

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Tuesday, September 4, 2018
Hailey City Hall
5:30 p.m.

Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Adoption of the Meeting Minutes of August 20, 2018. **ACTION ITEM**

CA 2 Adoption of the Findings of Fact, Conclusions of Law and Decision for Consideration of Design Review Application by Old Rialto Hotel, LLC, represented by TND Architects, PLLC, for an interior renovation to an existing 7,798 square foot, two-story mixed-use building. This proposal includes the remodel of the first-floor commercial space, and the addition of employee housing on the second floor. Three (3) residential units and one (1) short-term unit are proposed. These units' range in size of 470 square feet to 869 square feet. The short-term unit is approximately 339 square feet. This building was formerly known as The Hailey Hotel. The project is located at 201 S Main St. (Lot 1 and 2, Block 29, Hailey Townsite), in the Business (B) Zoning District. **ACTION ITEM**

Public Hearings

PH 1 Consideration of Design Review Application by The Counterbalance, represented by Mark Gasenica, for a 3084 square foot two-story commercial building. This proposal includes a commercial retail and storage area on the main floor (2188 square feet) and an office and storage area on the second floor (896 square feet). The proposed use of the commercial area is for a coffee shop. The project is located at 811 N 1st Ave, (Taylor Sub Lot 1), in the Business (B) Zoning District. **ACTION ITEM**

PH 2 Consideration of a City-Initiated Text Amendment to Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04N.060: Public Hearing: to edit item A. Notice, and add a subcategory 1. Posting on Premises that reads:

1. Posting on Premises: A notice sign, as provided by the planning department, shall be posted by the applicant on the premises not less than one week prior to the hearing. The visibility of the on-site posting shall be as follows:
 - a. Location of Posting: Posting location shall be on the property line closest to a public thoroughfare or, if no such thoroughfare exists, on the property line of the nearest adjoining property not owned by the

applicant, a property of which the applicant has a proprietary interest, or the government.

- b. Size of Notice Sign: Approximately four (4) square feet. **ACTION ITEM**

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.
(no documents)

SR 2 Discussion of the next Planning and Zoning meeting: **Monday, September 24, 2018.**
(no documents)

Return to Agenda

MEETING MINUTES

HAILEY PLANNING & ZONING COMMISSION

Monday, August 20, 2018

Hailey City Hall

5:30 p.m.

Present

Commission: Chair Fugate, Dan Smith, Richard Pogue, Owen Scanlon, Jeff Engelhardt

Staff: Lisa Horowitz, Robyn Davis

5:28:25 PM Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Adoption of the Meeting Minutes of July 10, 2018. **ACTION ITEM**

CA 2 Adoption of the Meeting Minutes of August 6, 2018. **ACTION ITEM**

CA 3 Adoption of the Findings of Fact, Conclusions of Law and Decision for Consideration of Design Review Application by Juan Espinosa, represented by Juan Espinosa for a 2,905.57 square foot two-story commercial building. This proposal includes a commercial building composed of two separated spaces, one space for the owner and the other space to be utilized as a rental space. The project is located at 4309 Glenbrook Dr. (Lot 11, Block 42, Woodside Sub#10), in the Light Industrial (LI) Zoning District. **ACTION ITEM**

CA 4 Adoption of the Findings of Fact, Conclusions of Law and Decision for a City-Initiated Text Amendment to Title 17.07: Supplementary Location and Bulk Requirements, 17.07.010: Supplementary Yard Setback Requirements, 17.07.010F: Side Yard Setbacks of Normal Corner Lot and 17.07.010G: Reverse Corner Lots, reference these code sections as footnotes in Title 17.05, Office Zoning Map and District Use Matrix, 17.05.040: District Use Matrix. **ACTION ITEM**

5:29:15 PM Scanlon motioned to approve CA1 through CA 4. Smith seconded. All in Favor.

Public Hearings

PH 1 [5:29:41 PM](#) Consideration of Design Review Application by Old Rialto Hotel, LLC, represented by TND Architects, PLLC, for an interior renovation to an existing 7,798 square foot, two-story mixed-use building. This proposal includes the remodel of the first-floor commercial space, and the addition of employee housing on the second floor. Three (3) residential units and one (1) short-term unit are proposed. These units' range in size of 470 square feet to 869 square feet. The short-term unit is approximately 339 square feet. This building was formerly known as The Hailey Hotel. The project is located at 201 S Main St. (Lot 1 and 2, Block 29, Hailey Townsite), in the Business (B) Zoning District. **ACTION ITEM**

[5:30:33 PM](#) Horowitz turned project over to Dave Anderson. Anderson introduced himself as the President and primary investor of Old Rialto Hotel LLC. Anderson summarized the hotel history and their future plans for the hotel. Anderson stated materials found in the basement were donated to the Land Trust Building Material Thrift Shop. [5:33:25 PM](#). Anderson explained their hope is to get the approval for this project so they can move forward into the Building permit stage. Anderson introduced Tom Dabney, Joann Dixson, and Dan Dracket. [5:34:35 PM](#) Chair Fugate asked if the building has historic designation. Anderson stated yes it is on the national register and he had discussed this with Horowitz. [5:35:27 PM](#) Horowitz explained reason why this project is going in front of the Planning and Zoning Board. Tom Dabney, architect, described changes being made to the building, property line of the building, surrounding businesses, offsite improvements. Dabney described the entry ways, retail space, private living residents, parking, unloading areas, storage areas and dumpsters. Dabney described retail and resident outdoor areas. Chair Fugate asked if trucks would have to back out in the alley. Dabney confirmed yes they would. Dabney discussed a conversation he had with a driver regarding the dumpster location. Chair Fugate asked if people donating would have to pull in and back up. Dabney said no and explained intention. Chair Fugate asked about the state of the alley. Dabney stated he does not believe alley is in bad shape. Dabney went into detail of changes for each floor, starting with basement. Dabney went on to describe the main floor plan and changes being made. Scanlon asked why creating a new door to the stairway vs. using the existing. Dabney stated they are using the existing door. Smith asked if area in office would be filled in, Dabney confirmed yes. Dabney moved on to the second floor describing units to be added. Horowitz asked someone from the board to describe goal of the short term rental. Joann Dixson, Executive Director and Medical Director for Mountain Humane, explained the issues with employee housing and that they are looking to use the short term studio unit for housing for visiting speakers, veterinarians, interns and others volunteering their services. [5:57:39 PM](#) Horowitz pulled up windows. Scanlon asked if all windows on second floor operate. Dabney confirmed they have been replaced at some point and all work. Pogue asked if roof is a low slope roof off the back. [5:59:07 PM](#) Dabney confirmed it is. Dabney stated ideally would like to move tree on back of property. Anderson explained why would like to remove existing

tree and where would like to replace it. Anderson asked Horowitz the process. Horowitz explained the process if were to remove the tree. Anderson went on to discuss the street trees and ideally will come back to commission in spring with a better idea of what they will be doing regarding the street scape. [6:01:16 PM](#) Dabney explained relocation of mechanical units and other changes to the building. [6:02:50 PM](#) [6:05:03 PM](#) Horowitz asked if both floors will be air conditioned. Dabney confirmed yes. [6:06:26 PM](#) Dabney pointed out additional trees would like to remove. Chair Fugate asked about the vines. Dabney explained what happened to the vine and why it was removed from side of building. Smith asked if intention is to replace the ivy with something else. Dabney explained plans for future planting ideas. Dabney provided a computer rendering of future building. Smith asked about if there was another entrance on the southeast corner. Dabney said from some earlier pictures appears there were large windows not an entrance. Chair Fugate asked if plan to leave the Hailey Hotel and Date sign. Dabney said there will be something there. [6:12:46 PM](#) Anderson said the signage is something they will need to work out with Mountain Humane. [6:14:31 PM](#) Horowitz asked about the mural on the back of the liquor store. Anderson said it will probably stay as it is on their property. [6:14:59 PM](#)

[6:15:36 PM](#) Horowitz explained the suggested conditions of approvals from staff. Staff and Commission discussed conditions of approval. [6:19:34 PM](#) Scanlon asked where the handicap parking is and how they will be handling A.D.A requirements. Dabney discussed handicap and ADA requirements. [6:20:32 PM](#) Scanlon also asked where bike rack would go. Dabney explained potential locations for bike racks. [6:21:36 PM](#) Pogue asked about curb, gutter and sidewalk. Horowitz answered that they had discussed it internally and it was determined that it was bad. [6:22:25 PM](#) [6:23:26 PM](#) Smith asked about the snow removal and energy efficiency. Dabney confirmed process of snow removal, and explained energy efficiency plan. Smith stated he would encourage him to look at that, as there are requirements in the code and long term cost savings. Engelhardt added there is a good opportunity for solar on the south wall. Smith confirmed mechanical equipment will be relocated to center of roof and the electrical will go into the basement. [6:27:07 PM](#) Pogue stated think it would be really important to have a plaque to the Old Rialto Hotel somewhere on the building. Horowitz asked if there was a plaque already. Anderson confirmed there is an existing plaque and they are also discussing putting photos of the original building on the interior wall. Chair stated she was glad they are going to acknowledge the historic value. [6:29:24 PM](#)

[6:29:32 PM](#) Chair Fugate opened to public comment.

[6:29:39 PM](#) Tony Evans, Idaho Mountain Express, asked if there has been a completion date been mentioned? Would be interesting to know who all the investors are? Thought he heard the units upstairs would go to employees.

[6:30:56 PM](#) Joann Dixon, Executive Director and Medical Director of Mountain Humane, read a statement from Mountain Humane thanking the Old Rialto LLC for allowing Mountain Humane to utilize this space.

[6:32:44 PM](#) Chair Fugate closed public comment.

[6:32:53 PM](#) Anderson responded to Evans questions: explained trend of employers providing employee housing, other investors wish to remain private, and hope to have completed by May.

[6:35:26 PM](#) Chair Fugate added to condition j and suggested new condition regarding trees.

[6:37:06 PM](#) Horowitz added that staff had discussed with the applicant team regarding the loading and circulation in the rear. Horowitz believes that having an inside sorting area, the dumpster being enclosed and the truck being able to pull of the alley is a huge improvement from the way operations are currently. Chair Fugate and Horowitz discussed the improvement of the storage.

[6:38:36 PM](#) Smith added great plan and thought well through, idea of them giving the building some TLC is much appreciated. Smith discussed the unique character of the building and traffic pattern.[6:40:01 PM](#) Smith discussed the dumpster and if they plan to continue to sending materials not used to the Dessert Industry. [6:40:20 PM](#) Dixon responded that desert industries have pulled their pods in this area. Chair Fugate stated she appreciates that Hailey has done more to protect its original buildings and that she is appreciative that this building will be taken care of. Chair Fugate asked about deed restrictions, if units will be available for purchase by employees. Anderson stated thoughts are strictly rentals or possibly transitional for new employees until they can find their own place. Anderson confirmed intent is that the units will be restrict, will not go on the market. Chair Fugate stated she thinks this will great and that building will be ultimately used to its capacity than it has been in a long time. Chair Fugate added that she would encourage some information and history that is available that they can provide. [6:43:43 PM](#) Engelhardt following up on Chair Fugate's comment, based off the nonprofit and interest of this project suggested possible interest in the public to sell pavers with names engraved to bring the project along. Engelhardt added looking at the front elevation and the exterior retail area, asked if there was some visual communication between the sidewalk, street and the retail product in the back, suggesting wire grids versus solid items.[6:44:38 PM](#) Dabney stated they has discussed that a little bit. Scanlon said it was a great project that he agrees with Smith that this not a big money maker but that someone is saying lets invest in Hailey. Smith confirmed new conditions.

[6:45:54 PM](#) Smith motioned to approve the Design Review Application by Old Rialto Hotel, LLC, represented by TND Architects, PLLC, for an interior renovation to an existing 7,798 square foot, two-story mixed-use building. The project is located 201 South Main Street (Lots 1 and 2, Block 29, Hailey Townsite) within the Business (B) and Townsite Overlay (TO) Zoning Districts,

finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (l) are met. Pogue seconded. All in favor.

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.
(no documents)

Janet available 4th, but will be gone the rest of September. Horowitz discussed items to be discussed on the 4th and 24th. Horowitz asked if should move forward with a text change to add lot drawing into code explaining reverse corner lot. Commission agreed.

SR 2 Discussion of the next Planning and Zoning meeting: Monday, September 4, 2018.
(no documents)

6:54:41 PM Scanlon Motioned to close. Engelhardt Seconded. All in favor.

Return to Agenda

Findings of Fact, Conclusions of Law and Decision

On August 20, 2018, the Hailey Planning and Zoning Commission considered a Design Review Application by Old Rialto Hotel, LLC, represented by TND Architects, PLLC, for an interior renovation to an existing 7,798 square foot, two-story mixed-use building. This proposal includes the remodel of the first-floor commercial space (5,438 square feet), and the addition of employee housing on the second floor (2,814 square feet). Three (3) residential units and one (1) short-term unit are proposed. Units range in size from 311 square feet to 784 square feet. This building was formerly known as The Hailey Hotel. The project is located 201 South Main Street (Lots 1 and 2, Block 29, Hailey Townsite) within the Business (B) Zoning District.

The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision.

Notice

Notice for the public hearing was published in the Idaho Mountain Express on August 1, 2018 and mailed to property owners within 300 feet on July 31, 2018.

Application

The Applicant is proposing an interior renovation to an existing 7,798 square foot, two-story, mixed-use building. The proposal includes the remodel of the first-floor commercial space, and the addition of employee housing on the second floor. Three (3), pet-friendly, residential units (employee housing) and one (1) short-term unit, to be utilized by visiting volunteers, are proposed. Units range in size from 470 square feet to 869 square feet. The short-term unit is approximately 339 square feet. Access to the building will remain as existing, from Main Street and the alley.

Background

The Barkin' Basement Thrift Store, whose proceeds go directly to fund the Mountain Humane (previously called the Animal Shelter of the Wood River Valley), will call the new space, at 201 South Main Street, home.

This proposed use offers a unique experience to valley residents and visitors, alike. It's ecofriendly, it helps our community, it's an affordable option for families, it's popular and it's the ultimate example of one person's trash being another person's treasure. Due to its unique nature and growing popularity, it generates substantial vehicular and foot traffic. Loading and unloading spaces require ample room and expert driving skills. Trash receptacles are also a necessity – the quality of some household items is questionable and undeserved of resale. Though specific hours are listed, both vehicular and foot traffic can be seen 24/7: nighttime drop-offs are increasingly trendy, and as a result, garbage may collect. The Commission discussed how an increase in vehicular and foot traffic may impact the use of the surrounding businesses, as well as the alley servicing those businesses, which can be found in more detail, in the report below.

This fashionable use is great for any community; however, needs ample space, storage and a designated loading/unloading area, and adequate garbage services to operate at its utmost. The Commission found the proposed amendments to the existing building and outdoor space adequate for the proposed use.

Procedural History

The Application was submitted on July 10, 2018 and certified complete on August 2, 2018. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on August 20, 2018, in the Hailey City Council Chambers.

Upon receipt of these Findings of Fact, Conclusions of Law and Decision, the applicant may request a regulatory takings analysis pursuant to Idaho Code §67-8003.

General Requirements for all Design Review Applications					
Compliant			Standards and Staff Comments		
Yes	No	N/A	City Code	City Standards and Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050 (B)	Complete Application	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: No comments	
				Life/Safety: No comments	
				Water and Sewer: No comments	
				Building: No comments	
				Streets: No comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.	
			Staff Comments	<i>No proposed signs are identified on the plans. A Sign Permit Application shall be acquired for any new signage. This has been made a Condition of Approval.</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.04.090 for applicable code. 17.04.090 Commercial: 1 parking space per 1,000 gross square feet 17.04.090 Residential: 1 parking space per unit (< 1,000 gross square feet)	
			Staff Comments	<i>The Hailey Municipal Code requires one (1) parking space per 1,000 gross square feet of commercial space and one (1) parking space per unit less than 1,000 gross square feet.</i> <i>The building totals 7,912 gross square feet. Eight (8) parking spaces are required. The site plan shows eight (8) parking spaces, of which, three (3) are for residential use and five (5) are for commercial use. Three (3) parking spaces are located in the City Right-of-Way and the remaining five (5) parking spaces, which includes the loading and unloading space, are located on site.</i> <i>The Hailey Municipal Code also requires one (1) loading space per single retail space, which is greater or equal to 4,000 gross square feet. The site plan shows one (1) loading space greater than 500 square feet. This proposed loading/unloading and storage space is invaluable to the proposed use, as the use generates a</i>	

			<p><i>substantial amount of vehicular and foot traffic. Valley residents and visitors alike, frequently come and go; donating and purchasing items.</i></p> <p><i>High traffic volumes are also seen with the surrounding businesses. The Liquor Store and Chevron Gas Station see consistent vehicular traffic during the peak morning and evening hours. Providing sufficient storage and a loading/unloading space is imperative to the success of the proposed use, as well as in maintaining a methodical rhythm, void of congestion, to any vehicular and foot traffic.</i></p> <p><i>The Commission discussed the proposed loading/unloading zone. The Applicant noted that all trucks servicing the building would back in to the loading space. Clear Creek Disposal shall do the same when servicing the dumpsters. The Commission found this to be appropriate and requested a letter from Clear Creek Disposal stating that the design and dumpster location are adequate for trash pickup. This has been made a Condition of Approval.</i></p> <p><i>The Applicant also noted that vehicular traffic would be pull-in and park, rather than pull-through, which shall alleviate any traffic congestion the store might see. The Commission found this to be appropriate.</i></p> <p><i>Three (3), pet-friendly, residential units (employee housing) and one (1) short-term unit, to be utilized by visiting volunteers of the Mountain Humane, are also proposed. With the addition of on-site housing, resident traffic to and from the building will also increase.</i></p> <p><i>Parking requirements for the existing building are met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08C.040 Outdoor Lighting Standards</p> <p>17.08C.040 General Standards</p> <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ul style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<p><i>Staff Comments</i></p> <p><i>The Applicant discussed the proposed exterior light fixtures. All fixtures will be Dark Sky compliant, downcast and low in wattage.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Bulk Requirements</p> <p>Zoning District: Business (B) and Townsite Overlay (TO)</p> <p>Maximum Height: 35'</p> <p>Setbacks: 0'</p>

			Staff Comments	<i>This is an existing building. No changes to existing building height and setbacks are proposed.</i>
				<i>All building height, setback and lot coverage requirements have been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Required Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<i>Sidewalks, curb and gutter are existing along Main Street and Croy Street. As part of the Pathways for People levy, a dedicated bike lane is currently being constructed on the east side of Highway 75 along Croy Street. The City desires to extend this bike connection west to River Street. The Applicant has submitted a plan showing how this solution could work in this location.</i>
				<i>The Commission discussed and found that all sidewalks, curbs and gutters will be reevaluated in the Spring 2019, as the idea of a Town Square, solidifies. This has been made a Condition of Approval.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080 (A) 1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			Staff Comments	<i>The building is existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			Staff Comments	<p><i>Raised planter beds are proposed and will incorporate a variety of perennials, ground covers and ornamental grasses.</i></p> <p><i>The Applicant is proposing to remove three (3) trees, two (2) trees are on-site and one (1) tree is a City Street tree. The Commission discussed and found that the removal of said trees will need an Arborist Report, detailing the health and condition of each tree. The Commission and Applicant agreed that the removal of</i></p>

				<i>trees and other on-site vegetation will be reevaluated in Spring 2019. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1c	c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.
			<i>Staff Comments</i>	<i>No changes are proposed to the site circulation. Pedestrian access from the alley, and parking areas along Croy Street and Main Street are available.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1d and 1e	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p>e. 17.06.080e Loading Space Requirements and Dimensions. The following regulations shall apply to all commercial and industrial uses with on-site loading areas. A. One (1) loading space shall be provided for any single retail, wholesale or warehouse occupancy with a floor area in excess of 4000 square feet, except grocery and convenience stores where one (1) loading space shall be provided for a floor area in excess of 1000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12 feet. B. Convenient access driveways to loading spaces from streets or alleys shall be provided.</p>
			<i>Staff Comments</i>	<p><i>Two larger trash receptacles and roll-off dumpster will be stored within an enclosure on the southwest side of the building, adjacent to the alley, for easy pick-up. Two smaller trash receptacles will be stored at the back entrance of the building for ease and convenience.</i></p> <p><i>One (1) loading space, to be accessed from the alley, is proposed.</i></p> <p><i>The Commission discussed and found that the proposed loading/unloading area to be adequate for the use. The Commission requested a letter from Clear Creek Disposal regarding access to/from the dumpsters on-site. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1f	f. Where alleys exist, or are planned, they shall be utilized for building services.
			<i>Staff Comments</i>	<i>Four (4) parking spaces, including one (1) loading space, can be accessed from the alley. The proposed loading space will be utilized for building services.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1g	g. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	<i>None proposed or existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1h	<p>h. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p>

				<p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			<i>Staff Comments</i>	<i>Four (4) on-site parking spaces and one (1) loading space are proposed to the rear of the building. Three (3) parking spaces are proposed on the north side of the building, in the public right-of-way. Side parking is buffered from the sidewalk by a dedicated bike lane and landscaping. Parking will be reevaluated in Spring 2019. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1i	<p>i. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			<i>Staff Comments</i>	<i>All on-site parking can be accessed from the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1i	<p>j. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>
			<i>Staff Comments</i>	<i>It appears that snow will be hauled, as no snow storage is shown on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1j	<p>k. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p>
			<i>Staff Comments</i>	<i>It appears that snow will be hauled, as no snow storage is shown on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1k	<p>l. A designated snow storage area shall not have any dimension less than 10 feet.</p>
			<i>Staff Comments</i>	<i>It appears that snow will be hauled, as no snow storage is shown on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p>
			<i>Staff Comments</i>	<i>It appears that snow will be hauled, as no snow storage is shown on site. The Commission agreed that snow may be hauled offsite.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p>
			<i>Staff Comments</i>	<i>None of the above appear to be impeded by snow storage.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p>
			<i>Staff Comments</i>	<i>N/A</i>

2. Building Design: 17.06.080 (A) 2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p>

			<i>Staff Comments</i>	<i>The building is existing and is compatible with the surrounding buildings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	<i>The existing building complies with this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The ground level exterior finishes and façade of the building are proposed to remain as is.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>The front façade of the building is to remain as existing. Raised planter beds and an outdoor patio/retail space will emphasize human scale and break up the building surface.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>N/A. No additions onto or renovations of the exterior of the building are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	<i>N/A. The building is existing and not new materials, textures or colors are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<i>The building is existing and the materials and color scheme are suitable to the Hailey community.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space: i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing.

				<p>v) Earth berming against exterior walls</p> <p>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</p>
			<i>Staff Comments</i>	<p>The building is existing. The Commission questioned how the Applicant proposes to meet the energy standards noted above. The Applicant noted the improvements to help minimize energy consumption:</p> <ul style="list-style-type: none"> • A new roof, with quality insulation (an increase in R-value), will be added to the building. • All new mechanical equipment will be added to the site. • Most windows will be replaced and include low emissivity glazing.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<p>The building is existing. No pitched roofs exist.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>
			<i>Staff Comments</i>	<p>Building is existing. No downspouts or gutters currently exist. A mono-pitch roof from east to west (Main Street to the alley) allows water to drip from the roof. The Applicant is proposing to add gutters to the back of the building, as well as a drywell under the rear parking area to catch water runoff. All drainage plans to be reviewed by the City of Hailey's Public Works Department.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p>
			<i>Staff Comments</i>	<p>N/A</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p>
			<i>Staff Comments</i>	<p>No proposed signs are identified on the plans. A Sign Permit Application shall be acquired for any new signage. This has been made a Condition of Approval.</p>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080 (A) 3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p>
			<i>Staff Comments</i>	<p>N/A</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3b	<p>b. Accessory structures shall be located at the rear of the property.</p>
			<i>Staff Comments</i>	<p>N/A</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>The parking, loading and unloading, storage and dumpster area will be screened by a privacy/screening fence. Materials utilized will be compatible with other materials used on the site.</i> <i>The Applicant noted that a privacy fence along Main Street will be made of brick from the garage that was demolished. The detail of the fence will mimic that of the front façade of the hotel.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1706.080(A) 3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>The proposed fencing is minimal in design. Landscaping, planter beds and an outdoor patio space will soften any visual impacts of the fence.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>Mechanical equipment from the ground will be moved to the roof. All roof-mounted mechanical equipment will be shielded by the building, screened from view from ground level.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>None proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>Ground equipment currently exists at the south side of the building. The Applicant plans to relocate all ground equipment indoors and/or to the roof. All equipment will be screened by the building and/or indoors, out of site.</i> <i>Trash receptacle areas will be adequately screened from the surrounding properties by a privacy fence/screen.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All services will be installed underground.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances are proposed on existing utility poles.</i>

4. Landscaping: 17.06.080 (A) 4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4a	<p>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</p> <p><i>Staff Comments</i> Landscaping is existing. Raised planter beds will incorporate a variety of perennials, ground covers and ornamental grasses.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4b	<p>b. All plant species shall be hardy to the Zone 4 environment.</p> <p><i>Staff Comments</i> Landscaping is existing. Raised planter beds will incorporate a variety of perennials, ground covers and ornamental grasses.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4c	<p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p> <p><i>Staff Comments</i> Landscaping is existing. Raised planter beds will incorporate a variety of perennials, ground covers and ornamental grasses.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</p> <p><i>Staff Comments</i> Landscaping is existing. Raised planter beds will incorporate a variety of perennials, ground covers and ornamental grasses. The Applicant is proposing to remove three (3) trees, two (2) trees are on-site and one (1) tree is a City Street tree. The Commission discussed and found that the removal of said trees will need an Arborist Report, detailing the health and condition of each tree. The Commission and Applicant agreed that the removal of trees and other on-site vegetation will be reevaluated in Spring 2019. This has been made a Condition of Approval.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p> <p><i>Staff Comments</i> N/A</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p> <p><i>Staff Comments</i> Landscaping is existing. Raised planter beds will incorporate a variety of perennials, ground covers and ornamental grasses.</p> <p>The Applicant is proposing to remove three (3) trees, two (2) trees are on-site and one (1) tree is a City Street tree. The Commission discussed and found that the removal of said trees will need an Arborist Report, detailing the health and condition of each tree. The Commission and Applicant agreed that the removal of trees and other on-site vegetation will be reevaluated in Spring 2019. This has been made a Condition of Approval.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>Landscaping is existing. No options of retaining storm water runoff are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>Landscaping is existing. No maintenance options for landscaping areas are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>N/A. No retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>N/A. No retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A. No retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4l	m. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A. No retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A. No retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A. No retaining walls are proposed.</i>

**Additional Design Review Requirements for
 Non-Residential Buildings Located within B, LB, or TN**

1. Site Planning: 17.06.080 (B) 1, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B) 1a	a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.
			<i>Staff Comments</i>	<i>Sidewalks along Main Street and Croy Street are existing. Pedestrian access from the rear parking area is provided to the building's east access and north access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B) 1b	b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.
			<i>Staff Comments</i>	<i>Sidewalks are existing.</i>

2. Building Design: 17.06.080 (B) 2, items (a) thru (g)			
Compliant			Standards and Staff Comments
Yes	No	N/A	City Code City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(B) 2a</p> <p>a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.</p> <p><i>Staff Comments</i> The building is existing. The Main façade is oriented to the street and the primary entrance to the building is located on Main Street.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(B) 2b</p> <p>b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image which may often accompany large buildings.</p> <p><i>Staff Comments</i> N/A. Structure contains only one commercial unit.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(B) 2c</p> <p>c. Building designs shall maximize the human scale of buildings and enhance the small town “sense of place”. This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.</p> <p><i>Staff Comments</i> The building is existing. No exterior changes to the building are proposed. Human scale is achieved with the addition of raised planter beds, an outdoor paver patio and retail space, and benches to create interest and variation at the street level.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(B) 2d</p> <p>d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.</p> <p><i>Staff Comments</i> This building is existing. The building height is 26’-8”.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(B) 2e</p> <p>e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.</p> <p><i>Staff Comments</i> An outdoor paver patio and retail space are proposed, which will create a more welcoming entry, and enhance the natural aesthetic of the building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(B) 2f</p> <p>f. Fire department staging areas shall be incorporated into the design elements of the building.</p> <p><i>Staff Comments</i> No changes to fire access are proposed. Fire department staging is available in the alley and on Main Street.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(B) 2g</p> <p>g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following:</p> <ul style="list-style-type: none"> i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses; ii. Stepping down the massing of the building along the site’s edge; and iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns

			<i>Staff Comments</i>	<i>The building is existing.</i>
3. Landscaping: 17.06.080 (B) 3, item (a)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(B) 3a	a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight-foot-wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.
			<i>Staff Comments</i>	<i>N/A. The proposed project is located in the Business (B) Zoning District. The surrounding properties are also zoned Business (B).</i>

17.06.080 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

- 1. The project does not jeopardize the health, safety or welfare of the public.**
- 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.**

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
- 2. Require conformity to approved plans and specifications.**
- 3. Require security for compliance with the terms of the approval.**
- 4. Minimize adverse impact on other development.**
- 5. Control the sequence, timing and duration of development.**
- 6. Assure that development and landscaping are maintained properly.**
- 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements

within a period of one (1) year from the date the security is provided.

- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions of approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - a. If requested by the City, the Applicant shall pay an in-lieu fee for the sidewalk/bike path improvements along Croy Street.
- c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- d) All new exterior lighting shall comply with the Outdoor Lighting Ordinance.
- e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- f) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- g) The Applicant shall submit a Sign Permit Application for Staff approval if any new signage is proposed. Proposed sign(s) shall conform to City Zoning requirements, and shall be approved prior to installation.
- h) All new ground-mounted utility equipment shall be located to the rear of the building(s) and screened from view.
- i) Construction staging and storage shall not be in the City Right-of-Way. All construction impacts shall occur within property boundary.
- j) The final street and sidewalk design along Croy Street, bike rack placements, and the trees to be added and/or removed from the site, shall be reevaluated in Spring 2019.
- k) A letter shall be provided from Clear Creek Disposal, prior to issuance of a Building Permit, stating that the design and location of the dumpster area is adequate for trash pickup.
- l) An Arborist Report shall be submitted regarding the three (3) trees proposed for removal.

Signed this _____ day of _____, 2018.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

Return to Agenda

**DESIGN REVIEW
STAFF REPORT**

TO: Hailey Planning and Zoning Commission

FROM: Lisa Horowitz, Community Development Director

RE: Design Review Application by The Counterbalance, represented by Mark Gasenica, for a 3,084 square foot two-story commercial building. This proposal includes a commercial retail and storage area on the main floor (2,188 square feet) and an office and storage area on the second floor (896 square feet). The proposed use of the commercial area is for a coffee shop. The project is located at 811 North 1st Avenue, (Lot 1, Taylor Subdivision), in the Business (B) Zoning District

HEARING: September 4, 2018

Applicant: Kirk and Kim Peterson

Request: Design Review Application for a new commercial building

Location: 811 North 1st Avenue, (Lot 1, Taylor Subdivision)

Zoning: Business (B) Zoning District

Notice

Notice for the September 4, 2018 public hearing was published in the Idaho Mountain Express on August 15, 2018 and mailed to property owners within 300 feet on August 15, 2018.

Application

Design Review Application by The Counterbalance, represented by Mark Gasenica, for a new 3,084 square foot two-story commercial building. This proposal includes a commercial retail and storage area on the main floor (2,188 square feet) and an office and storage area on the second floor (896 square feet). The proposed use of the commercial area is for a coffee shop. The project is located at 811 North 1st Avenue, (Lot 1, Taylor Subdivision), in the Business (B) Zoning District. The existing approximately 1,200 square foot building is planned to be removed.

Procedural History

Site plan, landscaping, architectural and elevation drawings were submitted on August 1, 2018. A public hearing before the Planning and Zoning Commission will be held on September 4, 2018, in the Hailey City Council Chambers. Upon receipt of these Findings of Fact, Conclusions of Law and Decision, the applicant may request a regulatory takings analysis pursuant to Idaho Code §67-8003.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>additional grading information is needed in the right of way before the infrastructure can be fully evaluated.</i>
				Life/Safety: <i>No comments</i>
				Water and Sewer: <i>There is no water main as shown. Water will need to be brought to the building. If any food service is contemplated, a grease trap will be needed. There is no drywell in the southwest corner where site drainage is shown to drain to.</i>
				Building: <i>No comments</i>
				Streets: <i>see above; curb cuts should be reduced to 24'; drywell permits will be needed; the sidewalk shall be maintained year round by the applicant</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>Signs have not yet been submitted, but will conform to City regulations.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code. 9.4.5, 1 space per 1,000 square feet. 9.4.A.1, fractional spaces are rounded down
			Staff Comments	<i>City regulations require 4 parking spaces. The site plan shows a total of 5 parking spaces on private property, and one (1) loading zone. The project exceeds the number of parking spaces required by City Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		17.09.040.06: EXCESS OF PERMITTED PARKING: A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review. The parking requested above city requirements is not in excess of 200%.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards a. All exterior lighting shall be designed, located and lamped in order to prevent: 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass;

				<p>5. Skyglow.</p> <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			Staff Comments	<i>The applicant is proposing a variety of light fixtures. Cut sheets are attached.</i>
<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p>Business Zone District:</p> <p>Front Yard-0'</p> <p>Side/Rear yard- 0'</p>
			Staff Comments	<i>The front and rear yard setbacks are 3.5'. The north setback is 13' and the south setback is 60'. The building is proposed to be 28' tall, which meets code.</i>
<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> <p><i>A 6' Sidewalk exists on the frontage along First Avenue.</i></p> <p><i>All roof drainage runs to interior drains that drain to drywells located under the parking areas. See earlier comments from the City Engineer- the site should not drain on to adjacent properties.</i></p>
			Staff Comments	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			Staff Comments	<i>This site is not in Townsite Overlay.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

Compliant	Standards and Staff Comments
------------------	-------------------------------------

Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p><i>Staff Comments</i> The proposed building follows the grid pattern in downtown Hailey, as best as possible given the odd shape of the lots in this area.</p> <p>The building opens to the south with garage doors.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p> <p><i>Staff Comments</i> The site contains a few mature trees; two on private property and six street trees. One tree is proposed for removal.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> A 6' Sidewalk exists on First Avenue. The applicant proposes to maintain this sidewalk, and plant a variety of shrubs in the planting beds as shown on the landscape plan.</p> <p>Circulation to both entrances is pedestrian friendly and provides safe access to/from the building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>Staff Comments</i> The applicant is proposing a trash area that appears to be roll-out cans. The trash area is placed on the west side of the building, and is contained in a trash enclosure. A letter will be required from Clear Creek Disposal stating that the trash area is accessible. A condition of approval requiring a letter from Clear Creek is included.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p>

			Staff Comments	<i>This block does not contain a platted alley</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			Staff Comments	<i>No vending machines will be located on the exterior of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <ul style="list-style-type: none"> i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street. <p>9.2.2 Loading Space Requirements and Dimensions. The following regulations shall apply to all commercial and industrial uses with on-site loading areas.</p> <p>A. One (1) loading space shall be provided for any single retail, wholesale or warehouse occupancy with a floor area in excess of 4000 square feet, except grocery and convenience stores where one (1) loading space shall be provided for a floor area in excess of 1000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area.</p> <p>9.2.9 Screening and Landscaping.</p> <p>A. All loading space areas and parking areas shall be screened from a public street and shall be screened on all sides which adjoin or face any residential property.</p> <ul style="list-style-type: none"> 1. The screening shall consist of an acceptably designed wall, fence or drought tolerant landscaping. <ul style="list-style-type: none"> a. Such a fence or wall shall be not less than four (4) feet nor more than six (6) feet in height and shall be maintained in good condition. The space between such fence or wall and the lot line of the adjoining premises in any residential district shall be landscaped with drought tolerant landscaping and maintained in good condition. B. When a project is being reviewed pursuant to Article 6.A and an existing on-site parking area is located adjacent to a sidewalk, a landscape buffer is required between the surface of the parking area and the sidewalk
			Staff Comments	<i>The on-site parking is located in a parking lot to the south side of the building. Some parking is available on the street. The applicant should show in the</i>

				<p><i>building permit drawings that the proposed ADA parking stall meets grade requirements.</i></p> <p><i>No loading spaces are required, although one is shown.</i></p> <p><i>The property to the east is zoned for residential uses.</i></p>
<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1h	<p>a. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			Staff Comments	<i>This block does not contain a platted alley. The front entrance is accessed via an existing curb cut on First Avenue, and will be 24' maximum.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1i	<p>b. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>
			Staff Comments	<i>The site plan proposes 2400 square feet of hardscape (parking, vehicle and pedestrian areas). 25% of this (640 square feet) is required as a snow storage area. 624 square feet of snow storage is shown (spaces 4 and 5).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1j	<p>c. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p>
			Staff Comments	<i>See Standard (i) above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1k	<p>d. A designated snow storage area shall not have any dimension less than 10 feet.</p>
			Staff Comments	<i>Snow storage area meets requirements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p>
			Staff Comments	<i>Snow may need to be hauled in large storm events.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p>
			Staff Comments	<i>Snow storage areas impede two parking spaces that are in excess of the minimum number of spaces required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p>
			Staff Comments	<i>N/A</i>

2. Building Design: 17.06.080(A)2, items (a) thru (m)					
Compliant			Standards and Staff Comments		
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p>	
			<i>Staff Comments</i>	<i>The proposed building uses a variety of flat and slightly sloped roof lines. The proposed building exceeds setback requirements of the zone district.</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2b	<p>b. Standardized corporate building designs are prohibited.</p>	
			<i>Staff Comments</i>	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p>	
			<i>Staff Comments</i>	<i>The Main Entry/Front Façade faces First Avenue and has multiple windows to welcome pedestrians. Windows and a secondary entrance are located on the south side of the building (facing the parking lot), which encourages pedestrian connectivity.</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p>	
			<i>Staff Comments</i>	<p><i>The front façade and front entry of the building faces First Avenue. A secondary entry faces the south.</i></p> <p><i>The front façade incorporates glass doors and windows to invite pedestrians and natural light in. The façade incorporates vertical siding and metal bands. A teal and champagne colored decorative tower-like element is incorporated in to the design. Materials are more fully described on the elevation sheets.</i></p>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p>	
			<i>Staff Comments</i>	<i>No expansion is planned.</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p>	
			<i>Staff Comments</i>	<i>A variety of materials will be used on the exterior, as described in "b" above.</i>	

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			Staff Comments	<i>Building colors are shown on the elevations. Materials Sample Board will be brought to the meeting, and has been added to the packet. Colors are broken on various elements to break up mass. Tower elements feature splashes of color.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			Staff Comments	<i>The proposed building contains sloped roofs of varying heights. The variety of colors utilized, material changes and windows provide depth, shadow lines, and human scale to the building façades.</i>
<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space: <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.
			Staff Comments	<i>The applicant will describe how this standard is met at the meeting.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			Staff Comments	<i>The flat-roofed buildings do not shed snow on to the pedestrian areas. A roof plan is included in the packet.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			Staff Comments	<i>Downspouts from the building appear to be routed underground to a drywell. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only and not onto pedestrian and hardscape locations. More detailed drawings will be required as part of the building permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			Staff Comments	<i>No drive-through canopies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			Staff Comments	<i>A Master Signage Plan is not required of a single-tenant building.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			Staff Comments	<i>No accessory structures are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3b	b. Accessory structures shall be located at the rear of the property.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			Staff Comments	<i>No walls or fences are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but

				excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			Staff Comments	<i>All roof-mounted mechanical equipment will be screened or not visible at all from the ground level of on-site parking areas and adjacent streets and properties. All roof-mounted mechanical equipment will be located toward the center of the roof.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3f	f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			Staff Comments	<i>Ground-mounted mechanical equipment is not anticipated for the proposed building. All service lines into the property will be placed underground and no service equipment will be placed on utility poles.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3h	i. All service lines into the subject property shall be installed underground.
			Staff Comments	<i>All service lines are underground. Staff has requested that transformer locations be shown on the building permit drawings</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3i	j. Additional appurtenances shall not be located on existing utility poles.
			Staff Comments	<i>No appurtenances are proposed.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			Staff Comments	<i>Plant materials will be appropriate for the environment. Comments from the City Arborist (if any) will be brought to the meeting.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>Plant materials will be appropriate for the environment.</i>
<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>A drip irrigation and sprinkler system will be installed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			<i>Staff Comments</i>	<i>Proposed landscaping is varied. A combination of trees, shrubs, native grasses and wildflowers will be utilized to soften the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>The plant material shown has attention to color and texture.</i>
<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>Runoff should be addressed in the southwest corner.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			Staff Comments	<i>The applicant will be responsible for maintaining plant material in healthy condition. A variety of plant material is existing and healthy.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			Staff Comments	<i>Please see comments under item "l".</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			Staff Comments	<i>Please see comments under item "l".</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.
			Staff Comments	<i>Please see comments under item "l".</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4l	e. Landscaping should be provided within or in front of extensive retaining walls.
			Staff Comments	<i>No retaining walls are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			Staff Comments	<i>No retaining walls are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			Staff Comments	<i>N/A</i>

Additional Design Review Requirements for Non-Residential Buildings Located within B, LB, or TN				
1. Site Planning: 17.06.080(B)1, items (a) thru (b)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)1a	a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.
			Staff Comments	<i>A 6' Sidewalk exists on First Avenue. The applicant proposes to maintain this sidewalk, and plant a variety of plants and shrubs in a planting bed adjacent to the sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)1b	b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.
			Staff Comments	<i>Wider sidewalks are not needed in this location. A Bike rack could be added.</i>
2. Building Design: 17.06.080(B)2, items (a) thru (c)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)2a	a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.
			Staff Comments	<i>Good pedestrian access is proposed from First Avenue. One vehicular entrance is proposed. The primary entrance to the building faces First Avenue. A secondary entrance faces south; pedestrian connection has been added.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(B)2b	b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image which may often accompany large buildings.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)2c	c. Building designs shall maximize the human scale of buildings and enhance the small town "sense of place". This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.
			Staff Comments	<i>Pedestrian access is from sidewalks and is of human scale.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)2d	d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.
			<i>Staff Comments</i>	<i>The building does not exceed 30' in height. Various elements break up the roof line.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)2e	e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.
			<i>Staff Comments</i>	<i>An outdoor seating area is shown on the north side.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)2f	f. Fire department staging areas shall be incorporated into the design elements of the building.
			<i>Staff Comments</i>	<i>The building is within 150' of the street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(B)2g	g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: <ul style="list-style-type: none"> i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses; ii. Stepping down the massing of the building along the site's edge; and iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns
			<i>Staff Comments</i>	

6A.6 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which

will:

- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Ordinance.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are placed on approval of this application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the applicant's sole expense include, but will not be limited to, the following requirements and improvements: 1) water service shall be brought to the building, and 2) drainage from parking areas shall not drain on to adjacent properties.
- d) The applicant shall be responsible for winter snow clearing and maintenance of the Frist Avenue sidewalk.
- e) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.

- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) A grading and drainage plan prepared by a licensed engineer for the site and all adjacent city rights of way shall be submitted and approved by staff prior to issuance of any building permits.
- i) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance. The lighting plan shall demonstrate that there is no light trespass towards residential neighborhoods to the east.
- j) A letter from Clearcreek Disposal shall be provided stating that the location and design is adequate for rolling can pickup. If a change is made, a Design Review modification should be submitted.
- k) Rooftop equipment (if any) shall be shown on a roof plan.
- l) All grade level utility boxes and transformers shall be shown on the building permit submittal.

Motion Language

Approval:

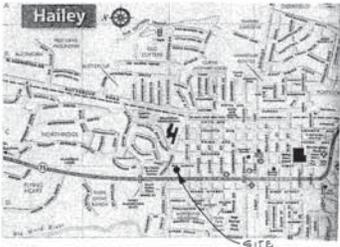
Motion to approve the Design Review Application Design Review Application by The Counterbalance, represented by Mark Gasenica, for a 3,084 square foot two-story commercial building. located at 811 North 1st Avenue, (Lot 1, Taylor Subdivision), in the Business (B) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (l) are met.

Denial:

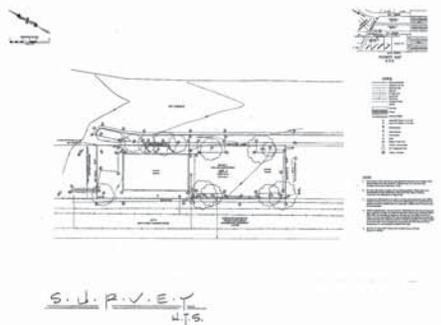
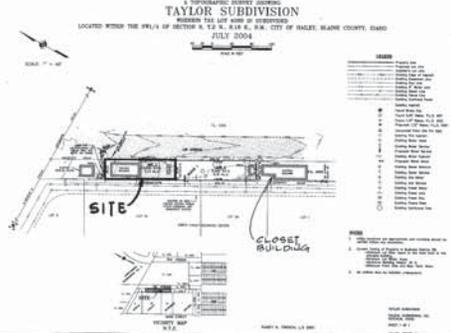
Motion to deny the Design Review Application, by The Counterbalance finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing to _____ [Commission should specify a date).



V.I.C.I.I.U.I.T.Y M.A.P
U.T.S



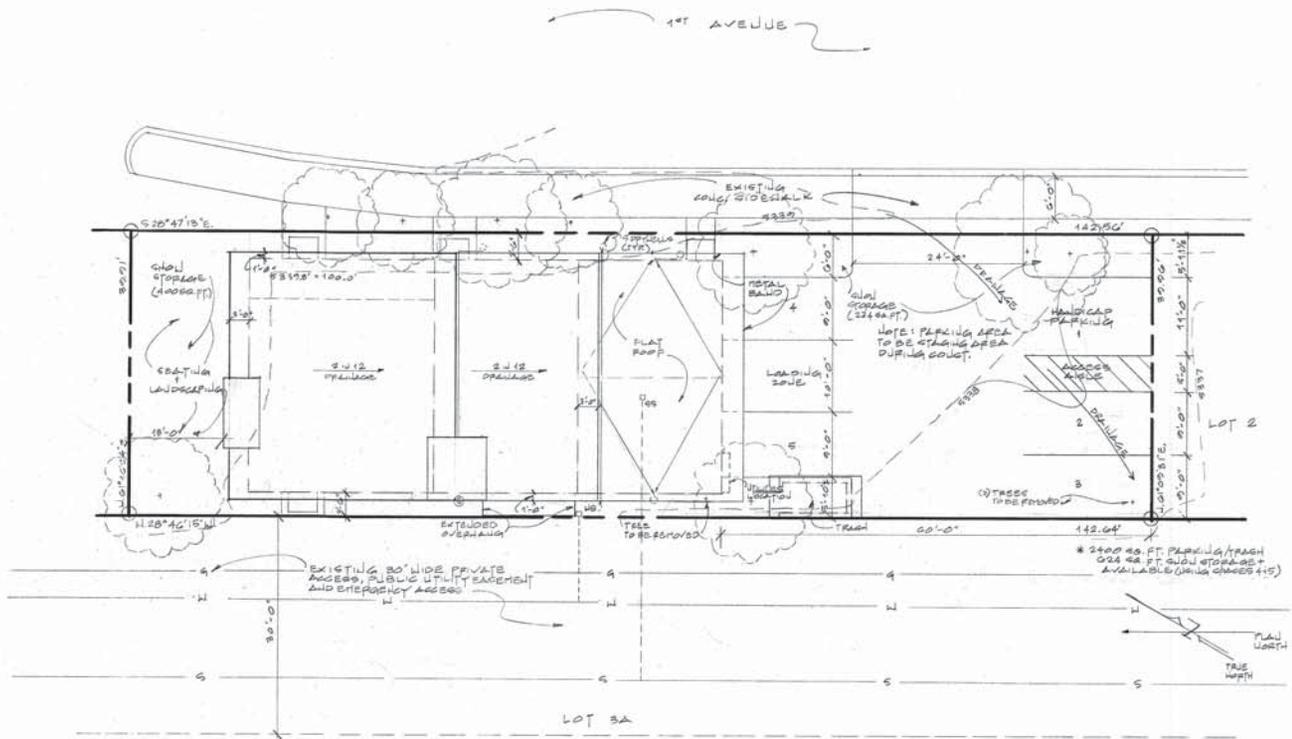
MARK A. GASENICA ARCHITECT
 ARCHITECTURE, PLANNING, PROJECT MANAGEMENT
 PO BOX 4573 KETCHUM, IDAHO 83340 208.728.1568

LEGAL DESCRIPTION

Taylor Subdivision
 Lot 1, Block 1
 Hailey, Idaho

B Zoning
 Group B Occupancy
 Type V-B Construction

Area of Lot (.13 ac.)	5699 sq. ft.
Main Floor Level	2188 sq. ft.
Second Floor Level	896 sq. ft.
Total	3084 sq. ft.
Building Height	28'-0"
Main Floor Level Occupant Load	53
Second Floor Level Occupant Load	17



the counterbalance
 SITE PLAN

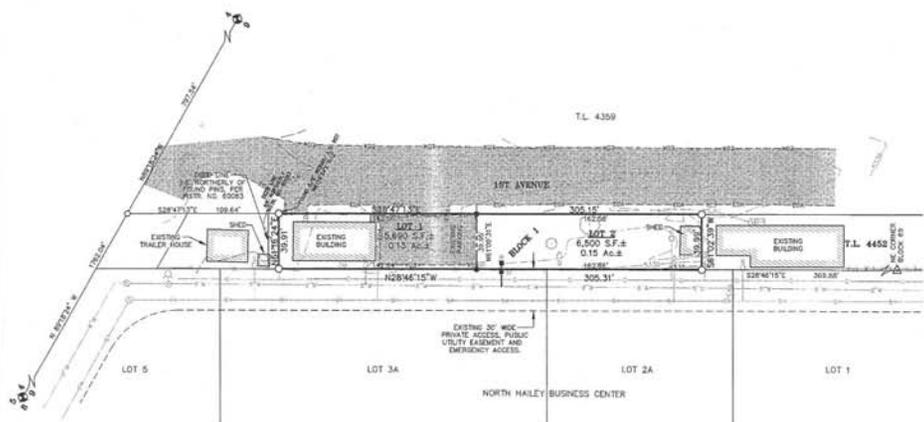
1

HAILEY, IDAHO

SCALE 1/8" = 1'-0"

A TOPOGRAPHIC SURVEY SHOWING
TAYLOR SUBDIVISION
 WHEREIN TAX LOT 4089 IS SUBDIVIDED
 LOCATED WITHIN THE NW1/4 OF SECTION 9, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
 JULY 2004

SCALE: 1" = 40'



LEGEND

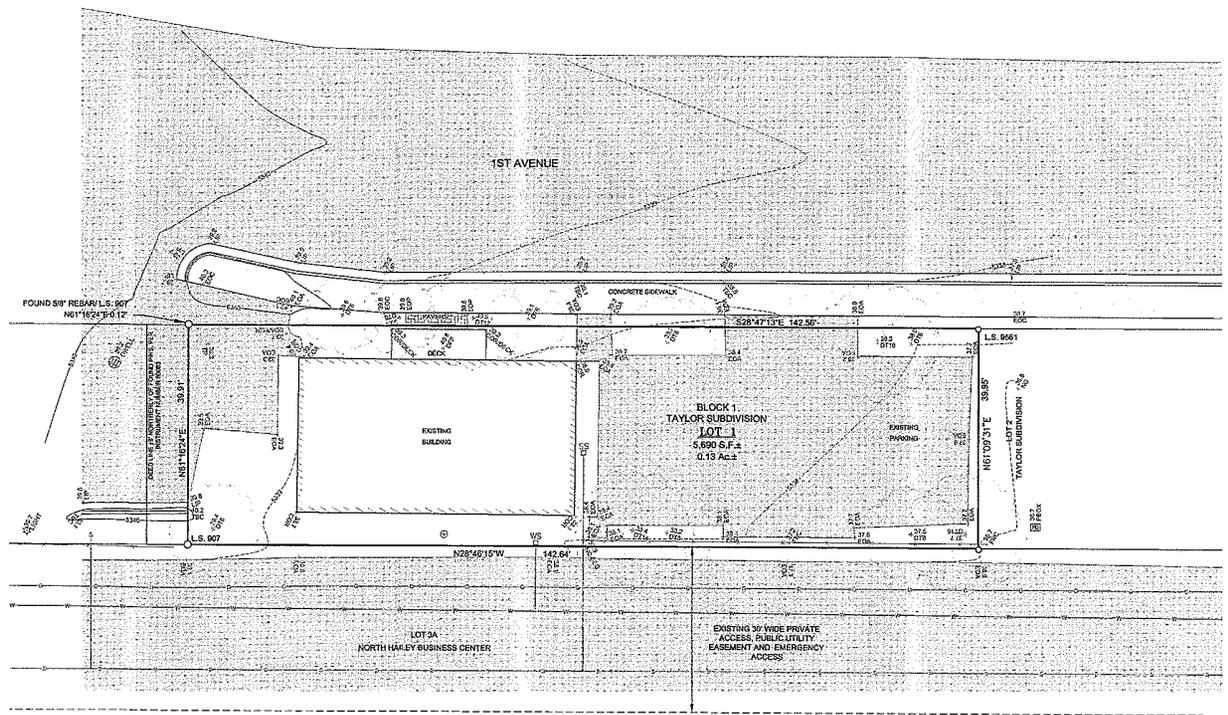
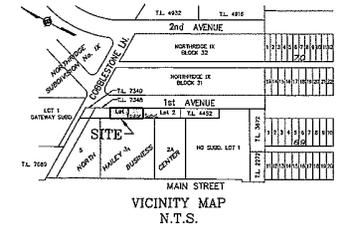
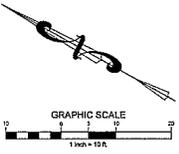
---	Property Line
- - - - -	Proposed Lot Line
- - - - -	Adjacent's Lot Line
- - - - -	Existing Edge of Asphalt
- - - - -	Existing Easement Line
- - - - -	Existing Gas Line
- - - - -	Existing 8" Water Line
- - - - -	Existing Sewer Line
- - - - -	Existing Fence Line
- - - - -	Existing Overhead Power
-----	Existing Asphalt
⊕	Found Brass Cap
○	Found 5/8" Rebar, P.L.S. 907
○	Found 1/2" Rebar, P.L.S. 3821
●	Proposed 1/2" Rebar, P.L.S. 9561
△	Calculated Point (No Pin Set)
⊕	Existing Fire hydrant
⊕	Existing Water Valve
⊕	Existing Water Service
⊕	Proposed Water Service
⊕	Existing Water Hydrant
⊕	Proposed Water Meter
⊕	Existing Sewer Manhole
⊕	Existing Sewer Service
⊕	Existing Gas Meter
⊕	Existing Gas Service
⊕	Existing Power Meter
⊕	Existing Power pole
⊕	Existing Power Box
⊕	Existing Phone Riser
⊕	Existing Deciduous Tree

- NOTES**
1. Utility locations are approximate and locations should be verified before any excavation.
 2. Current Zoning of Property is Business District (B)
 - Minimum Lot Size: equal to the total floor of the principle building.
 - Minimum Lot Width: None
 - Maximum Building Height: 35 ft.
 - Minimum Front Side and Rear Yard: None
 3. All utilities shall be installed underground.

TAYLOR SUBDIVISION
 GALENA ENGINEERING, INC.
 KETCHUM, IDAHO
 SHEET 1 OF 1
 Job No. 492701_topo

RANDY K. FRENCH, L.S. 9561

RECEIVED
 AUG 8 6 2013
 CITY OF HAILEY



- LEGEND**
- Property Boundary
 - - - - - Adjacent Lot Line
 - - - - - Easement Line
 - Gas Line
 - 4" Water Line
 - Sewer Line
 - Fence Line
 - Overhead Power
 - Asphalt
 - Concrete
 - Powers
 - Curb and Gutter
 - Found 80" Rebar, P.L.S. 907
 - Found 10" Rebar, P.L.S. 9021
 - ⊕ Water Service
 - ⊕ Sewer Service
 - ⊕ Power Meter
 - ⊕ Light
 - ⊕ PBOX = Power Box
 - ⊕ PBOX = Phone Box
 - ⊕ DT = Deciduous Tree
 - ⊕ DWELL = Drywell

- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (June, 2018).
 - Boundary information is based on Found Monumentation. Please refer to the recorded plat of Taylor Subdivision. Refer to the Plat Notes, Conditions, Comments, and Restrictions on Original Plat.
 - Underground utility locations are based on above ground appurtenances/ utilities visible at the time of the survey. Sub-surface utility locations are approximate and locations should be verified before any excavation. Utilities should be located prior to any excavation.
 - Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown herein. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 - Benchmark is top of 80" Rebar at the northeast corner of the lot. Elevation = 5339.80

NO	DATE	BY	REVISIONS

Galena Engineering Inc.
317 North River Street
Hailey, Idaho 83333
(208) 788-1765
email galena@galena-engineering.com

Civil Engineers & Land Surveyors
317 North River Street
Hailey, Idaho 83333
(208) 788-1765
email galena@galena-engineering.com

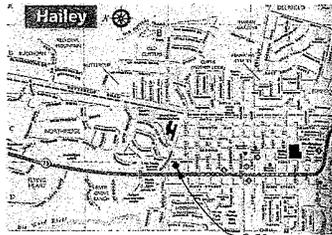
REUSE OF DRAWINGS
These drawings, or any portion thereof shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

DESIGNED BY
DRAWN BY
CHECKED BY

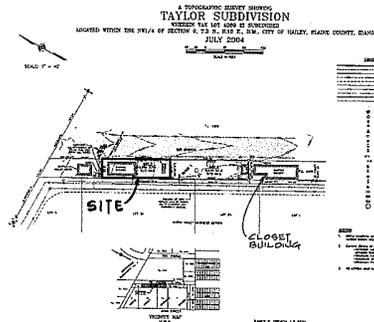
A TOPOGRAPHIC SURVEY FOR LOT 1, BLOCK 1, TAYLOR SUBDIVISION
LOCATED WITHIN THE NW1/4 OF SECTION 9, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
PREPARED FOR KIRK PETERSON

PROJECT INFORMATION
P:\kirkp\7874\dwg\topo\7874.dwg 25182627.dwg 06/27/18 10:30:11 AM

SHT 1 OF 1

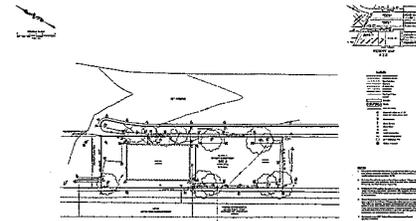


V.I.C.I.I.T.Y H.A.P.
U.T.S



PROPERTY INFORMATION

OWNER	MARK A. GASENICA ARCHITECT
PROJECT	TAYLOR SUBDIVISION
DATE	JULY 2004
SCALE	AS SHOWN
PROJECT NO.	04-001
DRAWN BY	S.J.P.V.E.Y
CHECKED BY	U.T.S



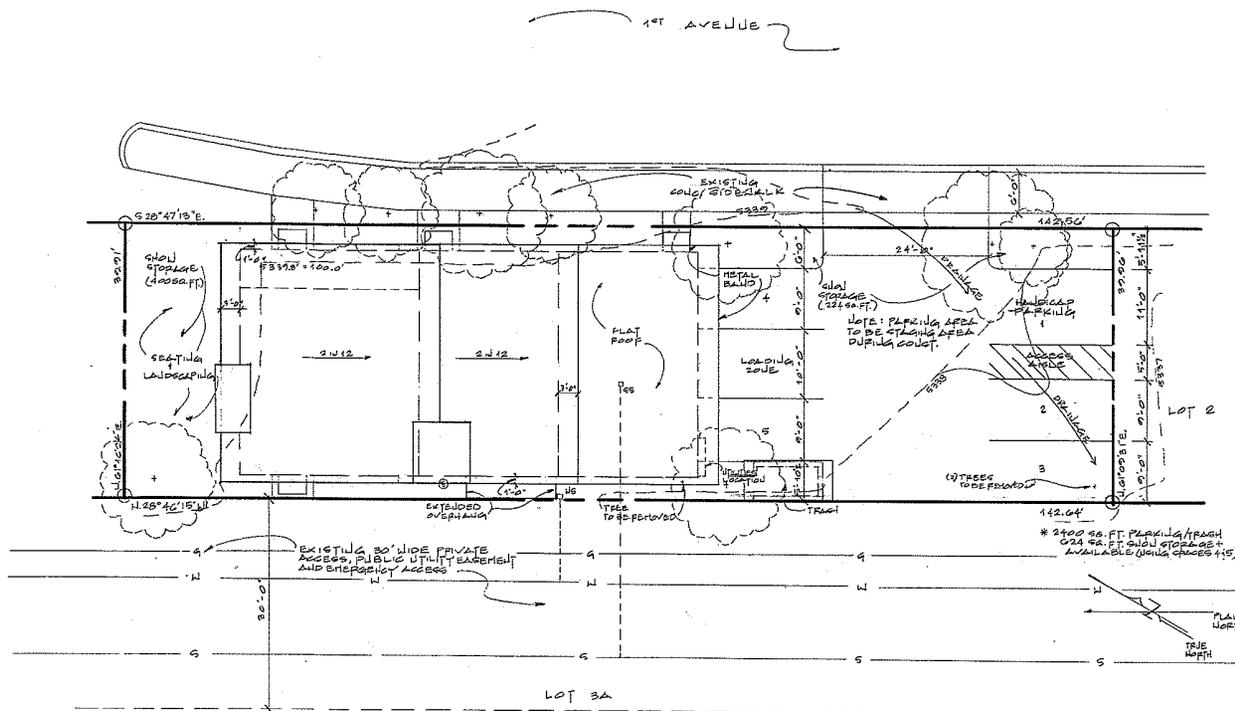
S.J.P.V.E.Y
U.T.S

LEGAL DESCRIPTION

Taylor Subdivision
Lot 1, Block 1
Hailey, Idaho

B Zoning
Group B Occupancy
Type V-B Construction

Area of Lot (1.13 ac.)	5690 sq.ft.
Main Floor Level	2188 sq.ft.
Second Floor Level	896 sq.ft.
Total	3084 sq.ft.
Building Height	28'-0"
Main Floor Level Occupant Load	53
Second Floor Level Occupant Load	17



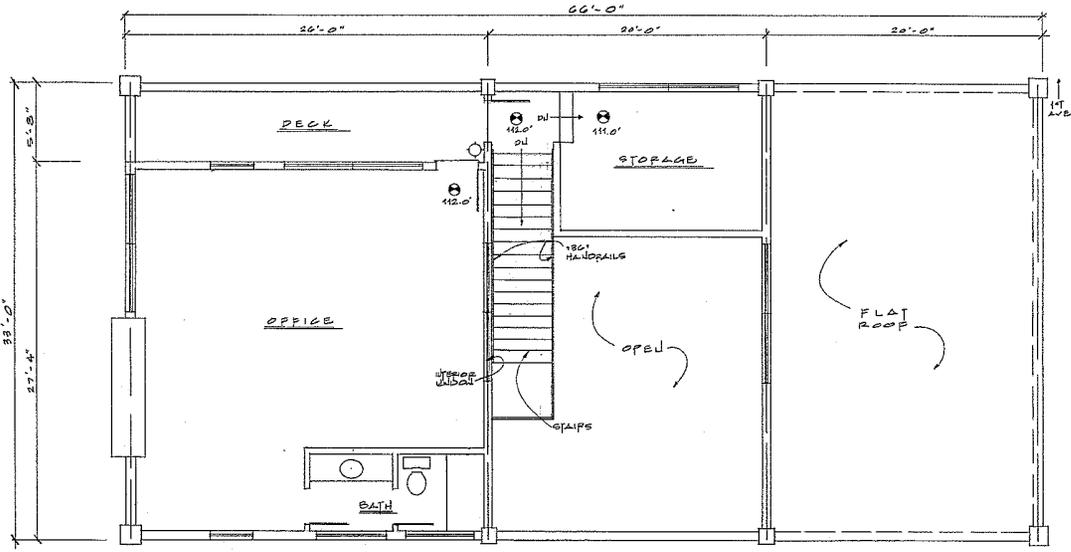
the counterbalance
SITE PLAN

1

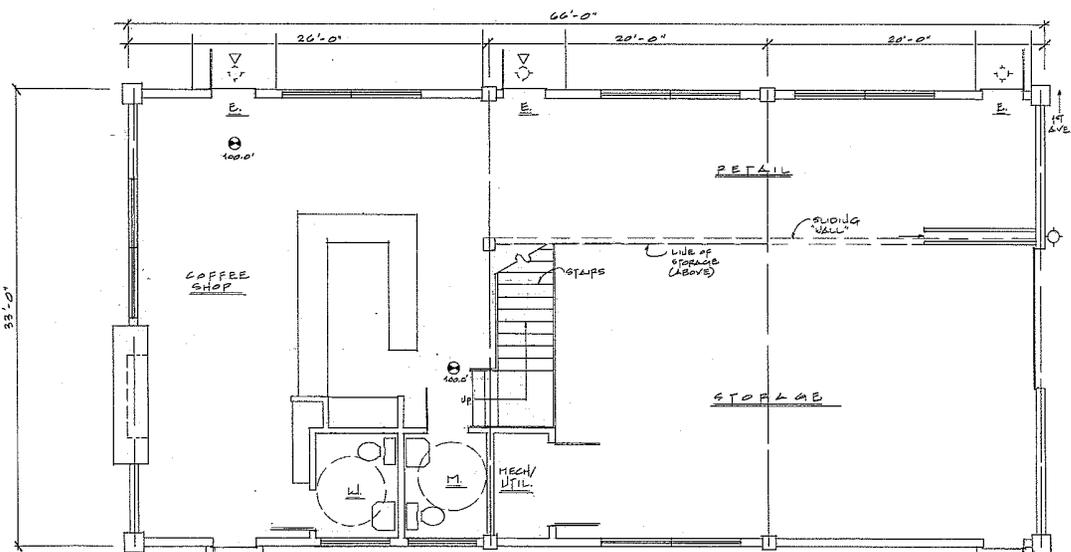
MARK A. GASENICA ARCHITECT
ARCHITECTS
PO BOX 4573 - RECLUTCH, IDAHO 83401 - 206.741.6500

HAILEY, IDAHO

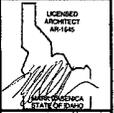
SCALE 1/8" = 1'-0"



U.P.P.E.R F.L.O.O.R
876 sq. ft.



M.A.I.N F.L.O.O.R
2188 sq. ft.

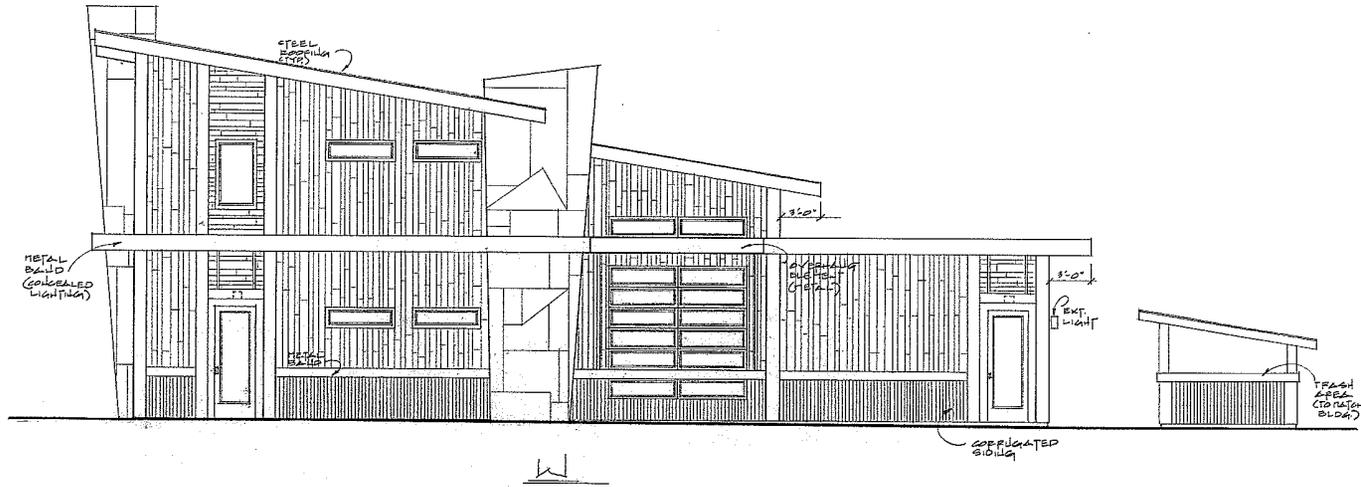


MARK A. GASENICA ARCHITECT
ARCHITECTURE, PLANNING, PROJECT MANAGEMENT
PO BOX 4573 KETCHUM, IDAHO 83340 208.720.1569

HAILEY, IDAHO

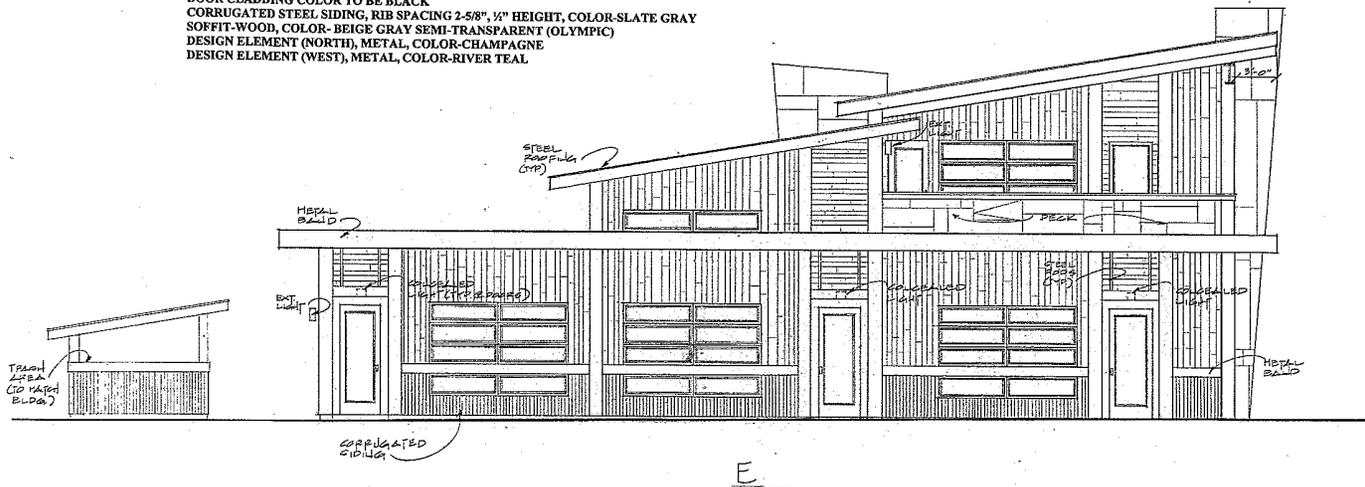
SCALE: 1/4" = 1'-0"

the counterbalance
FLOOR PLANS



MATERIALS AND COLORS

STEEL ROOFING TO BE 1.5" MECHANICAL LOCK, COLOR-SLATE GRAY
 SIDING TO BE 4"-8" WOOD, HORIZONTAL/VERTICAL, COLOR-BEIGE GRAY SEMI-TRANSPARENT (OLYMPIC)
 METAL BANDS AND VERTICAL TO BE ALUMINUM, COLOR-BLACK
 WINDOW CLADDING COLOR TO BE BLACK
 DOOR CLADDING COLOR TO BE BLACK
 CORRUGATED STEEL SIDING, RIB SPACING 2-5/8", 1/2" HEIGHT, COLOR-SLATE GRAY
 SOFFIT-WOOD, COLOR-BEIGE GRAY SEMI-TRANSPARENT (OLYMPIC)
 DESIGN ELEMENT (NORTH), METAL, COLOR-CHAMPAGNE
 DESIGN ELEMENT (WEST), METAL, COLOR-RIVER TEAL

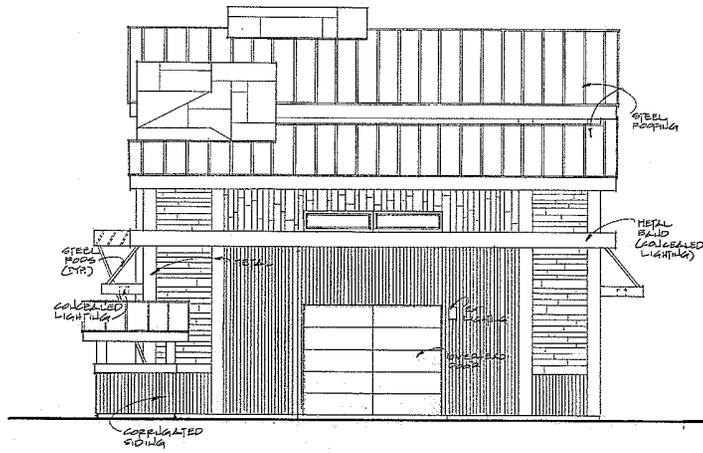


MARK A. GASENICA ARCHITECT
 INC. ARCHITECTS
 1000 W. MAIN ST. SUITE 200
 PO BOX 457 KETCHUM, IDAHO 83340 208.728.1500

HAILEY, IDAHO

SCALE: 1/4" = 1'-0"

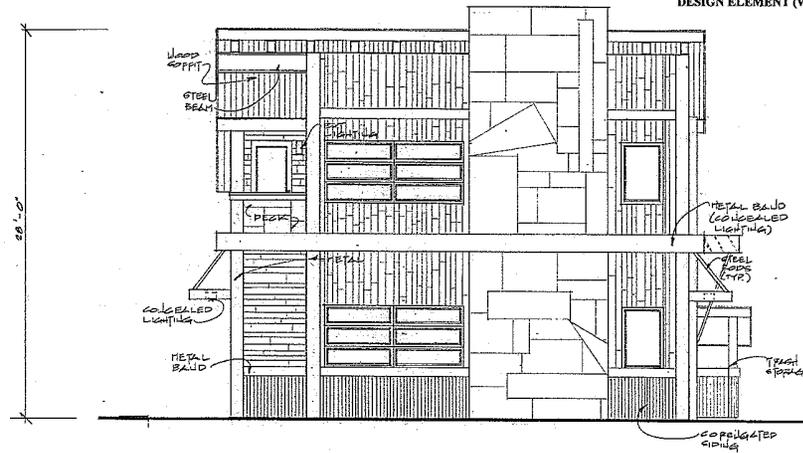
the counterbalance
ELEVATIONS



S

MATERIALS AND COLORS

STEEL ROOFING TO BE 1.5" MECHANICAL LOCK, COLOR-SLATE GRAY
 SIDING TO BE 4"-8" WOOD, HORIZONTAL/VERTICAL, COLOR-BEIGE GRAY SEMI-TRANSPARENT (OLYMPIC)
 METAL BANDS AND VERTICAL TO BE ALUMINUM, COLOR-BLACK
 WINDOW CLADDING COLOR TO BE BLACK
 DOOR CLADDING COLOR TO BE BLACK
 CORRUGATED STEEL SIDING, RIB SPACING 2-5/8", 1/2" HEIGHT, COLOR-SLATE GRAY
 SOFFIT-WOOD, COLOR-BEIGE GRAY SEMI-TRANSPARENT (OLYMPIC)
 DESIGN ELEMENT (NORTH), METAL, COLOR-CHAMPAGNE
 DESIGN ELEMENT (WEST), METAL, COLOR-RIVER TEAL



N



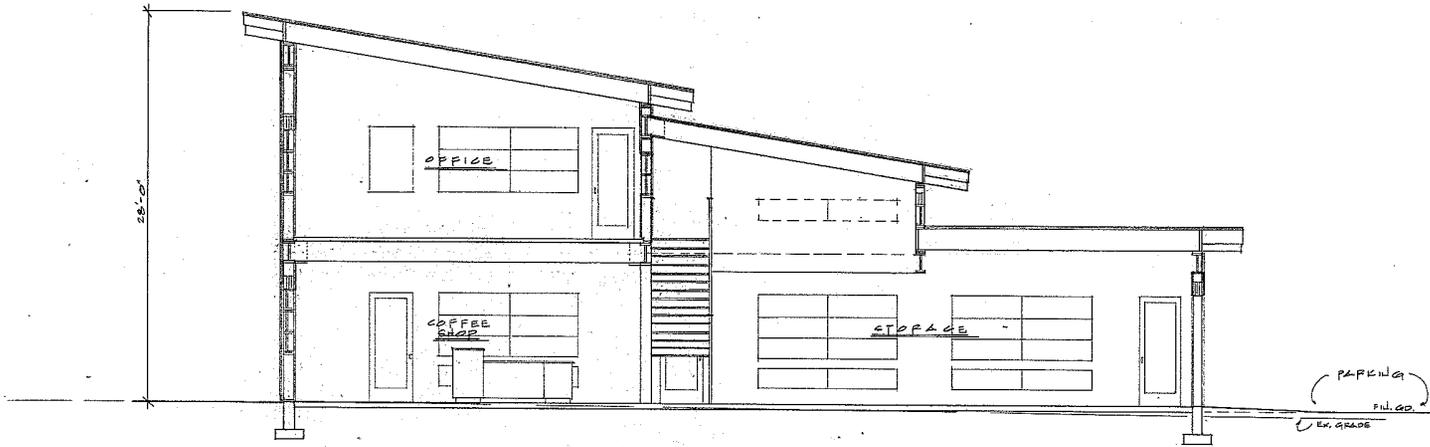
MARK A. GASENICA ARCHITECT
 1000 W. 30th ST. #100
 PO BOX 457 REYNOLDS, IDAHO 83340 208.728.1540

HAILEY, IDAHO

SCALE 1/4" = 1'-0"

the counterbalance
ELEVATIONS

4



S . E . C . T . I . O . N A

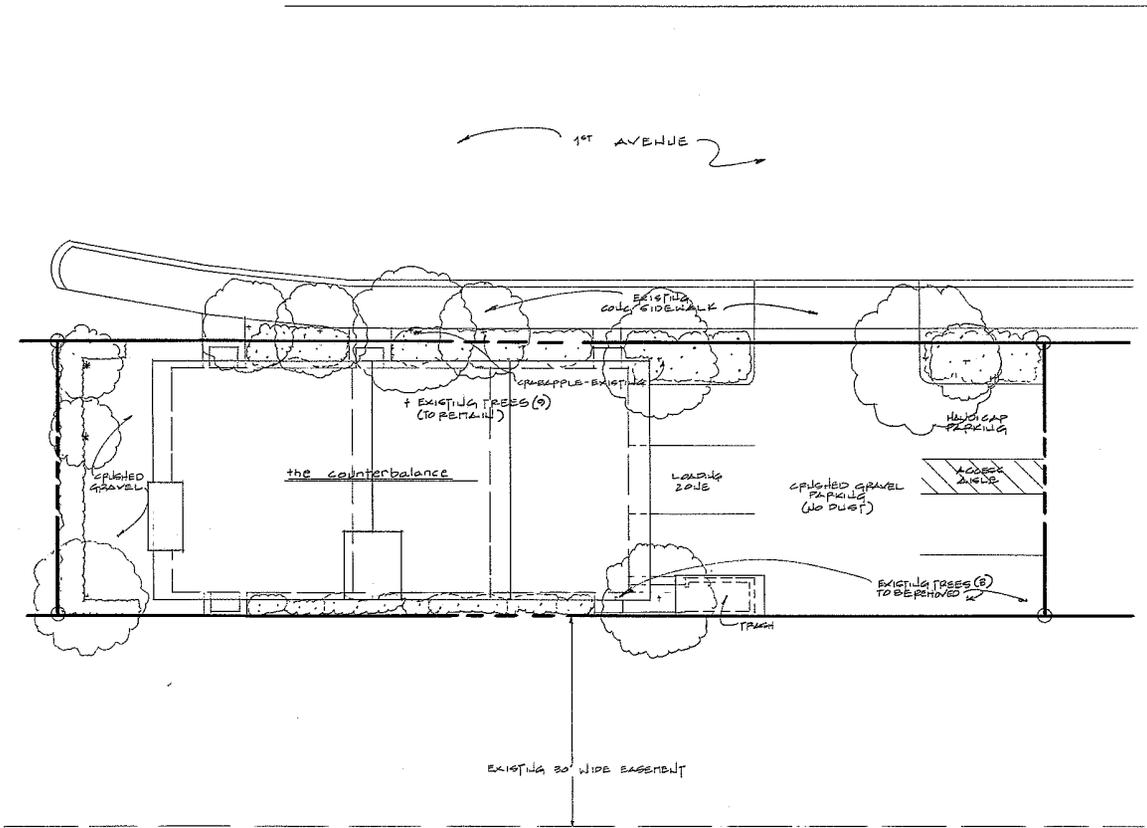


MARK A. GASENICA ARCHITECT
 ARCHITECTURE PLANNING PROJECT MANAGEMENT
 PO BOX 4573 KETCHUM, IDAHO 83340 208.720.1569

HAILEY, IDAHO

SCALE: 1/8" = 1'-0"

the counterbalance
BUILDING SECTIONS



P.L.A.N.T.I.N.G. L.E.G.E.N.D.

-  CRABAPPLE TREE (HUGE EXIST) 8" CAL. (1/4 H) (CALLS SHADOWCAST OF 80')
-  CATOUI ASYOP HEDGE - 3' TALL (COTONEASTER FRIGIDUS)
-  MIXTURE:
 CORNUS LILAC (SPYRAL VILGARIA) - 5 GAL.
 CATOUI ASYOP (COTONEASTER FRIGIDUS) - 5 GAL.
 VIBURNUM (VIBURNUM) - 5 GAL.
 KETELEBER (POLYGAUMM ANICULARE) - 5 GAL.
 HIBISCUS (HYDRANGEA) - 5 GAL.

LICENSED ARCHITECT
 18-146



MARK A. CASENICA ARCHITECT
 ARCHITECTURE PLANNING PROJECT MANAGEMENT
 KETCHUM, IDAHO 83340 208.730.1569
 PO BOX 5573

HAILEY, IDAHO

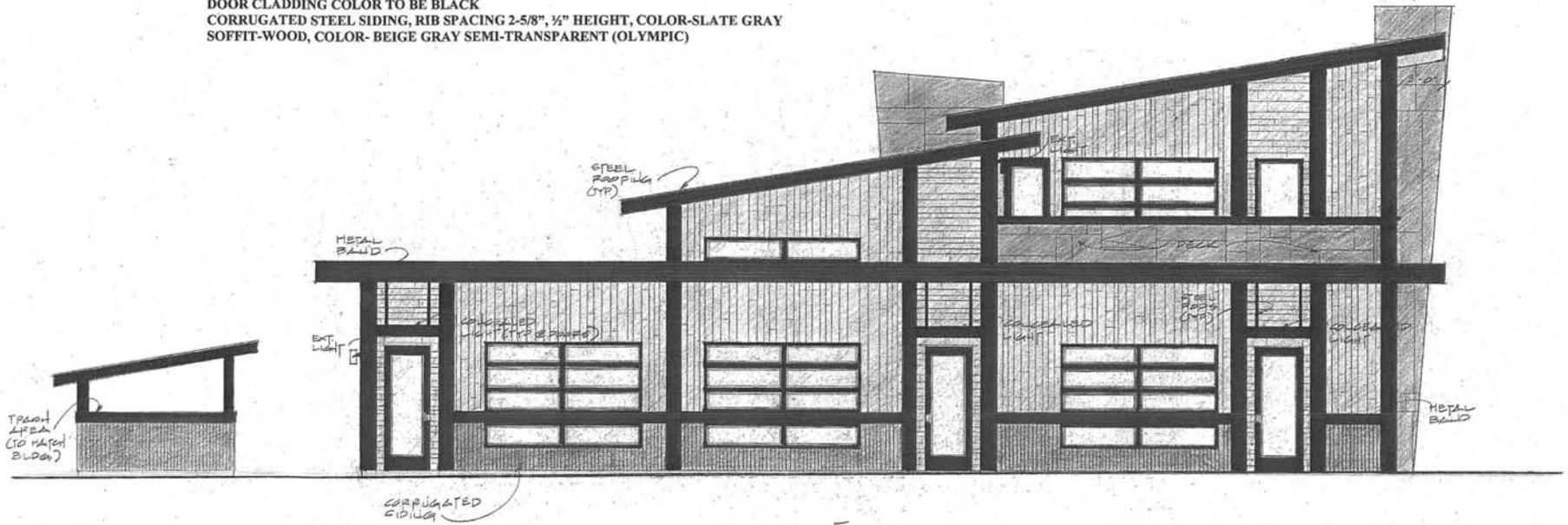
SCALE 1/8" = 1'-0"

the counterbalance
 LANDSCAPE PLAN

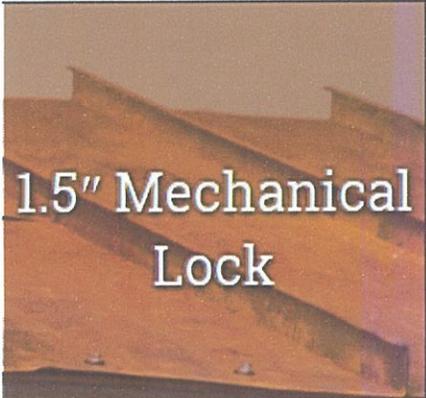
L

MATERIALS AND COLORS

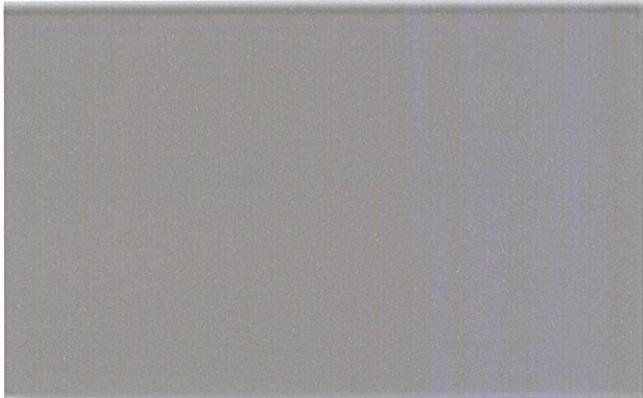
STEEL ROOFING TO BE 1.5" MECHANICAL LOCK, COLOR-SLATE GRAY
SIDING TO BE 4"-8" WOOD, HORIZONTAL/VERTICAL, COLOR-BEIGE GRAY SEMI-TRANSPARENT (OLYMPIC)
METAL BANDS AND VERTICAL TO BE ALUMINUM, COLOR-BLACK
WINDOW CLADDING COLOR TO BE BLACK
DOOR CLADDING COLOR TO BE BLACK
CORRUGATED STEEL SIDING, RIB SPACING 2-5/8", 1/2" HEIGHT, COLOR-SLATE GRAY
SOFFIT-WOOD, COLOR-BEIGE GRAY SEMI-TRANSPARENT (OLYMPIC)



ROOFING



COLOR

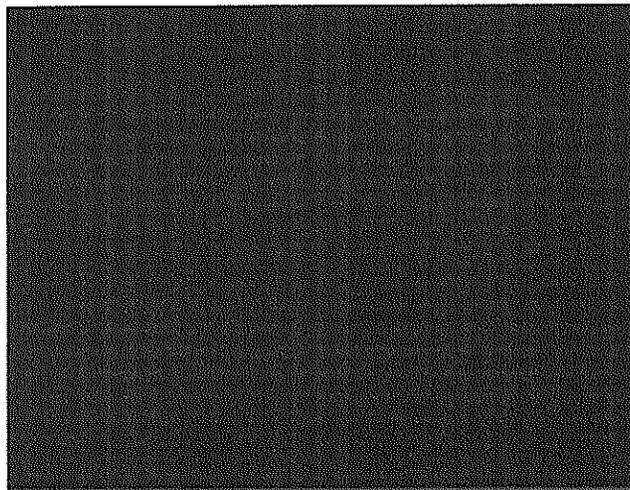


SIDING

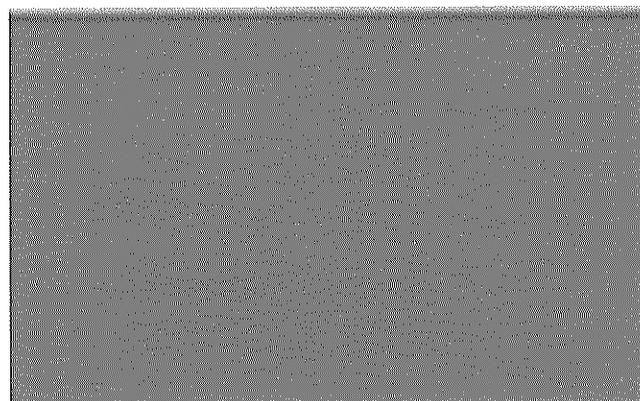
4" -8" WOOD SIDING



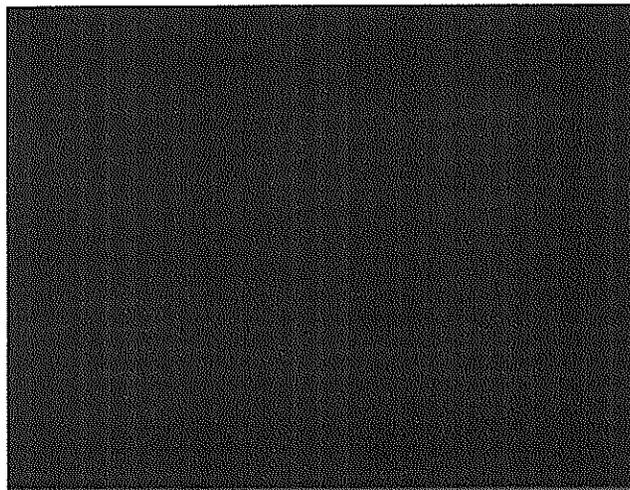
METAL BANDS AND VERTICALS AND DOOR/WINDOW CLADDING



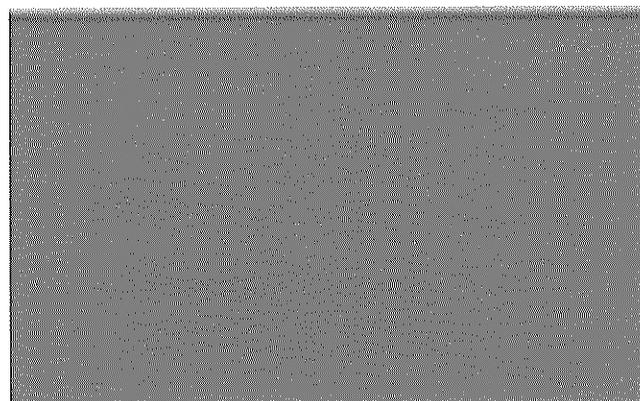
CORRUGATED STEEL SIDING



METAL BANDS AND VERTICALS AND DOOR/WINDOW CLADDING



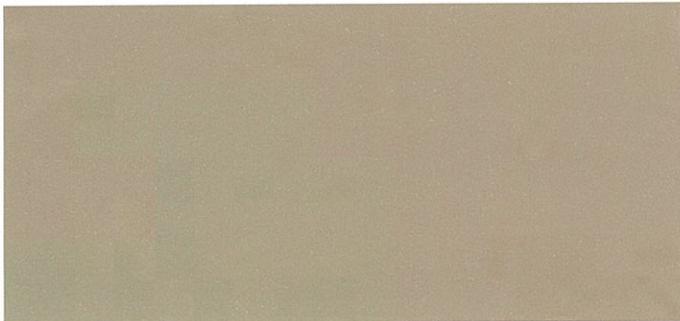
CORRUGATED STEEL SIDING



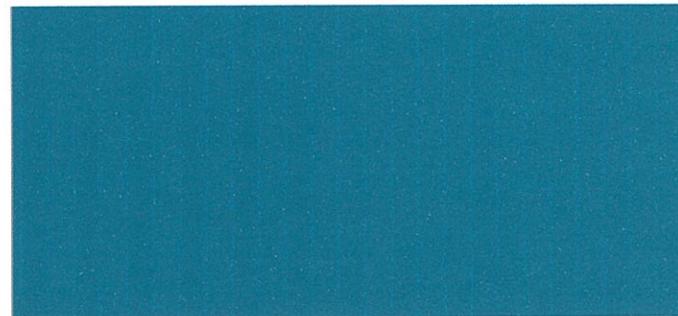
SOFFIT



DESIGN ELEMENT (NORTH)



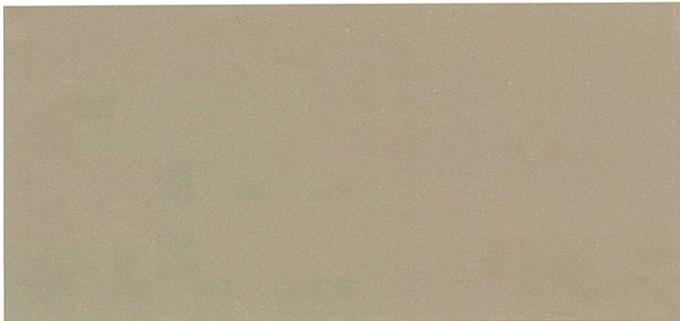
DESIGN ELEMENT (WEST)



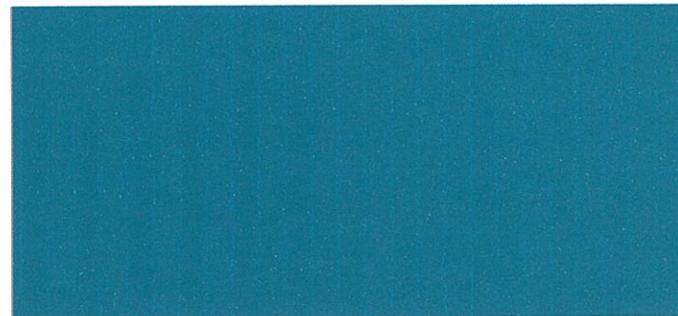
SOFFIT



DESIGN ELEMENT (NORTH)



DESIGN ELEMENT (WEST)



EXISTING BUILDING TO BE REMOVED-REFERENCE ONLY



LOOKING NORTHWEST ON 1ST AVE. NORTH



LOOKING SOUTHWEST ON 1ST AVE. NORTH



LOOKING SOUTH ALONG ACCESS/UTILITY
EASEMENT



LOOKING SOUTH ALONG 1ST AVENUE NORTH

Return to Agenda

STAFF REPORT

TO: Planning and Zoning Commission

FM: Robyn Davis, Community Development City Planner

RE: Consideration of Amendments to Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04N.060: Public Hearing

HEARING: September 4, 2018

Background

Consideration of a Text Amendment to Title 17, Zoning Regulations.

Planning Staff found that Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04N.060: Public Hearing, does not specify requirements for posting notices on the premises, which makes onsite noticing difficult to administer. Additionally, Staff believes that the current requirements fail to ascertain the person responsible for posting on the premises, the visibility and location of the notice, and size of the notice. Staff believes specifying these requirements would benefit the community at large.

Staff suggests the Commission discuss the pros and cons of editing Section 17.04N.060(A) and adding a subcategory (1.) Posting on Premises, which outline the requirements for Posting on Premises in underlined text below:

17.04N.060: Public Hearing:

- A. Notice: The administrator shall mail to each addressee on the list furnished by the applicant pursuant to subsection 17.04N.050.01H of this article, a copy of the notice of the time and place of the hearing at least fifteen (15) days before the date set for the hearing. Failure to mail such notice to every property owner due to clerical omissions shall not affect the validity of any hearing or decision. When notice is required to two hundred (200) or more property owners of purchasers of record, alternate forms of notice may be provided in lieu of mailed notice. Sufficient notice shall be deemed to have been provided if the city provides notice through a display advertisement at least four inches (4") by two-inch (2") columns in size in the official newspaper of the city at least fifteen (15) days prior to the hearing date, in addition to site posting on all external boundaries of the site.
 1. Posting on Premises: A notice sign, as provided by the Community Department, shall be posted by the applicant on the premises not less than one week prior to the hearing. The visibility of the on-site posting shall be as follows:
 - a. Location of Posting: Posting location shall be on the property line closest to a public thoroughfare, or if no such thoroughfare exists, on the property line of the nearest adjoining property not owned by the applicant, a property of which the applicant has a proprietary interest, or the government.
 - b. Size of Notice Sign: Approximately four (4) square feet.

Criteria for Review

Section 17.14.060(A) of the Hailey Municipal Code provides “[w]hen evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

1. The proposed amendment is in accordance with the comprehensive plan;
2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;
3. The proposed uses are compatible with the surrounding area; and
4. The proposed amendment will promote the public health, safety and general welfare.

1. The proposed amendment is in accordance with the comprehensive plan.

The Comprehensive Plan does not go in to the specificity that this code section contemplates. The proposed amendment is in accordance with the Comprehensive Plan.

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.

The proposed code revision will not result in a change in allowed uses, nor will it create excessive additional requirements at public cost for services. This amendment is intended to clarify regulations and to simplify administration of the requirements, and to implement best practices.

3. The proposed uses are compatible with the surrounding area.

The proposed code revision option will not result in a change in allowed uses.

4. The proposed amendment will promote the public health, safety and general welfare.

The amendment option recommended is consistent with the Hailey Comprehensive Plan. The proposed code revision will not result in a change in allowed uses. Staff recommends that the addition of subcategory (1.) Posting on Premises, and other suggested amendments, will promote the public health, safety and general welfare.

MOTION LANGUAGE

Approval:

I move to recommend approval to the City Council an ordinance amending Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04N.060: Public Hearing, by editing item (A), and adding a subcategory (1.) Posting on Premises, and amendments herein, that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Denial:

Motion to recommend denial of the attached revisions to Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04N.060: Public Hearing, finding that _____ [the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing to _____ [the Commission should specify a date].

HAILEY ORDINANCE NO. __

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING TITLE 17: ZONING REGULATIONS, CHAPTER 17.04: ESTABLISHMENT, PURPOSES AND USES WITHIN ZONING DISTRICTS, SECTION 17.04N.060: PUBLIC HEARING, OF THE HAILEY MUNICIPAL CODE, BY EDITING ITEM (A), AND ADDING A SUBCATEGORY (1.) POSTING ON PREMISES; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Hailey City Council has found that the following amendment to the Hailey Zoning Ordinance, Title 17, conforms to the Hailey Comprehensive Plan; and

WHEREAS, Title 17, Chapter 17.04, Section 17.04N.060, does not specify requirements for “Posting on Premises”, and such reference would clarify these requirements; and

WHEREAS, Title 17, Chapter 17.04, Section 17.04N.060, does not provide clear guidance regarding the above requirements in the Hailey Zoning Districts; and

WHEREAS, the Hailey City Council has determined that the above-mentioned requirements are appropriate requirements, and should be referenced; and

WHEREAS, the Zoning text set forth in this ordinance will promote the public health, safety and general welfare;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. Title 17, Chapter 17.04, Section 17.04N.060 of the Hailey Municipal Code, is hereby amended by the addition of the underlined language, as follows:

17.04N.060: Public Hearing:

- A. Notice: The administrator shall mail to each addressee on the list furnished by the applicant pursuant to subsection 17.04N.050.01H of this article, a copy of the notice of the time and place of the hearing at least fifteen (15) days before the date set for the hearing. Failure to mail such notice to every property owner due to clerical omissions shall not affect the validity of any hearing or decision. When notice is required to two hundred (200) or more property owners of purchasers of record, alternate forms of notice may be provided in lieu of mailed notice. Sufficient notice shall be deemed to have been provided if the city provides notice through a display advertisement at least four inches (4”) by two (2) columns in size in the official newspaper of the city at least fifteen (15) days prior to the hearing date, in addition to site posting on all external boundaries of the site.

1. Posting on Premises: A notice sign, as provided by the Community Department, shall be posted by the applicant on the premises not less

than one week prior to the hearing. The visibility of the on-site posting shall be as follows:

- a. Location of Posting: Posting location shall be on the property line closest to a public thoroughfare, or if no such thoroughfare exists, on the property line of the nearest adjoining property not owned by the applicant, a property of which the applicant has a proprietary interest, or the government.
- b. Size of Notice Sign: Approximately four (4) square feet.

Section 3. Severability Clause. Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

Section 4. Repealer Clause. All City of Hailey ordinances or parts thereof, which are in conflict herewith, are hereby repealed.

Section 5. Effective Date. This ordinance shall be in full force and effect from and after the required three (3) readings, approval, and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE MAYOR THIS __ DAY OF _____, 2018.

Fritz X. Haemmerle, Mayor, City of Hailey

Attest:

Mary Cone, City Clerk

Return to Agenda