

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, June 12, 2017
Hailey City Hall
5:30 p.m.

Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Adoption of the Meeting Minutes of May 8, 2017

CA 2 Adoption of the Meeting Minutes of May 16, 2017

CA 3 Adoption of the Findings of Fact, Conclusions of Law and Decision for an Review Application for a Design Review Application for a Marriott Hotels Fairfield Inn and Suites, represented by Errin Bliss of Bliss Architecture, for a new 3-story 41,836 square foot hotel consisting of 75 rooms, indoor pool, fitness room and breakfast dining room located at 711 North Main Street (Lots 1, Sutton Subdivision and Lot 1A and 2A, Bow & Arrow Subdivision) in the Business (B) Zoning District.

CA 4 Adoption of the Findings of Fact, Conclusions of Law and Decision for an Review Application for a Design Review by Greg Bloomfield of Capstone Development, LLC, for a new single-family residence, to be located at 210 West Croy (Lot 3A, Block 4, Hailey Townsite), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. This project was previously approved by the Commission on June 11, 2014.

Public Hearings

PH 1 Consideration of a Zone Change Application by L.L. Greens for an amendment to the City of Hailey Zoning District Map. Proposed changes would rezone the Northridge X Subdivision, Lot 1, Block 2, from Limited Residential 1 (LR -1) to Limited Business (LB).

PH 2 Consideration of a Conditional Use Permit Application by L.L. Greens, for a temporary chainlink fence, to be located around and secure the outdoor Garden Center, located in the parking lot of King's Variety Store at 615 North Main Street (Lots 1-5 and 11-15, Block 68, Hailey Townsite) in the Business (B) and Townsite Overlay (TO) Zoning Districts.

PH 3 Consideration of a Design Review Application by Brad Guss and Naomi Goldberg, addition and the demolition of a 470 square foot garage space and connector. The existing shop and residence will remain. A new 839 square foot main level, 354 square foot upper level and 763 square foot garage will be built in place of the existing garage space and connector. The main level will be a garage and service space. The upper level will include bedrooms, bath and bonus space. The existing solarium on the south will also be demolished and a new front entry and covered porch will be constructed. This project is located at 517 East Pine Street (Lot 7A, Block 105, Hailey Townsite) in the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts.

PH 4 Consideration of a Design Review Application by ARCH Community Housing Trust, represented by Thomas Dabney of TND Architects PLLC, for eight new units consisting of two 7,884 square foot buildings, to be

located on Lots 1 & 2, Block 21, Woodside Subdivision No. 6 in the Limited Business (LB) Zoning District.
An address has not been determined at this time.

New Business

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.
(no documents)

SR 2 Discussion of the next Planning and Zoning meeting: **Monday, June 19, 2017**
(no documents)

Adjourn

HAILEY PLANNING & ZONING COMMISSION

Monday, May 8, 2017

Hailey City Hall

5:30 p.m.

Call to Order

[5:29:46 PM](#) Chair Fugate called the meeting to order.

Public Comment for items not on the agenda

[5:30:03 PM](#) Lisa Horowitz provided information on the flood situation and showed attendees Hailey's Facebook page, Hailey City Flood Update 2017.

Consent Agenda

[CA 1](#) Adoption of the Meeting Minutes of April 24, 2017

[CA 2](#) Adoption of the Findings of Fact, Conclusions of Law and Decision for a modification to an approved Design Review Application by D.L. Evans Bank, represented by Tom Lennon and Andy Erstad of Erstad Architects, for a 1,583 square foot addition to the bank branch. The total square footage increases the bank branch from 4,595 square feet to 6,178 square feet, and is to be located at 609 and 611 South Main Street (Lots 1-8, Block 5 Hailey Townsite) in the Business (B) and Townsite Overlay (TO) Zoning Districts. This project was approved by the Commission on September 12, 2016.

[CA 3](#) Adoption of the Findings of Fact, Conclusions of Law and Decision for an Annexation Application from Colorado Gulch Preserve, LLC, to annex Lot 1A, Block 1, Stevens Family Ranch, LLC (North of 81 Broadford Road, Section 15 & 16, T.2N., R. 18E., B.M., Blaine County, Idaho), comprising a total of 24.46 acres, into Hailey City Limits for the purpose of expanding residential zoning within the City of Hailey. Proposed zoning of the property is Limited Residential 2 (LR-2).

[CA 4](#) Adoption of the Findings of Fact, Conclusions of Law and Decision for a Subdivision Preliminary Plat proposal for Colorado Gulch Preserve Subdivision, to be located at Lot 1A, Block 1, Stevens Family Ranch, LLC (North of 81 Broadford Road, Section 15 & 16, T.2N., R. 18E., B.M., Blaine County, Idaho), comprising 24.46 acres. The project includes 36 lots, ranging in size from 0.28 to 0.78 acres. Several open space parcels are also shown on the plat.

[5:32:33 PM](#) Scanlon motioned to approve the Meeting Minutes of April 24, 2017 and other Consent Agenda items. Pogue seconded. Smith, Scanlon, Pogue and Engelhardt were all in favor. Chair Fugate abstained, as she was absent.

Public Hearings

[PH 1](#) *Consideration of a Design Review Application by Myrtle Mixed Use, represented by Hollis Rumpeltes Architects, for a new 8,153 square foot, two story mixed-used structure, to be located at 516 North Main Street (Lots 11, 12 and North 25' of 13, Block 64, Hailey Townsite) in the Business (B) Zoning District. Lost River Sports was formerly located on this lot. The proposal will include ground level retail, lobby space, outdoor seating for dining, restaurant and two short-term occupancy units and one residential unit. The proposed second level will include two residential units at 1,200 square feet each, balconies and terraces for each residential space and a mechanical space.*

[5:32:24 PM](#) Horowitz introduced the project, noting changes or additions made since the publication of the packet. Daniel Hollis and J.J. Rumpeltes presented the project, noting the details of the commercial space, as

well as the short-term rental apartments proposed. Hollis discussed sidewalk alternatives (six feet instead of ten feet), configuration on the building, parking on Myrtle, exterior materials and design, construction and staging plan, and landscaping and proposed trees (Autumn Blaze Maples instead of Swedish Aspen). Discussion ensued. [5:49:18 PM](#) Scanlon questioned the distance of the back of the curb to the face of the building. Hollis noted that the distance is 10 feet. Horowitz noted that there is flexibility to interweave landscaping and sidewalk; however, a minimum of six foot clearance must be maintained.

[5:50:39 PM](#) Hollis went on to discuss the details of the trash enclosure and its location, as well as restaurant options. Hollis also discussed outdoor bike and ski storage lockers, roof design, snow storage and possible outdoor seating options. Discussion ensued.

[6:06:50 PM](#) Horowitz presented recommendations from the Tree Committee. Suggestions included: change street trees on Main Street to an Autumn Blaze Maple, construct 3x6 planter beds (Applicant to maintain), and meet the minimum tree size for street trees. Horowitz went on to discuss parking and alternatives for parking. Horowitz noted that more parking is provided than what is required. Horowitz also addressed Spruce trees, meandering planting beds, and Pathways for People project.

[6:11:31 PM](#) Chair Fugate questioned the rooftop terrace and how the snow might impact it. Hollis noted that terrace is heated and drainage plan is proposed. Hollis also noted that both residential units would have access to terrace and it would be locked off to the public. Engelhardt questioned where the commercial signage would go on building. Hollis noted that signage would be on Main Street; however, actual location has not been determined at this time.

[6:16:14 PM](#) Scanlon questioned the snow storage and doesn't believe it works very well in proposed area. Scanlon is worried about circulation around snow storage and suggested having snow stored offsite. Scanlon also shared reservations of removing the Spruce trees, as well as his concerns with the terrace details.

[6:21:06 PM](#) Smith questioned the energy plan and roof mounted equipment plan. Horowitz noted that various energy requirements were submitted regarding the windows and that she was satisfied with the roof mounted equipment plan.

[6:21:53 PM](#) Chair Fugate opened the item for public comment. Ryan Sullivan questioned the access to the rooftop deck.

[6:22:21 PM](#) Chair Fugate closed the item for public comment. Hollis noted that a stair tower exists, which provides access to the rooftop deck. Hollis also noted that the rooftop deck is approximately 315 square feet.

[6:24:12 PM](#) Horowitz went through of the Design Review Standards, noting that two of the seven have been met. Horowitz asked that the Applicant Team discuss how they meet the third standard. Hollis discussed the use of the breathable exterior material as an option for alternative energy. Horowitz agreed, noting that it fits under the category of an energy efficient alternative. Smith agreed and also believes the first standard has been met with the larger wall plane.

[6:26:45 PM](#) Chair Fugate summarized comments from Commission regarding proposed snow storage and parking. Scanlon reiterated his concerns with snow storage and would like to see a Condition of Approval regarding snow storage and hauling. Discussion ensued. Chair Fugate also noted that she is in favor of an ADA compliant parking stall on Myrtle Street. Smith questioned the Irrigation Plan. Horowitz noted that one has not been submitted at this time; however, it is required and will be submitted.

[6:30:46 PM](#) Scanlon questioned the width of the proposed sidewalk, as well as the width of sidewalks to the north and south. Horowitz confirmed that the proposed sidewalk width is six feet, and sidewalks to the north and south are currently six feet. Chair Fugate questioned the size of tree grates or open planting bed. Smith suggested following what City Staff suggested. Commission agreed. Horowitz suggested revising Condition (j) to read, landscape planting beds are allowed to meander through the Main Street sidewalk area, so long as a minimum of six feet is maintained.

[6:34:32 PM](#) Smith would like to see the street trees retained and limbed up. Engelhardt disagreed and would like to see the street trees removed to allow for more sunshine. Chair Fugate suggested removing the trees and requiring that three of the street trees be of four inch caliper. Discussion ensued.

[6:42:42 PM](#) Pogue believes site would look better with Spruce trees removed and other trees added. Engelhardt agreed. Smith hates to see mature trees removed; however, also agreed with the Commission. Scanlon also agreed with the removal.

[6:46:11 PM](#) Chair Fugate addressed the planter beds and would like to see 3x6 planter beds put in place. Commissioners agreed. Horowitz discussed changes made to the Conditions of Approval, noting the Condition (h) would be deleted, Condition (i) would become the new (h). Condition (j) would become (i) and would read, landscape planting beds are allowed to meander on Main Street, and a minimum width of six feet shall be maintained. Horowitz also noted that in addition, Condition (h) would also include, tree openings shall be as recommended by the City Arborist.

[6:49:45 PM](#) **Scanlon motioned to approved the Design Review Application submitted by Myrtle Mixed Use, represented by Hollis Rumpeltes Architects, for a new 8,153 square foot, two story mixed-use structure, to be located at 516 North Main Street (Lots 11, 12 and North 25' of 13, Block 64, Hailey Townsite) in the Business (B) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (l) are met. Smith seconded and all were in favor.**

[6:51:05 PM](#) Chair Fugate called for a five minute break.

[6:55:29 PM](#) Chair Fugate called the meeting back to order.

PH 2 *Consideration of a Design Review Application by Lightworks, represented by Chase Gouley of BYLA, for a new 3,280 square foot development, comprised of six (6) studio spaces, ranging in size from 464 square feet to 712 square feet, to be located at 1820 and 1830 Lear Lane (Lots 2A and 2B, Block 3, Airport West Subdivision #2) in the SCI-Industrial (SCI-I) Zoning District. The proposal will include small studio spaces for such uses as artist studios, jewelry making, pottery, ceramics, print editing and printing, and small woodcraft and contractor offices.*

[6:56:50 PM](#) Chase Gouley presented the project and the intent of the project: catering to young, creative craftsmen and building a campus-style community environment. Gouley went on to talk about the proposed outdoor spaces and landscaping. Ben Young reiterated a native landscape, introducing native landscaping and plants to complement the area and encourage creativity, and comfortability.

[7:06:56 PM](#) Gouley went on to explain the proposed lighting plan. Jolyon Sawrey discussed the proposed architecture plan, ADA compliant parking, bathrooms and access to/from each studio. Sawrey discussed the floor plan proposed, as well as the individual front porches. Sawrey also noted that though not currently shown, solar panels would be included in project as well.

[7:14:28 PM](#) Gouley discussed the exterior materials, paint colors, decking and roofing materials, timber and fascia materials, and proposed timber walls (24" to 30" timber walls). Gouley noted sidewalk possibilities and crosswalk options. Sawrey summarized the sidewalk options, noting preferences in establishing conditions related to sidewalk options. Gouley explained reasoning behind a meandering sidewalk, noting its visual interest and appeal. Gouley plans to meet with Streets Department to discuss the details. Discussion ensued. Scanlon questioned the soffit material. Sawrey noted that the soffit material is a tongue and groove wood with a six foot overhang on the front and a three foot overhang on the back. Smith questioned whether or not pods are sitting on concrete foundation. Sawrey noted that they are and are permanent to location. Smith also questioned the freeze protection for water and sewer. Sawrey noted that the plumbing has been consolidated and went on to explain the design of water and sewer, the insulation and heat tape utilized and depth of lines. Discussion ensued.

[7:27:14 PM](#) Chair Fugate opened the item for public hearing. Tony Evans really likes the project and questioned whether or not units could be built elsewhere within the City of Hailey as dwelling units.

[7:28:29 PM](#) Chair Fugate closed the item for public hearing. Smith questioned the number of ADA parking stalls. Sawrey noted that there is one ADA compliant parking stall available. Engelhardt questioned lease options.

Sawrey noted that that information hasn't been shared publically yet; however, Sawrey can assume it would not follow the standard rate per square foot. Scanlon questioned whether or not the floor is also made of SIPS paneling. Sawrey confirmed that it is. Discussion ensued.

[7:31:47 PM](#) Chair Fugate likes the project and finds the studios to be attractive, and well-thought out. Chair Fugate summarized the pedestrian connection and would like to see it as a condition.

[7:34:26 PM](#) Pogue questioned the type of rock proposed for landscaping. Gouley suggested a decorative gravel that would enhance the landscaping.

[7:36:02 PM](#) **Smith motioned to approve the Design Review Application submitted by Butterfly, LLC, represented by Chase Gouley of BYLA, for a new 3,280 square foot development called Lightworks, comprised of six (6) studio spaces , ranging in size from 464 square feet to 712 square feet, to be located at 1820 and 1830 Lear Lane (Lots 2A and 2B, Block 3, Airport West Subdivision #2) in the SCI-Industrial (SCI-I) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (g) are met. Pogue seconded and all were in favor.**

PH 3 *Consideration of a Design Review Application by Friedman Memorial Airport, represented by Nicholas Latham, AIA of Ruscitto/Latham/Blanton Architectura P.A., for an expansion of the Terminal Apron, new concrete retaining wall, new airport entry road and new parking area ticket gates, to be located at 1616 Airport Circle (FR SEC 10, 15 & 22 TL 8151) in the Airport (A) Zoning District.*

[7:38:28 PM](#) Nick Latham introduced the project and all the people associated. Mike Smith went through the proposed addition of project, the details of the terminal apron expansion, and upgrades to the ticket booth and new entry and exits of the airport. Mike Smith went on to explain the intent of adding a third terminal apron, which results in changing the entry and exit to/from the air terminal. Mike Smith explained aesthetic improvements as well. Parking, sidewalk upgrades and the specifics of the retaining wall were also discussed. Discussion ensued.

[7:43:50 PM](#) Scanlon questioned the height of the retaining wall. Mike Smith responded with a height of approximately eight (8) feet. Smith clarified that the retaining wall is only eight (8) feet at one spot and decreases outward. Mike Smith went on to discuss details in landscaping, drainage, exterior lighting and timelines to complete the work proposed. Scanlon also questioned the top railings on the retaining wall. Smith noted that the top of retaining wall will hold a fence to secure the surrounding perimeter. Smith went on to explain the materials used for the retaining wall.

[8:03:31 PM](#) Horowitz added that the a second retraining wall could be added to accomplish the maximum four (4) foot height; however, needs to maintain the current retaining wall, as it would not carry the weight of an airplane otherwise. Horowitz also added a suggestion regarding striping to connect the upper sidewalk to Airport Circle, as well as to clean up the public utility easements.

[8:08:26 PM](#) Dan Smith suggested constructing the crosswalk closer to the corner, as further south and around the corner is not as safe. Smith noted that it would be safer too. Latham went on to explain the original intent of the sidewalk location based on comments from the adjacent property owner. Horowitz questioned whether or not people would walk three corners to get to the intersection with a crosswalk. Pogue believes people will walk across and not utilize the crosswalk.

[8:08:33 PM](#) Dan Smith questioned the location of the new ADA parking and suggested utilizing another parking space in the upper parking lot, as the lower lot is a long way to walk if utilizing ADA parking stalls. Smith also questioned the location of the bus stop. Smith suggested moving the bus stop closer to the terminal to accommodate more people and improve visitor experience. Pogue agreed and believes it would also encourage more people to utilize Mountain Rides. Latham and Team agreed and noted that they would bring it back to the owner for review.

[8:18:45 PM](#) Chair Fugate opened the item for public hearing. Ryan Sullivan questioned the tentative date of parking lot construction and apron construction. Sullivan also questioned the closing dates of the airport in June.

[8:21:07 PM](#) Chair Fugate closed the item for public hearing. Scanlon has no issues with the retaining wall and likes the landscaping plan proposed. Engelhardt and Pogue agreed. Pogue also agreed with the suggestion of the sidewalk made by Smith. Smith likes the darker fencing material on top of the retaining wall. Chair Fugate agreed and likes the landscaping proposed. Engelhardt questioned the possibility of putting the fence in front of the retaining wall rather than on top of it. Latham and Team noted their concerns with the fence being in front of the retaining wall.

[8:26:38 PM](#) Pogue motioned to approve the Design Review Application submitted by Friedman Memorial Airport Authority for the expansion of the terminal apron located at the Friedman Memorial Airport, 1610 Airport Circle, Hailey (FR SEC 10, 15 & 22) within the Airport (A) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (l) are met. Pogue amended the motion and add to Condition (k) to include the crosswalk to the north. Pogue seconded and all were in favor.

~~[PH 4](#) Consideration of a City initiated Text Amendment to Title 17, Section 17.06.070.A.c, to modify regulations regarding in lieu cash contributions. **This item will be rescheduled to a later meeting.**~~

~~[PH 5](#) Consideration of a City initiated Text Amendment to Title 17, Section 17.06, Design Review, to create a Pre-Application Design Review process. **This item will be rescheduled to a later meeting.**~~

New Business

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.
(no documents)

SR 2 Discussion of the next Planning and Zoning meeting: **Tuesday, May 16, 2017**
(no documents)

Adjourn

[8:32:48 PM](#) Scanlon motioned to adjourn. Pogue seconded and all were in favor.

Return to Agenda

MEETING MINUTES
HAILEY PLANNING & ZONING COMMISSION
SPECIAL MEETING
Tuesday, May 16, 2017
Hailey City Hall
5:30 p.m.

Present:

Staff:

Absent: Richard Pogue

Call to Order

5:29:18 PM Chair Fugate called the meeting to order.

Public Comment for items not on the agenda

Consent Agenda

CA 1 Adoption of the Findings of Fact, Conclusions of Law and Decision for a Design Review Application by Myrtle Mixed Use, represented by Hollis Rumpeltes Architects, for a new 8,153 square foot, two story mixed-used structure, to be located at 516 North Main Street (Lots 11, 12 and North 25' of 13, Block 64, Hailey Townsite) in the Business (B) Zoning District. Lost River Sports was formerly located on this lot. The proposal will include ground level retail, lobby space, outdoor seating for dining, restaurant and two short-term occupancy units and one residential unit. The proposed second level will include two residential units at 1,200 square feet each, balconies and terraces for each residential space and a mechanical space.

CA 2 Adoption of the Findings of Fact, Conclusions of Law and Decision for a Design Review Application by Lightworks, represented by Chase Gouley of BYLA, for a new 3,280 square foot development, comprised of six (6) studio spaces, ranging in size from 464 square feet to 712 square feet, to be located at 1820 and 1830 Lear Lane (Lots 2A and 2B, Block 3, Airport West Subdivision #2) in the SCI-Industrial (SCI-I) Zoning District. The proposal will include small studio spaces for such uses as artist studios, jewelry making, pottery, ceramics, print editing and printing, and small woodcraft and contractor offices.

CA 3 Adoption of the Findings of Fact, Conclusions of Law and Decision for a Design Review Application by Friedman Memorial Airport, represented by Nicholas Latham, AIA of Ruscitto/Latham/Blanton Architectura P.A., for an expansion of the Terminal Apron, new concrete retaining wall, new airport entry road and new parking area ticket gates, to be located at 1616 Airport Circle (FR SEC 10, 15 & 22 TL 8151) in the Airport (A) Zoning District.

5:30:08 PM Smith motioned to adopt the Consent Agenda items from the meeting held on May 8, 2017. Scanlon seconded and all were in favor.

Public Hearings

PH 1 *Consideration of a Design Review Application for a Marriott Hotels Fairfield Inn and Suites, represented by Errin Bliss of Bliss Architecture, for a new 3-story 41,836 square foot hotel consisting of 75 rooms, indoor pool, fitness room and breakfast dining room located at 711 North Main Street (Lots 1, Sutton Subdivision and Lot 1A and 2A, Bow & Arrow Subdivision) in the Business (B) Zoning District.*

5:31:28 PM Errin Bliss presented background information on the proposed project, noting that a Pre-Application Design Review was held on April 10, 2017. Bliss noted that the Main entrance would be off of Main Street, with the majority of parking and the porte-cochere located behind the building. Bliss also noted other additions,

For further information regarding this agenda, or for special accommodations to participate in the public meeting, please contact planning@haileycityhall.org or (208) 788-9815.

including a six foot fence and alterations to the proposed porte-cochere. Bliss noted that the proposed porte-cochere would be a flat roof to accommodate for snow load and complement the design of the rest of the building. Bliss commented on other changes: design on River Street, the addition of an eight foot wide bike lane, new sidewalk and tree grates (entry grates). Bliss went on to discuss the existing landscape, including existing and proposed street trees. Bliss went on to discuss the interior details, outdoor patio space, breakfast and dining area, indoor pool and outdoor deck. Bliss discussed exterior materials and his reasoning for utilizing baton board versus corrugated metal. Bliss also discussed other exterior design elements of the porte-cochere.

[5:47:06 PM](#) Scanlon questioned the layout of the shower and whether or not it would affect the placement of the bed and other furniture. Bliss noted that the door should be located on the other side (mistake in drawings). Scanlon also questioned whether or not a trellis or lattice system was considered to provide more shade in patio areas. Bliss noted that there are intervening ones; however, none run across the other direction. Bliss is open to considering some type of lattice system.

[5:48:57 PM](#) Engelhardt questioned the final plan of the River Street Design. Horowitz summarized the Urban Renewal Meeting and presented the River Street Design proposal. Horowitz also presented the City Arborist's Conditions of Approval regarding proposed project. Horowitz discussed planter beds, mulch and planting specifications, thornless variety of Hawthorns, if utilized, and Irrigation Application. Discussion ensued.

[5:54:21 PM](#) Sam Stahlnecker discussed the City' Engineer's memorandum regarding the proposed project. Stahlnecker noted that questioned consisted of ADA ramp regulations and drainage; however, noted that nothing critical needed to be addressed at this time. Horowitz also noted that the Hailey Fire Department felt the same and had no conflicts with proposal at this time.

[5:55:22 PM](#) Horowitz questioned how the loading and unloading of the hotel functions. Bliss noted that everything is done on site, including laundry and food preparation. Bliss also noted that food deliveries may happen in the morning and Bliss suggested delivering to the front of the building. Chair Fugate questioned the trash enclosure. Horowitz noted that a letter would come from Clear Creek Disposal addressing the location and size of the dumpster location.

[5:57:04 PM](#) Smith questioned the total number of ADA parking stalls required. Bliss believes it is three. Stahlnecker concurred that four stalls exist, three stalls are required.

[5:58:02 PM](#) Chair Fugate opened the item for public comment. Carl Hjelm complimented the building design and site plan. Hjelm suggested that the Applicant and Team shift the hotel closer to Main Street and shorten the length of the porte-cochere. Hjelm believes it is a lot of asphalt otherwise. Hjelm also suggested utilizing another street tree than that of Autumn Blaze Maples.

[6:00:17 PM](#) Jenna Lager questioned the viability of other hotels on Main Street if Marriott is approved. Lager also questioned the other options available, instead of another hotel. Lager believes hotel rooms in Hailey are never full and questions how such a project can be entertained.

[6:03:50 PM](#) Chair Fugate closed the item for public hearing. Horowitz commented on the hotel reservations in 2016, and how robust it was. Horowitz noted that per data collected last year, hotels in Hailey were at 70% occupancy, whereas the hotels in Ketchum were at 30%. Horowitz also noted that the City of Hailey has no jurisdiction to regulate which type of businesses are to open within the City.

[6:05:21 PM](#) Errin Bliss also noted that a feasibility study was completed and per the study, there is a demand in Hailey for another hotel.

[6:06:06 PM](#) Smith appreciates Errin Bliss's efforts to incorporate more of the Hailey feel to the design. Smith noted that he has no major issues regarding the project or design. Smith agreed that he would like to see the sidewalk width of ten feet, which he feels, would provide more continuity to surrounding area. Chair Fugate agreed.

[6:08:26 PM](#) Engelhardt likes the project as is and also agreed with Hjelm regarding the street trees.

[6:09:00 PM](#) Scanlon also complimented the design of the hotel. Scanlon questioned the green color of the exterior lighting poles. Bliss noted that the color would correspond to the other street light poles of the Street Department's choosing.

[6:12:00 PM](#) Chair Fugate appreciates the thought of the layout and applauded the architect for materials and design proposed.

[6:13:35 PM](#) Smith also questioned the bike rack location. Bliss agreed that he would add bike racks to plans. Stahlnecker summarized thoughts on sidewalks widths to north of proposed project. Chair Fugate suggested incorporating width in to a Condition of Approval that reads, sidewalk shall be consistent with sidewalk to the north. Horowitz also noted that a new Condition (m) would be incorporated to include the City Arborist's points, a Condition (n) which would read, bike racks shall be added to the site plan, a new Condition (o), which would read, sidewalk shall be consistent with the sidewalk to the north, and a new Condition (p), which would read, all requirements of the City Engineer shall be met.

[6:16:37 PM](#) Engelhardt motioned to approve the Design Review Application submitted by SVHG, LLC, represented by Bliss Architecture, for a new 3-story, 41,836 square foot hotel located at 711 North Main Street (Lots 1, Sutton Subdivision and Lot 1A and 2A, Bow & Arrow Subdivision) in the Business (B) Zoning District, finding that the project does not jeopardize the health, safety or general welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (p) are met. Smith seconded and all were in favor.

PH 2 *Consideration of a Design Review Application by Greg Bloomfield of Capstone Development, LLC, for a new single-family residence, to be located at 210 West Croy (Lot 3A, Block 4, Hailey Townsite), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. This project was previously approved by the Commission on June 11, 2014.*

[6:18:09 PM](#) Horowitz presented site plan information on the proposed project. With the exception of exterior colors, Greg Bloomfield and Brian Bothwell noted that house and plans have not changed since previous Design Review approval in 2014.

[6:20:55 PM](#) Smith questioned whether or not Scanlon requested that the black top extend past the turn in to the driveway, similar to that of a hammerhead. Scanlon agreed and believes it is a small addition of asphalt that would help the comings and goings of the resident.

[6:22:02 PM](#) Chair Fugate opened and closed the item for public hearing.

[6:22:28 PM](#) Scanlon suggested developing a hammerhead driveway to alleviate the residence from backing up to the street. Scanlon believes it would be more neighborly too. Bloomfield noted that a recorded easement exists, which hasn't been an issue in the past. Horowitz suggested that a Condition read, a neighborhood turnaround shall be provided with a new recorded easement. Horowitz also suggested backing in to the snow storage area.

[6:27:08 PM](#) Scanlon motioned to approve the Design Review Application by Capstone Development, LLC, for a new 1,684 square foot residence with a 528 square foot garage located at 210 West Croy (Lot 3A, Block 4, Hailey Townsite), within the General Residential (GR) and Townsite Overlay (TO) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (j) are met. Engelhardt seconded and all were in favor.

[6:27:12 PM](#) Chair Fugate called for a five minute break.

[6:32:56 PM](#) Chair Fugate called the meeting back to order.

PH 3 *Consideration of a Preliminary Plat Subdivision Application by Sprenger Grubb & Associates, for a new subdivision of Lots 1-7, Block 86, Woodside Subdivision #25, by creating 21 units, to be known as Wood Cross Townhomes. The total development comprises of 2.408 acre. Current zoning is General Residential (GR).*

[6:33:41 PM](#) James Roberts presented proposed project, noting the details of the details of the townhomes, number of units and access.

[6:35:07 PM](#) Sam Stahlnecker went through the Staff Report. Stahlnecker pointed out major concerns of development, as well as the missing application materials. Stahlnecker also noted that the City Street Department is opposed to managing snow load in a cul-de-sac. Stahlnecker also noted other concerns: signage, drainage, grading, and utilities. Stahlnecker also noted that a survey of parcel was not included. Discussion ensued. Chair Fugate expressed confusion, noting that no materials are present for a Preliminary Plat Application.

[6:40:36 PM](#) Chair Fugate questioned the status of the Preliminary Plat Application, noting that it doesn't meet the requirements of the Preliminary Plat Application process. James Roberts noted that a survey wasn't completed until recently due to snow on the lot. Roberts also noted that he was under the impression the Applicant Team could submit documents up to the hearing. Roberts went on to present other alternatives in design. Discussion ensued.

[6:49:13 PM](#) Engelhardt questioned the proposed snow storage area and noted that many questions remain unanswered. Scanlon questioned where in the area other multifamily housing units exist. Bear went on to demonstrate where on the map other multifamily units are located.

[6:55:04 PM](#) Chair Fugate questioned the park space provided and the subdivision ordinance associated with it. Horowitz noted that something of record showing the dedication of park space is required from the Applicant and Team. Bear noted that a park is included. Horowitz questioned the acreage of proposed park and reiterated that park would need to be dedicated prior to the Parks and Lands Board reviewing it. Horowitz also reiterated that acreage and zoning will need to be shown on the plat.

[6:57:08 PM](#) Chair Fugate questioned the distance between the intersection and proposed driveway of development. Stahlnecker went on to discuss the separation distances required between intersections, both three way and four way, and proposed driveway. Stahlnecker noted that distances were not noted on plans; therefore, are not meeting requirements. Discussion ensued.

[6:59:48 PM](#) Chair Fugate opened the item for public hearing. Susan Byng expressed her concerns and questioned the total number of townhouses that currently exist in area. Byng also noted her concerns with an increase in traffic. Brian Bothwell believes project would be a great asset to area and also suggested moving application to a PUD Application to resolve snow storage issues. Bothwell noted that project it is a great opportunity to create more housing in Hailey.

[7:02:12 PM](#) Kerry Christiansen also expressed his concerns of increased traffic, reversing in to project driveway, as Christiansen lives across the street, and is also not in favor of the density. Christiansen believes project would add more people to area. Christiansen believes Woodside is already really busy and is not in favor of adding more. Christiansen also questioned sewer issues and maximum capacity.

[7:03:33 PM](#) David Boutelle reiterated and agree with other previous comments made.

[7:04:27 PM](#) Tony Nice questioned what ever happened to the park proposal. Nice also shared concerns with traffic and agreed with others in that density is too much for area.

[7:05:29 PM](#) Dan Urban would like to see conformity in area with single family residences and noted his opposition to development. Urban believes there is spot zoning going on in area to accommodate project.

[7:09:09 PM](#) Greg Abbott also agreed with previous comments made. Abbott also questioned the height of the development and believes it would impede view. Abbott also believes all privacy would be lost if development were approved. Others agreed.

[7:11:02 PM](#) Jeffrey Roth noted his support for the density; however, shared concerns of increased traffic. Roth noted that current design is not conducive to allowing more traffic.

[7:12:25 PM](#) Chair Fugate closed the item for public comment. Horowitz commented on traffic concerns, noting that Woodside Boulevard is the busiest street within the City of Hailey. Horowitz also noted that per review completed by City Engineer, current sewer system can accommodate another 1600 units within City limits.

[7:14:27 PM](#) James Roberts addressed traffic concerns, noting that in order to maintain smart and economic growth in area, density is required. Roberts also commented on property values and how it correlates with the proposed development. Roberts believes surrounding property values would

increase. Roberts went on to briefly explain other design options, screening to abutting neighbors and other alternatives. Discussion ensued.

[7:21:17 PM](#) Scanlon questioned the second option that Roberts discussed earlier and the total number of units proposed. Roberts noted that there was one more unit proposed in second option. Discussion ensued.

[7:24:38 PM](#) Engelhardt reiterated that the application was incomplete and doesn't believe any further discussion can take place. Smith agreed.

[7:37:00 PM](#) Scanlon motioned to continue the public hearing on the Preliminary Plat Application for Sprenger Grubb & Associates, located at Lots 1-7, Block 86, Woodside Subdivision #25 to June 6, 2017. Engelhardt seconded and all were in favor.

New Business

Old Business

Commission Reports and Discussion

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.
(no documents)

SR 2 Discussion of the next Planning and Zoning meeting: **Tuesday, June 6, 2017** and **Monday, June 12, 2017** *(no documents)*

Adjourn

[7:42:54 PM](#) Smith motioned to adjourn. Scanlon seconded and all were in favor.

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On May 16, 2017, the Hailey Planning & Zoning Commission considered a Design Review Application for a Marriott Hotels Fairfield Inn and Suites represented by Bliss Architecture for a new 3-story 41,836 square foot hotel consisting of 75 rooms, indoor pool, fitness room and breakfast dining room located at 711 North Main Street (Lots 1, Sutton Subdivision and Lot 1A and 2A, Bow & Arrow Subdivision) in the Business (B) Zoning District.

FINDINGS OF FACT

Notice

A Pre-Application Design Review was conducted by the Planning and Zoning Commission on April 10, 2017, for the purposes of providing preliminary feedback on building and parking orientation and project materials. Notice for the public hearing was published in the Idaho Mountain Express on April 27, 2107 and mailed to property owners within 300 feet on April 27, 2017.

Application

Marriott Hotels Fairfield plans to construct a new 3-story, 41,836 square foot hotel consisting of 75 rooms, indoor pool, and fitness room and breakfast dining room. The footprint is styled after a Marriott Hotels Fairfield Inn and Suites, but numerous design features have been modified from the standard template based on input from the Commission at the April 10, 2017 Pre-Application Design Review meeting. The site is 1.86 acres. The 3-story building is 13,596 square feet on floor 1 (13 rooms, entry lobby and check-in, pool, hot tub, breakfast room), laundry, 14,120 square feet on floor 2 (31 rooms) and 14,120 square feet on floor 3 (31 rooms).

Seventy five (75) parking spaces are shown on site, and 11 parallel parking spaces are shown on River Street. The site plan includes a porte-cochere entrance off of Main Street, which exists to the private street on the south side of the property. The building is proposed to set back 76' from Main Street. 41 trees are shown ranging from 2-1/2" to 4" caliper in size.

The site currently contains various buildings slated for demolition, and parking associated with the Goode Motors Auto Dealership.

Procedural History

Site plan and elevation drawings were submitted on March 8, 2017. Property owners within 300' were noticed of a Pre-Application Design Review hearing, and a notice of such published in the Idaho Mountain Express on March 22, 2017. The complete application was submitted on March 8, 2017 and certified complete on the same date. A public hearing before the Planning and Zoning Commission was held on May 16, 2017, in the Hailey City Council Chambers. Upon receipt of these Findings of Fact, Conclusions of Law and Decision, the applicant may request a regulatory takings analysis pursuant to Idaho Code § 67-8003.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering:
				Life/Safety: <i>No comments</i>
				Water and Sewer: <i>The project will comply with all City water and sewer standards.</i>
				Building: <i>No comments</i>
				Streets: <i>River Street will be reviewed with regards to the new River Street design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>Signs have not yet been submitted, but will conform to City regulations.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code. 9.4.5, 1 space per 1,000 square feet. 9.4.A.1, fractional spaces are rounded down
			Staff Comments	<i>The site plan has been revised to show a total 75 parking spaces on private property: 4 handicap spaces are in front adjacent to the porte-cochere, and the remaining 71 spaces in a rear parking lot. 11 on-street spaces are created along River Street. It appears as if approximately 7 on-street spaces will be retained along Main Street. There is stacking for approximately 12 cars in the area under the Porte cochere. City regulations would require 41 parking spaces.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		17.09.040.06: EXCESS OF PERMITTED PARKING:  

				<p>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review. <i>The parking requested is not in excess of 200%.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08C.040 Outdoor Lighting Standards</p>	<p>17.08C.040 General Standards</p> <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ul style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<p><i>Staff Comments</i></p>	<p><i>The applicant is proposing a variety of light fixtures. Cut sheets are attached. A photometric plan has been submitted.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Bulk Requirements</p>	<p>(Insert sections from applicable zoning district)</p>
			<p><i>Staff Comments</i></p>	<p><i>The District Use matrix has zero front, side and rear setbacks in the B Zone. The building is within all of these setbacks: 76'-7" front, 124' rear, 25'-3" south side and 5' north side. The building is proposed to be 35' tall, which meets code.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.070(A)1</p> <p>Street Improvements Required</p>	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> <p><i>A 6' Sidewalk exists on Main Street. The applicant proposes to maintain this sidewalk, and plant street trees and other landscaping in a planting bed at the back of the sidewalk. A 6' entry walk leads from the City sidewalk under the Porte Cochere and to the building entrance. The Commission could discuss whether sider sidewalks are desired in main Street in this location, or whether softening of hardscape and building with wider landscape beds as proposed is preferred.</i></p> <p><i>The 6' sidewalk wraps around the site to the south along the private street. It transitions to a 10' sidewalk on River Street, per the River Street Master Plan street section currently under review by the City.</i></p> <p><i>This design appears to be consistent with Title 18, Mobility Standards.</i></p> <p><i>A drainage plan has been submitted, prepared by a registered engineer</i></p>
			Staff Comments	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.070(B)</p> <p>Required Water System Improvements</p>	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			Staff Comments	<i>This site is not in Townsite Overlay.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey	
1. Site Planning: 17.06.080(A)1, items (a) thru (n)	
Compliant	Standards and Staff Comments

Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			<i>Staff Comments</i>	<p><i>The proposed building follows the grid pattern in downtown Hailey. The Hotel is sited and oriented to allow the outdoor Breakfast Patio and Pool Deck southwestern sun exposure. The Hotel is also placed with its front entrance parallel and clearly visible from Main Street. It is set back from the Main Street property line by 76'-7" to allow views of the mountains to the west and allow southeastern sun exposure to the existing single family residence directly north of the project site.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p>
			<i>Staff Comments</i>	<p><i>The site does not contain any existing mature landscaping.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			<i>Staff Comments</i>	<p><i>A 6' Sidewalk exists on Main Street. The applicant proposes to maintain this sidewalk, and plant street trees and other landscaping in a planting bed at the back of the sidewalk. A 6' entry walk leads from the City sidewalk under the Porte Cochere and to the building entrance. The Commission could discuss whether sider sidewalks are desired in main Street in this location, or whether softening of hardscape and building with wider landscape beds as proposed is preferred.</i></p> <p><i>The 6' sidewalk wraps around the site to the south along the private street. It transitions to a 10' sidewalk on River Street, per the River Street Master Plan street section currently under review by the City.</i></p>

				<p><i>Site circulation is designed to allow pedestrians safe access to the Hotel via both new sidewalks, improvements to existing sidewalks, and bicycle paths along Main and River Streets as well as along the existing Private Drive. Specifically, a new 6' wide concrete paver pedestrian path runs east to west from the existing sidewalk along Main to the front entrance of the Hotel.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			<i>Staff Comments</i>	<p><i>The trash enclosure is placed at the rear of the Hotel, in the private parking lot. The dumpsters are screened with a 6' high stone veneer wall on 3 sides and 6' high wood gates. The stone veneer and wood slats on the gates match the materials and color of those on the Hotel. A letter will be required from Clear Creek Disposal stating that the trash area is accessible. It is not clear to staff how garbage trucks will back out if the parking lot is full. The applicant should describe how deliveries for hotel operations take place.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p>
			<i>Staff Comments</i>	<p><i>This block does not contain a platted alley</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p>

				<p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			Staff Comments	<i>The majority of the on-site parking is located in a large parking lot to the rear of the Hotel. Due to convenience, 4 handicap-accessible spaces and 1 standard parking space are located at the front of the Hotel. All parking areas are screened/buffered from sidewalks by a combination of trees, shrubs, grasses, and fences. Staff estimates that there is stacking for approximately 12 cars in the area under the Porte cochere.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			Staff Comments	<i>This block does not contain a platted alley. The front entrance and Porte Cochere of the Hotel is accessed via a single new curb cut along Main Street to help preserve the frontage and landscaping along Main Street. The parking areas is to the rear, buffered by the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1i	<p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>
			Staff Comments	<i>The site plan proposes 15,054 square feet of hardscape (parking, vehicle and pedestrian areas). 25% of this (3,764) is required as a snow storage area. 3,764 square feet is shown</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p>
			Staff Comments	<i>See Standard (i) above.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			<i>Staff Comments</i>	<i>Snow storage areas vary in width, but all meet requirements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	<i>Snow may need to be hauled from the large parking areas proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Snow storage areas do not impede parking or pedestrian areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Snow storage areas contain shrubs and low-lying plants.</i>
2. Building Design: 17.06.080(A)2, items (a) thru (m)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A))2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The proposed building uses a variety of flat roof line, canopies and parapets. Per feedback from the Commission, the roof line of the port-cochere is not the standard curvilinear style. The proportion, size, shape, and rooflines of the Hotel are consistent with the surrounding commercial buildings, including several multi-story structures to the north, south, and west of the project site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A))2b	b. Standardized corporate building designs are prohibited.

			<p>Staff Comments</p> <p><i>Modifications have been made to the standard corporate design to reflect the character of Hailey, and to diminish the ‘prototypical’ Fairfield Inn design. The colors and materials are not per Fairfield Inns design standards. The applicant states that specified colors are intentionally compatible with the surrounding buildings and draw from both the natural colors and textures prominent on Carbonate Mountain to the west and from the historic structures within Hailey and Blaine County. The materials, unlike the prototypical, are natural, not synthetic, and locally or regionally sourced. The stone veneer is native to Idaho and mined 2 hours southeast of Hailey. The size, color, and texture were chosen specifically because of the stone rubble piles and stone outcroppings on Carbonate. The 1x6 shiplap stained ‘doug fir’ wood siding is native to Idaho forests. The semi-transparent stain color was intentionally chosen to recall the many historic wood sheds and accessory structures found within Old Town Hailey that have weathered a dark brown and dark grey. The glu-lam post and beam structure was an abstraction of the front porch and boardwalk structures of many of Hailey’s historic Main Street commercial buildings including the still standing W.H. Watt Building (currently the Christopher and Co. building). The lumber for the exposed glu-lam beams is also native to Idaho forests. The metal panels are regionally fabricated in Western Montana. The ‘galvalume’ color was intentionally chosen because of the many historic galvanized clad sheds and accessory structures found within Old Town Hailey and the surrounding agrarian buildings around Blaine County. The ‘terra cotta’ color was chosen to be compatible with the surrounding brick buildings and colors of Carbonate. The ‘ultra batten’ profile of the metal panels was intentionally chosen to recall the batt and board siding prominent on contemporary and historic Hailey homes.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2c</p> <p style="text-align: center;">c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p>
			<p>Staff Comments</p> <p><i>On Main Street, the Port-cochere breaks up the façade and is at pedestrian scale. At ground level, the Hotel incorporates several outdoor spaces, including a patio off of the Meeting Room, an outdoor Breakfast Patio, and a Pool Deck off of the interior pool. All of these outdoor spaces are defined at their perimeter by a 2’-6” high wood fence designed out of 1x6 slats and intermediate glu-lam posts. These outdoor spaces are defined above by a glu-lam post beam structure at 10’-0” tall to emphasize human scale and provide sun shading to the spaces and</i></p>

				<p><i>storefront windows below. The 10'-0" glu-lam post and beam structure is continued along the east, west and south facades of the Hotel and runs adjacent to pedestrian sidewalks to further emphasize the human scale. The post and beam structure also serves to break up and provide additional depth, shadow lines, and articulate the Hotel's structural system along the length east and west facades.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p>
			Staff Comments	<p><i>The front façade and front entry of the Hotel faces Main Street with direct pedestrian access from Main. The front façade incorporates vertical off-sets and changes in materials at the front entry and at the two vertical stair towers. As suggested by the Commission at the Pre-Application meeting, projections/pop-outs and changes in materials occur at the upper guestroom locations. The pop-outs are visually and structurally supported by the glulam post and beam structure occurring along the length of the front façade. The post and beam structure breaks up the long length of the façade, provides additional depth, articulates the structural grid of the Hotel, and, per the applicant, creates rhythmic human scale reminiscent of the covered board walk structures found in many of Hailey's historic Main Street commercial buildings. The windows on all the facades are broken up with additional mullions to create smaller scale panes of glass. The smaller scale recalls the traditional windows with multiple panes typical among most of the commercial and residential structures within Hailey.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p>
			Staff Comments	<p><i>No expansion is planned.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p>

			Staff Comments	<i>A variety of materials will be used on the exterior, as described in “b” above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			Staff Comments	<i>Building colors are shown on the materials sample board and the elevation sheets: dark slate, Klondike gold stone, terra cotta panels, steel panels. Colors are broken on various elements to break up mass and be harmonious.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			Staff Comments	<i>The proposed building contains parapets and canopies with parapets of varying heights. It also includes flat roofs and canopy projections at several of the entrances. The glu-lam post and beam structure provides depth, shadow lines, and human scale to the Hotel facades.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space: <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.

				<p style="text-align: center;">vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</p>
			Staff Comments	<p><i>The applicant described energy plans in the meeting: the Hotel incorporates double glazed windows and low-e glazing. The public spaces at rear of the Hotel such as the Breakfast dining space, the Fitness Room, and Indoor Pool all have a southwestern orientation. The outdoor Breakfast Patio and Pool Deck also have southwestern sun exposure. The first floor windows along the west façade (southwestern exposure) have overhangs and the glu-lam post and beam structure above to provide sun shading. The applicant stats that the hotel may incorporate roof mounted solar hot water collectors.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			Staff Comments	<p><i>The flat-roofed buildings do not shed snow on to the pedestrian areas.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>
			Staff Comments	<p><i>Downspouts from the building will be routed underground to a drywell. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only and not onto pedestrian and hardscape locations.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p>
			Staff Comments	<p><i>The Hotel’s Porte Cochere roof is ‘flat’ to prevent snow, icicles, and rain from shedding onto pedestrians and vehicles below. The flat roof and its post and beam glu-lam structure was designed to be consistent with glu-lam post and beam structure and architectural detailing located on the east, west, and south facades of the Hotel.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	<i>A Master signage plan is not required of a single-tenant building.</i>
3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>No accessory structures are planned, with the exception of the dumpster enclosure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>The dumpster is located to the rear of the property; a dumpster enclosure has been provided.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>Landscape walls, walls intended to act as guardrails per the IBC, fences, and screen walls are constructed of the same materials and colors specified on the Hotel itself.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>Trees, shrubs, and ornamental grasses are integrated with screen walls and fences to soften their visual impact.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and

				screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	All roof-mounted mechanical equipment will be screened or not visible at all from the ground level of on-site parking areas and adjacent streets and properties. <i>Staff has requested the locations of roof-mounted equipment, which will be shown as part of the building permit drawings.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3f	f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>Ground-mounted mechanical equipment is not anticipated for the Hotel. However, vents and louvers for the Hotel’s Mechanical Room and laundry equipment will be screened as needed with a wood slat fence as shown on the Site Plan, First Floor Plan at the ‘Mechanical Yard’ and on the East Elevations. Note, although noted as a Mechanical Yard, it will not house any mechanical equipment but instead was designed as a buffer and screen space to hide any mechanical wall louvers and vents.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All service lines are underground. The location of the pad-mounted transformer should be shown on the plans. Staff will suggest that Urban Renewal be consulted regarding the existing overhead line on Main Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances are proposed.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4a	<p>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</p> <p><i>Plant materials will be appropriate for the environment.</i></p>
			Staff Comments	<i>Plant materials will be appropriate for the environment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4b	<p>b. All plant species shall be hardy to the Zone 4 environment.</p> <p><i>Plant materials will be appropriate for the environment.</i></p>
			Staff Comments	<i>Plant materials will be appropriate for the environment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4c	<p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p> <p><i>An automatic drip irrigation system on a timer is planned, and a temporary system will be used for 2 seasons.</i></p>
			Staff Comments	<i>An automatic drip irrigation system on a timer is planned, and a temporary system will be used for 2 seasons.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</p> <p><i>A breakout of the tree sizes is shown in the “City of Hailey Landscape Requirements” Table on sheet L1.01. Out of 41 trees on-site, plans specify 4 - 4” cal Autumn Blaze Maple on the Southwest corner of the project,</i></p>
			Staff Comments	<i>A breakout of the tree sizes is shown in the “City of Hailey Landscape Requirements” Table on sheet L1.01. Out of 41 trees on-site, plans specify 4 - 4” cal Autumn Blaze Maple on the Southwest corner of the project,</i>

				<i>along Main Street. The remainder of the street trees 7 – Autumn Blaze Maple and 5 Lindens (29%) are 3” caliper. The 7 – Hawthorne in the parking lot planters are sized at 2 ½” caliper for a total 56% of the on-site trees larger than the 2” cal. min. Comments from the City Arborist will be brought to the meeting.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>There are 13 species of shrubs and perennials specified in the drawings, along with six tree species. This species mix should provide an array of different characteristics that will provide interest throughout the year.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>Runoff is within planting beds.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>The applicant will be responsible for maintaining plant material in healthy condition, with the exception of City street trees. Plants were chosen for reduced maintenance, and ability to thrive in the conditions on-site. Maintenance notes are provided in the plant schedule for each individual species specified.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>Please see comments under item "I".</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>Please see comments under item "I".</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>Please see comments under item "I".</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>All proposed retaining walls will incorporate planting in front of them to soften the visual impact.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>All proposed retaining walls over 2'-0" high may require guardrails as required by the IBC.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
		<i>Staff Comments</i>		
Additional Design Review Requirements for Non-Residential Buildings Located within B, LB, or TN				
1. Site Planning: 17.06.080(B)1, items (a) thru (b)				
Compliant		Standards and Staff Comments		

Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B) 1a	a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.
			Staff Comments	<i>A 6' Sidewalk exists on Main Street. The applicant proposes to maintain this sidewalk, and plant street trees and other landscaping in a planting bed at the back of the sidewalk. A 6' entry walk leads from the City sidewalk under the Porte Cochere and to the building entrance. The Commission could discuss whether sider sidewalks are desired in main Street in this location, or whether softening of hardscape and building with wider landscape beds as proposed is preferred.</i> <i>The 6' sidewalk wraps around the site to the south along the private street. It transitions to a 10' sidewalk on River Street, per the River Street Master Plan street section currently under review by the City.</i> <i>Bike rack locations should be discussed in the hearing.</i> <i>This design appears to be consistent with Title 18, Mobility Standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B) 1b	b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.
			Staff Comments	<i>Wider sidewalks are not currently proposed along the length of Main Street, and at the corner. Bike racks are not shown, and should be added.</i>
2. Building Design: 17.06.080(B)2, items (a) thru (c)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B) 2a	a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the

				ground floor are encouraged to have separate entrances for each unit.
			<i>Staff Comments</i>	<i>The entrance to the building face Main Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(B) 2b	b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image which may often accompany large buildings.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B) 2c	c. Building designs shall maximize the human scale of buildings and enhance the small town “sense of place”. This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.
			<i>Staff Comments</i>	<i>Pedestrian access is from sidewalks and the extensive landscape area to the east of the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(B) 2d	d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(B) 2e	e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.
			<i>Staff Comments</i>	

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B) 2f	f. Fire department staging areas shall be incorporated into the design elements of the building.
			<i>Staff Comments</i>	<i>The building is within 150' of the street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(B) 2g	g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses; ii. Stepping down the massing of the building along the site's edge; and iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns
			<i>Staff Comments</i>	
Compliant				
Yes	No	N/A		
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		

6A.6 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
 - 1. The project does not jeopardize the health, safety or welfare of the public.
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
 - 1. Ensure compliance with applicable standards and guidelines.

2. **Require conformity to approved plans and specifications.**
 3. **Require security for compliance with the terms of the approval.**
 4. **Minimize adverse impact on other development.**
 5. **Control the sequence, timing and duration of development.**
 6. **Assure that development and landscaping are maintained properly.**
 7. **Require more restrictive standards than those generally found in the Zoning Ordinance.**
- C. **Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. **If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

Conclusions of Law

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

Decision

The Design Review Application for a Marriott Hotels Fairfield Inn and Suites represented by Bliss Architecture for a new 3-story 41,836 square foot hotel consisting of 75 rooms, indoor pool, fitness room and breakfast dining room located at 711 North Main Street (Lots 1, Sutton Subdivision and Lot 1A and 2A, Bow & Arrow Subdivision) in the Business (B) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (p) are met.

The following conditions are suggested to be placed on any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements: 1) street design along River Street as shown on the plans; 2) street design along the Private Street on the south side as shown on the plans.
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) Irrigation to the City street trees shall be to City standards. Power shall be provided to each tree, or as otherwise approved by the City.
- i) Street trees should be a minimum of 2-1/2 to 3" caliper. The new street trees should be placed in planter beds of minimum dimensions approved by the City, with adequate structural soil (planting medium) incorporated into the design.
- j) A letter from Clearcreek Disposal shall be provided stating that the location and design is adequate for dumpster pickup.
- k) The pad-mounted transformer(s) shall be shown on the site plan.
- l) Rooftop equipment (if any) shall be shown on a roof plan.
- m) The following suggestions from the City Arborist shall be met:
 - 1. The canopy trees along Main Street should be reconfigured to have a pattern and spacing of street trees. These trees are permitted to remain in the landscape bed at the back of sidewalk, but close to the sidewalk line. A minimum of five (5) street trees shall be included in the revised design.
 - 2. The street trees along River Street should be located between the sidewalk and the bike path. A minimum of six (6) trees shall be included in the

revised design. The design of the planting beds for these street trees shall be approved by the City Arborist.

3. An irrigation plan shall be submitted.
 4. If Hawthorne's are used as shown, a thornless variety shall be specified.
 5. The mulch specifications on Sheet L1.05 shall specify a maximum of 4" of mulch to allow water and air penetration.
 6. The planting specification on Sheet L1.05 shall allow root flare to be visible above the soil line when planted.
 7. The 2" earth berm around the root balls shown on the specification on Sheet L1.05 should be removed. Drip irrigation is preferred.
- n) Bike racks shall be added to site plan.
 - o) The Main Street sidewalk width shall be consistent with the sidewalk to the north.
 - p) All requirements of City Engineer shall be met.

Signed this ____ day of _____, 2017.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Robyn Davis, Community Development Assistant

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On May 8, 2017, the Hailey Planning & Zoning Commission considered a Design Review Application submitted by Capstone Development, LLC for a new 1,684 square foot residence with a 528 square foot garage located at 210 West Croy Street, Hailey (Lot 3A, Block 4, Hailey Townsite) within the General Residential (GR) Zoning District. The proposal also includes a 16'-wide asphalt paved driveway from West Croy Street.

Notice

Notice for the public hearing was published in the Idaho Mountain Express on April 26, 2017 and mailed to property owners within 300 feet on April 26, 2017.

Application

The applicant is proposing the construction of a 1,684 square foot residence with a 528 square foot garage. The lot is currently vacant.

The proposed residence will be accessed off of West Croy Street via a shared 16' asphalt paved driveway with Lot 4A to the east.

This project was approved for design review June 11, 2014 and expired June 11, 2015. The current submittal is identical to the previous approval.

Procedural History

The application was submitted on April 12, 2017 and certified complete on April 13, 2017. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on May 16, 2017, in the Hailey City Council Chambers. Items discussed at the May 16, 2017 hearing included:

- A site plan was not included in the April 12, 2017 submittal, but the original 2014 site plan was utilized during the hearing. No changes were proposed to the 2014 site plan.
- The proposed residence does not have frontage on a public street, and the garage is on a stepped-back plane from the main portion of the house so the garage is subordinate to the front wall plane.
- Vehicles would have to reverse out of the garage all the way to Croy Street because there is not space for vehicles to turn around in the proposed pavement area. A small hammerhead might be beneficial for this turn around movement. The hammerhead would have to be located entirely on Lot 3A because there is not adequate space in the existing shared access easement.

General Requirements for all Design Review Applications

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Water and Sewer: <i>No comments</i>
				Building: <i>No comments</i>
			Streets: <i>No comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Staff Comments</i>	<i>Signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code. 9.4.1- Single family dwelling: 2 spaces minimum, 6 spaces maximum
			<i>Staff Comments</i>	<i>The Zoning Code requires 2 parking spaces for each single family residential unit. The proposed single family residential unit includes a 2 car garage (22'x23'-1") which meets the dimensional standards (9'x18') required. An additional 2 parking spaces are provided in the driveway.</i> <i>The P & Z Commission noted that vehicles would have to reverse out of the garage all the way to Croy Street because there is not space for vehicles to turn around in the proposed pavement area. A small hammerhead might be beneficial for this turn around movement. The hammerhead would have to be located entirely on Lot 3A because there is not adequate space in the existing shared access easement. No condition was added.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ul style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff</i>	<i>Applicant will install Dark Sky compliant fixtures, as detailed in the submittal documents.</i>

			Comments	<p>Lights will be:</p> <ul style="list-style-type: none"> - <i>Prairie Antique Bronze style for all outdoor fixtures.</i> - <i>Locations shown on electrical plan</i> <p><i>All outdoor fixtures will be 60-72 inches from grade.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p>(Insert sections from applicable zoning district) Maximum Height: 30' Setbacks: Front- 12' from street; garage doors 20' from front property line facing street Side & Rear- 15% of lot width, no less than 6', 10' max Lot Coverage: 30% (4,884 SF lot, 1,465 SF allowed coverage) Aggregate Maximum Floor Area: 1,465.2 gross square feet</p>
			Staff Comments	<ul style="list-style-type: none"> - <i>Building height:</i> <ul style="list-style-type: none"> o <i>Proposed building 27' 7/8" to the peak of the roof</i> o <i>Max wall height is 27' 7/8" high</i> - <i>Front Setback:</i> <ul style="list-style-type: none"> o <i>3A structure will be setback more than 75' from Croy and is access via a private driveway. The structure is located 18.40' from the front property line. The garage setback does not apply because the structure is not located on a street; however the garage is located more than 20' from the front property line.</i> - <i>Side Setback:</i> <ul style="list-style-type: none"> o <i>Lot 3A is 64.99' wide, therefore the minimum setback is 9.74'</i> o <i>Lot 3A structure is compliant on all side setbacks, which is a minimum of 9.74' for this lot. For a lot width of 64.99', the minimum side setback in the TO is 9.74'. This is derived from the following formula: (64.99' X 15% = 9.74'). The plans show a minimum of 10' setback on all side lot lines. The following setbacks on shown:</i> <ul style="list-style-type: none"> ▪ <i>North Side: 12.62'</i> ▪ <i>West Side: 16.41'</i> ▪ <i>South Side: 12.56'</i> o <i>With a 12.62' setback, on the tallest gable end of the exposed wall, the applicant is allowed a maximum wall height of 30 feet, which is the maximum for the zone. The tallest wall height is 27' 7/8"</i> - <i>Maximum Lot coverage: 30% in GR for a two-story dwelling with a garage</i> <ul style="list-style-type: none"> o <i>Proposed lot coverage = 1,325 SF (797 SF main + 528 SF garage) = 27% coverage</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (A) Required Street Improvements Required	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			Staff Comments	<p><i>Project site has no public frontage; therefore no sidewalks are proposed or required. (Sidewalks were paid in lieu as part of the 4-lot subdivision).</i></p>

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)1	1) Site Planning Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions. Staff Comments <i>All four lots are existing and are configured in a grid pattern. While not a traditional Old Hailey Townsite Lot, they fulfill the intent of rectangular lots and allowing for as much open space as possible.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: Site planning for new development and redevelopment shall address the following: <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units.
			Staff Comments	<ul style="list-style-type: none"> • <i>The proposed site plan and development is consistent with the required site planning guidelines.</i> • <i>All utilities will be located underground as shown on the site plan for both lots. This minimizes clutter in the development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.
			Staff Comments	<i>The structure is designed to maximize solar exposure to the south facing sides on Lot 3A as much as possible, while retaining privacy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)2	2. Bulk Requirements (Mass and Scale, Height, Setbacks) Guideline: The perceived mass of larger buildings shall be diminished by the design.
			Staff Comments	<i>Proposed structures will be consistent in size and mass to the surrounding structures and with the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3	3. Architectural Character
			17.06.090(C)3a	a. General Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.
			Staff Comments	<i>Architectural style is a two-story bungalow with themes currently found in Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3b	b. Building Orientation

				Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> This home is not located on a street but is accessed via a driveway from Croy. As such, some of the Design Review requirements do not readily apply, as there is no street frontage. A pedestrian entrance faces the adjacent driveway and is visible Unrestricted pedestrian access is provided to the front door and from Croy along the driveway.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			<i>Staff Comments</i>	Structure on Lot 3A faces the adjacent lot and the access driveway. It is not possible to face the building on the street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3c	c. Building Form
				Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			<i>Staff Comments</i>	Porch roofs, shed roof over garage and porch, break up the lines of the building. This is consistent with styles and forms found in Old Hailey
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	d. Roof Form
				Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			<i>Staff Comments</i>	A proposed shed roof with columns defines the entrance to the house.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.
				<ul style="list-style-type: none"> Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. Designs should avoid locating drip lines over key pedestrian routes. Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Roof materials: Asphalt shingles, designed to retain the snow and corrugated metal roof. Roof Pitch: 7/12 (main roof pitch and all roofs with asphalt shingles); 4/12 (shed roof pitch) Snow clips are recommended for the porch roof over the entrance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> The following forms are currently found in the neighborhood: <ul style="list-style-type: none"> Architectural asphalt shingles gable end roofs Shed dormers. The application is consistent with the neighborhood in regards to roof forms and materials
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> Roof pitch is varied. The following is found on the structure: <ul style="list-style-type: none"> 7/12 (Main roof pitch and all roofs with asphalt shingles) 4/12 (shed roof pitch)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	e. Wall Planes
				Guideline: Primary wall planes should be parallel to the front lot line.
			<i>Staff Comments</i>	Primary wall plane faces east towards the shared driveway. If the primary wall plane was oriented parallel to the front lot line, the primary wall plane would be hidden by the existing residence on Lot 2A and would be extremely difficult to access.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.

			Staff Comments	<i>Proposed structure utilizes a shed roof along the covered porch and garage to break up the wall plane of the building. Additionally, several windows and doors are proposed to create a human scale consistent with the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: The use of pop-outs to break up longer wall planes is encouraged.
			Staff Comments	<i>The house is modest in scale and does not contain long wall planes. The garage is set back to create variation in the primary wall plane.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	f. Windows
				Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			Staff Comments	<i>Windows are proposed along the primary wall plane which faces the shared driveway. Windows are also proposed on the north side of the house, facing the street, but will be minimally visible from Croy Street. Window size and scale is appropriate for the neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			Staff Comments	<i>Windows are framed in a manner consistent with the neighborhood.</i> <i>The right side elevation contains three windows adjacent to rear of existing residence located on Lot 2A. Two of those windows are located in the garage, and one is located in the bonus room on the second story.</i> <i>Front windows facing undeveloped Lot 4A will be at least 26.4 feet from future development. Both lots are platted, and by centering the proposed residence on the lot, separation on all sides is maximized.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)3g	g. Decks and Balconies
				Guideline: Decks and balconies shall be in scale with the building and the neighborhood.
			Staff Comments	<i>No decks or balconies are proposed. The front porch is in scale with the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)3g	Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	h. Building Materials and Finishes
				Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.
			Staff Comments	<ul style="list-style-type: none"> • <i>Wall Materials: "True Wood" Siding will create the appearance of texture. Facia: Painted- see materials board</i> • <i>Roof Material: Asphalt Shingle and metal roofing</i> • <i>Wainscoting: Faux stone wainscoting will be present on the front façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			Staff Comments	<i>Stone wainscoting and "True Wood" siding will be present on the front façade. Also, window accents, multi-toned paint, a blend of wood, stone, metal, and glass are present on front façade to break up the wall plane.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	i. Ornamentation and Architectural Detailing
				Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.
			Staff Comments	<i>See above notes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			Staff Comments	<i>Proposed front porch is consistent with the styles of Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: Architectural details and ornamentation on buildings should be compatible

				with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	<i>See above notes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	4. Circulation and Parking
				Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	<i>Adequate parking has been provided. Pedestrian access off the adjacent streets is provided with the shared driveway and does not interfere with traffic from the streets or parking areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	<i>A two car garage will house and screen vehicles from the street. Additionally, existing residence on Lot 2A will provide screening from any vehicles parked in the driveway.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	<i>Garage is accessed from a shared driveway. No alley access available.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	<i>No alleys are adjacent to this site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	<i>P & Z Commission found that the garage is not facing the street, so this standard is not applicable. The garage is stepped back so the front porch is more prominent.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	<i>Garage is not on the street side and is not adjacent to the street. A shared driveway is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			<i>Staff Comments</i>	<i>No RV parking proposed. Summer RV parking could occur in the additional driveway spaces.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	5. Alleys
				Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			<i>Staff Comments</i>	<i>No alleys are adjacent to the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.
			<i>Staff Comments</i>	<i>No alleys are adjacent to the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			<i>Staff Comments</i>	<i>Per site plan submitted in 2014, the proposed shared driveway is asphalt.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.

			<i>Staff Comments</i>	<i>No alleys adjacent to site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)6	6. Accessory Structures
				Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	7. Snow Storage
				Guideline: All projects shall be required to provide 25% snow storage on the site.
			<i>Staff Comments</i>	<i>The proposed dwellings are setback far enough from the adjacent property lines to avoid shedding onto the adjacent properties.</i>
				<i>627 sf of total lot area is provided for snow storage. This is 25% of the total amount of impermeable surfaces that would require snow removal. (Total surface areas are 2507 square feet).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	Guideline: A snow storage plan shall be developed for every project showing:
				<ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			<i>Staff Comments</i>	<i>Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible from the street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)8	8. Existing Mature Trees and Landscaping
				Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			<i>Staff Comments</i>	<i>No mature trees exist on this lot.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			<i>Staff Comments</i>	<i>An existing shed on site is not identified on the 2014 site plan. The shed shall be removed during construction or the shed shall be identified on the site plan. No other significant landscape features identified on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Noxious weeds shall be controlled according to State Law.
			<i>Staff Comments</i>	<i>If noxious weeds are present on the site, the developer shall control according to State Law.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	9. Fences and Walls
				Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			<i>Staff Comments</i>	<i>N/A Site is not adjacent to public streets or sidewalks.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	Guideline: Retaining walls shall be in scale to the streetscape.
			<i>Staff Comments</i>	<i>N/A None proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	10. Historic Structures
				General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:
				<ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite

				<p>Overlay District, especially those originally constructed in the same Period of Significance.</p> <ul style="list-style-type: none"> • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			<i>Staff Comments</i>	<i>N/A Structure is not historic.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	<p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.
			<i>Staff Comments</i>	<i>N/A Structure is not historic.</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Article 6A, Design Review, other Articles of the Zoning Ordinance and City Standards.

DECISION

The Design Review application submitted by Capstone Development, LLC, for a new 1,684 square foot residence with a 528 square foot garage located at 210 West Croy Street, Hailey (Lot 3A, Block 4, Hailey Townsite), is hereby approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (j) are met.

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Title at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) All utilities will be located underground, consistent with 6A.9.C.1.

- i) Snow clips will be added to the porches over pedestrian access areas.
- j) The existing shed located on site shall be removed during construction, or the site plan shall be revised to show the existing shed.

Signed this _____ day of _____, 2017.

Janet Fugate, Chair

Attest:

Robyn Davis, Community Development Assistant

Return to Agenda

STAFF REPORT

TO: Hailey Planning and Zoning Commission

FROM: Lisa Horowitz, Community Development Director

RE: Amendment to Zoning District Map – Change from Limited Residential (LR) to Limited Business (LB)

HEARING: June 12, 2017

Applicant: Larry Green, represented by Owen Scanlon

Request: Amendment to Zoning District Map by changing the zoning for 101 North Main Street (Lot 1, Block 2, Northridge Subdivision) from Limited Residential (LR) to Limited Business (LB)

Location: 101 N. Main Street (Lot 1, Block 2, Northridge Subdivision)

Current Zoning: Limited Residential (LR)

Proposed Zoning: Limited Business (LB)

Note: Staff analysis is in lighter type.

Notice

Notice for the public hearing scheduled for was published in the Idaho Mountain Express 5/24/17 on and mailed to property owners within 300 feet on 5/24/17 and to public agencies and area media on 5/24/17. Notice was posted on all external boundaries of the property on June 5, 2017.

Application

Larry Green of LL Greens is proposing to purchase the 1.74-acre subject property to build a new LL Green Hardware Store. In his cover letter (attached to this report), he explains the growth of his business, the need for a larger property, desire to be on Main Street and lack of other suitable property already zoned Business. In addition the applicant team notes:

“This lot is adjacent to an existing Limited Business zone on the south where the AmericInn Motel is located. The new Cottages senior care facility is being built to the North across McKercher Boulevard. The property to the west, across Main Street, is zoned Business (B) with a Stinker Station gas/convenience store and Albertsons grocers. To the east is a bare lot zoned Limited Residential where only one single family home could be developed. The Comprehensive Plan states the purpose of the Limited Business zone is to “provide a wide range of residential and restricted business uses that do not detract from the downtown core retail businesses.” An abundance of retail sales facilities are predominate in this area, connecting with others on both sides of Main Street, from the Hailey City

limits south to the downtown core. Indeed, there is a strong basis for argument that this area, with its varied occupancies, augments the downtown core rather than detracts from it. It is helpful to view this property in context with the surrounding land uses rather than as an individual parcel.”

Standards of Evaluation

14.6 When evaluating any proposed amendment under this Article, the Council shall make findings of fact on the following criteria:

a. The proposed amendment is in accordance with the Comprehensive Plan;

The Comprehensive Plan Land Use Map reflects suitable projected land uses for the City. It considers existing conditions, trends, and desirable future situations, the objective being a balanced mix of land uses for the community. The Map establishes a basis and direction for the expansion and/or location of business, residential, industrial, institutional and green space areas within and adjacent to the City.

The Land Use Map depicts the area proposed for rezone as a on the transition between Community Activity Area and Residential Buffer (see attached Comprehensive Plan Land Use Map). Zoning is intended to implement the direction established in the Comprehensive Plan. The City Attorney has recently provided input on the relationship between the Comp Plan land use map and zoning. Specifically, he notes that the Courts “hold that a city's land use map does not require a particular piece of property, as a matter of law, to be zoned exactly as it appears on the land use map.” *Bone v. City of Lewiston*, 107 Idaho 844, 693 P.2d 1046 (1984). Therefore, the Commission has discretion for properties that appear to straddle two designations.

C. Community Activity Areas – located at the north and south ends of the Main Street Corridor. High density residential is encouraged. Commercial and mixed use (commercial and residential) development is appropriate, but should be subordinate and secondary to the infill of Downtown.

D. Residential Buffer – medium density residential, providing a buffer between lower density residential neighborhoods to the east and west and the Main Street District.

Surrounding land uses are not residential: the subject property is adjacent to an existing Limited Business zone on the south where the AmericInn Motel is located. The new Cottages senior care facility is being built to the North across McKercher Boulevard. The property to the west, across Main Street, is zoned Business (B) with a Stinker Station gas/convenience store and Albertsons grocers. Only on one side, to the east, is a bare lot zoned Limited Residential where only one single family home could be developed. It is questionable as to whether this immediate area is actually serving as a “Residential Buffer”. “Community Activity Area” is a more appropriate Comprehensive Plan designation when existing land uses are analyzed.

The applicant makes the following comments regarding the projects relationship to the Comprehensive Plan:

“The Comprehensive Plan Land Use Map shows this lot is adjacent to a Community Activity Area, anticipating public interaction in sharing information and resources. LL Green Hardware is a long established hardware outlet and resource for the homeowners in Hailey and fills a unique niche in home repair and maintenance for their customers. Rather than being a buffer from residential zoning, LL Green is a familiar link to the community homeowners, a nostalgic reminder of the “neighborhood” hardware store of years gone by, and certainly different than the big box retail stores commonly found in larger cities.

-This proposed development will be located within a “1/4 Mile Service Area” and will be within easy walking distance of other retail businesses. Customers that are supporting stores in the vicinity of this project will easily include LL Green Hardware in their walking and shopping experience.

-This developmental will be located within a “Community Gateway” at the north end of Hailey’s business district. The building design will be attractive and welcoming to visitors and residents, and will utilize materials, forms, and colors reminiscent of Hailey’s historic heritage. The parking will be on the north side of the new building along McKercher Boulevard and behind the new building on the east, away from Main Street. Although not fronting on Main Street, the west elevation will be human scale and inviting to both vehicular and pedestrian traffic on that route.

-This proposed building will be a year-around retail facility that will serve well the hardware needs of Hailey and all of Blaine County. The store will create economic opportunity for local jobs and services that are not dependent upon seasonal shifts or tourism. It will provide nationally advertised brands and products in Hailey, negating the need to travel to larger and distant cities for those items.

-This development is an in-fill project that utilizes a bare lot located within the Hailey city limits. The site is not encumbered by any avalanche or wildfire overlays and does not abut any riparian or waterway lands. It does not disturb any wildlife migration corridors. It is located along a major collector street (McKercher Blvd) for easy vehicular traffic and deliveries without disturbing travel on Main Street.

-This proposed development will be a code-compliant, safe, and energy efficient structure that will enhance the overall value of LL Green hardware to its customers and visitors to the Wood River Valley.

The relocation of the LL Green Hardware store from downtown Hailey to the northern Community Gateway will allow for a customer requested larger sales floor to handle more types and more quantities of household hardware products. This will provide both immediate and long-term social and economic benefits to the residents of Hailey and the surrounding county. In order to grow their business, Larry and Luanne Green need a larger store with more dedicated parking and a functional delivery area. They have searched the length of Hailey’s Main Street and have not found another piece of property or available building that even approximates their needs.”

Comp Plan Excerpt: Importance of Downtown

The importance of maintaining Downtown as the primary retail center of Hailey has been a long standing tenet of the City consistently communicated over time in the Comprehensive Plan. In the regional context, Hailey could expand as the year round retail area for residents of Blaine County. Services should be provided to maintain Hailey as the County’s residential and family base. In addition, Hailey wants to attract green, high tech and location neutral businesses and organizations and those related to the cultural and higher education sectors.

A successful downtown is one component of a successful local economy and community. There is a desire to create a diverse local economy with well-paying jobs that are not solely dependent on one sector. Jobs and business activity will provide the tax base to allow for community amenities and services. Successful downtowns are dependent on a mix of complementary activities that help generate human activity and foot traffic; these people become the customers for retail businesses within a downtown. Retail and services, offices, residences, government, academic and religious institutions, entertainment and cultural facilities are all needed to make a downtown vibrant.

Promoting mixed use in Downtown ensures a diversified, sustainable economic condition. Mixed-use buildings lining Downtown Main Street allow for commercial activity on the ground floor with residences or offices above. This type of planning helps maintain the neighborhood scale. These types of buildings also ensure round the clock activity and eyes on the street for added safety.

Comprehensive Plan Goal 5.1 states:

5.1 Retain a compact City comprised a central downtown with surrounding diverse neighborhoods, areas and characteristics as depicted in the Land Use Map:

- a. Main Street Corridor – area of high density commercial, mixed use and residential development.*
- b. Downtown - the historic commercial center containing the greatest concentration of commercial, cultural and civic activity. Downtown is the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.*
- c. Community Activity Areas – located at the north and south ends of the Main Street Corridor. High density residential is encouraged. Commercial and mixed use (commercial and residential) development is appropriate, but should be subordinate and secondary to the infill of Downtown.*
- d. High Density Residential – high density residential infill is encouraged in the area along Main Street and River Street between Downtown and the north and south ends of Main Street.*
- e. Residential Buffer – medium density residential, providing a buffer between lower density residential neighborhoods to the east and west and the Main Street District.*

Zoning Analysis and Discussion

The District Use matrix shows in details uses permitted, conditionally permitted and prohibited in the LB zone district.

1. Purposes of Zone District:

LB: “The purpose of the LB District is to provide areas for a wide range of residential uses, restricted business uses, and medical facilities. The LB District is intended to allow for commercial uses that would not detract from the established downtown retail businesses, hence general retail is not allowed.”

2. Summary of Uses:

The types of uses permitted in the two districts are as follows:

- The LB allows a variety of commercial uses: car rental companies, contractors offices without exterior storage, finance and insurance firms, gasoline stations and automotive repair (conditionally), medical and personal care stores (conditionally), real estate/property management companies, wholesale retailers and above-ground fuel tanks. Mercantile are permitted conditionally. Therefore, if this rezone is approved, the LL Greens store would go through the conditional use permit process.
- The Limited Residential Zone District is a zone designed for single family uses: The purpose of the LR District is to provide areas for stable, low-density, single-family residential development and a limited number of other uses compatible with a residential neighborhood.

The Limited Residential Zone District is not typically used along Highway 75 without a landscape buffer (Northridge) or the bike path right of way near the cemetery. Highway noise in this proximity to residential uses may be excessive.

3. Bulk Requirements:

The bulk requirements for the LR and LB zone districts are varied for front yard only: LR zones require a 25' front yard, and LB zones require a 20' front yard.

Density:

The LB Zone District allows for residential uses up to 20 units per acre. The LR Zone allows 8,000 square foot lots, which could be 9 lots on the subject property.

Existing Land Uses

Existing surrounding land uses are not residential: the subject property is adjacent to an existing Limited Business zone on the south where the AmericInn motel is located. The new Cottages senior care facility is being built to the North across McKercher Boulevard. The property to the west, across Main Street, is zoned Business (B) with a Stinker Station gas/convenience store and Albertsons Grocer. Only on one side, to the east, is a bare lot zoned Limited Residential, where only one single family home could be developed, which contains an abandoned 3,600 sq. ft. warehouse structure. The remainder of the site is vacant.

b. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;

It is anticipated that public facilities and services are available and sufficient to support the full range of uses permitted by the zone district under consideration.

c. The proposed uses are compatible with the surrounding area; and

As noted in the analysis of the Comprehensive Aplan land use map, this site is at the edge of several overlapping land use categories. It is most aligned with the Community Activity Area, and is less aligned "Residential Buffer". The feel of the area is auto-oriented. Staff finds the proposed use to be compatible with the area.

- d. The proposed amendment will promote the public health, safety and general welfare.**

The change in zoning will not negatively impact general health, safety and welfare. The proposed use will require a conditional use permit, creating a further level of review and analysis to analyze public health and safety.

14.6.1 When evaluating any proposed Zoning Ordinance Map Amendment to rezone property to Business (B) Zoning District, Limited Business (LB) Zoning District, or Transitional (TN) Zoning District, the Commission and Council shall consider the following:

- a. Vacancy rates of existing buildings and land within the existing Business (B), Limited Business (LB) or Transitional (TN) Zoning Districts. A lower vacancy rate will favor a rezone, while a higher vacancy rate will not favor a rezone.**

In addition to the attached letter, the applicant will bring information to the meeting regarding availability of buildings and sites of a size to accommodate the proposed hardware store and related parking.

- b. The distance of the parcel proposed for rezone from the Central Core Overlay District boundary. A shorter distance from the Central Core Overlay District boundary will favor a rezone, while a longer distance from the Central Core Overlay District boundary will not favor a rezone.**

The properties in question are kitty-corner to the Central Core Overlay District and are very close.

Action

The Commission is required by the Hailey Zoning Code to make a recommendation to the Hailey City Council based on compliance with the Comprehensive Plan and the following criteria:

14.4.2 Recommendation.

- a. Following the hearing, if the Commission or Hearing Examiner makes a substantial change from what was presented at the hearing, the Commission or Hearing Examiner may either conduct a further hearing after providing notice of its recommendation, or make its recommendations to the Council, provided the notice of the Commission's or Hearing Examiner's recommendation shall be included in the notice of the hearing to be conducted by the Council.**
- b. The Commission or Hearing Examiner shall recommend, with reasons therefore, to the Council that the proposed amendment be granted or denied, or that a modified amendment is granted.**
- c. If the proposal initiated by an applicant is not in accordance with the Comprehensive Plan, the Commission or Hearing Examiner shall notify the applicant of this finding and inform the applicant that the applicant must apply for an amendment**

to the Comprehensive Plan before the Zoning Ordinance or Zoning Map can be amended.

If the proposed change is recommended for approval, the City Council will consider the zone change at the public hearing set for a future date.

Motion Language

Approval:

Motion to recommend approval of the application to the City Council to amend the zone district map for the City of Hailey to change the zoning of Zoning District Map by changing the zoning for 101 North Main Street (Lot 1, Block 2, Northridge Subdivision) from Limited Residential (LR) to Limited Business (LB), finding the amendments are in accordance with the Comprehensive Plan, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Denial:

Motion to recommend denial of the application to the City Council to amend the zone district map for the City of Hailey to change the zoning of for 101 North Main Street (Lot 1, Block 2, Northridge Subdivision) from Limited Residential (LR) to Limited Business (LB), finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing to _____ [the Commission should specify a date].



HAILEY COMPREHENSIVE PLAN LAND USE MAP RESOLUTION 2010-18

LAND USE

- Hailey City Limits
- 1/2 Mile Service Area
- 1/4 Mile Service Area
- PARKS ACTIVITY**
- Community Gateways
- Main Street Corridor
- Downtown
- Community Activity Areas
- High Density Residential
- Residential Buffer
- Traditional Residential
- Light Industrial/Business Park
- Airport Site Redevelopment
- Neighborhood Service Centers

PARKS & GREEN SPACE

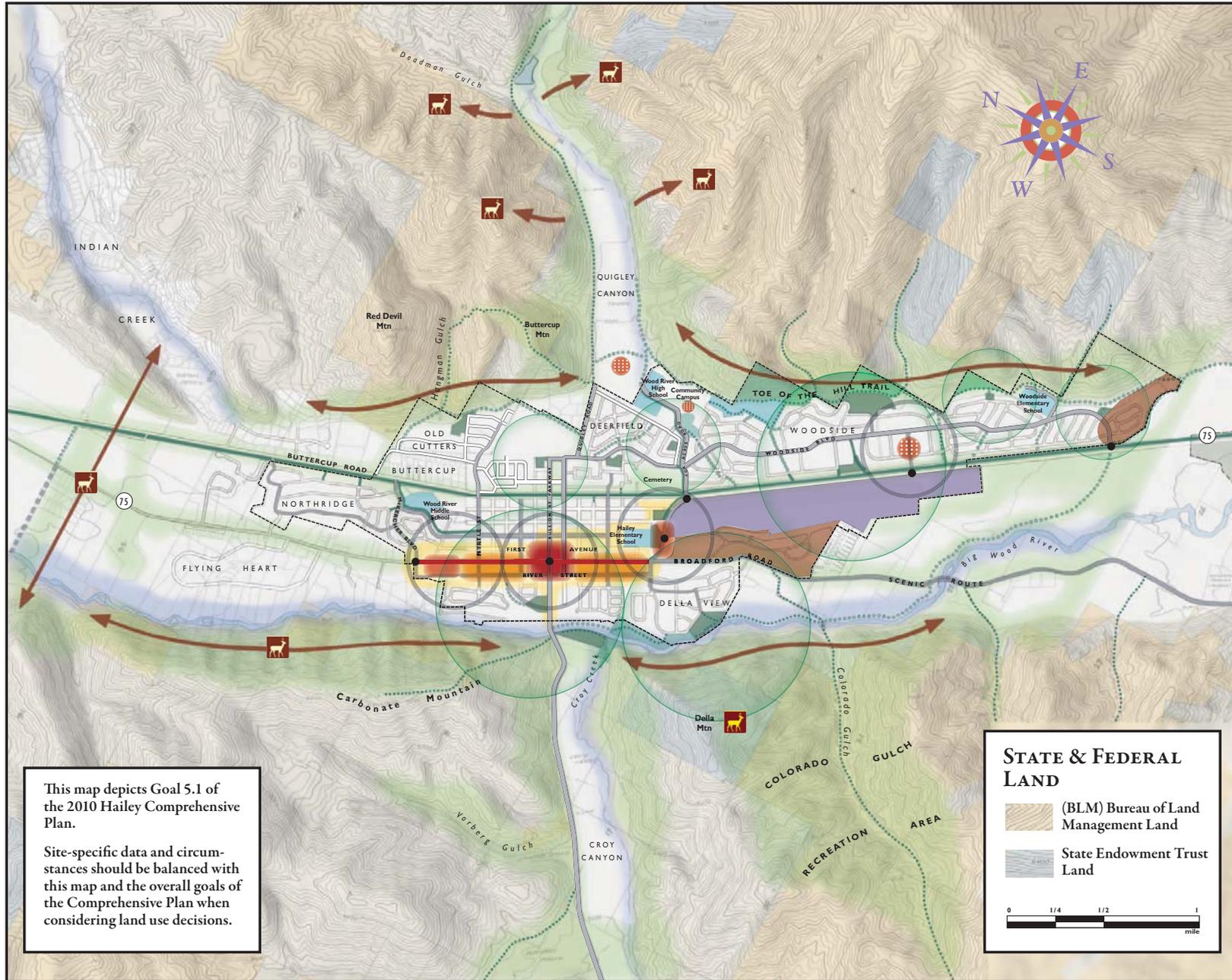
- Existing Parks
- Hillside Green Space
- School Playing Fields
- Other Public Green Space

HAILEY TRAILS

- Paved Separated Pathways
- Pedestrian & Bicycle Routes
- Trails
- Potential or Proposed Trails

NATURAL RESOURCES

- Floodplains, Floodways, Waterways and Wetlands
- Open space, Green Space, Greenways and Scenic Corridors
- Wildlife Corridors/Winter Range Areas



This map depicts Goal 5.1 of the 2010 Hailey Comprehensive Plan.

Site-specific data and circumstances should be balanced with this map and the overall goals of the Comprehensive Plan when considering land use decisions.

STATE & FEDERAL LAND

- (BLM) Bureau of Land Management Land
- State Endowment Trust Land

0 1/4 1/2 1
mile

ZONE CHANGE REQUEST FOR 21 E. McKERCHER BLVD

L.L. Green's Hardware has been a part of the Wood River Valley community since 2000 and has experienced a steady upward trend in our growth during that time. Because of that growth, we have severely outgrown our present location at the corner of Main St. and Bullion. We are in the process of putting all the pieces together to build a new store that would accommodate our needs and more importantly, the needs of our community.

Paramount in this process is finding property that would be well suited to the kind of project we are proposing. We explored many options for siting a new store and feel the property located on the southeast corner of Main St. and McKercher Blvd meets our criteria and satisfy the requirement of Hailey's Comprehensive Plan that restricts commercial development north of McKercher Blvd.

This location is well suited to our needs. It offers Main St. presence without adding congestion to Main St. (many customers will be able to access our location without ever traveling on or crossing Main St.) There will also be space for adequate, convenient parking which is sorely needed in our present location.

There is only one problem with this property; it is not zoned for our business. Currently, it is zoned Limited Residential (LR-1) and I am asking for the zoning to be changed to Limited Business with a Conditional Use Permit for Retail operations. One of the adjoining properties (where the Americinn is located) is currently zoned Limited Business. I feel, of course, it makes perfect sense that this property would serve the community better if zoned for commercial use rather than residential use. We are planning for a beautiful store that will utilize abundant natural light and expanded inventory to better meet the needs of our community.

We live in the Wood River Valley. We plan to use local sources for financing, local builders for the construction, and employ local residents. Thank you for your consideration.

Larry and Luanne Green

LL Green Hardware Zoning Change Analysis

June 5, 2017

LL Green Hardware is proposing to relocate their retail operation from downtown Hailey to the corner of US Highway 75 (Main Street) and McKercher Boulevard. The desired parcel is currently zoned Limited Residential (LR); we are proposing a zone change to Limited Business and applying for a Conditional Use Overlay on this particular parcel to allow for retail sales. The rationale for this request is as follows:

-This lot is adjacent to an existing Limited Business zone on the south where the AmericInn motel is located. The new Cottages senior care facility is being built to the North across McKercher Boulevard. The property to the west, across Main Street, is zoned Business (B) with a Stinker Station gas/convenience store and Albertsons grocers. To the east is a bare lot zoned Limited Residential where only one single family home could be developed. The comprehensive plan states the purpose of the Limited Business zone is to “provide a wide range of residential and restricted business uses that do not detract from the downtown core retail businesses.” An abundance of retail sales facilities are predominate in this area, connecting with others on both sides of Main Street, from the Hailey city limits south to the downtown core. Indeed, there is a strong basis for argument that this area, with its varied occupancies, augments the downtown core rather than detracts from it. It is helpful to view this property in context with the surrounding land uses rather than as an individual parcel.

-The Comprehensive Plan Land Use Map shows this lot is adjacent to a Community Activity Area, anticipating public interaction in sharing information and resources. LL Green Hardware is a long established hardware outlet and resource for the homeowners in Hailey and fills a unique niche in home repair and maintenance for their customers. Rather than being a buffer from residential zoning, LL Green is a familiar link to the community homeowners, a nostalgic reminder of the “neighborhood” hardware store of years gone by, and certainly different than the big box retail stores commonly found in larger cities.

-This proposed development will be located within a “1/4 Mile Service Area” and will be within easy walking distance of other retail businesses. Customers that are supporting stores in the vicinity of this project will easily include LL Green Hardware in their walking and shopping experience.

-This developmental will be located within a “Community Gateway” at the north end of Hailey’s business district. The building design will be attractive and welcoming to visitors and residents, and will utilize materials, forms, and colors reminiscent of Hailey’s historic heritage. The parking will be on the north side of the new building along McKercher Boulevard and behind the new building on the east, away from Main Street. Although not fronting on Main Street, the west elevation will be human scale and inviting to both vehicular and pedestrian traffic on that route.

-This proposed building will be a year-around retail facility that will serve well the hardware needs of Hailey and all of Blaine County. The store will create economic opportunity for local jobs and services that are not dependent upon seasonal shifts or tourism. It will provide nationally advertised brands and products in Hailey, negating the need to travel to larger and distant cities for those items.

-This development is an in-fill project that utilizes a bare lot located within the Hailey city limits. The site is not encumbered by any avalanche or wildfire overlays and does not abut any riparian or waterway lands. It does not disturb any wildlife migration corridors. It is located along a major collector street (McKercher Blvd) for easy vehicular traffic and deliveries without disturbing travel on Main Street.

-This proposed development will be a code-compliant, safe, and energy efficient structure that will enhance the overall value of LL Green hardware to its customers and visitors to the Wood River Valley.

The relocation of the LL Green Hardware store from downtown Hailey to the northern Community Gateway will allow for a customer requested larger sales floor to handle more types and more quantities of household hardware products. This will provide both immediate and long-term social and economic benefits to the residents of Hailey and the surrounding county. In order to grow their business, Larry and Luanne Green need a larger store with more dedicated parking and a functional delivery area. They have searched the length of Hailey's Main Street and have not found another piece of property or available building that even approximates their needs.

Thank you for investing your time and foresight in considering the zoning change necessary to allow this project to move forward.

Sincerely,

Owen W Scanlon



Change from LR-1 to LB

11731

31

21

422

442

212

202

930

920

910

870

State Highway 76

McKercher Blvd

N Main St

Nistavo St

Cobblestone Ln

N River St

N 2nd St

937

911

910

51

820

821

810

811

830

222

241

431

241

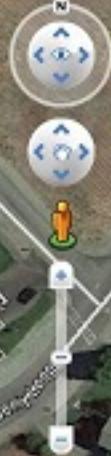
121

412

431

241

E Winterbe



Moberg Avenue

Cobblestone Lane

Wentworth Avenue

© 2015 Google

Google Earth

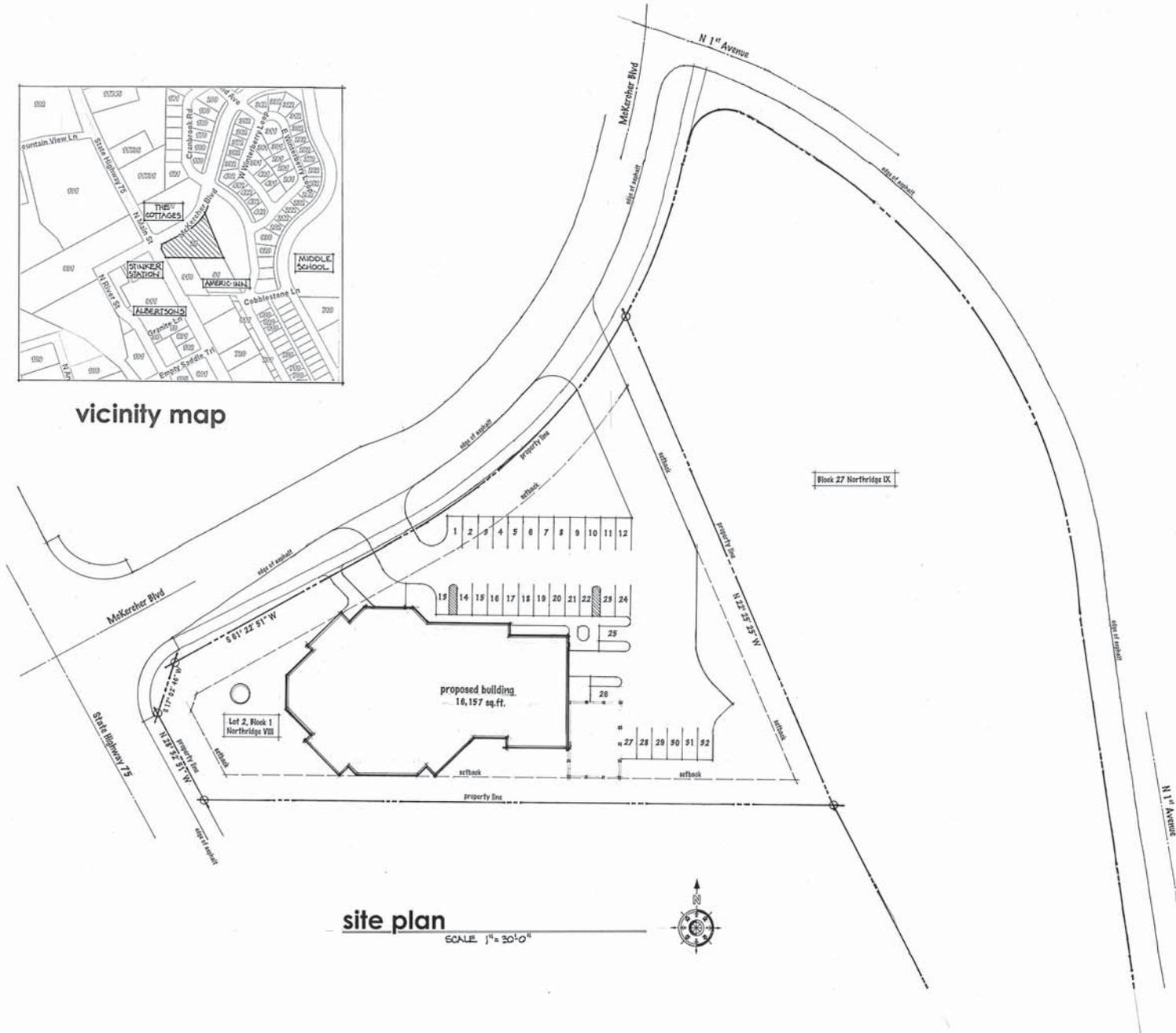
Cobblestone Ln

Imagery Date: 2/11/2016 4373143.00 N -114421916.58 W elev: 5353 ft eye alt: 6339 ft

1292



vicinity map



site plan

SCALE 1" = 30'-0"



ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83333
(208) 720-2344

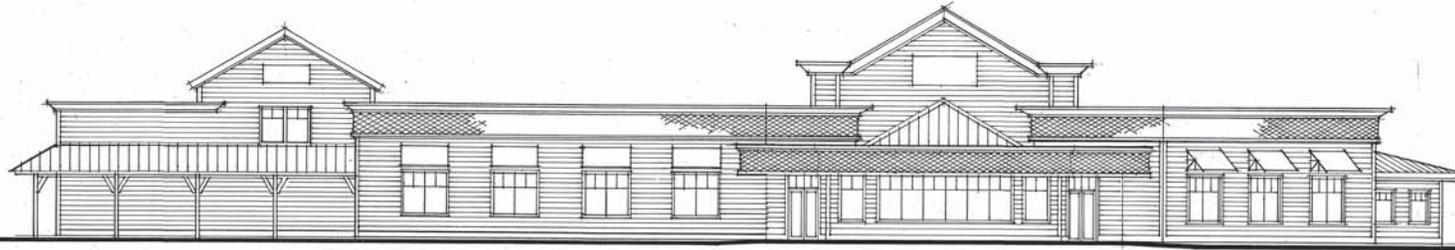
SUBV/800008

PROJECT NO.
DATE
DRAWN BY

LL GREEN HARDWARE
211 McKersher Blvd
Hailey, Idaho 83333

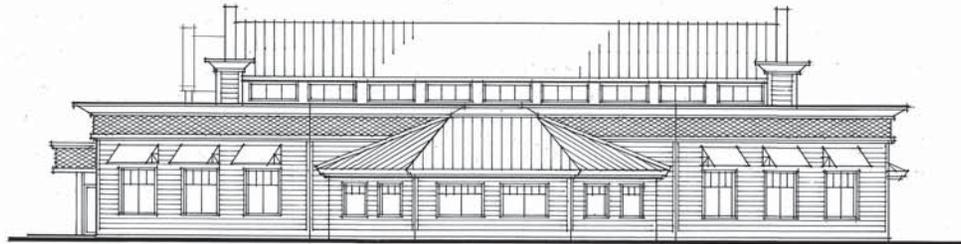
OWEN WRIGHT SCANLON
NCARB

SD-1.0



north elevation

SCALE 1/8"=1'-0"



west elevation

SCALE 1/8"=1'-0"

ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83433
(208) 720-2344

REV:020202

PROJECT NO.
DATE
DRAWN BY

LL GREEN HARDWARE
Hailey, Idaho 83433
21 E McKeeher Blvd

OWEN WRIGHT SCANLON
NCARB

Return to Agenda

STAFF REPORT

TO: Hailey Planning & Zoning Commission

FROM: Lisa Horowitz, Community Development Director

RE: Conditional Use Permit – L.L. Green’s Garden Center, Review of Temporary Operation of Live Plant Sales
(Lot 1-5, 11-15, Block 68, Hailey Townsite)

HEARING: June 12, 2017

Applicant: Larry Green

Location: 615 N Main Street (Lot 1-5, 11-15, Block 68, Hailey Townsite)

Zoning: Business (B) and Townsite Overlay (TO)

Note: Staff analysis is in lighter type

Notice

Notice for the public hearing on June 12, 2017 was sent to the Mt. Express on May 24, 2017 and published in the Mountain Express on May 24, 2017. Notices were mailed to the adjoining property owners on and the property was posted on June 5, 2017.

Application

The applicant is requesting a Conditional Use Permit for a Temporary Structure for use of no more than 12 months including a chain link fence to provide security for the operation of live plant sales. According to §5.4 of the Zoning Ordinance, a Temporary Structure for use of no more than 12 months requires a Conditional Use Permit in the Business (B) District. The chain link fence was originally installed in April, as the applicant does not have use of the building on the site, and was unaware of the cities rules regarding fencing.

General Requirements for all Conditional Use Permits				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.2.2	<p>Complete Application:</p> <p>11.2.2 The application shall include at least the following information:</p> <ol style="list-style-type: none"> a. Name, address, and phone number of the applicant. b. Proof of interest in the subject property by the applicant, such as a deed, contract of sale, option to purchase, or lease agreement. c. Legal description of the subject property, including street address. d. Description of existing use. e. Zoning district of subject property. f. Description of proposed conditional use. g. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, traffic access and traffic circulation, open spaces, easements, existing and proposed grade, energy efficiency considerations, landscaping, exterior lighting plan as required by Article VIII B of this Ordinance, refuse and service areas, utilities, signs, property lines, north arrow, and rendering of building exteriors, where applicable. h. A narrative statement evaluating the effects on adjoining property, the effect of such elements as noise, glare, odor, fumes, and vibration on adjoining property. i. A narrative statement identifying surrounding land uses and discussing the general compatibility of the proposed use with adjacent and other properties in the district. j. A narrative discussion of the relationship of the proposed use to the Comprehensive Plan. k. A list of the names and addresses of all property owners and residents within three hundred (300) feet of the external boundaries of the land being considered. l. Any other information as requested by the Administrator to determine if the proposed conditional use meets the intent and requirements of this Article. m. A fee established in a separate ordinance approved by the Council. <p>Chronology of L.L. Green’s on the subject property is as follows:</p> <p><i>March 2017-</i> King’s announced closure of all stores <i>March 2017-</i> L.L. Green’s agreed to purchase greenhouses and associated parts and pieces, and run Garden Center for one season <i>April 2017-</i> L. L. Green’s erected temporary chain link fence, notice identifying code violation 2 days after original install <i>April 26, 2017-</i> CUP application received</p> <p><i>Chain link fence is permitted for public use only with a Conditional Use Permit per Code Section 17.08A.010. However, the use is also considered a Temporary Use, as it is only for one season. The Commission should weigh the benefits of the retail activity associated with this temporary use and benefits to the downtown versus the visual burden of the chain link fence for one season. See staff analysis under item 11.1 for Comprehensive Plan analysis.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department and Boards/Com	<p>Engineering:</p> <hr/> <p>Life/Safety:</p>

			missions Comments	<ul style="list-style-type: none"> - Police Department No concerns - Fire Department No concerns.
				Water and Sewer: -
				Building: - No concerns.
				Streets: -
				Boards and Committees: - No concerns.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Commission Findings</i>	- <i>Signage appears to be larger than 4 square feet. A sign permit must be approved by staff.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Commission Findings</i>	<i>All new and existing lighting shall comply with Hailey's Outdoor Lighting Ordinance.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 A On-site Parking Req.	See Section 9.4 for applicable code. <ul style="list-style-type: none"> - Require 1 space for 1,000 square feet, or, if the site is considered warehouse and storage, 1 space per every (full time) employee, whichever is greater.
			<i>Commission Findings</i>	<i>N/A-Parking requirements have been analyzed and met with the Kings improvement project.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (B)	B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (C)	C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Commission Findings</i>	N/A Access is existing- one location on Main Street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4.8 (D)	D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.
			<i>Commission Findings</i>	The existing access is clearly visible by both pedestrians and motorists on Main Street.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (E)	E. Access for subdivisions shall be provided in accordance with standards set forth in Section 4 of the Subdivision Ordinance.
			<i>Commission Findings</i>	Not applicable
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (F)	F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	9.4.8 (G)	G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus “stacking” the parking area. For non-residential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.
			<i>Commission Findings</i>	<ul style="list-style-type: none"> • Not applicable
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Article 5.4: Bulk Requirements	Limited Business (B) District: <ul style="list-style-type: none"> - Minimum Lot Size: 0 - Maximum Lot Width: 0 - Maximum Building Height: 35 - Front Setback: 0 ft - Side and Rear Yard Setback: 0 feet
			<i>Commission Findings</i>	<ul style="list-style-type: none"> - Chain link fencing meets all bulk requirements. <p>Chain link fence is permitted for public use only with a Conditional use Permit per Code Section 17.08A.010. The Commission should weigh the benefits that this</p>

				<i>temporary use brings to the downtown and disadvantages of saying no to chain link fence. See staff analysis under item 11.1 for Comprehensive Plan analysis.</i>
Section 11.4 Criteria for Review of Conditional Use Permits				
Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.1	<p>Compliance with the Comprehensive Plan 11.1 Purpose. The City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.</p>
			<i>Commission Findings</i>	<p><i>This application complies with the following goals and objectives of the Comprehensive Plan</i></p> <ul style="list-style-type: none"> • <i>Goal 5.2: Land Use, Population, and Growth Management- Maintain Downtown as the area containing the greatest concentration of commercial, cultural and civic activity and the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.</i> <ul style="list-style-type: none"> ○ <i>This project brings civic activity to a vacant piece of land in Hailey’s Downtown.</i> • <i>Goal 6.1: Economic Development- Encourage a diversity of economic development opportunities within Hailey.</i> <ul style="list-style-type: none"> ○ <i>This project provides seasonal jobs to the employees running the facility and also provides additional locations in the City of Hailey to purchase live plants.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(a)	<p>11.4.1 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location:</p> <p>a. Will, in fact, constitute a conditional use as established for the zoning district involved; and</p>
			<i>Commission Findings</i>	<p><i>According to §5.4 of the Zoning Ordinance, Temporary Structures for Use of no more than 12 months currently require a Conditional Use Permit in the Business (B) zone.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(b)	<p>b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;</p>
			<i>Commission Findings</i>	<p><i>The existing nonconforming use has been in place for approximately two months. Previously Kings Variety Store utilized temporary greenhouse structures on the property for the security of live plant sales. Because this property has been utilized for live plant sales before, staff feels it will not change the essential character of the area.</i></p>
			11.4.1(c)	<p>c. Will not be hazardous or disturbing to existing or future neighboring uses;</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Commission Findings</i>	<ul style="list-style-type: none"> • <i>The structure itself will not pose hazardous or disturbing conditions to neighboring uses. Its intent is to provide security for the merchandise.</i> • <i>Traffic accessing the temporary structure utilizes existing King’s Variety Store access off of Main Street. Staff does not anticipate traffic volumes will be greater than volumes resulting from previous use.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(d)	<p>d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and</p> <p><i>Commission Findings</i> <i>With recent improvements to the property prior to the closure of Kings and previous use of live plant sales, site can be adequately served by public facilities.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(e)	<p>e. Will not create excessive additional requirements at public cost for public facilities and services; and</p> <p><i>Commission Findings</i> <i>At this time, no additional cost will be incurred from any public agencies for this facility to function and operate.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(f)	<p>f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and</p> <p><i>Commission Findings</i> <i>No externalities are anticipated by this use.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(g)	<p>g. Will have vehicular approaches to the property which shall be designed so as not to create an interference with traffic on surrounding public thoroughfares;</p> <p><i>Commission Findings</i> <i>Use of existing approach onto Main Street is proposed which does not currently interfere with traffic on the surrounding public thoroughfares.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11.4.1(h)	<p>b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;</p> <p><i>Commission Findings</i> <i>Proposed property does not contain a natural, scenic, or historic feature or structure. The temporary structure does not change the essential character of the area.</i></p> <p><i>Chain link fence is permitted for public use only with a Conditional Use Permit per Code Section 17.08A.010. The Commission should weigh the benefits that this temporary use brings to the downtown and disadvantages of saying no to chain link fence.</i></p>

11.6 Conditions.

The Commission or Hearing Examiner may impose any conditions which it deems necessary to secure the purpose of City regulations and give effect to the Comprehensive Plan. Conditions which may be attached include, but are not limited to those which will:

- 11.6.1 Require conformity to approved plans and specifications.**
- 11.6.2 Require or restrict open spaces, buffer strips, walls, fences, signs, concealing hedges, landscaping and lighting.**
- 11.6.3 Restrict volume of traffic generated, require off-street parking, and restrict vehicular movements within the site and points of vehicular ingress and egress or other conditions related to traffic.**
- 11.6.4 Require performance characteristics related to the emission of noise, vibration and other potentially dangerous or objectionable elements.**
- 11.6.5 Limit time of day for the conduct of specified activities.**
- 11.6.6 Require guarantees such as performance bonds or other security for compliance with the terms of the approval.**
- 11.6.7 Require dedications and public improvements on property frontages.**
- 11.6.8 Require irrigation ditches, laterals, and canals to be covered or fenced.**
- 11.6.9 Minimize adverse impact on other development.**
- 11.6.10 Control the sequence, timing and duration of development.**
- 11.6.11 Assure that development is maintained properly.**
- 11.6.12 Designate the exact location and nature of development.**
- 11.6.13 Require the provision for on-site or off-site public services.**
- 11.6.14 Require more restrictive standards than those generally found in this Ordinance.**
- 11.6.15 Mitigate foreseeable social, economic, fiscal and environmental effects.**
- 11.6.16 Set a limit on the duration of the permit when deemed necessary.**
- 11.6.17 Allow for subsequent periodic review.**

The Commission may impose any conditions that are deemed necessary to secure the purpose of City ordinances and give effect to the Comprehensive Plan. Conditions including but not limited to those set forth in Section 11.6 may be placed on any approval.

Summary

Section 11.1 of the Hailey Zoning Ordinance states that “the City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.”

Conditional Use Permits are subject to review and revocation pursuant to Section 11.9 of the Hailey Zoning Ordinance. This statement will be included in the Findings of Fact, Conclusions of Law, and Decision for any CUP approved by the Commission.

By ordinance, the Commission is required to make a decision to approve, conditionally approve, or deny the application within forty-five (45) days after conclusion of the public hearing and issue its decision together with the reasons therefore. The Commission is required to review the application, all supporting documents and plans, and Section 11 of the Zoning Ordinance, in making their decision.

The Commission should make findings related to the criteria of Section 11.4, (a) through (h).

Suggested Conditions

The following conditions are suggested to be placed on any approval of this application:

- a) All Fire Department and Building Department requirements shall be met in regard all maintenance, administrative, and other functions of this facility.
- b) Temporary structure shall be removed by August 1, 2017.

Motion Language

Approval:

Motion to approve conditional use permit application for Conditional Use Permit application by Larry Green for a temporary structure including a chain link fence to provide security for operation of live plant sales, located at 615 North Main Street (Lot 1-5, 11-15, Block 68, Hailey Townsite) and finding that the application meets each of the criteria for review (a) through (h) cited in Zoning Ordinance Article 11.4, Section 11.4.1, that the conditional use permit complies with the Comprehensive Plan, and that the conditional use permit is subject to condition (a) thru (b) noted above.

Denial:

Motion to deny conditional use permit application by Larry Green for a temporary structure including a chain link fence to provide security for operation of live plant sales, located at 615 North Main Street (Lot 1-5, 11-15, Block 68, Hailey Townsite), citing the following reasons for denial _____.

Continuation:

Motion to continue discussion of the conditional use permit application by Larry Green for a temporary structure including a chain link fence to provide security for operation of live plant sales, located at 615 North Main Street (Lot 1-5, 11-15, Block 68, Hailey Townsite) to a later day as specified here _____.

Description of Use

This document is intended to explain the reason I, Larry Green, am seeking a conditional use permit for the temporary fencing located around the greenhouse operations occupying the northeast corner of the King's Variety Store parking lot.

It came as quite a surprise about the middle of March when King's announced they would be closing all their stores. Shortly thereafter, they approached me to see if I would consider taking over their greenhouse operations and their commitment with Moss Greenhouses in Jerome. Over the years, King's greenhouse operation has filled a significant need for many Wood River Valley residents and I didn't want to see it disappear from our valley. We agreed to purchase the greenhouses and all the associated parts and pieces that went along with them.

Since we had no place to erect the greenhouses at our present location at 101 N. Main Street, we negotiated with Kings to use their parking lot as they had done the previous year. They agreed to this arrangement on the condition that we put some temporary fencing around the greenhouses with some signage indicating that it was L.L. Green's operating the greenhouses.

I began working with a local fencing company to secure the temporary fencing and at the last minute was informed they would not be able to supply the fencing. After a frantic search, we were able to contract with a company in Twin Falls who made special arrangements to provide the needed fencing on short notice. We next purchased a banner from a local graphics company to attach to the fencing indicating L.L. Green's would be operating the greenhouses. We then erected the greenhouses which will only be in operation a little over two months.

Two days after we had the temp fencing in place, we received notice that chain link is not allowed in the business core. We explored several options for fencing but the expense for such options was prohibitive in light of the short time we would be using them. We needed to find some means of securing the operation in the evenings and on Sundays. We finally went to visit with Lisa Horowitz who suggested that we may be able to obtain a conditional use permit to have the fencing in place for the limited time we would be operating the greenhouses. Our intent is to remove the fencing and the greenhouses in the first week of July.



Carretera Estatal de Idaho 75

N River St

75 feet

100 feet

N River St

A Wood River Inn & Suites

Myrtle St

Base Camp Hailey

SUBWAY@Restaurants

Uhrig Fence

Lost River Sports

Carrs 4 U 2

The Weekly Sun

Google

N Main



KING'S
VARIETY STORE





KING'S
VARIETY STORE

KING'S
VARIETY STORE

BIKE



Return to Agenda

**DESIGN REVIEW
STAFF REPORT**

TO: Hailey Planning and Zoning Commission

FROM: Lisa Horowitz Community Development Director

Design Review Application by Bradley Guss & Naomi Goldberg for a new 1,956 sf addition including a 763 sf unconditioned garage, located at 517 E. Pine Street, Hailey (Lot 7A, Block 105, Hailey Townsite) within the Limited Residential 1 (LR-1) Zoning District. The proposal also includes a new gravel driveway, drainage improvements, and minimal landscaping.

HEARING: May 16, 2017

Applicant: Bradley Guss & Naomi Goldberg

Request: Design Review for new 1,956 sf addition including a 763 sf unconditioned garage.

Location: 517 E. Pine Street, Hailey (Lot 7A, Block 105, Hailey Townsite)

Zoning: Limited Residential 1 (LR-1)

Notice

Notice for the public hearing was published in the Idaho Mountain Express on May 24, 2017 and mailed to property owners within 300 feet on May 24, 2017.

Application

The applicant is proposing the construction of a new 1,956 sf addition including 763 sf unconditioned garage. There is an existing 1,825 sf residence located on the lot. The square footage of the renovated residence, excluding unconditioned space, will be 2,548 sf and including unconditioned space will be 3,311 sf.

The residence will be accessed off of S 5th Avenue via a private driveway.

Procedural History

The application was submitted on April 12, 2017 and certified complete on April 28, 2017. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on June 12, 2017, in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Water and Sewer: <i>No comments</i>
				Building: <i>No comments</i>
			Streets: <i>No comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>Signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code. 9.4.1- Single family dwelling: 2 spaces minimum, 6 spaces maximum
			Staff Comments	<i>The Zoning Code requires 2 parking spaces for each single family residential unit. The proposed single family residential unit includes a 2 car garage (~24'x24") which meets the dimensional standards (9'x18') required. An additional 2 parking spaces are provided in the driveway. Minimum and maximum parking requirements are met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			Staff Comments	<i>Applicant will install Dark Sky compliant fixtures, downcast and low wattage fixtures.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	(Insert sections from applicable zoning district) Maximum Height: 30' Setbacks: Front- 12'; 20' to garage door Side & Rear- 15% of lot width or 10', whichever is less; 6' min.

				Lot Coverage: 30% (10,605 SF lot) Aggregate Maximum Floor Area: 3,181 gross square feet
			Staff Comments	<ul style="list-style-type: none"> - <i>Building height:</i> <ul style="list-style-type: none"> o <i>Proposed building 27' 7/8" to the peak of the roof</i> o <i>Max wall height is 27' 7/8" high</i> - <i>Front Setback:</i> <ul style="list-style-type: none"> o <i>Garage will be setback 20'-4"</i> - <i>Side Setback:</i> <ul style="list-style-type: none"> o <i>Lot 7A is 137.39' wide, therefore the minimum setback is 10'</i> o <i>Lot 7A structure is compliant on all side setbacks. The following setbacks on shown:</i> <ul style="list-style-type: none"> ▪ <i>North Side: 29'-8"</i> ▪ <i>East Side: 11'-5/8"</i> ▪ <i>South Side: 10'-2 1/4"</i> - <i>Minimum deck setbacks are 5'. Southeast deck does not meet this setback but it is existing.</i> - <i>The maximum building height is 26'-8 3/8"</i> - <i>Maximum Lot coverage: 30% in LI-1 for a two-story dwelling with a garage</i> <ul style="list-style-type: none"> o <i>Proposed lot coverage = 2,957 SF (2,194 SF main + 763 SF garage) = %28 coverage</i>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.7 (A) Required Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<i>A waiver may be granted for residential single family residential remodels per Code Section 17.06.070A 1b. Staff recommends the Commission grant this waiver because the project fronts 5th Avenue which is gravel and more alley-like than a street.</i>

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)1	1) Site Planning Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.
			Staff Comments	<i>The lot is existing, and the addition will take place between two existing structures. The construction will have little impact on open space.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • The scale of the residence with the new addition is consistent with the scale and massing of buildings in the surrounding neighborhood. • The building orientation will not change with the new addition. The added structure will be built between two existing structures connected with an enclosed walkway. • The existing home does not have a clearly defined front entry. The proposed solarium structure demolition will help define a front entry with a covered porch. • No alley access exists • The proposed garage will provide space for vehicle storage. • The existing yards and open spaces are proposed to remain. • The proposed 2 story addition is over 40' from the property line to the north, the parcel to the east is not buildable. The setback to 5th Avenue is met. Solar exposure of all neighbors should not be impacted. • Adequate snow storage is provided • All existing utilities not underground will be installed underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p>
			<i>Staff Comments</i>	<i>The majority of windows face in directions that are conducive to passive solar energy. Reduced glazing on less beneficial wall planes. Roof forms are situated for possible future solar thermal or PV panels- no renewable energy systems are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)2	<p>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</p> <p>Guideline: The perceived mass of larger buildings shall be diminished by the design.</p>
			<i>Staff Comments</i>	<i>The proposed building is broken up with varying roof slopes and directions. The variation of one and two stories also reduces the scale of the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)3	<p>3. Architectural Character</p>
			17.06.090(C)3a	<p>a. General</p> <p>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</p>
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3b	<p>b. Building Orientation</p> <p>Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</p>

			Staff Comments	<ul style="list-style-type: none"> The existing home does not have a clearly defined front entry. The proposed solarium structure demolition will help define a front entry with a covered porch.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			Staff Comments	N/A The structure is existing.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3c	c. Building Form
				Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			Staff Comments	The proposed building is broken up with varying roof slopes and directions. The variation of one and two stories also reduces the scale of the building. This is consistent with styles and forms found in Old Hailey
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	d. Roof Form
				Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			Staff Comments	The new covered porch will help define the entry to the building. Other roof forms break up the mass of the building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site. <ul style="list-style-type: none"> Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. Designs should avoid locating drip lines over key pedestrian routes. Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			Staff Comments	Most roof forms shed snow and runoff away from entries. The shed roof at the garage will have gutters, downspouts, heat tape if required and a continuous snow fence to mitigate dripping of water or falling snow.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.
			Staff Comments	<ul style="list-style-type: none"> The following forms are currently found in the neighborhood: <ul style="list-style-type: none"> gable end roofs Short ridgelines The application is consistent with the neighborhood in regards to roof forms and materials
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.
			Staff Comments	<ul style="list-style-type: none"> Roof pitch is varied. The following is found on the structure: <ul style="list-style-type: none"> 7/12 4/12 Consistent with surrounding neighborhood
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)3e	e. Wall Planes
				Guideline: Primary wall planes should be parallel to the front lot line.
			Staff Comments	The existing structure is not parallel to the front lot line. The additions are maintaining the same alignment as the existing structure so everything is orthogonal.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.
			Staff Comments	The wall planes are broken up with varying setbacks and jogs in the building. The house is proportional to the site because the site is rectangular in shape and the structure is longer in one direction than the other.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: The use of pop-outs to break up longer wall planes is encouraged.
			Staff Comments	Smaller wall plane of the shed and windows satisfy this standard.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	f. Windows
				Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			<i>Staff Comments</i>	<i>The proposed windows are traditional in size, scale, and proportion and help to break up the wall plane of the new garage and 2nd story addition by creating a human scale.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
				Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			<i>Staff Comments</i>	<i>Proposed window placement does not affect privacy of residence to the north. An existing garage is adjacent on the property to the west.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	g. Decks and Balconies
				Guideline: Decks and balconies shall be in scale with the building and the neighborhood.
			<i>Staff Comments</i>	<i>The new covered porch is in scale with the building and surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
				Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			<i>Staff Comments</i>	<i>The proposed porch will not impact neighbors as it will be replacing the existing solarium.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	h. Building Materials and Finishes
				Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.
			<i>Staff Comments</i>	<i>The building façade will be wood siding run in two different directions to avoid the look of large flat walls. The varying roof shed directions and orientations will also help reduce the perceived scale of the walls.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
				Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	<i>Wood siding run in two different directions and metal and traditional shingles will help break up the mass of the wall planes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	i. Ornamentation and Architectural Detailing
				Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.
			<i>Staff Comments</i>	<i>See above notes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
				Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	<i>Covered porch is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
				Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	<i>See above notes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	4. Circulation and Parking
				Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	<i>Adequate parking has been provided. Pedestrian access off the adjacent streets is provided through the alley-like 5th Avenue. Adequate snow storage has been provided on site, so it will not impede pedestrian access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
				Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	<i>A two car garage will house and screen vehicles from the street. Additionally, the scale of 5th Avenue and existing vegetation will screen on-site parking.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	<i>Garage is accessed from a shared driveway. No alley access available.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	<i>No alleys are adjacent to this site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	<i>The front entrance of the house is on the opposite side and plane of the house from the garage. Also, the shed breaks up the garage wall plane so the garage is set back.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	<i>Parking areas in front of the proposed garage are 2 cars wide; however landscaping will help screen the vehicles from 5th Avenue because of the front wall plane is rotated.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			<i>Staff Comments</i>	<i>RV parking can take place in the garage or could be screened by existing vegetation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	5. Alleys
				Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			<i>Staff Comments</i>	<i>No alleys are adjacent to the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.
			<i>Staff Comments</i>	<i>No alleys are adjacent to the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			<i>Staff Comments</i>	<i>5th Avenue is existing and is a gravel surface road.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			<i>Staff Comments</i>	<i>No alleys adjacent to site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)6	6. Accessory Structures
				Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	7. Snow Storage
				Guideline: All projects shall be required to provide 25% snow storage on the site.

			Staff Comments	<i>The proposed dwellings are setback far enough from the adjacent property lines to avoid shedding onto the adjacent properties.</i> <i>615 sf of total lot area is provided for snow storage. This area exceeds the required 25%; however, no snow storage is identified adjacent to the existing visitor parking court. This area is existing and it appears that adequate space is available for snow storage adjacent to the parking court.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			Staff Comments	<i>Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	8. Existing Mature Trees and Landscaping
				Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			Staff Comments	<i>Two existing Aspen trees are proposed to be removed on site. These trees appear to be close the existing structure and are identified as younger Aspen by the applicant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			Staff Comments	<i>No other significant landscape features appear to be impacted by this addition. The existing irrigated turf area will be reduced with addition.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Noxious weeds shall be controlled according to State Law.
			Staff Comments	<i>If noxious weeds are present on the site, the developer shall control according to State Law.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)9	9. Fences and Walls
				Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			Staff Comments	<i>No new fence is identified in the plans; however, the applicant has identified that open post/rail style fencing is proposed by the covered porch area - a modification with the demolition of the solarium.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	Guideline: Retaining walls shall be in scale to the streetscape.
			Staff Comments	<i>None proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	10. Historic Structures
				General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			Staff Comments	<i>Structure is not historic.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:

			<ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.
		<i>Staff Comments</i>	<i>Structure is not historic.</i>

17.06.060 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

- 1. The project does not jeopardize the health, safety or welfare of the public.**
- 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Title.**

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which

security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested for any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Title at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) All utilities will be located underground, consistent with 6A.9.C.1.
- i) Snow clips will be added to the porches over pedestrian access areas.

Motion Language

Approval:

Motion to approve the Design Review application by Bradley Guss & Naomi Goldberg for a new 1,956 sf addition including a 763 sf unconditioned garage, located at 517 E. Pine Street, Hailey (Lot 7A, Block 105, Hailey Townsite) within the Limited Residential 1 (LR-1) Zoning District, finding that the project does not

jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions (a) through (i) are met.

Denial:

Motion to deny the Design Review application by Bradley Guss & Naomi Goldberg for a new 1,956 sf addition including a 763 sf unconditioned garage, located at 517 E. Pine Street, Hailey (Lot 7A, Block 105, Hailey Townsite) within the Limited Residential 1 (LR-1) Zoning District, finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing on the Design Review application by Bradley Guss & Naomi Goldberg for a new 1,956 sf addition including a 763 sf unconditioned garage, located at 517 E. Pine Street, Hailey (Lot 7A, Block 105, Hailey Townsite) within the Limited Residential 1 (LR-1) Zoning District to _____ [Commission should specify a date].

The G&G Residence Additions

Brad Guss & Naomi Goldberg - Owners

Hailey, Idaho

Design Review Submittal

28 April, 2017



30 Wyatt Drive
Bellevue, Idaho 83313

DESIGN REVIEW



SOUTH WEST VIEW- FRONT SOLARIUM TO BE REMOVED



SOUTH VIEW- FRONT SOLARIUM TO BE REMOVED, LOCATION OF NEW FRONT PORCH



SOUTH WEST VIEW- TREES TO REMAIN



SOUTHEAST VIEW- DECK TO REMAIN



SOUTH WEST VIEW OF (E) SHOP TO REMAIN, CONNECTOR AND OLD GARAGE SPACE TO BE REMOVED FOR NEW (2) STORY ADDITION-



SOUTHEAST VIEW- DECK TO REMAIN



NORTHWEST VIEW- SHOP TO REMAIN



NORTH VIEW- CONNECTOR AND OLD GAAGE TO BE REMOVED



NOTE: THIS PROPERTY OWENR OWNS THE ADJACENT SOUTHERN PARCEL AND HAS A USE AGREEMENT FOR THE EASTERN PARCEL

SITE/ ROOF PLAN- AERIAL PHOTO

NTS **1**

A NEW ADDITION TO :
G&G RESIDENCE
 517 EAST PINE STREET HAILEY, IDAHO

(208) 756-6515 Ph

Vital Ink
 Environmental Architecture
 & Consulting, LLC



50 West Park
 Boise, ID 83713

REVISIONS

DATE
 28 APRIL, 2017

0.2

PLOTTER: RMT17-PLANT



PRELIMINARY
DRAFT
WORKSHEET

A NEW ADDITION TO :
G&G RESIDENCE
517 EAST PINE STREET HAILEY, IDAHO

Vital ink
Environmental, Architectural
& Consulting



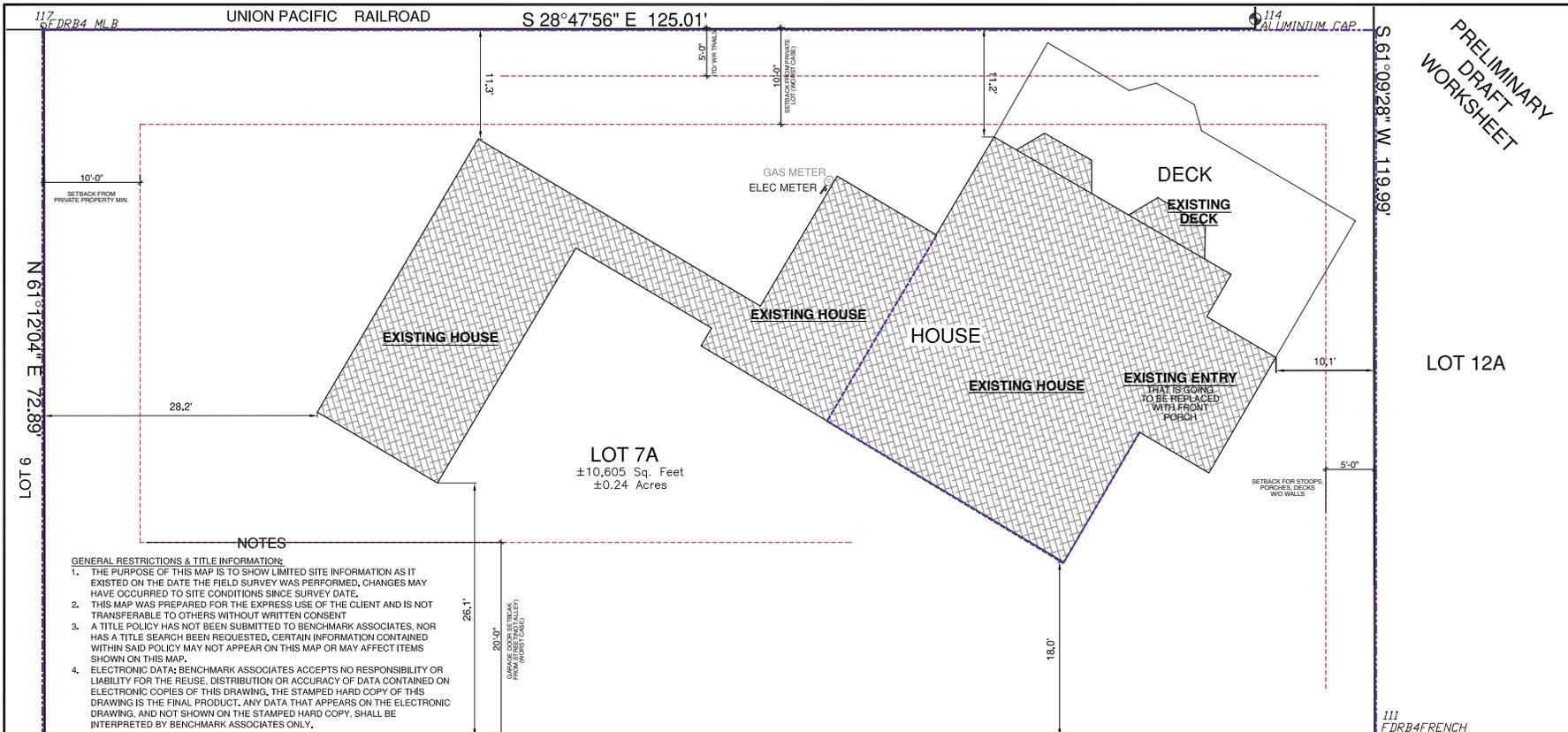
50 West 10th Street
Blaine, ID 83313
(208) 726-6515 Ph

REVISIONS

DATE
28 APRIL, 2017

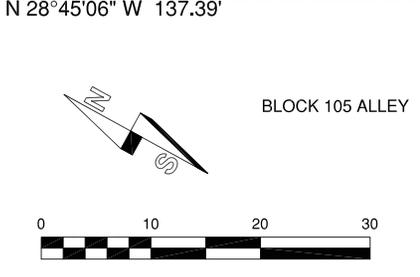
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- NOTES**
- GENERAL RESTRICTIONS & TITLE INFORMATION:**
1. THE PURPOSE OF THIS MAP IS TO SHOW LIMITED SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE.
 2. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
 3. A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED, CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
 4. ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING, THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT, ANY DATA THAT APPEARS ON THE ELECTRONIC DRAWING, AND NOT SHOWN ON THE STAMPED HARD COPY, SHALL BE INTERPRETED BY BENCHMARK ASSOCIATES ONLY.

- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
5. BUILDING AREA: SETBACK AND FOOTPRINT REQUIREMENTS ARE PER CURRENT CITY OF HAILEY ORDINANCES. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
 6. GENERAL RESTRICTIONS : EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS OR ANY OTHER LAND-USE REGULATIONS.
- SURVEY AND SITE FEATURES:**
7. BASIS OF BEARINGS IS PER THE ORIGINAL REPLAT OF HAILEY TOWNSITE BLOCK 105 LOTS 7A & 12A, BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT, REFER TO PLAT & CC&RS FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
 8. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 9. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
 10. FEATURES OBTAINED BY DEBRIS, SNOW OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.



PREPARED BY: BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
PHONE (208)726-9512 FAX (208)726-9514 EMAIL:mail@bma5b.com
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HAILEY BLOCK 105
LOT 7A
LOCATED WITHIN
SECTION 9, TOWNSHIP 2 NORTH, RANGE 18 EAST, B.M.,
CITY OF HAILEY, BLAINE COUNTY, IDAHO

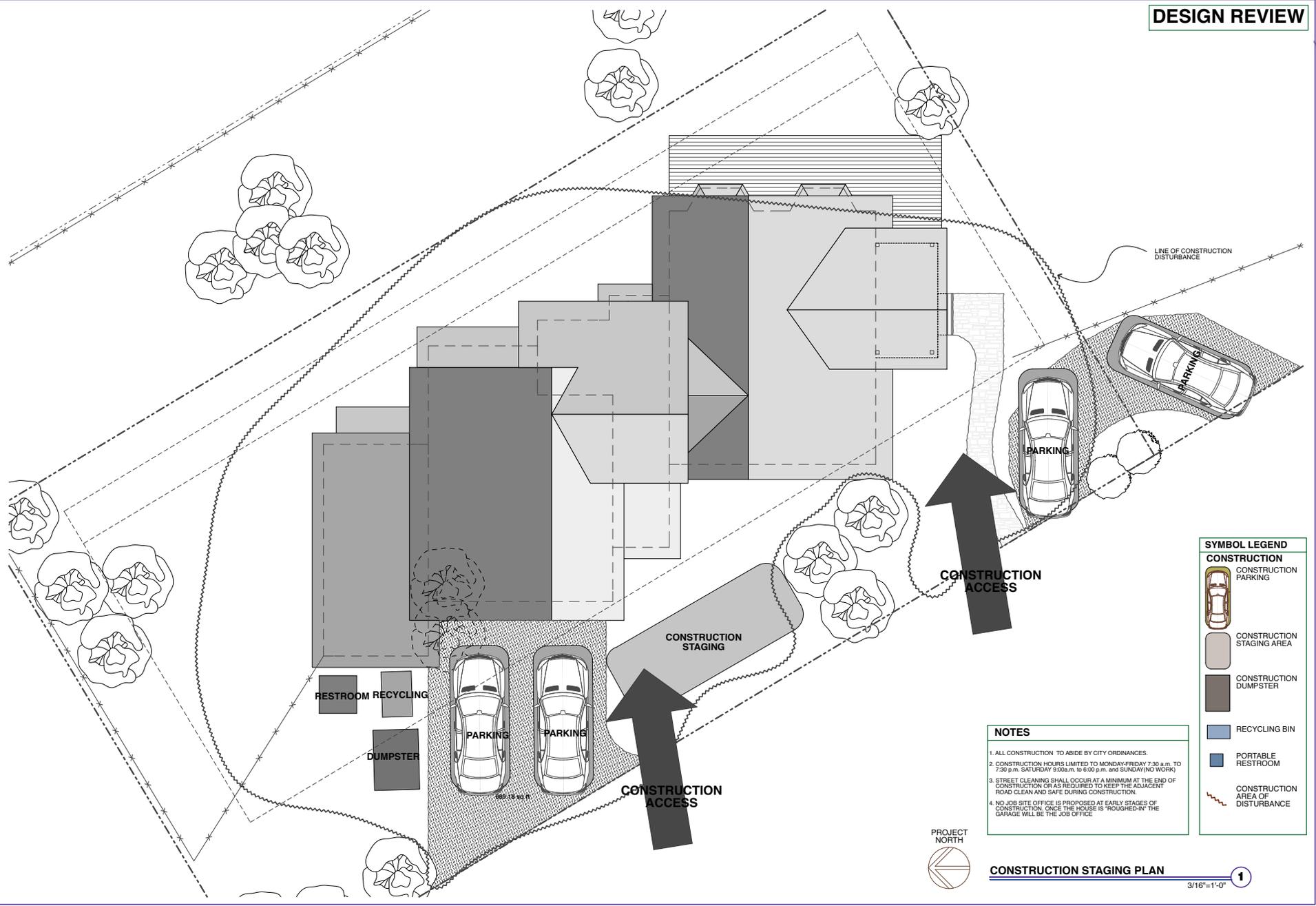
PREPARED FOR : BRAD GUSS

PROJECT NO. 16049	DWG BY: DWS	CRD: 16049.CRD	LAYOUT: 11X17
A LIMITED SITE MAP		DATE OF SURVEY: 4/19/2016	SHEET: 1 OF 1

G:\BMA\H\hailey townsite\Block 105\Lots7A & 12A\16049.dwg, 4/21/2016 3:19:23 PM

NOTE: SETBACKS WERE ADDED BY THE PROJECT ARCHITECT TO SURVEY FROM THE CIVIL ENGINEERS

DESIGN REVIEW



SYMBOL LEGEND

CONSTRUCTION	
	CONSTRUCTION PARKING
	CONSTRUCTION STAGING AREA
	CONSTRUCTION DUMPSTER
	RECYCLING BIN
	PORTABLE RESTROOM
	CONSTRUCTION AREA OF DISTURBANCE

- NOTES**
1. ALL CONSTRUCTION TO ABIDE BY CITY ORDINANCES.
 2. CONSTRUCTION HOURS LIMITED TO MONDAY-FRIDAY 7:30 a.m. TO 7:30 p.m., SATURDAY 9:00 a.m. TO 6:00 p.m., AND SUNDAY (NO WORK)
 3. STREET CLEANING SHALL OCCUR AT A MINIMUM AT THE END OF CONSTRUCTION OR AS REQUIRED TO KEEP THE ADJACENT ROAD CLEAN AND SAFE DURING CONSTRUCTION.
 4. NO JOB SITE OFFICE IS PROPOSED AT EARLY STAGES OF CONSTRUCTION. ONCE THE HOUSE IS "ROUGHED-IN" THE GARAGE WILL BE THE JOB OFFICE.

A NEW ADDITION TO :
G&G RESIDENCE
 517 EAST PINE STREET HAILEY, IDAHO

(208) 756-6515 Ph

Vital Ink
 Environmental Architecture
 & Consulting, Inc.

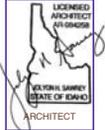
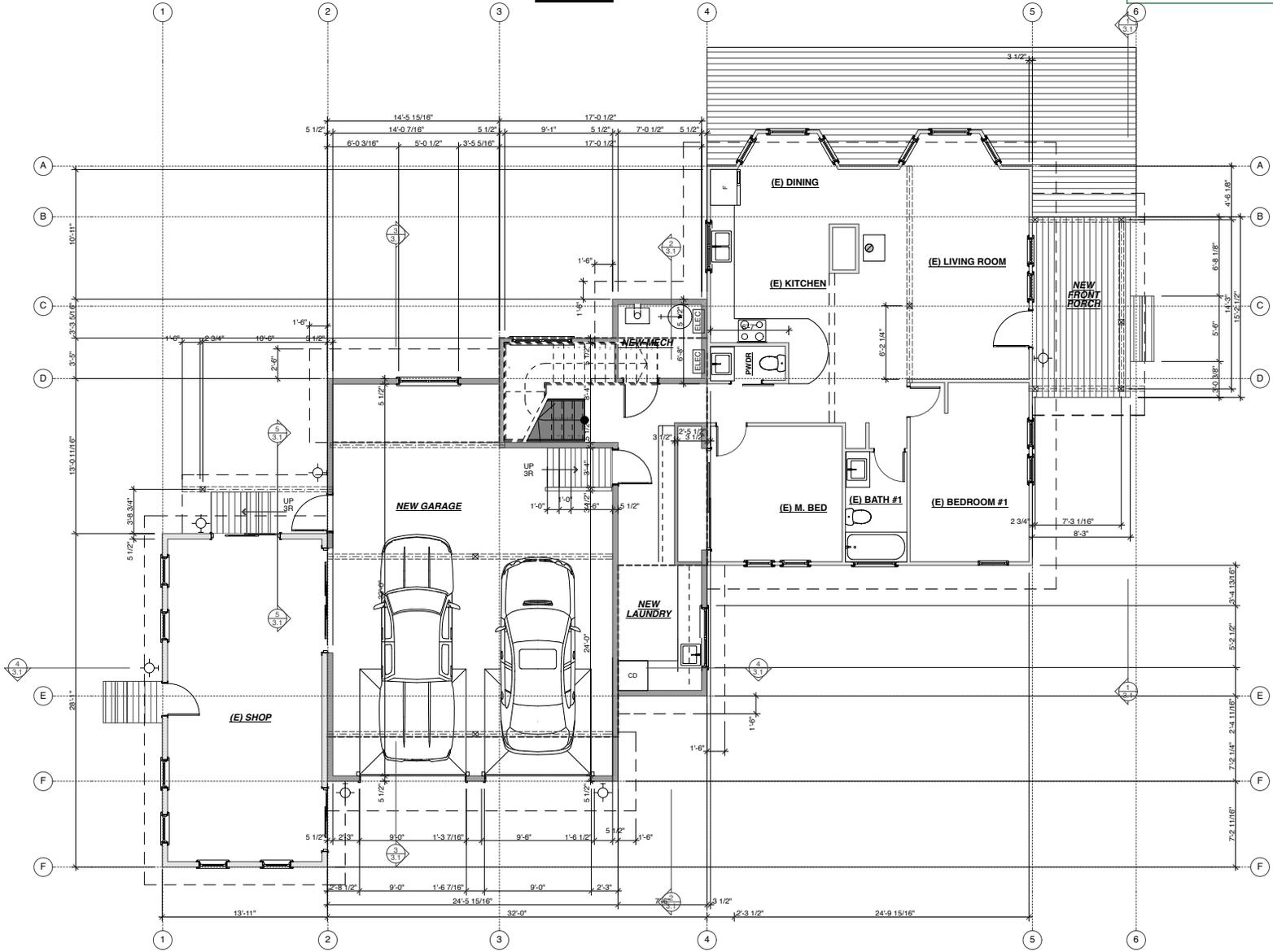
50 W. Main Street
 Boise, ID 83725

REVISIONS

DATE
 28 APRIL, 2017

NEW

DESIGN REVIEW



G&G RESIDENCE
 517 EAST PINE STREET HAILEY, IDAHO

A NEW ADDITION TO :

(208) 756-6515 Ph

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50 West Park
 Boise, ID 83703

REVISIONS

DATE
 28 APRIL, 2017

2.1



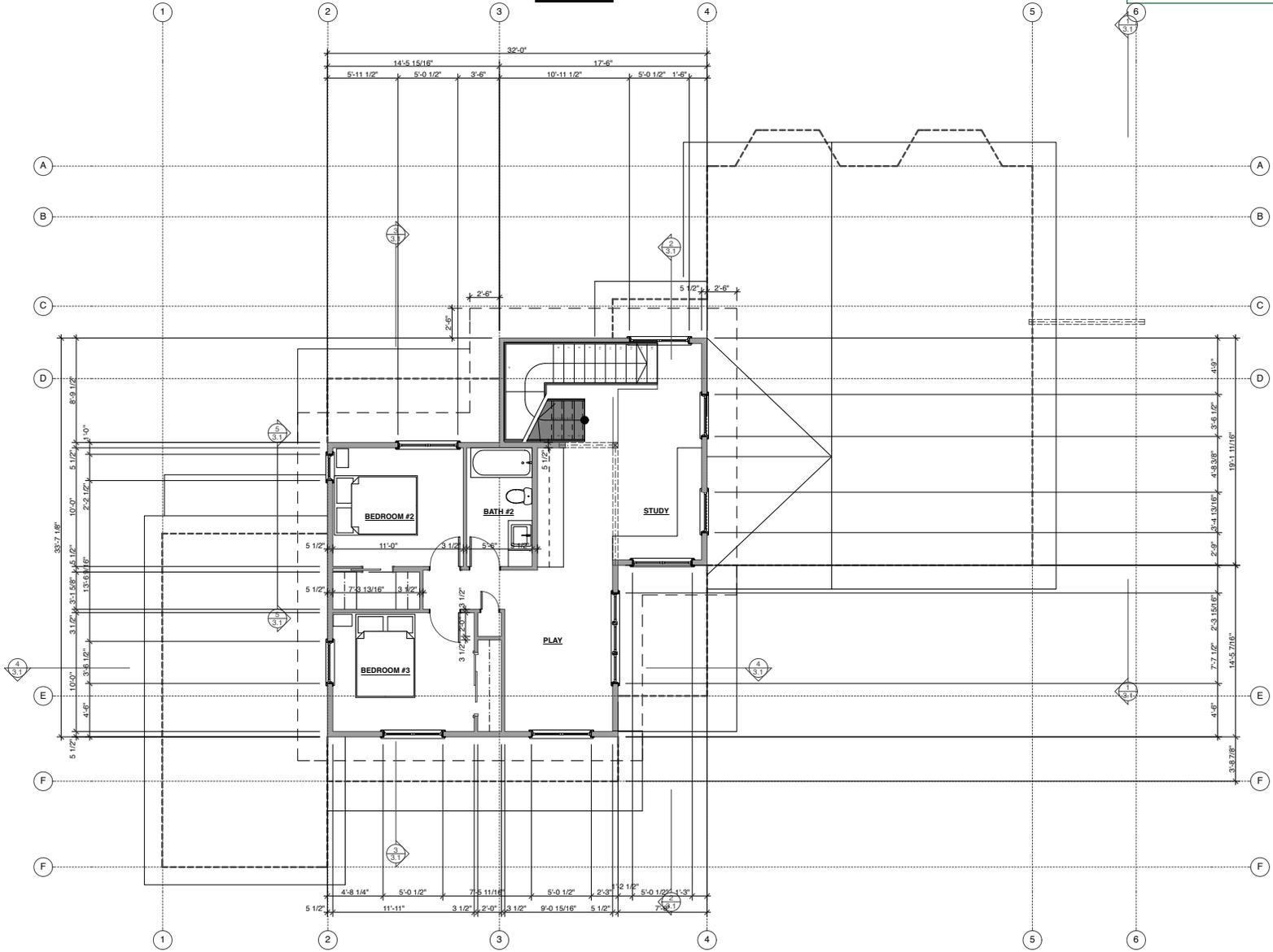
MAIN LEVEL FLOOR PLAN - NEW

1/4"=1'-0" **1**

PLOTTER: RIBIT7.PLMT

NEW

DESIGN REVIEW



UPPER LEVEL FLOOR PLAN - NEW

1/4"=1'-0" 1



G&G RESIDENCE
 517 EAST PINE STREET HAILEY, IDAHO

A NEW ADDITION TO :

Vital ink
 Environmental Architecture
 & Consulting

50 West Park
 Boise, ID 83713



(208) 756-6515 Ph
 (208) 756-6515 Fax

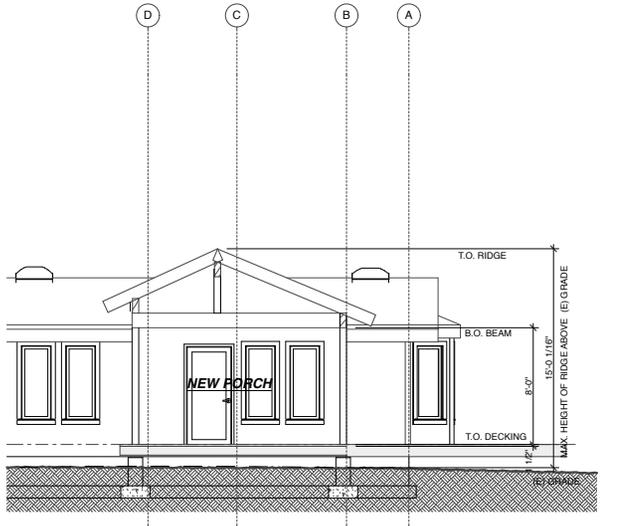
REVISIONS

DATE
 28 APRIL, 2017

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PROJECT: KBB17-7-1424

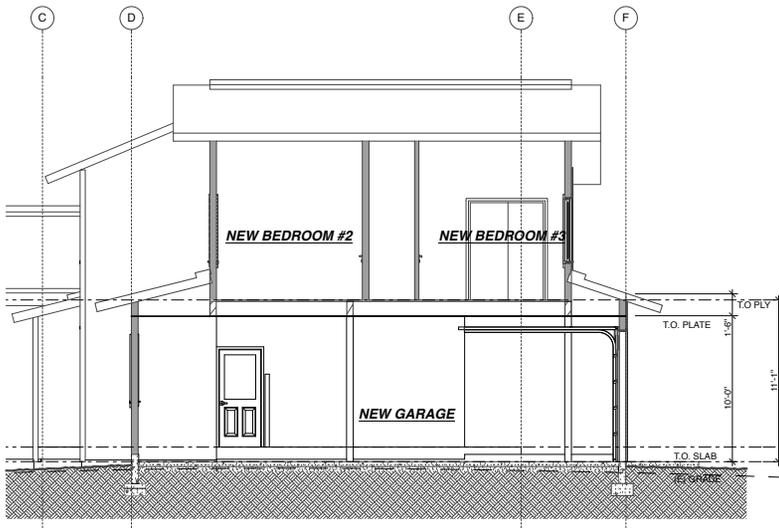
DESIGN REVIEW



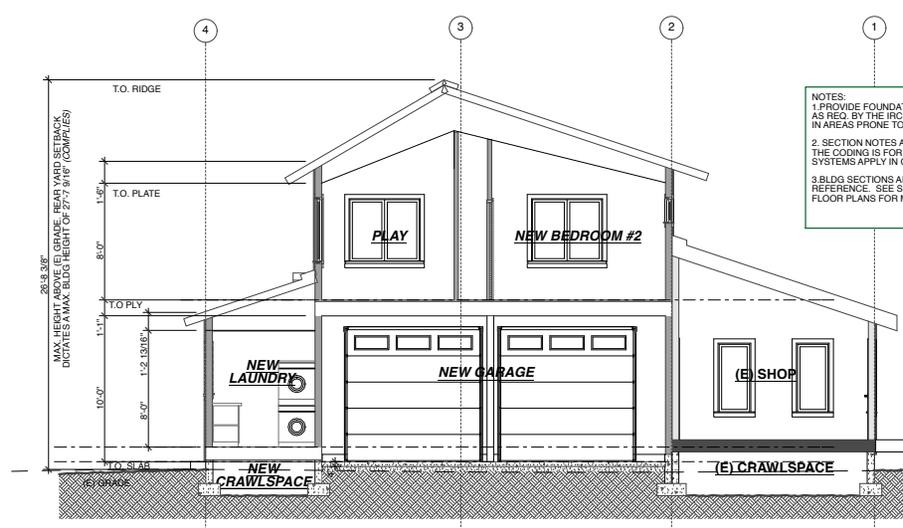
SECTION 1
1/4"=1'-0"



SECTION 2
1/4"=1'-0"



SECTION 3
1/4"=1'-0"



SECTION 4
1/4"=1'-0"

NOTES:
 1. PROVIDE FOUNDATION WATERPROOFING AS REQ. BY THE IRC FOR FOUNDATIONS IN AREAS PRONE TO HIGH WATER TABLES.
 2. SECTION NOTES ARE CODED ONCE PER SHEET. THE CODING IS FOR REFERENCE. THE SAME CONDITIONS SYSTEMS APPLY IN OTHER SECTION VIEW.
 3. BLDG SECTIONS ARE FOR DIMENSIONAL AND CONCEPT REFERENCE. SEE SPECIFIC DETAILS, ELEVATIONS, AND FLOOR PLANS FOR MORE INFORMATION.

A NEW ADDITION TO:
G&G RESIDENCE
 517 EAST PINE STREET HAILEY, IDAHO

(208) 756-6515 Ph



50 West 10th
 Boise, ID 83702

REVISIONS

DATE
 28 APRIL, 2017

3.1

PLOTTED: 8/17/17 7:24AM

EXISTING

DESIGN REVIEW



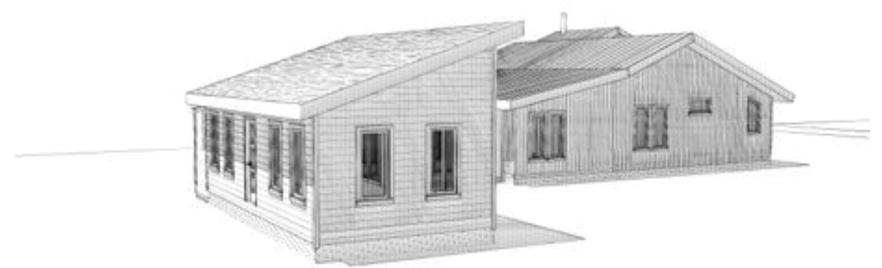
EXISTING-NORTHEAST VIEW



EXISTING-SOUTHEAST VIEW



EXISTING-SOUTHWEST VIEW



EXISTING-NORTHWEST VIEW

A NEW ADDITION TO :
G&G RESIDENCE
517 EAST PINE STREET HAILEY, IDAHO

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Environmental, Architectural
& Consulting, LLC
PO BOX 124
BOONVILLE, IDAHO 83313
(208) 756-6115

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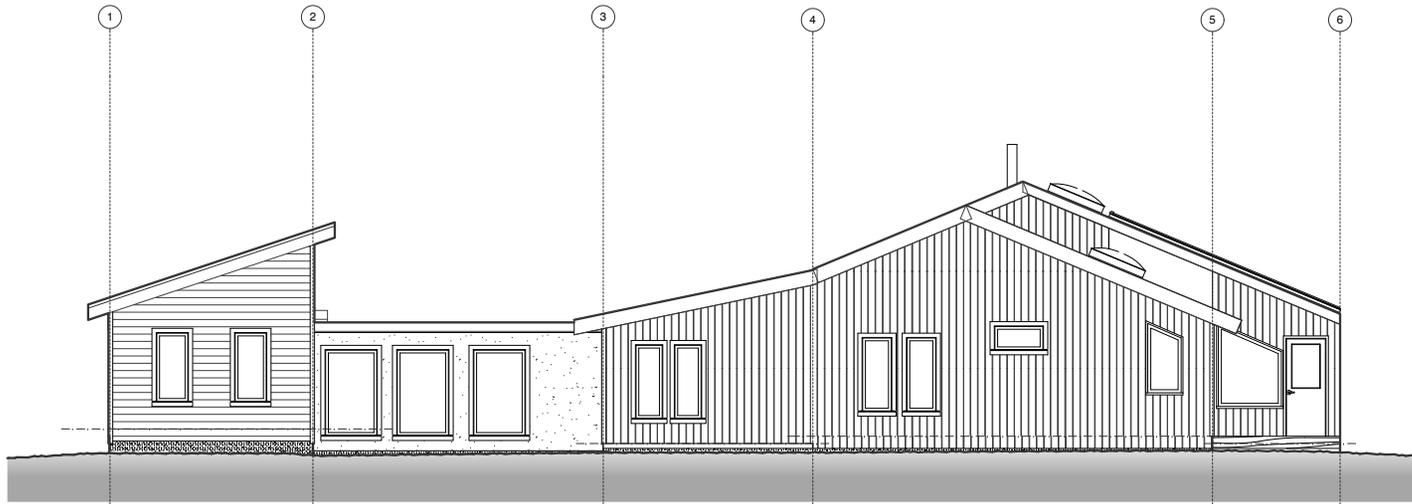
DATE
28 APRIL, 2017

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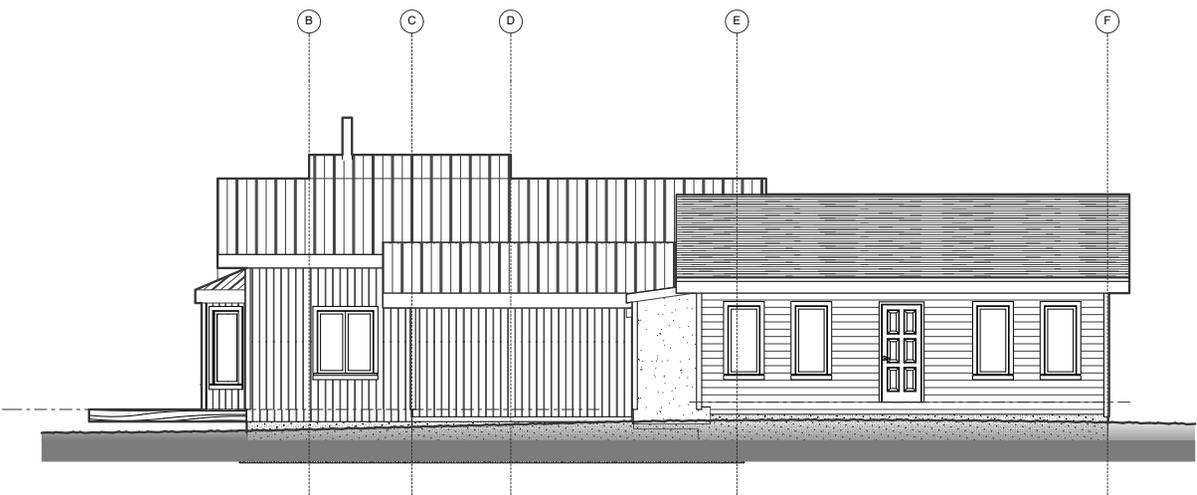
PROJECT: 160177-1-16-16

EXISTING

DESIGN REVIEW



WEST ELEVATION- EXISTING 1/4"=1'-0" 1



NORTH ELEVATION - EXISTING 1/4"=1'-0" 2

A NEW ADDITION TO:
G&G RESIDENCE
517 EAST PINE STREET HAILEY, IDAHO

(208) 756-6515 Ph



30 West Park
Boise, ID 83713

REVISIONS

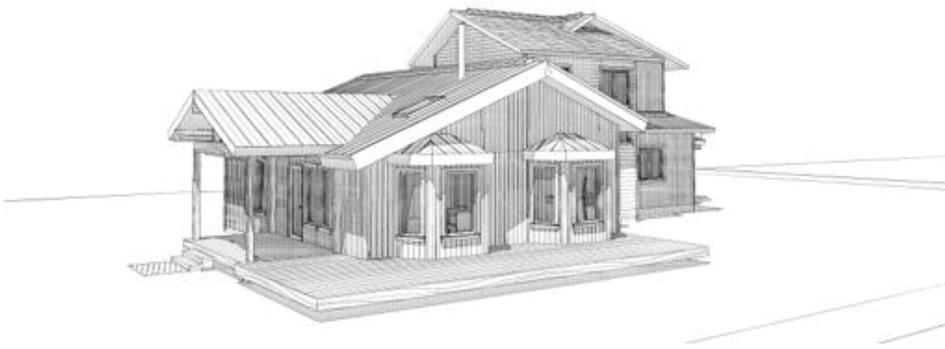
DATE
28 APRIL, 2017

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PROJECT: 160177-1-16-16

NEW

DESIGN REVIEW



NEW-NORTHEAST VIEW



NEW-SOUTHEAST VIEW



NEW-SOUTHWEST VIEW



NEW-NORTHWEST VIEW

A NEW ADDITION TO :
G&G RESIDENCE
517 EAST PINE STREET HAILEY, IDAHO

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Environmental Architecture
& Consulting, LLC

30 West Park
Boise, Idaho 83713

REVISIONS

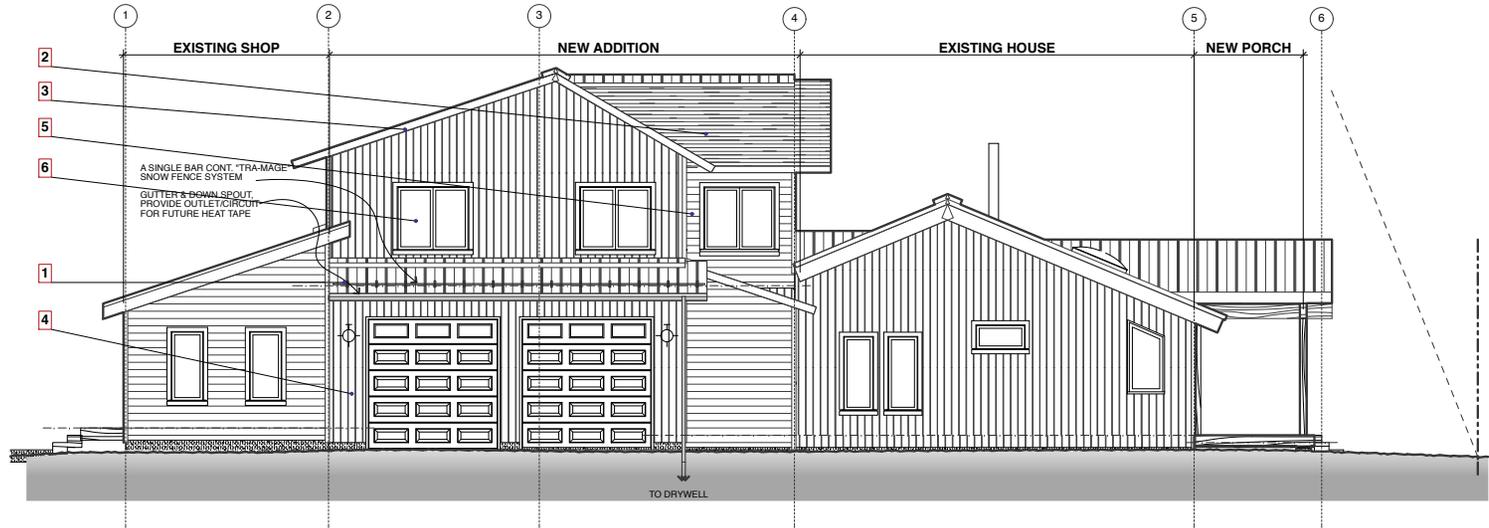
DATE
28 APRIL, 2017

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PLOTTED: 4/27/17 7:24AM

NEW

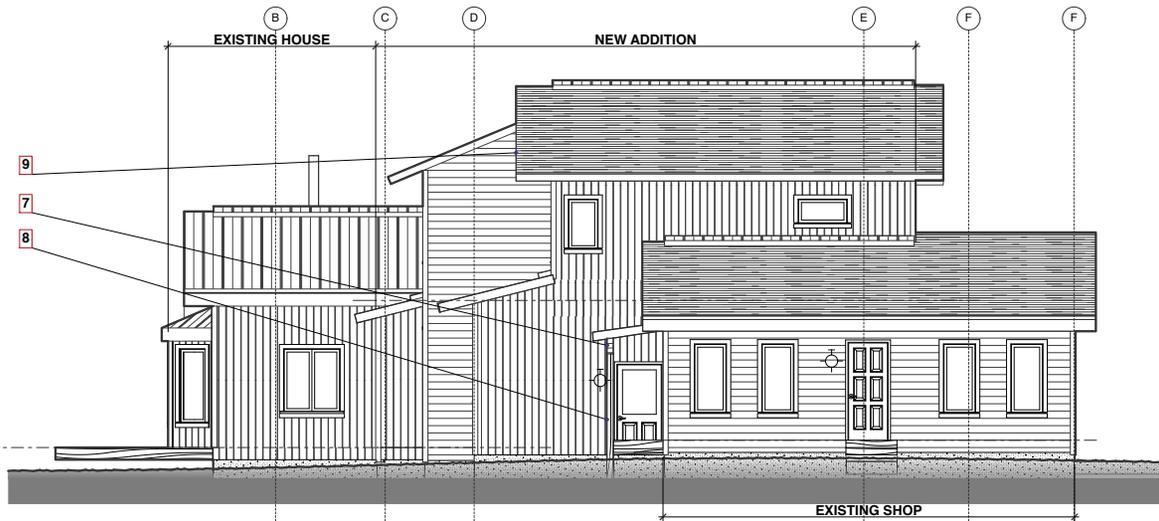
DESIGN REVIEW



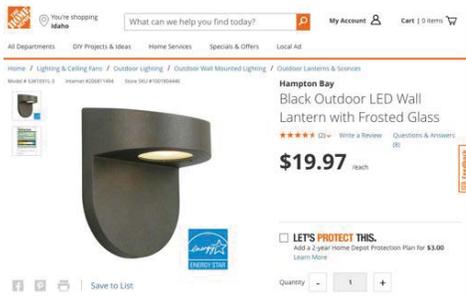
WEST ELEVATION- NEW 1/4"=1'-0" 1

EXTERIOR MATERIAL SPECIFICATION					
SURFACE/LOCATION	MATERIAL	MANUF.	MODEL/DESCRIPTION	FINISH/COLOR	NOTES
1 ROOF #1	METAL		STANDING SEAM	FLAT GALVY	BONDERIZED METAL FINISH
2 ROOF #2	COMPOSITE SHINGLE	PIABCO	PREMIER	ANTIQUE BLACK	
2 FASCIA/RIM	CEDAR	BEN MOORE		MONTEREY WHITE	SOLID BODY STAIN
3 FLASHINGS	METAL			FLAT GALVY	BONDERIZED METAL FINISH
4 SIDING #1	WOOD	BEN MOORE	VERT. SIDING TO MATCH EXISTING	OXIDE RED	SOLID BODY STAIN
5 SIDING #2	WOOD	BEN MOORE	HORIZ. LAB	OXIDE RED	SOLID BODY STAIN
6 WINDOWS	WOOD MTL CLAD	PELLA		WHITE	
7 BEAMS	WOOD	CABOTS	TIMBERS OR GLB	MISSION BROWN	STAIN, ROUGH SAWN
8 COLUMNS	WOOD	CABOTS	TIMBERS	MISSION BROWN	STAIN, ROUGH SAWN
9 SOFFITS	PLY	BEN MOORE	BRECKENRIDGE	OXIDE RED	ROUROUGH SAWN

NOTES:
 1. ALL MATERIALS SHALL BE INSTALLED AS REQ. PER MANUF.
 2. PROVIDE AT LEAST 12 GALLON OF ALL INTERIOR FINISHES FOR OWNERS FUTURE "TOUCH-UP" USE
 3. ALL FLASHING TO HAVE HEMMED EDGES FOR STRENGTH, DRIP EDGE, AND TO PREVENT "TIN CANNING"



NORTH ELEVATION - NEW 1/4"=1'-0" 2



LED BULB WILL BE 333 LUMENS, TOTAL WATTS 6, EFFICACY IS 65 LUMENS/WATT

EXTERIOR LIGHT FIXTURE 1/4"=1'-0" 3



A NEW ADDITION TO:
G&G RESIDENCE
 517 EAST PINE STREET HAILEY, IDAHO

Vital Ink
 Environmental Architecture
 & Consulting, LLC
 609 756-6515 Ph
 609 756-6515 Ph

35 West Dr
 Boise, ID 83713

REVISIONS

DATE
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PROJECT: 180177_P&M

NEW

DESIGN REVIEW

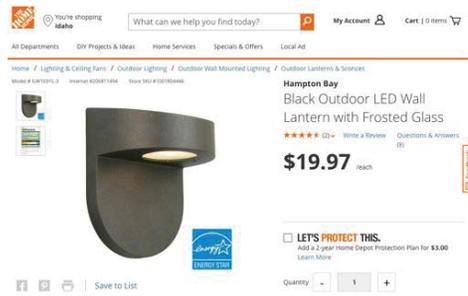


EAST ELEVATION - NEW

1/4"=1'-0"

EXTERIOR MATERIAL SPECIFICATION						
SURFACE/LOCATION	MATERIAL	MANUF.	MODEL/DESCRIPTION	FINISH COLOR	NOTES	
1 ROOF #1	METAL		STANDING SEAM	FLAT GALVY	BONDERIZED METAL FINISH	
2 ROOF #2	COMPOSITE SHINGLE	PIABCO	PREMIER	ANTIQUE BLACK		
2 FASCIA/RIM	CEDAR	BEN MOORE		MONTEREY WHITE	SOLID BODY STAIN	
3 FLASHING	METAL			FLAT GALVY	BONDERIZED METAL FINISH	
4 SIDING #1	WOOD	BEN MOORE	VERT. SIDING TO MATCH EXISTING	OXIDE RED	SOLID BODY STAIN	
5 SIDING #2	WOOD	BEN MOORE	HORIZ. LAP	OXIDE RED	SOLID BODY STAIN	
6 WINDOWS	WOOD MTL CLAD	PELLA		WHITE		
7 BEAMS	WOOD	CABOTS	TIMBERS OR GLB	MISSION BROWN	STAIN, ROUGH SAWN	
8 COLUMNS	WOOD	CABOTS	TIMBERS	MISSION BROWN	STAIN, ROUGH SAWN	
9 SOFFITS	PLY	BEN MOORE	BRECKENRIDGE	OXIDE RED	RODOUGH SAWN	

NOTES:
 1. ALL MATERIALS SHALL BE INSTALLED AS REQ. PER MANUF.
 2. PROVIDE AT LEAST 1/2 GALLON OF ALL INTERIOR FINISHES FOR OWNERS FUTURE "TOUCH-UP" USE
 3. ALL FLASHING TO HAVE HEMMED EDGES FOR STRENGTH, DRIP EDGE, AND TO PREVENT "TIN CANNING"

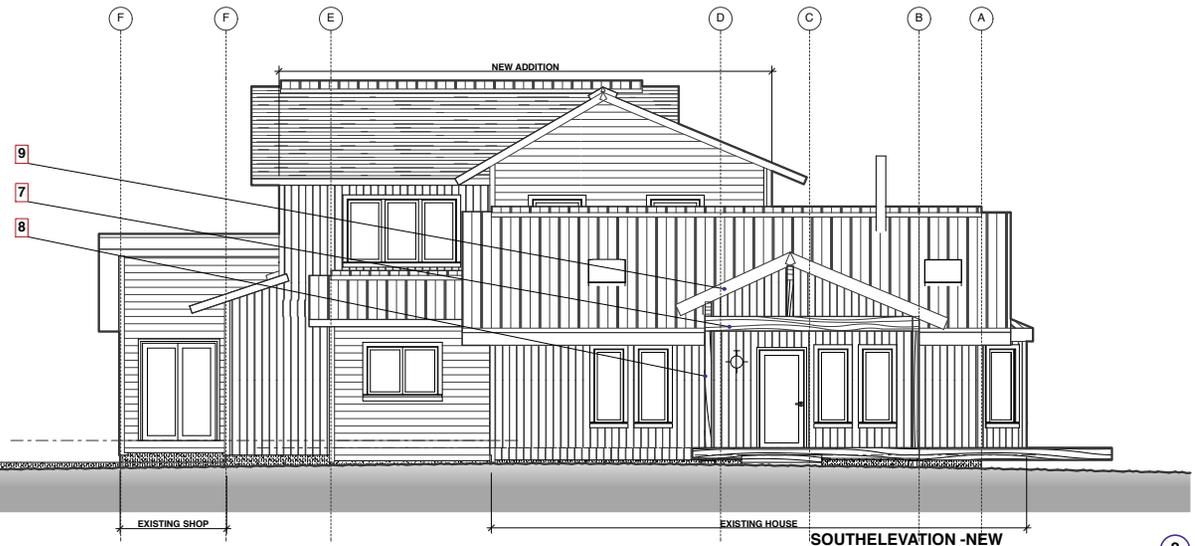


LED BULB WILL BE 333 LUMENS, TOTAL WATTS 6, EFFICACY IS 65 LUMENS/WATT

EXTERIOR LIGHT FIXTURE

1/4"=1'-0"

3



SOUTHELEVATION - NEW

1/4"=1'-0"

2



A NEW ADDITION TO:
G&G RESIDENCE
 517 EAST PINE STREET HAILEY, IDAHO

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 50 West 20th Street, Suite 100, Boise, ID 83725

REVISIONS

DATE
 28 APRIL, 2017

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PLOTTER: RMT17.PC3M



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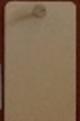
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EXTENSIS MATERIAL SPECIFICATION

NO.	DESCRIPTION	UNIT	QUANTITY	REMARKS
1	FOUNDATION	CONCRETE	1000	CONCRETE FOUNDATION
2	WALLS	BRICK	1000	BRICK WALLS
3	FLOORING	WOOD	1000	WOOD FLOORING
4	CEILING	PLASTER	1000	PLASTER CEILING
5	ROOFING	SHINGLES	1000	SHINGLE ROOFING
6	PAINT	PAINT	1000	PAINT
7	DOORS	WOOD	1000	WOOD DOORS
8	WINDOWS	WOOD	1000	WOOD WINDOWS
9	MECHANICAL	MATERIALS	1000	MATERIALS
10	LABOR	LABOR	1000	LABOR

8

9



7



6

5

3

Return to Agenda

**DESIGN REVIEW
STAFF REPORT**

TO: Hailey Planning and Zoning Commission

FROM: Lisa Horowitz Community Development Director

Design Review application by ARCH for two (2) four-unit, multi-family residential buildings, each 4,698 square feet, for a total of eight (8) units located on Shenandoah Drive, Hailey (Lots 1 & 2, Block 21, Woodside Subdivision #6) within the Limited Business (LB) Zoning District. The proposal also includes a 24'-wide asphalt paved driveway access from Shenandoah Drive and a 26'-wide driveway behind the proposed buildings for rear garage access.

HEARING: June 12, 2017

Applicant: ARCH

Request: Design Review for two new multi-family residential buildings comprised of four (4) units each.

Location: Shenandoah Drive, Hailey (Lots 1 & 2, Block 21, Woodside Subdivision #6)

Zoning: Limited Business (LB)

Notice

Notice for the public hearing was published in the Idaho Mountain Express on May 24, 2017 and mailed to property owners within 300 feet on May 24, 2017.

Application

The applicant is proposing the construction of two (2) four-unit, multi-family residential buildings, each 4,698 square feet, for a total of eight (8) units located on Shenandoah Drive south of Countryside Blvd. The proposed buildings will be accessed off of Shenandoah Drive via a new 24' private driveway and a 26' drive west of the buildings for rear garage access. The project includes construction of a concrete sidewalk along the entire frontage of the property and paths from the sidewalk to each unit. A trash enclosure is proposed at the south end of the 26' garage access driveway.

Procedural History

The application was submitted on April 28, 2017 and certified complete on May 4, 2017. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on May 30, 2017, in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.5 (B)	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Water and Sewer: <i>No comments</i>
				Building: <i>No comments</i>
			Streets: <i>No comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	8.2 Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>No signage proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	9.4 On-site Parking Req.	See Section 9.4 for applicable code. 9.4.1- Multi family dwelling: 1.5 spaces minimum per unit
			Staff Comments	<i>The Zoning Code requires 1.5 parking spaces for each single family residential unit. The proposed multi-family residential unit includes a 2 car garage (approx. 22'x23'") which meets the dimensional standards (9'x18') required. An additional 1 parking space is provided in each unit's driveway. Minimum parking requirements are met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8B.4.1 Outdoor Lighting Standards	8B.4.1 General Standards <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			Staff Comments	<i>Applicant will install Dark Sky compliant fixtures, as detailed in the submittal documents. Lights will be:</i> <ul style="list-style-type: none"> - Kichler Walden 1 Light LED Outdoor Wall Light - Locations identified on the floor plans
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Limited Business (LB) Zoning District Maximum Height: 35'

				<p>Setbacks: Front- 12' from street; garage doors 20' from front property line facing street Side & Rear- 15% of lot width, no less than 6', 10' max Lot Coverage: 70% Aggregate Maximum Floor Area: Lot 1- 18,905 SF; Lot 2-17,380 SF</p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - <i>Proposed Building Height: 32'-5 ½"</i> - <i>Front Setback: 21'</i> - <i>Side Setback:</i> <ul style="list-style-type: none"> o <i>Lot 1 is 134.91' wide, 15%=20.2'; therefore 10' min.</i> <ul style="list-style-type: none"> ▪ <i>North Side: 10'-6"</i> ▪ <i>West Side: 124'</i> ▪ <i>South Side: 33-11 ¼"</i> o <i>Lot 2 is 124.86' wide, 15%=18.7'; therefore 10' min.</i> <ul style="list-style-type: none"> ▪ <i>North Side: 23-11 ¼"</i> ▪ <i>West Side: 124'</i> ▪ <i>South Side: 10'-6"</i> - <i>Maximum Lot coverage: 70% in LR</i> <ul style="list-style-type: none"> o <i>Proposed lot coverage = 4,698 SF per lot = 17.4 % and 18.9% coverage</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.7 (A) Required Street Improvements Required	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			<i>Staff Comments</i>	<p><i>Concrete sidewalks are proposed along the frontage of Lots 1 and 2.</i></p> <p><i>Drainage improvements are proposed to infiltrate stormwater from Shenandoah Drive and the proposed east-west driveway in one drywell, and two drywells are proposed behind each building for the north-west driveway.</i></p>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey

1. Site Planning: 6A.8 (A) 1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			<i>Staff Comments</i>	<i>The proposed buildings are oriented north south for morning sun in the front of the buildings and evening sun in the rear of the buildings.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be</p>

				<p>preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p>
			Staff Comments	<i>Existing landscaping comprised of natural grasses- no trees exist on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			Staff Comments	<i>Pedestrian access provided with a sidewalk along the frontage of the lots and a path to the entry of each building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p>e. 9.2.2 Loading Space Requirements and Dimensions. The following regulations shall apply to all commercial and industrial uses with on-site loading areas. A. One (1) loading space shall be provided for any single retail, wholesale or warehouse occupancy with a floor area in excess of 4000 square feet, except grocery and convenience stores where one (1) loading space shall be provided for a floor area in excess of 1000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12 feet. B. Convenient access driveways to loading spaces from streets or alleys shall be</p>
			Staff Comments	<p><i>Trash is identified on site at the rear of building 2 near the south property line of lot 2. Trash facilities appear to be screened by an enclosure and location does not interfere with snow storage.</i></p> <p><i>Utility boxes not identified on plans. Proposed location shall meet this standard.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1e	<p>f. Where alleys exist, or are planned, they shall be utilized for building services.</p>
			Staff Comments	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)1f	<p>g. Vending machines located on the exterior of a building shall not be visible from any street.</p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1g	<p>h. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. <i>(NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</i></p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>

			Staff Comments	<i>All on-site parking is proposed at the rear of each building with screening provided by the buildings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1h	i. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			Staff Comments	<i>On-site parking is accessed via one approach off of Shenandoah Drive. Because the single drive will be utilized to access both lots, an access easement shall be granted on both lots.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1i	j. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			Staff Comments	<i>Snow storage proposed are practical. The applicant may want to consider providing snow storage for the building 2 driveways on lot 2.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1j	k. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			Staff Comments	<i>25% of the improved parking/vehicle and pedestrian circulation areas for both lots 1 and 2 require 2,905 square feet of snow storage. The applicant has shown 3,035 square feet of snow storage for both lots.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1k	l. A designated snow storage area shall not have any dimension less than 10 feet.
			Staff Comments	<i>Dimensional requirements have been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			Staff Comments	<i>There appears to be adequate land area for snow storage on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			Staff Comments	<i>None of the above are impeded by snow storage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			Staff Comments	<i>Snow storage areas are proposed to be lawn.</i>

2. Building Design: 6A.8 (A) 2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			Staff Comments	<i>The proposed multi-family residential buildings contain 4 units each that are consistent with the proportion, size, shape, and rooflines of Sweetwater and the units located on Winterhaven Drive which are both in proximity to the proposed project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2b	b. Standardized corporate building designs are prohibited.
			Staff Comments	<i>The existing building complies with this standard.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p>
			<i>Staff Comments</i>	<i>The buildings are both designed with individual covered entry ways for each unit which break up the height of the building. Windows are provided along the primary pedestrian access points to encourage human activity. Additionally, the building façade steps back to break up the main wall plane.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p>
			<i>Staff Comments</i>	<i>The front façade of the buildings include windows, covered pedestrian entrances, building off-sets, front entry porch projections, and change of material and color to break up the large building surface.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p>
			<i>Staff Comments</i>	<i>The proposed buildings are new buildings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p>
			<i>Staff Comments</i>	<i>The exterior of the building includes both horizontal and vertical hardie panel siding and board and batt siding of varying colors. The variation of siding width and horizontal versus vertical siding creates varying textures.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p>
			<i>Staff Comments</i>	<i>The materials and color scheme is contemporary and suitable to the Hailey community. The colors are compatible with both Sweetwater to the north and the existing residential single and multi-family units to the south.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p>
			<i>Staff Comments</i>	<i>The proposed building is two stories but does not have any flat roofs.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing.

				<p>v) Earth berming against exterior walls</p> <p>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</p>
			<i>Staff Comments</i>	<i>The proposed building will meet items iii and iv. Additionally, in order to minimize energy consumption & maximize energy cost savings, the project will be using Energy Star rated appliances and high efficiency furnaces and hot water heaters</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<p><i>Pedestrian entrances are covered with asphalt shingle roofs pitched at 4:12. Snow is not likely to slide off of asphalt shingles with a shallow pitch. Gutters and downspouts are proposed along portions of the covered porches that shed directly onto pedestrian paths.</i></p> <p><i>Along the rear of the buildings, the asphalt shingle roof pitches towards the driveways at 4:12. Gutters and downspouts are proposed.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>
			<i>Staff Comments</i>	<i>Gutters and downspouts are provided on both the west and east facing pedestrian access points. The driveway where shaded from building 2 to the south will be plowed and is not impacted by roof runoff because of the landscape strip.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p>
			<i>Staff Comments</i>	<i>No signage is proposed.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 6A.8 (A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3b	<p>b. Accessory structures shall be located at the rear of the property.</p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3c	<p>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</p>

			<i>Staff Comments</i>	<i>No fencing or walls proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>No roof top projections or equipment proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>Trash receptacle areas appear to be screened by trash enclosure. Other ground mounted mechanical equipment is not identified on plans, but shall meet this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All proposed service lines into the addition will be underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances are proposed on existing utility poles.</i>

4. Landscaping: 6A.8 (A) 4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>Applicant shall confirm that all proposed plant material is drought tolerant. Turf does not appear to be drought tolerant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>Applicant shall confirm that all proposed plant materials are hardy to Zone 4.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that

				minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>Irrigation design is not specified on plans. All irrigation for proposed landscaping shall meet this standard.</i>
<input checked="" type="checkbox"/>		<input type="checkbox"/>	6A.8(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			<i>Staff Comments</i>	<i>The proposed landscape plan includes a combination of trees and shrubs that satisfies this standard. 8 total new trees are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>The proposed landscaping incorporates a combination of trees and shrubs. A variation of barberry, dogwood, and rose shrubs are proposed to create variation of shape and color.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>Stormwater infiltration is proposed on site. Stormwater retention is not proposed on site. Entire landscaped area will need to be irrigated and it is unlikely that enough stormwater would be captured on site to provide irrigation of landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>Maintenance is planned for all landscape areas.</i>
<input type="checkbox"/>		<input checked="" type="checkbox"/>	6A.8(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>See "i" above.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>See "i" above.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4l	m. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>No retaining walls are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>No retaining walls are planned.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	6A.8(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>No retaining walls are planned.</i>

6A.6 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Ordinance.

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following conditions are suggested for any approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Title at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
 - e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
 - f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
 - g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) All utilities will be located underground, consistent with 6A.9.C.1.
- i) A shared access easement benefiting Lots 1A and 2A shall be recorded or the lot line separating Lots 1A and 2A shall be eliminated prior to Certificate of Occupancy.

Motion Language

Approval:

Motion to approve the Design Review application by ARCH for two four- unit multi-residential buildings, each 4,698 square feet, for a total of eight (8) units located on Shenandoah Drive, Hailey (Lots 1 & 2, Block 21, Woodside Subdivision #6) within the Limited Business (LB) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions (a) through (i) are met.

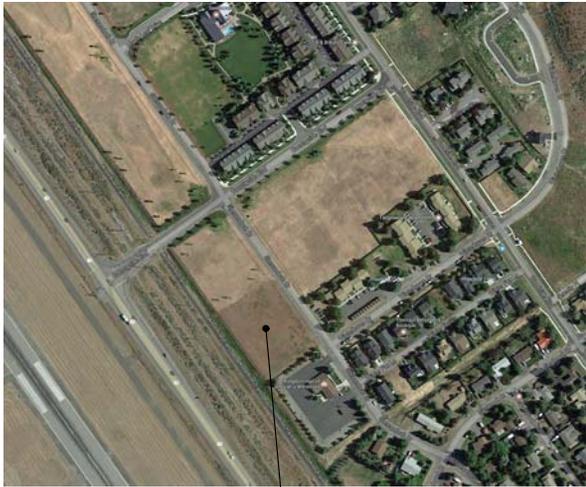
Denial:

Motion to deny the Design Review application by ARCH for two (2) four-unit, multi-family residential buildings, each 4,698 square feet, for a total of eight (8) units located on Shenandoah Drive, Hailey (Lots 1 & 2, Block 21, Woodside Subdivision #6) within the Limited Business (LB) Zoning District, finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

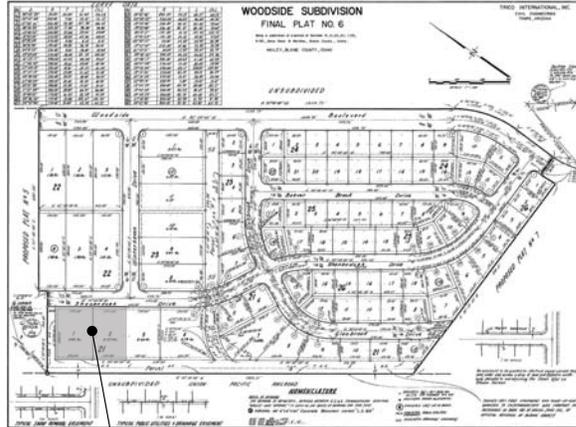
Motion to continue the public hearing on the Design Review application by ARCH for two (2) four-unit, multi-family residential buildings, each 4,698 square feet, for a total of eight (8) units located on Shenandoah Drive, Hailey (Lots 1 & 2, Block 21, Woodside Subdivision #6) within the Limited Business (LB) Zoning District to _____ [Commission should specify a date].

VICINITY MAP



SITE

NEIGHBORHOOD PLAT MAP



SITE

BUILDING DATA

PROJECT NAME: SHENANDOAH & SHENANDOAH 2
 STREET ADDRESS: TBD SHENANDOAH DRIVE, HAILEY, IDAHO
 LEGAL DESCRIPTION: LOTS 1 & 2, BLOCK 21, WOODSIDE SUBDIVISION NO. 6, HAILEY, IDAHO
 PARCEL NUMBER: RPH04750210010, RPH04750210020
 CITY OF HAILEY ZONING: LB
 IBC OCC. CLASSIFICATION: RESIDENTIAL GROUP R-2
 IBC CONSTRUCTION TYPE: VB

SITE: LOT 1 = 0.62 ac / ± 27,007 sq.ft.
 LOT 2 = 0.57 ac / ± 24,829 sq.ft.

BUILDING FOOTPRINT: BUILDING 1 = 4,698 sq.ft. (INCL. COVERED PORCH AREAS)
 BUILDING 2 = 4,698 sq.ft. (INCL. COVERED PORCH AREAS)
 TOTAL = 9,396 sq.ft.

LOT COVERAGE: BUILDING 1 = 17.40%
 BUILDING 2 = 18.9%

BUILDING SQ.FT. DATA:	BUILDING 1		BUILDING 2	
	FIRST FLOOR:	2,352 sq.ft.	FIRST FLOOR:	2,352 sq.ft.
	SECOND FLOOR:	3,186 sq.ft.	SECOND FLOOR:	3,186 sq.ft.
	TOTAL LIV. SQ.FT.:	5,538 sq.ft.	TOTAL LIV. SQ.FT.:	5,538 sq.ft.
	GARAGE:	2,064 sq.ft.	GARAGE:	2,064 sq.ft.
	COVERED PORCH:	282 sq.ft.	COVERED PORCH:	282 sq.ft.
	TOTAL:	7,884 sq.ft.	TOTAL:	7,884 sq.ft.

BUILDING SETBACKS:	BUILDING 1		BUILDING 2	
	FRONT YARD (EAST):	21'-0"	FRONT YARD:	21'-0"
	SIDE YARD (NORTH):	10'-6"	SIDE YARD (NORTH):	23'-11 1/4"
	SIDE YARD (SOUTH):	33'-11 1/4"	SIDE YARD (SOUTH):	10'-6"
	REAR YARD (WEST):	124'-0"	REAR YARD (WEST):	124'-0"

BUILDING HEIGHT: ± 32'-5 1/2"

EXTERIOR VIEW



PROJECT NOTES

1. ADDRESS MARKER W/6 INCH (MIN.) ADDRESS NUMBERS TO BE LOCATED AT EACH FRONT PORCH, CLEARLY VISIBLE FROM THE STREET.
2. WATER SERVICE - FROM EXISTING CITY OF HAILEY WATER MAIN ALONG SHENANDOAH (SEE CIVIL SITE PLAN - PAGE C1)
3. SEWER SERVICE - FROM EXISTING CITY OF HAILEY SEWER MAIN ALONG SHENANDOAH (SEE CIVIL SITE PLAN - PAGE C1)
4. ALL UTILITIES (POWER, GAS, CABLE ETC.) TO BE UNDERGROUND
5. ALL EXTERIOR LIGHTING & ALL EXTERIOR LIGHT FIXTURES WILL MEET THE CITY OF HAILEY'S DARK SKY ORDINANCE

DRAWING INDEX - DESIGN REVIEW

T TITLE PAGE; NO SCALE
 AS100 SITE PLAN - ARCHITECTURAL; SCALE: 1"=16'-0"
 L100 LANDSCAPE PLAN; SCALE: 1"=16'-0"
 C1 CIVIL SITE PLAN; SCALE: 1"=16'-0"

BUILDING 1
 A100-1 FIRST FLOOR PLAN; SCALE: 1/4"=1'-0"
 A101-1 SECOND FLOOR PLAN; SCALE: 1/4"=1'-0"
 A102-1 ROOF PLAN; SCALE: 1/4"=1'-0"
 A200-1 EXTERIOR ELEVATIONS; SCALE: 1/4"=1'-0"
 A201-1 EXTERIOR ELEVATIONS; SCALE: 1/4"=1'-0"
 A300-1 BUILDING SECTIONS; SCALE: 1/4"=1'-0"

BUILDING 2
 A100-2 FIRST FLOOR PLAN; SCALE: 1/4"=1'-0"
 A101-2 SECOND FLOOR PLAN; SCALE: 1/4"=1'-0"
 A102-2 ROOF PLAN; SCALE: 1/4"=1'-0"
 A200-2 EXTERIOR ELEVATIONS; SCALE: 1/4"=1'-0"
 A201-2 EXTERIOR ELEVATIONS; SCALE: 1/4"=1'-0"
 A300-2 BUILDING SECTIONS; SCALE: 1/4"=1'-0"

A600 GARBAGE ENCLOSURE
 A900 EXTERIOR PERSPECTIVES; SCALE: N/A
 A901 EXTERIOR PERSPECTIVES; SCALE: N/A



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SHENANDOAH 1 & SHENANDOAH 2
 LOTS 1 & 2, BLOCK 21, WOODSIDE SUB. #6

TITLE PAGE

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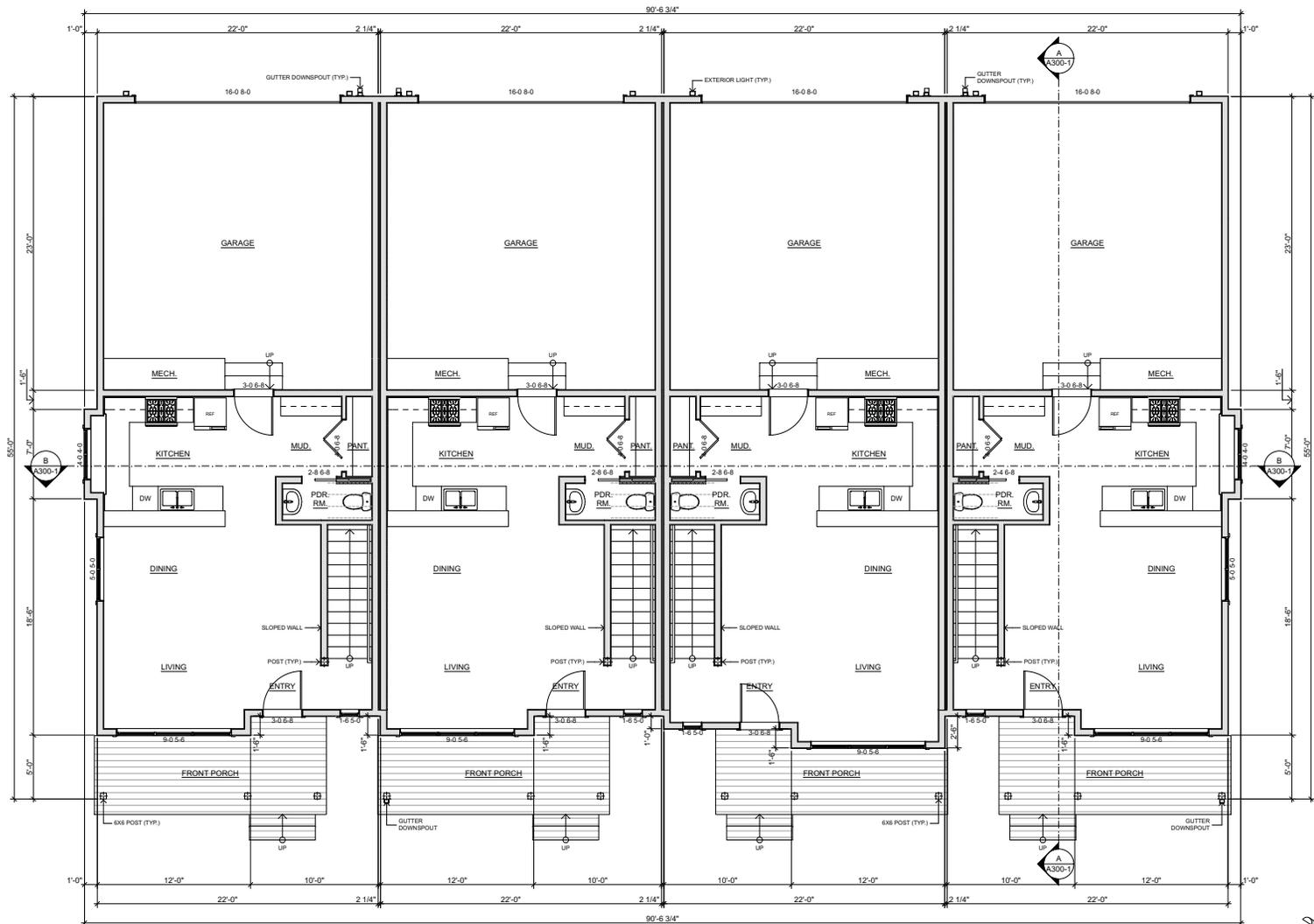
PRINT DATE

4/28/17

DRAWING SCALE

NO SCALE

T



BUILDING 1 - UNIT1
 FIRST FLOOR = 586 sq.ft.
 SECOND FLOOR = 792 sq.ft.
 TOTAL LIVING = 1,378 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 1 - UNIT2
 FIRST FLOOR = 579 sq.ft.
 SECOND FLOOR = 792 sq.ft.
 TOTAL LIVING = 1,371 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 1 - UNIT3
 FIRST FLOOR = 601 sq.ft.
 SECOND FLOOR = 810 sq.ft.
 TOTAL LIVING = 1,411 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 1 - UNIT4
 FIRST FLOOR = 586 sq.ft.
 SECOND FLOOR = 792 sq.ft.
 TOTAL LIVING = 1,378 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 1

FIRST FLOOR = 2,352 sq.ft.
 SECOND FLOOR = 3,186 sq.ft.
 TOTAL LIVING = 5,538 sq.ft.
 GARAGE/MECH. = 2,024 sq.ft.
 TOTAL SQ.FT. = 7,562 sq.ft.

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SHELANDOAH 1
 LOT 1, BLOCK 21, WOODSIDE SUB. #6
FIRST FLOOR PLAN

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04282011	DESIGN REVIEW SUBMITTAL

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 4/28/17
 DRAWING SCALE
 1/4" = 1'-0"

A100-1



BUILDING 1 - UNIT1
 FIRST FLOOR = 586 sq.ft.
 SECOND FLOOR = 792 sq.ft.
 TOTAL LIVING = 1,378 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

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BUILDING 1

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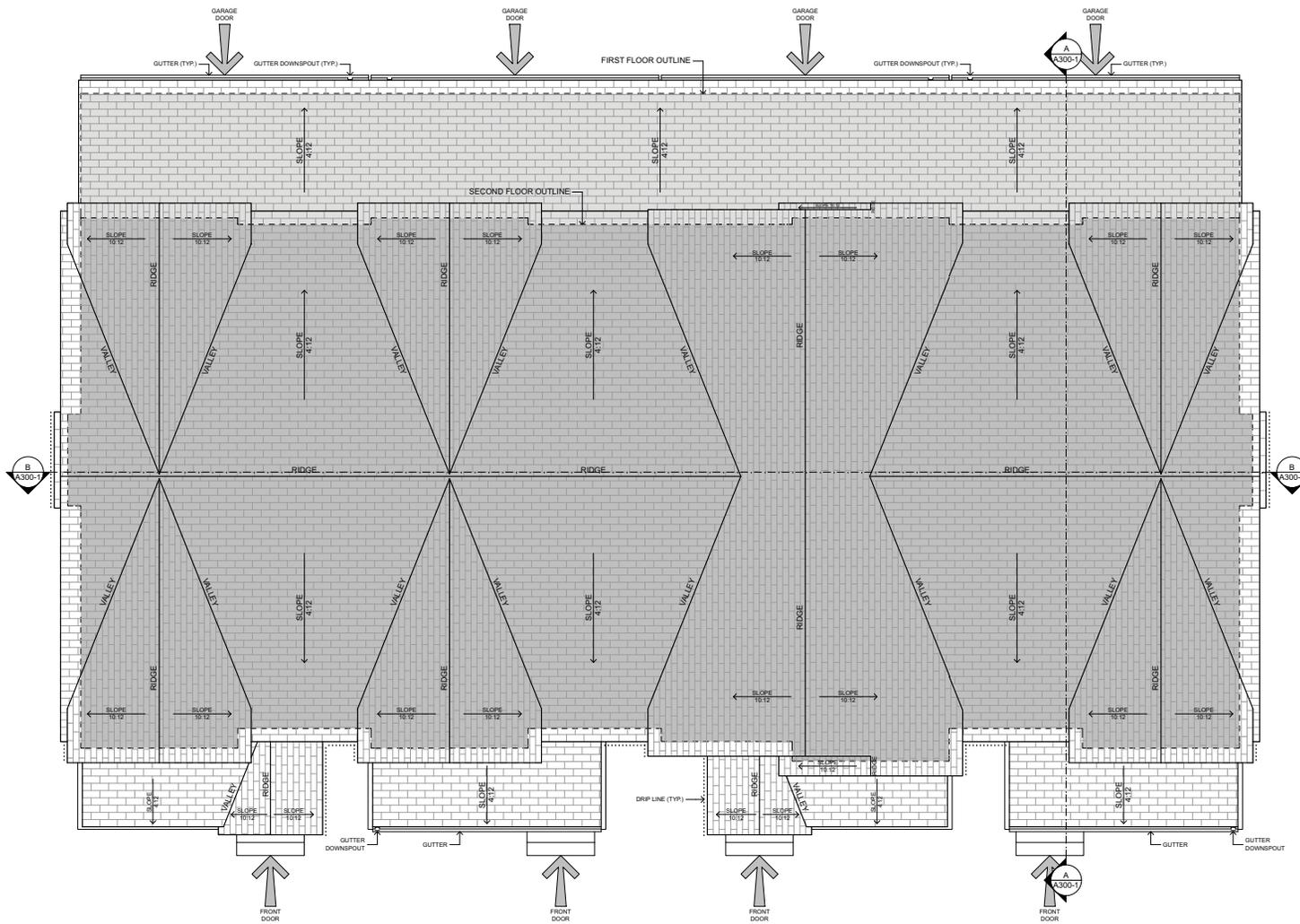
LICENSED ARCHITECT AP-664214
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 SECOND FLOOR PLAN

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 1/4" = 1'-0"

A101-1



BUILDING 1



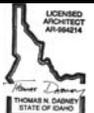
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SHENANDOAH 1
 LOT 1, BLOCK 21, WOODSIDE SUB. #6
 ROOF PLAN

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PRINT DATE
 4/28/17
 DRAWING SCALE
 1/4" = 1'-0"

A102-1



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SHE NANDOAH 1

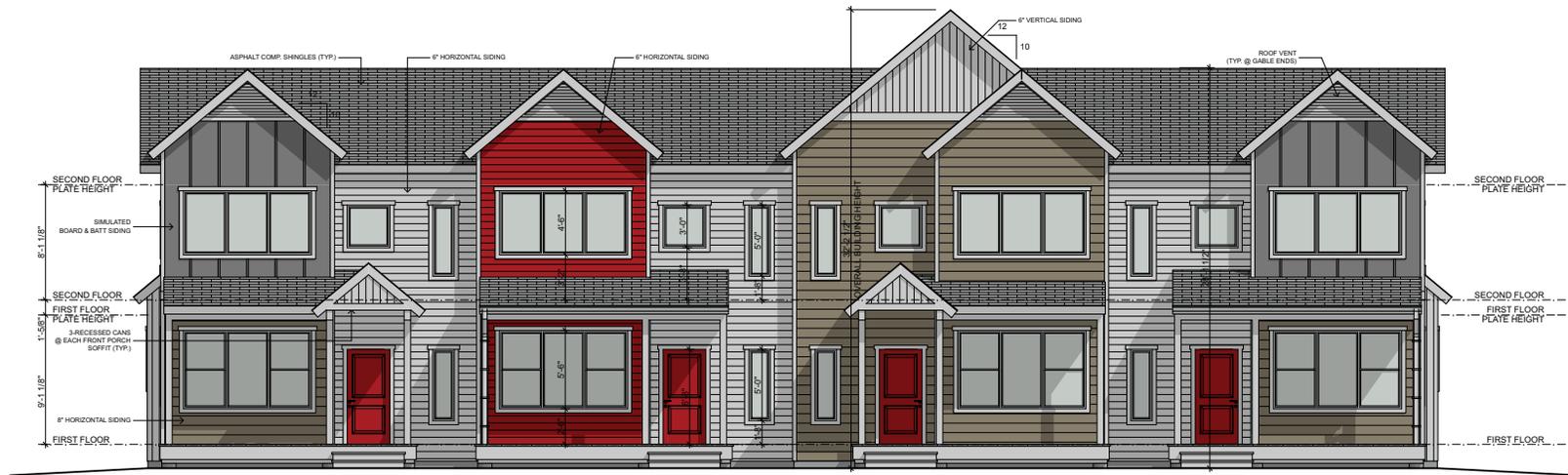
LOT 1, BLOCK 21, WOODSIDE SUB. #6

EXTERIOR ELEVATIONS

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 DRAWING SCALE
 1/4" = 1'-0"

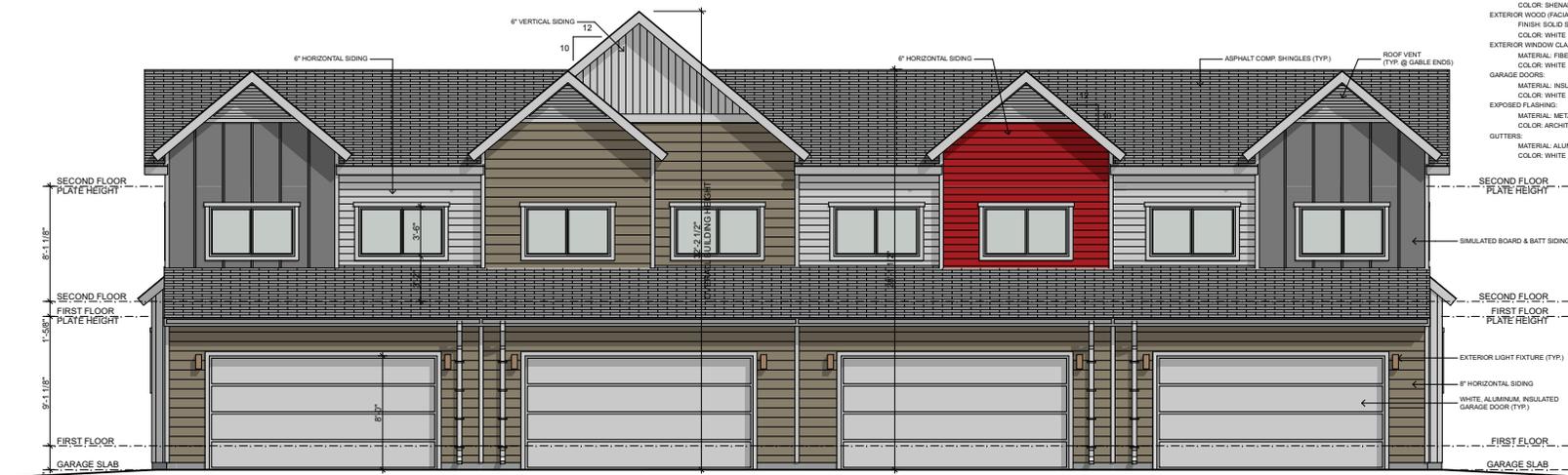
A200-1



EAST ELEVATION 1/4" = 1'-0"

EXTERIOR MATERIALS INFORMATION

- EXTERIOR SIDING - HORIZONTAL
 MATERIAL: HARDIE PLANK LAP SIDING (OR EQUIVALENT)
 COLOR: KHAKI BROWN, COUNTRYLANE RED, ARCTIC WHITE
 FINISH: SELECT CEDARHILL
- EXTERIOR SIDING - VERTICAL
 MATERIAL: HARDIE PANEL SIDING (OR EQUIVALENT)
 COLOR: ARCTIC WHITE
 FINISH: SIERRA 8
- EXTERIOR SIDING: BOARD & BATT
 MATERIAL: HARDIE PANEL SIDING (OR EQUIVALENT)
 COLOR: BOOTHBAY BLUE
 FINISH: SELECT CEDARHILL
 BATTS: HARDIE TRIM BOARD
 COLOR: BOOTHBAY BLUE
 FINISH: RUSTIC GRAYN BATTEN BOARDS
- ROOFING:
 MATERIAL: CERTANTEED XT 30 IR ASPHALT SHINGLES
 COLOR: SHENANDOAH
 EXTERIOR WOOD (FACIA, POSTS, BEAMS ETC.)
 FINISH: SOLID STAIN
 COLOR: WHITE
- EXTERIOR WINDOW CLADDING:
 MATERIAL: FIBERGLASS
 COLOR: WHITE
- GARAGE DOORS:
 MATERIAL: INSULATED ALUMINUM
 COLOR: WHITE
 EXPOSED FLASHING:
 MATERIAL: METAL
 COLOR: ARCHITECTURAL BRONZE
- GUTTERS:
 MATERIAL: ALUMINUM
 COLOR: WHITE



WEST ELEVATION 1/4" = 1'-0"



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SHEANDOAH 1

LOT 1, BLOCK 21, WOODSIDE SUB. #6

EXTERIOR ELEVATIONS

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 1/4" = 1'-0"

A201-1

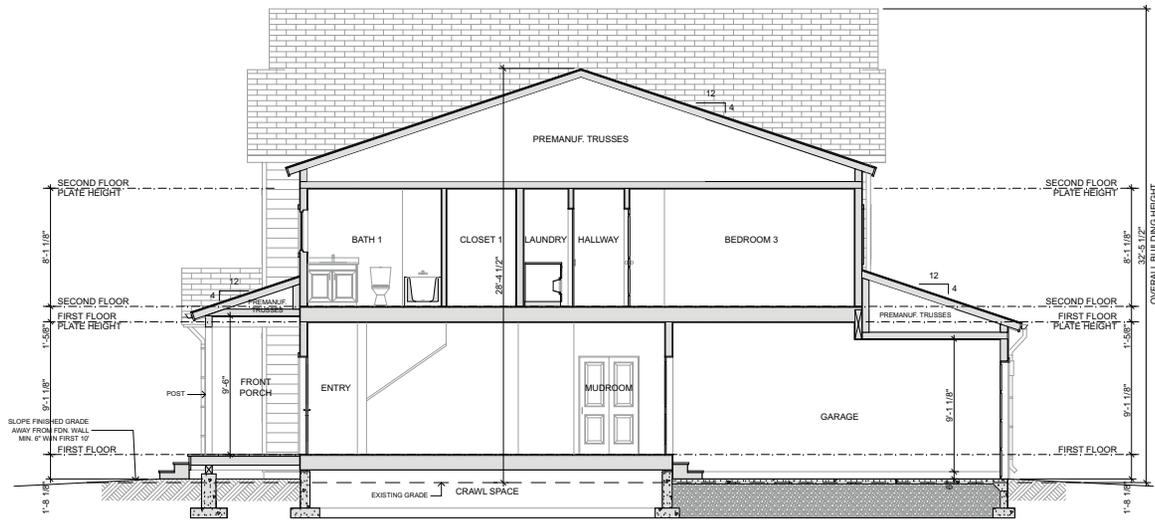


NORTH ELEVATION 1/4" = 1'-0"

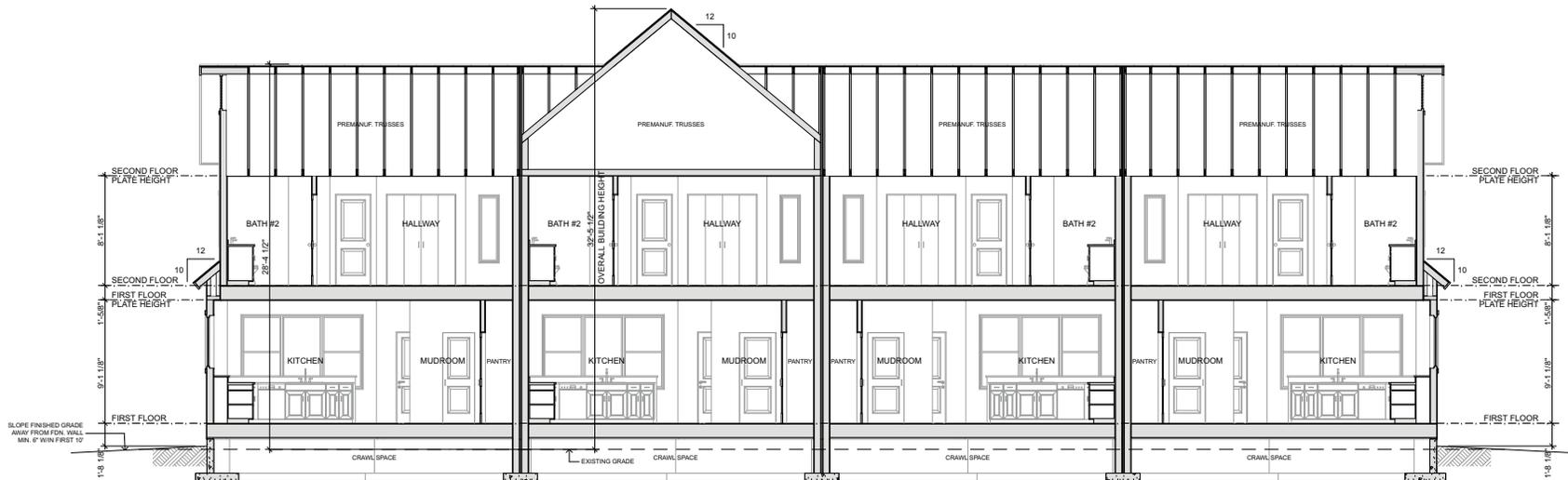


SOUTH ELEVATION 1/4" = 1'-0"

- EXTERIOR MATERIALS INFORMATION**
- EXTERIOR SIDING - HORIZONTAL:
 MATERIAL: HARDIE PLANK LAP SIDING (OR EQUIVALENT)
 COLOR: KHAKI BROWN, COUNTRYLANE RED, ARCTIC WHITE
 FINISH: SELECT CEDARHILL
 - EXTERIOR SIDING - VERTICAL:
 MATERIAL: HARDIE PANEL SIDING (OR EQUIVALENT)
 COLOR: ARCTIC WHITE
 FINISH: SIERRA 8
 - EXTERIOR SIDING - BOARD & BATT:
 MATERIAL: HARDIE PANEL SIDING (OR EQUIVALENT)
 COLOR: BOOTHBAY BLUE
 FINISH: SELECT CEDARHILL
 BATTS: HARDIE TRIM BOARD
 COLOR: BOOTHBAY BLUE
 FINISH: RUSTIC GRAYN BATTEN BOARDS
 - ROOFING:
 MATERIAL: CERTANTEEED XT 30 IR ASPHALT SHINGLES
 COLOR: SHENANDOAH
 - EXTERIOR WOOD (FACIA, POSTS, BEAMS ETC.):
 FINISH: SOLID STAIN
 COLOR: WHITE
 - EXTERIOR WINDOW CLADDING:
 MATERIAL: FIBERGLASS
 COLOR: WHITE
 - GARAGE DOORS:
 MATERIAL: INSULATED ALUMINUM
 COLOR: WHITE
 - EXPOSED FLASHING:
 MATERIAL: METAL
 COLOR: ARCHITECTURAL BRONZE
 - GUTTERS:
 MATERIAL: ALUMINUM
 COLOR: WHITE



A SECTION 1/4" = 1'-0"



B SECTION 1/4" = 1'-0"



TND ARCHITECTS PLLC
 THOMAS N. DABNEY
 ARCHITECT
 308 225 2255
 1008 N. DABNEY COOL
 48 EAST 65th STREET
 HAILEY, IDAHO 83403

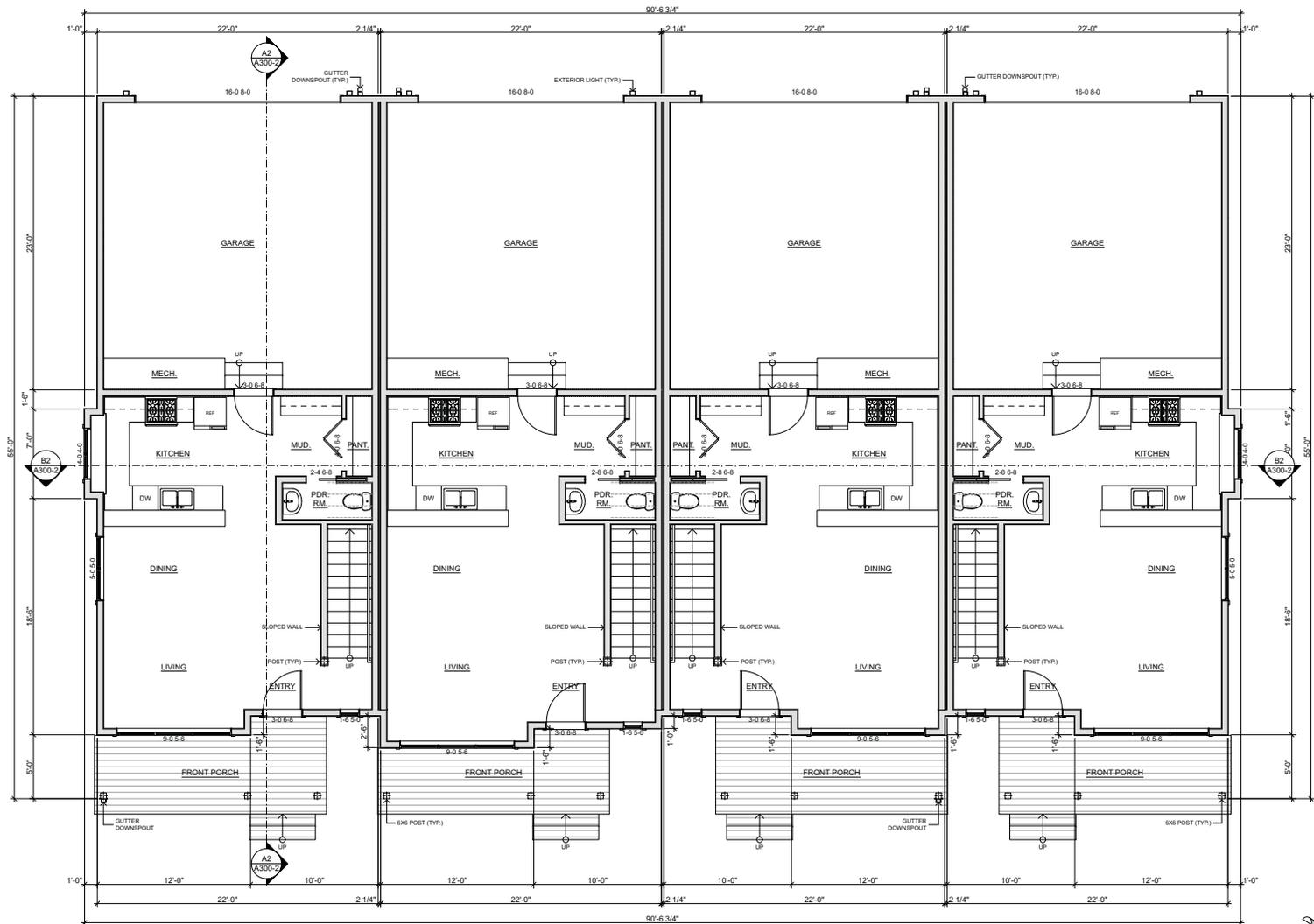
SHELANDOAH 1
 LOT 1, BLOCK 21, WOODSIDE SUB. #6
 BUILDING SECTIONS

REVISIONS
 04282017 DESIGN REVIEW
 SUBMITTAL

PRINT DATE
 4/28/17

DRAWING SCALE
 1/4" = 1'-0"

A300-1



BUILDING 2 - UNIT 4
 FIRST FLOOR = 586 sq.ft.
 SECOND FLOOR = 792 sq.ft.
 TOTAL LIVING = 1,378 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 2 - UNIT 3
 FIRST FLOOR = 601 sq.ft.
 SECOND FLOOR = 810 sq.ft.
 TOTAL LIVING = 1,411 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 2 - UNIT 2
 FIRST FLOOR = 579 sq.ft.
 SECOND FLOOR = 792 sq.ft.
 TOTAL LIVING = 1,371 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 2 - UNIT 1
 FIRST FLOOR = 586 sq.ft.
 SECOND FLOOR = 792 sq.ft.
 TOTAL LIVING = 1,378 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 2

FIRST FLOOR = 2,352 sq.ft.
 SECOND FLOOR = 3,186 sq.ft.
 TOTAL LIVING = 5,538 sq.ft.
 GARAGE/MECH. = 2,024 sq.ft.
 TOTAL SQ.FT. = 7,562 sq.ft.

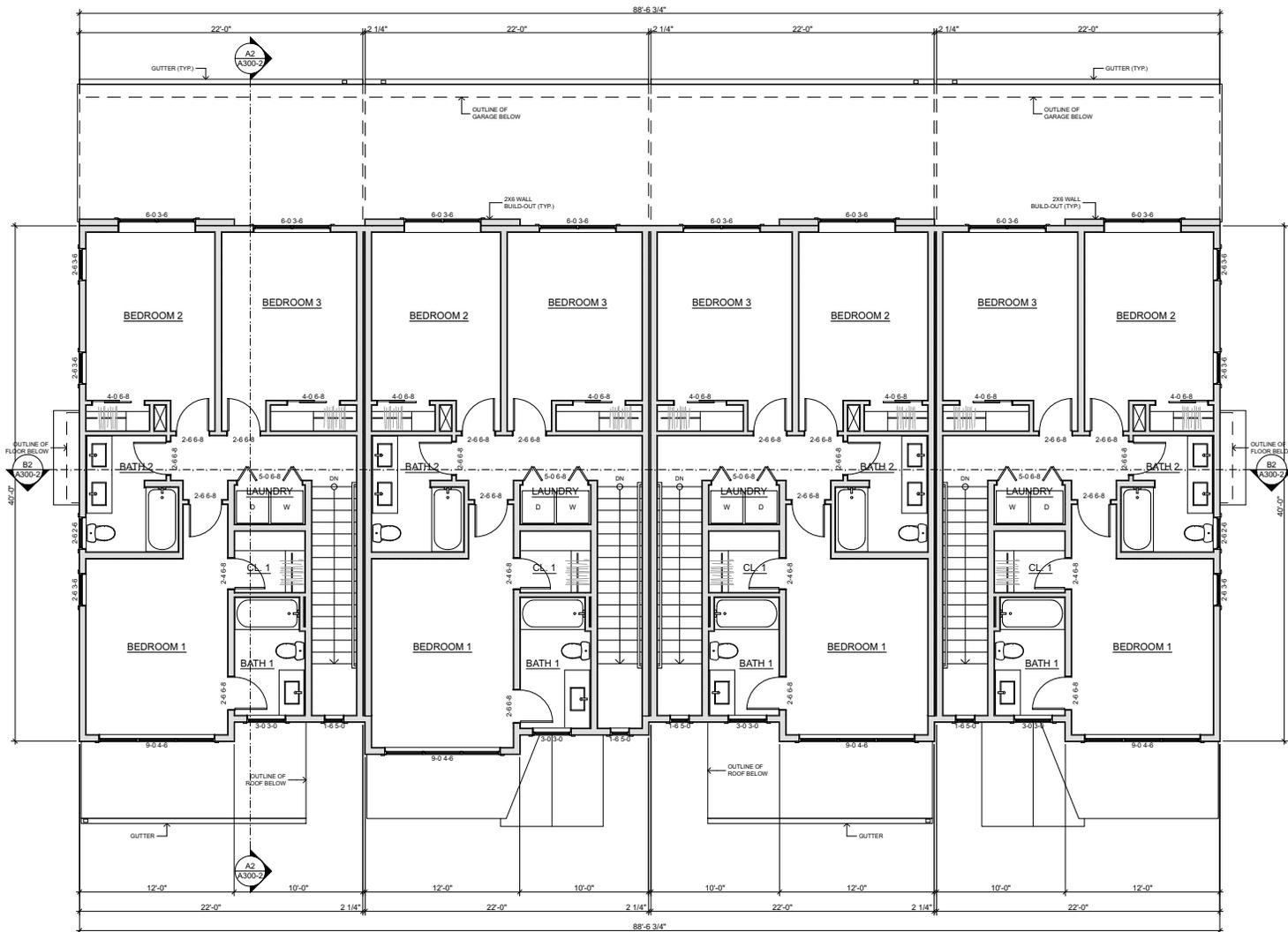
LICENSED ARCHITECT AP-664214
 THOMAS N. DABNEY ARCHITECT
 308 225 2255
 TOM@TNDARCH.COM
 TND ARCHITECTS PLLC
 THOMAS N. DABNEY ARCHITECT
 48 EAST 84th STREET
 WAILEA, HAWAII 96791

SHELANDOAH 2
 LOT 2, BLOCK 21, WOODSIDE SUB. #6
 FIRST FLOOR PLAN

REVISIONS	
04282011	DESIGN REVIEW SUBMITTAL

PRINT DATE
 4/28/17
 DRAWING SCALE
 1/4" = 1'-0"

A100-2



BUILDING 2 - UNIT4
 FIRST FLOOR = 586 sq.ft.
 SECOND FLOOR = 792 sq.ft.
 TOTAL LIVING = 1,378 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 2 - UNIT3
 FIRST FLOOR = 601 sq.ft.
 SECOND FLOOR = 810 sq.ft.
 TOTAL LIVING = 1,411 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 2 - UNIT2
 FIRST FLOOR = 579 sq.ft.
 SECOND FLOOR = 792 sq.ft.
 TOTAL LIVING = 1,371 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 2 - UNIT1
 FIRST FLOOR = 586 sq.ft.
 SECOND FLOOR = 792 sq.ft.
 TOTAL LIVING = 1,378 sq.ft.
 GARAGE/MECH. = 506 sq.ft.

BUILDING 2

FIRST FLOOR = 2,352 sq.ft.
 SECOND FLOOR = 3,186 sq.ft.
 TOTAL LIVING = 5,538 sq.ft.
 GARAGE/MECH. = 2,024 sq.ft.
 TOTAL SQ.FT. = 7,562 sq.ft.

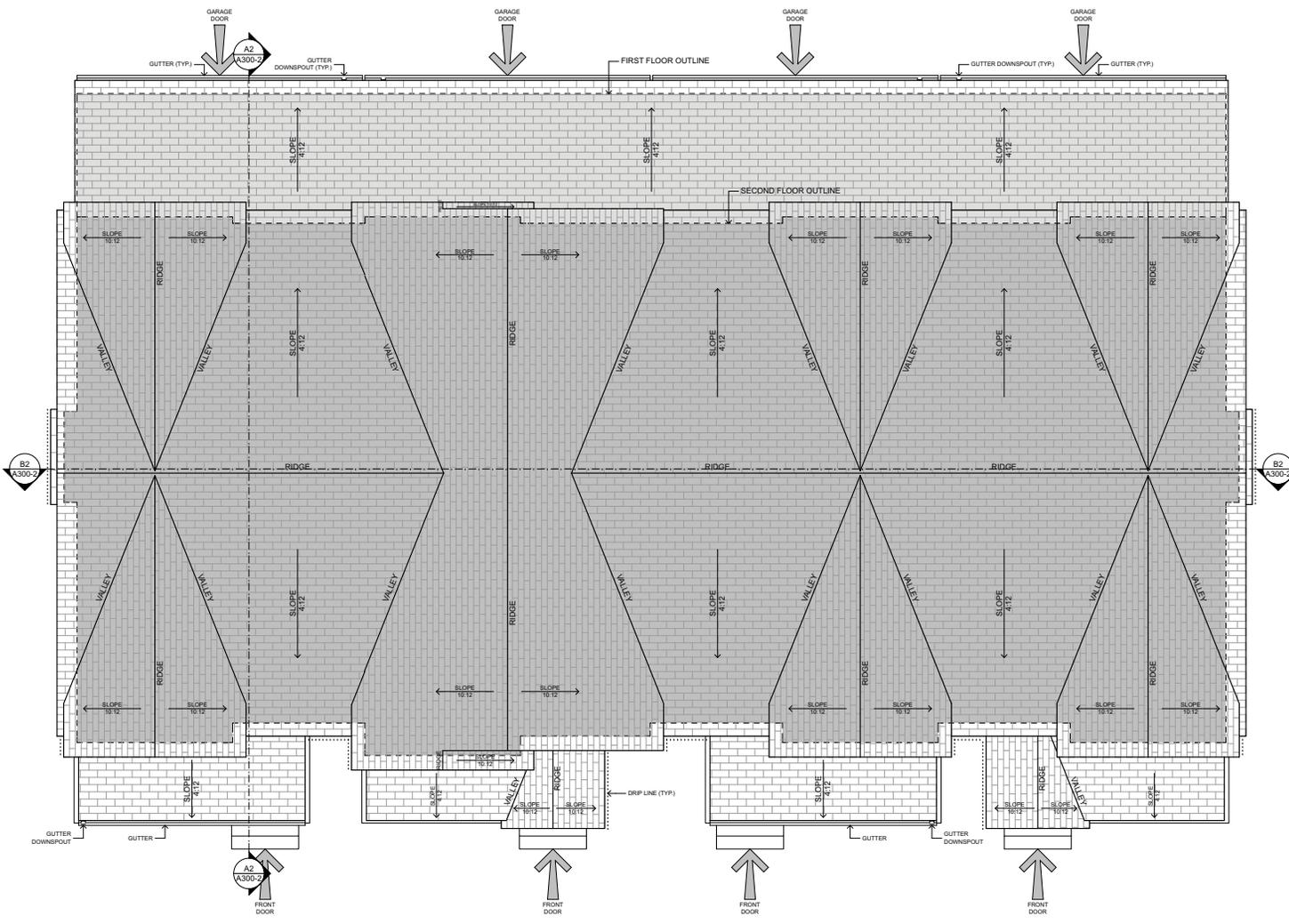
TND ARCHITECTS PLLC
 THOMAS N. DABNEY
 ARCHITECT
 308 ZYS 225
 TOM@TNDARCH.COM
 48 EAST 64th STREET
 WALEY, OHIO 43083

SHENANDOAH 2
 LOT 2, BLOCK 21, WOODSIDE SUB. #6
 SECOND FLOOR PLAN

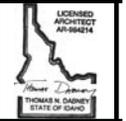
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04282011	DESIGN REVIEW SUBMITTAL

PRINT DATE
 4/28/17
 DRAWING SCALE
 1/4" = 1'-0"

A101-2



BUILDING 2



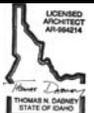
TND ARCHITECTS PLLC
 THOMAS N. DABNEY
 ARCHITECT
 308 225 2255
 TND@TNDARCH.COM
 48 EAST 65th STREET
 WALEY, OHIO 43083

SHELANDOAH 2
 LOT 2, BLOCK 21, WOODSIDE SUB. #6
 ROOF PLAN

REVISIONS	
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PRINT DATE	4/28/17
DRAWING SCALE	1/4" = 1'-0"

A102-2



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 WAILEY, OHIO 43083
 TOND@TNDARCH.COM

SHERNANDOAH 2

LOT 2, BLOCK 21, WOODSIDE SUB. #6

EXTERIOR ELEVATIONS

REVISIONS
 04282017 DESIGN REVIEW SUBMITTAL

PRINT DATE
 4/28/17
 DRAWING SCALE
 1/4" = 1'-0"

A200-2



EAST ELEVATION 1/4" = 1'-0"

EXTERIOR MATERIALS INFORMATION

- EXTERIOR SIDING - HORIZONTAL
 MATERIAL: HARDIE PLANK LAP SIDING (OR EQUIVALENT)
 COLOR: KHAKI BROWN, COUNTRYLANE RED, ARCTIC WHITE
 FINISH: SELECT CEDARHILL
- EXTERIOR SIDING - VERTICAL
 MATERIAL: HARDIE PANEL SIDING (OR EQUIVALENT)
 COLOR: ARCTIC WHITE
- EXTERIOR SIDING - BOARD & BATT
 MATERIAL: HARDIE PANEL SIDING (OR EQUIVALENT)
 COLOR: BOOTHBAY BLUE
 FINISH: SELECT CEDARHILL
- BATTS: HARDIE TRIM BOARD
 COLOR: BOOTHBAY BLUE
 FINISH: RUSTIC GRAYN BATTEN BOARDS
- ROOFING:
 MATERIAL: CERTANTEED XT 30 IR ASPHALT SHINGLES
 COLOR: SHERNANDOAH
 EXTERIOR WOOD (FACIA, POSTS, BEAMS ETC. .)
 FINISH: SOLID STAIN
 COLOR: WHITE
- EXTERIOR WINDOW CLADDING:
 MATERIAL: FIBERGLASS
 COLOR: WHITE
- GARAGE DOORS:
 MATERIAL: INSULATED ALUMINUM
 COLOR: WHITE
- EXPOSED FLASHING:
 MATERIAL: METAL
 COLOR: ARCHITECTURAL BRONZE
- GUTTERS:
 MATERIAL: ALUMINUM
 COLOR: WHITE



WEST ELEVATION 1/4" = 1'-0"



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SHEANDOAH 2

LOT 2, BLOCK 21, WOODSIDE SUB. #6

EXTERIOR ELEVATIONS

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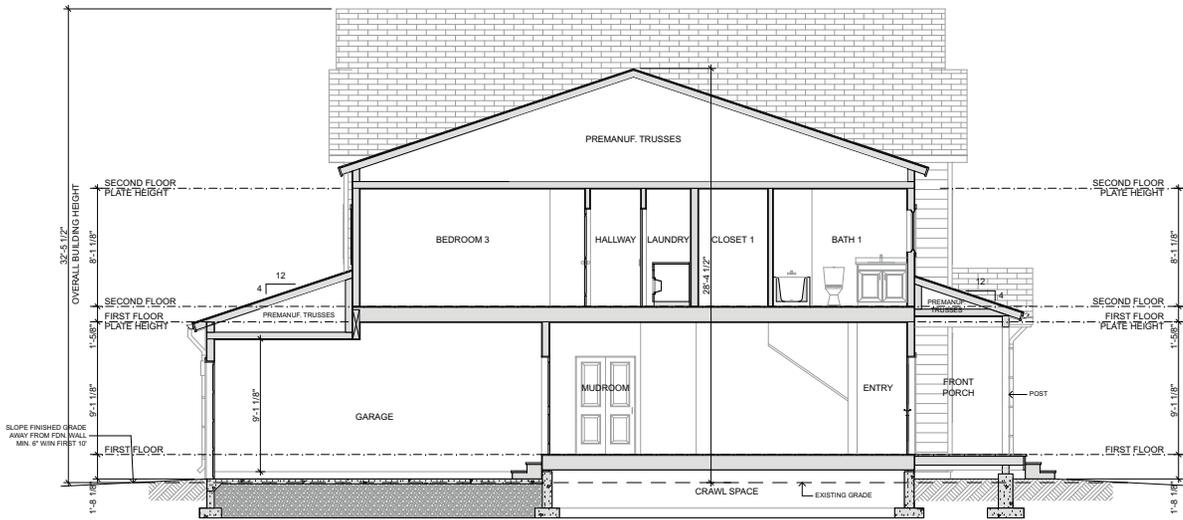
PRINT DATE
 4/28/17
 DRAWING SCALE
 1/4" = 1'-0"

A201-2



- EXTERIOR MATERIALS INFORMATION**
- EXTERIOR SIDING - HORIZONTAL:
 - MATERIAL: HARDIE PLANK LAP SIDING (OR EQUIVALENT)
 - COLOR: KHAKI BROWN, COUNTRYLANE RED, ARCTIC WHITE
 - FINISH: SELECT CEDARSHILL
 - EXTERIOR SIDING - VERTICAL:
 - MATERIAL: HARDIE PANEL SIDING (OR EQUIVALENT)
 - COLOR: ARCTIC WHITE
 - FINISH: SIERRA 8
 - EXTERIOR SIDING: BOARD & BATT:
 - MATERIAL: HARDIE PANEL SIDING (OR EQUIVALENT)
 - COLOR: BOOTHBAY BLUE
 - FINISH: SELECT CEDARSHILL
 - BATTS:
 - MATERIAL: HARDIE TRIM BOARD
 - COLOR: BOOTHBAY BLUE
 - FINISH: RUSTIC GRAYN BATTEN BOARDS
 - ROOFING:
 - MATERIAL: CERTANTEEED XT 30 (R) ASPHALT SHINGLES
 - COLOR: SHEANDOAH
 - EXTERIOR WOOD (FACIA, POSTS, BEAMS ETC.):
 - FINISH: SOLID STAIN
 - COLOR: WHITE
 - EXTERIOR WINDOW CLADDING:
 - MATERIAL: FIBERGLASS
 - COLOR: WHITE
 - GARAGE DOORS:
 - MATERIAL: INSULATED ALUMINUM
 - COLOR: WHITE
 - EXPOSED FLASHING:
 - MATERIAL: METAL
 - COLOR: ARCHITECTURAL BRONZE
 - GUTTERS:
 - MATERIAL: ALUMINUM
 - COLOR: WHITE





A2 SECTION



B2 SECTION



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 MALEY, OHIO 43033
 TOND@TNDARCH.COM

SHELANDOAH 2

LOT 2, BLOCK 21, WOODSIDE SUB. #6

BUILDING SECTIONS

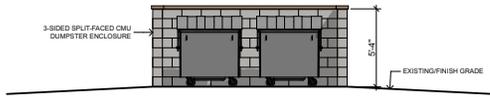
REVISIONS

04282011	DESIGN REVIEW SUBMITTAL
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PRINT DATE
 4/28/17

DRAWING SCALE
 1/4" = 1'-0"

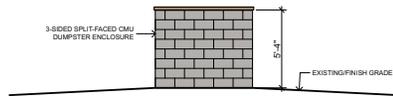
A300-2



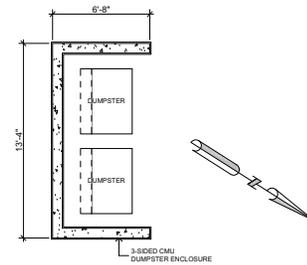
GARBAGE NORTH ELEVATION 1/4" = 1'-0"



GARBAGE SOUTH ELEVATION 1/4" = 1'-0"



GARBAGE EAST/WEST ELEVATION 1/4" = 1'-0"



PLAN VIEW 1/4" = 1'-0"



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SHENANDOAH 1 & SHENANDOAH 2
 LOTS 1 & 2, BLOCK 21, WOODSIDE SUB. #6
 GARBAGE ENCLOSURE

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4/28/17

DRAWING SCALE

1/4" = 1'-0"

A600



NORTHEAST ELEVATION



EAST ELEVATION



WEST ELEVATION



TND ARCHITECTS PLLC
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 ARCHITECT
 308 725 2252
 1008 N. DARWIN COVE
 48 EAST 63RD STREET
 WALEY, OHIO 43083

SHENANDOAH 1 & SHENANDOAH 2
 LOTS 1 & 2, BLOCK 21, WOODSIDE SUB. #6
 EXTERIOR PERSPECTIVES

REVISIONS
 04282017 DESIGN REVIEW
 SUBMITTAL

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 4/28/17
 DRAWING SCALE
 NO SCALE

A900



EAST ELEVATION



SOUTHEAST ELEVATION



NORTHEAST ELEVATION



WEST ELEVATION



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 48 EAST 84th STREET
 WALEY, IOWA 50493

SHENANDOAH 1 & SHENANDOAH 2
 LOTS 1 & 2, BLOCK 21, WOODSIDE SUB. #6
 EXTERIOR EPRSPECTIVES

REVISIONS	
04282017	DESIGN REVIEW SUBMITTAL

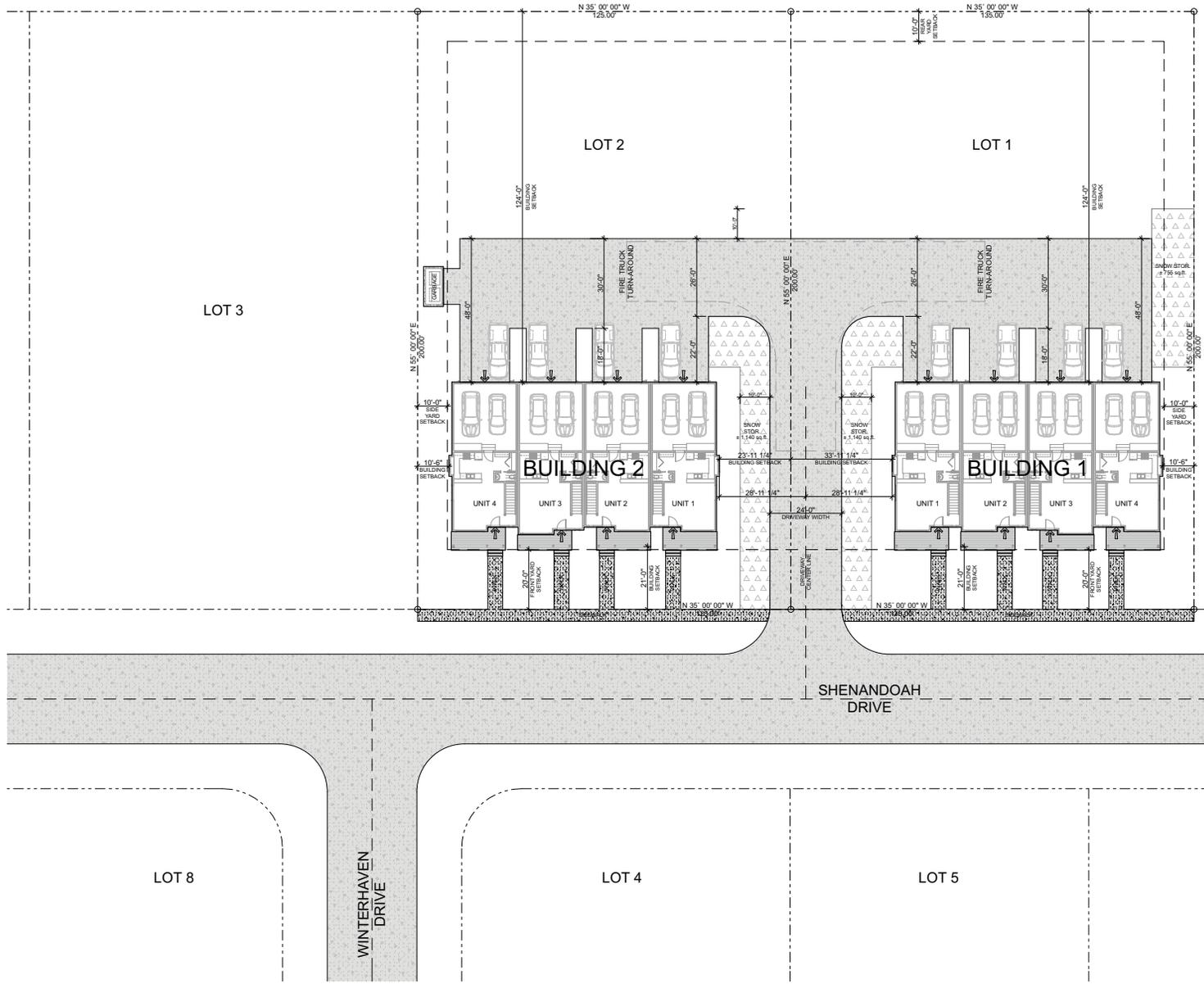
PRINT DATE
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 DRAWING SCALE
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A901



TND ARCHITECTS PLLC
 THOMAS N. DABNEY
 ARCHITECT
 308 225 2255
 TOM@TNDARCH.COM
 18 EAST 83RD STREET
 HAILEY, IDAHO 83433

SHENANDOAH 1 & SHENANDOAH 2
 LOTS 1 & 2, BLOCK 21, WOODSIDE SUB. #6
 ARCHITECTURAL SITE PLAN



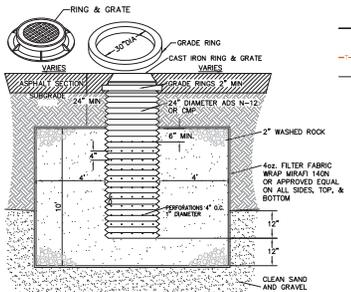
SITE PLAN NOTES:
 PARKING: 3 SPACES/UNIT; 24 SPACES TOTAL
 (2 INSIDE GARAGE & 1 OUTSIDE GARAGE)
 PAVED AREA = 11,619 sq.ft.
 SNOW STORAGE REQ'D = 2,905 sq.ft. (25% OF 11,619 sq.ft.)
 SNOW STORAGE PROVIDED = 3,035 sq.ft. (26.0% OF 11,619 sq.ft.)
 CONSTRUCTION STAGING:
 DUMPSTER, CONSTRUCTION MATERIALS RECYCLING,
 TEMPORARY TOILET, MATERIALS STORAGE &
 WORKER PARKING SHALL BE LOCATED ON-SITE.
 WIN PROPOSED DRIVEWAY AREA TO THE WEST OF
 BUILDINGS.



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DRAWING SCALE	1" = 16'-0"

AS100



NOTE: THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.

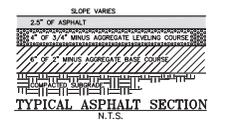
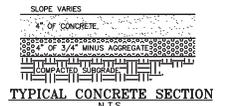
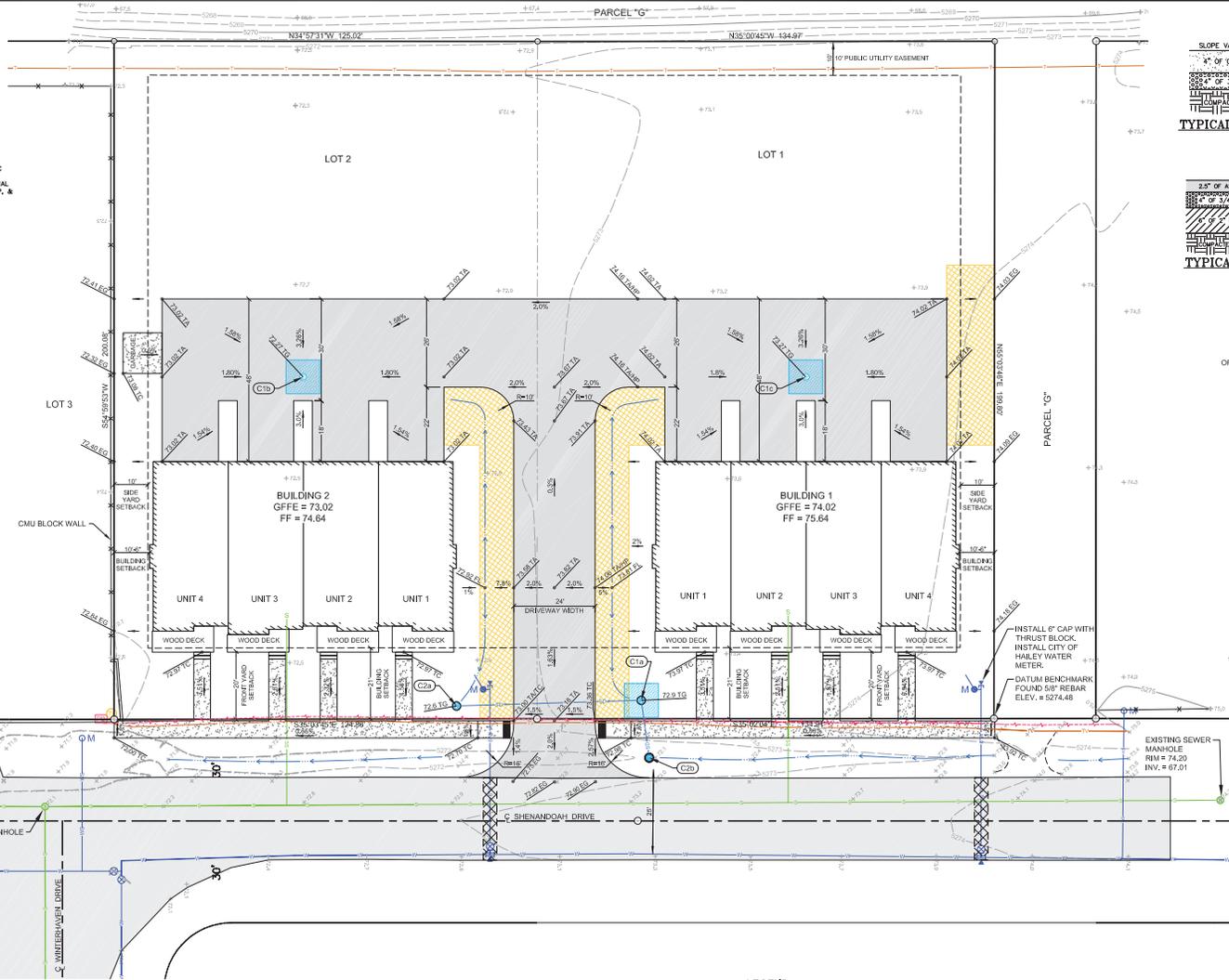
DRYWELL DETAIL
N.T.S.

DRYWELL & CATCH BASIN SCHEDULE

- (C1) INSTALL DRYWELL**
- a. RIM # 72.0
 - INV. IN (C24) = 69.50
 - INV. IN (C25) = 69.00
- (C2) INSTALL CATCH BASIN**
- a. RIM # 72.0
 - INV. OUT # 70.1
- b. RIM # 72.0
 - INV. OUT # 69.5

SNOW STORAGE CALCULATIONS (s.f.)

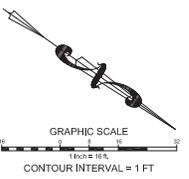
PAVEMENT:	NEED	HAVE
25% PAVEMENT (SNOW):	2,905	3,035
25% PAVEMENT (SNOW):		



ORIGINAL SIGNED BY BRIAN D. YEAGER
DATE ORIGINAL SIGNED: 04/29/2017

PROFESSIONAL ENGINEER
REGISTERED
STATE OF IOWA
9438
BRIAN D. YEAGER

ORIGINAL ON FILE AT OFFICE OF
GALENA ENGINEERING (HAILEY, IA)



- NOTES**
- THE EXISTING TOPOGRAPHICAL INFORMATION SHOWN HEREON IS AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED. CHANGES MAY HAVE OCCURRED SINCE SURVEY DATE (06/02/10).
 - BOUNDARY INFORMATION IS BASED ON FOUND MONUMENTATION. PLEASE REFER TO THE RECORDED PLAT OF WOODSIDE SUBDIVISION #6. REFER TO THE PLAT NOTES, CONDITIONS, COVENANTS, AND RESTRICTIONS ON ORIGINAL PLAT.
 - SUB-SURFACE UTILITY LOCATIONS ARE APPROXIMATE AND LOCATIONS SHOULD BE VERIFIED BEFORE ANY EXCAVATION.
 - GALENA ENGINEERING INC. HAS NOT RECEIVED A TITLE POLICY FROM THE CLIENT AND HAS NOT BEEN REQUESTED TO OBTAIN ONE. BELIEVED INFORMATION THAT MAY BE OBTAINED FROM A TITLE POLICY MAY THEREFORE NOT APPEAR ON THIS MAP AND MAY AFFECT ITEMS SHOWN HEREON. IT IS THE RESPONSIBILITY OF THE CLIENT TO DETERMINE THE SUFFICIENCY OF THE TITLE POLICY INFORMATION AND DETERMINE WHETHER IT SHOULD BE INCLUDED IN THE CLIENT DESIRES FOR THE INFORMATION TO BE INCLUDED. THEY MUST FURNISH SAID INFORMATION TO GALENA ENGINEERING INC. AND REQUEST IT BE ADDED TO THE MAP.
 - BENCHMARKS TOP OF 5" REBAR ENCLOSED UNDER THE PROJECT WITHIN THE SHENANDOAH DRIVE, ELEVATION 64.2313 IS USED.
 - GRADE AWAY FROM THE FOUNDATION A MINIMUM OF 6" WITHIN THE FIRST 10'.
 - WATER METER VAULTS FOR LOTS 3A AND 4A SHALL BE LOCATED ADJACENT TO AND WITHIN THE CROFT STREET RIGHT OF WAY. LOT OWNERS SHALL BE RESPONSIBLE FOR THE SERVICE LINES EXTENDING BEHIND SAID VAULTS.
 - ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF IOWA STANDARDS FOR PUBLIC WORKS CONSTRUCTION (EPWC) AND THE CITY OF HAILEY STANDARD DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE PREVIOUSLY MENTIONED STANDARDS ON SITE DURING CONSTRUCTION.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL GLENE (1-800-434-3585) AND APPROPRIATE UTILITY OWNERS TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL THE NECESSARY PERMITS PRIOR TO CONSTRUCTION IF NOT ALREADY OBTAINED BY THE OWNER.
 - ALL CLEARING & GRUBBING SHALL CONFORM TO EPWC SECTION 201.
 - ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO EPWC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNDESIRABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM D 1557 OR 1555.
 - ALL 2" MINUS GRAVEL SHALL CONFORM TO EPWC 802. TYPE II (ITS STANDARD 703.04, 2") SHALL BE PLACED IN CONFORMANCE WITH EPWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM D 1557.
 - ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO EPWC 802. TYPE II (ITS STANDARD 703.04, 3/4") SHALL BE PLACED IN CONFORMANCE WITH EPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM D 1557.
 - ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO EPWC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 10" (254MM) MAXIMUM SIZE CONFORMING TO TABLE 808 IN EPWC SECTION 805. ASPHALT BINDER SHALL BE 7.5% SSBH CONFORMING TO TABLE A-4 IN EPWC SECTION 805.
 - ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 1/2" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING AND WHEEL CUTTING SHALL BE ALLOWED.

LEGEND

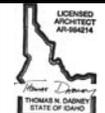
EXISTING ITEMS	<ul style="list-style-type: none"> Property Line Adj. Prev. Lot Line Previous Lot Line Centerline Easement, as shown Found 5/8" Rebar Found 1/2" Rebar 5' Contour Interval 1' Contour Interval Asphalt Face of Ditch Face of Borrow Ditch Sewer Man Sewer Service Sewer Manhole EG = Existing Grade 	<ul style="list-style-type: none"> Water Main Water Service w/ Meter Water Valve Fire Hydrant Buried Power Line Power Box Cable TV Cable TV Riser Telephone Line Existing Grade Spot Elevation 	<ul style="list-style-type: none"> Sawcut Line Asphalt Slabwalk Building Spot Elevation Grade Water Service w/ Meter Water Valve Water Main Fillings Thrust Block 6" PVC Sewer Main Sewer Manhole Sewer Service Catch Basin 	<ul style="list-style-type: none"> Proposed Drywell 12" ADS N-12 Storm Drain at a minimum grade of 1.0% Drainage Line Asphalt Repair Snow Storage ADA Access Truncated Dome FG = Finished Grade FF = Finished Floor of House GFEE = Garage Finished Floor at Entry TA = Top of Asphalt TG = Top of Concrete TG = Top of Grate
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A SITE PLAN SHOWING
SHENANDOAH 1 & SHENANDOAH 2
 LOCATED WITHIN SECTION 11, T. 41 N., R. 14 W., BLAINE COUNTY, IDAHO
 PREPARED FOR ARCH COMMUNITY HOUSING TRUST
 PROJECT INFORMATION: 16022_Cover_Sheet_1.dwg, 4/29/17, 9:28:20 AM

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. Pine Street
 Hailey, Idaho 83421
 (208) 738-1700
 (208) 738-6100 fax
 email: janne@gaengineer.com

REVISIONS
 NO. DATE BY REASON FOR DESIGN REVIEW
 1 04/27/17 CT

C1



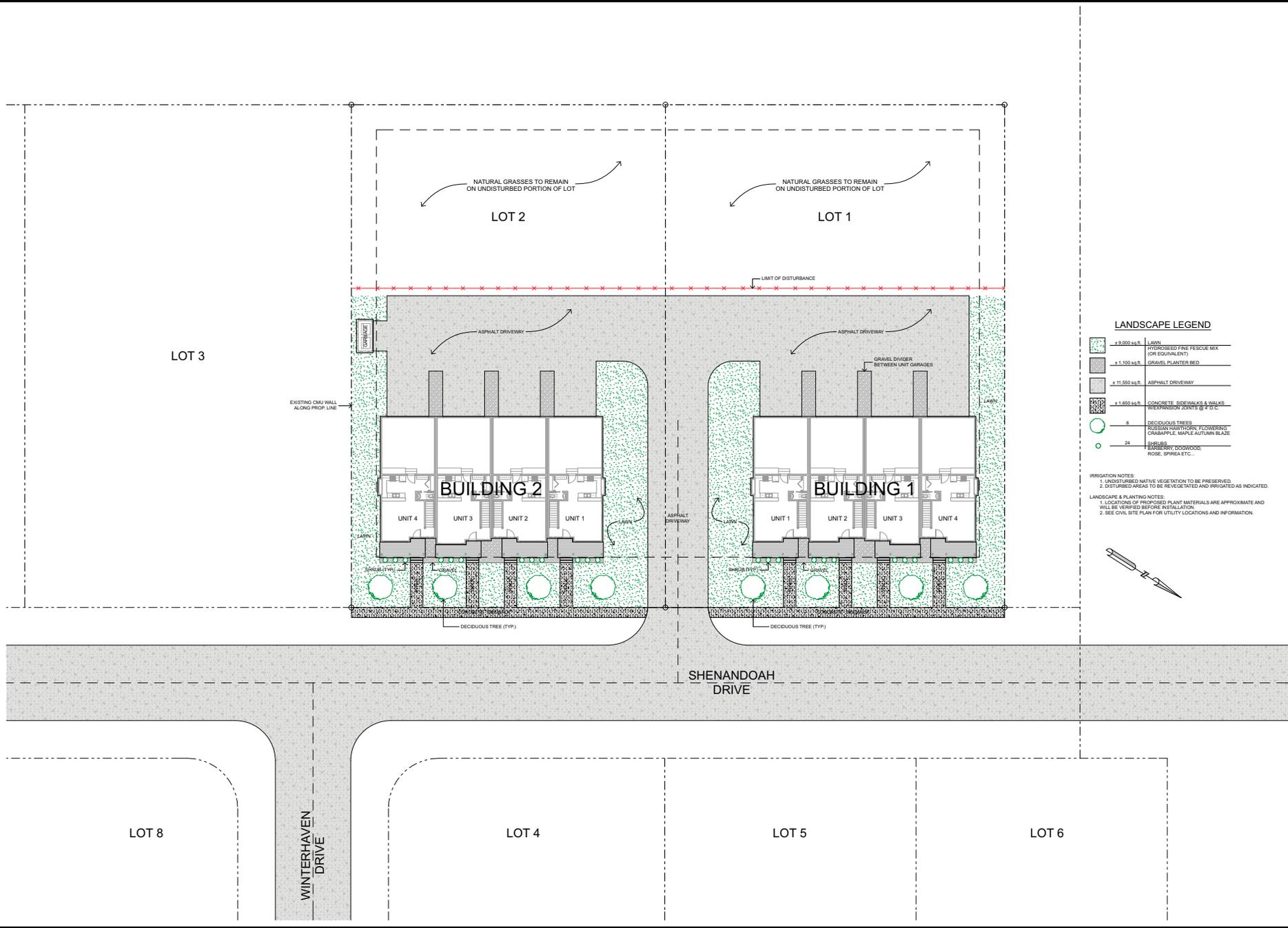
TND ARCHITECTS PLLC
 THOMAS N. DABNEY
 ARCHITECT
 308 225 2255
 TOND@NDARCH.COM
 8 EAST 84M STREET
 WAILEY, IDAHO 83353

SHENANDOAH 1 & SHENANDOAH 2
 LOTS 1 & 2, BLOCK 21, WOODSIDE SUB. #6
 LANDSCAPE PLAN

REVISIONS	
04282017	DESIGN REVIEW SUBMITTAL

PRINT DATE
 4/28/17
 DRAWING SCALE
 1" = 16'-0"

L100



LANDSCAPE LEGEND

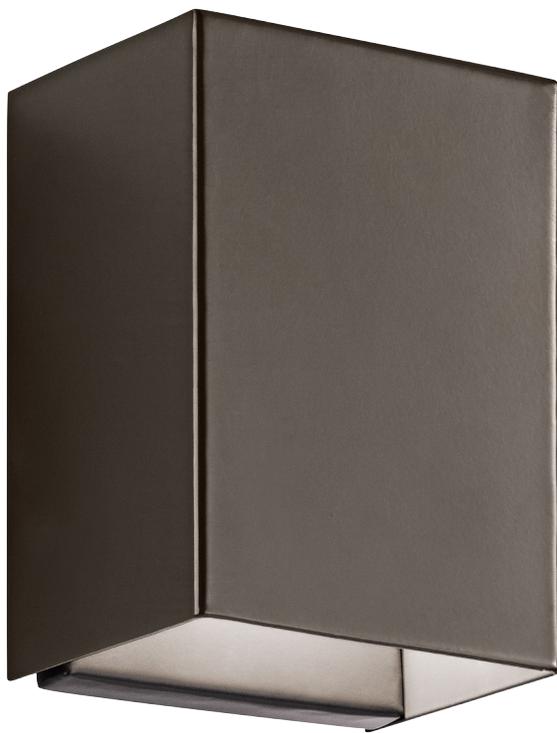
± 9,000 sq ft	LAWN
± 1,500 sq ft	HYDRISED FINE FESCUE MIX (OR EQUIVALENT)
± 1,500 sq ft	GRAVEL PLANTER BED
± 11,550 sq ft	ASPHALT DRIVEWAY
± 1,650 sq ft	CONCRETE - SIDEWALKS & WALKS
± 1,650 sq ft	INTERLOCKING CONCRETE 4" x 4"
8	DECIDUOUS TREES RESIAN HAWTHORN, FLOWERING CRABAPPLE, MAPLE AUTUMN BLAZE
24	SHRUBS BARBERY, DOGWOOD, ROSE, SPIREA ETC...

- IRRIGATION NOTES:**
 1. UNDISTURBED NATIVE VEGETATION TO BE PRESERVED.
 2. DISTURBED AREAS TO BE REVEGETATED AND IRRIGATED AS INDICATED.
- LANDSCAPE & PLANTING NOTES:**
 1. LOCATIONS OF PROPOSED PLANT MATERIALS ARE APPROXIMATE AND WILL BE VERIFIED BEFORE INSTALLATION.
 2. SEE CIVIL SITE PLAN FOR UTILITY LOCATIONS AND INFORMATION.



Walden Collection
 Walden 1 Light LED Outdoor Wall Light in AZ AZ
 49550AZLED (Architectural Bronze)

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____



Dimensions

Height	7.25"
Width	5.00"

Ordering Information

Product ID	49550AZLED
Finish	Architectural Bronze
Available Finishes	AZ, BKT
Collection	Walden Collection

Dimensions

Extension	3.75"
Height from center of Wall opening	3.75"
Base Backplate	7.25 X 4.75
Weight	3.00 LBS

Photometrics

Kelvin Temperature	3000K
Color Rendering Index	90

Specifications

Material	Aluminum
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Electrical

Dimmable	Yes
Dimmable Notes	This LED is compatible with most standard incandescent dimmers, LED dimmers, and electronic low voltage dimmers. For more information, go to Kichler.com/dimming .
Voltage	120V
Input Voltage	Single(120)

Qualifications

Safety Rated	Wet
ADA Compliant	Yes
Dark Sky	Yes
Expected Life Span	35000 Hours
Warranty	www.kichler.com/warranty

Primary Lamping

Light Source	LED
Lamp Included	Integrated
Light Source Equivalent	60(1) Incandescent
Number of Lights/LEDs	1
Initial Lumens	720

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