

**AGENDA**  
**HAILEY PLANNING & ZONING COMMISSION**  
**Monday, December 10, 2012**  
**Hailey City Hall**  
**6:30 p.m.**

**Call to Order**

**Public Comment** for items not on the agenda

**Consent Agenda**

CA 1 Motion to approve minutes of November 12, 2012 P&Z Meeting

**New Business**

NB 1 Motion to approve Findings of Fact, Conclusions of Law and Decision – approval of design review for an application by Michael Kraynick and Nancy Linscott (Inezita Holdings LLC) for Design Review of an addition to a residence located at present Hailey Townsite, Blk 61, Lots 9A & 12A (317 E. Spruce St. and immediate lot to the north), within the Limited Residential 1 and Townsite Overlay Zoning Districts.

NB 2 Public Hearing and Consideration of an application by Terra Form Companies for a Conditional Use Permit for a wholesale distributor with incidental and subordinate retail sales, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

NB 3 Public Hearing and Consideration of an application Terra Form Companies for Design Review of a proposed building, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

**Old Business**

None at this Time

**Commission Reports and Discussion**

**Staff Reports and Discussion**

SR 1 Discussion of current building activity

SR 1 Discussion regarding Airport West Sign

SR 2 Discussion of the next Planning and Zoning meeting: Monday, January 14, 2013

**Adjourn**

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

**MINUTES OF THE  
HAILEY PLANNING & ZONING COMMISSION  
Monday, November 12, 2012  
Hailey City Hall  
6:30 p.m.**

**Present:** Janet Fugate, Owen Scanlon, Jay Cone  
**Absent:** Geoffrey Moore  
**Staff:** Micah Austin, Bart Bingham

**Call to Order**

[6:47:13 PM](#) Vice-Chair Janet Fugate called the meeting to order.

**Public Comment** for items not on the agenda

[6:47:32 PM](#) None offered.

**Consent Agenda**

*CA 1 Motion to approve minutes of October 9, 2012 P&Z Meeting*

~~*CA 2 Motion to approve the design review exemption request from Platt Electric for installation of awnings and a new window on the Platt Electric store, located at 3980 Woodside Blvd. (Woodside Sub #10, Lots 8 & 9, Blk 45), within the Light Industrial Zoning District.*~~

[6:47:46 PM](#) Owen Scanlon pulled CA 2. Janet Fugate abstained from CA 1 since she was not present for that meeting.

[6:48:10 PM](#) **Owen Scanlon moved to approve CA 1. Jay Cone seconded, and the motion passed unanimously with Ms. Fugate abstaining.**

[6:48:31 PM](#) Mr. Scanlon questioned the exterior siding on the project and the awning color as shown on the illustration. Bart Bingham explained the request was for a new awning only. Mr. Scanlon expressed hope the applicant would consider color in the exterior rather than simply white as shown, and Mr. Bingham offered to pass that along to Platt Electric.

[6:50:06 PM](#) **Owen Scanlon moved to approve CA 2 with the condition of changing the awning color from white to blue or a color harmonious with trim on the building. Jay Cone seconded, and the motion carried unanimously.**

**New Business**

*NB 1 Motion to approve Findings of Fact, Conclusions of Law and Decision – approval of design review for an alteration to the rear entryway area and structure of Blaine County Courthouse, located at Hailey, Blk 27, Lots 13-22 (206 S. 1st Ave.), within the Business and Townsite Overlay Zoning Districts.*

[6:50:54 PM](#) Bart provided background and overview. Commission discussion included historical standards, utility screening, and specific conditions for approval.

[6:55:12 PM](#) **Owen Scanlon moved to approve NB 1 with the conditions shown in Commission packets. Jay Cone seconded, and the motion passed unanimously.**

*NB 2 Motion to approve Findings of Fact, Conclusions of Law and Decision – approval of a Conditional Use Permit for a physical fitness facility, to be located at Hailey Business Park, Blk*

*1, Lots 10 & AM 11A (810 S. Main, situated in designated space at the middle of Unit C), within the Technological Industry Zoning District.*

[6:55:51 PM](#) Bart provided background and overview.

[6:57:18 PM](#) **Owen Scanlon moved to approve NB 2 with the conditions shown in Commission packets. Jay Cone seconded, and the motion carried unanimously.**

*NB 3 Public Hearing and Consideration of an application by Michael Kraynick and Nancy Linscott (Inezita Holdings LLC) for Design Review of an addition to a residence located at present Hailey Townsite, Blk 61, Lots 9A & 12A (317 E. Spruce St. and immediate lot to the north), within the Limited Residential 1 and Townsite Overlay Zoning Districts.*

[6:58:02 PM](#) Bart Bingham provided an overview of the project and this most recent application. Photos were provided by the applicants who were also present to provide further details.

[7:08:21 PM](#) Vice Chair Fugate opened the meeting to the applicants for comments. Mr. Kraynick addressed the applications and Commission concerns.

[7:11:07 PM](#) Vice Chair Fugate then opened the matter to public comment. KristiAnn Beck, 525 N. 4<sup>th</sup> Avenue, asked if the foundation had been approved for this project; was the porch or foundation on the original application; and what were the height requirements? As the neighboring property owner, she further voiced her frustration with the way in which the project has progressed and the applicant's "disregard for neighbors."

[7:15:38 PM](#) With no further comment offered, the meeting was closed to public comment. Micah Austin addressed the matter of foundation and height requirements, and Bart Bingham noted that the height requirement has been met. Ms. Fugate asked staff to explain to Ms. Beck how she might get full information at City Hall in answer to her questions and concerns. Mr. Austin and Mr. Bingham both offered their assistance to Ms. Beck. Mr. Austin noted the applicant has met the zoning code and the building code. Ms. Beck continued to express frustration, and Ms. Fugate explained that the issue at this meeting is an amendment to what has already been approved.

[7:21:52 PM](#) Commission discussion included on the project's satisfaction of requirements. Jay Cone opined that the addition benefited the visual of this project. Janet Fugate asked for clarification on setbacks. Mr. Bingham advised that setbacks are satisfied.

[7:25:15 PM](#) Ms. Fugate offered an opportunity for the applicant to comment further. No comment was offered.

[7:25:36 PM](#) **Jay Cone moved to approve the design review application in NB 2, provided conditions A-I are met. Owen Scanlon seconded, and the motion carried unanimously.**

### **Old Business**

None.

### **Commission Reports and Discussion**

#### **Staff Reports and Discussion**

*SR 1 Discussion of current building activity.*

[7:27:39 PM](#) Bart Bingham provided the update.

*SR 2 Building Code update pertaining to window's exemption.*

[7:29:10 PM](#) Mr. Bingham continued on the window exemption. Micah Austin explained changes in code and fees.

*SR 3 Discussion of the next Planning and Zoning meeting: December 10, 2012.*

[7:34:42 PM](#) Micah Austin informed that a CUP will be on this agenda for the Rick Davis subdivision. He noted that he has been working with this applicant and a CUP will be necessary to make a building work on this particular lot.

Janet Fugate noted she was sorry to hear of Mike Pogue's resignation from the Commission. Micah Austin added that he has offered some suggestions for this position to the Mayor.

**Adjourn**

[7:50:31 PM](#) **OS moved to adjourn. Jay Cone seconded, and the motion carried unanimously.**

City of Hailey - Design Review Application

Submission Date: \_\_\_/\_\_\_/\_\_\_

Project Name: 317 E SPRUCE - KRAYNICK LINDSCOTT Parcel No.

RPH \_\_\_\_\_

Legal Description of Property: Subdivision HAILEY TOWNSITE Lot(s) 12A Block 61

Street Address of Property: 317 E. SPRUCE STREET

Current Zoning of Property: LR-1 Year of original construction: 1935/1983

(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable) 2000/650 BASEMENT Proposed addition or new construction sq. ft. 240

Name of Owner of the Property: INCENTA HOLDINGS LLC

Mailing Address: 113 E. BULLION ST, STE A City: HAILEY State: ID Zip: 83333

Phone: (208) 788-4668 Fax: (208) 788-4143 Cell: (208) 700-2509

Email Address: \_\_\_\_\_

Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any ex parte discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: [Signature] Date: 10 / 16 / 12

Name of individual to contact on behalf of Trust or LLC (if applicable): MICHAEL J. KRAYNICK

Mailing Address: AS ABOVE City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Cell: ( ) \_\_\_\_\_

Email Address: mkraynick@cox.net

Application Contact (if different than above): AS ABOVE

\*\*Application Contact will be the Planning Department's primary point of contact for questions related to the application.

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Cell: ( ) \_\_\_\_\_

Email Address: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days form the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

- Commercial, Mixed-Use or Multi-Family..... \$ 450.00
- plus \$25 / 1,000 gross square feet..... \$
- OR  Single-Family Dwelling, Duplex or Accessory Structure in TO..... \$ 250.00
- OR  No Substantial Impact.... (Mailing only)..... \$ 75.00
- OR  Modification to DR Approval.. (No publication or mailing)..... \$ 50.00
- OR  DR Exemption... (No publication or mailing)..... \$ 30.00
- Publication cost..... \$ 40.00
- Mailing (# of addresses 50 ) x ( .45 postage + .15 paper, envelope & label ) \$ 30.00
- DO NOT COUNTY DUPLICATES OR CITY OF HAILEY
- Total Due..... \$ 320.00

DESIGN REVIEW - CHECKLIST — PLEASE INCORPORATE ALL PRIOR SUBMISSION RE: PRIOR DR APPROVAL

City Use Only -

Project Name: KRAYNICK-LINSCOTT RESIDENCE

Certified Compete by: \_\_\_\_\_

Date: 10 / 18 / 12

The following items must be submitted with the application for the application to be considered complete (✓):

- ✓ One (1) 24" x 36" set of plans with scale indicated containing the following:
- ✓ Vicinity map showing project location in relationship to adjacent buildings and surrounding area. *on file*
- ✓ Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions *on file* (must show location of adjacent buildings and structures).
- ✓ Total square footage of subject property, including lot dimensions. *on file w/ city*
- ✓ Building setbacks. *See Site plan*
- ✓ Staging and contractor parking plan. *See Site plan - existing - on file w/ city*
- ✓ Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures). *EXISTING BUILDINGS - on file*
- ✓ Landscape plan *on file - no real change from orig. Application*
  - \_\_\_ Existing tree to be shown as retained/relocated/removed.
  - \_\_\_ All proposed species type/size/quantity of each.
  - \_\_\_ Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
- ✓ Floor plan (include gross square footage for each floor, occupancy classification and type of construction). *on file w/ city - no real change*
- ✓ Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone). *SEE SITE PLANS*
- ✓ Drainage plan (grading, catch basins, piping, and dry-wells). *See Site plan on file*
- ✓ Detailed elevations showing facade of all sides of proposed building and other exterior elements. *on file w/ city -*
- ✓ Must show elevation points of record grade. Include notes on colors, materials, dimensions.
- ✓ Colored rendering of at least one side of the proposed building. *See plans*
- ✓ Idaho licensed architect (plans for single family dwellings may be stamped by an Idaho licensed structural engineer)
- ✓ North point and scale.
- ✓ Six (6) 11" x 17" copies of any larger plans/maps (if project is located within the Townsite Overlay, then one (1) 11" x 17" copy is sufficient).
- ✓ PDF files of all required documents and 11" x 17" plans/maps; email PDFs to [planning@haileycityhall.org](mailto:planning@haileycityhall.org).
- ✓ Color photographs of any existing structures on the site.
- ✓ Materials and colors sample board. Each sample approximately 12" x 12". *NO CHANGE TO SUBMITTED SAMPLES*
- ✓ Sign Plan (if applicable). *- on file w/ city - NO REAL CHANGE*
- N/A Area Development Plan (required if property owner also owns adjacent parcels).
- N/A For property located in Airport West, Design Review approval by Airport West Design Board.
- City will provide Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- N/A Names and addresses of easement holders within subject property. *NONE*
- ✓ Written statement of how each design review standard is met (contact the Planning Coordinator for which set of standards is applicable to your project).
- TBD Other information as required by the Zoning Administrator, Hearing Examiner or Commission.

City Use Only:

- \_\_\_ Double check address
- \_\_\_ Advise applicant if Lot Line Adjustment is needed
- \_\_\_ Check following basic standards:
 

___ Density	___ Lot coverage <i>21%</i>
___ Setbacks	___ Floor area
___ Height (plans must show elevation points of record grade)	___ Parking (# of spaces)



115 MAIN STREET S. SUITE H  
 HAILEY, ID 83333  
 PHONE: (208) 788-4221  
 FAX: (208) 788-2924

INVOICE #	INVOICE DATE
10374	10/19/2012
DUE DATE	CUSTOMER ACCOUNT NUMBER
10/19/2012	175
AMOUNT DUE	TERMS:
320.00	Open Terms

BILL TO:

KRAYNICK, MICHAEL

318 E SPRUCE  
 LOT 1,2,3,4 BLK 60  
 HAILEY ID 83333

PLEASE DETACH AND RETURN THIS TOP PORTION  
 WITH YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY  
 115 S MAIN ST STE H  
 HAILEY, ID 83333

# INVOICE

DESCRIPTION	QUANTITY	CHARGE	EXT. PRICE
PLANNING DESIGN REVIEW- Residence Addition	1.	250.00	250.00
PLANNING PUBLICATION	1.	40.00	40.00
PLANNING MAIL	50.	.60	30.00
PLANNING	.		
			320.00
			TOTAL AMOUNT DUE

THANK YOU FOR YOUR PROMPT PAYMENT  
 For Billing Inquiries Call: (208)788-4221  
 Office Hours: 9:00 a.m. - 5:00 p.m.  
 Monday thru Friday

MICHAEL J. KRAYNICK, P.L.L.C.  
ATTORNEY AT LAW

October 18, 2012

City of Hailey  
Community Development Department  
Attn: Micah Austin  
115 Main Street S.  
Hailey, ID 83333

RE: 317 E. Spruce Street – Modification to DR approval

Dear Micah:

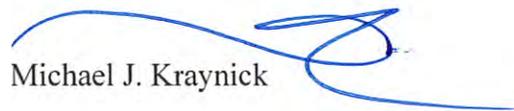
Please find an application related to a modification and/or amendment to the original DR approval concerning the above referenced property.

This is an application to modify the original Design Review Approval insofar as we are desiring to put a small addition onto the log house. There is virtually no other change to the original application in this matter or to the plans. The buildings are now in place and are not being relocated. The landscape plan remains the same with the exception that there will be about 240 square feet less of it. The lot coverage does not appreciably change. Basically, nothing changes but that we would like to place an addition on the west side of the log structure where the kitchen is in order to extend the dining area. We respectfully request that the prior application and submissions as well as the findings of fact be merged and incorporated into this request for a modification to include the addition.

Please note: Some of the engineering/design from Mike Boiuss may change slightly because they were a bit confused about the addition but otherwise it is reasonably accurate for the purposes of design review.

Thank you for your assistance and cooperation in this matter.

Sincerely,

  
Michael J. Kraynick

**PUBLISH:  
IDAHO MOUNTAIN EXPRESS  
Oct. 24, 2012**

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**NOTICE OF PUBLIC HEARING  
HAILEY PLANNING AND ZONING  
COMMISSION**

**Monday, November 12, 2012**

PUBLIC NOTICE IS HEREBY GIVEN that the Hailey Planning and Zoning Commission will hold a Public Meeting at **6:30 p.m.** on **Monday, November 12, 2012**, to be held in the upstairs meeting room of Hailey City Hall and will hold Public Hearings on the following item:

- Consideration of an application by Michael Kraynick and Nancy Linscott (Inezita Holdings LLC) for Design Review of an addition to a residence located at present Hailey Townsite, Blk 61, Lots 9A & 12A (317 E. Spruce St. and immediate lot to the north), within the Limited Residential 1 and Townsite Overlay Zoning Districts.

Any and all interested persons are invited to attend this public hearing or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83333 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org). Supporting documents for this item can be viewed on the City of Hailey's website as of the date of this publication; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on either Current Applications or Ordinance Amendments. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this notice, or for special accommodations to participate in the noticed meeting, please contact [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

**PUBLISH:  
IDAHO MOUNTAIN EXPRESS  
Oct. 24, 2012**

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# City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

117 MAIN STREET SOUTH  
HAILEY, IDAHO 83433

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

Phone: (208) 788-9815  
Fax: (208) 788-2021

October 26, 2012

Dear Public Agency:

The Hailey Planning and Zoning Commission will hold a public hearing on the item(s) listed below on **Monday, November 12, 2012**, at 6:30 p.m., Hailey City Hall.

- Consideration of an application by Michael Kraynick and Nancy Linscott (Inezita Holdings LLC) for Design Review of an addition to a residence located at present Hailey Townsite, Blk 61, Lots 9A & 12A (317 E. Spruce St. and immediate lot to the north), within the Limited Residential 1 and Townsite Overlay Zoning Districts.

This Notice is issued pursuant to Idaho State Code (Local Land Use Planning Act), Section 67-6509, whereby notice must be provided to all political subdivisions providing services within the planning jurisdiction at least 15 days prior to public hearings regarding proposed amendments to the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, or any other land use ordinance.

You are invited to attend this public hearing or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83333 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org).

Supporting documents for this item(s) can be viewed on the City of Hailey website as of the date of this letter; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on Current Applications or Ordinance Amendments. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Planning Coordinator at [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

# City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH  
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815  
Fax: (208) 788-2924

October 25, 2012

Dear Property Owner:

Your property has been identified as being located within 300 feet of the property listed below; this letter is being sent to you to give you the opportunity to comment on the following application related to the following property:

Consideration of an application by Michael Kraynick and Nancy Linscott (Inezita Holdings LLC) for Design Review of an addition to a residence located at present Hailey Townsite, Blk 61, Lots 9A & 12A (317 E. Spruce St. and immediate lot to the north), within the Limited Residential 1 and Townsite Overlay Zoning Districts.

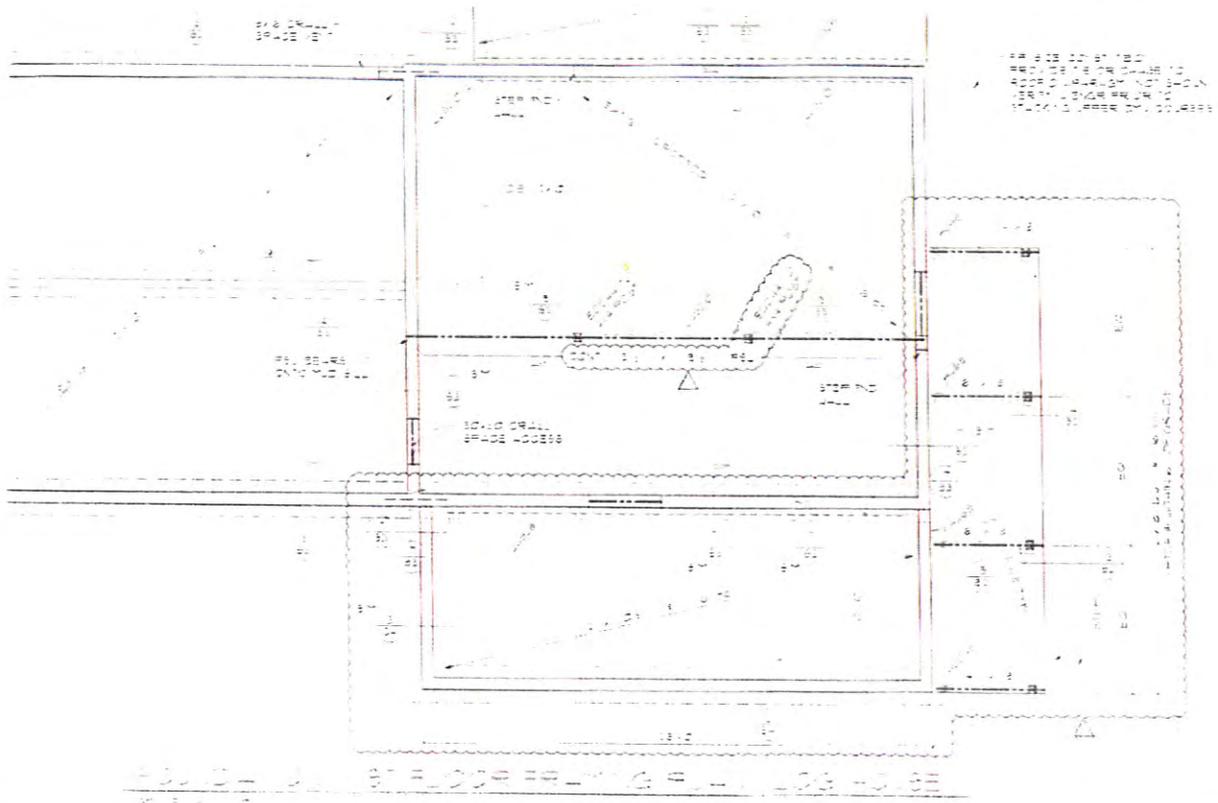
A map showing the location of the proposed addition and a rendering of it are included with this letter.

A public hearing will be held on this application as part of the Hailey Planning and Zoning Commission's meeting on **Monday, November 12, 2012** at 6:30 p.m., at Hailey City Hall. You are invited to attend this public hearing and/or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83333 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org).

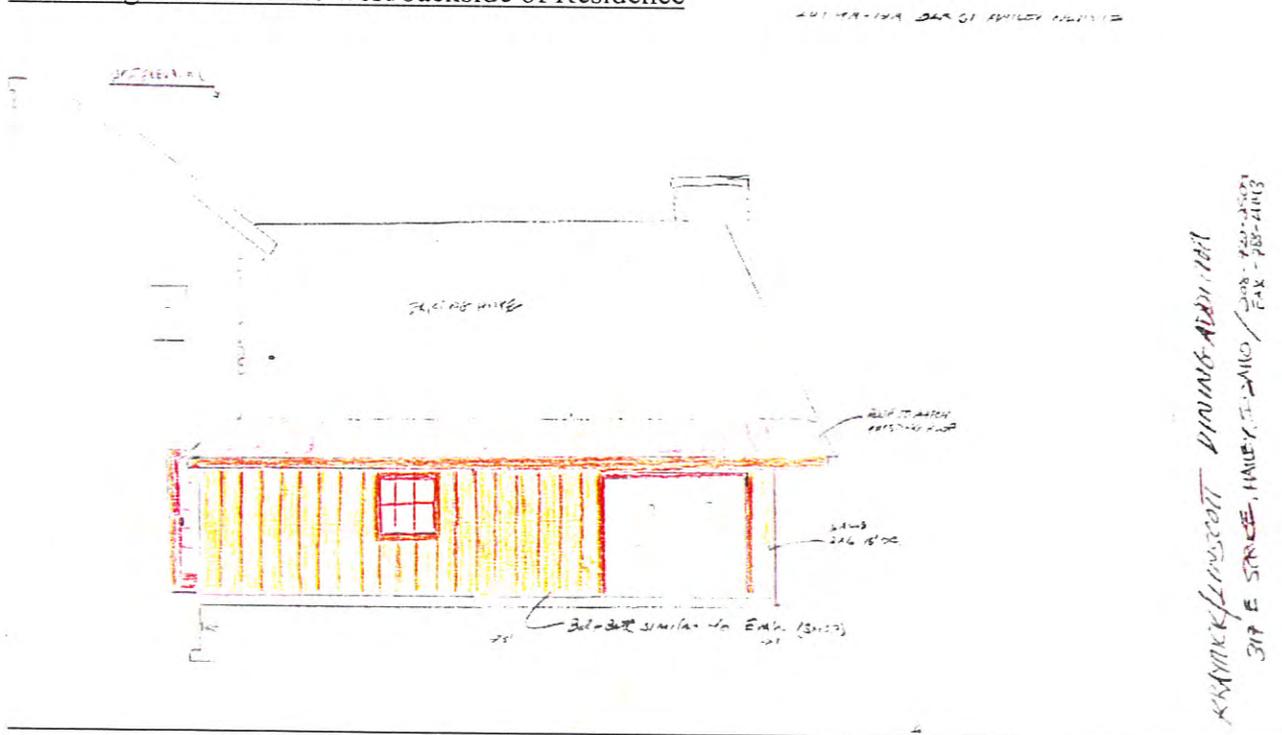
Supporting documents for this application can be viewed on the City of Hailey website as of the date of this letter; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on Current Applications. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Planning Coordinator at [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

Proposed Addition to Back of Residence



Rendering of Addition to west/backside of Residence

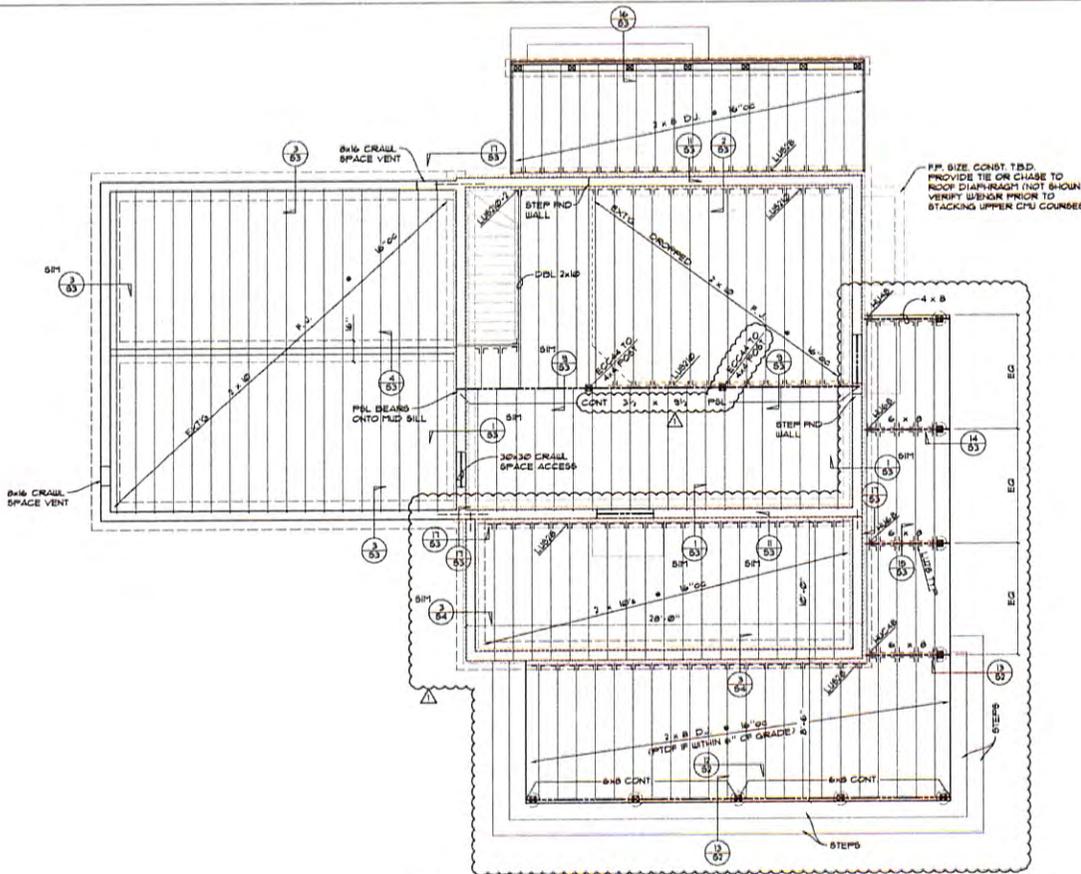


<b>Parcel Number</b>	<b>Owner 1</b>	<b>Owner 2</b>	<b>Mail Address Line 1</b>	<b>Mail Address Line 2</b>	<b>Mail Address Line 3</b>	<b>Mail Address Line 4</b>	<b>Mail Address Line 5</b>
RPH000 006101 7A	ALGIERS MICHAEL A		1130 WANAK A ST	HONOL ULU HI 96818- 0000			
RPH000 006000 3A	ALLINGTON FREDERICK C	ALLINGTON ELIZABETH A	115 S 2ND AVE	HAILEY ID 83333- 0000			
RPH000 006000 2A	ANDREWS DANA D		C/O DANA FERRIS	317 E SILVER ST	HAILEY ID 83333- 0000		
RPH000 006100 5B	BECK CRISTIANN		BOX 772	SUN VALLEY ID 83353- 0000			
RPH000 007202 1A	BECKLEY MAXINE		MAXINE BECKLE Y ESTATE	C/O RONALD BECKLE Y, EXECUT OR	188 S 700 E	DIETRIC H ID 83324- 0000	
RPH000 006102 2B	BROWN CHAD	OLSEN REBECCA	BOX 5982	KETCHU M ID 83340- 0000			

RPH000 007201 0A	CARNEY BRIAN G	CARNEY JULIE A	BOX 2126	HAILEY ID 83333- 0000			
RPH000 005900 1A	DAVIS JEFFREY B	DAVIS MELANIE T	BOX 337	HAILEY ID 83333- 0000			
RPH000 008000 1A	DORR C JAY	DORR JAMES FRANK	PO BOX 2590	HAILEY ID 83333- 0000			
RPH000 006102 0A	<a href="#">FEDERAL NATIONAL MORTGAGE ASSOCIATION</a>		<a href="#">C/O JPMORGA N CHASE BANK NA</a>	7301 BAYMEA DOWS WAY	JACKSO NVILLE FL 32256- 0000		
RPH000 006001 6A	GOEPFERT-MAGUIRE CHARLES	GOEPFERT- MAGUIRE MARIA	416 N 3RD AVE	HAILEY ID 83333- 0000			
RPH000 006101 3A	HARDY STEVEN L	HARDY DIANA	BOX 3202	HAILEY ID 83333- 0000			
RPH000 008100 1B	HODGE DONALD C		DONAL D C HODGE MANAG ED IRA	C/O U.S. BANK AS TRUSTE E	PO BOX 64142	ST. PAUL MN 55164- 9366	

RPH000 006100 9A	INEZITA HOLDINGS LLC		C/O MICHAEL L J KRAYNICK	113 E BULLION ST STE A	HAILEY ID 83333- 0000		
RPH000 006000 1A	KRAYNICK MICHAEL J		113 E BULLION ST STE A	HAILEY ID 83333- 0000			
RPH000 006200 5A	LUKES KAREN L		BOX 3103	HAILEY ID 83333- 0000			
RPH000 006001 3A	MASON MASON REAL ESTATE LLC	MASON WILLIAM- MANAGER	BOX 127	SUN VALLEY ID 83353- 0000			
RPH000 006102 2A	MOORE RICHARD		1225 W GOLD	BUTTE MT 59701- 0000			
RPH000 006100 3A	NELSEN KAREN		PO BOX 4678	HAILEY ID 83333- 0000			
RPH000 006100 1A	NORRIS ALBERT B TRUSTEE	ALBERT B NORRIS TRUST	21 6TH AVE	SAN FRANCISCO CA 94118- 0000			

RPH000 006201 0A	PEARSON RALPH S JR		15155 BECKY LN	MONTE SERENO CA 95030- 2105			
RPH000 006001 9A	TAYLOR AARON K	TAYLOR SALOME	BOX 3096	HAILEY ID 83333- 0000			
RPH000 006200 1A	TONERI LYNN FRANCES		671 STATE ROUTE 179 STE DCT3	SEDON A AZ 86336- 6122			
RPH000 008101 7A	TOOTHMAN BRADLEY J	TOOTHMAN KATE	BOX 1644	HAILEY ID 83333- 0000			
RPH000 008101 3A	WELLS MATTHEW B		BOX 802	HAILEY ID 83333- 0000			



FOUNDATION / 1ST FLOOR FRAMING PLAN "LOG HOUSE"  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES AND STRUCTURAL SPECIFICATIONS**

SEE SHEET 04

**FOUNDATION & FRAMING NOTES**

THE ENGINEER HAS PREPARED THIS DRAWING TO THE BEST OF HIS ABILITY BASED ON THE DIMENSIONS, ELEVATIONS & TOP OF CONCRETE PROVIDED BY THE ARCHITECT. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS & TOP OF CONCRETE PRIOR TO COMMENCING CONSTRUCTION.

VENTING, INSULATION, VAPOR BARRIER, RADON, ETC. IS THE RESPONSIBILITY OF THE DESIGN/CONTRACTOR.  
ALIGN HOLD DOING w/ END OF SHEARWALL ABOVE. ATTACH TO DBL STUDS UNO. USE HOLD DOWN EPDS PER FPIR.

DO NOT BACKFILL WALLS UNTIL CONG. HAS CURED 7 DAYS, MIN.  
STITCH ALL STUD BUNDLES TOGETHER WITH (2) 16d COPPERS @ 16" O.C. MAX.  
ATTACH SHEATHING TO EACH STUD w/ 8d @ 8" O.C.

⊠ DENOTES (2) 2x6 TRIPPERS PLUS KING STUD OR (2) 2x6 STUDS MIN UNO. ALL POSTS FROM UPPER LEVELS MUST BE ALIGNED WITH AND MATCHED BY POSTING BELOW TO THE FOUNDATION, UNLESS TRANSFERRED.

SOLID BLDGS IN THE FLOOR SPACE IS REQ'D BENEATH ALL POSTS. SOLID BLDGS SHALL MATCH THE FULL DIMENSION OF THE POST ABOVE. "I" JOISTS ARE NOT CONSIDERED SOLID BLDGS.

TYPICAL HEADER SUPPORTS ARE (2) TRIPPERS w/ KING STUD UNO.

HOLD REIN. AT 3" CLR FROM BOTTOM OF FTG.

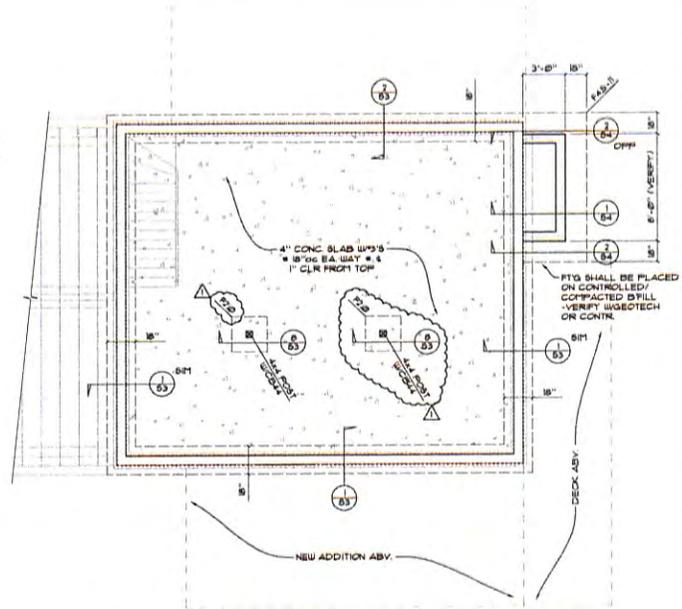
INSTALL HOLDINGS OVER EXTERIOR SHEATHING @ DBL STUDS

LOCATE ALL PADS FROM ARCHITECTURAL PLANS

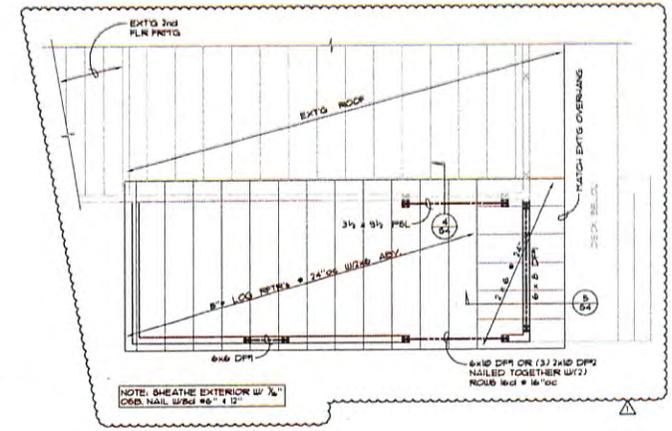
SEE STRUCTURAL SPECIFICATIONS

▽ DENOTES SHEARWALL

WEATING CONDITIONS MAY DEVELOP DURING CONSTRUCTION FOR WHICH NO SPECIFIC DETAIL APPLIES. NOTIFY ENGINEER PRIOR TO PROCEEDINGS.



BASEMENT FOUNDATION PLAN "LOG HOUSE"  
SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN - (ADDITION)  
SCALE: 1/4" = 1'-0"



**BOUISS & ASSOCIATES** P.A.  
REGISTERED PROFESSIONAL ENGINEERS  
STATE OF IDAHO  
1000 N. 10TH ST. SUITE 200  
BOISE, IDAHO 83702

**KRAYNICK RESIDENCE**  
HAILEY, IDAHO

PROJECT: 888-018

DATE: JULY 20, 2012

REVISIONS	DATE
CLIENT REV.	10/17/12

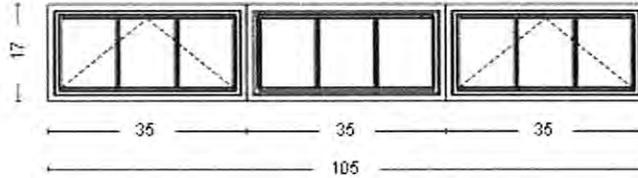
TITLE:  
**FOUNDATION & FRAMING PLANS**

SHEET:

**S1**

# Customer Approval Form:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Viewed from the Exterior

Quote Number: 4227647

Line Number: 10

Quote Qty: 1

Scaling: 1/2" = 1'

Description: ProLine, 3-Wide Awning, 105 X 17, Brown, 4-9/16"

Rough Opening: 105.75" X 17.75"

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.  
\*\* building owner, architect, contractor, installer and/or consumer



Quote Name: 3 wide awning

Project Name: Kraynick Residence

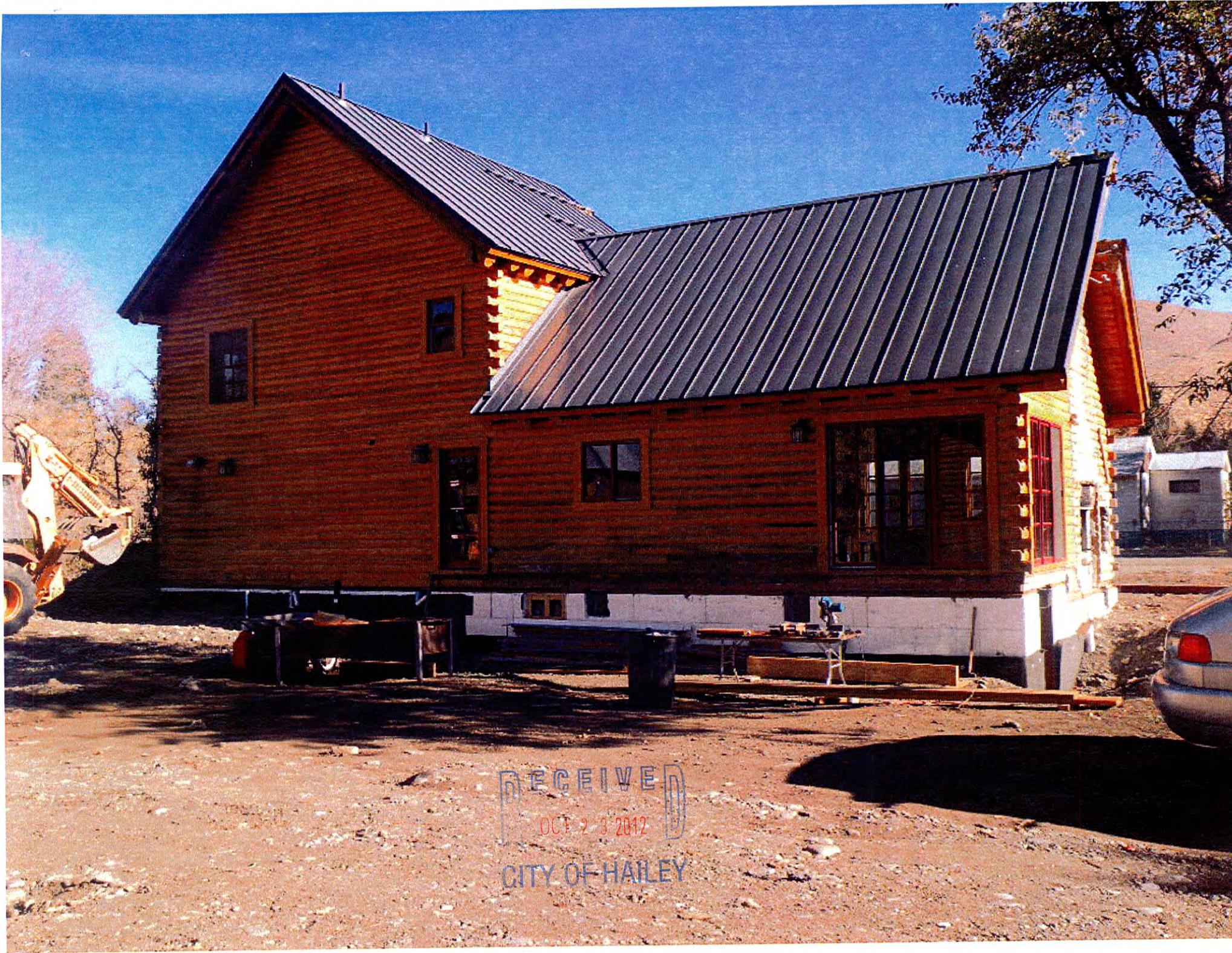
Jobsite Location: KETCHUM, ID

Room Location: None Assigned

Sales Branch Location: 38200 Pella Window & Doors



OCT 23 2012  
CITY OF HAILEY



RECEIVED  
OCT 23 2012  
CITY OF HAILEY



RECEIVED  
OCT 23 2012  
CITY OF HAILEY



RECEIVED  
OCT 23 2012  
CITY OF HAILEY

AMENDMENT TO BLDG PERMIT  
NO. 12-070  
LOT 9A-12A BLK 61 HAILEY TOWNSHIP

WEST ELEVATION



EXISTING HOME

ROOF TO MATCH  
EXISTING ROOF

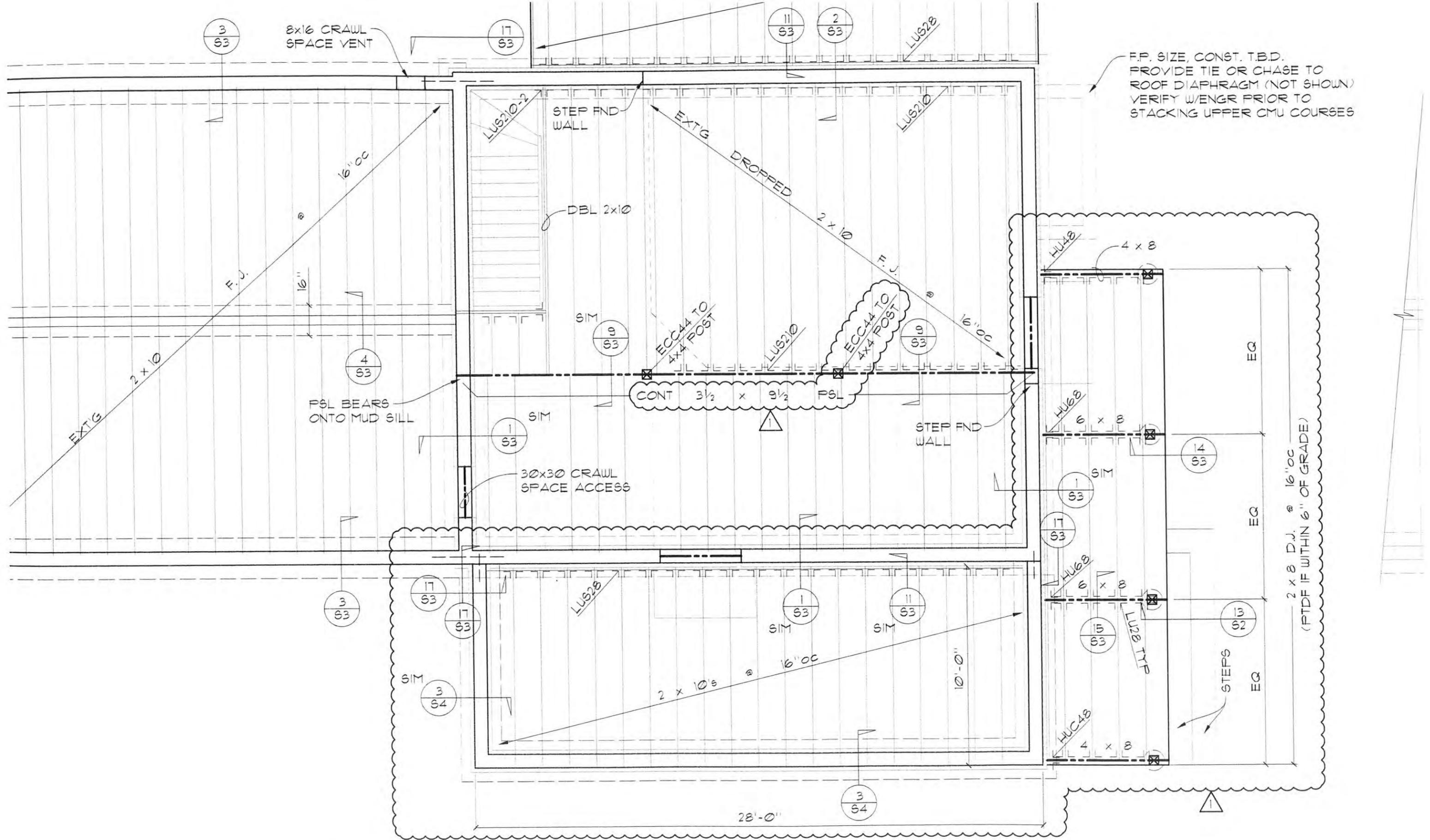
WALLS  
2x6 16' OC.

28' Bolt + BATT similar to EVAN (SHOP)

KRAYNICK/LINSCOTT DINING ADDITION

317 E SPRUCE, HAILEY, IDAHO / 208-720-2509  
FAX - 788-4143

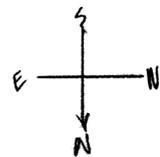
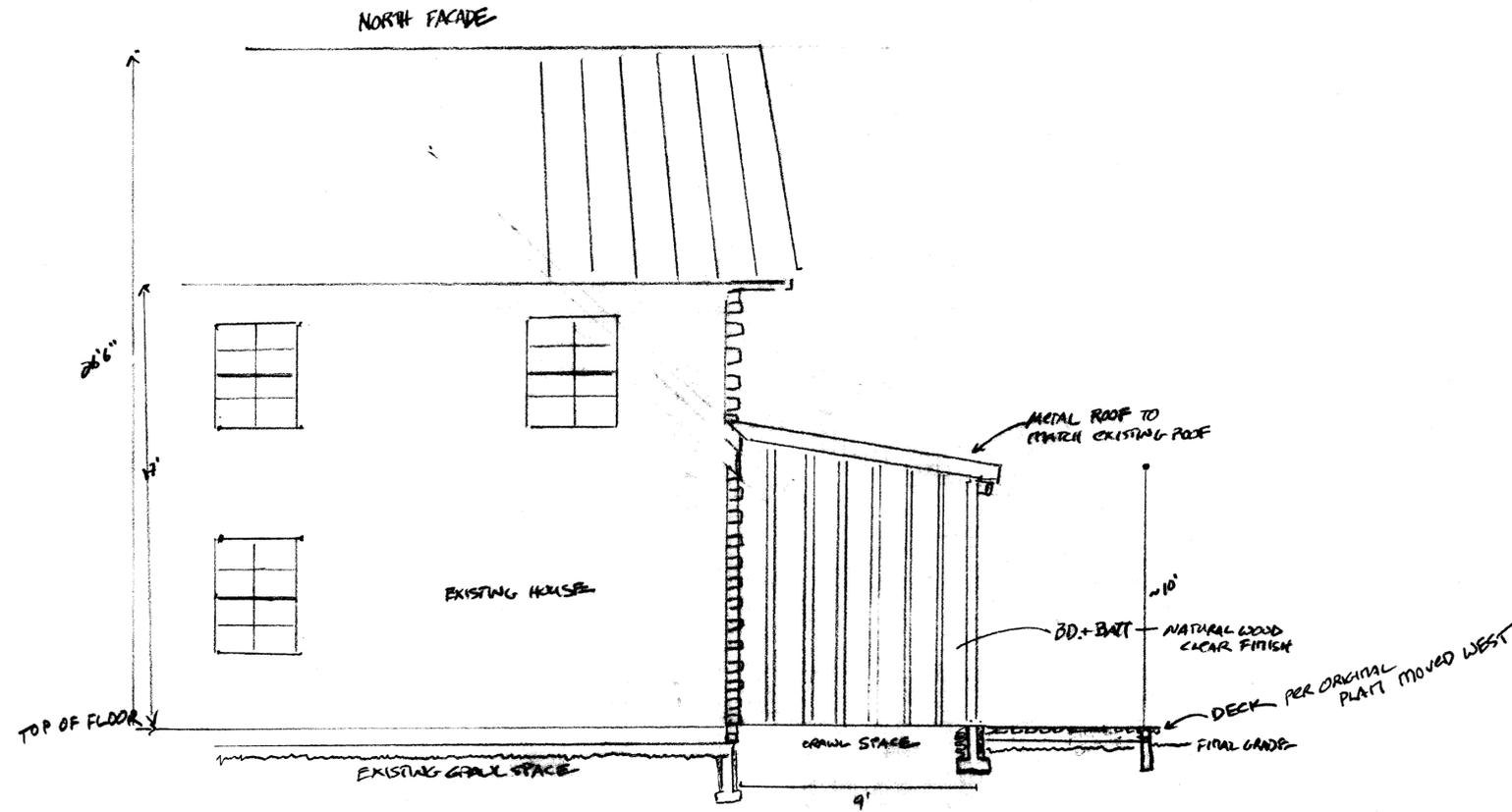
ceps



FOUNDATION / 1ST FLOOR FRAMING PLAN "LOG HOUSE"

SCALE: 1/4" = 1'-0"

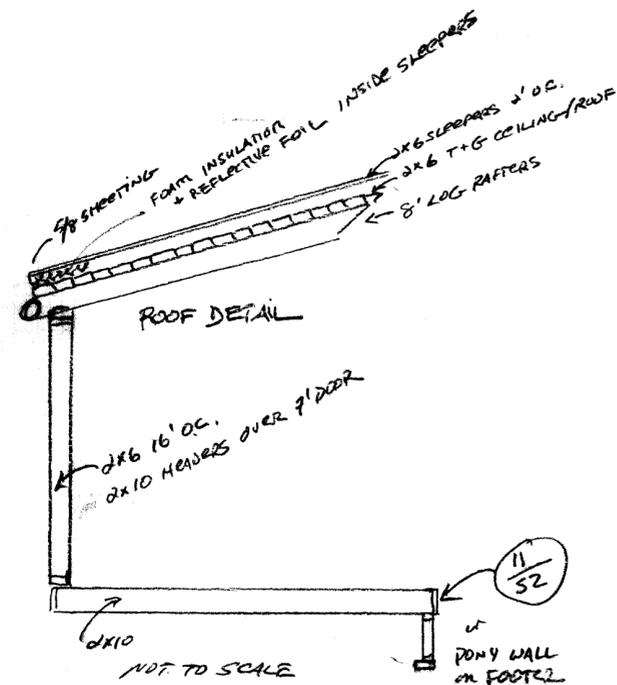
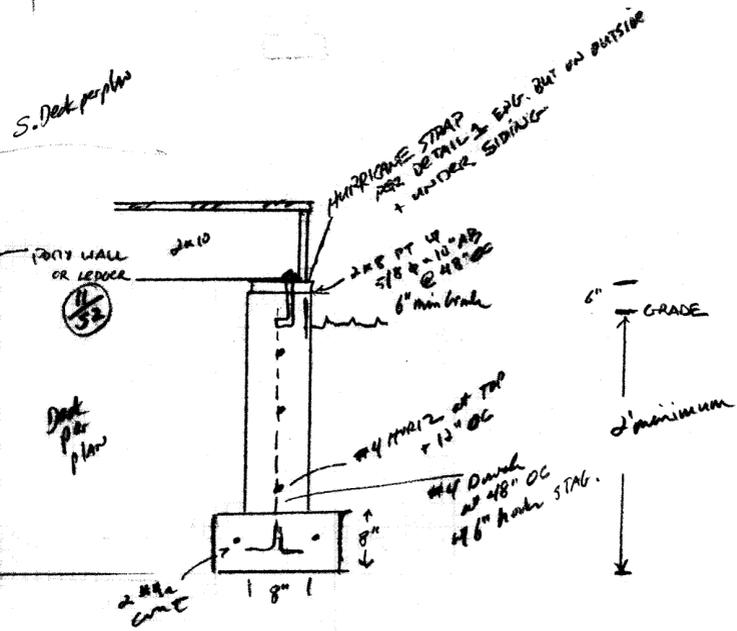
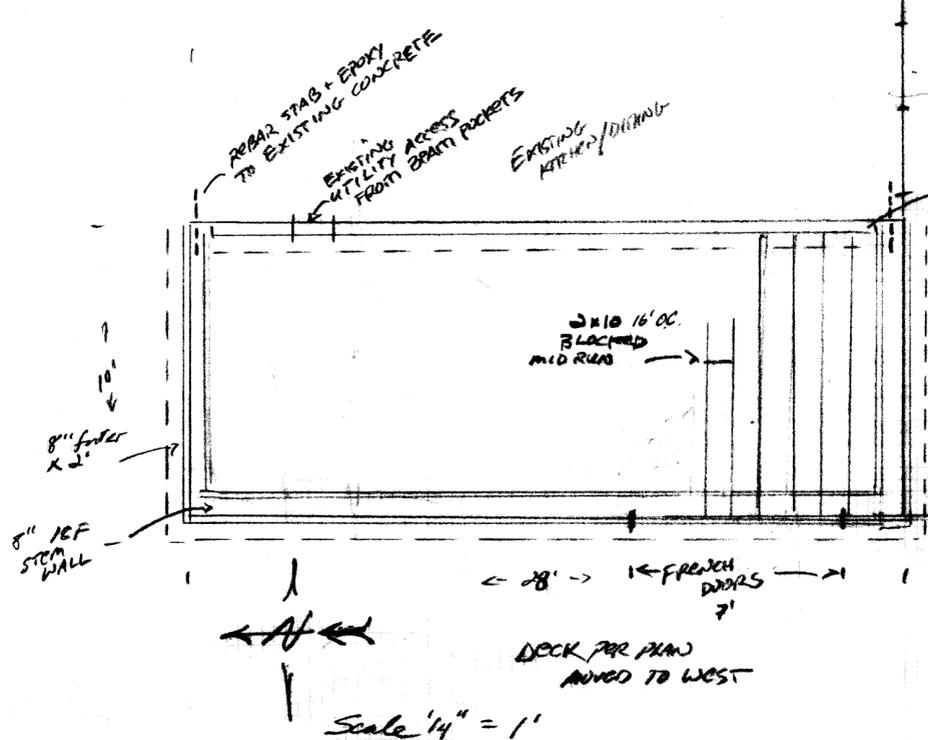
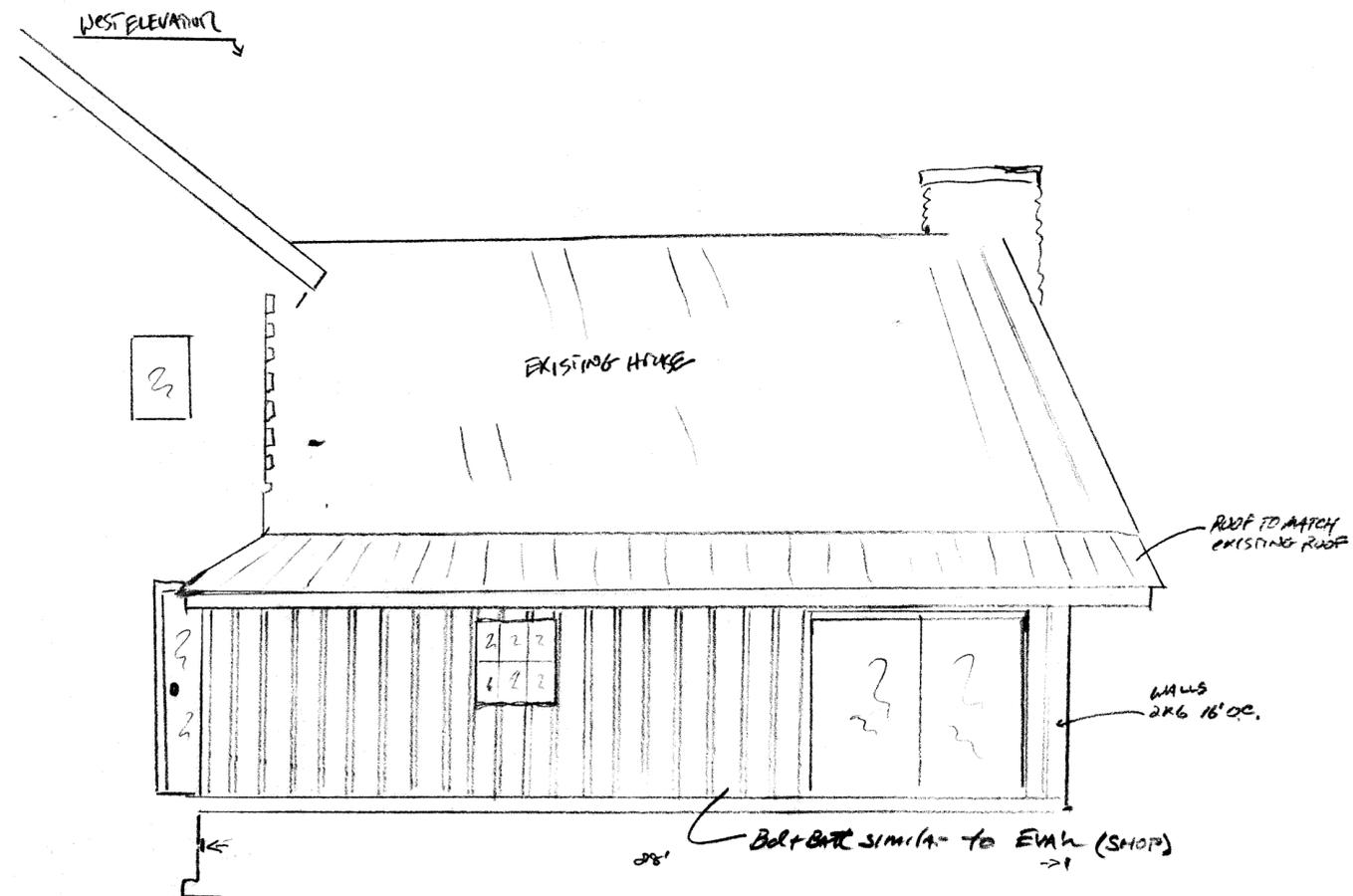
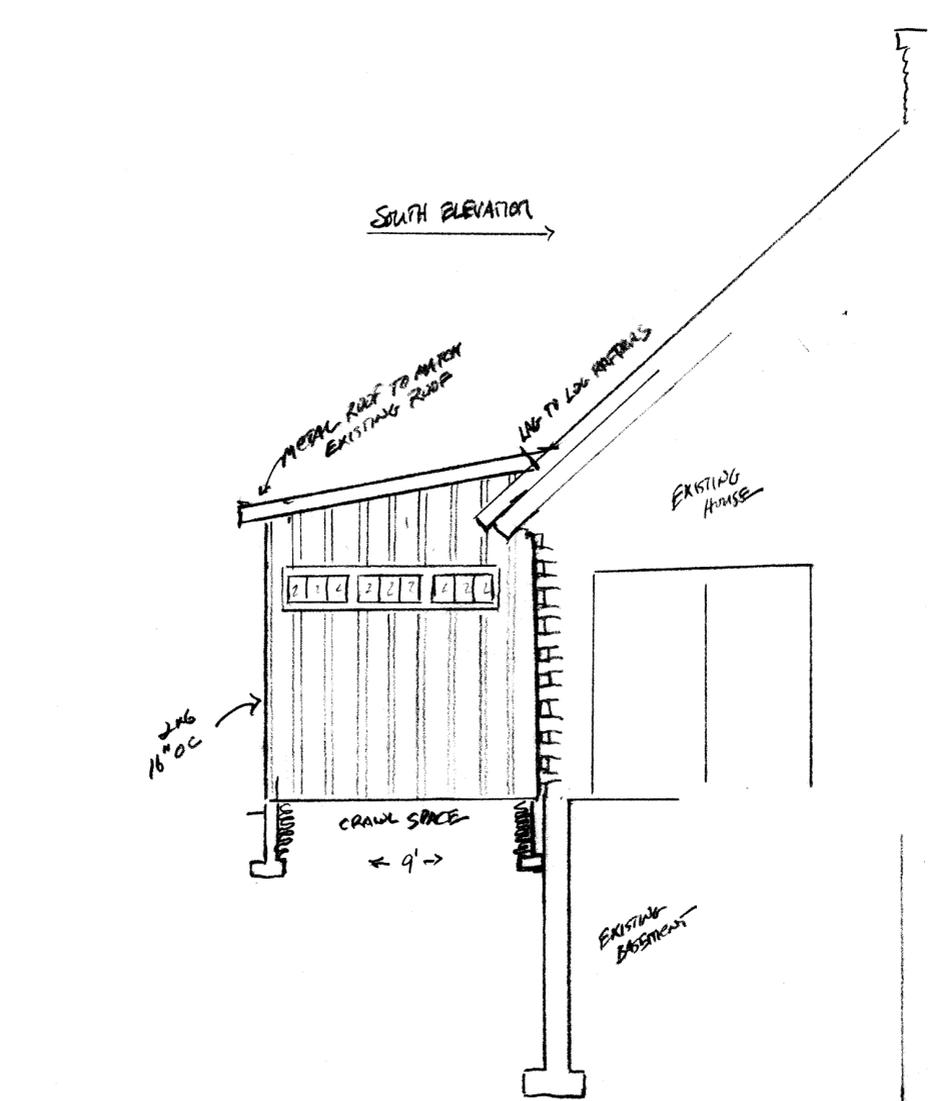
ATTENDMENT TO BLDG PERMIT  
NO 12-070  
LOT 9A-12A BLK 61, HAILEY TOWNSHIP



KRATZICK-LANSBURY DRYING ADDITION  
317 E SPRUCE, HAILEY, IDAHO / 208 788-7668 / FAX 788-4143

MAILING: 113 E BULLION ST, STE A  
HAILEY, ID 83333  
OWNER: MEXITA HOLDINGS, LLC

AMENDMENT TO BLDG PERMIT  
 NO. 12-070  
 LOT 9A-12A BLK 61 HAILEY TOWNSITE



ALL ABOVE INCORPORATES APPLICABLE NOTES, DETAILS + ENGINEERING FROM PLAN + ENGINEERING FOR PROJECT

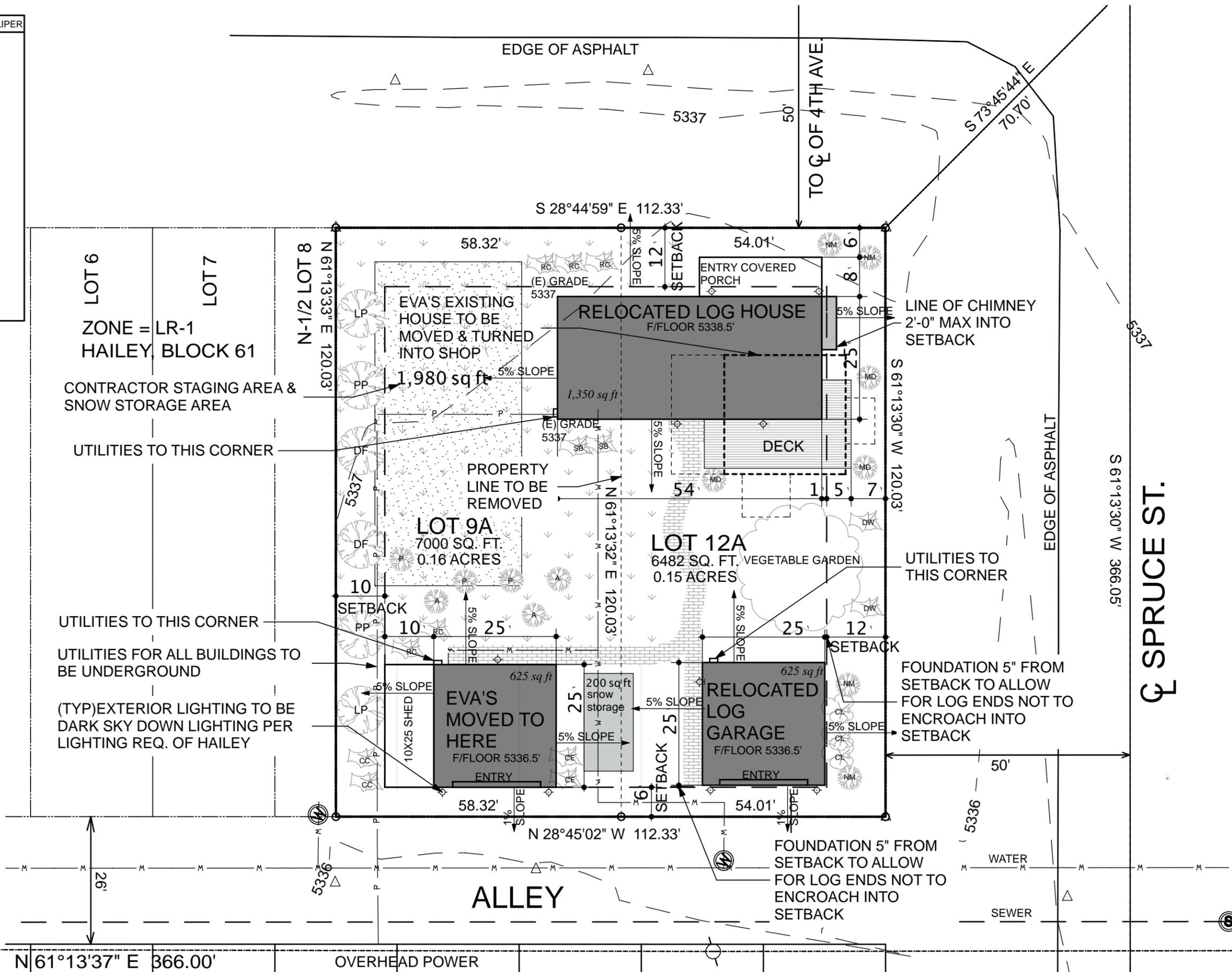
KRAMICK/LINSCOTT DINING ADDITION

317 E STACE, HAILEY, IDAHO / 208-720-2509  
 FAX - 788-4113

MAILING: 13 E. BULLIUM ST. STE A  
 HAILEY, ID 83333

OWNER: MERITA HOLDINGS, LLC

SYMBOL	PLANTING LIST:	CALIPER
<b>GRASSES:</b>		
↓	Idaho Fescue	
↓	Blue Bunch Wheat Grass	
<b>SHRUBS:</b>		
○	Common Lilac	5g
○	Chokecherry	5g
○	Serviceberry	5g
○	Red Current	5g
○	Dogwood	5g
○	Cotoneaster	5g
<b>DECIDUOUS TREES:</b>		
○	Norway Maples	4"
○	May Day Trees	4"
○	Apricot	5g
○	Pear	5g
<b>NON-DECIDUOUS TREES:</b>		
○	Douglas Fir	6"
○	Lodgepole Pine	6"
○	Ponderosa Pine	6"



KRAYNICK/LINSCOTT RESIDENCE  
A1.1 SITE PLAN 11x17

SCALE: 1"=20'-0"  
DATE: 08.10.2012





OCTOBER 17, 2012

**BOUISS & ASSOCIATES** P.A.  
 STRUCTURAL ENGINEERS  
 720.868.2511 REYNOLDS, IDAHO 83340 (208) 726-9606

**KRAYNICK RESIDENCE**  
 HAILEY, IDAHO

PROJECT: 286-612

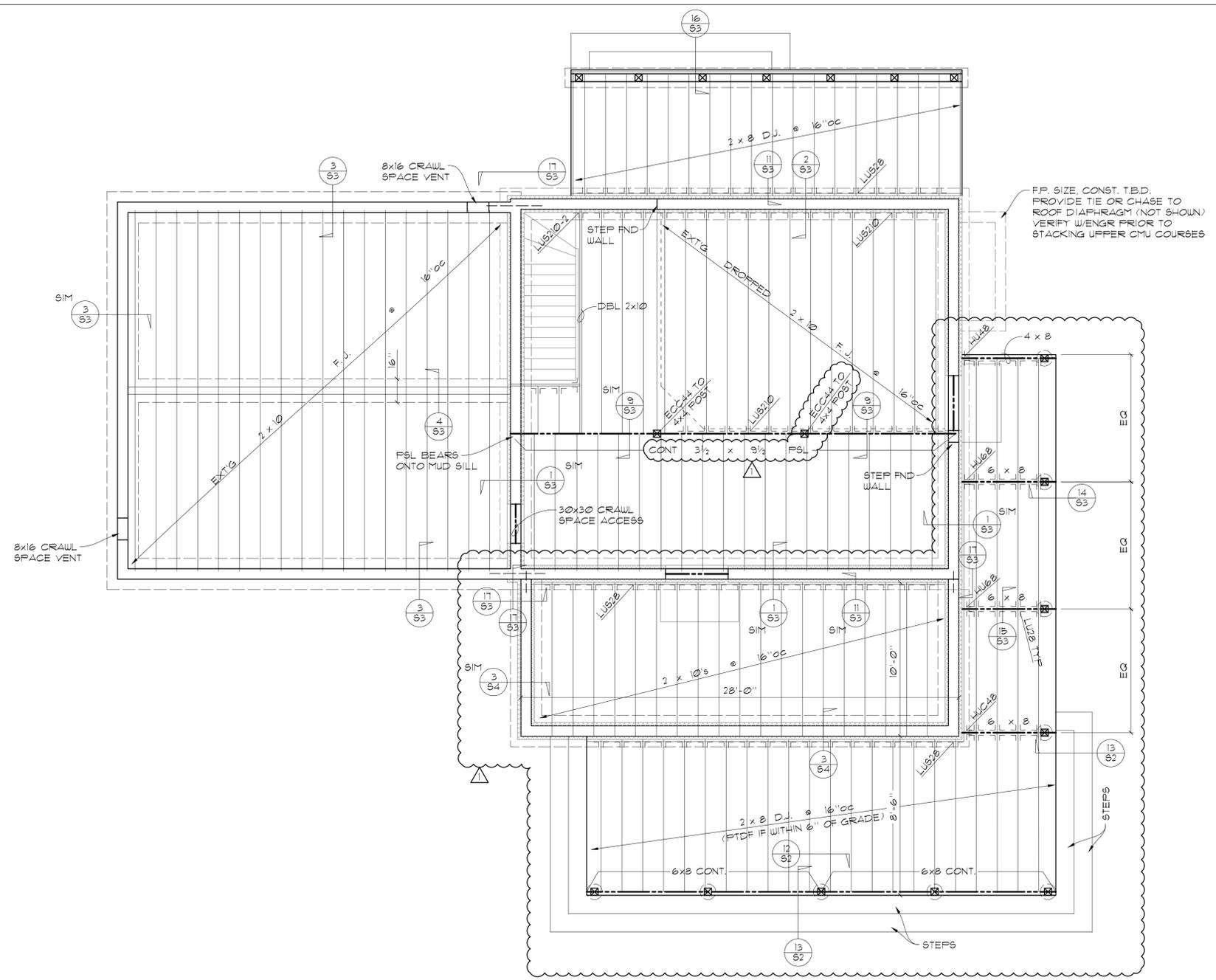
DATE: JULY 20, 2012

REVISIONS	DATE
CLIENT REVS.	10/17/12

TITLE:  
**FOUNDATION & FRAMING PLANS**

SHEET:

**S1**



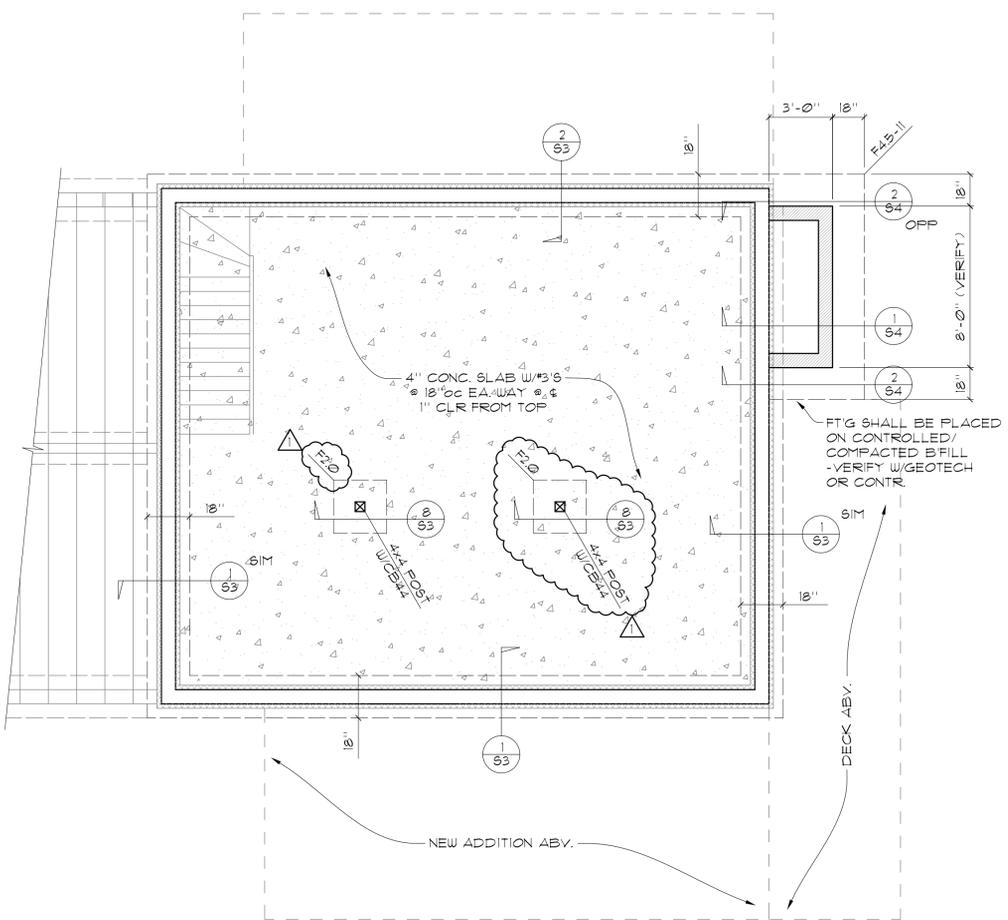
**FOUNDATION / 1ST FLOOR FRAMING PLAN "LOG HOUSE"**  
 SCALE: 1/4" = 1'-0"

**GENERAL NOTES AND STRUCTURAL SPECIFICATIONS**

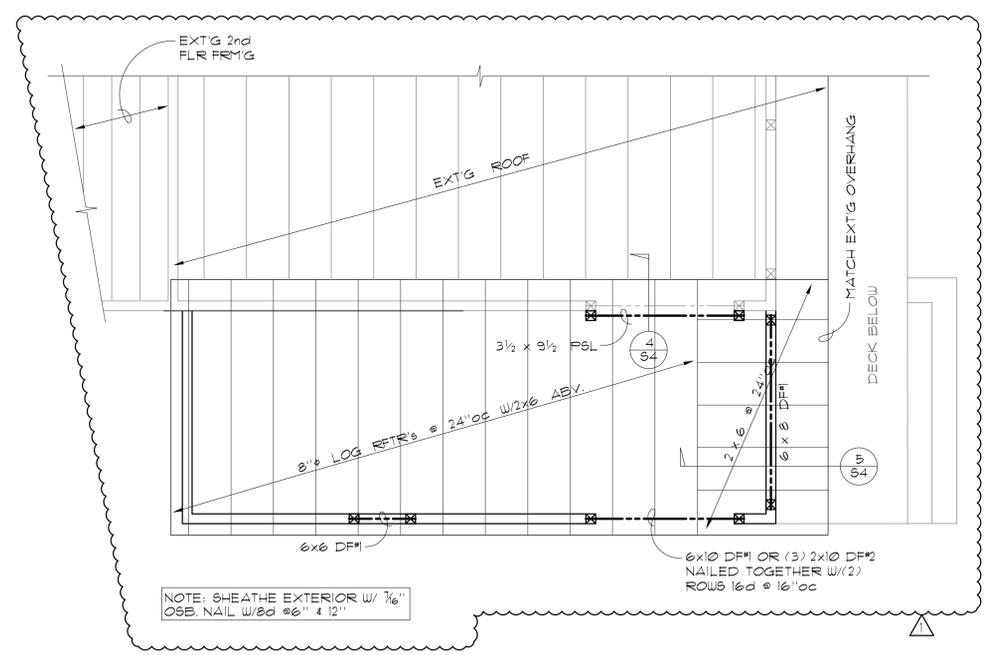
SEE SHEET S4

**FOUNDATION & FRAMING NOTES**

- THE ENGINEER HAS PREPARED THIS DRAWING TO THE BEST OF HIS ABILITY. BASED ON THE DIMENSIONS, ELEVATIONS, & TOP OF CONCRETE PROVIDED BY THE ARCHITECT, IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS, & TOP OF CONCRETE PRIOR TO COMMENCING CONSTRUCTION.
- VENTING, INSULATION, VAPOR BARRIER, RADON, ETC., IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR
- ALIGN HOLD DOWNS w/ END OF SHEARWALL ABOVE, ATTACH TO DBL STUDS, UNO, USE HOLD DOWN EMBED PER MFR.
- DO NOT BACKFILL WALLS UNTIL CONC. HAS CURED 7 DAYS, MIN.
- STITCH ALL STUD BUNDLES TOGETHER WITH (2) 16d COMMON @ 16" OC, MAX.
- ATTACH SHEATHING TO EACH STUD w/ 8d @ 8" OC.
- ☒ DENOTES (2) 2x6 TRIMMERS PLUS KING STUD OR (3) 2x6 STUDS MIN. UNO. ALL POSTS FROM UPPER LEVELS MUST BE ALIGNED WITH AND MATCHED BY POSTING BELOW TO THE FOUNDATION, UNLESS TRANSFERRED
- SOLID BLK'G IN THE FLOOR SPACE IS REQ'D BENEATH ALL POSTS, SOLID BLK'G SHALL MATCH THE FULL DIMENSION OF THE POST ABOVE, "I" JOISTS ARE NOT CONSIDERED SOLID BLK'G
- TYPICAL HEADER SUPPORTS ARE (2) TRIMMERS w/ KING STUD UNO.
- HOLD REINF. AT 3" CLR FROM BOTTOM OF FTG.
- INSTALL HOLDDOWNS OVER EXTERIOR SHEATHING @ DBL. STUDS
- LOCATE ALL PADS FROM ARCHITECTURAL PLANS
- SEE STRUCTURAL SPECIFICATIONS
- ▽ DENOTES SHEARWALL
- FRAMING CONDITIONS MAY DEVELOP DURING CONSTRUCTION FOR WHICH NO SPECIFIC DETAIL APPLIES. NOTIFY ENGINEER PRIOR TO PROCEEDING.



**BASEMENT FOUNDATION PLAN "LOG HOUSE"**  
 SCALE: 1/4" = 1'-0"



NOTE: SHEATHE EXTERIOR w/ 7/16" OSB, NAIL w/8d @6" & 12"

**ROOF FRAMING PLAN - (ADDITION)**  
 SCALE: 1/4" = 1'-0"

## GENERAL NOTES AND STRUCTURAL SPECIFICATIONS

Any discrepancies in the drawing, notes and specifications, shall be reported to owner's representative for clarification. The contractor shall verify and coordinate dimensions prior to proceeding with any work or fabrication.

Roof: LL 50 psf (Snow) REDUCED FOR 12:12 PITCH  
DL 20 psf  
TL 70 psf

Floor: LL 40 psf  
DL 10 psf  
TL 50 psf

Seismic Design - 2009 IBC w/ 1/3 Snow Load & Design Soil Parameters

Soil - 2000 psf bearing pressure assumed on firm, drained, undisturbed granular strata. Owner and contractor to verify soil adequacy.

Concrete - 3000psi @ 28 days w/max 4" slump & 4%-5% entrained air.

Reinforced concrete masonry units (CMU)

Hollow concrete masonry units shall conform to ASTM C90, grade N with a minimum compressive strength of 1900 psi (masonry FM1500 psi). Use type M mortar with a minimum 28 day compressive strength of 2500 psi. Grout shall be a pea gravel concrete with a 28 day compressive strength of 2000 psi and a minimum slump of 6 inches.

Install CMU of size and architectural type specified. Reinforce per drawings, locate rebar @ CMU cell & u.n.o. solid grout all cells below grade. All reinforced cells, and as specified in drawings. All 8" cmu at fireplaces to be solid grouted. Maximum height for grout lifts to be 4'-0" unless clean outs are used.

Masonry walls to be laid in running bond. Reinforce the walls horizontally with (1) #5 bar in an 8" high bond beam at each floor and roof level, at the top and bottom of walls, and @ 4'-0" o.c. (max) between. Reinforce the walls vertically with (1) #5 @ 4'-0" o.c. (max) for full height of the wall, plus (1) #5 vertical at each jamb, corner and discontinuous end (u.n.o. on drawings). Lap reinforcement 40 bar diameters at splices. Refer to drawings for lintel details at fireplaces.

Provide dowels with standard hooks between foundations and all cmu. Dowels drilled after the fact are not acceptable unless approved by the engineer. Size and spacing of dowels to match vertical reinforcement of cmu. Dowels to project a minimum of 2'-0" into cmu and 11 bar diameters into foundation (u.n.o.)

VENEER ANCHORAGE

Provide veneer anchorage per IBC 1405.6. Anchor ties to be not less than 9 ga. galvanized wire or 22 ga. by 1" galvanized sheet metal. Anchor ties shall be spaced not more than 24" o.c. and support no more than 2 sq. feet of veneer. Ties shall be provided to horizontal joint reinforcement wire of 9 ga. or equivalent. Joint reinforcement to be continuous with butt splices between ties.

Anchor devices - Epoxy grouted anchors, if used, shall conform to Hilti HIT or Hilti HVA epoxy system or Engineer approved equivalent. Install per manufacturers instructions. Wire brush and blow out holes.

Rebar - Grade 40

Boils - A307, U.N.O.

Nails - Common wire or galvanized box, substitutions for pneumatic nailers to be approved by Engineer of Record.

Framing per - 2009 IBC

Laminated Veneer Lumber (LVL)

Products specified herein as ML or M-L and PL shall conform to the performance criteria of LVL and P&L products as manufactured by Boise Corp. as micro-lam and parallel. Substitutes are acceptable provided they have the same structural values as ML and PL. Any substitutions must be submitted to the engineer for review.

Sawn Lumber - 2x DF-L #2 or better  
- 4x DF-L #2 or better  
- 6x and up DF-L #1 or better  
exposed lumber to be pressure treated

Steel - A36 (plates, bars) Grade 50 (w-secs), A500 grade A (pipes), grade C (tubes, 46ksi).

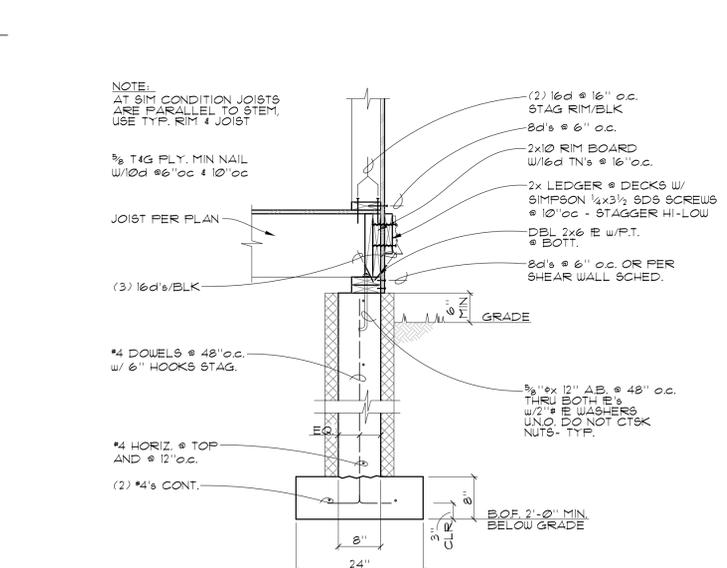
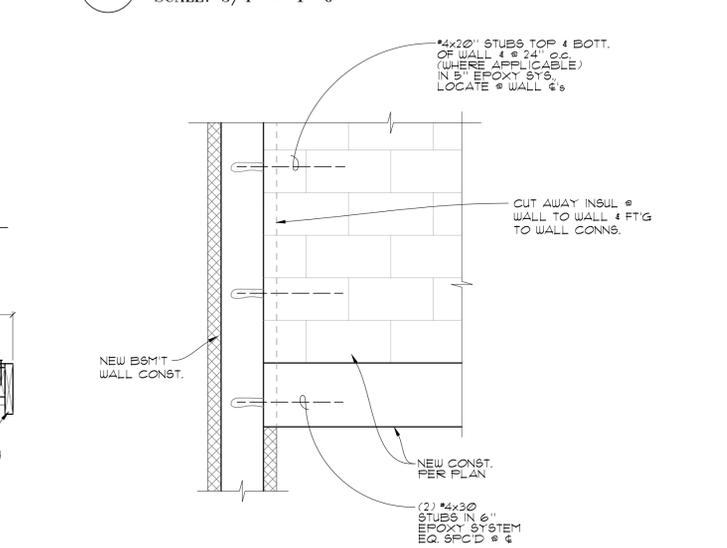
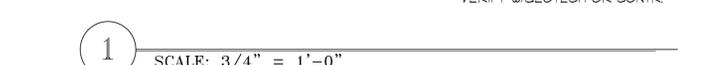
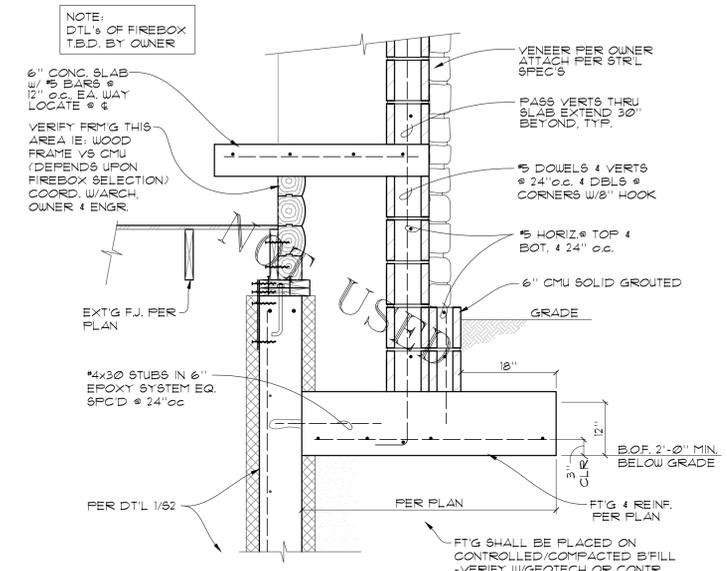
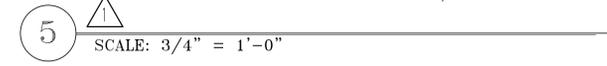
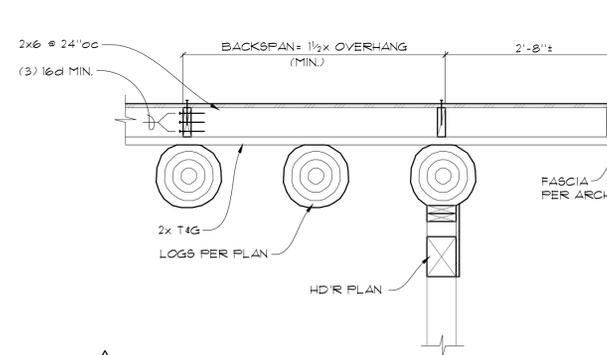
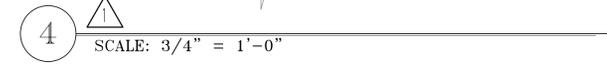
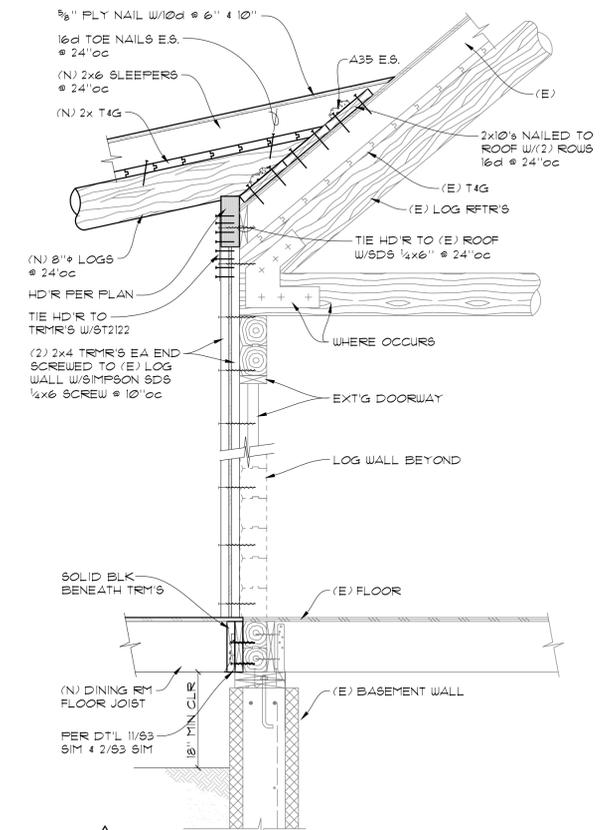
Connections per Simpson Co.

Support headers with double trimmers and king stud, U.N.O.

Nail multiple microlams (ML) together with (4) 16d's @ 16" o.c. ea.

Safety - The engineer has not been retained nor compensated to provide design and/or construction review services related to the contractor's safety precautions or to means, methods, techniques, sequences or procedures for the contractor to perform his work. The undertaking of periodic site visits by the engineer shall not be construed as supervision of actual construction, nor make him responsible for providing a safe place for the performance of work by the contractor, subcontractors, suppliers or their employees, or for access.

See sheet 53 for concrete Masonry units (CMU) & Veneer anchorage



OCTOBER 17, 2012

BOUISS & ASSOCIATES P.A.  
STRUCTURAL ENGINEERS  
701.686.2511 KETCHIKAN, IDAHO 83340  
IDCEN 726-9466

KRAYNICK RESIDENCE  
HAILEY, IDAHO

PROJECT: 286-612

DATE: JULY 20, 2012

REVISIONS	DATE
CLIENT REVS.	10/17/12

TITLE:  
STRUCTURAL DETAILS

SHEET:  
S4

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On December 10, 2012 the Hailey Planning and Zoning Commission considered an application submitted by Michael Kraynick and Nancy Linscott (Inezita Holdings LLC) for Design Review approval for a 280 square foot addition and deck to the back portion of an existing 1350 square foot main level residence, located at Hailey Townsite, Blk 61, Lots 9A & 12 A (present 317 E. Spruce St. and immediate lot to the north) within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts. The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

### FINDINGS OF FACT

#### Notice

Notice for the public hearing was published in the Idaho Mountain Express on October 24, 2012 and mailed to public agencies and property owners within 300 feet on October 26, 2012.

#### Application

Michael Kraynick and Nancy Linscott (Inezita Holdings LLC) working with Bouiss & Associates P.A. (Structural Engineers) submitted a Design Review Application to add a 280 sq. ft. addition and deck to the back portion of an existing 1,350 sq. ft main level residence.

#### Procedural History

The application was submitted on October 19, 2012 and certified complete on October 29, 2012. The last ordinance to amend Article 6A of the Zoning Code was Ordinance 1062.

#### Standards of Evaluation

Articles IV and VIA of the Hailey Zoning Ordinance establish the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

#### 8.2 Signs

Addition does not include signage. The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

#### 9 Parking and Loading Spaces

**9.1.1 No building or structure shall be erected unless permanently maintained parking and loading spaces have been provided in accordance with the provisions of this Ordinance.**

Standards are applied below.

**9.2.1 Location of On-Site Parking Spaces. The following regulations shall govern the location of on-site parking spaces and areas, except as otherwise provided below and in section 9.4.8.**

**A. parking spaces for all single family dwellings shall be located on the same lot as the dwelling which they serve, except as otherwise provided in section 9.4.1.**

Parking is designed to be in the garage on the same lot as residence addition.

#### **9.4 On-Site Parking Space Requirements.**

#### **9.4 On-Site Parking Space Requirements.**

**A. For the purpose of this Ordinance, the following on-site parking space requirements shall apply:**

Requirements are applied below.

#### **9.4.1 Residential.**

**A. Single family dwellings: 2 per dwelling minimum, 6 per dwelling maximum.**

**1. Parking spaces within any garage, carport or similar structure shall be credited at 1 space per nine (9) feet of floor width and 18 feet of floor length.**

Residential addition will not change the required amount of parking at the single family residence. Existing garage provides two parking spaces which satisfies the parking space requirement.

#### **8B.4. Outdoor Lighting Standards.**

##### **8B.4.1 General Standards**

**a. All exterior lighting shall be designed, located and lamped in order to prevent:**

- 1. Overlighting;**
- 2. Energy waste;**
- 3. Glare;**
- 4. Light Trespass;**
- 5. Skyglow.**

**b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.**

**c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.**

**d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.**

**e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.**

No new lighting will be added with the project. Lighting presently on the west side of residence will be moved to the west side of the addition. Existing light shown in house photos (next to the sliding door) is the light to be relocated to the west side of the addition. It

is a condition of approval that all existing and new lighting comply with Article 8B of the Hailey Zoning Ordinance.

**Bulk Requirements:**

**4.13.6 Bulk Requirements (For other supplementary location and bulk regulations, see Article VII.)**

**a. Minimum Lot Size**

**Limited Residential-1 district: 6,000 square feet.**

**Original Townsite Lots that are slightly less than 3,000 square feet (in blocks where lots are 25 feet wide) or 3,600 square feet (in blocks where lots are 30 feet wide) may be rounded up to 3,000 square feet or 3,600 square feet, as the case may be, provided that the original Townsite Lot meets the definition of a Lot of Record.**

Lot 12A, where residence and garage are situated is 6,482 sq. ft., and Lot 9A, where a small portion of the residence is situated is 7,000 sq. ft. Final Plat to merge these two lots is being produced for administrative approval at this time.

**b. Minimum Lot Width –**

**Limited Business, Transitional, General Residential districts: 37.5 feet.**

**Limited Residential-1 district: 50 feet.**

Lot 12A is 54.01' in width and Lot 9A is 58.32' in width.

**c. Maximum Building Height**

**Transitional, General Residential, Limited Residential-1 districts: 30 feet**

The height of the house is 28'. The height of the addition is substantially less.

**d. Minimum Setbacks in LR, GR, TN, and LB Districts:**

**1. Setback from any street right-of-way – twelve (12) feet. The following exceptions apply:**

**a. Unenclosed features of a residence (e.g. front porches, stoops, and decks without walls) shall be no closer than five (5) feet to the lot line. Such features do not include carports.**

The deck is 7' from lot line and right-of-way on Spruce Street.

**2. Setback from property lines abutting other private property**

**a. Base setback – fifteen percent (15%) of lot width, or 10 feet, whichever is less. However, no such setback shall be less than six (6) feet.**

Addition will be set back more than 10 feet away from abutting private property.

**b. Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one (1) foot for every two and a half (2.5) feet of wall height (see Diagram 1 and Table 2), but not less than the base setback noted in subsection (a) above, regardless of underlying zoning.**

Addition is more than 58 feet away from abutting property.

- c. **Roof overhangs, fire escapes, standard chimneys, bay windows and other features, which are subject to Section 7.2 of this Ordinance (Supplementary Yard Regulations), shall not have a setback less than five (5) feet from property lines abutting other private property.**

Not applicable.

- d. **Wainscot detail not higher than three (3) feet as measured from record grade may intrude not more than six (6) inches into the required setback.**

Project does not include wainscoat.

- e. **Maximum lot coverage:  
General Residential, Limited Residential-1 districts:**

<b>Building Height</b>	<b>Maximum Lot Coverage</b>
<b>2 or more stories above grade, no garage</b>	<b>25%</b>
<b>2 or more stories above grade, with garage</b>	<b>30%</b>
<b>Less than 2 stories above grade, no garage</b>	<b>35%</b>
<b>Less than 2 stories above grade, with garage</b>	<b>40%</b>

House prior to proposed addition is 1,350 sq ft. and the garage and shop are 625 sq ft each, while the shed is 250 sq ft. which totals 2,850. When proposed addition's 280 sq. ft. are added, the total raises to 3,100 sq. ft. Total lot area where the house is located is 13,482 sq ft, equating to lot coverage of 22.99%.

- i. **Maximum Lot Size—  
Business, Limited Business, Limited Residential-1 districts: no maximum.**

The total lot size will be 13,482 sq. ft. after completion of final plat to merge Lots 9A and 12A.

**Height of Building.** The greatest vertical distance measured from the lowest point of Record Grade or finish grade, whichever is lower, within any portion of the building footprint to the highest point of the roof surface thereof, exclusive of cupolas, chimneys up to ten (10) feet above the highest point of the roof surface, steeples, and spires.

Applicant is hereby advised height of building is from the lowest point of Record Grade or finish grade, whichever is lower.

#### **6A.7 Improvements Required.**

- A. **Streets.**

- 1. **Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.**

**a. The requirement for Sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.**

Addition is less than 500 square feet.

**B. Water Line Improvements.**

**1. In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.**

Addition is not to a garage and will not be accessed from the alley, so water service lines will not be infringed upon.

6A.9 Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

**I. Purpose**

**The Hailey Townsite Design Review Guidelines have been developed to provide standards for development in Old Hailey. The term —Old Hailey” means all land within the Townsite Overlay District. These Design Guidelines address the basic elements of design related to building location, orientation, function and scale, as well as how the building and improvements relate to the neighborhood.**

Residential addition is in the Townsite Overlay District.

**II. Applicability**

**Proposals for new Single Family Dwellings, Accessory Dwelling Units, Accessory Structures and Duplexes and additions thereto that add floor area equal to or greater than 50% of the original structure will be reviewed for compliance with these Design Guidelines.**

Addition is a 280 sq. ft. to back portion of existing 1350 sq. ft main level residence. The addition does not equate to a 50% or more floor area addition; thus the guidelines for residential buildings in the TO are not applicable.

## CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Zoning Ordinance No. 532, Section 6A.5, was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

## DECISION

The Design Review for a 280 square foot addition and deck to the back portion of an existing 1350 square foot main level residence, located at Hailey Townsite, Blk 61, Lots 9A & 12 A (present 317 E. Spruce St. and immediate lot to the north) within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts is hereby approved subject to the following terms and conditions:

1. The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
2. This Design Review approval is for plans dated October 18, 2012 and October 23, 2012. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
3. This Design Review approval shall expire one (1) year from the date these Findings of Fact are signed, unless a building permit application has been submitted to the Building Department.
4. This project is subject to Development Impact Fees pursuant to Municipal Code Chapter 15.16. The estimated fee is determined at the time of Building Permit application.
5. Residence proposed for an addition spans over two lot lines, and the lot line between lots 12A and 9A shall be vacated prior to issuance of a certificate of occupancy for the addition.
6. Proposed deck shall not be closer than (5) feet to the lot line.
7. Except as otherwise provided, all the required building, landscaping, site, infrastructure improvements and all other conditions of approval shall be constructed and completed, or security in the amount of 150% of the estimated cost as approved by the City, before a Certificate of Occupancy will be issued.
8. This Design Review approval is subject to the following conditions:
  - a) All applicable Fire Department and Building Department requirements shall be met, including but not limited to:
    - i. An elevation certificate shall be obtained and submitted to the City for building height verification.
    - ii. Prior to installation of the new fence, a fence permit shall be obtained from the Building Department and the plans for the fence shall meet the

standards of Section 8.1, Hailey Zoning Ordinance.

- iii. No auxiliary apparatus (e.g. utility meters, fire suppression equipment) may extend into any public right-of-way.
  - iv. Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional parking, improvements and/or approvals.
- b) All applicable City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall meet City Standards and shall be submitted for City approval.
  - c) Utility lines from the right-of-way to the property shall be installed underground.
  - d) All noxious weeds shall be controlled according to State Law.
  - e) Any existing and proposed lighting on the subject property shall comply with the Outdoor Lighting standards.
  - f) The Original Townsite lot line underneath the existing and proposed structure shall be removed. The plat shall be recorded prior to the issuance of a Certificate of Occupancy.
7. A party aggrieved by a final decision of the Hearing Examiner or Commission may appeal in writing any final decision by filing a Notice of Appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
Geoffrey Moore, Chair

Attest:

\_\_\_\_\_  
Bart Bingham, Planning & Zoning Administrator

City of Hailey - Conditional Use Permit Application

Submittal Date: 11 / 16 / 2012

Project Name: Hailey O'Reilly Auto Parts

Legal Description of Property: R. Davis Business Center Subdivision Lot 1 Block 1

Street Address of Property: 950 South 4th Avenue

Current Zoning of Property: Commercial

Proposed Use: Commercial

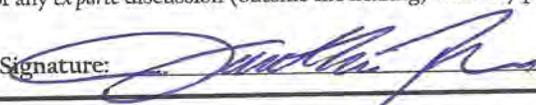
Name of Owner of the Property: Hailey Auto, LLC

Mailing Address: 2231 East Murray-Holladay Road City: Salt Lake City State: UT Zip: 84117

Phone: ( 801 ) 801 - 4688 Fax: ( 801 ) 278 - 5632 Cell: ( ) 671 - 4817

Email Address: jtaylor@terraformco.com

**Property Owner Consent:**  
By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature:  Date: 11 / 16 / 2012

Name of individual to contact on behalf of Trust or LLC (if applicable): \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: ( ) \_\_\_\_\_ - \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ - \_\_\_\_\_ Cell: ( ) \_\_\_\_\_ - \_\_\_\_\_

Email Address: \_\_\_\_\_

Application Contact (if different than above): \_\_\_\_\_

**\*\*Application Contact will be the Planning Department's primary point of contact for questions related to the application.**

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: ( ) \_\_\_\_\_ - \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ - \_\_\_\_\_ Cell: ( ) \_\_\_\_\_ - \_\_\_\_\_

Email Address: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_

**Appeals:**  
Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

**FOR CITY USE ONLY** Fees: *cost of additional noticing, recording fees, and other direct costs will also be assessed.*

Conditional Use Permit.....	\$ 400.00
OR Child Care Conditional Use.....	\$ 50.00
Publication cost <sup>40.00</sup> .....	\$ 40.00
Mailing: # of addresses _____ x ( _____ postage + .15 for paper, envelope & label) <b>DO NOT COUNT DUPLICATE ADDRESSES OR CITY OF HAILEY</b>	\$
Total Due <sup>440.00</sup> .....	\$

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the Hailey Zoning Ordinance for information on application process.

## CONDITIONAL USE PERMIT CHECKLIST

City Use Only -

Project Name: Hailey O'Reilly Auto Parts

Certified Compete by: \_\_\_\_\_

Date: \_\_\_\_/\_\_\_\_/\_\_\_\_

The following items must be submitted with the application for the application to be considered complete (✓):

- One (1) large set of plans to scale of proposed conditional use site showing location of:
  - All buildings on the site
  - Parking and loading areas
  - Traffic access and traffic circulation
  - Open spaces
  - Easements
  - Existing and proposed grade
  - Energy efficient considerations
  - Landscaping
  - Refuse and service areas
  - Utilities
  - Signs
  - Property lines
  - North arrow
  - Rendering of building exteriors (where applicable)
- Six (6) 11" x 17" copies of larger plans/maps.
- PDF files of all required documents and 11" x 17" plans/maps
- Proof of interest in subject property.
- Descriptions of:
  - Existing use
  - Proposed conditional use
- Statement evaluating the effects on adjoining property such as elements of noise, glare, odor, fumes and vibration.
- Statement identifying surrounding land uses and discussing general compatibility of the proposed use with adjacent and other properties in the district.
- Statement discussing relationship of proposed use with compliance to the Comprehensive Plan.
- Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Submit paper copy and electronically on Excel spreadsheet. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- Other information as requested by the Planner to determine if the proposed conditional use meets the intent and requirements of the Hailey Zoning Ordinance.



115 MAIN STREET S. SUITE H  
 HAILEY, ID 83333  
 PHONE: (208) 788-4221  
 FAX: (208) 788-2924

INVOICE #	INVOICE DATE
10441	11/20/2012
DUE DATE	CUSTOMER ACCOUNT NUMBER
11/20/2012	321821
AMOUNT DUE	TERMS:
1,109.80	Open Terms

BILL TO:

**TERRAFORM COMPANIES**

2231 EAST MURRAY-HOLLADAY RD  
 SALT LAKE CITY UT 84117

PLEASE DETACH AND RETURN THIS TOP PORTION  
 WITH YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY  
 115 S MAIN ST STE H  
 HAILEY, ID 83333

## INVOICE

DESCRIPTION	QUANTITY	CHARGE	EXT. PRICE
PLANNING DESIGN REVIEW	.		669.80
PLANNING CONDITNL USE PERMITS	.		440.00
			1,109.80
			TOTAL AMOUNT DUE

THANK YOU FOR YOUR PROMPT PAYMENT  
 For Billing Inquiries Call: (208)788-4221  
 Office Hours: 9:00 a.m. - 5:00 p.m.  
 Monday thru Friday

CITY OF HAILEY  
115 MAIN ST SOUTH STE H  
HAILEY, ID 83333  
208-788-4221

Receipt No: 1.011309      Nov 20, 2012

9105  
TERRAFORM COMPANIES  
2231 EAST MURRAY-HOLLADAY RD  
SALT LAKE CITY, UT 84117

Previous Balance:	1,109.80
Accounts Receivable	
A/R Payments	1,109.80
001-00-10700	
Accts Rec Cash Clearing Acct	

New Current Balance:	.00
	=====

Check	
Check No: 1192	1,109.80
Total Applied:	1,109.80

Change Tendered:	.00
	=====

11/20/12 03:45pm

## STAFF REPORT

**TO:** Hailey Planning & Zoning Commission

**FROM:** Micah Austin, Community Development Director

**RE:** Conditional Use Permit for O'Reilly Auto Parts located on those parcels constituting the R. Davis Business Center Subdivision Lots 1, 2, and 3 of Block 1 and Parcel A

**HEARING:** December 10, 2012

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**Applicant:** O'Reilly Auto Parts, represented by Jonathan Taylor of TerraForm Companies

**Location:** R. Davis Business Center Subdivision Lots 1, 2, and 3 of Block 1 and Parcel A

**Zoning:** Limited Business

**Use Classification:** Conditional Use is allowed for "Wholesale Distributors" in the Limited Business Zone. As the majority of O'Reilly's business is wholesaling auto parts to other dealers and businesses they are classified under this use classification. Note: Even though retail is a minor portion of their business, retail sales will be conducted at this facility.

### Notice

- Notice for the public hearing on December 10 was sent to the Mt. Express on November 16 and published in the Idaho Mountain Express on November 21. Notice was mailed to property owners within 300 feet and public agencies on November 26, 2012. The site was physically posted on November 21, according to Article XI of the Zoning Ordinance

### Application

- O'Reilly Auto Parts, represented by Jonathan Taylor of TerraForm Companies, submitted a Conditional Use Permit application for the operation of a wholesale auto parts distributor at the R. Davis Business Center Subdivision Lots 1, 2, and 3 of Block 1 and Parcel A. The property is located in the Limited Business zoning district and this use requires a Conditional Use Permit.

### Department Comments

#### **Life/Safety:**

- Please see attached comments from Mike Baledge, Hailey Fire Marshal.
- NOTE: the applicant has corrected all issues brought up in the Fire Marshal's report and at this time all Life/Safety issues have been resolved.

#### **Building:**

- No issues

**Water/Sewer:**

- No issues

**Standards of Evaluation**

**8.2 Signs.**

The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

**Outdoor Lighting Standards and Requirements, Article 8B.4.**

**8B.4.1 General Standards**

- a. All exterior lighting shall be designed, located and lamped in order to prevent:**
    - 1. Overlighting;**
    - 2. Energy waste;**
    - 3. Glare;**
    - 4. Light Trespass;**
    - 5. Skyglow.**
  - b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.**
  - c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.**
  - d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.**
  - e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.**
- All new and existing lighting shall comply with Hailey's Outdoor Lighting Ordinance. For more details, please refer to the Design Review report.

**Parking Requirement, Article XI**

**9.2.1 Location of On-site Parking Spaces**

- (C) Parking spaces for commercial or industrial uses shall be located not more than 800 feet from the principal use and must be located within a B, LB, SCI, or LI District
  - As shown in the site plan, this requirement has been satisfied
- (E) On-site parking areas are not permitted between the sidewalk within the public right-of-way and the primary frontage of a building, except where the location of an

**existing buildings or site conditions precludes another location for parking; such parking requires a landscape buffer, or an alternative approved by the Administrator, between sidewalk and parking.**

- Staff has worked with TerraForm Companies on several iterations of a site plan to satisfy this requirement. After four months of review, the shape of the lot, proximity to Idaho Highway 75, and the necessity of delivering goods and merchandise via semi-truck to the businesses preclude locating the parking area behind the building in any reasonable manner. Accordingly, Staff has worked with TerraForm to design a landscape plan that will robustly screen any parking or blacktop areas of the site.
- According to 9.3.1 (E), Staff recommends the landscape plan as presented to serve as a landscape buffer to the parking area. Staff recommends the proposed site plan that incorporates the robust landscape plan.
  1. As proposed, the landscape plan should adequately shield and buffer the parking areas as viewed from the public right-of-way. This satisfies the intent and purpose of the ordinance.
  2. The landscape plan will provide a valuable and attractive amenity to the entrance to Hailey and for users of the adjacent bike path.
  3. TerraForm (O'Reilly's) has also included a bench along the bike path that would be incorporated into their landscape plan but would be available for public use.
  4. The only change Staff recommends to the landscape plan is a 5' wide pedestrian sidewalk linking the bike path to the building through the landscaping. This has been satisfied in the current landscape plan.

#### **9.4 On-Site Parking Requirements**

##### **9.4.2 Commercial, Professional, Service, Recreation, and Entertainment**

- **(A) All commercial, professional, service, recreation, and entertainment uses shall provide improved parking in the amount of one parking space for every 1,000 square feet of gross building area**
  - This requirement has been adequately satisfied. The current site plan calls for 28 parking spaces. The square footage of the building is 7,266 and the applicant is required 7 parking spaces.

##### **9.4.6.1 The Commission shall consider the following criteria when evaluating any application for parking in excess of that normally permitted. Applicants are required to satisfy at least 4 of the following criteria:**

- **(1) The excess parking area will be commonly used for public interests such as park and ride or car pool lots. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.**
  - This requirement has been adequately satisfied.
  - The applicant, TerraForm Companies (O'Reilly's Auto Parts), has agreed to allow use of the parking area for public interests, such as a park and ride lot, if the need arises.

- **(2) The excess parking area provided would relieve or help to relieve a substantial shortage of parking within an 800 foot radius.**
  - This requirement has been adequately satisfied
  - The applicant, TerraForm Companies (O'Reilly's Auto Parts), has agreed to allow use of the parking area during special events for overflow parking. These events include, but are not limited to, events occurring in McKercher Park such as the Trailing of the Sheep Festival.
- **(3) The excess parking area will not be adjacent to a public right - of way, and will be separated from the right-of-way by a building.**
- **(4) The excess parking area is part of an overall development scheme which compensates for insufficient parking in other portions of the same development.**
  - This requirement has been adequately satisfied
  - TerraForm Companies plans to build at least one more structure on this lot, which would require additional parking.
- **(5) The excess parking area will be used as an alternate facility, such as a basketball court or skateboard park, when not in use as an overflow parking area. The property owner will be permitted to reserve the use of the parking area 12 days in any calendar year.**
  - This requirement has been adequately satisfied.
  - The applicant, TerraForm Companies (O'Reilly's Auto Parts), has agreed to allow use the parking area as an alternate facility, if the need arise, such as a basketball court or to stage outdoor events that the public is invited to attend.
- **(6) The excess parking area will surfaced with an alternative and attractive material.**
- Based on the applicant meeting the above requirement for additional parking, Staff recommends approval of the parking and site plan as they relate to on-site parking.

#### 9.2.8 Access.

A. Except as otherwise provided herein, any parking area on private property, shall be designed in such a manner that any vehicle leaving or entering the parking area from or onto a public street shall be traveling in a forward motion.

- Parking spaces as detailed in the site plans meet City Standards and provide adequate spaces for the amount of usage the building will receive.

B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas

adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.

- Not applicable.

C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

- Access to 4<sup>th</sup> Avenue will be through the single entrance shown on the site plan.

D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.

- Vehicles entering or leaving the parking area are proposed to be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.

E. Access for subdivisions shall be provided in accordance with standards set forth in Section 4 of the Subdivision Ordinance.

- Not applicable.

F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.

- Not applicable.

G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus “stacking” the parking area. For non-residential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.

- Not applicable.

## 11. Conditional Use Permits

### 11.4 Criteria for Review.

11.4.1 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location:

a. Will, in fact, constitute a conditional use as established for the zoning district involved; and

- Wholesale Distributors require a Conditional Use Permit in the Limited Business zone.

**b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;**

- The proposed use will be a wholesale auto parts distributor, which is compatible with the surrounding uses along 4<sup>th</sup> Avenue.
- The elevations presented, landscape plan, lighting plan, and general site plan will significantly improve the aesthetics of the immediate area and will be a benefit to all adjoining properties

**c. Will not be hazardous or disturbing to existing or future neighboring uses;**

- No hazards or disturbances are anticipated for this particular use. Other than the traffic to and from the facility, the use should impose no externalities.

**d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and**

- The facility is accessed via 4<sup>th</sup> Avenue.
- The City Engineer has reviewed and approved the site plan and access plan and has no comments or revisions.

**e. Will not create excessive additional requirements at public cost for public facilities and services; and**

- At this time, no additional cost will be incurred from any public agencies for this facility to function and operate.

**f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and**

- No externalities are anticipated by this use.

**g. Will have vehicular approaches to the property which shall be designed so as not to create an interference with traffic on surrounding public thoroughfares;**

- Access from 4<sup>th</sup> Avenue has been designed to minimize any negative interference with traffic from the surrounding public thoroughfares
- The City Engineer has reviewed the access and site plans and has approved them.

**h. Will not result in the destruction, loss, or damage of a natural, scenic, or historic feature.**

- The applicant proposes to significantly improve the aesthetics of the site with an attractive building and landscape plan.

**11.6 Conditions.**

**The Commission or Hearing Examiner may impose any conditions which it deems necessary to secure the purpose of City regulations and give effect to the Comprehensive Plan. Conditions which may be attached include, but are not limited to those which will:**

- 11.6.1 Require conformity to approved plans and specifications.**
- 11.6.2 Require or restrict open spaces, buffer strips, walls, fences, signs, concealing hedges, landscaping and lighting.**
- 11.6.3 Restrict volume of traffic generated, require off-street parking, and restrict vehicular movements within the site and points of vehicular ingress and egress or other conditions related to traffic.**
- 11.6.4 Require performance characteristics related to the emission of noise, vibration and other potentially dangerous or objectionable elements.**
- 11.6.5 Limit time of day for the conduct of specified activities.**
- 11.6.6 Require guarantees such as performance bonds or other security for compliance with the terms of the approval.**
- 11.6.7 Require dedications and public improvements on property frontages.**
- 11.6.8 Require irrigation ditches, laterals, and canals to be covered or fenced.**
- 11.6.9 Minimize adverse impact on other development.**
- 11.6.10 Control the sequence, timing and duration of development.**
- 11.6.11 Assure that development is maintained properly.**
- 11.6.12 Designate the exact location and nature of development.**
- 11.6.13 Require the provision for on-site or off-site public services.**
- 11.6.14 Require more restrictive standards than those generally found in this Ordinance.**
- 11.6.15 Mitigate foreseeable social, economic, fiscal and environmental effects.**
- 11.6.16 Set a limit on the duration of the permit when deemed necessary.**
- 11.6.17 Allow for subsequent periodic review.**

**The Commission may impose any conditions that are deemed necessary to secure the purpose of City ordinances and give effect to the Comprehensive Plan. Conditions including but not limited to those set forth in Section 11.6 may be placed on any approval.**

**Summary**

Section 11.1 of the Hailey Zoning Ordinance states that “the City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.”

Conditional Use Permits are subject to review and revocation pursuant to Section 11.9 of the Hailey Zoning Ordinance. This statement will be included in the Findings of Fact, Conclusions of Law, and Decision for any CUP approved by the Commission.

By ordinance, the Commission is required to make a decision to approve, conditionally approve, or deny the application within forty-five (45) days after conclusion of the public hearing and issue its decision together with the reasons therefore. The Commission is required to review the application, all supporting documents and plans, and Section 11 of the Zoning Ordinance, in making their decision.

The Commission should make findings related to the criteria of Section 11.4, (a) through (h).

### **Suggested Conditions**

The following conditions are suggested to be placed on any approval of this application:

- a) All Fire Department and Building Department requirements shall be met.
- b) All City Standards, construction standards, and engineering standards shall be met.
- c) Addition of a 5' wide pedestrian access sidewalk from the bike path to the building. This path does not need to be ADA compliant but should be accessible via bike and pedestrian.
- d) Require landscaping of the area between the parking area and the public right-of-way as presented in the landscape plan.

### **Motion Language**

Approval:

Motion to approve conditional use permit application for O'Reilly Auto Parts, represented by Jonathan Taylor of TerraForm Companies, at R. Davis Business Center Subdivision Lots 1, 2, and 3 of Block 1 and Parcel A, and finding that the application meets each of the criteria for review (a) through (h) cited in Zoning Ordinance Article 11.4, Section 11.4.1, and that the conditional use permit is subject to condition (a) thru (d) noted above and the following conditions \_\_\_\_\_.

Denial:

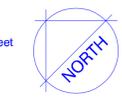
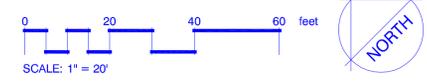
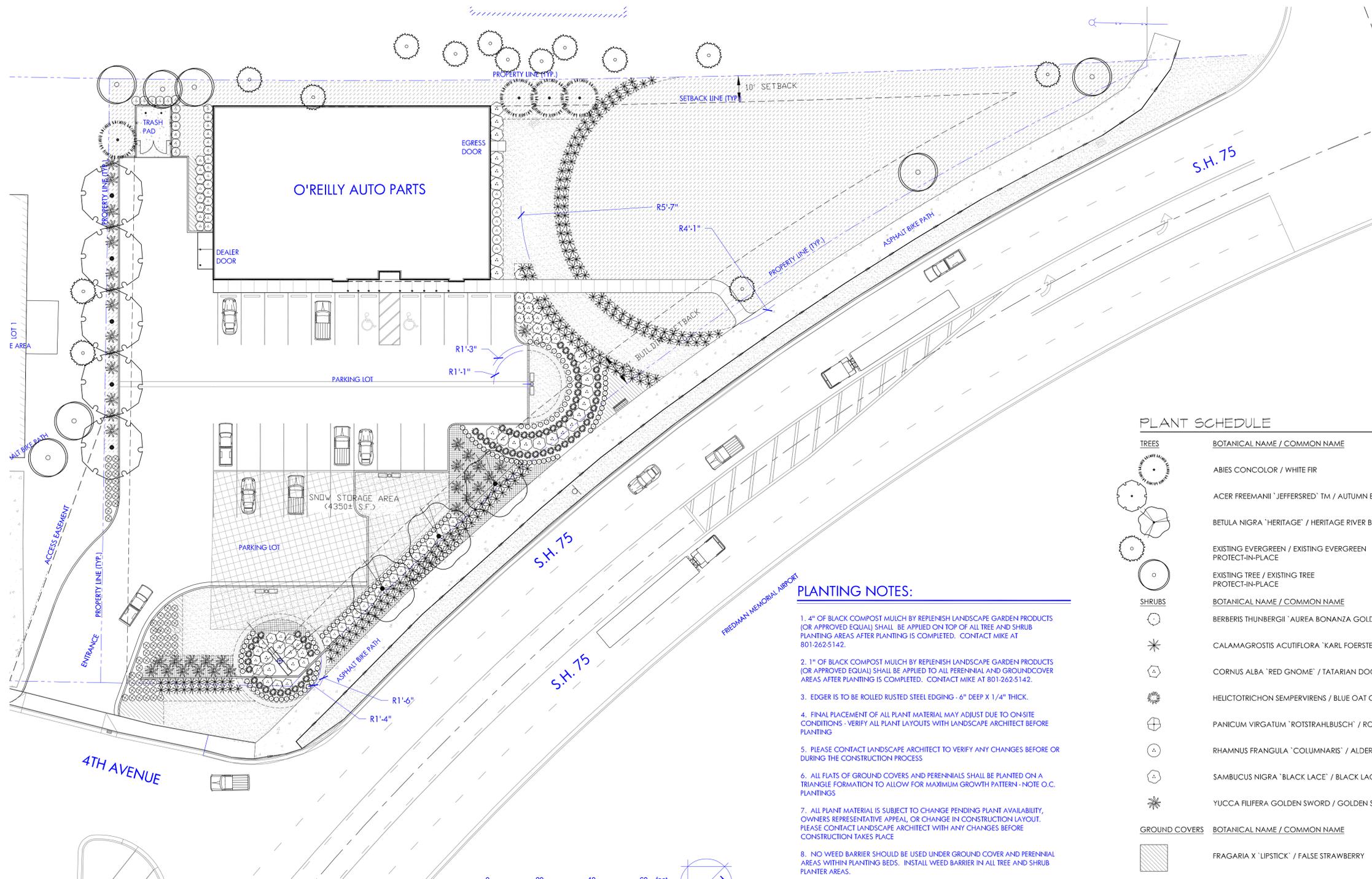
Motion to deny conditional use permit application for O'Reilly Auto Parts, represented by Jonathan Taylor of TerraForm Companies, at R. Davis Business Center Subdivision Lots 1, 2, and 3 of Block 1 and Parcel A, citing the following reasons for denial \_\_\_\_\_.

Continuation:

Motion to continue discussion of the conditional use permit application for O'Reilly Auto Parts, represented by Jonathan Taylor of TerraForm Companies, at R. Davis Business Center Subdivision Lots 1, 2, and 3 of Block 1 and Parcel A, to a later day as specified here \_\_\_\_\_.

Table:

O'Reilly Auto Parts, represented by Jonathan Taylor of TerraForm Companies, at R. Davis Business Center Subdivision Lots 1, 2, and 3 of Block 1 and Parcel A, to a later day as specified here \_\_\_\_\_.



**GENERAL RADII/DIMENSION PLAN NOTES:**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL ELEMENTS ARE LAID OUT PROPERLY AND THAT THE "BASIS OF DESIGN" IS MET AND MAINTAINED FROM PLANS TO BUILT CONSTRUCTION.
- THE DIMENSIONS ON THIS PLANTING PLAN ARE FOR HORIZONTAL CONTROL OF ALL OF THE BUILT AND IMPORTANT ELEMENTS ON THE LANDSCAPE PLAN. THESE ELEMENTS SHALL BE, BUT ARE NOT LIMITED TO, PATIOS, SITE WALLS, COBBLE BANDS, METAL OR CONCRETE EDGING, WALKWAYS, ANGLES, ARCS, RADII, ETC.
- DIMENSIONS ARE TAKEN FROM FIXED POINTS SUCH AS BUILDINGS AND EXISTING ELEMENTS NOTED ON PLAN. THEIR PRIMARY INTENT IS TO MAINTAIN THE "BASIS OF DESIGN".
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ENSURE THAT THESE ELEMENTS ARE LAID OUT PROPERLY AND THAT NO APPARENT ERRORS OR OMISSIONS HAVE OCCURRED.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED WITHIN (5) WORKING DAYS PRIOR TO SITE VERIFICATION OF ALL ELEMENTS.
- LANDSCAPE ARCHITECT HAS THE RIGHT TO MOVE, MODIFY, OR SUGGEST ALTERNATIVE LOCATIONS AND/OR PLACEMENT IF "BASIS OF DESIGN" HAS NOT BEEN MET. HE SHALL DO SO AT HIS OWN DISCRETION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF DISCREPANCIES ARISE FROM THE TRANSLATION OF PLAN TO BUILT CONDITIONS, SO THAT SUITABLE ALTERNATIVES MAY BE PROPOSED AND/OR MODIFICATIONS TO PLANNED ELEMENTS MAY BE REVISED ON SITE.
- IRRIGATION SYSTEMS SHALL BE MAINTAINED AND PERIODICALLY ADJUSTED TO ASSURE WATERING EFFICIENCY AND CONSERVATION METHODS. IRRIGATION SHOULD NOT OCCUR BETWEEN THE HOURS OF 10 A.M. AND 6 P.M. IN ORDER TO REDUCE EVAPORATION. EXCESSIVE WATER RUNOFF, AS DETERMINED BY THE CITY, IS NOT PERMITTED.
- NO TREE OR SHRUB WILL BE PLANTED WITHIN 5' OF A FIRE HYDRANT.
- ALL SHRUB BED AREAS SHALL BE SEPARATED FROM SOD AREAS BY APPROVED EDGING MATERIAL. MULCH SHALL BE PLACED OVER A SUITABLE WEED BARRIER FABRIC.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.

**PLANTING NOTES:**

- 4" OF BLACK COMPOST MULCH BY REPLENISH LANDSCAPE GARDEN PRODUCTS (OR APPROVED EQUAL) SHALL BE APPLIED ON TOP OF ALL TREE AND SHRUB PLANTING AREAS AFTER PLANTING IS COMPLETED. CONTACT MIKE AT 801-262-5142.
- 1" OF BLACK COMPOST MULCH BY REPLENISH LANDSCAPE GARDEN PRODUCTS (OR APPROVED EQUAL) SHALL BE APPLIED TO ALL PERENNIAL AND GROUND COVER AREAS AFTER PLANTING IS COMPLETED. CONTACT MIKE AT 801-262-5142.
- EDGER IS TO BE ROLLED RUSTED STEEL EDGING - 6" DEEP X 1/4" THICK.
- FINAL PLACEMENT OF ALL PLANT MATERIAL MAY ADJUST DUE TO ON-SITE CONDITIONS - VERIFY ALL PLANT LAYOUTS WITH LANDSCAPE ARCHITECT BEFORE PLANTING
- PLEASE CONTACT LANDSCAPE ARCHITECT TO VERIFY ANY CHANGES BEFORE OR DURING THE CONSTRUCTION PROCESS
- ALL FLATS OF GROUND COVERS AND PERENNIALS SHALL BE PLANTED ON A TRIANGLE FORMATION TO ALLOW FOR MAXIMUM GROWTH PATTERN - NOTE O.C. PLANTINGS
- ALL PLANT MATERIAL IS SUBJECT TO CHANGE PENDING PLANT AVAILABILITY, OWNERS REPRESENTATIVE APPEAL, OR CHANGE IN CONSTRUCTION LAYOUT. PLEASE CONTACT LANDSCAPE ARCHITECT WITH ANY CHANGES BEFORE CONSTRUCTION TAKES PLACE
- NO WEED BARRIER SHOULD BE USED UNDER GROUND COVER AND PERENNIAL AREAS WITHIN PLANTING BEDS. INSTALL WEED BARRIER IN ALL TREE AND SHRUB PLANTER AREAS.
- SEE CIVIL AND ARCHITECTURAL DRAWINGS FOR ALL STRUCTURES, HARDSCAPE, GRADING AND DRAINAGE INFO.
- SEE SHEET LP-501 STANDARD PLANTING DETAILS.
- PLANT SIZES ARE AS FOLLOWS UNLESS SPECIFIED ON PLANS AND/OR CALLED OUT ON PLANT LEGEND: DECIDUOUS TREES - 2" CALIPER, EVERGREEN TREES - SIZES PER PLAN OR 6" MIN. HEIGHT PER CITY CODE, SHRUBS/PERENNIALS - 1.5 GALLON TYPICAL, GROUND COVERS - PER PLAN OR 12" O.C. SPACING - SEE DETAILS (NOTE 10 ABOVE)
- ALL PLANT MATERIALS AND STANDARDS TO MATCH HAILEY CITY LANDSCAPE REGULATIONS. CONTRACTOR TO VERIFY THAT ALL SIZES ARE IN ACCORDANCE WITH CITY STANDARDS AND REQUIREMENTS.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- SOIL PREPARATION FOR ALL NONHARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS.

**PLANT SCHEDULE**

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	ABIES CONCOLOR / WHITE FIR	8'	4
	ACER FREEMANII 'JEFFERSRED' TM / AUTUMN BLAZE MAPLE	2 1/2" CAL	5
	BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH - SINGLE TRUNK	2 1/2" CAL	3
	EXISTING EVERGREEN / EXISTING EVERGREEN PROTECT-IN-PLACE	-	14
	EXISTING TREE / EXISTING TREE PROTECT-IN-PLACE	-	7
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY
	BERBERIS THUNBERGII 'AUREA BONANZA GOLD' / BONANZA GOLD BARBERRY	1 GAL	140
	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER GRASS	1 GAL	206
	CORNUS ALBA 'RED GNOME' / TATARIAN DOGWOOD	5 GAL	52
	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	66
	PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH SWITCH GRASS	1 GAL	62
	RHAMNUS FRANGULA 'COLUMNARIS' / ALDER BUCKTHORN	5 GAL	34
	SAMBUCUS NIGRA 'BLACK LACE' / BLACK LACE ELDERBERRY	5 GAL	27
	YUCCA FILIFERA GOLDEN SWORD / GOLDEN SWORD	5 GAL	37
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	QTY
	FRAGARIA X 'LIPSTICK' / FALSE STRAWBERRY	FLAT @ 12" OC	567 SF
	SEDUM SPURIUM 'FULDAGLUT' / STONECROP	FLAT @ 12" OC	1,072 SF
ROCK MULCH	BOTANICAL NAME / COMMON NAME	CONT	QTY
	DARK GRAY CHAT APPROVAL PER OWNER	N/A	15,799 SF
	GRAY CRUSHER FINES APPROVAL PER OWNER	N/A	282 SF
SOD/SEED	BOTANICAL NAME / COMMON NAME	CONT	QTY
	TURF GRASS / TURF GRASS	SOD	8,449 SF
* PROPOSED SUBSTITUTIONS MUST BE SUBMITTED IN WRITTEN FORM BY THE CONTRACTOR AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.			
** QUANTITIES ARE FOR REFERENCE ONLY, CONTRACTOR TO VERIFY QUANTITIES.			
	PLANTING EDGER SEPARATION: 6" DEEP X 1/4" THICK ROLLED RUSTED STEEL EDGING BETWEEN ALL PLANTER/TURF AREAS (TYP.)	1450 LF	
	SITTING BENCH: CONTRACTOR TO PROVIDE OPTIONS TO OWNER FOR APPROVAL.		



LANDSCAPE ARCHITECTURE  
LAND PLANNING  
CONSTRUCTION MANAGEMENT

511 W. 200 S. SUITE 125  
SLC, UTAH 84101  
OFFICE: 801.521.2370  
FAX: 801.504.7176

WWW.LANDFORMDESIGNGROUP.COM

STAMP

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This design indicates relationships based on data obtained from other parties and has been interpolated or combined by Landform Design Group to meet the requirements of this project. The subsequent accuracy of this document, while considered reliable, is not warranted or guaranteed.

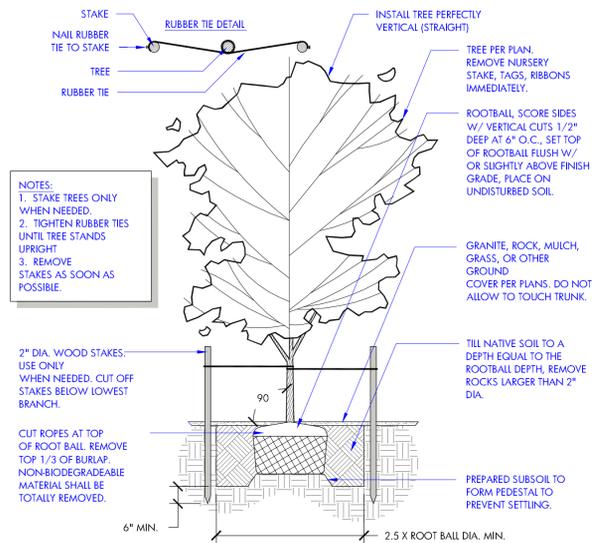
Although this document is intended for use during construction, the actual conditions encountered on site may require the modification of information contained herein. Any modification of the information contained herein will be subject to approval of Landform Design Group.

**O'REILLY AUTO PARTS**  
4TH AVENUE & S.H. 75  
HAILEY, IDAHO

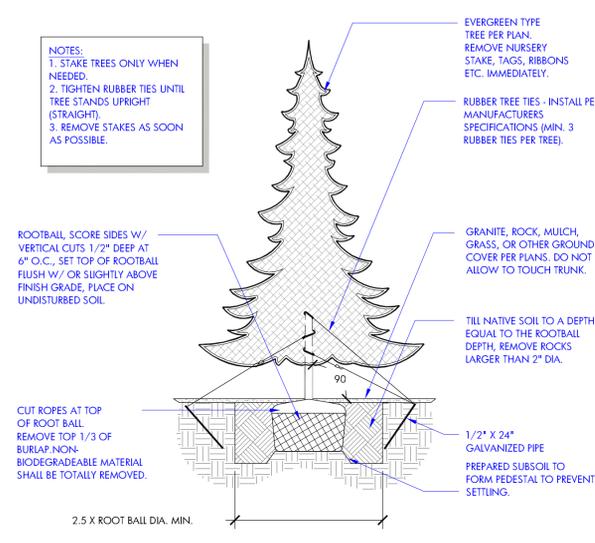
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DESIGN BY:	BAR
DRAWN BY:	BAR
CHECKED BY:	BAR
PROJECT NUMBER:	2012.65
ISSUE DATE:	12-05-12
REVISIONS:	

SHEET TITLE:  
**LANDSCAPE PLAN**

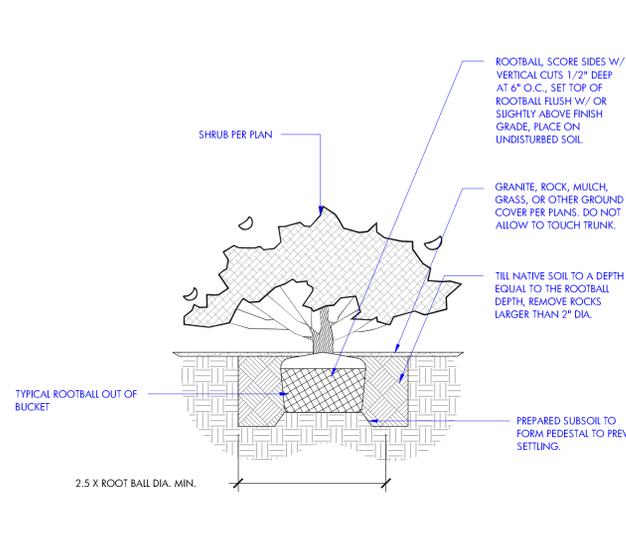
SHEET NUMBER:  
**LP-101**



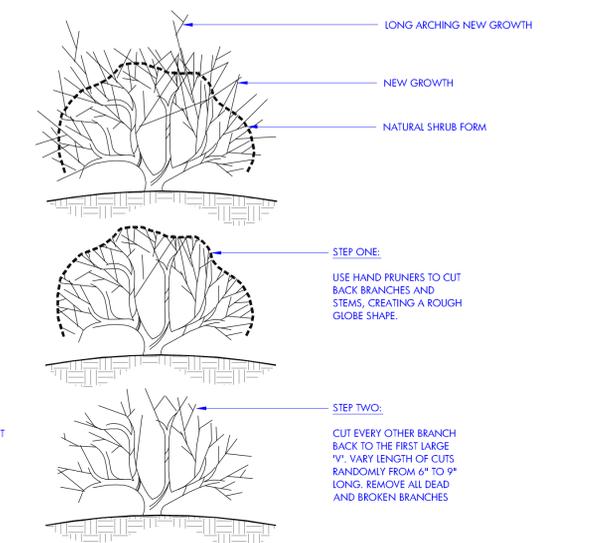
**1 DECIDUOUS TREE PLANTING**  
SCALE: NOT TO SCALE LFDG-PLA-03



**2 EVERGREEN TREE PLANTING**  
SCALE: NOT TO SCALE LFDG-PLA-04



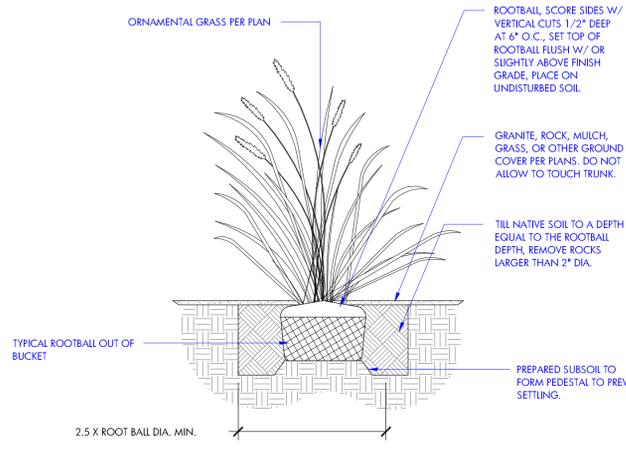
**3 SHRUB PLANTING AND PRUNING**  
SCALE: NOT TO SCALE LFDG-PLA-05



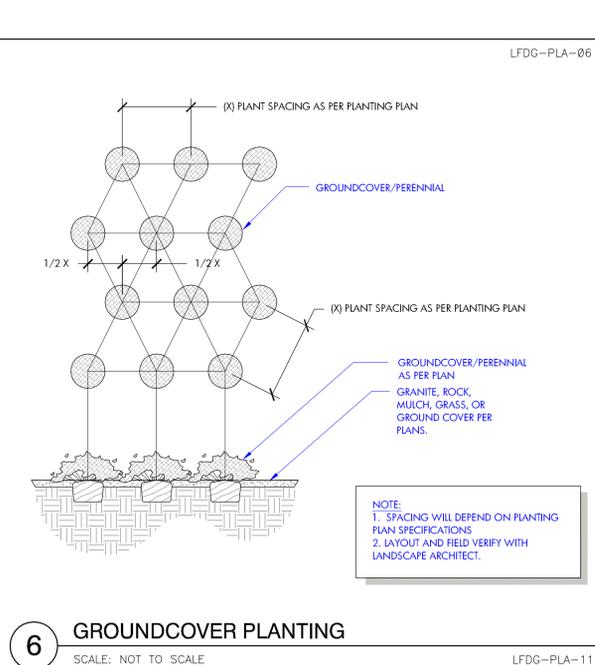
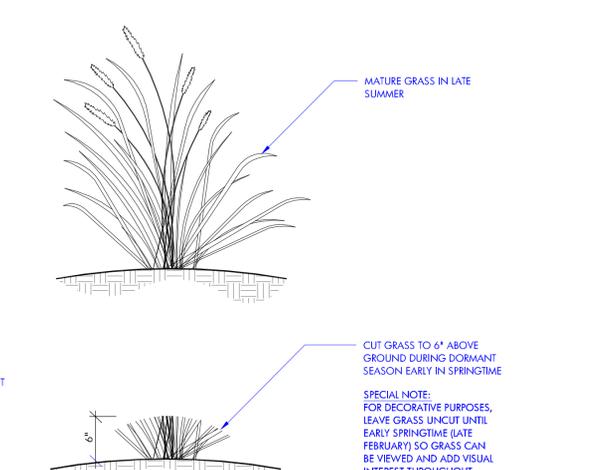
**4 SOD PLANTING AND LAYING**  
SCALE: NOT TO SCALE LFDG-PLA-06

**SOD LAYING NOTE:**  
AFTER AMENDING GROUND, LEVEL, SMOOTH, AND RAKE ALL AREAS TO RECEIVE SOD. SODDED AREAS MUST BE FREE OF ANY LUMPS, DEPRESSIONS, IRREGULAR AREAS OF ROCKS GREATER THAN 1/4\"/>

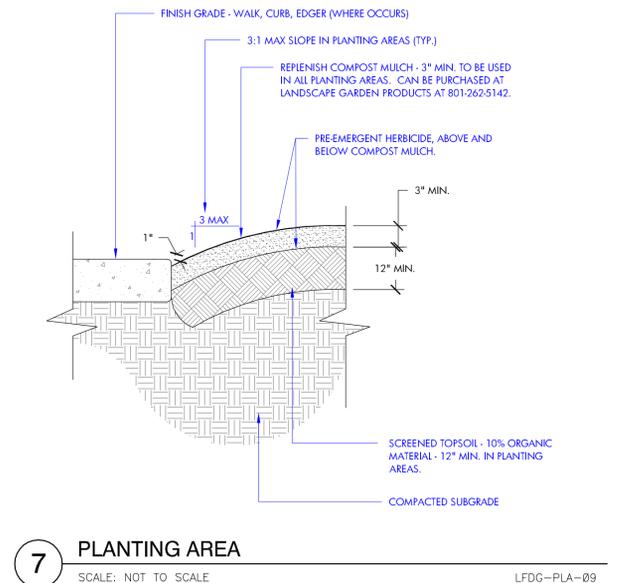
**INSTALLATION PROCESS:**  
1. LAY SOD WITHIN 24 HOURS OF BEING LIFTED.  
2. LAY SOD IN ROWS WITH STAGGERED JOINTS. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.  
3. LAY SOD FLUSH WITH ADJOINING EXISTING SODDED OR PAVED SURFACES.  
4. AFTER SODDING HAS BEEN COMPLETED, ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A 150 LB. SOD ROLLER.  
5. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS, OR OTHER IRREGULARITIES.  
6. HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE IS NOT PERMITTED.  
7. WATER ALL SODDED AREAS IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 3\"/>



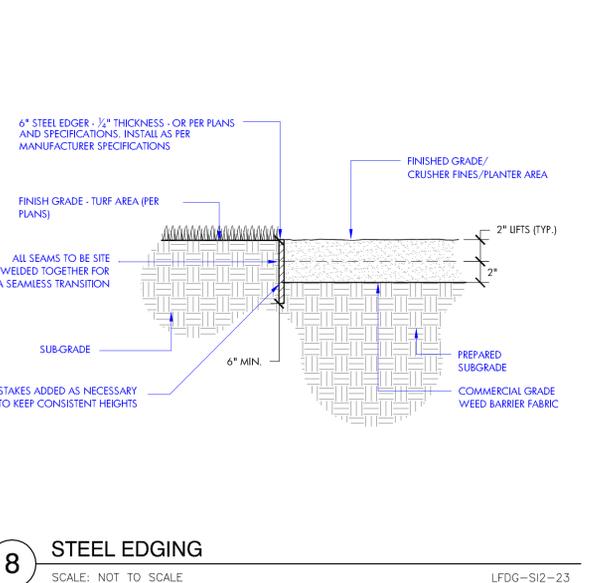
**5 GRASS PLANTING AND PRUNING**  
SCALE: NOT TO SCALE LFDG-PLA-07



**7 PLANTING AREA**  
SCALE: NOT TO SCALE LFDG-PLA-09

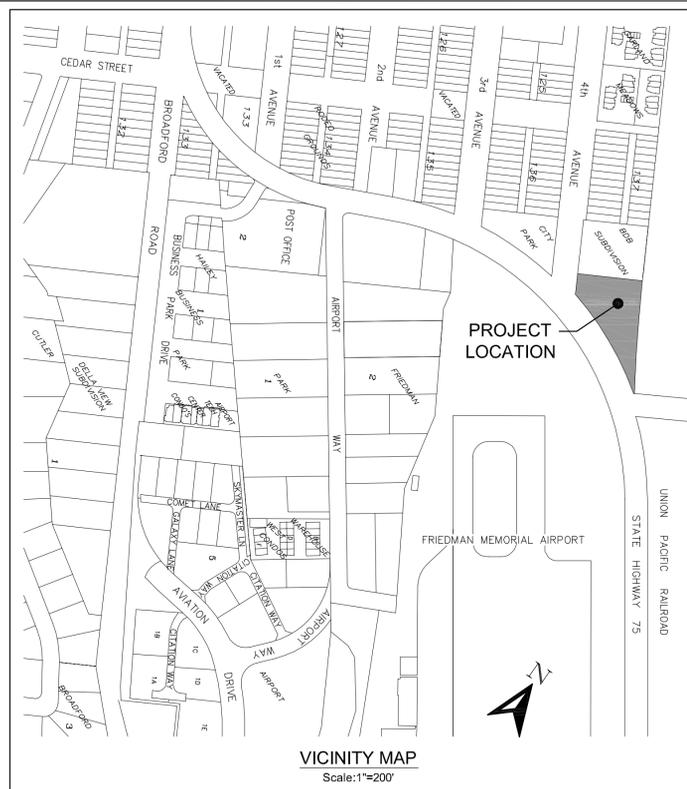


**8 STEEL EDGING**  
SCALE: NOT TO SCALE LFDG-SI2-23



**9 GROUNDCOVER PLANTING**  
SCALE: NOT TO SCALE LFDG-PLA-11

SCALE:	1" = 20'
DESIGN BY:	BAR
DRAWN BY:	BAR
CHECKED BY:	BAR
PROJECT NUMBER:	2012.05
ISSUE DATE:	12-05-12
REVISIONS:	



VICINITY MAP  
Scale: 1"=200'

**NOTES:**

- REFER TO PLAT NOTES ON THE ORIGINAL PLAT OF BOB SUBDIVISION. THIS PROPERTY IS SUBJECT TO THE CONVENANTS, CONDITIONS, AND RESTRICTIONS FOR SAID SUBDIVISION RECORDED AS "BOB SUBDIVISION", INSTRUMENT NO. 501958, RECORDS OF BLAINE COUNTY, IDAHO.
- REFER TO PLAT NOTES ON THE ORIGINAL PLAT OF R.DAVIS BUSINESS CENTER SUBDIVISION. THIS PROPERTY IS SUBJECT TO THE CONVENANTS, CONDITIONS, AND RESTRICTIONS FOR SAID SUBDIVISION RECORDED AS "R. DAVIS BUSINESS CENTER", RECORDS, BLAINE COUNTY, IDAHO, OR AS REPLATTED.
- WITHIN THE PROPOSED IMPROVEMENTS SHOWN, EASEMENTS ARE GRANTED FOR ACCESS, MAINTENANCE, AND RECONSTRUCTION OF UTILITIES. REFER TO AMENDED ACCESS EASEMENT RECORDED AS INSTRUMENT NO. 537873, RECORDS OF BLAINE COUNTY, IDAHO TO BENEFIT LOT 2, BLOCK 1, BOB SUBDIVISION.
- THE PROPOSED ACCESS LANE SHALL BE DESIGNATED AS A FIRE ACCESS LANE, AND SHALL BE POSTED ACCORDINGLY WITH SIGNS INDICATING "FIRE ACCESS - NO PARKING."
- SNOW STORAGE EASEMENTS FOR THE PARKING AREAS SHOWN ARE SHOWN HEREON. OWNER MAY RELOCATE EASEMENTS WITH PLAT AMENDMENT AS LONG AS CITY OF HAILEY SNOW STORAGE REQUIREMENTS ARE MET.
- CURRENT ZONING IS LIMITED BUSINESS DISTRICT (LB).
- A "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION," FAA FORM 7460-, SHALL BE SUBMITTED FOR ANY PROPOSED DEVELOPMENT WITH THIS SUBDIVISION.
- THIS PROPERTY IS SUBJECT TO THE NOISE AND AVIGATION EASEMENT AND NON-SUIT COVENANT RECORDED AS INSTRUMENT NO. \_\_\_\_\_, RECORDS, BLAINE COUNTY, IDAHO.

**GENERAL CONSTRUCTION NOTES**

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS", THE "IDAHO WASTE WATER RULES", THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC), AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC ON SITE DURING CONSTRUCTION.

**DOMESTIC WATER SYSTEM CONSTRUCTION NOTES**

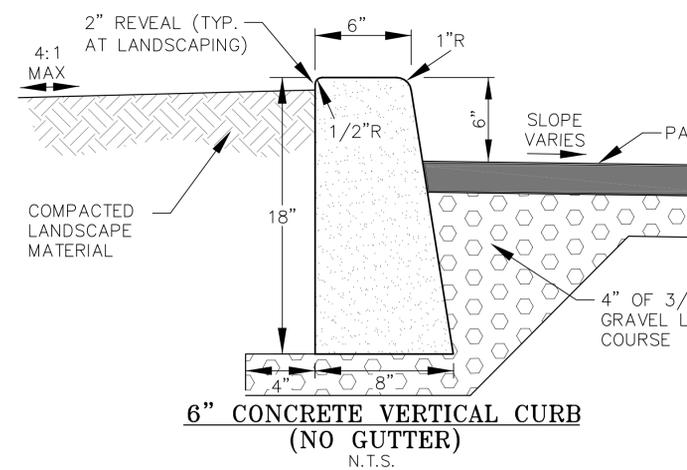
- ALL WATER CONSTRUCTION SHALL BE TO CITY OF HAILEY STANDARDS AND COORDINATED AND INSPECTED BY THE CITY OF HAILEY.

**SEWER CONSTRUCTION NOTES**

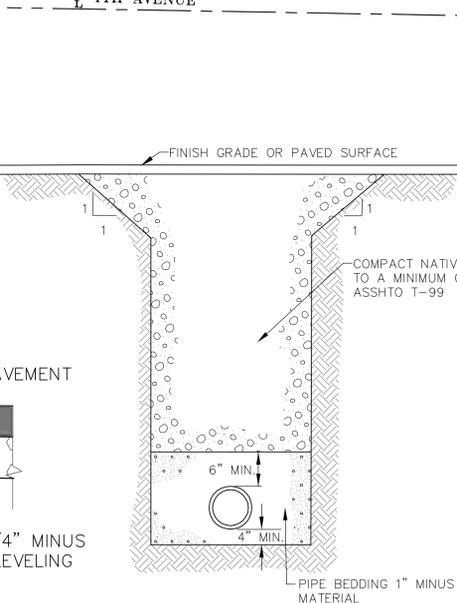
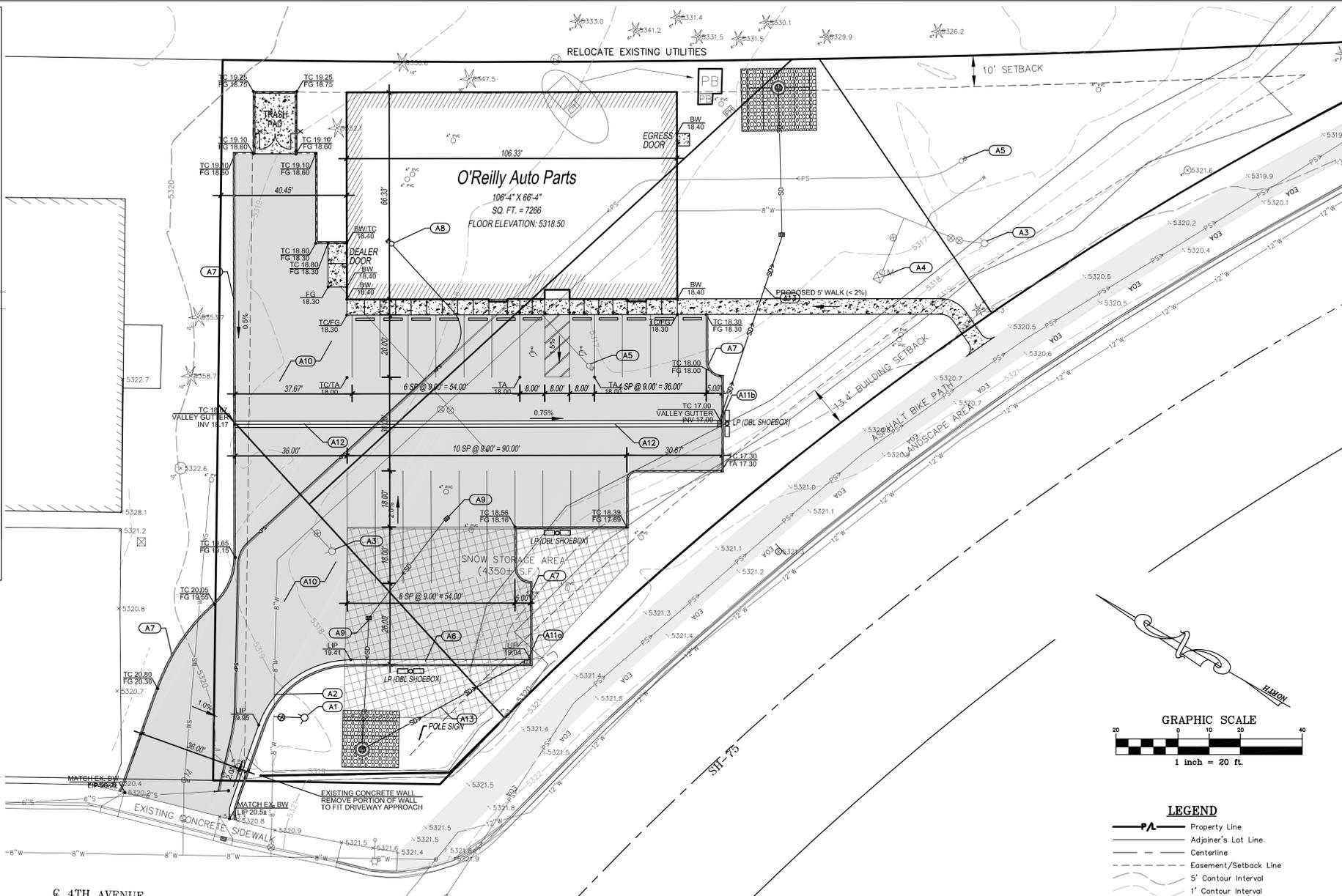
- ALL SEWER CONSTRUCTION SHALL BE TO CITY OF HAILEY STANDARDS AND COORDINATED AND INSPECTED BY THE CITY OF HAILEY.

**ROAD CONSTRUCTION NOTES**

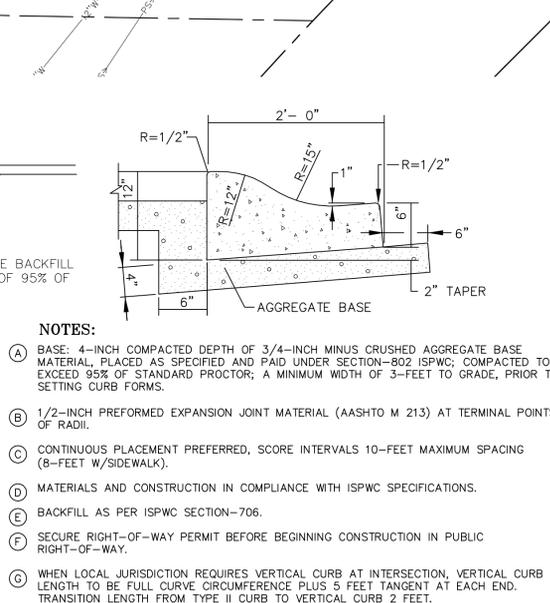
- ALL ROAD CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS AND COORDINATED WITH AND INSPECTED BY THE CITY OF HAILEY.



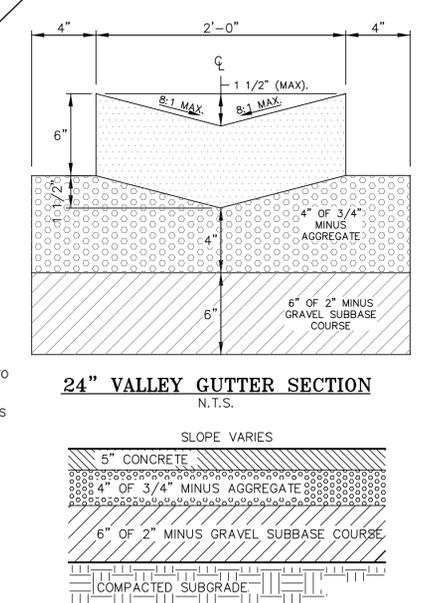
6" CONCRETE VERTICAL CURB (NO GUTTER)  
N.T.S.



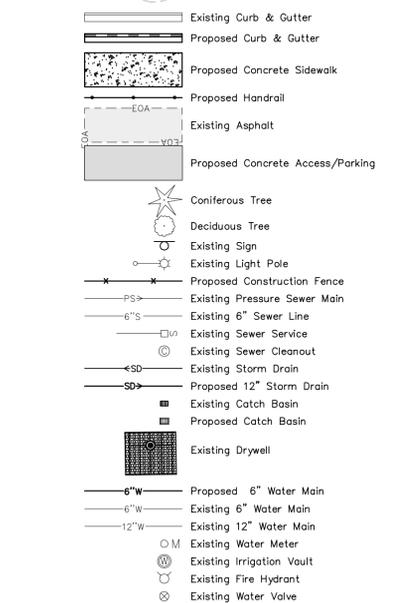
TYPICAL TRENCH DETAIL  
N.T.S.



6" CONCRETE ROLLED CURB & GUTTER  
N.T.S.

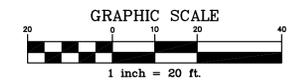


24" VALLEY GUTTER SECTION  
N.T.S.



TYPICAL CONCRETE SECTION  
N.T.S.

- CONSTRUCTION CALLS**
- (A1) INSTALL FIRE HYDRANT ASSEMBLY PER HAILEY STANDARDS. CUT AND CAP EXISTING WATER MAIN BEYOND FIRE HYDRANT ASSEMBLY.
  - (A2) REMOVE AND DISPOSE OF EXISTING WATER MAIN AND SERVICES BEYOND NEW FIRE HYDRANT ASSEMBLY.
  - (A3) REMOVE EXISTING FIRE HYDRANT ASSEMBLY.
  - (A4) REMOVE AND DISPOSE OF EXISTING WATER METER ASSEMBLY.
  - (A5) REMOVE AND DISPOSE OF EXISTING PRESSURE SEWER SERVICE.
  - CONSTRUCT CONCRETE ROLLED CURB AND GUTTER (TYPE 2)
  - (A7) CONSTRUCT STANDING VERTICAL CURB (6" REVEAL, UNLESS NOTED OTHERWISE)
  - (A8) RETAIN AND PROTECT EXISTING PRESSURE SEWER SERVICE FOR CONNECTION TO BUILDING
  - (A9) REMOVE EXISTING CATCH BASIN AND STORM PIPE
  - (A9) CONSTRUCT ASPHALTIC CONCRETE PAVEMENT REPAIR.
  - (A10) CONSTRUCT ASPHALTIC CONCRETE PARKING AREA
  - (A11) INSTALL CATCH BASIN  
a. RIM = 15.00  
   INV. OUT = 16.00  
b. RIM = 16.90  
   INV. IN = 13.90  
   INV. OUT = 13.70
  - (A12) INSTALL 2" VALLEY GUTTER
  - (A13) INSTALL 12" ADS N-12 STORM DRAIN



- LEGEND**
- PA — Property Line
  - Adj — Adjoiner's Lot Line
  - C — Centerline
  - E — Easement/Setback Line
  - 5' — 5' Contour Interval
  - 1' — 1' Contour Interval
  - EG — Existing Curb & Gutter
  - PG — Proposed Curb & Gutter
  - PC — Proposed Concrete Sidewalk
  - PH — Proposed Handrail
  - EA — Existing Asphalt
  - PA — Proposed Concrete Access/Parking
  - CT — Coniferous Tree
  - DT — Deciduous Tree
  - ES — Existing Sign
  - EL — Existing Light Pole
  - PCF — Proposed Construction Fence
  - PS — Existing Pressure Sewer Main
  - S — Existing 6" Sewer Line
  - SS — Existing Sewer Service
  - SC — Existing Sewer Cleanout
  - SD — Existing Storm Drain
  - SDP — Proposed 12" Storm Drain
  - CB — Existing Catch Basin
  - CBP — Proposed Catch Basin
  - DW — Existing Drywell
  - 6"W — Proposed 6" Water Main
  - 6"W — Existing 6" Water Main
  - 12"W — Existing 12" Water Main
  - WM — Existing Water Meter
  - IV — Existing Irrigation Vault
  - FH — Existing Fire Hydrant
  - WV — Existing Water Valve
  - FGE — Finished Grade Elevation
  - TC — Top of Curb Elevation
  - BW — Back of Walk Elevation
  - LIP — Lip of Curb and Gutter Elevation
  - S — Snow Storage Easement (Hardscape = 17,350 s.f.±) (S.S.E = 4,350 s.f.±)

**PRELIMINARY CIVIL SITE PLAN**

**O'REILLY AUTO PARTS - HAILEY**  
WITHIN SECTION 10 & 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO  
PREPARED FOR BRUCE ALLEN

PROJECT INFORMATION  
P:\askpro\6101-02.dwg Construction\610102.prim civil site plan\_11-16-12.dwg 11/16/2012 2:58:36 PM MST

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE

REUSE OF DRAWINGS  
These drawings, or any portion thereof, are not to be used for any project or site without the written agreement in writing with Galena Engineering, Inc..

**GALENA ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
317 N. RIVER STREET  
HAILEY, IDAHO 83433  
(208) 788-1705  
(208) 788-4612 fax  
email galena@galena-engineering.com

NO	DATE	BY	REVISIONS
1	11-30-12	JCL	Relocate trash enclosure & utilities, add walk, move light poles, concrete paving, remove landscape wall, add snow storage

SHEET C1

# City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH  
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting, and Community Planning Services

(208) 788-9815  
Fax: (208) 788-2921

November 26, 2012

Dear Public Agency:

The Hailey Planning and Zoning Commission will hold public hearings on the item(s) listed below on **Monday, December 10th, 2012**, at 6:30 p.m., Hailey City Hall.

- An application by Terra Form Companies for a Conditional Use Permit for a wholesale distributor with incidental and subordinate retail sales, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.
- An application by Terra Form Companies for Design Review of a proposed building, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

This Notice is issued pursuant to Idaho State Code (Local Land Use Planning Act), Section 67-6509, whereby notice must be provided to all political subdivisions providing services within the planning jurisdiction at least 15 days prior to public hearings regarding proposed amendments to the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, or any other land use ordinance.

You are invited to attend this public hearing or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83333 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org).

Supporting documents for this item(s) can be viewed on the City of Hailey website as of the date of this letter; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on Current Applications or Ordinance Amendments. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Planning Coordinator at [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

**SOUTH CENTRAL  
SUPERVISORY AREA**  
324 South 417 East, Ste. 2  
Jerome, ID 83338-6206  
Phone (208) 324-2561  
FAX (208) 324-2917



**TOM SCHULTZ, DIRECTOR**  
EQUAL OPPORTUNITY EMPLOYER

**STATE BOARD OF LAND COMMISSIONERS**  
*C.L. "Butch" Otter, Governor*  
*Ben Ysursa, Secretary of State*  
*Lawrence G. Wasden, Attorney General*  
*Brandon Woolf, State Controller*  
*Tom Luna, Sup't of Public Instruction*

December 4, 2012

Beth Robrahn  
Community Development Director  
City of Hailey  
115 Main Street South, Suite H  
Hailey, ID 83333

e-mail to: [planning@haileycityhall.org](mailto:planning@haileycityhall.org)

**RE: Terra Form Companies - To Construct a New Commercial Building for Wholesale and Retail Use  
Conditional Use Permit and Design Review  
960 S 4<sup>th</sup> Avenue, Hailey, Idaho – Section 10 T2N R18E BM**

Dear Ms. Robrahn:

Thank you for the opportunity to review and comment on the applications as noted above, submitted by Terra Form Companies, for property located at 960 S. 4<sup>th</sup> Avenue, Hailey, Idaho.

As you may know, Idaho Department of Lands' (IDL) mission is to manage State Endowment Trust Lands (State Trust Lands) in a manner that will maximize long-term financial returns to the Beneficiary Institutions. The IDL mission is a constitutional mandate and is overseen by the State Board of Land Commissioners. State Trust Lands are not managed for the public at large and should not be referred to as "public lands" or "open space," either specifically or in a generic sense. These are working lands producing revenue for the Beneficiary Institutions.

IDL has reviewed the public hearing notice provided by the City of Hailey for the Terra Form Companies requests. Based on the documentation provided to IDL, the applications will not impact State Trust Lands at this time. Should the applications be modified during the review or approval process, IDL requests that updated information be submitted to the South Central Area Office for additional review.

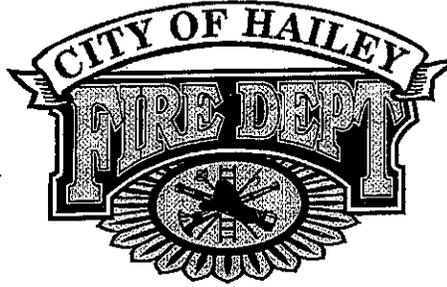
Thank you again for the opportunity to review and comment on these applications; we look forward to working with you again in the future. Please contact me at (208) 324-2561 if you have questions or need more information.

Sincerely,

Timothy C. Duffner  
South Central Area Manager

cc: Kate Langford, Strategic Business Analyst – Planning  
Julianne Shaw, Assistant Plann

**Hailey Fire Dept.**  
**617 S. Third Street**  
**P.O. Box 1192**  
**Hailey, Idaho 83333**



**Capt. Michael Baledge**  
**Fire Marshal**  
**Office: 208-788-3147**  
**Fax: 208-788-0279**  
**E-mail:**  
**mike.baledge@haileycityhall.org**

**MEMO**

**To: Micah Austin**  
**From: Mike Baledge**  
**Re.: Project Irish**  
**Date: November 16, 2012**

**COPY**

Micah,

I have looked over the site plan for the above project and I have the following concerns regarding access and water supply. Below is a list of notes that go with the attached checklist we use for site plan review.

1. Fire apparatus must be able to reach all portions of the exterior of the building with a 150 foot hose line. According to the drawings I have we seem to come up about 30 feet short of meeting this requirement. It is possible that the dimensions are distorted by the computer, however if this is the case then the access roads need to be extended up the north or south sides of the building or a fire sprinkler system needs to be installed.
2. I could not tell from this plan if the trash enclosure was fenced or not. If the fence is in place it cannot be placed to prevent access to the building exterior.
3. The distance from the entrance of the parking lot to the location of the trash bin on the north side of the building is in excess of 150 feet. This would be the most likely access for fire apparatus. The way it looks on the plans this would be considered a dead end access and must be provided with a means to turn fire apparatus around. Some other features of the parking lot might work to solve this issue but the will need to be measured on scalable plans to verify the measurements.
4. Note four is just to reiterate that a lot of access issues typically go away when a fire sprinkler system is added to the building.
5. This section of the checklist cannot be checked without building plans.

6. Any gates around the property that will slow or stop firefighter access must be approved by the fire department.
7. The existing fire hydrants on the property meet the needs of this building. Any relocating, adding, or removing of a fire hydrant must be approved and done prior to building construction.
8. Depending on how some of the access issues, such as turnarounds and access lanes on the north and south sides of the building are configured, fire lane signs and painted curbs may be needed.

Let me know if you have any questions or need any clarification on any of these issues please contact me.



General Fire & Life Safety Site Review
Part 1 of 3 - General Site Considerations

Name of Site: Project Irish
Location of Site: 4th & 75
Contact Person: Tel: Fax:

General Site Location

Do all proposed roads align, intersect and/or have consistent addressing
Is any of the site located in the following areas:

- Floodplain
In an area identified as a urban/wildfire interface area
On a hill or adjacent to any sloped ground over 10%
In a potential avalanche or debris flow area

Fire Apparatus Road—Distance From Buildings and Turnarounds

- Access roads extend to within 150 feet of all portions of the exterior wall of the building...
Are there any proposed fences, trash enclosures, gates etc. that may prevent access...
An approved turnaround has been provided if required...
Turnouts: Required access roads in excess of 500' turnout provided at fire hydrants.
If any portion of the building is located adjacent to a property line or fire access lane, are there any anticipated obstructions intruding into the required area? (i.e. electric or gas meters, sliding snow, transformers, future building construction.) (IFC Sec. 503.1.1 & D104)

Access Roads Adjacent to Buildings

- The fire apparatus access road may be extended or modified if the building is completely protected with an approved automatic fire sprinkler system, as approved by the Fire Official. (IFC Sec. 503.1.1)
All required fire apparatus access roads serving buildings 30' or less in overall height, shall have an unobstructed width of not less than 20', and an unobstructed vertical clearance of not less than 13'6". (IFC 503.2.1)
Buildings exceeding 30 feet in height from the lowest point of vehicular fire apparatus access shall have:
At least three separate means of fire apparatus access to each structure.
Exception: Buildings exceeding 30 feet from the lowest point of vehicular fire apparatus access but not exceeding 35 feet in height shall provide at least two means of fire apparatus access for each structure.
Fire access roads to buildings greater than 30' in height above the lowest level of fire department access have a minimum unobstructed width of 26'.
At least one of the required access routes is positioned parallel to one entire side of the building and shall have its closest edge located within a minimum of 15 feet and a maximum of 30' from the building. (This is to allow adequate aerial ladder access to the building.)
Overhead utility lines are not to be located over the aerial fire apparatus access roadway. (IFC Appendix D104)

Additional Access Roads

Two approved means of access have been provided to the city/county roadway or access easement due to the location containing, more than (5) single or duplex family dwelling units, 36 multiple family dwellings, vehicle congestion, adverse terrain conditions or other factors as determined by the Fire Official. (Exceptions may be allowed when automatic fire sprinkler systems are installed.) (IFC Appendix D107.1, as amended)

Gates: Gates located on fire access roads are generally discouraged, but when installed:

- Gates and barricades located on fire access roads should be of the sliding, lifting or other type that can operate properly in deep snow conditions.
All gates have a width equal to the required width of the fire access road that it is located on.
All electronic gates have a Knox Box key override switch installed.
All manual gates have an approved method for restricting unauthorized access. (IFC Appendix D 103.5 & 503.5)

Turning Radius

The inside turning radius and outside turning radius of fire access roads are not less than 28' and 48' respectively, measured from the same center point. (IFC Appendix D103.3)

Fire Department Access and Fire Fighting Water Supply During Construction

Approved fire department access roads and water supplies shall be installed and operational prior to any combustible construction or storage on the site or subdivision. (IFC Sec. 1412.1)

Surface and Load Capacities

- Fire apparatus access roads are of an all-weather driving surface that is easily distinguishable from the surrounding area and is capable of supporting not less than 12,000 pounds point load (wheel load) and 75,000 pounds live load (gross vehicle weight).
- Obstruction: Access roads not obstructed i.e. parking, dumpsters, and building materials. (IFC Sec. 503 & App. D102)

Grade

- Private fire apparatus roadway grades do not exceed an average grade of 6% with a maximum grade of 8% for lengths of no more than 150'.
- NOTE: Other standards may apply in areas designated as wildland interface.
- Intersections and turnarounds are level with the exception of crowning for water run-off. (IFC Sec. 503.2.7)

No Parking Signs

- Approved fire lane signs will be installed on one or both sides of the roadway, turnarounds and pullouts as needed. (Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and have the required width of unobstructed driving surface.)
- Signs are installed with a clear space above grade level of 7'.
- Signs are 12" wide by 18" high and shall have black or red letters and a border on a white reflective background.
- Roads 20 to 26' in width have signs posted on both sides as a fire lane.
- Fire Access Roads greater than 26' in width have used approved markings and signage to clearly identify the area to be used as a fire lane.
- Signs indicate the beginning, ending and intermediate boundaries of the fire lane. (IFC Appendix D103.6)

Painted Curbs: When curbs are provided the:

- Fire apparatus roadway curbs are painted bright red and marked "No Parking - Fire Lane" at each 25' section.
- Lettering is white and has a stroke of not less than 3/4" wide by 4" high. (IFC Sec. 503.3)

Bridges

- Private bridges shall be designed and constructed in accordance with the State of Idaho Department of Transportation Standards.
- The design load shall be prepared by a State of Idaho registered professional engineer.
- The design engineer has prepared a special inspection and structural observation program for approval by the building official.
- The design engineer has given in writing, final approval of the bridge to the City Engineer immediately after construction is completed.
- Structure capability weight/vertical clearance signs. (IFC Sec. 503.2.6)

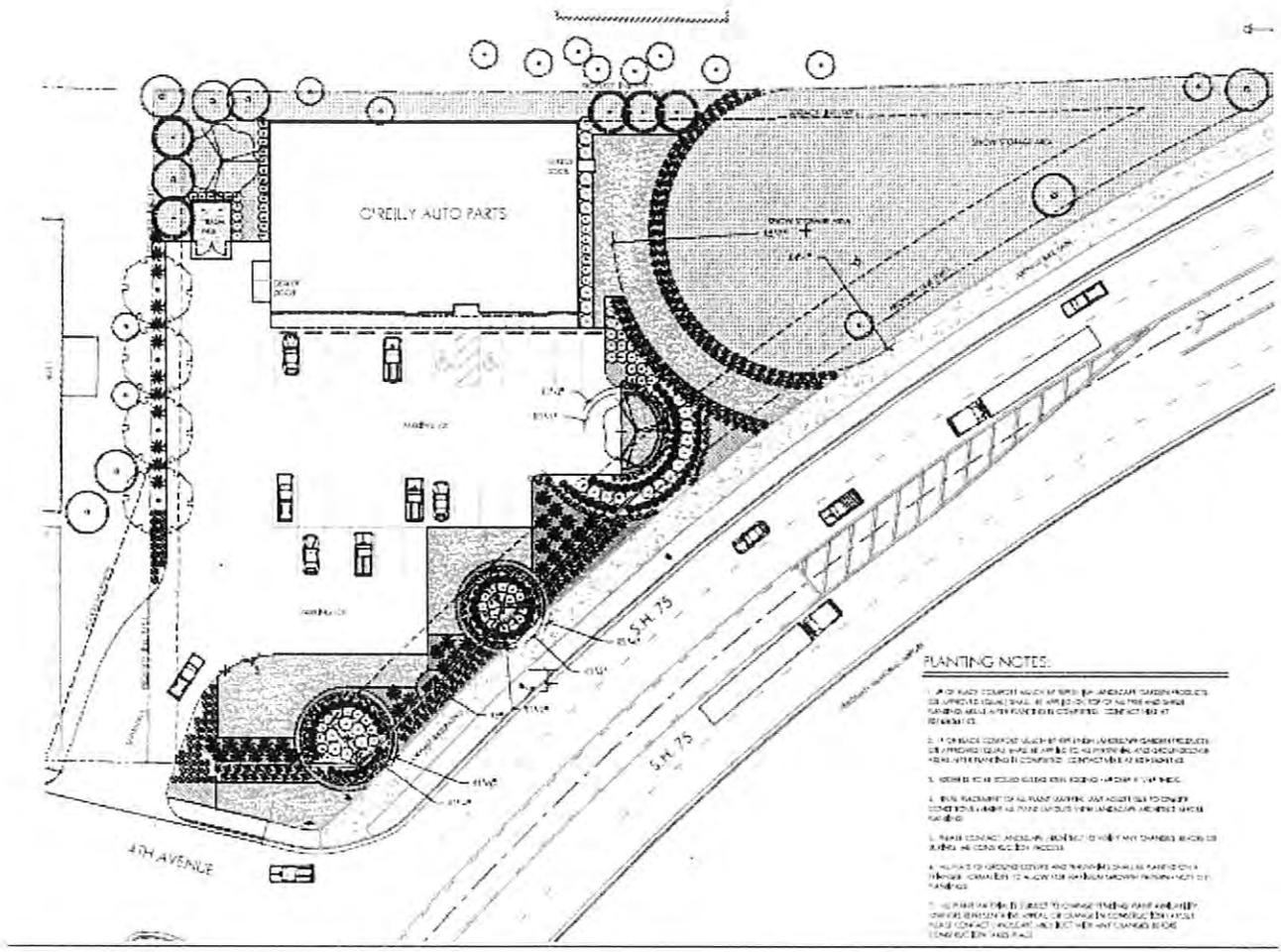
Fire Hydrants

- No point on a required fire access road is greater than 250' from a fire hydrant.
- Fire hydrants are placed no more than 500' feet apart in residential areas, and 450' feet apart in commercial areas, measured in an approved manner around the outside of the structure and along an approved fire apparatus access roadway. (Note: These distances are further reduced for dead end accesses.)
- In general, fire hydrants are placed at street intersections, and/or entrances to the protected premises.
- All fire hydrants are located outside of defined snow storage areas.
- Additional hydrants (if needed to meet the minimum fire flow or spacing requirements) may be placed at non-intersecting areas, or other specific locations approved by the Fire Official.
- Hydrants located on the opposite side of arterial streets with four (4) or more lanes of traffic are not considered available for use.
- All hydrant locations have been approved by the Fire Official. (IFC Sec. 508.5.1- 508.5.6 & C105)
- Fire hydrants should not be located not more than 30' from an approved fire access roadway. (HFD Policy)
- Fire hydrants or fire department connections (FDC) which may be exposed to vehicular damage or obstruction have an approved array of bollards or guard posts installed to protect them from damage and to maintain the minimum distance required for proper operation. (IFC Sec. 312)
- Fire hydrants are identified by the installation of approved hydrant flags mounted on the rear of the hydrant.

NOTES: See Attached Letter

Date Reviewed: 11/16/12 Reviewed By Mine Boyle TS

# Aerial Map



- PLANTING NOTES:**
1. ALL PLANTING SHALL BE DONE BY AN APPROVED CONTRACTOR. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LOS ANGELES PLANTING SPECIFICATIONS. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LOS ANGELES PLANTING SPECIFICATIONS. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LOS ANGELES PLANTING SPECIFICATIONS.
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# City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH  
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815  
Fax: (208) 788-2924

November 26, 2012

Dear Property Owner:

Your property has been identified as being located within 300 feet of the property listed below; this letter is being sent to you to give you the opportunity to comment on the following applications related to the following property:

- An application by Terra Form Companies for a Conditional Use Permit for a wholesale distributor with incidental and subordinate retail sales, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.
- An application by Terra Form Companies for Design Review of a proposed building, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

A map showing the location of the property is included with this letter.

A public hearing will be held on these applications as part of the Hailey Planning and Zoning Commission's meeting on Monday, December 10<sup>th</sup>, 2012, at 6:30 p.m., at Hailey City Hall. You are invited to attend this public hearing and/or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83333 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org).

Supporting documents for this application can be viewed on the City of Hailey website as of the date of this letter; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on Current Applications. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Planning Coordinator at [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

# City of Hailey - Design Review Application

Submittal Date: 11 / 16 / 2012

Project Name: Hailey O'Reilly Auto Parts Parcel No. \_\_\_\_\_

RPH 04860010010

Legal Description of Property: Subdivision R. Davis Business Center Lot(s) 2, Block 1

Street Address of Property: 950 South 4th Avenue

Current Zoning of Property: Commerical Year of original construction: N/A  
(Only applicable if property is within the Townsite Overlay)

Existing building gross sq. ft. (if applicable) N/A Proposed addition or new construction sq. ft. 7266 SF

Name of Owner of the Property: Hailey Auto, LLC

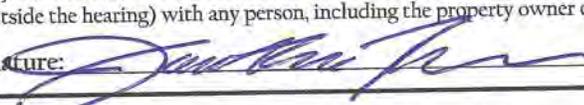
Mailing Address: 2231 East Murray-Holladay Road City: Salt Lake City State: UT Zip: 84117

Phone: ( 801 ) 278 - 46888 Fax: ( 801 ) 278 - 5632 Cell: ( 801 ) 671 - 4817

Email Address: jtaylor@terraformco.com

**Property Owner Consent:**

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature:  Date: 11 / 16 / 2012

Name of individual to contact on behalf of Trust or LLC (if applicable): \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: ( ) \_\_\_\_\_ - \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ - \_\_\_\_\_ Cell: ( ) \_\_\_\_\_ - \_\_\_\_\_

Email Address: \_\_\_\_\_

Application Contact (if different than above): \_\_\_\_\_

*\*\*Application Contact will be the Planning Department's primary point of contact for questions related to the application.*

Mailing Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: ( ) \_\_\_\_\_ - \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ - \_\_\_\_\_ Cell: ( ) \_\_\_\_\_ - \_\_\_\_\_

Email Address: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

**Appeals:** Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

**FOR CITY USE ONLY** Fees: *Cost of additional noticing, recording fees, and other direct costs will also be assessed.*

<input checked="" type="checkbox"/> Commercial, Mixed-Use or Multi-Family.....	\$ 450.00
plus \$25 / 1,000 gross square feet.....	\$ 175.00
OR <input type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Structure in TO.....	\$ 250.00
OR <input type="checkbox"/> No Substantial Impact..... (Mailing only).....	\$ 75.00
OR <input type="checkbox"/> Modification to DR Approval... (No publication or mailing).....	\$ 50.00
OR <input type="checkbox"/> DR Exemption... (No publication or mailing).....	\$ 30.00
Publication cost.....	\$ 40.00
Mailing (# of addresses _____) x (_____ postage + .15 paper, envelope & label)	\$ 4.80
<b>DO NOT COUNTY DUPLICATES OR CITY OF HAILEY</b>	
<b>Total Due.....</b>	<b>\$ 669.80</b>

# DESIGN REVIEW - CHECKLIST

City Use Only -

Project Name: Hailey Auto Parts

Certified Compete by: \_\_\_\_\_

Date: 11 / 16 / 2012

The following items must be submitted with the application for the application to be considered complete (✓):

- One (1) 24" x 36" set of plans with scale indicated containing the following:
- Vicinity map showing project location in relationship to adjacent buildings and surrounding area.
- Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions (must show location of adjacent buildings and structures).
- Total square footage of subject property, including lot dimensions.
- Building setbacks.
- Staging and contractor parking plan.
- Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures).
- Landscape plan
  - Existing tree to be shown as retained/relocated/removed.
  - All proposed species type/size/quantity of each.
  - Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
- Floor plan (include gross square footage for each floor, occupancy classification and type of construction).
- Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
- Drainage plan (grading, catch basins, piping, and dry-wells).
- Detailed elevations showing facade of all sides of proposed building and other exterior elements. Must show elevation points of record grade. Include notes on colors, materials, dimensions.
- Colored rendering of at least one side of the proposed building.
- Idaho licensed architect (plans for single family dwellings may be stamped by an Idaho licensed structural engineer)
- North point and scale.
- Six (6) 11" x 17" copies of any larger plans/maps (if project is located within the Townsite Overlay, then one (1) 11" x 17" copy is sufficient).
- PDF files of all required documents and 11" x 17" plans/maps; email PDFs to [planning@haileycityhall.org](mailto:planning@haileycityhall.org).
- Color photographs of any existing structures on the site.
- Materials and colors sample board. Each sample approximately 12" x 12".
- Sign Plan (if applicable).
- Area Development Plan (required if property owner also owns adjacent parcels).
- For property located in Airport West, Design Review approval by Airport West Design Board.
- Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- Names and addresses of easement holders within subject property.
- Written statement of how each design review standard is met (contact the Planning Coordinator for which set of standards is applicable to your project).
- Other information as required by the Zoning Administrator, Hearing Examiner or Commission.

**City Use Only:**

- Double check address
- Advise applicant if Lot Line Adjustment is needed
- Check following basic standards:
 

<input type="checkbox"/> Density	<input type="checkbox"/> Lot coverage
<input type="checkbox"/> Setbacks	<input type="checkbox"/> Floor area
<input type="checkbox"/> Height (plans must show elevation points of record grade)	<input type="checkbox"/> Parking (# of spaces)



115 MAIN STREET S. SUITE H  
 HAILEY, ID 83333  
 PHONE: (208) 788-4221  
 FAX: (208) 788-2924

INVOICE #	INVOICE DATE
10441	11/20/2012
DUE DATE	CUSTOMER ACCOUNT NUMBER
11/20/2012	321821
AMOUNT DUE	TERMS:
1,109.80	Open Terms

BILL TO:

**TERRAFORM COMPANIES**

2231 EAST MURRAY-HOLLADAY RD  
 SALT LAKE CITY UT 84117

PLEASE DETACH AND RETURN THIS TOP PORTION  
 WITH YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY  
 115 S MAIN ST STE H  
 HAILEY, ID 83333

## INVOICE

DESCRIPTION	QUANTITY	CHARGE	EXT. PRICE
PLANNING DESIGN REVIEW	.		669.80
PLANNING CONDITNL USE PERMITS	.		440.00
			1,109.80
			TOTAL AMOUNT DUE

THANK YOU FOR YOUR PROMPT PAYMENT  
 For Billing Inquiries Call: (208)788-4221  
 Office Hours: 9:00 a.m. - 5:00 p.m.  
 Monday thru Friday

CITY OF HAILEY  
115 MAIN ST SOUTH STE H  
HAILEY, ID 83333  
208-788-4221

Receipt No: 1.011309      Nov 20, 2012

9105  
TERRAFORM COMPANIES  
2231 EAST MURRAY-HOLLADAY RD  
SALT LAKE CITY, UT 84117

Previous Balance:	1,109.80
Accounts Receivable	
A/R Payments	1,109.80
001-00-10700	
Accts Rec Cash Clearing Acct	

New Current Balance:	.00
	=====

Check	
Check No: 1192	1,109.80
Total Applied:	1,109.80

Change Tendered:	.00
	=====

11/20/12 03:45pm

## STAFF REPORT

**TO:** Hailey Planning and Zoning Commission

**FROM:** Bart Bingham, Planning Coordinator

**RE:** Design Review – Construction of a non-residential building to be used for a conditional use within the Limited Business Zoning District.

**HEARING** December 10, 2012

---

**Applicant:** Terra Form Companies

**Request:** Design Review

**Location:** R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.)

**Zoning:** Limited Business Zoning District (LB)

### Notice

Notice for the public hearing was published in the Idaho Mountain Express on November 21, 2012, and mailed to property owners within 300 feet and public agencies on November 26, 2012.

### Application

Terra Form Companies (TCC), represented by Jonathan Taylor, submitted a Design Review application proposing to construct an auto parts wholesale distribution center with incidental and subordinate retail sales, to be located at the location noted above. Proposed is a new 7,266 sq. ft. building to be constructed with 4' high brick veneer wainscot, stucco finish above, horizontal stucco accent at the 11'- 6" level, a suspended metal canopy, and a stucco finish over a shaped foam cornice just below metal edge painted cap flashing.

### Procedural History

The application was submitted on November 15, 2012. The last ordinance to amend Article 6A of the Zoning Code was Ordinance 1062.

### Standards of Evaluation

#### **8.2 Signs.**

The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

#### **9 Parking and Loading Spaces**

**[\*insert relevant code sections in bold]**

##### **9.4 On-Site Parking Space Requirements.**

##### **9.4.2 Commercial, Professional, Service, Recreation and Entertainment.**

**A. All commercial, professional, service, recreation and entertainment uses shall provide improved parking in the amount of one parking space for every 1,000 square feet of gross building area.**

Proposed TCC building is 7,266 sq. ft. By the standard, seven parking spaces are required. Proposed plans show 28 parking spaces; 2 handicap and 26 others.

#### **8B.4. Outdoor Lighting Standards.**

##### **8B.4.1 General Standards.**

**a. All exterior lighting shall be designed, located and lamped in order to prevent:**

- 1. Overlighting;**
- 2. Energy waste;**
- 3. Glare;**
- 4. Light Trespass;**
- 5. Skyglow.**

**d. All Exterior Lighting shall be Full Cut-Off Luminaires with the Light source downcast and fully shielded, unless exceptions are specified in Section 8B.4.2, Type of Luminaires.**

It is a condition of approval that all exterior lighting comply with Article 8B of the Hailey Zoning Ordinance.

**8B.4.2 Type of Luminaires. All exterior lighting shall use full cut-off luminaires with the light source downcast and fully shielded, with the following exceptions:**

**a. All Luminaires, excluding LED or Induction Lighting, that have a maximum output of four hundred (400) lumens per fixture, regardless of number of lamps (equal to one forty [40] watt incandescent light), may be left unshielded provided the luminaire has an opaque top or is under an opaque structure. (see Figure 5)**

**b. All Luminaires, excluding LED or Induction Lighting, that have a maximum output of one thousand (1,000) lumens per fixture, regardless of number of lamps (equal to one sixty [60] watt incandescent light) may be partially shielded provided the lamp is not visible, and the luminaire has an opaque top or is under an opaque structure. (See Figure 3)**

**c. Floodlights with external shielding shall be angled provided that no light is directed above a twenty-five (25) degree angle measured from the vertical line from the center of the light extended to the ground, and only if the Luminaire does not cause glare or Light to shine on adjacent property or public rights-of-way (see Figure 6). Floodlights should use photocells with timers and should go on at dusk and off by 11:00 p.m.**

Applicant is hereby notified of standards.

##### **8B.4.3 Placement and Height of Luminaires.**

**a. Parking area Luminaires shall be no taller than seventeen (17) feet from the ground to their tallest point. Parking area lights should be greater in number, lower in height and lower in light level, as opposed to fewer in number, higher in height and higher in Light level.**

Proposed light poles height is 14' – 6" and attachment concrete piers are 2' - 6", totaling 17' - 0" (height from finished grade to lights' highest point).

**Table 2**

**MOUNTING HEIGHT/LAMP OUTPUT RECOMMENDATIONS**

MOUNTING HEIGHT (FEET)	MAX LUMENS
6	1,000
8	1,600
10	2,000
12	2,400
16	6,000
20	8,000
24	9,000
28	12,000
32	24,000
36	28,000
40 or more	32,000

Proposed lamps will be less than 6,000 lumens. Plan proposes three light poles, each containing two lamps each.

**Bulk Requirements:**

**4.5.5 Bulk Requirements. For other supplementary location and bulk regulations, see Article VII.**

**a. Minimum Lot size - six thousand (6,000) square feet except as follows:**

Application site is comprised of four lots; they are R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.). Each of these lots is greater than 6,000 square ft.

**c. Minimum Lot Width - fifty (50) feet except as follows:**

1. Townhouse sub-lots shall conform to the standards established in the IFC. Each of the four lots have widths greater than 50 ft at their greatest width spans. When combined together, the resulting single lot will also be greater than 50 ft. in width.

**a. Maximum Building Height - thirty five (35) feet.**

Maximum building height is 22'-6".

**b. Minimum Front Yard Setback - twenty (20) feet.**

The setback from Asphalt Bike Path running next to S.H. 75 is approximately 75 ft.

**c. Minimum Side and Rear Yard Setback - ten (10) feet accept as follows:**

The rear setback is 10 ft. and both side setbacks are greater than 10 ft.

- d. **Maximum Floor Area - Buildings or structures containing an Individual Retail/Wholesale Trade or a Grouped Retail/Wholesale Trade shall be limited to an aggregate gross floor area of 36,000 square feet.**

Floor area is 7,266 sq. ft.

**6A.7 Improvements Required.**

**6A.7 Improvements Required.**

**A. Streets.**

**1. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.**

Proposed project is in the Limited Business (LB) zoning district.

a. The requirement for Sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.

Proposed building is 7,266 sq. ft.

c. The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110% of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.

Because offsite sidewalks and drainage are in place, no contribution in-lieu fee is required.

**2. Sidewalk and drainage improvements shall be located and constructed according to applicable City Standards, except as otherwise provided herein.**

a. **In the B and LB zoning districts the following are required:**

i) **A minimum sidewalk width of 10 feet,**

The asphalt bike path running next to S.H. 75 is approximately 10 ft wide. Because of this unique circumstance and the sidewalk on the west portion abutting 4<sup>th</sup> Avenue already being in place, no additional periphery sidewalk is required. However, appropriate functionable cross-walk markings shall be installed across the easement entrance from 4<sup>th</sup> Avenue—providing for continuous pedestrian access.

ii) **Street trees with tree grates or a landscape buffer between the sidewalk and curb determined to be adequate.**

Landscape buffer consisting of Karl Foerster grass, Black Lace Elderberry, and a Heritage River Birch Single Trunk tree is proposed to buffer the building site area from S.H. 75 .

b. **The Developer or City may propose alternatives to either the standard Sidewalk location or configuration required.**

No alternatives have been proposed.

3. **The length of Sidewalk and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any Public Street or Private Street.**

Because the bike path runs the length of the southeast portion of the property and the sidewalk along 4<sup>th</sup> Avenue is already installed, no additional periphery sidewalk is required.

4. **New Sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.**

Because the bike path runs the length of the southeast portion of the property and the sidewalk along 4<sup>th</sup> Avenue is already being installed, no additional periphery sidewalk is required. Applicant, however, shall install a sidewalk to connect the proposed store to the S.H. 75 Asphalt bike path.

5. **Sites located adjacent to Public Streets or Private Streets that are not currently thru-streets, regardless of whether the street may provide a vehicular connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.**

The bike path provides pedestrian connections as does the in place sidewalk along 4<sup>th</sup> Avenue. Additional pedestrian access will be provided by the proposed sidewalk connecting proposed building with the bike path.

#### 6A.8 Design Standards

A. **Non-Residential, Multifamily or Mixed Use Building.** The following design standards apply to any non-residential, multifamily or mixed use building located within the City of Hailey.

Proposed building is non-residential so standards apply.

##### 1. Site Planning

a. **The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the occupants and allow for safe access to buildings.**

Building orientation allows for sun exposure area at the southern tip of the property. Orientation also allows for exposure on the proposed parking area during most daylight hours; building entryway will lack exposure during early morning hours.

b. **All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6 inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.**

Four existing evergreens and six other existing trees will be preserved and protected in their places onsite. Some small shrubbery will be removed and replaced with shrubbery elsewhere on site.

**c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.**

The bike path and sidewalk along 4<sup>th</sup> Avenue provides pedestrian access and connections. Pedestrian connections will also be provided by proposed sidewalk to connect building with bike path.

**d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.**

External trash storage area is proposed to be accessible and hidden at the north side of building. Landscaping plan shows trash area screened on three (north, east, & south) sides, with the fourth side (west side) being the access point. Nearby is the building service area door, also on the north side of the building.

**e. Vending machines located on the exterior of a building shall not be visible from any street.**

Applicant is hereby notified of standard.

**f. Except as otherwise provided herein, on-site parking areas shall be located at the rear of the building and buffered from the sidewalk adjacent to the street. Parking and access shall not be obstructed by snow accumulation.**

Proposed parking is not located at the rear of building. Landscaping, however, is shown to buffer parking area from the bike path adjacent to S.H. 75.

**g. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.**

Proposed parking is located in front of proposed building, but parking area is shown to be buffered from bike path adjacent to S.H. 75.

**h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.**

Site is not serviced by an alley, but is proposed to be serviced by a single approach going over the access easement to the property.

**i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.**

Snow storage area is proposed to be in parking area most nearest to parking lot entrance.

**j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.**

Total square footage of improved parking area is approximately 13,146 sq. ft. and total snow dedication area (parking area furthest away from proposed building and some landscaped area) is 3,564 sq. ft. This equates to roughly 27.11% snow storage area as compared to parking.

**k. A designated snow storage area shall not have any dimension less than 10 feet.**

Snow storage area dimensions are not less than 10 ft.

**l. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.**

Proposed snow storage area satisfies each of these requirements.

**m. Snow storage area in landscaped area shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.**

Snow storage area in landscaped area shall be landscaped with vegetation, salt-tolerant and resilient to heavy snow.

2. Building Design

**a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.**

Proposed TCC building has less square footage than surrounding commercial/ wholesale buildings immediately to the north. Roof pitches of both the surrounding buildings and the proposed buildings are slight and appear compatible with each other.

**b. Standardized corporate building designs are prohibited.**

Proposed TCC building includes brick veneer wainscot, stucco accent around door and window frames, and a blended soft and dark color paint scheme. Proposed architectural features are enhanced upgrades from many O'Reilly Auto Part store designs.

**c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.**

Proposed plan provides bicycle and pedestrian access to and from the building to the bicycle path. Entryway is also proposed to have a pedestrian crosswalk, providing continuous pedestrian access along the portion of 4<sup>th</sup> Avenue affected by project.

**d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets,**

**projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.**

Front façade of building does not directly face the street. Building is proposed to be situated square with back property line, but is shown at about a 45 degree angle with the bend of S.H. 75. Applicant has stated location of proposed building is where it is because delivery trucks could not ingress or egress as needed otherwise.

**e. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.**

Proposed TCC building includes brick veneer wainscot, stucco accent around door and window frames, and a blended soft and dark color paint scheme.

**f. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.**

Proposed TCC building includes brick veneer wainscot, stucco accent around door and window frames, and a blended soft and dark color paint scheme.

**g. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.**

Though proposed building is only one story, the roof pitch is slight and plan includes a parapet to screen along proposed roof area.

**h. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:**

**i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.**

Longer wall plane is proposed to be set on north-south axis. Applicant has stated proposed building location is where it is because delivery trucks could not ingress or egress as needed otherwise.

**ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.**

Slightly less than 40% of proposed building's total glazing surface is oriented to the south.

**iii) Double glazed windows.**

All glass is noted to be tempered.

**iv) Windows with Low Emissivity glazing.**

All glass is noted to be tempered, and glazing is shown to be insulated.

v) **Earth berming against exterior walls**

Decorative landscaping is shown along three elevations.

vi) **Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site**  
No alternative energy is proposed with project

vii) **Exterior light shelves. All windows on the southern most facing side of the building shall have external light shelves installed.**  
Plans propose a suspended metal canopy over south facing windows.

i. **Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.**  
Roof pitch is slight and is not shown to shed snow over sidewalk along building frontage.

j. **Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.**  
Drains are integrated into standard plans.

k. **A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.**  
A sign plan has been submitted and will be considered in a separate sign application process. Signs proposed, however, are signs shown on west and south elevations.

3. **Accessory Structures, Fences and Equipment/Utilities**

a. **Walls and fences shall be constructed of materials compatible with other materials used on the site.**  
Wall/fence and gates around trash pad shall be constructed of materials compatible with those used on proposed building.

b. **Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.**  
Proposed trash pad on north of building is shown to be screened on three sides with landscaping, and will have enclosure gates on the fourth side.

c. **Except as otherwise provided herein, all roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties. Wind Energy Systems that have received a Conditional Use Permit and solar panels are exempt from this requirement.**  
Roof top mechanical equipment is proposed to be screened by roof parapet. The satellite on the roof is exempt from screening by the federal communications act.

d. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.

Proposed trash pad on north of building will be landscaped screened on three sides, and will have enclosure gates on the fourth side.

e. All service lines into the subject property shall be installed underground.

Applicant is hereby notified of requirement.

**B. Non-Residential Building Located within B, LB, or TN.** In addition to the standards applicable to any non-residential, multifamily or mixed use building located within the City of Hailey described in Section 6A.8.A, the following design standards also apply to any non-residential building located within the B, LB, or TN zoning districts.

1. Site Planning

a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.

Sidewalks are in place along 4<sup>th</sup> Avenue and Asphalt bike path provides pedestrian circulation fronting S.H. 75.

b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.

Proposed plan includes a sitting bench near Asphalt bike path.

2. Building Design

a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.

Proposed building's façade is on a 45 degree angle from S.H. 75, but is oriented in the same direction as 4<sup>th</sup> Avenue.

b. Building designs shall maximize the human scale of buildings and enhance the small town "sense of place". This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.

Proposed building design includes a 5' wide pedestrian bike path connection to Asphalt bike path and a sitting bench.

c. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building

height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.

Highest point of proposed building is 22' – 6"

d. Fire department staging areas shall be incorporated into the design elements of the building.

Trash storage area is located at the back north corner of the site to allow for appropriate fire apparatus.

### 3. Landscaping

- a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.

Not applicable.

- b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.

Landscaping is shown to buffer bike path and pedestrian path from proposed building. Additionally, a sitting bench is proposed to be placed near the bike path.

#### 6A.6 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the

### Zoning Ordinance.

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
  - On-street sidewalks and off-site drainage improvements are in place; no additional on-street sidewalks or off-site drainage improvements are required.
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- f) Parking area Luminaires shall be no taller than seventeen (17) feet.
- g) Wall/fence and gates around trash pad shall be constructed of materials compatible with those used on proposed building.
- h) Appropriate functionable cross-walk markings shall be installed across the easement entrance from 4<sup>th</sup> Avenue—providing for continuous pedestrian access.
- i) Installation of a sidewalk connecting proposed building to S.H. 75 Asphalt bike path.
- j) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- k) This Design Review approval is for plans dated November 30, 2012 and December 3, 2012. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

**C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty

percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.

2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

### **Motion Language**

#### Approval:

Motion to approve the design review application of Terra Form Companies to construct an auto parts wholesale distribution center with incidental and subordinate retail sales, to be located at R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, and City Standards, provided conditions (a) through (k) are met.

#### Denial:

Motion to deny the design review application of Terra Form Companies to construct an auto parts wholesale distribution center with incidental and subordinate retail sales, to be located at R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

#### Continuation:

Motion to continue the public hearing upon the design review application of Terra Form Companies to construct an auto parts wholesale distribution center with incidental and subordinate retail sales, to be located at R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District, to \_\_\_\_\_ [Commission should specify a date].



WEST ELEVATION



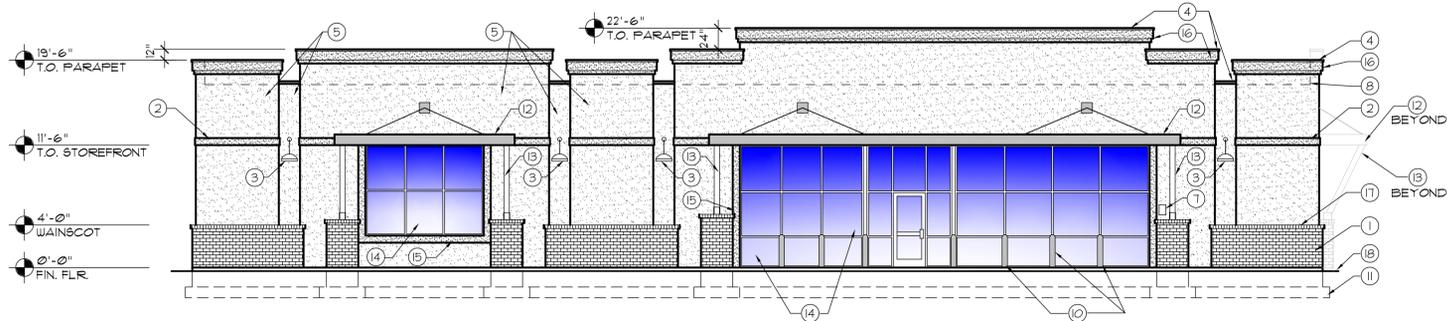
SOUTH ELEVATION



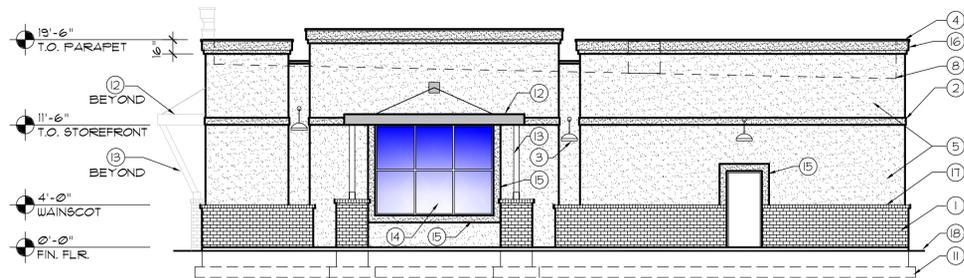
NORTH ELEVATION



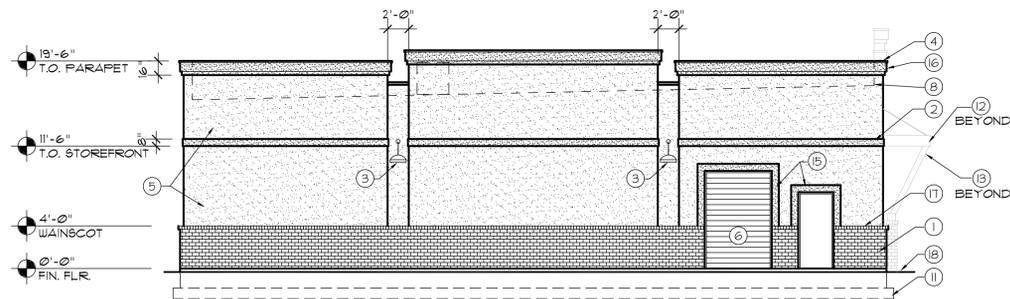
EAST ELEVATION



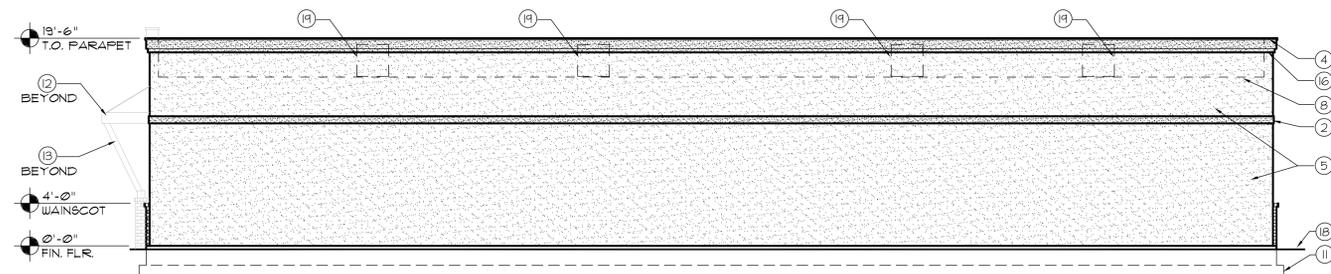
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. THE PARAPET PROVIDES ROOF SCREENING FOR ALL MECHANICAL EQUIPMENT.
2. THE SATELLITE ON THE ROOF IS NOT REQUIRED TO BE SCREENED PER SECTION 25.104 OF THE FEDERAL COMMUNICATIONS COMMISSION ACT OF 1934.
3. THE SATELLITE IS LESS THAN 2 METERS IN DIAMETER
4. ALL SIGNAGE UNDER SEPARATE PERMIT
5. CONTRACTOR IS TO COORDINATE THE LOCATION OF ALL EXTERIOR SIGNAGE WITH SIGNAGE VENDOR. J-BOXES ARE TO BE LOCATED AS REQUIRED.
6. ALL GLASS TO BE TEMPERED
7. ALL STUCCO CONTROL JOINTS TO BE 1/2".
8. CONTRACTOR TO OBTAIN THE APPROVAL OF THE ARCHITECT AND/OR THE OWNER FOR THE LOCATIONS OF ALL EXPOSED UTILITY LINES AND EQUIPMENT. ALL EXPOSED LINES AND EQUIPMENT SHALL BE PAINTED TO MATCH THE COLOR OF THE BUILDING.

**KEY NOTES**

- 1 BRICK VENEER WAINSCOT.
- 2 8" HORIZONTAL STUCCO ACCENT AT 11'-6" AFF.
- 3 DOWN LIGHT- TYPE AND STYLE TO MEET CITY REQUIREMENTS- MOUNT 10'-0" AFF.
- 4 METAL EDGE CAP FLASHING, PAINTED.
- 5 EXTERIOR STUCCO FINISH SYSTEM.
- 6 INSULATED ROLL-UP DOOR.
- 7 PROVIDE KNOX BOX LOCATED AS SHOWN.
- 8 LINE OF ROOF BEYOND.
- 9 MECHANICAL EQUIPMENT BEYOND.
- 10 6" PIPE BOLLARDS ON EACH SIDE OF ROLL-UP DOOR. INSTALL PROVIDED BOLLARD COVERS.
- 11 FOOTING AND FOUNDATION SHOWN DASHED BELOW GRADE
- 12 SUSPENDED METAL CANOPY- TYPICAL OVER ALL STOREFRONT.
- 13 WOOD TIMBER COLUMN TO CANOPY ABOVE.
- 14 INSULATED GLAZING IN ALUMINUM STOREFRONT FRAME.
- 15 8" STUCCO ACCENT SURROUND TYPICAL AT DOOR AND STOREFRONT LOCATIONS.
- 16 STUCCO FINISH OVER SHAPED FOAM CORNICE.
- 17 BRICK ROW LOCK COURSE TYPICAL AT TOP OF WAINSCOT.
- 18 FINISH GRADE- SEE CIVIL DOCUMENTS.
- 19 ROOF TOP MECHANICAL EQUIPMENT TO BE SCREENED BY ROOF PARAPET- TYPICAL.

**BRIAN D. RUSSELL  
ARCHITECTS, INC.**  
12312 SOUTH REDWOOD ROAD  
RIVERTON, UTAH 84065  
(801) 307-0800 (801) 307-0801 FAX

**Reilly AUTO PARTS**

HWY. 75 AND 4th AVENUE  
HAILEY, IDAHO

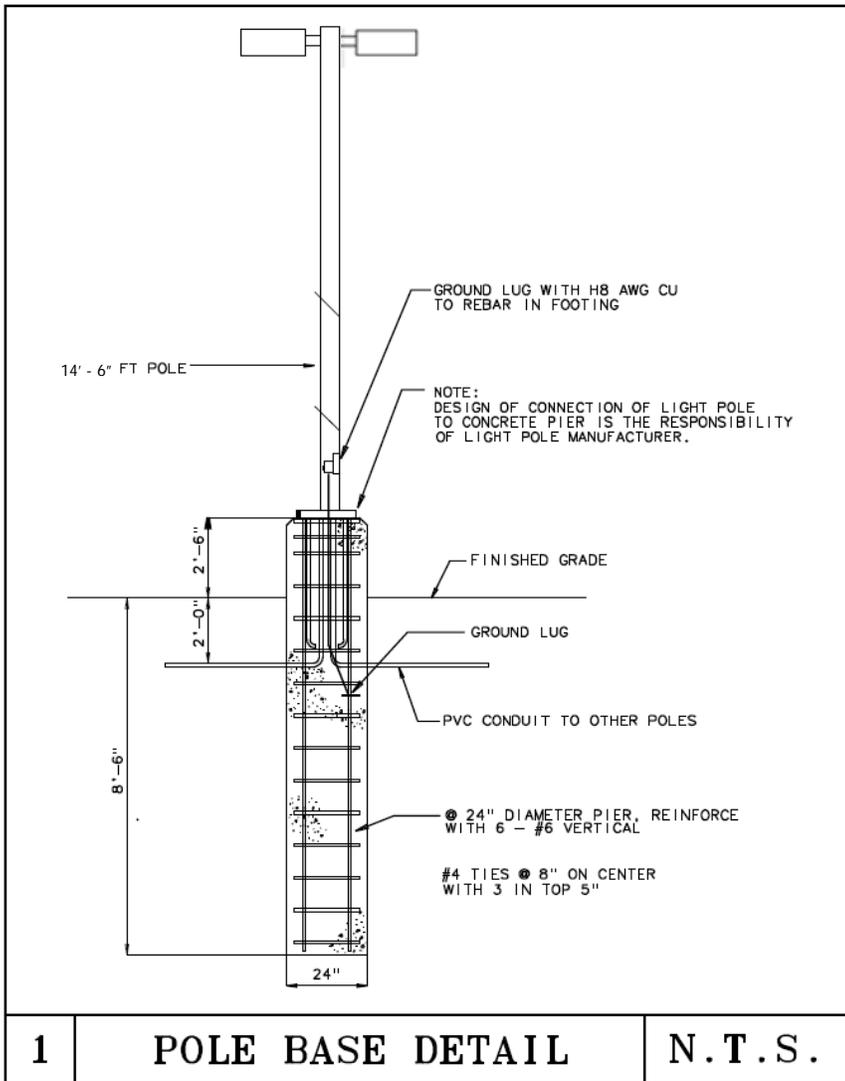
EXTERIOR  
ELEVATIONS

A3

NO.	DATE	DESCRIPTION
	11/12/12	



## Metal Halide w/ type III Distribution and Flat Lens



### GENERAL CHARACTERISTICS

Lamp type	High Intensity Discharge - Quartz Metal Halide
Bulb	ED17
Base	Medium Screw (E26)
Bulb Finish	Clear
Rated Life	15000 hrs
Bulb Material	Hard glass
Lamp Enclosure Type (LET)	Open or enclosed fixtures
Base Temperature (MAX)	190 °C(374 °F)
Bulb Temperature (MAX)	400 °C(752 °F)
LEED-EB MR Credit	96 picograms Hg per mean lumen hour

### PHOTOMETRIC CHARACTERISTICS

Initial Lumens	5500
Mean Lumens	3500
Nominal Initial Lumens per Watt	79
Color Temperature	3200 K
Color Rendering Index (CRI)	70
Effective Arc Length	0 in

\*\*Lumens can differ manufacturer to manufacturer. But none exceed 6,000 lumens on this particular lamp.

### ORDERING INFORMATION

ORDERING EXAMPLE: MSS-A-100S-3-V-6-DB-PCR1

<b>MSS</b>	-		-	<b>3</b>	-		-		-		-	
<b>SERIES</b> MSS Magnuspec		<b>WATTAGE/SOURCE</b> PULSE START METAL HALIDE 070P <sup>3</sup> 70w (ED-17) 100P <sup>3</sup> 100w (ED-17) 150P 150w (ED-17) HIGH PRESSURE SODIUM 070S 70w (ED-17) 100S 100w (ED-17) 150S 150w (ED-17)		<b>BALLAST TYPE</b> 3 Powr-Pant <sup>®</sup>		<b>VOLTAGE</b> 8 <sup>2</sup> Quad-Tap <sup>®</sup> - 120/208/240/277V 5 <sup>3</sup> 480V 6 <sup>2</sup> Tri-Tap <sup>®</sup> - 120/277/347V E 220/240V, 50 Hz 0 No ballast		<b>OPTIONS</b> F(X) Fusing (replace X with voltage: 1-120, 2-208, 3-240, 4-277, 5-480, 6-347) PCR(X) Photo cell receptacle (replace X with voltage: 1-120, 2-208, 3-240, 4-277, 5-480) L Lamp				
<b>MOUNT</b> A Arm mount (arm not included, order separately) C Ceiling G Garage/ trunnion (with cord) Y Yoke mount (mounts to 2 3/8" OD tenon)		<b>LAMP ORIENT./DISTR.</b> I <sup>4</sup> Type I (Horizontal) - segmented P <sup>1,4</sup> Type II (Horizontal) - segmented T <sup>4</sup> Type IV (Horizontal) - segmented W <sup>4</sup> Type V (Horizontal) - segmented V <sup>4</sup> Type V (Vertical) - segmented A Drop acrylic Type V (Vertical) L Drop polycarbonate Type V (Vertical)		<b>COLOR</b> DB Dark Bronze BL Black WH White GR Gray PS Platinum Silver RD Red (premium color) FG Forest Green (prem. color)								

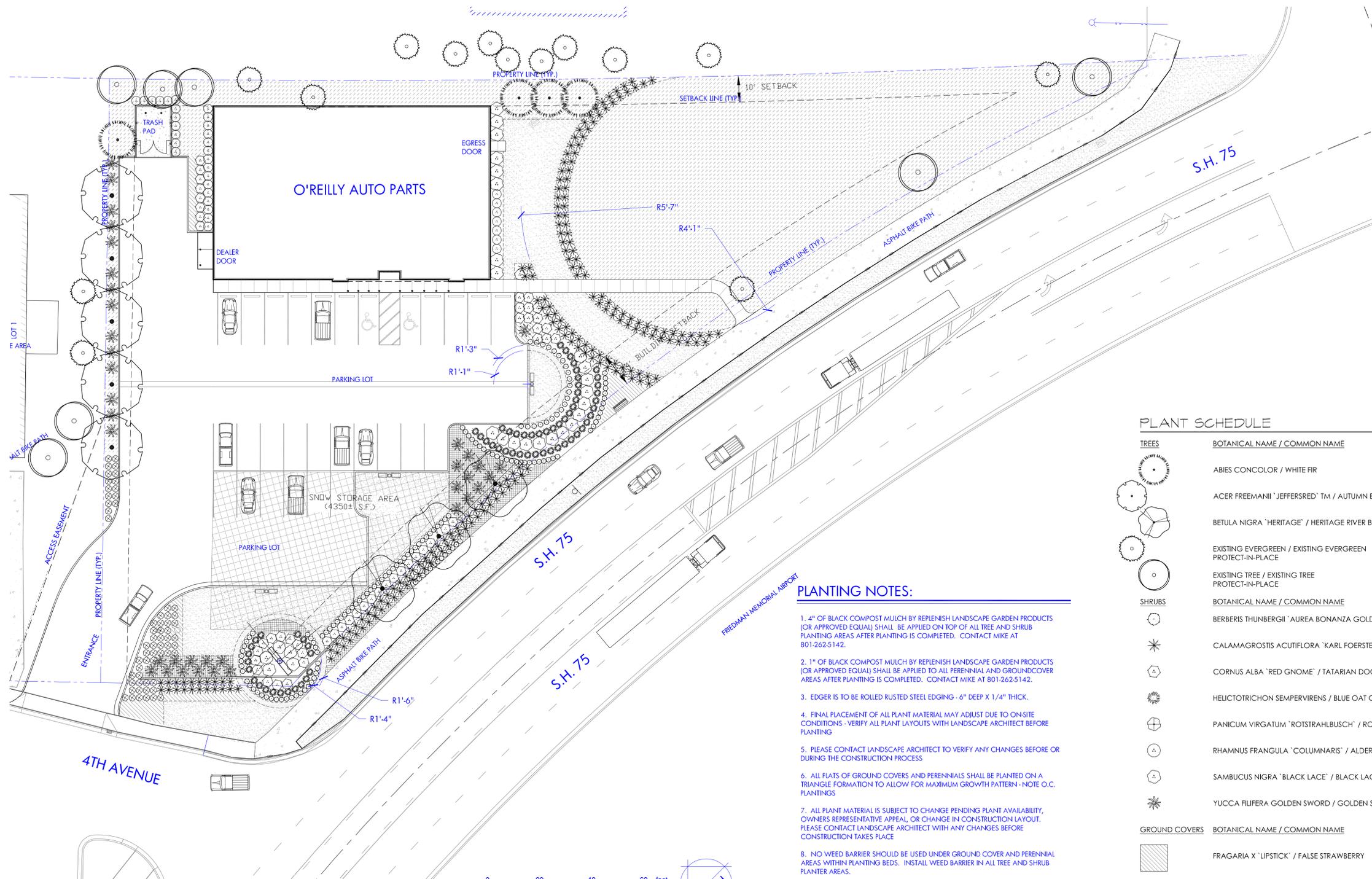
### MOUNTING ARM (order separately)

MAS-4-X	4" Rigid arm for flat surfaces
MAS-10-X	10" Rigid arm for flat surfaces (required for 90° configurations)
RSD-44-X	Nominal 4" OD round pole adapter for MAS arms
RSD-55-X	Nominal 5" OD round pole adapter for MAS arms
MAS-FM	Flush mount hardware (required when no arm used on pole)
DS-WP-X	Wall plate for flush or arm mounting fixtures

Note: Replace X with color selection

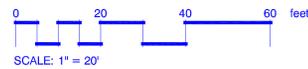
- Field adjustable to Type II
- Factory wired for highest voltage unless specified
- 480V not available in 70w and 100w PSMH
- Flat Lens





**GENERAL RADII/DIMENSION PLAN NOTES:**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL ELEMENTS ARE LAID OUT PROPERLY AND THAT THE "BASIS OF DESIGN" IS MET AND MAINTAINED FROM PLANS TO BUILT CONSTRUCTION.
- THE DIMENSIONS ON THIS PLANTING PLAN ARE FOR HORIZONTAL CONTROL OF ALL OF THE BUILT AND IMPORTANT ELEMENTS ON THE LANDSCAPE PLAN. THESE ELEMENTS SHALL BE, BUT ARE NOT LIMITED TO, PATIOS, SITE WALLS, COBBLE BANDS, METAL OR CONCRETE EDGING, WALKWAYS, ANGLES, ARCS, RADII, ETC.
- DIMENSIONS ARE TAKEN FROM FIXED POINTS SUCH AS BUILDINGS AND EXISTING ELEMENTS NOTED ON PLAN. THEIR PRIMARY INTENT IS TO MAINTAIN THE "BASIS OF DESIGN".
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ENSURE THAT THESE ELEMENTS ARE LAID OUT PROPERLY AND THAT NO APPARENT ERRORS OR OMISSIONS HAVE OCCURRED.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED WITHIN (5) WORKING DAYS PRIOR TO SITE VERIFICATION OF ALL ELEMENTS.
- LANDSCAPE ARCHITECT HAS THE RIGHT TO MOVE, MODIFY, OR SUGGEST ALTERNATIVE LOCATIONS AND/OR PLACEMENT IF "BASIS OF DESIGN" HAS NOT BEEN MET. HE SHALL DO SO AT HIS OWN DISCRETION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF DISCREPANCIES ARISE FROM THE TRANSLATION OF PLAN TO BUILT CONDITIONS, SO THAT SUITABLE ALTERNATIVES MAY BE PROPOSED AND/OR MODIFICATIONS TO PLANNED ELEMENTS MAY BE REVISED ON SITE.



**PLANTING NOTES:**

- 4" OF BLACK COMPOST MULCH BY REPLENISH LANDSCAPE GARDEN PRODUCTS (OR APPROVED EQUAL) SHALL BE APPLIED ON TOP OF ALL TREE AND SHRUB PLANTING AREAS AFTER PLANTING IS COMPLETED. CONTACT MIKE AT 801-262-5142.
- 1" OF BLACK COMPOST MULCH BY REPLENISH LANDSCAPE GARDEN PRODUCTS (OR APPROVED EQUAL) SHALL BE APPLIED TO ALL PERENNIAL AND GROUND COVER AREAS AFTER PLANTING IS COMPLETED. CONTACT MIKE AT 801-262-5142.
- EDGER IS TO BE ROLLED RUSTED STEEL EDGING - 6" DEEP X 1/4" THICK.
- FINAL PLACEMENT OF ALL PLANT MATERIAL MAY ADJUST DUE TO ON-SITE CONDITIONS - VERIFY ALL PLANT LAYOUTS WITH LANDSCAPE ARCHITECT BEFORE PLANTING
- PLEASE CONTACT LANDSCAPE ARCHITECT TO VERIFY ANY CHANGES BEFORE OR DURING THE CONSTRUCTION PROCESS
- ALL FLATS OF GROUND COVERS AND PERENNIALS SHALL BE PLANTED ON A TRIANGLE FORMATION TO ALLOW FOR MAXIMUM GROWTH PATTERN - NOTE O.C. PLANTINGS
- ALL PLANT MATERIAL IS SUBJECT TO CHANGE PENDING PLANT AVAILABILITY, OWNERS REPRESENTATIVE APPEAL, OR CHANGE IN CONSTRUCTION LAYOUT. PLEASE CONTACT LANDSCAPE ARCHITECT WITH ANY CHANGES BEFORE CONSTRUCTION TAKES PLACE
- NO WEED BARRIER SHOULD BE USED UNDER GROUND COVER AND PERENNIAL AREAS WITHIN PLANTING BEDS. INSTALL WEED BARRIER IN ALL TREE AND SHRUB PLANTER AREAS.
- SEE CIVIL AND ARCHITECTURAL DRAWINGS FOR ALL STRUCTURES, HARDSCAPE, GRADING AND DRAINAGE INFO.
- SEE SHEET LP-501 STANDARD PLANTING DETAILS.
- PLANT SIZES ARE AS FOLLOWS UNLESS SPECIFIED ON PLANS AND/OR CALLED OUT ON PLANT LEGEND: DECIDUOUS TREES - 2" CALIPER, EVERGREEN TREES - SIZES PER PLAN OR 6" MIN. HEIGHT PER CITY CODE, SHRUBS/PERENNIALS - 1.5 GALLON TYPICAL, GROUND COVERS - PER PLAN OR 12" O.C. SPACING - SEE DETAILS (NOTE 10 ABOVE)
- ALL PLANT MATERIALS AND STANDARDS TO MATCH HAILEY CITY LANDSCAPE REGULATIONS. CONTRACTOR TO VERIFY THAT ALL SIZES ARE IN ACCORDANCE WITH CITY STANDARDS AND REQUIREMENTS.
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A LIVING CONDITION BY THE OWNER. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST HAVE A 100% ONGOING SURVIVAL RATE. ANY DEAD OR DAMAGED PLANT MATERIAL (AS DETERMINED BY THE CITY), SHALL BE REPLACED WITHIN 6 MONTHS OF NOTIFICATION BY THE CITY. ALL LANDSCAPE IMPROVEMENTS/MATERIALS MUST BE MAINTAINED AS REQUIRED BY THE LANDSCAPE REGULATIONS AND THIS OFFICIAL DEVELOPMENT PLAN.
- SOIL PREPARATION FOR ALL NONHARDSCAPE AREAS SHALL INCLUDE TOPSOIL AND/OR ORGANIC MATTER (COMPOST OR AGED GROUND MANURE) AND SHALL BE ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED 8" DEPTH INTO THE SOIL. AN INSPECTION AND AFFIDAVIT REGARDING SOIL PREPARATION WILL BE REQUIRED.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED FOR ALL LANDSCAPE AREAS.

**PLANT SCHEDULE**

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	ABIES CONCOLOR / WHITE FIR	8'	4
	ACER FREEMANII 'JEFFERSRED' TM / AUTUMN BLAZE MAPLE	2 1/2" CAL	5
	BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH - SINGLE TRUNK	2 1/2" CAL	3
	EXISTING EVERGREEN / EXISTING EVERGREEN PROTECT-IN-PLACE	-	14
	EXISTING TREE / EXISTING TREE PROTECT-IN-PLACE	-	7
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY
	BERBERIS THUNBERGII 'AUREA BONANZA GOLD' / BONANZA GOLD BARBERRY	1 GAL	140
	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER GRASS	1 GAL	206
	CORNUS ALBA 'RED GNOME' / TATARIAN DOGWOOD	5 GAL	52
	HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GAL	66
	PANICUM VIRGATUM 'ROTSTRAHLBUSCH' / ROTSTRAHLBUSCH SWITCH GRASS	1 GAL	62
	RHAMNUS FRANGULA 'COLUMNARIS' / ALDER BUCKTHORN	5 GAL	34
	SAMBUCUS NIGRA 'BLACK LACE' / BLACK LACE ELDERBERRY	5 GAL	27
	YUCCA FILIFERA GOLDEN SWORD / GOLDEN SWORD	5 GAL	37
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	QTY
	FRAGARIA X 'LIPSTICK' / FALSE STRAWBERRY	FLAT @ 12" OC	567 SF
	SEDUM SPURIUM 'FULDAGLUT' / STONECROP	FLAT @ 12" OC	1,072 SF
ROCK MULCH	BOTANICAL NAME / COMMON NAME	CONT	QTY
	DARK GRAY CHAT APPROVAL PER OWNER	N/A	15,799 SF
	GRAY CRUSHER FINES APPROVAL PER OWNER	N/A	282 SF
SOD/SEED	BOTANICAL NAME / COMMON NAME	CONT	QTY
	TURF GRASS / TURF GRASS	SOD	8,449 SF
* PROPOSED SUBSTITUTIONS MUST BE SUBMITTED IN WRITTEN FORM BY THE CONTRACTOR AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.			
** QUANTITIES ARE FOR REFERENCE ONLY, CONTRACTOR TO VERIFY QUANTITIES.			
	PLANTING EDGER SEPARATION: 6" DEEP X 1/4" THICK ROLLED RUSTED STEEL EDGING BETWEEN ALL PLANTER/TURF AREAS (TYP.)	1450 LF	
	SITTING BENCH: CONTRACTOR TO PROVIDE OPTIONS TO OWNER FOR APPROVAL.		

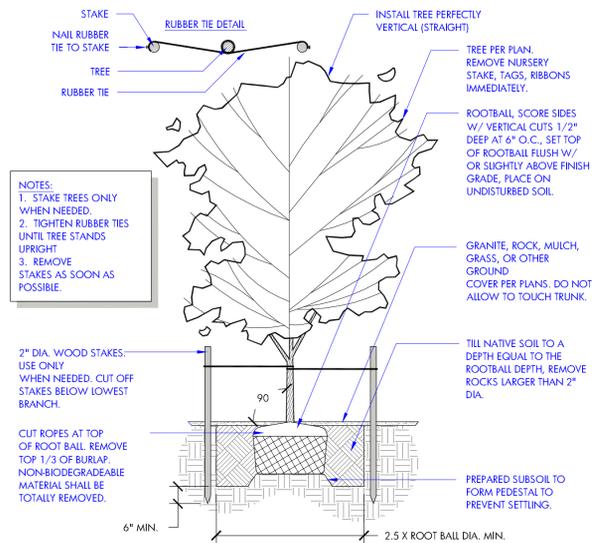
**O'REILLY AUTO PARTS**  
4TH AVENUE & S.H. 75  
HAILEY, IDAHO

SCALE:	1" = 20'
DESIGN BY:	BAR
DRAWN BY:	BAR
CHECKED BY:	BAR
PROJECT NUMBER:	2012.65
ISSUE DATE:	12-05-12
REVISIONS:	

SHEET TITLE:  
LANDSCAPE  
PLAN

SHEET NUMBER:

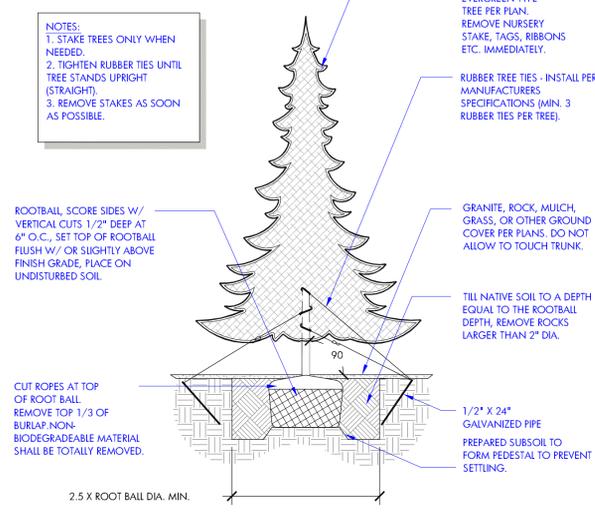
**LP-101**



**1 DECIDUOUS TREE PLANTING**

SCALE: NOT TO SCALE

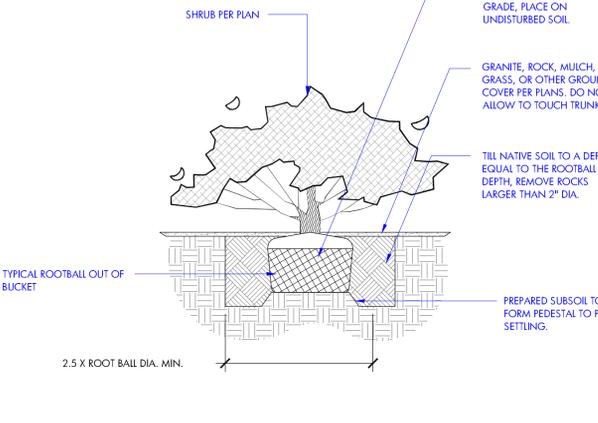
LFDG-PLA-03



**2 EVERGREEN TREE PLANTING**

SCALE: NOT TO SCALE

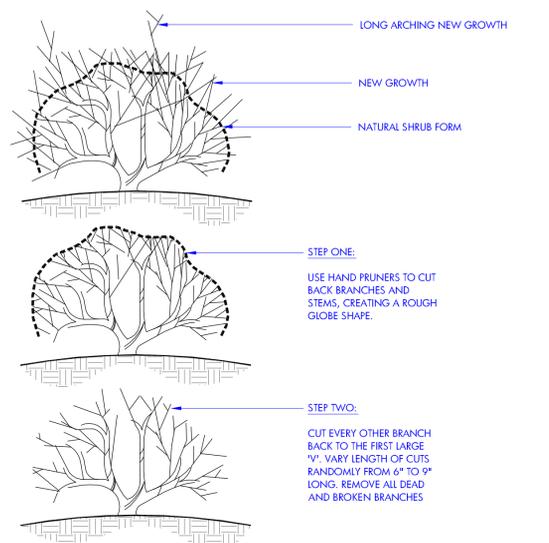
LFDG-PLA-04



**3 SHRUB PLANTING AND PRUNING**

SCALE: NOT TO SCALE

LFDG-PLA-05



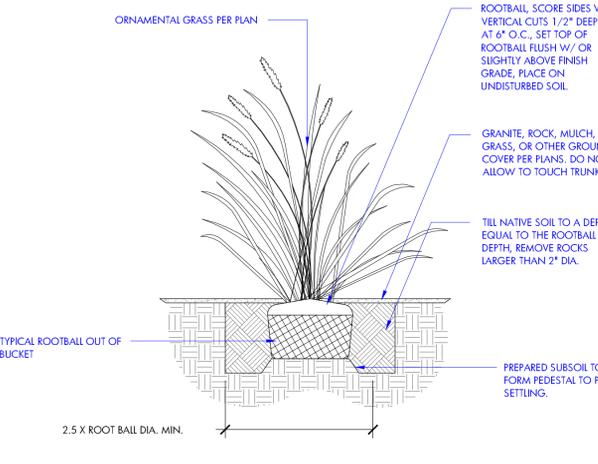
**4 SOD PLANTING AND LAYING**

SCALE: NOT TO SCALE

LFDG-PLA-06

**SOD LAYING NOTE:**  
 AFTER AMENDING GROUND, LEVEL, SMOOTH, AND RAKE ALL AREAS TO RECEIVE SOD. SODDED AREAS MUST BE FREE OF ANY LUMPS, DEPRESSIONS, IRREGULAR AREAS OF ROCKS GREATER THAN 1/4" DIAMETER, ALL MOUNDS MUST BLEND SMOOTHLY INTO LEVEL GRADE.

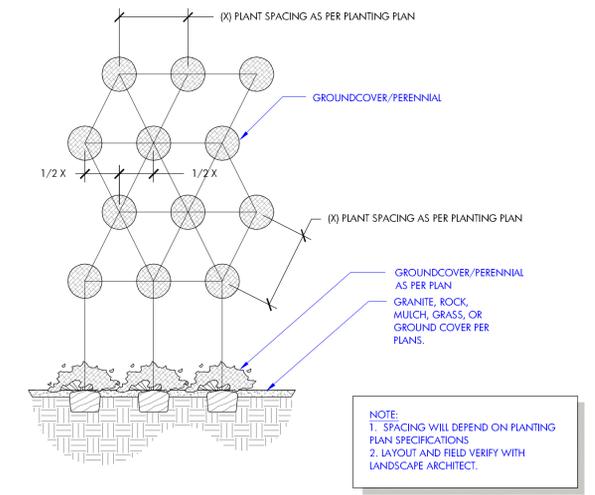
**INSTALLATION PROCESS:**  
 1. LAY SOD WITHIN 24 HOURS OF BEING LIFTED.  
 2. LAY SOD IN ROWS WITH STAGGERED JOINTS. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.  
 3. LAY SOD FLUSH WITH ADJOINING EXISTING SODDED OR PAVED SURFACES.  
 4. AFTER SODDING HAS BEEN COMPLETED, ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A 150 LB. SOD ROLLER.  
 5. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS, OR OTHER IRREGULARITIES.  
 6. HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE IS NOT PERMITTED.  
 7. WATER ALL SODDED AREAS IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 3" OF TOPSOIL.  
 8. PROVIDE ADEQUATE PROTECTION OF SODDED AREAS AGAINST TRESPASSING, EROSION, AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER SODDED AREAS HAVE BEEN ACCEPTED BY THE OWNERS REPRESENTATIVE.  
 9. REPLACE DAMAGED AREAS AT NO ADDITIONAL COST TO OWNER.



**5 GRASS PLANTING AND PRUNING**

SCALE: NOT TO SCALE

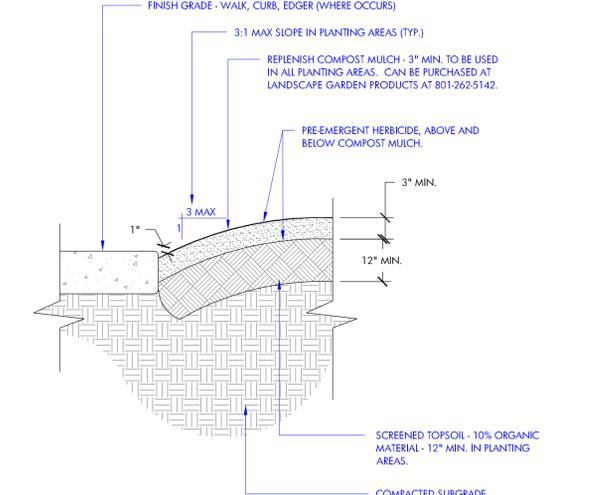
LFDG-PLA-07



**6 GROUNDCOVER PLANTING**

SCALE: NOT TO SCALE

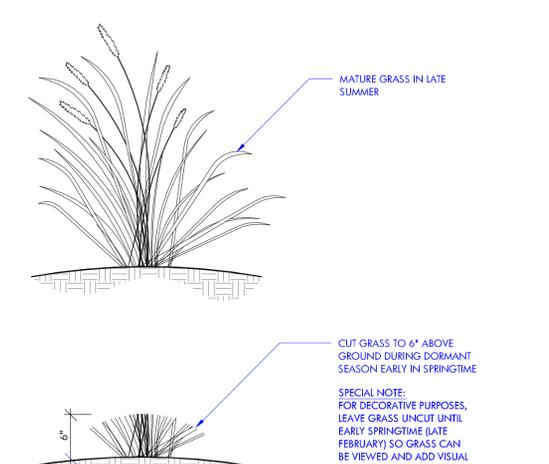
LFDG-PLA-11



**7 PLANTING AREA**

SCALE: NOT TO SCALE

LFDG-PLA-09

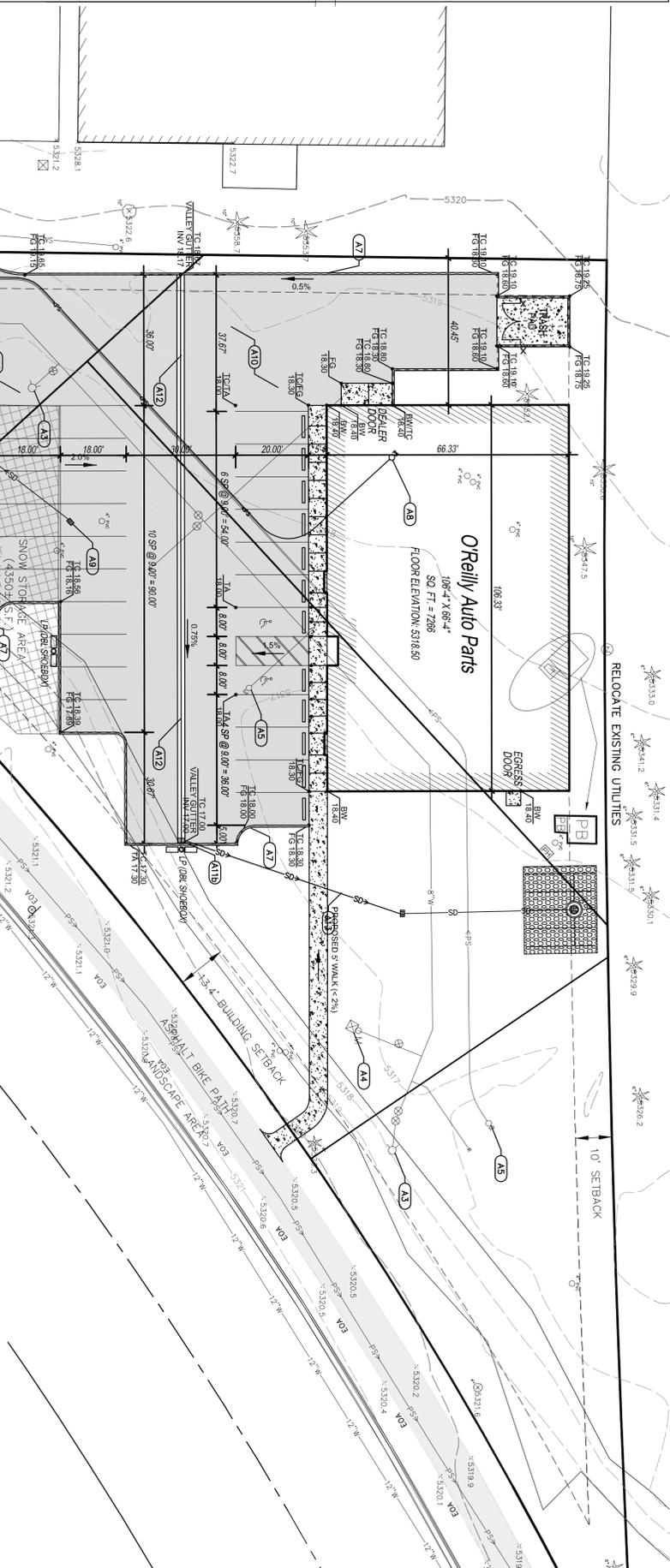


**8 STEEL EDGING**

SCALE: NOT TO SCALE

LFDG-SI2-23

SCALE:	1" = 20'
DESIGN BY:	BAR
DRAWN BY:	BAR
CHECKED BY:	BAR
PROJECT NUMBER:	2012.05
ISSUE DATE:	12-05-12
REVISIONS:	

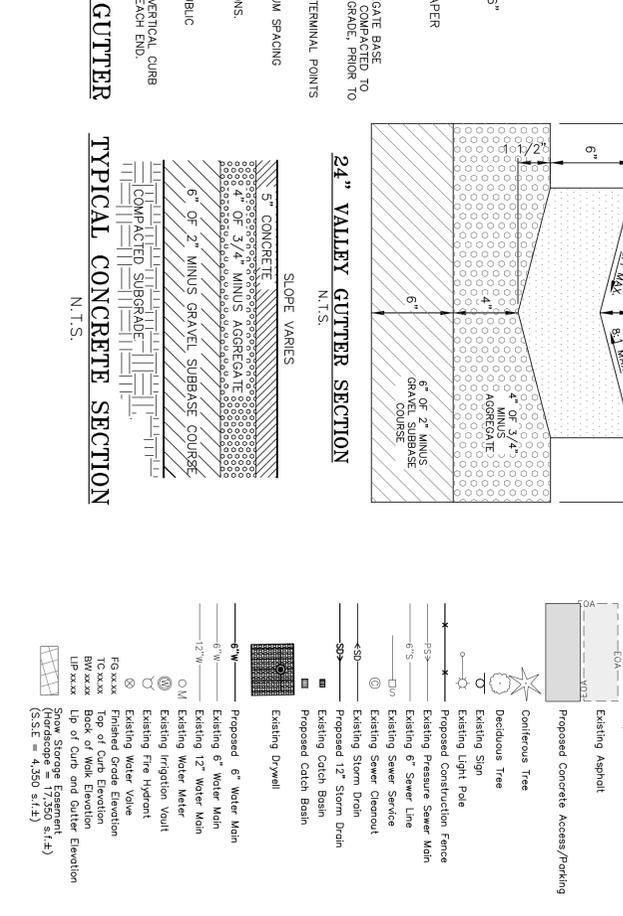
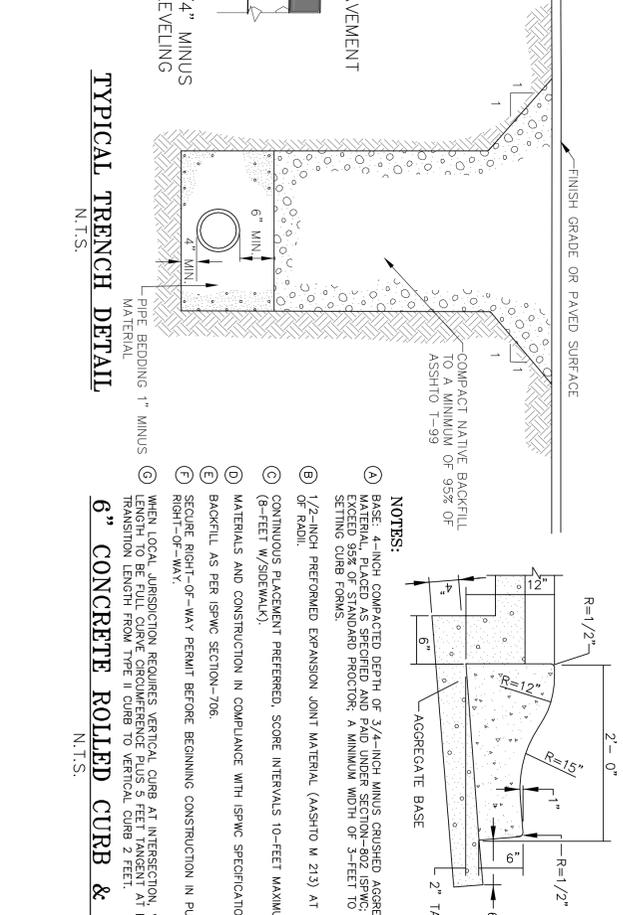
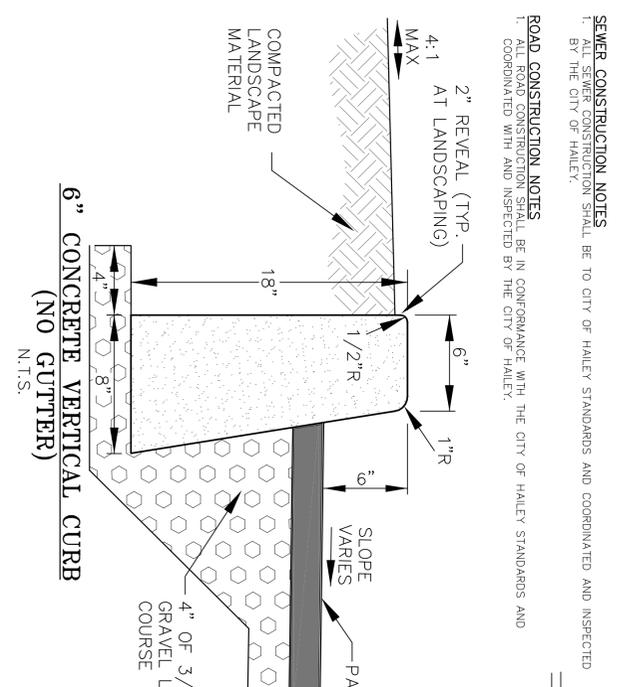
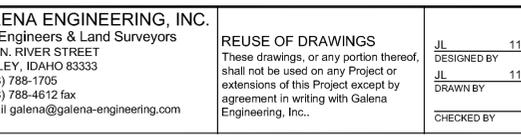
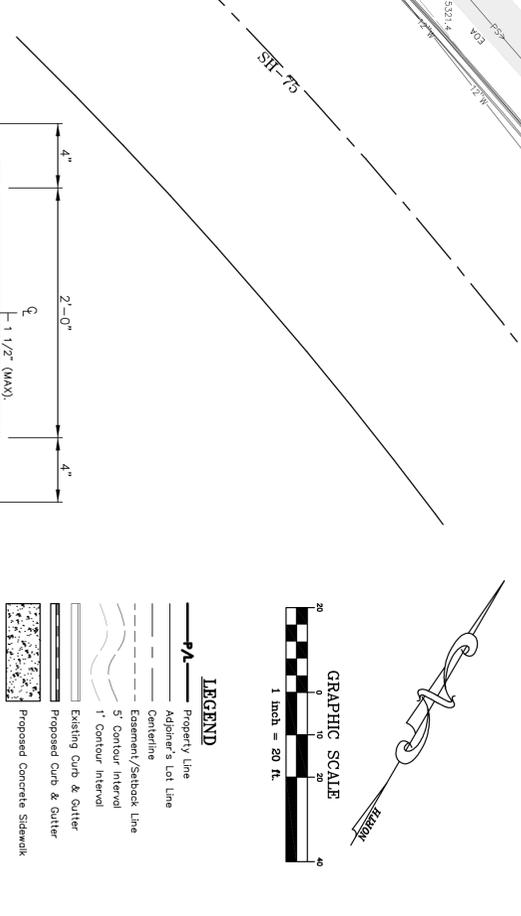
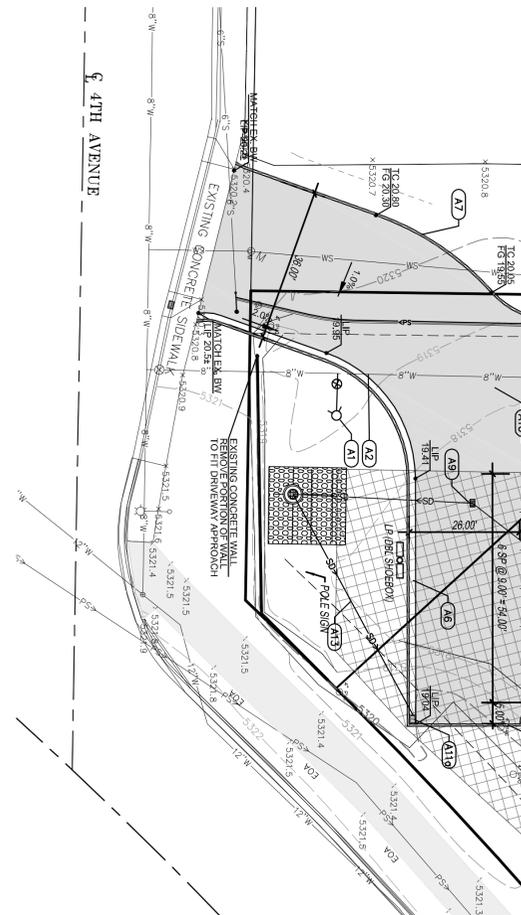


- CONSTRUCTION CALLS**
- A1 INSTALL FIRE HYDRANT ASSEMBLY PER LOCAL STANDARDS BEYOND FIRE HYDRANT ASSEMBLY.
  - A2 REMOVE AND DISPOSE OF EXISTING WATER MAIN AND SERVICES BEYOND NEW FIRE HYDRANT ASSEMBLY.
  - A3 REMOVE EXISTING FIRE HYDRANT ASSEMBLY.
  - A4 REMOVE AND DISPOSE OF EXISTING WATER MAIN ASSEMBLY.
  - A5 REMOVE AND DISPOSE OF EXISTING PRESSURE SEWER SERVICE CONNECTION TO BUILDING.
  - A6 REMOVE AND DISPOSE OF EXISTING CONCRETE UTILITY (TYPE 2).
  - A7 CONSTRUCT STANDING VERTICAL CURB (6" REVEAL, UNLESS NOTED OTHERWISE).
  - A8 RETAIN AND PROTECT EXISTING PRESSURE SEWER SERVICE FOR CONNECTION TO BUILDING.
  - A9 REMOVE EXISTING CATCH BASIN AND STORM PIPE.
  - A10 CONSTRUCT ASPHALTIC CONCRETE PARALLEL REPAIR.
  - A11 CONSTRUCT ASPHALTIC CONCRETE PAVING PATCH.
  - A12 INSTALL CATCH BASIN  
a. RIM = 16.90  
b. INV. OUT = 16.00  
c. INV. IN = 15.70
  - A13 INSTALL 12" ADS W-12 STORM DRAIN

PRELIMINARY CIVIL SITE PLAN  
**O'REILLY AUTO PARTS - HAILEY**  
 WITHIN SECTION 10 & 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 PREPARED FOR BRUCE ALLEY

PROJECT INFORMATION  
 P:\sddskproj\6101-02\dwg\Construction\610102\_prelim\_civil\_site\_plan\_11-16-12.dwg 11/16/2012 2:58:36 PM MST

- NOTES:**
- REFER TO PLAT NOTES ON THE ORIGINAL PLAT OF BOB SUBDIVISION. THIS PROPERTY IS SUBJECT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS FOR SAID SUBDIVISION RECORDED AS "BOB SUBDIVISION", INSTRUMENT NO. 501958, RECORDS OF BLAINE COUNTY, IDAHO.
  - REFER TO PLAT NOTES ON THE ORIGINAL PLAT OF R.D.A.V.'S BUSINESS CENTER SUBDIVISION. THIS PROPERTY IS SUBJECT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS FOR SAID SUBDIVISION RECORDED AS "R. DAVIS BUSINESS CENTER", RECORDS OF BLAINE COUNTY, IDAHO, OR AS REPLATED.
  - WITHIN THE PROPOSED IMPROVEMENTS, EASEMENTS ARE GRANTED FOR ACCESS, MAINTENANCE, AND RECONSTRUCTION OF UTILITIES. REFER TO AMENDED ACCESS EASEMENT AS INSTRUMENT NO. 537873, RECORDS OF BLAINE COUNTY, IDAHO TO BENEFIT LOT 2, BLOCK 1, BOB SUBDIVISION.
  - THE PROPOSED ACCESS LANE SHALL BE DESIGNATED AS A FIRE ACCESS LANE, AND SHALL BE POSTED ACCORDINGLY WITH SIGNS INDICATING "FIRE ACCESS - NO PARKING."
  - SNOW STORAGE EASEMENTS FOR THE PARKING AREAS SHOWN ARE SHOWN HEREOF. OWNER MAY RELOCATE EASEMENTS WITH PLAT AMENDMENT AS LONG AS CITY OF HAILEY SNOW STORAGE REQUIREMENTS ARE MET.
  - CURRENT ZONING IS LIMITED BUSINESS DISTRICT (LB).
  - A "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION," FAA FORM 7460-1, SHALL BE SUBMITTED FOR ANY PROPOSED DEVELOPMENT WITH THIS SUBDIVISION.
  - THIS PROPERTY IS SUBJECT TO THE NOISE AND AVIATION EASEMENT AND NON-SLIT COVENANT RECORDED AS INSTRUMENT NO. \_\_\_\_\_ RECORDS, BLAINE COUNTY, IDAHO.
- GENERAL CONSTRUCTION NOTES**
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS, THE IDAHO WASTE WATER RULES, THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW ON SITE DURING CONSTRUCTION.
- DOMESTIC WATER SYSTEM CONSTRUCTION NOTES**
- ALL WATER CONSTRUCTION SHALL BE TO CITY OF HAILEY STANDARDS AND COORDINATED AND INSPECTED BY THE CITY OF HAILEY.
- SEWER CONSTRUCTION NOTES**
- SEWER CONSTRUCTION SHALL BE TO CITY OF HAILEY STANDARDS AND COORDINATED AND INSPECTED BY THE CITY OF HAILEY.
- ROAD CONSTRUCTION NOTES**
- ALL ROAD CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS AND COORDINATED WITH AND INSPECTED BY THE CITY OF HAILEY.



**LEGEND**

- PA Property Line
- Adjoiner's Lot Line
- Centerline
- Easement/Setback Line
- 5' Contour Interval
- 1' Contour Interval
- Existing Curb & Gutter
- Proposed Concrete Sidewalk
- Proposed Horizontal
- Existing Asphalt
- Proposed Concrete Access/Parking
- Contour Line
- Deciduous Tree
- Existing Light Pole
- Proposed Construction Fence
- Existing Pressure Sewer Main
- Existing 6" Sewer Line
- Existing Sewer Service
- Existing Storm Drain
- Proposed 12" Storm Drain
- Existing Catch Basin
- Proposed Catch Basin
- Existing Driveway
- Proposed 6" Water Main
- Existing 6" Water Main
- Existing 12" Water Main
- Existing Water Meter
- Existing Irrigation Vault
- Existing Fire Hydrant
- Existing Water Valve
- Finished Grade Elevation
- Top of Curb Elevation
- Back of Walk Elevation
- Lip of Curb and Gutter Elevation
- Snow Storage Elevation (Type 2)
- SS.E = 4.50 (1:4)

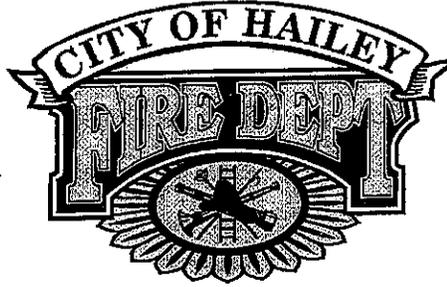
NO	DATE	BY	REVISIONS
1	11-30-12	JCL	Relocate trash enclosure & utilities, add walk, move light poles, concrete paving, remove landscape wall, add snow storage

**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 N. RIVER STREET  
 HAILEY, IDAHO 83333  
 (208) 788-1705  
 (208) 788-4612 fax  
 email galena@galena-engineering.com

**REUSE OF DRAWINGS**  
 These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

JL DESIGNED BY 11/30/12 DATE  
 JL DRAWN BY 11/30/12 DATE  
 CHECKED BY DATE

**Hailey Fire Dept.**  
**617 S. Third Street**  
**P.O. Box 1192**  
**Hailey, Idaho 83333**



**Capt. Michael Baledge**  
**Fire Marshal**  
**Office: 208-788-3147**  
**Fax: 208-788-0279**  
**E-mail:**  
**mike.baledge@haileycityhall.org**

**MEMO**

**To: Micah Austin**  
**From: Mike Baledge**  
**Re.: Project Irish**  
**Date: November 16, 2012**

**COPY**

Micah,

I have looked over the site plan for the above project and I have the following concerns regarding access and water supply. Below is a list of notes that go with the attached checklist we use for site plan review.

1. Fire apparatus must be able to reach all portions of the exterior of the building with a 150 foot hose line. According to the drawings I have we seem to come up about 30 feet short of meeting this requirement. It is possible that the dimensions are distorted by the computer, however if this is the case then the access roads need to be extended up the north or south sides of the building or a fire sprinkler system needs to be installed.
2. I could not tell from this plan if the trash enclosure was fenced or not. If the fence is in place it cannot be placed to prevent access to the building exterior.
3. The distance from the entrance of the parking lot to the location of the trash bin on the north side of the building is in excess of 150 feet. This would be the most likely access for fire apparatus. The way it looks on the plans this would be considered a dead end access and must be provided with a means to turn fire apparatus around. Some other features of the parking lot might work to solve this issue but the will need to be measured on scalable plans to verify the measurements.
4. Note four is just to reiterate that a lot of access issues typically go away when a fire sprinkler system is added to the building.
5. This section of the checklist cannot be checked without building plans.

6. Any gates around the property that will slow or stop firefighter access must be approved by the fire department.
7. The existing fire hydrants on the property meet the needs of this building. Any relocating, adding, or removing of a fire hydrant must be approved and done prior to building construction.
8. Depending on how some of the access issues, such as turnarounds and access lanes on the north and south sides of the building are configured, fire lane signs and painted curbs may be needed.

Let me know if you have any questions or need any clarification on any of these issues please contact me.



# General Fire & Life Safety Site Review Part 1 of 3 – General Site Considerations

Name of Site: Project Irish

Location of Site: 4<sup>th</sup> & 75

Contact Person: \_\_\_\_\_ Tel. \_\_\_\_\_ Fax: \_\_\_\_\_

### General Site Location

Do all proposed roads align, intersect and/or have consistent addressing  
Is any of the site located in the following areas:

- Floodplain
- In an area identified as a urban/wildfire interface area
- On a hill or adjacent to any sloped ground over 10%
- In a potential avalanche or debris flow area

### Fire Apparatus Road—Distance From Buildings and Turnarounds

- note 1  Access roads extend to within 150 feet of all portions of the exterior wall of the building as measured by an approved route around the exterior of the building. (Up to 250' exemption for fully sprinklered building.)
- note 2  Are there any proposed fences, trash enclosures, gates etc. that may prevent access to any portion of the exterior of the building?
- An approved turnaround has been provided if required. Fire access lanes are constructed so that not more than 150' of dead end access exists beyond the turnaround.
- note 3  Turnouts: Required access roads in excess of 500' turnout provided at fire hydrants.
- If any portion of the building is located adjacent to a property line or fire access lane, are there any anticipated obstructions intruding into the required area? (i.e. electric or gas meters, sliding snow, transformers, future building construction.)  
(IFC Sec. 503.1.1 & D104)

### Access Roads Adjacent to Buildings

- note 4  The fire apparatus access road may be extended or modified if the building is completely protected with an approved automatic fire sprinkler system, as approved by the Fire Official. (IFC Sec. 503.1.1)
  - All required fire apparatus access roads serving buildings 30' or less in overall height, shall have an unobstructed width of not less than 20', and an unobstructed vertical clearance of not less than 13'6". (IFC 503.2.1)
- Buildings exceeding 30 feet in height from the lowest point of vehicular fire apparatus access shall have:
- note 6  At least three separate means of fire apparatus access to each structure.  
*Exception: Buildings exceeding 30 feet from the lowest point of vehicular fire apparatus access but not exceeding 35 feet in height shall provide at least two means of fire apparatus access for each structure.*
  - Fire access roads to buildings greater than 30' in height above the lowest level of fire department access have a minimum unobstructed width of 26'.
  - At least one of the required access routes is positioned parallel to one entire side of the building and shall have its closest edge located within a minimum of 15 feet and a maximum of 30' from the building. (This is to allow adequate aerial ladder access to the building.)
  - Overhead utility lines are not to be located over the aerial fire apparatus access roadway. (IFC Appendix D104)

### Additional Access Roads

- NA  Two approved means of access have been provided to the city/county roadway or access easement due to the location containing more than (5) single or duplex family dwelling units, 36 multiple family dwellings, vehicle congestion, adverse terrain conditions or other factors as determined by the Fire Official. (Exceptions may be allowed when automatic fire sprinkler systems are installed.) (IFC Appendix D107.1, as amended)

**Gates:** Gates located on fire access roads are generally discouraged, but when installed:

- note 6  Gates and barricades located on fire access roads should be of the sliding, lifting or other type that can operate properly in deep snow conditions.
- All gates have a width equal to the required width of the fire access road that it is located on.
- All electronic gates have a Knox Box key override switch installed.
- All manual gates have an approved method for restricting unauthorized access. (IFC Appendix D 103.5 & 503.5)

### Turning Radius

- The inside turning radius and outside turning radius of fire access roads are not less than 28' and 48' respectively, measured from the same center point. (IFC Appendix D103.3)

Fire Department Access and Fire Fighting Water Supply During Construction

Approved fire department access roads and water supplies shall be installed and operational prior to any combustible construction or storage on the site or subdivision. (IFC Sec. 1412.1)

Surface and Load Capacities

- Fire apparatus access roads are of an all-weather driving surface that is easily distinguishable from the surrounding area and is capable of supporting not less than 12,000 pounds point load (wheel load) and 75,000 pounds live load (gross vehicle weight).
- Obstruction: Access roads not obstructed i.e. parking, dumpsters, and building materials. (IFC Sec. 503 & App. D102)

Grade

- Private fire apparatus roadway grades do not exceed an average grade of 6% with a maximum grade of 8% for lengths of no more than 150'.
- NOTE: Other standards may apply in areas designated as wildland interface.
- Intersections and turnarounds are level with the exception of crowning for water run-off. (IFC Sec. 503.2.7)

No Parking Signs

10%  
b

- Approved fire lane signs will be installed on one or both sides of the roadway, turnarounds and pullouts as needed. (Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and have the required width of unobstructed driving surface.)
- Signs are installed with a clear space above grade level of 7'.
- Signs are 12" wide by 18" high and shall have black or red letters and a border on a white reflective background.
- Roads 20 to 26' in width have signs posted on both sides as a fire lane.
- Fire Access Roads greater than 26' in width have used approved markings and signage to clearly identify the area to be used as a fire lane.
- Signs indicate the beginning, ending and intermediate boundaries of the fire lane. (IFC Appendix D103.6)

Painted Curbs: When curbs are provided the:

10%  
b

- Fire apparatus roadway curbs are painted bright red and marked "No Parking - Fire Lane" at each 25' section.
- Lettering is white and has a stroke of not less than 3/4" wide by 4" high. (IFC Sec. 503.3)

Bridges

10%  
b

- Private bridges shall be designed and constructed in accordance with the State of Idaho Department of Transportation Standards.
- The design load shall be prepared by a State of Idaho registered professional engineer.
- The design engineer has prepared a special inspection and structural observation program for approval by the building official.
- The design engineer has given in writing, final approval of the bridge to the City Engineer immediately after construction is completed.
- Structure capability weight/vertical clearance signs. (IFC Sec. 503.2.6)

Fire Hydrants

10%  
b

- No point on a required fire access road is greater than 250' from a fire hydrant.
- Fire hydrants are placed no more than 500' feet apart in residential areas, and 450' feet apart in commercial areas, measured in an approved manner around the outside of the structure and along an approved fire apparatus access roadway. (Note: These distances are further reduced for dead end accesses.)
- In general, fire hydrants are placed at street intersections, and/or entrances to the protected premises.
- All fire hydrants are located outside of defined snow storage areas.
- Additional hydrants (if needed to meet the minimum fire flow or spacing requirements) may be placed at non-intersecting areas, or other specific locations approved by the Fire Official.
- Hydrants located on the opposite side of arterial streets with four (4) or more lanes of traffic are not considered available for use.
- All hydrant locations have been approved by the Fire Official. (IFC Sec. 508.5.1- 508.5.6 & C105)
- Fire hydrants should not be located not more than 30' from an approved fire access roadway. (HFD Policy)
- Fire hydrants or fire department connections (FDC) which may be exposed to vehicular damage or obstruction have an approved array of bollards or guard posts installed to protect them from damage and to maintain the minimum distance required for proper operation. (IFC Sec. 312)
- Fire hydrants are identified by the installation of approved hydrant flags mounted on the rear of the hydrant.

NOTES: See Attached Letter

Date Reviewed: 11/16/12 Reviewed By Mine Boyette TS

# City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH  
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815  
Fax: (208) 788-2924

November 26, 2012

Dear Property Owner:

Your property has been identified as being located within 300 feet of the property listed below; this letter is being sent to you to give you the opportunity to comment on the following applications related to the following property:

- An application by Terra Form Companies for a Conditional Use Permit for a wholesale distributor with incidental and subordinate retail sales, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.
- An application by Terra Form Companies for Design Review of a proposed building, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

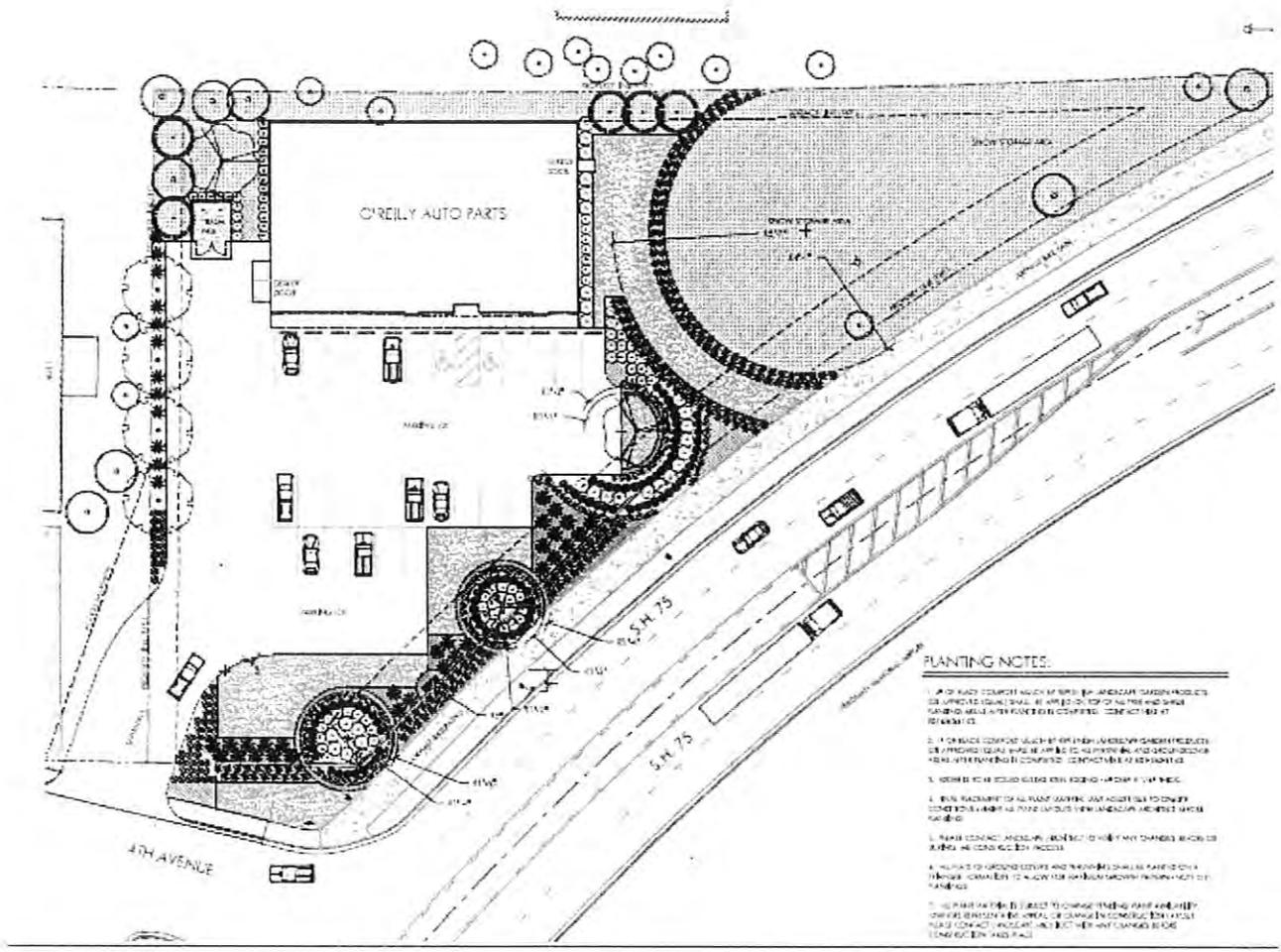
A map showing the location of the property is included with this letter.

A public hearing will be held on these applications as part of the Hailey Planning and Zoning Commission's meeting on Monday, December 10<sup>th</sup>, 2012, at 6:30 p.m., at Hailey City Hall. You are invited to attend this public hearing and/or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83333 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org).

Supporting documents for this application can be viewed on the City of Hailey website as of the date of this letter; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on Current Applications. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Planning Coordinator at [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

# Aerial Map



- PLANTING NOTES:**
1. ALL PLANTING SHALL BE DONE BY AN APPROVED CONTRACTOR. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LOS ANGELES PLANTING SPECIFICATIONS AND THE CITY OF LOS ANGELES PLANTING SPECIFICATIONS. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LOS ANGELES PLANTING SPECIFICATIONS AND THE CITY OF LOS ANGELES PLANTING SPECIFICATIONS.
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# City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH  
HAILEY, IDAHO 83433

Zoning, Subdivision, Building and Business Permitting, and Community Planning Services

(208) 788-9815  
Fax: (208) 788-2921

November 26, 2012

Dear Public Agency:

The Hailey Planning and Zoning Commission will hold public hearings on the item(s) listed below on **Monday, December 10th, 2012**, at 6:30 p.m., Hailey City Hall.

- An application by Terra Form Companies for a Conditional Use Permit for a wholesale distributor with incidental and subordinate retail sales, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.
- An application by Terra Form Companies for Design Review of a proposed building, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

This Notice is issued pursuant to Idaho State Code (Local Land Use Planning Act), Section 67-6509, whereby notice must be provided to all political subdivisions providing services within the planning jurisdiction at least 15 days prior to public hearings regarding proposed amendments to the Comprehensive Plan, Zoning Ordinance, Subdivision Ordinance, or any other land use ordinance.

You are invited to attend this public hearing or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83433 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org).

Supporting documents for this item(s) can be viewed on the City of Hailey website as of the date of this letter; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on Current Applications or Ordinance Amendments. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this application, or for special accommodations to participate in the public meeting, please contact the Planning Coordinator at [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

**SOUTH CENTRAL  
SUPERVISORY AREA**  
324 South 417 East, Ste. 2  
Jerome, ID 83338-6206  
Phone (208) 324-2561  
FAX (208) 324-2917



**TOM SCHULTZ, DIRECTOR**  
EQUAL OPPORTUNITY EMPLOYER

**STATE BOARD OF LAND COMMISSIONERS**  
*C.L. "Butch" Otter, Governor*  
*Ben Ysursa, Secretary of State*  
*Lawrence G. Wasden, Attorney General*  
*Brandon Woolf, State Controller*  
*Tom Luna, Sup't of Public Instruction*

December 4, 2012

Beth Robrahn  
Community Development Director  
City of Hailey  
115 Main Street South, Suite H  
Hailey, ID 83333

e-mail to: [planning@haileycityhall.org](mailto:planning@haileycityhall.org)

**RE: Terra Form Companies - To Construct a New Commercial Building for Wholesale and Retail Use  
Conditional Use Permit and Design Review  
960 S 4<sup>th</sup> Avenue, Hailey, Idaho – Section 10 T2N R18E BM**

Dear Ms. Robrahn:

Thank you for the opportunity to review and comment on the applications as noted above, submitted by Terra Form Companies, for property located at 960 S. 4<sup>th</sup> Avenue, Hailey, Idaho.

As you may know, Idaho Department of Lands' (IDL) mission is to manage State Endowment Trust Lands (State Trust Lands) in a manner that will maximize long-term financial returns to the Beneficiary Institutions. The IDL mission is a constitutional mandate and is overseen by the State Board of Land Commissioners. State Trust Lands are not managed for the public at large and should not be referred to as "public lands" or "open space," either specifically or in a generic sense. These are working lands producing revenue for the Beneficiary Institutions.

IDL has reviewed the public hearing notice provided by the City of Hailey for the Terra Form Companies requests. Based on the documentation provided to IDL, the applications will not impact State Trust Lands at this time. Should the applications be modified during the review or approval process, IDL requests that updated information be submitted to the South Central Area Office for additional review.

Thank you again for the opportunity to review and comment on these applications; we look forward to working with you again in the future. Please contact me at (208) 324-2561 if you have questions or need more information.

Sincerely,

  
Timothy C. Duffner  
South Central Area Manager

cc: Kate Langford, Strategic Business Analyst – Planning  
Julianne Shaw, Assistant Plann

## **Bart Bingham**

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**From:** Legals <legal@mtexpress.com>  
**Sent:** Friday, November 16, 2012 12:53 PM  
**To:** Bart Bingham  
**Subject:** Re: Nov 21, 2012 Legals- Please Reply to Confirm Receipt

Received, thanks.

Chris

On 11/16/2012 12:26 PM, Bart Bingham wrote:

**NOTICE OF PUBLIC HEARING  
HAILEY PLANNING AND ZONING COMMISSION  
Monday, December 10th, 2012**

Public Notice is hereby given that the Hailey Planning and Zoning Commission will hold a Public Meeting at **6:30 p.m. on Monday, December 10th, 2012**, to be held in the upstairs meeting room of Hailey City Hall and will hold Public Hearings on the following item(s).

An application by Terra Form Companies for a Conditional Use Permit for a wholesale distributor with incidental and subordinate retail sales, to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

An application by Terra Form Companies for Design Review of a proposed building, proposed to be located at present R Davis Business Center Parcel A (960 S. 4<sup>th</sup> Ave.) and R Davis Business Center Sub, Blk 1, Lots 1-3 (930, 940, & 950 S. 4<sup>th</sup> Ave.), within the Limited Business Zoning District.

Any and all interested persons are invited to attend this public hearing or submit written comments to the Planning Coordinator at 115 South Main Street, Hailey, Idaho, 83333 or [planning@haileycityhall.org](mailto:planning@haileycityhall.org). Supporting documents for this item(s) can be viewed on the City of Hailey's website as of the date of this publication; go to [www.haileycityhall.org](http://www.haileycityhall.org), under City Departments, Community Development, click on either Current Applications or Ordinance Amendments. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall.

For further information regarding this notice, or for special accommodations to participate in the noticed meeting, please contact [planning@haileycityhall.org](mailto:planning@haileycityhall.org) or (208) 788-9815.

Publish: The Idaho Mountain Express  
Date of publication: November 21, 2012



AIRPORT INN  
MOTEL

Diamond Line  
DELIVERY

SILVER CREEK  
Irrigation & Plumbing Supply

20



SILVER CREEK

Residential & Commercial Supply

CREATOR

CREATOR

CREATOR







Parcel Number	Owner 1	Owner 2	Mail Address Line 1	Mail Address Line 2	Mail Address Line 3	Mail Address Line 4	Mail Address Line 5	Property Address	Legal Desc 1
RPH04080010010	BASHAW BRETT D TRUSTEE	BASHAW PATRICIA E TRUSTEE	301 E EDGEWATER AVE	NEWPORT BEACH CA 92661-0000				910 S 4TH AVE	BDB SUBDIVISION
RPH2N180150010	BLAINE COUNTY		206 S 1ST AVE STE 200	HAILEY ID 83333-0000				1610 AIRPORT CIR	HAILEY
RPH0000122001A	HAILEY CEMETERY DISTRICT		BOX 4515	HAILEY ID 83333-0000					HAILEY
RPH047500000AA	HAILEY CITY OF		115 S MAIN ST STE H	HAILEY ID 83333-0000				1020 WOODSIDE BLVD	WOODSIDE SUBD
RPH04750020010	MARCH BANKS JOSEPH BRENT	CRAIG HILL CAROL E	1207 N 14TH ST	BOISE ID 83702-0000				520 FOX ACRES RD	WOODSIDE SUB #1
RPH2N180100170	MASONIC HAILEY LODGE #16		PO BOX 233	HAILEY ID 83333-0000				541 FOX ACRES RD	FR S1/2SW -2 PARCELS SEC 10
RPH0000137007A	TAYLOR HENRY W JR REV TRUST		<u>C/O</u> <u>AIRPORT</u> <u>INN</u>	820 4TH AVE S	HAILEY ID 83333-0000			820 S 4TH AVE	HAILEY

RPH048 600100 10	ZIONS FIRST NATION AL BANK		1 S MAIN ST STE 500	SALT LAKE CITY UT 84133- 1109				950 S 4TH AVE	R DAVIS BUSINE SS CENTER SUB
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