

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, December 8th, 2014
Hailey City Hall
5:30 p.m.

Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Motion to approve minutes of November 24th, 2014

CA 2 Motion to approve Findings of Fact and Conclusions of Law for a Design Review Exemption application by Flight LLC, represented by Sandra Martin Acker, for the replacement of windows on existing building, located at 120 Main Street South (Lot 17, Block 33, Hailey Townsite), within the Business District (B).

New Business and Public Hearings

NB 1 Consideration of a Design Review application by Hailey Ice Inc., represented by Michael Bulls of Ruscitto/Latham/Blanton, for Design Review of a newly constructed indoor ice rink to be located within the Hailey Townsite, Lots 22-24 of Block 126, Lots 10-12 and 20-22 of Block 127, Lots 13-17 of Block 135 and all Lots within Block 134 (771 Main Street South), within the Limited Business (LB) and Townsite Overlay (TO) Zoning Districts.

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

SR 1 Discussion of current building activity and upcoming projects

SR 2 Discussion of the next Planning and Zoning meeting: Monday, January 12th, 2015
(no documents)

Adjourn

Minutes

**MINUTES OF THE
HAILEY PLANNING & ZONING COMMISSION
Monday, November 24th, 2014
Hailey City Hall
5:30 p.m.**

Present: Owen Scanlon, Jay Cone, Dan Smith, Janet Fugate

Absent: Regina Korby

Staff: Micah Austin, Kristine Hilt

Call to Order

5:29:43 PM Chair Cone called the meeting to order.

Public Comment for items not on the agenda
None.

Consent Agenda

CA 1 Motion to approve minutes of November 10th, 2014

CA 2 Motion to approve Findings of Fact and Conclusions of Law for a Subdivision application by Tony Ehrenberg and Thomas A. Ehrenberg Living Trust, represented by Bruce Smith of Alpine Enterprises, for Lot 6, East Hailey Meadows Subdivision, by creating four residential condominium units and accompanying common spaces. The new subdivision is proposed to be East Hailey Condominiums consisting of a total property area of 9,448 square feet. Current zoning of the property is Limited Residential 1 (LR-1). The existing structure houses four apartment units and no new construction is necessary for the condominium conversion.

CA 3 Motion to approve Findings of Fact and Conclusions of Law for a Subdivision application by Martin and Heidi Smith, represented by Bruce Smith of Alpine Enterprises, for Lot 20A, Block 8, Hailey Townsite, by creating two townhouse sublots to be known as Chestnut Street Townhomes. Sublot 1 consists of .05 acre and Sublot 2 consists of .10 acre and the total development comprises .15 acre. Current zoning of the property is General Residential (GR). The existing structure houses two apartment units and no new construction is necessary for the townhouse conversion.

CA 4 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Russell and Dana Marino, represented by Jolyon H Sawrey, for Design Review of a new single family dwelling, located at Hailey Townsite, Block 5, Lot 15A (630 South River Street), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

CA 5 Motion to approve Findings of Fact and Conclusions of Law for a Design Review application by Kirsten Ritzau, represented by Eddy Svigdal, for Design Review of an addition to an existing single family home, located at Lots 18, 19, & 20, Block 59, Hailey Townsite (412 North 2nd Avenue), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

CA 6 Motion to approve Findings of Fact and Conclusions of Law for a Design Review Exemption application by The Coffee House, represented by Roy Clark, for the exterior painting of an existing building, located at 622 Main Street North (T.L. 2272), within the Business District (B).

CA 7 Motion to approve Findings of Fact and Conclusions of Law for a Design Review Exemption application by The City of Hailey, represented by the Water and Waste Water Departments, for the

placement of 40' temporary storage containers, located at 4297 Glenbrook Drive (Lots 17/18, Block 42, Woodside Sub #10) within the Light Industrial District (LI).

[5:30:35 PM](#) CA 3, CA 6 and CA 7 were pulled. Micah Austin briefed the Commissioners on item CA3 and indicated that the findings of fact for the project included information about the applicable party walls for inspection prior to the final plat approval. [5:32:13 PM](#) Micah Austin introduced the Coffee House design review exemption, CA 6, and Kristine Hilt followed by summarizing the application in regards to the Design Review guidelines and mentioned that the proposed color does not follow the suggest earthy hues but that the standards did not address specific colors. [5:40:49 PM](#) Peter Lobb commented on the application and suggested approval. Peter also mentioned that the Commission may not be able to deny the color. [5:43:13 PM](#) The Commission discussed the color and agreed that the color choice was acceptable. [5:44:18 PM](#) Micah Austin introduced CA 7, the application and Kristine Hilt summarized the findings of fact for the Commission. Based on the Design Review guideline, the size and location of the shipping containers should be exempted from the full Design Review process. The Commission added that the colors should be earth tones and be uniform. [5:47:50 PM](#) **Janet Fugate motioned to approve CA 1-CA 7 with conditions of approval for CA 7. Owen Scanlon seconded and the motion carried.**

New Business and Public Hearings

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

SR 1 *Discussion of current building activity and upcoming projects*

SR 2 *Discussion of the next Planning and Zoning meeting: Monday, December 8th, 2014
(no documents)*

[5:49:20 PM](#) Micah Austin summarized the agenda for December 8th and notified the Commissioners that the indoor Hailey Ice project will be on the agenda.

Adjourn

[5:54:56 PM](#) **Janet Fugate moved to adjourn. Dan Smith seconded and the motion carried.**

Flight LLC

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On December 8th, 2014 the Hailey Planning & Zoning Commission considered a recommendation by the Administrator to exempt from design review an application submitted by Flight LLC, represented by Sandra Lee Martin, for the replacement of front façade windows located at 120 Main Street South (Lot 17, Block 33, Hailey Townsite). The property is within the Business District. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Summary of Project

The applicant is proposing to replace the windows of the existing structure. The new proposed windows will be uniform with those of the southern adjoining business.

Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

6A.1(A). No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:

- 1. A building for a non-residential use within any zoning district.**
- 2. A building for a Public or Semi-Public Use within any zoning district.**
- 3. A Multi-Family Dwelling of three or more units within any zoning district.**
- 4. A Single Family Dwelling, Duplex or Accessory Structure within the Townsite Overlay (TO) District.**
- 5. A Historic Structure.**

Flight LLC is considered a non-residential building. The proposed changes would involve alterations to the exterior façade of the structure. Therefore, Design Review approval is required according to 6A.1(A).

6A.2 Authority of the Administrator.

A. The Administrator has the authority to review and make, or recommend, decisions as follows:

- 1. The Administrator has the authority to recommend for approval or denial certain applications for Design Review that the Administrator determines to have no substantial impact on adjacent properties or on the community at large, subject to final approval or denial by the Commission on its consent agenda. Such recommendation for approval or denial shall specify the standards used in evaluating the application; the reasons for the approval or denial; and conditions of approval, if any. Applications that have no substantial impact may include, but are not limited to: additions under five-hundred (500) square feet or which are not prominently visible from a public street, façade changes and alterations to parking or other site elements.**
- 2. Those applications for projects of an emergency nature, necessary to guard against imminent peril, regardless of zoning district, shall receive administrative review and approval,**

denial, or conditional approval, subject to criteria set forth in subsection 6A.7.B of this Article. The Administrator may, upon the request of the applicant or the direction of any City official, forward the application to the Commission for review

3. The Administrator has the authority to recommend exemption of certain projects from the design review requirements, upon finding; the project is minor, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties. Examples include, but are not limited to minor deck additions, changes to siding materials, changes to an existing window or door, an addition of a window or door, and minor landscape changes. Such recommendation for exemption shall be drafted in the form of Findings of Fact and Conclusions of Law, subject to final decision by the Commission on its consent agenda prior to issuance of a building permit. Should the Commission deny the Administrator's recommendation or should the Administrator determine that the proposal does not meet all of the above evaluation criteria, the project shall be subject to the provisions of this chapter prior to issuance of a building permit.

4. The Administrator has the authority to approve minor modifications to projects that have received design review approval by the Commission prior to, and for the duration of a valid Building Permit. The Administrator shall make the determination as to what constitutes minor modifications and may include, but are not limited to changes to approved colors and/or siding materials, changes to site plans that do not significantly increase building footprints or significantly change driveway or road alignment, changes to landscape plans that do not decrease the amount of landscaping, changes to dumpster enclosures, changes to exterior lighting fixtures and location, or changes to windows that do not significantly affect project design, appearance or function. All approved modifications must be documented in a memo to the project file and on the approved set of plans on file with the city. For modifications to design review approval that are determined by the Administrator not to be minor, the Administrator has the authority to recommend approval or denial of such modifications, subject to final decision by the Commission on its consent agenda. Such recommendation for approval or denial shall be drafted in the form of Findings of Fact and Conclusions of Law.

The Administrator recommends exemption of this project from design review requirements according to 6A.2.A.3, as printed above. This project involves changes to an existing window or door.

After reviewing the complete application and proposal, the Administrator finds the proposed alteration:

1. is minor;
2. will not conflict with the design review standards of this Chapter; and
3. will not adversely impact any adjacent properties.

Application

Flight LLC, represented by Sandra Lee Martin, submitted an application on December 3rd, 2014 for exemption from the full Design Review process for a modification to an existing building.

Procedural History

The application was considered before the P&Z Commission on December 8th, 2014 as a Design Review Exemption.

CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Given nature of this project, this constitutes a minor project, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties.
5. The proposed improvements are approved and hereby documented.

Signed this _____ day of _____, 2014.

Jay Cone, Chair

Attest:

Kristine Hilt, Community Development Coordinator

12/2/14

To whom it may concern / City of Hailey
Regarding improvements to the exterior of 120 South Main

We plan to replace the existing windows and door with new materials. The shape / structure will not be altered. The new look will compliment the Town Pump as the trim of the windows will be similar. These changes will update and improve the current structure greatly.

Please see the attached proposal from Pella.

Thank you for your consideration, and if you have any questions please don't hesitate to call.

Sincerely,
Candice Martin Auler
208 720-1870

RECEIVED
DEC 03 2014

City of Hailey - Design Review Application

Submittal Date: _____

Project Name: Flight LLC

Parcel No. RPH CITY OF HAILEY

Legal Description of Property: Subdivision Hailey Townsite Lot(s) 17, Block 33

Street Address of Property: 120 South Main Hailey ID 83403

Current Zoning of Property: B Year of original construction: ~ 1990

Existing building gross sq. ft. (if applicable) 1640 Proposed addition or new construction sq. ft. _____
(Only applicable if property is within the Townsite Overlay)

Name of Owner of the Property: Sandra Martin Acker

Mailing Address: Post Office Box 4683 City: Ketchum State: ID Zip: 83440

Phone: (208) 720-1470 Fax: () _____ Cell: () _____

Email Address: sandralemartin@yahoo.com

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: Sandra Martin Acker Date: 12 / 2 / 14

Name of individual to contact on behalf of Trust or LLC (if applicable): SAME AS ABOVE

Mailing Address: _____ City: _____ State: _____ Zip: _____

Phone: () _____ Fax: () _____ Cell: () _____

Email Address: _____

Application Contact (if different than above): SAME AS ABOVE

***Application Contact will be the Planning Department's primary point of contact for questions related to the application.*

Mailing Address: _____ City: _____ State: _____ Zip: _____

Phone: () _____ Fax: () _____ Cell: () _____

Email Address: _____

Signature: _____ Date: _____ / _____ / _____

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

- Commercial, Mixed-Use or Multi-Family..... \$ 450.00
- plus \$25 / 1,000 gross square feet..... \$ _____
- OR Single-Family Dwelling, Duplex or Accessory Structure in TO..... \$ 250.00
- OR No Substantial Impact..... (Mailing only)..... \$ 75.00
- OR Modification to DR Approval... (No publication or mailing)..... \$ 50.00
- OR DR Exemption... (No publication or mailing)..... \$ 30.00 ←
- Publication cost..... \$ 40.00
- Mailing (# of addresses _____) x (_____ postage + .15 paper, envelope & label) \$ _____
- DO NOT COUNTY DUPLICATES OR CITY OF HAILEY**
- Total Due..... \$ _____

DESIGN REVIEW—APPLICATION CHECKLIST

| | | |
|--|------------------------|-----------|
| Project Name: Flight | <i>City Use Only</i> | |
| | Certified Complete by: | |
| | Date: | _ / _ / _ |

The following items must be submitted with the application for the application to be considered complete (✓):

| Yes | No | Item | Description |
|-------------------------------------|--------------------------|------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. | The completed Design Review application form including project name and location, and applicant and representative names and contact information. |
| <input type="checkbox"/> | <input type="checkbox"/> | 2. | One (1) 24" x 36" set of plans and survey and one (1) 11" x 17" set showing at a minimum the following: |
| <input type="checkbox"/> | <input type="checkbox"/> | | a. Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures. |
| <input type="checkbox"/> | <input type="checkbox"/> | | b. Drainage plan (grading, catch basins, piping, and dry wells). |
| <input type="checkbox"/> | <input type="checkbox"/> | | c. Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone). |
| <input type="checkbox"/> | <input type="checkbox"/> | | d. Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation, and snow storage. List square footage of subject property including lot dimensions. |
| <input type="checkbox"/> | <input type="checkbox"/> | | e. Landscape plan (existing landscaping on the site shown as retained, relocated or removed; proposed landscaping including species type, size and quantity). |
| <input type="checkbox"/> | <input type="checkbox"/> | | f. Floor plan. List gross square footage for each floor. List occupancy classification and type of construction. |
| <input type="checkbox"/> | <input type="checkbox"/> | | g. Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials). |
| <input type="checkbox"/> | <input type="checkbox"/> | | h. Exterior Lighting plan, pursuant to Article VIII B, of the Zoning Ordinance (location, height, type, and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting). |
| <input type="checkbox"/> | <input type="checkbox"/> | | i. Sign plan (location, dimensions and lighting). |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. | Plans and drawings for all buildings, except Single Family Dwellings and Accessory Structures, shall be prepared and stamped by an Idaho licensed architect. |
| <input type="checkbox"/> | <input type="checkbox"/> | 4. | A materials and colors sample board. Each sample should be approximately 12"x12" in size. |
| <input type="checkbox"/> | <input type="checkbox"/> | 5. | One (1) colored rendering of at least one side of the proposed building. |
| <input type="checkbox"/> | <input type="checkbox"/> | 6. | Staging and contractor parking plan. Statement of where staging will occur, and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters, contractor parking, etc. |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. | A list of the names and addresses of all property owners and residents within three hundred (300) feet of the exterior boundaries of the subject property, in a format acceptable to the City. (Names and addresses can be obtained using the Blaine County map server http://maps.co.blaine.id.us/ or from the Blaine County Assessor's office) |
| <input type="checkbox"/> | <input type="checkbox"/> | 8. | Other information as required by the Administrator, Hearing Examiner or the Commission. |
| <input type="checkbox"/> | <input type="checkbox"/> | 9. | Electronic PDF copies of all documents and materials listed above. (RECOMMENDED) |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. | Written statement of how each design review standard is met. (RECOMMENDED) |
| <input type="checkbox"/> | <input type="checkbox"/> | 11. | Payment of applicable fees. |

City Use Only:

| | |
|---|---|
| <input type="checkbox"/> Verify that application is complete <input type="checkbox"/> Double check address <input type="checkbox"/> Advise applicant if Lot Line Adjustment is needed | Check following basic standards: <input type="checkbox"/> Density <input type="checkbox"/> Setbacks <input type="checkbox"/> Height (plans must show elevation points of record grade) <input type="checkbox"/> Lot coverage <input type="checkbox"/> Floor area <input type="checkbox"/> Required Parking Spaces |
|---|---|

Hailey Ice

**DESIGN REVIEW
STAFF REPORT**

TO: Hailey Planning and Zoning Commission
FROM: Micah Austin, Community Development Director
RE: Champion Ice House, Hailey Ice Rink Facility
HEARING: December 8, 2014

Applicant: Hailey Ice Inc., represented by Chris Benson and Michael Bulls of Ruscitto/Latham/Blanton Architectura (RLB)
Request: Design Review for new construction of an indoor ice rink and arena to be named the Champion Ice House
Location: Hailey Townsite, Lots 22-24 of Block 126, Lots 10-12 and 20-22 of Block 127, Lots 13-17 of Block 135 and all Lots within Block 134 (771 Main Street South)
Zoning: Limited Business (LB), and within the Townsite Overlay (TO)

Notice

Notice for the public hearing on December 8, 2014 before the Hailey Planning and Zoning Commission was published in the Idaho Mountain Express on November 19, 2014 and mailed to adjoining property owners on November 19, 2014.

Application

Construction of an indoor ice arena to utilize the existing foundations and infrastructure installed and approved at the previous Design Review hearing on April 14, 2014 when the project was approved for an outdoor ice arena. Since that time, Hailey Ice Inc. has successfully raised the necessary funds to construct a fully enclosed ice arena on the site, utilizing all existing infrastructure. The proposed ice arena would be named Champion Ice House in honor of the primary benefactor in contributing funds to build the facility. This application may be considered as the second and final phase of two phases where the first phase was construction of the outdoor rink and the final phase is construction of the indoor rink. The application is for a three buildings totaling 34,997 square feet of conditioned space along with 30,957 square feet on the main floor and 4,040 square feet on the mezzanine. The new facility will house several necessary components/rooms for operating and maintaining the ice arena including: 1) Ice Plant; 2) Ice Resurface Room; and 3) Coaches and Players Locker Rooms; 4) Restrooms; 5) Concessions Area; 6) Offices; 7) Waiting Area; 8) Mezzanine; and 9) Public Restroom for the Skate Park. The ice shavings from the rink will drain to a heated pit (dump pit) that will drain to existing drywells on

site and in the parking lot. Landscaping is provided on three sides of the building and breaks up the mass and scale of the facility. A concrete paver sidewalk provides pedestrian access from the parking area to the front and side entrances/exits of the building. Adequate parking and snow storage has been provided, as approved during the master planning process for Werthheimer Park. If approved, construction on the Champion Ice Facility will commence in early 2015. The facility will be a public facility; however it will be operated and maintained by Hailey Ice Inc. The City of Hailey owns the property and has a lease agreement with Hailey Ice Inc. for operation, maintenance, and upkeep of any facility that is built at this location.

Procedural History

On December 8, 2014, a public hearing will be held before the Hailey Planning and Zoning Commission for Design Review of a new ice arena to be named the Champion Ice House. The proposal was sent to all city departments and city boards and commission. Their comments are included below in the Staff Report.

| General Requirements for all Design Review Applications | | | | |
|--|--------------------------|--------------------------|---|--|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.5 (B) | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Depart- ment and Boards/Com missions Comments | Engineering: |
| | | | | Life/Safety: <ul style="list-style-type: none"> - Police Department <ul style="list-style-type: none"> o No concerns - Fire Department <ul style="list-style-type: none"> o All door lock that would accommodate emergency access must be compatible with the City of Hailey’s lock system and approved by the Fire Chief and Police Chief |
| | | | | Public Works: Water: - No concerns Sewer: - Ice melt from the rink must drain drywells and not sent to the sewer treatment facility because of concerns with the toxicity of the effluent. Otherwise, there are no other concerns. - The proposal to drain all ice melt into existing drywells utilizing the sand filter pretreatment process is acceptable and approved by the City of Hailey, subject to final inspections by the Public Works Director, Mariel Platt, or her designee. For approval, the applicant must show that all known contaminants draining into the drywells will not adversely affect the aquifer and that the sand pretreatment filter adequately filters harmful contaminants before entering the drywell. - As a condition of approval, the pretreatment sand filter and the disposal of the ice melt are subject to final inspection and approval by the Public Works Director, or her designee, prior to issuance of a Certificate of Occupancy for the building. |
| | | | | Parks: - The “skate park restroom” must be equipped with a City of Hailey approved lock system - The “skate park restroom” must provide ADA access - All utilities shall be built according to City Standards, as listed in Title 18. |
| | | | | Building: - The City’s Plan Reviewer, Arlan Smith, requires an elevator to the second floor mezzanine, per 2010 ADA requirements, unless the architect can prove otherwise that an elevator is not required. |

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| | | | <p>- An elevator is required for access to the second floor mezzanine or an explanation, signed and stamped by a licensed Idaho architect, on why an elevator is not necessary. This must be completed prior to issuance of the Certificate of Occupancy.</p> <p>Streets: - No concerns as submitted.</p> <p>Tree Committee: - <i>NOTE: The recommendations below are from individual members of the Tree Committee and have not been voted on or approved by the Tree Committee as a whole. The applicant should consider them recommendations, rather than conditions of approval.</i> - The plans show a Colorado blue spruce at the southeast corner of the building. This may not be an appropriate tree in this location. The planned location, just to the south of the planned entryway, will cause the entryway to be shaded in the winter. This will cause ice build-up and hazardous conditions to pedestrians. I recommend a deciduous tree in this location to allow for better solar access in the winter. (Tree Committee, Carl Hjelm) - A shade tree is preferred from the evergreen shown on the lawn by the bike rack, in the northeast corner of the skate park, which will take over the lawn eventually. Kids should be able to sit on that lawn in the summer, in the shade of a shade tree, not an evergreen.</p> <p>Hailey Arts and Historic Preservation Commission: - Hailey Ice should incorporate public art into the building’s interior and exterior design. - Several artists were originally commissioned to provide public art both within and outside the Hailey Ice facility, when it was proposed several years ago with the master plan of Werthheimer Park. The Arts Commission strongly encourages Hailey Ice to reach out to the those artists to incorporate the public art they envisioned into the Champion Ice House. - Public art is encouraged, but not a condition of approval from the Hailey Arts and Historic Preservation Commission (HAHPC)</p> <p>Parks and Lands Board: - No recommendations or conditions of approval were submitted.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>8.2 Signs 8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p> <p><i>Staff Comments</i> - Two (2) possible sign locations are proposed on the building elevations. - The signs are proposed on each side of the main entrance gable roof elements so that they may be visible from the Rodeo Grounds area as well as Main Street. - The design is not finalized and will be submitted with an application for a sign permit at a later date. - Current sign dimensions meet city standards for sign area standards.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>9.4 On-site See Section 9.4 for applicable code.</p> |

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|-------------------------------------|--------------------------|--------------------------|---|--|
| | | | Parking Req. | |
| | | | Staff Comments | <p>- Existing, previously approved, parking calculations are located on the Site Plan and represent what was built for all of Werthheimer Park’s facilities.</p> <p>- According to Section 9.4, 89 spaces are required for the Ice Rink, derived from 1 space for every 4.5 persons at the rated maximum occupancy of the building. The Rated Capacity for this building is: 400 persons.</p> <p>- 89 spaces have been provided for the Ice Rink, however more spaces are available when combined with the other uses in Werthheimer Park.</p> <p>- In total, 112 parking spaces are provided for the multi-use area, which includes the Skate Park, Welcome Center, Rodeo Arena, and Ice Rink.</p> <p>- Bicycle Parking has been provided with a total of 22 spaces required, derived from 25% of the required number of spaces. (25% X 89 = 22). 24 bicycle spaces have been provided.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 8B.4.1 Outdoor Lighting Standards | <p>8B.4.1 General Standards</p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p> |
| | | | Staff Comments | <p>- A photometric study is included and is shown on the site lighting and photometric distribution plan.</p> <p>- That study indicates zero or close to zero light levels (foot candles) at the adjacent property lines.</p> <p>- Lighting specifications are shown on the site lighting and photometric distribution plan.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.7 (A) Required Street Improvements Required | <p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> |
| | | | Staff Comments | <p>- Existing sidewalk and drainage improvements are currently installed for the majority of Werthheimer Park. The existing concrete sidewalk adjacent to the skate park will be continued with concrete pavers to provide an</p> |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|---|---|
| | | | | <i>accessible route to the entrance of the outdoor ice rink. Refer to Site Plan.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.7 (B) Required Water System Improvements | In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer. |
| | | | Staff Comments | N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Bulk Req. | 4.13.6 Bulk Requirements. |
| | | | Staff Comments | <p>a. Minimum Lot Size – <u>Limited Business, Transitional, General Residential districts:</u> 4,500 square feet. Original Townsite Lots that are slightly less than 3,000 square feet (in blocks where lots are 25 feet wide) or 3,600 square feet (in blocks where lots are 30 feet wide) may be rounded up to 3,000 square feet or 3,600 square feet, as the case may be, provided that the original Townsite Lot meets the definition of a Lot of Record.</p> <ul style="list-style-type: none"> - The property is 5.31 acres or 231,304 square feet. <p>b. Minimum Lot Width – <u>Limited Business, Transitional, General Residential districts:</u> 37.5 feet.</p> <ul style="list-style-type: none"> - The lot width is 410 feet. <p>c. Maximum Building Height – <u>Limited Business district:</u> 35 feet.</p> <ul style="list-style-type: none"> - Tallest proposed roofline is 34' 10", measured to the top of the highest parapet. - Note: Roof mounted mechanical equipment extends to 40', however it is placed in the center of the building to minimize any visual impact. <p>d. Minimum Setbacks in LR, GR, TN, and LB Districts:</p> <ol style="list-style-type: none"> 1. Setback from any street right-of-way – twelve (12) feet. The following exceptions apply: <ol style="list-style-type: none"> a. Unenclosed features of a residence (e.g. front porches, stoops, and decks without walls) shall be no closer than five (5) feet to the lot line. Such features do not include carports. No garage door shall be within twenty (20) feet of any street right-of-way, as measured from the garage door to the street providing access to the garage. <ul style="list-style-type: none"> - The Hailey Ice Rink is located more than 100 feet from the Main Street Right of Way. 2. Setback from any alley right-of-way – six (6) feet. There shall be a six (6) feet horizontal separation between any building and a water |

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| | | | | <p style="text-align: center;">meter vault. (Water meter vault and water service line locations may be moved at the property owner's expense, subject to notification and approval by the City.)</p> <ul style="list-style-type: none"> - There are no alleys adjacent to the Hailey Ice rink project. <p>3. Setback from any Idaho Transportation Department/Wood River Trail right-of-way – five (5) feet. The following exception applies:</p> <ul style="list-style-type: none"> a. No garage door shall be within twenty (20) feet of the right-of-way, as measured from the garage door to the right-of-way, where this right-of-way provides access to the garage. <ul style="list-style-type: none"> - The ice rink is setback more than 100 feet from the Main Street right of way. <p>4. Setback from property lines abutting other private property --</p> <ul style="list-style-type: none"> a. Base setback – fifteen percent (15%) of lot width, or 10 feet, whichever is less. However, no such setback shall be less than six (6) feet. (See Table 1) <ul style="list-style-type: none"> - Ice rink is setback fifteen feet from the west property line, 20' from the north property line, and more than 250' from the east property line. b. Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one (1) foot for every two and a half (2.5) feet of wall height (see Diagram 1 and Table 2), but not less than the base setback noted in subsection (a) above, regardless of underlying zoning. - Base setback is 10', however the building is setback 15'. A 15' setback could, hypothetically, accommodate a 37.5' tall building and this building is 34' 11" tall. c. Roof overhangs, fire escapes, standard chimneys, bay windows and other features, which are subject to Section 7.2 of this Ordinance (Supplementary Yard Regulations), shall not have a setback less than five (5) feet from property lines abutting other private property. <p style="text-align: center;">N/A</p> |
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Title 18: Mobility Design Ordinance Requirements

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 18.06.010 Street Classifications, Types, and Designations | <p><i>Staff Comments</i> - The primary access to the site is from Main Street, which is an arterial road classification</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 18.06.012 Street Design and Guideline Standards | <p><i>Staff Comments</i> - All access drives and sidewalks that connect to roads and sidewalks off-site were completed in previous phases of the construction of Werthheimer Park and comply with the Street Design and Guideline Standards.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 18.06.016 Traffic Calming | <p><i>Staff Comments</i> N/A</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 18.06.022 Pedestrian Facility Design Guidelines and Standards | |

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| | | | <i>Staff Comments</i> | - All required crosswalks and curb cuts for ramps are currently installed on the site. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 18.06.024 Bicycle Facility Design Guidelines and Standards | |
| | | | <i>Staff Comments</i> | -22 bike parking spots are required by the calculation indicated on the Site Plan and 24 spots are provided. See Section 9.4 above. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 18.06.026 Street Tree Guidelines and Standards | |
| | | | <i>Staff Comments</i> | No street trees are proposed. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 18.06.028 Streetscape Elements Guidelines and Standards | |
| | | | <i>Staff Comments</i> | - No streetscape elements are proposed, however benches and outdoor patio areas have been included into the design of the building. These areas are accessed via a paver sidewalk to the parking lot and the entrances. - Other streetscape elements include benches, drinking fountain, and bike racks. |

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| Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey | | | | |
| 1. Site Planning: 6A.8 (A) 1, items (a) thru (n) | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1a | The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings |
| | | | <i>Staff Comments</i> | - Entrances, windows, and outdoor gathering places have been designed for the south and south east sides of the building, maximizing solar gain for those areas. This will provide safe access to the building during winter months and will provide excellent light during all months of the year. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1b | All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper. |
| | | | <i>Staff Comments</i> | - There is no mature landscaping on the existing Ice Rink Facility site. |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1c | Site circulation shall be designed so pedestrians have safe access to and through the site and to building. |
| | | | <i>Staff Comments</i> | <i>- Pedestrian access is provided from the existing on-site parking lot and from Main Street. A walking path will also be provided for pedestrians accessing the site from the north. A concrete paver sidewalk is proposed along the full length of the east side and south sides of the building.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1d | Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building. |
| | | | <i>Staff Comments</i> | <i>- All building services have been screened with physical screening or landscaping. - A trash dumpster will be located at the northeast corner of the ice rink facility away from the main entrance. The dumpster is screened from the Nelson Ball Fields to the north with a 5' tall wall. - The gas meter will be located at the rear of the building near the condenser and will be screened by Lodgepole pine trees.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)1e | Where alleys exist, or are planned, they shall be utilized for building services. |
| | | | <i>Staff Comments</i> | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)1f | Vending machines located on the exterior of a building shall not be visible from any street. |
| | | | <i>Staff Comments</i> | <i>- No vending machines are proposed. Vending machines may be placed in the interior based on the needs of the occupants.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1g | On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.) |
| | | | <i>Staff Comments</i> | <i>-All on-site parking is existing.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1h | Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic. |
| | | | <i>Staff Comments</i> | <i>- Access to on-site parking is existing</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1i | Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow. |
| | | | <i>Staff Comments</i> | <i>- Snow storage areas for the project have been approved in prior applications and are shown on the Site Plan. Refer to Sheet 2.0</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1j | Snow storage areas shall not be less than 25% of the improved parking and vehicle and |

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| | | | | pedestrian circulation areas. |
| | | | <i>Staff Comments</i> | - Site plan shows existing, previously approved, snow storage locations and calculations for Werthheimer Park. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1k | A designated snow storage area shall not have any dimension less than 10 feet. |
| | | | <i>Staff Comments</i> | - Existing snow storage areas are at least 10 feet in any dimension. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1l | Hauling of snow from downtown areas is permissible where other options are not practical. |
| | | | <i>Staff Comments</i> | All snow will be stored and retained on site. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1m | Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities. |
| | | | <i>Staff Comments</i> | Snow storage is shown on the plan as hatched areas and does not impede pedestrian access or circulation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)1n | Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow. |
| | | | <i>Staff Comments</i> | Existing snow storage areas are at non vegetated areas |

2. Building Design: 6A.8 (A) 2, items (a) thru (m)

| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)2a | The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings. |
| | | | <i>Staff Comments</i> | - The proportion, size, shape, and rooflines of the proposed buildings are compatible with the surrounding buildings. The proposed building is comprised of several architectural building elements that create a variety of proportions that are in harmony. - The variation of the building heights is intended to reduce the bulk massing of the building and provide visual interest. The building design incorporates a combination of low sloped shed and hip roofs, steep pitched gable roofs and flat roof elements. - Located at of the north end of the building, a lower flat roof portion encloses the Ice Plant and Zamboni areas and provides a vertical break from the higher flat roof portion enclosing the Ice Rink area of the project. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)2b | Standardized corporate building designs are prohibited. |
| | | | <i>Staff Comments</i> | The project does not propose a standard corporate design. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)2c | At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction. |

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| | | | <i>Staff Comments</i> | <p>- The larger portion of the building that contains the ice rink is softened by human scale shed, hipped, and gable roofs at the building entrance and south portions facing the Skate Park areas. –</p> <p>- The pedestrian friendly roof areas provide shading and cover from precipitation adjacent to the public areas of the project which also include amenities such as bike racks and bench furnishings.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)2d | <p>The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> |
| | | | <i>Staff Comments</i> | <p>- The proposed building includes windows, pedestrian entrances, building mass offsets and changes in materials at entrances and the portions of the building where visitors and residents will interact with the building.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)2e | <p>Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> |
| | | | <i>Staff Comments</i> | <p>- The proposed building is new construction.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)2f | <p>All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p> |
| | | | <i>Staff Comments</i> | <p>- All proposed buildings will be clad with metal siding with two different profiles to provide varying texture; box rib and corrugated metal siding. -Three complimentary colors are used. -The metal window and door finishes are compatible with the adjacent exterior materials.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)2g | <p>Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> |
| | | | <i>Staff Comments</i> | <p>-The proposed exterior materials are shown on the exterior materials sheet and have been selected to be harmonious with the other buildings in the Werthheimer Park. - Neutral medium bronze metal siding was selected to blend with the rodeo arena buildings. - The corrugated metal siding profile is the same as the siding profile on both the Welcome Center and the Rodeo Arena buildings.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)2h | <p>Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p> |
| | | | <i>Staff Comments</i> | <p>- The proposed building is not higher than two stories; however, all higher flat roofed portion of the buildings incorporate parapets.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)2i | <p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> |

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| | | | | <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southern most facing side of the building shall have external light shelves installed. |
| | | | <i>Staff Comments</i> | <p>- The project will incorporate double glazed insulated windows with thermal break frame sections and low emissivity (Low-E) coatings. E value will be less than 0.3.</p> <p>- Interior spaces will utilize occupancy sensors for the lighting controls.</p> <p>- The ice refrigeration equipment has been designed to be able to utilize waste heat to melt ice shavings in the dump pit and heat tubing under the ice slab. In order to avoid ground heaving from potential permafrost issues, the ground will be heated. The excess heat from this process will be used to heat the building.</p> <p>- Window openings on the east and west facades have been reduced to decrease the energy load on the ice refrigeration equipment. This will also serve to improve the interior environment in the summer without active mechanical cooling.</p> <p>- All south facing fenestration will have overhangs for shading coverage. Exterior lighting will be automatic by utilizing both photocells and timers.</p> <p>- In summary, the applicant proposes more than three of the required energy savings techniques, include items i, ii, iii, and iv.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)2j | <p>Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> |
| | | | <i>Staff Comments</i> | <p>- Snow retention systems and gutters will be installed on all sloped metal roofs.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)2k | <p>Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p> |
| | | | <i>Staff Comments</i> | <p>- Downspouts are installed and connected to a perimeter, below grade drain line that will be connected to site drywells.</p> <p>- Downspouts will be metal, matching the gutters and roof materials.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)2l | <p>a. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p> |
| | | | <i>Staff Comments</i> | N/A |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)2m | A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8. |
| | | | <i>Staff Comments</i> | <p>- Two (2) possible sign locations are proposed on the building elevations. The signs are proposed on each side of the main entrance gable roof elements so that they may be visible from the Rodeo Grounds area as well as Main Street.</p> <p>- The design is not finalized and will be submitted with an application for a sign permit at a later date.</p> <p>- The proposed dimensions for the signs meet the sign area standards.</p> |

3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)

| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)3a | Accessory structures shall be designed to be compatible with the principal building(s). |
| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)3b | Accessory structures shall be located at the rear of the property. |
| | | | <i>Staff Comments</i> | N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)3c | Walls and fences shall be constructed of materials compatible with other materials used on the site. |
| | | | <i>Staff Comments</i> | <p>- The fencing at the northwest corner is proposed to be galvanized metal chain link fencing that will match the existing chain link material utilized at the Rodeo Arena. The decorative black metal fencing at the south west corner of the building will match the decorative fencing at the Rodeo Arena.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)3d | Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact. |
| | | | <i>Staff Comments</i> | - Fencing is proposed at 6' tall to reduce visual impact. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)3e | All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties. |
| | | | <i>Staff Comments</i> | - The proposed rooftop mechanical unit is located at the center of the roof to minimize visual impact from the ground and street level view angles to the greatest extent possible. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)3f | The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings. |
| | | | <i>Staff Comments</i> | N/A |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)3g | All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building. |
| | | | <i>Staff Comments</i> | - The condenser for the ice plant building will be screened with three evergreen trees shown on the Landscape Plan. - The electrical transformer and dumpster will be screened by a 5' tall wall clad with metal siding to match the building materials. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)3h | All service lines into the subject property shall be installed underground. |
| | | | <i>Staff Comments</i> | - All utilities will remain underground |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)3i | Additional appurtenances shall not be located on existing utility poles. |
| | | | <i>Staff Comments</i> | N/A |

4. Landscaping: 6A.8 (A) 4, items (a) thru (n)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)4a | Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative. |
| | | | <i>Staff Comments</i> | - Drought tolerant plant species as specified by the Hailey Landscaping Manual as indicated on the Landscape Plan. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)4b | All plant species shall be hardy to the Zone 4 environment. |
| | | | <i>Staff Comments</i> | - The Landscape Plan specifies plantings that are hardy to the Zone 4 environment and located in the Hailey Landscape Manual. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)4c | At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged. |
| | | | <i>Staff Comments</i> | - An irrigation system will be installed with a moisture sensor for all proposed plantings. - Low maintenance grasses are indicated on the west portion of the project and will be provided with temporary irrigation until they are established. - The turf grass landscaping on the south side of the project adjacent to the Skate Park areas will be repaired, patched, and reseeded where necessary to blend with the existing Skate Park area. - Irrigation for this area will be provided from the Skate Park area zone. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)4d | Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of |

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| | | | | 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard. |
| | | | <i>Staff Comments</i> | <i>- A combination of trees, low maintenance grasses, and ornamental grasses are specified on the Landscape Plan.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)4e | Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts. |
| | | | <i>Staff Comments</i> | <i>N/A</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)4f | Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets. |
| | | | <i>Staff Comments</i> | <i>- The Landscape Plan specifies plantings that are hardy to the Zone 4 environment and located in the Hailey Landscape Manual. Refer Sheet L-1</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)4g | Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials. |
| | | | <i>Staff Comments</i> | <i>- Drainage will be directed to previously installed drainage system. All parking areas are existing with engineered drainage plans including proper slope, drains & drywells. Refer to Sheet 2-1</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8(A)4h | A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced). |
| | | | <i>Staff Comments</i> | <i>- Proposed landscaping is low maintenance and shall be maintained by ice rink facility staff or by a hired landscaping maintenance crew in combination with the city of Hailey Park's department.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)4i | Retaining walls shall be designed to minimize their impact on the site and the appearance of the site. |
| | | | <i>Staff Comments</i> | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)4j | Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials. |
| | | | <i>Staff Comments</i> | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)4k | Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls. |
| | | | <i>Staff Comments</i> | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)4l | Landscaping should be provided within or in front of extensive retaining walls. |

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| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)4m | Retaining walls over 24" high may require railings or planting buffers for safety. |
| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8(A)4n | Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide. |
| | | | <i>Staff Comments</i> | N/A |

Design Review Requirements for Non-Residential Buildings located in B, LB, or TN Zoning Districts (6.A.8.B. 1-3)

1. Site Planning: 6A.8.B.1

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | Guideline | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8.B.1.a | The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts. |
| | | | <i>Staff Comments</i> | - The site plan shows a concrete paver sidewalk connecting the existing concrete sidewalk to the entrances and the existing ADA curb cut serving the ADA parking spaces. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8.B.1.b | b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks underground utilities for new dwelling units. |
| | | | <i>Staff Comments</i> | - At the main entrance there is a generous concrete paver walking surface for congregation of people entering the ice rink facility. - A bench and 12 bicycle racks are proposed adjacent to the main entrance. |

2. Building Design: 6A.8.B.2.a-9

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|-------------------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8.B.2.a | a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit. |
| | | | <i>Staff Comments</i> | - The main façade is oriented to the south east, facing the parking lot and main street. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8.B.2.b | b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image which may often accompany large buildings. |
| | | | <i>Staff Comments</i> | - N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8.B.2.c | c. Building designs shall maximize the human scale of buildings and enhance the small |

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| | | | | town “sense of place”. This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level. |
| | | | <i>Staff Comments</i> | - The larger portion of the building that contains the ice rink is softened by more human scale shed and hipped shed roofs at the entrances and the portion of the building where visitors and residents will engage with the building. - These portions of the building utilize windows to make them more transparent; encouraging visitor and resident engagement by drawing their attention to these portions of the building. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8.B.2.d | d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements. |
| | | | <i>Staff Comments</i> | - Parapets are utilized on all flat roof portions of the building including portions of the building over 30’ tall. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.8.B.2.e | e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged. |
| | | | <i>Staff Comments</i> | - N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8.B.2.f | f. Fire department staging areas shall be incorporated into the design elements of the building |
| | | | <i>Staff Comments</i> | - The building has been designed with public safety access and fire code requirements. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8.B.2.g | g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: i) Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses; ii) Stepping down the massing of the building along the site’s edge; and iii) Limiting the length of or articulating building facades to reflect adjacent residential patterns |
| | | | <i>Staff Comments</i> | - The building is not adjacent to residential neighborhoods, however it is adjacent to GR zoning. - The larger portion of the building that contains the ice rink is softened by more human scale shed and hipped shed roofs at the entrances and the portion of the building where visitors and residents will engage with the building. - Landscaping is provided on the west and east side of the building break up the façade. |
| 4. Landscaping: 6A.8.B.3.a | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.8.B.3.a | a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight |

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| | | | | foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature. |
| | | | <i>Staff Comments</i> | - An existing access drive separates the proposed ice plant building and the GR zoned Nelson Ball Fields to the north. No landscape buffer is proposed. |

Design Review Guidelines for Residential and Non-residential Buildings in the Townsite Overlay District (TO): 6A.9

1. Site Planning: 6A.9.C.1

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | Guideline | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.1 | The pattern created by the Old Hailey town grid should be respected in all site planning decisions. |
| | | | <i>Staff Comments</i> | - N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.1 | Site planning for new development and redevelopment shall address the following: <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units. |
| | | | <i>Staff Comments</i> | - The proposed site plan and development is consistent with the required site planning guidelines. All utilities will remain underground as shown on the site utilities plan. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.1 | The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines. |
| | | | <i>Staff Comments</i> | - Energy conserving designs have been utilized and are consistent with Old Hailey. |

2. Bulk Requirements (Mass and Scale, Height, Setbacks): 6A.9.C.2

| Compliant | | | Standards and Staff Comments | |
|-----------|----|-----|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |

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|-------------------------------------|--------------------------|--------------------------|-----------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.2 | The perceived mass of larger buildings shall be diminished by the design. |
| | | | <i>Staff Comments</i> | <i>- The larger portion of the building that contains the ice rink is softened by more human scale shed and hipped shed roofs at the entrances and the portion of the building where visitors and residents will engage with the building.</i> |

3. Architectural Character: 6A.9.C.3

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.a | General: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built. |
| | | | <i>Staff Comments</i> | <i>- The building utilizes traditional gable roof, and shed roof forms with painted wood timber beams and columns.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.b | Building Orientation: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street. |
| | | | <i>Staff Comments</i> | <i>- The main entrance to the facility is clearly visible as users enter the Werthheimer Park and architectural elements direct user's focus to the main entrance.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.b | Building Orientation: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation. |
| | | | <i>Staff Comments</i> | <i>N/A</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.c | Building Form: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design. |
| | | | <i>Staff Comments</i> | <i>- The larger portion of the building that contains the ice rink is softened by more human scale shed and hipped shed roofs at the entrances and the portion of the building where visitors and residents will engage with the building. Traditional gable roof forms are also utilized.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.d | Roof Form: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable. |
| | | | <i>Staff Comments</i> | <i>- Shed and hipped shed roofs at the entrances help diminish the perceived mass of the large portion of the building enclosing the ice rink facility.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.d | Roof Form: Roof pitch and style shall be designed to meet snow storage needs for the site. |
| | | | | <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties. |
| | | | <i>Staff Comments</i> | <i>- The sloped roofs utilize snow clips to retain snow. All drip lines of the sloped roofs will have gutters and downspouts. No snow will shed onto the adjoining property or the City rights of way.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.d | Roof Form: The use of roof forms, roof pitch, ridge length and roof materials that are |

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| | | | | similar to those traditionally found in the neighborhood are encouraged. |
| | | | <i>Staff Comments</i> | - The application is consistent with the neighborhood in regards to roof forms and materials. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.d | Roof Form: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood. |
| | | | <i>Staff Comments</i> | - The application is consistent with the neighborhood in regards to roof forms. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.e | Wall Planes: Primary wall planes should be parallel to the front lot line. |
| | | | <i>Staff Comments</i> | - Proposed building walls are shown parallel to the adjacent property lines. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.e | Wall Planes: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood. |
| | | | <i>Staff Comments</i> | - The proposed buildings respect the scale of the surrounding neighborhood by softening the large portion of the building with more human scale gables, and hip roofs. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.3.e | Wall Planes: The use of pop-outs to break up longer wall planes is encouraged. |
| | | | <i>Staff Comments</i> | - No pop-outs are utilized to break up longer wall planes. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.f | Windows: Windows facing streets are encouraged to be of a traditional size, scale and proportion. |
| | | | <i>Staff Comments</i> | - Windows at the entrances and the portion of the building that engage with visitors and residents are of traditional size and scale. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.f | Windows: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors. |
| | | | <i>Staff Comments</i> | - Windows are minimized towards existing buildings on adjacent lots |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.g | Decks and Balconies: Decks and balconies shall be in scale with the building and the neighborhood. |
| | | | <i>Staff Comments</i> | No decks or balconies are proposed. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.g | Decks and Balconies: Decks and balconies should be designed with the privacy of neighbors in mind when possible. |
| | | | <i>Staff Comments</i> | No decks or balconies proposed |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.h | Building Materials and Finishes: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged. |
| | | | <i>Staff Comments</i> | - Horizontal larger scale box rib metal siding is proposed on the large portion of the building that encloses the ice rink to emphasize its length and de-emphasize its height. - The wall is broken up with porch roofs and entrances. - While the current design may technically meet the standards of Design Review, staff has recommended that the applicant utilize a change of color or material on the west and east walls to reduce the perceived mass and scale of the building. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.h | Building Materials and Finishes: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane. |
| | | | <i>Staff Comments</i> | - The proportion, size, shape, and rooflines of the proposed buildings allow the building to incorporate several material textures and finish colors. - The proposed building is comprised of several architectural building elements that create a variety of opportunities that allow a harmonious |

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| | | | | <p><i>blend of architectural elements and finishes.</i></p> <ul style="list-style-type: none"> - <i>The variation of the building heights is intended to reduce the bulk massing of the building, but also allows for a clear and distinct break in material texture sizes and finishes.</i> - <i>The pedestrian scaled entrance and low roof elements also allow for a change in material texture and finish with sloped roofing, fascia, soffits, and painted wood columns and beams.</i> - <i>While the current design may technically meet the standards of Design Review, staff has recommended that the applicant utilize a change of color or material on the west and east walls to reduce the perceived mass and scale of the building.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.i | <p>Ornamentation and Architectural Detailing: Architectural detailing shall be incorporated into the front wall plane of buildings.</p> <p><i>Staff Comments</i> - <i>Shed and hipped shed roofs at the entrances and south end of the building help diminish the perceived mass of the large portion of the building enclosing the ice rink, along with architectural detailing such as wood beams, wood purlins, wood columns and roof fascia.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.i | <p>Ornamentation and Architectural Detailing: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</p> <p><i>Staff Comments</i> - <i>No porch is proposed.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.3.i | <p>Ornamentation and Architectural Detailing: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</p> <p><i>Staff Comments</i> - <i>The proposed buildings respect the scale of the surrounding neighborhood by softening the large portion of the building with more human scale gables, and hip roofs and including architectural detailing such as wood beams, wood purlins, wood columns and roof fascia.</i></p> |

4. Circulation and Parking: 6A.9.C.4

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|-------------------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.4 | <p>Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.</p> <p><i>Staff Comments</i> - <i>Safe pedestrian routes have been provided from Main Street and the parking spaces including the ADA parking spaces.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.4 | <p>Guideline: The visual impacts of on-site parking visible from the street shall be minimized.</p> <p><i>Staff Comments</i> - <i>The on-site parking is existing and set back from streets.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.4 | <p>Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.</p> <p><i>Staff Comments</i> N/A</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.4 | <p>Guideline: Detached garages accessed from alleys are strongly encouraged.</p> <p><i>Staff Comments</i> N/A</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.4 | <p>Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.</p> <p><i>Staff Comments</i> N/A</p> |

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|--------------------------|--------------------------|-------------------------------------|-----------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.4 | Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized. |
| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.4 | Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning. |
| | | | <i>Staff Comments</i> | N/A |

5. Alleys: 6A.9.C.5

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|-------------------------------------|------------------------------|---|
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.5 | Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties. |
| | | | <i>Staff Comments</i> | N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.5 | Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged. |
| | | | <i>Staff Comments</i> | - Gas meter is located at the back northwest corner of the building and screened by (3) evergreen trees. - The electrical transformer with electric meter is shown on plan and is screened by a 5' tall wall. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.5 | Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity. |
| | | | <i>Staff Comments</i> | - All parking and access roads are existing and are paved. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.5 | Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs. |
| | | | <i>Staff Comments</i> | - N/A |

6. Accessory Structures: 6A.9.C.6

| Compliant | | | Standards and Staff Comments | |
|--------------------------|--------------------------|-------------------------------------|------------------------------|---|
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.6 | Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function. |
| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.6 | Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical. |
| | | | <i>Staff Comments</i> | N/A |

7. Snow Storage: 6A.9.C.7

| Compliant | | | Standards and Staff Comments | |
|-----------|--|--|------------------------------|--|
|-----------|--|--|------------------------------|--|

| Yes | No | N/A | City Code | City Standards and Staff Comments |
|-------------------------------------|--------------------------|--------------------------|-----------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.7 | Guideline: All projects shall be required to provide 25% snow storage on the site. |
| | | | <i>Staff Comments</i> | - Site plan shows existing snow storage locations and calculations for required snow storage areas for the entire Werthheimer Park. - Refer to Sheet 2.0 |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.7 | Guideline: A snow storage plan shall be developed for every project showing: |
| | | | <i>Staff Comments</i> | - Snow storage areas do not restrict pedestrian access. Refer to Sheet 2.0 |

8. Existing Mature Trees and Landscaping: 6A.9.C.8

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|-------------------------------------|------------------------------|---|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.8 | Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan. |
| | | | <i>Staff Comments</i> | Lot is bare, with no existing trees. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.8 | Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible. |
| | | | <i>Staff Comments</i> | No existing plantings are present on the site. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6A.9.C.8 | Guideline: Noxious weeds shall be controlled according to State Law. |
| | | | <i>Staff Comments</i> | All weeds will be removed from the site as a part of the regular maintenance program. |

9. Fences and Walls: 6A.9.C.9

| Compliant | | | Standards and Staff Comments | |
|--------------------------|--------------------------|-------------------------------------|------------------------------|---|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.9 | Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates. |
| | | | <i>Staff Comments</i> | - Screening wall on the north side of the building abuts the alley. - The screening wall is 5' tall. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.9 | Guideline: Retaining walls shall be in scale to the streetscape. |
| | | | <i>Staff Comments</i> | -N/A |

11. Historic Structures: 6A.9.C.11 (NOTE: Applicable only to structures built prior to 1940)

| Compliant | | | Standards and Staff Comments | |
|-----------|----|-----|------------------------------|-----------------------------------|
| Yes | No | N/A | City Code | City Standards and Staff Comments |

| | | | | |
|--------------------------|--------------------------|-------------------------------------|-----------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.10 | <p>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</p> <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure. |
| | | | <i>Staff Comments</i> | <i>No historic buildings are on site.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6A.9.C.9 | <p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ○ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ○ Exterior materials that are compatible with the original building materials should be selected; ○ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ○ The visual impact of the addition should be minimized from the street; ○ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ○ The roof form and slope of the roof on the addition should be in character with the original building; <p>The relationship of wall planes to the street and to interior lots should be preserved with new additions.</p> |
| | | | <i>Staff Comments</i> | <i>No historic buildings are on site.</i> |

6A.6 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.

3. **Require security for compliance with the terms of the approval.**
4. **Minimize adverse impact on other development.**
5. **Control the sequence, timing and duration of development.**
6. **Assure that development and landscaping are maintained properly.**
7. **Require more restrictive standards than those generally found in the Zoning Ordinance.**

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
 - b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
 - c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
 - e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
 - f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
 - g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
 - h) All utilities will be located underground, consistent with 6A.9.C.1.
 - i) *The pretreatment sand filter and the disposal of the ice melt are subject to final inspection and approval by the Public Works Director, or her designee, prior to issuance of a Certificate of Occupancy for the building.*
 - j) *An elevator is required for access to the second floor mezzanine or an explanation, signed and stamped by a licensed Idaho architect, on why an elevator is not necessary. This must be completed prior to issuance of the Certificate of Occupancy.*
- C. **Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which**

security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

Motion Language

Approval:

Motion to approve the design review application submitted by Hailey Ice Inc., represented by Chris Benson and Michael Bulls, for Design Review of a new ice rink to be located within the Hailey Townsite, Lots 22-24 of Block 126, Lots 10-12 and 20-22 of Block 127, Lots 13-17 of Block 135 and all Lots within Block 134 (771 Main Street South) finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (h) are met.

Denial:

Motion to deny the design review application submitted by Hailey Ice Inc., represented by Chris Benson and Michael Bulls, for Design Review of a new ice rink to be located within the Hailey Townsite, Lots 22-24 of Block 126, Lots 10-12 and 20-22 of Block 127, Lots 13-17 of Block 135 and all Lots within Block 134 (771 Main Street South), finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on the design review application submitted by Hailey Ice Inc., represented by Chris Benson and Michael Bulls, for Design Review of a new ice rink to be located within the Hailey Townsite, Lots 22-24 of Block 126, Lots 10-12 and 20-22 of Block 127, Lots 13-17 of Block 135 and all Lots within Block 134 (771 Main Street South) to _____ [Commission should specify a date].

City of Hailey - Design Review Application

Submittal Date: 10 /31 /2014

Project Name: Hailey Ice Rink Facility

Parcel No. RPH RPH0000126013A

Legal Description of Property: Subdivision

Lot(s) , Block

Street Address of Property: 711 Main Street South

Current Zoning of Property: LB

Year of original construction: 2010

(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable)

Proposed addition or new construction sq. ft.

Name of Owner of the Property: Hailey Ice, Inc.

Mailing Address: P.O. Box 4616

City: Hailey

State: ID

Zip: 83333

Phone: () 788 - 3325

Fax: () -

Cell: () -

Email Address:

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any ex parte discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: Sarah Benson

Date: 11 / 4 / 2014

Name of individual to contact on behalf of Trust or LLC (if applicable):

Mailing Address:

City:

State:

Zip:

Phone: () -

Fax: () -

Cell: () -

Email Address:

Application Contact (if different than above): MICHAEL BULLS FOR PUSCITO/LATHAM/BLANDIN

**Application Contact will be the Planning Department's primary point of contact for questions related to the application.

Mailing Address: PO BOX 419

City: SUN VALLEY

State: ID

Zip: 83353

Phone: (208) 726 - 5608

Fax: (208) 726 - 1033

Cell: (208) 720 - 7974

Email Address: mbulls@rlb-su.com

Signature: Michael Bulls

Date: 11 / 3 / 14

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

| | |
|--|------------|
| <input checked="" type="checkbox"/> Commercial, Mixed-Use or Multi-Family..... | \$ 450.00 |
| plus \$25 / 1,000 gross square feet..... | \$ 774 |
| OR <input type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Structure in TO..... | \$ 250.00 |
| OR <input type="checkbox"/> No Substantial Impact..... (Mailing only)..... | \$ 75.00 |
| OR <input type="checkbox"/> Modification to DR Approval... (No publication or mailing)..... | \$ 50.00 |
| OR <input type="checkbox"/> DR Exemption... (No publication or mailing)..... | \$ 30.00 |
| Publication cost..... | \$ 40.00 |
| Mailing (# of addresses 29) x (.49 postage + .15 paper, envelope & label) | \$ 14.21 |
| DO NOT COUNTY DUPLICATES OR CITY OF HAILEY | |
| Total Due..... | \$ 1278.21 |



CAMPION ICE HOUSE

HAILEY ICE RINK FACILITY

HAILEY, IDAHO



VICINITY MAP

SCALE: 1" = 100'



PROJECT INFORMATION

STREET ADDRESS: 771 MAIN STREET SOUTH
HAILEY, IDAHO

LEGAL DESCRIPTION: LOTS 22-24 BLOCK 126, LOTS 10-12 & 20-22 BLOCK 127, LOTS 13-17 BLOCK 135, ALL OF BLOCK 134, AND TOGETHER WITH THE ADJOINING VACATED STREETS AND ALLEYS ADJACENT TO ALL LOTS AND BLOCKS DESCRIBED.

LOT AREA: 5.31 ACRES

ZONING: LB - LIMITED BUSINESS
TO - TOWNSITE OVERLAY

PROJECT USE: INDOOR ICE RINK FACILITY

OCCUPANCY: A-4 ASSEMBLY

TYPES OF CONSTRUCTION: II-B

BUILDING FLOOR AREA:
MAIN LEVEL: 30,957 SQ. FT.
MEZZANINE LEVEL: 4,040 SQ. FT.
TOTAL: 34,997 SQ. FT.

BUILDING HEIGHT: 34' - 10" ± FROM EXISTING GRADE
(35' MAXIMUM PER CITY OF HAILEY ZONING ORDINANCE)

INDEX OF DRAWINGS

| | |
|-----|---|
| 1.0 | PROJECT INFORMATION |
| 2.0 | SITE PLAN |
| 2.1 | SITE UTILITIES & DRAINAGE PLAN |
| L-1 | LANDSCAPE PLAN |
| 3.0 | MAIN LEVEL FLOOR PLAN |
| 3.1 | MEZZANINE LEVEL FLOOR PLAN |
| E-1 | SITE LIGHTING & PHOTOMETRIC DISTRIBUTION PLAN |
| 4.0 | BUILDING ELEVATIONS |
| 4.1 | EXTERIOR MATERIALS |

PROJECT TEAM

OWNER
HAILEY ICE, INC.
RON FAIRFAX, PRESIDENT
CHRIS BENSON, VICE PRESIDENT
JIM LASKI, VICE PRESIDENT
P.O. BOX 4616
HAILEY, ID 83333

ELECTRICAL ENGINEER
PAUL STOOPS ASSOCIATES
PAUL STOOPS P.E.
P.O. Box 1130
Hailey, Idaho 83333
(208) 788.8993
(208) 788.7634 Fax

ICE RINK CONSULTANT
ARENA PRODUCTS & SERVICES
GARY SMITH
2660 N CHELTON RD
COLORADO SPRINGS, CO 80909
(719) 473.5403
(719) 667.1047 Fax

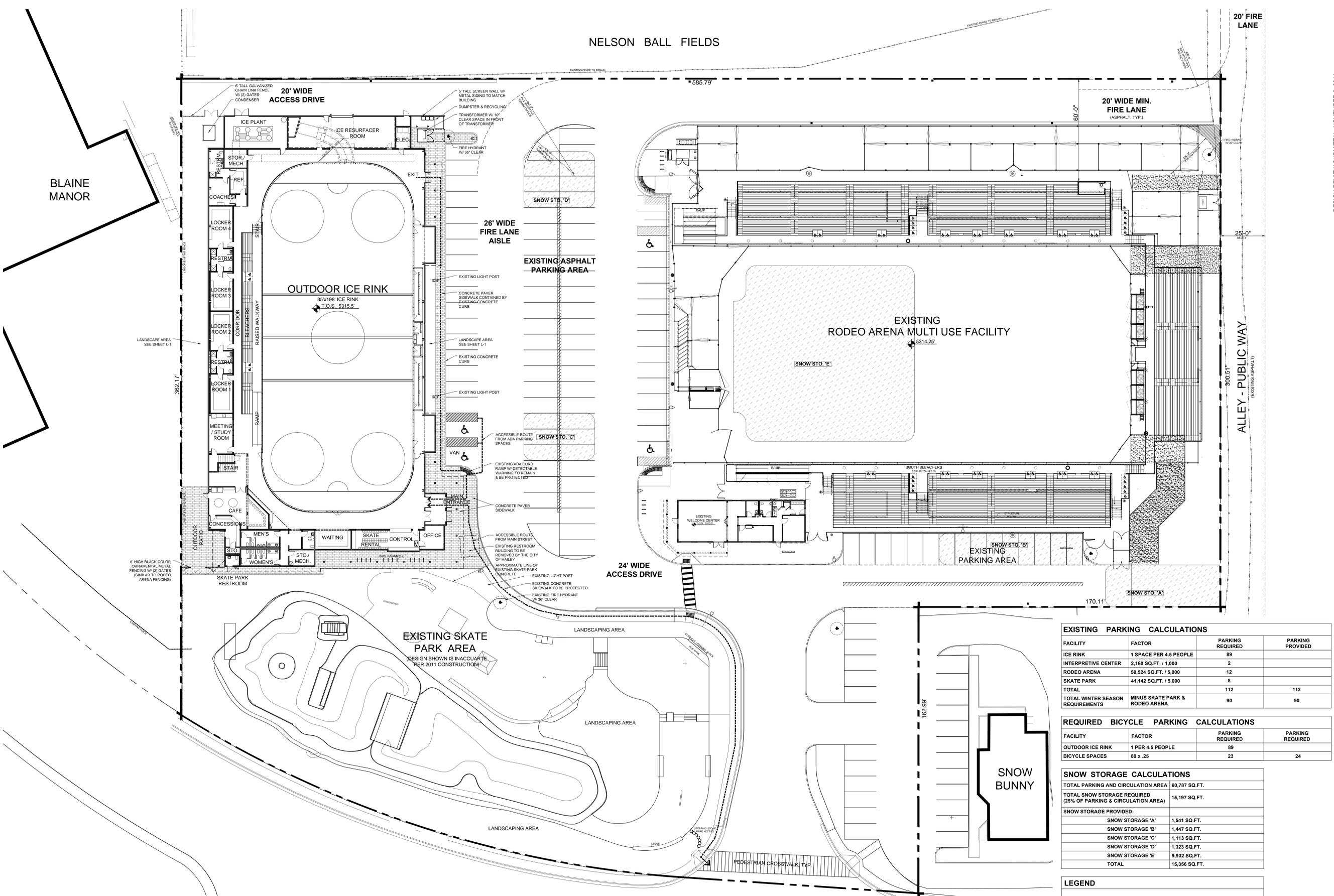
ARCHITECT
RUSCITTO/LATHAM/BLANTON
ARCHITECTURA P.A.
MICHAEL BULLS AIA
SHAUN KELLY
P.O. Box 419
Sun Valley, Idaho 83353
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(208) 726.1033 Fax

MECHANICAL ENGINEER
ES2
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Idaho Falls, ID 83401
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(208) 552.9302 Fax

ICE PLANT ENGINEER
ME ENGINEERING
CLIFT EPPS, P.E.
10055 W. 43rd Ave.
Wheat Ridge, CO 80033
(303) 421.6655

STRUCTURAL DESIGN
RUSCITTO/LATHAM/BLANTON
ARCHITECTURA P.A.
SCOTT HEINER, P.E.
P.O. Box 419
Sun Valley, Idaho 83353
(208) 726.5608
(208) 726.1033 Fax

NELSON BALL FIELDS



CONSTRUCTION STAGING & CONTRACTOR PARKING PLAN

- A PORTION OF THE ROW OF PARKING CLOSEST TO THE PROPOSED ICE RINK FACILITY WILL BE THE STAGING LOCATION OF THE MAJORITY OF THE BUILDING MATERIALS. IF ADDITIONAL SPACE IS NEEDED, FOR CONSTRUCTION MATERIAL LAY DOWN OF TEMPORARY CONSTRUCTION STAGING THE OWNER SHALL SUBMIT A REVISED NARRATIVE AND PLAN TO THE CITY FOR REVIEW AND APPROVAL. THERE IS SUFFICIENT SPACE FOR MATERIAL STORAGE WITHIN THE CONSTRUCTION FENCING AT THE NORTHWEST AND SOUTHWEST CORNERS OF THE PROPERTY. NO PORTION OF THE EXISTING FIRE ACCESS LANE WILL BE BLOCKED.
- EXISTING CONSTRUCTION FENCING WILL REMAIN DURING CONSTRUCTION WITH ADJUSTMENTS TO FENCE LOCATIONS AS CONSTRUCTION PROGRESS REQUIRES.
- CONTRACTOR AND WORKER PARKING, JOBSITE TRAILER, TEMPORARY PORTABLE RESTROOMS AND JOBSITE DUMPSTERS WILL UTILIZE, A PORTION OF, THE ROW OF PARKING CLOSEST TO THE PROPOSED ICE RINK.
- EXCAVATION STOCKPILE AREAS WILL BE LOCATED IN THE NORTHWEST CORNER AND THE SOUTH END OF THE THE PROPERTY, WITHIN THE EXISTING TEMPORARY FENCING.

GENERAL NOTES

- ALL EXISTING SITE PLAN IMPROVEMENTS, PAVING HARDSCAPE, LANDSCAPE, LIGHT FIXTURES, DRAINAGE COMPONENTS, AND SKATE PARK CONCRETE SHALL BE PROTECTED FROM DAMAGE.
- THE CITY OF HAILEY TO PROVIDE FUNDING FOR THE CONSTRUCTION OF THE SKATE PARK RESTROOM, SKATE PARK DRINKING FOUNTAIN AND TH ACCESSIBLE ROUTE TO THE SKATE PARK RESTROOM.
- THE EXISTING RESTROOM BUILDING TO BE REMOVED BY THE CITY OF HAILEY PRIOR TO THE END OF THE YEAR 2014.

EXISTING PARKING CALCULATIONS

| FACILITY | FACTOR | PARKING REQUIRED | PARKING PROVIDED |
|----------------------------------|--------------------------------|------------------|------------------|
| ICE RINK | 1 SPACE PER 4.5 PEOPLE | 89 | |
| INTERPRETIVE CENTER | 2,160 SQ.FT. / 1,000 | 2 | |
| RODEO ARENA | 59,824 SQ.FT. / 5,000 | 12 | |
| SKATE PARK | 41,142 SQ.FT. / 5,000 | 8 | |
| TOTAL | | 112 | 112 |
| TOTAL WINTER SEASON REQUIREMENTS | MINUS SKATE PARK & RODEO ARENA | 90 | 90 |

REQUIRED BICYCLE PARKING CALCULATIONS

| FACILITY | FACTOR | PARKING REQUIRED | PARKING PROVIDED |
|------------------|------------------|------------------|------------------|
| OUTDOOR ICE RINK | 1 PER 4.5 PEOPLE | 89 | |
| BICYCLE SPACES | 89 x .25 | 23 | 24 |

SNOW STORAGE CALCULATIONS

| | |
|---|---------------|
| TOTAL PARKING AND CIRCULATION AREA | 60,787 SQ.FT. |
| TOTAL SNOW STORAGE REQUIRED (25% OF PARKING & CIRCULATION AREA) | 15,197 SQ.FT. |
| SNOW STORAGE PROVIDED: | |
| SNOW STORAGE 'A' | 1,541 SQ.FT. |
| SNOW STORAGE 'B' | 1,447 SQ.FT. |
| SNOW STORAGE 'C' | 1,113 SQ.FT. |
| SNOW STORAGE 'D' | 1,323 SQ.FT. |
| SNOW STORAGE 'E' | 9,932 SQ.FT. |
| TOTAL | 15,356 SQ.FT. |

LEGEND

| | |
|--|-------------------|
| | PROPERTY LINE |
| | SNOW STORAGE AREA |
| | CONCRETE PAVERS |

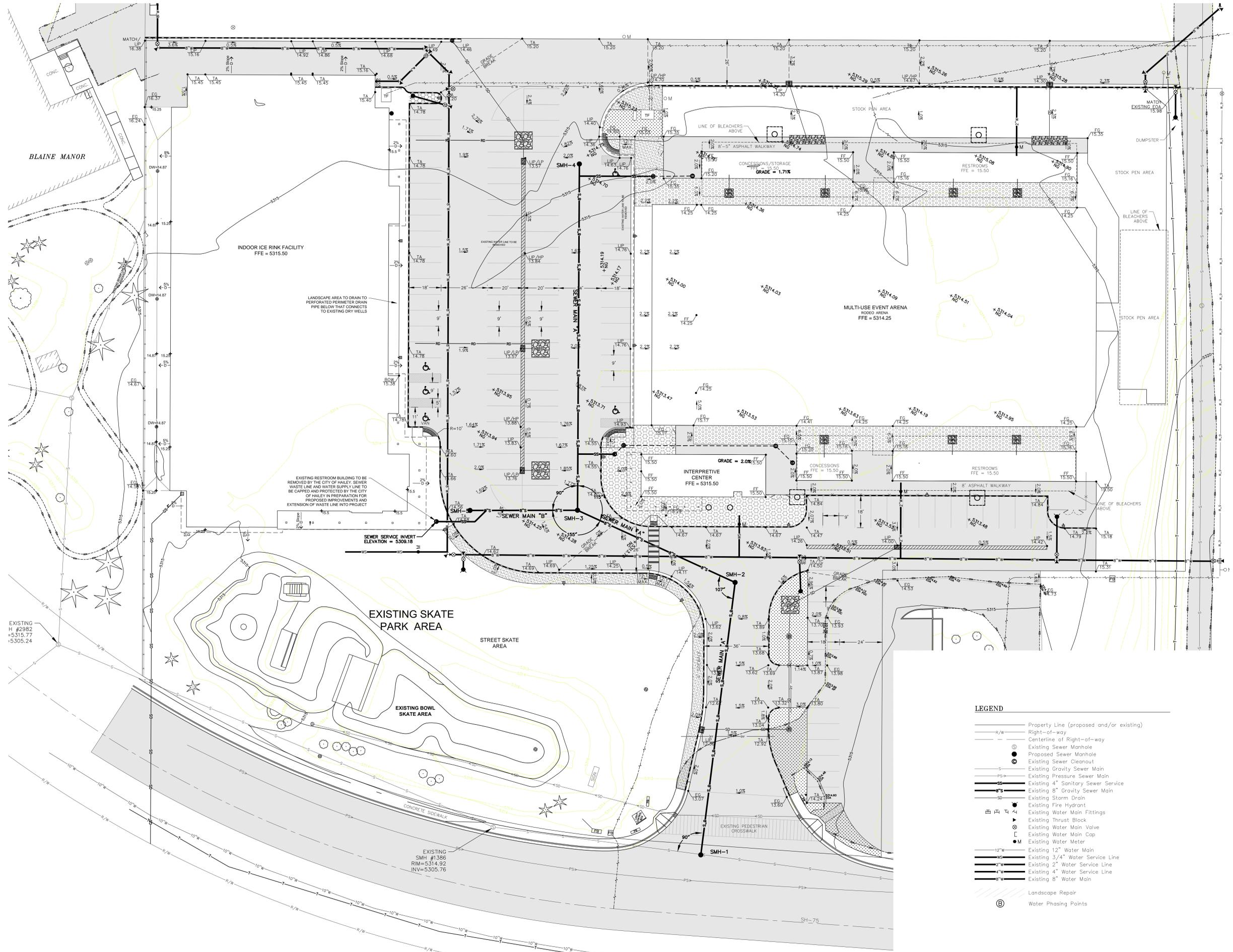
LOT AREA: 231,360 SQ.FT. (6.31 AC.) **SITE PLAN**

SCALE: 1" = 20'



2.0

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LEGEND

- Property Line (proposed and/or existing)
- R/W- Right-of-way
- Centerline of Right-of-way
- ⊙ Existing Sewer Manhole
- ⊙ Proposed Sewer Manhole
- ⊙ Existing Sewer Cleanout
- S Existing Gravity Sewer Main
- PS Existing Pressure Sewer Main
- SS Existing 4" Sanitary Sewer Service
- 8" Existing 8" Gravity Sewer Main
- SD Existing Storm Drain
- ⊙ Existing Fire Hydrant
- ⊙ Existing Water Main Fittings
- ⊙ Existing Thrust Block
- ⊙ Existing Water Main Valve
- ⊙ Existing Water Main Cap
- ⊙ Existing Water Meter
- 12" Existing 12" Water Main
- 3/4" Existing 3/4" Water Service Line
- 2" Existing 2" Water Service Line
- 4" Existing 4" Water Service Line
- 8" Existing 8" Water Main
- ⊙ Landscape Repair
- ⊙ Water Phasing Points

SITE UTILITIES & DRAINAGE PLAN - EXISTING CONDITIONS
NO PROPOSED CHANGES

SCALE: 1" = 20'



2.1

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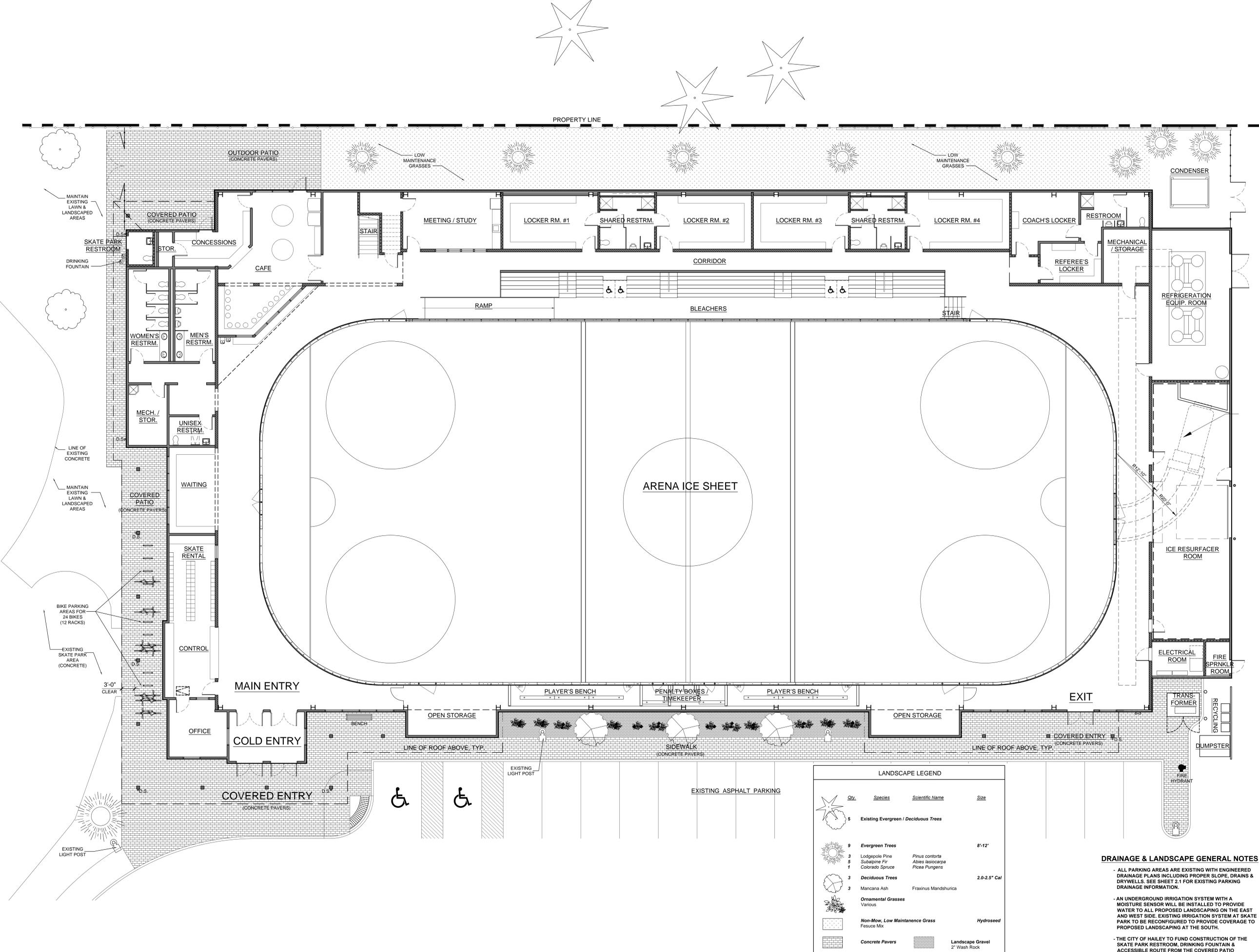
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CAMPION ICE HOUSE
HAILEY ICE RINK FACILITY

HAILEY, IDAHO

DESIGN REVIEW SUBMITTAL: NOVEMBER 3, 2014
ARCHITECTURA P.A.

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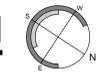
| Qty. | Species | Scientific Name | Size |
|------|--------------------------------------|-----------------------------|--------------|
| 5 | Existing Evergreen / Deciduous Trees | | |
| 9 | Evergreen Trees | | 8'-12' |
| 3 | Lodgepole Pine | <i>Pinus contorta</i> | |
| 5 | Subalpine Fir | <i>Abies lasiocarpa</i> | |
| 1 | Colorado Spruce | <i>Picea pungens</i> | |
| 3 | Deciduous Trees | | 2.0-2.5" Cal |
| 3 | Mancana Ash | <i>Fraxinus mandshurica</i> | |
| | Ornamental Grasses | | |
| | Various | | |
| | Non-Mow, Low Maintenance Grass | | Hydroseed |
| | Fescue Mix | | |
| | Concrete Pavers | | |
| | Landscape Gravel | | 2" Wash Rock |

DRAINAGE & LANDSCAPE GENERAL NOTES

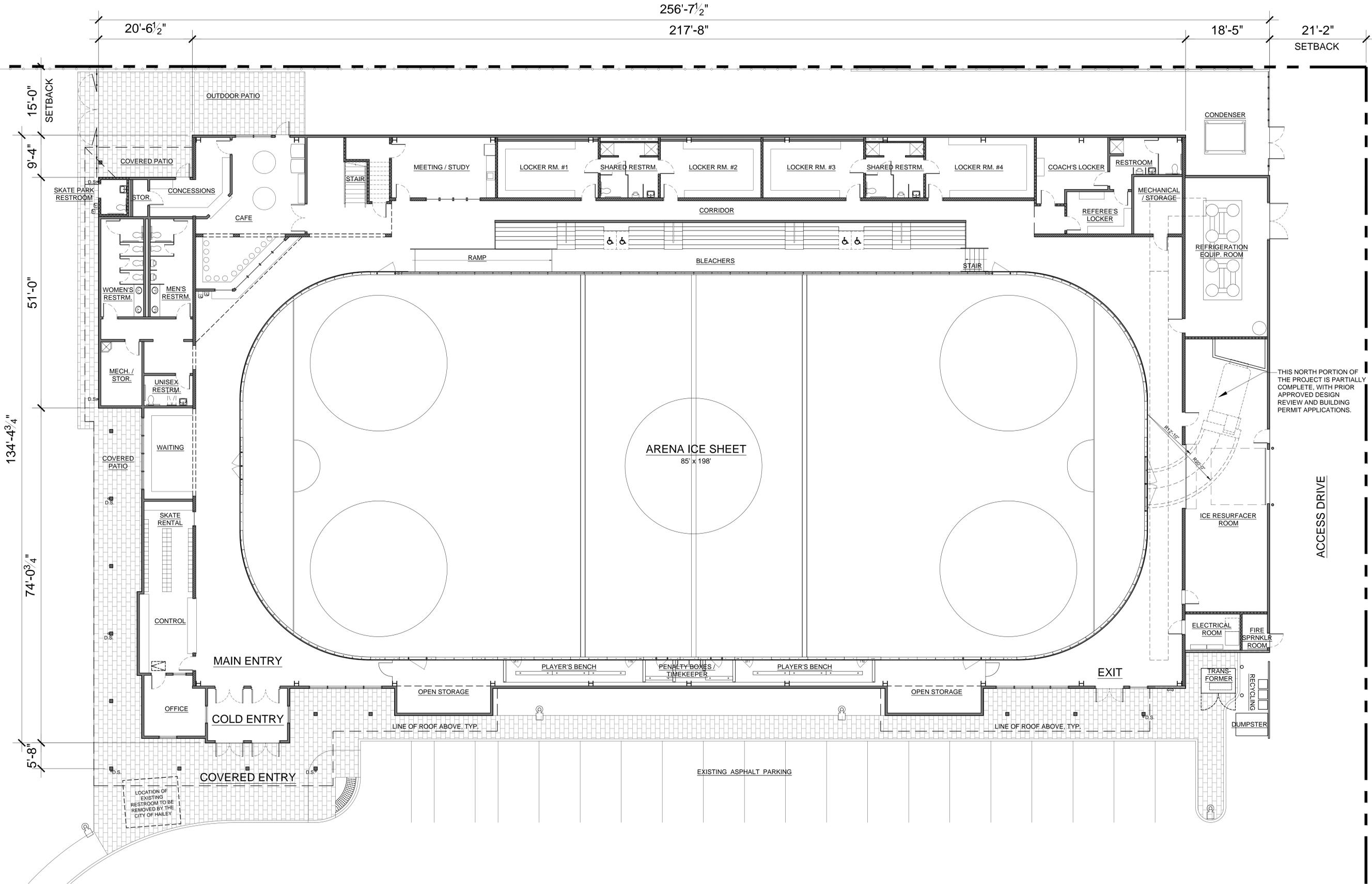
- ALL PARKING AREAS ARE EXISTING WITH ENGINEERED DRAINAGE PLANS INCLUDING PROPER SLOPE, DRAINS & DRYWELLS. SEE SHEET 2.1 FOR EXISTING PARKING DRAINAGE INFORMATION.
- AN UNDERGROUND IRRIGATION SYSTEM WITH A MOISTURE SENSOR WILL BE INSTALLED TO PROVIDE WATER TO ALL PROPOSED LANDSCAPING ON THE EAST AND WEST SIDE. EXISTING IRRIGATION SYSTEM AT SKATE PARK TO BE RECONFIGURED TO PROVIDE COVERAGE TO PROPOSED LANDSCAPING AT THE SOUTH.
- THE CITY OF HAILEY TO FUND CONSTRUCTION OF THE SKATE PARK RESTROOM, DRINKING FOUNTAIN & ACCESSIBLE ROUTE FROM THE COVERED PATIO
- EXISTING LANDSCAPE AREAS SHALL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE. DISTURBED LANDSCAPE AREAS TO BE PATCHED, REPAIRED, GRADED & SEEDED.

LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"



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DESIGN REVIEW SUBMITTAL-NOVEMBER 3, 2014
ARCHITECTURA P.A.

RUSCITTO/LATHAM/BLANTON

CAMPION ICE HOUSE
HAILEY ICE RINK FACILITY
HAILEY, IDAHO

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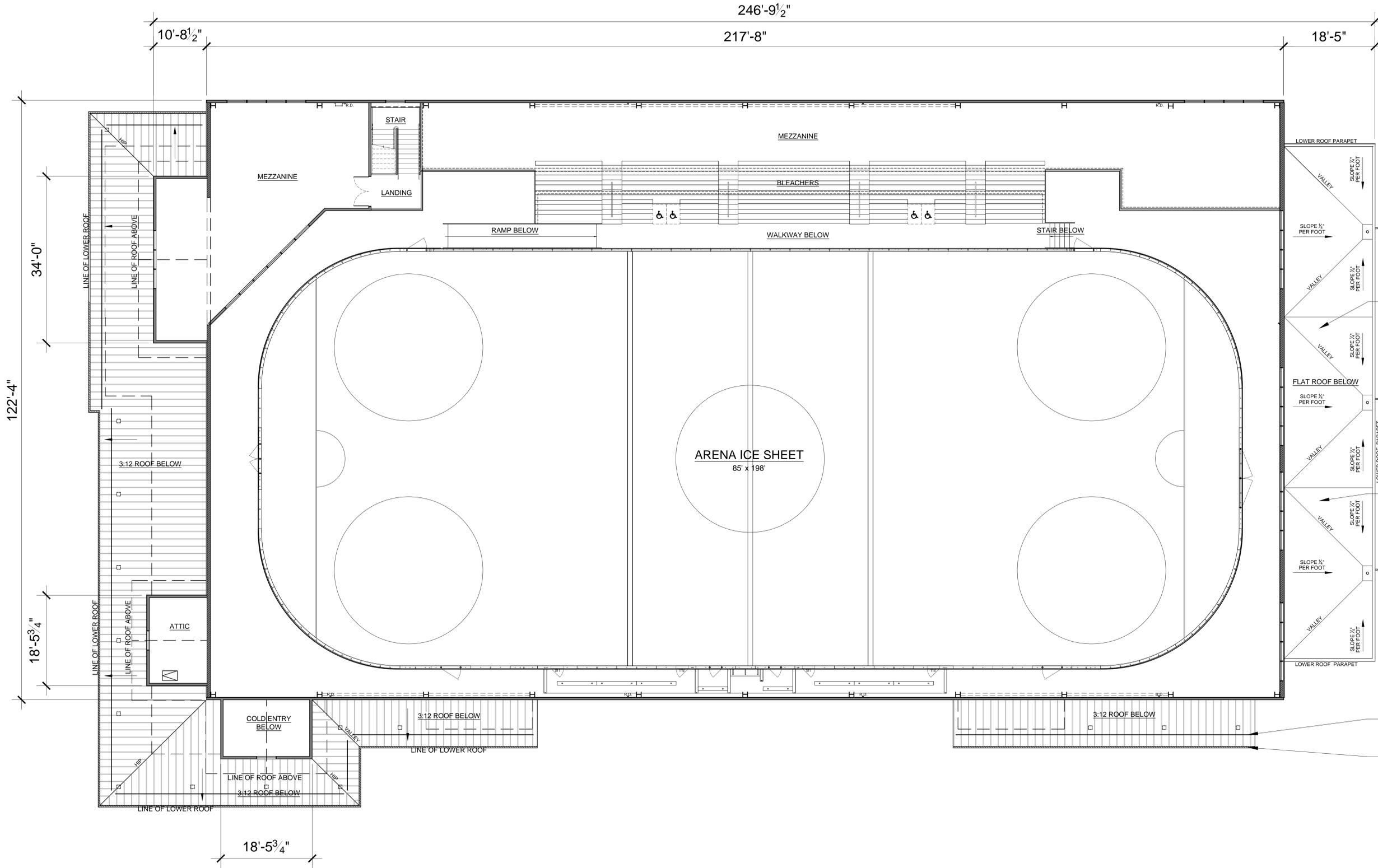
30,971 SQ.FT. **MAIN LEVEL FLOOR PLAN**

SCALE: 1/8" = 1'-0"



3.0

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THIS NORTH PORTION OF THE PROJECT IS PARTIALLY COMPLETE, WITH PRIOR APPROVED DESIGN REVIEW AND BUILDING PERMIT APPLICATIONS.

SINGLE PLY EPDM MECHANICALLY FASTENED BLACK ROOFING

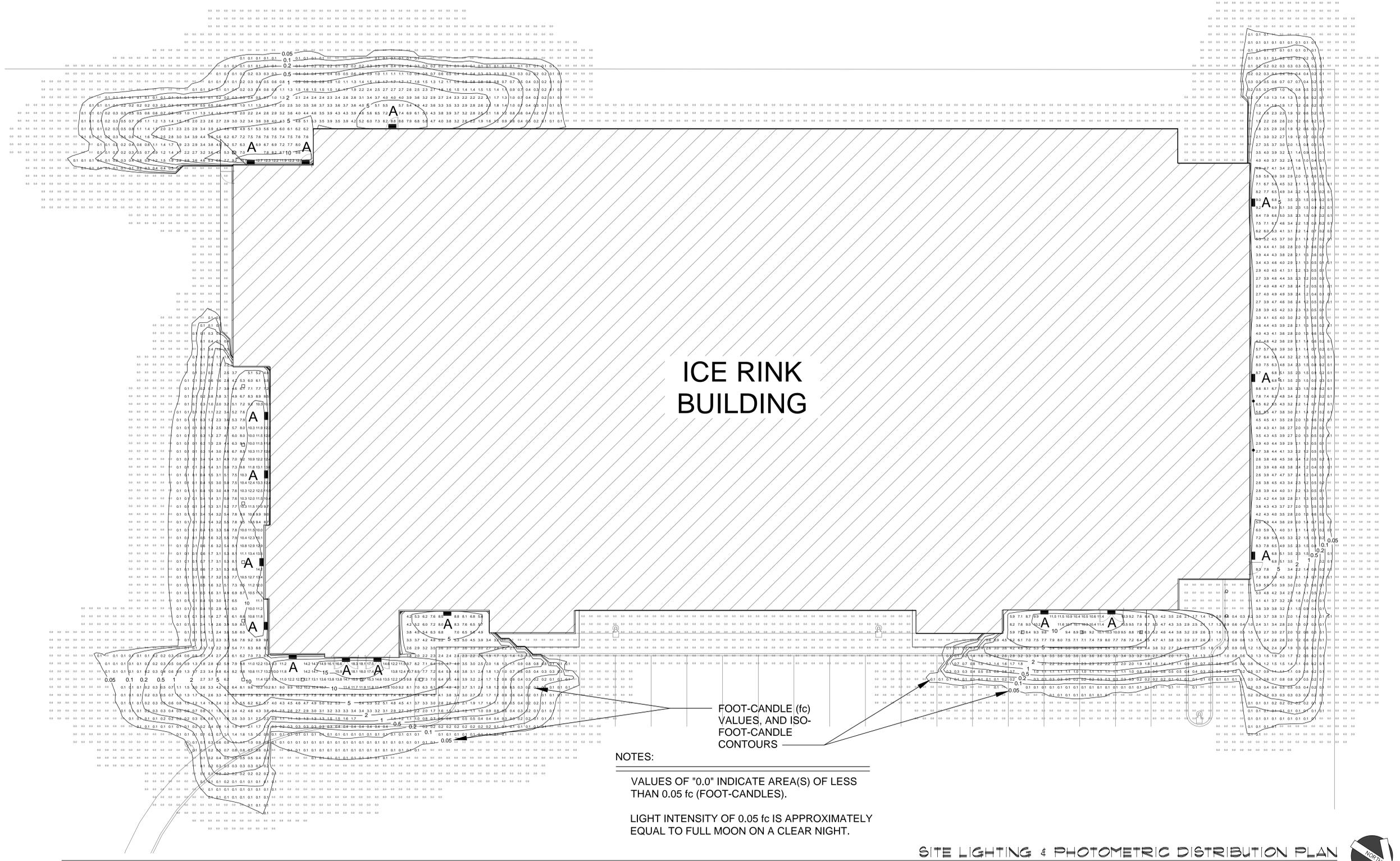
SNOW RETENTION DEVICE A ALL SLOPED METAL ROOFS

GUTTERS & DOWNSPOUTS A' ALL SLOPED METAL ROOFS

4,040 SQ.FT. **MEZZANINE LEVEL & LOWER ROOF PLAN**

SCALE : 1/8" = 1'-0"





NOTES:

VALUES OF "0.0" INDICATE AREA(S) OF LESS THAN 0.05 fc (FOOT-CANDLES).

LIGHT INTENSITY OF 0.05 fc IS APPROXIMATELY EQUAL TO FULL MOON ON A CLEAR NIGHT.

SITE LIGHTING & PHOTOMETRIC DISTRIBUTION PLAN
SCALE: 1"=10'

Specifications Luminaire

Height: 7-1/4" (18.4 cm)

Width: 16-1/4" (41.3 cm)

Depth: 9-1/8" (23.2 cm)

Weight: 17 lbs (7.7 kg)



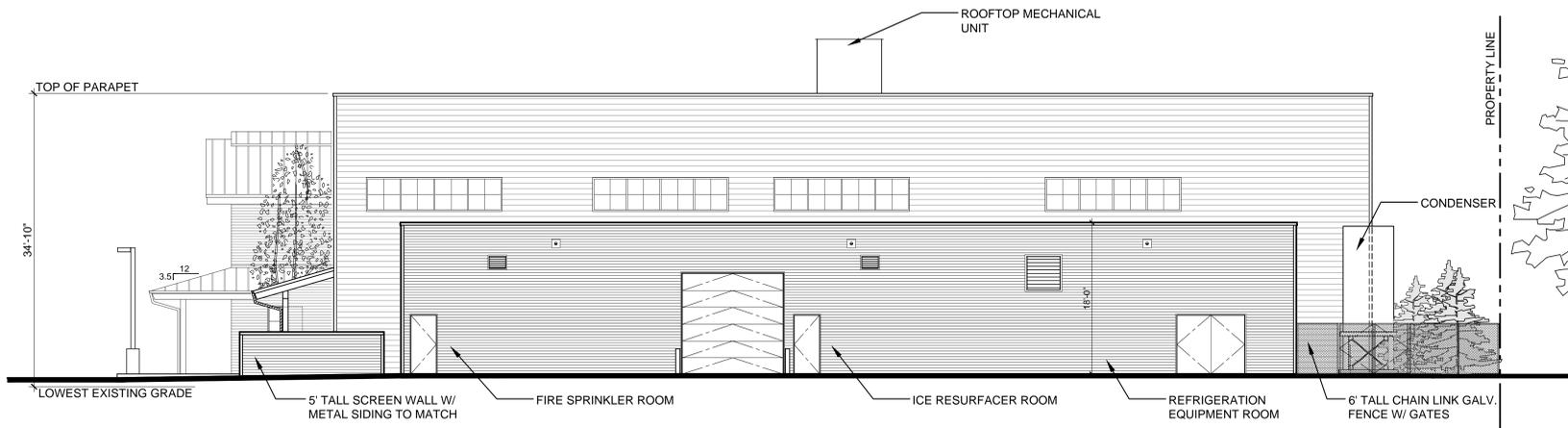
WALL-MOUNTED, AT 10' (APPROX.)
TYPE II MEDIUM DISTRIBUTION
FINISH: DARK BRONZE
LITHONIA NO. WST LED 2 10A/700/40K SR2 MVOLT DDBXD
CONTROL: AUTOMATIC, VIA PHOTOCELL & TIMER COMB.

TYPE "A" FIXTURE
WALL-MOUNTED
NO SCALE



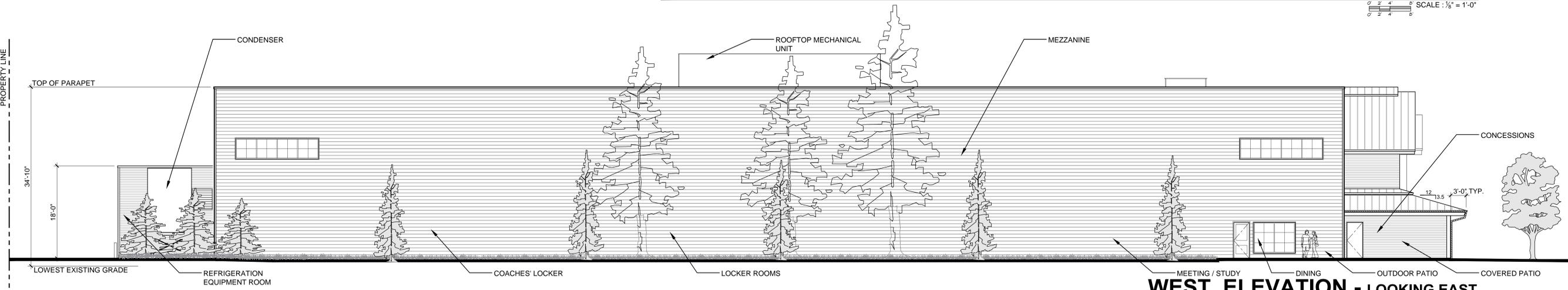
Paul Stoops Associates
P.O. Box 1130
208-788-8993
ARCHITECTURAL LIGHTING & ELECTRICAL ENGINEERING

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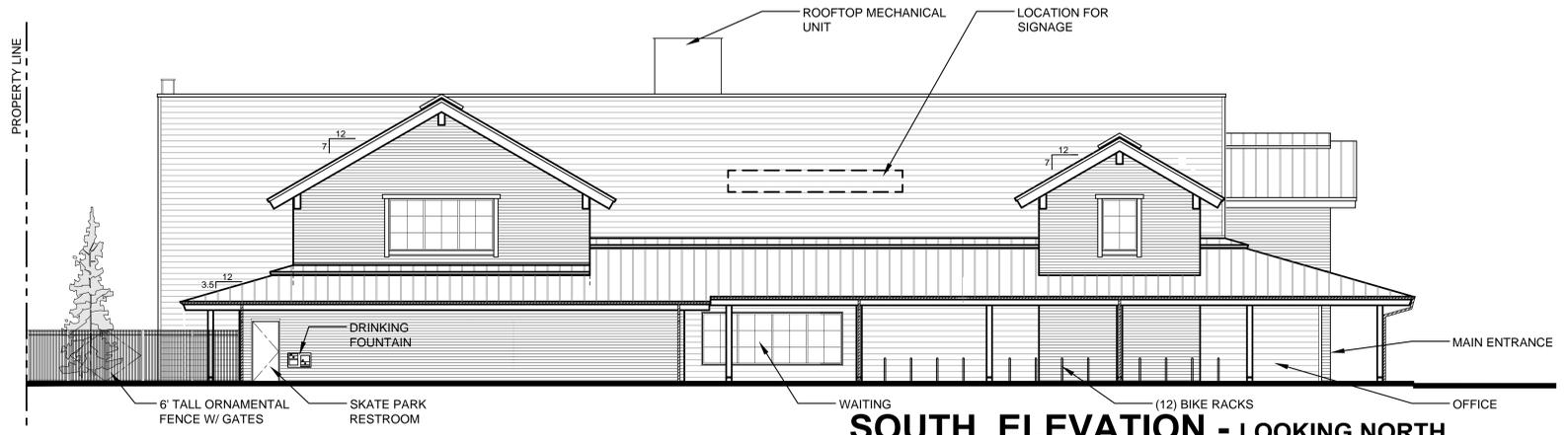
NORTH ELEVATION - LOOKING SOUTH

SCALE: 1/8" = 1'-0"



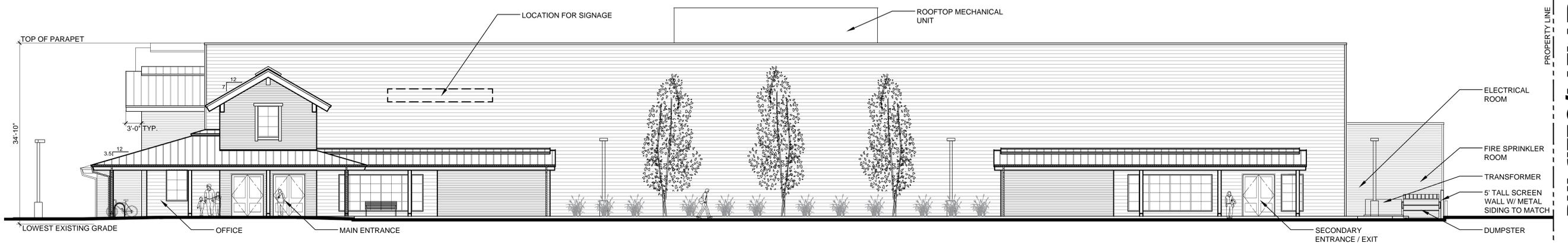
WEST ELEVATION - LOOKING EAST

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - LOOKING NORTH

SCALE: 1/8" = 1'-0"



EAST ELEVATION - LOOKING WEST

SCALE: 1/8" = 1'-0"

ARCHITECTURA P.A.

DESIGN REVIEW SUBMITTAL - NOVEMBER 3, 2014

RUSCITTO/LATFAN/BLANTON

CAMPION ICE HOUSE
HAILEY, IDAHO
HAILEY ICE RINK FACILITY

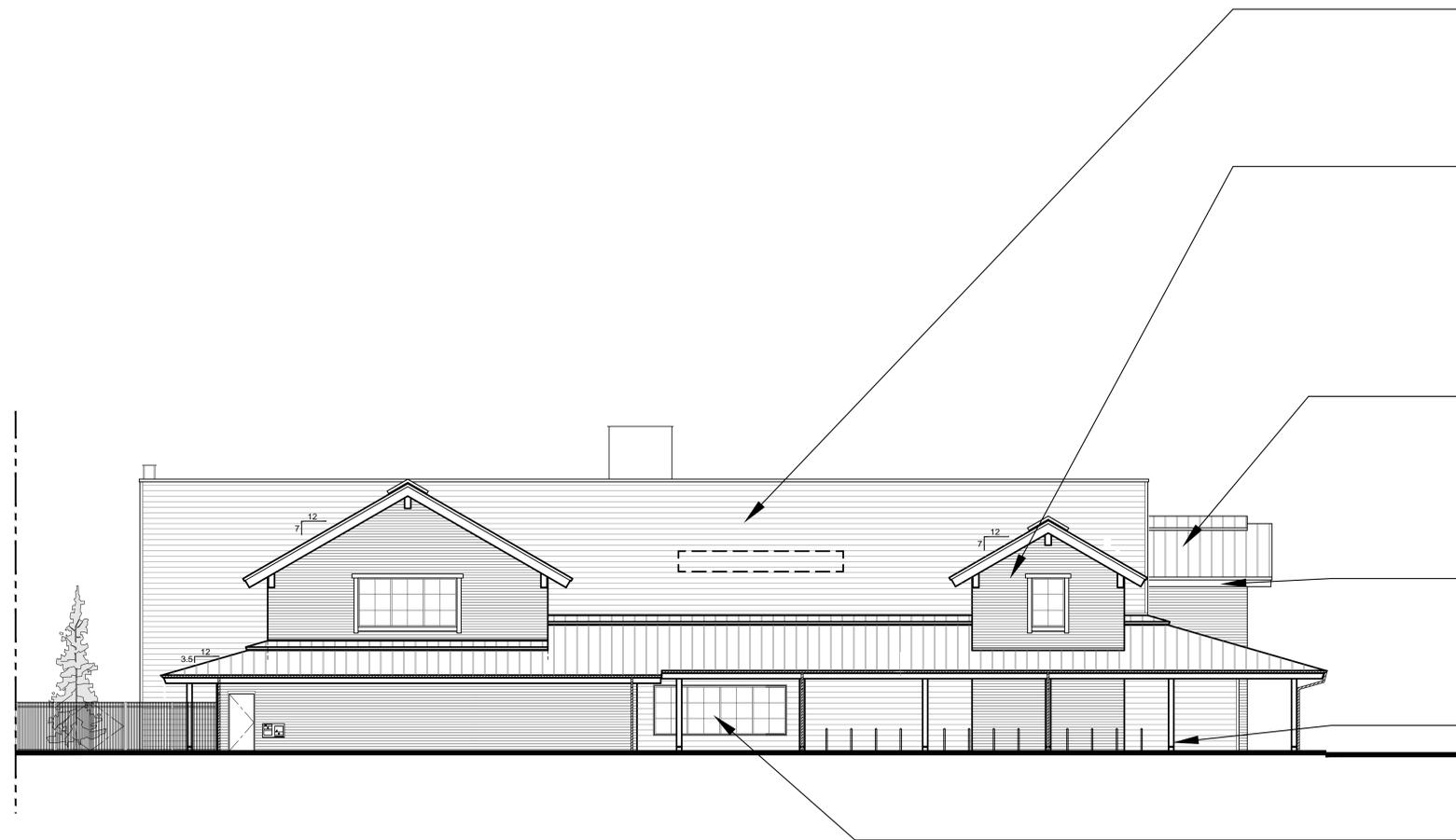
p.o. box 419 sun valley, idaho 83353
208 726 5608
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PROPERTY LINE

4.0



ARTISTIC RENDERING - LOOKING NORTHWEST



SOUTH ELEVATION - LOOKING NORTH

SCALE: 1/8" = 1'-0"

EXTERIOR WALL METAL SIDING (TYPE 'A')

HORIZONTAL 7.2" BOX RIB KYNAR COATED METAL SIDING "MEDIUM BRONZE" COLOR

EXTERIOR WALL METAL SIDING (TYPE 'B')

HORIZONTAL 7/8" CORRUGATED KYNAR COATED METAL SIDING "MEDIUM BRONZE" COLOR

METAL SLOPED ROOFING / GUTTERS & DOWNSPOUTS

KYNAR COATED METAL ROOF "SLATE GRAY" COLOR

METAL SOFFIT & FASCIA

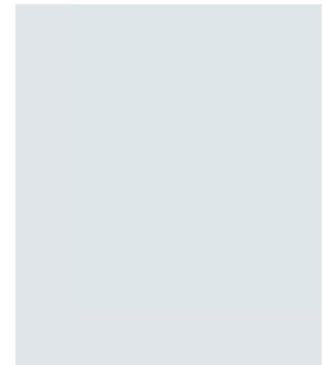
KYNAR COATED METAL SOFFIT AND FASCIA "STONE WHITE" COLOR

BEAMS & COLUMNS

PAINTED GLU-LAM BEAMS & GLU-LAM COLUMNS "STONE WHITE" COLOR

METAL WINDOW & DOOR FRAMES

"BONE WHITE" COLOR





MATERIAL SAFETY DATA SHEET



PRODUCT INFORMATION FOR: Lumin' Ice Premium Paint
USE: ICE PAINT (Industrial use only)
CATALOG NUMBER: 62.90100

| | | |
|----------------------------------|----------------------------|-----------------------|
| 1. SUPPLIER | Supplier's Name: | Becker Arena Products |
| Street Address: | Street Address: | 6611 West Highway 13 |
| Town: | Town: | Savage |
| Province: | State: | MN |
| Postal Code | Zip Code | 55378 |
| Telephone No. | Telephone No. | 952-890-2690 |
| 24 Hr. Chemical Emergency | 24 Hr. Chemical No. | 800-234-5522 |

2. HAZARDOUS INGREDIENTS

| Hazardous Ingredient | % | CAS Number | LD ₅₀ | LC ₅₀ | TLV ¹ |
|----------------------|------|------------|-------------------------------|------------------|---------------------|
| Titanium Dioxide | <12% | 13463-67-7 | >24,000 mg/kg (oral, rats) | >682 mg/L | 10mg/m ³ |

3. PHYSICAL DATA

| | |
|-----------------------|------------------------------------|
| Physical state: | solid |
| Odour and appearance: | no significant odour, white powder |
| Odour threshold: | N.av. |
| Specific gravity: | approx, 3.55 |
| Vapour pressure: | N.ap. |
| Vapour density: | N.ap. |
| Evaporation rate: | N.ap. |
| Boiling point [°C]: | N.ap. |
| Freezing point [°C]: | N.ap. |

pH: N.ap.

Coefficient of water/oil distribution: N.ap.

4. FIRE AND EXPLOSION HAZARD

Flammability: Not known to be flammable or combustible

Means of extinction: Always use extinguisher suitable for fire given conditions of surroundings

Flash point [°C] and method: N.ap.

Upper flammable limit [% by volume]: N.ap.

Lower flammable limit [% by volume]: N.ap.

Auto-ignition temperature [°C]: N.av.

Hazardous combustion products: N.av.

Explosion data:

a. Sensitivity to impact: no

b. Sensitivity to static discharge: no

5. REACTIVITY DATA

Chemically stable: yes

Incompatibility with other substances: N.Ap.

Hazardous decomposition products: N.Ap.

Conditions of Reactivity: N.Ap.

6. TOXICOLOGICAL PROPERTIES.

Route of entry -

| | |
|------------------|--|
| Skin contact: | unlikely to cause irritation |
| Skin Absorption: | N.Ap. |
| Eye contact: | capable of imparting mechanical irritation |
| Inhalation: | nasal irritation likely to cause sneezing |
| Ingestion: | unlikely to cause irritation |

Carcinogenicity of product:

Becker Lumin' Ice Premium contains a minor percentage of Titanium Dioxide, (TiO₂) which is classified as a Group 2B carcinogen by IARC as well as Class 2A-Very Toxic by WHIMIS. These classifications were derived from evidence obtained solely from experiments with rats and mice whereby overexposure by inhalation created some increase in incidents of cancer. Given the expected workplace exposure limits there is no evidence to suggest that this product will create any risk to humans.

| | |
|------------------------------|------|
| Teratogenicity of product: | none |
| Mutagenicity of product: | none |
| Reproductive toxicity: | none |
| Synergistic products: | none |
| Effects of acute exposure: | none |
| Effects of chronic exposure: | none |

7. PREVENTIVE MEASURES

Personal protective equipment -

| | |
|--------------------------------------|--|
| Gloves: | work gloves |
| Respirator: | always use suitable NIOSH approved respiratory dust mask when handling powders |
| Eye: | safety glasses |
| Footwear: | suitable to the work environment |
| Clothing: | suitable to the work environment |
| Other: | none |
| Engineering controls: | good industrial practice ventilation |
| Leak and spill procedures: Follow | wet out product to minimize airborne dust. local regulations for disposal |
| Waste disposal | Consult and follow local regulations. |
| Handling procedures and equipment: | none |
| Storage requirements: | Store in closed containers – keep containers closed when not being used |
| Specific shipping information: | Not regulated under Canadian TDG or US Title 49 CFR |

8. FIRST AID MEASURES

| | |
|---------------|---|
| Inhalation: | Always seek medical attention if any symptoms of irritation persist. Move effected individual to source of fresh air. |
| Skin contact: | Wash exposed area with soap and water. If irritation develops seek medical attention. |
| Eye contact: | Flush eyes continuously with clean tepid water or eye wash solution until particulate is removed. |
| Ingestion: | Always seek medical attention if any symptoms of irritation presents – none is expected. |

9. PREPARATION OF THE MATERIAL SAFETY DATA SHEET

| | |
|----------------------|--|
| Prepared by: | Laurie Preston, Vice President, Becker Arena Products Inc. |
| Telephone number: | 952-980-2690 |
| Date of preparation: | July 7, 2010 |

10. WHMIS SYMBOL THAT SHOULD APPEAR ON THE WARNING LABEL FOR THIS PRODUCT



U.S. Federal Regulations TSCA Inventory Status: Reported/Included.

Title III Hazard Classifications Sections 311, 312

Acute: Yes Chronic: No Fire: No

Reactivity: No Pressure: No

Lists

Extremely Hazardous Substance: No CERCLA Hazardous Substance: No

Toxic Chemical: No

Canadian WHMIS Classification: D2B

Other Information:

NFPA, NPCA-HMIS, NPCA-HMIS Rating

Health: 1 Flammability: 0 Reactivity: 0

Personal Protection rating to be supplied by user depending on use conditions.

11. NOTES

IARC – International Agency for Research on Cancer

N.Ap. Not Applicable (reference: Controlled Products Regulations, *Information to be Disclosed on the Material Safety Data Sheet* § 12. (6))

N.Av. Not Available – as the above regulation



115 MAIN STREET S. SUITE H
 HAILEY, ID 83333
 PHONE: (208) 788-4221
 FAX: (208) 788-2924

| | |
|------------|-------------------------|
| INVOICE # | INVOICE DATE |
| 111839863 | 11/05/2014 |
| DUE DATE | CUSTOMER ACCOUNT NUMBER |
| 11/06/2014 | 6881 |
| AMOUNT DUE | TERMS: |
| 1,278.21 | Open Terms |

BILL TO:

HAILEY ICE

PO BOX 4616
 HAILEY ID 83333

PLEASE DETACH AND RETURN THIS TOP PORTION
 WITH YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY
 115 S MAIN ST STE H
 HAILEY, ID 83333

INVOICE

| DESCRIPTION | QUANTITY | CHARGE | EXT. PRICE |
|---|----------|--------|-------------------------------------|
| PLANNING DESIGN REVIEW | 450 | 1.00 | 450.00 |
| PLANNING DESIGN REVIEW + Commercial Sq. Ft. | 1 | 774.00 | 774.00 |
| PLANNING POSTAGE | 1 | 14.21 | 14.21 |
| PLANNING PUBLICATION | 1 | 40.00 | 40.00 |
| CITY OF HAILEY 115 MAIN ST SOUTH STE H HAILEY ID 83333 Receipt No: 2.051403 6881 HAILEY ICE PO BOX 4616 HAILEY ID 83333 Previous Balance: 2,772.86 Accounts Receivable 1,278.21 A/R Payments 001-00-10700 Accts Rec Cash Clearing Acct Total: 1,278.21 New Balance: 1,494.65 Check - MMB 1,278.21 Check No: 1276 Total Applied: 1,278.21 Change Tendered: .00 | | | 1,278.21 TOTAL AMOUNT DUE |

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 11/05/2014 03:15PM

THANK YOU FOR YOUR PROMPT PAYMENT
 For Billing Inquiries Call: (208)788-4221
 Office Hours: 9:00 a.m. - 5:00 p.m.
 Monday thru Friday