

Topographic Survey for St. Charles Borromeo

Being Lots 3-10, Block 21 of Hailey Townsite,
Situate in the NW 1/4 of the SE 1/4 of Section 9,
Township 2 North, Range 18 East, Boise Meridian
City of Hailey, Blaine County, Idaho
2024

Vicinity Map:



Referenced Survey Table:

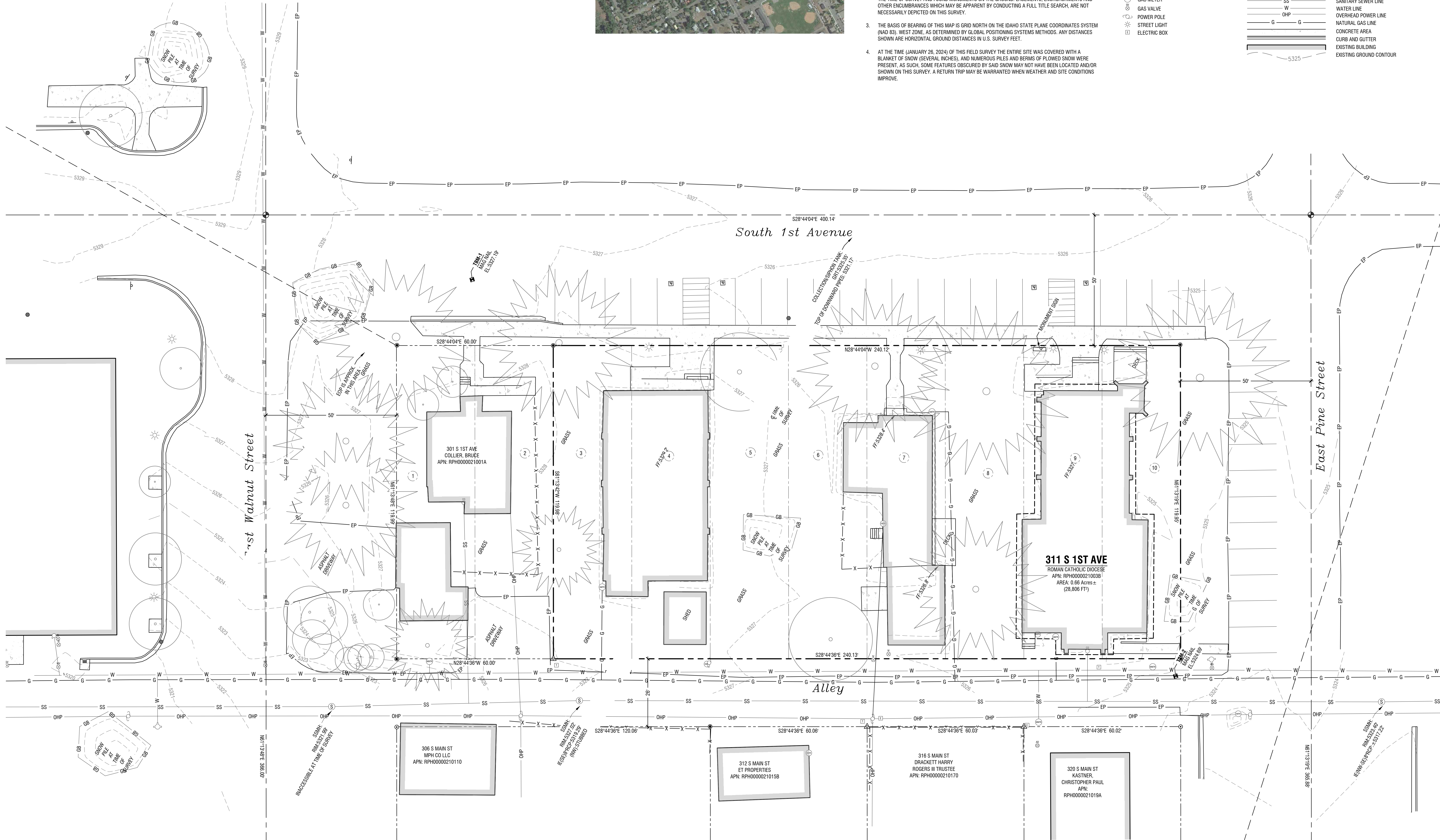
- R1. RECORD OF SURVEY INSTRUMENT #703181, RECORDS OF BLAINE COUNTY.
- R2. RECORD OF SURVEY INSTRUMENT #690043, RECORDS OF BLAINE COUNTY.
- R3. RECORD OF SURVEY INSTRUMENT #698696, RECORDS OF BLAINE COUNTY.

Keynotes:

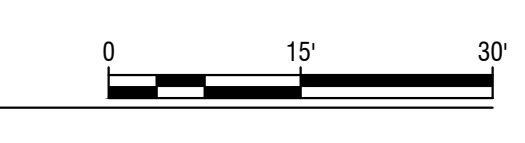
1. UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND EVIDENCE AND UTILITY COMPANY FACILITY MAPS. THE SURVEYOR MAKES NO GUARANTEE OF THE ACCURACY OF LOCATION OF UNDERGROUND UTILITIES. IT APPEARS AS ALL UNDER GROUND UTILITIES ARE LOCATED WITHIN THE RIGHT OF WAY OF THE 26-FOOT ALLEY.
2. BOUNDARY INFORMATION SHOWN HEREON IS BASED ON RECORDS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY AND FOUND MONUMENTS ON THE GROUND. EASEMENTS, ENCROACHMENTS AND OTHER ENCUMBRANCES WHICH MAY BE APPARENT BY CONDUCTING A FULL TITLE SEARCH, ARE NOT NECESSARILY DEPICTED ON THIS SURVEY.
3. THE BASIS OF BEARING OF THIS MAP IS GRID NORTH ON THE IDAHO STATE PLANE COORDINATES SYSTEM (NAD 83), WEST ZONE, AS DETERMINED BY GLOBAL POSITIONING SYSTEMS METHODS. ANY DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.
4. AT THE TIME (JANUARY 26, 2024) OF THIS FIELD SURVEY THE ENTIRE SITE WAS COVERED WITH A BLANKET OF SNOW (SEVERAL INCHES), AND NUMEROUS PILES AND BERMS OF PLOWED SNOW WERE PRESENT, AS SUCH, SOME FEATURES OBSCURED BY SAID SNOW MAY NOT HAVE BEEN LOCATED AND/OR SHOWN ON THIS SURVEY. A RETURN TRIP MAY BE WARRANTED WHEN WEATHER AND SITE CONDITIONS IMPROVE.

Legend:

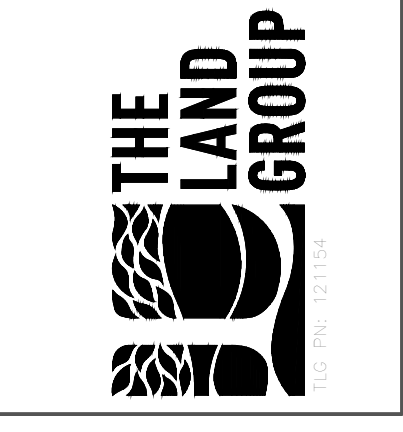
- FOUND ALUMINUM CAP MONUMENT
- FOUND 1/2" REBAR, AS SHOWN
- FOUND MAG NAIL
- TEMPORARY BENCHMARK
- CALCULATED POINT, NOTHING FOUND OR SET
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- RECTANGULAR INLET
- ROUND INLET
- AREA DRAIN
- SANITARY SEWER MANHOLE
- CLEAN OUT
- PRESSURE IRRIGATION VALVE
- GAS METER
- GAS VALVE
- POWER POLE
- STREET LIGHT
- ELECTRIC BOX
- ELECTRIC METER
- TELEPHONE RISER
- ADA SYMBOL
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- OVERALL PARCEL BOUNDARY LINE
- ADJACENT PROPERTY LINE
- ORIGINAL HAILEY TOWNSITE LOT LINE
- ROADWAY CENTERLINE
- EDGE OF PAVEMENT
- FENCE LINE
- SANITARY SEWER LINE
- WATER LINE
- OVERHEAD POWER LINE
- NATURAL GAS LINE
- CONCRETE AREA
- CURB AND GUTTER
- EXISTING BUILDING
- EXISTING GROUND CONTOUR



Existing Conditions
Horizontal Scale: 1" = 15'



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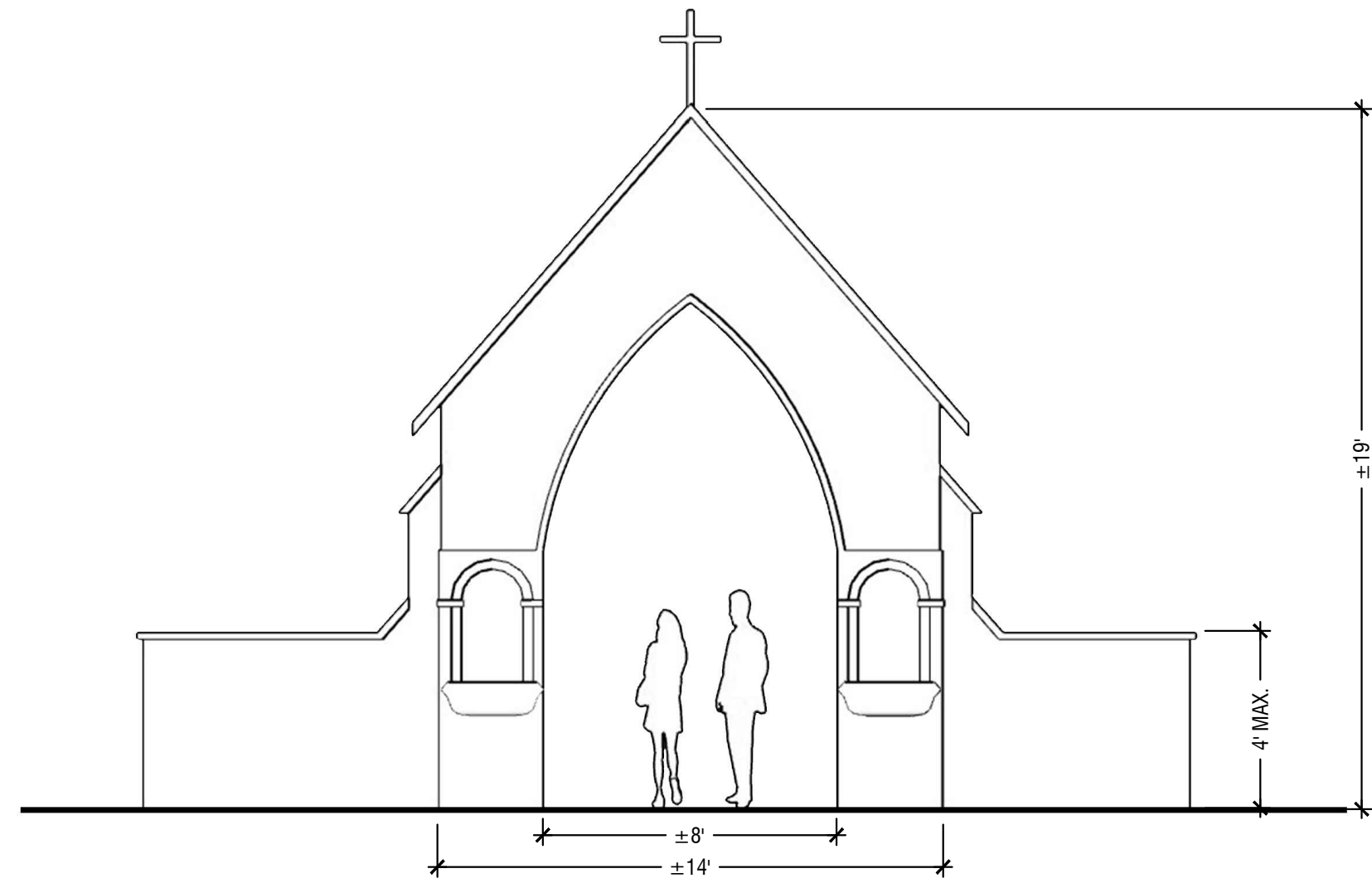
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project: 230706
date: 12.19.24
drawn: KW/CL/TC
checked: MTA

pud application

Existing Conditions

PUD 1

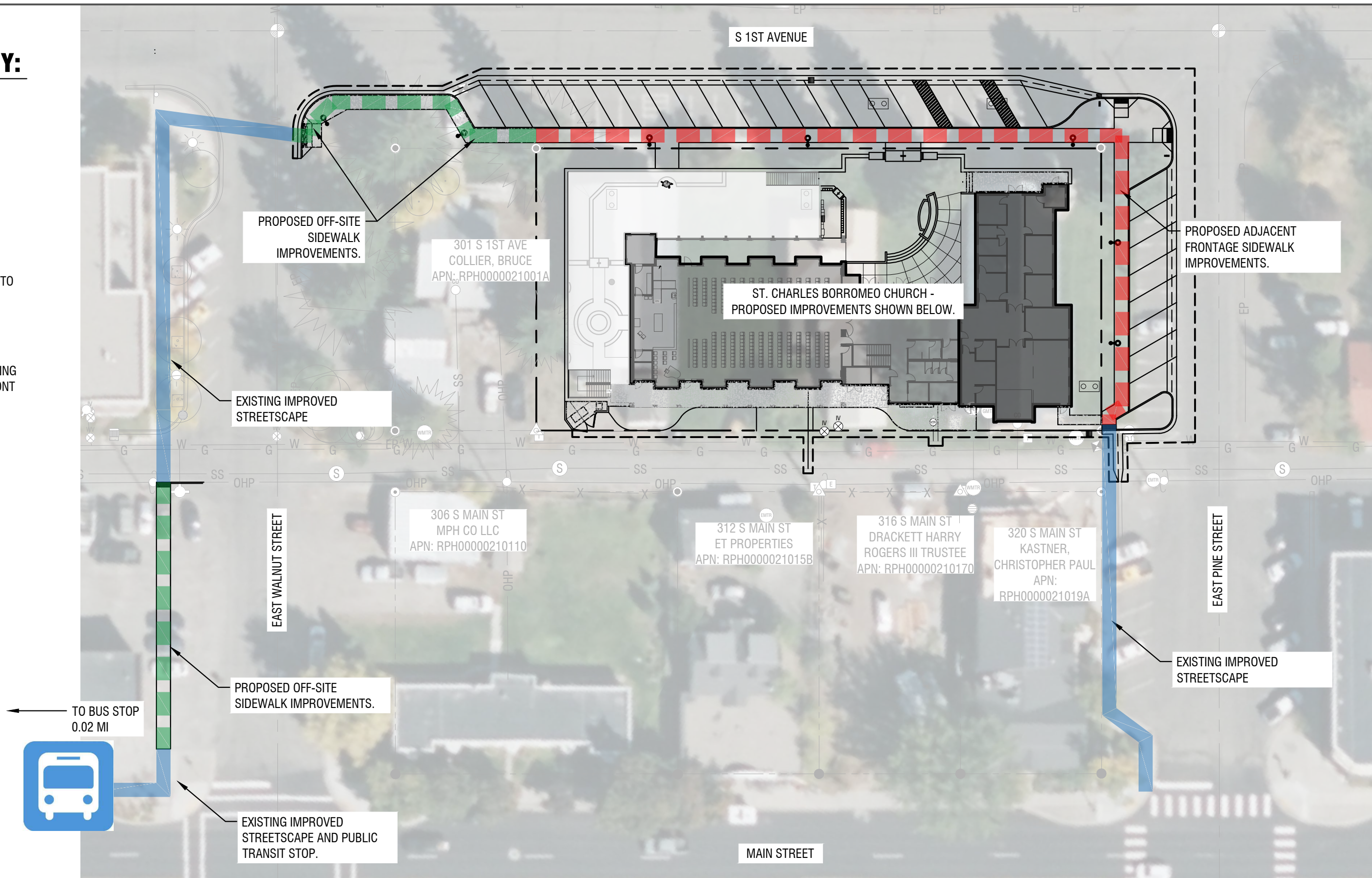


1 Entry Gate Elevation
Scale: NTS

COMMUNITY AMENITY EXHIBIT KEY:

- PROPOSED ADJACENT FRONTAGE IMPROVEMENTS INCLUDING PEDESTRIAN INFRASTRUCTURE.
- PROPOSED OFF-SITE PEDESTRIAN INFRASTRUCTURE.
- EXISTING PEDESTRIAN INFRASTRUCTURE TO REMAIN.

TOTAL WALKABLE DISTANCE FROM EXISTING PUBLIC TRANSIT STOP TO PROPOSED FRONT DOOR: 0.15 MILES



PUD Community Amenity - Offsite Pedestrian Infrastructure
Horizontal Scale: 1" = 40'

Sheet Notes:

1. FOR LOWER COURTYARD SITE PLAN, SEE SHEET PUD 3.
2. FOR GRADING, DRAINAGE AND UTILITIES, SEE SHEET PUD 5 & 6.
3. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, EDGE OF FOUNDATION, EDGE OF WALLS, CENTER OF WHEEL STOP OR CENTER OF POST.
4. SIDEWALK CROSS SLOPE CANNOT EXCEED 2%. NO TOLERANCES ALLOWED.

Material Legend:

- ASPHALT PAVING IN CITY OF HAILEY R/W. MATCH EXISTING FRONTAGE PAVEMENT SECTION.
- LANDSCAPE AREAS. REFER TO LANDSCAPE SHEETS PUD 6 & 7 FOR MORE INFORMATION.
- STANDARD CONCRETE FLATWORK.
- REINFORCED CONCRETE FLATWORK.

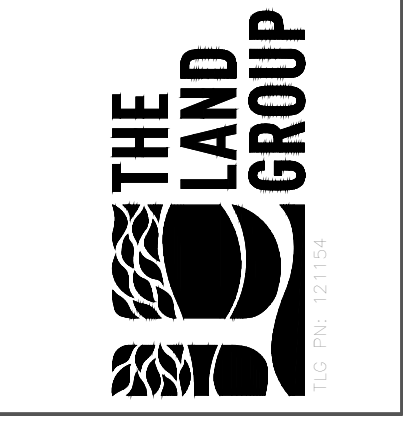
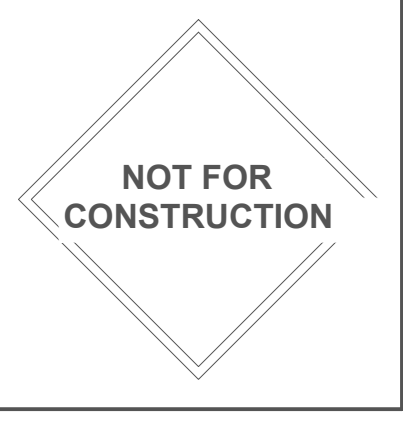
Keynotes:

1. TRASH ENCLOSURE
2. MAIN ENTRY ARCH TO COURTYARD; SEE DETAIL 1/PUD 2
3. DROP-OFF AREA
4. PUBLIC SEATING AREA
5. DECORATIVE RETAINING WALL AND FENCE; HEIGHT SHALL BE NO GREATER THAN 4-FT ABOVE STREET LEVEL'S FINISHED GRADE.
6. BUILDING ENTRY
7. SHIELDED/DARK-SKY COMPLIANT STREET LIGHT
8. ADA RAMP WITH DETECTABLE WARNING STRIP
9. STREET SIGNAGE
10. STAIRS
11. OUTDOOR GATHERING SPACE

Code Compliance Data:

| PARKING: RELIGIOUS INSTITUTION AS PRINCIPAL USE, 1 SPACE PER 5 SEATS. | | |
|---|--|----|
| EXISTING ON-SITE | | 0 |
| EXISTING IN RIGHT-OF-WAY | | 33 |
| REQUIRED (BASED ON 300 SEAT OCCUPANCY) | | 60 |
| PROPOSED ON-SITE | | 3 |
| PROPOSED IN RIGHT-OF-WAY | | 28 |

| BULK/DIMENSIONAL REQUIREMENTS: TN ZONE WITH TOWNSITE OVERLAY | | |
|--|--|--|
| FRONT YARD BUILDING SETBACK | | 12-FT OCCUPIED STRUCTURE; 5-FT UNOCCUPIED STRUCTURE (PER TOWNSITE OVERLAY) |
| SIDE YARD BUILDING SETBACK | | 10-FT (NORTH P/L PER TN ZONE); 12-FT (PINE PER TOWNSITE OVERLAY) |
| REAR YARD SETBACK (ALLEY ROW) | | 6-FT (PER TOWNSITE OVERLAY) |
| BUILDING HEIGHT | | 30-FT (PER TOWNSITE OVERLAY) |
| LOT COVERAGE | | 30% (PER TOWNSITE OVERLAY) |



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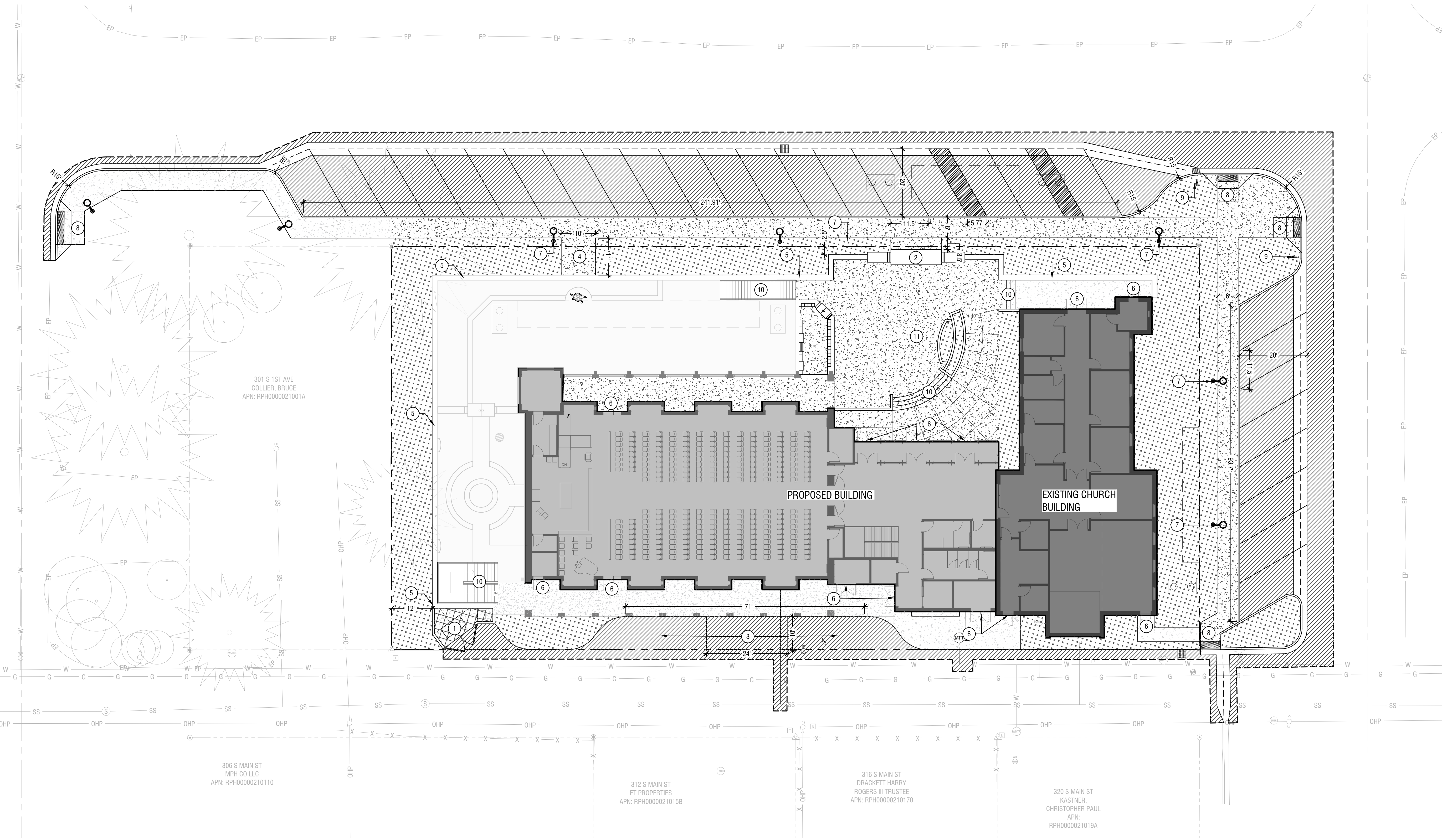
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checked: MTA

pud application

Site Plan- Main Level

PUD 2



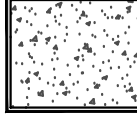

Site Plan- Main Level
Horizontal Scale: 1" = 15'



Sheet Notes:

1. FOR UPPER COURTYARD SITE PLAN, SEE SHEET PUD 2.
2. FOR GRADING, DRAINAGE AND UTILITIES, SEE SHEET PUD 5 & 6.
3. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF WALK, EDGE OF PAVEMENT, EDGE OF FOUNDATION, EDGE OF WALLS, CENTER OF WHEEL STOP OR CENTER OF POST.
4. SIDEWALK CROSS SLOPE CANNOT EXCEED 2%. NO TOLERANCES ALLOWED.

Material Legend:

| | | | |
|---|-----------------------------|---|--|
|  | STANDARD CONCRETE FLATWORK. |  | LANDSCAPE AREAS. REFER TO LANDSCAPE SHEETS PUD 6 & 7 FOR MORE INFORMATION. |
|---|-----------------------------|---|--|

Keynotes:

1. TRASH ENCLOSURE
2. MAIN ENTRY ARCH TO COURTYARD, SEE DETAIL 1/PUD 2
3. DROP-OFF AREA
4. PUBLIC SEATING AREA
5. DECORATIVE RETAINING WALL AND FENCE; HEIGHT SHALL BE NO GREATER THAN 4-FT ABOVE STREET LEVEL'S FINISHED GRADE.
6. BUILDING ENTRY
7. SHIELDED DARK-SKY COMPLIANT STREET LIGHT
8. ADA RAMP WITH DETECTABLE WARNING STRIP
9. STREET SIGNAGE
10. STAIRS
11. OUTDOOR GATHERING SPACE

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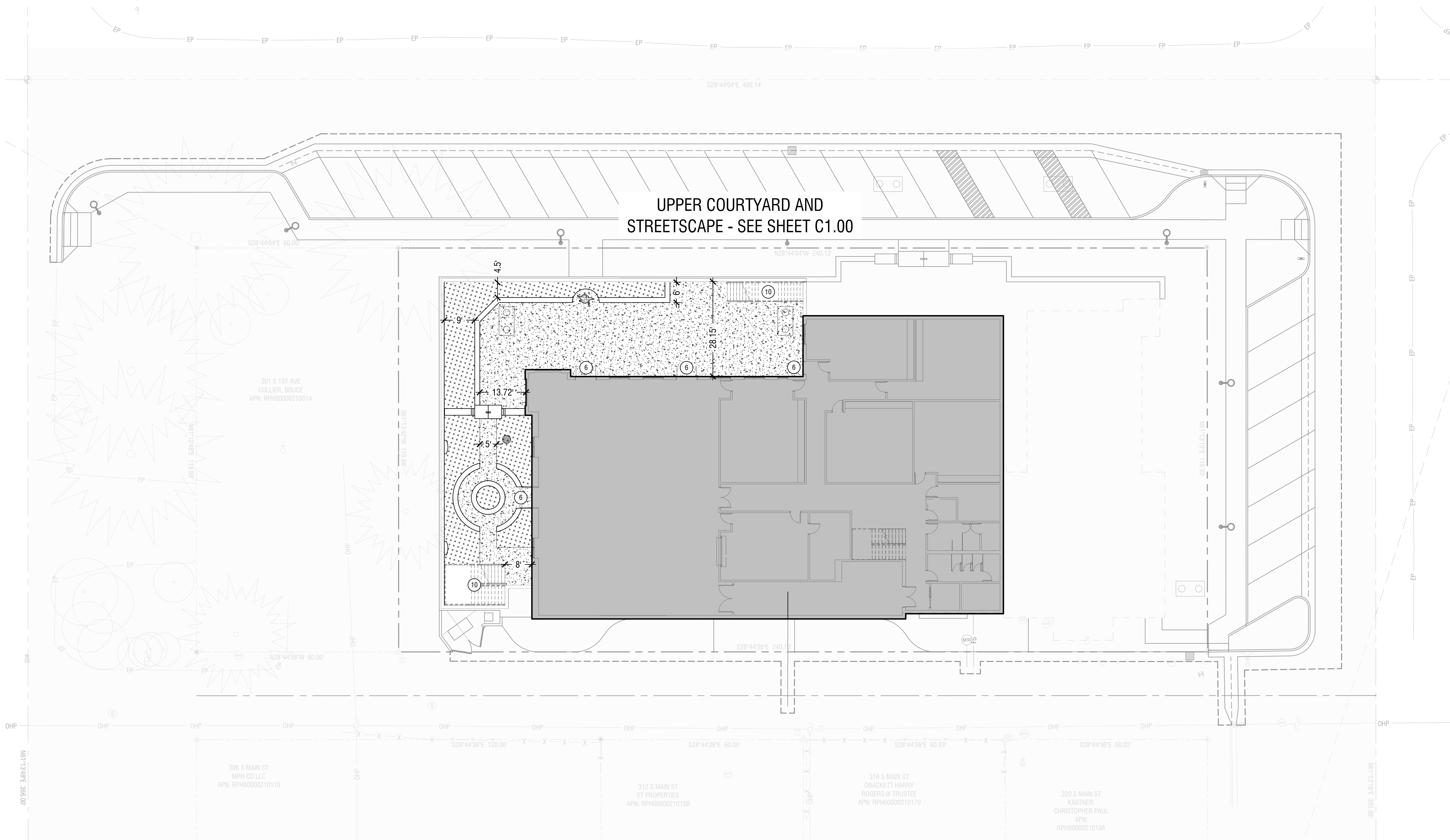
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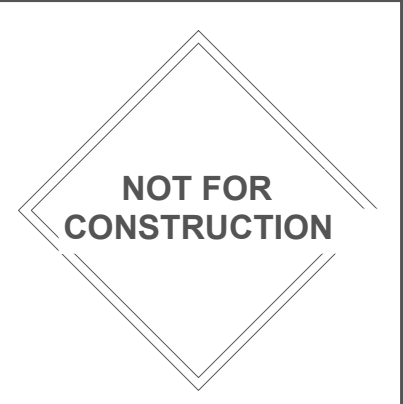
Site Plan- Lower Level

PUD 3



Site Plan- Lower Level
Horizontal Scale: 1" = 15'





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puđ application

Grading and Drainage Plan- Main Level

Sheet Notes:

- LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO BUILDING SHALL NOT EXCEED 2% CROSS SLOPE OR HAVE CROSS SLOPE LESS THAN 1%.
- SPOT ELEVATIONS INDICATE TOP OF FINISH GRADE SURFACE AS NOTED BY THE FOLLOWING:
FF = FINISHED FLOOR
- ALL PIPE INSTALLATION AND TRENCHING SHALL COORDINATE WITH ISPWC DIVISION 300 AND SD-301. BEDDING AND BACKFILL SHALL BE CONSTRUCTED PER SECTIONS 305 AND 306 OF THE ISPWC.

Grading Keynotes:

- SAWCUT PER ISPWC SD-303. PROVIDE A NEAT AND SMOOTH SAWCUT LINE.

Storm Keynotes:

- INSTALL CATCH BASIN TYPE 1 PER ISPWC SD-601.
- INSTALL 30-INCH ROUND CATCH BASIN WITH A SQUARE GRATED LID.
- INSTALL STORM WATER SEEPAGE BED.
- INSTALL SAND AND GREASE TRAP.

Water Keynotes:

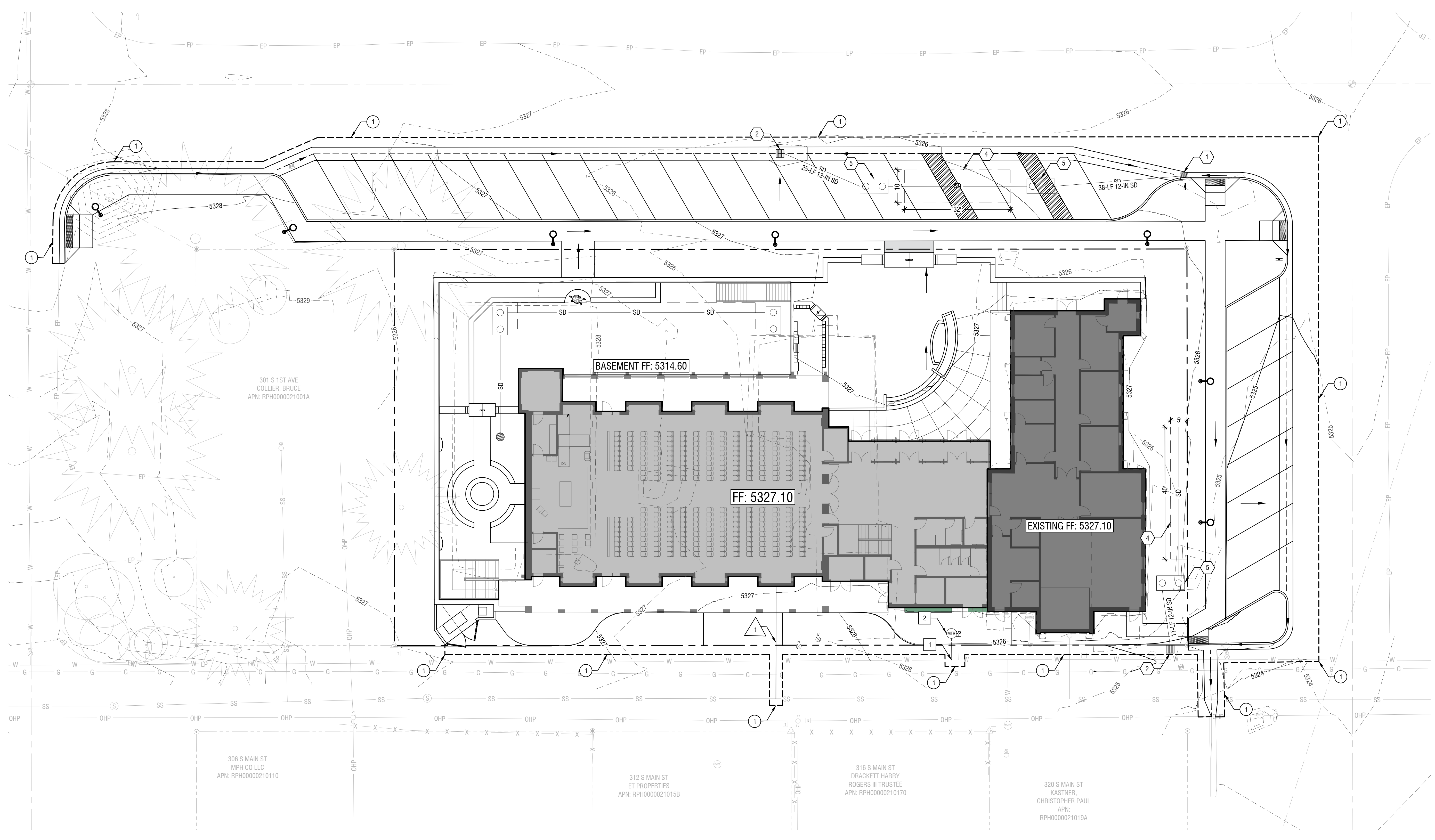
- TAP WATER SERVICE FROM EXISTING WATER MAIN. COORDINATE WITH CITY OF HAILEY WATER DEPARTMENT.
- INSTALL WATER METER PER ISPWC AND CITY OF HAILEY REQUIREMENTS.

Sewer Keynotes:

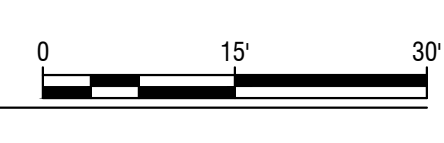
- INSTALL SANITARY SEWER SERVICE PER ISPWC SD-511.

Legend:

—> DRAINAGE DIRECTIONAL ARROW



Grading and Drainage Plan- Main Level
Horizontal Scale: 1" = 15'



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THE LAND GROUP

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Grading and Drainage Plan- Lower Level
PUD 5

Sheet Notes:

- LONGITUDINAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN PEDESTRIAN RAMPS SHALL NOT EXCEED 12:1 SLOPE IN ANY DIRECTION. FLATWORK ADJACENT TO BUILDING SHALL NOT EXCEED 2% CROSS SLOPE OR HAVE CROSS SLOPE LESS THAN 1%.
- SPOT ELEVATIONS INDICATE TOP OF FINISH GRADE SURFACE AS NOTED BY THE FOLLOWING:
FF = FINISHED FLOOR
- ALL PIPE INSTALLATION AND TRENCHING SHALL COORDINATE WITH ISPWC DIVISION 300 AND SD-301. BEDDING AND BACKFILL SHALL BE CONSTRUCTED PER SECTIONS 305 AND 306 OF THE ISPWC.

Grading Keynotes:

- SAWCUT PER ISPWC SD-303. PROVIDE A NEAT AND SMOOTH SAWCUT LINE.

Storm Keynotes:

- INSTALL CATCH BASIN TYPE 1 PER ISPWC SD-601.
- INSTALL 30-INCH ROUND CATCH BASIN WITH A SQUARE GRADED LID.
- INSTALL 30-INCH ROUND CATCH BASIN WITH A ROUND GRADED LID.
- INSTALL STORM WATER SEEPAGE BED.
- INSTALL SAND AND GREASE TRAP.

Water Keynotes:

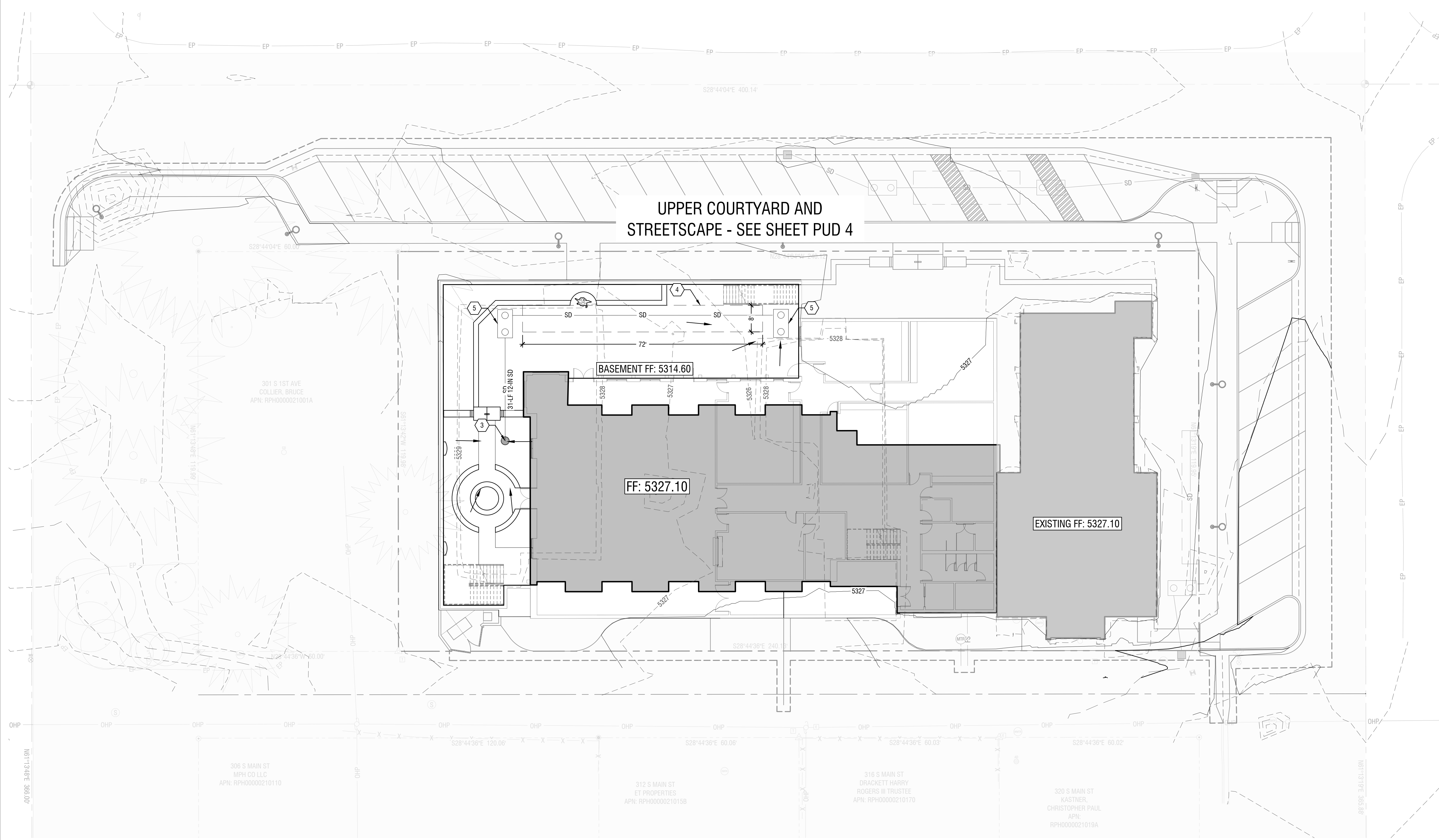
- TAP WATER SERVICE FROM EXISTING WATER MAIN. COORDINATE WITH CITY OF HAILEY WATER DEPARTMENT.
- INSTALL WATER METER PER ISPWC AND CITY OF HAILEY REQUIREMENTS.

Sewer Keynotes:

- INSTALL SANITARY SEWER SERVICE PER ISPWC SD-511.

Legend:

→ DRAINAGE DIRECTIONAL ARROW



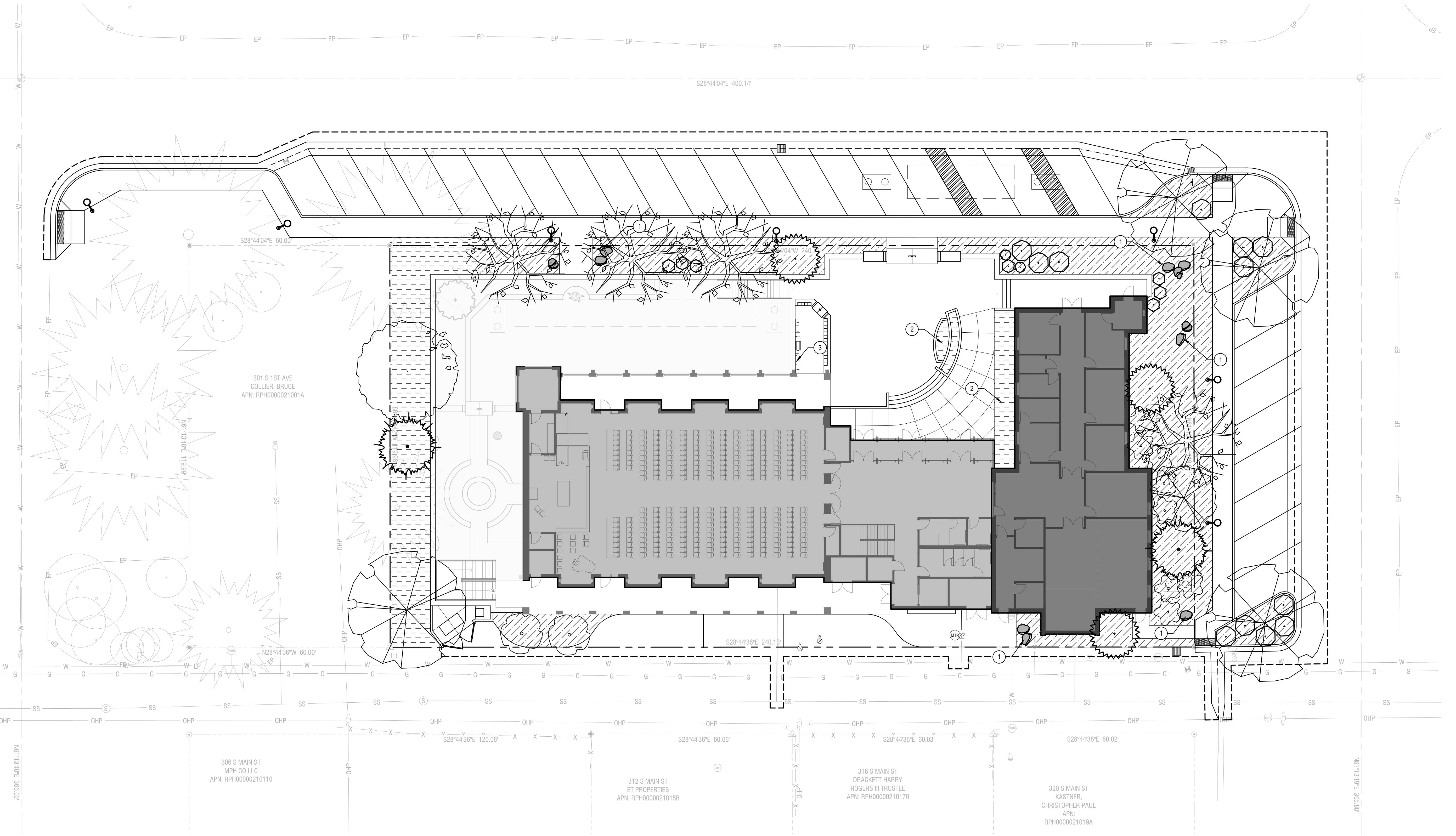
| PLANT SCHEDULE | | | | | |
|------------------------|------|--|-----------|-----------|-----|
| SYMBOL | CODE | BOTANICAL / COMMON NAME | SIZE | CONTAINER | QTY |
| CLASS I TREES | | | | | |
| | AG | AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY | 2" CAL. | B&B | 1 |
| | CI | CRATAEGUS CRUS-GALLI INERMIS / THORNLESS COCKSPUR HAWTHORN | 2.5" CAL. | B&B | 1 |
| CLASS II TREES | | | | | |
| | AC | ACER PLATANOIDES 'CRIMSON KING' / CRIMSON KING NORWAY MAPLE | 2.5" CAL. | B&B | 1 |
| | GA | GINKGO BILOBA 'AUTUMN GOLD' / AUTUMN GOLD MAIDENHAIR TREE | 2.5" CAL. | B&B | 4 |
| | QE | QUERCUS X 'CRIMSCHMIDT' / CRIMSON SPIRE™ OAK | 2.5" CAL. | B&B | 2 |
| CLASS III TREES | | | | | |
| | GD | GYMNOCLADUS DIOICIS 'ESPRESSO' / KENTUCKY COFFEETREE | 2.5" CAL. | B&B | 4 |
| CONIFERS | | | | | |
| | AL | ABIES LASIOCARPA / SUBALPINE FIR | 8" HT. | B&B | 2 |
| | PF | PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID LIMBER PINE | 8" HT. | B&B | 3 |

| PLANT SCHEDULE | | | | | |
|----------------|------|--|--------|-----------|-----|
| SYMBOL | CODE | BOTANICAL / COMMON NAME | SIZE | CONTAINER | QTY |
| SHRUBS | | | | | |
| | CM | CORNUS SANGUINEA 'MIDWINTER FIRE' / MIDWINTER FIRE BLOODTWIG DOGWOOD | 3 GAL. | | 7 |
| | CS | CORNUS SERICEA 'CARDINAL' / CARDINAL RED TWIG DOGWOOD | 3 GAL. | POT | 8 |
| | PB | PHILADELPHUS LEWISII 'BLIZZARD' / BLIZZARD MOCK ORANGE | 5 GAL. | POT | 2 |
| | RG | RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC | 3 GAL. | POT | 12 |

| PERENNIAL AND FORB PALETTE - FULL SUN | | | |
|---|----------------|--------------------|--|
| SPECIES | MATURE SIZE | NURSERY STOCK SIZE | |
| BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA GRASS | 3' HGT; 3' SPD | 2 GAL. | |
| CENTRANTHUS RUBER RED VALERIAN | 3' HGT; 2' SPD | 1 GAL. | |
| ECHINACEA PURPUREA 'FRAGRANT ANGEL' FRAGRANT ANGEL CONEFLOWER | 4' HGT; 2' SPD | 1 GAL. | |
| CALAMINtha NEPATA CALAMINT | 2' HGT; 2' SPD | 1 GAL. | |
| SALVIA PACHYPHYLLA GIANT FLOWERED PURPLE SAGE | 3' HGT; 3' SPD | 1 GAL. | |
| SALVIA X SYLVESTRIS 'MAY NIGHT' MAY NIGHT SAGE | 2' HGT; 2' SPD | 1 GAL. | |
| LIATRIS SPICATA BLAZING STAR | 3' HGT; 2' SPD | 1 GAL. | |
| PENSTEMON X MEXICAL 'POORS' RED ROCKS PENSTEMON | 3' HGT; 3' SPD | 1 GAL. | |
| PANICUM VIRGATUM 'SHENANDOAH' SHENANDOAH SWITCH GRASS | 4' HGT; 3' SPD | 2 GAL. | |
| NEPETA X FRAASSENI 'WALKER'S LOW' WALKER'S LOW CATMINT | 2' HGT; 4' SPD | 2 GAL. | |
| SPOROBOLUS HETEROLEPIS PRAIRIE DROPS EED | 3' HGT; 2' SPD | 2 GAL. | |
| PENNISETUM ALOPECUROIDES 'HAMELY' HAMELYN FOUNTAIN GRASS | 3' HGT; 3' SPD | 2 GAL. | |
| SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM | 3' HGT; 2' SPD | 2 GAL. | |

| PERENNIAL AND FORB PALETTE - PARTIAL SHADE | | | |
|---|----------------|--------------------|--|
| SPECIES | MATURE SIZE | NURSERY STOCK SIZE | |
| HEUCHERA X 'PARIS' PARIS CORAL BELLS | 2' HGT; 2' SPD | 1 GAL. | |
| HOSTA X 'BLUE ANGEL' BLUE ANGEL HOSTA | 3' HGT; 4' SPD | 2 GAL. | |
| IRIS SIBIRICA SIBERIAN IRIS | 3' HGT; 2' SPD | 1 GAL. | |
| CAREX PENNSYLVANICA PENNSYLVANIA SEDGE | 1' HGT; 2' SPD | 1 GAL. | |
| PLATYCODON GRANDIFLORUS BALLGON FLOWER | 2' HGT; 2' SPD | 1 GAL. | |
| POLEMONIUM CAERULEUM JACOB'S LADDER | 2' HGT; 2' SPD | 1 GAL. | |
| POLYSTICHUM MUNITUM WESTERN SWORD FERN | 3' HGT; 3' SPD | 2 GAL. | |
| SYMPHYOTRICHUM OBLONGIFOLIUM FALL ASTER | 4' HGT; 2' SPD | 1 GAL. | |
| HELLEBORUS X 'WALHELVOR' IVORY PRINCE HELLEBORE | 2' HGT; 2' SPD | 1 GAL. | |
| DESCHAMPSIA CESPIITOSA TUFTED HAIR GRASS | 3' HGT; 2' SPD | 2 GAL. | |

- Sheet Notes:**
- FOR LOWER COURTYARD LANDSCAPE PLAN, SEE SHEET PUD 7.
 - FOR EXISTING TREE INVENTORY, SEE SHEET PUD 8.
- Material Legend:**
- PLANTER WITH MULCH AT 3" DEPTH; FULL SUN PERENNIAL/FORB PALETTE.
 - PLANTER WITH MULCH AT 3" DEPTH; PART-SHADE PERENNIAL/FORB PALETTE.
 - LARGE SANDSTONE BOULDERS, 3-4 DIA. TYP.
- Keynotes:**
- SANDSTONE BOULDER, INSTALL PER DETAIL 4/PUD 7.
 - RAISED PLANTER.
 - RAISED PLANTER AND INTEGRAL BENCH.
- Landscaping Notes:**
- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
 - FINISH GRADES TO BE SMOOTH AND EVEN GRADIENTS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN. REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES. PLACE 3" OF MULCH OVER SUBGRADE SOIL TO ACHIEVE FINISH GRADE. FINISH GRADE RELATED TO ADJACENT SITE ELEMENTS SHALL BE:
 - 1-INCH BELOW TOP OF ADJACENT PAVEMENT, VALVE BOX, VAULT, ETC.
 - 3-INCHES BELOW TOP OF CURB UNLESS NOTED OTHERWISE.
 - ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 18" OF TOPSOIL, SOD AREAS A MINIMUM OF 12" OF TOPSOIL. SPREAD, COMPACT AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE.
 - RE-USE EXISTING SURFACE TOPSOIL WHERE POSSIBLE. VERIFY SUITABILITY OF SURFACE SOIL TO PRODUCE TOPSOIL MEETING REQUIREMENTS AND AMEND WHEN NECESSARY. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTORS ARE RESPONSIBLE TO EITHER: A) PROVIDE APPROVED IMPORTED TOPSOIL OR B) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY LANDSCAPE ARCHITECT. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH.
 - IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
 - OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES.
 - ALL LANDSCAPE AREAS SHALL BE WEED FREE AT THE TIME OF LANDSCAPE INSTALLATION. REMOVE ALL ROOTS, WEEDS, ROCKS AND FOREIGN MATERIAL ON THE SURFACE.
 - NEW TREE PLANTING, SEE DETAIL 1&2/PUD 7. CONTRACTOR SHALL STAKE ALL TREES DEEMED NECESSARY, I.E., FROM BEING BLOWN OVER, PLANTED WITH LOOSE ROOT BALL, ETC. CONTRACTOR'S OPTION.
 - NEW SHRUB PLANTING, SEE DETAIL 3/PUD 7.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
 - TREE PIT BACKFILL PLANTING MIX: BLEND TOPSOIL AND SOIL AMENDMENTS AND FERTILIZER FOR TREE PIT BACKFILL AT THE FOLLOWING RATES: BLEND AMENDMENTS THOROUGHLY WITH SOIL BACKFILL. TREE PITS SHALL BE 6"x6"x5' (37.5 CF / 1.5 CF).
 - APPLICATION RATES:
 - HUMIC ACID: 25 LBS PER TREE PIT
 - COMMERCIAL GRADE COMPOST - 10 CUBIC FEET PER TREE PIT
 - PLANTING TABLET FERTILIZER - 4 TABLETS PER TREE PIT
 - CALCIFED DIATOMACEOUS EARTH - 75 LBS PER TREE PIT
 - SHRUB PIT BACKFILL PLANTING MIX: BLEND TOPSOIL AND SOIL AMENDMENTS AND FERTILIZER FOR SHRUB PIT BACKFILL AT THE FOLLOWING RATES: BLEND AMENDMENTS WITH THOROUGHLY WITH SOIL BACKFILL. SHRUB PITS SHALL BE 2'x2'x2' (8.25 CF / 0.25 CF).
 - APPLICATION RATES:
 - HUMIC ACID: 2 LBS PER SHRUB PIT
 - COMMERCIAL GRADE COMPOST - 2 CUBIC FEET PER SHRUB PIT
 - PLANTING TABLET FERTILIZER - 2 TABLETS PER SHRUB PIT
 - CALCIFED DIATOMACEOUS EARTH - 15 LBS PER SHRUB PIT
 - IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
 - CONTRACTOR SHALL SUBMIT MATERIAL SAMPLES FOR LANDSCAPE ROCK MULCH TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PROCUREMENT. LANDSCAPE BOULDERS, PHOTO SUBMITTAL IS ADEQUATE. FOR ROCK MULCH, SUBMIT 1 GALLON BAG SAMPLE TO OWNER.



- Automatic Underground Irrigation Notes:**
- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
 - EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
 - POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 18" AT PLANTER BEDS, 6" AT LAWN AREAS.
 - PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEMS - WITH DRIP CONTROL ZONE KIT AND 150 MESH FILTER (MIN.).
 - ELECTRONIC WATER DISTRIBUTION TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 - PRECISE INDIVIDUAL STATION TIMING
 - RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 - AT LEAST ONE PROGRAM FOR EACH HYDROZONE
 - SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
 - POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
 - INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES.
 - THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
 - SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, AND PARKING AREA.
 - EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVAL. ONLY ONE VALVE PER BOX.

Project Calculations:

| A. NON-RESIDENTIAL STREET TREE CALCULATIONS: | | | |
|--|----------------|----------------|---------------------|
| | LINEAR FOOTAGE | TREES REQUIRED | TREES PROVIDED |
| E. PINE STREET: | 119 LF | 3 | 3 |
| S. 1ST AVENUE: | 240 LF | 6 | 6 (INCL 1 RETAINED) |
| TOTAL STREET TREES | | 9 | 9 |

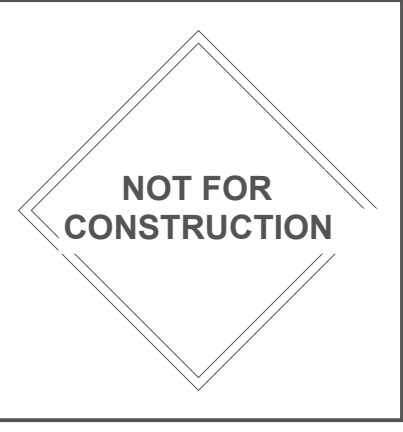
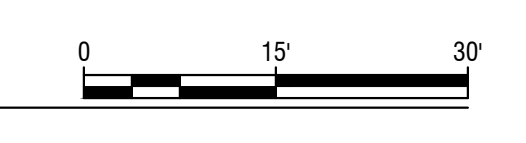
| B. LANDSCAPE BUFFER CALCULATIONS: | | |
|-----------------------------------|-----------------------|-----------------------|
| | BUFFER/TREES REQUIRED | BUFFER/TREES PROVIDED |
| NORTH BUFFER TO RESIDENTIAL**: | 8-FT/NOT SPECIFIED | 12-FT/4 TREES |

| C. OPEN SPACE CALCULATIONS: | |
|--|------------------------|
| OPEN SPACE AREA (EXCL. PLANTERS IN ROW): | OPEN SPACE PROVIDED**: |
| | ±12,921 SF 44.9% |

| D. OVERALL LANDSCAPE | |
|----------------------|--------------------------------|
| | TOTAL TREES PROVIDED: |
| | TOTAL TREES PROPOSED: 13 |
| | TOTAL TREE SPECIES PROVIDED: 8 |

* NON-RESIDENTIAL BUILDINGS WITHIN TN ZONING DISTRICT MUST PROVIDE A 6-FOOT TALL, YEAR ROUND VISUAL SCREEN WHEN ADJACENT TO RESIDENTIAL PARCELS. PROJECT'S NORTH WALL TO PROVIDE A MINIMUM OF 6' TALL SCREENING TO EXISTING RESIDENTIAL PROPERTY FRONTING ON WALNUT.

** INCLUDES ±6,820 SF OF SOFTSCAPE/PLANTERS AND ±6,101 HARDCAPE/PLAZA SPACE.



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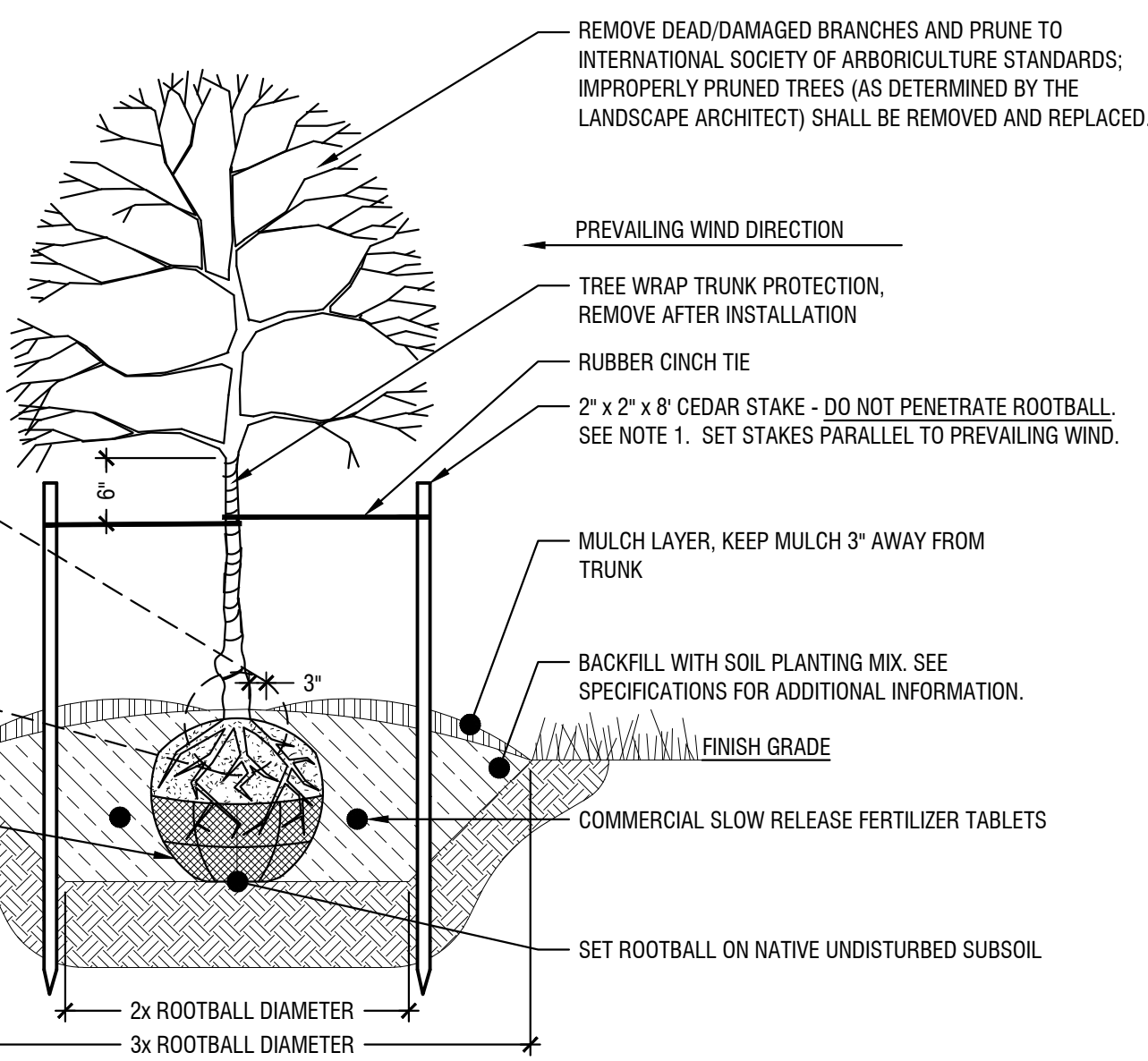
pud application

Landscape Plan - Main Level

PUD 6

NOTES:

1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

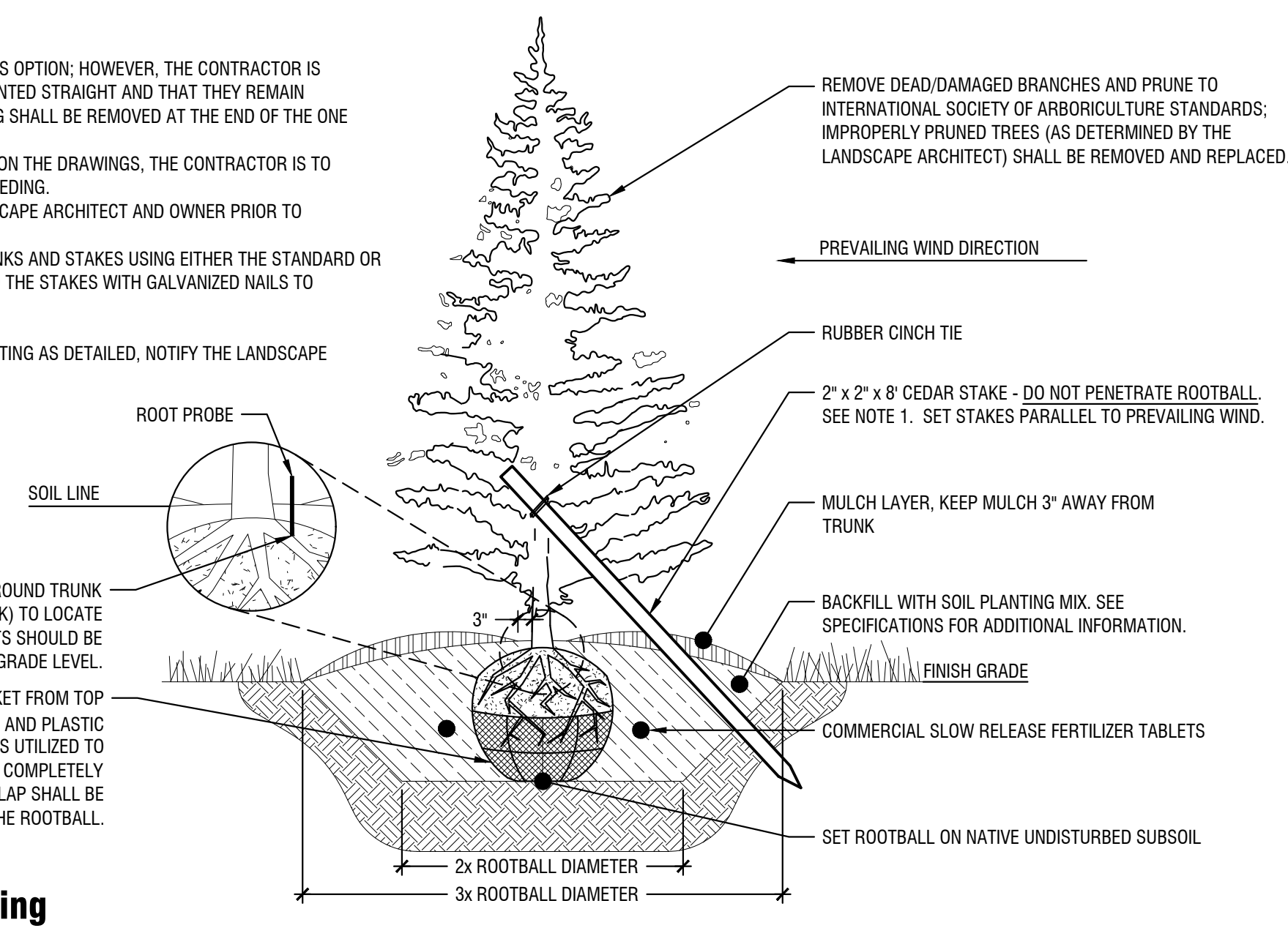


1 Deciduous Tree Planting

Scale: NTS

NOTES:

1. THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
2. IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
3. LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
5. WATER TREE TWICE WITHIN THE FIRST 24 HOURS.
6. IN THE EVENT HARDPAN SOILS PREVENT TREE PLANTING AS DETAILED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.



2 Coniferous Tree Planting

Scale: NTS

Sheet Notes:

1. FOR LANDSCAPE NOTES AND PLANT SCHEDULE, SEE SHEET PUD 6.
2. FOR UPPER COURTYARD AND STREETSCAPE LANDSCAPE PLAN, SEE SHEET PUD 6.
3. FOR EXISTING TREE INVENTORY, SEE SHEET PUD 8.

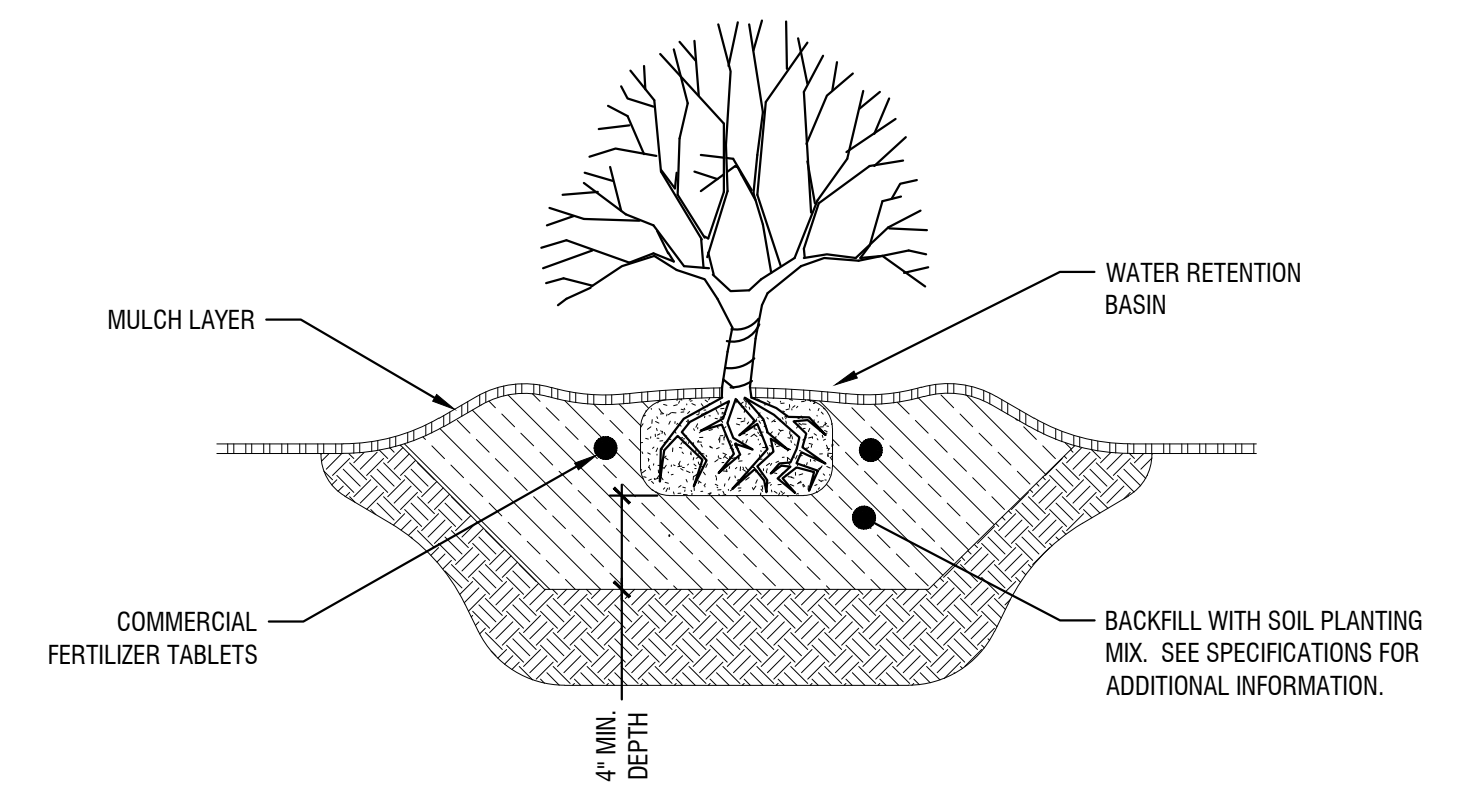
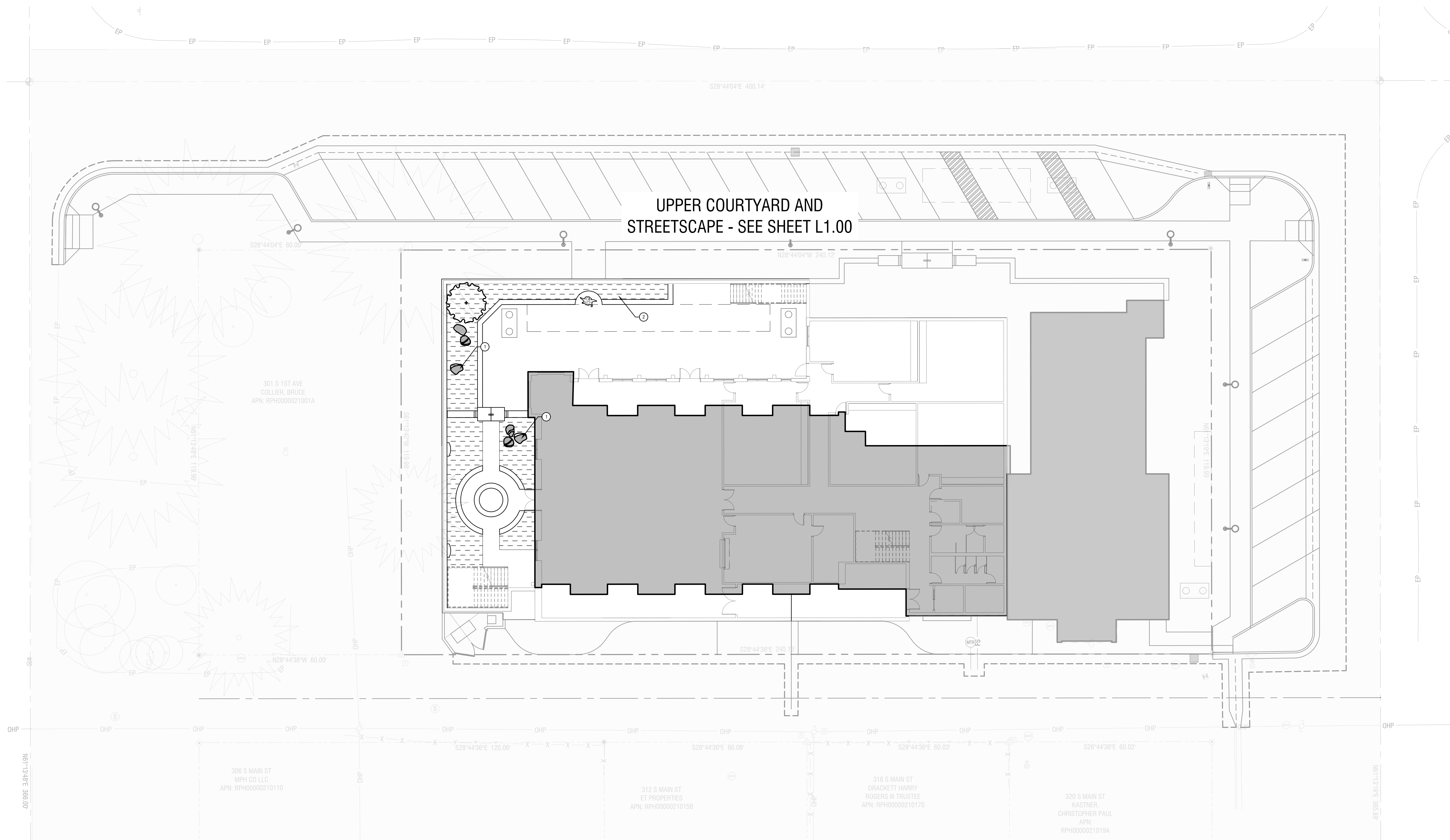
Material Legend:



Keynotes:

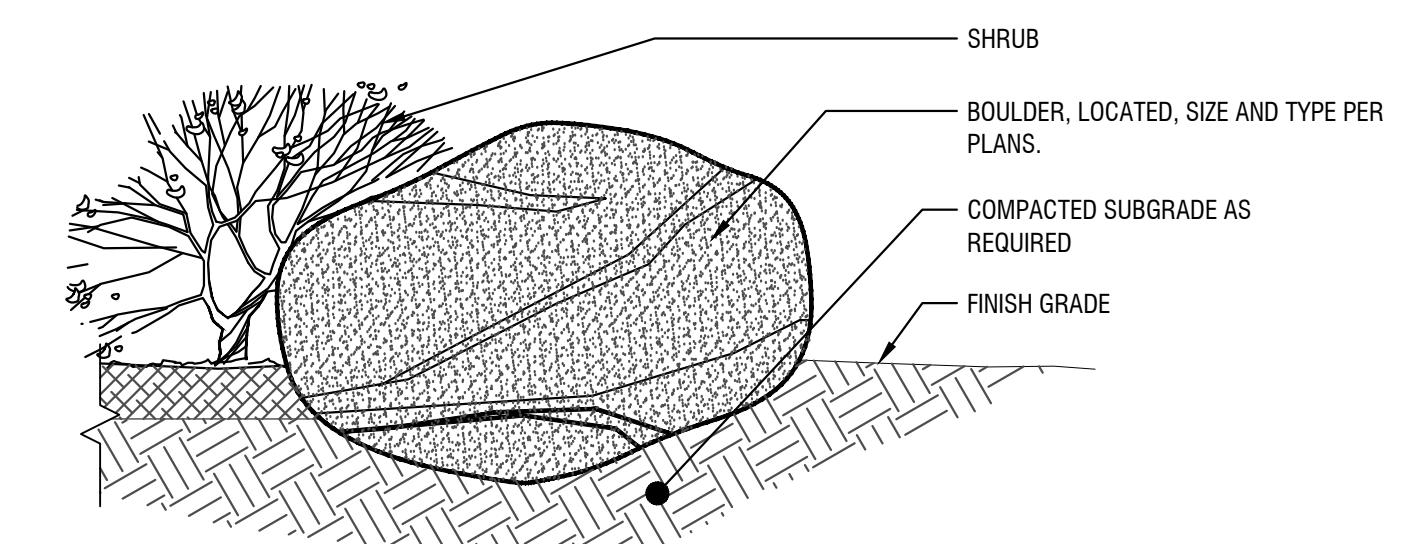
1. SANDSTONE BOULDER, INSTALL PER DETAIL 4/PUD 7.
2. RAISED PLANTER AND INTEGRAL SEATWALL.

CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.



3 Shrub Planting

Scale: NTS



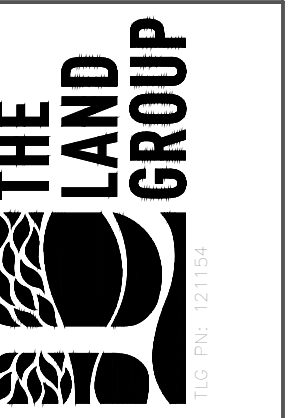
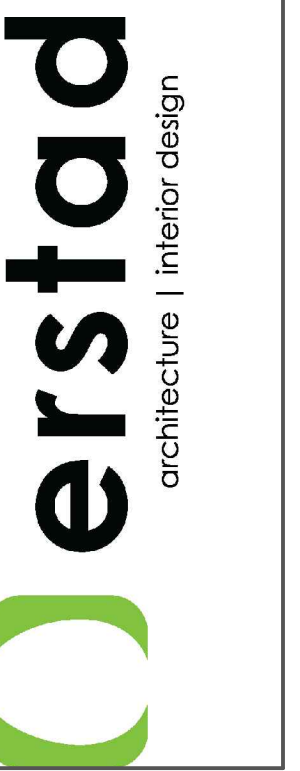
NOTES:

1. NOTIFY LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
2. PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION SYSTEM.
3. CLEAN ALL BOULDERS OF DIRT AND LOOSE DEBRIS.
4. WHEN PLACING BOULDERS, BURY 1/4 TO 1/3 OF BOULDER BELOW FINISH GRADE.
5. DO NOT SCAR OR DAMAGE BOULDERS.

4 Boulder Installation

Scale: NTS

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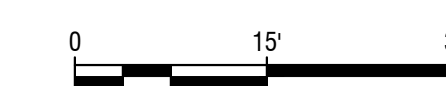
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project: 230706
date: 12.19.24
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checked: MTA

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Landscape Plan - Lower Level

PUD 7



| DETAILED TREE INVENTORY | | | | | | |
|-------------------------|-------|----------------|---------------|------------------------|---|--|
| KEYNOTE # | DBH | BOTANICAL NAME | COMMON NAME | PUBLIC OR PRIVATE TREE | LANDSCAPE ARCHITECT NOTES | TREE MITIGATION REQUIRED |
| 1 | 2-11" | PICEA ABIES | NORWAY SPRUCE | PUBLIC | COMPENSATION NOT INCLUDED IN THE CITY OF HAILEY'S RECOMMENDED TREE LIST DUE TO PROBLEMS WITH CLEARANCE AND SHADING OF STREETS AND SIDEWALKS IN WINTER. IT IS ASSUMED THAT THE TREE, THEREFORE, IS NOT A DESIRABLE SPECIES AS IT DOES NOT MEET THE HAILEY TREE COMMITTEE'S GUIDANCE PUBLISHED IN 2022. | TO BE DETERMINED; ASSUMED TO BE NONE AS IT DOES NOT COMPLY WITH THE CITY OF HAILEY'S TREE ORDINANCE. |
| 2 | 2-9" | PICEA ABIES | NORWAY SPRUCE | PRIVATE | | |
| 3 | 2-9" | PICEA ABIES | NORWAY SPRUCE | PRIVATE | | |
| 4 | 1-9" | MALUS SIB. | CRABAPPLE | PRIVATE | | |
| 5 | 2-9" | PICEA ABIES | NORWAY SPRUCE | PUBLIC | | NONE TREE IS TO BE RETAINED |
| 6 | 1-9" | PICEA ABIES | NORWAY SPRUCE | PRIVATE | | |
| 7 | 1-4" | MALUS SIB. | CRABAPPLE | PRIVATE | | |
| 8 | 2-4" | PICEA ABIES | NORWAY SPRUCE | PRIVATE | | |

Sheet Notes:

- A. ALL TREES OUTSIDE OF PROJECTS DEMOLITION LIMITS ARE TO BE RETAINED.
- B. PRELIMINARY TREE ANALYSIS SURVEY AND MITIGATION PLAN WAS CREATED BY THE LAND GROUP (12/05/2024).
- C. ARBORIST REPORT TO BE COMPLETED AT TIME OF DESIGN REVIEW APPLICATION.
- D. ARBORIST CONTACT: TBD AT TIME OF DESIGN REVIEW APPLICATION.

Existing Trees:

TOTAL PUBLIC TREES TO BE REMOVED: 1 (35" DBH)
 TOTAL PRIVATE TREES TO BE REMOVED: 5
 TREES REQUIRING MITIGATION: TBD
 TOTAL MITIGATION (CALIPER INCHES) PROVIDED ON LANDSCAPE PLAN: 45 IN.

Demolition Legend:

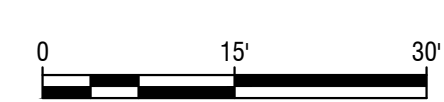
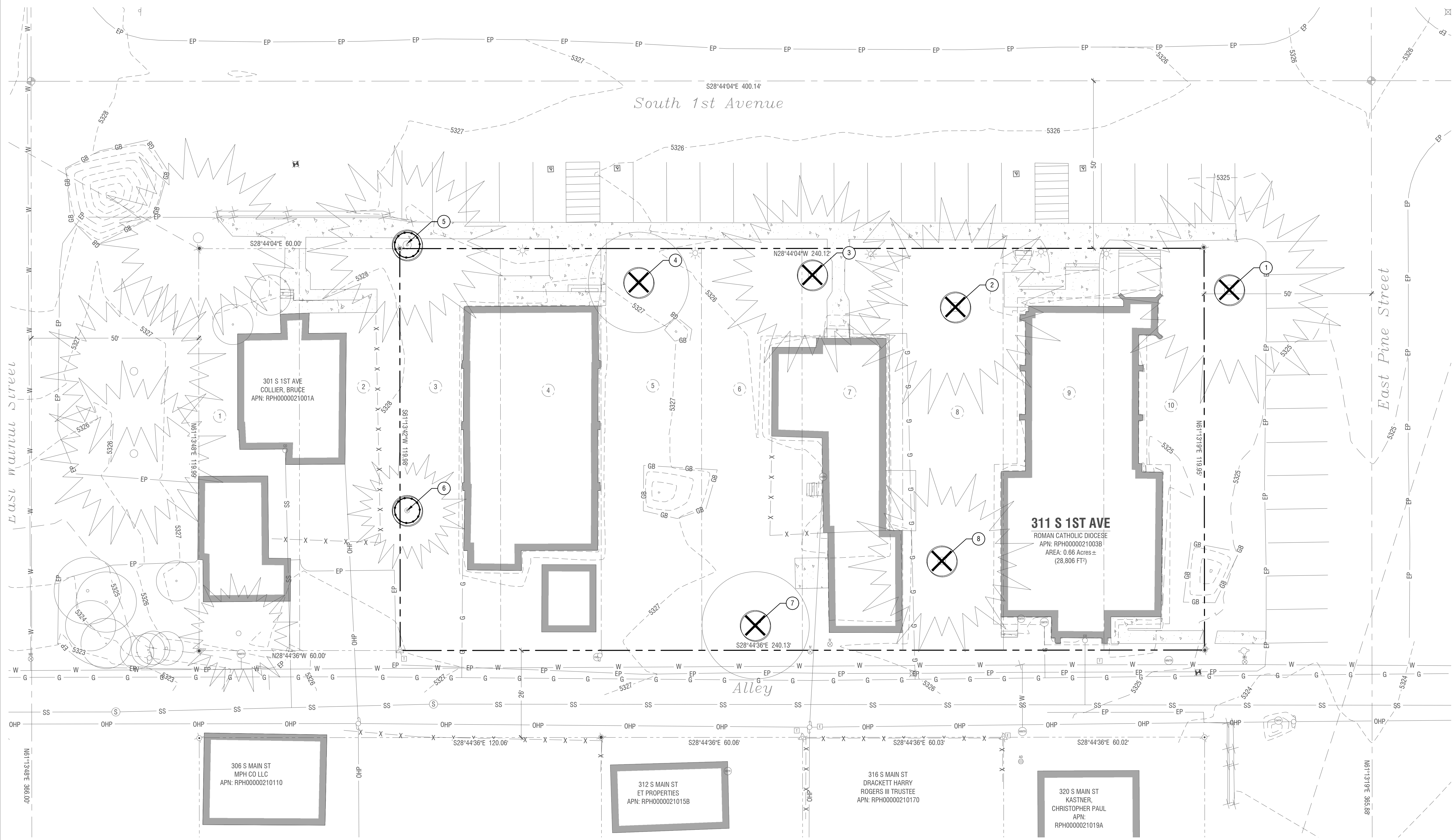
- RETAIN AND PROTECT EXISTING TREE. INSTALL PROTECTIVE FENCE AROUND TREE.
- REMOVE AND DISPOSE OF EXISTING TREE. GRIND STUMP 18" BELOW EXISTING GRADE MIN.

Tree Protection Notes:

- A. PROTECT THE CRITICAL ROOT ZONE OF THE TREES TO BE RETAINED ON SITE. (NOTE: CRITICAL ROOT ZONE IS THE AREA DIRECTLY BELOW THE DRIP LINE OF THE TREE.)
 - A.A. CONSTRUCT PROTECTIVE FENCING OF CHAIN-LINK AROUND THE CRITICAL ROOT ZONE PRIOR TO DEMOLITION OR CONSTRUCTION.
 - A.B. DO NOT ALLOW COMPACTION BY EQUIPMENT TRAFFIC DURING CONSTRUCTION OR DURING DEMOLITION.
 - A.C. DO NOT ALLOW CEMENT TRUCKS TO RINSE WITHIN THE PROTECTION AREA, ANYWHERE THAT TREE ROOTS EXIST OR IN PLANNED PLANTING BEDS.
 - A.D. DO NOT STOCKPILE MATERIALS, DEBRIS OR DIRT WITHIN THE TREE PROTECTION AREA.
 - A.E. MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE FROM MID-APRIL TO MID-OCTOBER AT THE RATE OF NOT LESS THAN THE EQUIVALENT OF 1-1/2" OF WATER OVER THE ENTIRE AREA PER WEEK. DO NOT TRENCH, EXCAVATE, FILL OR OTHERWISE DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE.
 - A.G. ADJUST PROPOSED IMPROVEMENT LOCATIONS AS REQUIRED TO AVOID DAMAGING TREE ROOTS.
- B. PROTECT THE CROWN AND TRUNK OF TREES TO BE RETAINED ON SITE.
 - B.A. OPERATE EQUIPMENT IN SUCH A WAY AS TO AVOID CONTACT WITH TREE TRUNKS OR BRANCHES.
 - B.B. PRUNING OF PUBLIC PROPERTY TREES SHALL BE PERFORMED BY A LICENSED ARBORIST.
- C. ALL TREES NOT IDENTIFIED FOR REMOVAL THAT ARE DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED USING THE FOLLOWING CRITERIA:

| EXISTING TREE | REPLACEMENT |
|------------------------------|------------------------------|
| 1" TO 6" CALIPER..... | 2X CALIPER OF TREE REMOVED |
| 6" TO 12" CALIPER..... | 1.5X CALIPER OF TREE REMOVED |
| > 12" OR LARGER CALIPER..... | 1X CALIPER OF TREE REMOVED |

EXAMPLE: IF AN 8" CALIPER TREE IS REMOVED, AN ACCEPTABLE REPLACEMENT WOULD BE (3) 4" CALIPER TREES OR (4) 3" CALIPER TREES.



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project: 230706
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pud application

Tree Inventory
PUD 8

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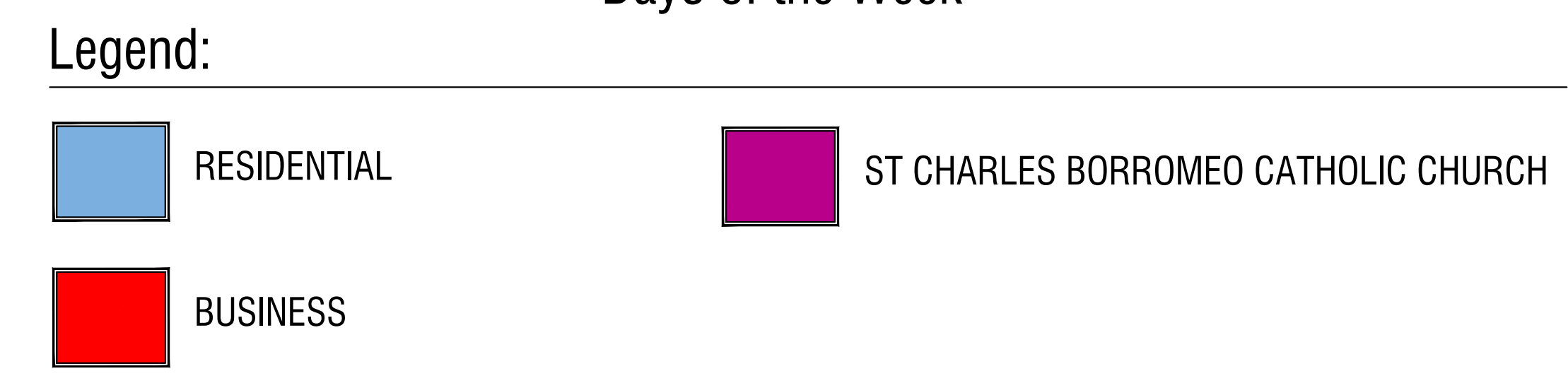
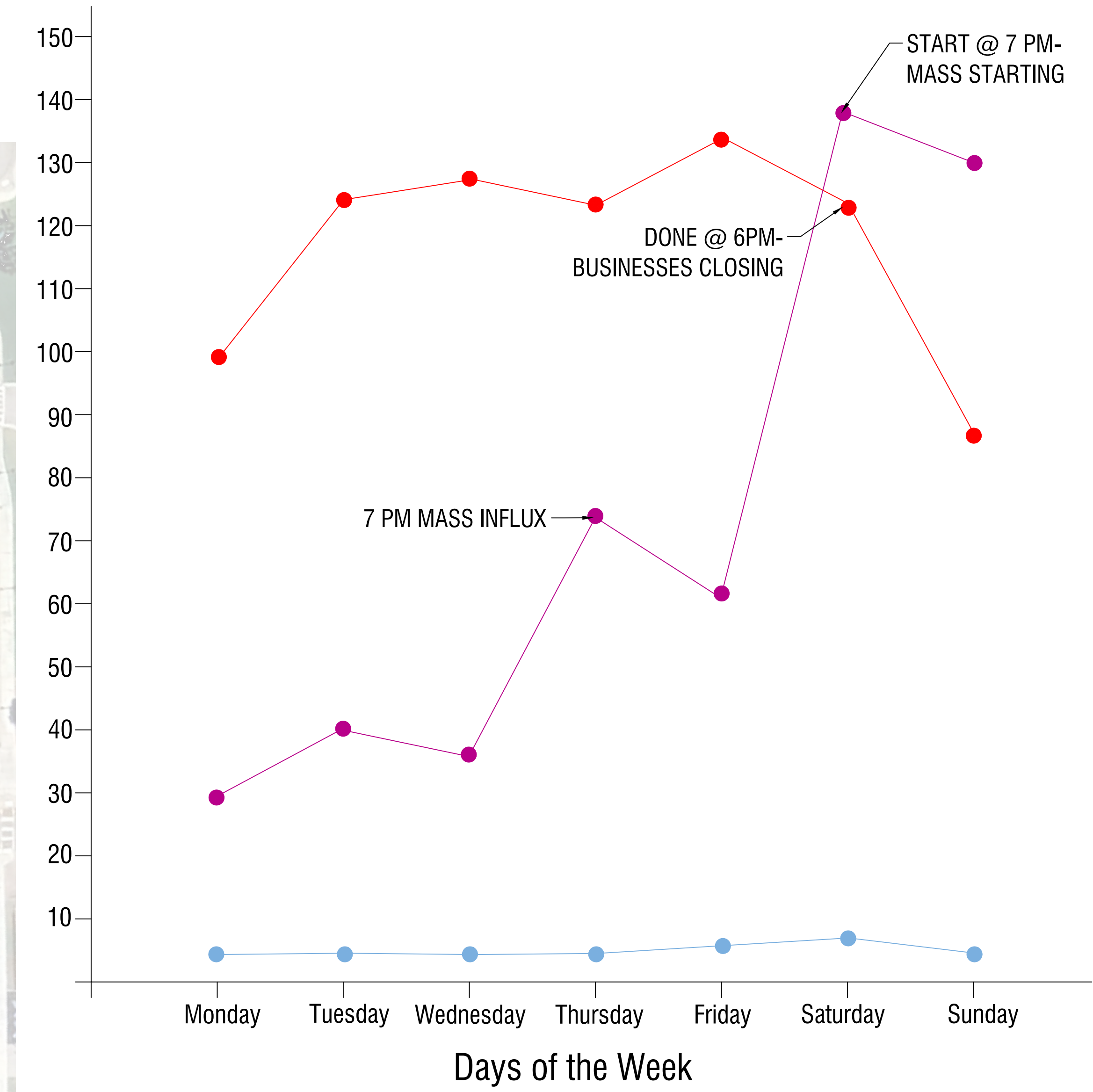
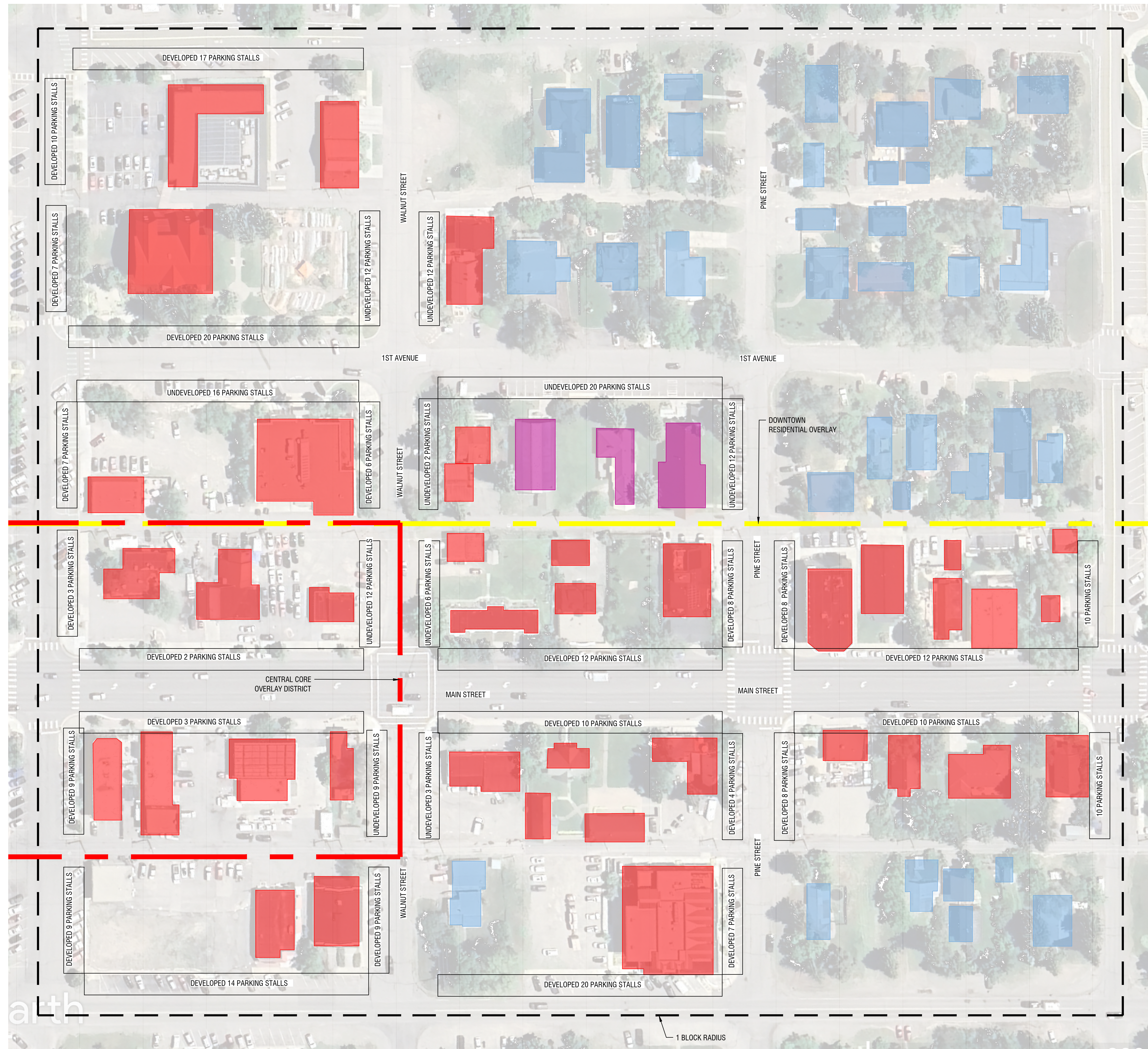
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application

Right-of-Way
Parking
Availability
PUD 9



- Notes:**
- 1-BLOCK RADIUS AROUND THE CHURCH
 - 1.1. IN A STUDY PUBLISHED BY AMERICAN JOURNAL OF PREVENTIVE MEDICINE. STATES THAT THE AVERAGE DISTANCE A US CITIZENS WILL WALK IS .25 MILES.
 - 1.2. 1 BLOCK RADIUS IS EQUAL TO .125 MILES.
 - PARKING WITHIN RIGHT-OF-WAY PER BLOCK OF BUSINESS AND TRANSITIONAL ZONING. ESTIMATED TOTAL 404 PARKING STALLS.
 - 2.1. DEVELOPED: 306
 - 2.2. UNDEVELOPED: 98
 - PARKING CODE:
 - 3.1. 17.09.040.01: RESIDENTIAL PARKING REQUIREMENTS:
 - 3.1.1. 2 SPACES PER DWELLING UNIT MINIMUM, 6 SPACES PER DWELLING UNIT MAXIMUM.
 - 3.3. 17.09.040.02: COMMERCIAL, PROFESSIONAL, SERVICE, RECREATION AND ENTERTAINMENT:
 - 3.1.1. 1 SPACE PER 1,000 SQUARE FEET.
 - 3.2. 17.09.040.05: INDUSTRIAL:
 - 3.1.1. PUBLIC UTILITIES/PUBLIC SERVICES /ECT.= 1 SPACE PER 1,000 SQUARE FEET.
 - ESTIMATED PARKING COUNTS ARE BASED ON BUSINESSES HOURS OF OPERATIONS AND PARKING CODE REQUIREMENTS.
 - 4.1. 119 SPOTS TOTAL PER BUILDING MASS
 - ST CHARLES PARKING COUNTS BASED ON KNOWN CHURCH ACTIVITIES AND CODE REQUIREMENTS.
 - 5.1. 125 SPOTS TOTAL AT PEAK

Right-of-Way Parking Availability

Horizontal Scale: 1" = 50'



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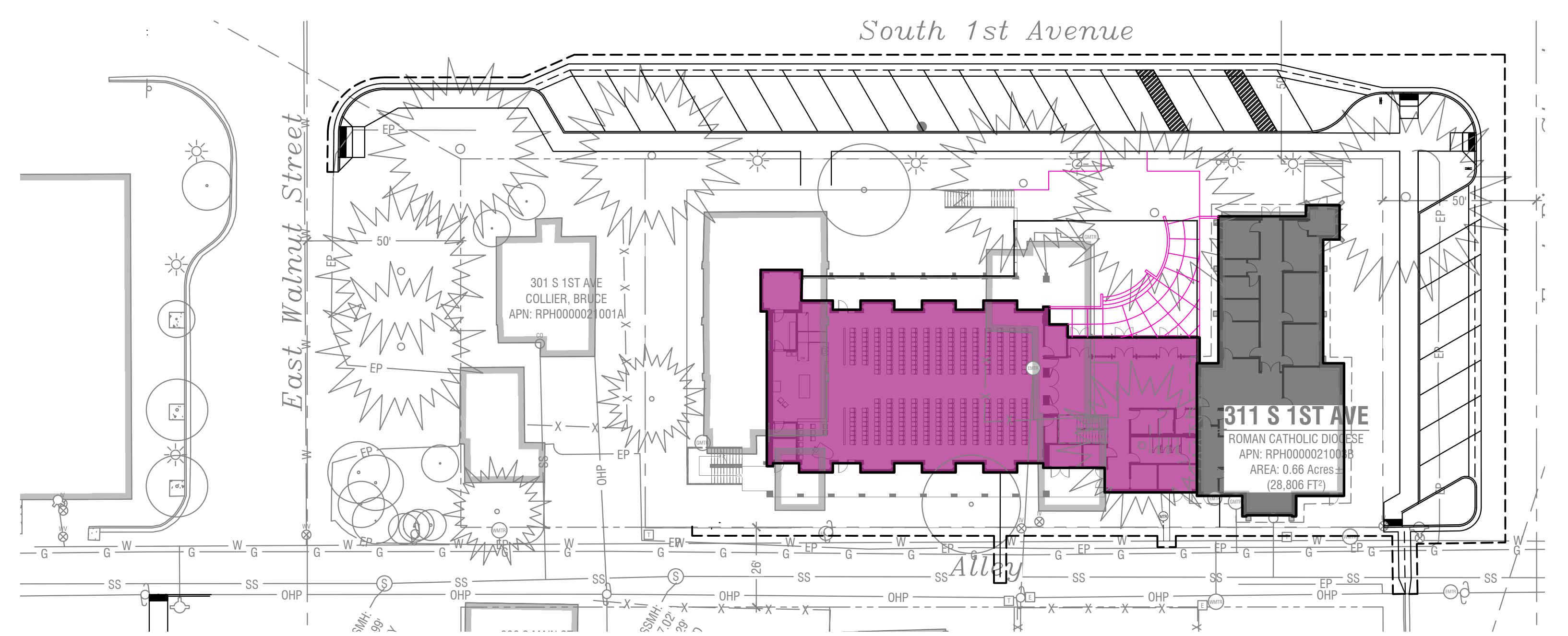
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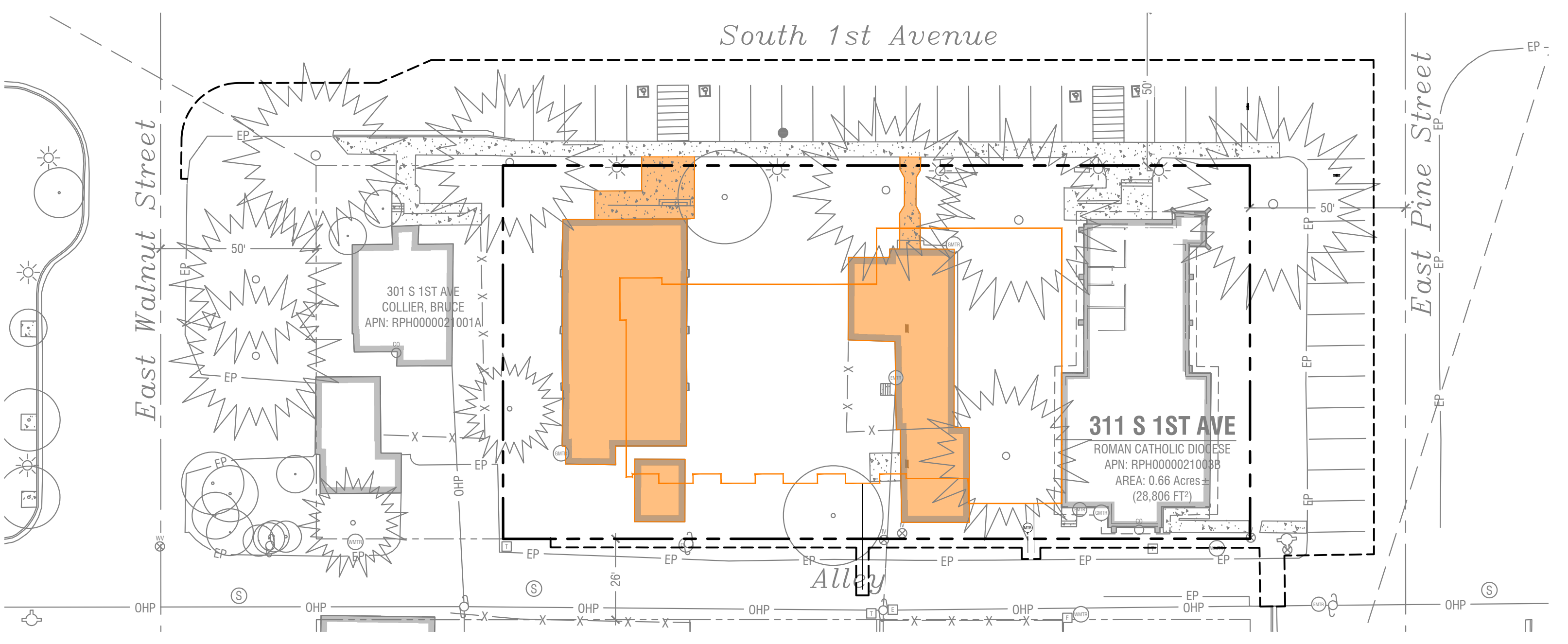
Phasing Exhibit
PUD 10

Phasing Legend:

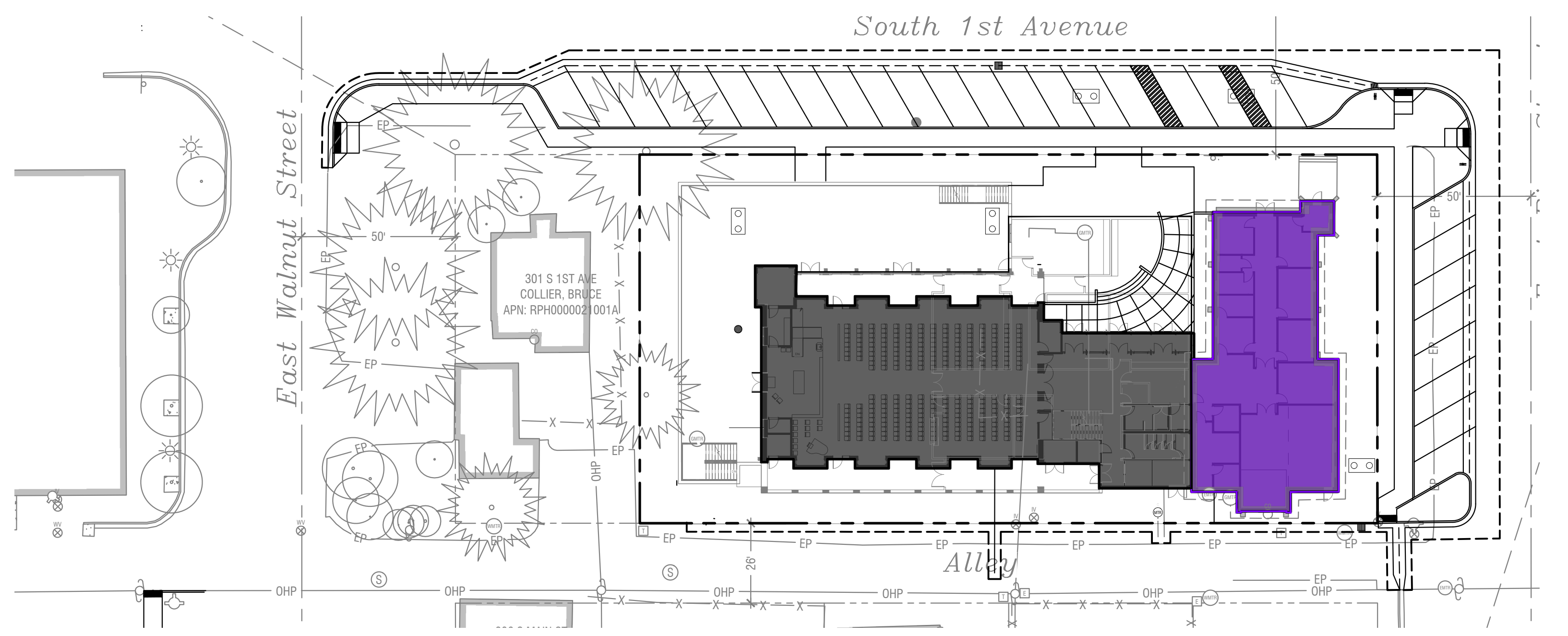
- PHASE ONE- DEMOLITION OF EXISTING HALL, PASTORS OFFICE, INSTALLATION OF UTILITIES AND NEW BUILDING SHELL.
- PHASE THREE- COMPLETE BUILDING MAIN STRUCTURE AND ENTRY COURTYARD
- PHASE FIVE- COMPLETE LANDSCAPING, LOWER COURTYARD AND BASEMENT
- PHASE TWO- IMPROVEMENTS TO THE RIGHT-OF-WAY, INCLUDING FROM THE ALLEY TO MAIN STREET ON WALNUT.
- PHASE FOUR- REPURPOSE OF EXISTING CHURCH BUILDING- INTERIOR IMPROVEMENTS.



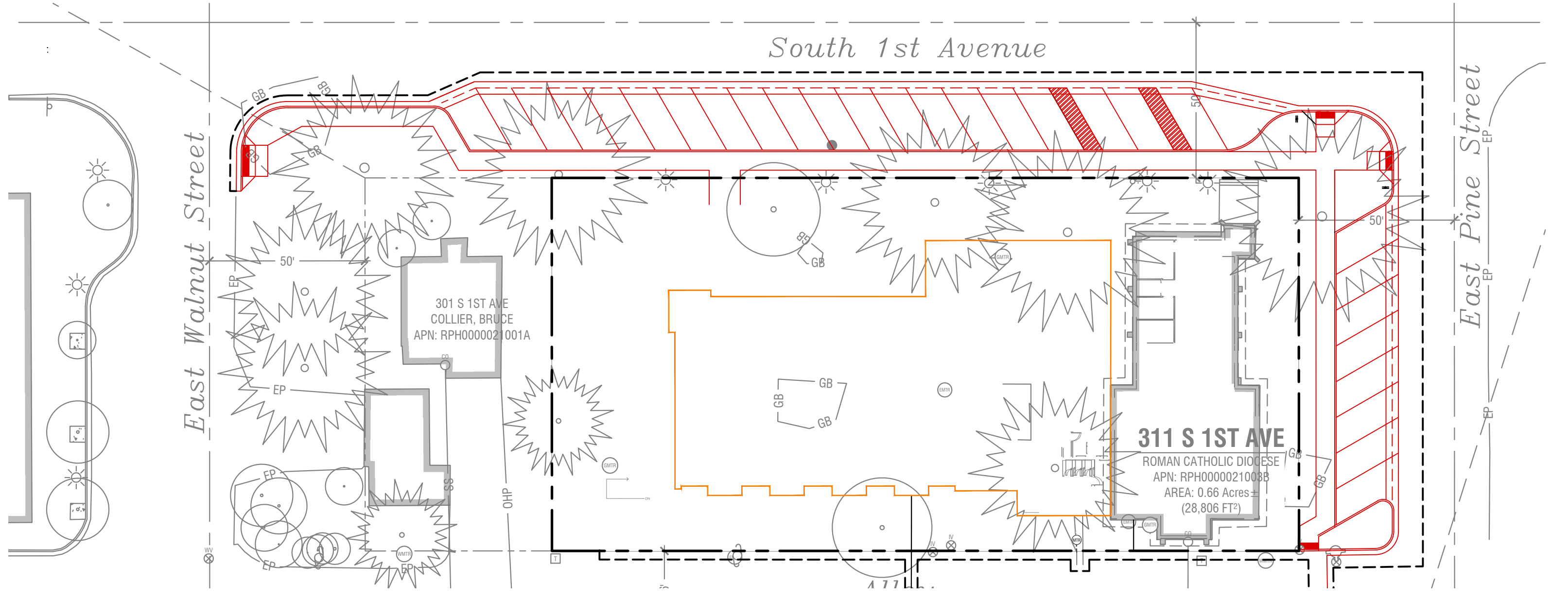
Phasing Exhibit- Phase Three
Horizontal Scale: 1" = 30'



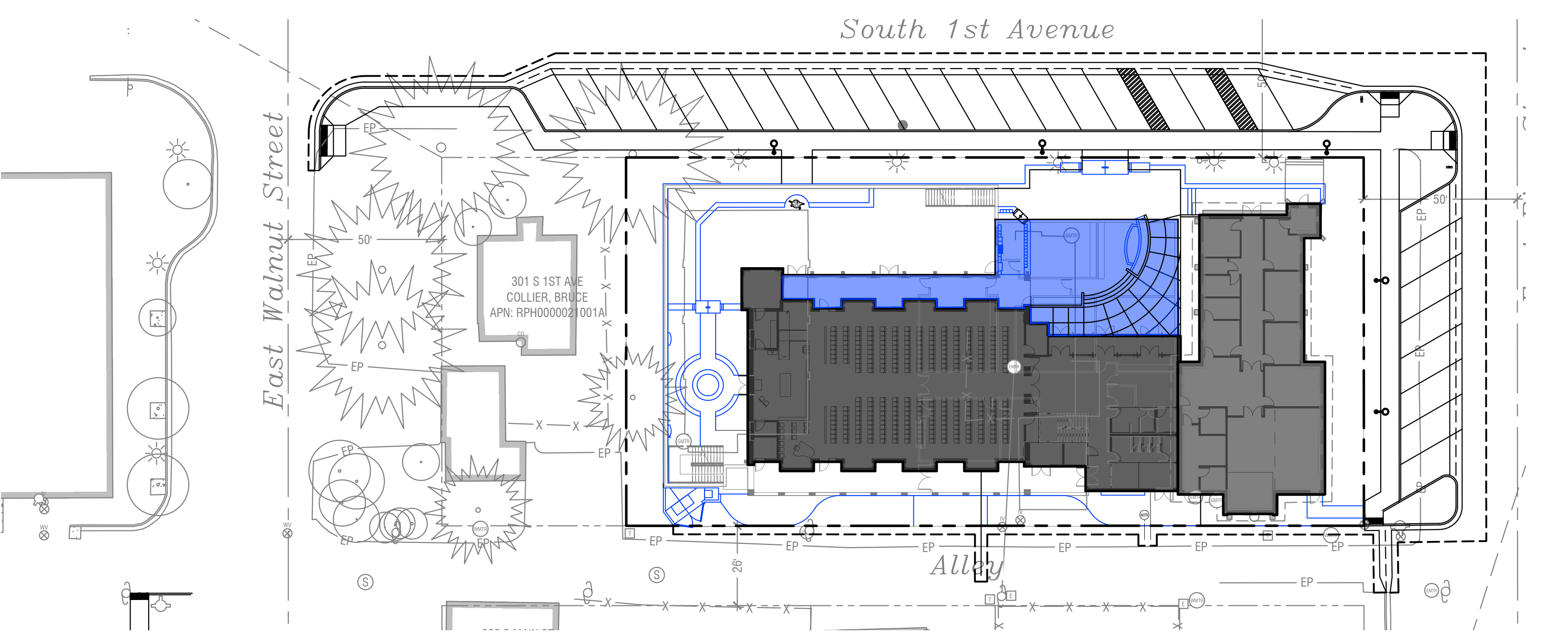
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Phasing Exhibit- Phase Four
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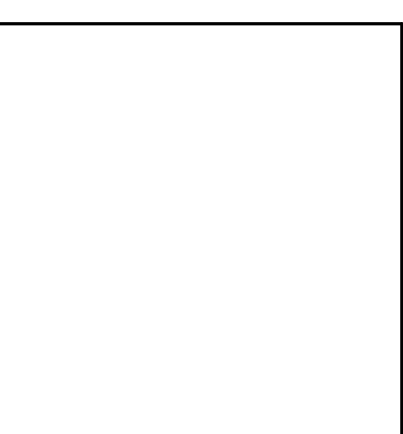
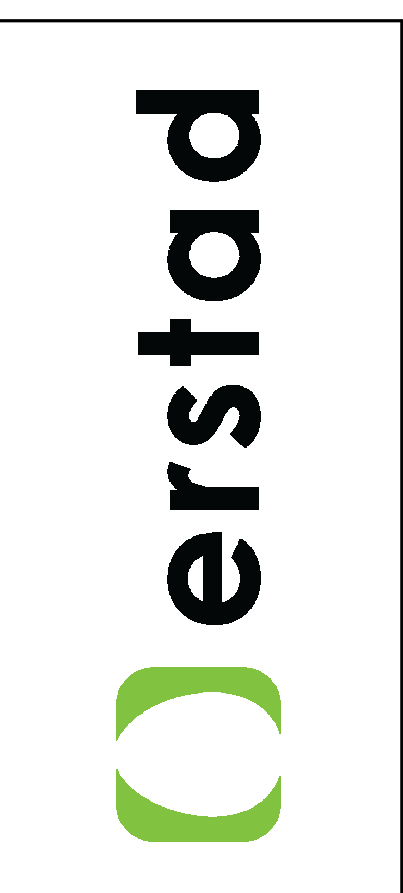


Phasing Exhibit- Phase Two
Horizontal Scale: 1" = 30'



Phasing Exhibit- Phase Five
Horizontal Scale: 1" = 30'

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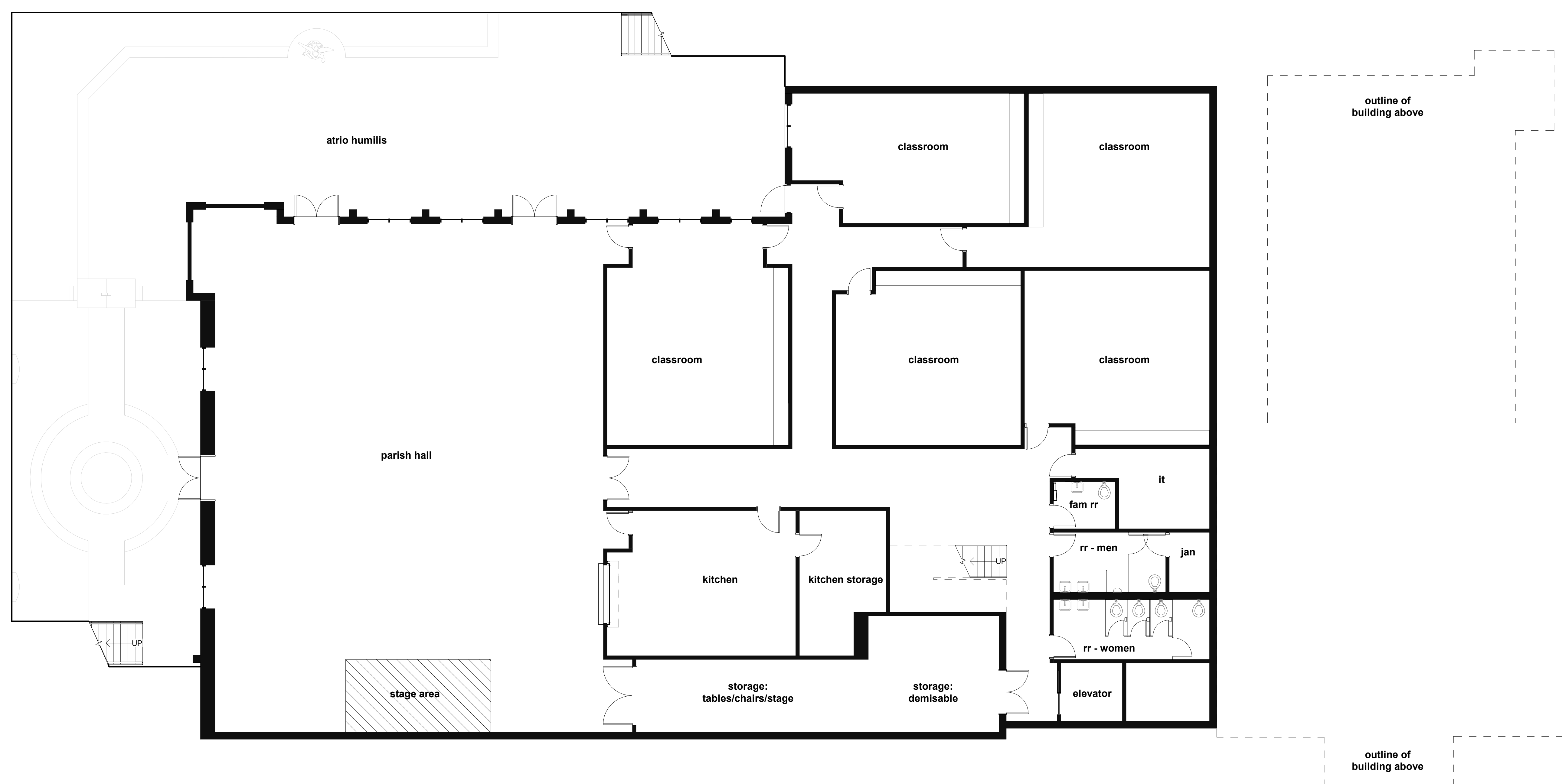
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basement floor plan
a2.10



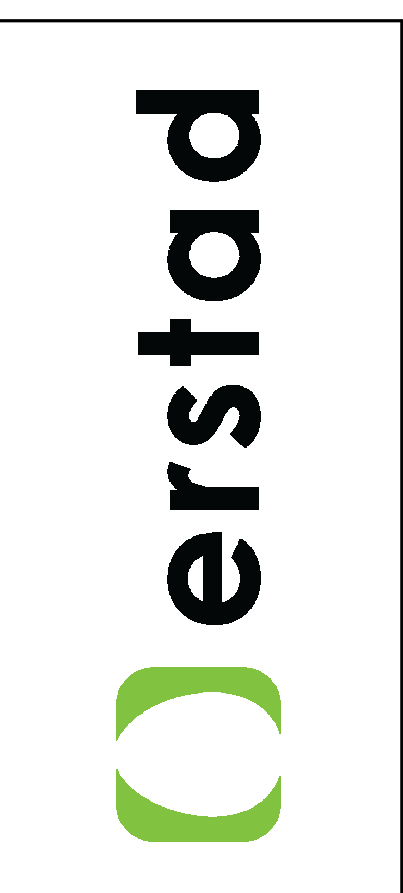
basement
1/8" = 1'-0"

keynote

general notes

- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
- GYPSUM WALLBOARD APPLICATION & FINISHING AT ALL EXPOSED SURFACES TO COMPLY WITH SPECIFICATIONS.
- UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS ARE DIMENSIONED TO FACE OF FOUNDATION / GRID LINE.
- UNLESS NOTED OTHERWISE, ALL PARTITIONS ARE DIMENSIONED TO FACE OF STUD.
- UNLESS DIMENSIONED OTHERWISE, INTERIOR DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITION.

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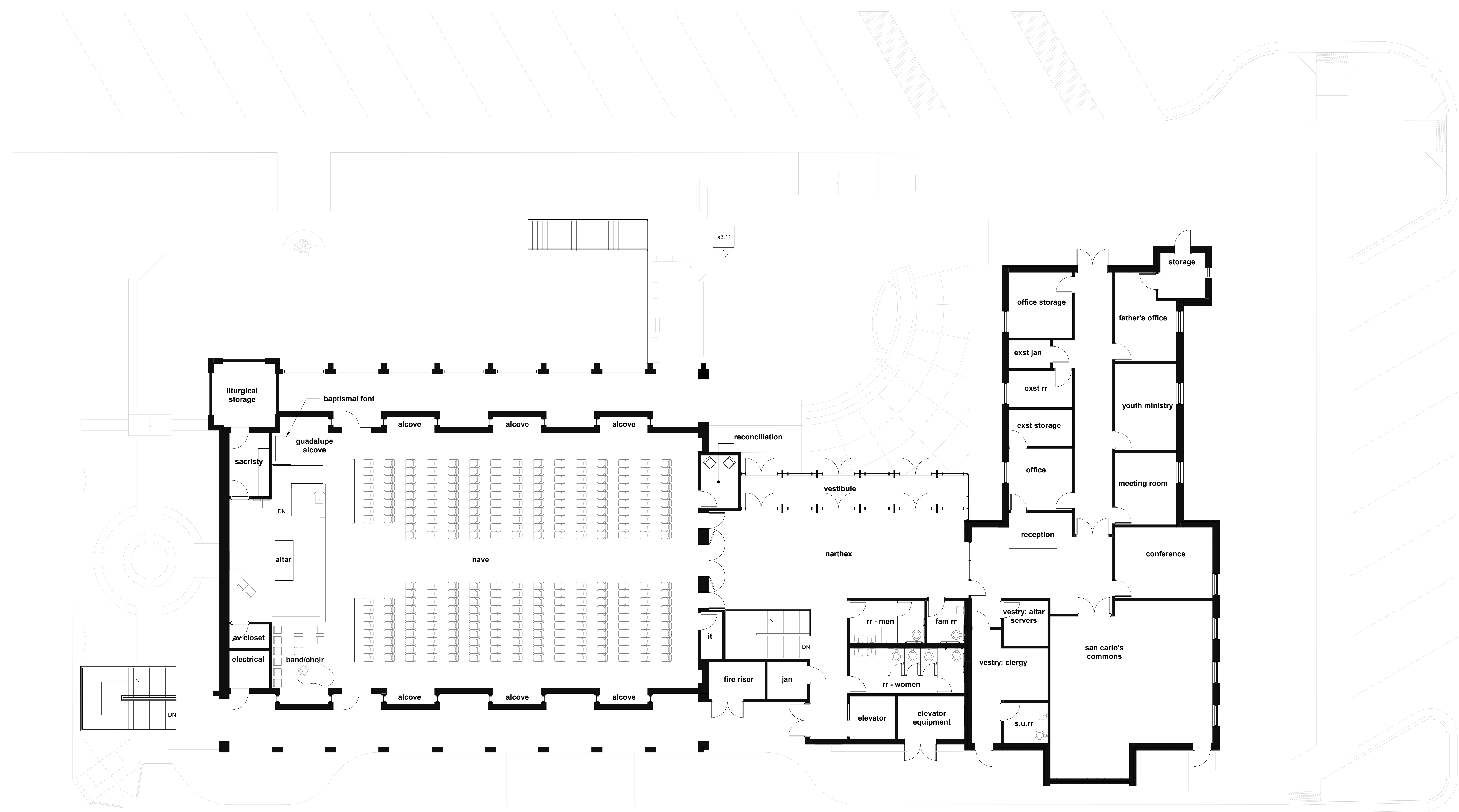
St. Charles Borromeo
311 1st avenue
hailey, idaho 83333

revision:
no. desc. date

project: 230706
date: 10.02.24
drawn: Author
checked: Checker

pud application

first floor plan
a2.11



a3.11 2

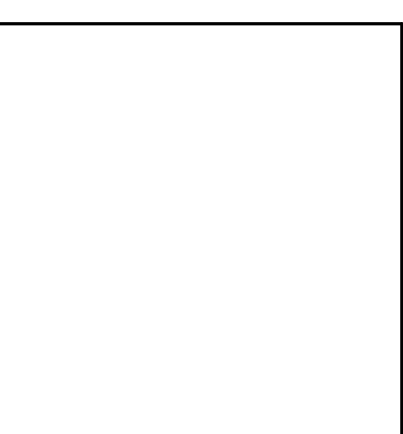
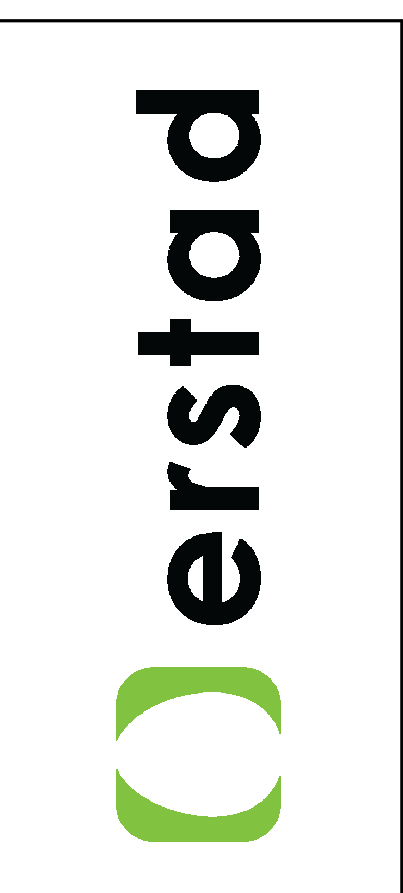
a3.11

first floor - addition
1/8" = 1'-0"

keynote

general notes
A. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
B. GYPSUM WALLBOARD APPLICATION & FINISHING AT ALL EXPOSED SURFACES TO COMPLY WITH SPECIFICATIONS.
C. UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS ARE DIMENSIONED TO FACE OF FOUNDATION / GRID LINE.
D. UNLESS NOTED OTHERWISE, ALL PARTITIONS ARE DIMENSIONED TO FACE OF STUD.
E. UNLESS DIMENSIONED OTHERWISE, INTERIOR DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITION.

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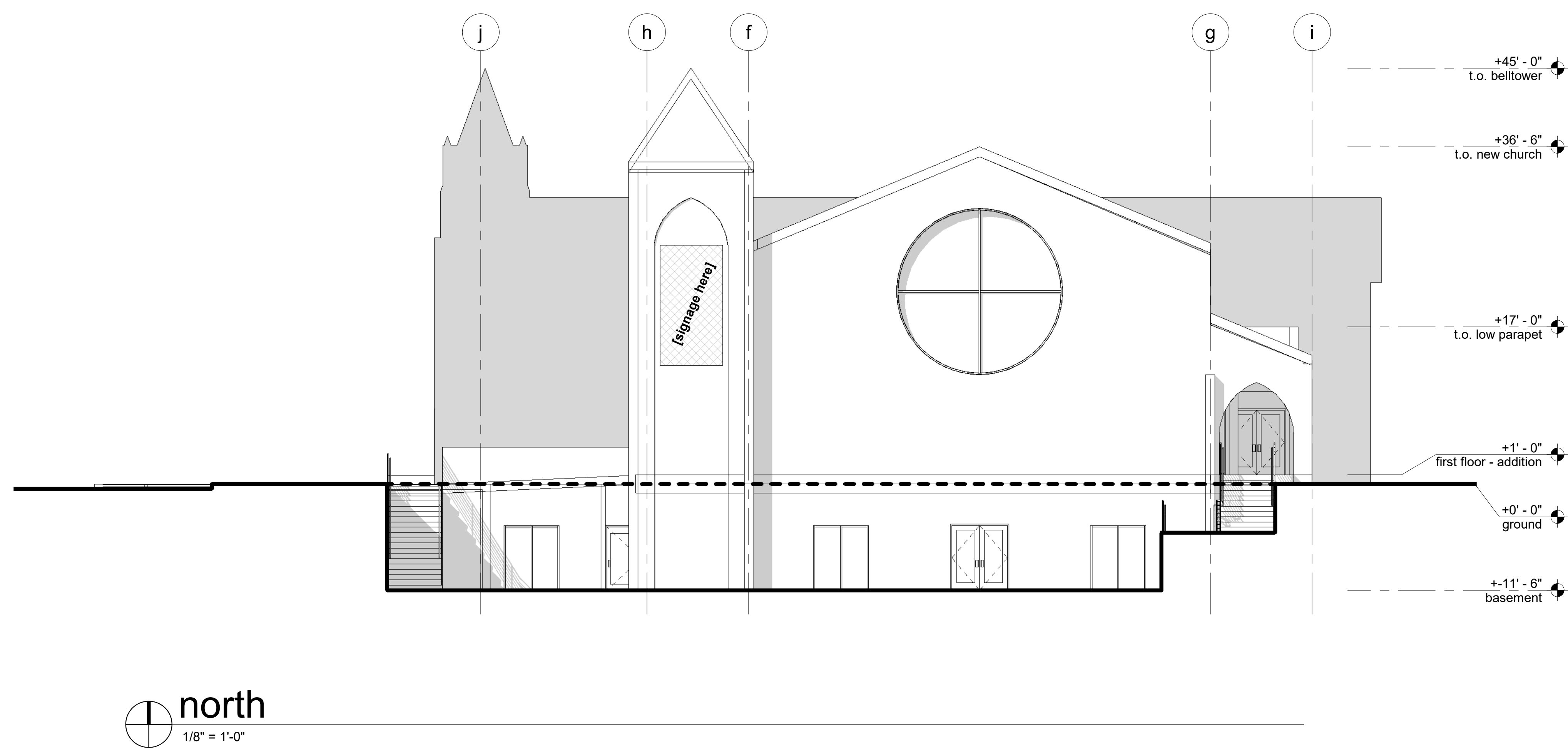
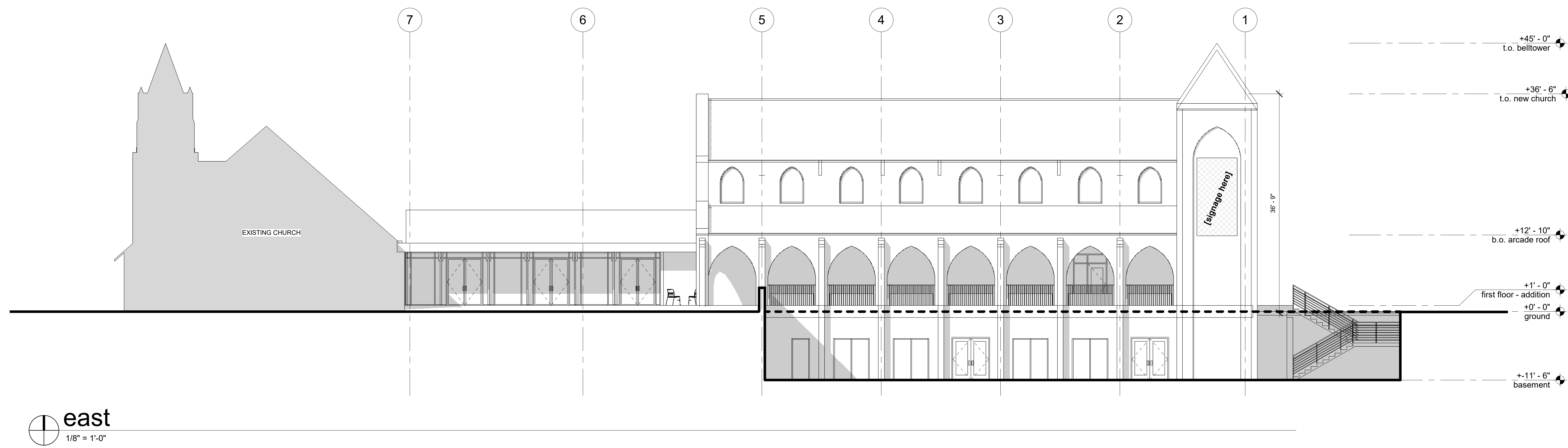
| revision: | | |
|-----------|-------|------|
| no. | desc. | date |
| | | |

project: 230706
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pud application

exterior elevations

a3.11



keynote

general notes

A. DO NOT SCALE HATCH PATTERNS. FOR MATERIAL REPRESENTATION ONLY.

B. PAINT ALL EXPOSED ROOF PENETRATIONS TO MATCH ROOF.

C. EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALLS AND PANELS, AT PENETRATIONS OF UTILITY SERVICE THROUGH WALLS, FLOORS, AND ROOFS, AND ALL OTHER SUCH OPENINGS INTO BUILDING SHALL BE SEALED, CAULKED, GASKETED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN CLOSED POSITION.

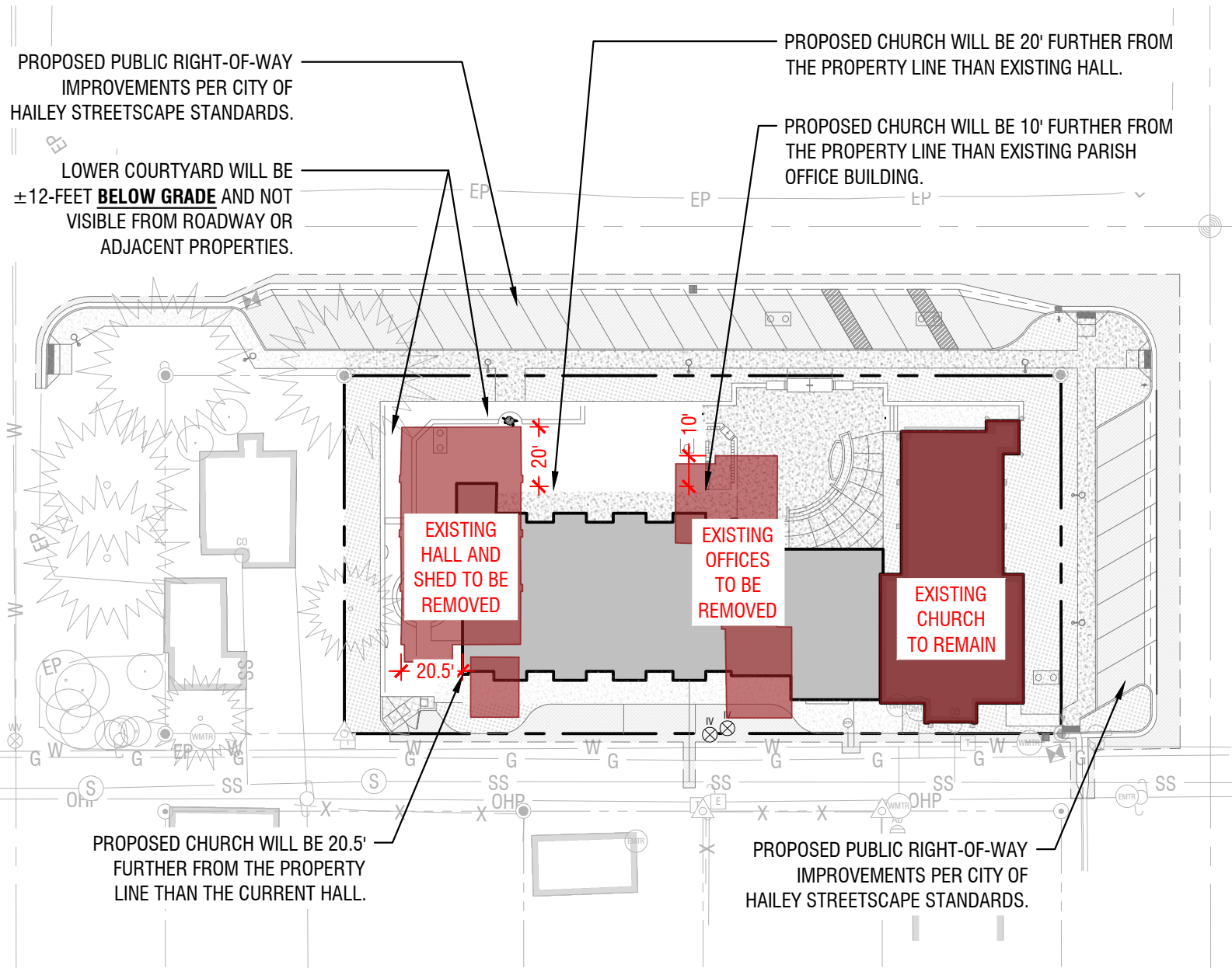


Existing vs. Proposed Comparison

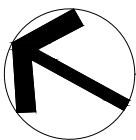
Community Open House Follow-Up

St. Charles Borromeo Catholic Church

EX-1

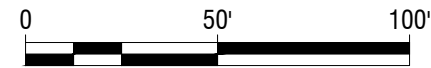


File Location: g:\2021\121154\acad\temp\121154 scb proposed vs existing exhibit.dwg
Last Plotted By: chad lorenzen
Date Plotted: Friday, December 13 2024 at 11:30 AM



Existing vs. Proposed Comparison

Horizontal Scale: 1" = 50'



Project No.: 121154
Date of Issuance: 12/13/2024