

AGENDA
DEVELOPMENT IMPACT FEE ADVISORY COMMITTEE
Monday, June 15, 2020
Hailey City Hall
4:30 p.m. (before P & Z regular meeting)

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: tel:+15713173122,,506287589#

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

The Hailey Development Impact Fee Advisory Committee will hold a Public Meeting at **4:30 p.m.** on **Monday, June 15, 2020**, to be held virtually pursuant to Governor Little's Proclamation of March 18, 2020 related to the conduct of remote telecommunication meetings and in compliance with the Open Meetings Law. **The phone number to call in for the meeting will be posted on the agenda on the city website by June 12, 2020.** The Public Hearing will be held in the upstairs meeting room of Hailey City Hall and will hold Public Hearing on the following item(s):

PH1 Proposed amendments to 2020 City Capital Budget and its Development Impact Fee Component. The Advisory Committee will form recommendations regarding the proposed budget and review updates to the FY 2020 Capital Improvement Plan for the Hailey City Council's consideration. **ACTION ITEM**

Any and all interested persons are invited to attend this public hearing or submit written comments or direct questions to the Planning Development Assistant at 115 South Main Street, Hailey, Idaho, 83333 or planning@haileycityhall.org. Supporting documents for this item(s) can be viewed on the City of Hailey's website as of the date of this publication; go to www.haileycityhall.org, under City Departments, Community Development, click on either Current Applications or Ordinance Amendments. The staff report will be posted in this same location on the Friday before the meeting. If documents are not posted please call 208 788-9815 to have documents emailed or visit the front counter at city hall. For special accommodations to participate in the noticed meeting, please contact the City Clerk (208) 788-4221.

MEMORANDUM

To: Hailey Development Impact Fee Advisory Committee and Hailey City Council
From: Heather Dawson, Administrator
Brian Yeager, Engineer
Date: June 15, 2020
RE: Report and Recommendations on FY 2021 Capital Budget and Capital Improvement Plan

Background

Hailey's Development Impact Fee Advisory Committee (the Committee) will meet on June 15, 2020 to make recommendations on Hailey's Capital Improvement Plan and Capital Budget for FY 2021. Recommendations from this meeting will be reported to the Hailey City Council during a June 16, 2020 city council meeting within an introduction of the entire general fund budget, including general operating, capital and bond funds.

The Committee's last annual meeting was conducted on March 4, 2019, wherein review and recommendations on the unfinished 2019 Capital Improvement Plan were discussed, resulting in the FY 2020 capital projects.

Completed Projects

Hailey completed several projects in the past two construction seasons, including:

- Balmoral Park Improvement completed under an Idaho Land & Water Conservation Grant;
- Conceptual Design of South Woodside Park;
- River Street Bike Paths conceptual design completed under an LHTAC Grant;
- Pathways for People projects, including Croy Street cycle track and Myrtle Street bike path, both of which lie between Main Street and BCRD Wood River Trails, and the 2nd Avenue Advisory bike lanes between Myrtle and Elm Streets;
- Repaving of Broadford Road under Colorado Gulch Preserve/Subdivision annexation agreement;
- Transportation Master Plan conducted in advance of an unsuccessful BUILD Grant application;
- Drainage channels and culverts constructed along War Eagle Drive to protect Hailey's streets in the Della View Subdivision, under grants from FEMA and Flood District 9;
- Sidewalk connections on First Avenue north of Carbonate (in partnership with Miley development) and on Croy Street at Third and Fourth avenues (in partnership with Pathways for People);
- Bucket truck acquisition;
- Arena floor refurbishment, adding sand.

Hailey has several projects underway, scheduled for continued work through FY 2021, including;

- Construction of South Woodside Park;
- River Street Final Design and construction;
- Property acquisition from school district for snow storage site, with implementation of drainage infrastructure at site to be installed.
- Hailey procured quitclaim deeds from Upper Big Wood River Grange for a portion of land beneath the Hailey Fire Station, with upgrade project to be completed under a FEMA Idaho Office of Emergency disaster preparedness grant.

- Agreement with Idaho Transportation Department for Highway 75 repaving and curb ramp upgrades.
- Final Pathways for People project identified as Werthheimer Connector path, which formerly was intended to connect First Avenue to the Haile Skatepark through or adjacent to Nelson Field;

Contractual Obligations

Some of the money within Hailey's Capital Fund are obligated under contracts, and should be held until the projects for which they are earmarked can be constructed. These contractual obligations include:

- Colorado Gulch sidewalk in-lieu fees in the amount of \$60,350 were collected and are intended for the Broadford Road path when it is constructed in the future. Development Impact Fees of approximately \$39,000 will be collected with building permits issued within the CGP subdivision and can be used to help complete the Broadford Road Pathway project;
- Sidewalk in-lieu fees collected from Lupine Subdivision (\$21,748.50) can be applied to a sidewalk project, and in-lieu fees collected from Carbonate View Subdivision (\$21,500) can be used on west Elm Street;
- Park in-lieu fees were collected from Lupine Subdivision, in the amount of \$20,555, and are available to be applied to park projects;
- Quigley Annexation Fees of \$232,821 were received at Quigley Final Plat approval for Phase 1, and will be used to construct Eighth Street reconfiguration and improvements in partnership with Quigley developers, who is also obligated toward the Eighth Street project.

Projects

A. River Street Project.

The City is approved for an LHTAC grant to improve three blocks of River Street. The conceptual design for this project has been completed, and engineers are working with LHTAC on the final design. The match component of this \$2 million grant is 7.34%, or \$146,500. The grant construction period is set by ITD in FY 2023/2024. Because the project is set so far in the future, we expect the project to actually cost around \$3.5 million. The Hailey URA is willing to contribute toward the River Street project. We expect that contribution to be approximately \$1.5 million, which will help to close the funding gap. We also plan to apply for an Idaho Community Development Block Grant, requesting up to \$500,000 in funds to assist with this project. Portions of the project are DIF eligible, with bicycle/pedestrian improvements being 30% eligible, and lane and intersection expansion or sidewalk infill improvements 40% eligible. These amounts are largely unbudgeted at this time, as the project is still far in the future and final design and bids are not yet in.

B. Pathways for People Projects. Hailey collected \$800,000 from a two-year levy which funded projects completed over the past several years. Hailey made those levy dollars stretch further by using them as grant match on a \$500,000 TAP grant applied to the Myrtle Street bike path. Development Impact Fees of \$302,928 were also spent on these projects. All but one of the conceived Pathways for People projects are completed, and \$198,327 remains for another project. The unfinished project was intended to be a connector path from First Avenue to the Werthheimer Park, and the area in question is being planned now

for better transportation flow due to the entitlement of ARCH apartment units in the area. An additional project is also contemplated, using interest and tax collected in excess of \$800,000 from the special levy as grant match for a new TAP grant of \$482,264, which will extend bike paths along East Croy from the BCRD Wood River Trails to Eastridge Drive.

- C. Snow Storage Infrastructure Installation.** As part of the Greenway Master Plan, Hailey prioritized securing a snow storage site other than Lions Park. A site has been identified and agreements are complete and deed exchanges are pending. Development of access, compaction and drainage infrastructure is needed before snow can be piled on a site, with plans for completion this fall. Development impact fees can assist with the funding of this project.
- D. Parks In-Lieu Fees.** The Hailey Parks & Lands Board is tasked with making a recommendation on how park in-lieu fees are spent. Hailey plans to build a park on South Woodside Boulevard, in the ½ lot north of the Wood River Land Trust Thrift Store and adjacent to ARCH's new project. We expect that all available park capital money will be needed for this roughly estimated \$75,000 project.
- E. FEMA Seismic Retrofit to Hailey Fire Station.** Hailey applied for a FEMA grant to upgrade windows, doors and the roof of Hailey Fire Station to better withstand snow loads and seismic activity. This project amount is \$330,000 and with a 25% match required from city funds. We have earmarked \$82,500 as match from the capital fund.
- F. New Street & Pathway Projects.** Active development in the Quigley & Sunbeam area will be providing new roadways and trails. City projects have been identified to increase connectivity of this area, with projects such as 8th Street relocation and pathway, or the East Croy Street pathway being proposed.
- G. Buildings & Facilities.** Recent development approvals have allowed the historic Forest Service buildings between River and Main Street to become available but with specific timelines for their removal. Relocation of the first building is proposed with a final location to be developed in the future. Upgrades to City Hall remain on the future list but are currently unfunded.
- H. Street Equipment and projects.**
The street department has identified several small projects, such as drywells, sidewalks and several facility or equipment needs. These are shown in the table on the next page.

Staff Recommendations:

Capital Improvement Budget Detail: The proposed FY20-21 Capital Project List is shown on the following page for Committee review, comment, and/or approval.

FY 20-21 CAPITAL PROJECTS LIST - General Fund

Project Description		Estimated Cost	Current Appropriation	Committed FUTURE Appropriation	Unfunded	
Streets	1 ITD SH-75/Main Street Rehabilitation City Match	20,000	20,000		0	
	2 Snow Storage Site Development	125,000	125,000		0	
	3 Salt Storage Shed (Initial Phase)	100,000	100,000		0	
	4 Additional Snow Plow	150,000	0	0	150,000	
	5 Replacement Sanding Truck and Spreader	175,000	0	0	175,000	
	6 Drywells (Glenbrook, Old Town, Winterberry, other)	30,000	0	0	30,000	
	7 Indian Creek Tailwater/Buttercup ROW Drainage Improvements	30,000	10,000		20,000	
	8 Hailey Welcome Sign: Electrical Connection	10,000	10,000		0	
	9 ADA Transition Plan Upgrades (Ongoing)	15,000	0	15,000	0	
	10 Sidewalk Connections	15,000	15,000	0	0	
	11 Two Additional RRFB Installation	30,000	15,000	0	15,000	
	12 South Woodside Industrial Park Street Reconstruction	TBD				
	13 Wertheimer/Blaine Manor Area Road & Parking Improvements (Estimate Pending)	250,000	15,000		235,000	
	14 Airport Way Reconstruction, Aviation Dr. to SH-75: Concept/Design	50,000	15,000		35,000	
	15 2nd/Bullion Intersection Curb line & geometry improvements	35,000	0		35,000	
	16 River Street STP	2,002,000	0	2,002,000		
	17 River Street URA Funding	1,500,000	80,000	1,420,000		
	18 River Street ICDBG Application	10,000	10,000		0	
	19 Bullion & 8th Curve Reconstruction	200,000	0		200,000	
	20 Croy & 8th Mini Roundabout	50,000	0		50,000	
	21 Relocate 8th further west between Bullion & Croy, Concept Development	15,000	15,000			
	22 Relocate 8th further west between Bullion & Croy, Construction	175,000	0	137,801	37,199	
Pathways	23 Construct new pathway along east side of relocated 8th Street, Concept Development	5,000	5,000			
	24 Construct new pathway along east side of relocated 8th Street, Construction	75,000	0	75,000		
	25 East Croy Pathway TAP Match	47,696	47,696		0	
	26 East Croy Pathway TAP Grant Construction (Date TBD)	482,264	0	482,264	0	
	27 P4P Wertheimer Path (Const. Date TBD)	197,787	0	197,787	0	
	28 P4P Sidewalk Maintenance Location TBD	66,500	66,500		0	
	29 Broadford Road Pathway (Const. Date TBD, RESERVE)	358,588	0	60,350	298,238	
	30 West Elm Street Sidewalk	21,500	21,500		0	
	31 South Woodside Park Development (3920 WS)	75,000	75,000		0	
	32 Skate Park Lighting Phase 1	7,000	7,000		0	
Parks	33 Skate Park Lighting Phase 2	TBD	0			
	34 Skate Park Concrete Rehabilitation (rough guess estimate)	50,000	10,000		40,000	
	35 Heagle Park Pavilion Upgrades	TBD	0			
	36 Forest Service Building Relocation Phase 1 (Initial Move & Store)	40,000	40,000		0	
	37 Forest Service Building Relocation Phase 2	TBD	0			
	38 Forest Service Building Relocation Phase 3	TBD	0			
	39 Town Square	1,600,000	0		1,600,000	
	Admin	40 Fox Building Skylight Rehabilitation	60,000	0		60,000
		41 Fox Building Window Rehabilitation	200,000	0		200,000
42 Fox Building Council Chambers Remodel		163,587	0		163,587	
43 CIP Update Study		23,661	23,661		0	
44 IT Upgrades		25,000	25,000		0	
Fire	45 Fire Stations Seismic Retrofit Project	330,000	82,500	247,500	0	
	46 Fire Equipment (must be DIF Eligible)	350,000	0	149,716	200,284	
Art	47 Public Art Maintenance	28,029	28,029		0	
	48 Public Art Contributions	9,138	9,138		0	
	49 FY 21 Capital Project Art & Maint. Contribution (1.25% of eligible projects)	7,502	7,502		0	
Totals:			\$878,526	\$4,787,418	\$3,581,507	
Totals:			\$5,665,945			

Current Revenue & Funding	Anticipated FUTURE Revenue	Revenue Source
201,435		Capital Fund Balance Sept 30, 2019 (After deductions for fund commitments below)
73,992		Transpo DIF in Reserve
		Need Partnership: HOA, BC, Others
		BCSD Purchase/install 50%
		South Woodside URA if established
	15,000	URA
	15,000	Airport URA if established
	1,855,053	STP Funding, 7.34% local Match
	1,500,000	River URA Funding Request & Local Match to STP
		Quigley Phase 1 Development requirement, up to \$200k (see agreement)
		Quigley Phase 2 requirement if portion of P1 \$200k still remains
248,913		Quigley Annexation Fees (\$232,801) PLUS Sidewalk In Lieu Reserve for pathway
47,696		P4P Interest and excess over \$800k=33821+Sidewalk In lieu Reserve (1078+5720+1980+5637)
	482,264	TAP Grant Pending, Agreement & Timeline Pending
197,787		P4P Remaining, Awaiting Area Master Plan, timeline uncertain
66,500		P4P Commitment
60,350		In Lieu Fees - Broadford Pathway CGP
21,500		Sidewalk In-Lieu Fees in Reserve from Carbonate View (\$21,500)
3,555		Remnant of Lupine In Lieu Reserve @ \$3555
7,000		Kiwanis Material Donation Completes full cost of \$27k (Park In Lieu In Reserve)
		Concrete Densification is first step, (Park In Lieu in Reserve)
	15,000	Developer Contribution, possible ammendment pending
23,661		CIP DIF in Reserve
0		CIP DIF Earned FY 2020
	247,500	Grant - FEMA Idaho Office Emergency Man
65,716		Fire DIF in Reserve
84,000		Capital Fund Reserves Previously Committed
		In Reserve, BS 6/2/20
		In Reserve, BS 6/2/20
		Projected earnings FY 20/21
\$1,117,105	\$4,114,817	
	\$5,231,921.80	

(\$434,023)

All DIF & In Lieu Reserves as of 09/31/2019 are allocated within the above table

Return to DIF Agenda

Agenda
HAILEY PLANNING & ZONING COMMISSION
Monday, June 15, 2020
Virtual Meeting
5:30 p.m.

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>
Via One-touch dial in by phone: <tel:+15713173122,,506287589#>
Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Adoption of Findings of Fact, Conclusions of Law and Decision of Design Review Application by the City of Hailey, for a new 325 square foot "Fire Safety House" to be located behind the existing Hailey Fire Department at 617 South 3rd Ave. (Lot 8B, Block 2, Hailey Townsite) within the General Residential (GR) and Hailey Townsite zoning districts.
ACTION ITEM

Public Hearing

PH 1 Consideration of a City-initiated Text Amendment to the Hailey Municipal Code to Title 13: Public Services, Chapter 13.04, Water and Wastewater Systems, Section 13.04.060, Cross Connections to clarify the purpose of the ordinance and modify E(3) by *removing double check valve assembly* and H. by *adding and Idaho plumbing code* and amend Title 18: Mobility Design, Chapter 18.14, Standard Drawings, Section 18.14.010, Diagrams to modify or replace drawings 18.14.000.0, 18.14.010.B.3 and 18.14.010.B.4, 18.14.010.B.7 through 18.14.010.B.11, 18.14.010.C.1 through 18.14.010.C.3, 18.14.010.C.6, 18.14.010.D.4a, and 18.14.014.F. **ACTION ITEM**

PH 2 Consideration of a Design Review Application by Old City Hall LLC, represented by Blincoe Architecture for a 2,757 square foot commercial addition to the existing building used by the Advocates Attic including an outdoor display and five (5) additional parking stalls located on River Street. This project is located at 12 W Carbonate St (Lots 12-15, Block 41, Hailey Townsite) within the Business Zoning District. **ACTION ITEM.**

PH 3 Consideration of a Preliminary Plat Subdivision Application (Phase 2) by Sweetwater Communities, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision, where Phase 2 of Block 2 is subdivided into 14 sublots consisting, two (2) ten-unit condominium and four (4), three-plex townhomes for a total of 32 residential units. This project is located on the corner of Shenandoah Drive and Countryside Boulevard, in Section 15, T.2 N., R.18 E., B.M., City of Hailey, Blaine County, Idaho, within the Limited Business (LB) Zoning District. **ACTION ITEM.**

PH 4 Consideration of a Design Review application by Pioneer, LLC represented by Andrew Bick for Pioneer Storage Phase 2, a storage facility consisting of five (5) single-level storage buildings totaling 16,760 square feet and related parking, to be located at 1291 and 1311 Citation Way (Lots 1A and 1B, Airport West Subdivision #2) in the SCI-SO Zone District. **ITEM WILL BE CONTINUED ON RECORD TO JULY 30, 2020. ACTION ITEM.**

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

SR 2 Discussion of the next Planning and Zoning meeting: June 29, 2020.

- DR: O’Meara Residence
- CUP: AFT Player Park

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 1, 2020, the Hailey Planning and Zoning Commission considered Design Review Application by City of Hailey, for approval of a new 325 square foot, detached single-family dwelling unit that will serve as an educational training facility for students consists of a 325 square foot main floor, to be located at 617 S 3rd Ave, Hailey (Lot 8B, Block 2, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

FINDINGS OF FACT

Notice:

Notice for the public hearing was published in the Idaho Mountain Express on April 29, 2020 and mailed to property owners within 300 feet on April 28, 2020 for May 18, 2020 Public Hearing. This project was continued on record to June 1, 2020 at the May 18, 2020 Public Hearing.

Application:

The Applicant is proposing a new 325 square foot, Single-Family Dwelling Unit, which consists of a 325 square foot main floor unit just behind the existing adjacent Hailey Fire Department building. This new building is to replace a seasonally used training trailer that comes from the Twin Falls areas as necessary for local education. The structure will be built in a somewhat temporary nature in that it will be built on wood skids instead of a typical concrete foundation. It will however be connected to the earth with helical anchors for seismic and wind restraint. The entire building will be entirely engineered and constructed for applicable structural and life safety requirements.

The guests will arrive by bus to the site, fire department staff and or teaching staff from said school will escort students to the building. The building is intended to represent a small one-bedroom house in character. Students gather in the front room (living room) to learn and discuss fire safety standards and practices. This room is to look like a living room and kitchen but is purely a meeting/training area. The students are then led into the rear room (bedroom). The door is shut. The students and a fireman in full service/protection gear discuss what to do in the event of fire and how to egress. The hall outside the room is filled with concert fog style smoke, and a heating pad on the door is turned on. The students touch the door, crack open the door and experience the "smoke," and then through a semi-real world experience egress via the operable window and ladder on the outside of the building to a waiting fire department personnel staff member.

This is a training building that will only be used in the fall and spring of the school season. If needed, it can be lifted onto a trailer and hauled used elsewhere due to the foundation system. Since this is only temporarily used, heat systems will be simply electric baseboards/ electric Cadet style blowers. No plumbing is necessary since this will not be occupied on a routine basis. The intent is fully complying with the Design Review standards and building permit / Building Code requirements as applicable to this unique building type.

Procedural History:

The Design Review Application was submitted on February 13, 2020 and certified complete on February 27, 2020. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on June 1, 2020, in the Hailey City Council Chambers and virtually.


General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Water and Sewer: <i>All utilities will be run underground. Only electricity will be provided to this structure, a plug in RV style 50 AMP service.</i>
				<i>The Commission has found this standard to be met.</i>
				Building: <i>No comments</i>
			Streets: <i>No comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	17.08A Signs: <i>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</i>
			Staff Comments	<i>No proposed signs are identified on plans submitted February 13, 2020. All signage to remain the same. A signage permit shall be acquired for any new signage and conform to City regulations.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Requirements	See Section 17.09.040 for applicable code.
			Staff Comments	<i>The Hailey Municipal Code requires a minimum of one (1) parking space per Accessory Dwelling Unit or all dwellings less than 1,000 gross square feet. The project is approximately 325 gross square feet in size. One (1) parking space is required.</i> <i>The use of the building is by fire department staff who already have parking allocated for the adjacent existing building in which they reside and work. For the students and teachers coming, they will arrive by bus and will use existing parking spaces adjacent to the building on the south side.</i> <i>City Staff believe that the parking in the adjacent existing building is sufficient to meet this requirement.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08 C.040 General Standards a. All exterior lighting shall be designed, located and lamped in order to prevent: 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.

				<p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing new exterior light fixtures on the Single-Family Dwelling Unit. The light fixture will be low in wattage, downcast and comply with the Dark Sky Ordinance.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p>Zone: General Residential (GR) Zone District Maximum Height: 35' Setbacks: 0'</p>
			<i>Staff Comments</i>	<p><i>Proposed Height: 14'-11 7/8"</i> <i>Proposed Front Yard (East) Setback: 70'-10 1/8"</i> <i>Proposed Rear Yard (West) Setback: 35'-11"</i> <i>Proposed Side Yard Setbacks:</i></p> <ul style="list-style-type: none"> • <i>North: 38'-6 7/8"</i> • <i>South: 76'-2 1/8"</i> <p><i>The proposed detached Single-Family Dwelling Unit complies with the height and setback requirements of the Municipal Code.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Required Street Improvements Required	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			<i>Staff Comments</i>	<p><i>City Staff is of the opinion that the scope of this project does not trigger the need for sidewalks.</i></p> <p><i>The site is relatively flat and the minimal amount of water dripped from the roof will percolate onto/into the site. There is a rain diverter over each entrance, and the exit from the bedroom has a 24" round x 24" deep minimum drywell for rain diverter drip. The surfaces to access this building are permeable materials that also allow percolation into the site.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<i>Staff Comments</i>	<p><i>N/A this building is not proposing access to the main water line.</i></p>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A) 1, items (a) thru (n)


Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			Staff Comments	<p>The orientation of the building has Southeast and Southwest facing windows for solar exposure in the primary meeting space (living room) and training room (bedroom). The same access to the building as well has the same orientation for stairs and ramp. The sun will help keep snow melted and surfaces dry for safe access to the building. The Applicant is also proposing snow clips above the entry and exit access areas.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			Staff Comments	<p>There is not existing vegetation from a lawn, tree, or shrub inventory. A concern was raised about existing weeds, and the Applicant stated that site clearing has already begun, and the landscape will be improved within a limited budget.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			Staff Comments	<p>The pedestrian access through the site will come from the designated existing parking areas on 3rd Ave. Users of the building will arrive by bus and will be escorted by fire dept. staff and teachers to the rear of the property on the south side via a compacted road-mix path that is partially existing. An improved path from any areas existing not connected to the new building will be extended and installed at a 5'-0" min. width and will be nearly level, and connected to the new stairs and ADA ramp as well as to the area where the kids will exit the building via the escape window.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			Staff Comments	<p>This project will only have electrical service. The service to this building will be extended from the existing building and run underground. The new building sub panel is on the north side (rear) of this building. It will be approximately 12" x 18" x 4" deep and will be painted the color of the siding to visually integrate. There is/will be no garbage storage or pick up necessary for this building based on the intended type of use. Thus, no screening is necessary for building services aspects.</p> <p>The Commission has found this standard to be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p>
			Staff Comments	<p>N/A the alley is well below the project site.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	<i>N/A no vending machines are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <ul style="list-style-type: none"> i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			<i>Staff Comments</i>	<p><i>On-site parking is located on 3rd Avenue. The use of the building is by fire dept. staff who already have parking allocated for the adjacent existing building in which they reside & work. For the students and teachers coming, they will arrive by bus and will use the existing parking space adjacent to the building on the south side.</i></p> <p><i>This site is not in the SCI zoning district; it is in the General Residential (GR) zoning district and Township Overlay (TO).</i></p> <p><i>The parking spaces are existing. The users of this building are either staff in the existing building where parking is already accounted for or, visitors to use the new building will come by bus and an area that is existing and or may need to be improved for the bus parking is shown on the site plan on the south side of the building. No need for buffering due to VERY limited/intermittent use of building.</i></p>  <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Staff Comments</i>	<p><i>The parking spaces are located off the existing street and are existing. There is no conflict of pedestrian and vehicle as the arriving users to the building will have their own parking area with direct access to the building- see site plan or 17.06.080(A) 1g for more detail.</i></p> <p><i>The Commission has found this standard to be met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1i	<p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>
			<i>Staff Comments</i>	<p><i>The snow storage areas are shown on the site plan. These areas have direct access for blading and or blowing of snow with ample snow storage area.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p>
			<i>Staff Comments</i>	<p><i>The snow storage area and calculations are shown on the site plan and is not less than 25% of improved parking and pedestrian circulation areas, so it complies.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p>
			<i>Staff Comments</i>	<p><i>The snow storage areas are 10'-0" min. in width.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p>
			<i>Staff Comments</i>	<p><i>N/A snow storage will be onsite so there is no need for hauling.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p>
			<i>Staff Comments</i>	<p><i>The snow storage areas do not impede parking, circulation, loading or trash areas and utilities.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p>
			<i>Staff Comments</i>	<p><i>The snow storage areas are on non-improved/non irrigated surface areas, no salt will be used for these snow maintenance areas, thus not affecting existing non-improved/non-irrigated surface areas. If lawn will be installed, the applicant commits to not using salt type snow melt products.</i></p> <p><i>The Commission has found this standard to be met.</i></p>

2. Building Design: 17.06.080(A) 2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p>
			<i>Staff Comments</i>	<p><i>The proportion, size, shape and roof profile of the new building are similar to the existing residences on the opposite side of the street. The building is small in size/scale, and its backdrop is screened by the existing fire department building when viewed from the west, which is the most prominent view. The intent of the building is to have a residential nature in its aesthetic for the student to perceive it as a "little" home.</i></p>

				<i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	<i>N/A the design is not a standardized corporate building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The building is one story. It is small in its nature and thus emphasizes human scale. The pedestrian access, orientation is specifically designed to encourage human activity and interaction as this is a “flow through” training building for kids to go into the building via the front door and out via a bedroom /training room window.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>The new building front facade faces the adjacent access parking area. This building is not directly for the publics’ use. It is a secondary use on the site of a fire department. The entrance has human scale form (gable) and knee brace architectural detailing and changes in materials from a siding, corner trim accentuating surfaces and volumes to be residential in nature.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>N/A this will be all new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	<i>The new building will have varying materials, texture and colors which will match the existing, directly adjacent buildings’ siding, trim, profile, and colors.</i>
				 <p style="text-align: center; font-size: small;">FRONT LEFT VIEW COLORS OF SIDING/TRIM TO MATCH EXISTING</p>
				<i>The Commission has found this standard to be met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<p><i>The colors and materials are harmonious in color palette and integrated appropriately to match the existing building and are harmonious with the project.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	<i>N/A This is a one-story building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <p>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</p>
				<p>iii) Double glazed windows.</p> <p>iv) Windows with Low Emissivity glazing.</p> <p>v) Earth berming against exterior walls</p> <p>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p>vii) Exterior light shelves. All windows on the southernmost facingside of the building shall have external light shelves installed.</p>
			<i>Staff Comments</i>	<p><i>The following items are the two energy reduction elements/aspects that will be included.</i></p> <p><i>1. The glazing in the doors and windows will be double-glazed.</i></p> <p><i>2. Low "E" coatings will be included on all of the glazing.</i></p> <p><i>The Applicant requests for consideration of alternatives for a third items' compliance:</i></p> <p><i>a. The ceiling insulation will be R-60 which is 19% better than the required R-49.</i></p> <p><i>b. The window glazing will have a U-value of .28 which is 12.5% better than the required .32 U-Value.</i></p> <p><i>City Staff has seen several recent projects that have had the increased ceiling insulation approved for compliance and recommends that the Commission approve this.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.

			<i>Staff Comments</i>	<i>The primary entry is on a gable end not requiring snow fences or gutters. However, the Applicant has committed that a rain diverter along with a snow clips will be provided on the west side to protect students exiting through the bedroom window and a portion of the ramp.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards. <i>Staff Comments</i> <i>The rain diverter will shed/drip directly to grade. A 24" washed rock drywell will be installed in the drip location.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s). <i>Staff Comments</i> <i>N/A. No vehicle canopies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Title 17: Zoning Regulations. <i>Staff Comments</i> <i>N/A If, at a later time, a sign will be installed on the front-end gable, the applicant has committed to submitting for an approved sign via a sign permit application.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3a	a. Accessory structures shall be designed to be compatible with the principal building(s). <i>Staff Comments</i> <i>The new building will have wall materials and features of architectural detailing that match the existing building.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3b	b. Accessory structures shall be located at the rear of the property. <i>Staff Comments</i> <i>The new building is located on the alley side of the lot to the rear of the existing building.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site. <i>Staff Comments</i> <i>N/A. No walls or fences are existing or proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact. <i>Staff Comments</i> <i>N/A. No walls or fences are existing or proposed.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>N/A No roof projections are required/proposed for this project. There will not be any operational plumbing, the sink is just “staged” to look like a functioning kitchen. All utilities to be electric, and no flues.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3f	f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A none are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>N/A No ground mounted mechanical equipment is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3h	h. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>The electrical service is the only service necessary. It will be run underground from the existing building.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3i	i. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>N/A No appurtenances are proposed on existing utility poles.</i>

4. Landscaping: 17.06.080(A) 4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>If any lawn is planted in the future, the Applicant has committed that it will be of a drought tolerant type.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>If any plants will be installed (none proposed), the Applicant has committed that plant species will meet the Zone 4 environment requirements.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>If any plantings are installed such as drought tolerant grass, the Applicant has committed that it will be irrigated as required for establishment.</i> <i>The Commission has found this standard to be met.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			<i>Staff Comments</i>	<i>N/A No new landscaping areas are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	<i>N/A as the proposed building is located within the General Residential (GR) Zone District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>N/A as the proposed building is located within the General Residential (GR) Zone District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>The tiny amount of water dripped from the roof will percolate onto/into the site. The surfaces to access this building are permeable materials also allowing percolation into the site. The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>The landscaping, if installed, will be maintained by the existing primary buildings' property management. The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>N/A No retaining walls are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>N/A No retaining walls are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A No retaining walls are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A No retaining walls are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A No retaining walls are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.

<i>Staff Comments</i>	<i>N/A No retaining walls are planned.</i>
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Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)1	<p>1) Site Planning</p> <p>Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</p> <p><i>Staff Comments</i></p> <p><i>The orientation of this building follows the main building, which is consistent with the Old Hailey town grid.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> scale and massing of new buildings consistent with the surrounding neighborhood; building orientation that respects the established grid pattern of Old Hailey; clearly visible front entrances; use of alleys as the preferred access for secondary uses and automobile access; adequate storage for recreational vehicles; yards and open spaces; solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; snow storage appropriate for the property; underground utilities for new dwelling units. <p><i>Staff Comments</i></p> <p><i>Although the scale and massing of this building is smaller than other buildings in the surrounding area, it is a secondary temporary structure. The proportion, shape and roof profile of the new building is similar to the existing residences on the opposite side of the street.</i></p> <p><i>The building orientation respects the established grid pattern of Old Hailey.</i></p> <p><i>This building is situated behind a main building and does not face 3rd Ave. The front entrance is on a side that is easily accessible and clearly visible from the main building and the adjacent access parking area.</i></p> <p><i>The alley is well below the project site.</i></p> <p><i>There is no storage planned for recreational vehicles.</i></p> <p><i>There is open space around the building.</i></p> <p><i>The orientation of the building has southeast and southwest facing windows for solar exposure in the primary meeting space (living room) and training room (bedroom).</i></p> <p><i>Snow storage area meets the minimum size and dimensions.</i></p>

				<p><i>The building will only have electrical service, which will be extended from the existing building and run underground.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p> <p><i>Staff Comments</i> N/A There is no active solar planned.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)2	<p>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</p> <p>Guideline: The perceived mass of larger buildings shall be diminished by the design.</p> <p><i>Staff Comments</i> This building is small in size/scale so the perception of bulk or mass is not a concern.</p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3	<p>3. Architectural Character</p>
			17.06.090(C)3a	<p>a. General</p> <p>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</p> <p><i>Staff Comments</i> The proportion, size, shape, and roof profile of the new building is similar to nearby residences and is respectful of vernaculars of the past.</p> <p><i>The Commission discussed if the style is sufficiently respectful of the past and reflects the current era. The Commission expressed that this proposed building fits the character of the neighborhood and that the design is appropriate for the neighborhood, use, and vernaculars of the past.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3b	<p>b. Building Orientation</p> <p>Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</p> <p><i>Staff Comments</i> While the front entry is not visible from the street, it is visible and inviting for the access from the main building.</p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</p> <p><i>Staff Comments</i> The building is oriented to respect the existing grid pattern.</p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3c	<p>c. Building Form</p> <p>Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</p> <p><i>Staff Comments</i> This building is small in nature, so it is not necessary to reduce the perceived scale.</p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>d. Roof Form</p> <p>Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.</p> <p><i>Staff Comments</i> The roof form defines the entry to the building. There is no garage.</p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.</p>

				<ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			<i>Staff Comments</i>	<p>The roof pitch is designed to allow snow to shed safely onto the property. The orientation to the South and Southwest as well as the dark color of the roof also allow snow to shed. The pitch does not shed snow onto the main entry area but could shed snow on the landing used to escape the building. The Applicant has designed snow clips over key pedestrian routes.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</p>
			<i>Staff Comments</i>	<p>The roof profile of the new building is similar to the existing residences on the opposite side of the street.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</p>
			<i>Staff Comments</i>	<p>The roof profile of the new building is similar to the existing residences on the opposite side of the street.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	<p>e. Wall Planes</p> <p>Guideline: Primary wall planes should be parallel to the front lot line.</p>
			<i>Staff Comments</i>	<p>Primary wall planes are parallel to the front lot line.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	<p>Guideline: Wall planes shall be proportional to the site and shall respect the scale of the surrounding neighborhood.</p>
			<i>Staff Comments</i>	<p>The wall planes are proportional to the site and similar to nearby homes.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	<p>Guideline: The use of pop-outs to break up longer wall planes is encouraged.</p>
			<i>Staff Comments</i>	<p>The longer wall planes have windows to break up the plane. On such a small building it does not seem necessary to use pop-outs.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	<p>f. Windows</p> <p>Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.</p>
			<i>Staff Comments</i>	<p>The windows are on the front and back and face the main building and open space. This building is secondary and does not face the street directly.</p> <p>The windows are of a traditional size, scale and proportion.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	<p>Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.</p>
			<i>Staff Comments</i>	<p>There are no windows on the sides so privacy of neighbors is respected; the windows on the front face the main building, which is associated.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	<p>g. Decks and Balconies</p> <p>Guideline: Decks and balconies shall be in scale with the building and the neighborhood.</p>
			<i>Staff Comments</i>	<p>There is no balcony proposed. The deck off the front entry is appropriately scaled.</p>

				<i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			<i>Staff Comments</i>	<i>The deck is situated approximately seventy feet (70') from the side lot line, which provides sufficient distance to respect privacy. In addition, it is a deck for entry not for congregating.</i>
				<i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	h. Building Materials and Finishes
				Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.
			<i>Staff Comments</i>	<i>The materials and colors were selected to coordinate with the existing building. The new building is small in nature so there is no perception of large walls.</i>
				<i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)3h	Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	<i>N/A There are no large wall planes. This building is small in nature.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	i. Ornamentation and Architectural Detailing
				Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.
			<i>Staff Comments</i>	<i>There are windows on the front wall plane.</i>
				<i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	<i>There is a deck that serves as a stoop for the entry.</i>
				<i>The Commission discussed that the windows, shutters and trim are sufficiently reminiscent of Old Hailey.</i>
				<i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	<i>The details and ornamentation are consistent with the main building. The scale is compatible with nearby residences.</i>
				<i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	4. Circulation and Parking
				Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	<i>This building is not directly for the publics' use. It is a secondary use on the site of a fire department. Parking is existing and is safely accessible from the entry. This building is intended to be used in the spring and fall so snow should not be a primary issue.</i>
				<i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	<i>The parking is existing.</i>
				<i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	<i>Parking is accessible from the entrance.</i>

				<i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	<i>N/A There is no garage planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	<i>N/A There is no garage planned.</i>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	<i>N/A Parking is existing. No garage is planned and no curb cuts are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			<i>Staff Comments</i>	<i>N/A This building is not intended for typical residential use so would not need to consider parking for recreational vehicles.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	5. Alleys
				Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			<i>Staff Comments</i>	<i>N/A The alley is well below the project site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.
			<i>Staff Comments</i>	<i>N/A The alley is well below the project site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			<i>Staff Comments</i>	<i>N/A The alley is well below the project site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			<i>Staff Comments</i>	<i>N/A The alley is well below the project site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)6	6. Accessory Structures
				Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			<i>Staff Comments</i>	<i>This building is accessory in nature to the main building and appears subordinate.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			<i>Staff Comments</i>	<i>This building is accessory in nature to the main building and is located behind it. The alley is well below the project site so not practical to locate it near the alley.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	7. Snow Storage
				Guideline: All projects shall be required to provide 25% snow storage on the site.
			<i>Staff Comments</i>	<i>This project provides more than 25% snow storage on site.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	Guideline: A snow storage plan shall be developed for every project showing:
				<ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			<i>Staff Comments</i>	<i>A snow storage plan was provided.</i>

				<i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)8	8. Existing Mature Trees and Landscaping
				Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			<i>Staff Comments</i>	<i>N/A There are no existing mature trees.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			<i>Staff Comments</i>	<i>N/A There are no existing significant landscape features.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Noxious weeds shall be controlled according to State Law.
			<i>Staff Comments</i>	<i>No new plantings are proposed but if any lawn or plants are installed, they will be drought tolerant and meet zone 4 environment requirements. The existing landscaping and control of weeds will be maintained by the existing primary building's property management.</i>
				<i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	9. Fences and Walls
				Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			<i>Staff Comments</i>	<i>N/A There are no fences or walls that abut public streets and sidewalks proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	Guideline: Retaining walls shall be in scale to the streetscape.
			<i>Staff Comments</i>	<i>N/A There are no retaining walls proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	10. Historic Structures
				General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			<i>Staff Comments</i>	<i>N/A This is not a Historic Structure.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines: <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building;

			~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.
		<i>Staff Comments</i>	<i>N/A This is not a Historic Structure.</i>

17.06.60 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

- 1. The project does not jeopardize the health, safety or welfare of the public.**
- 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff.

Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, and other Sections of the Hailey Municipal Code and City Standards.

DECISION

The Design Review Application by City of Hailey, located at 617 S 3rd Ave, Hailey (Lot 8B, Block 2, Hailey Townsite), for a new 325 square foot, detached single-family dwelling unit that will serve as an educational training facility for students within the B General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (h) are met:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- d) Encroachment permits will be needed for work in the right-of-way.
- e) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- f) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- g) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- h) The alternate energy conserving measures of increased ceiling insulation of R-60, which is 19% better than the required R-49, will be installed.

Signed this _____ day of _____, 2020.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of June 15, 2020

TO: Planning and Zoning Commission

FM: Courtney Hamilton, Interim Community Development City Planner
Lisa Horowitz, Director of Community Development
Brian Yeager, City Engineer & Director of Public Works

RE: Consideration of Amendments to Title 13, Public Services, Section 13.04.060, Cross Connections and Title 18, Mobility Design, Section 18.14, Standard Drawings

HEARING: June 15, 2020

Notice

Notice for the public hearing was published in the Idaho Mountain Express on April 29, 2020 and mailed to property owners within 300 feet on April 28, 2020 for the May 18, 2020 public hearing.

Background

Consideration of a Text Amendment to Title 13, Public Services, Section 13.04.060, Cross Connections by repealing the existing section and replacing with a new section addressing Purpose; Applicability; Definitions; Guidelines and Standards for cross connections.

Concurrently, an amendment is proposed to Title 18, Mobility Design, Section 18.14, Standard Drawings, by repealing and replacing the below listed standard drawings:

- 18.14.000.0, Index Sheet
- 18.14.010.B.3, Residential Water Service Connection
- 18.14.010.B.4, Thrust Blocking for Water Main Fittings
- 18.14.010.B.7, Potable and Non-Potable Water Line (NPWL) Separation
- 18.14.010.B.8, Irrigation System Double Check Valve Low Hazard Only
- 18.14.010.B.9, Pressure-Vacuum Breaker Assembly (PVBA)
- 18.14.010.B.10, Reduced-Pressure Principle Backflow Assembly (RPBA)
- 18.14.010.B.11, Typical Water Irrigation Layout – keep and reuse
- 18.14.010.C.1, Sewer Manhole (Type A)
- 18.14.010.C.2, Special Sewer Manholes
- 18.14.010.C.3, Manhole Cover & Frame
- 18.14.010.C.6, Sewer Pipe Laying
- 18.14.010.D.4a, Typical Drywell
- 18.14.014.F, Tree Well Detail

The drawings are proposed to be replaced with new or revised standard drawings as listed below. Revisions are outlined in the attached drawings. Drawings not attached are published within the Idaho Standards for Public works Construction Stand Drawings:

- 18.14.000.0, Index Sheet
- 18.14.010.B.3, Residential Water Service Connection
- 18.14.010.B.4 – Thrust Blocking for Water Main Fittings - REPLACE WITH SD 403
- 18.14.010.B.7 – Potable and Non-potable Water Line (NPWL) Separation - REPLACE WITH SD 407
- 18.14.010.B.11, Typical Water Irrigation Layout

- 18.14.010.C.1 – Sewer Manhole (Type A) – REPLACE WITH SD 501
- 18.14.010.C.2 – Special Sewer Manholes – REPLACE WITH SD 504 & 505
- 18.14.010.C.3 – Manhole Cover & Frame – REPLACE WITH SD 507
- 18.14.010.C.6 – Sewer Pipe Laying – REPLACE WITH SD 302
- 18.14.010.D.4a, Typical Drywell
- 18.14.014.F, Tree Well Detail

The updated sections are a recommendation by the City Engineer and Director of Public Works.

Criteria for Review.

Section 17.14.060(A) of the Hailey Municipal Code provides “[w]hen evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

1. The proposed amendment is in accordance with the comprehensive plan;
2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;
3. The proposed uses are compatible with the surrounding area; and
4. The proposed amendment will promote the public health, safety and general welfare.

1. The proposed amendment is in accordance with the comprehensive plan.

The 2010 Hailey Comprehensive Plan Section 1, Natural Resources, Energy and Air Quality provides an analysis of rivers and other waters, forests, rangeland, soils, fisheries, wildlife, minerals, geothermal, and watersheds. Section 1 also provides an analysis of energy use and practices that effect the quality of air and quality and quantity of surface and ground water. Additionally, Section 9, Public Services Facilities and Utilities provides general analysis for sewage, drainage, power plant sites, utility transmission corridors, water supply, fire stations and firefighting equipment, health and welfare facilities, libraries, solid waste disposal sites, schools, public safety facilities and related services. The following policies from the Comprehensive Plan are relevant to this text change.

1.1 Preserve, protect and restore natural resources including waterways, floodplains, wetlands, soil, community forest, native vegetation, green space and wildlife habitat and migration corridors for the benefit of the City and its residents

9.1 Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.

The proposed code revisions will not result in a change in allowed uses nor will they create excessive additional requirements at public cost for services. They are intended to update city code to use current state plumbing code standards to regulate cross connections in order to prevent pollution or contamination of the city water supply.

3. The proposed uses are compatible with the surrounding area.

The proposed code revisions will not result in a change in allowed uses.

4. The proposed amendment will promote the public health, safety and general welfare.

The amendments recommended are consistent with the Hailey Comprehensive Plan. The proposed code revisions will not result in a change in allowed uses. Staff recommends that these amendments will promote the public health, safety and general welfare.

MOTION LANGUAGE

Approval:

I move to recommend approval to the City Council of the attached revisions to Hailey Municipal Code Title 13, Public Services, Section 13.04.060, Cross Connections by repealing the existing section and replacing with a new section as well as attached revisions to Title 18, Mobility Design, Section 18.14, Standard Drawings, by repealing the drawings listed in this packet and replacing them with new drawings as shown in the attached revisions, finding the amendments are in accordance with the Comprehensive Plan, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Denial:

Motion to recommend denial of the attached revisions to Hailey Municipal Code Title 13, Public Services, Section 13.04.060 and Title 18, Mobility Design, Section 18.14, Standard Drawings, finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing to _____ [the Commission should specify a date]

DRAWING INDEX

TITLE	DRAWING NO.
TRENCHING	
Trench & Surface Repair	18.14.010.A.1
Typical Trench Section	18.14.010.A.2
WATER	
Fire Hydrant (Option 1)	18.14.010.B.1 with ISPWC SD-406
Fire Hydrant (Option 2)	18.14.010.B.2 with ISPWC SD-406
Water Service Connection	18.14.010.B.3
Thrust Blocking	ISPWC SD-403
Typical Water & Sewer Layout	18.14.010.B.5
Water Pipe Laying	18.14.010.B.6
Non-potable Water Line Separation	ISPWC SD-407
Typical Water Irrigation Layout	18.14.010.B.11
SEWER	
Sewer Manhole Type A	ISPWC SD-501 plus Note 2 hereon
Special Sewer Manholes	ISPWC SD-504 & 505 plus Note 2 hereon
Manhole Cover & Frame	ISPWC SD-507 plus Note 2 hereon
Sewer Service Connection	18.14.010.C.4
Sewer Backflow Valve	18.14.010.C.5
Sewer Pipe Laying	ISPWC SD-302
Pipe Support Across Trench	18.14.010.C.7
STORM	
Primary Catch Basin	18.14.010.D.1
Satellite Catch Basin <i>(precast catch basins may be used with prior approval of the City Engineer)</i>	ISPWC SD-601 or SD-603 with SD-609
Inlet Grate Detail	ISPWC SD-609
Typical Drywell	18.14.010.D.4a
Direct Entry Drywell	18.14.010.D.4b
Grease & Sand Trap	18.14.010.D.5
CONCRETE ***SEE NOTE 1 HEREON***	
Curb and Gutter	ISPWC SD-701 OR SD-703
Sidewalk	ISPWC SD-709
Driveway Approaches	18.14.012.B
Pedestrian Ramps	18.14.012.C
Valley Gutter	ISPWC SD-708
Sidewalks at Intersections	18.14.012.E

DRAWING INDEX

TITLE	DRAWING NO.
ROADS	
Curbed Street Section	18.14.012.F.1
Typical Street Section	18.14.012.F.2
Street Widening	18.14.012.G
On - Street Parking Standards	18.14.012.H.1
On - Site Parking Standards	18.14.012.H.2
Typical Shared Use Path	18.14.012.J
Typical Driveway Approach	18.14.012.K
Street Radius	18.14.012.L
MISCELLANEOUS	
Typical Utility Locations	18.14.014.C
Street Signs	18.14.014.D
Light Pole Pedestal Details	18.14.014.E.1
Light Pole Detail	18.14.014.E.2
Light Control Detail	18.14.014.E.3
Tree Well Details	18.14.014.F
STORM WATER MANAGEMENT	
Details	See BMP's / SWPPP
NOTES	
1) All Concrete shall be class 4000 with a minimum of 1.5 lbs/C.Y. fiber reinforcement. Contractor shall provide the following written submittals prior to inspection:	
a) Mix Design	
b) Curing & Protection Plan (ISPWC 703.3.5)	
c) Post pour Cure Sealing Compound Type & application plan	
2) Prefabricated base required unless otherwise approved by City. Fiberglass dustpan required on all manholes that are not on paved streets. WhirlyGIG form required between manhole cone and Cast Iron Frame with 12" max height.	

New

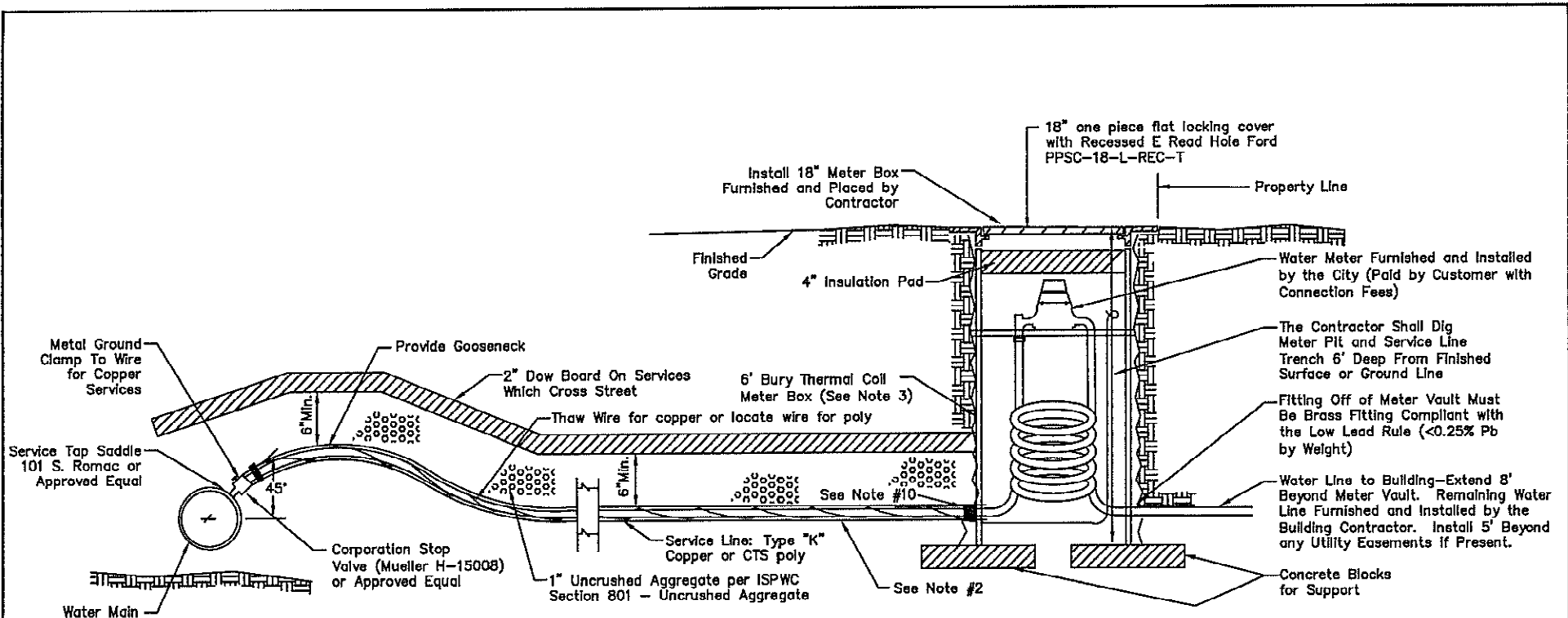
REVISIONS

2020 CITY OF HAILEY
STANDARD DRAWINGS

INDEX SHEET

18.14.000.0

DRAWING NO.



TYPICAL WATER SERVICE AND METER CONNECTION

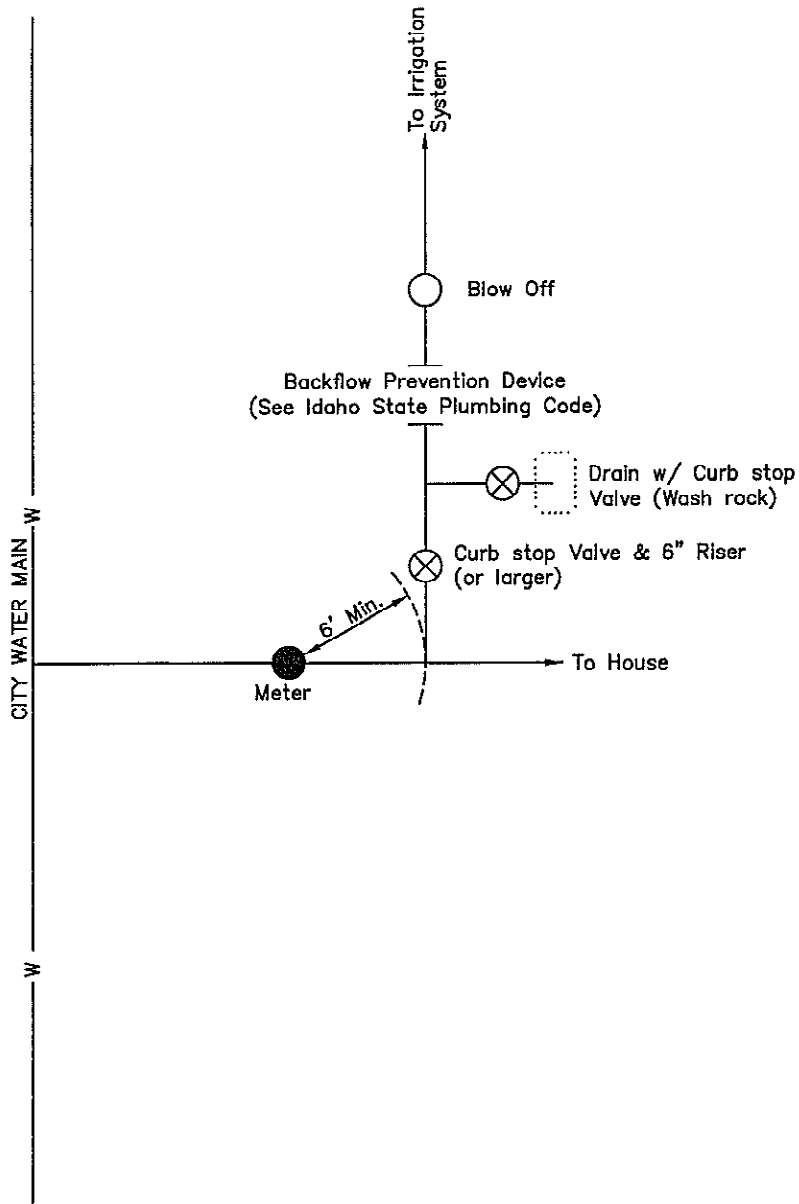
N.T.S.

NOTES

1. Water Services shall be installed in accordance with the current edition of the ISPWC—Section 404—Water Service Line and Meters.
2. Water Service Line shall have a 6' min. bury depth.
3. 0.75" Meter vaults shall be Mueller 250CS1872FBBN or Ford PFCBH-388-18-72-FP-NL.
1" Meter Vaults shall be Mueller 330CS1872FBBN.
1-1.5" Meter Vaults shall be Muller 500VS2472FBBN or equal.
2" Meter Vaults shall be Muller 550VS2772FBBN or equal.
4. Service Line shall be 3/4" diameter Type K copper or polyethylene pressure pipe 250 psi DR 9 copper tube size (CTS) unless otherwise specified. Copper service pipe shall be encased with plastic pipe sleeving material from corporation stop to vault with both ends wrapped with PASC0 10ml PVC #9052 pipe tape.
5. CAUTION: OPEN CORPORATION VALVE BEFORE BACKFILL.
6. An owner constructing a new public water system in a subdivision or development shall construct a water tap and service for each potential user and extend it to the property line. Water services shall be marked with a blue painted metal fence post.
7. All copper service shall be wrapped with #6 gauge copper wire thermally insulated wrap every 5'. A No. 12 AWG copper with insulation tracer wire will be wrapped around all PVC pipe at a minimum of 10 foot intervals for the full length of the pipe. Run wire to top of vault.
8. Water service lines which cross the street shall be insulated with 2" thick by 2' wide Dow Board. Insulation shall be installed from the water main to the vault.
9. Water service lines shall be bedded with Type I Pipe Bedding per the current edition of ISPWC Section 305 —Pipe Bedding.
10. Connection to the meter box or curb stop shall be; Mueller 110 Compression H-15451 for 3/4" Copper or CTS poly; Mueller H15451 CTS x F.I.P.; or Ford C14-33-Q-NL.
11. No service or irrigation connections within 6 feet of meter vault.
12. Separate service connections to main by a minimum of 2 feet and stagger multiple connections made on the pipe along the circumference.
13. Materials used shall be compliant with ANSI/NSF 60/61.
14. All services shall conform to the vertical and horizontal separation requirements per DEQ.
15. All parts must be brass and compliant with the low lead rule (<0.25 % Pb by weight).
16. All brands and model numbers specified herein, or an approved equal, shall be required. Approved equals shall be determined by the City.

New

REVISIONS	2020 CITY OF HAILEY STANDARD DRAWINGS	RESIDENTIAL WATER SERVICE CONNECTION	18.14.010.B.3
			DRAWING NO.



NOTES

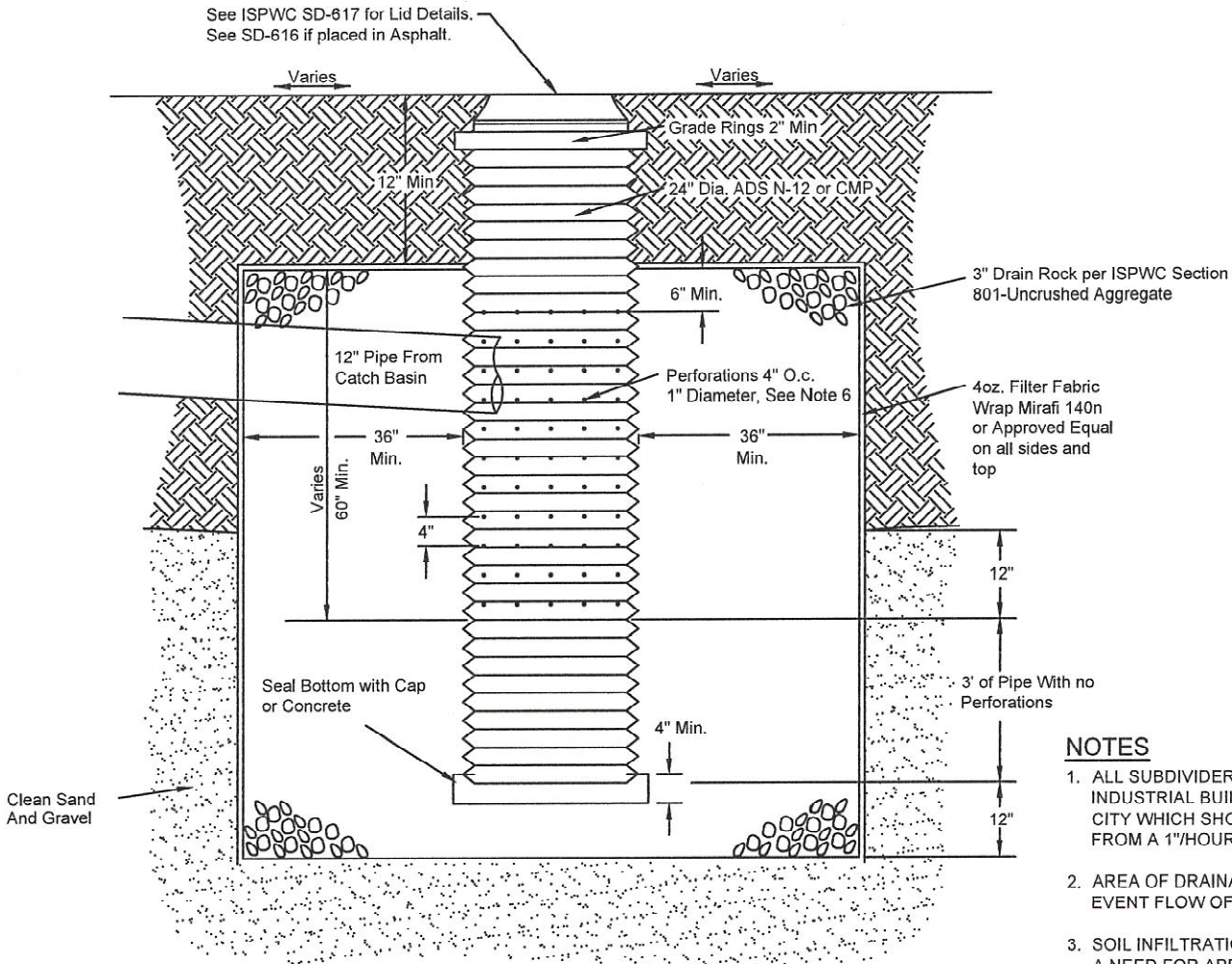
1. This plan is the desired typical layout for new & old development. New Water shall conform to this general conceptual layout except as otherwise specified and approved by the City.
2. The Owner/Developer shall show all Water service locations on design plans as approved by City.
3. No service or irrigation connections within 6 feet of meter vault.
4. Blow-Off must be downstream of backflow device.
5. All Backflow devices and installation shall meet Idaho State Plumbing Code and the current edition of the U.S.C. Manual of Cross Connection Control.

PLAN VIEW TYPICAL WATER IRRIGATION LAYOUT

N.T.S.

New

REVISIONS	2020 CITY OF HAILEY STANDARD DRAWINGS	TYPICAL WATER IRRIGATION LAYOUT	18.14.010.B.11
			DRAWING NO.



Note: The bed shall be excavated a minimum of 24" into clean sand and gravel. If clean sand and gravel is not encountered within 12 feet, the contractor shall contact the Engineer.

DRYWELL DETAIL
(FOR USE WITH PRIMARY CATCH BASINS ONLY)
NTS

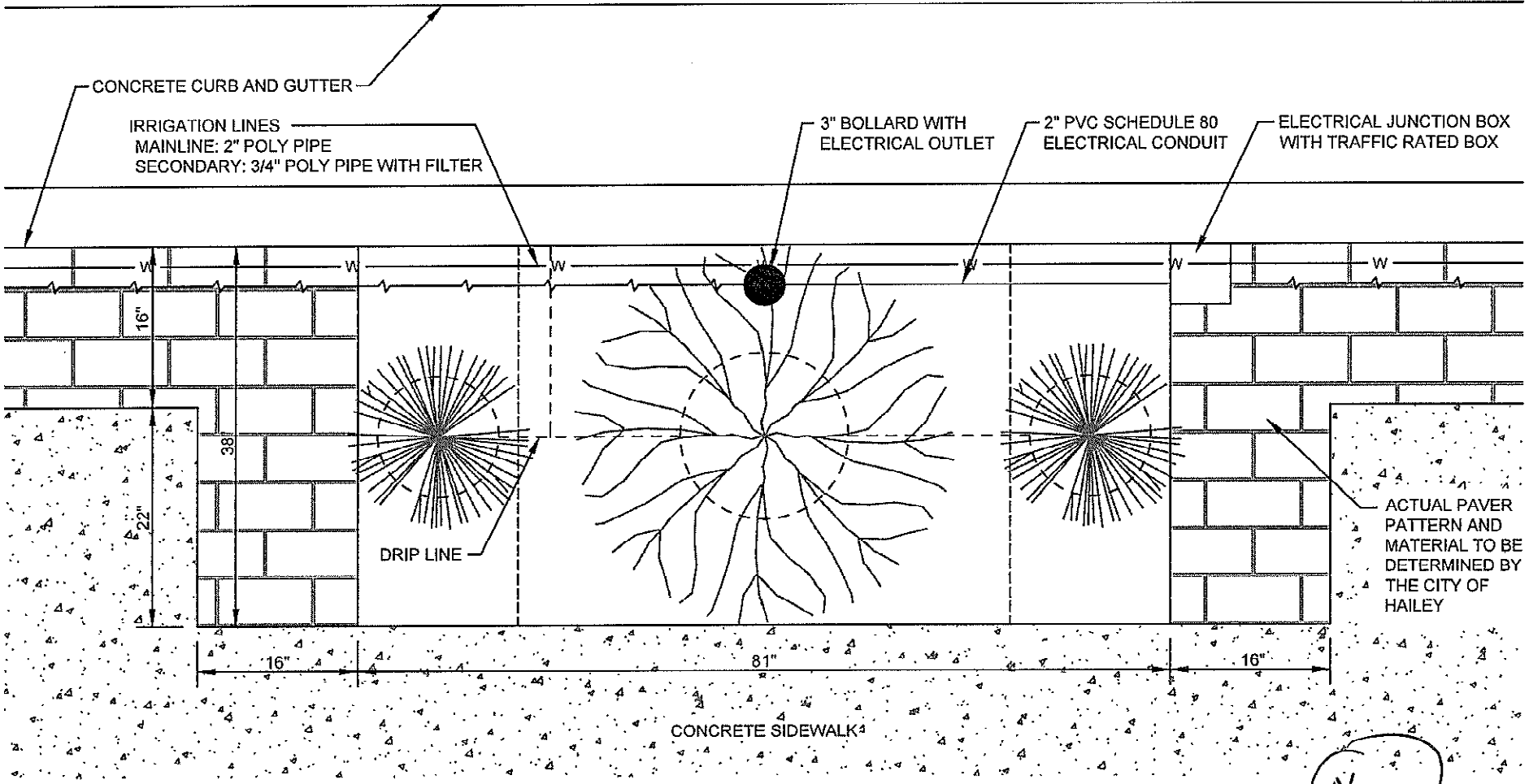
NOTES

1. ALL SUBDIVIDERS AND APPLICANTS FOR COMMERCIAL OR INDUSTRIAL BUILDING PERMITS SHALL FURNISH DATA TO THE CITY WHICH SHOWS A DESIGN TO ACCOMMODATE THE RUN-OFF FROM A 1"/HOUR, 25 YEAR STORM.
2. AREA OF DRAINAGE IS ____ ACRES RESULTING IN A STORM EVENT FLOW OF ____ cfs
3. SOIL INFILTRATION RATE ASSUMPTION IS ____" / MIN., RESULTING IN A NEED FOR APPROXIMATELY ____ S.F. OF INFILTRATION AREA.
4. DRYWELLS MUST BE CONNECTED TO A CATCH BASIN. NO INLET GRATES ALLOWED.
5. CONTRACTOR / OWNER SHALL SUBMIT IDAHO DEPARTMENT OF WATER RESOURCES (IWR) SHALLOW INJECTION WELL INVENTORY FORM FOR EACH DRYWELL CONSTRUCTED TO THE CITY OF HAILEY.
6. GEOTECH FILTER FABRIC MAY BE ALLOWABLE, WITH CITY APPROVAL, TO SEAL PERFORATIONS IN NON-PERFORATED AREA SHOWN HEREON IF PIPE IS SUPPLIED FULLY PERFORATED.

New

REVISIONS	2020 CITY OF HAILEY STANDARD DRAWINGS	TYPICAL DRYWELL	18.14.010.D.4a
			DRAWING NO.

PAVED ROADWAY



N.T.S.

NOTE:
 1. TREE TYPE / GRASS DETERMINED BY THE CITY ARBORIST.
 2. SEE CITY ORDINANCE 18.06.026 FOR STREET TREES GUIDELINES AND STANDARDS.

New

REVISIONS	2020 CITY OF HAILEY STANDARD DRAWINGS	TREE WELL DETAIL	18.14.014.F DRAWING NO.
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Return to Agenda



DESIGN REVIEW STAFF REPORT

TO: Hailey Planning and Zoning Commission

FROM: Courtney Hamilton, Interim Community Development City Planner

OVERVIEW: A Design Review Application by Old City Hall, LLC, for approval of a 2,757 square foot ground-level addition to The Attic Thrift Store to be located at 12 W. Carbonate Street (Lots 11-13, Block 41, Hailey Townsite) within the Business (B), Townsite Overlay (TO), and Downtown Residential Overlay (DRO) zoning districts.

HEARING: June 15, 2020

Applicant: Old City Hall, LLC, represented by Blincoe Architecture

Request: Design Review for a 2,757 square foot retail space addition to The Attic thrift store.

Location: 12 W. Carbonate St. (Lots 11-13, Block 41, Hailey Townsite)

Zoning: Business (B), Townsite Overlay (TO) and Downtown Residential Overlay (DRO)

Notice:

Notice for the public hearing was published in the Idaho Mountain Express on May 27, 2020 and mailed to property owners within 300 feet on May 27, 2020 for the June 15, 2020 Public Hearing.

Application:

The Applicant is proposing a new 2,757 square foot addition to The Advocates' Attic thrift store, consisting of 2,757 square feet of additional retail space, including one bathroom. The addition will extend the existing building along Carbonate to River Street, in the area where the store currently houses its outdoor display in the fenced yard along River Street. Various internal walls will be removed as well, and the main entry will be moved to a double-door entryway proposed along River Street. The applicant is also proposing to improve the River Street right-of-way including new sidewalk with a corner bulb-out, angled parking, and planters along both River Street and Carbonate Street. The applicant is aiming to match the architecture and materials of the existing building.

Procedural History:

The Design Review Application was submitted on May 13, 2020 and certified complete on June 4, 2020. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on June 15, 2020, in the Hailey City Council Chambers (to be held both virtually and in person).

General Requirements for all Design Review Applications					
Compliant			Standards and Staff Comments		
Yes	No	N/A	City Code	City Standards and Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>Complex grading issues exist on the site. Comments regarding these issues can be found under sidewalk and drainage improvements in this packet and staff will be present at the June 15, 2020 meeting to address the concerns.</i>	
				Life/Safety:	
				Water and Sewer:	
				Building:	
				Streets: <i>Complex grading issues exist on the site. Comments regarding these issues can be found under sidewalk and drainage improvements in this packet and staff will be present at the June 15, 2020 meeting to address the concerns.</i>	
<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070 (A)-1 Improvements Required – Sidewalks and Drainage Improvements	a. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.	
			Staff Comments	<i>The applicant is proposing sidewalks along River Street and Carbonate Street. Extensive grading issues exist with the site and the City Engineer will be in attendance at the June 15, 2020 hearing to address the issues.</i>	
<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070 (A)-2 Sidewalk and Drainage Improvements	Sidewalk and drainage improvements shall be located and constructed according to applicable city standards, except as otherwise provided herein. a. In the B and LB zoning districts, the following are required: (1) A minimum sidewalk width of ten feet (10'); (2) Street trees with tree grates or a landscape buffer between the sidewalk and curb determined to be adequate.	
			Staff Comments	<i>The applicant is proposing to complete the Carbonate Street sidewalk at its current 6' width and improve the River Street right-of-way to meet city standards set by the River Street cross section detail including a bike lane, 10' sidewalk, street trees, and diagonal parking. The Commission is encouraged to discuss the extent to which improvements are necessary for an addition versus new construction.</i> <i>Due to the grade change on the site and at the edge of the property in relation to the centerline of River Street, there are substantial grading issues with the River Street improvements. The applicant has proposed to build a ramped sidewalk to create ADA accessibility to the new River Street main entry, which may pose future grade issues in the completion of River Street right-of-way improvements. Staff is currently working through options to manage this issue and will be in attendance at the June 15, 2020 hearing to address the topic and answer any questions the Commissioners may have.</i>	
<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070 (A)-3	The length of sidewalk and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.	
			Staff Comments	<i>The applicant's property consists of five (5) adjacent city lots, Lots 11-15, Block 41 in the Hailey Townsite, over which the proposed addition only covers three (a lot line adjustment will be required to combine Lots 11-13 for this project). The applicant is proposing to improve sidewalk and drainage improvements along the portions of Carbonate Street adjacent to the addition and River Street which are directly adjacent to the building and proposed addition. Existing sidewalks and drainage adjacent to the current building is not proposed to be improved at this time. The Commission is encouraged to discuss the extent to which improvements are necessary for an addition versus new construction.</i>	

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	<i>N/A this building is not proposing new access to the main water line.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A.020 Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>A signage permit shall be acquired for any new signage and conform to City regulations.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040.01 Outdoor Lighting Standards	<p>General Standards</p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights should be on a timer. Security lighting should be sensor activated.</p> <p>c. Idaho Power shall not install any luminaires after the effective date hereof that lights the public right of way without first receiving approval for any such application by the lighting administrator.</p> <p>d. All exterior lighting shall be full cutoff luminaires with the light source downcast and fully shielded, unless exceptions are specified in section 17.008C.040.02</p>
			Staff Comments	<i>All proposed exterior lighting for the proposed project will be recessed downlighting. The applicant has been made aware that after-hours lights are discouraged and that sensors and timers are highly recommended.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.02 Loading Space Requirements and Dimensions	<p>A. Requirements: One loading space shall be provided for any single retail, wholesale or warehouse occupancy with a floor area in excess of four thousand (4,000) square feet ... Such spaces shall have a minimum area of five hundred (500) square feet, and no dimension shall be less than twelve feet (12').</p>
				<i>The existing building contains a 23' x 80' loading and storage area, with a square footage of approximately 2010 sq ft. This requirement has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.03 (A) Parking Credit Location	<p>Nonresidential uses within the business, limited business districts and transitional districts may improve city right of way and may be credited with the parking spaces created by that improvement.</p> <p>A. Location: Improvements shall be located within areas that meet the most number of the following criteria used to determine the funding priority of city projects:</p>
				<p><i>This project meets the following criteria:</i></p> <ul style="list-style-type: none"> - <i>Located within or adjacent to designate bicycle and pedestrian corridors</i> - <i>Located within one-fourth (1/4) or one-half (1/2) mile of downtown or neighborhood services</i> - <i>Located within downtown</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.03 (B) Parking Credit Requirements	<p>See Section 17.09.020.03 for applicable code.</p>
				<ul style="list-style-type: none"> - <i>The right of way shall be open to use by the public and shall not be used for exclusive parking for the property owner.</i> - <i>The applicant has included River Street upgrade sections to comply with the River Street cross section criteria required by the city. The City Engineer feels there are complex grading issues with the River Street right-of-way improvements and will be in attendance at the June 15, 2020 hearing to address these issues.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Dimension	The dimensions of all parking areas within the city right of way shall be in accordance with the city standards. See Section 17.09.030 for a table referring to required dimensions
				<i>This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040.02 On-site Parking Requirements for Commercial	All commercial, professional, service, recreation and entertainment uses shall provide improved parking in the amount of one parking space for every one thousand (1,000) square feet of gross building area
			Staff Comments	<i>The proposed project includes an addition of 2,757 sq feet, requiring two (2) additional parking spaces for the property per municipal code. The applicant is proposing to improve five (5) angle parking spaces in the public right-of-way along River Street including one Handicap Accessible parking space. The City Engineer is concerned that the grade of the site may not be able to accommodate ADA accessible parking – this will be addressed as a part of the grading discussion.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040.07 Bicycle Parking	All multi-family residential and commercial or mixed use development, including new construction and additions, shall provide at least three (3) bicycle parking spaces or bicycle spaces equivalent to twenty five percent (25%) of the required number of vehicle parking spaces, whichever is greater.
				<i>Bicycle parking has not been shown on the submitted plan set, however the applicant intends to locate sufficient bicycle parking by the Carbonate Street entrance to the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Zone: Business (B) Zone District within Townsite Overlay (TO) and Downtown Residential Overlay (DRO) Maximum Height: 35' Setbacks: 0'
			Staff Comments	<i>Proposed Height: ~19'</i> <ul style="list-style-type: none"> • <i>Proposed Front Yard (West – River St) Setback: 0'</i> • <i>Proposed Rear Yard (East - alley) Setback: 2' – 0 ¾"</i> • <i>Proposed Side Yard Setbacks:</i> <ul style="list-style-type: none"> • <i>North (Carbonate St): 0'</i> • <i>South: 70'</i> <i>This standard has been met.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A) 1, items (a) thru (n)


Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			Staff Comments	<i>The existing building contains a north-facing storefront along Carbonate Street, which does not utilize sun exposure for safer spaces, however is unavoidable given the property's location. The proposed addition includes a new main entrance along River Street on the west side of the building, creating a safer entrance due to greater sun exposure on the west side of the building.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1b	b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.
			<i>Staff Comments</i>	<i>Several medium-sized deciduous trees, will be removed as a part of the proposed project, including two small trees within the city right-of-way. Because the applicant is proposing new improved street frontage on all sides of the proposed project, replacing the trees on the property is not feasible, however, as a part of improvement requirements along River Street, the applicant will be required to install street trees. Tree committee review of the city trees to be removed will be required and has been added as a condition of approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1c	c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.
			<i>Staff Comments</i>	<i>The proposed addition will create much safer access to the building than currently exists. As was described under 17.06.080(A) 1a, the new entrance to the building will be along River Street, which will better utilize sun exposure at the entrance. Additionally, ramps are proposed along Carbonate St. and River St. to enhance handicap access to the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1d	d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.
			<i>Staff Comments</i>	<i>N/A - All building services are existing and located at the rear of the building. No changes are proposed to these areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			<i>Staff Comments</i>	<i>The alley is currently utilized for building services and will continue to do so.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	<i>N/A no vending machines are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1g	g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. i. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			<i>Staff Comments</i>	<i>N/A – no on site parking is proposed</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Staff Comments</i>	<i>N/A – no on site parking is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.

			<i>Staff Comments</i>	<i>Snow storage has been shown on the drawings dated June 8, 2020. The applicant also owns the two adjacent vacant lots, which can be utilized for snow storage if necessary, and the applicant will haul any snow that cannot be safely accessed and/or stored on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>The applicant intends to haul any snow that cannot be safely stored on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			<i>Staff Comments</i>	<i>The applicant intends to haul any snow that cannot be safely stored on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	<i>The applicant intends to haul any snow that cannot be safely stored on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>The applicant may store snow on the adjacent vacant lots, which are out of the way of all current property uses. Any snow that cannot be safely accessed and/or stored on site will be hauled away.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>The adjacent vacant lots, which may be utilized to store snow are not landscaped.</i>

2. Building Design: 17.06.080(A) 2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The proportion, size, shape and rooflines of the proposed addition are designed to match the existing building and are compatible with surrounding buildings.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	<i>N/A the design is not a standardized corporate building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The building is one story. The expansion of sidewalks along Carbonate Street and River Street will greatly improve the building's accessibility for pedestrians. Planters are proposed along the outside of the building, as are ramps and railings to provide safe access. Due to grade changes within the site, there will be a two foot (2') rise of the building's floor level from River Street. The accessibility ramps shown in the submitted drawings will address this rise and maintain human scale within the project. There is a slight concern that this rise will diminish the size and feeling of the street trees, however staff feels that this can be overcome and will be addressed within the context of the River Street improvement discussion.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>With the proposed addition, the front façade is being shifted from Carbonate Street to River Street, which will contain windows, an inset double-door entryway, planter boxes, and a unique square roofline to match the existing roofline of the building along Carbonate Street. The architectural detailing of the proposed River Street façade will be a great benefit to the River Street corridor.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>The proposed addition is designed to match the existing building in size, architectural detailing, and proportion. Exterior materials of the new addition will be metal siding in place of the existing brick exterior, though staff sees this as an acceptable option, as it breaks up the long façade of the building along carbonate while maintaining the same overall architectural style.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	<i>The new addition will have varying materials including two different roofing materials, antique rustic metal siding and dark bronze corrugated trim and fascia.</i>
				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<i>The colors and materials are harmonious in color palette and integrated appropriately matching the existing building and are harmonious with the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	<i>N/A. This is a one-story building.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <p>i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</p> <p>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</p> <p>iii) Double glazed windows.</p> <p>iv) Windows with Low Emissivity glazing.</p> <p>v) Earth berming against exterior walls</p> <p>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p>vii) Exterior light shelves. All windows on the southernmost facingside of the building shall have external light shelves installed.</p>
			<i>Staff Comments</i>	<i>Because this is an addition, opportunities for minimizing energy consumption are limited, however the existing building contains a solar orientation that will be further expanded east-west with the proposed addition. Additionally, the applicant is proposing to include double-glazed windows with low-emissivity glazing for the addition and any replacement windows on the existing building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<i>The applicant intends to install gutters and downspouts over all walkways and shall assess the need for snow clips along the mansard shingle roof over the proposed new entrance to ensure safe accessibility year-round.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>
			<i>Staff Comments</i>	<i>Downspouts and drains are proposed to connect with current city drainage.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p>
			<i>Staff Comments</i>	<i>N/A. No vehicle canopies are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Title 17: Zoning Regulations.</p>
			<i>Staff Comments</i>	<i>Intended signage is designated on the perspective drawings submitted by the applicant. Staff feels the signage as proposed is compatible with the building design. The existing sign permit will be amended to reflect new signage.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3a	a. Accessory structures shall be designed to be compatible with the principal building(s).

			<i>Staff Comments</i>	<i>The addition is designed with similar architectural detailing to the existing building and contains similar or compatible materials.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A – the proposed project is an addition to the existing building, not an accessory structure</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>The only proposed fencing is a small new gate at the south side of the new west façade, which is proposed to be the same materials used for trim and fascia on the proposed addition.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>The only proposed fencing is a small new gate at the south side of the new west façade, connecting to the existing fence along the Lots 14 & 15. This small gate will not dominate the landscape. No planting is currently proposed around this gate.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>N/A No roof projections are proposed for this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3f	f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A none are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>N/A No ground mounted mechanical equipment is proposed as a part of the proposed addition.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3h	h. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>N/A - All service lines into the property are existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3i	i. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>N/A No appurtenances are proposed on existing utility poles.</i>

4. Landscaping: 17.06.080(A) 4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>The only proposed landscaping is planters with 5 gallon shrubs along Carbonate Street and River Street. Species has not been designated.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4b	b. All plant species shall be hardy to the Zone 4 environment.

			Staff Comments	<i>This standard shall be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			Staff Comments	<i>N/A The only proposed landscaping is planters along the sidewalk.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			Staff Comments	<i>N/A The only proposed landscaping is planters along the sidewalk.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			Staff Comments	<i>N/A as the proposed building is located within the Business (B) Zone District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			Staff Comments	<i>This standard shall be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			Staff Comments	<i>N/A – no plant materials other than sidewalk planters are proposed with this application.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			Staff Comments	<i>The owner shall be responsible for maintaining plant material in healthy condition.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			Staff Comments	<i>N/A No retaining walls are planned per se, although the elevated sidewalk along River Street necessary to accommodate grade will require a guard rail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			Staff Comments	<i>N/A No retaining walls are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			Staff Comments	<i>N/A No retaining walls are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			Staff Comments	<i>N/A No retaining walls are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			Staff Comments	<i>N/A No retaining walls are planned.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			Staff Comments	N/A No retaining walls are planned.

17.06.60 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff.

Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Ordinance.

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following conditions are suggested for approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit

may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.

- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- d) Encroachment permits will be needed for work in the right-of-way.
- e) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- f) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- g) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- h) The City of Hailey Tree Committee shall approve removal of the city-owned trees within the public right-of-way.

Motion Language

Approval:

Motion to approve the Design Review application by Old City Hall, LLC for a new, 2,757 square foot addition to The Advocates' Attic thrift store, to be located at 12 W Carbonate Street (Lots 11-13, Block 41, Hailey Townsite) within the Business (B), Townsite Overlay (TO) and Downtown Residential Overlay (DRO) zoning districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions (a) through (h) are met.

Denial:

Motion to deny the Design Review application submitted by City of Hailey for a new 325 square foot, detached single-family dwelling unit that will serve as an educational training facility for students consists of a 325 square foot main floor, to be located at 617 S 3rd Ave, Hailey (Lot 8B, Block 2, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing to _____ [the Commission should specify a date].

THE ATTIC ADDITION

JUNE 8th, 2020
12 W CARBONATE ST
HAILEY, ID 83333

<p>PROJECT TEAM:</p> <p>ARCHITECT: Blincoe Architecture POST OFFICE BOX 4824 KETCHUM, IDAHO 83340 (208) 752-1325</p>	<p>GENERAL NOTES:</p> <p>NOTE: 1. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK. 2. ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. 3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. 4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED. 5. ALL CONSTRUCTION MUST MEET OR EXCEED ALL LOCAL AND NATIONAL GOVERNING CODES AND ORDINANCES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING AN AUTHORIZED BUILDING PERMIT AND NOTIFYING THE CITY OF HAILEY BUILDING DEPARTMENT, STATE ELECTRICAL, MECHANICAL, AND PLUMBING INSPECTORS FOR APPROPRIATE SITE INSPECTIONS. 6. THE CONTRACTOR IS TO COORDINATE WORK TO MINIMIZE CONFLICTS WITH EXISTING LANDSCAPING TO PREVENT DAMAGE. 7. THE CONTRACTOR IS TO COORDINATE DISPOSAL OF EXISTING WASTE, APPLICATION MATERIAL, AND TRASH. ALL MATERIAL MUST BE DEPOSED OF IN A SAFE AND PROFESSIONAL MANNER. 8. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSIDERED AS SUPERVISION OF ACTUAL CONSTRUCTION, NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR THEIR EMPLOYEES. 9. ANY DEFERRED ITEMS ARE THE RESPONSIBILITY OF THE OWNER & GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS & DOCUMENTATION NEEDED FOR CONSTRUCTION. THE DOCUMENTS PROVIDED ARE BASED ON LIMITED ARCHITECTURAL SERVICE. 10. THE ARCHITECT HAS NOT BEEN COMPENSATED OR RETAINED TO PROVIDE DETAILING FOR WATERPROOFING AND ENVELOPE PENETRATIONS.</p>	<p>CODE COMPLIANCE:</p> <p>1. MECHANICAL SYSTEMS AND VENTING TO REFLECT COMPLIANCE W/ THE 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2018 INTERNATIONAL MECHANICAL CODE. 2. PLUMBING VENTING TO REFLECT COMPLIANCE W/ 2018 INTERNATIONAL BUILDING CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE. 3. ALL ELECTRICAL SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE. 4. ALL SPRINKLERS SHALL COMPLY WITH ALL LOCAL & STATE CODES 5. ALL NEW CONSTRUCTION TO MEET OR EXCEED 2018 ADA REQUIREMENTS.</p> <p>ROOFING: • ALL ROOFING SHALL COMPLY WITH CHAPTER 15 OF THE 2018 INTERNATIONAL BUILDING CODE. • ALL STAIRWAYS SHALL COMPLY WITH CHAPTER 10 OF THE 2018 INTERNATIONAL BUILDING CODE. • SHALL COMPLY WITH SECTION 402 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE. • SHALL COMPLY WITH SECTION 404.1 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE. • SHALL COMPLY WITH SECTION 402.3 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE. • ALL CHIMNEYS AND FIREPLACES SHALL COMPLY WITH CHAPTER 21 OF THE 2018 INTERNATIONAL BUILDING CODE AND SECTION 402.4.3 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE. • SHALL COMPLY WITH CHAPTER 24 OF THE 2018 INTERNATIONAL BUILDING CODE. • SHALL COMPLY WITH SECTION 402.2 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE. • SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE. • SHALL HAVE A RECOMMENDED AIR EXCHANGE OF 35 EXCHANGES PER HOUR. VERIFY WITH THE MECHANICAL SYSTEM.</p> <p>HANDRAILS & GUARDRAILS: • SHALL COMPLY WITH SECTION 402 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>BUILDING ENVELOPE: • SHALL COMPLY WITH SECTION 404.1 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>LIGHTING EQUIPMENT: • SHALL COMPLY WITH SECTION 402.3 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>ATTIC ACCESS: • SHALL COMPLY WITH SECTION 402.3 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>CHIMNEYS AND FIREPLACES: • SHALL COMPLY WITH CHAPTER 21 OF THE 2018 INTERNATIONAL BUILDING CODE AND SECTION 402.4.3 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>GLASS AND GLAZING: • SHALL COMPLY WITH SECTION 24 OF THE 2018 INTERNATIONAL BUILDING CODE.</p> <p>DUCTS: • SHALL COMPLY WITH SECTION 402.2 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>CRAWLSPACE VENTING: • SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE.</p> <p>LIVING SPACE VENTILATION: • SHALL HAVE A RECOMMENDED AIR EXCHANGE OF 35 EXCHANGES PER HOUR. VERIFY WITH THE MECHANICAL SYSTEM.</p>	<p>SHEET INDEX:</p> <p>CS COVER SHEET</p> <p>L1 SITE PLAN/LANDSCAPE PLAN L2 GRADING/DRAINAGE PLAN L3 CONSTRUCTION ACTIVITY PLAN</p> <p>X1 EXISTING FLOOR PLAN X2 EXISTING EXTERIOR ELEVATIONS</p> <p>A1 PROPOSED FLOOR PLAN A2 PROPOSED EXTERIOR ELEVATIONS A3 PROPOSED BUILDING SECTIONS A4 EXTERIOR PERSPECTIVES/EXISTING STRUCTURE PHOTOS A5 MATERIAL SAMPLE BOARD</p>			
<p>ARCHITECTURAL SYMBOLS:</p> <p>INTERIOR ELEVATION CALL OUT: </p> <p>SECTION REFERENCE: </p> <p>DETAIL REFERENCE: </p> <p>INTERIOR ELEVATION KEY: </p> <p>ELEVATION CALL OUT: </p> <p>NORTH ARROW: </p> <p>ROOM NUMBER: </p> <p>DOOR REFERENCE: </p> <p>WINDOW REFERENCE: </p> <p>REVISION REFERENCE: </p>	<p>BUILDING DATA:</p> <p>OCCUPANCY : M</p> <p>CONSTRUCTION TYPE : II ORDINARY</p> <p>SQUARE FOOTAGE : FLOOR AREA</p> <table style="margin-left: 20px;"> <tr><td>EXISTING</td><td style="text-align: right;">5,204</td></tr> <tr><td>ADDITION</td><td style="text-align: right;">2,787</td></tr> </table> <p>BUILDING CODE : 2018 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE CITY OF HAILEY</p> <p> : 2018 INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY OF HAILEY</p> <p> : 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY CITY OF HAILEY</p> <p>ZONING : CITY - D/TOWNSITE OVERLAY</p> <p>PHYSICAL ADDRESS : 12 W CARBONATE ST</p> <p>LEGAL DESCRIPTION : HAILEY LOTS II, 12, 13, 14, 15 BLOCK 41</p> <p>PARCEL NUMBER : R9140000000000000000</p> <p>CITY OF HAILEY BUILDING DEPARTMENT. CITY OF HAILEY FIRE DEPARTMENT.</p>	EXISTING	5,204	ADDITION	2,787	<p>ENERGY REQUIREMENTS:</p> <p>N/A</p>
EXISTING	5,204					
ADDITION	2,787					
	<p>VICINITY MAP:</p> <p style="text-align: center;">SITE</p>	<p>NEIGHBORHOOD MAP:</p> <p style="text-align: center;">PROJECT LOCATION</p>				

DESIGN REVIEW SET - UPDATED 6/8/2020
NOT FOR CONSTRUCTION

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Blincoe Architecture

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BA



THE ATTIC ADDITION

12 W CARBONATE ST
HAILEY, ID 83333

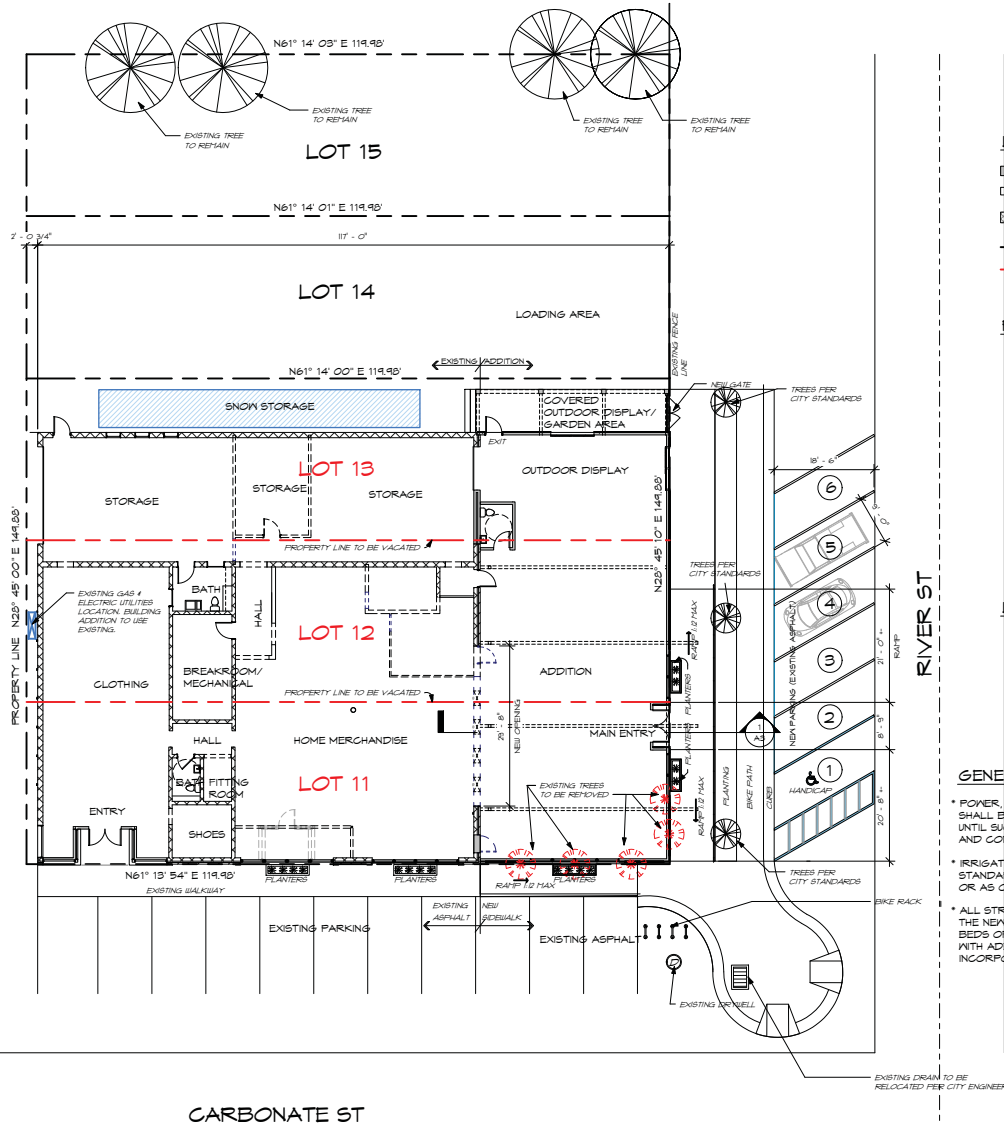
JOB #:	00319
PLOT DATE:	5/12/2020
DESIGN REVIEW:	5/12/2020
PERMIT:	CONSTRUCTION:
REVISIONS:	
	PRELIMINARY 2/26/19
	PRELIMINARY 11/15/2020
	REVISION 1/21/2020
	DESIGN REVIEW 5/12/2020
	DESIGN REVIEW SET UPDATED 6/8/2020

CS

COURTESY OF DOCUMENTS: This Drawing and specifications are instruments of service and are the property of the Architect, Blincoe Architecture and shall not be used in whole or in part, for any other project without express authorization.

EXISTING PROPERTY

ALLEY WAY



LEGEND:

- NEW WALL
- EXISTING WALL
- EXISTING CMU WALL
- PROPERTY LINE
- PROPERTY LINE TO BE VACATED

PLANTING LEGEND:

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- 5 GAL. SHRUBS - (16) TOTAL
- STEEL PLANTERS ABOVE GRADE

LOT SQUARE FOOTAGE:

- LOT 11 - 3,541 SQ. FT. ++
 - LOT 12 - 3,541 SQ. FT. ++
 - LOT 13 - 3,541 SQ. FT. ++
 - LOT 14 - 3,541 SQ. FT. ++
 - LOT 15 - 3,546 SQ. FT. ++
- TO BE COMBIN INTO ONE LOT

GENERAL NOTES:

- * POWER, WATER AND MAINTENANCE OF STREET TREES SHALL BE THE RESPONSIBILITY OF THE APPLICANT UNTIL SUCH TIME AS RIVER STREET IS REDESIGNED AND CONSTRUCTED.
- * IRRIGATION TO THE CITY TREES SHALL BE TO CITY STANDARDS. POWER SHALL BE PROVIDED TO EACH, OR AS OTHERWISE APPROVED BY THE CITY.
- * ALL STREET TREES SHOULD BE A MINIMUM OF 3" CALIPER. THE NEW STREET TREES SHOULD BE PLACED IN PLANTER BEDS OF MINIMUM DIMENSIONS APPROVED BY THE CITY, WITH ADEQUATE STRUCTURAL SOIL (PLANTING MEDIUM) INCORPORATED INTO THE DESIGN.

1 SITE PLAN/LANDSCAPE PLAN
3/32" = 1'-0"

www.BlincocArchitecture.com
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 11330 WEST 40TH AVENUE
 SUITE 100
 DENVER, COLORADO 80231
 TEL: 303.750.1325
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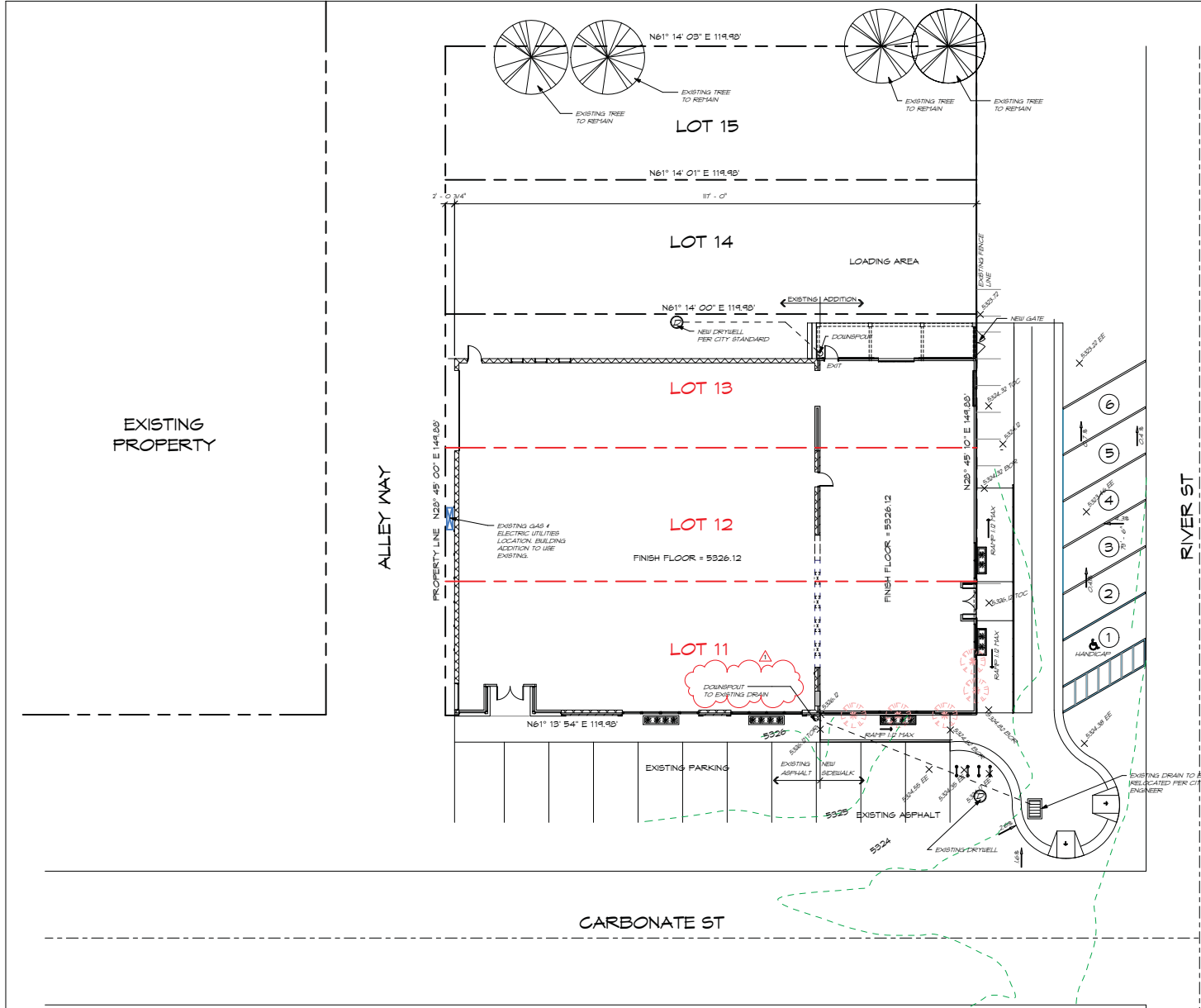
THE ATTIC ADDITION
 12 W CARBONATE ST
 HAILEY, ID 83333

DESIGN REVIEW SET - UPDATED 6/8/20
NOT FOR CONSTRUCTION

JOB #:	00319
PLOT DATE:	6/5/2020
DESIGN REVIEW:	5/12/2020
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L1

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- LEGEND:**
- NEW WALL
 - EXISTING WALL
 - EXISTING CMU WALL
 - PROPERTY LINE
 - PROPERTY LINE TO BE VACATED
 - EOA EDGE OF ASPHALT
 - TOC TOP OF CONCRETE
 - BOR BOTTOM OF RAMP
 - EE EXISTING ELEVATION

EXISTING PROPERTY

ALLEY WAY

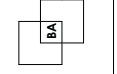
RIVER ST

CARBONATE ST

1 GRADING/DRAINAGE PLAN
L2 3/32" = 1'-0"

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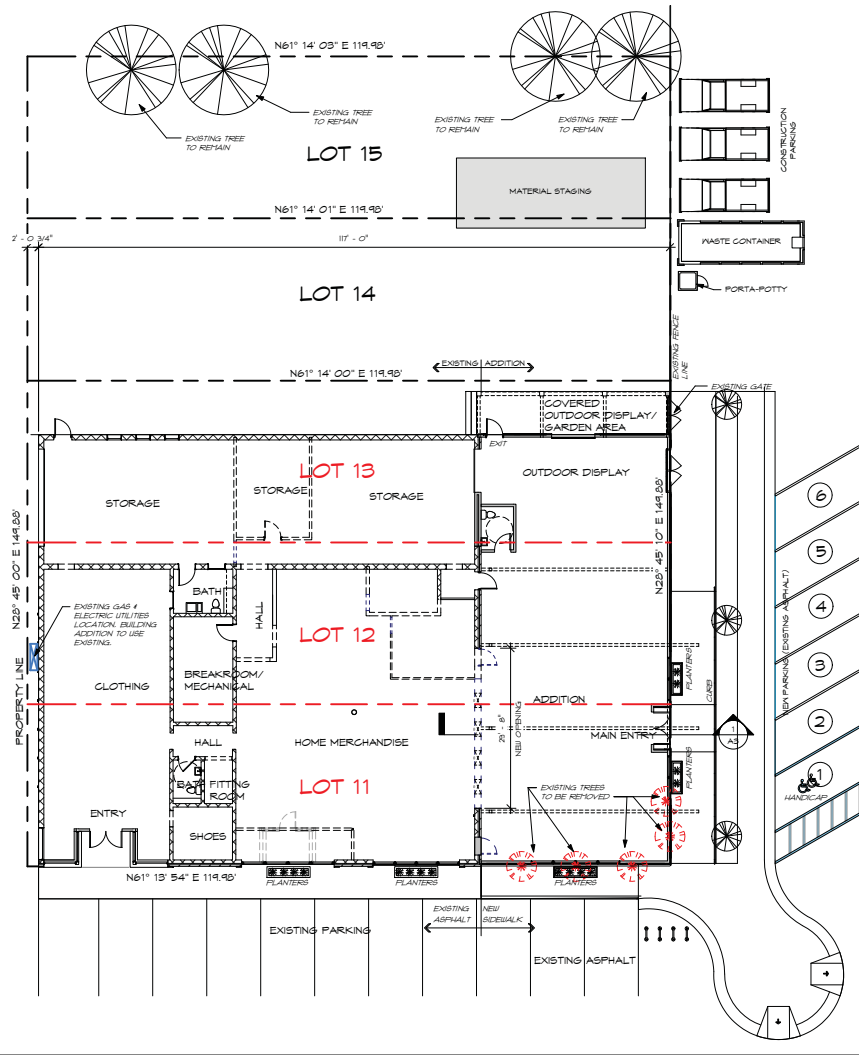
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EXISTING PROPERTY

ALLEY WAY



- LEGEND:**
- NEW MALL
 - EXISTING MALL
 - EXISTING CMU MALL
 - PROPERTY LINE

1
L3 STAGING PLAN CONTRACTOR PARKING PLAN
3/32" = 1'-0"

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 1330 WEST WASHINGTON AVE
 SUITE 404
 KANSAS CITY, MO 64108
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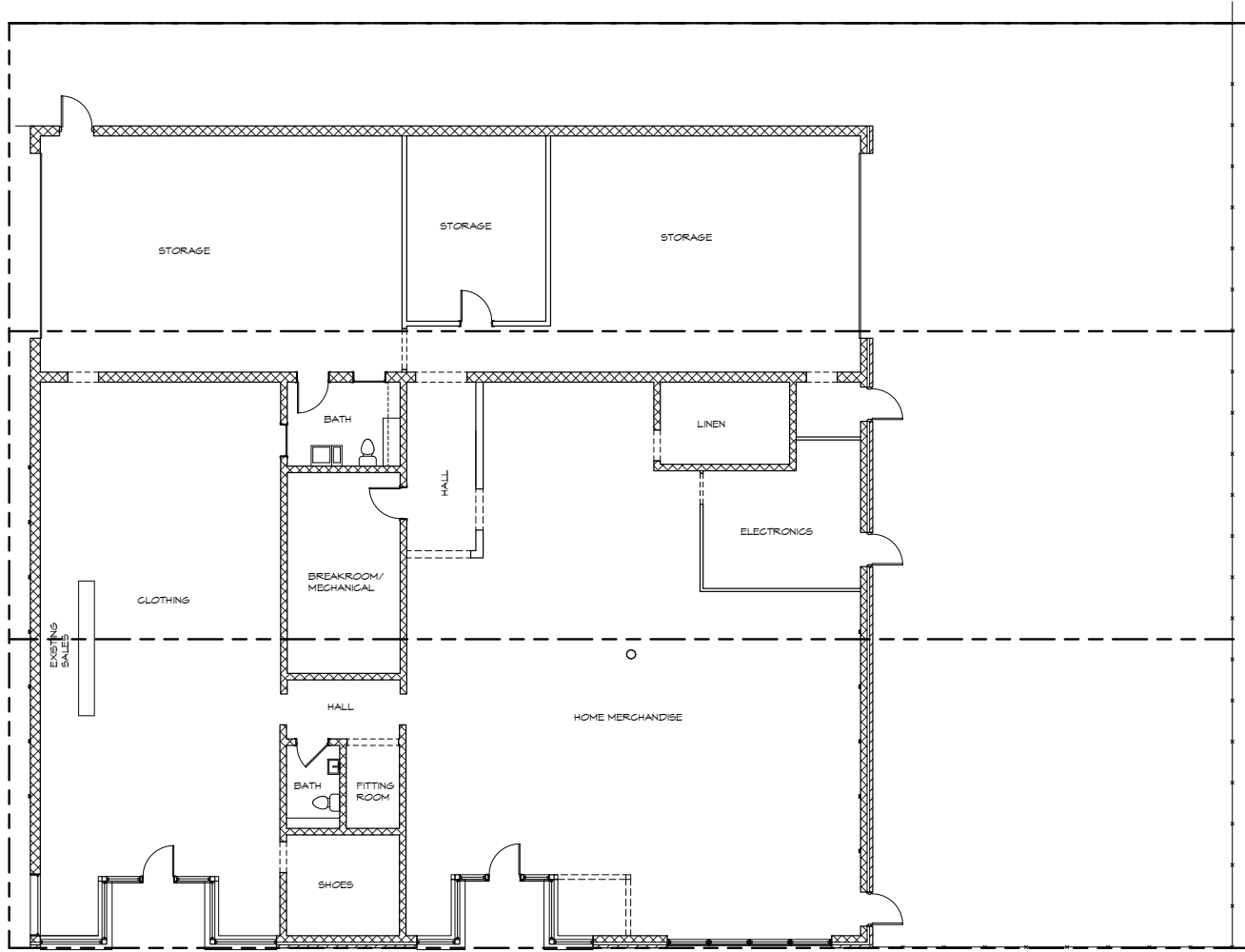
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 SUITE 404
 KANSAS CITY, MO 64108
 STATE OF MISSOURI

THE ATTIC ADDITION
12 W CARBONATE ST
HAILEY, ID 83333

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1
X1 EXISTING FLOOR PLAN
3/16" = 1'-0"

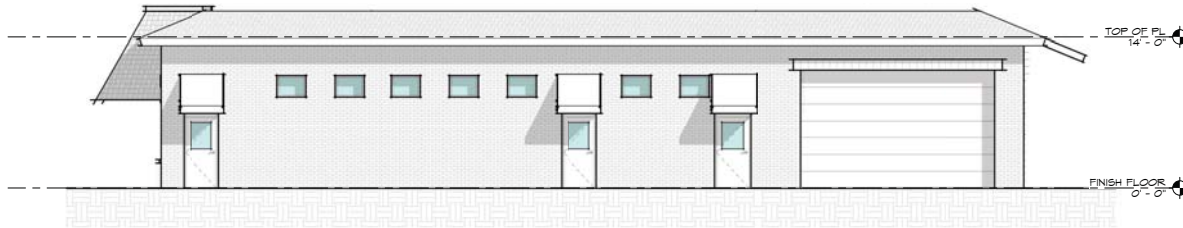
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<p>THE ATTIC ADDITION 110 NEILS WAY KETCHUM, IDAHO 83340</p>		<p>www.BlincoeArchitecture.com Blincoe Architecture 110 Neils Way Ketchum, Idaho Phone: 208.750.1325 info@blincoearchitecture.com</p>
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	REVISED 1/21/20	
	DESIGN REVIEW SET 5/12/2020	
	DESIGN REVIEW SET UPDATED 6/8/2020	
<p>X1</p>		

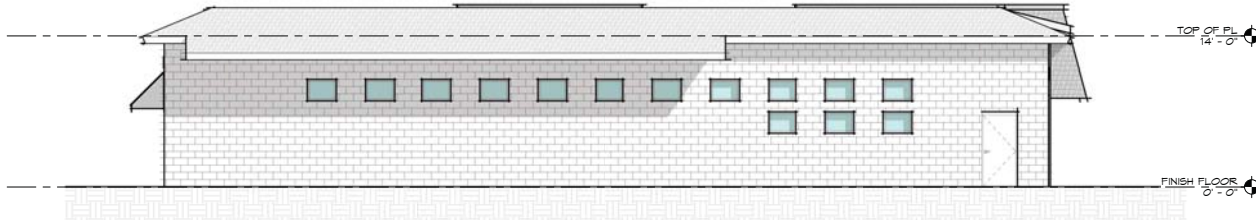
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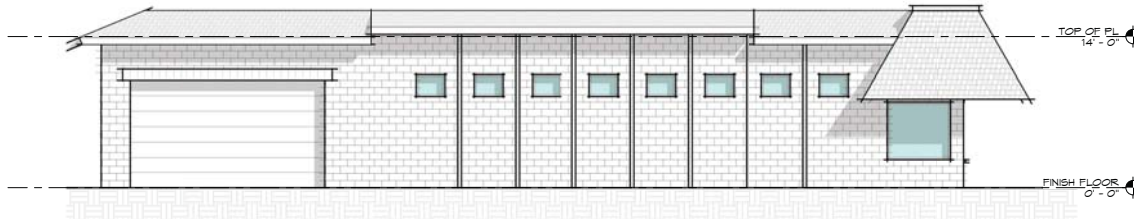
1
X2
EXISTING NORTH ELEVATION
3/16" = 1'-0"



2
X2
EXISTING WEST ELEVATION
3/16" = 1'-0"



3
X2
EXISTING SOUTH ELEVATION
3/16" = 1'-0"



4
X2
EXISTING EAST ELEVATION
3/16" = 1'-0"

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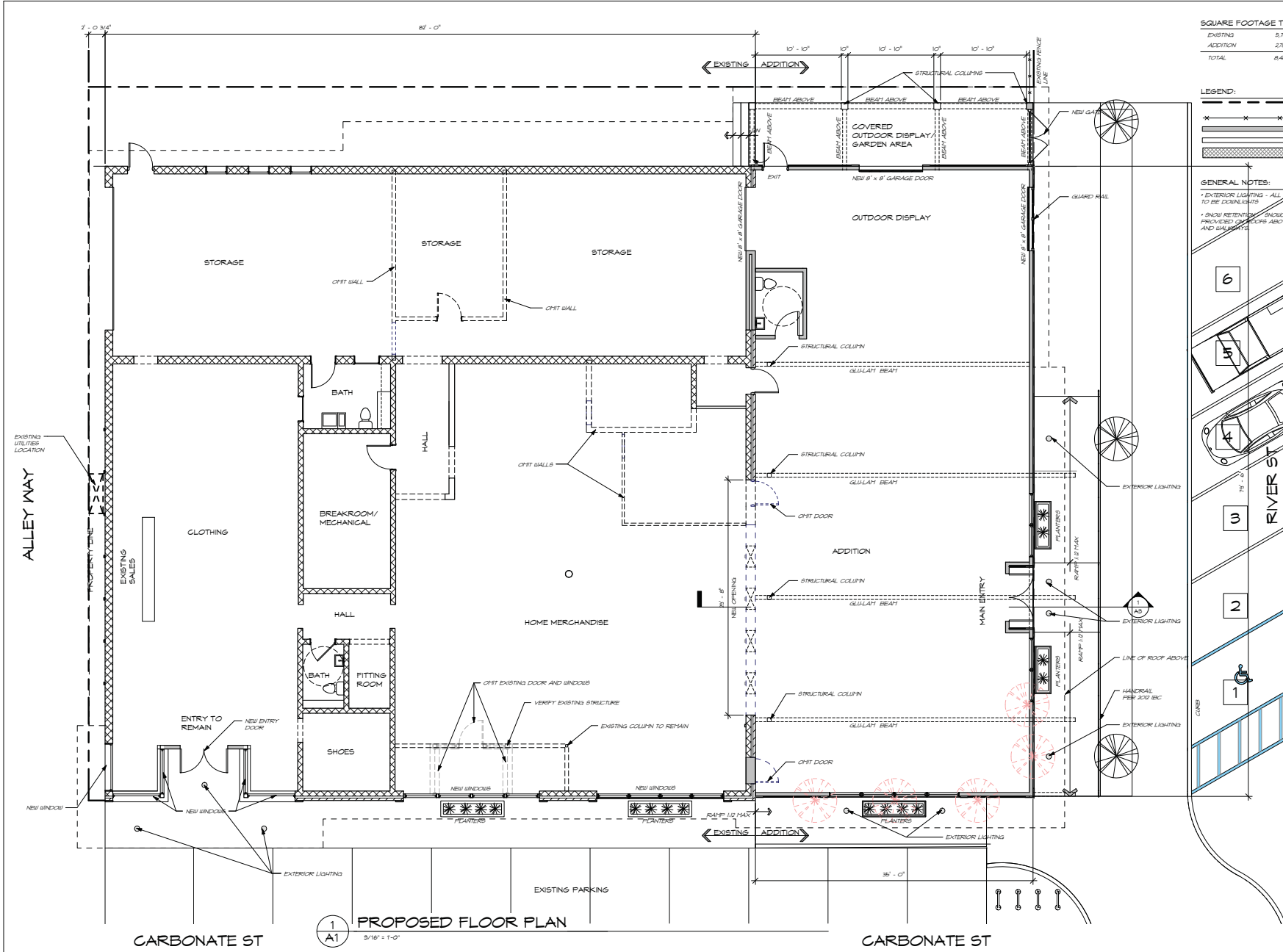


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SQUARE FOOTAGE TABULATION:

EXISTING	5,724 SQ. FT.
ADDITION	2,757 SQ. FT.
TOTAL	8,481 SQ. FT.

LEGEND:

	PROPERTY LINE
	FENCE LINE
	NEW 2x6 WALL
	EXISTING 2x6 WALL
	EXISTING CMU WALL

GENERAL NOTES:

- * EXTERIOR LIGHTING - ALL EXTERIOR LIGHTING TO BE DOWNLIGHTS
- * SNOW RETENTION - SNOWCLIPS TO BE PROVIDED ON ROOFS ABOVE ALL ENTRANCES AND WALKWAYS

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 1215 E. 12th St. #404
 Des Moines, IA 50319
 Phone: 515.281.8340
 Fax: 515.281.7325
 info@blincoearchitecture.com

BA

Licensed Architect
 No. 1215
 State of Iowa

THE ATTIC ADDITION
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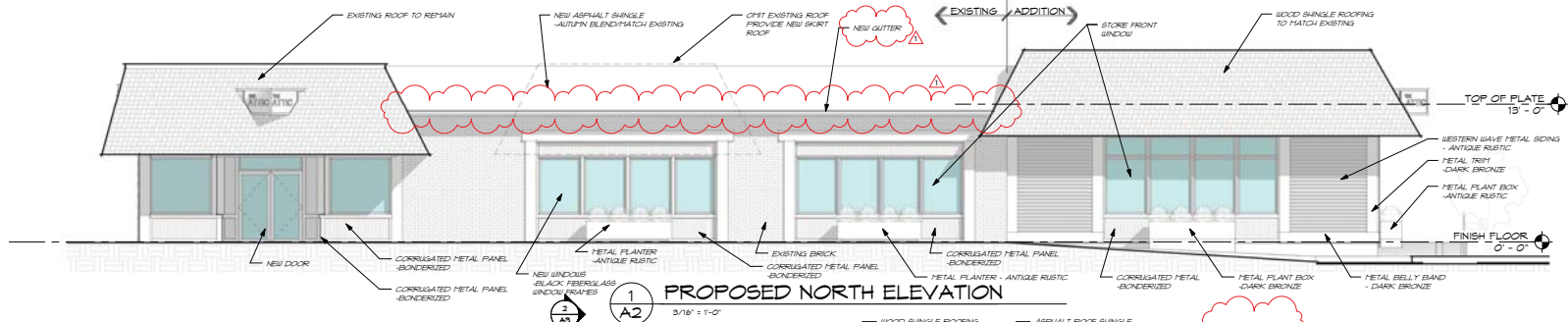
CONSTRUCTION:
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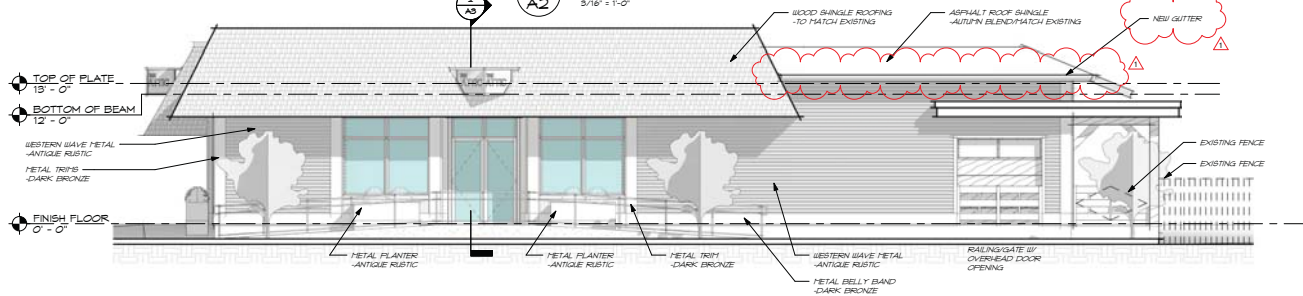
A1

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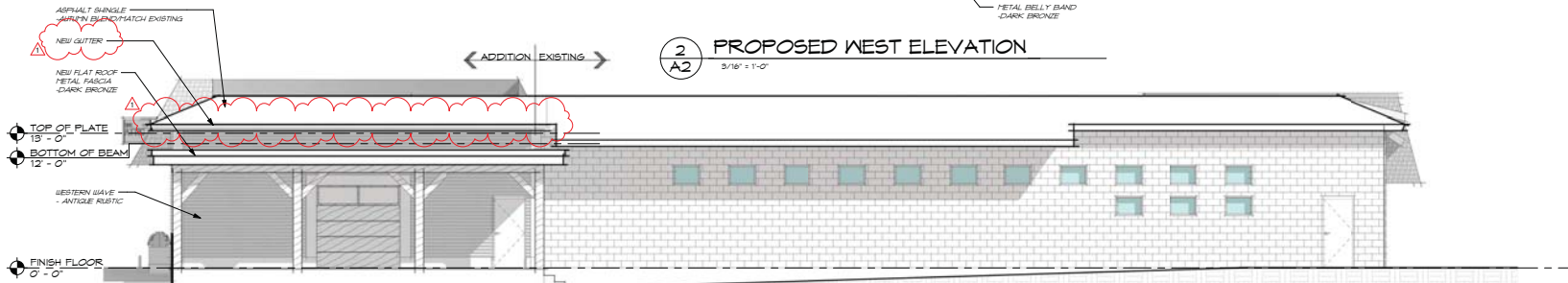
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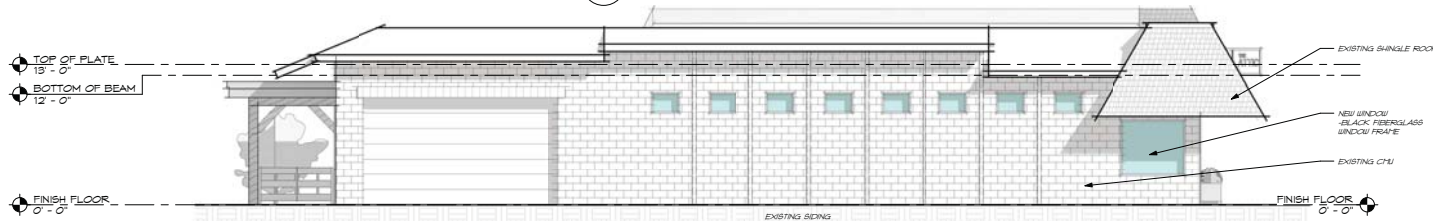
1 PROPOSED NORTH ELEVATION
3/16" = 1'-0"



2 PROPOSED WEST ELEVATION
3/16" = 1'-0"



3 PROPOSED SOUTH ELEVATION
3/16" = 1'-0"



4 PROPOSED EAST ELEVATION
3/16" = 1'-0"

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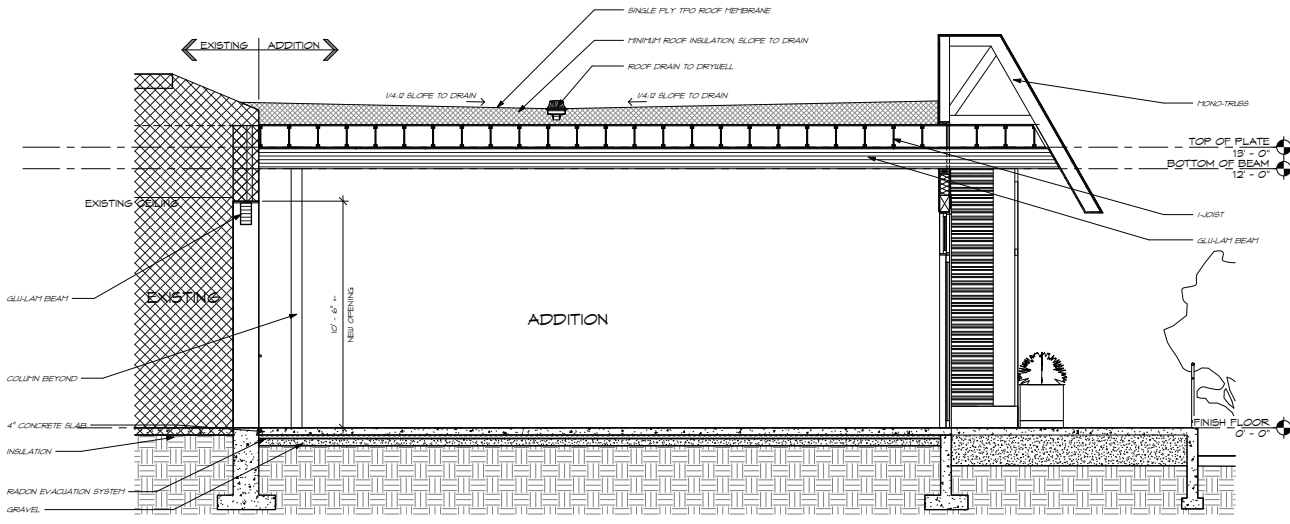
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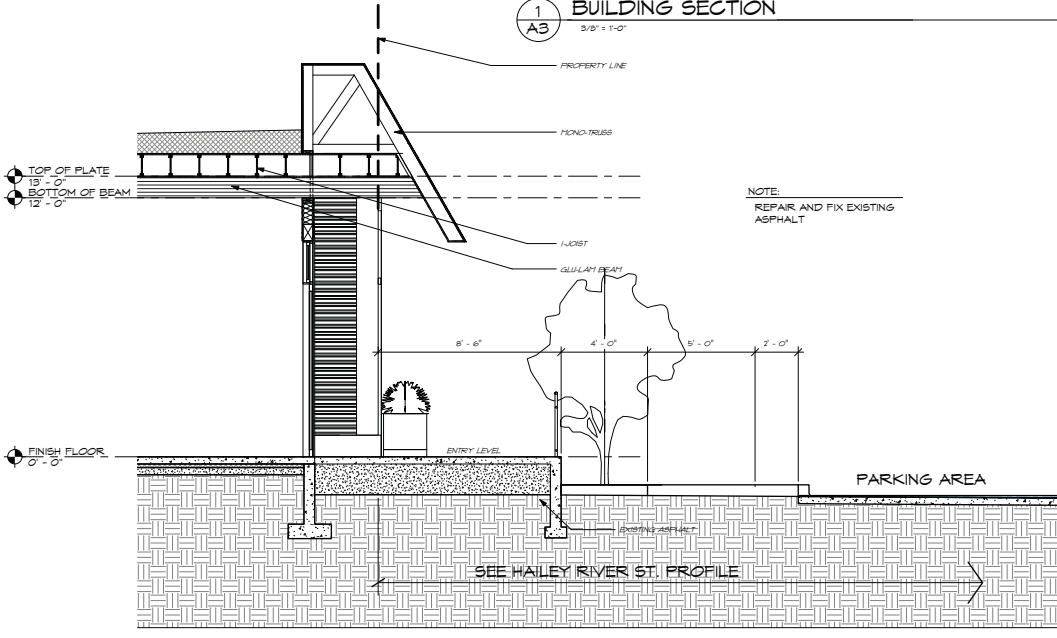
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A2

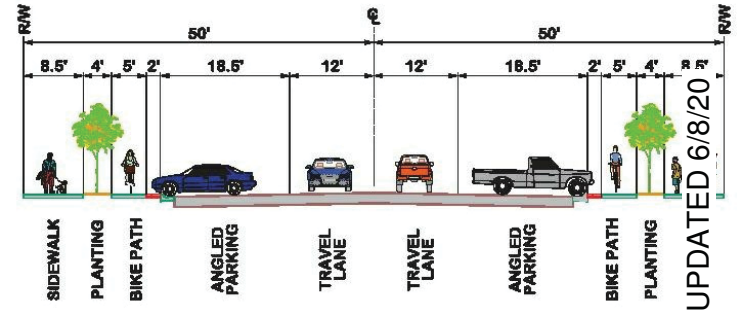
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1 BUILDING SECTION
3/8" = 1'-0"



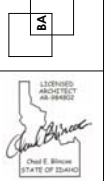
2 SIDEWALK SECTION
3/8" = 1'-0"



HAILEY RIVER STREET PROFILE

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 info@blincoearchitecture.com



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CARBONATE STREET PERSPECTIVE



RIVER STREET PERSPECTIVE



EXISTING SHAKES ROOF



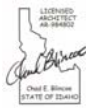
EXISTING STORE FRONT



REAR OF THE BUILDING-EXISTING

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Blincoe Architecture
Lynn Blincoe, AIA
Kathryn Blincoe, AIA
info@blincoearchitecture.com
tel: 262.750.1325



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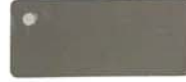
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**TRIMS/FASCIA/
BELLY BAND**
DARK BRONZE



SIDING
BONDERIZED
CORRUGATED



SIDING
ANTIQUÉ RUSTIC
WESTERN WAVE



ROOFING
AUTUMN BLEND
ASPHALT SHINGLE



WINDOW FRAME
BLACK
FIBERGLASS

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A5

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Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of June 15, 2020

To: Hailey Planning & Zoning Commission

From: Sharon Grant, Interim Community Development Contractor

Overview: Consideration of a Preliminary Plat Application by Sweetwater Communities, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision, where Phase 2 of Block 2 is subdivided into 14 sublots consisting of twenty (20) condominium units and twelve (12) townhouse units for a total of thirty-two (32) residential units. This project is located along Shenandoah Drive, in Section 15, T.2 N., R.18 E., B.M., City of Hailey, Blaine County, Idaho, within the Limited Business (LB) Zoning District.

Hearing: June 15, 2020

Applicant: Sweetwater Communities, LLC

Project: Sweetwater P.U.D. Subdivision Block 2, Phase 2

Request: Preliminary Plat Application

Location: Block 2, Sweetwater P.U.D. Subdivision (Phase 2)

Size: 1.59 acres (69,232 square feet)

Zoning: Limited Business (LB) Zone District

Notice: Notice for the public hearing was published in the Idaho Mountain Express on May 27, 2020, and mailed to property owners on May 27, 2020.

Background: Consideration of a Preliminary Plat Application by Sweetwater Communities, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision, where Phase 2 of Block 2 is subdivided into 14 sublots consisting of twenty (20) condominium units and twelve (12) townhouse units for a total of thirty-two (32) residential units. This project is located along Shenandoah Drive, in Section 15, T.2 N., R.18 E., B.M., City of Hailey, Blaine County, Idaho, within the Limited Business (LB) Zoning District. All driveways are oriented toward internal alleys (Golden Way, Hopper Way, Hayloft Way and Herder's Way). Each townhouse unit has a two-car garage. Each condo unit has a single-car garage. In addition, there are twenty-two (22) off-street parking spaces inside the development, as well as seven (7) parallel parking spaces along Shenandoah Dr.

A 69,696 square foot park is existing and meets the park requirements of the Hailey Municipal Code. The project is located in the Limited Business (LB) Zone District.

Procedural History: The Application was submitted on April 27, 2020 and certified complete on June 10, 2020. A public hearing before the Planning and Zoning Commission was planned for June 15, 2020, in the meeting room of Hailey City Hall.

This property is subject to a P.U.D. Development Agreement dated January 10, 2005 and Amendments to the Development Agreement dated December 12, 2009, December 20, 2010 and November 6, 2012. Design Review for the project (Phase I through IV) was approved December 16, 2019.

Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments at this time.</i>
				Life/Safety: <i>No comments at this time.</i>
				Water and Sewer: <i>The Water and Wastewater Divisions identified missing manholes in their review, and the Applicant Team added these to a revised plat, which is attached.</i>
				Building: <i>No comments at this time.</i>
				Streets: <i>Various details such as the need for a marked pedestrian crossing at Shenandoah and Maple were made Conditions of Approval of Sweetwater Block 2 Phase 1.</i>
				Landscaping/Parks: <i>No comments at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			Staff Comments	<i>Please refer to the specific standards as noted herein.</i>
16.04.020: Streets:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			16.04.020	Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			Staff Comments	<i>The subject parcel is located along Shenandoah Drive and north of Countryside Boulevard, both existing streets. Three (3) private alleys, Golden Way, Hopper Way and Hayloft Way, are proposed to service the townhouses and condominium units. The existing private alley, Herder's Way, will also service these units.</i>

				<p>All driveways are oriented toward these private alleys or the existing alley, Herder's Way. Each townhouse unit has a two-car garage. Each condo unit has a single-car garage. In addition, there are twenty-two (22) off-street parking spaces inside the development, as well as seven (7) parallel parking spaces along Shenandoah Dr.</p> <p>Street alignments for Shenandoah Drive, Golden Way, Hayloft Way, Hopper Way and Herder's Way are adequate to safely accommodate existing and anticipated vehicular traffic.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.</p>
			<i>Staff Comments</i>	<i>N/A There are no cul-de-sacs or dead-end streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.</p>
			<i>Staff Comments</i>	<i>Access to the site can be achieved from Shenandoah Drive. Vehicle congestion, terrain and other factors that could limit access are not anticipated.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<p>Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.</p>
			<i>Staff Comments</i>	<p><i>The subject parcel is located along Shenandoah Drive and north of Countryside Boulevard, both existing streets. Three (3) private alleys, Golden Way, Hopper Way and Hayloft Way, are proposed to service the townhouses and condominium units. Hopper Way extends into future phases of the proposed development.</i></p> <p><i>The alleys intersect at 90-degree angle.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	<p>Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.</p>
			<i>Staff Comments</i>	<i>N/A, as Shenandoah Drive and Countryside Boulevard are existing. Golden Way, Hopper Way and Hayloft Way, are proposed to be 26'-wide and private alleys. No traffic calming measures are proposed at this time.</i>
			F.	Width: Street width is to be measured from property line to property line. The

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.</p> <p><i>Staff Comments</i> <i>The private alleys, Golden Way, Hopper Way and Hayloft Way, meet the minimum City Standard of 24' in width. The private alleys are proposed to be 26'-wide.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G.	<p>Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.</p> <p><i>Staff Comments</i> <i>Golden Way, Hopper Way and Hayloft are proposed as private alleys. Shenandoah Drive and Countryside Boulevard are existing. Roadway travel surfaces and widths meet City Standards.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H.	<p>Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.</p> <p><i>Staff Comments</i> <i>The site is generally flat. Road grades appear to be at least two (2%) percent or greater, but not more than six (6%) percent.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I.	<p>Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm water Discharge from Construction Activity" for all construction activity affecting more than one acre.</p> <p><i>Staff Comments</i> <i>The City Engineer will review all proposed storm sewers, drywells and other drainage facilities. Permits shall be obtained for installation of all drywells. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	J.	<p>Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.</p> <p><i>Staff Comments</i> <i>Street lights will be required and are shown to be installed and/or relocated at the corners of Golden Way and Shenandoah Drive and Hayloft Way and Shenandoah Drive. Any new signage shall be installed per City Standards, which a final review and approval of will be conducted prior to issuance of a Building Permit.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	K.	<p>Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.</p> <p><i>Staff Comments</i> <i>The streets within the proposed project are existing platted streets, including: Shenandoah Drive and Countryside Boulevard. The proposed internal alleys, Golden Way, Hayloft Way and Hopper Way as well as existing Herder's Way, are private alleys, which will be privately maintained.</i></p> <p><i>The proposed alley names will be confirmed with the Blaine County Assessor as being new alley names, not similar to other streets within Blaine County.</i></p>
			L.	<p>Private Streets:</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner’s association.
			<i>Staff Comments</i>	<i>N/A, as Golden Way, Hayloft Way and Hopper Way are private alleys and will be maintained by the homeowner’s association. The private alleys meet the minimum total width of 26’-wide and shall be constructed to meet City Standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. 2.	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			<i>Staff Comments</i>	<i>The proposed alleys, Golden Way and Hayloft Way, connect to Shenandoah Drive, Hopper Way connects to Shenandoah Drive via Golden Way, Hayloft Way and Herder’s Way. Shenandoah Drive is a public street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. 3.	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			<i>Staff Comments</i>	<i>The private alleys, Golden Way, Hayloft Way and Hopper Way, have been platted as private drives; however, no indication has been made on the plat that said parcel is an unbuildable parcel.</i> <i>Previous platting processes of the Sweetwater Subdivision imply that all private, internal alleys of the development are to be unbuildable, without requiring a plat note designating it as such. Staff recommends that the proposed private alleys be dedicated as unbuildable parcels on the plat or continue as previously done.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. 4.	Private street names shall not end with the word “Road”, “Boulevard”, “Avenue”, “Drive” or “Street”. Private streets serving five (5) or fewer dwelling units shall not be named.
			<i>Staff Comments</i>	<i>This standard has been met. The private alleys proposed are Golden Way, Hayloft Way and Hopper Way. These private streets serve more than five (5) dwelling units so are named.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			<i>Staff Comments</i>	<i>Private alleys, Golden Way, Hayloft Way and Hopper Way, are proposed. The overall site plan (Phase I-IV) proposes 90,247 square feet of parking, hardscape and pedestrian circulation. 25% of 90,247 square feet is 22,562 square feet. 26,059 square feet for snow storage has been provided.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. 6.	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow

				<p>parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10'x20') if angle parking, or ten feet by twenty-four feet (10'x24') if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.</p>
			<p>Staff Comments</p> <p><i>Per the Hailey Municipal Code, Multi-Family Dwellings are required to provide at least 1.5 onsite parking spaces. Overall, the project contains, twelve (12), three-story townhomes (39 units in total), seven (7), ten-plex, three-story condominiums (70 units in total), one (1) three-plex live/work building and one (1) four-plex live/work building are proposed; therefore, 174 onsite parking spaces are required. The site plan shows a total of 254 onsite parking spaces: a two (2) car garage per townhouse unit, a one (1) car garage per condo unit, which totals 164 parking spaces. 64 off-street parking spaces and 28 on-street parking spaces are also proposed.</i></p> <p><i>For Phase 2 of the project, twenty (20) condominium units and twelve (12) townhouse units for a total of thirty-two (32) residential units are proposed; therefore, twelve (12) townhouses and twenty (20) condominiums (32 units in total); therefore, forty-eight (48) onsite parking spaces are required. The site plan shows a total of seventy-three (73) onsite parking spaces: a two (2) car garage per townhouse unit, a one (1) car garage per condo unit, which totals forty-four (44) parking spaces. Twenty-two (22) off-street parking spaces and seven (7) on-street parking spaces are also proposed.</i></p> <p><i>That said and as agreed upon in the original PUD Agreement dated August 14, 2006, below grade parking and/or parking stalls at basement levels are required. Over 70% of all parking stalls are located within the structure (two-car garage) and all driveways are oriented toward internal alleys, so as not to negatively affect the quality of the pedestrian environment.</i></p> <p><i>Due to the nature of all proposed onsite parking being below grade parking and/or parking stalls at basement level, which was determined in and comply with the original PUD Agreement, the excess parking complies with the standards set forth herein, as well as with the provisions outlined in the original PUD Agreement dated August 14, 2006.</i></p>	
			M.	Driveways:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	<p>Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.</p>
			<p>Staff Comments</p>	<p><i>The proposed townhouses and condominium units can be accessed via Golden Way, Hayloft Way, Hopper Way and Herder's Way, the proposed and existing private alleys. All driveways are oriented toward these private alleys and onsite parking is located within the proposed structures as well as off-street and on-street parking spaces.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 2.	<p>Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths:</p>

				<p>a) Accessing one residential unit: twelve feet (12')</p> <p>b) Accessing two residential units: sixteen feet (16')</p> <p>No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.</p>
			<i>Staff Comments</i>	<i>Driveways will be constructed of an all-weather surface. Each driveway constructing in Phase 2 will access one (1) residential unit, with the exception of the ten-plex condominium building. This driveway will access ten (10) residential units and is approximately 110' in length. The remaining driveways, accessing one (1) residential unit, are proposed to have a driveway width of approximately 16'.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 3.	Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.
			<i>Staff Comments</i>	<i>N/A, as no driveways exceed 150'.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 4.	Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.
			<i>Staff Comments</i>	<i>All driveways and the proposed private alleys, Golden Way, Hayloft Way and Hopper Way, will be maintained by the homeowner's association.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 5.	The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.
			<i>Staff Comments</i>	<i>This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 6.	No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.
			<i>Staff Comments</i>	<i>All driveways are oriented toward Golden Way, Hayloft Way and Hopper Way and Herder's Way, the private alleys. Said driveways do not appear to impact existing infrastructure and appear to be compatible with existing and planned residential units.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	N.	Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			<i>Staff Comments</i>	<i>The internal alleys, Golden Way, Hayloft Way and Hopper Way, will be reviewed by the Fire Chief as to its functioning as an access lane. It has been found acceptable and complies with the IFC Requirements, as well as other applicable codes and ordinances.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	O.	Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.020(N), comments noted above, for further information.</i>
16.04.030: Sidewalks and Drainage Improvements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>A new 5'-wide sidewalk is shown along the perimeter of the proposed project. This perimeter sidewalk will connect to interior sidewalks, providing safe access and sufficient circulation around and through the site. To safely access each unit, 4'-wide sidewalks are also shown. The proposed sidewalks shall be constructed according to applicable City Standards.</i> <i>Drainage appears to be adequate for the site but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to issuance of a Building Permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.030(A), comments noted above, for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.
			<i>Staff Comments</i>	<i>A new five (5') foot-wide sidewalk is proposed along the perimeter of the proposed project. This sidewalk will run parallel to Shenandoah Drive, approximately 600' in length, before curving to the east and crossing Shenandoah Drive (continental crosswalk, which utilizes thermoplastic materials). This sidewalk will connect to existing pathways found near and around the park space and amenity building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.030 for further information. This standard will be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			<i>Staff Comments</i>	<i>N/A</i>

16.04.040: Alleys and Easements

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Alleys:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			<i>Staff Comments</i>	<i>The private alleys, Golden Way, Hayloft Way and Hopper Way, are proposed and shall serve the proposed townhouses, condominium units and live/work units. Said drives are proposed to function as access, as well as a public utility easement for the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	The minimum width of an alley shall be twenty-six (26') feet.
			<i>Staff Comments</i>	<i>Golden Way, Hayloft Way and Hopper Way are proposed to be twenty-six (26') feet wide.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	All alleys shall be dedicated to the public or provide for public access.
			<i>Staff Comments</i>	<i>The private drives, Golden Way, Hayloft Way and Hopper Way, are proposed and shall serve the proposed townhouses and condominium units. Said drives</i>

				<i>are proposed to function as access, as well as a public utility easement for the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 4.	All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.
			<i>Staff Comments</i>	<i>The private drives, Golden Way, Hayloft Way and Hopper Way, are proposed and shall serve the proposed townhouses and condominium units. Said drives are proposed to function as access, as well as a public utility easement for the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 5.	Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.
			<i>Staff Comments</i>	<i>The private drives, Golden Way, Hayloft Way and Hopper Way, are proposed and shall serve the proposed townhouses and condominium units. Said drives are proposed to function as access, as well as a public utility easement for the site.</i> <i>Drainage appears to be adequate for the site but will be reviewed by City Staff and shall meet the approval of the City Engineer.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	Dead-end alleys shall not be allowed.
			<i>Staff Comments</i>	<i>N/A, as no dead-end alleys are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			<i>Staff Comments</i>	<i>Easements are currently shown for utilities in the twenty-six (26') foot wide private alleys, Golden Way, Hayloft Way and Hopper Way.</i> Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Easements shall be provided for the following purposes:
			<i>Staff Comments</i>	<i>Easements are currently shown for utilities in the twenty-six (26') foot wide private alleys, Golden Way, Hayloft Way and Hopper Way.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.
			<i>Staff Comments</i>	<i>N/A, as this site does not border the Big Wood River.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark,

				<p>upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.</p>
			<i>Staff Comments</i>	<i>No natural resource, riparian area, hazardous area or other limitation requires an easement, as specified above, for the proposed subdivision.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	<p>To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.</p>
			<i>Staff Comments</i>	<i>Private alleys, Golden Way, Hayloft Way and Hopper Way, are proposed. The overall site plan (Phase I-IV) proposes 90,247 square feet of parking, hardscape and pedestrian circulation. 25% of 90,247 square feet is 22,562 square feet. 26,059 square feet for snow storage has been provided.</i>
16.04.050: Blocks				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.050	<p>Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.</p>
			<i>Staff Comments</i>	<i>N/A, as no blocks are proposed.</i>
16.04.060: Lots				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.060	<p>Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.</p>
			<i>Staff Comments</i>	<p><i>All proposed lots are sublots, ranging in size from 1,562 square feet to 21,320 square feet (ten-plex condominium building). There is a total of fourteen (14) sublots proposed in Phase 2 of the development, which is approximately 1.59 acres in size. Phase 2 thereby allows for the construction of approximately 14 sublots.</i></p> <p><i>The original P.U.D. Development Agreement addresses the above standard, which was granted August 14, 2006:</i></p> <ul style="list-style-type: none"> - <i>Maximum Density:</i> <ul style="list-style-type: none"> o <i>Townhouse subplot density shall increase from 12 sublots per acre to 24 sublots per acre.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).
			<i>Staff Comments</i>	<i>N/A, as no double frontage lots are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.
			<i>Staff Comments</i>	<i>N/A, as no unbuildable lots are platted.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.
			<i>Staff Comments</i>	<i>N/A, as no flag lots are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.
			<i>Staff Comments</i>	<i>All fourteen (14) of the sublots will have frontage on proposed courtyard/common space. The frontage width appears to be equal to the width of a driveway.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			<i>Staff Comments</i>	<i>N/A, as this project is not located within the Townsite Overlay (TO) Zone District.</i>

16.04.070: Orderly Development

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.
			<i>Staff Comments</i>	<i>A Phasing Plan and Agreement were developed during the P.U.D. process. Per the Second Amendment to the P.U.D. Agreement, dated December 27, 2010:</i>

				<p>- All roads, alleys and infrastructure necessary to serve a given building within the project, shall be installed prior to completion of the building, without regard to phasing or time restrictions associated with any prior Phasing Plan.</p> <p>No other revisions, specific to this project, were made in the subsequent amendments to the original P.U.D. Agreement.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.</p>
			Staff Comments	<p>A Phasing Plan and Agreement were developed during the P.U.D. process. Per the Second Amendment to the P.U.D. Agreement, dated December 27, 2010:</p> <p>- All roads, alleys and infrastructure necessary to serve a given building within the project, shall be installed prior to completion of the building, without regard to phasing or time restrictions associated with any prior Phasing Plan.</p> <p>No other revisions, specific to this project, were made in the subsequent amendments to the original P.U.D. Agreement.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</p> <ol style="list-style-type: none"> a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance.
			Staff Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ol style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic. 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. 5. Park land shall be most appropriately located on the Contiguous Parcels. 6. Grading and drainage shall be appropriate to the Contiguous Parcels. 7. Development shall avoid easements and hazardous or sensitive natural

				<p>resource areas. The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<i>Staff Comments</i>	N/A
16.04.080: Perimeter Walls, Gates and Berms				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	<p>The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.</p>
			<i>Staff Comments</i>	N/A, as no perimeter walls, gates, retaining walls or landscape berms are proposed.
16.04.090: Cuts, Fills, Grading and Drainage				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.</p>
			<i>Staff Comments</i>	The site is relatively flat and free of vegetation. A Flood Hazard Development Permit has been submitted.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	<p>A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.</p>
			<i>Staff Comments</i>	N/A, as the City Engineer has not required a Soils Report from the Applicant. A Soils Report, prepared by Butler and Associates, was submitted in 2006, and is available for review, if so desired.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<p>A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information:</p> <ul style="list-style-type: none"> a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.
			<i>Staff Comments</i>	Very little grading will be necessary as the site is relatively flat. That said, a Grading Plan will be submitted and will be reviewed and approved by the City Engineer prior to issuance of a Building Permit.
			B.	<p>Design Standards: The proposed subdivision shall conform to the following design standards:</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	<p>Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</p>

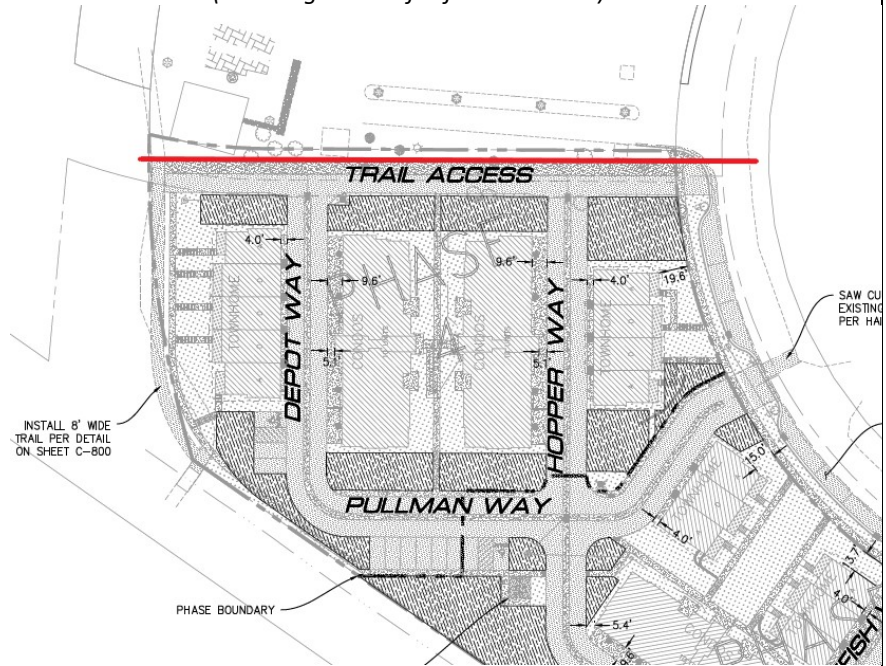
			Staff Comments	<i>Very little grading will be necessary as the site is relatively flat. That said, a Grading Plan will be submitted and will be reviewed and approved by the City Engineer prior to issuance of a Building Permit.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.
			Staff Comments	<i>Erosion control and re-vegetation shall be included in final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 4.	Where cuts, fills or other excavation are necessary, the following development standards shall apply: <ul style="list-style-type: none"> a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope. e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.
			Staff Comments	<i>Proposed grading and drainage appear to be adequate for the site, but shall meet the approval of the City Engineer.</i> <i>A Flood Hazard Development Permit Application has been submitted and approved by the City's Floodplain Manager. This permit and supporting documentation were submitted with previous phases.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 5.	The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			Staff Comments	<i>A Drainage Plan has been submitted and storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Drainage Plan. The Drainage Plan will be reviewed and approved by the City Engineer prior to issuance of a Building Permit.</i>

				<i>Permits shall be obtained for installation of all drywells. This has been made a Condition of Approval.</i>
16.04.100: Overlay Districts				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Flood Hazard Overlay District:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>A standard plat note has been added notifying future buyers that portions of the property are within the Flood Hazard Overlay District.</i> <i>Pursuant to Section 16.04.100 of the Hailey Municipal Code, a Flood Hazard Development Permit Application shall accompany the Preliminary Plat Application for Commissioner review. The Flood Hazard Development Permit Application has been submitted and approved by the City's Floodplain Manager. This permit and supporting documentation have been attached to this report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.
			<i>Staff Comments</i>	<i>To the extent possible, most of the proposed building envelopes are located outside of the Floodplain and Flood Hazard Overlay District.</i> <i>A Flood Hazard Development Permit Application has been submitted and has been approved by the City's Floodplain Manager.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located adjacent to the Big Wood River or its tributaries.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Hillside Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			<i>Staff Comments</i>	<i>The Developer shall obtain a Site Alteration Permit prior to any development occurring. This has been made a Condition of Approval.</i>
16.04.110: Parks, Pathways and Other Green Spaces				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.

			<i>Staff Comments</i>	<i>A 1.6-acre (69,696 square feet) park/open space is existing. Said space is open to the public and is maintained by the Sweetwater Homeowner’s Association.</i>
			A. 1.	Parks:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1. a.	<p>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</p> <p>P = x multiplied by .0277</p> <p>“P” is the Parks contribution in acres</p> <p>“x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</p>
			<i>Staff Comments</i>	<p><i>N/A, as Park/Open Space is existing and was developed accordingly:</i></p> <p><i>The prior rezone of the subject property, effective May 5, 2005, was pursuant to a Development Agreement that identified the park contribution the owner, or any subsequent owners, would be required to make upon development of the parcel. The required contribution was [a] creation of park space four-tenths (.4) of an acre in size, to be provided for the residents residing in the development, which “shall be developed as undedicated park space in conformity with Section 4.10 or 16.04.110 of the Hailey Subdivision Ordinance pertaining to park standards”, and [b] a payment to the City of \$390,000 as an in-lieu parks contribution for 1.2 acres.</i></p> <p><i>A 1.6-acre Park/Open Space was constructed to benefit the residents of the development. Per the Development Agreement dated April 25, 2005, any foregoing payments and designated improvements shall be deemed final and conclusive as to the park land improvements for the development of the property. No additional park land improvements will be required by the City, other than as set forth in the Development Agreement, or agreed to, in writing.</i></p> <p><i>No revisions to this provision were made in subsequent amendments.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.1.b	In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.
			<i>Staff Comments</i>	<i>The subdivision is located in the Limited Business (LB) Zoning District. Please see Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.
			<i>Staff Comments</i>	<i>A new five (5’) foot-wide sidewalk is proposed along the perimeter of the proposed project. This sidewalk will run parallel to Shenandoah Drive,</i>

approximately 600' in length, before curving to the east and crossing Shenandoah Drive (continental crosswalk, which utilizes thermoplastic materials). This sidewalk will connect to existing pathways found near and around the park space and amenity building.

Pedestrian connections are also shown at the northwestern end of the parcel, connecting to the Wood River Trail, and from the Wood River Trail to Shenandoah Drive (see image below for further details).



A second connection is also proposed from the public sidewalk on the north side of Countryside Boulevard to the Wood River Trail (see image below for further details).

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>B.</p>	<p>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units. d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			<p><i>Staff Comments</i></p>	<p>N/A</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>C.</p>	<p>Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.</p>

			<i>Staff Comments</i>	<i>N/A, as this application is part of an earlier P.U.D. Development Agreement. Park/Open Space was addressed at that time and is existing. No additional Park/Open Space is proposed or required at this time.</i>
			D.	Minimum Requirements:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 1.	Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110(A.1.a) for further information.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 5.	Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110(A)2 for further details.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110(A.1.a) for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 2.	Shall provide safe and convenient access, including ADA standards.
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 3.	Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110(A.1.a) for further information.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 4.	Shall be configured in size, shape, topography and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 5.	Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 6.	Shall require low maintenance or provide for maintenance or maintenance endowment.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110(A.1.a) for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F.	Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110(A.1.a) for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. 2.	Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110(A.1.a) for further information.</i>
			G.	Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 1.	Shall meet the minimum applicable requirements required by section 4.10.04 of this section.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 2.	Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).

			Staff Comments	<i>N/A, as public and private green spaces on the same property or adjacent properties are not proposed and/or existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 3.	The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.
			Staff Comments	<i>The standard has been met as part of the original and subsequent amendments to the P.U.D. Development Agreement dated January 10, 2005.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 4.	The private ownership and maintenance of green space shall be adequately provided for by written agreement.
			Staff Comments	<i>Maintenance of the Park/Open Space is currently managed and funded by the Sweetwater Homeowner’s Association. This standard has been met.</i>
			H.	In-Lieu Contributions:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 1.	After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.
			Staff Comments	<i>N/A, as Park/Open Space is existing and was developed accordingly: The prior rezone of the subject property, effective May 5, 2005, was pursuant to a Development Agreement that identified the park contribution the owner, or any subsequent owners, would be required to make upon development of the parcel. The required contribution was [a] creation of park space four-tenths (.4) of an acre in size, to be provided for the residents residing in the development, which “shall be developed as undedicated park space in conformity with Section 4.10 or 16.04.110 of the Hailey Subdivision Ordinance pertaining to park standards”, and [b] a payment to the City of \$390,000 as an in-lieu parks contribution for 1.2 acres. A 1.6-acre Park/Open Space was constructed to benefit the residents of the development. Per the Development Agreement dated April 25, 2005, any foregoing payments and designated improvements shall be deemed final and conclusive as to the park land improvements for the development of the property. No additional park land improvements will be required by the City, other than as set forth in the Development Agreement, or agreed to, in writing. No revisions to this provision were made in subsequent amendments.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 2.	The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in Sections 4.10.5.4 and 4.10.5.5 of these ordinances. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.
			Staff Comments	<i>Please reference Section 16.04.110 for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 3.	Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.
			Staff Comments	<i>Please reference Section 16.04.110 for further detail.</i>

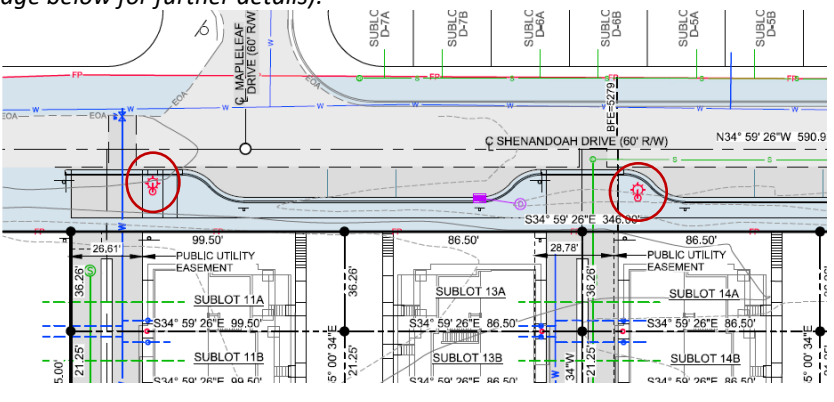
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 4.	In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.
			<i>Staff Comments</i>	<i>Please reference Section 16.04.110 for further detail.</i>

16.05: Improvements Required:

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	<p>Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.</p> <p><i>Staff Comments</i> The Applicant intends to construct all necessary infrastructure, if the project is approved.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer’s written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.</p> <p><i>Staff Comments</i> This standard will be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.</p> <p><i>Staff Comments</i> This standard will be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.</p> <p><i>Staff Comments</i> This standard will be met.</p>

16.05.020: Streets, Sidewalks, Lighting, Landscaping

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.020	<p>Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.</p> <p><i>Staff Comments</i> A variety of issues and/or concerns were noted during the Phase I Design Review Hearing and in the Design Review Findings of Fact, dated December 16,</p>
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				<p>2019. Together, the Public Works Department and Applicant Team have worked to solidify design details of the project. A final review and approval will be conducted prior to issuance of a Building Permit.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i></p> <p>Any and all street cuts for the installation of the water and sewer mains shall be per this standard.</p> <p>Connection details to the existing water system shall be approved by the Wastewater Division prior to construction. Street cuts shall be approved by the Streets Division prior to construction.</p> <p>All infrastructure will be approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.</p> <p><i>Staff Comments</i></p> <p>A Street Signage and Striping Plan has been submitted. Any new signage shall be installed per City Standards, which a final review and approval of will be conducted prior to issuance of a Building Permit.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.</p> <p><i>Staff Comments</i></p> <p>Two (2) street lights are proposed within Phase 2 of the development (see image below for further details).</p>  <p>All street lights will be maintained by the Sweetwater Homeowner's Association and all infrastructure will be approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures.</p>

16.05.030: Sewer Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.030	<p>Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<i>Staff Comments</i>	<p>A variety of issues and/or concerns were noted during the Design Review Hearing and in the Design Review Findings of Fact for Phase I, dated December 16, 2019. Together, the Public Works Department and Applicant Team have worked to solidify design details of the project. A final review and approval will be conducted prior to issuance of a Building Permit.</p>
16.05.040: Water Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<i>Staff Comments</i>	<p>A variety of issues and/or concerns were noted during the Design Review Hearing and in the Design Review Findings of Fact for Phase I, dated December 16, 2019. Together, the Public Works Department and Applicant Team have worked to solidify design details of the project. A final review and approval will be conducted prior to issuance of a Building Permit.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<i>Staff Comments</i>	<p>N/A, as this project is not within the Townsite Overlay (TO) District.</p>
16.05.050: Drainage				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.050	<p>Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p>Drainage appears to be adequate for the site, but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to issuance of a Building Permit.</p>
16.05.060: Utilities				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.060	<p>Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</p>

			<i>Staff Comments</i>	<i>All utilities are shown to be installed underground. A 26'-wide Public Utility Easement beneath the private alleys, Golden Way, Hayloft Way and Hopper Way, have been dedicated for this purpose.</i>
16.05.070: Parks, Green Space				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.070	Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.
			<i>Staff Comments</i>	<i>See Section 16.04.110 for further detail.</i>
16.05.080: Installation to Specifications; Inspections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.
			<i>Staff Comments</i>	<i>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be further evaluated in greater detail at final design. The inspection process of the proposed public improvements shall include materials testing to ensure the compliance with City of Hailey code.</i> <i>The City will need to select an inspector, to be paid for by the Applicant, for all water, sewer, and roadway infrastructure during construction.</i>
16.05.090: Completion; Inspections; Acceptance				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A, as the completion of all major infrastructure by the Developer is preferred over bonding.</i>
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of "as-built plans and specifications" certified by the developer's engineer shall be filed with the City engineer. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>As built drawings will be required. This standard will be met.</i>
16.08: Townhouses:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.010	Plat Procedure: The developer of the townhouse development shall submit with the preliminary plat application and all other information required herein a copy of the

				<p>proposed party wall agreement and the proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities, commonly held facilities, garages, parking and/or green spaces. Prior to final plat approval, the developer shall submit to the city a final copy of the party wall agreement and any other such documents and shall record the documents prior to or at the same time of the recordation of the plat, which plat shall reflect the recording instrument numbers thereupon. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.020	<p>Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific townhouse units on the townhouse plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<i>All garages are located on the same subplot as the principle dwelling and have been designated on the Preliminary Plat as such.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.030	<p>Storage, Parking Areas: Residential townhouse developments shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>Per the Hailey Municipal Code, Multi-Family Dwellings are required to provide at least 1.5 onsite parking spaces. Overall, the project contains, twelve (12), three-story townhomes (39 units in total), seven (7), ten-plex, three-story condominiums (70 units in total), one (1) three-plex live/work building and one (1) four-plex live/work building are proposed; therefore, 174 onsite parking spaces are required. The site plan shows a total of 254 onsite parking spaces: a two (2) car garage per townhouse unit, a one (1) car garage per condo unit, which totals 164 parking spaces. 64 off-street parking spaces and 28 on-street parking spaces are also proposed.</i></p> <p><i>For Phase 2 of the project, twenty (20) condominium units and twelve (12) townhouse units for a total of thirty-two (32) residential units are proposed; therefore, twelve (12) townhouses and twenty (20) condominiums (32 units in total); therefore, forty-eight (48) onsite parking spaces are required. The site plan shows a total of seventy-three (73) onsite parking spaces: a two (2) car garage per townhouse unit, a one (1) car garage per condo unit, which totals forty-four (44) parking spaces. Twenty-two (22) off-street parking spaces and seven (7) on-street parking spaces are also proposed.</i></p> <p><i>That said and as agreed upon in the original PUD Agreement dated August 14, 2006, below grade parking and/or parking stalls at basement levels are required. Over 70% of all parking stalls are located within the structure (two-car garage) and all driveways are oriented toward internal alleys, so as not to negatively affect the quality of the pedestrian environment.</i></p> <p><i>Due to the nature of all proposed onsite parking being below grade parking and/or parking stalls at basement level, which was determined in and comply with the original PUD Agreement, the excess parking complies with the standards set forth herein, as well as with the provisions outlined in the original PUD Agreement dated August 14, 2006.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.040	<p>Construction Standards: All townhouse development construction shall be in accordance with the IBC, IRC and IFC. Each townhouse unit must have separate water, sewer and utility services, which do not pass through another building or unit. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> Please refer to the analysis of Title 16 above for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.050	<p>General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse developments. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> Please refer to the analysis of Title 16 above for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.060	<p>Expiration: Townhouse developments which have received final plat approval shall have a period of three (3) calendar years from the date of final plat approval by the council to obtain a building permit. Developments which have not received a building permit shall be null and void and the plats associated therewith shall be vacated by the council. If a development is to be phased, construction of the second and succeeding phases shall be contingent upon completion of the preceding phase unless the requirement is waived by the council. Further, if construction on any townhouse development or phase of any development ceases or is not diligently pursued for a period of three (3) years without the prior consent of the council, that portion of the plat pertinent to the undeveloped portion of the development shall be vacated. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> This standard will be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.08.070	<p>Conversion: The conversion by subdivision of existing units into townhouses shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> N/A</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.080	<p>Density: The maximum number of cottage townhouse units on any parcel shall be twelve (12), and not more than two (2) cottage townhouse developments shall be constructed adjacent to each other. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> The proposed parcel is zoned Limited Business (LB), which allows for twenty (20) units per one (1) acre. Overall, the proposed parcel is 6.50 acres in size. The original P.U.D Development Agreement, dated August 14, 2006, granted a waiver, which allowed the townhouse subplot density to increase from 12 sublots per acre, to 24 sublots per acre. The Applicant is proposing a total of fourteen (14) sublots in Phase 2 of the development, which is approximately 1.59 acres in size. This provision allows the Applicant to construct a total of approximately 38 sublots in Phase 2; however, the Applicant has chosen to construct a total of 14 sublots, or 24 sublots less than what is currently allowed, pursuant the Planned Unit Development Agreement.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.11.010	<p>Exceptions: Whenever the tract to be subdivided is, in the shape or size, or is surrounded by such development or unusual conditions that the strict application of the requirements contained herein would result in real difficulties and substantial hardships or injustices, the council may vary or modify such requirements by making findings for their decision so that the developer is allowed to develop his property in a reasonable manner, while ensuring that the public welfare and interests of the city and surrounding area are protected and the general intent and spirit of this title are preserved. As used in this section, the phrase “real difficulties and substantial hardships or injustices” shall apply only to situations where strict application of the requirements of this title will deny to the developer the reasonable and beneficial use of the property in question, and not in situations where the developer establishes</p>

				only that exceptions will allow more financially feasible or profitable subdivision. (Ord. 1191, 2015).
			<i>Staff Comments</i>	N/A

Summary and Suggested Conditions: The Commission shall review the Preliminary Plat Application and continue the public hearing, approve, conditionally approve, or deny the Application. If approved, the Plat Application will be forwarded to the Hailey City Council for review.

The following are suggested Conditions of Approval for this Application:

- a) All conditions of the Planned Unit Development approval shall be met.
- b) All Fire Department and Building Department requirements shall be met.
- c) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards where required. Infrastructure to be completed at the Applicant’s sole expense include, but will not be limited to:
 - i. Permits shall be obtained for installation of all drywells.
 - ii. A Site Alteration Permit shall be obtained prior to any development occurring.
 - iii. The Applicant shall install metal collars for the meter vault lids on any and all meter vaults located in asphalt or concrete.
- d) Preliminary Plat approval is subject to the Flood Hazard Development Permit, approved on February 26, 2020.
- e) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- f) The Final Plat must be submitted within one (1) calendar year from the date of approval of the Preliminary Plat, unless otherwise allowed for within a phasing agreement.
- g) Any subdivision inspection fees due shall be paid prior to recording the Final Plat.
- h) Any application development fees shall be paid prior to recording the Final Plat.
- i) The Applicant shall submit an Erosion Control Plan prior to Final Plat.
- j) Prior to any future development in the SFHA, the property owner shall be required to obtain a Flood Hazard Development Permit from the City of Hailey for the proposed work.
- k) Alleys shall be designated as unbuildable parcels.

Motion Language:

Approval: Motion to approve Phase 2 of the Preliminary Plat Application by Sweetwater Communities, LLC, represented by Matt Watson, to be located at Block 2, Sweetwater P.U.D. Subdivision (vacant lot along Shenandoah Drive), finding that the application meets all City Standards, and that Conditions (a) through (k) are met.

Denial: Motion to deny Phase 2 of the Preliminary Plat Application by Sweetwater Communities, LLC, represented by Matt Watson, to be located at Parcel B2, Block 4, Sweetwater P.U.D. Subdivision (vacant

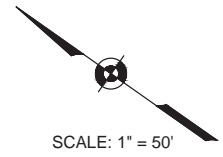
lot along Shenandoah Drive), finding that _____ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date].

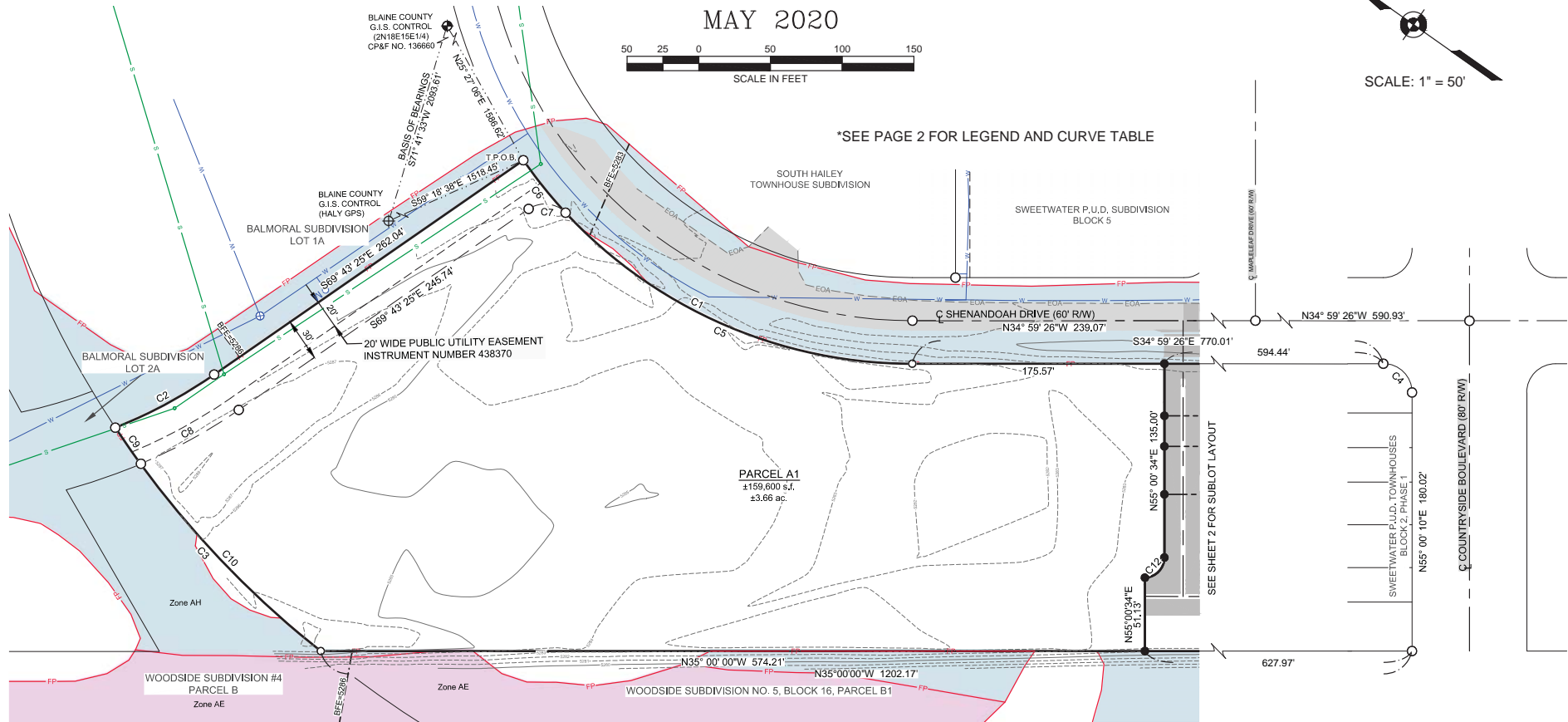
A PRELIMINARY PLAT SHOWING SWEETWATER P.U.D. TOWNHOUSES, BLOCK 2, PHASE 2

WHEREIN SWEETWATER P.U.D. TOWNHOUSES, BLOCK 2, PHASE 1, PARCEL A IS SUBDIVIDED
LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO

MAY 2020



*SEE PAGE 2 FOR LEGEND AND CURVE TABLE



SURVEY NARRATIVE AND NOTES

1. THE BOUNDARY INFORMATION SHOWN IS BASED ON FOUND MONUMENTS AND THE RECORDED PLAT OF SWEETWATER P.U.D. SUBDIVISION, INSTRUMENT NUMBER 576317, RECORDS OF BLAINE COUNTY, IDAHO. ALL FOUND MONUMENTS HAVE BEEN ACCEPTED. MISSING PROPERTY CORNERS HAVE BEEN RESET BY PROPORTIONING RECORD DISTANCES. REFER TO THE PLAT NOTES, CONDITIONS, COVENANTS, AND/OR RESTRICTIONS ON THE ORIGINAL PLAT OF SWEETWATER P.U.D. SUBDIVISION, RECORDED AS INSTRUMENT NO. 576317, THE ORIGINAL PLAT OF WOODSIDE SUBDIVISION FINAL PLAT NO. 5, RECORDED AS INSTRUMENT NO. 150393, AND THE ORIGINAL PLAT OF WOODSIDE SUBDIVISION FINAL PLAT NO. 22, RECORDED AS INSTRUMENT NO. 152517. THE ABOVE MENTIONED PLATS PER RECORDS OF BLAINE COUNTY, IDAHO. ADDITIONAL DOCUMENTS USED IN THE COURSE OF THIS SURVEY INCLUDE:

WOODSIDE SUBDIVISION #4	INSTRUMENT NO. 150392
WOODSIDE SUBDIVISION #5,	INSTRUMENT NO. 150393
BALMORAL SUBDIVISION,	INSTRUMENT NO. 439351
SOUTH HAILEY TOWNHOUSE,	INSTRUMENT NO. 206882
LOTS 3B AND 4B, BALMORAL SUBDIVISION,	INSTRUMENT NO. 457308
2. REFER TO THE MASTER DECLARATION OF CC&R'S FOR THE ORIGINAL PLAT OF SWEETWATER P.U.D. SUBDIVISION RECORDED AS INSTRUMENT NO. 576318, RECORDS OF BLAINE COUNTY, IDAHO AND AMENDMENTS THERETO.
3. LOT OWNERS, THEIR TENANTS, AND GUESTS ARE ADVISED THAT THIS PROPERTY IS LOCATED NEAR THE FRIEDMAN MEMORIAL AIRPORT. PRESENT AND FUTURE IMPACTS MAY BE ANNOYING AND INTERFERE WITH THE UNRESTRICTED USE AND ENJOYMENT OF PROPERTY. THESE NOISE IMPACTS MAY CHANGE OVER TIME BY VIRTUE OF GREATER NUMBERS OF AIRCRAFT, LOUDER AIRCRAFT, SEASONAL VARIATIONS, AND TIME-OF-DAY VARIATIONS. THAT CHANGES TO AIRPORT, AIRCRAFT, AND AIR TRAFFIC CONTROL OPERATING PROCEDURES OR IN AIRPORT LAYOUT COULD RESULT IN INCREASED NOISE IMPACTS; AND THAT THE USER'S OWN PERSONAL PERCEPTIONS OF THE NOISE EXPOSURE COULD CHANGE AND THAT HIS OR HER SENSITIVITY TO AIRCRAFT NOISE COULD INCREASE.
4. THE TOWNHOUSE SUBDIVISION IS SUBJECT TO THE TOWNHOUSE DECLARATION, RECORDED AS INSTRUMENT NO. _____, RECORDS OF BLAINE COUNTY, IDAHO.
5. REFER TO THE SWEETWATER P.U.D. AGREEMENT RECORDED AS INSTRUMENT NO. 542953, RECORDS OF BLAINE COUNTY, IDAHO AND AMENDMENTS THERETO.
6. THE EXISTING PHYSICAL BOUNDARIES OF THE COMMON UNIT WALL AS ORIGINALLY CONSTRUCTED OR AS RECONSTRUCTED IN LIEU THEREOF SHALL BE CONCLUSIVELY PRESUMED TO BE ITS BOUNDARIES RATHER THAN THE METES AND BOUNDS EXPRESSED OR DEPICTED IN THE DECLARATION, PLATS OR DEEDS, REGARDLESS OF SETTLING OR LATERAL MOVEMENT OF BUILDING AND BOUNDARIES SHOWN.
7. A MUTUAL RECIPROCAL EASEMENT FOR SIDEWALKS AND UTILITIES IS GRANTED WITHIN SUBLOTS 11A - 16C TO BENEFIT THE SWEETWATER P.U.D. HOMEOWNERS.
8. THE PROPERTY SHOWN HEREON IS AFFECTED BY ADDITIONAL EXCEPTIONS AS PROVIDED IN A TITLE REPORT BY AMERITITLE WITH THE COMMITMENT DATE OF 10/05/06 @ 8:00am AND ORDER NO. 56933:
 - E. PERPETUAL EASEMENT AND RIGHT-OF-WAY FOR A FREE AND UNOBSTRUCTED PASSAGE OF AIRCRAFT IN, THROUGH, AND ACROSS THE AIRSPACE ABOVE THE ELEVATION 6,115 FEET MEAN SEA LEVEL DATUM, EXECUTED BY SAWTOOTH TITLE COMPANY, INC., AN IDAHO CORPORATION, TRUSTEE, TO CITY OF HAILEY, BLAINE COUNTY, IDAHO, RECORDED JULY 17, 1973, AS INSTRUMENT NO. 150169.
 - I. DEVELOPMENT AGREEMENT RECORDED JANUARY 27, 2005, AS INSTRUMENT NO. 515668.
9. THE 100-YR FLOODPLAIN AREA DESIGNATED ON THIS MAP IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES. HOWEVER, GALENA ENGINEERING, INC. NEITHER REPRESENTS, GUARANTEES, WARRANTS, NOR IMPLIES THAT AREAS OUTSIDE OF THE DESIGNATED FLOODPLAIN AREA ARE SAFE AND FREE FROM FLOODS OR FLOOD DANGER.
10. ZONING IS LIMITED BUSINESS (LB).
11. SNOW STORAGE EASEMENTS WITHIN SUBLOTS 11A THRU 16C TO BENEFIT THE SWEETWATER P.U.D. HOMEOWNERS ARE GRANTED AS SHOWN HEREON.

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date _____ South Central District Health Dept., EHS

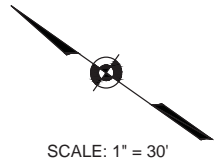


SWEETWATER P.U.D. TOWNHOUSES
BLOCK 2, PHASE 2
GALENA ENGINEERING, INC.
HAILEY, IDAHO
SHEET 1 OF 3
Job No. 7849

A PRELIMINARY PLAT SHOWING SWEETWATER P.U.D. TOWNHOUSES, BLOCK 2, PHASE 2

WHEREIN SWEETWATER P.U.D. TOWNHOUSES, BLOCK 2, PHASE 1, PARCEL A IS SUBDIVIDED
LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO

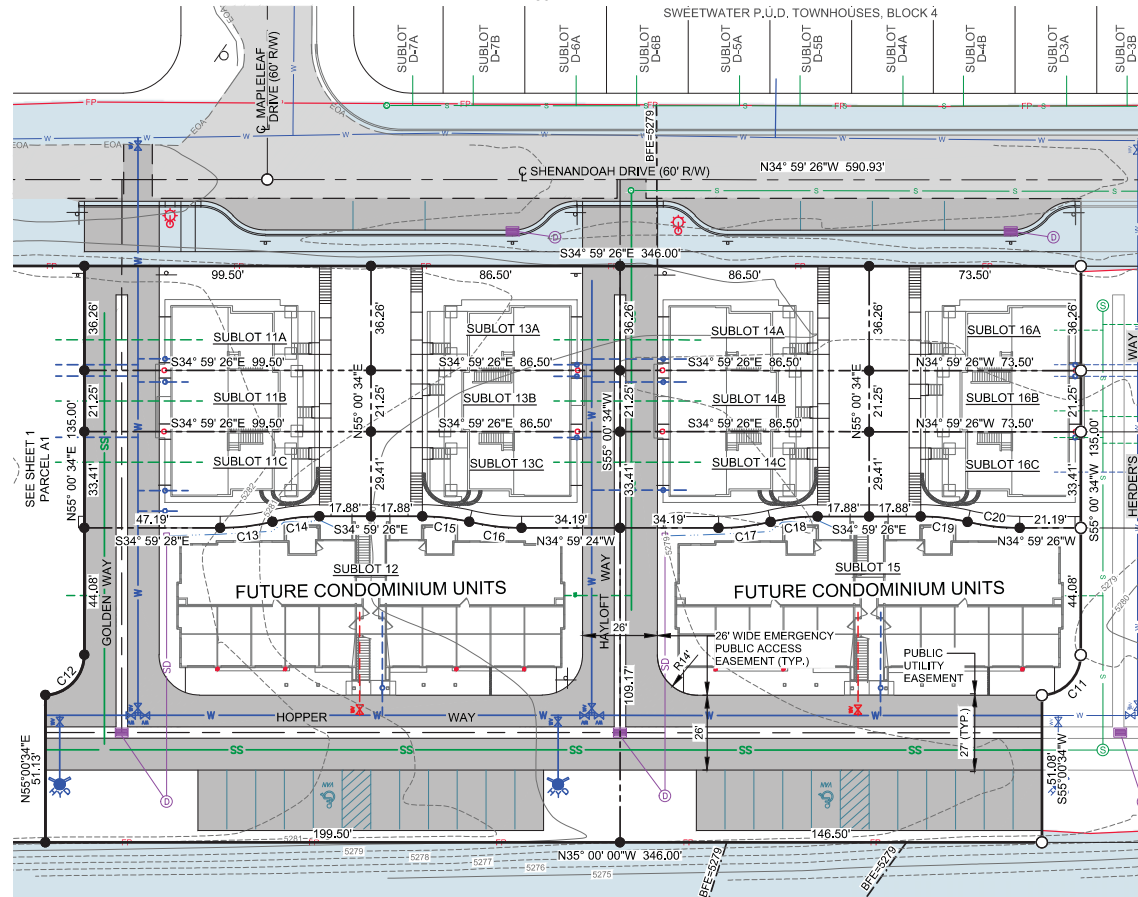
MAY 2020



SCALE: 1" = 30'



SUBLOT AREAS		
SUBLOT	AREA (sft.)	AREA (act.)
11A	3,607	0.08
11B	2,114	0.05
11C	3,185	0.07
12	21,320	0.49
13A	3,136	0.07
13B	1,838	0.04
13C	2,751	0.06
14A	3,136	0.07
14B	1,838	0.04
14C	2,751	0.06
15	17,012	0.39
16A	2,665	0.06
16B	1,562	0.04
16C	2,317	0.05
PARCEL A1	159,600	3.66
PROJECT	228,833	5.25



- LEGEND**
- Property Line
 - Adjoiner's Lot Line
 - Centerline
 - Sublot Line
 - G.I.S. Tie
 - Floodplain
 - BFE-5277
 - Zone AE
 - Zone AH
 - BFE = Base Flood Elevation
 - Flood Zones
 - Public Utility Easement
 - Easement, type and width as shown
 - Vacated Former Balmoral Sub Tract A (used to establish northern boundary)
 - Snow Storage Easement (see note 11)
 - Found Brass Cap
 - Found Stainless Steel Rod in Monument Well
 - FD5/8 = Found 5/8" Rebar
 - FD1/2 = Found 1/2" Rebar
 - Set 5/8" Rebar, PLS16670
 - Existing 5' Contour Interval
 - Existing 1' Contour Interval
 - Edge of Asphalt
 - Existing Asphalt
 - Proposed Asphalt Improvements
 - Proposed Light
 - Catch Basin
 - Proposed Catch Basin
 - Drywell
 - Proposed Drywell
 - Proposed Storm Drain
 - Proposed Sign
 - Sewer Main
 - Sewer Service
 - Proposed Sewer Main
 - Proposed Sewer Service
 - Sewer Manhole
 - Proposed Sewer Manhole
 - Water Main
 - Water Service
 - Proposed Water Main
 - Proposed Water Service
 - Proposed Fire Line w/ Valve
 - Fire Hydrant
 - Proposed Fire Hydrant
 - Water Valve
 - Proposed Water Valve
 - Proposed Road Paint

CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	55°13'30"	330.00'	318.07'	172.61'	305.90'	S 07°23'37" E
C2	12°50'15"	350.00'	78.42'	39.37'	78.26'	S 63°14'14" E
C3	18°01'33"	675.00'	212.36'	107.07'	211.49'	N 12°22'37" E
C4	89°59'36"	20.00'	31.41'	20.00'	28.28'	N 10°00'22" E
C5	47°03'55"	330.00'	271.08'	143.71'	263.52'	S 11°28'24" E
C6	8°09'35"	330.00'	47.00'	23.54'	46.96'	S 16°08'21" W
C7	80°42'42"	20.00'	28.17'	16.99'	25.90'	N 29°11'12" W
C8	11°47'34"	380.00'	78.21'	39.24'	78.07'	S 63°45'54" E

CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C9	2°36'33"	675.00'	30.74'	15.37'	30.74'	S 20°05'07" W
C10	15°25'00"	675.00'	181.62'	91.36'	181.08'	S 11°04'20" W
C11	87°58'06"	14.00'	21.49'	13.51'	19.44'	N 81°00'23" W
C12	87°58'06"	14.00'	21.49'	13.51'	19.44'	S 81°00'23" E
C13	13°15'02"	79.12'	18.30'	9.19'	18.26'	S 41°36'59" E
C14	13°15'02"	71.12'	16.45'	8.26'	16.41'	N 41°36'59" W
C15	13°15'06"	71.11'	16.45'	8.26'	16.41'	N 28°21'53" W
C16	13°15'06"	79.11'	18.30'	9.19'	18.26'	S 28°21'53" E

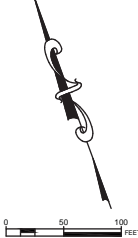
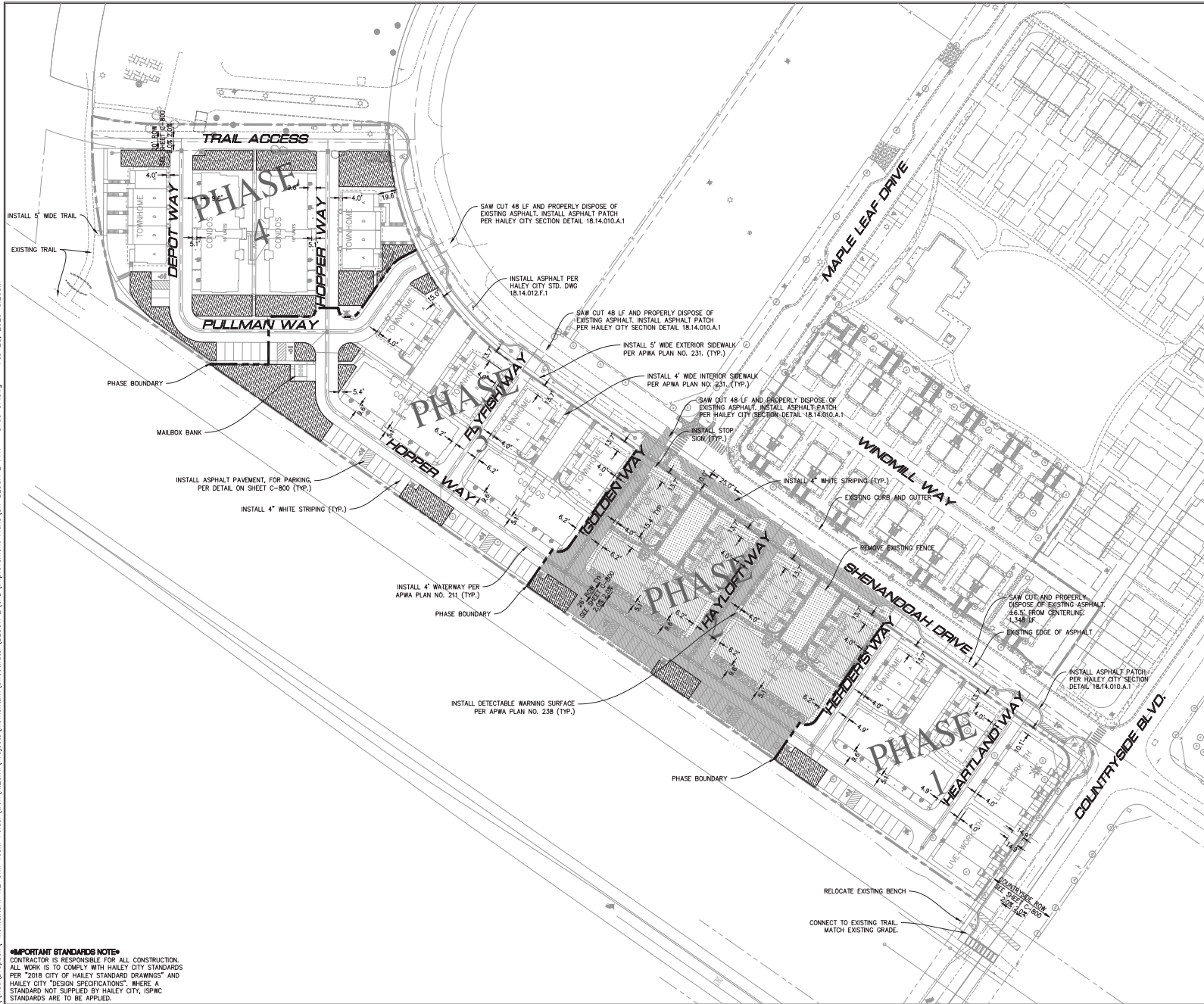
CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C17	13°15'02"	79.12'	18.30'	9.19'	18.26'	S 41°36'59" E
C18	13°15'02"	71.12'	16.45'	8.26'	16.41'	N 41°36'59" W
C19	13°15'06"	71.11'	16.45'	8.26'	16.41'	N 28°21'53" W
C20	13°15'06"	79.11'	18.30'	9.19'	18.26'	S 28°21'53" E



SWEETWATER P.U.D. TOWNHOUSES
BLOCK 2, PHASE 2
GALENA ENGINEERING, INC.
HAILEY, IDAHO
SHEET 2 OF 3
Job No. 7849

PROJ. NO.: MW DESIGNER: AKJ
 \\\Media\Drabbak\momentum-02 Civil Team Folder\Iron\2020\Projects\Momentum\Sweetwater\BLOCK 2\CAD\Improvement Plans\SW BLOCK 2 PH1 - C100 SP.dwg - Feb 28, 2020 - 8:20am

IMPORTANT STANDARDS NOTE
 CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION.
 ALL WORK IS TO COMPLY WITH HAILEY CITY STANDARDS
 PER "2018 CITY OF HAILEY STANDARD DRAWINGS" AND
 HAILEY CITY "DESIGN SPECIFICATIONS". WHERE A
 STANDARD NOT SUPPLIED BY HAILEY CITY, ISPC
 STANDARDS ARE TO BE APPLIED.



SITE DATA - PARCEL BLOCK 2
 SITE LOCATION:
 WEST SIDE OF SHENANDOAH DRIVE AND
 MAPLE LEAF DRIVE
 HAILEY, IDAHO

PARCEL NUMBER:
 RPH04910020000

LEGAL DESCRIPTION:
 SWEETWATER PUD TOWNHOUSES
 BLOCK 2
 FUTURE SUB LOTS

ZONING DISTRICT:
 LB - LIMITED BUSINESS

LOT BLOCK 2 AREA:
 6.50 ACRES (283,188 S.F.)

MIN. FRONT SETBACK:
 REQUIRED: 25'-0"
 PROVIDED: SEE PLAN

MIN. REAR SETBACK:
 REQUIRED: 3'-0"
 PROVIDED: SEE PLAN

MIN. SIDE SETBACKS:
 REQUIRED: 25'-0"
 PROVIDED: SEE PLAN

MAX. BUILDING HEIGHT:
 ALLOWED: 37'-0" FROM FINISH GRADE.
 PROVIDED: 37'-0" MAX. FROM
 FINISH GRADE. SEE ARCHITECTURAL
 ELEVATIONS

MULTI-FAMILY DENSITY:
 ALLOWED: 24
 UNITS/SUB-LOTS PER ACRE
 PROVIDED: 17.84
 UNITS/SUB-LOTS PER ACRE

INDIVIDUAL UNIT GROSS AREA:
 TOWNHOME A:
 BASEMENT FLOOR: 320 S.F.
 FIRST FLOOR: 709 S.F.
 SECOND FLOOR: 803 S.F.
 TOTAL: 1,832 S.F.
 TOWNHOME D:
 BASEMENT FLOOR: 387 S.F.
 FIRST FLOOR: 807 S.F.
 SECOND FLOOR: 890 S.F.
 TOTAL: 2,084 S.F.
 CONDO:
 EACH UNIT: 1,380 S.F.
 LIVE/WORK UNITS:
 BASEMENT FLOOR: 715 S.F.
 FIRST FLOOR: 1,083 S.F.
 SECOND FLOOR: 568 S.F.
 TOTAL: 2,366 S.F.

ON-SITE PARKING:
 REQUIRED:
 MIN. 1.5 SPACES PER UNIT TOTAL
 PROVIDED: GARAGE STREET TOTAL
 CONDO: 1 0 2
 TOWNHOME 2 0 2

OFF-SITE (PUBLIC STREET) PARKING:
 PROVIDED: 28

TOTAL ON-SITE PARKING
 REQUIRED: 174 SPACES
 PROVIDED: 254 SPACES
 GARAGE: 162 SPACES
 OFF STREET: 64 SPACES
 ON STREET: 28 SPACES

SNOW STORAGE REQUIREMENTS

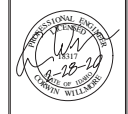
SNOW REMOVAL AREA REQ'D:
 90,247 SF X 20" = 22,562 SF

SNOW STORAGE PROVIDED:
 26,059 SF

NO.	DATE	REVISIONS

**SWEETWATER BLOCK 2 PHASE 1
 SITE PLAN
 FOR CONSTRUCTION**

PREPARED FOR: SWEETWATER COMMUNITIES



SHEET NUMBER
C-100

SCALE
 HORIZONTAL: 1"=50'
 VERTICAL: 1"=10'

DWG NUMBER
 47-0172

Return to Agenda