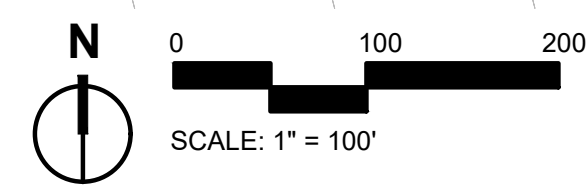


# SUNBEAM SUBDIVISION & PARK PHASE 2

## HAILEY, ID



### PROJECT INFORMATION

**OWNER**  
MARATHON PARTNERS LLC  
PO BOX 3118  
KETCHUM, ID 83340

**LEGAL DESCRIPTION**  
SEC 9 & 10 2N 18E

**PARCEL NUMBER**  
RPH2N18009069A

**ZONING / LANDUSE**  
LR-1

**LOT SIZE**  
92 ACRES

### PROJECT TEAM

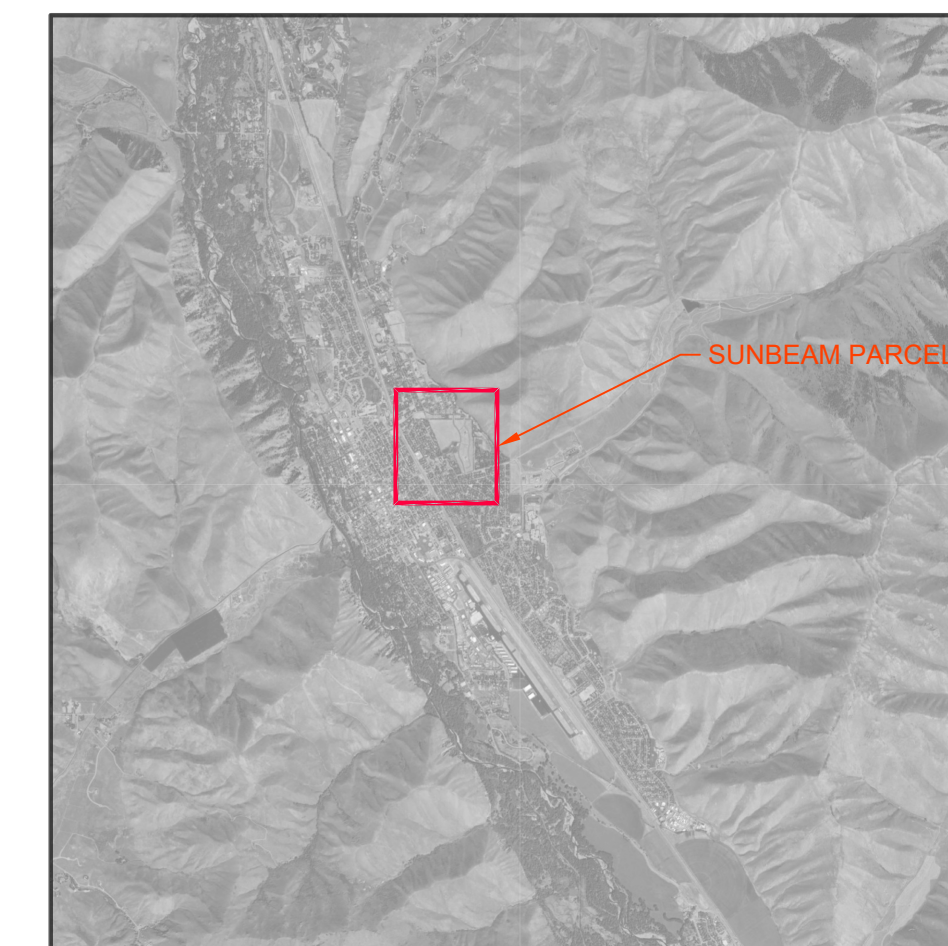
**LANDSCAPE ARCHITECT**  
BYLA  
323 N. LEWIS STREET  
KETCHUM, ID 83340

**CIVIL ENGINEER**  
OPAL ENGINEERING, PLLC  
101 E BULLION STREET, STE 3E  
PO BOX 2530  
HAILEY, IDAHO 83343

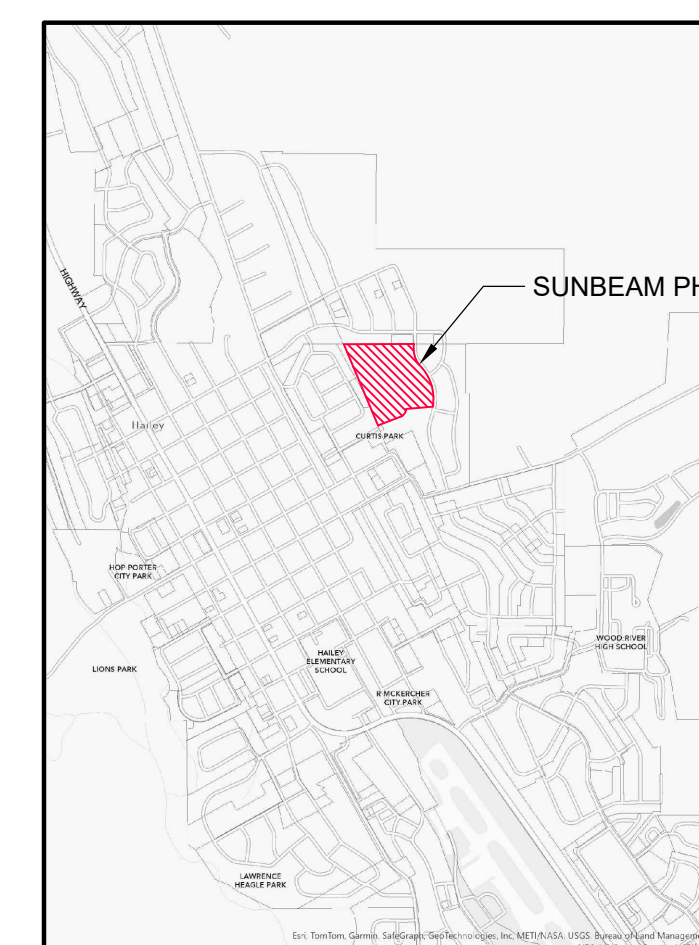
### SHEET INDEX

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GRADING AND DRAINAGE SOUTH	L2.1
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### VICINITY MAP



### SITE LOCATOR



### GENERAL NOTES

- WORK PERFORMED SHALL COMPLY WITH GENERAL NOTES, CONSTRUCTION DOCUMENTS, APPLICABLE LOCAL, STATE, AND FEDERAL CODES, AND APPLICABLE REQUIREMENT FROM ANY REGULATORY AGENCY.
- COMPOSITE BASE SHEET:** THE PROPOSED IMPROVEMENT SHOWN ON THESE DRAWINGS ARE SUPERIMPOSED ON A BASE SHEET. THIS BASE SHEET IS COMPILED FROM THE TOPOGRAPHIC SURVEY, OTHER ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS, AND OTHER DATA AS MADE AVAILABLE TO THE LANDSCAPE ARCHITECT. THIS BASE SHEET INFORMATION IS SHOWN IN HALF TONE ON THE PLANS. THE LANDSCAPE ARCHITECT SHALL NOT BE HELD LIABLE FOR CHANGES, INACCURACIES, OMISSIONS, OR OTHER ERRORS ON THESE DOCUMENTS. THE COMPOSITE BASE SHEET IS PROVIDED AS AN AID ONLY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS AND INCORPORATING/INTEGRATING ALL CONSTRUCTION AS REQUIRED TO ACCOMMODATE SAME.
- BASE SHEET DRAWINGS:** THE BASE SHEET SOURCE FOR THESE DRAWINGS IS: "22001-PPLAT PH 2.dwg", "Sunbeam Phase 2.dwg", "Sunbeam Utilities.dwg", ALL MADE AVAILABLE BY OPAL ENGINEERING AND ARE ASSUMED TO BE CORRECT.
- VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS.
- IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
- EXISTING SURVEY MARKER PROTECTION:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS OR MARKERS DURING CONSTRUCTION.
- ENGINEERING DRAWINGS:** REFER TO ENGINEER'S PLANS FOR UTILITY LOCATION, DRAINAGE AND GRADING INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN PLANS, CONTRACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
- EXISTING DRAINAGE PROTECTION:** THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE AND SEWER FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE AND SEWER IMPROVEMENT ARE IN PLACE AND FUNCTIONING.
- EXISTING UTILITIES:** CONTRACTOR IS RESPONSIBLE TO "CALL BEFORE YOU DIG".
- STORM WATER PERMIT:** A STORM WATER PERMIT MUST BE OBTAINED WHEN CONSTRUCTION ACTIVITY RESULTS IN SOIL DISTURBANCE AS DETERMINED BY LOCAL CODE. DRAINAGE SHOWN IS FOR SURFACE DRAINAGE ONLY. FOUNDATION AND ROOF DRAINAGE BY OTHERS. DRYWELL SIZING, PER ENGINEER.
- GRADING INTENT:** PROPOSED CONTOURS AND SPOT ELEVATIONS ON PLANS ARE CONCEPTUAL AND SHOWN FOR DESIGN PURPOSES ONLY. LANDSCAPE ARCHITECT TO VERIFY FINAL GRADING ONSITE WITH CONTRACTOR, PRIOR TO BEGINNING CONSTRUCTION.
- WALL VERIFICATION:** CONTRACTOR TO VERIFY TOP AND BOTTOM OF WALL ELEVATIONS, WALL HEIGHT AND LOCATION ONSITE WITH LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- ALL FOUNDATIONS AND FOOTINGS, TO BE VERIFIED BY ENGINEER PRIOR TO CONSTRUCTION.
- TREE DAMAGE MITIGATION:** WHEN EXCAVATION NEAR A TREE TO BE PROTECTED MUST BE CARRIED OUT, DAMAGE CAN BE LIMITED BY ROOT PRUNING. ROOT PRUNING SHALL BE COMPLETED BEFORE GRADING IS STARTED AND SHALL OCCUR BENEATH THE PROTECTIVE FENCING AS SHOWN ON THE PLAN. ROOT PRUNING SHALL BE PERFORMED, WHEN REQUIRED, WITH A TRENCHER SUCH AS A TELEPHONE CABLE PULLER OR A "DITCH WITCH" PRIOR TO ADJACENT EXCAVATION. THE TRENCHING SHALL BE TO A MINIMUM DEPTH OF 24" OR THE DEPTH OF EXCAVATION. THE CONTRACTOR SHALL STAKE THE LIMIT OF ROOT PRUNING AS PER THE PLAN. LIMITS OF TRENCHING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY TRENCHING IN THE FIELD. DO NOT TRENCH FOR IRRIGATION OR ELECTRICAL WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.

LANDSCAPE DRAWINGS FOR CITY APPROVAL

SUNBEAM SUBDIVISION PH. 2  
HAILEY, ID

PRINCIPAL: BY  
PROJECT MANAGER: SH  
DRAWN BY: DO  
ISSUE DATE: 02/06/2026

COVER SHEET

SHEET NO.  
**L0.0**

**BYLA**  
LANDSCAPE ARCHITECTS  
323 Lewis | Ketchum, ID  
(208) 726 5907 • (208) 720 0215  
www.byla.us

ISSUE 7 02/06/26 FOR CITY OF HAILEY APPROVAL REVISIONS

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BYLA Landscape Architects



**SUNBEAM PARK**

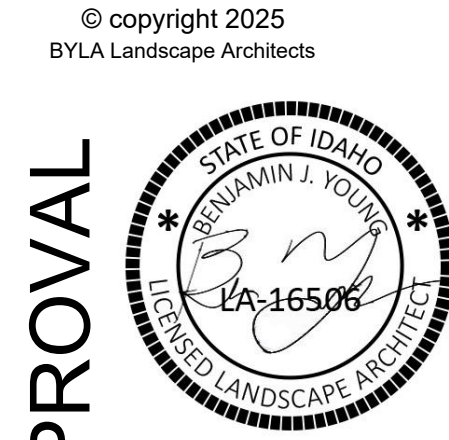
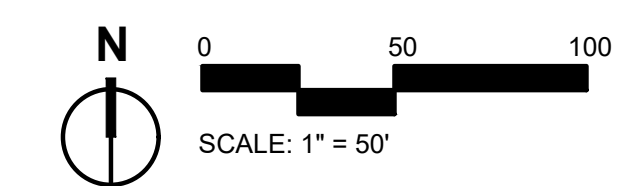
**PHASE 2**

- ① RESTROOM ENCLOSURE
- ② PICNIC PAVILION
- ③ AMENITIES + CONNECTION PATH
- ④ BENCH SEATING AREAS
- ⑤ FUTURE PLAY AREA (PREP SITE)
- ⑥ SWING SET PLAY AREA
- ⑦ RECREATIONAL LAWN
- ⑧ NATURAL PLANTING AREAS

- HARDSCAPE- OUT OF SCOPE
- COMPLETED WORK

LINE TYPE LEGEND	
SYMBOL	DESCRIPTION
	Property/Parcel Line
	Easement
	Match Line
	Limit of Disturbance
	Existing Contours
	Proposed Contours

**SITE OVERVIEW NOTES:**  
 1. SITE OVERVIEW SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND NOT FOR CONSTRUCTION. SEE SHEET SERIES L2.0, L3.0, L4.0, L5.0, L6.0, L7.0, S1.0, S2.0 AND S3.0 FOR CONSTRUCTION DOCUMENTATION



**LANDSCAPE DRAWINGS FOR CITY APPROVAL**

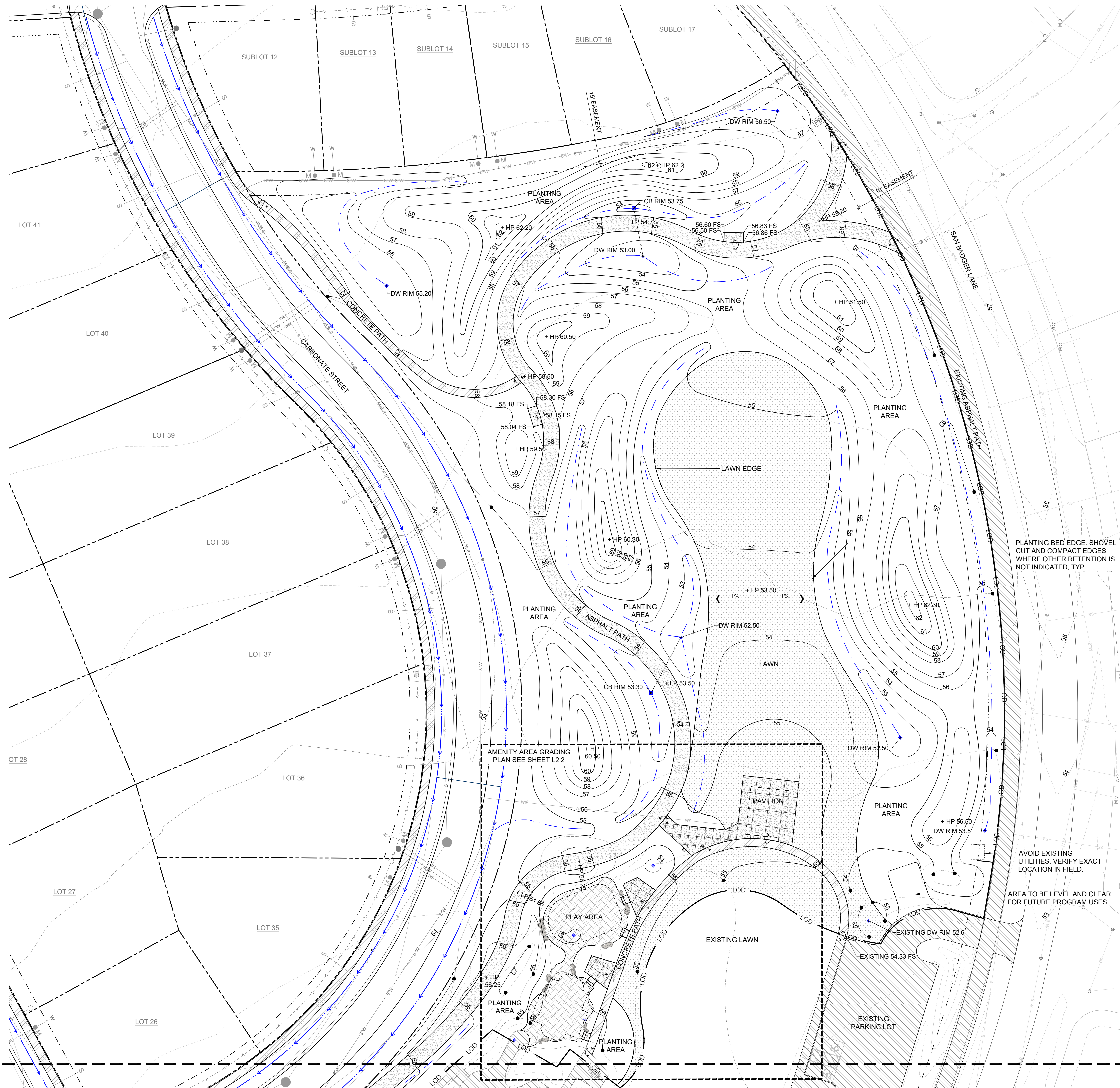
**SUNBEAM SUBDIVISION PH. 2**  
**HAILEY, ID**

PRINCIPAL: BY  
 PROJECT MANAGER: SH  
 DRAWN BY: DO  
 ISSUE DATE: 02/06/2026

**PARK SITE OVERVIEW**

SHEET NO.

**L1.0**



DRAINAGE LEGEND		
SYMBOL	DESCRIPTION	NOTES
	Drainage Swale / Drainage	Indicates direction of drainage within Park
	Catch Basin (CB)- By Others	Refer to Engineering Drawings
	Dry Well (DW)- By Others	Refer to Engineering Drawings
	Storm Drain Pipe- By Others	Refer to Engineering Drawings
	Drainage Swale- By Others	Refer to Engineering Drawings

LINE TYPE LEGEND	
SYMBOL	DESCRIPTION
	Property/Parcel Line
	Setbacks / Easements
	Match Line
	Limit of Disturbance
	Existing Contours
	Proposed Contours

GRADING ABBREVIATIONS	
SYMBOL	DESCRIPTION
FS	Finished Surface
TSL	Top of Slab
HP	High Point
LP	Low Point
CB	Catch Basin
DW	Dry Well
LOD	Limit of Disturbance
X X	Flush

UTILITY LINE LEGEND	
SYMBOL	DESCRIPTION
	Gas Line
	Water Line
	Sewer Line
	Power Line
	Communications (TV/Telephone)

COMPLETED WORK- PRESERVE AND PROTECT

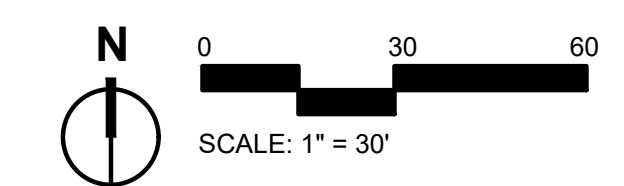
**GRADING NOTES**

- REFER TO ENGINEER'S PLANS AND SURVEY FOR UTILITY LOCATION, DRAINAGE AND GRADING INFORMATION. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS OR IF THERE ARE DISCREPANCIES BETWEEN PLANS, CONTACT LANDSCAPE ARCHITECT FOR DIRECTION PRIOR TO INITIATING CONSTRUCTION.
- CLEAR AND GRUB:** ALL EXISTING VEGETATION WITHIN NEW PLANTING AREAS SHALL BE REMOVED, UNLESS OTHERWISE INDICATED, AS REQUIRED FOR THE SITE CONSTRUCTION, IRRIGATION AND PLANTING OPERATIONS. LIMITS OF CLEARING SHALL BE REVIEWED WITH THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. STRIP ALL ORGANIC MATTER TO A SUFFICIENT DEPTH TO COMPLETELY REMOVE SUCH MATERIAL.
- DAMAGED VEGETATION:** SHALL BE REPLACED BY CONTRACTOR WITH APPROVED SIMILAR MATERIAL AT NO COST TO OWNER.
- EXISTING SURVEY MARKER PROTECTION:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS OR MARKERS DURING CONSTRUCTION.
- EXISTING DRAINAGE PROTECTION:** THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE AND SEWER FACILITIES WITH THE CONSTRUCTION AREA UNTIL NEW DRAINAGE AND SEWER IMPROVEMENT ARE IN PLACE AND FUNCTIONING.
- EXISTING PLANTS TO REMAIN:** PROTECT ALL EXISTING PLANT MATERIAL TO REMAIN. CONTRACTOR TO REPAIR ANY DAMAGE INCURRED AS A DIRECT RESULT OF THIS CONTRACT TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.
- GRADING INTENT:** PROPOSED CONTOURS AND SPOT ELEVATIONS ON PLANS ARE CONCEPTUAL AND SHOWN FOR DESIGN PURPOSES ONLY. LANDSCAPE ARCHITECT TO VERIFY FINAL GRADING ONSITE WITH CONTRACTOR, PRIOR TO BEGINNING CONSTRUCTION. REFER TO ARCHITECTURAL OR ENGINEER'S PLANS FOR ALL FINISHED FLOOR ELEVATIONS (FFE). REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- RELATIVE FINISH GRADE:** 1" BELOW FINISH PAVING SURFACE IN LAWN AREAS AND 2" BELOW IN PLANTING AREAS
- TREE DAMAGE PREVENTION:** WHEN EXCAVATION NEAR A TREE TO BE PROTECTED MUST BE CARRIED OUT, DAMAGE CAN BE LIMITED BY ROOT PRUNING. ROOT PRUNING SHALL BE COMPLETED BEFORE GRADING IS STARTED AND SHALL BE PERFORMED WHEN REQUIRED, WITH TRENCHER SUCH AS A TELEPHONE CABLE PULLER OR A "DITCH WITCH" PRIOR TO ADJACENT EXCAVATION. THE TRENCHING SHALL BE TO A MINIMUM DEPTH OF 24" OR THE DEPTH OF EXCAVATION. THE CONTRACTOR SHALL STAKE THE LIMIT OF ROOT PRUNING AS PER THE PLAN. LIMITS OF TRENCHING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY TRENCHING IN THE FIELD. DO NOT TRENCH FOR IRRIGATION OR ELECTRICAL WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.
- NEW VEGETATION PROPOSED AS AN EROSION CONTROL METHOD FOR DISTURBED OR GRADED LAND SHALL BE MAINTAINED UNTIL ESTABLISHED TO ADEQUATELY PREVENT EROSION.**
- WALL VERIFICATION:** CONTRACTOR TO VERIFY TOP & BOTTOM OF WALL ELEVATIONS, WALL HEIGHT AND LOCATION ON-SITE WITH LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- LIMIT OF DISTURBANCE / CONSTRUCTION:** DELINEATE WITH GREEN CONSTRUCTION FENCING AS NECESSARY.
- REVEGETATION, SEED, AND FERTILIZATION:** SEE SHEET L5.0, PLANTING SCHEDULES AND NOTES.
- IRRIGATION:** SEE SHEET L7.0, IRRIGATION NOTES

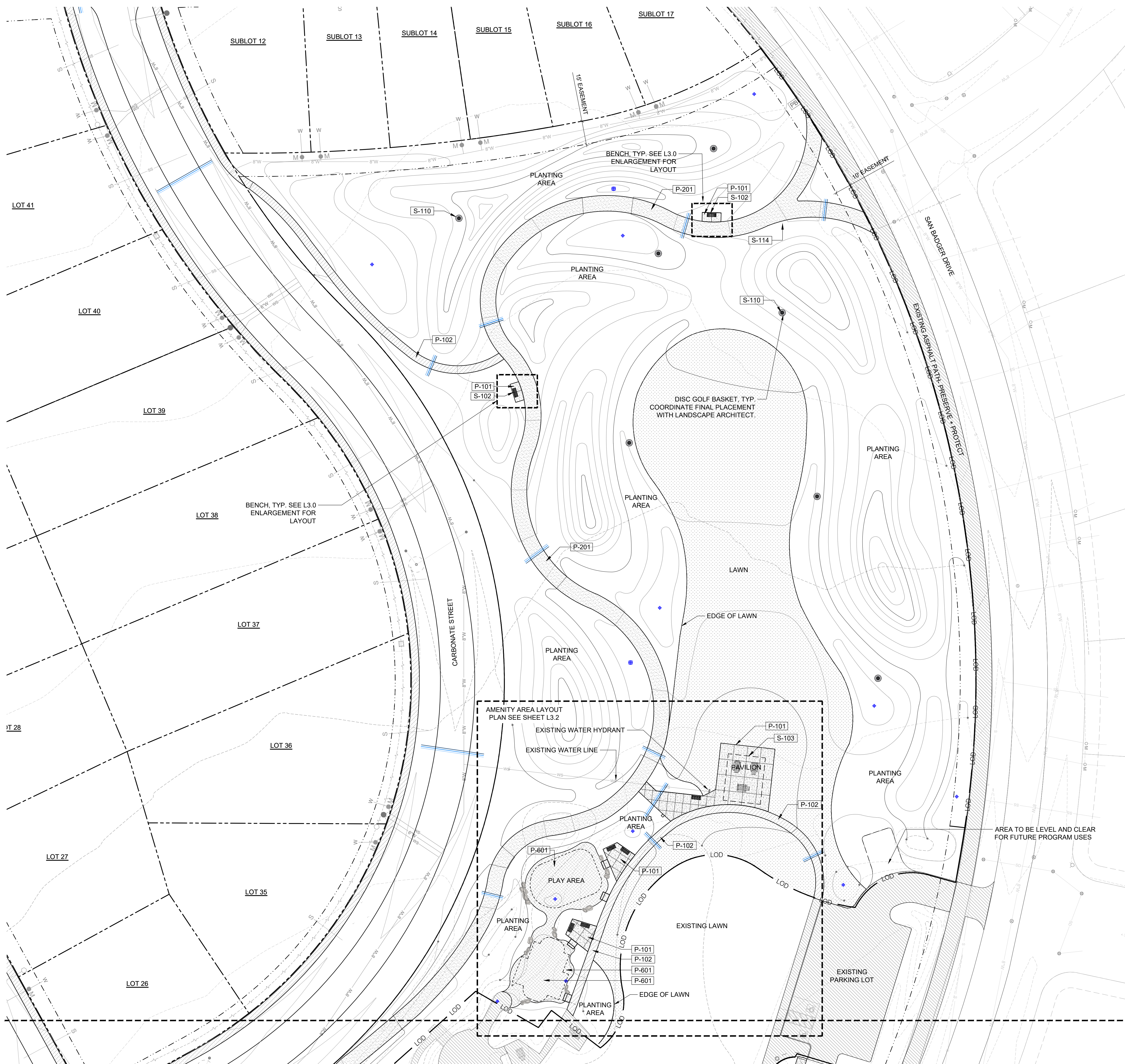
**EROSION CONTROL / SWPPP NOTES**

- CONSTRUCTION MANAGEMENT PLAN:** SEE ENGINEERING SET
- DUST CONTROL:** USE WATER TRUCK AS NEEDED TO SPRAY SITE WITH WATER FOR DUST CONTROL.
- SITE VEHICLE CLEANLINESS:** ALL CONSTRUCTION TRAFFIC SHALL HAVE TIRES INSPECTED FOR MUD, SAND, AND GRAVEL PRIOR TO LEAVING SITE. ANY MATERIAL SHALL BE REMOVED PRIOR TO ENTERING CITY STREETS.
  - PRE CONSTRUCTION BMP:** JULY 2025
  - BMPs INCLUDE SILT FENCE AND STRAW WATTLE. ALL SITE ACCESS POINTS SHALL HAVE STABILIZED CONSTRUCTION ENTRANCE WITH GEOTEXTILE FABRIC AND LARGER SIZE AGGREGATE FOR TIRE CLEANOFF.
  - SILT FENCE SHALL BE INSTALLED PRIOR TO ANY WORK AND REMAIN IN PLACE UNTIL SEED IS ESTABLISHED
- POST CONSTRUCTION BMP:** JANUARY 2027
  - ALL DISTURBED AREAS TO BE STABILIZED WITH NATURAL GRASS, LAWN GRASS, SHRUBS, AND PERENNIALS.
  - ALL DISTURBED AREAS SHALL BE SEEDED WITH NATURAL GRASS AND PLANTINGS.
  - ALL DISTURBED, REVEGETATED, AND LANDSCAPE AREA TO BE IRRIGATED WITH AUTOMATIC UNDERGROUND SYSTEM
- SITE SLOPE MANAGEMENT:** ALL SLOPES GREATER THAN 3:1 TO RECEIVE FLEXTERRA HIGH PERFORMANCE-FLEXIBLE GROWTH MEDIUM (HP-FGM), APPLIED AS PER MANUFACTURER RECOMMENDATIONS.
- SITE VEGETATION MANAGEMENT:** A PLANTAGO-BASED TACKIFIER OR SIMILAR (NONTOXIC AND FREE OF PLANT-GROWTH OR GERMINATION INHIBITORS) APPROVED PRODUCT SHALL BE APPLIED ON ALL MULCH AT THE RATE OF 150 LBS PER ACRE.
- SITE SEEDING PLAN:** IMMEDIATELY FOLLOWING SEEDING OPERATIONS OF SPECIFIC ZONES, THE AREAS SHALL BE PROTECTED FROM TRAFFIC OR OTHER ACTIVITIES, EXCEPT WEED CONTROL. WATER NEWLY PLANTED AREAS AND KEEP MOIST UNTIL ESTABLISHED.
- SEE ABOVE FOR ADDITIONAL EROSION CONTROL AND REVEGETATION INFORMATION.
- SEE SHEET L5.0 FOR SEED PLANTS, PLANTING BED PREPARATION, MAINTENANCE, AND IRRIGATION INFORMATION.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY

NORTH PARK  
SOUTH PARK







**MATERIALS SCHEDULE**

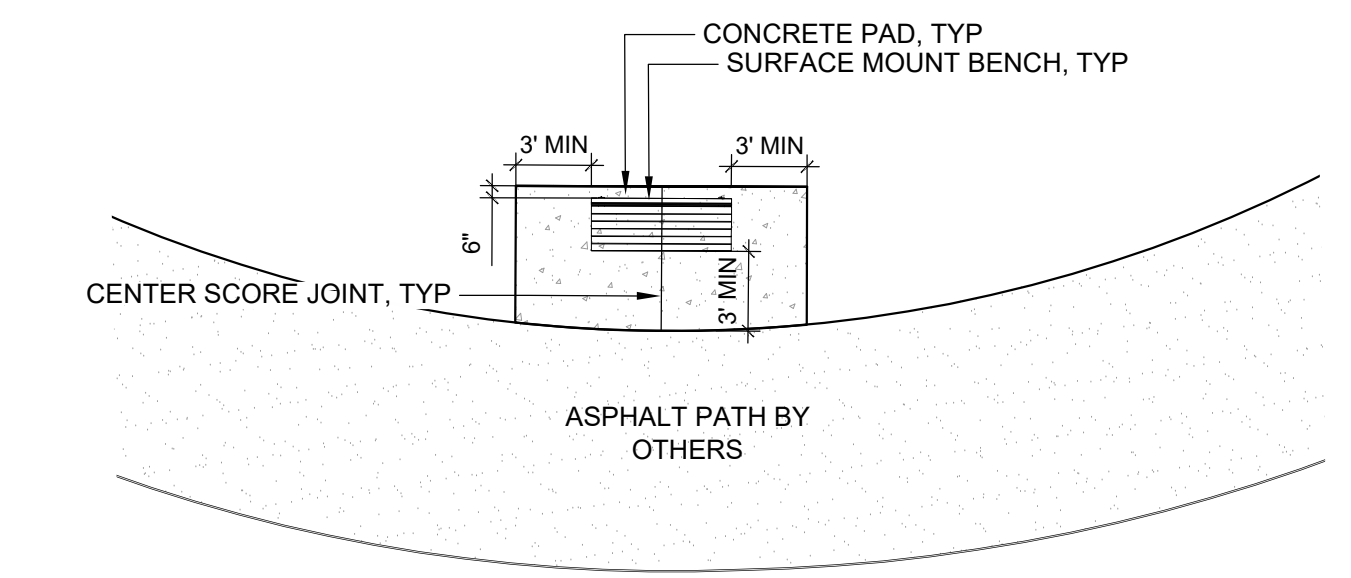
SYMBOL	CODE	DESCRIPTION	MATERIAL
<b>02 EXISTING CONDITIONS</b>			
[Hatched Box]	02-01	EXISTING HARDSCAPE	
<b>PAVING</b>			
[Dotted Box]	P-101	CONCRETE PAVING	C.I.P. Concrete
[Cross-hatched Box]	P-102	CONCRETE- BY OTHERS	
<b>ASPHALT</b>			
[Diagonal Line Box]	P-201	ASPHALT PATH- BY OTHERS	Asphalt
<b>WOOD</b>			
[Wood Grain Box]	P-601	ENGINEERED WOOD FIBER	Engineered Wood Fiber

**SITE FURNISHINGS SCHEDULE**

CODE	DESCRIPTION
S-101	SWING SET
S-102	BENCH WITH BACK
S-103	PARK PAVILION
S-104	RESTROOM ENCLOSURE
S-105	PICNIC TABLE
S-106	PICNIC TABLE- ADA
S-107	DRINKING FOUNTAIN
S-108	TRASH CONTAINER
S-109	BIKE RACK
S-110	DISC GOLF BASKETS
S-112	BOULDERS
S-113	RUBBER MAT
S-114	DOG WASTE STATION

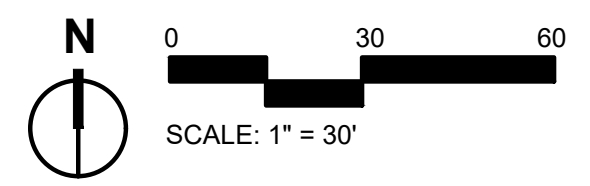
LINE TYPE LEGEND	
SYMBOL	DESCRIPTION
[Solid Line]	Property/Parcel Line
[Dashed Line]	Easement
[Dotted Line]	Limit of Disturbance
[Thick Dashed Line]	Match Line
[Dotted Line]	Existing Contours
[Dotted Line]	Proposed Contours
[Blue Line]	Irrigation Scheduling by Others

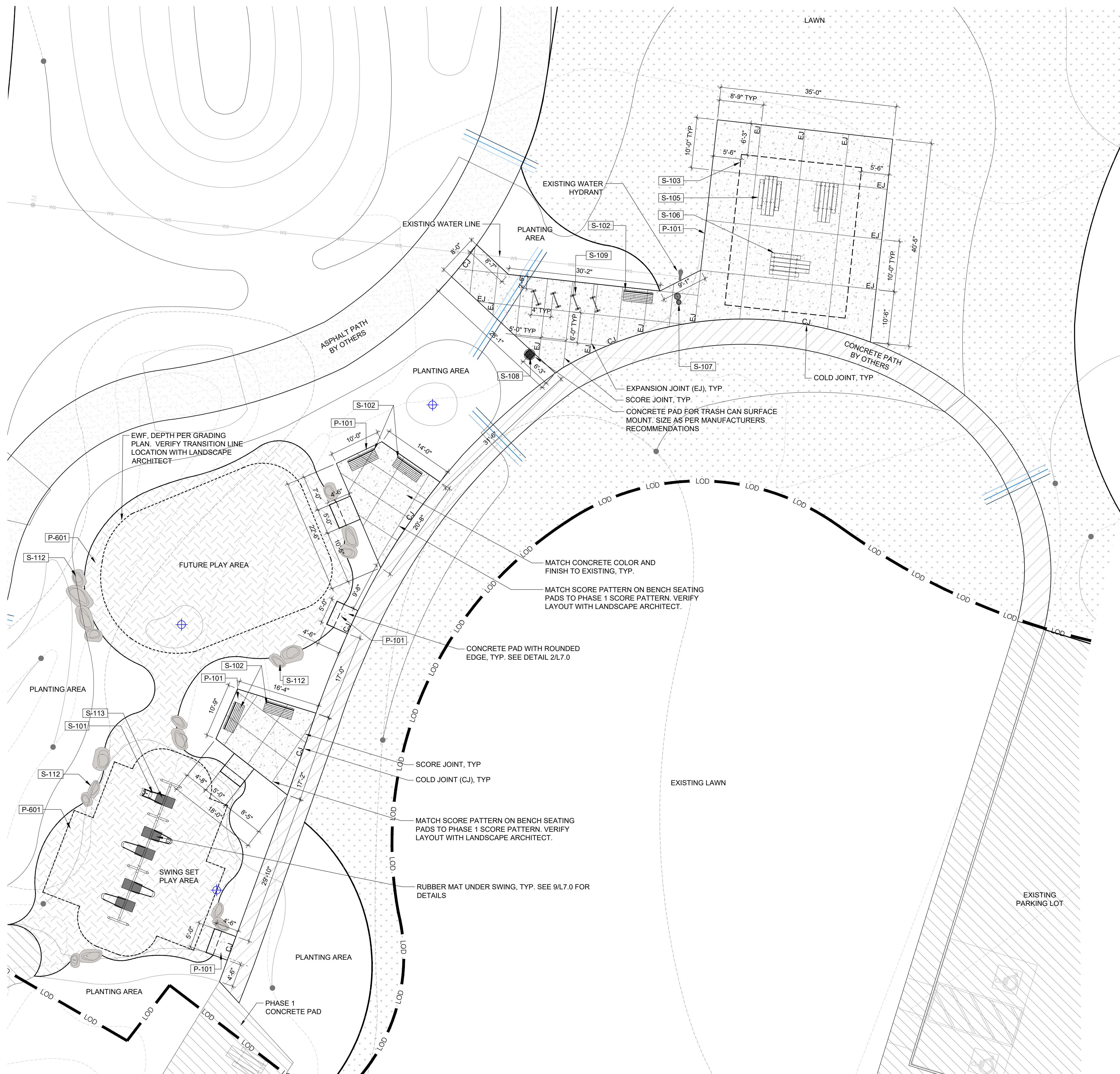
NOTES:  
1. SEE L3.1 FOR FULL FURNISHING SCHEDULE



1 BENCH LAYOUT, TYP Scale: 1.5"=1'

NORTH PARK  
SOUTH PARK





1 SITE FURNISHINGS AND LAYOUT PLAN

Scale: 1"=10'

**MATERIALS SCHEDULE**

SYMBOL CODE DESCRIPTION

02 EXISTING CONDITIONS  
[Symbol] 02-01 EXISTING HARDSCAPE

SYMBOL CODE DESCRIPTION MATERIAL

PAVING  
[Symbol] P-101 CONCRETE PAVING C.I.P. Concrete  
[Symbol] P-102 CONCRETE- BY OTHERS

ASPHALT  
[Symbol] P-201 ASPHALT PATH- BY OTHERS Asphalt

WOOD  
[Symbol] P-601 ENGINEERED WOOD FIBER Engineered Wood Fiber

**SITE FURNISHINGS SCHEDULE**

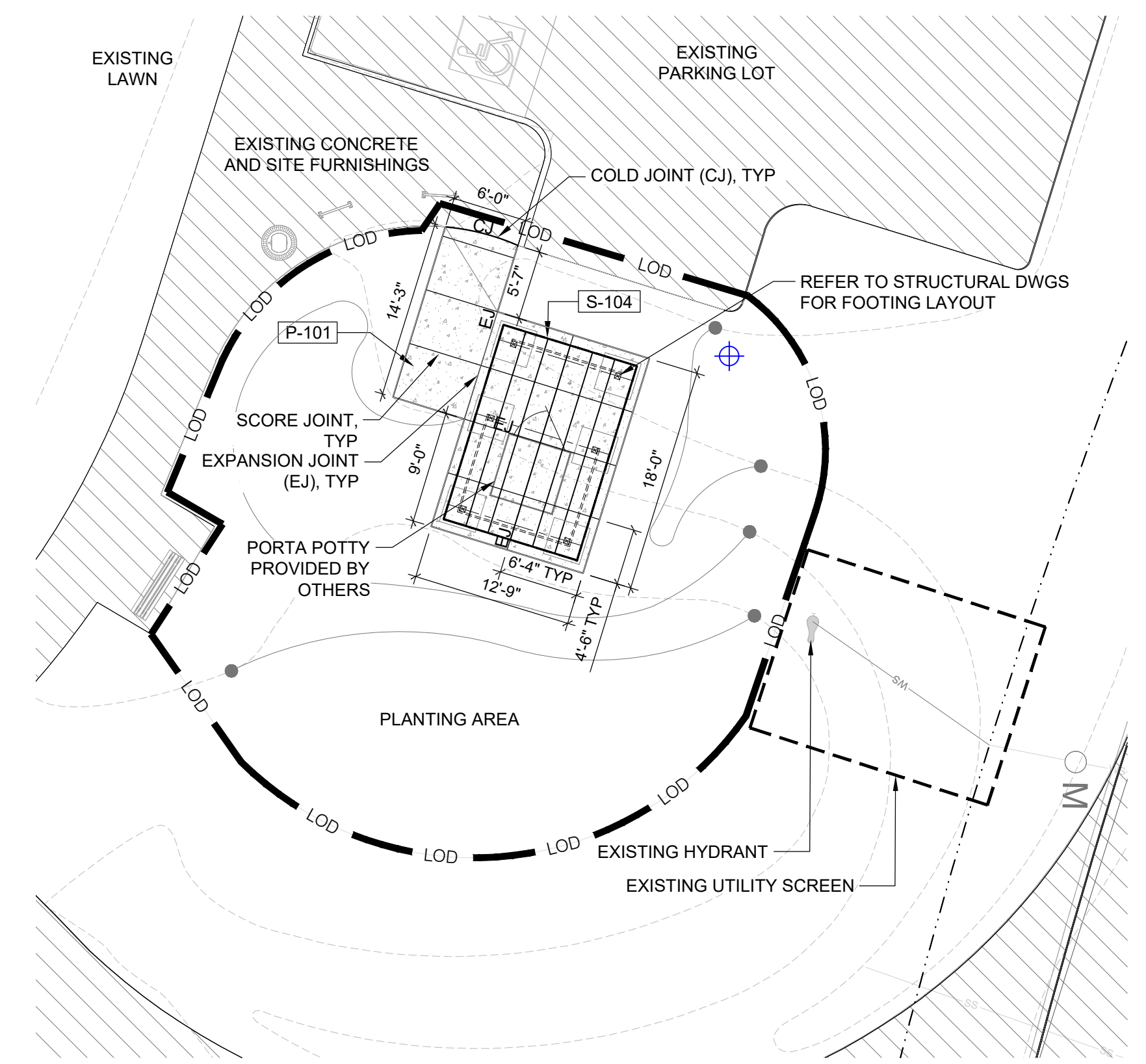
CODE DESCRIPTION

- [Symbol] S-101 SWING SET
- [Symbol] S-102 BENCH WITH BACK
- [Symbol] S-103 PARK PAVILION
- [Symbol] S-104 RESTROOM ENCLOSURE
- [Symbol] S-105 PICNIC TABLE
- [Symbol] S-106 PICNIC TABLE- ADA
- [Symbol] S-107 DRINKING FOUNTAIN
- [Symbol] S-108 TRASH CONTAINER
- [Symbol] S-109 BIKE RACK
- [Symbol] S-110 DISC GOLF BASKETS
- [Symbol] S-112 BOULDERS
- [Symbol] S-113 RUBBER MAT
- [Symbol] S-114 DOG WASTE STATION

NOTES:  
1. SEE L3.1 FOR FULL FURNISHING SCHEDULE

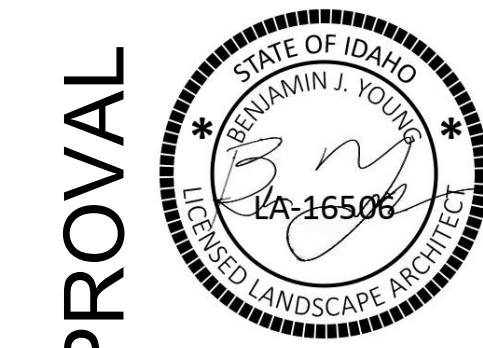
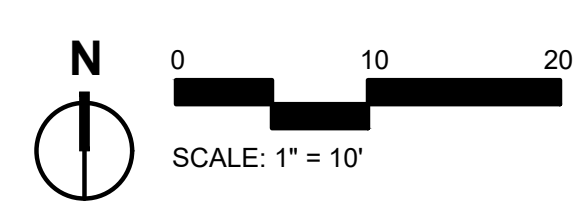
**LINE TYPE LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	Property/Parcel Line
[Symbol]	Easement
[Symbol]	Limit of Disturbance
[Symbol]	Match Line
[Symbol]	Existing Contours
[Symbol]	Proposed Contours
[Symbol]	Irrigation Sleeving by Others



2 RESTROOM ENCLOSURE LAYOUT PLAN

Scale: 1"=10'



LANDSCAPE DRAWINGS FOR CITY APPROVAL  
SUNBEAM SUBDIVISION PH. 2  
HAILEY, ID

PRINCIPAL: BY  
PROJECT MANAGER: SH  
DRAWN BY: DO  
ISSUE DATE: 02/06/2026

**SITE MATERIALS AND LAYOUT PLAN**

SHEET NO.





**DE-COMPACTION AREAS**  
207,000 SF

**PLANTING BED AREAS TO RECEIVE 8" TOPSOIL**  
8,897 SF

**ALL OTHER LANDSCAPE AREAS TO RECEIVE 4" TOPSOIL**  
198,103 SF

**DE-COMPACTION:** SUBSOILING IN PLANTING AREAS SHOULD BE PERFORMED AS REQUIRED, AT A DEPTH OF 12-24 INCHES IN SUCH A MANNER AS WILL FRACTURE COMPACTED SOIL WITHOUT ADVERSELY DISPLACING SURFACE SOIL, OR DISTURBING PLANT LIFE. TOPSOIL AND SURFACE RESIDUE. MULTIPLE PASSES AT VARYING ANGLES ARE REQUIRED TO ENSURE SUITABILITY FOR GROWTH. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE WITH A ROTO-TILLER TO BREAK UP ANY LARGE CLUMPS TO MAKE FINAL GRADING EASIER. PROPER EQUIPMENT, AND METHOD ARE CRITICAL.

LINE TYPE LEGEND	
SYMBOL	DESCRIPTION
---	Property/Parcel Line
- - - - -	Easements
---	Limit of Disturbance
---	Match Line
(---)	Existing Contours
XXXX	Proposed Contours
---	Irrigation Sleeving by Others



**LANDSCAPE DRAWINGS FOR CITY APPROVAL**

**SUNBEAM SUBDIVISION PH. 2  
HAILEY, ID**

PRINCIPAL: BY  
PROJECT MANAGER: SH  
DRAWN BY: DO  
ISSUE DATE: 02/06/2026

**DECOMPACTION  
PLAN**

SHEET NO.

**L5.7**

