

Agenda
HAILEY PLANNING & ZONING COMMISSION
April 18, 2022
Virtual and In-Person Meeting
5:30 p.m.

From your computer, tablet or smartphone: <https://meet.goto.com/CityofHaileyPZ>

Via One-touch dial in by phone: [tel:+15713173122,506287589#](tel:+15713173122,506287589)

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes twenty-seven (27) units in total, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units. Twenty-eight (28) onsite storage units and 27 onsite parking spaces are also proposed. The project will be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project will be known as Saddle Lofts. **ACTION ITEM.**

Public Hearing

PH 1 Continuation of a Design Review by Flowing Wells, LLC, for construction of a commercial building consisting of a 7,994 square foot warehouse with an attached 2,108 square foot showroom to be located at Lot 7H, Block 4, Airport West Subdivision (1930 Embraer Way) within the SCI Industrial (SCI-I) Zoning District. This project will be known as Sun Valley Auto Club. **ACTION ITEM.**

PH 2 Consideration of a Design Review Application by Kruger Industrial Smoothing, LLC, for construction of a new 2,400 square foot commercial building, to be located at Lot 11 and 12, Block 43, Woodside Subdivision, within the Light Industrial (LI) Zoning District. **ACTION ITEM.**

PH 3 Consideration of a City-Initiated Text Amendment to the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.02: Definitions, Section 17.02.020: Meaning of Terms or Words, to add the various definitions of solar energy systems to provide clarity and opportunity concerning the development of solar resources. **ACTION ITEM.**

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

- Memorandum to City Council: FY CIP and Capital Budget

SR 2 Discussion of the next Planning and Zoning meeting: **May 2, 2022.**

- Continuation of DR McCloud
- PUD & Pre-App: 40 McCkercher
- PP: Bullion Square

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 4, 2022, the Hailey Planning and Zoning Commission considered and approved the Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes a total of twenty-seven (27) units, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units. The project will be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project will be known as Saddle Lofts.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express on March 16, 2022 and mailed to property owners within 300 feet on March 16, 2022.

Background and Application: The Applicant, Kazuko-San ID, LLC, has submitted a Design Review Application for construction of three (3) multifamily residential buildings. Building A is approximately 2,817 square feet, Building B is approximately 2,823 square feet in size, and Building C is approximately 1,020 square feet in size. Within the three (3) buildings, a total of twenty-seven (27) residential units are proposed. These units comprise of various unit size: nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units on 0.53 acres (22,992 square feet).

If approved, the project would be located on the east side of River Street, on the corner of River Street and Empty Saddle Trail. The project is located within the Downtown Residential Overlay (DRO), and is proposing the following:

- Twenty-seven (27) onsite parking spaces, which will include:
 - Twenty-four (24) uncovered parking spaces:
 - Eighteen (18) standard spaces
 - One (1) accessible space
 - Five (5) compact spaces
 - Three (3) covered parking spaces:
 - One (1) accessible space
 - One (1) standard space
 - One (1) compact space
- Nine (9) improved public right-of-way parking spaces
- Nine (9) one-bedroom units (540-680 square feet in size)
- Ten (10) one-bedroom units with office space (702-707 square feet in size)
- Eight (8) two-bedroom units (842-873 square feet in size)
- Eleven (11) bicycle racks for a total of 22 bicycle parking spaces
- Storage lockers for each unit
- Approximately 3,490 square feet of common useable open space
- Public right-of-way, street tree and landscaping improvements
- Two (2) deed-restricted residential units equal to or less than 100% Area Median Income (AMI)

Parking for the proposed units will be accessed off of an internal shared drive that connects to the existing public street, Empty Saddle Trail. No alley exists; however, a utility easement exists along the

eastern property line and will be utilized as part of the internal drive. The internal drive will be 22' in width and the proposed onsite parking angles are at 90 degrees.

The buildings have been designed to face River Street (west) and Empty Saddle Trail (south). The parking area is located behind the buildings and takes advantage of the existing utility easement that cannot be built upon. The shape and position of the buildings create an elongated courtyard/open space between the parking area and the buildings, which supports various outdoor “rooms” for residents to enjoy. At the north (and sunniest) end of the open space, a play structure is proposed. Just to the south of this is an uncovered, paved gathering area with benches. The outdoor room located just south of this gathering area with benches, there will be another common area covered by a trellis structure, providing filtered light and more shade. At the southernmost edge of the open space, a more naturalized space with a bark path and pet-friendly area are proposed. The Applicant is proposing a total of 3,490 square feet of useable open space (2,299 square feet is required), which will be open to the public and will be available for use by all tenants.

The primary pedestrian entrances will be covered and are located off of River Street and Empty Saddle Trail. The entries to each unit will be accessed via a covered walkway/balcony system located along the rear sides of the building. The proposed buildings, in most places, are setback approximately five feet (5') from the sidewalks to allow for ample landscaping on private property.

The above design is cohesive with the surrounding zoning and uses, which consist of commercial, single-family, and multi-family residential uses.

Commission Feedback. On January 18, 2022, the Planning and Zoning Commission reviewed the Design Review Preapplication for Saddle Lofts. The Commission neither approved nor denied the proposal, but suggested the following:

- **Consider adding air conditioning units to each residential unit.** The Applicant will install a sleeve feature that allows for the installation of a portable air conditioning unit, which will not be visible from the outside of the building,
- **Consider incorporating two-bedroom units on the ground floor.** Structurally, it is easier to accommodate for the stacking of two-bedroom units on the upper floors. While the Applicant did not place two-bedroom units on the ground floor as suggested, three (3) of the one-bedroom units have been strategically converted to two-bedroom units to better accommodate for a couple, family and/or more than one (1) individual.
- **Consider utilizing lighter exterior colors, or lighter-colored shingles, to reduce the mass of the building.** The Applicant has lightened the exterior colors, as shown on the Materials Board. The corrugated metal siding is a rust color, the stucco siding is a beige color, the entry doors will be a penny, or burnt rust color. A lighter shingle, in Shakerwood, will be utilized for the roof.
- **Consider reducing the density to increase average bedroom size.** The Applicant has reduced the overall number of units by one (1). At the Design Review Preapplication hearing, the Applicant proposed a total of 28 residential units. This proposal includes a total of 27 residential units. While the reduction in unit count does not alter the bedroom size, ample bedroom closet and hallway closet space has been provided.

Procedural History: A Design Review Preapplication public hearing before the Planning and Zoning Commission of the project was held on January 18, 2022, in the Hailey City Council Chambers. The

Commission reviewed the project and provided suggestions, as noted herein. No decision was made. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on April 4, 2022, in the Hailey City Council Chambers and virtually via GoTo Meeting.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Streets, Water & Wastewater: <i>No comments</i>
				Building: <i>No comments</i>
				Streets: <i>No comments</i>
			City Arborist: <i>The Hailey Tree Committee met on March 10, 2022 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design as proposed.</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: <i>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</i>
			Staff Comments	<i>N/A, as no signage is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			Staff Comments	<i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i> <i>The project is comprised of three (3) apartment buildings with a total of twenty-seven (27) residential units. The site plan shows a total of 27 onsite parking spaces, of which, one (1) parking space is a standard accessible parking space, and one (1) parking space is a van accessible parking space. Additionally, the Hailey Municipal Code allows twenty-five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or six (6) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of six (6) spaces as compact spaces.</i> <i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units; however, if unimproved public right-of-ways are improved, this shall satisfy the guest parking requirement. The Applicant is proposing to improve the public right-of-way and off-street parking along River Street and Empty Saddle Trail. Nine (9) on-street parking spaces are proposed (along River Street and Empty Saddle Trail).</i> <i>The Commission found that all parking requirements for the proposed project have been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	A. Approval Required: <i>No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no</i>

				other application is pertinent, under the notice and hearing procedures set forth for design review.
			<i>Staff Comments</i>	<i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff Comments</i>	<i>The Applicant will install Dark Sky compliant, downcast and low wattage fixtures. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Business (B) and Townsite Overlay (TO) Zoning Districts:
			<i>Staff Comments</i>	<i>Building Height:</i> <ul style="list-style-type: none"> - Permitted Building Height: 35' (except for a building containing at least one residential unit, then the allowable height is 40'). - Proposed Building Height: +/- 35' <i>Building Setbacks:</i> <ul style="list-style-type: none"> - Required Setbacks: <ul style="list-style-type: none"> o Front Yard: 0' o Side Yards: 0' o Rear Yard: 0' - Proposed Setbacks: <ul style="list-style-type: none"> o Front Yard (River Street): 2-5 3/16" o Side Yard (north): 5'-1 1/2" o Side Yard (south): 3'- 5/8" o Rear Yard: 26'-8 5/16" <i>The Commission found that all setback and building height requirements have been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>The public right-of-way on River Street and adjacent to the project site is 70' in width, instead of a traditional 100' in width. As such, the River Street Typical Section has been modified to fit the site-specific conditions. These modifications, noted</i>

			<p>herein, have been discussed with and are acceptable to the Public Works Department.</p> <p>A new 8.8'-wide sidewalk is shown along the property frontage of River Street. This sidewalk is interspersed with four (4), 3.8'-wide planting strips. The minimum sidewalk width along River Street is five (5) feet. An eight (8) foot wide sidewalk with four (4) interspersed planting strips are proposed along the property frontage of Empty Saddle Trail. The minimum sidewalk width along Empty Saddle Trail is six (6) feet wide.</p> <p>The proposed planting strips have been sized to provide ample room for a landscape buffer, while also providing pedestrian opportunities to access the sidewalk from the street/parking space. The proposed perimeter sidewalks will connect to interior sidewalks and patio area, providing safe access and sufficient circulation around and through the site.</p> <p>The Commission discussed maintenance to the Public Right-of-Way and concurred with Staff that a Public Right-of-Way Maintenance Agreement be developed between the City and the Applicant wherein the Applicant shall maintain all infrastructure within the right-of-way. This has been made a Condition of Approval.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.070(B) Required Water System Improvements</p> <p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<p><i>Staff Comments</i> N/A. The Commission found that this standard has been met.</p>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			<i>Staff Comments</i>	<p>The buildings face River Street (to the west) and Empty Saddle Trail (to the south). Parking is located behind the buildings and take advantage of a utility easement that cannot be built upon. The shape and position of the buildings create an elongated courtyard/open space between the parking area and the buildings, which supports various outdoor "rooms" for residents to enjoy. At the north (and sunniest) end of the open space, a play structure is proposed. Just to the south of this is an uncovered, paved gathering area with benches. The outdoor room located just south of this gathering area with benches, there will be another common area covered by a trellis structure, providing filtered light and more</p>


				<p><i>shade. At the southernmost edge of the open space, a more naturalized space with a bark path and pet-friendly area are proposed. The primary pedestrian entrances face the public streets (west and south), will receive ample sunlight and will be covered to provide safe access. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			<i>Staff Comments</i>	<p><i>No mature, existing plant material exists onsite. Grasses, shrubs, weeds and two small, unmaintained trees will be removed prior to construction. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			<i>Staff Comments</i>	<p><i>Site circulation has been designed to keep vehicular access and onsite parking to the shared internal drive. New sidewalks are shown along the property frontages of River Street and Empty Saddle Trail, which will connect to internal sidewalks and pedestrian entrances, creating safe access to and through the site. The pedestrian entrances face the streets (west and south), will receive ample sunlight, and will be covered. The apartments will be accessed via a covered walkway/balcony system located along the rear sides of the building. Both a covered walkway and an uncovered path will provide access from the building to the proposed parking area. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			<i>Staff Comments</i>	<p><i>Trash receptacles, recycling and utility boxes are located to the rear of both the west and east wings along the eastern property line (see image below for further details). The trash enclosure will be partially enclosed with a removable fence in the event that utilities within the easement need to be accessed. A letter from Clear Creek Disposal commenting on accessibility of the proposed enclosure shall be provided. This has been made a Condition of Approval.</i></p>

				<p>Furthermore, a power box is located directly north of the dumpster enclosure. This power box and the trash enclosure do not interfere with each other and will be screened with vegetation, subject to Idaho Power clearance regulations. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p>
			<i>Staff Comments</i>	<p>N/A, as no alleys exist or are planned. The internal shared drive will be utilized for building services. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p>
			<i>Staff Comments</i>	<p>N/A, as no vending machines are proposed at this time. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			<i>Staff Comments</i>	<p>Onsite parking is located off of the proposed internal drive and to the rear of the building. A prominent entrance is proposed along River Street, and a secondary entrance is located along Empty Saddle Trail. All parking is screened from the street, buffered by buildings, landscaping and/or sidewalks.</p> <p>It is anticipated that snow will be hauled from the site, as the total number of dwelling units and onsite parking spaces proposed leave little space for snow storage. This has been made a Condition of Approval. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			<i>Staff Comments</i>	<p>The site is serviced by two public streets, River Street and Empty Saddle Trail. Onsite parking can be accessed from an internal shared drive, which is located behind the proposed buildings and is a single-approach off of Empty Saddle Trail. Primary pedestrian access can be achieved from River Street and Empty Saddle Trail. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>
			<i>Staff Comments</i>	<p>It is anticipated that snow will be hauled from the site, and no snow shall be stored within the proposed open space. This has been made a Condition of Approval. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p>

			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The proposal is for three (3) multifamily buildings of 27 dwelling units in the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. A variety of homes, single-family and multifamily, as well as commercial spaces, exist. These uses vary widely in size, shape and roofline. From the flat roofed, Albertson's Market (~36,600 square feet in size) to the single-story, steep-pitched roof cottage (~1,300 square feet in size) to the east, and the nearby movie theater, Big Wood Cinema (~12,903 square feet in size), the proposed buildings complement its surroundings. The multifamily buildings have a footprint of 7,424 square feet, which is substantially smaller than Albertson's and Big Wood Cinema. The design incorporates a variety of features, such as balconies, breezeways and/or pop-outs. The buildings have low-pitched, sloped roofs, consistent with a residential vernacular. The project has been designed as a collection of three (3) smaller buildings that are rectangular in shape, consistent with the surrounding buildings. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	<i>N/A, as the project is not a corporate design. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The proposed building design emphasizes human scale along the River Street façade by providing a generous landscaping buffer between the sidewalk and the building. The façade will also see directional siding, both horizontal and vertical, and a change in siding material at the second-floor level. Balconies, sunshades and eaves, pop-outs and trellis structure also reduce the mass and emphasize human scale. The primary entry from River Street is inviting, spacious and pedestrian-oriented.</i>

				 <p><i>While not the primary building elevations, the southern façade is spacious, providing for safe pedestrian access. Changing in siding materials, vertical planes, balconies, eaves and landscaping also encourage human interaction. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p><i>Staff Comments</i> The primary front façade faces River Street and includes various-sized windows, spacious pedestrian entrance, multiple building offsets, projections in the form of decks, roof eaves and sunshades, and exterior material changes at the second and third levels. The utilization of various materials, integration of undulation and exterior colors help to break up any large building surfaces. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>Staff Comments</i> N/A, as no future additions or renovations are planned at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p> <p><i>Staff Comments</i> A variety of materials will be used on the exterior of the buildings. A mix of corrugated metal siding (rust color), stucco siding (beige color), metal decks and sunshades (black color), natural wood gable vents, access balconies and trellises, and eaves are proposed (see the image above for further details).</p> <p>A Materials Sample Board has been provided and will be brought to the hearing. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p><i>Staff Comments</i> The exterior colors and materials proposed have been integrated into the architecture of the building and are similar to other buildings in the surrounding neighborhood. The colors are earthy in nature and will be harmonious with the neighboring brown, gray or burgundy, and brick-colored buildings. The stucco and metal materials will also complement the variety of materials found on the neighboring buildings. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p>

			<i>Staff Comments</i>	<i>N/A, as no flat roofs are proposed. The buildings will incorporate pitched roofs. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <p>i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</p> <p>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</p> <p>iii) Double glazed windows.</p> <p>iv) Windows with Low Emissivity glazing.</p> <p>v) Earth berming against exterior walls</p> <p>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</p>
			<i>Staff Comments</i>	<p><i>The Applicant has stated that they plan to minimize energy consumption by incorporating/utilizing the following:</i></p> <ul style="list-style-type: none"> - <i>South Facing Windows with Eave Coverage: At least 40% of the building's total glazing is oriented to the south, those which are oriented south and/or west are protected from the summer heat gain by adequate roof overhangs, and sun shades.</i> - <i>Double Glazed Windows: All windows will be, at a minimum, double glazed.</i> - <i>Low Emissivity Glazing: All windows will have low emissivity glazing.</i> - <i>An alternative energy system is not proposed at this time; however, the building will be rooftop solar ready.</i> <p><i>Additionally, the Applicant is proposing the following:</i></p> <ul style="list-style-type: none"> - <i>Building insulation to exceed minimum energy code compliance</i> - <i>Low solar heat gain coefficient windows on the south and west facades to minimize afternoon heat gain</i> - <i>Two (2) electric vehicle, Level 2, charging opportunities</i> - <i>All electric building</i> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<i>Low-pitched roofs are proposed and will retain snow. Gable roofs will direct melting snow and rain runoff to the gutters at the eaves. The access balconies/walkways will be covered by a pitched roof with gutter system. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>

			<i>Staff Comments</i>	<i>Downspouts and drains will be located within landscaped areas and shall not create any pedestrian hazards. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	<i>N/A, as no vehicle canopies are proposed. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	<i>N/A, as no master signage plan is needed. That said, the Applicant has submitted a plan, but it appears all proposed signage is exempt from permitting requirements (i.e., smaller than four square feet, address signage, etc.). The Commission found that this standard has been met.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed. Trellis features, attached to the building, are located at the front and rear pedestrian entrances. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed. A trash/recycling enclosure is located off of the internal shared drive, at the rear of the property. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>N/A, as no perimeter fences are proposed. The perimeter of the property will be defined by vegetative landscaping. Removable screening to match the corrugated siding is proposed around the trash and recycling enclosure. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>N/A, as no fencing is proposed at this time. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>Aside from minimal plumbing vents, no roof projections and/or roof-mounted mechanical equipment are proposed at this time. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.

			<i>Staff Comments</i>	<i>N/A, as no alternative energy sources are proposed at this time. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>Trash receptacles, recycling and utility boxes are located to the rear of the building, off of the internal shared drive. The Idaho Power transformer box will be located, per IPCO Regulations, along the eastern property line and will be screened from view by landscaping. No additional ground-mounted mechanical equipment is proposed. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All services lines will be underground. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances will be permitted on poles. The Commission found that this standard has been met.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>All plant material has been selected for its drought-tolerance and ability to thrive in the local environment. Tree selections include Washington Hawthorn, Autumn Blaze Maple, Tartarian Maple, Crabapple, Subalpine Fir, Rocky Mountain Juniper and Tannenbaum Pine. Shrub selections include Oriental Dwarf Spruce and a mix of Cotoneaster, Ninebark, Lilac, Spirea and Snowberry. Grasses and perennials include three (3) drought-tolerant grasses, and three (3) native or adapted flowering perennials. The limited turf grass proposed is a low-water use Fescue Blend. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>The Applicant has stated that all plant species proposed are hardy to a minimum USDA Zone 4. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>All disturbed areas will be revegetated and irrigated with an automatic, underground irrigation system. Drip irrigation will be installed in all planting beds, planter boxes and tree wells. The irrigation system will be automatically controlled with a smart controller and rain sensor for a water wise system. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in

				<p>any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</p>
			<i>Staff Comments</i>	<p><i>The proposed Landscaping Plan incorporates a combination of trees, shrubs, grasses and groundcover. The Landscape Plan (Sheet L1) shows a total of eighteen (18) trees to be planted onsite and a total eight (8) street trees to be planted.</i></p> <p><i>Pursuant this standard, newly landscaped areas having more than 10 trees, a minimum of 10% of the trees, or one (1) tree, shall be at least 4" caliper, 20% of the trees, or three (3) trees, shall be at least 3" caliper, and 20% of the trees, or three (3) trees, shall be at least 2 ½" caliper. The Applicant is proposing the following onsite trees:</i></p> <ul style="list-style-type: none"> - Four (4) Tartarian Maple Trees at 3" caliper - Six (6) Crabapple Thunderchild Trees at 2" caliper - One (1) Subalpine Fir Tree at 12' in height - Five (5) Rocky Mountain Juniper/Tannenbaum Pine Trees at 15 gallons each <p><i>Additionally, the Applicant is proposing the following street trees:</i></p> <ul style="list-style-type: none"> - Four (4) Washington Hawthorne Trees at 3" caliper - Four (4) Autumn Blaze Maple Trees at 4" caliper <p><i>The Commission found that the proposed tree species and sizes comply with this standard.</i></p> <p><i>Lastly, the Hailey Tree Committee met on March 10, 2022 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design as proposed.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p>
			<i>Staff Comments</i>	<p><i>N/A, as the proposed project is located within the Business (B) Zone District. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p>
			<i>Staff Comments</i>	<p><i>Proposed landscaping is varied, as shown in the Landscape Plans. Refer to Section 17.06.080(A)4d for further details. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p>
			<i>Staff Comments</i>	<p><i>A Grading and Drainage Plan has been submitted and storm water will be retained onsite. Runoff is directed to drywells where it will infiltrate into the soil. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p>
			<i>Staff Comments</i>	<p><i>The Applicant will be responsible for maintaining plant material in healthy condition. The Commission found that this standard has been met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>A very low retaining wall, maximum of eight inches (18") is proposed along the River Street sidewalk to allow a small change in grade from the sidewalk to the subject property. It will have a six inch (6") minimum curb on the sidewalk side, per the request of the Public Works Department, to facilitate snow removal on the sidewalk. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>Per the request of the Public Works Department, the proposed retaining wall described above will be made of reinforced concrete to match the sidewalk. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A, as no tall retaining walls are proposed. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A, as no extensive retaining walls are proposed. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed to be over 24" in height. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are compatible for seating. The Commission found that this standard has been met.</i>

Additional Design Review Requirements for Multi-Family within the City of Hailey

1. Site Planning: 17.06.080(D)1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
			<i>Staff Comments</i>	<i>The building responds to its corner location by presenting its main facades toward River Street and Empty Saddle Trail. The open space is located behind the building to buffer the building from the parking area and to provide privacy from the public right-of-way. The gentle north to south slope is accommodated by stepping the buildings down with the topography. Surrounding uses are buffered from the residential building by street rights-of-way, the project's parking area and landscape buffers along property lines. The Commission found that this standard has been met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.
			<i>Staff Comments</i>	<i>A simple, logical system of pedestrian pathways connects the public rights-of-way with the project and access to parking. Most of the walkways onsite are covered. Additional informal pathways are provided to access the outdoor rooms in the open space. Three (3) sets of stairs serve the upper levels. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(D)1b above. The Commission found that this standard has been met.</i>

2. Building Design: 17.06.080(D)2, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</p> <p><i>Staff Comments</i> <i>The overall building is composed of three (3) smaller residential buildings, each containing up to ten (10) dwelling units. It is clad in a mix of corrugated metal siding on the lower levels and stucco above, with frequent articulation of the façade, to break up the building massing and scale. Two (2) generous openings to and through the building provide welcoming entrances and passage into the project. Horizontal elements, such as sunshades, private balconies, trellises, generous roof overhangs and access walkways mitigate the vertical elements. An approximately five-foot-wide setback from the public sidewalk provides an opportunity for vegetative landscaping to soften the front edges of the building. The gable roof forms utilized reference a residential vernacular. The exterior finish materials incorporate a mix of corrugated metal siding (rust color), stucco (beige color), metal decks and sunshades (black color) and generous eaves. Natural wood stair stringer, access balcony construction, trellises and gable vents will provide an additional accent material and color. Windows are large enough to admit ample daylight, cross ventilation and egress. They are placed to admit winter sun, but shading is provided so that they are shielded from summer sun heat gain. Where possible, each room has light from two (2) sides. The front door to each dwelling unit will be painted a burnt orange color to differentiate it from other exterior finishes, while complementing the overall color palette. The individual apartment doors do not face the street, rather they face the access balconies on the inside of the property, and the great room doors, windows and balconies face the more public street sides of the property. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</p> <p><i>Staff Comments</i> <i>The proposed building design emphasizes human scale along the River Street façade by providing a generous landscaping buffer between the sidewalk and the building, breaking up the façade horizontally with a change in siding material at the second-floor level, protruding balconies, sunshades and generous eaves,</i></p>

				<i>providing four pop-outs to undulate the façade and with a trellis structure over the main pedestrian entry. The main access is generous, pedestrian-friendly and inviting to encourage human interaction at the entry, as well as to direct people into the property. The Commission found that this standard has been met.</i>
General Requirements for the Downtown Residential Overlay District (DRO)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.030	General Application: The Downtown Residential Overlay District shall be an overlay district with bulk, open space, landscaping and parking requirements for buildings and structures located within the district which are developed as multi-family or mixed uses. Where the regulations specified for the underlying zoning district, the requirements of this article shall apply and control, except as otherwise specified in this article (Ord. 1238, 2018).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.040(A)	Use and Bulk Requirements: Use and bulk requirements shall be those of the underlying zoning district, except where specifically amended herein (Supplementary Location and Bulk Requirements of Chapter 17.07 of this title shall also apply in the DRO). A. Residential Percentage: There shall be no maximum residential percentage on the ground level (Ord. 1238, 2018).
			<i>Staff Comments</i>	<i>The project is proposing twenty-seven (27) dwelling units within the three (3) multifamily buildings. Of the overall total, eight (8) of the dwelling units are on the ground floor. Parking and storage spaces for each unit are also located on the ground floor. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(A)	Multifamily and Mixed-Use Density: A. Maximum Residential Units Per Acre: Residential units per acre provisions of the underlying district shall not apply; rather density shall be limited by required open space, parking, landscaping and standards of review from Chapter 17.06: "Design Review", of this title. The Commission shall have the discretion to modify building design based on the standards in Chapter 17.06 of this title.
			<i>Staff Comments</i>	<i>Please refer to the Design Review Standards as noted herein. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(B)	B. Dwelling Unit Average Size Requirement: The average dwelling unit size shall be not less than six hundred (600) net square feet per building (Ord. 1238, 2018).
			<i>Staff Comments</i>	<i>The average dwelling unit size is 707 net square feet, as measured to the inside of the unit's exterior walls. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (A)	Parking Spaces, Screening and Storage Requirements: A. Onsite Parking Space Requirements Multiple Family Dwellings and Dwelling Units Within A Mixed-Use Building: 1. A minimum of one space per residential dwelling unit, where up to twenty five percent (25%) of required on-site parking spaces may be provided as compact parking spaces. Compact spaces must be signed as such. 2. At least one guest parking space for every six (6) dwelling units. Unimproved City rights-of-way adjacent to the site that are improved as part of the project shall count towards the guest parking requirement.
			<i>Staff Comments</i>	<i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i> <i>The project is comprised of three (3) apartment buildings with a total of twenty-seven (27) residential units. The site plan shows a total of 27 onsite parking spaces, of which, one (1) parking space is a standard accessible parking space, and one (1)</i>

				<p><i>parking space is a van accessible parking space. Additionally, the Hailey Municipal Code allows twenty-five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or six (6) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of six (6) spaces as compact spaces.</i></p> <p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units; however, if unimproved public right-of-ways are improved, this shall satisfy the guest parking requirement. The Applicant is proposing to improve the public right-of-way and off-street parking along River Street and Empty Saddle Trail. Nine (9) on-street parking spaces are proposed (along River Street and Empty Saddle Trail).</i></p> <p><i>The Commission found that all parking requirements for the proposed project have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (B)	<p>B. Useable Open Space, Screening and Landscaping:</p> <ol style="list-style-type: none"> 1. Useable open space of not less than ten percent (10%) of the total lot area shall be included in the project design. Useable open space shall not include private decks, patios or rooftop gardens. 2. A landscape buffer between parking areas and residential zone districts may consist of an acceptably designed wall or fence incorporating drought tolerant plantings; and 3. Minimum distance setbacks in Section 17.09.020.11 of this title shall not apply.
			<i>Staff Comments</i>	<p><i>The total lot area is 22,992 square feet in size. The Applicant is required to provide 2,299 square feet of useable open space or ten (10%) percent of the total lot area. The Applicant is proposing useable open space that is approximately 3,490 square feet in size.</i></p> <p><i>A landscape buffer between parking areas and residential zoning districts are also required; however, the project does not abut a residential zoning district. That said, the Applicant is proposing to buffer the parking area from adjacent properties with trees and deciduous and evergreen shrubs (see Sheet A9.01 for further details).</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (C)	<p>C. Onsite Parking Dimension: Where the parking angle is ninety degrees (90°), the minimum aisle width may be twenty-two (22') feet, as determined through the design review process.</p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing that all onsite parking angles be of ninety degrees (90°). They have also proposed an aisle width to access the parking are of twenty-two (22') in width. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (D)	<p>D. Storage: All units under five hundred (500) square feet shall be provided with on-site storage suitable for bikes, skis and other similar items. Size, location and design of the storage areas shall be determined through the design review process (Ord. 1238, 2018).</p>
			<i>Staff Comments</i>	<p><i>All proposed units (27 in total) exceed 500 net square feet in size; however, the Applicant Team has provided each unit with a twenty (20) square foot (4'x5') storage unit. These units are located on the ground floor. The Commission found that this standard has been met.</i></p>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

- 1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.**
- 2. The project is in general conformance with the Hailey Comprehensive Plan.**
- 3. The project does not jeopardize the health, safety, or welfare of the public.**
- 4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Hailey Municipal Code and City Standards.**

DECISION

The Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes a total of twenty-seven (27) units, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units, was approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (k) are met:

- a) All applicable Fire Department and Building Department requirements shall be met. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - i. The Applicant shall install a building sprinkler system and alarm system, as set forth in the IFC.
 - ii. A Right of Way Maintenance Agreement shall be adopted by the Council prior to Certificate of Occupancy.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- d) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- e) The Applicant shall submit a letter from Clear Creek Disposal commenting on the accessibility of the proposed trash enclosure.
- f) The Applicant shall remove and haul snow from the site, as needed. No snow shall be stored in the proposed open space.
- g) Any and all ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- h) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- i) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- j) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- k) The Applicant shall submit a Photometric Plan prior to issuance of a Building Permit.

Signed this ____ day of _____, 2022.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of April 18, 2022

TO: Hailey Planning and Zoning Commission

FROM: Paige Nied, Community Development City Planner

OVERVIEW: Continuation of a Design Review Application by Flowing Wells, LLC, represented by Brian Opp of Opp Construction Inc., for a 10,102 square foot vehicle storage warehouse and showroom with one (1) onsite parking space. The project is located on Lot 7H, Block 4, Airport West Subdivision #2, in the SCI Industrial (SCI-I) Zoning District. This project will be known as Sun Valley Auto Club.

HEARING: April 18, 2022

Applicant: Flowing Wells, LLC, represented by Brian Opp of Opp Construction

Location: Lot 7H, Block 4, Airport West Subdivision #2

Zoning: SCI – Industrial (SCI-I) Zoning District; .461 acres (20,108 square feet)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on March 11, 2022, and mailed to property owners within 300 feet on March 16, 2022. This item was first heard by the Planning and Zoning Commission on April 4, 2022. The Commission requested additional information from the Applicant Team and continued the item on record to April 18, 2022.

Application:

Flowing Wells, LLC, represented by Brian Opp of Opp Construction Inc., is requesting approval for construction of a vehicle storage warehouse and showroom, to be located at Lot 7H, Block 4, Airport West Subdivision #2 (1930 Embraer Way). This project consists of a 7,994 square foot storage warehouse with an attached 2,108 square foot showroom. The lot area is 20,108 square feet in size. Access to the parcel will be via the private street, Embraer Way. This project will be known as Sun Valley Auto Club.

This project is unique in that the employees will work at the main Sun Valley Auto Club, located at 1930 Electra Lane, and the proposed warehouse is mainly for vehicle storage. Parking at the main location will be utilized to achieve the parking requirements for this structure. If a vehicle is needed to be parked or extracted from the warehouse, an employee could walk the distance, or there is ample room within the structure for an employee to park.

Commission Feedback: On April 4, 2022, the Planning and Zoning Commission reviewed the Design Review Application for Sun Valley Auto Club. The Commission neither approved nor denied the proposal, but suggested the following:


- **Consider obtaining approval for the project from the Federal Aviation Administration.** The Applicant submitted a permit application and documentation with the Federal Aviation Administration for review of the proposed building design and exterior materials. This item is currently being reviewed and evaluated by the FAA Board and any case findings will be brought to the hearing. In the event that the FAA Board has not returned the case findings to the Applicant Team, these case findings shall be reviewed and approved by Staff prior to issuance of a Building Permit. This has been made a Condition of Approval.
- **Consider breaking the southern elevation wall plane with design elements.** The Applicant submitted new design plans which displays new windows along the southern wall plane. The proposed windows match the other windows around the warehouse.
- **Consider replacing the existing street trees with trees deemed appropriate by the Hailey Tree Committee.** During the Design Review Application hearing, the Applicant explained how the water main is located directly under the existing street trees, which are 20-years-old. The water main has restricted the growth of these trees, and they have been unsuccessful in reaching an appropriate caliper since being planted in 2002. On April 14, 2022, the Hailey Tree Committee will meet to discuss the project. The Hailey Tree Committee Memo will be brought to the hearing on Monday, April 18, 2022.
- **Consider using a different term for the showroom, as that will not be its technical use.** The Applicant intends to retain the use of the term showroom.
- **Consider obtaining a new survey for the water main and culvert.** The Applicant acquired a new survey for the water main and culvert, which is attached to this report. The new drawing displays a landscape drywell, 30"-diameter catch basin, and a disconnected and removed water meter valve.

Procedural History:

A Design Review Application public hearing before the Planning and Zoning Commission of the project was held on April 4, 2022, in the Hailey City Council Chambers and virtually via GoTo Meeting. The Commission reviewed the project and provided suggestions, as noted herein. No decision was made. The item was continued on record and a public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on April 18, 2022, in the Hailey City Council Chambers and virtually via GoTo Meeting.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Water and Sewer: <i>No comments</i>
				Building: <i>No comments</i>
				Streets: <i>The Hailey Tree Committee met on April 14, 2022, to discuss the project. Any recommendations by the Hailey Tree Committee will be brought to the hearing on April 18, 2022.</i>
			City Arborist: <i>No comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>Signage is proposed on the front elevation of the Drawing Set. The sign is subject to a Sign Permit Application and shall be approved prior to installation. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			Staff Comments	<i>Per the Hailey Municipal Code, Section 17.09.040.02, warehouse and storage facilities are required to provide at least one (1) parking space for every thousand (1,000) square feet. 10,102 square feet of storage space and showroom is proposed; therefore, ten (10) onsite parking spaces are required. The site plan shows one (1) onsite parking space, which has been dedicated as an accessible parking space, located to the rear of the building, and in close proximity to the entry door. Staff finds that while ten (10) parking spaces are required, parking requirements are less for storage facilities than for other uses such as office/retail, and as such, the interior storage area within the project should be counted towards the required parking.</i> <i>Per Section 17.09.020.02 of the Hailey Municipal Code, one (1) loading space shall be provided for any warehouse occupancy with a floor area in excess of 4,000 square feet. A loading space is not shown on the site plan. That said, Planning Staff does not believe requiring a loading space for the proposed use is necessary, as said use will be for vehicle storage purposes only that occurs inside the warehouse.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards a. All exterior lighting shall be designed, located and lamped in order to prevent: 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.


				<p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<i>Staff Comments</i>	<p>The Applicant will install Dark Sky compliant, downcast and low wattage fixtures. A fixture sample has been submitted and can be seen in the images below:</p> <div style="text-align: center;">  </div>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	SCI - Industrial (SCI-I) Zoning District:
			<i>Staff Comments</i>	<ul style="list-style-type: none"> - Building Height: <ul style="list-style-type: none"> o Required Building Height: 35' o Proposed Building Height: 33'-8" - Setbacks: <ul style="list-style-type: none"> o Required Setbacks: <ul style="list-style-type: none"> o Front Yard: 10' o Side Yards: 10' o Rear Yard: 10' o Proposed Setbacks: <ul style="list-style-type: none"> o Front Yard: 10'-5 1/2" o Side Yard (east): 18'-2 1/2" o Side Yard (west): 15'-2 1/2" o Rear Yard: 31'-3" <p><i>All setback and building height requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			<i>Staff Comments</i>	<p>The Applicant is proposing to construct a five (5) foot wide concrete sidewalk along the property frontage of Aviation Drive. This sidewalk will connect to another five (5) foot wide concrete sidewalk along Embraer Way on the eastern side of the property for access to the structure's entrance. The parcels adjacent to</p>

				<p><i>the property are undeveloped, yet under the same ownership. Upon development of the adjacent parcels, sidewalk connections will be made.</i></p> <p><i>With the proposal of the new sidewalk along Aviation Drive, the Applicant is proposing to remove the existing mature street trees. These trees were planted upon creation of the Airport West Subdivision and initially City Staff felt strongly that these trees be retained, as well as be protected throughout the construction process. In speaking more with the Applicant Team, it has come to Staff's attention that the trees will be difficult to save as they are located directly above the water main. The Applicant is proposing to remove and replace the trees with another species and size. This proposal will be reviewed by the Hailey Tree Committee on April 14, 2022. Any recommendations made by the Hailey Tree Committee will be brought to the hearing.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<i>Staff Comments</i>	<i>N/A, as this project is not within the Townsite Overlay (TO) Zone District.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			<i>Staff Comments</i>	<p><i>The structure is situated to maximize use, with the front façade facing Aviation Drive, parking located at the rear of the proposed building, and pedestrian access located on all sides of the structure.</i></p> <p><i>The proposed project is intended for storage purposes only. That said, the Applicant is proposing sidewalk connections to/from the building off Aviation Drive for safe access. The proposed building is one story in height and will provide adequate sun exposure to spaces around the buildings.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			<i>Staff Comments</i>	<p><i>The Applicant intends to retain the existing turf along Aviation Drive. The Applicant also intends to remove existing trees along the property's frontage on Aviation Drive due to damage that could potentially occur upon development of</i></p>

			<p><i>the new sidewalk. Initially, City Staff felt strongly that the trees be retained, as well as be protected throughout the construction process. In speaking more with the Applicant Team, it has come to Staff's attention that the trees will be difficult to save as they are located directly above the water main. The Applicant is proposing to remove and replace the trees with another species and size. This proposal will be reviewed by the Hailey Tree Committee on April 14, 2022. Any recommendations made by the Hailey Tree Committee will be brought to the hearing.</i></p>  <p><i>The Applicant has revised the landscape plan and is proposing to add four (4) Golden Colonnade Ginkgo trees, two- two-one-half inch (2-2.5") caliper in size. The Applicant is also proposing 21 (1 gallon) Blaze Prairie Grass and 11 (5 gallon) Gro-Low Sumac shrubs. An automatic drip irrigation system will be installed, and the Owner will maintain landscaped areas regularly. The proposed street trees, species and sizes will be reviewed by the Hailey Tree Committee on April 14, 2022. Any recommendations made by the Hailey Tree Committee will be brought to the hearing.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)1c</p> <p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i></p> <p><i>Site circulation and access has been designed to provide for safe access along all sides of the building. The Applicant is proposing to add a new five (5) foot wide concrete sidewalk along Aviation Drive and Embraer Way. Please refer to Section 17.06.080(A)1b for further detail.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)1d</p> <p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>


			Staff Comments	<p><i>Individual trash receptacles and recycling containers are proposed to be kept inside and placed at curb for pick-up. No loading or unloading zones are proposed. Per Section 17.09.020.02 of the Hailey Municipal Code, one (1) loading space shall be provided for any warehouse occupancy with a floor area in excess of 4,000 square feet.</i></p> <p><i>A loading space is not shown on the site plan. That said, Planning Staff does not believe requiring a loading space for the proposed use is necessary, as said use will be for vehicle storage purposes only.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			Staff Comments	<i>The Applicant is intending to utilize the existing alley located on the western side of the parcel for vehicular entrance into the storage warehouse.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			Staff Comments	<p><i>Per the Hailey Municipal Code, warehouse and storage facilities are required to provide at least one (1) parking space for every thousand (1,000) square feet. 4,896 square feet of storage space is proposed; therefore, four (4) onsite parking spaces are required. The site plan shows a total of one (1) onsite parking space, which has been dedicated as an accessible parking space, located to the rear of the building, in close proximity to the entry doors. This parking is screened from the street, buffered by buildings, landscaping and/or sidewalks. Adjacent to the ADA parking space is an additional parking space that a car could park. The space does not meet dimension requirements; however, it could be used as a short-term parking space.</i></p> <p><i>Staff has approved onsite parking at the Owner's nearby car shop and service center. It is the plan of the Applicant to only utilize this structure for storage or to extract a car, and that employees will work at the main shop and service area down the road and walk over to the warehouse when needed. If an employee did drive over to this building, there is ample room inside the warehouse for an employee to park.</i></p> <p><i>The Commission discussed the maximum distance requirement for employee parking. The project is located approximately 300-350 feet from the proposed structure. Per the Hailey Municipal Code 17.09.020.01, parking for commercial, industrial uses shall be located not more than 800 feet away. The Applicant complies with this requirement.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Staff Comments</i>	<i>Access to on-site parking is achieved via Embraer way, which connects through to the alley located to the west of the structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			<i>Staff Comments</i>	<i>The site plan proposes 7,601 square feet of parking and hardscape (driveway, road, alley, walkways, and city sidewalk). 25% of this (1,900 square feet) is required. The site plans propose 1,859 square feet of snow storage to the rear of the building. The Applicant intends to haul remaining snow from the site.</i> <i>Snow storage easements are existing, and the Applicant intends to store snow in these areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>See Standard (i) above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			<i>Staff Comments</i>	<i>The proposed snow storage area is greater than 10'-wide.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	<i>The Applicant is proposing 1,859 square feet of snow storage areas onsite. Any additional snow will be hauled from the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Snow storage areas do not impede parking or pedestrian areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Half of the proposed snow storage area is located on the asphalt driveway and the other half on the existing snow storage easement area.</i>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The proposal is for a storage facility located in the SCI – Industrial (SCI-I) Zone District, where the surrounding buildings are industrial in nature.</i> <i>The proposed building design incorporates varied exterior materials (i.e., smooth metal and stucco siding and metal doors and windows) in gray and bronze. The western and eastern side of the structure have large garage doors for vehicles to enter the warehouse. The rooflines are flat, clean and complementary to other buildings in the area.</i>

				At the April 4, 2022 public hearing, the Commission suggested that the Applicant consider breaking up the southern elevation wall plane with design elements. The Applicant submitted new design plans which displays new windows along the southern wall plane. The proposed windows match the other windows around the warehouse.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	<i>N/A, as the project is not a corporate design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The building features street-level changes and incorporates large garage doors on the western and eastern wall for vehicular access into the warehouse. Exterior materials vary in color, shape, and size, which help to break up the mass of the buildings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>The front façade faces Aviation Drive. Multiple access points exist around the structure, one (1) on Aviation Drive, two (2) in the alley, one (1) in the rear driveway, and one (1) on Embraer Way. The structure also incorporates two (2) large garage doors for vehicular access into the warehouse. The front façade incorporates changes in roofline and setbacks, additional windows, as well as variation in exterior materials and surface finishes. The scale and design components complement the surrounding area nicely.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>N/A, as no plans for future additions or renovations are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	<i>The proposed building design incorporates varied exterior materials (i.e., Smooth metal and stucco siding, and metal doors and windows) in gray and bronze. A Materials Sample Board has been submitted.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<p><i>For the proposed building, colors are as follows:</i></p> <ul style="list-style-type: none"> - <i>Dark gray smooth metal siding</i> - <i>Light gray stucco siding</i> - <i>Bronze Metal Doors and Windows</i> <p><i>Colors and materials are broken on various elements to minimize mass and create a cohesive whole.</i></p>

				 <p><i>During the April 4, 2022, hearing the Commission expressed concerns over the silver/gray exterior color of the structure being reflective in close proximity to the airport. The Applicant shall obtain approval for the project from the Federal Aviation Administration. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p> <p><i>Staff Comments</i> <i>The elements of a curved roof on the front façade of the showroom and trimming on the set back warehouse roof help to reduce the mass of the proposed structure and compliments the surrounding area. See image in section 17.06.080(A)2g for details.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed. <p><i>Staff Comments</i> <i>The Applicant intends to utilize the following energy conservation techniques:</i></p> <ul style="list-style-type: none"> - Solar orientation - Double glazed windows - Low emissivity glazing windows <p><i>Should the Commission need more information, the Applicant can better describe the three techniques utilized and/or utilization of any other alternative energy sources with the proposed project.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> <p><i>Staff Comments</i> <i>The flat roof structure is engineered to retain snow on the roof.</i></p>

				<i>Roof drains will route underground to drywells specified on the Civil Set submitted February 17, 2022. The Applicant can further describe the use and/or installation of downspouts and gutters.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	<i>Roof drains will route underground to drywells specified on the Civil Set submitted February 17, 2022. The Applicant submitted updated civil drawings on April 11, 2022, which displays a landscape drywell, 30" diameter catch basin, and a disconnected and removed water meter valve.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	<i>N/A, as no vehicle canopies or covered areas are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	<i>The Applicant intends to install a sign on the structure's front façade. The Applicant shall submit a Sign Permit Application prior to installation. This has been made a Condition of Approval.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>The new drawing set submitted by the Applicant shows that the existing fence will be removed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>The existing three (3) foot rail fence around the property will be removed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>N/A, as no roof-mounted equipment is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately

				screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>All proposed mechanical equipment will be located inside the proposed structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All service lines will be installed underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances will be permitted on poles.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>It appears that plant materials will be appropriate for the environment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>It appears that plant materials will be appropriate for the environment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>Any new landscaping and/or seasonal plantings will be irrigated by an automatic drip irrigation system and maintained regularly.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			<i>Staff Comments</i>	<i>N/A, as the proposed project is located within the SCI-I Zoning District, which is excluded from the standard above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	<i>The proposed project is located within the SCI – Industrial (SCI-I) Zone District. Seasonal plantings are not shown on the proposed plans. Seasonal plantings in planter boxes, pots and/or hanging baskets shall be provided. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>N/A, as the proposed project is not located within the B, LB, TN or SCI-SO Zoning Districts.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.

			<i>Staff Comments</i>	<i>Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Civil Plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>The Owner will be responsible for maintaining plant material in a healthy condition.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed.</i>

**Additional Design Review Requirements for
 Non-Residential Buildings Located within LI, SCI, TI or A Zoning Districts**

1. Site Planning: 17.06.080(C)1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(C)1a	a. Adjoining parcels shall be considered when planning building configuration, vehicular circulation and access, parking, and drainage.
			<i>Staff Comments</i>	<i>The majority of the surrounding parcels remain undeveloped. Vehicular circulation and site planning allow for successful development for neighboring parcels and will prevent traffic congestion.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(C)1b	b. Reciprocal vehicular ingress and egress, circulation, and parking arrangements are encouraged when the adjacent site(s) allows in order to facilitate the ease of vehicular movement between adjoining properties.
			<i>Staff Comments</i>	<i>Majority of the parking onsite will occur within the warehouse. Parking configuration and location allow for easy vehicular movement and access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(C)2c	c. Vehicle circulation, parking and loading shall not block pedestrian access ways.
			<i>Staff Comments</i>	<i>Vehicular and pedestrian circulation, parking and loading areas do not impact pedestrian access ways.</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested to be placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be

installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.

- d) Construction parking shall be located on private property and not within the City Right-of-Way, nor on the private drive, Embraer Way.
- e) All perimeter sidewalks shall be maintained year-round by the Owner.
- f) Any and all roof-mounted equipment shall be screened from view of the surrounding properties.
- g) All exterior lighting shall comply with the Outdoor Lighting Ordinance.
- h) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- i) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- j) The Applicant shall apply and received approval for a Signage Permit prior to installation.
- k) Seasonal plantings in planter boxes, pots and/or hanging baskets shall be provided.
- l) The Applicant shall receive Airport West Design Review approval for exterior materials and submit documentation to the City prior to issuance of a building permit.
- m) The Applicant shall receive approval for the project from the Federal Aviation Administration and submit documentation to the City prior to issuance of a building permit. If the Planning and Zoning Commission does not receive these case findings prior to the Design Review Hearing on April 18, 2022, City Staff shall review and approve prior to issuance of a Building Permit.

Motion Language

Approval:

Motion to approve the Design Review Application by Flowing Wells, LLC, represented by Brian Opp of Opp Construction Inc., for a 10,102 square foot vehicle storage warehouse and showroom with one (1) onsite parking space. The project is located on Lot 7H, Block 4, Airport West Subdivision #2, in the SCI Industrial Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (m) are met.

Denial:

Motion to deny the Design Review Application by Flowing Wells, LLC, represented by Brian Opp of Opp Construction Inc., for a 10,102 square foot vehicle storage warehouse and showroom with one (1) onsite parking space. The project is located on Lot 7H, Block 4, Airport West Subdivision #2, in the SCI Industrial Zoning District, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing to _____ [Commission should specify a date].

S.V. Auto Club

1930 Embraer way
Airport West Sub ph 2, Lot 7, Blk 4
Hailey, Idaho. 83333

PROJECT INFO

Building Technical Data:
 Occupancy Class? _____
 Mixed Use? _____
 Separated or Non-Separated Use? _____
 Change of Occupancy? _____
 Tenant Improvement? _____
 Construction Type? _____
 Automatic Sprinkler? _____
 Number of Stories? _____
 Elevator? _____
 Number of Restrooms? _____

Gross Building Area:
 Existing or Proposed New Building: (circle one)

Basement	Sq. Ft.	Use	Occupant Load
1st Floor	Sq. Ft.	Use	Occupant Load
2nd Floor	Sq. Ft.	Use	Occupant Load
3rd Floor	Sq. Ft.	Use	Occupant Load
Total Building	Sq. Ft.		Total Occupant Load

Building Addition

Basement	Sq. Ft.	Use	Occupant Load
1st Floor	Sq. Ft.	Use	Occupant Load
2nd Floor	Sq. Ft.	Use	Occupant Load
3rd Floor	Sq. Ft.	Use	Occupant Load
Total Building	Sq. Ft.		Total Occupant Load

Design Criteria:
 Roof Snow Load: _____
 Seismic zone: _____
 Wind Speed: _____
 Soils Report: _____

Applicable Codes Used:
 International Building Code ----- 2006 edition
 International Energy Code ----- 2006 edition
 International Fire Code ---- 2006 edition
 Americans with Disabilities Act (ADA) - ANSI A117.1 -- 2003 edition

Fire Resistance Ratings: Hourly Rating
 Party Walls _____ hour
 Exterior Bearing Walls _____ hour
 Exterior Non-Bearing Walls _____ hour
 Interior Walls _____ hour
 Vertical Shafts _____ hour
 Occupancy Separations _____ hour

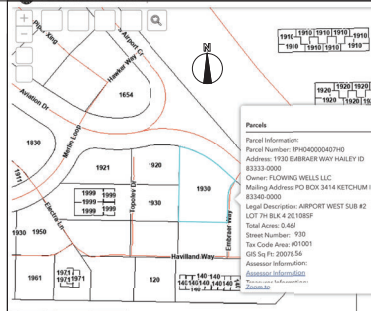
Life Safety Systems: Exit Signs, Smoke Detectors, Fire Alarm
 Emergency Lighting, Gas Detectors.

Parking Spaces Required for _____ Zoning District:
 Number Required _____
 Number Provided _____
 Number ADA spaces: _____

Energy Code: Provide COMcheck printout (envelope, mechanical, lighting) if being altered.

- NOTE:**
- Every page of the structural and architectural drawings must be stamped by an Idaho licensed architect and/or engineer.
 - Submittal documents shall be in Triplicate.
 - All questions shall be directed to the building official.

VICINITY MAP



PROPERTY INFORMATION

PARCEL # RPH040000407H0
 Zone: _____
 Occupancy: _____
 Const. Type: Sprinklered

PROJECT DIRECTORY

OWNER: FLOWING WELLS LLC.
 DAVE STONE
 1930 ELECTRA LANE
 HAILEY, ID. 83333
 PH: 208.720.0173
 dave@svautoclub.com

ARCHITECT: HOFFMANN MORGAN & ASSOC.
 MICHAEL MORGAN
 123 N 2nd ST, WEST, Ste #1
 MISSOULA, MT, 59802
 PH: 406.729.8847
 mike@hm-assoc.com

DRAFTING: BRIAN OPP
 P.O. BOX 2077
 HAILEY, ID. 83333
 PH: 208.206.5584
 oppconst@protonmail.com

G.C.: NEWELL BUILDERS, INC.
 P.O. BOX 3732
 HAILEY, ID. 83333
 PH: 208.721.4871
 brad@newellbuildersinc.com

LANDSCAPE ARCH: GARDENSPACE DESIGN
 101 E BULLION ST, STE 2J
 HAILEY, ID. 83333
 PH: 208.720.7210
 dean@gardenspacedesigns.com

CIVIL ENG.: OPAL ENGINEERING PLLC.
 PH: 208.720.9608
 sam@opal-engineering.com

SURVEY: ALPINE ENTERPRISES, INC.
 P.O. BOX 2037
 KETCHUM, ID. 83340
 PH: 208.727.1986
 alpine7@mindspring.com

SCOPE OF WORK

- CONSTRUCT 7994 SQ. FT. STORAGE BLDG.
- CONSTRUCT 2108 SQ. FT. SHOWROOM

AREA CALCULATIONS

WAREHOUSE	7994#
SHOWROOM	2108#
TOTAL	10,102#
LOT AREA	20,108#
COVERAGE	50%

SHEET INDEX

- T-1--cover sheet
- SP-1--survey/site plan
- C-1.0--civil plan
- LC-1.0--landscape plan
- A-101--1st. floor plan
- A-201--elevations
- A-202--elevations
- A-301--bldg layout & section
- A-302--offsite parking & staging

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& PLANNING

123 N 2ND ST W STE 1
Missoula, Montana
59802
(406) 729-8847



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AND ASSOC.

S.V. AUTO CLUB
 STORAGE WAREHOUSE - SHOWROOM
 1930 EMBRAER WAY, HAILEY, ID. 83333

drawn by: _____

OPP

checked by: _____

MDM

project no. _____

22005

date: _____

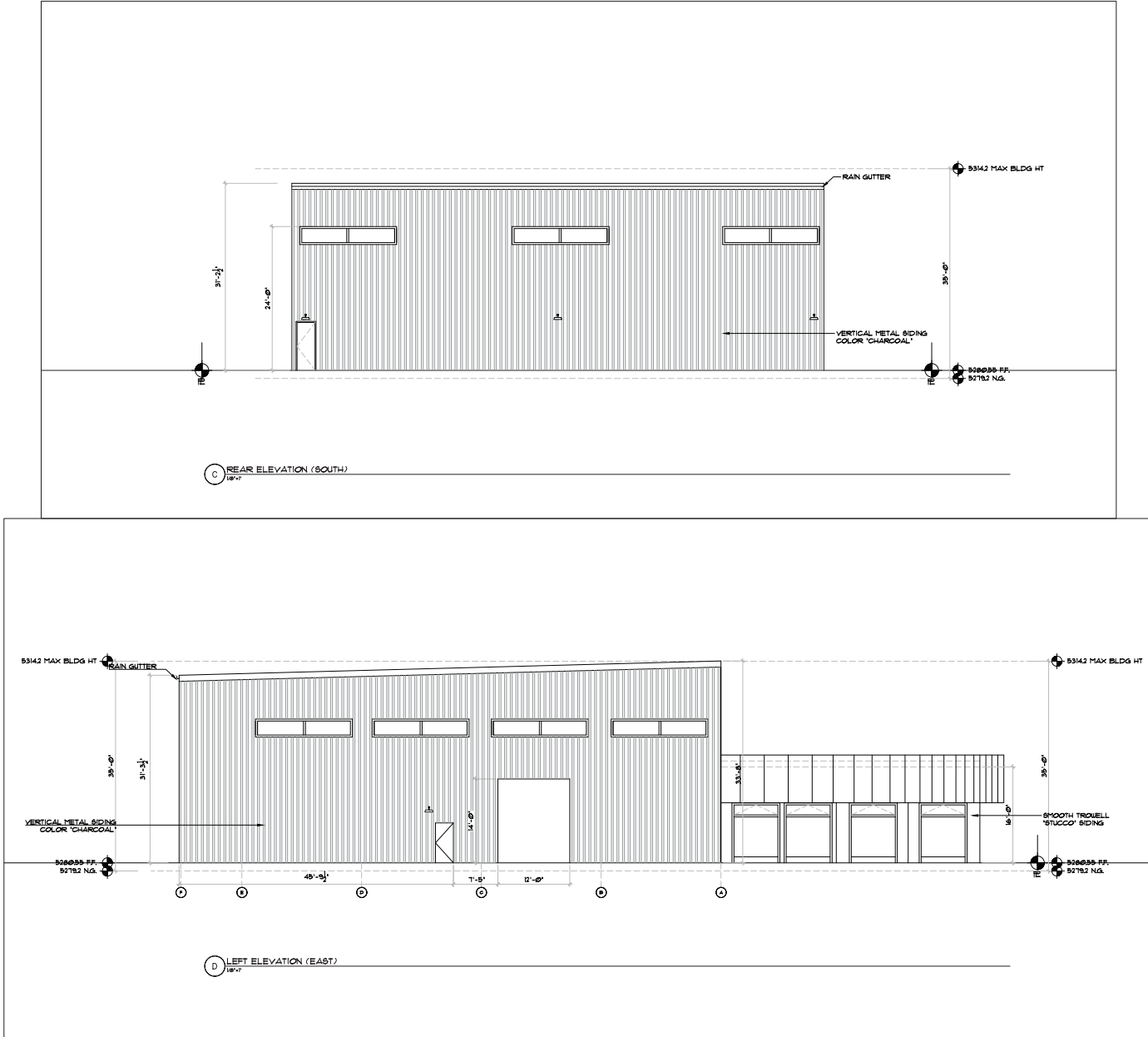
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 Missoula, Montana
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 (406) 728-8847



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 AND ASSOC.

S.V. AUTO CLUB
 STORAGE WAREHOUSE - SHOWROOM
 1930 EMBRAER WAY, HAILEY, ID. 83333

drawn by:

OPF

checked by:

MM

project no.

22005

date:

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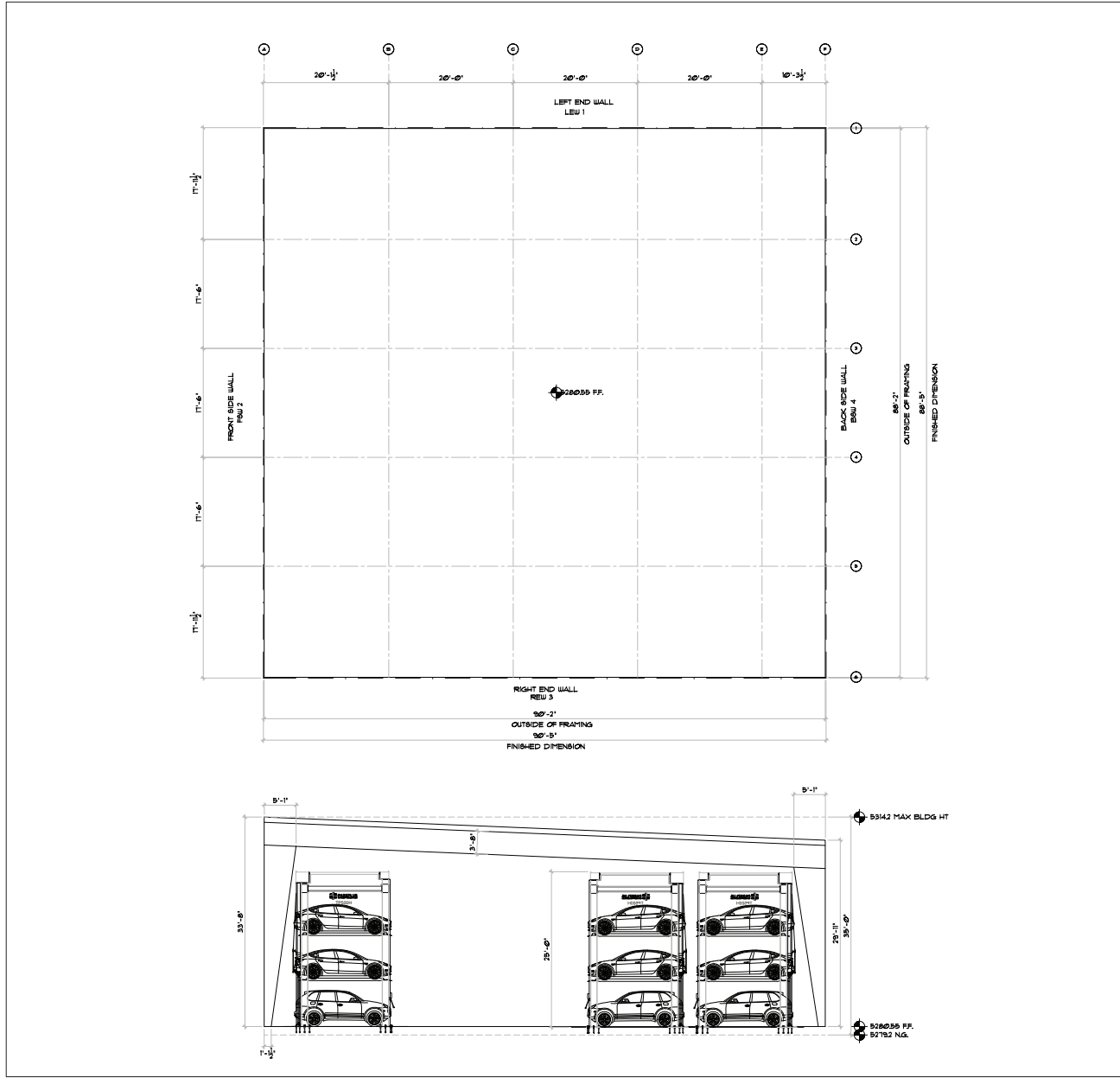
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 ARCHITECTURE & PLANNING

123 N 2ND ST W STE 1
 Missoula, Montana
 59802
 (406) 725-8847

LICENSED ARCHITECT
 95-1841

KEVIN D. BERSON
 LICENSED ARCHITECT

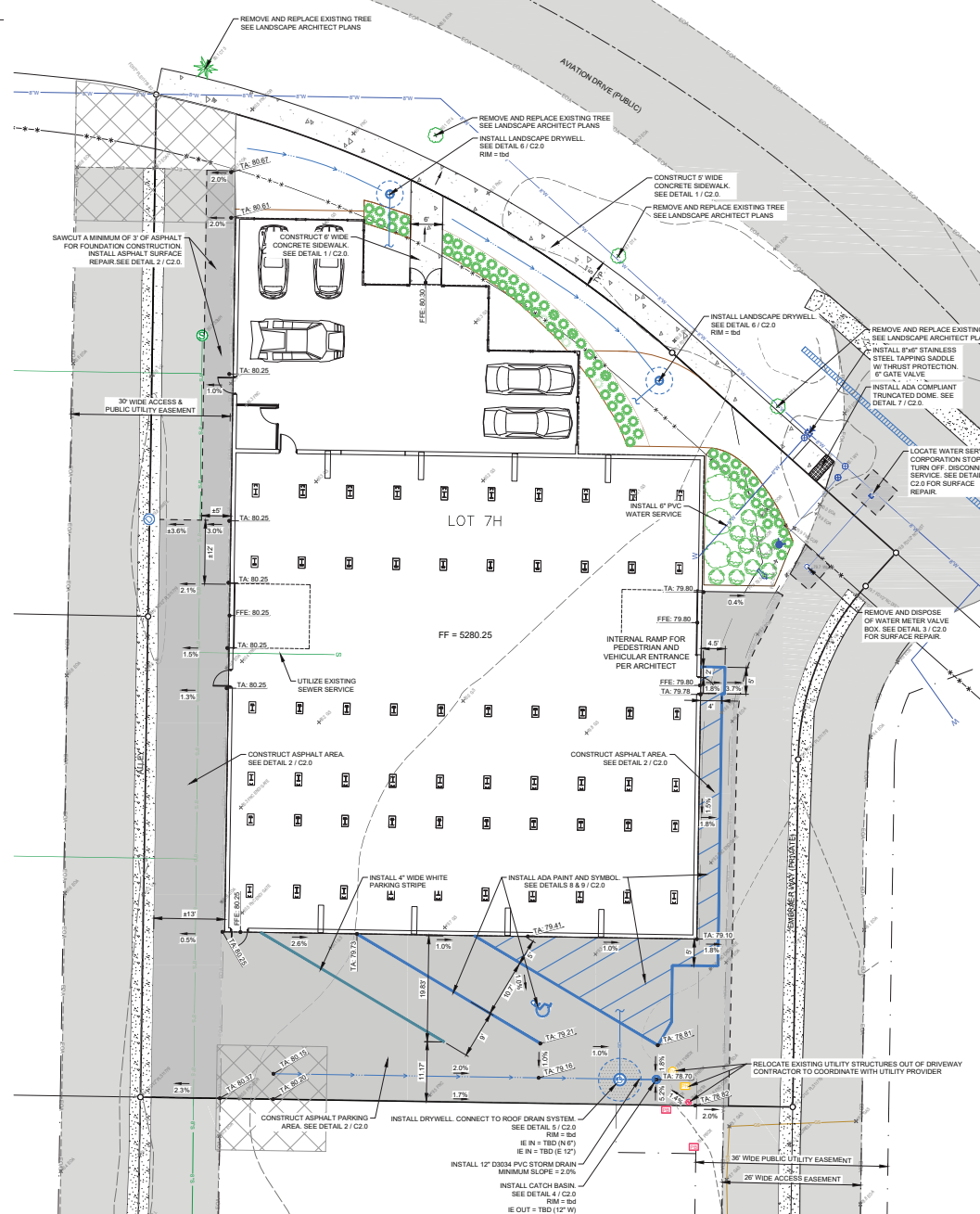
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 HOFFMANN MORGAN AND ASSOC.

S.V. AUTO CLUB
 STORAGE WAREHOUSE - SHOWROOM
 1930 EMBRAER WAY, HAILEY, ID. 83333

drawn by: OPP
 checked by: MCM
 project no. 22005
 date: 4/11/2022 2:52:48 PM
 revision:
 sht. no. A.301
 of

GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPOWC) AND CITY OF HALEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPOWC AND CITY OF HALEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPOWC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPOWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE. GRADE AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER. PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS LAYERED THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL. LINE EXCAVATION WITH GEOTEXTILE FABRIC AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 7" MINUS GRAVEL SHALL CONFORM TO ISPOWC 802, TYPE II (ITD STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPOWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPOWC 802, TYPE I (ITD STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPOWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPOWC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (38MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPOWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPOWC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPOWC SECTIONS 701, 703, AND 705 AND CITY OF HALEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM 28 DAY AS DEFINED IN ISPOWC SECTION 703, TABLE 1 WITH A MINIMUM OF 1.5 LB/CCY FIBER REINFORCEMENT IMMEDIATELY AFTER PLACEMENT. PROTECT CONCRETE BY APPLYING MEMBRANE FORMING CURING COMPOUND, TYPE 2 CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPOWC 703.3.5) AND POST CURE CURE SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HALEY PRIOR TO INSPECTIONS.
- ALL TRENCHING SHALL CONFORM TO ISPOWC STANDARD DRAWINGS SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS, ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY ALPINE ENTERPRISES INC., DATED AUGUST 9, 2021.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET FOR ALL CONSTRUCTION WITHIN THE PUBLIC RIGHTS-OF-WAY. TESTING LOCATION AND FREQUENCY SHALL MEET ISPOWC AND ADA COUNTY HIGHWAY DISTRICT (ACHD) REQUIREMENTS. REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN TWO WEEKS OF TESTING.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPOWC), DAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPOWC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTING, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSIS/ASTM STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSIS/ASTM STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.



GENERAL NOTES:

- REFER TO ARCHITECTURAL PLANS FOR INTERIOR RAMP DESIGN.
- REFER TO LANDSCAPE PLANS FOR VEGETATION AND IRRIGATION DESIGN.

LEGEND

EXISTING ITEMS

- Property Boundary
- Adjoiner Boundary
- Road Centerline
- 10' Utility Easement
- Darter Line
- Asphalt
- Concrete Valley Outer
- Easement, type and width as shown
- 10" Valley Outlets
- GAS = Under Ground Gas
- Sewer Main
- Sewer Service
- SSMH = Sewer Manhole
- 6" Water Main
- Misc Contour Line
- Minor Contour Line
- Asphalt
- SGN = Sign
- PH = Fire Hydrant
- WTFW = Water Meter
- WW = Water Valve
- FH = Frost Free Hydrant
- SSMH = Sewer/Sewer Man Hole
- TVBOX = Cable TV Box
- PRBOX = Power Box
- PHBOX = Phone Box
- DW = Dry Well
- Found 12" Rebar
- GS Ground Shot

PROPOSED ITEMS

- Asphalt Sawcut Line
- Asphalt
- Concrete Sidewalk
- ADA Truncated Dome Insert
- ADA Symbol
- ADA Paint
- Drywell
- Landscape Drywell
- 12" Storm Drain
- Roof Drain Connection
- Water Line Fitting
- Water Valve
- 6" Water Service
- Flow Line
- Vegetation, per Landscape Plan
- Landscape Edging per Landscape Plan
- FF = Finished Floor Elevation
- FFE = Finished Floor @ Entry
- TA = Top of Asphalt

OPAL ENGINEERING, PLLC
 1000 S. 2ND ST. SUITE 100
 HALEY, IDAHO 83403
 PHONE: 208.755.1234 FAX: 208.755.1235

PURPOSE: ISSUE FOR DESIGN REVIEW (02/11/2022)

REVISION NO.	DATE	DESCRIPTION
1	04/11/22	UPDATE SURVEY DATED 04/09/22

REGISTERED PROFESSIONAL ENGINEER
 STATE OF IDAHO
 No. 12966
 S.V.A.C. WAREHOUSE / SHOWROOM
 PREPARED FOR: FLOWING WELLS LLC / BRADLEY, NEWELL

SITE PLAN

S.V.A.C. WAREHOUSE / SHOWROOM
 PREPARED FOR: FLOWING WELLS LLC / BRADLEY, NEWELL

22017 PROJECT NUMBER

C10

RELEASE OF DRAWINGS: these drawings, or any portion thereof, shall not be used in any project or construction without the express written approval of Opal Engineering, PLLC.

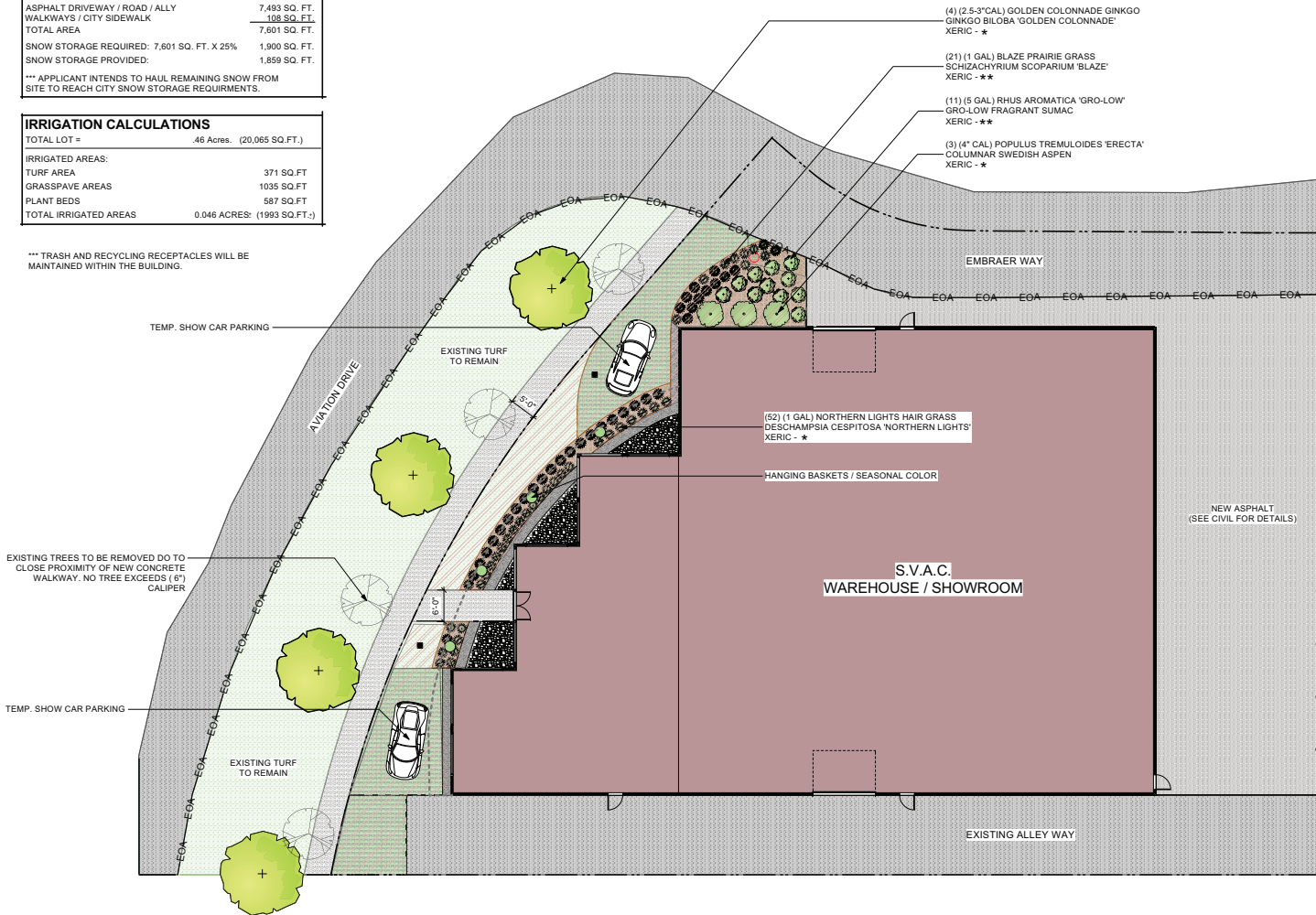
PLAN KEY	
	ASPHALT (3,383 SQ FT)
	CONCRETE WALKWAYS (108 SQ FT)
	CITY SIDEWALK (734 SQ FT)
	GRASSPAVE (1,035 SQ FT)
	SNOW STORAGE (25% = 1,900 SQ FT) (1,859 SQ FT) PROVIDED
	IRRIGATED TURF AREA (371 SQ FT)
	(2") RIVERSTONE (330 SQ FT)
	(6-10") RIVERSTONE COBBLE (205 SQ FT)
	MULCHED PLANT BEDS (587 SQ FT)
	(1/4" X 10") RAISED STEEL PLANTER EDGING
	PROPERTY LINE
	BUILDING ENVELOPE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	EDGE OF ASPHALT
	(24") LANDSCAPE DRY-WELL
	(12") LANDSCAPE CATCH BASIN
	ROOF DRIP LINE
	EXISTING 3-RAIL FENCE TO REMAIN

SEED / SOD VARIETY	
SCOTTISH LINKS FINE FESCUE	

SNOW STORAGE CALCULATIONS	
ASPHALT DRIVEWAY / ROAD / ALLY	7,493 SQ. FT.
WALKWAYS / CITY SIDEWALK	108 SQ. FT.
TOTAL AREA	7,601 SQ. FT.
SNOW STORAGE REQUIRED: 7.601 SQ. FT. X 25%	1,900 SQ. FT.
SNOW STORAGE PROVIDED:	1,859 SQ. FT.
*** APPLICANT INTENDS TO HAUL REMAINING SNOW FROM SITE TO REACH CITY SNOW STORAGE REQUIREMENTS.	

IRRIGATION CALCULATIONS	
TOTAL LOT =	.46 Acres. (20,065 SQ.FT.)
IRRIGATED AREAS:	
TURF AREA	371 SQ.FT
GRASSPAVE AREAS	1035 SQ.FT
PLANT BEDS	587 SQ.FT
TOTAL IRRIGATED AREAS	0.046 ACRES (1993 SQ.FT.)

*** TRASH AND RECYCLING RECEPTACLES WILL BE MAINTAINED WITHIN THE BUILDING.



DATE	4.6.2022
REVISED	
PROJECT #	GSD 375.22
All ideas & designs appearing herein shall not be implemented or otherwise used without the written consent of garden space design.	
SCALE	1" = 10' - 0"

S.V.A.C. WAREHOUSE / SHOWROOM
 1930 EMBRAER WAY, HAILEY, ID
 LANDSCAPE CONCEPTUAL PLAN

PRELIMINARY:
 ONLY FOR
 DESIGN REVIEW

PAGE	
<small>101 EAST BULLOCK ST. SUITE 2J HAILEY, IDAHO 208.730.7310 gardenspacedesign.com</small>	





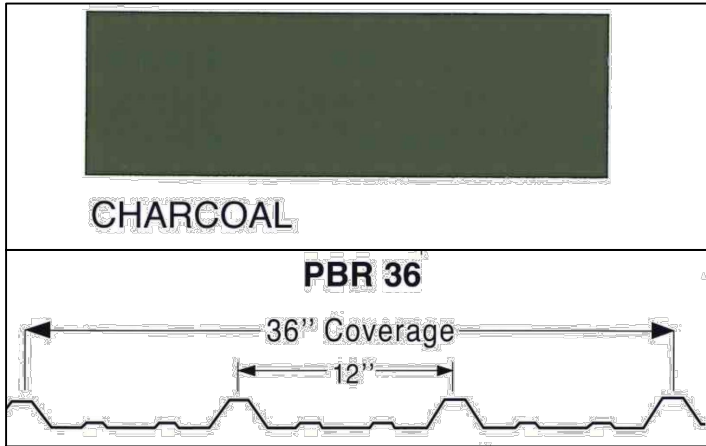
SUN VALLEY AUTO CLUB - FRONT ELEVATION





MATERIALS BOARD

METAL SIDING



SMOOTH PANEL SIDING



RADIUS S.S. PARAPET



EXT LIGHTING



BRONZE ANNOIDIZE DOORS/WIN.



Airport West Business Park Owners' Association, Inc.
Design Review Form

Owner: FLOWING WELLS LLC Lot: 7H Block: 4

Physical Address: 1930 EMBARER WAY, HAILEY, ID. 83333

Phone#: 208.720.0173 Email: dave@svautoclub.com

The Following must be filled out and submitted with plans to the Design Review Board.
REQUIRMENTS:

- One full set of plans showing all elevations for design review to keep. Can be emailed in PDF format.
- Complete site plan including landscape drawn to 1/8" scale, or larger, showing: set-backs (distance from lot lines in feet), site drainage, overall building dimensions, roadways, parking structures, accessory buildings, fences, exterior lighting, landscape with species & maturity impact, etc.
- All elevations drawn at 1/4" scale showing all building heights, all materials and colors. Please include picture rendering of all colors and building materials.
- A damage deposit/impact fee of \$2,000.00 is required at time of submittal and will be returned after inspection at time of completion does not show any damage to roads or area of impact.

ARCHITECT OR DESIGNER: Mike Morgan and Brian Opp PHONE 208.206.5584

GENERAL CONTRACTOR: Brad Newell PHONE 208.721.4871

SCHEDULED START DATE: April 2022

COMPLETION DATE: April 2023

SQUARE FOOTAGE MAIN FLOOR: 1797 TOTAL SQUARE

SQUARE FOOTAGE ADDTL. FLOORS: _____ FOOTAGE:

SQUARE FOOTAGE GARAGE: 8162 _____

HEIGHT OF BUILDING: 35'

SET-BACKS FROM PROPERTY LINES: FRONT 10'-5" REAR 31'-3"

SIDE 15'-2.5" SIDE 18'-2.5"

TYPE OF SIDING: Smooth panel for showroom, Vert metal siding for warehouse

If Multiple explain: _____

COLOR OF SIDING: Charcoal Grey

TYPE OF TRIM: n/a COLOR OF TRIM _____

ROOFING MATERIAL (non-reflective) _____ COLOR _____

FENCE OR SCREENING _____

GARAGE DOOR COLOR: Charcoal Grey FRONT DOOR color: CLEAR GLASS

WINDOW BRAND, TYPE AND COLOR: Alum, storefront, glass w/dark bronze frames

LANDSCAPING SPECIES (NO YEW) AND DRAINAGE PLAN: see plan

RAINGUTTERS AND IF SO COLOR: At rear of bldg, dark bronze

OUTDOOR LIGHTING: (MUST BE NIGHT SKY COMPLIANT) Provide cut sheet - See attached

ADDITIONS: _____

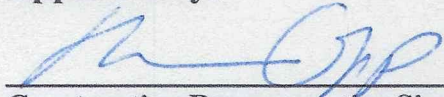
ARCHITECTURAL REVIEW Comments or conditions:

**This is an agreement set forth by the Architectural Design Review committee and the Developer and owner, signatures are needed.
Developer and owner agree to the following:**

1. All garbage and a portable refuse device will be used and dumped at regular intervals. If trash escapes fenced area the owner or developer is responsible to pick it up.
2. All changes to the plans given are to be submitted to the Board and Architectural committee in a timely manner and the decision to approve or disapprove within (10) ten business days of submittal.
3. All plans and landscaping must be completed within one year or an extension must be filed. The Board may charge a fee to be held in escrow until landscape complete to ensure compliance.
4. If for some reason work is halted the association will need the area cordoned off for safety and any and all noxious weeds removed. Any and all charges for the above to become a lien upon the property.
5. Work hours to follow City of Hailey construction hours:
 Weekdays 7:00 am to 7:00 pm
 Saturdays are 8:00 am to 7:00 pm.
 Sundays are 9:00 am to 7:00 pm.
6. All work-related vehicles to be courteous to neighboring dwellers and park within a tight area around the construction zone.

This document agreed upon and any changes to be crossed out and signed with initials of parties, this 17 day of JAN, 2022 or a change order form if during construction.

Approved by:


Construction Representative Signature

Brian Opp
Print name

Robert Del Signore
Design Review

Lia Johnson
Design Review

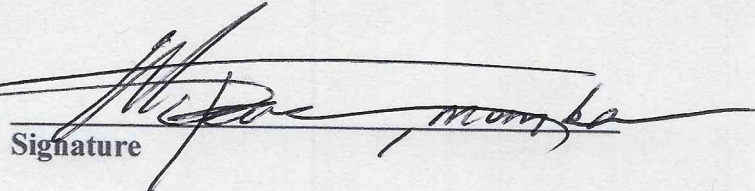
Brian Poster
Design Review

Bryan Evans
Design Review

Design Review

Owner of lot

Signature



Owner's Printed name DAVID STONE, MEMBER FLOWING WELLS LLC

Please submit to: _____

Or call: 208-578-7905

Or email to: info@engellassociates.com



ALL of My Cases (Off Airport)

Please refer to the assigned ASN on all inquiries to the FAA

All Cases	Filter by Case Status	Cases Requiring Action
Show All Cases (1)	Draft (0) Accepted (0) Work in Progress (1) Interim (0) Determined (0) Circularized (0) Terminated (0)	Waiting (0) 7460-2 Required (0) Add Letter (0) Cases Due to Expire (0)

Records 1 to 1 of 1

Page 1 of 1

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[Transfer Cases - Desk Reference Guide V_2018.2.0](#)

ASN	Folder Name	Project Name	Structure Name	Status	Date Accepted	Date Determined	7460-2 Received	City	State
<input type="checkbox"/> 2022-ANM-2915-OE		NEWEL-000711170-22	SV Auto Club Warehou...	Work In Progress	04/06/2022			Hailey	ID

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Rows per Page:

Records 1 to 1 of 1

Page: 1

Page 1 of 1

Draft: Cases that have been saved by the user but have not been submitted to the FAA.

Waiting: Wind Turbine/Met Tower (w/WT Farm) cases that have not been submitted to the FAA and are waiting for an action from the user, either to verify the map or attach specific documents

Accepted: Cases that have been submitted to the FAA.

Add Letter: Cases that have been reviewed by the FAA and require additional information from the user.

Work in Progress: Cases that are being evaluated by the FAA.

Interim: Cases that have been reviewed by the FAA and require resolution from the user.

Determined: Cases that have a completed aeronautical study and an FAA determination.

Terminated: Cases that are no longer valid.

Please allow the FAA a minimum of 45 days to complete a study.

Case Transfer:

- Use the check box(es) to select the case(s) you want to transfer.
- Select the "Transfer Cases button" to open the "Manage Transfer Cases" screen.

Note: Drafts and cases in Add and Terminated status can not be transferred.

[Click here to contact the appropriate representative.](#)

Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of April 18, 2022

To: Hailey Planning and Zoning Commission

From: Robyn Davis, Community Development Director

Overview: Consideration of a Design Review Application by Kruger Industrial Smoothing, LLC, for construction of a new 2,400 square foot commercial building, to be located at Lot 11 and 12, Block 43, Woodside Subdivision, within the Light Industrial (LI) Zoning District.

Hearing: April 18, 2022

Applicant: Kruger Industrial Smoothing, LLC

Location: Lot 11 and 12, Block 43, Woodside Subdivision #10 (4190 Glenbrook Drive/4190 Black Oak Drive)

Zoning/Size: Light Industrial (LI)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on March 30, 2022 and mailed to property owners within 300 feet on March 29, 2022.

Application: The Applicant is seeking approval to construct a new 2,400 square foot commercial building to be known as Idaho Equipment. The proposal includes an office/counter space, warehouse and display area on the ground floor, and an office area and breakroom above.


The programming of the proposed building is as follows:

- Three (3) roll-up doors in various sizes
- Restroom to be code compliant and accessible
- Breakroom to be ADA-compliant
- Office, Display and Warehouse Area
- Three (3) onsite parking spaces, one (1) of which is accessible

Access to the site will be from Glenbrook Drive. A fence is proposed along the perimeter of existing Lot 11. Two (2) gates will be installed to access the area within the fence. These gates support the loading and unloading of equipment to and from the site. The dumpster will also be located within the fenced area and screened from view of the street/pedestrian areas.

Procedural History: The Application was submitted on March 10, 2022, and certified complete on March 11, 2022. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on April 18, 2022, in the Council Chamber and virtually via GoTo Meeting.

General Requirements for all Design Review Applications

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<p>Engineering and Streets: <i>The Streets Division recommends the following be resolved prior to issuance of a Certificate of Occupancy:</i></p> <ul style="list-style-type: none"> - <i>The Glenbrook Drive street sign, located at the corner of the parcel, shall be relocated to the opposite side of the street (see image below for further details).</i> <div style="text-align: center;">  </div> <ul style="list-style-type: none"> - <i>The existing drywell shall be replaced or the drainage field shall be expanded to accommodate the additional hard surface area draining into this drywell.</i> - <i>The Applicant shall provide the percentage of drainage in the barrow pit adjacent to the fence along the road.</i> - <i>Given the location of the loading area and access to the building at the north/northwest corner of the site, this area shall be paved to the property line to help protect the existing edge of Black Oak Drive from damage.</i> - <i>An IDWR shall be submitted for all proposed drywells.</i> - <i>It appears that roof drainage may be directed onto the ground on the back side of the building within the City's right-of-way. The Applicant shall clarify and remedy where necessary. Another drywell may be needed to sufficiently drain the site.</i> <p><i>The items above have been made Conditions of Approval.</i></p> <p>Life/Safety: <i>No comments</i></p> <p>Water and Sewer: <i>The Water Division does not believe there will be a meter vault at this location, as it will most likely be a curb stop. If no meter vault is in place, the Applicant shall install a meter vault at the owner's expense. If a curb stop cannot be located, the Applicant shall install a water service from the main line to the lot,</i></p>

				<p><i>which includes a meter vault at the owner's expense. This has been made a Condition of Approval.</i></p> <p><i>The Wastewater Division recommends that if floor drains are located within the building and maintenance of equipment will be conducted onsite, a 1,000lb grease interceptor shall be installed. This has been made a Condition of Approval.</i></p> <p>Building: No comments</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	<p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p> <p><i>No signage is proposed at this time. If signage is added or proposed at a later date, a Sign Permit Application shall be submitted and approved prior to installation.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<p>See Section 17.09.040 for applicable code. Required: 1 space for 1,000 square feet, or, if the site is considered warehouse and storage, 1 space per every (full time) employee, whichever is greater.</p> <p><i>The Civil Plan shows a total of three (3) onsite parking spaces, which includes one (1) accessible space. These spaces are head-in spaces accessed off of the public street, Glenbrook Drive. City Regulations require that two (2) parking spaces be provided.</i></p> <p><i>Additional areas are available onsite for parking loading and warehouse activities. Pursuant Section 17.09.020.02, one (1) loading space shall be provided for any single retail, wholesale or warehouse occupancy with a floor areas in excess of 4,000 square feet, except grocery and convenience stores. While the proposed warehouse building is not in excess of 4,000 square feet, the Applicant has provided two (2) loading zones. Given the nature of the use (loading and unloading of construction equipment), the Applicant has provided ample space within the fence enclosure and along the northwestern property line for loading and unloading activities.</i></p> <p><i>The project meets the number of parking spaces required by the Hailey Municipal Code.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p>17.08C.040 General Standards</p> <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.


				<p style="text-align: center;">e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator</p>
			<i>Staff Comments</i>	<i>The Applicant is proposing light fixtures that are downcast and low in wattage. All proposed fixtures will be Dark Sky Compliant. Cut sheets are attached to this report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p>Light Industrial (LI) Zone District:</p> <ul style="list-style-type: none"> - Maximum Building Height: 35 feet - Front Yard Setback: 10 feet - Side Yard Setbacks: 10 feet - Rear Yard Setback: 10 feet - Lot Coverage: 75%
			<i>Staff Comments</i>	<p><i>The Applicant is proposing:</i></p> <ul style="list-style-type: none"> - <i>Building Height: 21'-4"</i> - <i>Front Yard Setback: 20.78'</i> - <i>Side Yard Setbacks: 10.08' (west), +10'(east) after removal of interior lot line via Lot Line Adjustment Application</i> - <i>Rear Yard Setback: 10.08'</i> - <i>Lot Coverage: 35%</i> <p><i>All setback, building height and lot coverage requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			<i>Staff Comments</i>	<p><i>No sidewalks exist in the area. Sidewalks are required along Black Oak Drive and Glenbrook Drive, or a payment in-lieu fee shall be collected, as outlined by the Hailey Municipal Code. Given the industrial nature of the LI Zoning District and lack of existing sidewalks in the area, an in lieu payment is recommended by Staff. The sidewalk in-lieu payment will be collected for a property frontages (Black Oak Drive and Glenbrook Drive), and shall be paid prior to issuance of a Certificate of Occupancy. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<i>Staff Comments</i>	<i>N/A, as this parcel is not located within the Townsite Overlay (TO) Zoning District.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)


Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p>
			<i>Staff Comments</i>	<p><i>The orientation of the building provides for southern and western solar exposure to the parking and loading areas, as well as to the primary pedestrian entrance of the building, which will assist in snow removal and maintenance of drivable spaces and pedestrian walkways, creating safe access to/from the building.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			<i>Staff Comments</i>	<p><i>N/A, as no existing plant material, trees and landscaping exists on the site.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			<i>Staff Comments</i>	<p><i>The primary pedestrian access is from the south side of the proposed building. A second man-door is also located in the shop yard on the east side. Three (3) roll-up doors are proposed to ensure ample access and clearance for the loading and unloading of equipment. These doors provide safe access and and through the site and building.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			<i>Staff Comments</i>	<p><i>Per the Applicant, a small dumpster will be located within the screened yard. The screened yard appears to have adequate access for Clear Creek Disposal to navigate the site/empty dumpsters; however, to ensure the adequacy, the Applicant shall submit a letter from Clear Creek Disposal commenting on the adequacy of the enclosure/area. This has been made a Condition of Approval.</i></p> <p><i>Two (2) Loading areas are also proposed. One Loading area is located within the screened service yard and the second area is located along the property line abutting Black Oak Drive.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p>
			<i>Staff Comments</i>	<p><i>N/A, as no alley exists and none is proposed.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p>
			<i>Staff Comments</i>	<p><i>N/A, as no vending machines are proposed.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p>
				<p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>

			<p>Staff Comments</p> <p><i>The project is located within the Light Industrial (LI) Zoning District. The site plan shows a total of three (3) onsite spaces, which are head-in spaces off of Glenbrook Drive. A similar layout was approved several years ago by the Commission for the Espinoza Building and Concrete Construction Supply. A useable prominent entrance is located off of Glenbrook Drive and parking appears to be located to the side of this entrance.</i></p>  <p><i>The proposed design and parking area seem practical and consistent with the neighborhood, particularly if this parking is used for customer parking. Since Staff recommends a sidewalk in-lieu payment, the parking location will not impede sidewalk use.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)1h</p> <p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p> <p>Staff Comments</p> <p><i>Primary entrance to the shop yard is accessed from a single entry point off of Glenbrook Drive. Access to the proposed parking and second access point to the shop yard can also be achieved via Glenbrook Drive. Little to no pedestrian traffic exists in the area.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)1i</p> <p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p> <p>Staff Comments</p> <p><i>A 10'-wide Drainage and Snow Storage Easement along the perimeter of the lots is existing. The Applicant intends to utilize this easement for snow storage purposes; however, may also haul snow from the site where necessary.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)1j</p> <p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p> <p>Staff Comments</p> <p><i>See Standard (i) above.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)1k</p> <p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p> <p>Staff Comments</p> <p><i>A 10'-wide Drainage and Snow Storage Easement along the perimeter of the lots is existing. The Applicant intends to utilize this easement for snow storage purposes; however, may also haul snow from the site where necessary.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	I. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	<i>There appears to be adequate snow storage areas onsite for the storing of snow; however, given the use of the building (loading and unloading of construction equipment), the Applicant may haul snow from the site where necessary to ensure adequate and safe circulation of the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Snow storage areas do not impede parking or pedestrian areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Snow storage areas are proposed within the perimeter snow storage easement. No landscaping or vegetation are existing and/or proposed.</i>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p> <p><i>Staff Comments</i> <i>The proportion, size and shape of the roof profile of the proposed building is compatible with the surrounding area and complements various elements of the surrounding buildings.</i></p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2b	<p>a. Standardized corporate building designs are prohibited.</p> <p><i>Staff Comments</i> <i>The building is a very functional building and is not a standardized corporate design.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p>b. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p> <p><i>Staff Comments</i> <i>The proposed building is pedestrian in scale with front and side entries at the ground level. The primary door to the building faces the street, is prominent and encourages human activity.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	c. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>The proposed building's front façade faces Glenbrook Drive. Building offsets, windows and metal awnings break up the mass of the building. A pedestrian entrance within the shop yard side and roll-up door, as well as a roll-up door along Black Oak Drive are also proposed, and create human scale.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	d. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>N/A, as this is a new building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	e. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	<i>The exterior walls incorporate horizontal and vertical corrugated metal siding. The front door will be a standard metal fire door, and the windows are black vinyl. The exterior materials proposed for the building are complementary to the surrounding buildings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	f. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<i>The design and colors are harmonious in color palette to other surrounding buildings and integrated appropriately for function.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	g. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	<i>The proposed building's roof is slightly sloped; however, appears to be flat. Parapet walls of various heights and metal awnings are proposed to create undulation, variation and reduce the overall mass of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:
			<i>Staff Comments</i>	<ul style="list-style-type: none"> i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii. South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii. Double glazed windows. iv. Windows with Low Emissivity glazing. v. Earth berming against exterior walls vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed. <p><i>The proposed building will minimize energy consumption by utilizing/installing the following:</i></p> <ul style="list-style-type: none"> - All windows will have Low Emissivity glazing - Installation of EV wiring (220) - Installation of wiring for rooftop solar

				<i>The Applicant can better describe the proposed energy consumption methods, if necessary.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			<i>Staff Comments</i>	<i>The proposed roof is slightly sloped and metal awnings cover the primary entrances to the building. Gutters run the length of the low end of the sloped roof. Drainage is directed toward drywells located within the shop yard. Snow clips will be installed where necessary.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	<i>Drainage is directed toward drywells located within the shop yard, away from pedestrian areas so as not create pedestrian hazards.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	<i>N/A, as no vehicle canopies are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Chapter 17.08.
			<i>Staff Comments</i>	<i>Building signage has been shown on the elevations. Prior to installation, the Applicant shall submit a Sign Permit Application and receive approval for all building signage. This has been made a Condition of Approval.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>The Applicant is proposing a perimeter fence around existing Lot 11. This fence will enclose the shop yard and complement the surrounding area. The Applicant is currently obtaining bids for the design and installation of a black chain link fence. Depending on costs, the Applicant would like to install a wrought iron fence with 6x6 posts. Neither the chain link fence or the wrought iron fence would dominate the building. Either fence would also be compatible with the surrounding area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>A fence is proposed around the shop yard. The Applicant is currently obtaining bids for the design and installation of a black chain link fence. Depending on costs, the Applicant would like to install a wrought iron fence with 6x6 posts. Neither the chain link fence or the wrought iron fence would dominate the building. Either fence would also be compatible with the surrounding area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind

				Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>N/A, as no roof-mounted equipment is proposed at this time. If any mechanical equipment, roof or ground-mounted, is installed, it shall be located at the rear of the building and/or screened from view at ground level. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>N/A, as ground-mounted equipment is not proposed at this time. If any mechanical equipment, roof or ground-mounted, is installed, it shall be located at the rear of the building and/or screened from view at ground level. This has been made a Condition of Approval.</i> <i>The dumpster will be located within the shop yard and screened from view by the perimeter fence.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	h. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All services lines will be installed underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	i. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>None proposed.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>This parcel is located within the Light Industrial (LI) Zoning District. No landscaping or street trees are proposed or required at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>N/A, as no landscaping or street trees are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>N/A, as no landscaping or street trees are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.

			<i>Staff Comments</i>	<i>The project is located within the Light Industrial (LI) Zoning District and is excluded from this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	<i>This project is located within the Light Industrial (LI) Zoning District; therefore, seasonal plantings are required. No seasonal plantings have been shown on the plan set. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>N/A, as this project is located within the Light Industrial (LI) Zoning District and landscaping of this scale is not required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>Runoff is directed toward drywells located within the shop yard. No landscaping is proposed or required at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>N/A, as no landscaping areas are proposed nor required at this time. Seasonal planters are required and shall be permanently irrigated or watered by the Applicant.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed, nor is landscaping proposed or required</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed.</i>

**Additional Design Review Requirements for all
 Non-Residential Buildings located within the LI, SCI, TI or A Zoning Districts**

1. Site Planning: 17.06.080 (C) 1, items (a) thru (c)

Compliant	Standards and Staff Comments
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Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(C) 1a	<p>a. Adjoining parcels shall be considered when planning building configuration, vehicular circulation and access, parking, and drainage.</p> <p><i>Staff Comments</i> Adjoining parcels include other light industrial buildings and storage. The proposed design, circulation, access, parking and drainage do not conflict with the adjoining parcels.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(C) 1b	<p>b. Reciprocal vehicular ingress and egress, circulation, and parking arrangements are encouraged when the adjacent site(s) allows in order to facilitate the ease of vehicular movement between adjoining properties.</p> <p><i>Staff Comments</i> Vehicular access can be accessed primarily from Glenbrook Drive. Ingress, egress and parking arrangements facilitate circulation within the site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(C) 1b	<p>c. Vehicle circulation, parking and loading shall not block pedestrian access ways.</p> <p><i>Staff Comments</i> All circulation and loading are kept either within the screened service yard, or within a parking – away from pedestrian access areas.</p>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
 - 1. The project does not jeopardize the health, safety or welfare of the public.
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code Zoning Ordinance, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
 - 1. Ensure compliance with applicable standards and guidelines.
 - 2. Require conformity to approved plans and specifications.
 - 3. Require security for compliance with the terms of the approval.
 - 4. Minimize adverse impact on other development.
 - 5. Control the sequence, timing and duration of development.
 - 6. Assure that development and landscaping are maintained properly.
 - 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested to be placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met, and plans shall be modified to meet the comments herein. Infrastructure plans shall be stamped by a licensed engineer. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense includes, but will not be limited to, the following requirements and improvements:
 - i. A sidewalk in-lieu payment shall be made for the required sidewalk along Black Oak Drive and Glennbrook Drive. Sidewalk in-lieu fees shall be paid prior to issuance of a Certificate of Occupancy.
 - ii. The Glenbrook Drive street sign, located at the corner of the parcel, shall be relocated to the opposite side of the street.
 - iii. The existing drywell shall be replaced or the drainage field shall be expanded to accommodate the additional hard surface area draining into this drywell.
 - iv. The Applicant shall provide the percentage of drainage in the barrow pit adjacent to the fence along the road.
 - v. Given the location of the loading area and access to the building at the north/northwest corner of the site, this area shall be paved to the property line to help protect the existing edge of Black Oak Drive from damage.
 - vi. An IDWR shall be submitted for all proposed drywells.
 - vii. It appears that roof drainage may be directed onto the ground on the back side of the building within the City's right-of-way. The Applicant shall clarify and remedy where necessary. An additional dry well may be needed to sufficiently drain the site.
 - viii. If no water meter vault is in place, the Applicant shall install a water meter vault at the owner's expense. If a curb stop cannot be located, the Applicant shall install a water service from the main line to the lot, which includes a meter vault at the owner's expense.
 - ix. If floor drains are located within the building and maintenance of equipment will be conducted onsite, a 1,000lb grease interceptor shall be installed.

- d) The project shall be constructed in accordance with the application or as modified by the Findings of Fact, Conclusions of Law and Decision.
- e) All exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) A Lot Line Adjustment Application, a request to eliminate the interior lots lines of the parcel, shall be applied for concurrently with the Building Permit.
- i) Seasonal planters/plantings shall be added to the site plan and shown on the Building Permit submittal. This planters/plantings shall be watered or permanently irrigated.
- j) A Fence Permit shall be applied for prior to issuance of a Building Permit.
- k) All utilities shall be located underground, consistent with 17.06.080(A)3h, and shall be shown on the Building Permit submittal.
- l) A Sign Permit Application shall be submitted and approved prior to installation of building signage.
- m) All roof and ground-mounted equipment shall be located to the rear of the building and/or screen from view at ground level.

Motion Language:

Approval: Motion to approve the Design Review Application submitted by Kruger Industrial Smoothing, LLC, for construction of a new 2,400 square foot commercial building, to be located at Lot 11 and 12, Block 43, Woodside Subdivision, within the Light Industrial (LI) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code Titles 17 and 18, and City Standards, provided conditions (a) through (m) are met.

Denial: Motion to deny the Design Review Application by Kruger Industrial Smoothing, LLC, for construction of a new 2,400 square foot commercial building, to be located at Lot 11 and 12, Block 43, Woodside Subdivision, within the Light Industrial (LI) Zoning District, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date].

IDAHO LUMBER EQUIPMENT FACILITY

HAILEY, IDAHO

APRIL 2022

GENERAL CONSTRUCTIONS NOTES

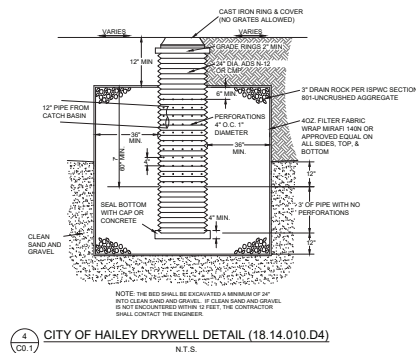
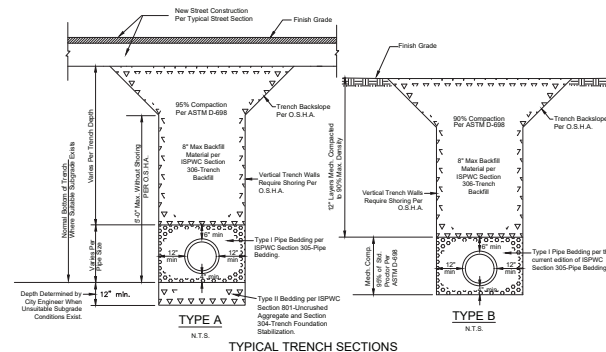
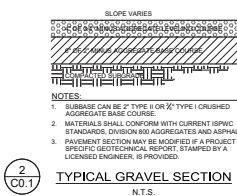
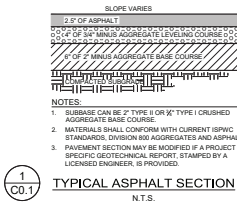
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE 'IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION' (ISPWIC) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWIC AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DISLINE (1-800-342-1988) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWIC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWIC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPWIC 802, TYPE II (TD STANDARD 703.04, 2") SHALL BE PLACED IN CONFORMANCE WITH ISPWIC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWIC 802, TYPE I (TD STANDARD 703.04, 3/4" B) SHALL BE PLACED IN CONFORMANCE WITH ISPWIC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWIC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 903B IN ISPWIC SECTION 803. ASPHALT BINDER SHALL BE PG 58-22 CONFORMING TO TABLE A-1 IN ISPWIC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL TRENCHING SHALL CONFORM TO ISPWIC STANDARD DRAWING SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.010.A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM DENSITY OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS, ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING DATED 9/25/2019.

SHEET INDEX

SHEET#	DESCRIPTION
C0.1	COVER SHEET AND DETAIL SHEET
C1.0	SITE PLAN



VICINITY MAP
N.T.S.



REVISION NO.	DATE	DESCRIPTION



PRELIMINARY
NOT FOR
CONSTRUCTION

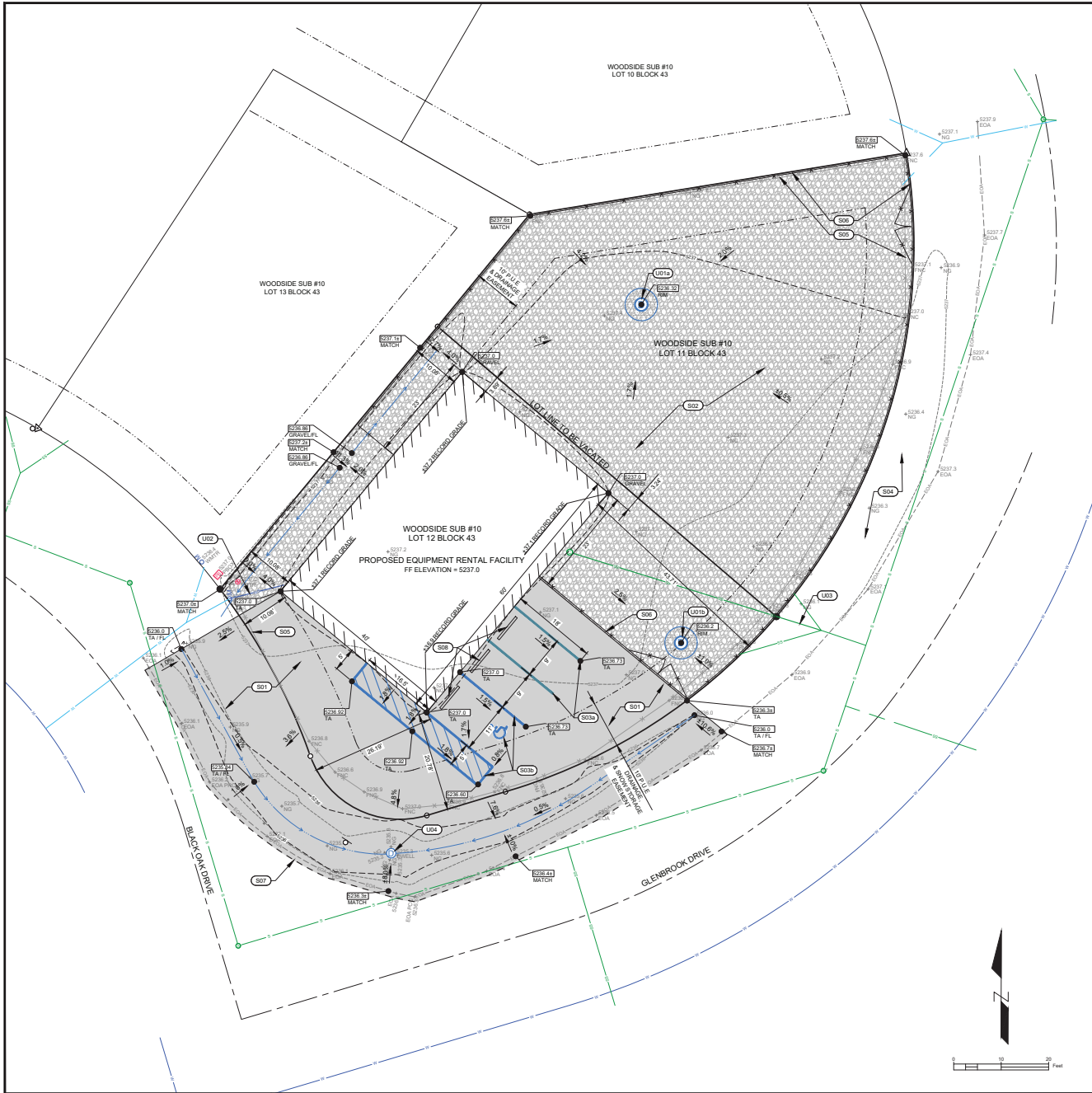
COVER SHEET AND
DETAILS

IDAHO LUMBER EQUIPMENT RENTAL FACILITY
PREPARED FOR GALENA LUMBER AND ACE HARDWARE

22030
PROJECT NUMBER

C0.1

RELEASE OF DRAWINGS: These drawings, or any portion thereof, shall not be used for any project not shown on the project approval or agreement with Opal Engineering, PLLC.



NOTE
SEE SHEET CO. 1 FOR CONSTRUCTION GENERAL NOTES.

- LEGEND**
- EXISTING CONDITIONS**
- Property Boundary
 - Adjoining Lot Lines
 - Centerline of Right-of-way
 - Fence Line
 - - - 1' Contour Interval
 - Watermain per City of Hailey
 - Water Service per City of Hailey
 - Sewer main per City of Hailey
 - Sewer service per City of Hailey
 - Easement Line per Plat
 - Found 1/2" Rebar
 - △ Calculated Point (Nothing Set)
 - Set 5/8" Rebar, P.L.S. 16670
 - Water Meter
 - Water Valve per City of Hailey
 - Sewer Manhole per City of Hailey
 - Power Box
 - Power Meter
 - Drywell
 - Street Sign

- SITE IMPROVEMENT KEY NOTES**
- (S01) CONSTRUCT ASPHALT PARKING LOT. SEE DETAIL 1 / CO.1
 - (S02) CONSTRUCT GRAVEL PARKING LOT. SEE DETAIL 2 / CO.1
 - (S03) INSTALL ROAD STRIPING / PAINT SEE DETAIL 3 / CO.1 FOR TRENCHING.
 - a. 4" WIDE, WHITE PARKING STRIPE
 - b. 4" WIDE, BLUE ADA PARKING STRIPE AND SYMBOL.
 - (S04) RE-GRADE EXISTING GRAVEL FOR POSITIVE DRAINAGE.
 - (S05) REMOVE EXISTING FENCING.
 - (S06) PROPOSED FENCING.
 - (S07) SAWCUT EXISTING ASPHALT.
 - (S08) INSTALL PRECAST CONCRETE CURB STOP PER MANUFACTURER'S RECOMMENDATIONS.

- PROPOSED CONDITIONS**
- Asphalt
 - Concrete Sidewalk
 - 9" Contour Interval
 - 1" Contour Interval
 - Drywell
 - ADA PAINT & SYMBOL
 - Road Paint
 - Surface Slope
 - Water Service
 - Sewer Service and Cleanout
 - FLOW LINE

- UTILITY KEY NOTES**
- (U01) DRYWELL: SEE DETAIL 4 / CO.1.
 - a. RIM = 5236.32
 - b. RIM = 5236.20
 - (U02) CONTRACTOR SHALL LOCATE EXISTING WATER SERVICE AND EXTEND TO PROPOSED BUILDING. SEE DETAIL 3 / CO.1 FOR TRENCHING.
 - (U03) UTILIZE EXISTING SEWER SERVICE. CONTRACTOR SHALL LOCATE EXISTING SERVICE, REMOVE EXISTING "Y", AND EXTEND EXISTING SEWER SERVICE TO SERVE PROPOSED BUILDING. SEE DETAIL 3 / CO.1 FOR TRENCHING. PROVIDE TRAFFIC RATED SEWER CLEANOUT PER SPWC S0506-A.
 - (U04) ADJUST RIM ELEVATION OF EXISTING DRYWELL. EXISTING RIM ELEV = 5235.34. PROPOSED RIM ELEV = 5235.65



PURPOSE: ISSUE FOR DESIGN REVIEW (04/01/2022)

REVISION NO.	DATE	DESCRIPTION



PRELIMINARY NOT FOR CONSTRUCTION

SITE PLAN

IDAHO LUMBER EQUIPMENT RENTAL FACILITY

PREPARED FOR: IDAHO LUMBER AND ACE HARDWARE

22030
PROJECT NUMBER

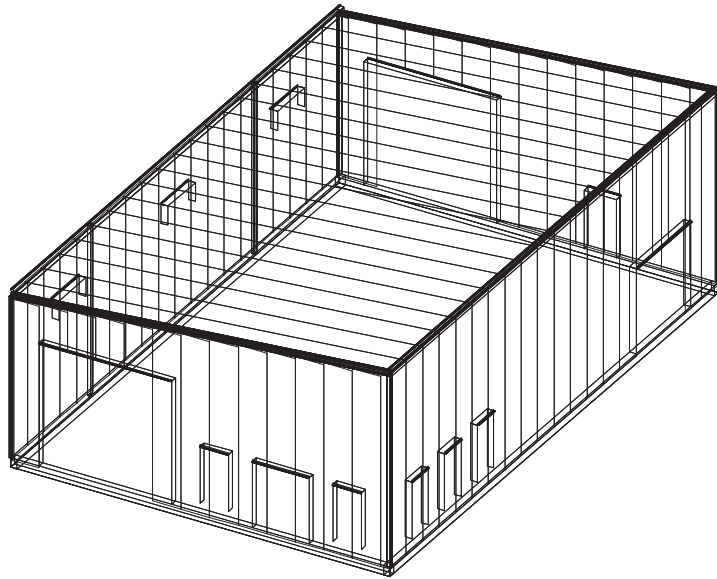
C1.0

RELEASE OF DRAWINGS: these drawings, or any portion thereof, shall not be used in any project or construction without the express written agreement of Opal Engineering, PLLC.

DRAWING INDEX	
DRAWING TITLE	PAGES
Cover Sheet	1
Codes and Loads	2
Notes	3
Anchor Rod Plan	4 - 5
Primary Structural	6 - 11
Secondary Structural	12 - 19
Covering	20 - 26
Special Drawings	
Standard Erection Details	
Planograph Details	27 - 30

DRAWING RELEASE HISTORY		
TYPE	DATE	DESCRIPTION
Anchor Rod Drawings Rev.0	12/20/2021	FOR CONSTRUCTION
Final Erection Drawings Rev.0	01/05/2022	FOR CONSTRUCTION

BASIC ERECTION GUIDE 4001
 BASIC PANELS AND ACCESSORIES ERECTION GUIDE 4003



VP Buildings 3200 Players Club Circle Memphis TN 38125

GENERAL NOTES		
MATERIALS	ASTM DESIGNATION	
3 PLATE WELDED SECTIONS	A529, A572, A1011, A1018	GRADE 55
COLD FORMED LIGHT GAGE SHAPES	A653, A1011	GRADE 60
BRACE RODS	A572, A510	GRADE 50
HOT ROLLED MILL SHAPES	A36, A529, A572, A588, A992	GRADE 36 OR 50
HOT ROLLED ANGLES	A529, A572, A588, A992	GRADE 50
HOLLOW STRUCTURAL SECTION (HSS)	A500	GRADE B
CLADDING	A653, A792	GRADE 50 OR GRADE 80

HIGH STRENGTH BOLT TIGHTENING REQUIREMENTS
 IT IS THE RESPONSIBILITY OF THE ERECTOR TO ENSURE PROPER BOLT TIGHTNESS IN ACCORDANCE WITH APPLICABLE REGULATIONS. SEE RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS FOR MORE INFORMATION. SEE ERECTION GUIDE FOR BOLT TIGHTENING INSTRUCTIONS. THE FOLLOWING CRITERIA MAY BE USED TO DETERMINE THE BOLT TIGHTNESS (I.E. SNUG TIGHT OR PRE-TENSION) UNLESS REQUIRED OTHERWISE BY LOCAL JURISDICTION OR CONTRACT.
 ALL A490 BOLTS SHALL BE "PRE-TENSIONED". A325 BOLTS IN PRIMARY FRAMING AND BRACING CONNECTIONS MAY BE "SNUG-TIGHT" EXCEPT AS FOLLOWS:

- PRE-TENSION A325 BOLTS IF BUILDING SUPPORTS A CRANE GREATER THAN 5 TON CAPACITY.
- PRE-TENSION A325 BOLTS IF BUILDING SUPPORTS MACHINERY THAT CREATES VIBRATION, IMPACT, OR STRESS REVERSALS ON CONNECTIONS.
- PRE-TENSION A325 BOLTS IF LOCATED IN HIGH SEISMIC AREAS. FOR IBC BASE CODES; HIGH SEISMIC IS DESIGN CATEGORY D, E OR F. SEE CODES AND LOADS SECTION BELOW FOR DETAILS.
- PRE-TENSION ANY CONNECTION WITH DESIGNATION A325-SC. SLIP CRITICAL (SC) CONNECTIONS MUST BE FREE OF PAINT, OIL, OR OTHER MATERIALS THAT REDUCE FRICTION AT CONTACT SURFACES. GALVANIZED OR LIGHTLY RUSTED SURFACES ARE ACCEPTABLE.
- IN CANADA ALL A325 AND A490 BOLTS SHALL BE "PRE-TENSIONED", EXCEPT FOR SECONDARY MEMBERS AND FLANGE BRACES.
- SECONDARY MEMBERS AND FLANGE BRACE CONNECTIONS ARE ALWAYS "SNUG TIGHTENED" UNLESS INDICATED OTHERWISE IN ERECTION DRAWING DETAILS.

INSPECTION AND TESTING
 SPECIAL INSPECTIONS AND TESTING REQUIRED BY AUTHORITY HAVING JURISDICTION (AHJ) DURING CONSTRUCTION AND/OR STEEL FABRICATION IS THE RESPONSIBILITY OF THE OWNER OR OWNERS AUTHORIZED AGENT. WHEN REQUIRED, THE OWNER SHALL EMPLOY A QUALITY ASSURANCE AGENCY (QAA) APPROVED BY THE AHJ. THE BUILDER IS RESPONSIBLE TO COORDINATE BETWEEN THE QAA FIRM AND EBNA FABRICATION FACILITIES. THE TYPE AND EXTENT OF SPECIAL INSPECTIONS AND NOT WELD TESTING MUST BE SPECIFICALLY STIPULATED IN CONTRACT DOCUMENTS OR EBNA WILL ASSUME SPECIAL INSPECTIONS AND/OR NOT TESTING ARE WAIVED AS PERMITTED BY THE BUILDING CODE BASED ON EBNA FACILITIES IAS AC472 ACCREDITATION.

- NOTES:**
- ORDs are Sectional Doors and these are not being designed for windlocks installation.
 - This building is categorized under Enclosed wind enclosure based on the assumption that all window and door openings will remain closed during high wind event.
 - This Building has been designed with a Collateral Gravity CG = 1 psf, Do not exceed 1 psf when hanging equipment in the roof.
 - Collateral loads should be uniformly distributed on primary and secondary members.
 - The recommended method of load attachment to a purlin's web or flange can be found on B-091465 Planograph.
 - The free standing NBVP masonry exterior wall along all walls will not attach to the VP primary or secondary framing for vertical or lateral support, this is self supported.

01/14/2022
 BlueScope Buildings North America
 7031 Albert Pick Road - Suite 200
 Greensboro, NC 27409

01/13/2022 LARN Reviewed pages:1-26.

THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.

THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE VP BUILDINGS ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.

COVER SHEET	
BUILDER	Teton West Construction, Inc
CUSTOMER	Todd Hunter
LOCATION	Halley, Idaho
PROJECT	Todd Hunter 40x60
BUILDERS PO#	
FILENAME	Todd Hunter 40x60

JOB #	21-028279-01
DATE	01/05/2022
DRAWN / CHECK	EGG / EMV
PAGE	1

VP VERSION: 2021.3b
 a division of BlueScope Buildings North America, Inc.

Codes and Loads

WHEN MULTIPLE BUILDINGS ARE INVOLVED, SPECIFIC LOAD FACTORS FOR DIFFERING OCCUPANCIES, BUILDING DIMENSIONS, HEIGHTS, FRAMING SYSTEMS, ROOF SLOPES, ETC., MAY RESULT IN DIFFERENT LOAD APPLICATION FACTORS THAN INDICATED BELOW. SEE CALCULATIONS FOR FURTHER DETAILS. WIND LOADS ARE APPLIED TO OVERALL BUILDING ENVELOPE. COMMON WALLS BETWEEN CONNECTED SHAPES ARE NOT SUBJECT TO EXTERNAL WIND LOADS.

City: Halley County: Blaine State: Idaho Country: United States

Building Code

Building Code: 2018 International Building Code Structural: 16AISC - ASD Rainfall: I: 4.00 inches per hour
 Building Risk/Occupancy Category: II (Standard Occupancy Structure) Cold Form: 16AISI - ASD f'c: 3000.00 psi Concrete

Dead and Collateral Loads

Collateral Gravity: 1.00 psf
 Collateral Uplift: 0.00 psf

Material Dead Weight

Roof Covering + Second. Dead Load: 2.83 psf
 Frame Weight (assumed for seismic): 3.35 psf - USR

Roof Live Load

Roof Live Load: 20.00 psf Reducible

Wind Load

Wind Speed: Vult: 115.00 (Vasd: 89.08) mph
 The 'Envelope Procedure' is Used
 Primary Wind Exposure: C - Kz: 0.882
 Parts Wind Exposure Factor: 0.882
 Wind Enclosure: Enclosed
 Topographic Factor: Kzt: 1.0000
 Ground Elevation Factor: Ke: 0.8271

Snow Load

Ground Snow Load: pg: 100.00 psf
 Flat Roof Snow: pf: 70.00 psf
 Design Snow (Sloped): ps: 70.00 psf
 Rain Surcharge: 0.00
 Specified Minimum Roof Snow: 100.00 psf (USR)
 Exposure Factor: 2 Partially Exposed - Ce: 1.00
 Snow Importance: Is: 1.000
 Thermal Factor: Heated - Ct: 1.00
 Ground / Roof Conversion: 0.70
 Obstructed or Not Slippery

Seismic Load

Lateral Force Resisting Systems using Equivalent Force Procedure
 Mapped MCE Acceleration: Sa: 43.00 %g
 Mapped MCE Acceleration: S1: 14.30 %g
 Site Class: Stiff soil (D) - Default
 Seismic Importance: Ie: 1.000
 Design Acceleration Parameter: Sds: 0.4174
 Design Acceleration Parameter: Sd1: 0.2206
 Seismic Design Category: C
 Seismic Snow Load: 14.00 psf
 % Snow Used in Seismic: 20.00
 Diaphragm Condition: Flexible
 Fundamental Period Height Used: 19/8/0

NOT Windborne Debris Region

Base Elevation: 0/0/0
 Site Elevation: 5244.0 ft
 Primary Zone Strip Width: 2a: 8/0/0
 Parts / Portions Zone Strip Width: a: 4/0/0
 Basic Wind Pressure: q: 21.00, (Parts) 21.00 psf

Transverse Direction Parameters

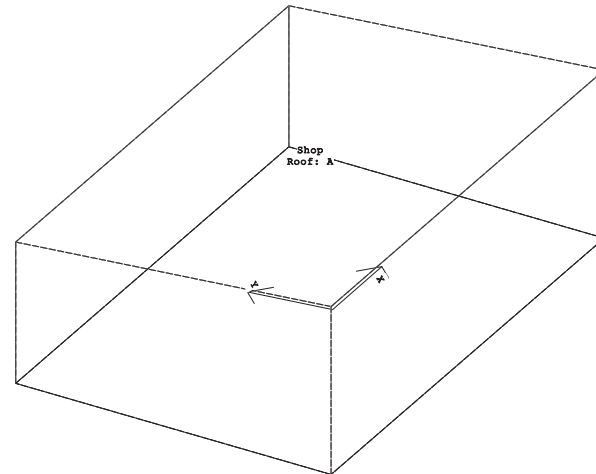
System NOT detailed for Seismic
 Redundancy Factor: Rho: 1.00
 Fundamental Period: Ta: 0.3035
 R-Factor: 3.00
 Overstrength Factor: Omega: 2.50
 Deflection Amplification Factor: Cd: 3.00
 Base Shear: V: 0.1391 x W

Longitudinal Direction Parameters

System NOT detailed for Seismic
 Redundancy Factor: Rho: 1.00
 Fundamental Period: Ta: 0.1868
 R-Factor: 3.00
 Overstrength Factor: Omega: 2.50
 Deflection Amplification Factor: Cd: 3.00
 Base Shear: V: 0.1391 x W

Notes:

Application of Specified Minimum Uniform Roof Snow loads, "SMS":
 -The specified minimum roof snow (SMS) will be applied as a separate roof load check, combined with dead loads only.
 -The SMS is considered the net sloped roof load, i.e., none of the other snow load related factors such as importance, Thermal, Unobstructed Slippery, Exposure, etc., will apply.
 -The SMS is not considered in conjunction with the bracing second order effects.



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FOR CONSTRUCTION

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REV	DATE	BY	DESCRIPTION
NTS			

VP Buildings	
3200 Players Club Circle Memphis TN 38125	
BUILDER:	Teton West Construction, Inc
DESIGNER:	Todd Hunter
LOCATION:	Halley, Idaho
PROJECT:	Todd Hunter 40x60
BUILDERS PO#:	
FILENAME:	Todd Hunter 40x60

VP BUILDINGS		PROFESSIONAL ENGINEER	
MEMBER SINCE 2021		LICENSED	
A BlueScope Steel Company		20638	
VP BUILDINGS 2021.3b		Christopher J. Felton	
STATE OF IDAHO		01/14/2022	
MEMBER SINCE 2021		BlueScope Buildings North America	
MEMBER SINCE 2021		7031 Albert Pick Road - Suite 200	
MEMBER SINCE 2021		Greensboro, NC 27409	

12/20/2021

11:22:31

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BUILDER/CONTRACTOR RESPONSIBILITIES

VP Buildings follows the guidelines as outlined in the ASC and MBMA Codes of Standard Practice. VP Buildings standard product specifications, design, fabrication, quality criteria shall govern all work unless stipulated otherwise in the contract documents. In case of discrepancies between VP Buildings structural plans and plans for other trades, VP Buildings structural plans shall govern.

It is the responsibility of the Builder to obtain approvals and permits from all governing agencies and jurisdictions as required. Approval of VP Buildings drawings constitutes the builders acceptance of VP interpretation of the contract purchase order. Unless specific design criteria concerning interface design and details are furnished as part of the contract, VP Buildings design assumptions shall govern.

VP engineers are not Project Engineers or Engineer of Record for the overall project. VP engineering supply sealed engineering design data and drawings for VP supplied material as part of the overall project for use by others to obtain permits, approvals, and coordinate with other trades. All interface and/or compatibility of any materials not furnished by VP are to be considered and coordinated by the builder or A/E firm.

CONSTRUCTION & ERECTION RESPONSIBILITY

The Builder is responsible for construction in strict accordance with VP Buildings "FOR CONSTRUCTION" drawings and all applicable product installation guides. VP is not responsible for work done from any other VP drawings that are not marked "FOR CONSTRUCTION", nor any drawings prepared by others.

As erected field assemblies of members shall be as specified in MBMA Code of Standard Practice (in Canada - CSA S16), which require 1/500 tolerance of installed members. Occasional field work including shimming, cutting, coping, and drilling for final fit-up are considered part of erection. Specified field work and field welding conditions indicated on these drawings shall also be included in the erection scope of work. See Erection Guide for shimming procedure. For building with top riding bridge cranes see Crane Data drawing for column plumb tolerance.

The building erector shall be properly licensed and experienced in erecting metal building systems. The Builder is responsible for having knowledge of, and shall comply with, all OSHA requirements and all other governing site safety criteria. The builder is responsible for designing, supplying, locating and installing temporary supports and bracing during erection of the building. VP bracing is designed for code required loads after building completion and shall not be considered as adequate erection bracing. See Erection Guide.

EXISTING STRUCTURES

VP must be advised of any structure that is within 20 ft. of VP's building. Load effects from snow drifting, wind effects, and seismic separation must be considered for both the new and existing structures. VP has designed the new VP building for these effects. The owner/builder are responsible for employing a Professional Engineer to review and verify the existing structure for all load effects from the adjacent VP building.

BRACING

Tension brace rods work in pairs to balance forces caused by initial tensioning. Care must be taken while tightening brace rods so as not to cause accidental or misalignment of components. All rods must be installed loose and then tightened. Rods should not exhibit excessive sag. For long or heavy rods, or angles it may be necessary to support the rods at mid-bay by suspending them from secondary members.

Bracing for seismic or wind loading of objects or equipment that are not a part of the VP structure must be designed by a qualified professional to deliver lateral loads to primary frames and rod bracing struts. Equipment bracing and suspension connections must not impose torsion or minor axis loads, or cause local distortion in any VP components. VP accepts no responsibility for design or installation of bracing systems not furnished by VP.

FIELD WELDING

All field welding shall be done at the direction of a design professional, and done in accordance with governing requirements (AWS in USA, CWB in Canada) by welders qualified to perform the welding as directed by the applicable welding procedure specification (WPS). A WPS shall be prepared by the contractor for each welding variation specified. The contractor is responsible for any special welding inspection as required by local jurisdiction. Filler metal shall be 70 ksi (480 MPa) tensile strength. For welds in high seismic force resisting system (Seismic Cat D, E or F), minimum Charpy V-Notch toughness shall meet AISC-341 criteria (20 lbs-in min @ 0Deg F). Interpass temperatures shall not exceed 550Deg F (300Deg C).

DELIVERIES

It is the responsibility of the builder to have adequate equipment available at the job site to unload trucks in a safe and timely manner. The Builder will be responsible for all retention charges from carriers as a result of job site unloading delays.

SIGNAGE

The Builder is responsible for furnishing signs as required by Code and the Building Department, including but not limited to, signs, occupancy limits, floor loading limits, and bulk storage limits. Floor loading signs shall clearly indicate maximum floor live load permitted. Bulk storage facilities shall have signs clearly posted on all loaded walls indicating the type of commodity stored and the maximum storage height. Signs shall be clearly visible when building is fully loaded to design level. Overloading of floors or walls may result in failure.

Claims for damage or shorts MUST be noted on the Bill-of-Lading or delivery receipt and filed against the carrier by the consignee as per VP's Terms of Sales (F.O.B. Plant) under the Uniform Commercial Code. It is critical that damages or shorts be noted on the Bill-of-Lading or you have little recourse with the carrier. Immediately upon delivery of material, material quantities are verified by the Builder against quantities billed on the shipping document. Neither the Manufacturer nor the carrier is responsible for material shortages against quantities billed on the shipping document if such shortages are not noted on the shipping documents upon delivery of material and acknowledged by the carriers agent. For materials concealed in bundles, boxes, or crates, shortages must be reported immediately upon unpacking. Should products get wet, bundled and crated materials must be unpacked and unbundled immediately to provide drainage of trapped moisture. See Erection Guide for proper job site storage procedure.

SEALANTS

Sealants shall be applied in strict accordance with VP details or weather tightness will be compromised. Sealant must be applied in temperatures and weather conditions consistent with labeling.

INDEPENDENT MEZZANINES

Independent mezzanines must be designed by a professional engineer. The engineer must ensure that proper isolation from the VP building has been provided to avoid structural damage due to differential movements, or inadvertently apply loads to the VP structure. VP accepts no responsibility for the design of the independent mezzanine.

FIRE CODE COMPLIANCE

It is the responsibility of the project design professional and builder to comply with local fire code regulations including consideration of, but not limited to, building use and occupancy, all building construction materials, separation requirements, egress requirements, fire protection systems, etc. Builder shall advise VP of any special requirements to be furnished by VP.

FIELD MODIFICATIONS

Modifications to this building from details and instructions contained on these drawings must be approved in writing by VP Buildings engineers, or other licensed structural engineer. This includes, but is not limited to, removal of roof or wall cladding, removing or moving any flange braces or rod braces, cutting of openings for doors, windows or RTU's, correction of fabrication errors, etc. The owner shall not impose loads to this structure beyond what is specified for this building in the contract documents. VP Buildings accepts no responsibility for the consequences of any unauthorized additions, alterations, or added loads to this structure.

If the builder intends to invoice VP Buildings for modifications in excess of \$1000, the builder must notify VP Buildings immediately, and obtain a Work Authorization from VP Buildings prior to proceeding. All final claims must be submitted to VP Buildings with all supporting documentation within 30 days of the building completion. Claims submitted without work authorizations, or after 30 days will not be accepted. Correction of minor misfits, shimming and plumbing, moderate amount of reaming, drilling, clipping / cutting and minor welding are considered by Code of Standard Practice to be part of erection are not subject to claim reimbursement.

CONCRETE/MASONRY/CONVENTIONAL STUD WALLS

The engineer responsible for the design of the wall system is responsible for coordinating with, or specifying to VP Buildings, any wall to steel compatibility issues such as drift and deflection compatibility, special base details, and wall to VP steel connections. All fasteners, sealant and counter flashing of wall systems are to be provided by contractor. The engineer responsible for the wall shall design the anchorage to VP supporting elements consistent with Code required forces.

PANELS

Oil canning is an inherent characteristic of cold formed steel panels. It is the result of several factors that include induced stresses in the raw material delivered to VP, fabrication methods, installation procedures, and post installation thermal forces. Thru fastened panels will exhibit some dimpling when installed, especially when insulation is installed between panels and secondary supports. Dimpling can be minimized by careful installation, taking care not to over drive fasteners.

Roof rumble is a phenomenon that is caused by wind gusts lifting up on the roof panels and then springing back into place. All panels experience this action to some degree, especially with concealed clip Standing Seam panels. Roof rumble noise may be minimized by providing a layer of blanket insulation between the panels and any hard support surface such as steel secondary members, substrates such as plywood, steel decking, or rigid board insulation. A minimum of 3 inch thick blanket is recommended over steel secondary members, or 2 inch over substrates.

Oil canning, dimpling, and roof rumble do not affect the structural integrity or weather tightness of the panels and is not grounds for rejection of panels.

The Standing Seam joint detail is designed with an interlocking feature for ease of installation. However, it is imperative that installed Standing Seam panels be secured to the secondary structural members and properly seamed prior to departure from the job site each day.

SKYLIGHTS

Local building departments may require added fall restraint due to conditions that may affect the skylight structural integrity. It is the responsibility of the builder to determine and provide any added fall restraint under the skylight as may be required by your building department.

RAIN WATER RUNOFF

Drainage systems must be designed by the project professional to comply with code requirements. VP is not responsible for drainage designs, overflow scuppers, down piping, etc. The project professional and contractor are responsible to ensure that primary drains and overflow devices such as scuppers and auxiliary drains are provided as required for the required rain intensity at the building perimeter and at valley conditions to prevent ponding.

STEEL SHOP COAT

The purpose of VP's shop coat is to provide protection for the steel members during transportation, during temporary job site storage and during erection. Standard shop formulation is not designed to perform as a finish coat when exposed to environmental conditions. Members shall be kept free of the ground and properly drained during job site storage. It is the Builder's responsibility to ensure that if a finish coat is being applied over VP shop coat that the painting contractor verifies compatibility between his finish coat and VP's shop coat.

VP BUILDINGS ACCREDITATIONS AND APPROVALS

Fabricator Approvals

IAS AC472 Approvals: (www.iasonline.org/services/metal-building-inspection)
Listed under BlueScope Buildings North America, Inc.
City of Los Angeles, CA #F00051; City of Houston, TX, 767 & 429;
City of Phoenix, AZ C19-02006; Clark County, NV 43 & 833, San Bernardino County, CA 289
State of Utah, City of Richmond, CA

Design Approvals

IAS AC472 Approvals: (www.iasonline.org/services/metal-building-inspection)
Listed under Varco Pruden Buildings, a Division of BlueScope Buildings North America, Inc.

Canadian CSA A660 Certifications

(www.cwbggroup.org)
Listed under BlueScope Buildings North America, Inc.

Engineering Certifications of Authorization

USA - AR#676; FL#30427; ID#C-2470; IL#184-002849; KS#E-29; MS#E-0592;
MO#E-2010007736; NC#F-0938; OK#CA4170PE; SD#C-1787; TX#F-4828; WV#WC03059-00;
CAN - AB#P08900; NS#S0123; ON#F10048796; and YT#FP134

ICC Evaluation Reports (www.icc-es.org)

SSR Roof System - #ESR-2527

State of Florida Product Approvals (www.floridabuilding.org)

Approved Products Listed Under VP Buildings, Inc.

VP TextureClad - See Transamerican Structures, Inc.

Dade Co. Product Approval (www.miamidade.gov/buildingcode)

Approved Products Listed Under Varco Pruden Buildings, Inc.

VP TextureClad - See Transamerican Structures, Inc.

Underwriter's Laboratory Approvals (Available only when specified in contract)

SSR Roof-ULJTGXK-113; SSR Composite Roof Class 90-ULJTGXK-113A;

SSR Roof w/Super Block; Class 90-ULJTGXK-328;

Panel Rib Roof UL Class 60-ULJTGXK-60; Panel Rib Roof UL Class 90-ULJTGXK-64;

VP SLR II Roof Class 90-ULJTGXK-90, -180, -435, -435A, -176, -238, -238A, -238B

Factory Mutual Approved Assemblies (Available only when specified in contract)

SSR Roof Systems are approved in various type applications and listed in FM Approval Guide.

24 Ga SSR (0.0227" Nominal), is available in Class 1-60, 1-75, 1-90, 22Ga SSR (0.0277" Nominal), is available in Class 1-75, 1-90, 1-120.

SLR II Roof Systems are approved in various type applications and listed in FM Approval Guide.

24 Ga SLR II (0.0227" Nominal), is available in Class 1-75 and 1-120.



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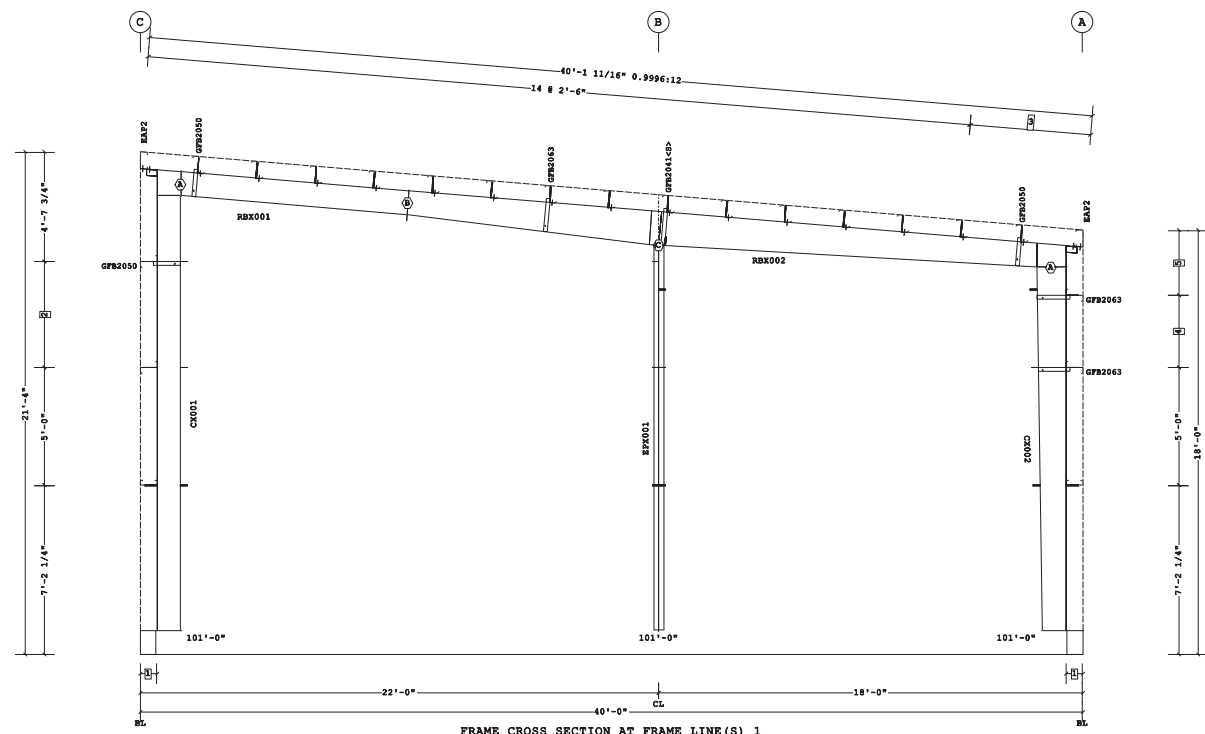
<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE REPRODUCED, REPROCESSED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.</p>		<p>C VP Buildings 3200 Players Club Circle Memphis TN 38125</p> <table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="4" style="text-align: center;">NTS</td> </tr> </tbody> </table>	REV	DATE	BY	DESCRIPTION					NTS				<p>ERECTION NOTES</p> <table border="1"> <tr> <td>BUILDER:</td> <td>Teton West Construction, Inc</td> <td>JOB #:</td> <td>21-028270-01</td> </tr> <tr> <td>DATE:</td> <td>Todd Hunter</td> <td>DATE:</td> <td>12/20/2021</td> </tr> <tr> <td>LOCATION:</td> <td>Halley, Idaho</td> <td>DESIGNER/ENGINEER:</td> <td>LARN</td> </tr> <tr> <td>PROJECT:</td> <td>Todd Hunter 40x60</td> <td>CF</td> <td></td> </tr> <tr> <td>BUILDERS PO#:</td> <td></td> <td>PAGE:</td> <td>3</td> </tr> <tr> <td>FILENAME:</td> <td>Todd Hunter 40x60</td> <td>OF:</td> <td></td> </tr> </table>	BUILDER:	Teton West Construction, Inc	JOB #:	21-028270-01	DATE:	Todd Hunter	DATE:	12/20/2021	LOCATION:	Halley, Idaho	DESIGNER/ENGINEER:	LARN	PROJECT:	Todd Hunter 40x60	CF		BUILDERS PO#:		PAGE:	3	FILENAME:	Todd Hunter 40x60	OF:	
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		<p>12/20/2021 11:22:32</p> <p style="text-align: right;">© a division of BlueScope Buildings North America, Inc.</p>																																						

Frame Member Schedule									
Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight	Detail
CX001	1	5.0000	.2500	.1345	1'-0"	1'-0"	19'-6 3/4"	301#	
RBX001	2	5.0000	.1875	.1345	11 15/16"	1'-0"	9'-8 9/16"	145#	
RBX002	3	5.0000	.2500	.1345	1'-0"	1'-5"	28'-8 1/8"	484#	
	4	5.0000	.2500	.1345	1'-5"	1'-0"			
CX002	5	5.0000	.1875	.1345	1'-0"	1'-3"	15'-5 1/4"	219#	
EPX001	6	5.0000	.1875	.1345	10"	10"	16'-4 11/16"	196#	BR25A3

Bolt Connection & Plate Schedule											
Id	Qty	Grade	Bolt	Plate	Rows	Rows	Tension	Washer	PartNo		
			Length	Thick.	Out	In	Bolt				
A	4	F1852	3/4"	2"	3/8"	1	1	Yes	Yes	0097388	
B	6	F1852	3/4"	2"	3/8"	1	2	Yes	Yes	0097388	
C	4	A325	1/2"	1 1/2"	3/8"	1	1			49080	

<S> - (2) Washers (095872) req'd at Flange Brace to Secondary.

Frame Clearances
 Horiz. Clearance between members 1 (CX001) and 5 (CX002): 36"-4"
 Vert. Clearance at member 1 (CX001): 19'-5 1/4"
 Vert. Clearance at member 5 (CX002): 16'-5 1/4"
 Vert. Clearance at member 6 (EPX001): 17'-4 9/16"
 Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 5 2'-9"
 - 4 3'-0 3/4"
 - 3 2'-6 13/16"
 - 2 4'-6"
 - 1 8 1/2"
- Dimension Key

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47129) WHO WASHERS SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
 2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

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Shape Name = Shop Wall 4, Frame 1



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VP Buildings				FRAME CROSS SECTION AT FRAME LINE(S) 1			
3200 Players Club Circle Memphis TN 38125				Teton West Construction, Inc			
REV	DATE	BY	DESCRIPTION	LOCATOR	Todd Hunter	JOB #	21-028270-01
				LOCATION	Halley, Idaho	DATE	01/05/2022
				PROJECT	Todd Hunter 40x60	DESIGNER/CHKR	EGG EMW
				BUILDERS P/O		PAGE	7
NTS				FILENAME: Todd Hunter 40x60			

1/5/2022

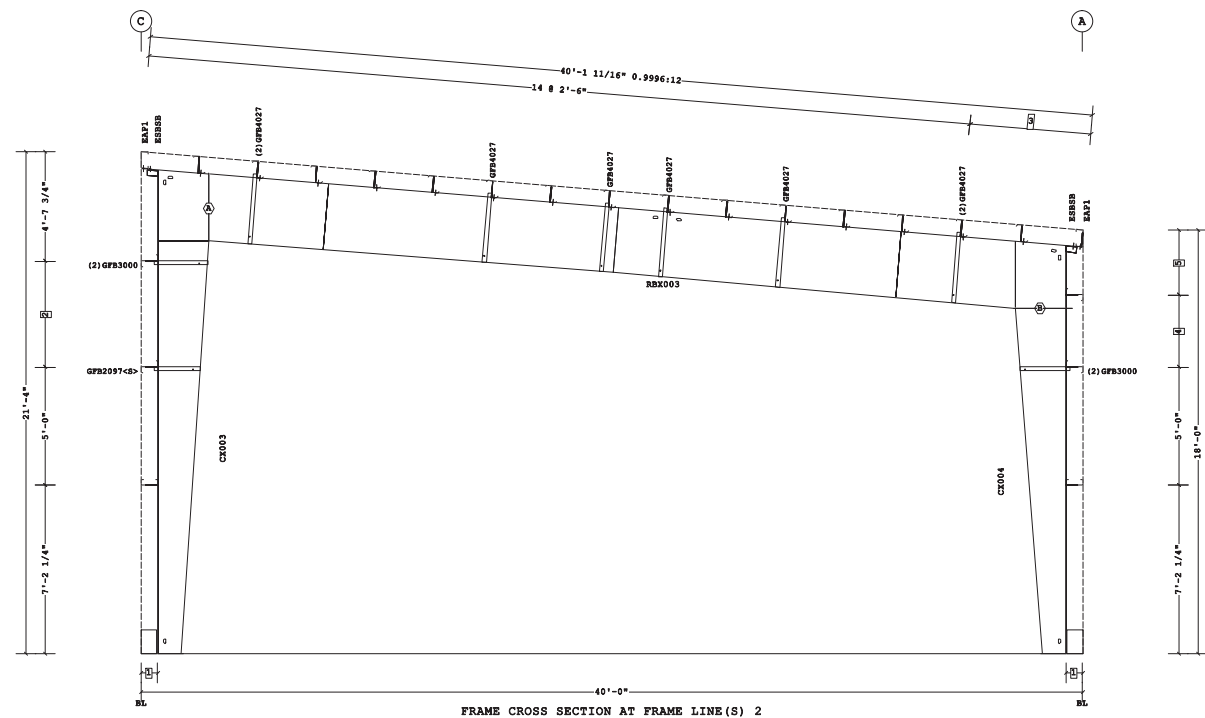
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Frame Member Schedule						
Part	Mem	Width	Thick	WebThk. Depth1	Depth2	Approx.Lgth
CX003	1	6.0000	.5000	.1345	1'-0"	2'-2"
RBX003	2	5.0000	.3125	.1644	2'-10"	20'-6 3/4"
	3	5.0000	.3125	.1644	2'-9"	37'-2 3/4"
CX004	4	6.0000	.5000	.1345	1'-0"	14'-8 3/16"

Bolt Connection & Plate Schedule									
Id	Qty	Grade	Bolt	Plate	Rows	Rows	Tension	Washer	PartNo
			Di.	Length	Thick.	Out	In	Bolt	
A	8	F1852	3/4"	2 1/4"	1/2"	3	1	Yes	Yes
B	10	F1852	3/4"	2"	3/8"	4	1	Yes	Yes

Frame Clearances
 Horiz. Clearance between members 1 (CX003) and 4 (CX004): 34'-3"
 Vert. Clearance at member 1 (CX003): 17'-6"
 Vert. Clearance at member 4 (CX004): 14'-8 3/16"
 Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



FRAME CROSS SECTION AT FRAME LINE (S) 2

- 5 2'-9"
- 4 3'-0 3/4"
- 3 2 8 2'-6 13/16"
- 2 4'-6"
- 1 8 1/2"

Dimension Key

Shape Name = Shop Wall 4, Frame 2

1. USE 1/2 X 1 1/2 A325T BOLT (4998) AND NUT (47129).
 TWO WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
 2. SLOOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

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FOR CONSTRUCTION

C VP Buildings 3200 Players Club Circle Memphis TN 38125			FRAME CROSS SECTION AT FRAME LINE(S) 2		
REV	DATE	BY	DESCRIPTION	BUILDER	JOB #
				Teton West Construction, Inc	21-028270-01
				LOCATION: Todd Hunter	DATE: 01/05/2022
				LOCATION: Halley, Idaho	DESIGNER/CHK: EGG EMW
				PROJECT: Todd Hunter 40x60	PAGE: 8
				BUILDER P/O:	FILENAME: Todd Hunter 40x6
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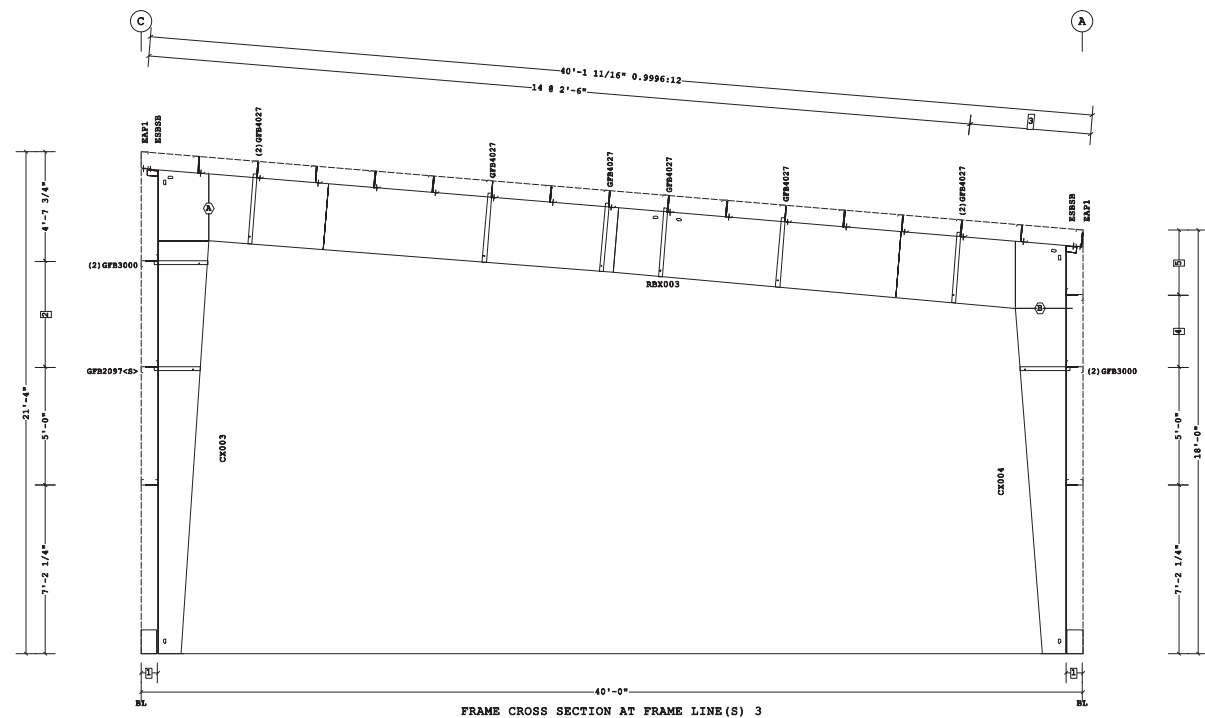
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Frame Member Schedule						
Part	Mem	Width	Thick	WebThk. Depth1	Depth2	Approx.Lgth
CX003	1	6.0000	.5000	.1345	1'-0"	2'-2"
RBX003	2	5.0000	.3125	.1644	2'-10"	2'-9"
	3	5.0000	.3125	.1644	2'-9"	2'-10"
CX004	4	6.0000	.5000	.1345	1'-0"	2'-2"

Bolt Connection & Plate Schedule									
Id	Qty	Grade	Bolt	Plate	Rows	Rows	Tension	Washer	PartNo
			Di.	Length	Thick.	Out	In	Bolt	
A	8	F1852	3/4"	2 1/4"	1/2"	3	1	Yes	Yes
B	10	F1852	3/4"	2"	3/8"	4	1	Yes	Yes

Frame Clearances
 Horiz. Clearance between members 1 (CX003) and 4 (CX004): 34'-3"
 Vert. Clearance at member 1 (CX003): 17'-6"
 Vert. Clearance at member 4 (CX004): 14'-8 3/16"
 Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



- 5 2'-9"
 - 4 3'-0 3/4"
 - 3 2 8 2'-6 13/16"
 - 2 4'-6"
 - 1 8 1/2"
- Dimension Key

FRAME CROSS SECTION AT FRAME LINE(S) 3

Shape Name = Shop Wall 4, Frame 3

1. USE 1/2 X 1 1/2 A325T BOLT (4908) AND NUT (47129).
 TWO WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS, SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS, UNLESS NOTED OTHERWISE.
 2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME SIDE OF THE WEB AS THE HILLSIDE WASHER.

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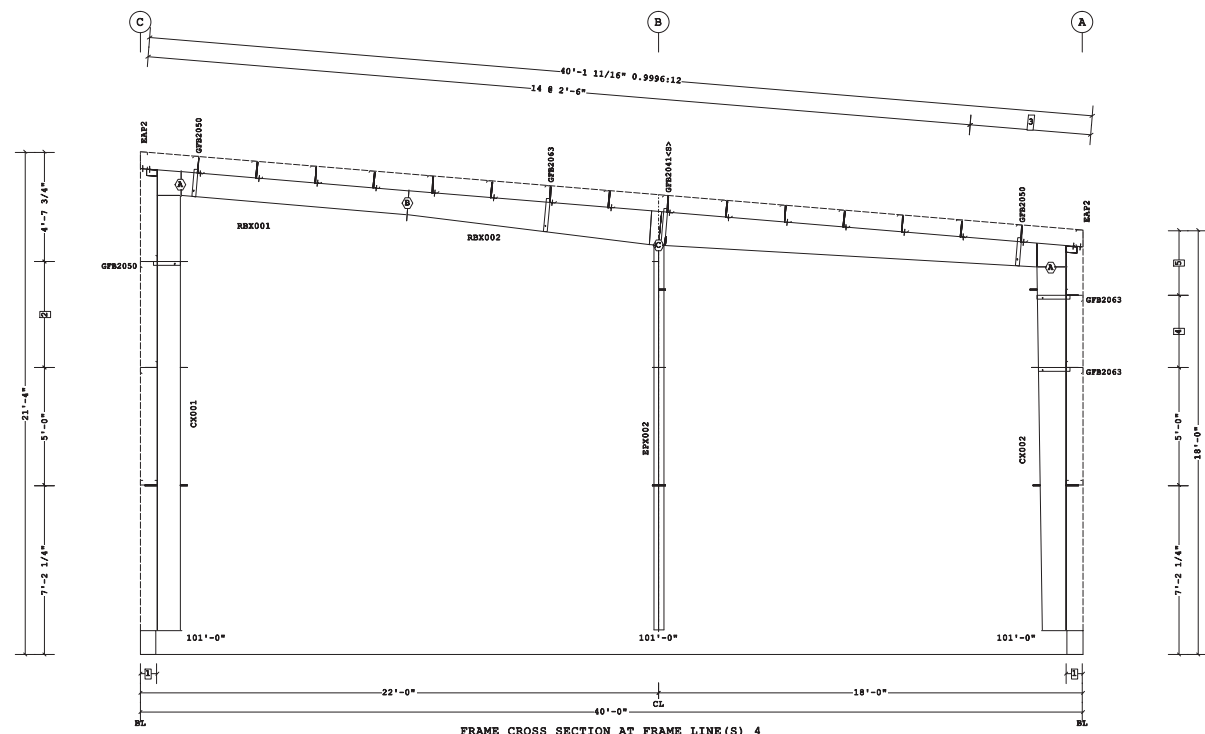
C VP Buildings 3200 Players Club Circle Memphis TN 38125	VP BUILDINGS FRAME CROSS SECTION AT FRAME LINE(S) 3	
	BUILDER: Teton West Construction, Inc. CUSTOMER: Todd Hunter LOCATION: Halley, Idaho PROJECT: Todd Hunter 40x60 BUILDER P/O:	JOB # 21-028270-01 DATE 01/05/2022 DRAWN BY EGG CHECKED BY EMW DATE 01/05/2022 SCALE 9
NTS		FILENAME: Todd Hunter 40x60

Frame Member Schedule									
Part	Mem	Width	Thick	WebThk.	Depth1	Depth2	Approx.Lgth	Approx.Weight	Detail
CX001	1	5.0000	.2500	.1345	1'-0"	1'-0"	19'-6 3/4"	301#	
RBX001	2	5.0000	.1875	.1345	1'-0"	1'-0"	9'-8 9/16"	145#	
RBX002	3	5.0000	.2500	.1345	1'-0"	1'-5"	28'-8 1/8"	484#	
	4	5.0000	.2500	.1345	1'-5"	1'-0"			
CX002	5	5.0000	.1875	.1345	1'-0"	1'-3"	15'-5 1/4"	219#	
EPX002	6	5.0000	.1875	.1345	10"	10"	16'-4 11/16"	196#	BR25A3

Solt Connection & Plate Schedule										
Id	Qty	Grade	Bolt	Plate	Rows	Rows	Tension	Washer	PartNo	
			Length	Thick.	Out	In				
A	4	F1852	3/4"	2"	3/8"	1	1	Yes	Yes	0097388
B	6	F1852	3/4"	2"	3/8"	1	2	Yes	Yes	0097388
C	4	A325	1/2"	1 1/2"	3/8"	1	1			49080

<S> - (2) Washers (095872) req'd at Flange Brace to Secondary.

Frame Clearances
 Horiz. Clearance between members 1 (CX001) and 5 (CX002): 36'-4"
 Vert. Clearance at member 1 (CX001): 19'-5 1/4"
 Vert. Clearance at member 5 (CX002): 16'-5 1/4"
 Vert. Clearance at member 6 (EPX002): 17'-4 9/16"
 Finished Floor Elevation = 100'-0" (Unless Noted Otherwise)



FRAME CROSS SECTION AT FRAME LINE (S) 4

- 5 2'-9"
 - 4 3'-0 3/4"
 - 3 2'-2 6 13/16"
 - 2 4'-6"
 - 1 8 1/2"
- Dimension Key

1. USE 1/2 X 1 1/2 A325T BOLT (49080) AND NUT (47129).
 TWO WASHERS, SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS,
 SECONDARY CLIP CONNECTIONS, AND FLANGE BRACE CONNECTIONS,
 UNLESS NOTED OTHERWISE.
 2. SLOT REINFORCEMENT PLATES NEED NOT BE LOCATED ON THE SAME
 SIDE OF THE WEB AS THE HILLSIDE WASHER.

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Shape Name = Shop Wall 4, Frame 4



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FOR CONSTRUCTION

VP Buildings				FRAME CROSS SECTION AT FRAME LINE(S) 4			
3200 Players Club Circle Memphis TN 38125				Teton West Construction, Inc			
REV	DATE	BY	DESCRIPTION	LOCATOR	Todd Hunter	JOB #	21-028270-01
				LOCATION	Halley, Idaho	DATE	01/05/2022
				PROJECT	Todd Hunter 40x60	DESIGNED BY	EGG
				BUILDERS P.O.		CHECKED BY	EMW
NTS				BUILDERS P.O.		SCALE	10
1/5/2022				DATE	11:32:08	FILENAME	Todd Hunter 40x60



A BlueScope Steel Company
 VFC 00000000 2021.3b

Secondary Part Schedule

Mark	Part	Thick.	Depth	Lap	Detail
E1	00108ES1911414B01	0.0790	8 1/2"		RS12PF,RS12PF
E2	00108ES1911414B01	0.0790	8 1/2"		RS12PF,RS12PF
E3	0981911414DDB01	0.0790	8 1/2"		RS12PF
E4	0981911414DDB01	0.0790	8 1/2"		RS12PF
E5	00208ES1911414B01	0.0790	8 1/2"		RS12PF,RS12PF
F1	0822211413B4A0	0.0680	8 1/2"	2'-10 1/2"	RS02T1,RS03J1
F2	082221141622B0	0.0680	8 1/2"	1'-4 1/2"	RS03J1

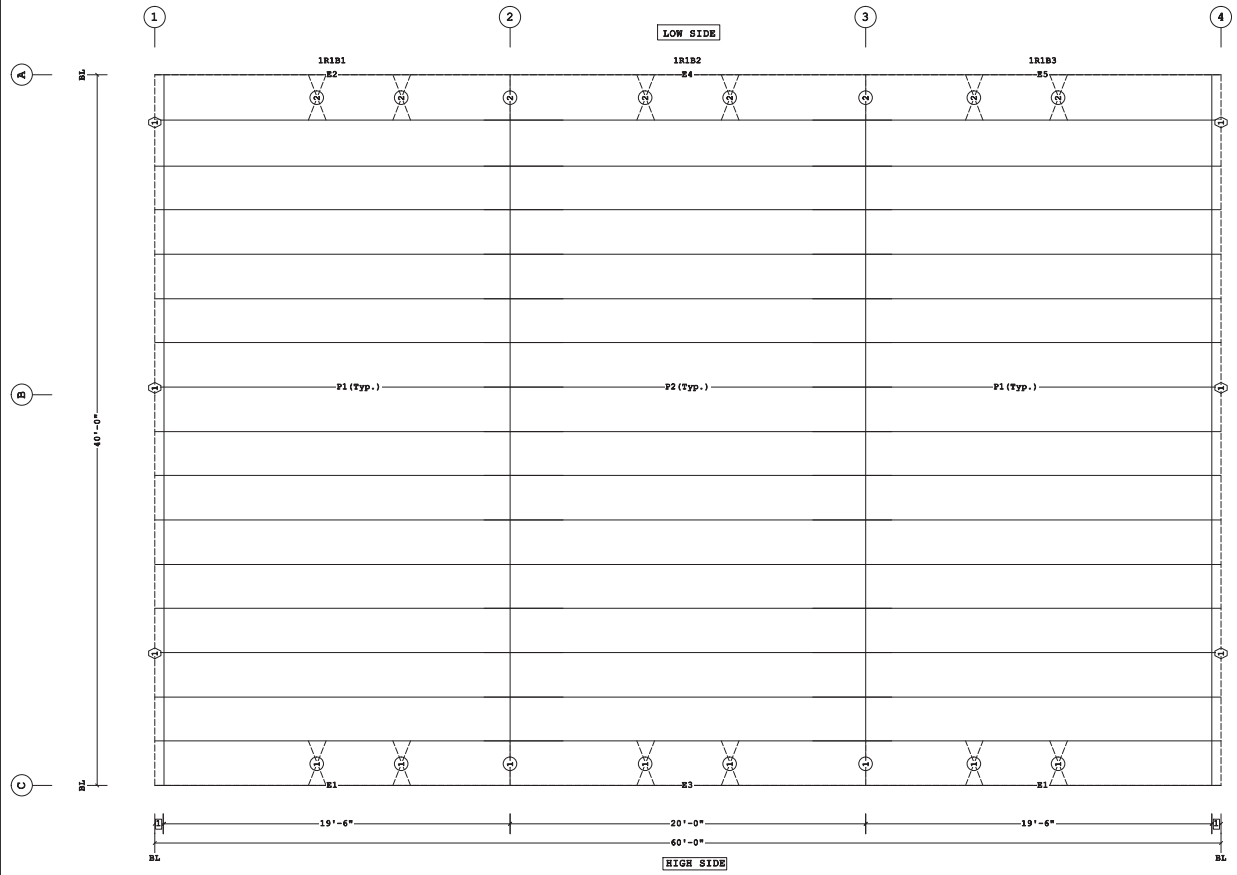
Secondary Bracing Schedule

Id	Qty	Mark No	Spacing
1	14	FBA0209 (Typ.)	2'-6"
2	14	FBA0211	2'-6 13/16"

See SED:
BR09K5, BR09RY, BR09RZ, BR09K2, BR09W2

Part Mark Key

1 RCB15



ROOF SECONDARY PLAN

1 6"
Dimension Key

Shape Name = Shop

- UNLESS NOTED, USE 1/2 X 1 1/2 A328T BOLT (4908) AND NUT (4712) W/0 WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
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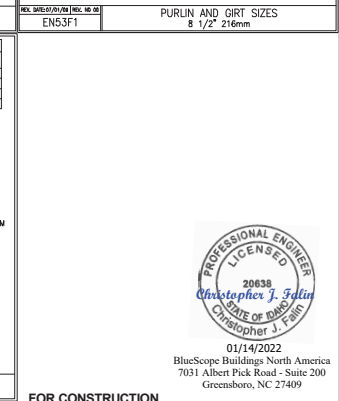
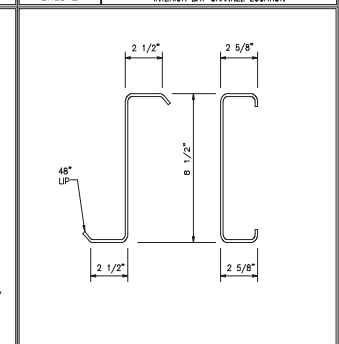
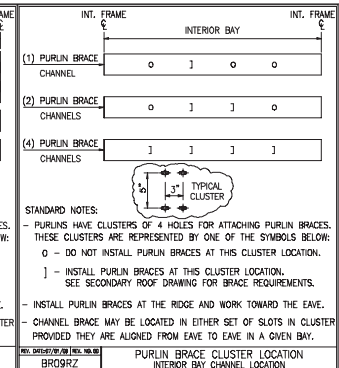
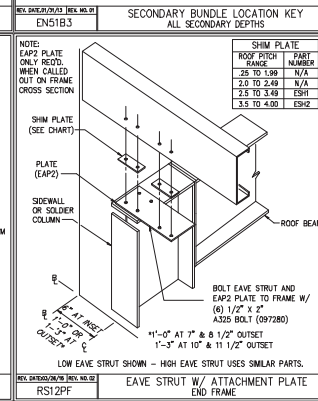
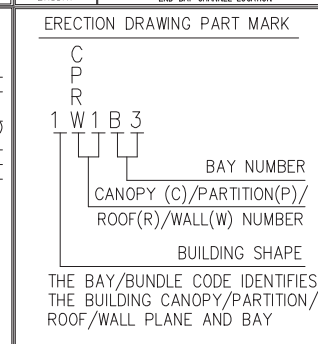
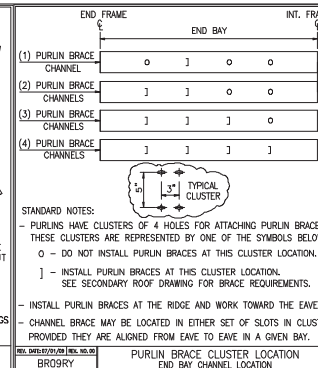
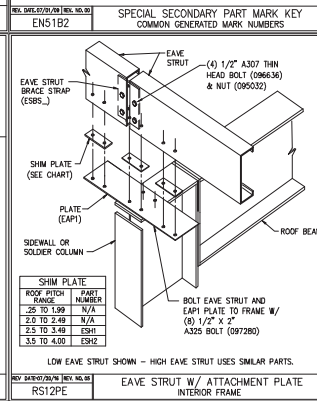
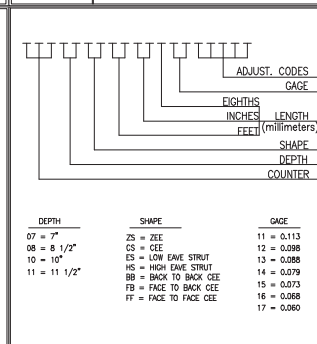
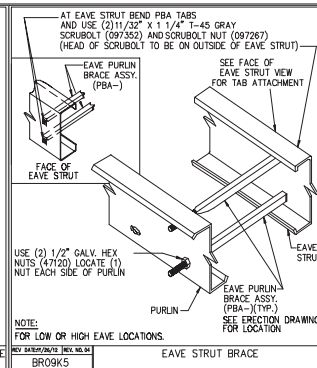
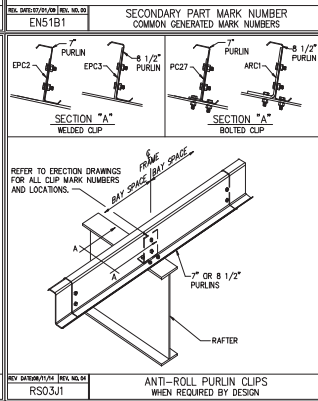
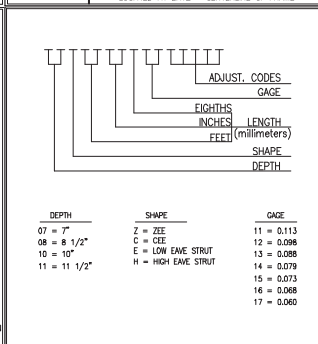
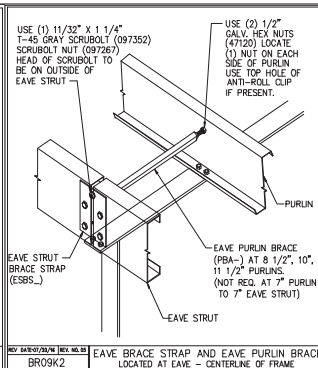
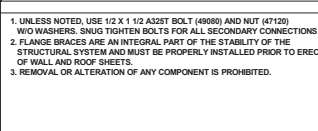
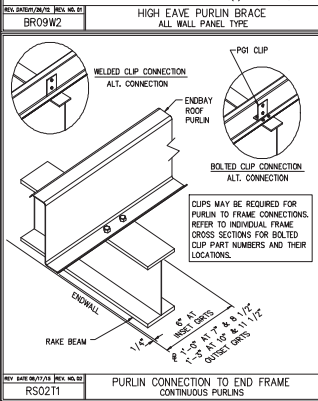
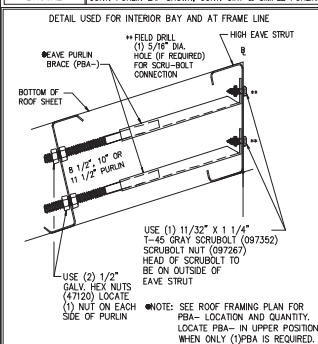
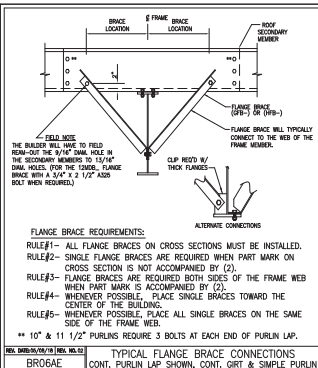
REV	DATE	BY	DESCRIPTION
NTS			

VP Buildings		ROOF SECONDARY PLAN	
3200 Players Club Circle Memphis TN 38125		Teton West Construction, Inc	
JOB #		21-028270-01	
DESIGNER		Todd Hunter	
LOCATION		Halley, Idaho	
PROJECT		Todd Hunter 40x60	
BUILDERS PO#		EGG EMW	
DATE		01/05/2022	
DRAWN		EMW	
CHECKED		EMW	
DATE		01/05/2022	
SCALE		1/2" = 1'-0"	
PROJECT		Todd Hunter 40x60	
BUILDERS PO#		EGG EMW	
DATE		01/05/2022	
DRAWN		EMW	
CHECKED		EMW	
DATE		01/05/2022	
SCALE		1/2" = 1'-0"	



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1. UNLESS NOTED, USE 1/2 X 1 1/2 A328T BOLT (49089) AND NUT (47120) W/ WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
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REV	DATE	BY	DESCRIPTION

BUILDER	DATE	PROJECT	REVISIONS
Teton West Construction, Inc	01/05/2022	3200 Players Club Circle Memphis TN 38125	13

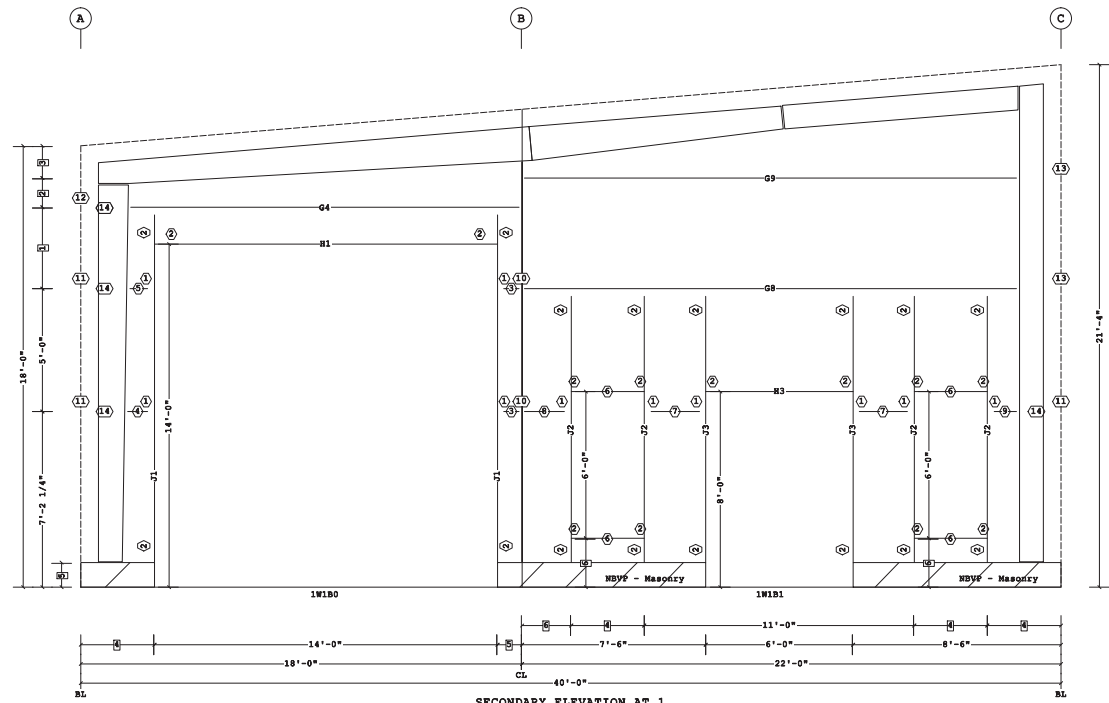


Secondary Part Schedule

Mark	Part	Thick.	Depth	Detail
G1	JCP051092	0.0600	8 1/2"	WS20F2,WSRX01,WS10AD
G2	JCP051070	0.0600	8 1/2"	WS20F2,WS21D3
G3	JCP051092	0.0600	8 1/2"	WS20F2,WSRX01,WS10AD
G4	00108ES151011710	0.0600	8 1/2"	WSR001,WS01H2,WS10AD
G5	08C01074178G10	0.0600	8 1/2"	WS20F2,WS21D3
G6	00108CS01141700	0.0600	8 1/2"	WS20F2
G7	JCP051104	0.0600	8 1/2"	WSR001,WS20F2,WS10AD
G8	00208ES200101510	0.0730	8 1/2"	WSR001,WS01H2
G9	00308ES200101710	0.0600	8 1/2"	WS01H2,WSR001

Secondary Part Schedule

Mark	Part	Thick.	Depth	Detail
H1	00208JS1400017	0.0600	8 1/2"	WS20F9
H2	00508JS0300017	0.0600	8 1/2"	WS20F9,WS20FB
H3	00608JS0600017	0.0600	8 1/2"	WS20F9
J1	00108JS1402217	0.0600	8 1/2"	WS20F9,WS20F2,WS20B2,WS20B7
J2	00308JS1010417	0.0600	8 1/2"	WS20F2,WS20FB,WS20F9,WS20B2,WS20B7
J3	00408JS1010417	0.0600	8 1/2"	WS20F9,WS20F2,WS20B2,WS20B7



NOTE:
 - Each OHD (14' x 14') Jamb was designed to support 700 lb of door weight .
 - Each OHD (6' x 8') Jamb was designed to support 250 lb of door weight .

14	GFA106
13	GFA206
12	GFA300
11	GFA306
10	GFA200
9	G7
8	G5
7	G6
6	H2
5	G3
4	G1
3	G2
2	PG1
1	PTG1

□ Dimension Key ○ Part Mark Key

Shape Name = Shop, Wall = 1

1. UNLESS NOTED, USE 1/2 X 1 1/2 A328T BOLT (#9089) AND NUT (#7120) W/0 WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
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REV	DATE	BY	DESCRIPTION
NTS			

VP Buildings		3200 Players Club Circle Memphis TN 38125	
BUILDER	Teton West Construction, Inc	DATE	01/05/2022
DESIGNER	Todd Hunter	PROJECT	Todd Hunter 40x60
LOCATION	Halley, Idaho	BUILDERS P/O	Todd Hunter 40x60
PROJECT	Todd Hunter 40x60	FILENAME	Todd Hunter 40x60
BUILDERS P/O	Todd Hunter 40x60	DATE	01/05/2022
FILENAME	Todd Hunter 40x60	DATE	01/05/2022



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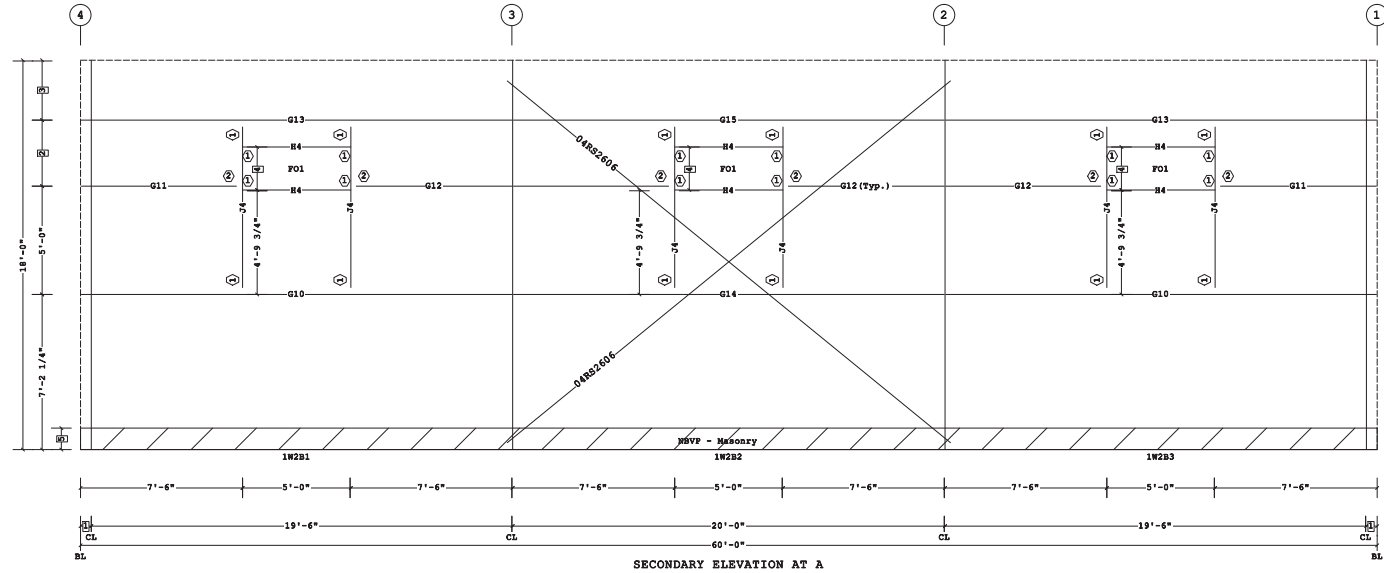
VP BUILDINGS		MEMBER SINCE 2021	
EGG	EMW	DATE	01/05/2022
FILENAME	Todd Hunter 40x60	DATE	01/05/2022

1/5/2022

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Secondary Part Schedule				Framed Opening Locations				Bracing Part Schedule			Detail				
Mark	Part	Thick.	Depth	Detail	Id	Width	Height	Sill Ht.	Frame To	Dimen.	Description	Part	Qty	Length	Detail
G10	08C191141BD00	0.1130	8 1/2"	WSR001,WS01G2	FO1	5'-0"	2'-0"	12'-0"	1	Jamb-L	7'-0"	04RS2606	2	26'-6"	BR01G2
G11	0820702417BG00	0.0600	8 1/2"	WSR001,WS20F2	FO1	5'-0"	2'-0"	12'-0"	2	Jamb-L	7'-6"				
G12	0820702417DG00	0.0600	8 1/2"	WS01G2,WS20F2	FO1	5'-0"	2'-0"	12'-0"	3	Jamb-L	7'-6"				
G13	0821911417BD00	0.0600	8 1/2"	WSR001,WS01G2											
G14	08C191141DD00	0.1130	8 1/2"	WS01G2											
G15	0821911417DD00	0.0600	8 1/2"	WS01G2											
H4	0808J0500017	0.0600	8 1/2"	WS20F9,WS20FB											
J4	00708J0705217	0.0600	8 1/2"	WS20F2,WS20FB,WS20F9,WS20B2,WS20H2											



SECONDARY ELEVATION AT A

- 5 1'-0"
 - 4 2'-0"
 - 3 2'-9"
 - 2 3'-0 3/4"
 - 1 6"
- Dimension Key Part Mark Key

2 JTG1
1 PGI

Shape Name = Shop, Wall = 2

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REV	DATE	BY	DESCRIPTION

NTS

VP Buildings		3200 Players Club Circle Memphis TN 38125	
BUILDER	Teton West Construction, Inc	OWNER	Todd Hunter
LOCATION	Halley, Idaho	PROJECT	Todd Hunter 40x60
BUILDERS PO#		BUILDERS PO#	
FILENAME	Todd Hunter 40x60	DATE	01/05/2022
		PAGE	15



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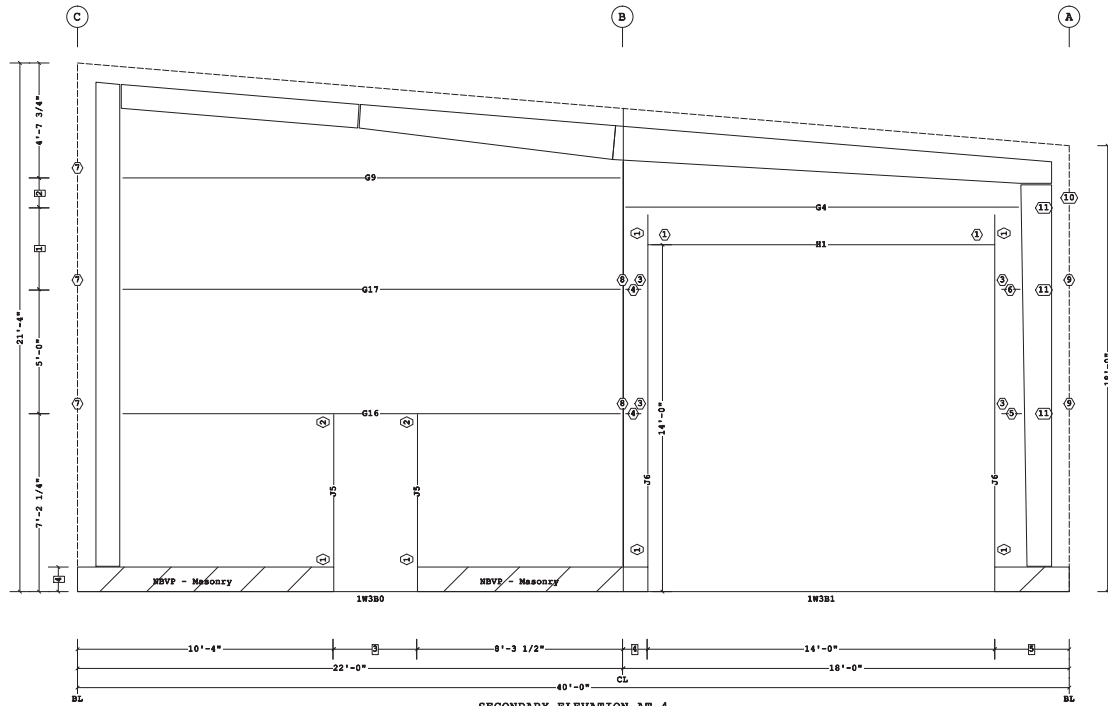
FOR CONSTRUCTION

1/5/2022

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Mark	Part	Thick.	Depth	Detail
G1	JCP051092	0.0600	8 1/2"	WS20F2, WSRX01, WS10AD
G2	JCP051070	0.0600	8 1/2"	WS20F2, WS21D3
G3	JCP051092	0.0600	8 1/2"	WS20F2, WSRX01, WS10AD
G4	00108ZS151011710	0.0600	8 1/2"	WSR001, WS01H2, WS10AD
G9	00308ZS200101710	0.0600	8 1/2"	WSR001, WS01H2
G16	00208ZS200101710	0.0600	8 1/2"	WSR001, WS01H2
G17	00408ZS200101610	0.0680	8 1/2"	WSR001, WS01H2
H1	00208JS1400017	0.0600	8 1/2"	WS20F9
J5	00908JS0602017	0.0600	8 1/2"	WS20B1, WS20B7
J6	01008JS1402217	0.0600	8 1/2"	WS20F9, WS20F2, WS20B2, WS20B7



NOTE:
- Each ORD (14' x 14') Jamb was designed to support 700 lb of door weight.

- 11 GFA106
 - 10 GFA300
 - 9 GFA306
 - 8 GFA200
 - 7 GFA206
 - 6 G3
 - 5 G1
 - 4 G2
 - 3 JTG1
 - 2 GCS
 - 1 PG1
- 5 3'-0"
- 4 1'-0"
- 3 3'-4 1/2"
- 2 3'-2 1/4"
- 1 3'-3 3/4"
- Dimension Key ○ Part Mark Key

Shape Name = Shop, Wall = 3

1. UNLESS NOTED, USE 1/2 X 1 1/2 A328T BOLT (4998) AND NUT (47120)
W/O WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
2. FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
3. REMOVAL OR ALTERATION OF ANY COMPONENT IS PROHIBITED.

THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.

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REV	DATE	BY	DESCRIPTION
NTS			

VP Buildings	
3200 Players Club Circle Memphis TN 38125	
BUILDER	Teton West Construction, Inc
DESIGNER	Todd Hunter
LOCATION	Halley, Idaho
PROJECT	Todd Hunter 40x60
BUILDERS P.O.	
FILENAME	Todd Hunter 40x6



01/14/2022
BlueScope Buildings North America
7031 Albert Pick Road - Suite 200
Greensboro, NC 27409

FOR CONSTRUCTION

SECONDARY ELEVATION AT 4	
JOB #	21-028270-01
DATE	01/05/2022
DESIGNER/ENGINEER	EGG EMV
PACK	EMV
FILE	16

1/5/2022

11:32:16

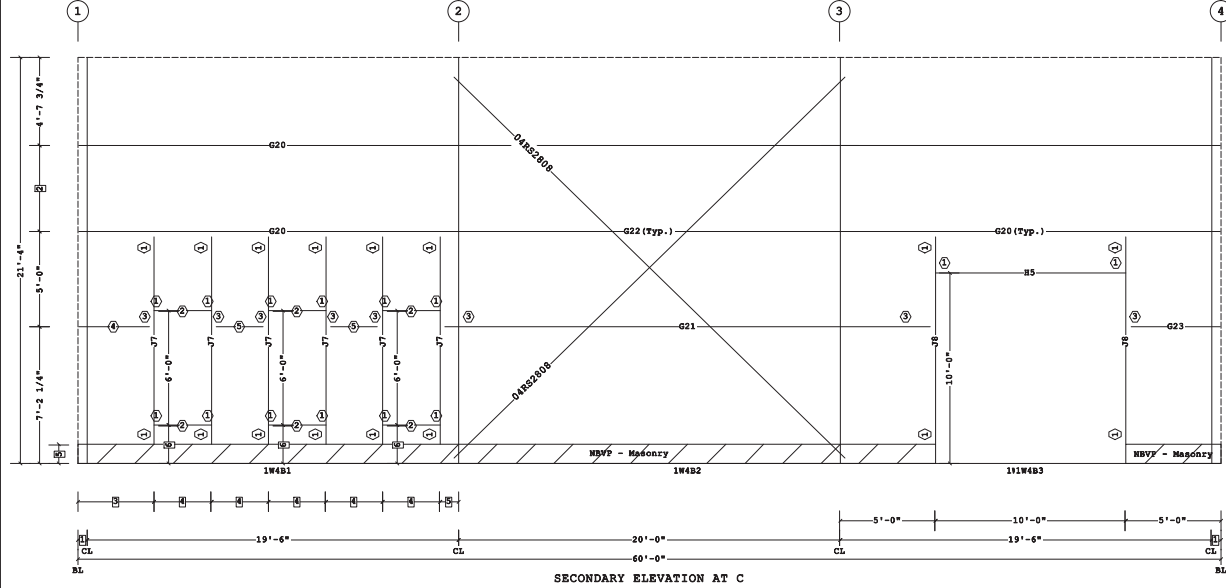
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VFC-00000000-2021-30

Secondary Part Schedule

Mark	Part	Thick.	Depth	Lap	Detail
G18	08C0308417B600	0.0600	8 1/2"		WSR001, WS20F2
G19	00308CS020541700	0.0600	8 1/2"		WS20F2
G20	0822011417B100	0.0600	8 1/2"	10 1/2"	WSR001, WS01G3
G21	00406CS20541700	0.0600	8 1/2"		WS20F2, WS21D5
G22	0822114171100	0.0600	8 1/2"	10 1/2"	WS01G3
G23	08C0408417B600	0.0600	8 1/2"		WSR001, WS20F2
H2	00508JS0300017	0.0600	8 1/2"		WS20F9, WS20FB
H5	01308JS1000017	0.0600	8 1/2"		WS20F9
J7	01108JS1010417	0.0600	8 1/2"		WS20F2, WS20FB, WS20F9, WS20B2, WS20B7
J8	01208JS1010417	0.0600	8 1/2"		WS20F9, WS20F2, WS20B2, WS20B7

Bracing Part Schedule

Part	Qty	Length	Detail
04RS2808	2	28'-8"	BR01G2



SECONDARY ELEVATION AT C

NOTES:
- Each OBD (10' x 10') Jamb was designed to support 350 lb of door weight .

- 6 2'-0"
 - 5 1'-0"
 - 4 3'-0"
 - 3 4'-0"
 - 2 4'-6"
 - 1 6"
 - 5 G19
 - 4 G18
 - 3 JTG1
 - 2 H2
 - 1 PG1
- Dimension Key Part Mark Key

Shape Name = Shop, Wall = 4

FOR CONSTRUCTION

1. UNLESS NOTED, USE 1/2 X 1 1/2 A328T BOLT (4908) AND NUT (4712) W/0 WASHERS. SNUG TIGHTEN BOLTS FOR ALL SECONDARY CONNECTIONS.
2. FLANGE BRACES ARE AN INTEGRAL PART OF THE STABILITY OF THE STRUCTURAL SYSTEM AND MUST BE PROPERLY INSTALLED PRIOR TO ERECTION OF WALL AND ROOF SHEETS.
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REV	DATE	BY	DESCRIPTION
NTS			

VP Buildings	
3200 Players Club Circle Memphis TN 38125	
BUILDER	Teton West Construction, Inc
DESIGNER	Todd Hunter
LOCATION	Halley, Idaho
PROJECT	Todd Hunter 40x60
BUILDERS PO#	
DATE	01/14/2022
FILENAME	Todd Hunter 40x60



01/14/2022
BlueScope Buildings North America
7031 Albert Pick Road - Suite 200
Greensboro, NC 27409

VP BUILDINGS MEMPHIS, TN	A BlueScope Steel Company VPS-2021-30	JOB #	21-028270-01
		DATE	01/05/2022
DESIGNER	EGG	ERECTOR	EMW
BUILDERS PO#	17		

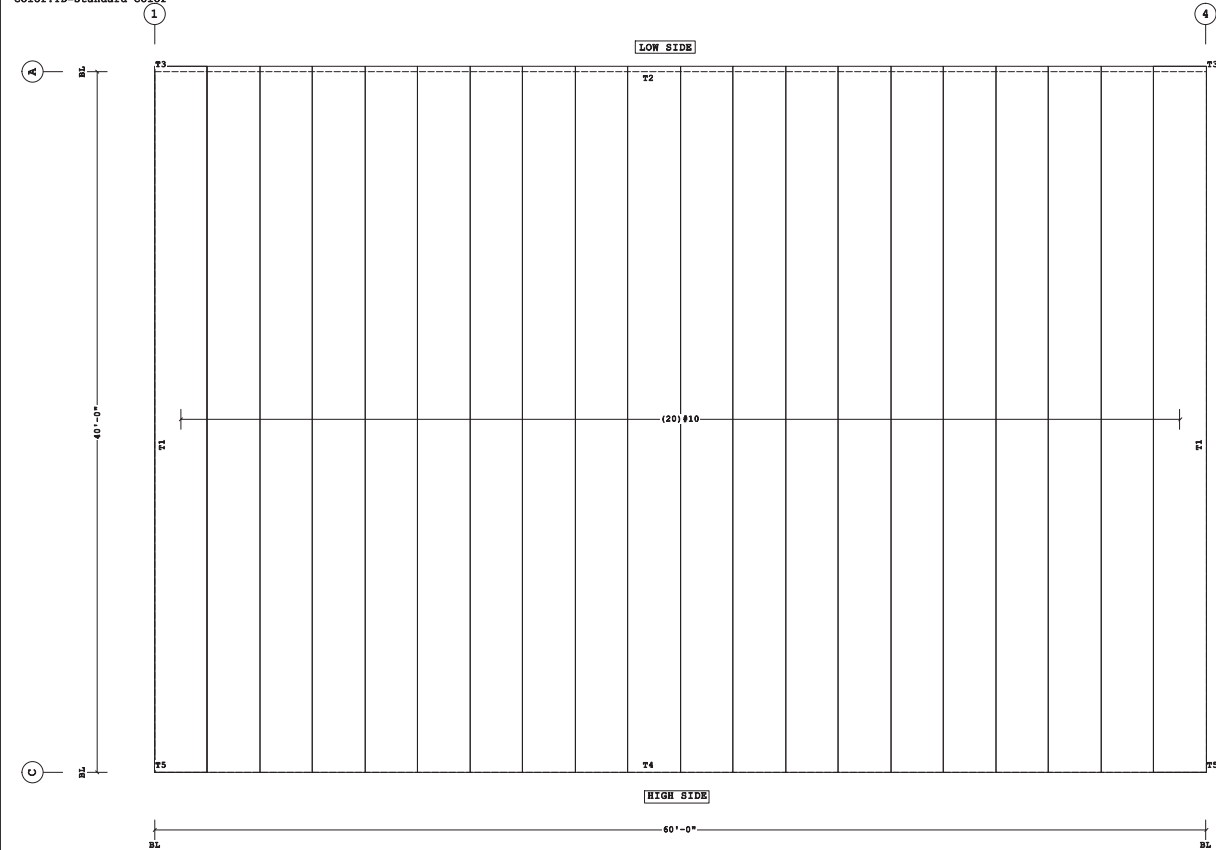
Covering Mark Schedule			
Id	Qty	Start Panel	Direction
#10	20	R40047261GTD	Left to Right

Covering Schedule						
Id	Qty	Length	Type	Gage	OP	Fin. Color
#10	20	40'-4 7/8"	PR	26	1	G TD

Oper. Code:1=SQ,8Q
Finish:G=Galvalume
Color:TD=Standard Color

Trim Schedule	
Id	Parts
T1	(2) RKF16, RKF10
T2	(3) EG201, (6) GRA10, (6) PCA10A, (21) STR2
T3	BS1, FFRF1, GG1, MCC1
T4	(3) FKF20A
T5	MCC1

Color		Details	
Cool Ebony	RC30B1, RS10R1	Cool Ebony	RC03B1, RC04B2, RC32B1, RC39A3, RCV324, WC04G1, WC11F1
Cool Ebony	RC38N1	Cool Ebony	ENS2A1, ENW003, RC00A1, RC03B1, RC35B1, WC13F1
Cool Ebony	RC38AJ		



ROOF COVERING PLAN

Part	Color	Description
0097584UNPND	Standard Color	(T-2) #12-14 x 1 1/4", 5/16" Hex Hd, SS Cap w/Washer [PANEL TO STRUCTURAL]
0097581UNPND	Standard Color	(T-1) 1/4-14 x 7/8", 5/16" Hex Hd, SS Cap w/Washer [PANEL TO PANEL]



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7031 Albert Pick Road - Suite 200
Greensboro, NC 27409

FOR CONSTRUCTION

1. PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE'S AND/OR FASTENERS TO STRUCTURAL BEAMS
2. STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.
3. DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING. SEE THE COVERING SCHEDULE FOR CUT LENGTHS.
4. SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.

THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.

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Shape Name = Shop

REV	DATE	BY	DESCRIPTION
NTS			

VP Buildings		ROOF COVERING PLAN	
3200 Players Club Circle Memphis TN 38125		BUILDER	Teton West Construction, Inc
OWNER	Todd Hunter	DATE	01/05/2022
LOCATION	Halley, Idaho	PROJECT	Todd Hunter 40x60
BUILDER P.O.		SCALE	EMV
FILENAME	Todd Hunter 40x60		

1/5/2022

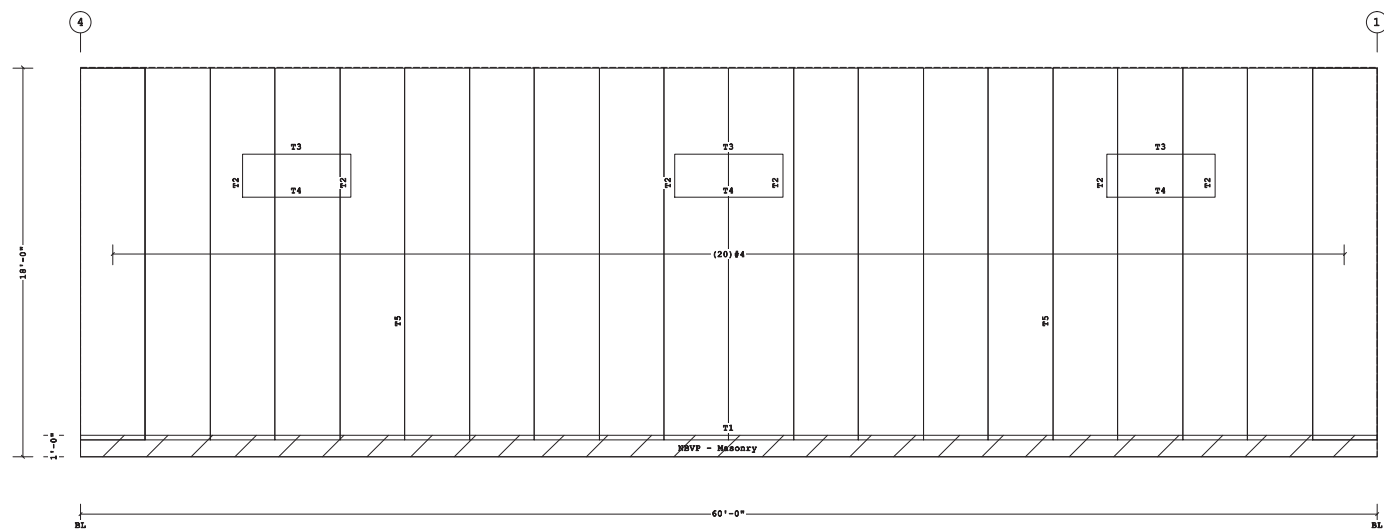
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A BlueScope Steel Company
VP BUILDINGS 2021.3b

Covering Mark Schedule				Trim Schedule				Color		Details	
Id	Qty	Start Panel	Direction	Start Dim.	Id	Parts					
#4	20	W1704025GKGZ	Left to Right	0'-0"	T1	(4)BG2415		Galvanized	EN52A1,ENH003,RC00A1,WC01D9,WC04G1,WS27B2,WS27D2		
					T2	DFT05,JT05		Cool Ebony	WC24A1		
					T3	DFT05,HTS05		Cool Ebony	WC24A2		
					T4	TDFE05		Cool Ebony	WC24A4		
					T5	5CE75,(2)CPS10,DN1,(4)DST1		Cool Ebony	RC38P1		

Covering Schedule							
Id	Qty	Type	Start Length	Gage	OP	Fin. Color	Direction
#4	20	FR	17'-4"	26	G	K GZ	Left to Right

Oper. Code:F=CR,SQ
Finish:K=KKL (Kynar)
Color:GZ=Cool Zinc Gray



COVERING ELEVATION AT A

Part	Color	Description	
0097585-116	Cool Zinc Gray	(T-2) #12-14 x 1 1/2", 5/16" Hex Hd, SS Cap w/Washer	[PANEL TO STRUCTURAL AT BASE & EAVE]
0097597-116	Cool Zinc Gray	(T-2) #17/ #12-14 x 1 7/8" 5/16" Hex Head SS Cap w/Washer	[PANEL TO STRUCTURAL AT GIRTS]
0097581-116	Cool Zinc Gray	(T-1) 1/4-14 x 7/8", 5/16" Hex Hd, SS Cap w/Washer	[PANEL TO PANEL]

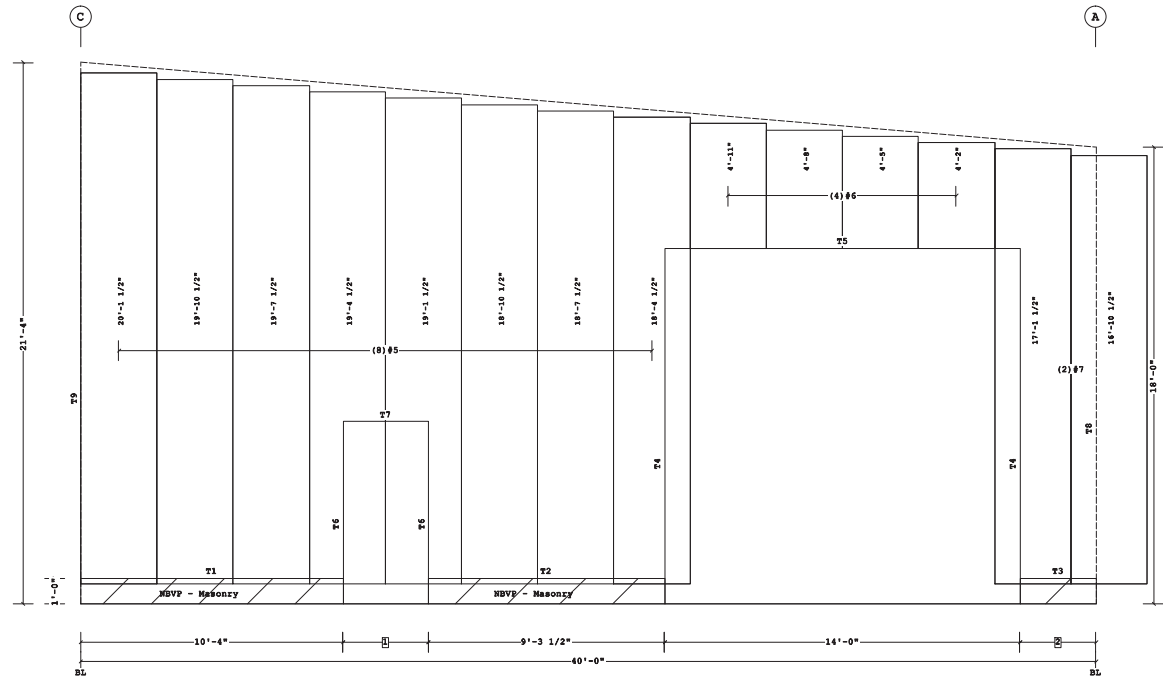


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7031 Albert Pick Road - Suite 200
Greensboro, NC 27409

FOR CONSTRUCTION

<p>1. PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE'S AND/OR FASTENERS TO STRUCTURAL BEAMS</p> <p>2. STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.</p> <p>3. DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING. SEE THE COVERING SCHEDULE FOR CUT LENGTHS.</p> <p>4. SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.</p>	<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.</p> <p>THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE VP BUILDINGS ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.</p>	<p>C VP Buildings 3200 Players Club Circle Memphis TN 38125</p>		<p>COVERING ELEVATION AT A</p>																								
			<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>NTS</p>	REV	DATE	BY	DESCRIPTION					<table border="1"> <tr> <td>BUILDER</td> <td>Teton West Construction, Inc</td> </tr> <tr> <td>DESIGNER</td> <td>Todd Hunter</td> </tr> <tr> <td>LOCATION</td> <td>Halley, Idaho</td> </tr> <tr> <td>PROJECT</td> <td>Todd Hunter 40x60</td> </tr> <tr> <td>BUILDERS P.O.</td> <td></td> </tr> </table>	BUILDER	Teton West Construction, Inc	DESIGNER	Todd Hunter	LOCATION	Halley, Idaho	PROJECT	Todd Hunter 40x60	BUILDERS P.O.		<p>VP BUILDINGS MEMPHIS, TN A BlueScope Steel Company INCORPORATED 2021.30</p>	<table border="1"> <tr> <td>JOB #</td> <td>21-028270-01</td> </tr> <tr> <td>DATE</td> <td>01/05/2022</td> </tr> <tr> <td>DESIGNER</td> <td>EMW</td> </tr> <tr> <td>PAGE</td> <td>22</td> </tr> </table>	JOB #	21-028270-01	DATE	01/05/2022	DESIGNER
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DESIGNER	EMW																												
PAGE	22																												

Covering Mark Schedule				Trim Schedule				Color		Details		
Id	Qty	Start Panel	Last Panel	Increment	Direction	Start Dim.	Id	Parts				
#5	8	W2001426FKGZ	W1804426FKGZ	-3"	Left to Right	0'-0"	T1	(0.7)BG2415	Galvanized	EN52A1,ENV003,RC00A1,WC01D9,WC04G1,WS27B2,WS27D2		
#6	4	W04110261KGZ	W04020261KGZ	-3"	Left to Right	24'-0"	T2	(0.6)BG2415	Galvanized	EN52A1,ENV003,RC00A1,WC01D9,WC04G1,WS27B2,WS27D2		
#7	2	W1701426FKGZ	W1610426FKGZ	-3"	Left to Right	36'-0"	T3	(0.2)BG2415	Galvanized	EN52A1,ENV003,RC00A1,WC01D9,WC04G1,WS27B2,WS27D2		
Covering Schedule												
Id	Qty	Type	Start Length	Gage	OP	Fin.	Color	Increment	Direction			
#5	8	PR	20'-1 1/2"	26	F	K	GZ	-3"	Left to Right	T4	DFT14,DT14	
#6	4	PR	4'-11"	26	1	K	GZ	-3"	Left to Right	T5	DFT14,HTS14	
#7	2	PR	17'-1 1/2"	26	F	K	GZ	-3"	Left to Right	T6	DFT10,DT07	
Oper. Code: P=CR, SQ											T7	DFT05,HTS05
Oper. Code: 1=SQ, SQ											T8	CT20
Finish: K=RKL (Kynar)											T9	CT16,CT05
Color: GZ=Cool Zinc Gray												



COVERING ELEVATION AT 4

Fastener Schedule			
Part	Color	Description	
0097585-116	Cool Zinc Gray	(T-2) #12-14 x 1 1/2", 5/16" Hex Hd, SS Cap w/Washer	[PANEL TO STRUCTURAL AT BASE & EAVE]
0097597-116	Cool Zinc Gray	(T-2) #17/ #12-14 x 1 7/8" 5/16" Hex Head SS Cap w/Washer	[PANEL TO STRUCTURAL AT GIRTS]
0097581-116	Cool Zinc Gray	(T-1) 1/4-14 x 7/8", 5/16" Hex Hd, SS Cap w/Washer	[PANEL TO PANEL]

Shape Name = Shop, Wall = 3

<p>1. PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE'S AND/OR FASTENERS TO STRUCTURAL BEAMS</p> <p>2. STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.</p> <p>3. DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING. SEE THE COVERING SCHEDULE FOR CUT LENGTHS.</p> <p>4. SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.</p>	<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE REPRODUCED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.</p> <p>THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE VP BUILDINGS ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.</p>	<p>C VP Buildings</p> <p>3200 Players Club Circle Memphis TN 38125</p>	<p>FOR CONSTRUCTION</p> <p>COVERING ELEVATION AT 4</p>	<p>PROFESSIONAL ENGINEER LICENSED 20638 Christopher J. Feltus STATE OF IDAHO Christopher J. Feltus</p>																								
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1/5/2022

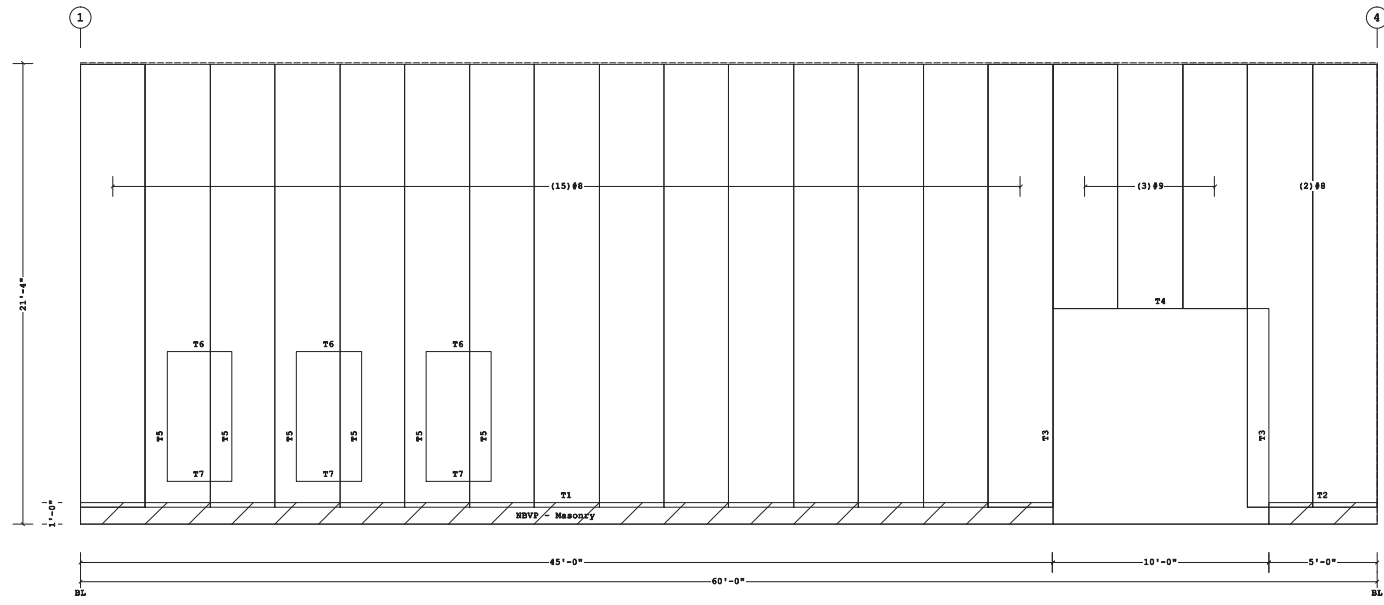
11:32:26

Todd Hunter 40x60

Covering Mark Schedule				Trim Schedule				Color		Details	
Id	Qty	Start Panel	Direction	Start Dim.	Id	Parts					
#8	17	W2006026FKGZ	Left to Right	0'-0",54'-0"	T1	(3)BG2415		Galvanized	EN52A1,ENV003,RC00A1,WC01D9,WC04G1,WS27B2,WS27D2		
#9	3	W11034261KGZ	Left to Right	45'-0"	T2	(0.3)BG2415		Cool Ebony	EN52A1,ENV003,RC00A1,WC01D9,WC04G1,WS27B2,WS27D2		
					T3	DFT10,JT10		Cool Ebony	WC24A1		
					T4	DFT10,HTS10		Cool Ebony	WC24A2		
					T5	DFT10,JT07		Cool Ebony	WC24A1		
					T6	DFT05,HTS03		Cool Ebony	WC24A2		
					T7	TDPH03		Cool Ebony	WC24A4		

Covering Schedule							
Id	Qty	Type	Start Length	Gage	OP	Fin. Color	Direction
#8	17	PR	20'-6"	26	F	K GZ	Left to Right
#9	3	PR	11'-3 1/2"	26	1	K GZ	Left to Right

Oper. Code:F=CR,8Q
 Oper. Code:l=8Q,8Q
 Finish:K=KKL (Kynar)
 Color:GZ=Cool Zinc Gray



COVERING ELEVATION AT C

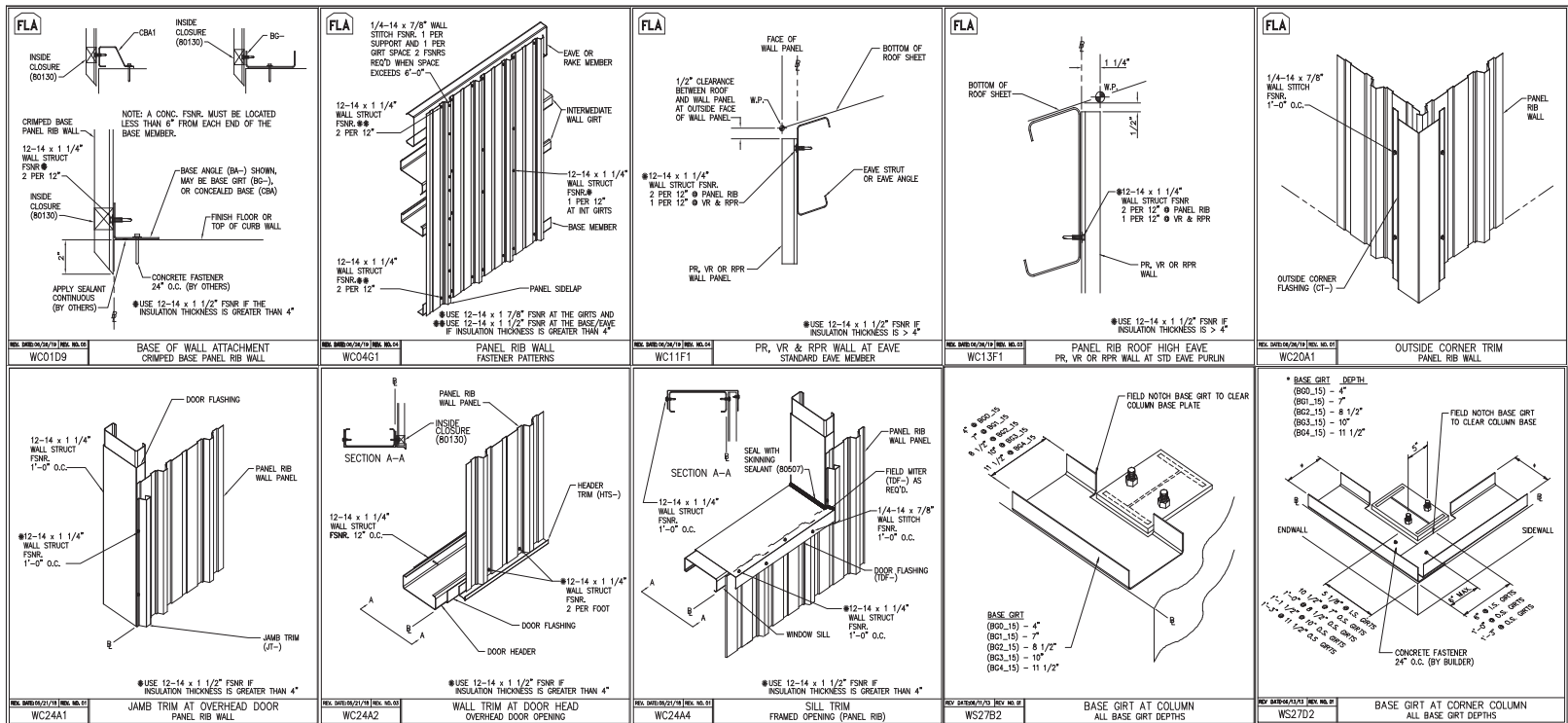
Fastener Schedule			
Part	Color	Description	
0097585-116	Cool Zinc Gray	(T-2) #12-14 x 1 1/2", 5/16" Hex Hd, SS Cap w/Washer	[PANEL TO STRUCTURAL AT BASE & EAVE]
0097597-116	Cool Zinc Gray	(T-2) #17/ #12-14 x 1 7/8" 5/16" Hex Head SS Cap w/Washer	[PANEL TO STRUCTURAL AT GIRTS]
0097581-116	Cool Zinc Gray	(T-1) 1/4-14 x 7/8", 5/16" Hex Hd, SS Cap w/Washer	[PANEL TO PANEL]



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 Greensboro, NC 27409

FOR CONSTRUCTION

<p>1. PRE-DRILLING 1/8 DIAMETER HOLES FOR STRUCTURAL FASTENERS MAY BE REQUIRED FOR HEAVY GAGE NESTED ZEE'S AND/OR FASTENERS TO STRUCTURAL BEAMS</p> <p>2. STEEL PANELS ARE AN INTEGRAL PART OF THE STRUCTURAL SYSTEM. REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED.</p> <p>3. DUE TO MANUFACTURING LIMITATIONS SHORT PANELS MAY REQUIRE FIELD CUTTING. SEE THE COVERING SCHEDULE FOR CUT LENGTHS.</p> <p>4. SEE JOB DETAILS FOR COVERING AND TRIM FASTENER SPECIFICATION.</p>	<p>THE VP ENGINEER'S SEAL APPLIES ONLY TO THE WORK PRODUCT OF VP AND DESIGN AND PERFORMANCE REQUIREMENTS SPECIFIED BY VP. THE VP ENGINEER'S SEAL DOES NOT APPLY TO THE PERFORMANCE OR DESIGN OF ANY OTHER PRODUCT OR COMPONENT FURNISHED BY VP EXCEPT TO ANY DESIGN OR PERFORMANCE REQUIREMENTS SPECIFIED BY VP.</p>	<p>THIS DRAWING, INCLUDING THE INFORMATION HEREON, REMAINS THE PROPERTY OF VP BUILDINGS. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE APPLICABLE PURCHASE ORDER AND MAY BE REPRODUCED ONLY FOR THAT PURPOSE. IT SHALL NOT BE MODIFIED, REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF VP BUILDINGS.</p> <p>THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN ACCORDANCE WITH THIS DRAWING. DETAILS REFERENCED IN THIS DRAWING, ALL APPLICABLE VP BUILDINGS ERECTION GUIDES, AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION, INCLUDING THE CORRECT USE OF TEMPORARY BRACING.</p>	<p>C VP Buildings 3200 Players Club Circle Memphis TN 38125</p>	<p>COVERING ELEVATION AT C</p>																														
			<table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table> <p>NTS</p>	REV	DATE	BY	DESCRIPTION					<table border="1"> <tr> <td>BUILDER</td> <td>Teton West Construction, Inc</td> </tr> <tr> <td>DESIGNER</td> <td>Todd Hunter</td> </tr> <tr> <td>LOCATION</td> <td>Halley, Idaho</td> </tr> <tr> <td>PROJECT</td> <td>Todd Hunter 40x60</td> </tr> <tr> <td>BUILDERS P.O.</td> <td></td> </tr> </table>	BUILDER	Teton West Construction, Inc	DESIGNER	Todd Hunter	LOCATION	Halley, Idaho	PROJECT	Todd Hunter 40x60	BUILDERS P.O.		<table border="1"> <tr> <td>DATE</td> <td>01/14/2022</td> </tr> <tr> <td>JOB #</td> <td>21-028270-01</td> </tr> <tr> <td>DATE</td> <td>01/05/2022</td> </tr> <tr> <td>DESIGNER</td> <td>EMW</td> </tr> <tr> <td>EGG</td> <td>EMW</td> </tr> <tr> <td>DATE</td> <td>2021.30</td> </tr> <tr> <td>PACK</td> <td>24</td> </tr> </table>	DATE	01/14/2022	JOB #	21-028270-01	DATE	01/05/2022	DESIGNER	EMW	EGG	EMW	DATE
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VP BUILDINGS
3200 Players Club Circle Memphis TN 38125

COVERING & TRIM SED'S

REV	DATE	BY	DESCRIPTION
			NTS

1/6/2022 SEDSsheet 11:32:33

FOR CONSTRUCTION



01/14/2022
BlueScope Buildings North America
7031 Albert Pick Road - Suite 200
Greensboro, NC 27409

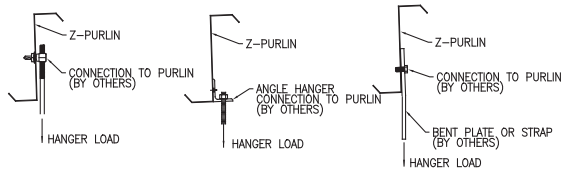
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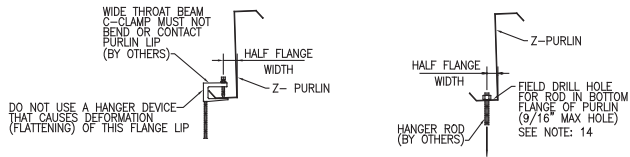
BUILDER	Teton West Construction, Inc	JOB #	21-028270-01
LOCATION	Todd Hunter	DATE	01/05/2022
PROJECT	Halley, Idaho	ENGINEER	EGG
BUILDER P.O.	Todd Hunter 40x60	DATE	28
DATE	01/14/2022	BY	VP BUILDINGS
VP BUILDINGS	MEMPHIS	VP BUILDINGS	A BlueScope Steel Company
VP BUILDINGS	MEMPHIS	VP BUILDINGS	MEMPHIS

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WEB HANGERS

FOR 1/2" DIAM. BOLT TO PURLIN CONNECTION-- MAX HANGER LOAD=1500lbs
PURLIN MUST BE SPECIFICALLY DESIGNED FOR LOADS GREATER THAN 500 LB. SEE NOTE: 2.



VERIFY OVERALL PURLIN DESIGN CAN TAKE APPLIED LOADS. SEE NOTE: 2

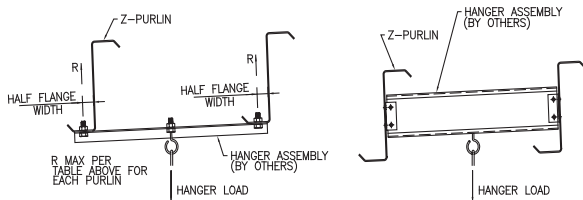
MAXIMUM LOAD SUSPENDED FROM BOTTOM FLANGE (LOCATED AT HALF-FLANGE WIDTH)			
THICKNESS	MAX. LOAD	THICKNESS	MAX. LOAD
0.060"	110lbs	0.088"	200lbs
0.068"	120lbs	0.098"	250lbs
0.073"	140lbs		
0.079"	180lbs	0.113"	250lbs

FOR LOADS LOCATED MORE THAN HALF FLANGE WIDTH
FROM WEB, USE HALF OF THE LOADS SHOWN ABOVE.

BOTTOM FLANGE CLAMP HANGER
(TOP FLANGE SIMILAR)

BOTTOM FLANGE ROD HANGER
(TOP FLANGE SIMILAR)

DO NOT USE ANY OF THE DETAILS ABOVE IF ROOF SLOPE IS GREATER THAN 4:12



DOUBLE PURLIN HANGERS

VERIFY OVERALL PURLIN DESIGN CAN SUPPORT APPLIED LOADS.

GENERAL NOTES

- CONCENTRATED LOADS GREATER THAN 500lbs ON ANY SINGLE PURLIN MUST BE EXPLICITLY LOCATED AND DESIGNED FOR DURING DESIGN OF BUILDING SYSTEM.
- SPECIFIED COLLATERAL LOADS MAY BE CONVERTED TO SAFE CONCENTRATED LOADS AS FOLLOWS, WHERE P = MAX CONCENTRATED LOAD(lbs); W = UNIFORM COLLATERAL LOAD (PSF) x PURLIN SPACING (ft) = lbs/ft; L = PURLIN SPAN (ft). HANGERS SHOULD BE SPACED APPROX. EQUAL.

$$P \text{ MAX} = 0.5wl$$

$$P \text{ MAX} = 0.4wl$$

$$P \text{ MAX} = 0.25wl$$

$$P \text{ MAX} = 0.2wl$$

$$P \text{ MAX} = 0.15wl$$

$$6 \text{ OR MORE HANGERS PER PURLIN}$$

$$P \text{ MAX} = W \times \text{HANGER SPACING}$$

EXAMPLE: A PIPE IS SUSPENDED FROM A PURLIN AT 3 LOCATIONS EQUALLY SPACED
BAY SPACING = 24'-0"
SPECIFIED COLLATERAL LOAD = 5 PSF
W = 5 PSF x 5' = 25 PLF
L = 24'-0"
P MAX = 0.25 x 25 PLF x 24'-0" = 150 LBS AT EACH LOCATION
THE PURLIN CAN SUPPORT 3 LOADS UP TO 150 LBS EACH. PICK A HANGER CONNECTION CAPABLE OF SUPPORTING ACTUAL APPLIED LOADS.

- FOR LOADS GREATER THAN 250 lbs, PURLINS MUST BE "BLOCKED" AT LOCATION OF LOAD TO PREVENT PURLIN ROTATION.
- EQUIPMENT LOADS SHOULD BE OBTAINED FROM CERTIFIED EQUIPMENT DRAWINGS AND MANUFACTURER'S DATA.
- Z-PURLINS WILL DEFLECT UNDER SNOW AND WIND LOADS. ITEMS THAT MAY BE DAMAGED DUE TO DEFLECTIONS, (EX. GAS LINES), VERIFY THAT PIPES OR SUSPENDED EQUIPMENT ARE COMPATIBLE WITH EXPECTED DEFLECTION RANGES ($\pm L/180$).
- THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) REQUIRES SPRINKLER HANGERS TO BE DESIGNED FOR A MINIMUM LOAD OF FIVE TIMES THE WEIGHT OF THE WATER-FILLED PIPE PLUS 250 POUNDS. THE HANGER ITSELF MUST BE ABLE TO SUPPORT THIS LOADING. IT IS NOT NECESSARY TO DESIGN THE SUPPORTING MEMBER FOR THIS LOAD IN COMBINATION WITH THE DESIGN LOADS.
- SUSPENDED LOADS WILL NEED TO BE BRACED (TO THE PRIMARY FORCE RESISTING SYSTEM) FOR LATERAL STABILITY DUE TO EARTHQUAKES.
- HANGER DESIGN IS NOT THE RESPONSIBILITY OF BLUESCOPE.
- TOP FLANGE HANGERS SHOULD BE AVOIDED ON BUILDINGS WITHOUT INSULATION SPACER BLOCKS ON TOP OF THE TOP FLANGE. IF TOP FLANGE HANGERS ARE REQUIRED, PLACE THE HANGERS AT THE ROOF PANEL MAJOR CORRUGATION LOCATION TO AVOID DAMAGING THE ROOF PANEL WITH THE HANGER WHEN THE ROOF PANEL IS LOADED OR WALKED ON.
- WHEN BEAM C-CLAMPS OR OTHER ROD HANGERS ARE USED ON THE TOP FLANGE, THE ROD SHOULD NOT EXTEND ABOVE THE TOP OF THE CLAMP TO AVOID DAMAGING THE ROOF PANEL WITH THE ROD WHEN THE ROOF PANEL IS LOADED OR WALKED ON.
- DO NOT HANG ANY TYPE OF CRANE, HOIST, CONVEYOR OR ANY MOVING LOADS FROM THE Z-PURLINS.
- DO NOT HANG ANY LOAD FROM BBNA SUPPLIED PURLIN BRACES OR BRIDGING.
- DO NOT WELD ANY PART OF THE Z-PURLIN.
- HOLES MUST NOT EXCEED 9/16" DIAMETER UNLESS AUTHORIZED BY BBNA ENGINEER. DRILL OR REAM HOLES WHEN REQUIRED-- DO NOT FLAME CUT

CONCENTRATED LOADS ON ROOF
Z-PURLIN HANGER DETAILS

DESIGN BY	REVISION BY	GROUP NUMBER	80-054-01
REVERTIT	REVISION		
FIRST RELEASE DATE	REVISION DATE	B	B-081465 09
02/26/10	02/26/20		



01/14/2022

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Greensboro, NC 27409

FOR CONSTRUCTION

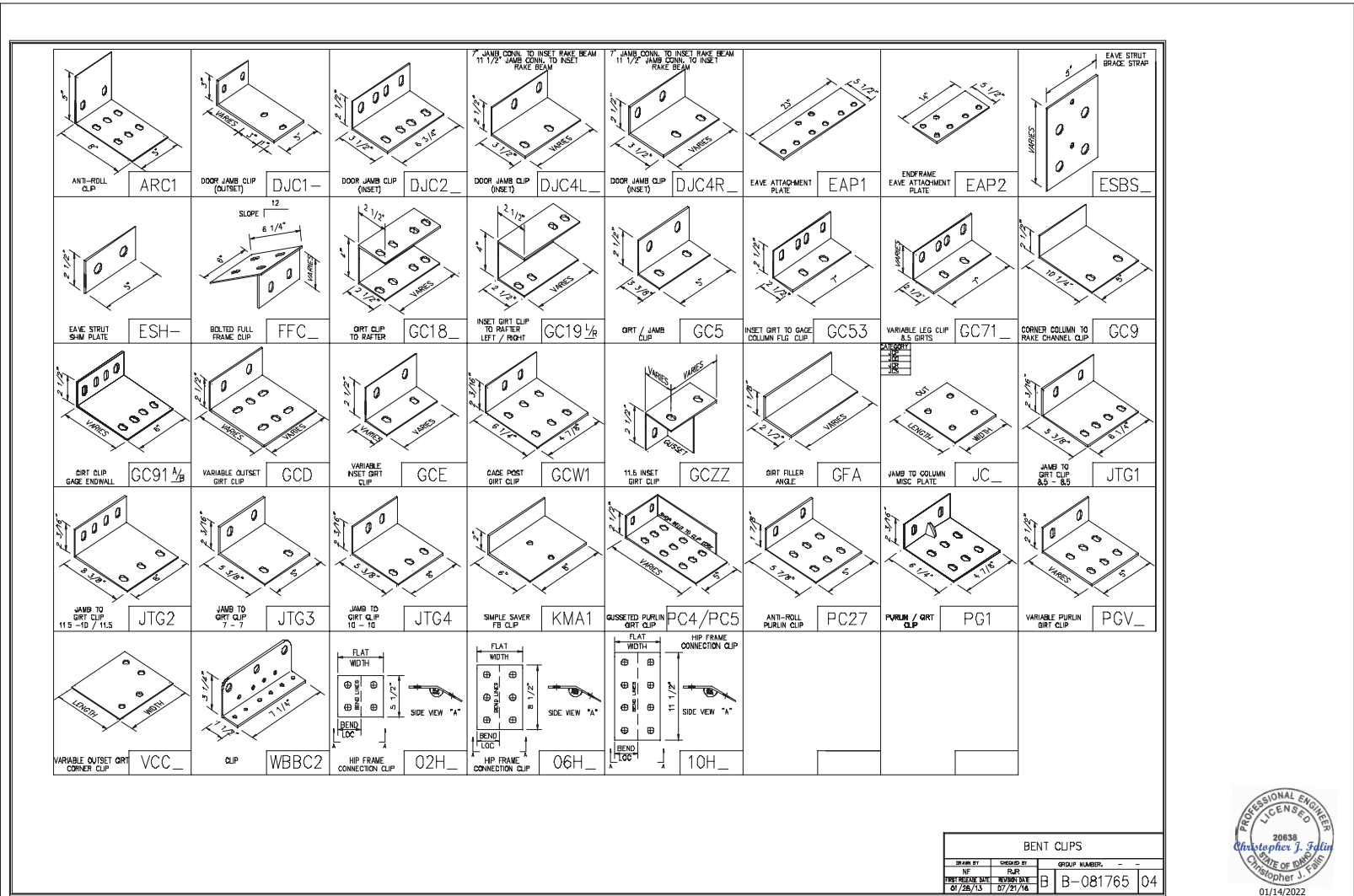
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REV	DATE	BY	DESCRIPTION
NTS			

VP Buildings 3200 Players Club Circle Memphis TN 38125	B-081465
BUILDER: Teton West Construction, Inc	CLIENT: Todd Hunter
LOCATION: Halley, Idaho	PROJECT: Todd Hunter 40x60
BUILDER P.O.	BUILDER P.O.
FILENAME: Todd Hunter 40x60	DATE: 01/05/2022
SCALE: EGG	EMV
VP BUILDINGS	VP BUILDINGS
A BlueScope Steel Company	VP BUILDINGS
VP BUILDINGS	VP BUILDINGS



BENT CLIPS			
QUANTITY	DESCRIPTION	GROUP NUMBER	NOTES
1	ARC1	-	
1	DJC1	-	
1	DJC2	-	
1	DJC4L	-	
1	DJC4R	-	
1	EAP1	-	
1	EAP2	-	
1	ESBS	-	
1	ESH	-	
1	FFC	-	
1	GC18	-	
1	GC19	-	
1	GC5	-	
1	GC53	-	
1	GC71	-	
1	GC9	-	
1	GC91	-	
1	GCD	-	
1	GCE	-	
1	GCW1	-	
1	GCZZ	-	
1	GFA	-	
1	JC	-	
1	JTG1	-	
1	JTG2	-	
1	JTG3	-	
1	JTG4	-	
1	KMA1	-	
1	PC4/PC5	-	
1	PC27	-	
1	PG1	-	
1	PGV	-	
1	VCC	-	
1	WBBC2	-	
1	02H	-	
1	06H	-	
1	10H	-	



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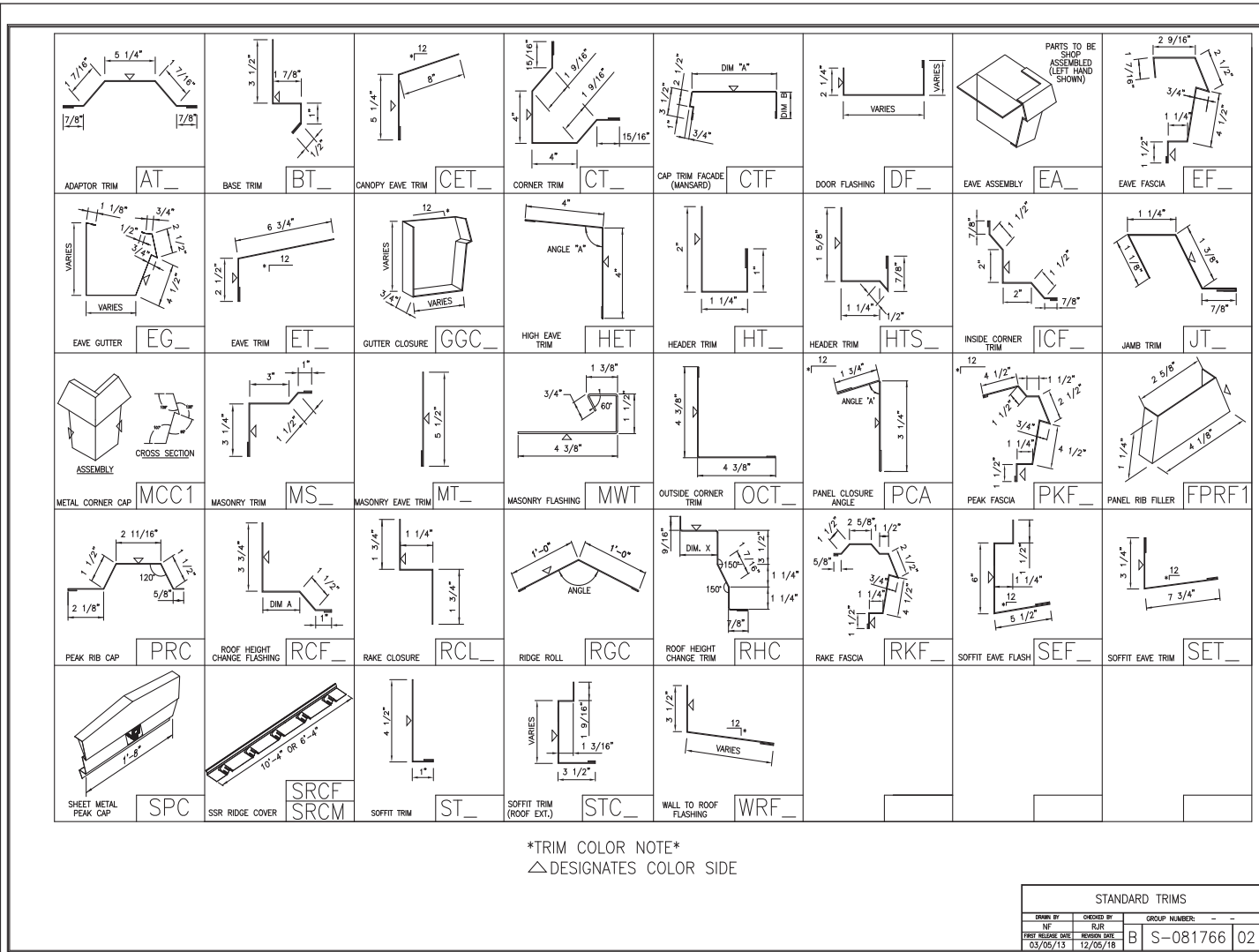
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VP Buildings 3200 Players Club Circle Memphis TN 38125	B-081765
BUILDER: Teton West Construction, Inc	
LOCATION: Todd Hunter	
PROJECT: Todd Hunter 40x60	
BUILDERS PO#	
DATE: 01/28/13	

VP BUILDINGS
MEMBER SINCE 2011

21-028270-01
01/05/2022
EGG EMV



TRIM COLOR NOTE
 △ DESIGNATES COLOR SIDE

STANDARD TRIMS			
DRAWN BY	CHECKED BY	GROUP NUMBER	
NF	RJR	-	-
FIRST RELEASE DATE	REVISION DATE	B	S-081766 02
03/05/13	12/05/18		



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BUILDER	Teton West Construction, Inc	CLIENT	Todd Hunter
LOCATION	Halley, Idaho	PROJECT	Todd Hunter 40x60
BUILDERS P.O.		BUILDERS P.O.	
DATE	11/30/22	DATE	11/30/22

VP BUILDINGS
 VECO TRUSSES
 A BlueScope Steel Company
 INC. LICENSE # 2021-30

JOB #
 21-028270-01
 DATE
 01/05/2022
 DRAWN BY
 EGG
 EMW
 PAGE
 29

ROOF/WALL STRUCTURAL FASTENER

(T-2) #12-14 x 1 1/4", 5/16" HEX HD, SS CAP W/WASHER
 MARK
 NUMBER COLOR
 097584___ SEE COLOR SUFFIX CHART BELOW

ROOF/WALL STRUCTURAL FASTENER

(T-2) #12-14 x 1 1/2", 5/16" HEX HD, SS CAP W/WASHER
 MARK
 NUMBER COLOR
 097585___ SEE COLOR SUFFIX CHART BELOW

WALL STRUCTURAL FASTENER

(T-2) #17/#12-14 x 1 7/8", STAND OFF 5/16" HEX HD, SS CAP W/WASHER
 MARK
 NUMBER COLOR
 097597___ SEE COLOR SUFFIX CHART BELOW

ROOF/WALL STITCH FASTENER

(T-1) 1/4-14 x 7/8", 5/16" HEX HD, SS CAP W/WASHER
 MARK
 NUMBER COLOR
 097581___ SEE COLOR SUFFIX CHART BELOW

COLOR SUFFIX CHART

SUFFIX	COLOR	SUFFIX	COLOR
100	= COOL ARCTIC WHITE	112	= COOL GRANITE GRAY
101	= COOL EGYPTIAN WHITE	113	= COOL SIERRA TAN
102	= COOL COTTON WHITE	115	= COOL COLBALT BLUE
103	= COOL COLONIAL RED	116	= COOL ZINC GRAY
104	= COOL STRAW GOLD	117	= COOL COPPER PENNY
105	= COOL DARK BRONZE	118	= COOL METALLIC SILVER
106	= COOL WEATHERED COPPER	119	= COOL JADE GREEN
107	= COOL BERMUDA GREEN	120	= COOL BRIGHT RED
108	= COOL HEMLOCK GREEN	121	= COOL PARCHMENT
109	= COOL LEAF GREEN	122	= COOL OLD TOWN GRAY
110	= COOL EBONY	UNPNTD	= UN PAINTED
111	= COOL IMPERIAL BLUE	SPR	= SPECIAL REQUEST

MISC. STRUCTURAL FASTENERS

MARK NUMBER	DESCRIPTION
55307	(T-3) 1/4-14 x 1 1/4", 5/16" HEX HD
55309	(T-3) 1/4-14 x 2", 5/16" HEX HD
55310	(T-3) 1/4-14 x 3", 3/8" HEX HD
55311	(T-3) 1/4-14 x 4", 3/8" HEX HD
56104	(T-5) #12-24 x 1 1/2", 5/16" HEX HD
59227	(T-5) 1/4-28 x 3", 5/16" HEX HD
59228	(T-5) 1/4-28 x 4", 5/16" HEX HD
55308	(T-AB) #17-14 x 1", 5/16" HEX HD, SS CAP W/WASHER (BAG of 50)
58015	(T-1) 1/4-14 x 1 1/8", 5/16" HEX HD, SS CAP W/ 7/8" WASHER

RIVETS

BULB TITLE	STRUCTURAL BLIND RIVET	MARK NUMBER	DESCRIPTION	COLOR
55160	VP200 RIVET (RV6604-6-8W OLYMPIC BULB TITLE)		ALUMINUM	
55181	VP205 RIVET (RV6604-6-4W OLYMPIC BULB TITLE)		COOL ARCTIC WHITE	
55185	VP205 RIVET (RV6604-6-4W OLYMPIC BULB TITLE)		COOL DARK BRONZE	

SEALANT

MARK NUMBER	DESCRIPTION
016688	GRAY SKINNING
025392	GRAY NON-SKINNING
80507	BRONZE SKINNING
80531	FLEXIBLE FLASHING SILICONE ADHESIVE (GRAY)

TAPE MASTIC

MARK NUMBER	DESCRIPTION
97663	3/16" X 1 1/2" X 40' ROLL
97662	3/16" X 1" X 28" BOX OF 100 200 LINEAL FEET OF COVERAGE PER BOX
80347	1/8" X 1" X 9" (50) AND 3" (150) BOX 100 LINEAL FEET OF COVERAGE PER BOX
027893	1/8" X 1" X 25' ROLL
025390	3/16" X 1/4" X 40' ROLL

PANEL CLOSURES

MARK NUMBER	DESCRIPTION
80130	PANEL RIB 3' INSIDE CLOSURE
80140	PANEL RIB 3' OUTSIDE CLOSURE
80360	VEE RIB 3' INSIDE CLOSURE
80362	VEE RIB 3' OUTSIDE CLOSURE
80140	RPR 3' INSIDE PANEL CLOSURE
80130	RPR 3' OUTSIDE PANEL CLOSURE
80135	SSR FOAM INSIDE CLOSURE
80136	SSR HARD RUBBER INSIDE CLOSURE

POP RIVETS

POP RIVET	1/8 x 3/8"	MARK NUMBER	COLOR
097580___			SEE COLOR SUFFIX CHART BELOW

VP COMMON WAREHOUSE PARTS			
DRAWN BY	CHECKED BY	GROUP NUMBER	
BLW	RJR	B	S-081767 07
FIRST RELEASE DATE	REVISION DATE		
01/22/15	05/16/18		

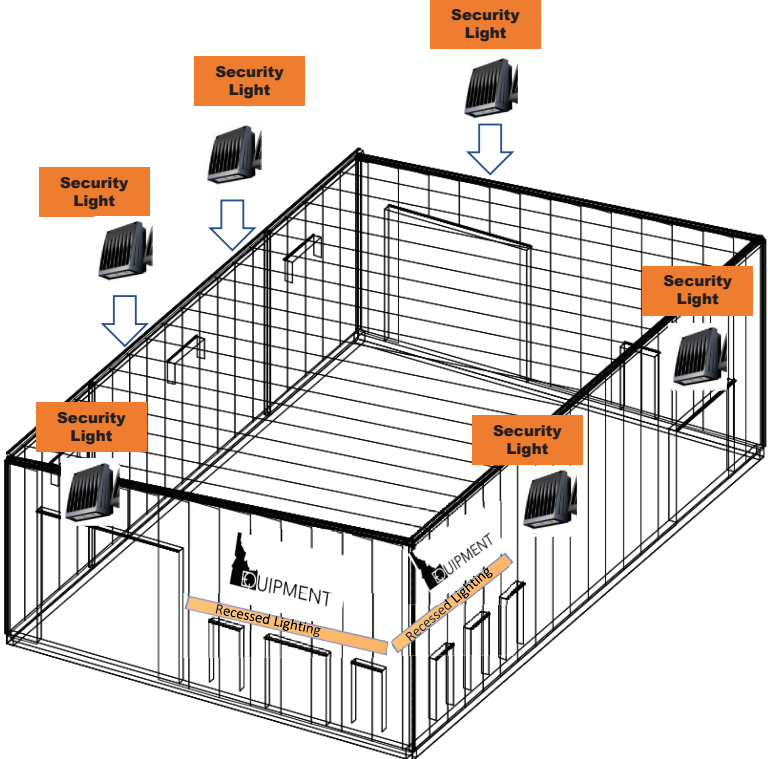


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			<p>REV DATE BY DESCRIPTION</p> <p>NTS</p>	<p>BUILDER Teton West Construction, Inc</p> <p>CUSTOMER Todd Hunter</p> <p>LOCATION Halley, Idaho</p> <p>PROJECT Todd Hunter 40x60</p> <p>BUILDERS P&P</p> <p>FLAVOR: Todd Hunter 40x6</p>

Idaho Equipment
Exterior Lighting Locations

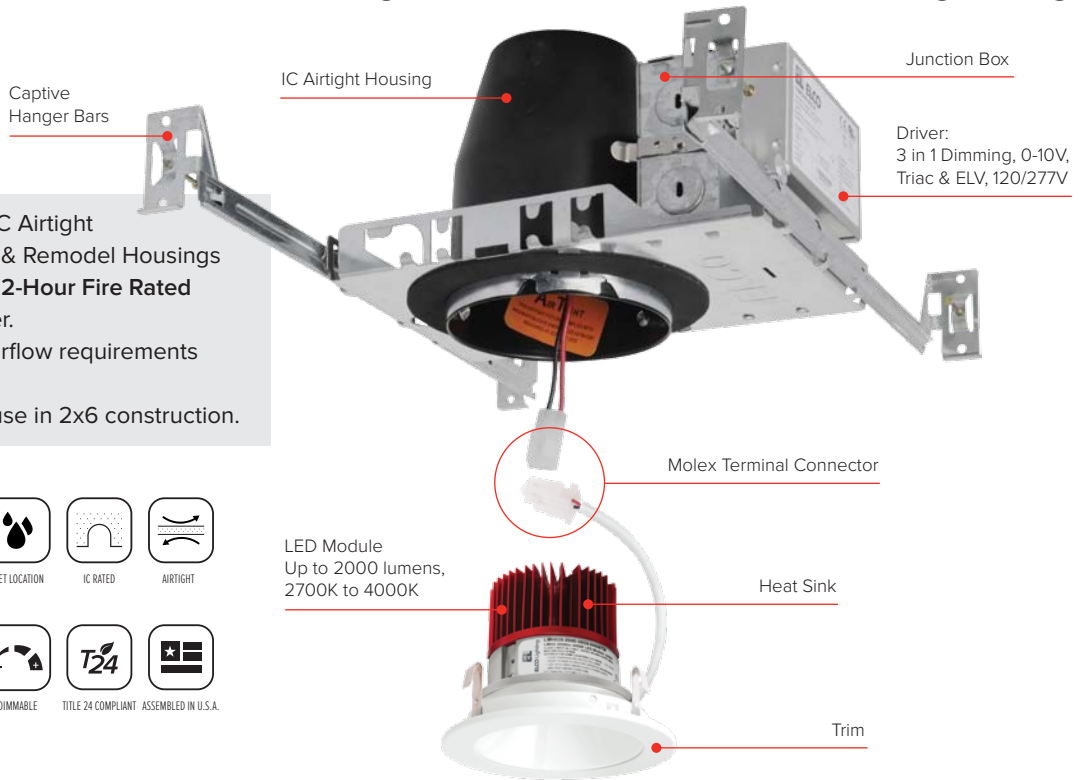


ELCO Lighting presents the **NEW** Cedar System

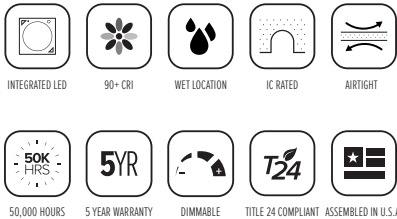
See Catalog
ELCAT1047



High-End **Residential** & Light **Commercial** LED Lighting



- IC Airtight & Non-IC Airtight New Construction & Remodel Housings
- New Construction **2-Hour Fire Rated** Housing with driver.
- Meets restricted airflow requirements (per ASTM E-283).
- Height allows for use in 2x6 construction.



SIZES

STYLES

FINISHES

LUMENS

COLOR TEMPERATURE

<p>4"</p>	<p>Round</p>	<p>Adjustable</p>	<ul style="list-style-type: none"> White Black Bronze Copper Nickel Haze 	<p>850 lm to 2000 lm</p>	<p>2700K to 4000K & Sunset Dimming</p>
<p>6"</p>	<p>Square</p>	<p>Trimless</p>			

Check out our full line of Catalogs at elcolighting.com



ELCO Lighting
The Best Choice in Lighting

2042 E. Vernon Ave.
Vernon, CA 90058
Tel. 323.231.2600
elcolighting.com

4" LED Light Engine with Reflector Trim

The perfect lighting solution for high-end residential and light commercial projects.



Features

- High efficacy LED module.
- Triac/ELV/0-10V dimming.
- Must be used with ELCO 4" Cedar™ System Housings.
- Frosted acrylic module lens for even lumen distribution.
- Life span of 50,000 hours L70.
- USA designed and assembled.
- Limited 5 year warranty.
- 2 at the end of the item number denotes Generation 2. Please note Gen 2 and Gen 1 are not cross compatible.

Specifications

Wattage	9.6W - 18W
Lumens	850 lm - 1600 lm
Color Temp.	2700K - SunsetK
Lamp Type	LED
Beam Angle	60°
CRI	93+
Damp Location	Listed

Options



All White



All Bronze



Chrome w/ White Ring



Haze w/ White Ring



Black w/ White Ring



All Black



Matte White



Matte Black w/ White Ring

Technical Details

Optics: Frosted polycarbonate module lens diffuses light evenly throughout while reducing glare with LED technology.

Trim Construction: Reflector is two piece trim for maximum color versatility. Design allows for minimal glare and a strong glare cut-off. Trim is constructed of metal for lasting durability.

Installation: Must be installed on a Cedar™ System housing with compatible lumen rating. Frames are available for New Construction and Remodel as IC or non-IC.

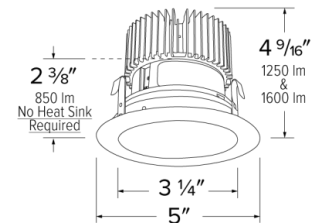
LED Technology:

- Extremely accurate Color Rendering Index of 93+.
- Efficacy of 97 lumens per watt.
- Lumen Maintenance of 50,000 hours L70 Life based on LM80 standardized test results.
- Superior Thermal Management by utilizing ELCO Red heat sink.
- Instant On to Full Brightness technology.
- No LED pixilation.

Listings:

- UL Listed for Wet Location.
- RoHS Compliant.

Dimensions



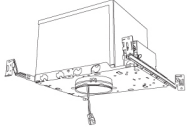
Product Number Builder

Example: **E410C0827W2**

ELCO 4" Reflector	Lumens	Color Temp.	Finish	Generation
E410C				
	08 850 lm 12 1250 lm 16 1600 lm	27 2700K 30 3000K 35 3500K 40 4000K 50 5000K SD Sunset	W All White BZ All Bronze H Haze w/White Ring C Chrome w/White Ring B Black w/White Ring MW Matte White MB Matte Black w/White Ring BB All Black	Gen 1 2 Gen 2

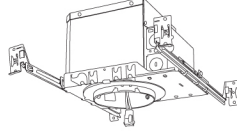
For use with 4" Cedar™ Light Engines

4" Cedar™ Dedicated LED ICA Housings



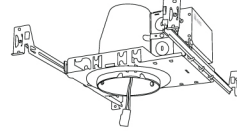
2-Hour Fire Rated
4" ICA Housing
New Construction

CAT NO.	SPECIFICATIONS
E4FH	Up to 850 lm



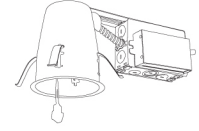
4" ICA Housing
New Construction

CAT NO.	SPECIFICATIONS
E4LC	Up to 1600 lm



4" ICA Housing
New Construction

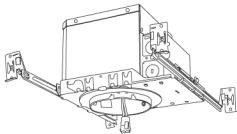
CAT NO.	SPECIFICATIONS
E4LC	Up to 850 lm



4" ICA Housing
Remodel

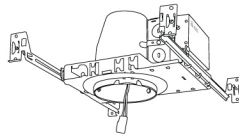
CAT NO.	SPECIFICATIONS
E4LRC	Up to 850 lm

4" Cedar™ Dedicated LED Non-IC Housings



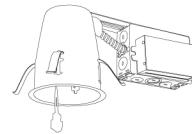
4" Non-IC Housing
New Construction

CAT NO.	SPECIFICATIONS
E4LC	Up to 1600 lm



4" Non-IC Housing
New Construction

CAT NO.	SPECIFICATIONS
E4LC	Up to 1250 lm



4" Non-IC Housing
Remodel

CAT NO.	SPECIFICATIONS
E4LRC	Up to 1250 lm

PRODUCT NUMBER BUILDER

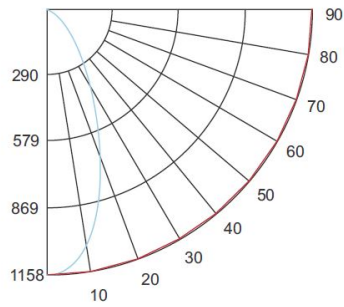
Housing Type		Lumen		Optional		Dimming	
<input type="text" value="E4FH"/>	Fire Rated (up to 850)	<input type="text" value="08"/>	850 lm (8.76W)	<input type="text" value="(Blank)"/>	Non-IC	<input type="text" value="(Blank)"/>	120V Triac/ELV
<input type="text" value="E4LC"/>	New Construction	<input type="text" value="12"/>	1250 lm (12.88W)	<input type="text" value="ICA"/>	IC Airtight	<input type="text" value="D"/>	120/277V Triac/ELV/0-10V
<input type="text" value="E4LRC"/>	Remodel	<input type="text" value="16"/>	1600 lm (18W)			<input type="text" value="SD"/>	Sunset
						<input type="text" value="L"/>	Lutron

LED Light Engine

Multiplier: 2700K (x 0.96), 3500K (x 1.04), 4000K (x 1.08)

PHOTOMETRIC REPORT

Product #: E410C0830
 Wattage/Lumens: 10.5W/ 837 Lm
 Luminaire LPW: 80 Lm/W



CANDLE POWER SUMMARY

Degrees Vertical	0°
0	1158
5	1140
15	927
25	634
35	232
45	40
55	1
65	0
75	0
85	0
90	0

ILLUMINANCE AT A DISTANCE

Distance to Target Plane	Footcandles Beam Center	Beam Diameter
4'	72.4	4.0'
6'	32.2	6.0'
8'	18.1	8.0'
10'	11.6	10.0'

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-30°	64732	77.30
0-40°	799.00	95.40
0-60°	836.33	99.90
0-90°	837.6	100.00



SlimPak Pro Wall Lights



PROJECT INFORMATION

JOB NAME	
FIXTURE TYPE	SlimPak Pro
CATALOG NUMBER	
APPROVED BY	

SPECIFICATIONS

Construction:

Designed for commercial and industrial applications, providing cooler operating temperatures, brighter light and longer LED life. Apertures for field or factory installed photocontrol. Hinged at bottom to prevent leakage.

Installation:

Labor saving features including bubble level and removable hinged face frame.

Zero Glare:

The fixture design directs more light down and forward without wasting lumens and offensive light.

Thermal Management:

Atlas SlimPak Pro fixtures are designed as a complete system to optimize LED life and light output. The thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and components. The lower temperatures result in long LED life (200,000+ hrs)¹ and component life and also allows for higher light output.

Listings:

Luminaire is certified to UL/cUL Standards for Wet Locations DesignLights Consortium qualified luminaire, eligible for rebates from DLC member utilities. ²See chart on other next page for qualifying products.

IDA Listed (3000K or warmer CCTs only)

AC Input: 120/208/240/277V 347/480V

Operating Range: -40°C to 40°C

Driver:

Constant current, Class 2, 120-277 VAC, 50-60 Hz

High Efficiency – min. 85%

Off-State Power: 0 Watts

0-10 V Dimming

LEDs:

3000K | 4000K | 4500K | 5000K CCT

Epoxy Guard™ protective conformal coated boards

Testing:

Atlas LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 & LM-80.

Warranty: Five-year limited warranty

Photo Control: For factory installed 120V button photo control add suffix PC to part number.



BUY AMERICAN

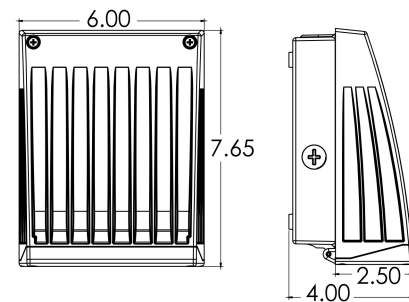


COMPLIANT*

DIMENSIONS

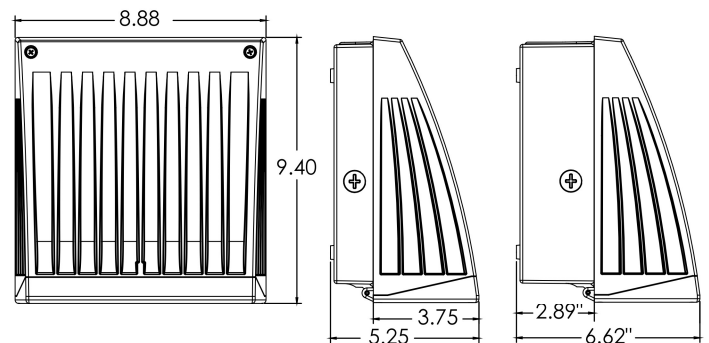
WSPS

Weight: XX lbs.



WSPL

Weight: XX lbs.



Deep back housing required for emergency battery back up

¹LED Life Span Based Upon LM-70 Test Results

Rebates and Incentives are available in many areas.
Contact an Atlas Representative for more information.

*The majority of Atlas Lighting Products are assembled in USA facilities by an American Workforce utilizing both Domestic and Foreign components. Meets Buy American requirements within the ARRA.



SlimPak Pro
Small Wall Light



ORDERING INFORMATION

WSPL	60LED					
PRODUCT SERIES	WATTAGE	COLOR TEMP.	CONTROLS	VOLTAGE	FIXTURE COLOR	OPTIONS
WSPS = Small SlimPak Pro WSPL = Large SlimPak Pro	12LED = 12 Watts ¹ 20LED = 20 Watts ¹ 40LED = 40 Watts ¹ 60LED = 60 Watts ² 80LED = 80 Watts ²	Blank = 4500K 3K = 3000K 4K = 4000K 5K = 5000K	Blank = Dimming (0-10V) PC = 120V Photocontrol PM = 120-277V Photocontrol	Blank = 120-277 4 = 480	Blank = Bronze WT = White* BK = Black* <i>*optional with adder</i>	EB = Emergency Back-up* <i>*40W & 60W only</i>
						¹ WSPS only ² WSPL only

PERFORMANCE DATA

UNIT	CRI	3000K CCT		4000K CCT		4500K CCT		5000K CCT		WATTAGE	REPLACES UP TO
		DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)	DELIVERED LUMENS	EFFICACY (LPW)		
WSPS12LED	83	1,206	98	1,206	98	1,326	108	1,366	111	12	70W MH
WSPS20LED	83	2,125	107	2,125	107	2,228	110	2,418	122	20	100W MH
WSPS40LED	83	3,712	100	3,712	100	4,047	106	4,394	116	38	175W MH
WSPL60LED	83	6,513	112	6,513	112	6,635	113	7,401	128	58	250W MH
WSPL80LED	83	8,060	106	8,060	106	8,396	108	9,332	122	76	400W MH

DLC PRODUCT INFORMATION

UNIT	3000K CCT		4000K CCT		4500K CCT		5000K CCT	
	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION	DLC PRODUCT ID	CLASSIFICATION
WSPS12LED	P2J5LCDD	Standard	PUNWXFUV	Standard	PUHOILPX	Standard	PJ30AFPE	Standard
WSPS20LED	P0UYUSJ3	Standard	PMS4BPUC	Standard	PM2MG7HW	Standard	PFO3MGLQ	Standard
WSPS40LED	PYV6V815	Standard	P4XP2HAK	Standard	P894U7BK	Standard	PW41S8M6	Standard
WSPL60LED	PHYWFBE1	Standard	PBD2RV0T	Standard	PUX6TFU8	Standard	PF4912ZF	Standard
WSPL80LED	P7HV6CHA	Standard	PCKBXTFW	Standard	PM5B953N	Standard	P19N8A75	Standard













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STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of April 18, 2022

To: Hailey Planning and Zoning Commission

From: Paige Nied, Community Development Resiliency Planner / City Planner

Overview: Consideration of a City-Initiated Text Amendment to the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.02: Definitions, Section 17.02.020: Meaning of Terms or Words, to add the various definitions of solar energy systems to provide clarity and opportunity concerning the development of solar resources.

Hearing: April 18, 2022

Applicant: City of Hailey

Notice: Notice for the public hearing was published in the Idaho Mountain Express on March 30, 2022 and mailed to public agencies on March 29, 2022.

Background: City Planning Staff has identified the modernization of Hailey Municipal Code to meet sustainability standards as a priority for 2022 and moving forward. As such, Staff is proposing to amend Title 17, Zoning Regulations, Chapter 17.02: Definitions, Section 17.02.020: Meaning of Terms or Words, to add the various definitions of solar energy systems to provide greater clarity and form the basis of understanding for any forthcoming solar ordinance.

The City of Hailey applied for a SolSmart designation and was awarded as Silver-level community. SolSmart is a national designation program which recognizes cities and counties that foster and facilitate the development of an established local solar market. SolSmart completed a Zoning Review which evaluated the Hailey Municipal Code and provided feedback on potential gaps and barriers that exist for solar development and what best practices are to overcome them. One potential gap the review identified as a high priority item was the lack of definitions for the different types of solar energy systems. In accordance with SolSmart best practices, it is recommended to add a definition with distinctions between roof-mounted and ground-mounted and small, medium, and large solar energy systems to provide clarity and a foundation on which to base levels of review and permits required.

The incorporation of comprehensive definitions of solar energy systems in Code is necessary to avoid any potential misinterpretations and to distinguish between the differing systems. One of the biggest barriers to solar energy use is the lack of clarity in zoning codes about the different types of solar systems. Therefore, Staff recommends amending Section 17.02.020 to include the various definitions for solar energy systems, including Solar Energy System; Solar Energy System, Solar Photovoltaic System; Grid-Connected System; Ground-Mounted; Solar Energy System, Roof-Mounted; Solar Energy System, Large-Scale; Solar Energy System, Medium-Scale; Solar Energy System, Small-Scale. The definitions for each could read as follows:

Section 17.02.020: Meaning of Terms or Words

Solar Energy System: Any device or structural design feature used for the collection, storage, and distribution of solar energy for space heating, space cooling, lighting, electric generation, or water heating.

Solar Photovoltaic System: A solar energy system that converts solar energy directly into electricity, the primary components of which are solar panels, mounting devices, inverters, and wiring.

Grid-Connected System: A photovoltaic solar energy system that is connected to an electric circuit served by an electric utility company.

Solar Energy System, Roof-Mounted: A solar energy system that is structurally mounted to the roof of a building or structure.

Solar Energy System, Ground-Mounted: A solar energy system that is structurally mounted to the ground and is not roof-mounted.

Solar Energy System, Large-Scale: A solar energy system that occupies more than 40,000 square feet of surface area.

Solar Energy System, Medium-Scale: A solar energy system that occupies more than 1,350 square feet but less than 40,000 square feet of surface area.

Solar Energy System, Small-Scale: A solar energy system that occupies 1,350 square feet of surface area or less.

Standards of Review:

Criteria for Review. Section 17.14.060(A) of the Hailey Municipal Code provides “[w]hen evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

- 1. The proposed amendment is in accordance with the comprehensive plan;**
- 2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;**
- 3. The proposed uses are compatible with the surrounding area; and**
- 4. The proposed amendment will promote the public health, safety and general welfare.**

1. The proposed amendment is in accordance with the comprehensive plan;

The Comprehensive Plan does not go into the specificity that this code section contemplates; however, it is anticipated that the city will annually update their Capital Improvement Plan to guide necessary infrastructure. The following goals from the Comprehensive Plan are relevant to this text change:

Section 1: Natural Resources, Energy, and Air Quality

Goal 1.4: Promote Energy Conservation

Section 9: Public Facilities, Utilities, and Services

Goal 9.1: Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.

Solar energy is a clean and renewable resource that improves air quality and reduces greenhouse gas emissions in the community. By including definitions for the various solar energy systems in Code, it will provide greater clarity and form the basis of understanding for any forthcoming solar ordinance.

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;

The proposed amendments will not result in a change in allowed uses nor will they create excessive additional requirements at public cost for services. The proposed amendments are intended to avoid any potential misinterpretations of solar energy systems and to facilitate the expansion of the local solar market.

3. The proposed uses are compatible with the surrounding area; and

The proposed text amendments will not impact compatibility.

4. The proposed amendment will promote the public health, safety and general welfare.

The proposed amendments are consistent with the Hailey Comprehensive Plan, and they will not result in a change in allowed uses.

Motion Language:

Approval: I move to recommend approval to the Hailey City Council an Ordinance amending Hailey Municipal Code,, Title 17: Zoning Regulations, Chapter 17.02: Definitions, Section 17.02.020: Meaning of Words or Terms, to add the various definitions of solar energy systems to provide clarity and opportunity concerning the development of solar resources, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Denial: Motion to deny a recommendation for approval to the Hailey City Council an Ordinance amending the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.02: Definitions, Section 17.02.020: Meaning of Words or Terms, to add the various definitions of solar energy systems to provide clarity and opportunity concerning the development of solar resources, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date.]

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MEMORANDUM

To: Hailey Mayor and City Council
From: Hailey Development Impact Fee Advisory Committee
Lisa Horowitz, Heather Dawson, Brian Yeager
Date: April 4, 2022
RE: Report on FY 2023 Capital Improvement Plan and Capital Budget

Background

Hailey's Development Impact Fee Advisory Committee (the Committee) met on April 4, 2022 to make recommendations to the Hailey City Council on Hailey's Capital Improvement Plan and Capital Budget for FY 2023. This annual review is conducted under the authority of Idaho Code 67-8205.3 (b-d). The Committee's report was adopted by unanimous vote of the full Committee.

Idaho Code 67-8205

- (3) The development impact fee advisory committee shall serve in an advisory capacity and is established to:
- (b) Review the capital improvements plan, and proposed amendments, and file written comments;
 - (c) Monitor and evaluate implementation of the capital improvements plan;
 - (d) File periodic reports, at least annually, with respect to the capital improvements plan and report to the governmental entity any perceived inequities in implementing the plan or imposing the development impact fees; and

Completed Projects

Hailey completed several projects in FY 2021, and several projects are underway which will be completed prior to the end of the 2022 construction season, including:

- South Woodside Toe of the Hill Park construction began in 2020, and was completed in 2021 by city crews, adding a 15th park to Hailey's park system;
- Hailey Fire Station seismic retrofit project construction was completed in late 2021 through the assistance of a FEMA All Hazards Mitigation Grant administered by Idaho Office of Emergency Management, with \$285,530 spent on the project, of which \$69,245 was grant match. Final grant close-out documents were received from the Grantor in early April, 2022.
- River Street Final Design was completed in 2021, but the bids on the first phase were so expensive that the city chose to begin the project using city crews. Several half-block sections were installed in 2021, and more sections are planned for completion in 2022, with most of the work planned to be completed before July 4, 2022.
- Construction of Idaho Transportation Department's Highway 75/Main Street repaving and curb ramp upgrades were completed in the 2021 construction season.
- A snow storage site west of town was constructed in FY2021 and used for the past two winters as the City's primary snow storage area, with Lions park remaining grandfathered and used as a secondary snow storage area. Uses for the Lions Park snow storage area will be revisited through an update of the now nearly five-year old Hailey Greenway Master Plan.
- Engineering and design work was conducted during 2021 on the East Croy Pathways, which consists of a bike path running eastward from Wood River Trails along Croy Street toward Quigley Road. This path

will connect at the intersection of Croy/Eighth Avenue with bicycle infrastructure along Eighth Avenue and connecting to the Sunbeam Park. Construction of the Croy Street section will begin in 2022 under a TAP Grant.

- Town square property was purchased adjacent to city hall. The property includes a fully functional 4,200 square foot building which will provide for future expansion of the town center campus in the long term and a large meeting/event space in the short term. Use and design planning will be conducted in 2022, along with an update of the 2009 Hailey Downtown Strategy, a downtown vitality plan which is a prerequisite for certain grant applications.

Contractual Obligations

Some of the money within Hailey’s Capital Fund are obligated under direct contracts or by ordinance. These funds should be held until the projects for which they are earmarked can be constructed. These contractual obligations include:

- Colorado Gulch sidewalk in-lieu fees in the amount of \$60,350 were collected in 2018 and are intended for the Broadford Road path when it is constructed in the future. These funds will be supplemented by Development Impact fees to complete the Broadford Road Pathway project;
- Sidewalk in-lieu fees are generally not specifically tied to contracts, but are obligated by ordinance to be used on sidewalks within Hailey. The amount of sidewalk in-lieu fees unspent and available for projects at year-end FY 2021 amount to \$76,188. That is the amount which will be budgeted for FY2023 capital projects;
- Park in-lieu fees held at year-end FY2021 amount to \$4,000, and will be budgeted for FY 2023 capital projects;
- The City has remaining from its Pathways for People tax the amount of \$233,157 which voters approved for use on bike/ped infrastructure;
- Development Impact Fees must be spent only within the categories they are collected. On hand at year-end FY2021 and available for budgeting on projects in FY2023 are development impact fees in the following amounts and categories:

Transportation DIF for street capital projects & equipment to serve growth:	\$259,764
Park DIF for city-wide park improvements:	\$ 36,184
Fire DIF for the portion of fire trucks & stations that serve growth:	\$122,777
Studies DIF to be used for 5-year CIP Study Update and master plans:	\$ 26,201
<u>TOTAL DEVELOPMENT IMPACT FEES AVAILABLE FOR BUDGETING</u>	<u>\$444,926</u>

Projects

A. River Street Project.

The City is approved for an LHTAC grant to improve two blocks of River Street. Final design for this project is nearing completion. The match component of this \$2 million grant is 7.34%, or \$146,500. The grant construction period was moved by ITD from FY 2023/2024 to 2026. Because the project is set so far in the future, we expect the project to actually cost around \$3.5 million. The City Council made decisions to reduce the scope of the LHTAC grant project to better meet the funding parameters. The Hailey URA contributed funds to the City to improved portions of River Street outside the central LHTAC project. Those improvements will continue to be implemented incrementally until completed.

- B. Pathways for People Projects and Highway 75 Access at ARCH Blaine Manor Apartments.** Hailey has retained funds in the amount of \$198,327 from its 2018 special tax levy for an unfinished connector path from First Avenue to the Werthheimer Park (Werthheimer Path). The area in question is being planned now for better transportation flow due to the construction of two ARCH apartment buildings, each with 30 units. There are two deliverables under this paragraph: 1) A circulation plan for the entire site needs to be determined, with better vehicular access to Highway 75 than through Werthheimer Park. Access onto the highway at Elm, via First Avenue, may be one of the solutions if sufficient right of way can be obtained; and 2) construction of a pathway for bicyclists and pedestrians to access Werthheimer Park from the north and west without using the curved and narrow sidewalk along Highway 75 which runs in front of the new apartments. Because of interest and penalties earned on the special tax collected, a total amount of \$233,157 has excess which exceed the Werthheimer Path project estimates. That excess has been applied in the proposed budget to the match for the East Hailey Tap Grant bike/ped project.
- C. New Street & Pathway Projects.** Active development in the Quigley & Sunbeam area is the impetus for new roadways and trails in east Hailey. City projects have been identified to increase connectivity of this area, with projects such as 8th Avenue relocation and pathway, and the East Croy Street pathway. The design phase is nearly complete with construction likely beginning in early fall. Additionally, the streets within the Woodside Light Industrial area and on Airport Way are old, with poor drainage and inadequate parking. Improvements to the Airport Way streets will be done through a newly formed Urban Renewal Areas. Solutions for improvements to the Woodside Light Industrial streets are still being sought.
- D. Buildings & Town Square.** The City procured a downtown core property adjacent to City Hall for \$950,000. This acquisition was not DIF eligible, but the cost of developing a town square upon a portion of the property is DIF eligible. We have made application for an \$85,000 grant for which the award announcements will be made in late May.
- E. Street Equipment and Facility Maintenance Projects.** The Public Works department has identified several small projects, including ongoing installation of drywells, sidewalk improvements and several facility or equipment replacement or equipment upgrades. Upgrades to City Hall remain on our project list, specifically three skylights in need of replacement at city hall. These projects were formerly shown in the Capital Fund, but recently the city council made a decision to fund these types of ongoing operational needs through its General Operations Fund. We will continue to show these projects within an Equipment Replacement and System Maintenance plan, and will continue to discuss them with the Capital Improvement Plan for the purpose of applying development impact fees to the eligible portion of the costs that serve growth. The Committee emphasizes the importance of RRFB light installation on Main Street.
- F. Housing.** The City of Hailey has identified that it, like most other significant employers within Blaine County, needs to provide housing for its employees in transition in order to recruit and retain employees. Hailey has identified funding within the Capital Fund for this purpose.

Report Filed

This constitutes the Hailey Development Impact Fee Committee's annual report, which is recommended to the Hailey City Council for consideration in its annual FY 2023 budgeting process. The attached Capital Improvement Plan and Budget Spreadsheet is part of this report.

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