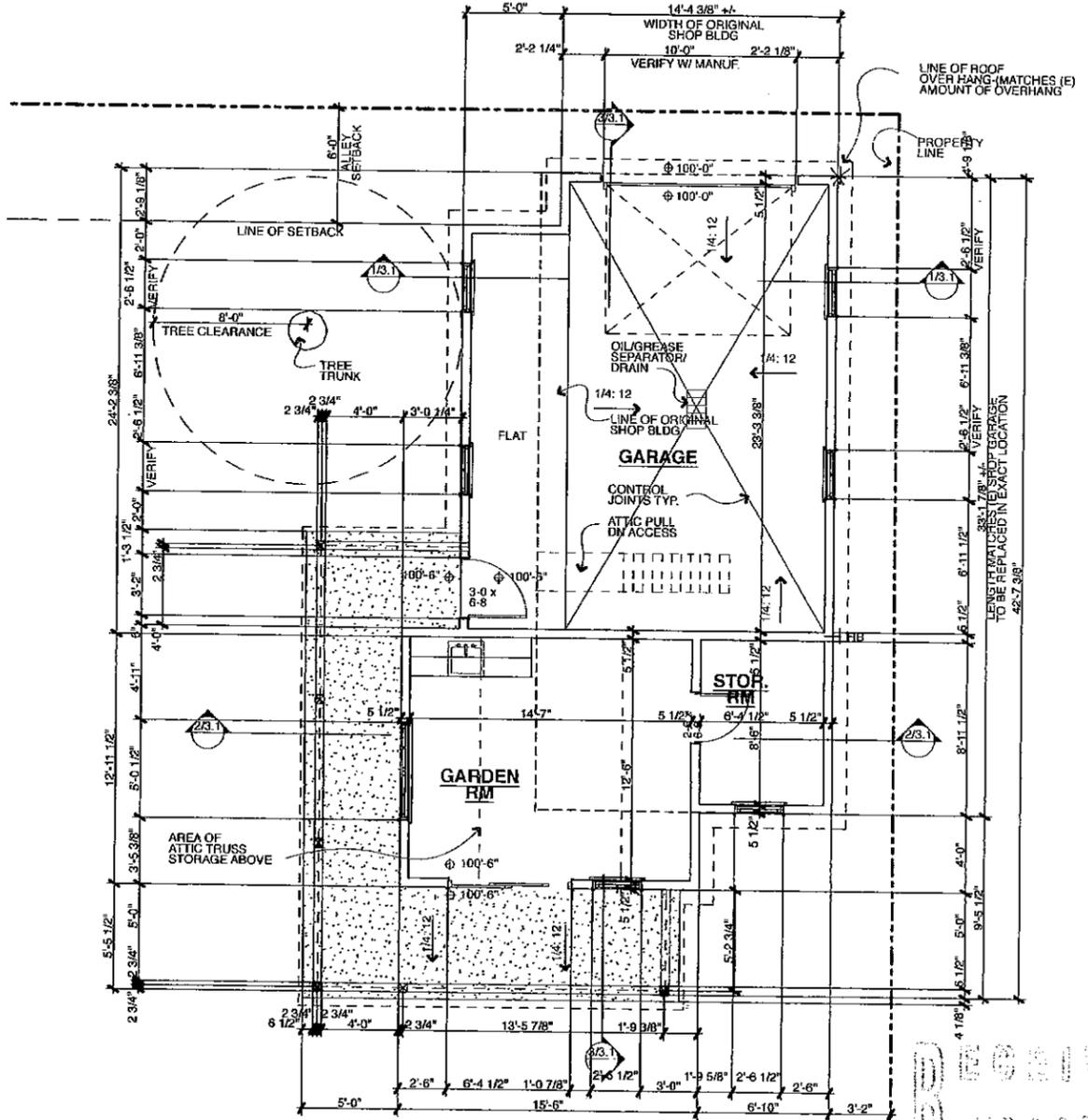
1. ALL WALLS ARE DIMENSIONED TO FACE OF STUD UNLESS NOTED OTHERWISE
2. CONTRACTOR TO VERIFY LOC. OF ALL IN WALL BLKNG FOR TP, TOWEL BARS, HOOKS ETC. IN ANY NEWLY CONSTRUCTED AREAS. VERIFY LOC. W/ OWNER
3. ALL NEW WALLS TO BE 2x4 or 2x6 CONSTRUCTION.
4. ALL EXISTING BUILDING COMPONENTS/ DIMENSIONS AS DRAWN SHOULD BE IN THE FIELD CONFIRMED PRIOR TO ANY NEW CONSTRUCTION
5. NEW WINDOWS OR DOORS ARE NOTED WITH THEIR NOMINAL DIMENSIONS ADJACENT.
6. ALL WINDOWS/ DOOR DIM'S SHALL BE AMENDED/ ADJ. WHEN FINAL MANUF. IS CHOSEN, THEN CONSTRUCT OR ACTUAL R.O'S

	NEW FRAME WALL
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ELECTRICAL FIXTURE PLAN
 1/4" = 1'-0" ②



FLOOR PLAN
 1/4" = 1'-0" ①

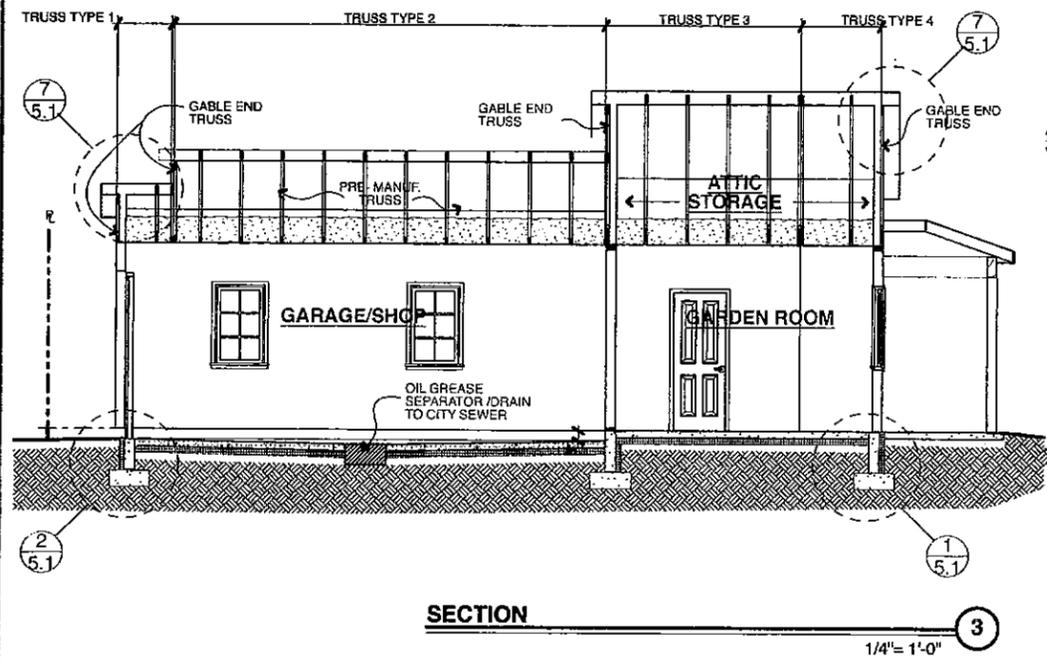
New Work Areas
FLAHERTY GARAGE/ & GARDEN ROOM
 HAILEY IDAHO

Vital ink P.L.L.C.
 Environmental Architecture
 & Consulting A.S.A.
 30 Wyatt Drive, Bellevue, Idaho 83413
 (208) 720-5315 Ph.

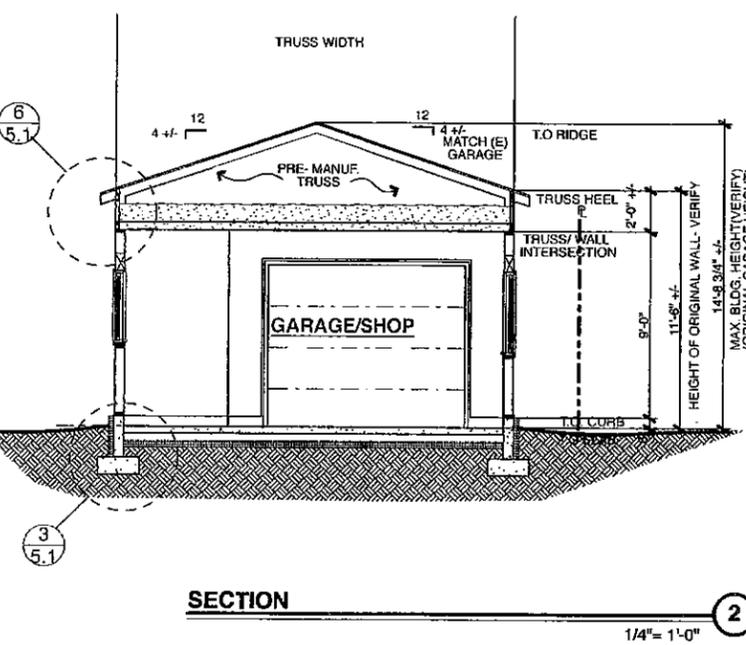
REVISIONS

DATE
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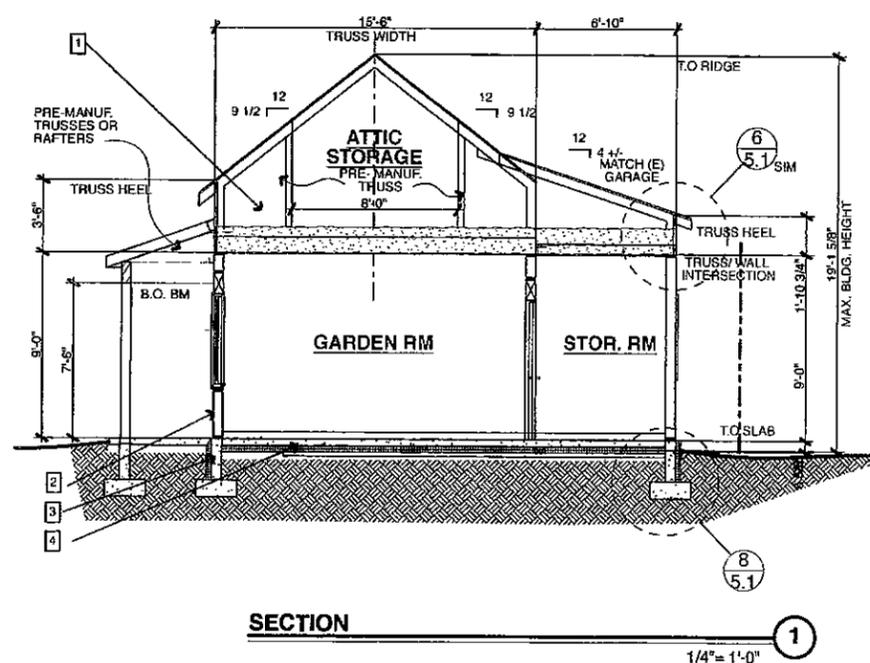
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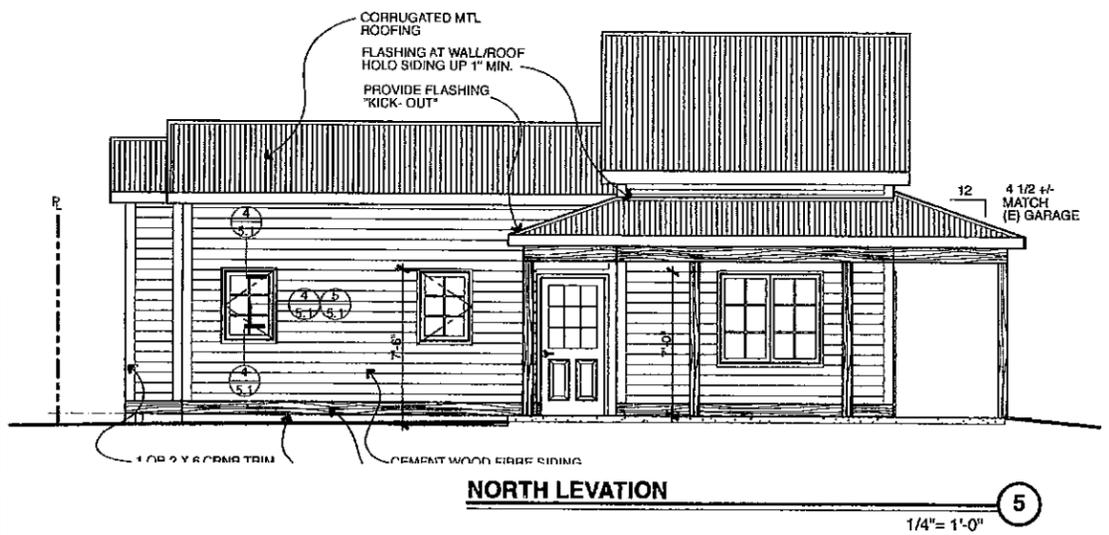
SECTION
1/4" = 1'-0" **3**



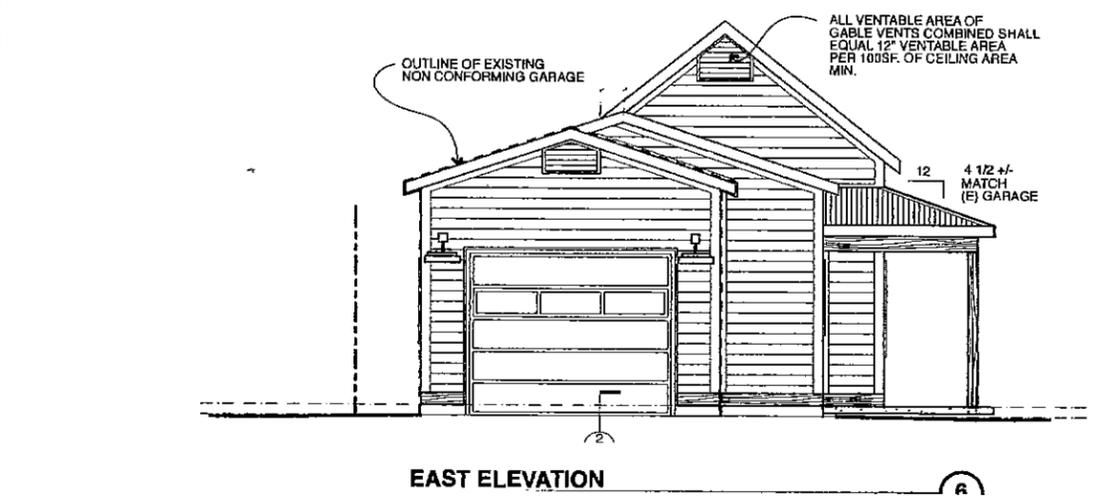
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1/4" = 1'-0" **2**



SECTION
1/4" = 1'-0" **1**

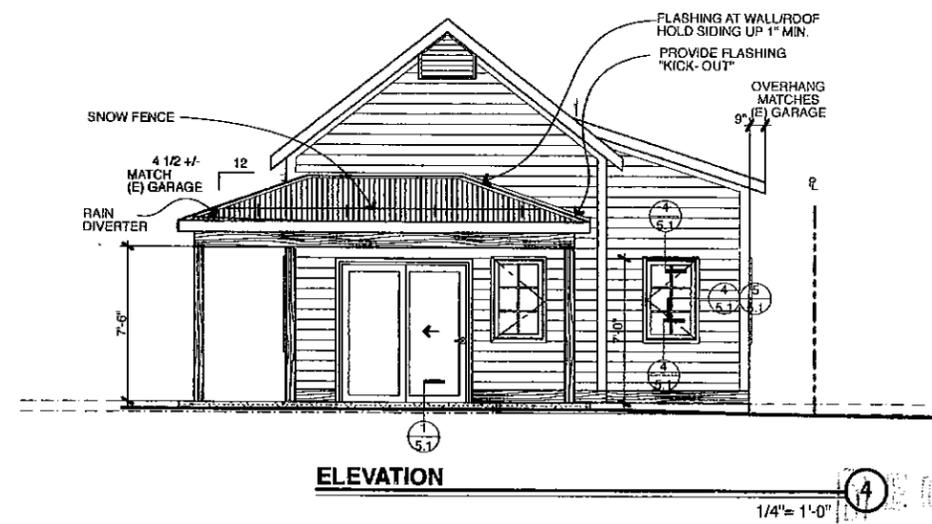


NORTH ELEVATION
1/4" = 1'-0" **5**

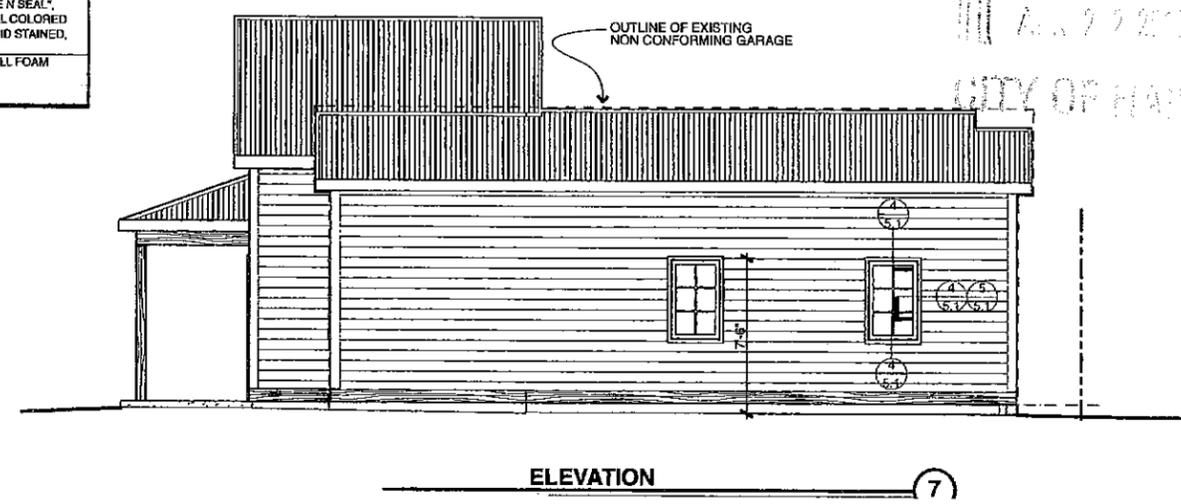


EAST ELEVATION
6

SECTION NOTES/MATERIALS	
KEY	REFERENCE LOCATION
1	TYPICAL SLOPED ROOF CONSTRUCTION FACTORY PAINTED, CORRUGATED METAL ROOF ATTACHED WITH GASKETED SCREWS, OVER ICE & H2O SHIELD (AT EAVES AND UPSLOPE 5' FROM EXT. FACE OF WALL). STD ASPHALTIC IMPREGNATED UNDERLAYMENT REMAINDER OF ROOF AS REQ. BY CODE. SHEATHING PER CODE TRUSSES PER TRUSS MANUF. BLOWN IN CELLULOSE INSUL R-50 MIN 5/8" DRYWALL CEILING W/ VAPOR BARRIER ON BOTTOM OF TRUSS CHORD ZERO VOC PRIMER AND PAINT
2	TYPICAL EXTERIOR FRAMED WALL CONSTRUCTION CEMENT WOOD FIBRE SIDING TYVEK HOUSE WRAP SHEATHING PER CODE 2X6 WALLS BLOWN IN CELLULOSE INSUL R-21+ VAPOR BARRIER ON WARM SIDE OF WALL ON STUD 5/8" DRYWALL ZERO VOC PRIMER AND PAINT
3	TYPICAL FOUNDATION WALL 2" RIGID EXTRUDED POLYURETHANE CLOSED CELL FOAM BOARD R-10 MIN. CONCRETE SEALED PER CODE AS REQ. WITH "PEEL N STICK"
4	TYPICAL SLAB ON GRADE SLAB GARAGE, CONCRETE SEALED WITH "CURE N SEAL", GARDEN RM SMOOTH TROWELED WITH INTEGRAL COLORED CONCRETE & ACRYLIC CLEAR TOP FINISH, OR ACID STAINED, ACRYLIC FINISH SYSTEM 2" RIGID EXTRUDED POLYURETHANE CLOSED CELL FOAM BOARD R-10 MIN. COMPACTED FILLAS REQ.



ELEVATION
1/4" = 1'-0" **4**



ELEVATION
7

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AR-282258
NORMAN H. SANNEY
STATE OF IDAHO
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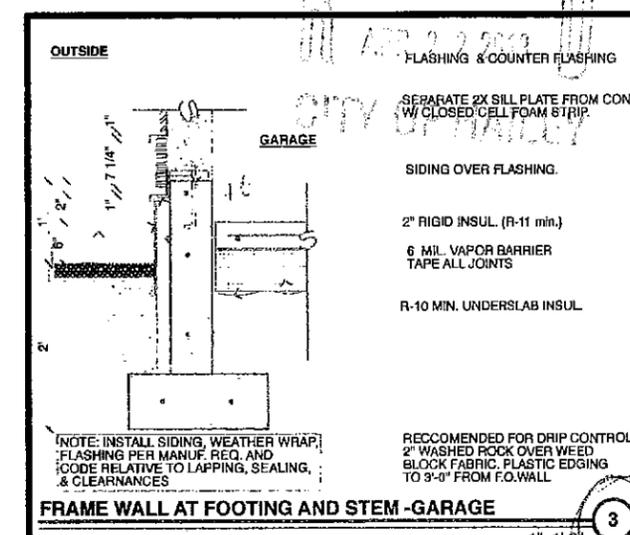
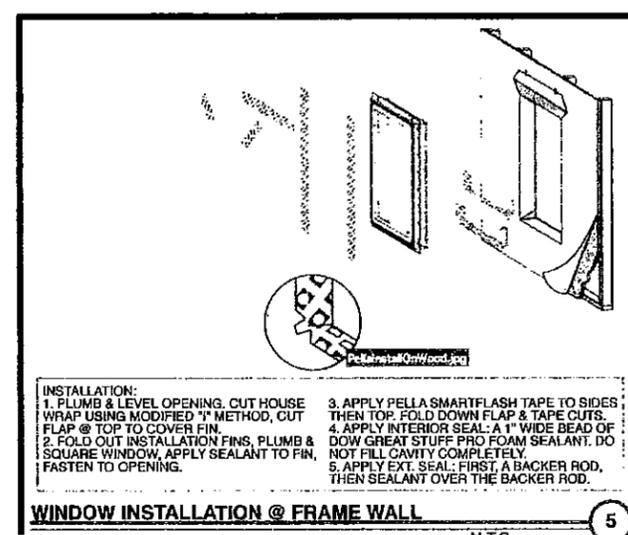
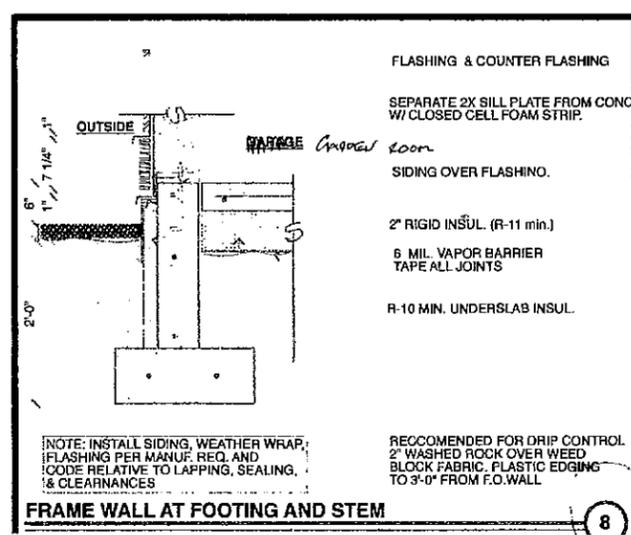
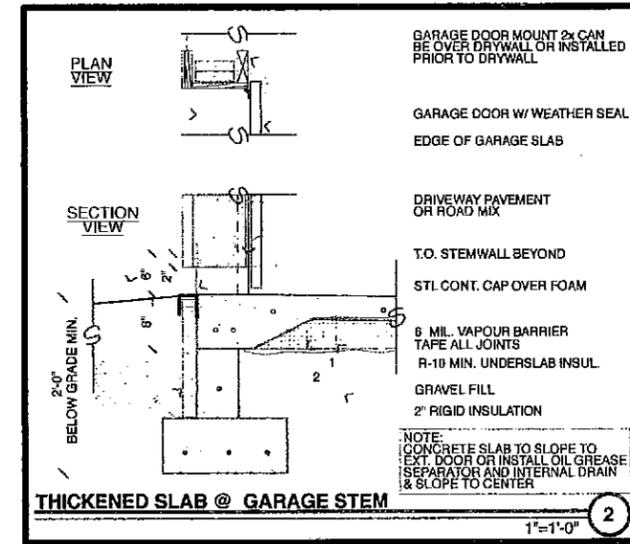
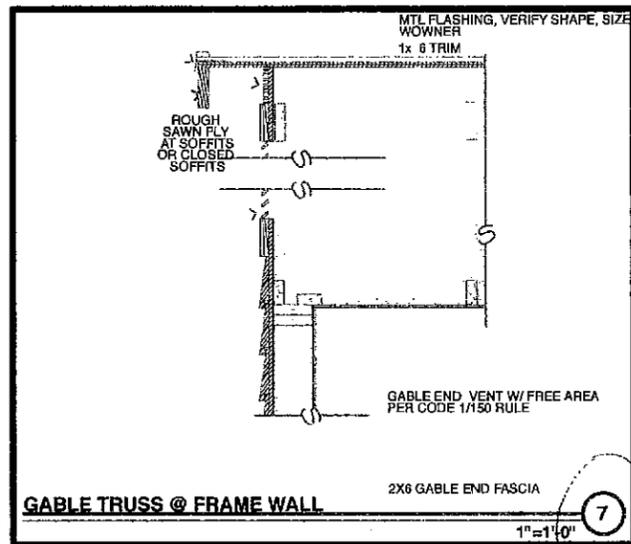
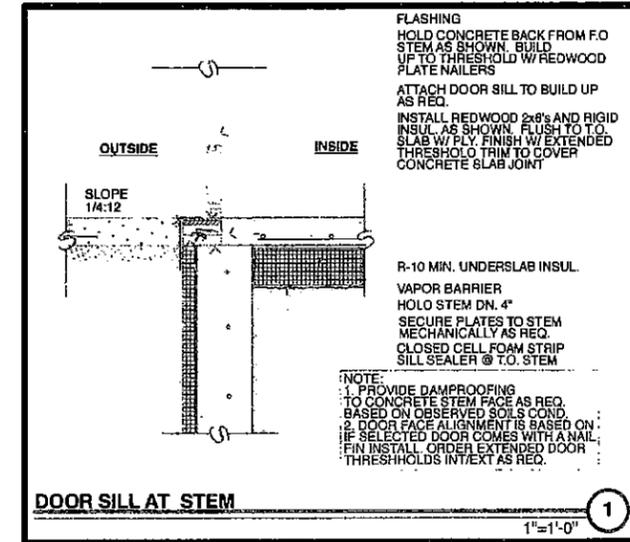
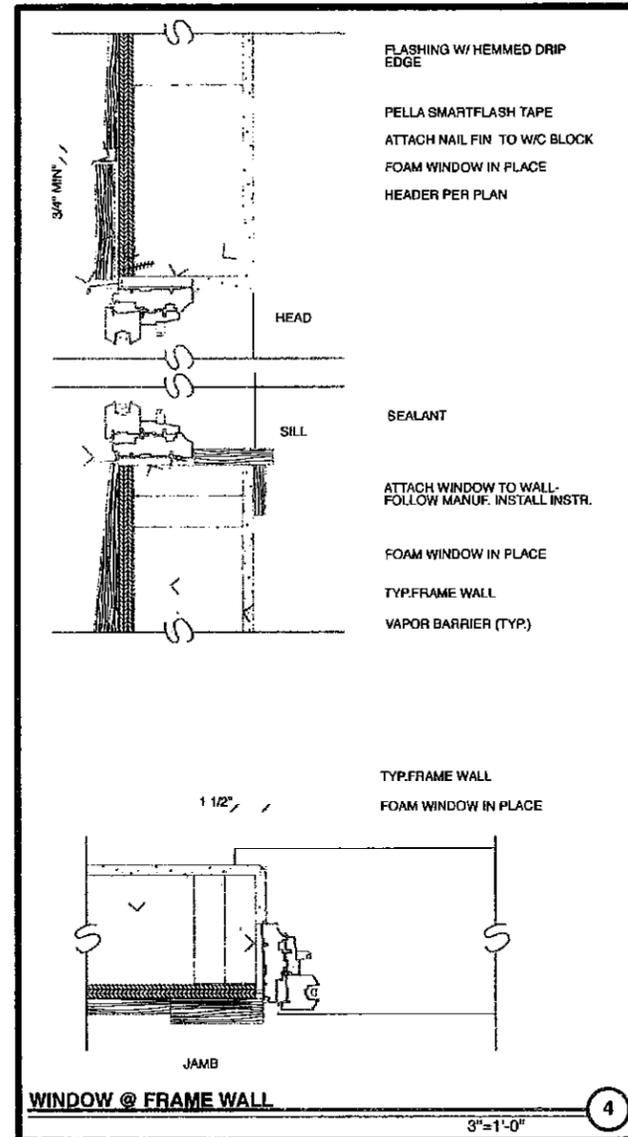
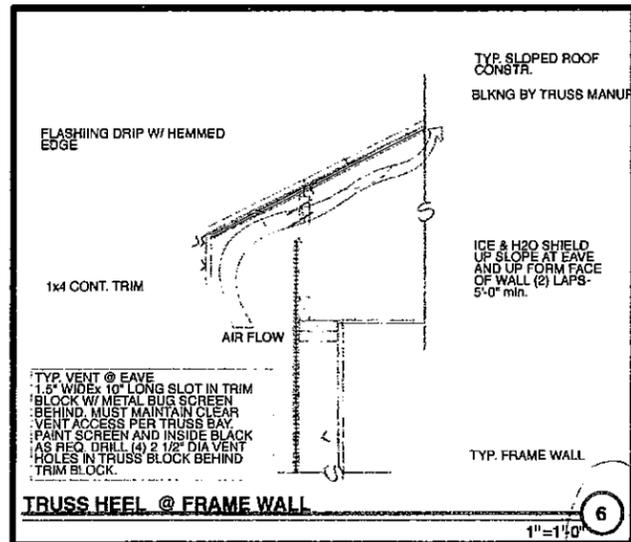
New Work Areas
FLAHERTY GARAGE/ & GARDEN ROOM
HAILEY IDAHO

Vital ink
Environmental Architecture
& Consulting
80 Wyatt Drive, Bellevue, Idaho 83413
(208) 720-0315 PH

REVISIONS

DATE
24 AUG. 2012
A3.1

PERMIT SET



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VITAL INK ARCHITECTURE & CONSTRUCTION
STATE OF IDAHO
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New Work Areas
FLAHERTY GARAGE/ & GARDEN ROOM
HAILEY IDAHO

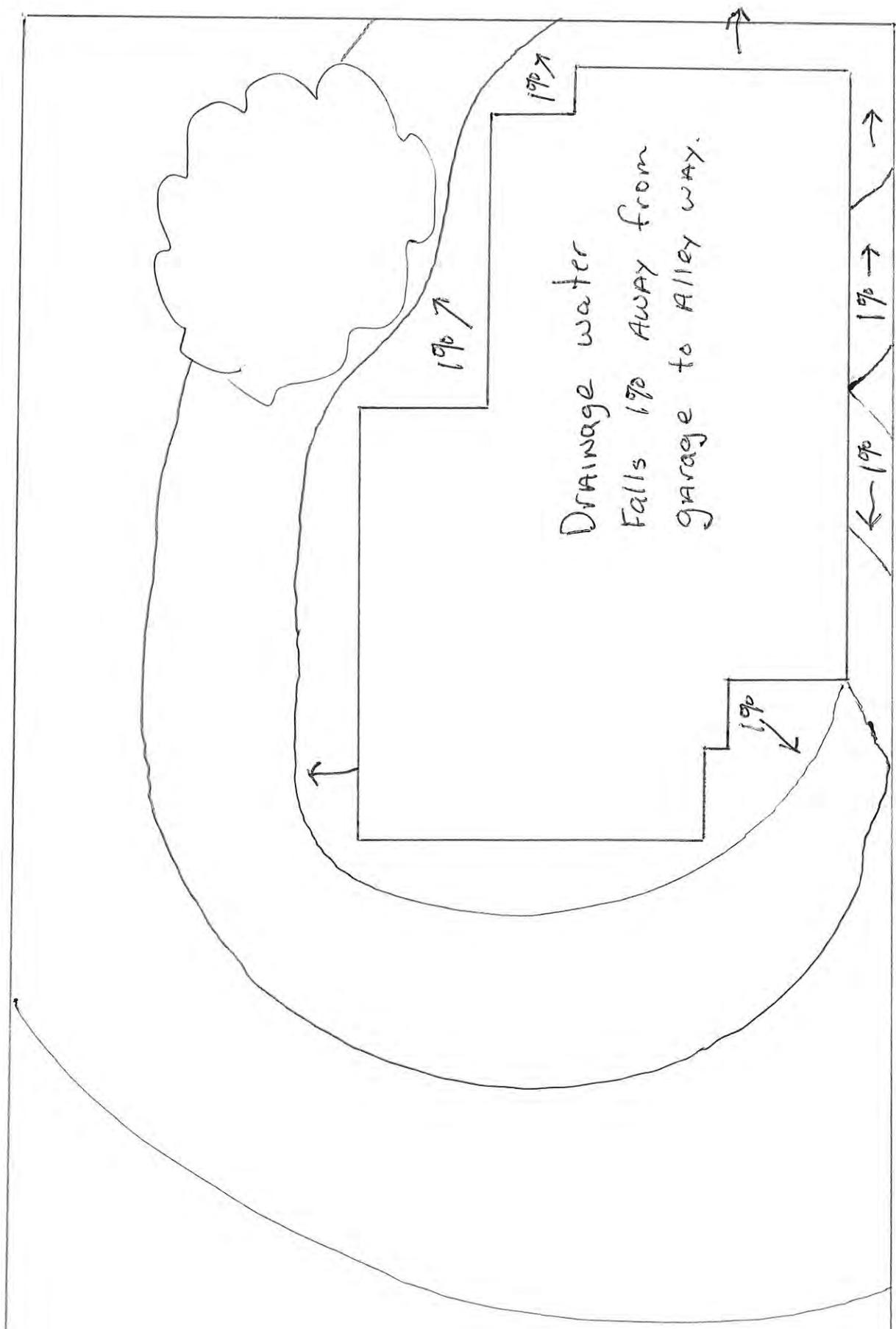
Vital Ink LLC
Environmental Architecture
& Consulting
AA
(208) 720-8315 Ph
30 Wyratt Drive, Bellevue, Idaho 83413

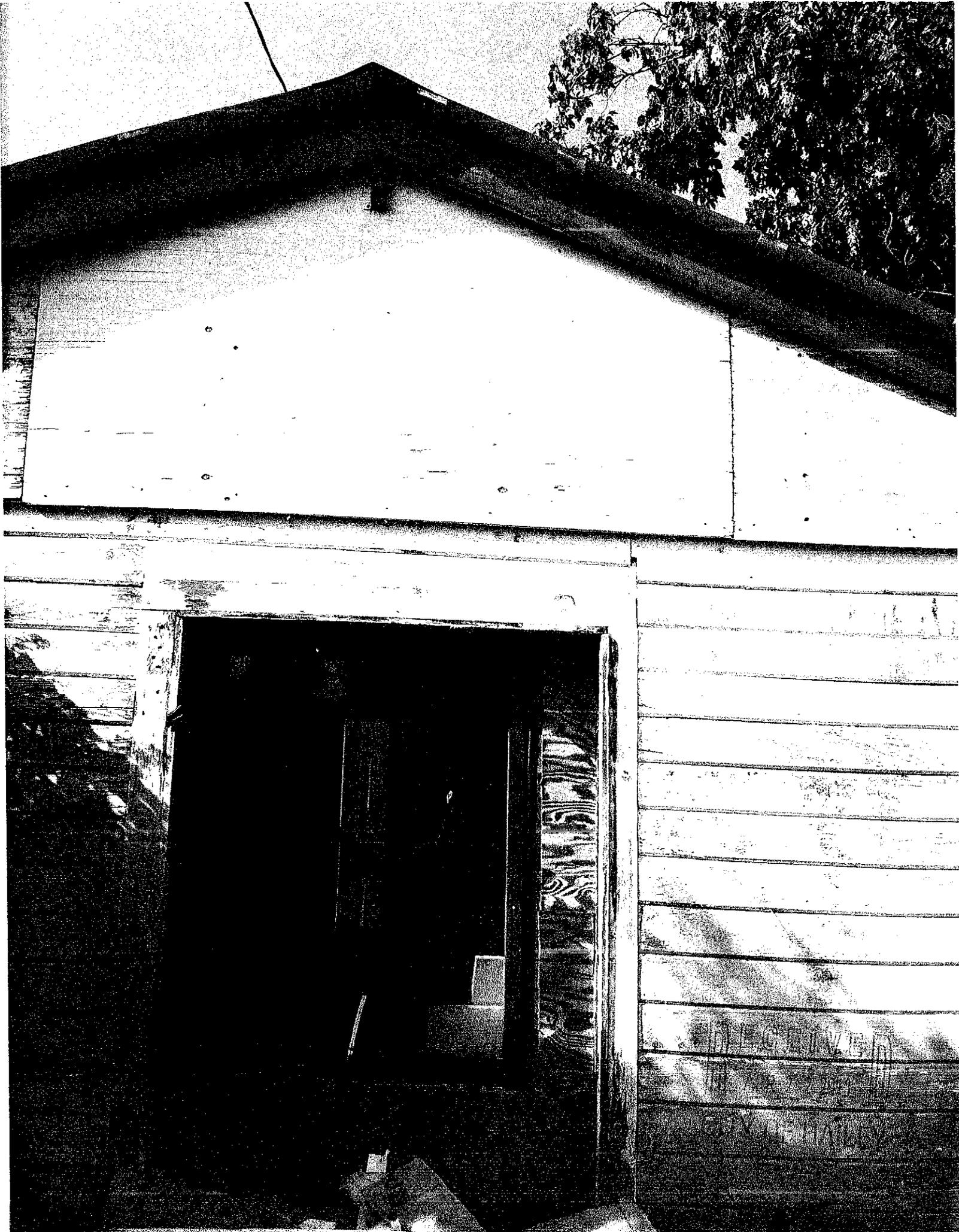
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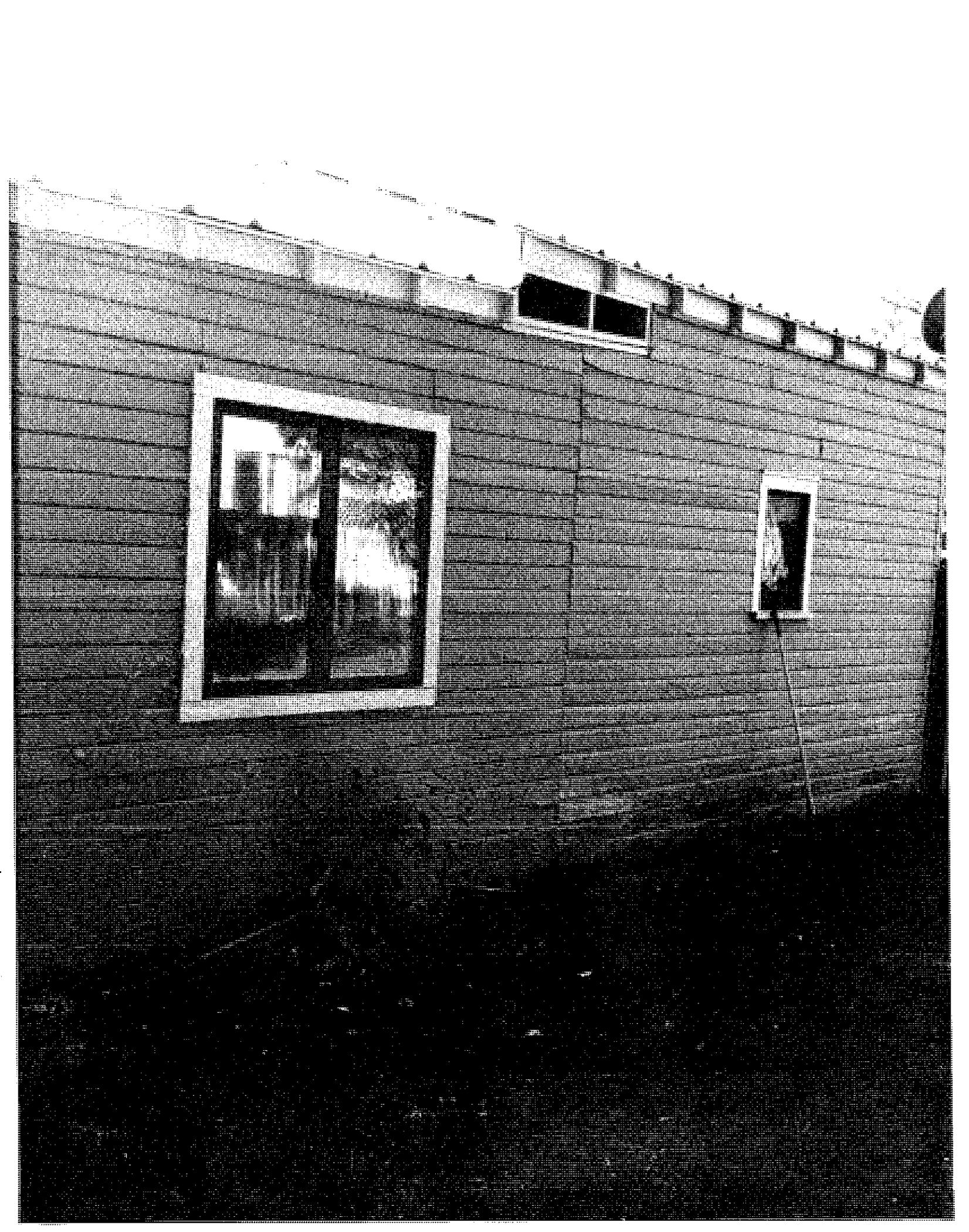
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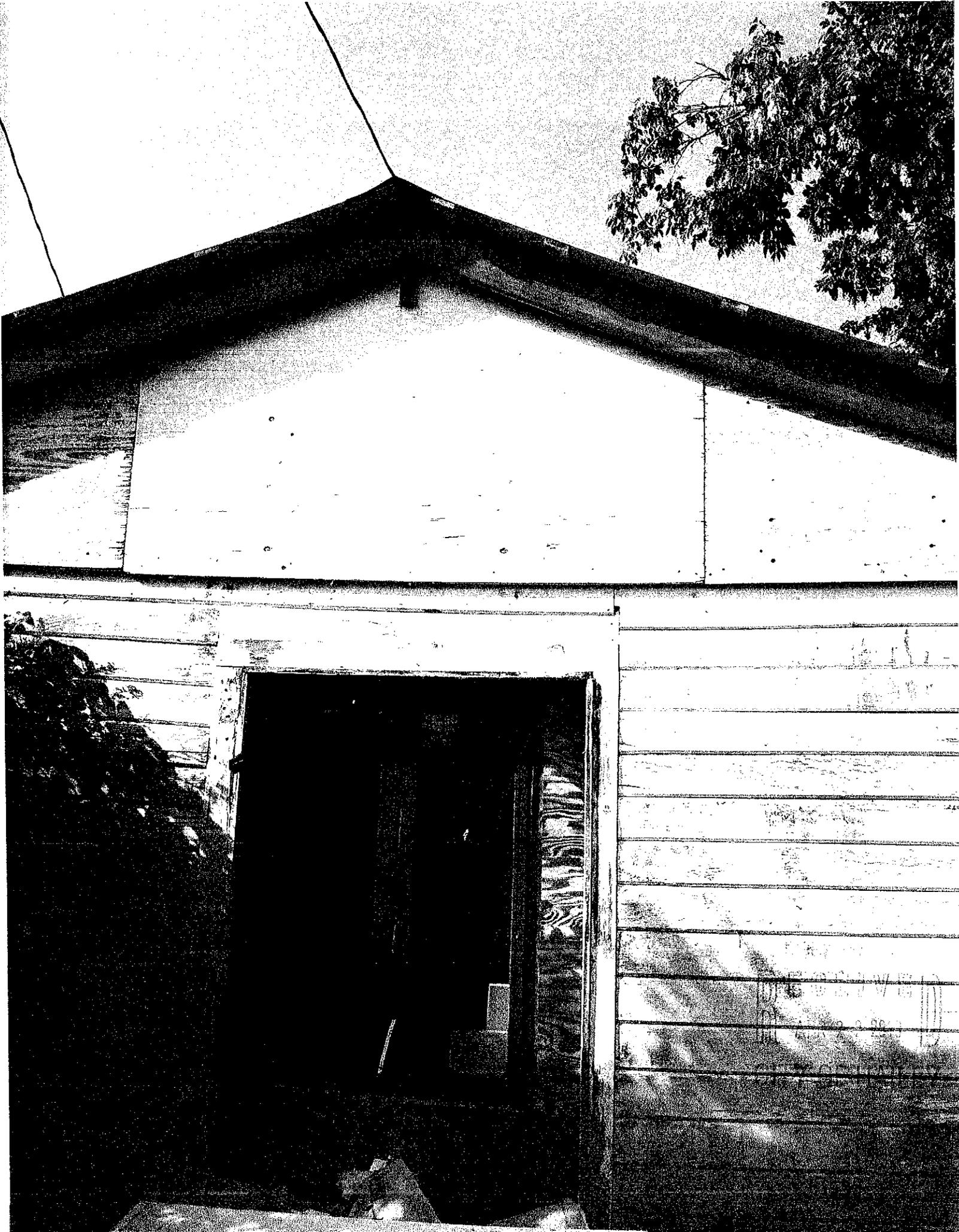
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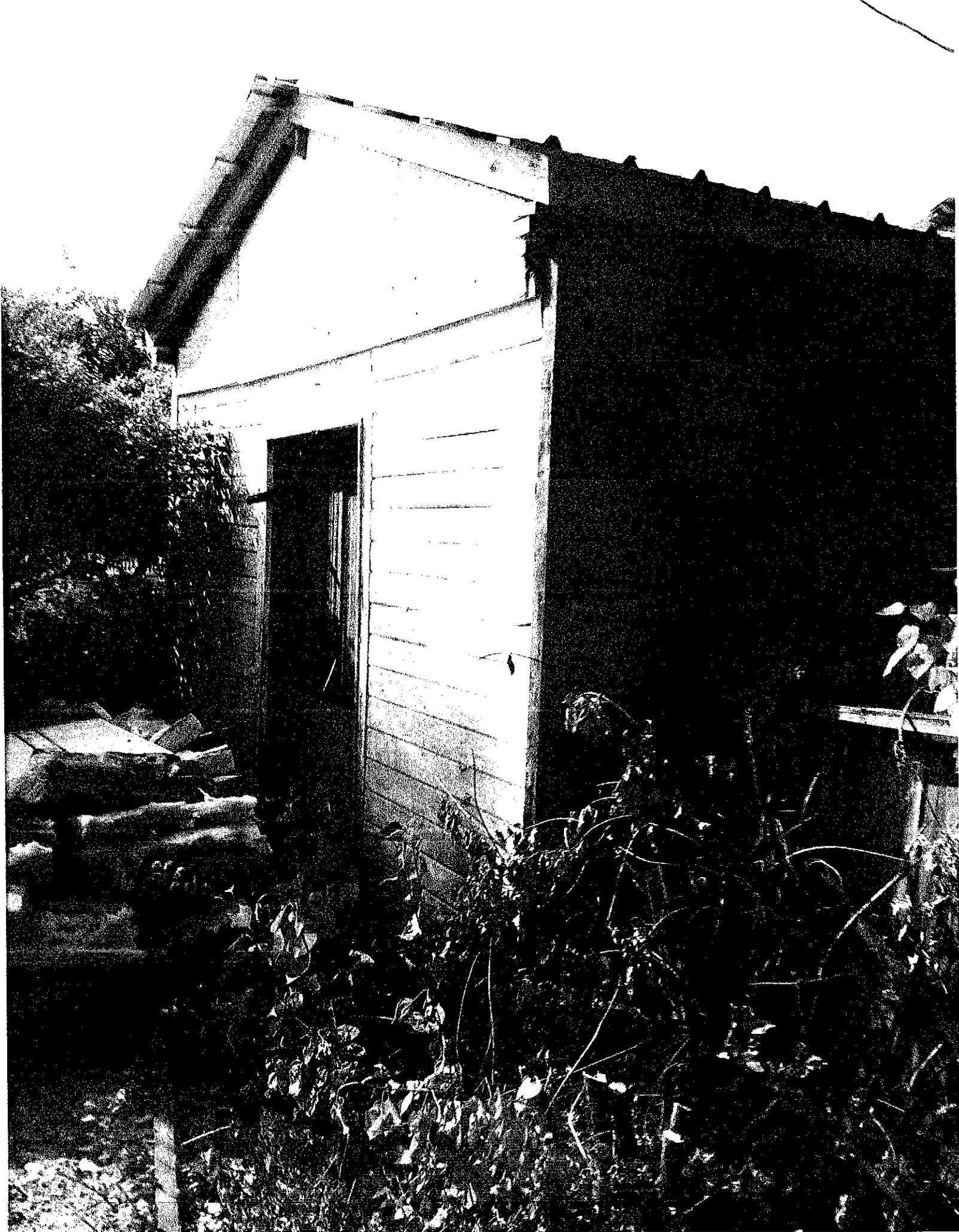
GERALD P. FLAHERTY
316 3rd Ave South

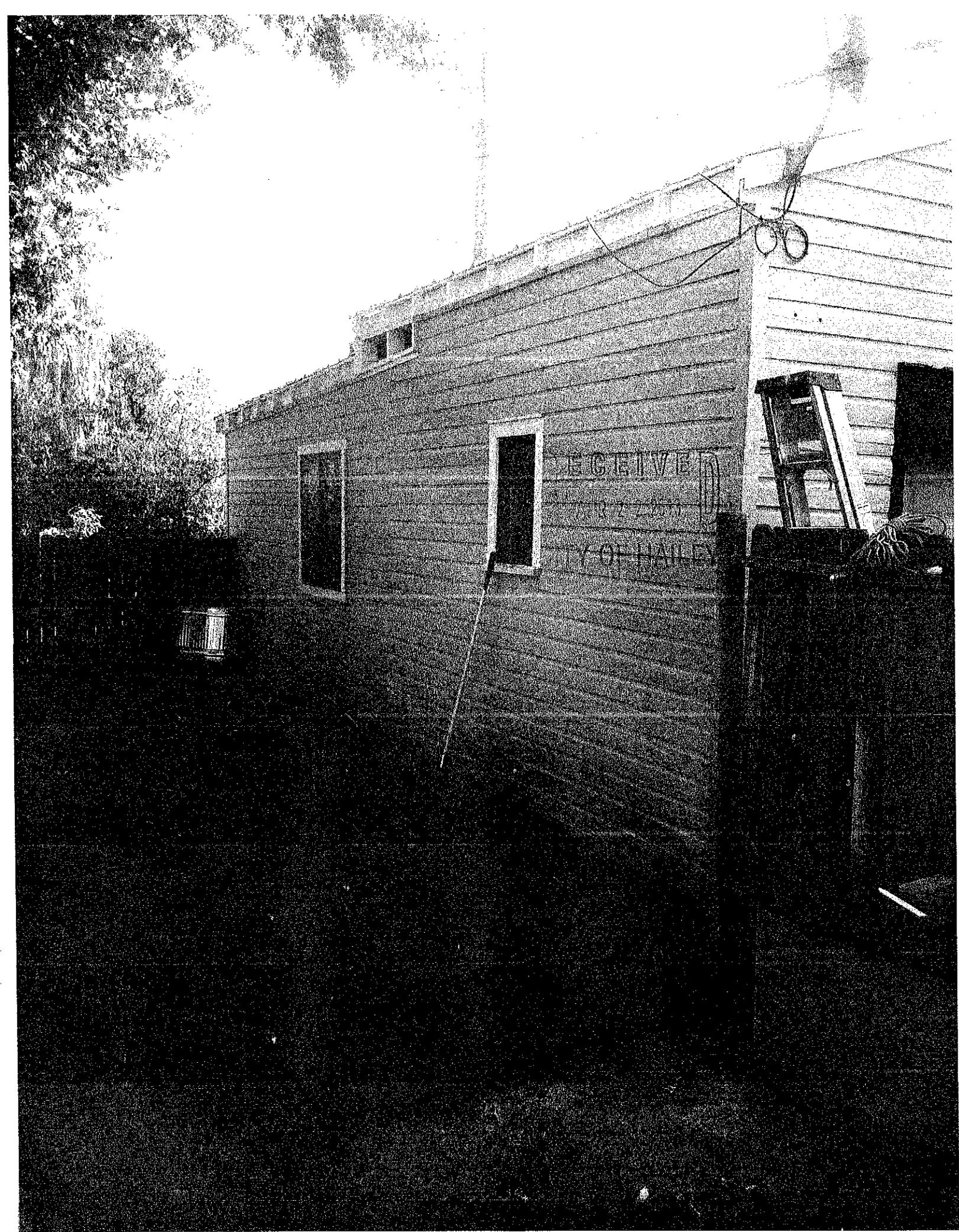


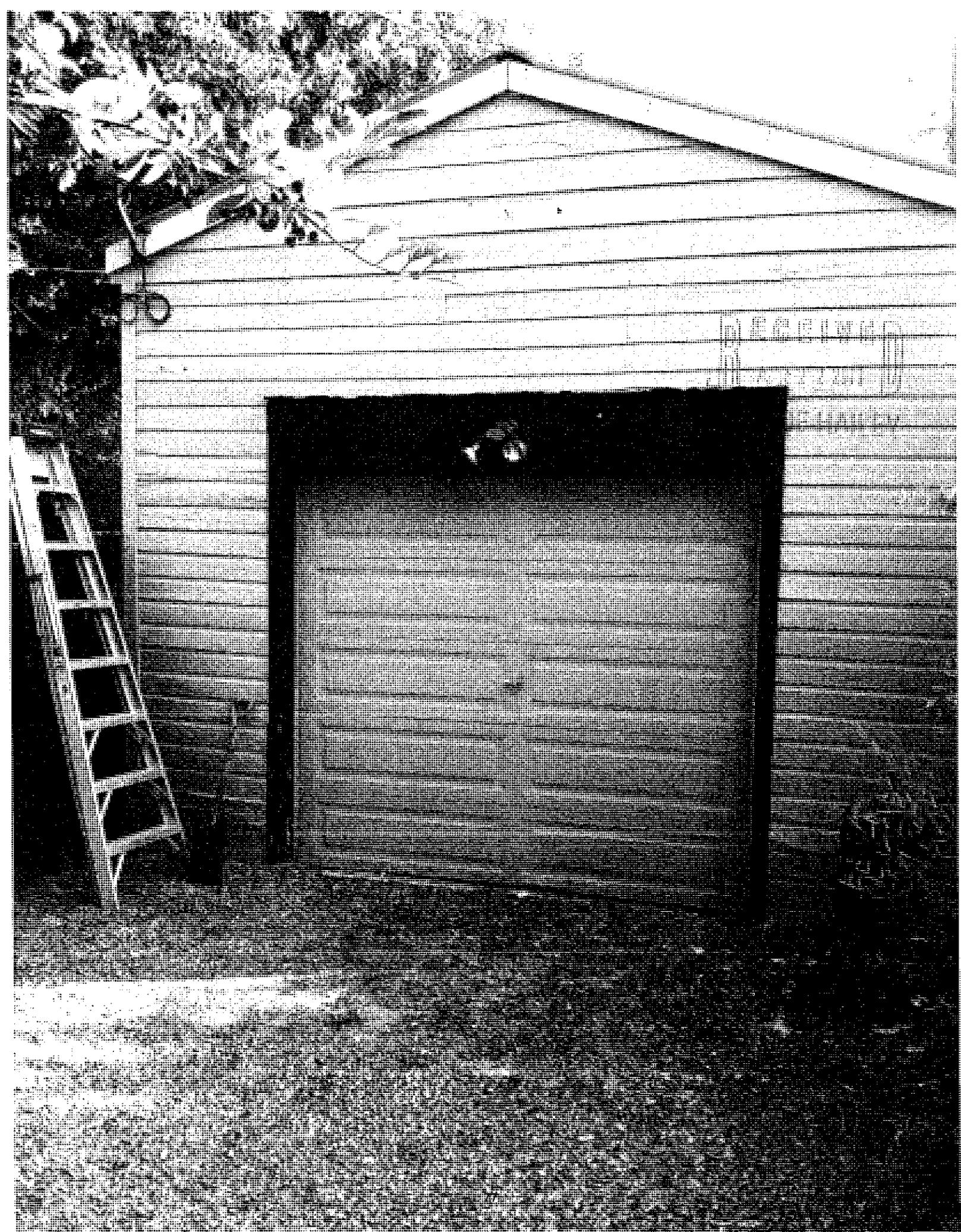












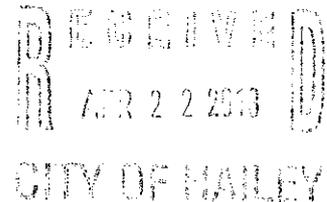
316 3rd Avenue South
Submitted by; Gerald P. Flaherty

Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.

□ A rectangular lot shape is preferred to a square one, as the rectangular lot pattern is more in keeping with Old Hailey, and most often results in more useable and visible open spaces.

Guideline: Site planning for new development and redevelopment shall address the following:

- scale and massing of new buildings consistent with the surrounding neighborhood;
- building orientation that respects the established grid pattern of Old Hailey;
- clearly visible front entrances;
- use of alleys as the preferred access for secondary uses and automobile access;
- adequate storage for recreational vehicles;
- yards and open spaces;
- solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines;
- snow storage appropriate for the property;
- underground utilities for new dwelling units.



As you can see from the drawing submitted the proposed garage was designed with Old Hailey's charm in mind.

- It is clear by looking at the drawings and survey that the scale of the garage is very much in scale with the surrounding buildings.
- The building orientation is the same as the existing garage and will respect the grid pattern of Old Hailey.
- The front of the building has a front entrance to the potting room you can clearly see from the street providing both charm and function.
- The preferred entrance for the auto will be from the alley making the building functional as the neighbor's house south of our lot prevents us from entering from 3rd ave in the winter due to snow sliding from her roof onto our property.

Refer to the Hailey Townsite Design Review page 22 #7 Snow Storage. The photo is our house with no access to garage due to neighbor's roof line.

- Having access to the garage from the alley will create more yard and open space because the current driveway will become turf.
- Solar access. None
- All utilities will be underground and installed to local code.

Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.

□ Glass areas should reflect the composition, layout and window-to-wall ratio of windows seen traditionally in Old Hailey versus large continuous surfaces of glass.

• Solar energy collection devices should be integrated into the overall building design.

• Designers should be aware of the solar exposures of neighboring properties, and should, where possible, avoid blocking these exposures with buildings or solar collectors.

• Roof-mounted solar collection panels shall not extend above the ridge line of the roof. They should be integrated into the structure, and as close to the roof angle as feasible.

• Free-standing solar collection panels should be subordinate in size and placement to the structure they serve, and should generally not be located in areas visible from the street.

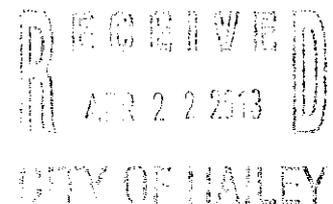
- No solar energy will be used on this project.

Guideline: The perceived mass of larger buildings shall be diminished by the design.

• The height of taller buildings should be stepped down on the streetside elevation.

• Buildings with greater mass should be broken into smaller modules.

• Changes in wall planes and building



materials should be used to reduce the visual impacts of taller buildings.

- The max height of the garage is 19 feet and should be perceived nicely from 3rd street as the architect designed a small front porch to step down the elevation.
- The building has more mass than the existing garage and of course all setbacks are in compliance with Hailey zoning ordinance. The roof line is broken up into three sections to create a building that flows and will appear to be smaller than the current garage which is looming.
- The porch will reduce the visual impact of the garage and all four sides have changes in the wall planes.

3. Architectural Character

Architectural character is a large part of the charm of Old Hailey. Turn of the century and later buildings reflect a diversity of styles, building forms, materials and other elements. At the same time, these buildings are “good neighbors”, having been constructed to be in scale with their surroundings. These standards are not intended to restrict design styles, but to ensure that new ideas and styles also respect the scale and elements of the existing neighborhood.

a. General

Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.

- The Design Guidelines are not intended to dictate a particular style or era for new buildings.
- Exact replication of old buildings is not the intent of these Design Guidelines, so that historic buildings can be appreciated for their own uniqueness. Designers may draw on the past, without necessarily replicating the design of old buildings. The use of traditional building forms, scale and broad design elements is encouraged.

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- The garage is designed to fit in with the surrounding homes and enhance our house. It is not designed to replicate the house exactly as we will use different materials and slightly different pitch on the roof lines.

b. Building Orientation

Most of the buildings in Old Hailey are oriented to the street. Often the front door would face the street, with a porch or other visible entry. Keeping a primary entrance to buildings on the street helps to convey a sense of human scale, allows a clear identity for emergency access and furthers a “neighborly” feel.

Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.

• The use of walkways, porches, smaller roof forms and other design elements is encouraged to emphasize the location of the front entry.

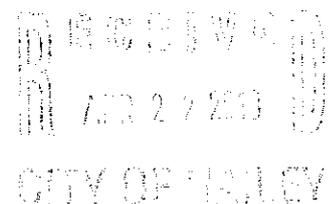
Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.

• In some cases, the front door to a building may be positioned such that it is perpendicular or at an angle to the street. If so, other design elements such as the front wall plane, porch element or walkway elements should be used to help define the front door location, and to respect the overall building orientation pattern in the neighborhood.

- I believe this guide line pertains more to the house rather than a detached garage. However the garage does have a front door, small porch and roof that face the street.
- As mentioned early the garage is located to respect the grid pattern.

c. Building Form

Buildings in Old Hailey were most commonly rectangular in shape. In addition, the older buildings were generally oriented with the short side facing



the street, and the longer side along the side lot lines. This basic building form is encouraged in the Design Guidelines. Some variations may be compatible where the overall mass and scale of the new building is similar to the other buildings in the neighborhood.

Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.

- Simple rectangles or a combination of rectangles is encouraged.
- Examples of forms that help to reduce the perceived scale include the use of smaller forms combined together and the use of a smaller building form along the street.
- Less traditional forms should be very carefully planned to respond to the scale and character of the neighborhood.

- The existing garage is roughly 5 feet shorter in length and width. To help fit the garage into our lot you can clearly see on the blue prints submitted the use of rectangles in the design to reduce the perceived scale of the garage.

d. Roof Form

Roofs help define a neighborhood by creating a pattern on the horizon, framing views to distant areas, and defining light and air between buildings. While a variety of roof styles are present in Old Hailey, most of these roofs are pitched roofs with gable elements. Typically, gabled roof slopes were in the range of 8:12 to 12:12. Ridge lengths were typically a maximum of 40-50 feet in length. This ridge length is an important element in the scale and feel of Old Hailey neighborhoods.

Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.

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□ Garages are preferred to be located off of alleys, as outlined in Sections B.5 and B.6. Where the alley option does not exist or is not feasible, garages on the front of buildings should be diminished by integrating them into the primary roof form, by off-setting them back from the primary structure, or by detaching them.

• Offsets in eave and ridge lines may be helpful in breaking up building mass.

- Like the preferred guidelines our garage is located on the alley. Keeping within the guidelines to break up the perceived mass the ridge is broken up into three different ridgelines.
- No ridgeline on the plans is greater than 25'
- The pitch on the roof closet to 3rd avenue is at 9.5:12 which matches our house. The roof pitch were the existing foot print was is the same as before at 4:12 and the porch has a pitch of 4:12 as well.

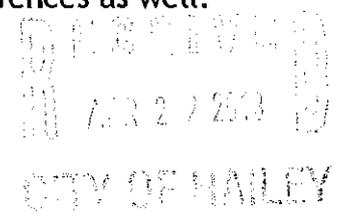
Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.

• Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas.

• Designs should avoid locating drip lines over key pedestrian routes.

• Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.

- The roof trusses have been engineered to hold retain a snow load for this region.
- Although the purposed garage has the same pitch as the existing garage we will install a roof snow fence to help prevent snow from shedding onto our neighbor's property.
- The material on the roof will be metal as it is on the existing garage.
- Other areas of the roof that are over doorways will have snow fences as well.



Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.

□ Gable roof pitches in the 8:12 to 12:12 range are encouraged.

- On the original foot the pitch is 4:12. It was suggested by Ned Williamson to re-build exactly as it was on the original foot print to be in compliance.
- The portion of the garage that has been enlarged are in compliance with setbacks and have a pitch of 9.5:12 to match the house.

Guideline: Primary wall planes should be parallel to the front lot line.

· These guidelines consider the front wall plane to be the primary wall plane.

E. Wall planes

- The gable ends of the garage are parallel to street and alley. All four sides of the building the walls are broken up with a jog.

Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.

· A preference is given towards front wall planes that match the scale of traditional buildings (25-30 feet in width).

· If front wall planes exceed the traditional width, a setback or jog in wall plane should be used to break up the perceived mass.

· In general, one-story wall planes may be longer than two story wall planes, while still appearing proportional to the site.

E. Wall Planes

- The front of the garage is located between our house and the neighbor's house and has the perfect ratio with the two buildings.
- Although the front planes do not exceed the traditional width there is a jog in the wall.
- The front of the garage will have a small porch to break up the perceived mass.

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Guideline: The use of pop-outs to break up longer wall planes is encouraged.

• Side wall planes are typically longer than front wall planes: pop-outs such as bay windows, chimneys and other architectural elements can be used to break up these longer wall planes.

E. Wall Planes

- On the purposed garage all four walls have jogs.

Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.

• Consider the position, area and arrangement of windows when designing street side facades.
• Consider the ratio of window opening area to solid wall area when designing building elevations such that neither dominates.
• Multi-paned windows of a vertical orientation are encouraged. As a general guideline, windows facing streets are encouraged to have a height that is twice the dimension of the width.

Guideline:

F. Windows

- The plans indicate that the sizes of windows are of traditional size, scale and proportionate of the garage.
- Neither the windows nor the solid wall dominate the building in such way that it is out of context with old Hailey.

Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.

• In general, new windows on side lot lines should be located such that they are not directly opposite windows on neighboring properties.

F. Windows

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- No windows on the garage are opposite of any neighboring windows.

Guideline: Decks and balconies shall be in scale with the building and the neighborhood.

• Decks and balconies should appear as subordinate elements in terms of scale, location and detailing.

G. Decks and balconies

The porch designed into the garage serves mostly as function. It will provide cover while walking from the car to the house. The roof lines of the porch will not over hang into the neighbor' s property because it has been designed to today' s guide standards. Also the design considers the scale of neighboring properties.

h. Building Materials and Finishes

Building materials found in Old Hailey were traditionally log, stone, brick, shake and wood siding. All of these materials have a “human” scale, which means the materials are of a recognizable size. Newer materials can also reflect a sense of human scale and may be appropriate, if they can be designed to break up wall planes. In addition to the materials, the use of color adds to the charm and feel of Old Hailey buildings.

Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.

• A change of materials should be used appropriately on the building to help “ground” the building and to provide a distinction between foundations and walls. For example, a heavier material such as stone would be appropriate around the base of a building.

Guideline: Large wall planes shall incorporate more than one material or color to break up the

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mass of the wall plane.

□ Building materials that contribute to a human sense of scale are encouraged.

Examples of materials that convey a human sense of scale include wood siding, shake siding, brick and stone.

• Scoring joints, changes in surface, and the use of trim are other ways to break up the perceived scale of large walls.

• A change of building materials may not be necessary if other design elements such as bay windows or pop-outs are used to break up wall planes.

H. Building Material and Finishes

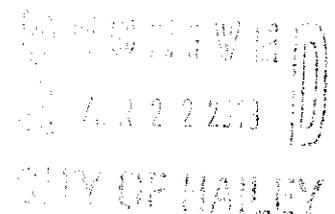
As mentioned is earlier pages to avoid a looming flat look we have designed breaks in the building walls. To also enhance the garage’ s charm we will use a light green color on the clad Hardie board siding. The garage will be accented with a darker hunter’ s green on the facial and white trim around the windows. The windows are white. This color combination will fit into the surrounding neighborhood and match our house nice.

i. Ornamentation and Architectural Detailing

Ornamentation refers to all of the architectural detailing on the buildings. Detailing elements include window treatment, trim pieces, sills, headers, knee braces, posts or columns, shutters, railings, corbels, and other details found on buildings in Old Hailey. Front porches were also very common, and are an important design element in old and new buildings alike. Generally speaking, ornamentation was simple, with one or two of these elements incorporated into the building design. The ornamentation on the buildings helps establish the character of the neighborhood.

Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.

• While ornamentation is encouraged, the use of highly ornamental details not



traditionally found in Old Hailey is not.

Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.

· Front porches are particularly encouraged.

In general, they should be substantial in size, such that they function as more than just a landing, and should be covered by a roof.

· If front porches must be enclosed to provide a cold entry, the use of windows and a higher ratio of window-to-wall surface is encouraged to retain the image of the old front porch.

Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.

· Buildings that draw on historic details without exact copying are preferred.

I. Ornamentation and Architectural Detailing

- Most homes in Old Hailey have their own uniqueness. Our home is formal with good lines. The garage has been designed to accent the house. The ornamentation and architectural detailing will be minimal. Headers and the columns on the porch will be painted white as well as the window trim. The window trim will also have a slight accent of hunter green. We thought that shutters were not necessary as the building is too small.
- Most of the detailing has been designed into the front of the building that is facing 3rd avenue. The gable end attic vent also provides a pleasant accent from 3rd avenue.
- The garage was designed with old Hailey in mind. Everything from the colors scheme to the porch have been carefully chosen to provide a tasteful building that will complement the neighborhood.

4. Circulation and Parking

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Parking and vehicular circulation in Old Hailey has traditionally been designed to be subordinate to the main house and walk-up entrance. Many older houses have used the alleys for parking and vehicular access needs. Garages that were located off of the street were typically single car garages, set back from the main house, with a one-car access drive. The standards in this section address today's needs for vehicle circulation and storage, while respecting the historic pattern that placed these uses as secondary on the site. Additionally, pedestrian circulation is an important part of the neighborly feel of the community and should be encouraged in all design considerations.

Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.

· Parking areas should be planned with adequate sight distances from sidewalks.

Guideline: The visual impacts of on-site parking visible from the street shall be minimized.

· Parking is encouraged to be screened from view with landscaping, fences or low walls.

Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.

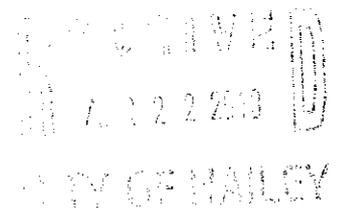
Guideline: Detached garages accessed from alleys are strongly encouraged.

Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.

· See also Roof Form in these guidelines for discussion on the use of roofs to diminish the impact of garages.

Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.

Guideline: Off-street parking space for recreational vehicles should be developed as part of the



overall site planning.

□ Storage areas for recreational vehicles should be screened from view with landscaping, fencing or other building walls.

4. Circulation and Parking

- Safety of pedestrians should not be a problem as the garage entrance is located on the alley.
- The visual impact of onsite parking on 3rd avenue will be enhanced as our car will be parked in the garage as opposed to the street
- Snow storage will not be a problem as there is ample room to relocate snow.

5. Alleys

Hailey alleys were platted as part of the original townsite in 1881. They remain a key component of the character and function of Old Hailey neighborhoods. Alleys provide a location for utilities, service needs, vehicle circulation, and access to accessory buildings. Often the buildings that were located off of the alleys were funkier, or quirrier than the primary building on the site.

Alleys offer a secondary pedestrian route that passes through the “backyards” of Old Hailey neighborhoods. The guidelines in this section recognize the importance of alleys in Old Hailey.

Guideline: Alleys shall be retained in site planning.

Lot lines generally shall not be modified in ways that eliminate alley access to properties.

Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.

• Buildings located off of alleys can be quirrier and more unique, reflecting the eclectic nature of alley buildings in Old Hailey.

Guideline: Generally, the driving surface of alleys

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within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City right of way should be managed for noxious weed control, particularly after construction activity.

□ State law requires that noxious weeds be controlled.

Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.

· Leave enough space between new landscaping and the alley property line to allow trees to grow to maturity without encroaching into the public alley right-of-way.

5. Alleys

- You can see on the plans and survey submitted that no lot lines have been modified to construct this garage.
- The garage is designed to be accessed from the alley. Although the building is neither funky nor quirky I believe it to be tasteful and it will replace the dilapidated existing structure.
- My property now is noxious weed free and I plan to continue to manage it that way. The entry to the garage will be either road mix or pavers.
- The landscape will be left alone. The existing lilac bushes will not be disturbed in the alley.

6. Accessory Structures

Accessory structures are smaller buildings that serve other uses for the primary residence or the primary use on a property. Old Hailey has many accessory structures. These smaller buildings were often located off of the alley, or otherwise designed to complement but not compete with the main house. Often they were quirkier or more eclectic than the primary building on the site. These buildings add to the character and charm of the neighborhoods, and often will break up the scale and mass of building on a site. Accessory structures in Old Hailey are encouraged to be preserved.

Guideline: Accessory buildings shall appear

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subordinate to the main building on the property in terms of size, location and function.

□ There may be specific instances where accessory structures may have a larger floor area than the primary structure, such as in the case of an existing small primary structure that has historic significance, and which is proposed to be preserved.

Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.

6. Accessory Structures

- No request for accessory structures is being submitted at this time.

7. Snow Storage

Snow storage is an important issue in Hailey. Good planning at the initial site planning stage is needed to ensure pedestrian safety, clear vision triangles for drivers, adequate parking and walking areas, and that snow does not shed off of the roof onto neighboring properties.

Guideline: All projects shall be required to provide 25% snow storage on the site.

• For new construction and additions, snow is not permitted to slide onto the property of others.

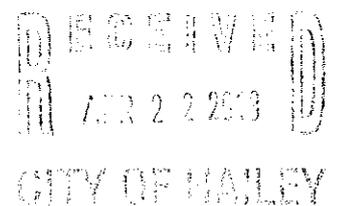
• Snow storage areas shall be 25% of on-site parking and circulation areas.

Guideline: A snow storage plan shall be developed for every project showing:

- Where snow is stored, key pedestrian routes and clear vision triangles.
- Consideration given to the impacts on adjacent properties when planning snow storage areas.

7. Snow storage

- Viewing the plans and survey submitted it easy to deduce that the new construction is built within the guidelines and snow will not fall onto neighboring property.
- It is also easy to deduce there is 25% snow storage allotted in the parking and circulation area.



- Looking at the plans there is room greater than 25% north of the garage. The storage allows pedestrian traffic to flow and also has room for clear vision triangles.
- Snow storage will not impact neighboring homes in any way.

8. Existing Mature Trees and Landscaping

Mature trees and landscaping are a key component to the character of Old Hailey. Mature trees are the larger ones, which provide an overhead canopy or are at a size, age and in good enough condition to be landmarks in the neighborhood. Old Hailey contains a significant resource in public street trees found in the City rights-of-way, many of which are over 50-70 years old. These city street trees provide a canopy over the streets, separate automobile and walking areas, and create a pattern of landscaping with their trunks and branches. Trees and landscaping on private property also contribute significantly to the character of Old Hailey. They can provide summer shade, give privacy to buildings, and frame the architecture. The standards in this section address both public and private trees.

Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.

Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.

- Mature shrubs such as lilacs should not be overlooked in site planning.
- The use of plant materials that are appropriate for the Hailey climate and growing season are encouraged.
- Drought-resistant lawn areas that resemble the traditional lawns of Old Hailey are encouraged.
- Xeriscape plantings in other yard areas are

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good alternatives for retaining landscaping while lowering water use.

· Berms in front yards are generally discouraged.

Guideline: Noxious weeds shall be controlled according to State Law.

8. Existing Mature Trees and Landscaping

- The plans submitted indicate a mature tree north of the garage in our yard. The garage was designed not only to adhere to Hailey's guidelines and set-backs; one of our goals is not disturbing the mature box elder tree. The tree is healthy and the proposed garage will allow ample root growth.
- The alley behind our property has lilacs that bloom nicely and the garage will not disturb them as well.
- There is a fence there now and the fence will remain in place.

9. Fences and Walls

Fences are a part of the design character of old Hailey, with some dating to the 19th century. In particular the design of fences in front yards created a neighborly feel. These older front yard fences were most often constructed with transparent material types such as wood picket and wrought iron. They were also lower in height, and had a clearly marked gate.

Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.

· Fence heights are regulated by Hailey Zoning Ordinance Number 532, Section 8.1.

Guideline: Retaining walls shall be in scale to the streetscape.

· Streetside retaining walls should be lower in height, or broken up to avoid the look of a large wall.

9. Fences and Walls

- There will be no retaining walls built for this project.
- The fence that is in place now will remain in place and butt up against the garage.

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10. Non-residential and Multi-family Uses

Non-residential uses and residential uses of three (3) units or greater will be reviewed by the Hailey Planning and Zoning Commission. The Commission will use the Guidelines below and all of the other Guidelines in this document as applicable for these projects, in conjunction with other applicable Design Review Guidelines as set forth in Article 6A of the Hailey Zoning Ordinance.

Guideline: Non-residential uses in Old Hailey should be designed with a residential, human scale in mind.

Guideline: Parking for non-residential uses shall be carefully planned to avoid pedestrian conflicts, and to be subordinate to other design elements on the site.

· See also Section 4 for other applicable parking guidelines.

Guideline: Utilities for non-residential and multifamily structures shall be integrated into the site design. Utilities should, in most cases, be fully screened from view.

· Exhaust hoods, rooftop vents and air conditioner units should be screened from view, either with a parapet wall or by integrating these items into interior roof elements.

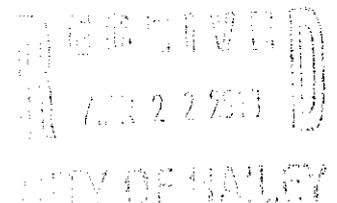
· Transformers, gas meters and other site infrastructure should be located in a manner to avoid being seen from entrances, public streets and pedestrian areas. If they cannot be hidden, they should be screened with landscaping, fencing or building walls.

10. Non-residential and Multi-family Uses

- This section does not apply to this project.

11. Historic Structures

Hailey citizens have stated that the older buildings in town greatly contribute to the cultural heritage and the overall character of the community. In addition



to the guidelines below, the Hailey Historic Preservation Commission plays a key role in the demolition and remodeling of historic structures. Careful consideration should be given to the removal of Historic Structures in Old Hailey.

Definitions. For the purpose of this Section 11, the terms set forth below have the following definitions:

Adaptive Re-Use. The modification of an existing building (most typically a single family dwelling) for use as either an office or a multi-family dwelling unit or a historic institutional use or the conversion of any such structure back to its original use.

Congruous. The sensitivity of a development proposal in maintaining the character of existing development.

Elements affecting congruousness include, but are not limited to, whether the form, texture, height, mass and bulk of alterations or additions are in agreement, harmony, and coherence with and correspond to the setting and the Townsite Overlay District.

Congruous, compatible and harmonious are used as synonyms.

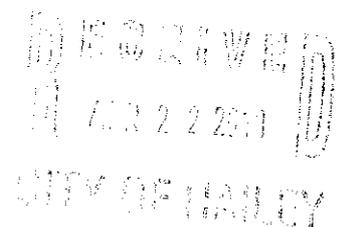
Contributing. A contributing building, site, structure or object adds to the historic architectural qualities, historic associations or archeological values for which a property is significant because either (a) it was present during the Period of Significance, and possesses

historic integrity reflecting its character at that time or is capable of yielding important information about the period, or (b) it independently meets the criteria of the National Register of Historic Places.

Periods of Significance. The time periods are as follows:

1. 1855-1890 Settlement/Territorial
2. 1890-1904 Early Statehood
3. 1904-1920 Beginning of the New Century
4. 1920-1940 Inter-war/Great Depression

Time periods after 1940 are considered World War II and Pre-Modern, and Modern. Buildings and structures built after 1940 are not subject to the guidelines contained in this Section 11.



General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:

- The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance.

- The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural

integrity of the original structure Periods of Significance. The time periods are as follows:

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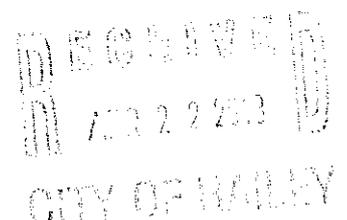
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- The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure and/or the primary façade;

- ≈ Exterior materials that are compatible with the original building materials should be selected;

- ≈ The size and scale of the addition should be compatible with the original building, with the addition appearing



subordinate to the primary building;

≈ The visual impact of the addition should be minimized from the street;

≈ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building;

≈ The roof form and slope of the roof on the addition should be in character with the original building;

≈ The relationship of wall planes to the street and to interior lots should be preserved with new additions.

11. Historic Structures

This section seems to state the obvious and I believe I covered everything in this section earlier in this document. I believe this project is quite congruous with the surrounding homes and the historic section of Hailey. I also feel the existing garage that is there now is a platen violation of everything I have read in this design review. The garage there now does not fit in with the standards and guidelines.

The exterior of the proposed garage meets all design guidelines. It accents our 1930's home and compliments the neighborhood well. The materials selected are within guidelines and also fit to the surroundings. The roof lines, mass and scale have all been design by an architect with Old Hailey in mind.

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STAFF REPORT

TO: Hailey Planning and Zoning Commission
FROM: Micah Austin, Community Development Director
RE: Preliminary Plat – Northridge X Subdivision
HEARING: July 8, 2013

Applicant: West of First LLC
Project: Northridge X Subdivision
Request: Preliminary Plat
Location: Lot 2, Block 1, Northridge VIII Subdivision
Zoning: Limited Residential (LR-1)

Notice

Notice for the public hearing was published in the Idaho Mountain Express on June 19, 2013; the notice was mailed to property owners within 300 feet on June 19, 2013. The site was posted on June 19, 2013.

Application

West of First, LLC, represented by Tim Vawser of EHM Engineers, has submitted an application for Preliminary Plat approval for the subdivision of Lot 2, Block 1, Northridge VII into 2 residential lots ranging in size from 2.23 acres to 1.74 acres. The total land area of the subdivision is 4.75 acres.

Department Comments

Life/safety issues: The current preliminary plat reflects all changes and revisions recommended and requested by the City Engineer. His changes included:

- Addition of a fire hydrant at the entrance to the facilities to comply with fire code requirements.
- Expanded driveway widths to accommodate fire apparatus

Water and Sewer issues: The current preliminary plat reflects all changes and revisions recommended and requested by, Tom Hellen, the City Engineer and Public Works Director. His changes included:

- Rerouting the water line to the north side of the lot, rather than off of Mckercher

- Blvd. This will minimize impacts to McKercher Blvd from development of Lot
- Placement of the water meters onsite, rather than in the right of way.

Engineering issues: The current preliminary plat reflects all changes and revisions recommended and requested by Tom Hellen, the City Engineer and Public Works Director. His changes included:

- Redesign of sidewalks and drainage swales to comply with Title 18 and City Standards
- Recommendation to the developer to pay fees in lieu of sidewalks along Highway 75 and Cranbrook Rd.
- Dedication of McKercher Blvd to the City of Hailey as a designated Right of Way.

Standards of Evaluation

Northridge X Subdivision Standards of Evaluation

SECTION 4 - DEVELOPMENT STANDARDS

4.0 General Standards.

The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Ordinance, the Zoning Ordinance and any other applicable Ordinance or policy of the City of Hailey, and shall be in accordance with general provisions of the Comprehensive Plan.

4.1 Streets.

Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.

- *Streets are existing and are provided.*

4.1.1 All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.

- *The existing streets meet this standard. McKercher Blvd. will have right of way provided to the City by the platting of this property.*

4.1.2 Cul-de-sacs or dead end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead end streets shall comply with all regulations set forth in the IFC and other applicable

codes and ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.

More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.

- *No cul-de-sac or dead end streets are proposed. Access to this subdivision complies with the conditions above.*

4.1.3 Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neckdowns shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any two three-way intersections.

- *Street configuration meets the conditions stated and both intersections to the east and west are four way intersections. A neck down does occur from State Hwy. 75 signal into the development as a traffic calming measure.*

4.1.4 Street center lines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neckdowns shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.

The existing horizontal layout complies with the above standard.

4.1.5 Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.

(Ord. 1002, §2, 03/26/2008)

- *Streets right of ways meet the requirements.*

4.1.6 Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.

- *Roadway widths within the subdivision meet the requirements.*

4.1.7 Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.

- *Roadway grades are in compliance with the standards.*

4.1.8 The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Stormwater Discharge from Construction Activity" for all construction activity affecting more than one acre.

- *Drainage areas are in place and in compliance.*

4.1.9 The Developer shall provide and install all street and traffic control signs in accordance with City Standards.

- *Street signs and signalization are existing and provided per the standards.*

4.1.10 All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.

- *The platting of this property will accomplish this requirement.*

4.1.10.1 Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association.

- *The streets as depicted are public.*

4.1.10.2 Private streets, wherever possible, shall provide interconnection with other public streets and private streets.

(Ord. 1002, §3, 03/26/2008)

- *Not applicable.*

4.1.10.3 The area designated for private streets shall be platted as a separate parcel according to subsection 4.5.3 below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.

(Ord. 1002, §4, 03/26/2008)

- *Not applicable.*

4.1.10.4 Private street names shall not end with the word "Road", "Boulevard", "Avenue", "Drive" or "Street". Private streets serving five (5) or fewer dwelling units shall not be named.

- *Not applicable.*

4.1.10.5 Private streets shall have adequate and unencumbered 10-foot wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.

(Ord. 1002, §5, 03/26/2008)

- *Snow storage as required is provided.*

4.1.10.6 Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel

or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to Article IX of the Hailey Zoning Ordinance. The dimension of guest/overflow parking spaces shall be no less than 10' by 20' if angle parking, or 10' by 24' if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or other all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.

- *Individual lot development will comply with parking requirements.*

4.1.11 Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.

- *Driveways to lots will be in compliance.*

4.1.11.1 Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths:

Accessing one residential unit:	12 feet
Accessing two residential units:	16 feet

No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.

- *Two driveways provide access to the Cottages as follows*
 - *One 20' wide driveway*
 - *One 21'8" wide driveway*
- *Development of lots will be in compliance.*

4.1.11.2 Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.

- *The Fire Department approves the current configuration*
- *Development of future lots will be in compliance.*

4.1.11.3 Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.

- *Development of lots will be in compliance.*

4.1.11.4 The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.

- *Development of lots will be in compliance.*

4.1.11.5 No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.

- *Development of lots will be in compliance.*

4.1.12 A parking access lane shall not be considered a street, but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.

Development of lots will be in compliance.

4.1.13 Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.

- Development of lots will be in compliance.

4.2 Sidewalks and Pathways.

4.2.1 Sidewalks, curb and gutter shall be required improvements for projects requiring Subdivision approval in the B, LB, TI, A and SCI zoning districts. At a minimum, sidewalks and curb and gutter, where required, shall comply with the City Standards. Sidewalks shall be at least six feet (6') wide or as wide as adjacent sidewalks on the same block, whichever is greater. Sidewalks shall be constructed along the entire length of a property adjacent to any public or private street in all zones, as well as in locations that provide safe pedestrian access to and around a commercial or mixed-use building. New sidewalks shall be planned to provide pedestrian connections to any existing sidewalks adjacent to the site. Sites located adjacent to public or private streets that are not currently thru-streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections. Sidewalks and drainage improvements shall also be required in other districts, except as otherwise provided herein. The requirement for sidewalk may be waived if the cost of the proposed project construction is less than twenty thousand dollars (\$20,000). For subdivisions in the Townsite Overlay District, the requirement for sidewalk may be waived for any lot line adjustment associated with a residential remodel or addition; sidewalks shall be required for new primary dwellings.

(Ord. 1017, §1, 11/19/08)

- *Not required for this zoning district, however 7' sidewalk will be installed along McKercher. A 7' sidewalk is also planned along Highway 75 as well as a 5' sidewalk along Cranbrook Road. The developer has chosen pay the In Lieu fee for these sidewalks. According to their quoted bid, the total cost for the In Lieu fee contributions will be \$11,522.50. As part of the Design Review application for the Cottage project, this fee will be paid prior to issuance of a certificate of occupancy.*

4.2.2 Pathways. The Developer shall install all non-vehicular pathways, to City Standards, in all areas within or adjacent to the property to be developed where Pathways are depicted upon the Master Plan.

Pathways are provided from previous construction.

4.2.3 The Developer may, at Developer's option, propose alternatives to either the standard sidewalk configuration required in Section 4.2.1, or the planned non-vehicular pathway required in Section 4.2.2. The Hearing Examiner or Commission and Council shall ensure that the alternative configuration shall not reduce the level of service or convenience to either residents of the development or the public at large.

- *An in-lieu payment is being proposed for sidewalks as depicted.*

4.2.4 After receiving a recommendation by the Hearing Examiner or Commission, the Council may in its discretion approve and accept voluntary cash contributions in-lieu of the improvements described in this Section 4.2, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110% of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City

Engineer. Any approved in-lieu contribution shall be paid before the City signs the final plat. In-lieu contributions for sidewalks shall not be accepted in Business, Limited Business, Neighborhood Business Technological Industry and Service Commercial Industrial districts.
(Ord. 1002, §6, 03/26/2008)

- *An in-lieu payment is being proposed for sidewalks as depicted.*

4.3 Alleys and Easements.

4.3.1 Alleys shall be provided in all Business District and Limited Business District developments where feasible.

- *Not applicable.*

4.3.2 The minimum width of an alley shall be 26 feet.

Not applicable.

4.3.3 All alleys shall be dedicated to the public or provide for public access.

Not applicable.

4.3.4 All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.

Not applicable.

4.3.5 Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.

Not applicable.

4.3.6 Dead-end alleys shall not be allowed.

Not applicable.

4.3.7 Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.

- *Easements as depicted will be provided.*

4.3.8 Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate.

Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:

- Easements are shown as required on the plat.

4.3.8.1 To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot wide fisherman's access easement, measured from the Mean High Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.

Not applicable.

4.3.8.2 To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.

Not applicable.

4.3.8.3 To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.

- *Snow storage easements are depicted.*

4.4 Blocks.

4.4.1. The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.

Not applicable.

4.5 Lots.

4.5.1 All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half acre (21,780 square feet). In the event a single-family residential lot greater than one-half acre is platted, irrigation shall be restricted to not more than one-half acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Ordinance.

- *Lot sizes are larger than normal for the zoning district to accommodate a specific user and an existing street alignment.*

4.5.1.1 If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future resubdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.

- *Future development may require resubdivision based on user definition and area needed.*

4.5.2 Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).

- *Conditions require double frontage of Lot 1, Block 1 due to an identified user. Access to both streets is not being requested.*

4.5.3 No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.

Not applicable.

4.5.4 A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area, but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.

Not applicable.

4.5.5 All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.

- *Appropriate frontage is provided.*

4.5.6 In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.

Not applicable.

4.6 Orderly Development.

4.6.1 Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.

- *Not applicable.*

4.6.2 Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.

Not applicable.

4.6.3 No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:

- **Provision of on-site or off-site street or intersection improvements.**
- **Provision of other off-site improvements.**
- **Dedications and/or public improvements on property frontages.**
- **Dedication or provision of parks or green space.**
- **Provision of public service facilities.**
- **Construction of flood control canals or devices.**
- **Provisions for ongoing maintenance.**

Not applicable.

4.6.4 When the Developer of Contiguous Parcels proposes to subdivide any portion of the Contiguous Parcels, an Area Development Plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:

- a) Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic.**

- b) **Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations.**
- c) **Water main lines and sewer main lines shall be designed in the most effective layout feasible.**
- d) **Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.**
- e) **Park land shall be most appropriately located on the Contiguous Parcels.**
- f) **Grading and drainage shall be appropriate to the Contiguous Parcels.**
- g) **Development shall avoid easements and hazardous or sensitive natural resource areas.**

The Commission and Council may require that any or all Contiguous Parcels be included in the subdivision.

4.7 Perimeter Walls, Gates and Berms.

The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.

Not applicable.

4.8 Cuts, Fills, Grading and Drainage.

- 4.8.1 Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.**

Not applicable.

- 4.8.1.1 A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.**

- *Soils are consistent with those that allowed development of the adjacent area.*
 -

- 4.8.1.2 A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information:**

- Proposed contours at a maximum of two (2) foot contour intervals;**
 - Cut and fill banks in pad elevations;**
 - Drainage patterns;**

**Areas where trees and/or natural vegetation will be preserved;
Location of all street and utility improvements including driveways to building envelopes; and
Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.**

- *Grading plan has been submitted with site improvement plans and has been accepted by the City Engineer.*

4.8.2 The proposed subdivision shall conform to the following design standards:

4.8.2.1 Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.

Grading design will conform to the requirements.

4.8.2.2 Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.

Not applicable.

4.8.2.3 Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.

- *Compliance with this requirement will be maintained.*

4.8.2.4 Where cuts, fills or other excavation are necessary, the following development standards shall apply:

4.8.2.4.1 Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability.

4.8.2.4.2 Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM).

4.8.2.4.3 Cut slopes shall be no steeper than two horizontal to one vertical. Subsurface drainage shall be provided as necessary for stability.

4.8.2.4.4 Fill slopes shall be no steeper than three horizontal to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope.

4.8.2.4.5 Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.

4.8.2.5 The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The Developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by Planning Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Stormwater Discharge from Construction Activity" for all construction activity affecting more than one acre.

- *All above requirements have been met in previous construction of existing facilities and standards will be followed in the development of the individual lots as well.*

4.10 Parks, Pathways and Other Green Spaces.

4.10.1 Parks and Pathways. Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.

4.10.1.1 Parks. The Developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:

P = x multiplied by .0277

“P” is the Parks contribution in acres

“x” is the number of single family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations

In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.

4.10.1.2 Pathways. The Developer of any subdivision, or any part thereof, shall provide Pathways for all trails and paths identified in the Master Plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.

- *The existing 10' bike path meets this standard. The developer installed this path when the subdivision was first developed.*

Summary and Suggested Conditions

The Commission shall review the proposed plat and continue the public hearing, approve, conditionally approve, or deny the preliminary plat. If approved, the plat application will be forwarded to the Council. If the Short Plat process is used, only the Final Plat is required for Council review.

The following conditions are suggested to be placed on any approval of this application:

- a) All Fire Department and Building Department requirements shall be met. Items to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- b) All City infrastructure requirements shall be met as outlined in Section 5 of the Hailey Subdivision Ordinance. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- c) The final plat shall include plat notes # through # as stated on the approved preliminary plat [with the following amendments and additions: if applicable]
- d) Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Section 2.9 of the Subdivision Ordinance.
- e) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Sections 3.3.7 and 5.9.1 of the Subdivision Ordinance, prior to recordation of the final plat.
- f) The final plat must be submitted within one (1) calendar year from the date of approval of the preliminary plat, unless otherwise allowed for within a phasing agreement.
- g) Any subdivision inspection fees due shall be paid prior to recording the final plat.
- h) Any application development impact fees shall be paid prior to recording the final plat.

Motion Language:

Approval:

Motion to approve the Preliminary Plat for Northridge X Subdivision, submitted by West of First LLC and represented by Tim Vawser, finding that the application meets City Standards.

Denial:

Motion to deny _____ application for _____ located at _____ (street address), finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing upon the _____ application for _____ to _____ [the Commission should specify a date].

Submittal Date: **RECEIVED**
JUN 0 2013
CITY OF HAILEY

Proposed Name of Subdivision: Northridge X Subdivision
Street Address or General Location of Property: McKercher Boulevard
Legal Description of Property: Lot 2, Block 1, Northridge VIII Subdivision
Current Zoning of Property: LR1 Total Area of Property: 4.75 Acres Number of Lots/Units: 2

- Check the one box that applies:
- Regular Plat - 5 or more residential parcels, 3 or more non-residential parcels (Commission and Council Review).
 - Short Plat - 4 or fewer residential parcels, 2 non-residential parcels, townhouse or condominium units in existing or approved structures, or lot line adjustment creating more than 1 lot in the Townsite Overlay District (Commission Review only).
 - Lot Line Adjustment (Administrative Review).

Name of Owner of the Property: WEST OF FIRST LLC
 Mailing Address: 9533 Pico Blvd., Ste. A City: Los Angeles State: CA Zip: 90035
 Phone: 310 - 277 - 8688 Fax: 310 - 277 - 4986 Cell: _____
 Email Address: YaninaZ@caplow.com

Property Owner Consent:
 By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.
 Property Owner's Signature: [Signature] Date: 05 / 28 / 2013

Name of individual to contact on behalf of Trust or LLC (if applicable): Mark Caplow
 Mailing Address: 9533 Pico Blvd., Ste. A City: Los Angeles State: CA Zip: 90035
 Phone: 310 - 277 - 8688 Fax: 310 - 277 - 4986 Cell: _____
 Email Address: YaninaZ@caplow.com

Application Contact (if different than above): EHM Engineers, Inc. % Tim Vawser
 **Application Contact will be the Planning Department's primary contact for questions related to the application.
 Mailing Address: 621 North College Rd., Ste. 100 City: Twin Falls State: ID Zip: 83301
 Phone: 208 - 734 - 4888 Fax: 208 - 734 - 6049 Cell: _____
 Email Address: tvawser@ehminc.com

See attached checklist(s) for items that must be submitted with this application in order for application to be considered complete. See the Hailey Subdivision Ordinance for explanation of the review process.

Fees: <i>Cost of additional noticing, recording fees, and other direct costs will also be assessed.</i>	<u>FOR CITY USE ONLY</u>
<input type="checkbox"/> Regular Plat \$1,250 + \$55/lot, sub-lot, or unit.....	\$ _____
if w/ development agreement - fees for services rendered by City Attorney are billed @ \$125/hr	
<input checked="" type="checkbox"/> OR Short Plat \$300 /lot, sub-lot, or unit (not to exceed \$1,200).....	\$ <u>600.00</u>
<input type="checkbox"/> OR Lot Line Adjustment \$240.....	\$ _____
Publication: <input type="checkbox"/> Regular Plat \$40.00 x 4 OR	\$ _____
<input checked="" type="checkbox"/> Short Plat \$40.00 x 2 OR <input type="checkbox"/> Lot Line Adjustment \$40	\$ <u>80.00</u>
Mailing: <input type="checkbox"/> Regular Plat: (# of addresses _____) x 4 x (_____ postage + .15 for paper, envelope & label)	\$ _____
OR <input type="checkbox"/> Short Plat: (# of addresses <u>25</u>) x 2 x (<u>.46</u> postage + .15 for paper, envelope & label)	\$ <u>30.50</u>
OR <input type="checkbox"/> Lot Line Adjustment: (# of addresses _____) x (_____ postage + .15 for paper, envelope & label)	\$ _____
DO NOT COUNT DUPLICATES OR CITY OF HAILEY	
Total Due.....	\$ <u>710.50</u>

PRELIMINARY PLAT CHECKLIST

City Use Only -

Project Name: Northridge X Subdivision

Certified Compete by: _____

Date: ____/____/____

The following items must be submitted with the application for the application to be considered complete (✓):

- Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered and easement holders within the subject property.
- Six (6) 11" x 17" copies of large plat. One (1) if application is a Short Plat or Lot Line Adjustment
- PDF files of all required documents and 11" x 17" plats
- One (1) large plat, to scale, including:
 - Location of subdivision as forming a part of some larger tract or parcel of land referred to in the records of the Blaine County Recorder.
 - North point, scale and date.
 - Zoning requested for each area if not already zoned, or if a zone change is requested.
 - Zoning district(s) and boundaries, including any overlay district(s) and boundaries.
 - Boundary lines of tract to be subdivided. If applicable, existing and proposed lines, easements or building envelopes to be adjusted.
 - Proposed lot and block numbers.
 - Size of each lot shown in both square feet and acres.
 - Total land area of project.
 - Location of existing and proposed sanitary sewers, sewer services, storm drains, water supply mains, water services, fire hydrants and culverts within the property and immediately adjacent thereto.
 - Location, widths and other dimensions of all existing or platted streets and other important features such as power lines, water courses, easements, topography, substantial vegetation, wetlands, flood-plain and flood-way areas, avalanche areas, buildings, structures, or any other man made features within, contiguous to, or in the general area of the property to be subdivided.

****Items Below Are *Generally Not Required* for Lot Line Adjustments:**

- Locations, widths and other dimensions of proposed streets, alleys, easements, parks, lots and open space.
- The plan and cross section of proposed streets and alleys showing widths of roadways, location of sidewalks, curb and gutter, location and species of street trees, drainage areas, parking areas, snow storage areas, and any other improvement proposed or require for the right-of-way.
- Proposed names of all the streets, whether new or continuous (new street names must not be the same or similar to any other street names used in Blaine County).
- Contour map at 1' or 2' contour interval to show the general topography of the tract.
- Parcel of land intended to be dedicated for required park space and proposed improvements thereon or written request to make voluntary cash contribution in-lieu of required park dedication and improvements.
- Parcel of land intended to be dedicated for public use or reserved for the use of all property owners with the purpose indicated and planned improvements to that parcel(s).

Phasing Plan, *if applicable*, including:

- Numbers of lots in each phase.
- Infrastructure planned for completion with each phase.
- Amenities to be constructed with each phase.
- Area Development Plan (if applicable).
- Community Housing Plan (if applicable).
- Flood Hazard Development Permit if property is located within or partially within the floodplain (if applicable)
- Copy of draft CC&R's (if applicable).
- Other information as may be required by the Commission, Council, or Planner. This may include, but is not limited to impact assessment letters from various agencies. Information may also include any study or assessment reasonably required.

City Use Only: Email PDF to Blaine County Assessor & City Engineer
 If located in Airport West, add *Engel Associates, 101 Bullion Street E, Ste 3C, Hailey, Idaho 83333* to mailing list.



115 MAIN STREET S. SUITE H
 HAILEY, ID 83333
 PHONE: (208) 788-4221
 FAX: (208) 788-2924

INVOICE #	INVOICE DATE
10993	06/05/2013
DUE DATE	CUSTOMER ACCOUNT NUMBER
06/05/2013	9149
AMOUNT DUE	TERMS:
710.50	Open Terms

BILL TO:
 EHM

621 N. College Road, Ste 100
 Twin Falls ID 83301

PLEASE DETACH AND RETURN THIS TOP PORTION
 WITH YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY
 115 S MAIN ST STE H
 HAILEY, ID 83333

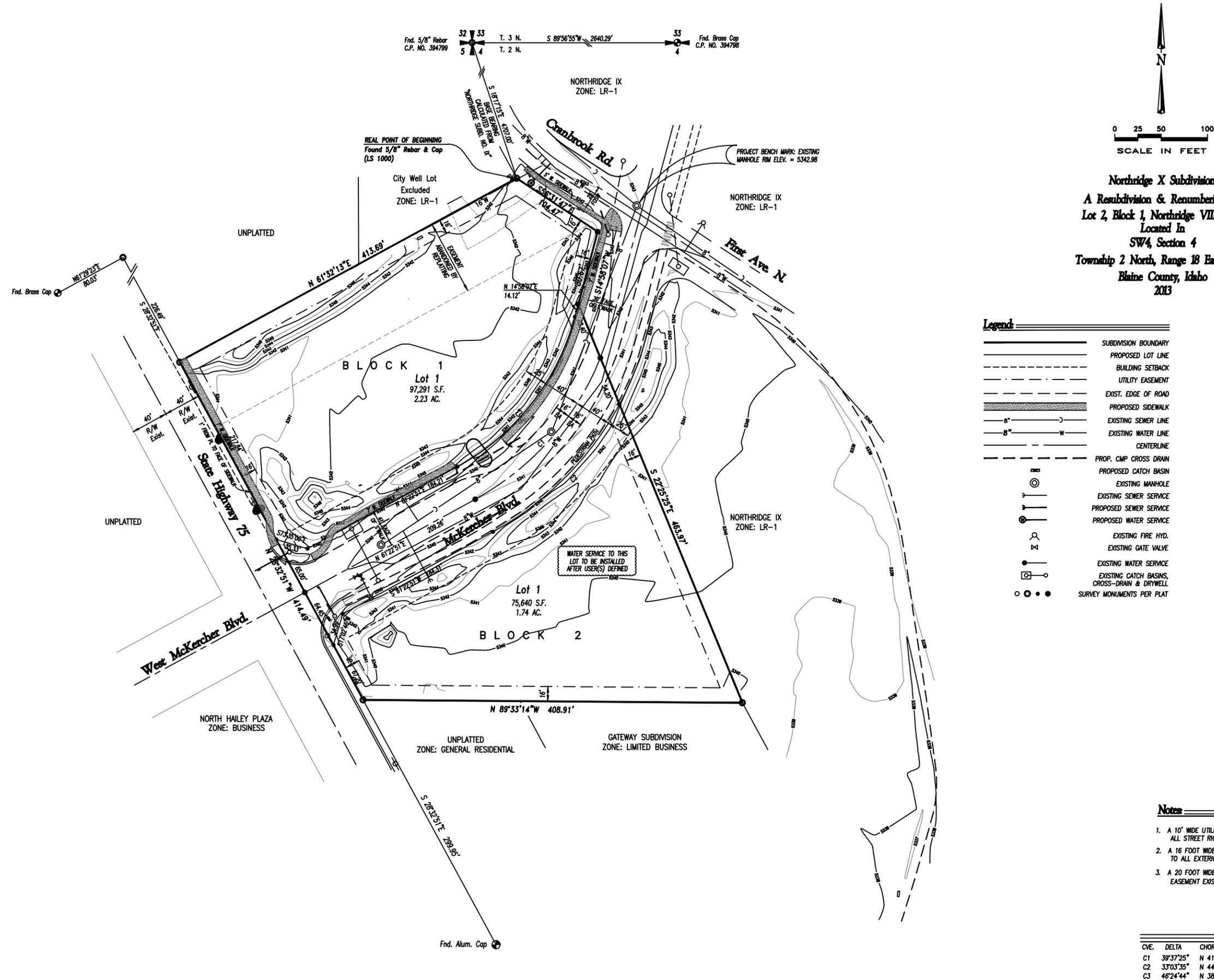
INVOICE

DESCRIPTION	QUANTITY	CHARGE	EXT. PRICE
PLANNING SUBDIVISION- Northridge Plat			710.50
			710.50
			TOTAL AMOUNT DUE

THANK YOU FOR YOUR PROMPT PAYMENT
 For Billing Inquiries Call: (208)788-4221
 Office Hours: 9:00 a.m. - 5:00 p.m.
 Monday thru Friday

DO NOT SCALE DRAWINGS
 CONTRACTOR SHALL VERIFY ALL
 CONDITIONS AND DIMENSIONS AT
 THE JOB SITE AND NOTIFY THE
 ENGINEER OF ANY DIMENSIONAL
 ERRORS, OMISSIONS, OR DIS-
 CREPANCIES BEFORE BEGINNING
 OR FABRICATING ANY WORK.

APPROVED	G. Martens
DESIGN	T. Vawser
DRAWN	T. Vawser
DATE	June, 2013
SCALE	1" = 50'
DRAW. NO.	124-13base



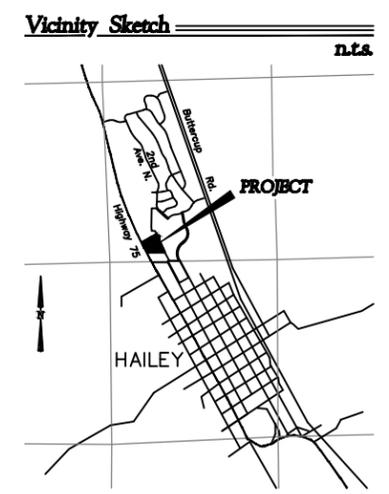
Northridge X Subdivision
A Resubdivision & Renumbering Of
Lot 2, Block 1, Northridge VIII Subd.
Located In
SW4, Section 4
Township 2 North, Range 18 East, B. M.
Blaine County, Idaho
2013

Legend:

	SUBDIVISION BOUNDARY
	PROPOSED LOT LINE
	BUILDING SETBACK
	UTILITY EASEMENT
	EXIST. EDGE OF ROAD
	PROPOSED SIDEWALK
	EXISTING SEWER LINE
	EXISTING WATER LINE
	CENTERLINE
	PROP. CMP CROSS DRAIN
	PROPOSED CATCH BASIN
	EXISTING MANHOLE
	EXISTING SEWER SERVICE
	PROPOSED SEWER SERVICE
	PROPOSED WATER SERVICE
	EXISTING FIRE HYD.
	EXISTING GATE VALVE
	EXISTING WATER SERVICE
	EXISTING CATCH BASINS, CROSS-DRAIN & DRYWELL
	SURVEY MONUMENTS PER PLAT

Design Data:

OWNER:	WEST OF FIRST, L.L.C. 9530 WEST PICO BLVD. LOS ANGELES, CA 90035 PHONE: (310) 271-2699
ENGINEER:	EHM ENGINEERS, INC. 621 NORTH COLLEGE RD. TWIN FALLS, ID 83301 PHONE: (208) 734-4888
EXISTING ZONING:	LIMITED RESIDENTIAL 1
DEFERRAL REQUEST:	DEFER CONST. OF CURB & GUTTER. EXISTING PATH PROVIDED IN LIEU OF SIDEWALK ADJ. TO LOT 1, BLOCK 2.
SUBD. AREA =	4.75 ACRES



- Notes**
1. A 10' WIDE UTILITY & SNOW STORAGE EASEMENT EXISTS ADJACENT TO ALL STREET RIGHT OF WAYS.
 2. A 16 FOOT WIDE UTILITY AND DRAINAGE EASEMENT EXISTS ADJACENT TO ALL EXTERIOR BOUNDARY LINES.
 3. A 20 FOOT WIDE UTILITY, LANDSCAPING, DRAINAGE & SNOW STORAGE EASEMENT EXISTS ADJACENT TO MCKERCHER BLVD.

Curve Data

CVE.	DELTA	CHORD BRG.	RADIUS	ARC	TANG.	CHD. LENGTH
C1	39°37'25"	N 41°34'09" E	300.00'	207.47'	108.08'	203.36'
C2	33°03'35"	N 44°51'04" E	340.00'	196.18'	100.91'	193.47'
C3	46°24'44"	N 38°10'29" E	260.00'	210.61'	111.47'	204.90'

