

**AGENDA**  
**HAILEY PLANNING & ZONING COMMISSION**  
**Special Public Hearing June 8, 2022**  
**Virtual and In-Person Meeting**  
**5:00 p.m.**

From your computer, tablet or smartphone: <https://meet.goto.com/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

**Call to Order**

**Public Comment for items not on the agenda**

**Consent Agenda**

**Public Hearing**

**PH 1** A Request for Reconsideration submitted by Brad Chinn of the Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes twenty-seven (27) residential units, to be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project will be known as Saddle Lofts. **ACTION ITEM.**

- [Staff Memo](#)
- [Appeal Documentation](#)
- [Pre-Design Application Documentation](#)
- [Design Review Application Documentation](#)

**Staff Reports and Discussion**

**SR 1** Discussion of current building activity, upcoming projects, and zoning code changes.

**SR 2** Discussion of the next Planning and Zoning Meeting: **July 18, 2022 at 5:30pm.**

- PP: Sweetwater Block 2 Phase 2
- 525 North Rezone
- Tree Caliber Reduction Size

**Return to Agenda**



**Memorandum**  
**Hailey Planning and Zoning Commission**  
**Special Meeting of June 8, 2022**

**To:** Planning and Zoning Commission

**From:** Robyn Davis, Community Development Director  
Christopher Simms, City Attorney

**Overview:** A Request for Reconsideration of the approved Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily buildings, which includes a total of twenty-seven (27) units, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units. The project is known as Saddle Lofts and will be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts.

**Location:** Lot 4B, Block 1, North Hailey Plaza

**Zoning & Size:** Business (B) and Downtown Residential Overlay (DRO) Zoning Districts; 0.53 acres

**Hearing:** June 8, 2022

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**Appellant:** Brad Chinn

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on May 18, 2022 and mailed to property owners within 300 feet on May 18, 2022.

**Background:** A Preapplication Design Review project by Kazuko-San ID, LLC, for twenty-eight (28) residential units, to be located at Sublot 4B, Block 1, North Hailey Plaza, was heard by the Planning and Zoning Commission on January 18, 2022. During this hearing, the Commission neither approved nor denied the proposal, but suggested that the Applicant Team consider the following to better comply with the code criteria for approval (in bold text):

- **Consider adding air conditioning units to each residential unit.** The Applicant will install a sleeve feature that allows for the installation of a portable air conditioning unit. This unit will not be visible from the outside of the building, and if any issues or complications arise, the Applicant will install individual air conditioning units.
- **Consider incorporating two-bedroom units on the ground floor.** Structurally, it is easier to accommodate for the stacking of two-bedroom units on the upper floors. While the Applicant did not place two-bedroom units on the ground floor as suggested, three (3) of the one-bedroom units have been strategically converted to two-bedroom units to better accommodate for a couple, family and/or more than one (1) individual.
- **Consider utilizing lighter exterior colors, or lighter-colored shingles, to reduce the mass of the building.** The Applicant has lightened the exterior colors, as shown on the Materials Board. The

corrugated metal siding is a rust color, the stucco siding is a beige color, the entry doors will be a penny, or burnt rust color. A lighter shingle, in Shakerwood, will be utilized for the roof.

- **Consider reducing the density to increase average bedroom size.** The Applicant has reduced the overall number of units by one (1). At the Design Review Preapplication hearing, the Applicant proposed a total of 28 residential units. This proposal includes a total of 27 residential units. While the reduction in unit count does not alter the bedroom size, ample bedroom closet and hallway closet space has been provided.

The Design Review Application was heard by the Planning and Zoning Commission on April 4, 2022. The Applicant shared the intent of the project, project details, as well as any incorporated feedback by the Commission from the January 18, 2022 Preapplication Design Review Hearing (light text above). The Commission, after deliberations, found compliance with all code criteria and approved the Design Review Application for construction of three (3) multifamily buildings, which included a total of twenty-seven (27) units, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units, and located at Sublot 4B, Block 1, North Hailey Plaza, on April 4, 2022. The Findings of Fact, Conclusions of Law and Decision were reviewed and approved by the Commission on April 18, 2022.

**Request for Reconsideration Application:** Mr. Chinn submitted an Appeal Application on May 6, 2022. Pursuant Section 17.03.050: Appeals, D., a request for reconsideration is a required prerequisite to appeal or judicial review, within fourteen days (14) days of the final decision, and shall be made to the person or body who has the authority to make a final decision, as referenced in the code section below:

- D. Request for Reconsideration Required: Failure to identify the nature of compliance or noncompliance with express approval standards or failure to explain compliance or noncompliance with relevant decision criteria or standards shall be grounds for invalidation of an approved permit or site-specific authorization, or denial of the same, on appeal. An applicant or affected person who seeks judicial review of a decision by the administrator, hearing examiner, commission or council must first seek reconsideration of the final decision within fourteen (14) days. A request for reconsideration shall be made to the person or body who has the authority to make a final decision but does not have to be made to a person or body who makes a recommendation. A request for reconsideration must allege and identify specific deficiencies in the decision. Upon reconsideration, the decision may be affirmed, reversed or modified after compliance with applicable procedural standards. A written decision shall be provided to the applicant or affected person within sixty (60) days of receipt of the request for reconsideration or the request is deemed denied. A decision shall not be deemed final for purposes of an appeal or judicial review unless the process required herein has been followed. The time to file an appeal or to seek judicial review is tolled until the date of the written decision regarding reconsideration or the expiration of the sixty (60) day reconsideration period, whichever occurs first. (Ord. 1191, 2015)**

Upon reconsideration, the original decision may be affirmed, reversed or modified after compliance with all application procedural standards. A Request for Reconsideration must also allege and identify specific deficiencies in the decision. Per the Appeal Application and supporting documentation supplied

by Mr. Chinn, he alleges that the Commission's Final Decision makes no "findings," despite that the *Findings of Fact, Conclusions of Law and Decision* review each and every code criterion, with subparts, and staff comments clearly adopted by the Commission, as part of the Commission's reasoned statement of compliance. In addition to the written decision, the Commission deliberated over the course of several hours of public meetings on two (2) separate occasions, and voted unanimously in favor of approval.

Mr. Chinn further notes the following reasons for the Appeal submittal:

- "The existence of real or potential harm is sufficient with a close proximity element of appellant's realty", and that "The complete lack of sufficient traffic analysis in the decision affects appellant's safety and welfare".
- "The decision by the Commission fails to meet the required standards for entry of written findings of fact".

City Staff and the City Attorney urged the Appellant to submit supplemental written materials pointing to specific criteria wherein issues were noted with the findings of compliance; however, no further documentation was supplied.

**Meeting Procedure and Process:** A request for reconsideration is not a de novo review, but limited to the record, consisting of all application materials, staff reports, minutes and transcripts of public hearings and the Findings of Fact, Conclusions of Law and Decision. Mr. Chinn may make any argument he deems appropriate in the time allotted therefore by the Chair. The Commission, as the governing body of Design Review Applications, shall review and consider the above referenced materials and argument prior to making a final decision. The original decision may be affirmed, reversed or modified after compliance with applicable standards. A written decision will be made and issued to the Applicant within sixty (60) days of the hearing, or by August 8, 2022.

**Procedural History:** The Appeal Application was submitted on May 6, 2022. A public hearing before the Planning and Zoning Commission will be held on Wednesday, June 8, 2022, in the Hailey City Council Chambers and virtually via GoTo Meeting.

**Return to Agenda**



Appeal Application



Name of Appellant: Brad Chinn
Mailing Address: 650 River Trail City: Hailey State: ID Zip: 83333
Phone: ( ) Fax: ( ) Cell: (509) 327 7000
Email Address: themagnificentseven@live.com
Signature: BRAD CHINN Date: May / 6 / 2022

Application Contact (if different than above):
\*\*Application Contact will be the Planning Department's primary point of contact for questions related to the application.
Mailing Address: City: State: Zip:
Phone: ( ) Fax: ( ) Cell: ( )
Email Address:
Signature: Date: / /

Address of Subject Property: TBD; ( NE corner of Empty Saddle & River Streets)
Legal Description of Property: Sublot 4b, Block 1, North Hailey Plaza
Administrator or Commission Decision under Appeal: Planning & Zoning Commission decision of April 18, 2022 approving the design review application of Kazuko-San ID, LLC.

See the Hailey Zoning Ordinance or Hailey Subdivision Ordinance for information on application process.

Table with 2 columns: Fee Description, Amount. Includes Application (\$500.00), Cost of Transcript, and Total due.

- The following information must be included for the application to be considered complete:
- A written statement of the reason(s) for the appeal and argument(s) which support the appeal.
- If appropriate, one (1) large set of all site plans and/or building elevations, to scale, which pertain to the decision appealed.
- One (1) 11" x 17" copy of any larger plans/maps.
- PDF files of all required documents and 11" x 17" plans/maps

City Use Only -
Certified Compete by:
Date: / /



Appeal of Planning & Zoning  
Commission Decision on  
Saddle Loft of April 18, 2022

Memorandum of Legal  
Authority in Support of  
17.08B.150.1 Appeal

I.

This tribunal has jurisdiction on this matter and the appeal is timely. Hailey City Code 17.08B.150.1. This code section requires an appeal to be filed prior to the relevant portions of the proceeding being transcribed.

Appellant has standing to file this appeal as an affected or aggrieved party pursuant to Idaho Code Section 67-6521(1)(a) & Idaho case law, including Crown Point Dev., v. City of Sun Valley, 144 Idaho 72, 148 P.3d 1247 (2007).

Appellant has a bona fide interest in real property required by Idaho Code 67-6521(1)(a) & (d). The elements of standing are met because requirement (3) listed in Citizens v. Linscott Asphalt, 168 Idaho 705, 486 P.3d 515, (substitute opinion), affects appellant and does not affect all citizens in the community. Threatened harm is sufficient to establish adverse effect. Schneider v. Howe, 142 Idaho 767, 133 P.3d 1232 (2006), citing Harris v. Cassia County, 106 Idaho 513, at 516, 681 P.2d 988, at 991.

The existence of real or potential harm is sufficient with a close proximity element of appellant's realty. Butters v. Hauser, 125 Idaho 79, 960 P.3d 181 (1998). Devaluation of property plus proximity satisfies both standing and injury. Cowan v. Bd. of Comm'rs of Fremont Cty, 143 Idaho 501, 511, 148 P.3d 1247, 1257 (2006). The complete lack of sufficient traffic analysis in the decision affects appellant's safety and welfare. Exhibit 1.

## II.

The primary issue on appeal is the insufficiency of the findings of fact and conclusions of law in the decision filed by the Planning and Zoning Commission on April 18, 2022. Exhibit 1.

The fundamental requirement for viable findings of fact is that an official decision must be supported by a "reasoned statement" that discloses and explains the basis of the decision in a meaningful way. Idaho Code Section 67-6535 (2). Conclusory statements are not sufficient. Cowan, 511.

The Planning and Zoning Commission (Commission) written decision presents just such conclusory statements. Exhibit 1. The "findings" contain no analysis, assessment or application of the code to any proposals. The Commission failed to make specific evaluations on any provisions.

The Commission failed to "find" anything and throughout its order repeatedly stated "the Commission found that all requirements for the proposed project have been met", or

“the Commission found this standard has been met”. Exhibit 1, page 3, et seq. Staff comments cannot replace actual findings and do not suffice to satisfy the Commission’s responsibilities to make independent findings of fact.

The LLUPA as amended in 2013, added the “reasoned statement” to clarify and accentuate the necessity for applying these standards. Prior to the LLUPA amendment, the Idaho Supreme Court decided that insufficient findings were grounds to vacate the decision and remand for further proceedings. Workman Family Partnership v. City of Twin Falls, 104 Idaho 32, 38, 655 P.2d 926, 932 (1982).

The reasoned statement requirement applies to this Planning and Zoning Commission because it is not a recommending body rather a decision-making entity. Cowan, 511, 1247; Hailey City Code 17.08B.150.1.

In Crown Point Dev., Inc. v. City of Sun Valley, 144 Idaho 72, 156 P.3d 573 (2007), the decision concluded that the city’s findings and conclusions were not findings at all, but “merely recite portions of the record which could be used in support of a finding”. Crown Point Dev., 77.

Further, the Court concluded that “We cannot review the findings for these errors because the City’s revised findings of fact do not actually consist of factual findings made by the City”. Crown Point Dev., 77. Neither does the Commission’s filed decision comply.

III.

Conclusion and request for relief

The decision by the Commission fails to meet the required standards for entry of written findings of fact. Consequently, there is no foundational basis upon which the legal conclusions can survive. The written decision filed by the Commission filed on April 18, 2022 will not withstand judicial review and must be vacated.

Respectfully submitted this 6th day of May, 2022

A handwritten signature in black ink, appearing to read "Brad Chinn", is written over a horizontal line.

Brad Chinn, Appellant

# EXHIBIT 1

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 4, 2022, the Hailey Planning and Zoning Commission considered and approved the Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes a total of twenty-seven (27) units, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units. The project will be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project will be known as Saddle Lofts.

### FINDINGS OF FACT

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on March 16, 2022 and mailed to property owners within 300 feet on March 16, 2022.

**Background and Application:** The Applicant, Kazuko-San ID, LLC, has submitted a Design Review Application for construction of three (3) multifamily residential buildings. Building A is approximately 2,817 square feet, Building B is approximately 2,823 square feet in size, and Building C is approximately 1,020 square feet in size. Within the three (3) buildings, a total of twenty-seven (27) residential units are proposed. These units comprise of various unit size: nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units on 0.53 acres (22,992 square feet).

If approved, the project would be located on the east side of River Street, on the corner of River Street and Empty Saddle Trail. The project is located within the Downtown Residential Overlay (DRO), and is proposing the following:

- Twenty-seven (27) onsite parking spaces, which will include:
  - Twenty-four (24) uncovered parking spaces:
    - Eighteen (18) standard spaces
    - One (1) accessible space
    - Five (5) compact spaces
  - Three (3) covered parking spaces:
    - One (1) accessible space
    - One (1) standard space
    - One (1) compact space
- Nine (9) improved public right-of-way parking spaces
- Nine (9) one-bedroom units (540-680 square feet in size)
- Ten (10) one-bedroom units with office space (702-707 square feet in size)
- Eight (8) two-bedroom units (842-873 square feet in size)
- Eleven (11) bicycle racks for a total of 22 bicycle parking spaces
- Storage lockers for each unit
- Approximately 3,490 square feet of common useable open space
- Public right-of-way, street tree and landscaping improvements
- Two (2) deed-restricted residential units equal to or less than 100% Area Median Income (AMI)

Parking for the proposed units will be accessed off of an internal shared drive that connects to the existing public street, Empty Saddle Trail. No alley exists; however, a utility easement exists along the



eastern property line and will be utilized as part of the internal drive. The internal drive will be 22' in width and the proposed onsite parking angles are at 90 degrees.

The buildings have been designed to face River Street (west) and Empty Saddle Trail (south). The parking area is located behind the buildings and takes advantage of the existing utility easement that cannot be built upon. The shape and position of the buildings create an elongated courtyard/open space between the parking area and the buildings, which supports various outdoor "rooms" for residents to enjoy. At the north (and sunniest) end of the open space, a play structure is proposed. Just to the south of this is an uncovered, paved gathering area with benches. The outdoor room located just south of this gathering area with benches, there will be another common area covered by a trellis structure, providing filtered light and more shade. At the southernmost edge of the open space, a more naturalized space with a bark path and pet-friendly area are proposed. The Applicant is proposing a total of 3,490 square feet of useable open space (2,299 square feet is required), which will be open to the public and will be available for use by all tenants.

The primary pedestrian entrances will be covered and are located off of River Street and Empty Saddle Trail. The entries to each unit will be accessed via a covered walkway/balcony system located along the rear sides of the building. The proposed buildings, in most places, are setback approximately five feet (5') from the sidewalks to allow for ample landscaping on private property.

The above design is cohesive with the surrounding zoning and uses, which consist of commercial, single-family, and multi-family residential uses.

**Commission Feedback.** On January 18, 2022, the Planning and Zoning Commission reviewed the Design Review Preapplication for Saddle Lofts. The Commission neither approved nor denied the proposal, but suggested the following:

- **Consider adding air conditioning units to each residential unit.** The Applicant will install a sleeve feature that allows for the installation of a portable air conditioning unit, which will not be visible from the outside of the building,
- **Consider incorporating two-bedroom units on the ground floor.** Structurally, it is easier to accommodate for the stacking of two-bedroom units on the upper floors. While the Applicant did not place two-bedroom units on the ground floor as suggested, three (3) of the one-bedroom units have been strategically converted to two-bedroom units to better accommodate for a couple, family and/or more than one (1) individual.
- **Consider utilizing lighter exterior colors, or lighter-colored shingles, to reduce the mass of the building.** The Applicant has lightened the exterior colors, as shown on the Materials Board. The corrugated metal siding is a rust color, the stucco siding is a beige color, the entry doors will be a penny, or burnt rust color. A lighter shingle, in Shakeswood, will be utilized for the roof.
- **Consider reducing the density to increase average bedroom size.** The Applicant has reduced the overall number of units by one (1). At the Design Review Preapplication hearing, the Applicant proposed a total of 28 residential units. This proposal includes a total of 27 residential units. While the reduction in unit count does not alter the bedroom size, ample bedroom closet and hallway closet space has been provided.

**Procedural History:** A Design Review Preapplication public hearing before the Planning and Zoning Commission of the project was held on January 18, 2022, in the Hailey City Council Chambers. The

Commission reviewed the project and provided suggestions, as noted herein. No decision was made. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on April 4, 2022, in the Hailey City Council Chambers and virtually via GoTo Meeting.

<b>General Requirements for all Design Review Applications</b>				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Streets, Water & Wastewater: <i>No comments</i>
				Building: <i>No comments</i>
				Streets: <i>No comments</i>
			<i>City Arborist: The Hailey Tree Committee met on March 10, 2022 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design as proposed.</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>N/A, as no signage is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			Staff Comments	<p><i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i></p> <p><i>The project is comprised of three (3) apartment buildings with a total of twenty-seven (27) residential units. The site plan shows a total of 27 onsite parking spaces, of which, one (1) parking space is a standard accessible parking space, and one (1) parking space is a van accessible parking space. Additionally, the Hailey Municipal Code allows twenty-five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or six (6) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of six (6) spaces as compact spaces.</i></p> <p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units; however, if unimproved public right-of-ways are improved, this shall satisfy the guest parking requirement. The Applicant is proposing to improve the public right-of-way and off-street parking along River Street and Empty Saddle Trail. Nine (9) on-street parking spaces are proposed (along River Street and Empty Saddle Trail).</i></p> <p><i>The Commission found that all parking requirements for the proposed project have been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no

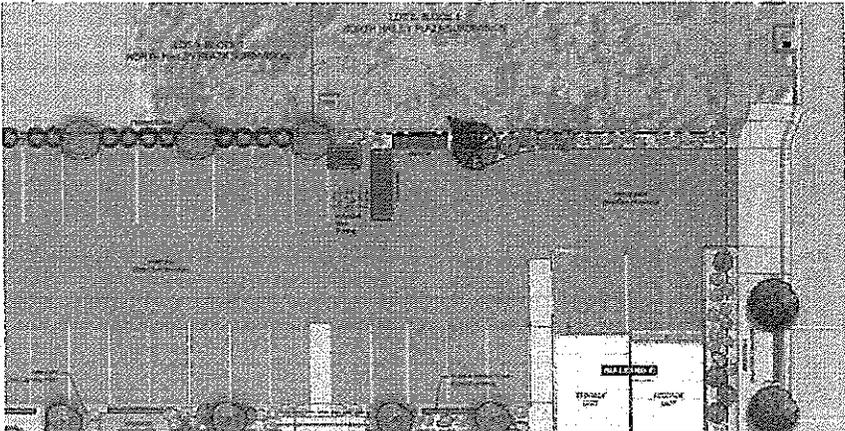
				other application is pertinent, under the notice and hearing procedures set forth for design review.
			<i>Staff Comments</i>	<i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p><b>17.08C.040 General Standards</b></p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<i>Staff Comments</i>	<i>The Applicant will install Dark Sky compliant, downcast and low wattage fixtures. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Business (B) and Townsite Overlay (TO) Zoning Districts:
			<i>Staff Comments</i>	<p><b>Building Height:</b></p> <ul style="list-style-type: none"> <li>- Permitted Building Height: 35' (except for a building containing at least one residential unit, then the allowable height is 40').</li> <li>- Proposed Building Height: +/- 35'</li> </ul> <p><b>Building Setbacks:</b></p> <ul style="list-style-type: none"> <li>- Required Setbacks:                             <ul style="list-style-type: none"> <li>o Front Yard: 0'</li> <li>o Side Yards: 0'</li> <li>o Rear Yard: 0'</li> </ul> </li> <li>- Proposed Setbacks:                             <ul style="list-style-type: none"> <li>o Front Yard (River Street): 2-5 3/16"</li> <li>o Side Yard (north): 5'-1 1/2"</li> <li>o Side Yard (south): 3'- 5/8"</li> <li>o Rear Yard: 26'-8 5/16"</li> </ul> </li> </ul> <p><i>The Commission found that all setback and building height requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>The public right-of-way on River Street and adjacent to the project site is 70' in width, instead of a traditional 100' in width. As such, the River Street Typical Section has been modified to fit the site-specific conditions. These modifications, noted</i>

				<p>herein, have been discussed with and are acceptable to the Public Works Department.</p> <p>A new 8.8'-wide sidewalk is shown along the property frontage of River Street. This sidewalk is interspersed with four (4), 3.8'-wide planting strips. The minimum sidewalk width along River Street is five (5) feet. An eight (8) foot wide sidewalk with four (4) interspersed planting strips are proposed along the property frontage of Empty Saddle Trail. The minimum sidewalk width along Empty Saddle Trail is six (6) feet wide.</p> <p>The proposed planting strips have been sized to provide ample room for a landscape buffer, while also providing pedestrian opportunities to access the sidewalk from the street/parking space. The proposed perimeter sidewalks will connect to interior sidewalks and patio area, providing safe access and sufficient circulation around and through the site.</p> <p>The Commission discussed maintenance to the Public Right-of-Way and concurred with Staff that a Public Right-of-Way Maintenance Agreement be developed between the City and the Applicant wherein the Applicant shall maintain all infrastructure within the right-of-way. This has been made a Condition of Approval.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	N/A. The Commission found that this standard has been met.

**Design Review Requirements for Non-Residential, Multifamily,  
and/or Mixed-Use Buildings within the City of Hailey**

**1. Site Planning: 17.06.080(A)1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings
			Staff Comments	The buildings face River Street (to the west) and Empty Saddle Trail (to the south). Parking is located behind the buildings and take advantage of a utility easement that cannot be built upon. The shape and position of the buildings create an elongated courtyard/open space between the parking area and the buildings, which supports various outdoor "rooms" for residents to enjoy. At the north (and sunniest) end of the open space, a play structure is proposed. Just to the south of this is an uncovered, paved gathering area with benches. The outdoor room located just south of this gathering area with benches, there will be another common area covered by a trellis structure, providing filtered light and more

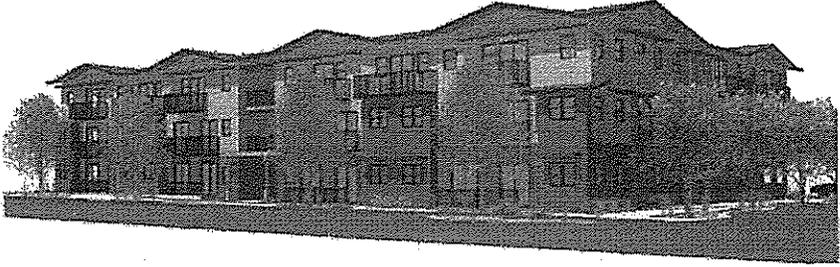
				<p>shade. At the southernmost edge of the open space, a more naturalized space with a bark path and pet-friendly area are proposed. The primary pedestrian entrances face the public streets (west and south), will receive ample sunlight and will be covered to provide safe access. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			Staff Comments	<p>No mature, existing plant material exists onsite. Grasses, shrubs, weeds and two small, unmaintained trees will be removed prior to construction. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			Staff Comments	<p>Site circulation has been designed to keep vehicular access and onsite parking to the shared internal drive. New sidewalks are shown along the property frontages of River Street and Empty Saddle Trail, which will connect to internal sidewalks and pedestrian entrances, creating safe access to and through the site. The pedestrian entrances face the streets (west and south), will receive ample sunlight, and will be covered. The apartments will be accessed via a covered walkway/balcony system located along the rear sides of the building. Both a covered walkway and an uncovered path will provide access from the building to the proposed parking area. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			Staff Comments	<p>Trash receptacles, recycling and utility boxes are located to the rear of both the west and east wings along the eastern property line (see image below for further details). The trash enclosure will be partially enclosed with a removable fence in the event that utilities within the easement need to be accessed. A letter from Clear Creek Disposal commenting on accessibility of the proposed enclosure shall be provided. This has been made a Condition of Approval.</p>
				

				<p>Furthermore, a power box is located directly north of the dumpster enclosure. This power box and the trash enclosure do not interfere with each other and will be screened with vegetation, subject to Idaho Power clearance regulations. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			Staff Comments	N/A, as no alleys exist or are planned. The internal shared drive will be utilized for building services. The Commission found that this standard has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			Staff Comments	N/A, as no vending machines are proposed at this time. The Commission found that this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			Staff Comments	<p>Onsite parking is located off of the proposed internal drive and to the rear of the building. A prominent entrance is proposed along River Street, and a secondary entrance is located along Empty Saddle Trail. All parking is screened from the street, buffered by buildings, landscaping and/or sidewalks.</p> <p>It is anticipated that snow will be hauled from the site, as the total number of dwelling units and onsite parking spaces proposed leave little space for snow storage. This has been made a Condition of Approval. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			Staff Comments	The site is serviced by two public streets, River Street and Empty Saddle Trail. Onsite parking can be accessed from an internal shared drive, which is located behind the proposed buildings and is a single-approach off of Empty Saddle Trail. Primary pedestrian access can be achieved from River Street and Empty Saddle Trail. The Commission found that this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			Staff Comments	It is anticipated that snow will be hauled from the site, and no snow shall be stored within the proposed open space. This has been made a Condition of Approval. The Commission found that this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			Staff Comments	Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	k. A designated snow storage area shall not have any dimension less than 10 feet.

			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The proposal is for three (3) multifamily buildings of 27 dwelling units in the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. A variety of homes, single-family and multifamily, as well as commercial spaces, exist. These uses vary widely in size, shape and roofline. From the flat roofed, Albertson's Market (~36,600 square feet in size) to the single-story, steep-pitched roof cottage (~1,300 square feet in size) to the east, and the nearby movie theater, Big Wood Cinema (~12,903 square feet in size), the proposed buildings complement its surroundings. The multifamily buildings have a footprint of 7,424 square feet, which is substantially smaller than Albertson's and Big Wood Cinema. The design incorporates a variety of features, such as balconies, breezeways and/or pop-outs. The buildings have low-pitched, sloped roofs, consistent with a residential vernacular. The project has been designed as a collection of three (3) smaller buildings that are rectangular in shape, consistent with the surrounding buildings. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	<i>N/A, as the project is not a corporate design. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The proposed building design emphasizes human scale along the River Street façade by providing a generous landscaping buffer between the sidewalk and the building. The façade will also see directional siding, both horizontal and vertical, and a change in siding material at the second-floor level. Balconies, sunshades and eaves, pop-outs and trellis structure also reduce the mass and emphasize human scale. The primary entry from River Street is inviting, spacious and pedestrian-oriented.</i>

				 <p><i>While not the primary building elevations, the southern façade is spacious, providing for safe pedestrian access. Changing in siding materials, vertical planes, balconies, eaves and landscaping also encourage human interaction. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p><i>Staff Comments</i>  <i>The primary front façade faces River Street and includes various-sized windows, spacious pedestrian entrance, multiple building offsets, projections in the form of decks, roof eaves and sunshades, and exterior material changes at the second and third levels. The utilization of various materials, integration of undulation and exterior colors help to break up any large building surfaces. The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>Staff Comments</i>  <i>N/A, as no future additions or renovations are planned at this time.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p> <p><i>Staff Comments</i>  <i>A variety of materials will be used on the exterior of the buildings. A mix of corrugated metal siding (rust color), stucco siding (beige color), metal decks and sunshades (black color), natural wood gable vents, access balconies and trellises, and eaves are proposed (see the image above for further details).</i></p> <p><i>A Materials Sample Board has been provided and will be brought to the hearing. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p><i>Staff Comments</i>  <i>The exterior colors and materials proposed have been integrated into the architecture of the building and are similar to other buildings in the surrounding neighborhood. The colors are earthy in nature and will be harmonious with the neighboring brown, gray or burgundy, and brick-colored buildings. The stucco and metal materials will also complement the variety of materials found on the neighboring buildings. The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p>

			<i>Staff Comments</i>	<i>N/A, as no flat roofs are proposed. The buildings will incorporate pitched roofs. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> <li>i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</li> <li>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii) Double glazed windows.</li> <li>iv) Windows with Low Emissivity glazing.</li> <li>v) Earth berming against exterior walls</li> <li>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul>
			<i>Staff Comments</i>	<p><i>The Applicant has stated that they plan to minimize energy consumption by incorporating/utilizing the following:</i></p> <ul style="list-style-type: none"> <li>- <i>South Facing Windows with Eave Coverage: At least 40% of the building's total glazing is oriented to the south, those which are oriented south and/or west are protected from the summer heat gain by adequate roof overhangs, and sun shades.</i></li> <li>- <i>Double Glazed Windows: All windows will be, at a minimum, double glazed.</i></li> <li>- <i>Low Emissivity Glazing: All windows will have low emissivity glazing.</i></li> <li>- <i>An alternative energy system is not proposed at this time; however, the building will be rooftop solar ready.</i></li> </ul> <p><i>Additionally, the Applicant is proposing the following:</i></p> <ul style="list-style-type: none"> <li>- <i>Building insulation to exceed minimum energy code compliance</i></li> <li>- <i>Low solar heat gain coefficient windows on the south and west facades to minimize afternoon heat gain</i></li> <li>- <i>Two (2) electric vehicle, Level 2, charging opportunities</i></li> <li>- <i>All electric building</i></li> </ul> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<p><i>Low-pitched roofs are proposed and will retain snow. Gable roofs will direct melting snow and rain runoff to the gutters at the eaves. The access balconies/walkways will be covered by a pitched roof with gutter system. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>

			<i>Staff Comments</i>	<i>Downspouts and drains will be located within landscaped areas and shall not create any pedestrian hazards. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	<i>N/A, as no vehicle canopies are proposed. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	<i>N/A, as no master signage plan is needed. That said, the Applicant has submitted a plan, but it appears all proposed signage is exempt from permitting requirements (i.e., smaller than four square feet, address signage, etc.). The Commission found that this standard has been met.</i>

**3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed. Trellis features, attached to the building, are located at the front and rear pedestrian entrances. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed. A trash/recycling enclosure is located off of the internal shared drive, at the rear of the property. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>N/A, as no perimeter fences are proposed. The perimeter of the property will be defined by vegetative landscaping. Removable screening to match the corrugated siding is proposed around the trash and recycling enclosure. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>N/A, as no fencing is proposed at this time. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>Aside from minimal plumbing vents, no roof projections and/or roof-mounted mechanical equipment are proposed at this time. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.

			<i>Staff Comments</i>	<i>N/A, as no alternative energy sources are proposed at this time. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>Trash receptacles, recycling and utility boxes are located to the rear of the building, off of the internal shared drive. The Idaho Power transformer box will be located, per IPCO Regulations, along the eastern property line and will be screened from view by landscaping. No additional ground-mounted mechanical equipment is proposed. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All services lines will be underground. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances will be permitted on poles. The Commission found that this standard has been met.</i>

**4. Landscaping: 17.06.080(A)4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>All plant material has been selected for its drought-tolerance and ability to thrive in the local environment. Tree selections include Washington Hawthorn, Autumn Blaze Maple, Tartarian Maple, Crabapple, Subalpine Fir, Rocky Mountain Juniper and Tannenbaum Pine. Shrub selections include Oriental Dwarf Spruce and a mix of Cotoneaster, Ninebark, Lilac, Spirea and Snowberry. Grasses and perennials include three (3) drought-tolerant grasses, and three (3) native or adapted flowering perennials. The limited turf grass proposed is a low-water use Fescue Blend. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>The Applicant has stated that all plant species proposed are hardy to a minimum USDA Zone 4. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>All disturbed areas will be revegetated and irrigated with an automatic, underground irrigation system. Drip irrigation will be installed in all planting beds, planter boxes and tree wells. The irrigation system will be automatically controlled with a smart controller and rain sensor for a water wise system. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in

				any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			<i>Staff Comments</i>	<p>The proposed Landscaping Plan incorporates a combination of trees, shrubs, grasses and groundcover. The Landscape Plan (Sheet L1) shows a total of eighteen (18) trees to be planted onsite and a total eight (8) street trees to be planted.</p> <p>Pursuant this standard, newly landscaped areas having more than 10 trees, a minimum of 10% of the trees, or one (1) tree, shall be at least 4" caliper, 20% of the trees, or three (3) trees, shall be at least 3" caliper, and 20% of the trees, or three (3) trees, shall be at least 2 ½" caliper. The Applicant is proposing the following onsite trees:</p> <ul style="list-style-type: none"> <li>- Four (4) Tortarian Maple Trees at 3" caliper</li> <li>- Six (6) Crabapple Thunderchild Trees at 2" caliper</li> <li>- One (1) Subalpine Fir Tree at 12' in height</li> <li>- Five (5) Rocky Mountain Juniper/Tannenbaum Pine Trees at 15 gallons each</li> </ul> <p>Additionally, the Applicant is proposing the following street trees:</p> <ul style="list-style-type: none"> <li>- Four (4) Washington Hawthorne Trees at 3" caliper</li> <li>- Four (4) Autumn Blaze Maple Trees at 4" caliper</li> </ul> <p>The Commission found that the proposed tree species and sizes comply with this standard.</p> <p>Lastly, the Hailey Tree Committee met on March 10, 2022 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design as proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	N/A, as the proposed project is located within the Business (B) Zone District. The Commission found that this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	Proposed landscaping is varied, as shown in the Landscape Plans. Refer to Section 17.06.080(A)4d for further details. The Commission found that this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	A Grading and Drainage Plan has been submitted and storm water will be retained onsite. Runoff is directed to drywells where it will infiltrate into the soil. The Commission found that this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	The Applicant will be responsible for maintaining plant material in healthy condition. The Commission found that this standard has been met.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>A very low retaining wall, maximum of eight inches (18") is proposed along the River Street sidewalk to allow a small change in grade from the sidewalk to the subject property. It will have a six inch (6") minimum curb on the sidewalk side, per the request of the Public Works Department, to facilitate snow removal on the sidewalk. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>Per the request of the Public Works Department, the proposed retaining wall described above will be made of reinforced concrete to match the sidewalk. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A, as no tall retaining walls are proposed. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A, as no extensive retaining walls are proposed. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed to be over 24" in height. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are compatible for seating. The Commission found that this standard has been met.</i>

**Additional Design Review Requirements for  
Multi-Family within the City of Hailey**

**1. Site Planning: 17.06.080(D)1, items (a) thru (c)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
			<i>Staff Comments</i>	<i>The building responds to its corner location by presenting its main facades toward River Street and Empty Saddle Trail. The open space is located behind the building to buffer the building from the parking area and to provide privacy from the public right-of-way. The gentle north to south slope is accommodated by stepping the buildings down with the topography. Surrounding uses are buffered from the residential building by street rights-of-way, the project's parking area and landscape buffers along property lines. The Commission found that this standard has been met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.
			<i>Staff Comments</i>	<i>A simple, logical system of pedestrian pathways connects the public rights-of-way with the project and access to parking. Most of the walkways onsite are covered. Additional informal pathways are provided to access the outdoor rooms in the open space. Three (3) sets of stairs serve the upper levels. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(D)1b above. The Commission found that this standard has been met.</i>

**2. Building Design: 17.06.080(D)2, items (a) thru (b)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.
			<i>Staff Comments</i>	<i>The overall building is composed of three (3) smaller residential buildings, each containing up to ten (10) dwelling units. It is clad in a mix of corrugated metal siding on the lower levels and stucco above, with frequent articulation of the façade, to break up the building massing and scale. Two (2) generous openings to and through the building provide welcoming entrances and passage into the project. Horizontal elements, such as sunshades, private balconies, trellises, generous roof overhangs and access walkways mitigate the vertical elements. An approximately five-foot-wide setback from the public sidewalk provides an opportunity for vegetative landscaping to soften the front edges of the building. The gable roof forms utilized reference a residential vernacular. The exterior finish materials incorporate a mix of corrugated metal siding (rust color), stucco (beige color), metal decks and sunshades (black color) and generous eaves. Natural wood stair stringer, access balcony construction, trellises and gable vents will provide an additional accent material and color. Windows are large enough to admit ample daylight, cross ventilation and egress. They are placed to admit winter sun, but shading is provided so that they are shielded from summer sun heat gain. Where possible, each room has light from two (2) sides. The front door to each dwelling unit will be painted a burnt orange color to differentiate it from other exterior finishes, while complementing the overall color palette. The individual apartment doors do not face the street, rather they face the access balconies on the inside of the property, and the great room doors, windows and balconies face the more public street sides of the property. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.
			<i>Staff Comments</i>	<i>The proposed building design emphasizes human scale along the River Street façade by providing a generous landscaping buffer between the sidewalk and the building, breaking up the façade horizontally with a change in siding material at the second-floor level, protruding balconies, sunshades and generous eaves,</i>

				<p><i>providing four pop-outs to undulate the façade and with a trellis structure over the main pedestrian entry. The main access is generous, pedestrian-friendly and inviting to encourage human interaction at the entry, as well as to direct people into the property. The Commission found that this standard has been met.</i></p>
<b>General Requirements for the Downtown Residential Overlay District (DRO)</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.030	<p><b>General Application:</b> The Downtown Residential Overlay District shall be an overlay district with bulk, open space, landscaping and parking requirements for buildings and structures located within the district which are developed as multi-family or mixed uses. Where the regulations specified for the underlying zoning district, the requirements of this article shall apply and control, except as otherwise specified in this article (Ord. 1238, 2018).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.040(A)	<p><b>Use and Bulk Requirements:</b> Use and bulk requirements shall be those of the underlying zoning district, except where specifically amended herein (Supplementary Location and Bulk Requirements of Chapter 17.07 of this title shall also apply in the DRO).</p> <p>A. Residential Percentage: There shall be no maximum residential percentage on the ground level (Ord. 1238, 2018).</p>
			<i>Staff Comments</i>	<p><i>The project is proposing twenty-seven (27) dwelling units within the three (3) multifamily buildings. Of the overall total, eight (8) of the dwelling units are on the ground floor. Parking and storage spaces for each unit are also located on the ground floor. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(A)	<p><b>Multifamily and Mixed-Use Density:</b></p> <p>A. Maximum Residential Units Per Acre: Residential units per acre provisions of the underlying district shall not apply; rather density shall be limited by required open space, parking, landscaping and standards of review from Chapter 17.06: "Design Review", of this title. The Commission shall have the discretion to modify building design based on the standards in Chapter 17.06 of this title.</p>
			<i>Staff Comments</i>	<p><i>Please refer to the Design Review Standards as noted herein. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(B)	<p>B. Dwelling Unit Average Size Requirement: The average dwelling unit size shall be not less than six hundred (600) net square feet per building (Ord. 1238, 2018).</p>
			<i>Staff Comments</i>	<p><i>The average dwelling unit size is 707 net square feet, as measured to the inside of the unit's exterior walls. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (A)	<p><b>Parking Spaces, Screening and Storage Requirements:</b></p> <p>A. Onsite Parking Space Requirements Multiple Family Dwellings and Dwelling Units Within A Mixed-Use Building:</p> <ol style="list-style-type: none"> <li>1. A minimum of one space per residential dwelling unit, where up to twenty five percent (25%) of required on-site parking spaces may be provided as compact parking spaces. Compact spaces must be signed as such.</li> <li>2. At least one guest parking space for every six (6) dwelling units. Unimproved City rights-of-way adjacent to the site that are improved as part of the project shall count towards the guest parking requirement.</li> </ol>
			<i>Staff Comments</i>	<p><i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i></p> <p><i>The project is comprised of three (3) apartment buildings with a total of twenty-seven (27) residential units. The site plan shows a total of 27 onsite parking spaces, of which, one (1) parking space is a standard accessible parking space, and one (1)</i></p>

				<p>parking space is a van accessible parking space. Additionally, the Hailey Municipal Code allows twenty-five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or six (6) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of six (6) spaces as compact spaces.</p> <p>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units; however, if unimproved public right-of-ways are improved, this shall satisfy the guest parking requirement. The Applicant is proposing to improve the public right-of-way and off-street parking along River Street and Empty Saddle Trail. Nine (9) on-street parking spaces are proposed (along River Street and Empty Saddle Trail).</p> <p>The Commission found that all parking requirements for the proposed project have been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (B)	<p><b>B. Useable Open Space, Screening and Landscaping:</b></p> <ol style="list-style-type: none"> <li>1. Useable open space of not less than ten percent (10%) of the total lot area shall be included in the project design. Useable open space shall not include private decks, patios or rooftop gardens.</li> <li>2. A landscape buffer between parking areas and residential zone districts may consist of an acceptably designed wall or fence incorporating drought tolerant plantings; and</li> <li>3. Minimum distance setbacks in Section 17.09.020.11 of this title shall not apply.</li> </ol>
			Staff Comments	<p>The total lot area is 22,992 square feet in size. The Applicant is required to provide 2,299 square feet of useable open space or ten (10%) percent of the total lot area. The Applicant is proposing useable open space that is approximately 3,490 square feet in size.</p> <p>A landscape buffer between parking areas and residential zoning districts are also required; however, the project does not abut a residential zoning district. That said, the Applicant is proposing to buffer the parking area from adjacent properties with trees and deciduous and evergreen shrubs (see Sheet A9.01 for further details).</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (C)	<p><b>C. Onsite Parking Dimension:</b> Where the parking angle is ninety degrees (90°), the minimum aisle width may be twenty-two (22') feet, as determined through the design review process.</p>
			Staff Comments	<p>The Applicant is proposing that all onsite parking angles be of ninety degrees (90°). They have also proposed an aisle width to access the parking are of twenty-two (22') in width. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (D)	<p><b>D. Storage:</b> All units under five hundred (500) square feet shall be provided with on-site storage suitable for bikes, skis and other similar items. Size, location and design of the storage areas shall be determined through the design review process (Ord. 1238, 2018).</p>
			Staff Comments	<p>All proposed units (27 in total) exceed 500 net square feet in size; however, the Applicant Team has provided each unit with a twenty (20) square foot (4'x5') storage unit. These units are located on the ground floor. The Commission found that this standard has been met.</p>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

## **CONCLUSIONS OF LAW**

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

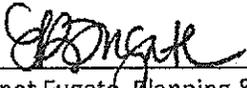
- 1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.**
- 2. The project is in general conformance with the Hailey Comprehensive Plan.**
- 3. The project does not jeopardize the health, safety, or welfare of the public.**
- 4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Hailey Municipal Code and City Standards.**

## DECISION

The Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes a total of twenty-seven (27) units, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units, was approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (k) are met:

- a) All applicable Fire Department and Building Department requirements shall be met. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
  - i. The Applicant shall install a building sprinkler system and alarm system, as set forth in the IFC.
  - ii. A Right of Way Maintenance Agreement shall be adopted by the Council prior to Certificate of Occupancy.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- d) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- e) The Applicant shall submit a letter from Clear Creek Disposal commenting on the accessibility of the proposed trash enclosure.
- f) The Applicant shall remove and haul snow from the site, as needed. No snow shall be stored in the proposed open space.
- g) Any and all ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- h) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- i) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- j) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- k) The Applicant shall submit a Photometric Plan prior to issuance of a Building Permit.

Signed this 18<sup>th</sup> day of April, 2022.

  
Janet Fugate, Planning & Zoning Commission Chair

Attest:

  
Jessie Parker, Community Development Assistant



115 MAIN STREET S. SUITE H  
 HAILEY, ID 83333  
 PHONE: (208) 788-4221  
 FAX: (208) 788-2924

INVOICE #	INVOICE DATE
111844445	05/06/2022
DUE DATE	CUSTOMER ACCOUNT NUMBER
05/07/2022	10106
AMOUNT DUE	TERMS:
500.00	Open Terms

BILL TO:

**Chinn, Brad**

650 River Trail  
 Hailey ID 83333

PLEASE DETACH AND RETURN THIS TOP PORTION WITH  
 YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY  
 115 S MAIN ST STE H  
 HAILEY, ID 83333

# INVOICE

DESCRIPTION	QUANTITY	CHARGE	EXT. PRICE
PLANNING APPEAL	1	500.00	500.00
			500.00
			TOTAL AMOUNT DUE

THANK YOU FOR YOUR PROMPT PAYMENT  
 For Billing Inquiries Call: (208)788-4221  
 Office Hours: 9:00 a.m. - 5:00 p.m.  
 Monday thru Friday

PH and Meeting Checklist		PROOF OF NOTICING REQUIREMENTS MET
Hailey CC	Hearing date:	June 8, 2022
5:30 PM- CC Room		Special Meeting: Reconsideration of Saddle Lofts
<b>CERTIFIED COMPLETE</b>	<i>Complete no</i>	<i>Requirement:</i>
5/13	5/15/2022	Email Public Notice to Mountain Express
1		<b>For vacations:</b> 2 successive weeks in paper, the last not less than 7 days prior. <b>For fees:</b> consecutively 2 weeks prior.
	5/15/2022	Post application documents on website
5/16	<del>5/20/2022</del> 5-18-22	Mail Public Notice to adjoining property owners & applicants & published in the M. Express; If alternate notice, display ad and post all boundaries. Copy of notice and mailing list in file.
	5/20/2022	Mail Public Notice to public agencies - only applicable for Amendments to Comp Plan, Zoning Ord. & Map, Sub Ord, City Standards, Annexations and ACl. Copy of notice and mailing list in file.
	5/20/2022	Certified mail to affected property owners - only applicable for vacations
	6/1/2022	Post Public Notice on property - only applicable for CUP, Annexation, Planned Unit Development, Rezone, Wireless
	6/3/2022	Email agenda to Commissioners and recipients - for email, BCC "Agenda List" in P&Z Contacts in Outlook
	6/4/2022	Post agenda at City Hall (front & back doors) - at least 48 hrs prior to meeting; at least 24 hrs if a special meeting
	6/4/2022	Post agenda on website
	6/9/2022	Email staff report or findings, agenda and any public comment received to applicant and representative; print copy of sent email for file
	6/9/2022	Place original documents in appropriate file

I HEREBY CERTIFY that the Notice of Public Hearing, Agenda, and packet information pertaining to the meeting specified above was distributed on the dates as shown on the above checklist. This notice package will be placed in the project file(s). SWORN AND DATED this 18 day of May, 2022.

Print Name and Title Jessie Parker CDD Initial JP

**NOTICE OF SPECIAL PUBLIC HEARING  
HAILEY PLANNING AND ZONING COMMISSION  
Wednesday, June 8, 2022  
5:00 p.m.**

PUBLIC NOTICE IS HEREBY GIVEN that the Hailey Planning and Zoning Commission will hold a Public Meeting at 5:00 p.m. on **Wednesday, June 8, 2022**, to be held in person, and virtually as a remote telecommunication meeting, and in compliance with the Open Meetings Law. **The phone number to call in for the meeting will be posted on the agenda on the city website by June 6, 2022.** The telephonic Public Hearing will be conducted on the following item(s):

- A Request for Reconsideration submitted by Brad Chinn of the Design Review Application approval by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes twenty-seven (27) residential units, to be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project will be known as Saddle Lofts.

Any and all interested persons are invited to attend this public hearing using telecommunication devices or submit written comments or direct questions to the Community Development Assistant at 115 South Main Street, Hailey, Idaho 83333, or [planning@haileycityhall.org](mailto:planning@haileycityhall.org). For special accommodations or to participate in the noticed meeting, please contact the City Clerk 208.788.4221.

101 EMPTY SADDLE TRAIL LLC  
232 7TH AVE N STE 100  
SEATTLE WA 98109-0000

DESERT PINE LLC  
BOX 6343  
KETCHUM ID 83340-0000

FIVE B LLC  
C/O PATRICK BUCHANAN  
831 N MAIN ST  
HAILEY ID 83333-0000

HAILEY FF LLC  
PO BOX 1491  
IDAHO FALLS ID 83403-0000

KAZUKO-SAN ID LLC  
4468 VIA ALEGRE  
SANTA BARBARA CA 93110-0000

KELLY SANDRA  
106 NORTH ANGELA DR  
HAILEY ID 83333-0000

LIFE CHURCH WOOD RIVER INC  
PO BOX 3490  
HAILEY ID 83333-0000

LINDBERG PATRICIA B  
114 EMPTY SADDLE TRL  
HAILEY ID 83333-0000

MC DONALD'S CORPORATION  
KYLE INC/#13380  
DBA VALLEY FOOD SERVICE INC  
261 4TH AVE N  
TWIN FALLS ID 83301-0000

MOORE DEMI GENE TRUSTEE  
MOORE DEMI FAMILY TRUST  
C/O NIGRO KARLIN SEGAL & FELDS  
10960 WILSHIRE BLVD 5TH FLOOR  
LOS ANGELES CA 90024-0000

NORTHSTAR MEADOWS PROPERTY OWNERS  
C/O BOULDER MOUNTAIN PROP MGNT  
BOX 3821  
HAILEY ID 83333-0000

NUNBERG GEOFFREY D TRUSTEE  
GEOFFREY D NUNBERG 2010 TRUST DATED 5/13/2010  
C/O PARADIGM TAX GROUP  
PO BOX 800729  
DALLAS TX 75380-0000

PIONEER FEDERAL CREDIT UNION  
250 W 3RD ST S  
MOUNTAIN HOME ID 83647-0000

RIVER STREET APARTMENTS LP  
1812 MADISON AVE  
NAMPA ID 83687-0000

SEVEN S LLC  
1106 CLUB PL  
BATON ROUGE LA 70810-0000

TREVINO JAMIE M  
BAKER TAWNI L  
750 NORTHSTAR DR  
HAILEY ID 83333-0000

WILLIAMS LATHAM L TRUSTEE  
WILLIAMS FAMILY TRUST  
PO BOX 3639  
KETCHUM ID 83340-0000

WILLIAMS LATHAM L-TRUSTEE  
WILLIAMS FAMILY TRUST  
BOX 3639  
KETCHUM ID 83340-0000

LEGAL NOTICE  
BLAINE COUNTY PLANNING AND ZONING COMMISSION  
June 2, 2022, at 6:00 p.m.

NOTICE IS HEREBY GIVEN that on Thursday, June 2, 2022, the Blaine County Planning and Zoning Commission will hold a public meeting beginning at 6:00 p.m. upstairs in the room in the Old County Courthouse located at 206 First Ave. So., in Halley. Its agenda includes the following:

**ACTION ITEM:** Consideration of proposed amendments to the Comprehensive Plan and consideration of proposed amendments to the Comprehensive Plan. The proposed implementation section would replace the prior section adopted in 1994. This is a plan per Idaho Code Section 67-6008.

**LEGAL NOTICE**  
MAY 18, 25 & JUNE 1, 2022  
PUBLISHER  
IDAHO MOUNTAIN EXPRESS

**LEGAL NOTICE**  
MAY 18, 25 & JUNE 1, 2022  
PUBLISHER  
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PUBLISHER  
IDAHO MOUNTAIN EXPRESS

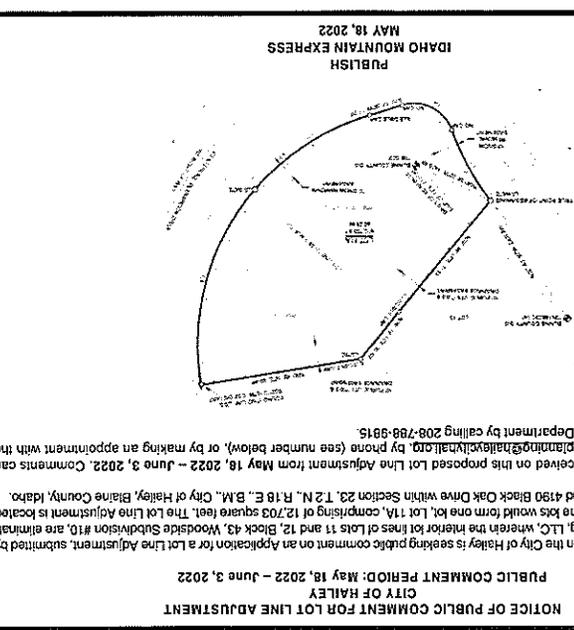
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PUBLISHER  
IDAHO MOUNTAIN EXPRESS

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IDAHO MOUNTAIN EXPRESS

**LEGAL NOTICE**  
MAY 18, 25 & JUNE 1, 2022  
PUBLISHER  
IDAHO MOUNTAIN EXPRESS



Public comment will be received on the proposed Lot Line Adjustment from May 18, 2022 – June 3, 2022. Comments can be submitted via email to [planning@blaineidaho.com](mailto:planning@blaineidaho.com), by phone (see number below), or by making an appointment with Community Development Department by calling 208-788-9915.

Public comment will be received on the proposed Lot Line Adjustment from May 18, 2022 – June 3, 2022. Comments can be submitted via email to [planning@blaineidaho.com](mailto:planning@blaineidaho.com), by phone (see number below), or by making an appointment with Community Development Department by calling 208-788-9915.

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May 13, 2022

Mr. Brad Chinn  
650 River Trail  
Hailey, ID 83333  
Email: [themagnificentseven@live.com](mailto:themagnificentseven@live.com)

Re: Appeal Documents for Design Review of Saddle Lofts Project - City of Hailey, Idaho

Dear Mr. Chinn:

The City of Hailey is in receipt of your Appeal Application and supporting documentation, provided on May 6, 2022, appealing the Planning and Zoning Commission's approval of the Design Review Application for the Saddle Lofts project, by Kazuko-San ID, LLC, to be located at Sublot 4B, Block 1, North Hailey Plaza.

Upon further review of your submittal, you reference Hailey Municipal Code, Section 17.08B.150.1: Appeals from Decision of Planning and Zoning Commission for Wireless Facilities. This code section is not applicable to the subject project, a Design Review Application approval. The appropriate code to reference is Chapter 17.03: Administration, Section 17.03.050: Appeals.

Pursuant this section, Section 17.03.050: Appeals, D., a request for reconsideration is a required prerequisite to appeal or judicial review, within fourteen days (14) days of the final decision, and shall be made to the person or body who has the authority to make a final decision, as referenced in the code section below:

- D. Request for Reconsideration Required: Failure to identify the nature of compliance or noncompliance with express approval standards or failure to explain compliance or noncompliance with relevant decision criteria or standards shall be grounds for invalidation of an approved permit or site-specific authorization, or denial of the same, on appeal. An applicant or affected person who seeks judicial review of a decision by the administrator, hearing examiner, commission or council must first seek reconsideration of the final decision within fourteen (14) days. A request for reconsideration shall be made to the person or body who has the authority to make a final decision but does not have to be made to a person or body who makes a recommendation. A request for reconsideration must allege and identify specific deficiencies in the decision. Upon reconsideration, the decision may be affirmed, reversed or modified after compliance with applicable procedural standards. A written decision shall be provided to the applicant or affected person within sixty (60) days of receipt of the request for reconsideration or the request is deemed denied. A decision shall not be deemed final for purposes of an appeal or judicial review unless the process required herein has been followed. The time to file an appeal or to seek judicial review is tolled until the date of the written decision**

**regarding reconsideration or the expiration of the sixty (60) day reconsideration period, whichever occurs first. (Ord. 1191, 2015)**

While you did not meet the fourteen (14) day timeline to be considered by the Planning and Zoning Commission for a Request for Reconsideration, nor the fifteen (15) day timeline for an appeal pursuant to 17.03.050: Appeals, A., we are accepting your application as timely, and intend to process your application as a Request for Reconsideration. At this time, we deem your Appeal Application and supporting documentation as a Request for Reconsideration, as outlined in Section 17.03.050: D., which will be considered by the Planning and Zoning Commission, at a date to be determined. Upon reconsideration, the original decision may be affirmed, reversed or modified after compliance with all application procedural standards. By this determination the City in no way concedes that you qualify as an "affected person," and contests that you have standing to litigate this issue in any court of competent jurisdiction.

Please note, a Request for Reconsideration must allege and identify specific deficiencies in the decision. We recognize that you allege the Commission's Final Decision makes no "findings," despite the fact that the *Findings of Fact, Conclusions of Law and Decision* reviewing each and every code criterion, with subparts, and staff comments clearly adopted by the Commission, as part of their reasoned statement of compliance. In addition to the written decision above referenced the Commission deliberated over the course of several hours of public meetings on two (2) separate occasions, and voted unanimously in favor of approval. Given these circumstances, **we would urge you to submit supplemental written materials pointing to specific criteria wherein you substantively take issue with the finding of compliance.** Stated in the alternative, in what way to you allege the approved application does not comply with the standards of approval?

Please confirm receipt of this letter and whether the date listed to be reconsidered by the Planning and Zoning Commission is convenient for you. Please do so by **5:00 p.m., Monday, May 16, 2022.**

Sincerely,



Robyn Davis  
Community Development Director  
City of Hailey  
115 South Main Street  
Hailey, ID 83333

# City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH  
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815  
Fax: (208) 788-2924

May 16, 2022

Kazuko-San ID, LLC  
4468 Via Alegre  
Santa Barbara, CA 93110

Attn: Rebecca Bundy, Architect  
Via Email: [rebecca@rfbundydesign.com](mailto:rebecca@rfbundydesign.com)

Re: Appeal Application for Saddle Lofts Project, Sublot 4B, Block 1, North Hailey Plaza

Dear Rebecca Bundy:

The City of Hailey is in receipt of an Appeal Application and supporting documentation for the approval of the Design Review Application for Saddle Lofts project, by Kazuko-San ID, LLC, to be located at Sublot 4B, Block 1, North Hailey Plaza, to be known as Saddle Lofts.

At this time, the City of Hailey is accepting the Appeal Application as the Appellant's Request for Reconsideration, as this is a required prerequisite to appeal or judicial review. Pursuant Section 17.03.050: Appeals, D., of the Hailey Municipal Code, this item will be heard again by the Planning and Zoning Commission, before progressing to the next steps of either mediation or an appeal hearing, if needed.

A tentative hearing of Wednesday, June 8, 2022 at 5:00pm, is being considered. If this date and time do not work for you or your team, please let me know at your earliest convenience.

Thank you for your patience and please reach out if you have any additional comments or questions.

Sincerely,



Robyn Davis  
Community Development Director  
City of Hailey  
115 South Main Street  
Hailey, ID 83333

# City of Hailey

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(208) 788-9815  
Fax: (208) 788-2924

May 25, 2022

Mr. Brad Chinn  
650 River Trail  
Hailey, ID 83333  
Email: [themagnificentseven@live.com](mailto:themagnificentseven@live.com)

Re: Request for Reconsideration Documents for Design Review of Saddle Lofts Project  
Sublot 4B, Block 1, North Hailey Plaza -- City of Hailey, Idaho

Dear Mr. Chinn:

The Request for Reconsideration for the Design Review Application approval of the Saddle Lofts project by Kazuko-San ID, LLC, will be heard by the Planning and Zoning Commission on **June 8, 2022 at 5:00pm**. The following documentation is the record, in its entirety, for the Saddle Lofts project. The purposes of record are from the following hearing dates:

- Preapplication Design Review: January 18, 2022
- Design Review Application: April 4, 2022
- Findings of Fact, Conclusions of Law and Decision by the Planning and Zoning Commission: April 18, 2022

The record for the Request for Reconsideration includes the following documentation:

1. Preapplication Design Review Materials – January 18, 2022
  - a. Drawings
  - b. Correspondence and Memos
  - c. Staff Reports
  - d. Meeting Minutes and Verbatim Transcript
2. Design Review Application Materials – April 4, 2022
  - a. Drawings
  - b. Correspondence and Memos
  - c. Staff Reports
  - d. Meeting Minutes and Verbatim Transcript
3. Findings of Fact, Conclusions of Law and Decision – April 18, 2022
  - a. Meeting Minutes and Verbatim Transcript

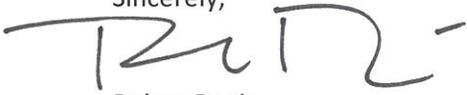
The above documentation can be found at the Dropbox Link below. If you are unable to access or open the supplied documentation via the link, please do not hesitate to reach out.

<https://www.dropbox.com/scl/fo/zflo0xuz0bkfzd8jqkzfy/h?dl=0&rlkey=buyyb6vitt96tcehyam7j5mv>

Additionally, if you would prefer to have hardcopies of the documents listed above, do reach out and we can prepare the printed documents.

Please confirm receipt of this letter at your earliest convenience. Thank you for your patience.

Sincerely,

A handwritten signature in black ink, appearing to read 'RD', with a horizontal line extending to the left and a short horizontal line at the end of the 'D'.

Robyn Davis  
Community Development Director  
City of Hailey  
115 South Main Street  
Hailey, ID 83333

## Jessica Parker

---

**From:** Maria Dudunakis <msdude44@gmail.com>  
**Sent:** Wednesday, May 25, 2022 3:43 PM  
**To:** planning  
**Subject:** Empty Saddle apartments proposal

May 25, 2022

To whom it may concern:

As residents one block from the proposed Empty Saddle apartment complex we think it is unrealistic. This piece of property is too small for a 27 unit development. The building height will shadow the main roads causing ice buildup in the winter, as does the movie theater currently. Where will all of the renters park their cars, figure two cars per unit? Where will the snow be piled? Where will the children's playground be located? The surrounding streets are too busy as is.

Yes, we need affordable housing, would these units really be affordable, and at what cost to safety? We have concerns for crime already (cars have been broken in to in our neighborhood) more density could add to this.

Please scale back this development or move to a larger parcel of land.

Thank you,  
Jerry Boesel and  
Maria Dudunakis

**Meeting Minutes**  
**HAILEY PLANNING & ZONING COMMISSION**  
**Tuesday, January 18, 2022**  
**Virtual and In-Person Meeting**  
**5:30 p.m.**

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

**Present**

**Commission:** Janet Fugate, Dustin Stone, Richard Pogue Owen Scanlon

**Staff:** Lisa Horowitz, Robyn Davis, Paige Nied, Chris Simms, Mike Baledge, Jessica Parker

**Absent:** Dan Smith

[5:30:35 PM](#) Chair Fugate called to order.

[5:30:47 PM](#) Public Comment for items not on the agenda. No Comment.

[5:31:32 PM](#) Consent Agenda

**CA 1** Adoption of Findings of Fact, Conclusions of Law and Decision of a Preliminary Plat Application by Michael Kraynick, represented by Alpine Enterprises, where Lot 1A, Block 60, Townsite (318 Spruce St) is subdivided into two (2) lots, Lot 1AA, comprising of 11,964 square feet, and Lot 1AAA, comprising of 8,010 square feet. This project is located within the Limited Residential (LR 1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

**CA 2** Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application by Lido Equity Group Idaho North, LLC, represented by Michael McHugh of Pivot North Design, for twelve (12) apartment buildings ranging in two to three stories in height for a total of 104 residential units on approximately 4.27 acres. The proposed project consists of twelve (12), 475 square feet micro one-bedroom units, forty (40), 680 square feet one-bedroom units, thirty-five (35), 850 square feet two-bedroom units, thirteen (13), 1,110 square feet three-bedroom units, and four (4), 1,504 square feet four-bedroom units. This project is known as Lido Apartment Homes. The proposed project is located at Lots 1-14, Block 85, Parcel EE, Woodside Subdivision #24 and Lot 1, Block 67, Woodside Subdivision #18 (940 Winterhaven Drive) within the Limited Business (LB) Zoning District. This project will be heard concurrently with a Planned Unit Development Application. **ACTION ITEM.**

**CA 3** Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application by Erin and Thomas Howland for a detached 420 square foot Accessory Dwelling Unit located above the existing detached garage. This project is located at Lots 13-16, Block 61, Townsite (302 E Myrtle Street) within the Limited Residential 1 (LR 1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

**CA 4** Adoption of Findings of Fact, Conclusions of Law and Decision a City-Initiated Text Amendment to the Hailey Municipal Code, Title 15, to add a new chapter, Chapter 15.20: Green Building Standards, and within that chapter to add a new section, Section 15.20.010 entitled Electric Vehicle Requirements,

*mandating electric vehicle ready service panels or subpanels within all new construction, including both residential and commercial. **ACTION ITEM.***

**CA 5** Adoption of Meeting Minutes dated May 17, 2021. **ACTION ITEM.**

**CA 6** Adoption of Meeting Minutes dated June 6, 2021. **ACTION ITEM.**

**CA 7** Adoption of Meeting Minutes dated July 19, 2021. **ACTION ITEM.**

**CA 8** Adoption of Meeting Minutes dated November 1, 2021. **ACTION ITEM.**

**CA 9** Adoption of Meeting Minutes dated January 3, 2022. **ACTION ITEM.**

Paige required to pull CA 4.

**5:32:20 PM** Pogue motioned to approve CA 1-9, except CA 4. Stone seconded. All in Favor.

**5:32:50 PM** Nied explained new changes added to report based off understanding of last meeting – clarification of EV ready vs. EV capable (page 78 of packet, page 3 of SR), report requiring EV Capable. Nied asked commission if all acceptable to change. Stone verified only difference is actual connection point for plug. Nied confirmed. Stone is more comfortable being EV ready. Scanlon asked what the cost difference would be to the contractor. Nied referred to report for cost ranges. Staff and Commission discussed options, all agreed to change EV Capable definition to 110 volt from 240 volt.

**5:47:00 PM** Stone motioned to approve CA 4, as amended. Pogue seconded. All in Favor.

#### **Public Hearing**

**PH 1** **5:48:12 PM** Consideration of a Design Review Pre-application by Kazuko-San ID, LLC, for construction of three (3) multifamily buildings, which includes 22 one-bedroom units ranging in size from 540-702 square feet, and six (6) two-bedroom units, ranging in size from 872-873 square feet, to be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project is to be known as Saddle Lofts. **ACTION ITEM.**

**5:49:09 PM** Davis turned floor over to applicant team making Rebecca Bundy presenter. Rebecca Bundy, Architect, introduced herself and other members of the applicant team. Bundy stated applicant team met with Blaine County Housing Authority to determine what the housing need is in area. Bundy discussed project location of project and surrounding buildings. Bundy explained project site is approximately twice the size as the Silver River Apartment project. Bundy explained provided more generous setbacks. Bundy summarized units proposed and parking to be provided – 3 parking spaces to be covered. Bundy summarized proposed open space, noting all snow to be hauled off site, and noted trach enclosure onsite. Bundy summarized project is organized into 3 buildings – building a-c connected via exterior walkway system covered by roof articulating separation of building. Bundy continued to discuss outdoor space, and buffering. Bundy stated main pedestrian entrance is off of River Street and a secondary entrance off of Empty Saddle. Bundy explained proposed materials and colors for project. Bundy went through the elevation plans noting how the building is broken up along the exterior and the roof line. Bundy summarized the amenities provided in every unit. Bundy stated understands further discussions due to code amendments for energy code. **6:05:31 PM** Bundy went on to explain how proposing to exceed code requirements. Bundy turned floor to Sam Stahlnecker, Engineer.

[6:06:43 PM](#) Stahlnecker, Galena Engineering, discussed ROW improvements noting why sidewalks widths are proposed differently than the typical sidewalks seen on River Street. Stahlnecker turned floor to Nathan Schutte.

[6:08:48 PM](#) Nathan Schutte, Landscape architect, summarized overall preliminary landscape plan proposed for project.

[6:12:22 PM](#) Bundy thanked commission for their time and that the applicant is available for any questions. Horowitz stated Brian Yeager has indicated that the Empty Saddle ROW is standard width for a side street.

[6:13:25 PM](#) Pogue is curious why two bedrooms are located on the 3<sup>rd</sup> floor. Bundy explained applicant's intent for the units to be on the 3<sup>rd</sup> floor. Pogue would think it would be better to not have residents walk up two stories with children. Pogue complimented applicant on location of bicycle racks and storage areas. Pogue encourages applicant to keep more space for children to run and to have landscape architect connect with Tree Committee. Pogue recommends reviewing building color as they appear dark and would recommend lighter. Pogue believes can accommodate sidewalk width.

[6:17:38 PM](#) Stone asked what size the bedroom will be in the 540 sq. ft. unit. Bundy stated bedrooms are approximately 10x10. Stone asked if current plan is to not include A.C. units. Bundy confirmed goal is to not install A.C., that in her experience if can keep the sun off the windows the units stay cool. Stone believes this may be hard on residents. Stone asked if they have done research in all electrical buildings. Bundy confirmed, has a lot of experience and noted will also be working with John Reuter. Bundy stated did this at Silver River Apartments. Stone asked how that went making 16 units all electric. Bundy turned floor to Paul Conrad. [6:20:37 PM](#) Conrad stated this is becoming the norm in many communities. Conrad explained Silver River was for 1<sup>st</sup> but that they are really simple and cost efficient. Conrad stated it has been determined to be very livable, not just about numbers. Conrad agrees with Bundy, if done correctly very small window that would be uncomfortable. Conrad stated only other path could see would be to do a thorough wall port for multi-use cooling unit. Conrad is not a fan of this and thinks proposal is a smart design. Stone asked how plan to heat the building. Conrad explained plan to use infrared heaters. [6:24:26 PM](#) Conrad explained why has chosen this type of heater. Stone asked if something special about the 3 parking spaces in carport or just space available. Bundy stated had to change original design and in reconfiguring parking that became an opportunity.

[6:27:08 PM](#) Scanlon asked how tall the retaining wall is proposed to be. Bundy stated that wall will be a maximum of 1ft. Bundy explained grade difference between buildings along the lot. Scanlon asked what anticipates the material to be. Bundy has just considered concrete curb at this time. Scanlon asked about easement along east property line, and what the purpose is. Davis stated it is a utility easement. Bundy stated it is 15 ft wide public utility easement that accommodates sewer main. Bundy summarized conversations with public works director regarding parking. Scanlon asked if this services an alley. Horowitz explained why staff believes access is acceptable even though there is no alley there. Scanlon asked about potential access points to help ease traffic on Empty Saddle. Bundy explained suggested are private property and why applicant has proposed access as shown. Bundy confirmed received approval from Clear Creek for easement. Scanlon asked about solar. Bundy stated would be open to rough in for it but not install due to issues ran into with Silver River. [6:33:44 PM](#) Scanlon asked Conrad about framing in an air conditioning unit for those who will have a lot of sun exposure. Scanlon asked if this building will have a fire sprinkler system, if so where the riser rooms will be located. Bundy confirmed system is required, noting location of mechanical rooms. Bundy stated working with team and will have those details ironed out before returning.

[6:35:31 PM](#) Chair Fugate does not have further questions.

[6:35:51 PM](#) Chair Fugate having technical issues, passing chair position to Pogue for the time being.

[6:37:04 PM](#) Vice Chair Pogue opened public comment. Noting comment period will be limited to 3 minutes.

[6:37:33 PM](#) Dennis Potts, resident of Hailey, thinks the density is too high for this area of Hailey. Thinks fact that there is no setback as go up to 3<sup>rd</sup> floor seems like a big block of space, thinks setback would be helpful. A 10x10 bedroom is really a Manhattan size bedroom, trying to get too many in. Want to make sure there is a restriction that there are no window ac units. Potts complimented applicant on colors.

[6:39:54 PM](#) Brad Chinn, resident, has reviewed this at length, agrees with parking, traffic and trash. This is going to be challenged under Title 67, Chapter 65 of the Local Land Use Act.

[6:41:12 PM](#) Susan, homeowner, two blocks from this project. Loves Hailey but is very concerned with this big complex and density will ruin downtown. Seems like to many people squished into one place. Believes intersection is an issue, as people run the stop sign all of the time; dangerous and not pretty.

[6:43:04 PM](#) Vice Chair Pogue closed public comment.

[6:43:27 PM](#) Vice Chair Pogue asked applicant if has any points they would like to address. Bundy stated they have striven to meet the Hailey Zoning code and Building code in all regards. Vice Chair Pogue asked Horowitz if agrees meeting building code. Horowitz agreed for a pre app submittal.

[6:44:39 PM](#) Mike Baledge, Fire Chief, confirmed applicant has done a good job meeting fire code and hope it goes forward as we need this. Horowitz summarized pre-app is a change of ideas and feedback to applicant but no decision is made.

[6:45:27 PM](#) Stone emphasizes with residents along River Street, understands a lot of new construction occurring but believes need to support housing options for workers. Stone supports Scanlon's idea for cooling. Stone also liked idea to create more change in elevation along 3<sup>rd</sup> floor. Stone asked about solar. Horowitz recommended having Bundy explain why will not see solar on multi family. Bundy turned to Conrad. [6:50:01 PM](#) Conrad recommends meeting at future point to explain issues solar on multi-family.

[6:50:36 PM](#) Scanlon agrees with Pogue's comments regarding exterior colors. Scanlon noted setback for 3<sup>rd</sup> story is nice touch but understands limitations. Scanlon suggested possibility to combine some one bedroom units into two bedroom units to accommodate families.

[6:52:33 PM](#) Chair Fugate agrees with comments, think this project is great. Chair Fugate asked about trash. Bundy stated configuration of recycling garbage area has been approved by Clear Creek.

[6:53:47 PM](#) Pogue compliments applicant team on project. Pogue would like applicant to look at having more two bedroom units.

No action required by commission.

**PH 2** [6:55:49 PM](#) *Consideration of a Text Amendment submitted by Ian and Sarah Sundby to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, to allow for a maximum lot coverage of forty percent (40%) where at least seventy-five percent (75%) of required parking spaces are enclosed within a structure for lots smaller than 4,500 square feet in size, and located within the General Residential (GR), Limited Residential (LR-1) and Limited Residential (LR-2) Zoning Districts. For those lots that are 4,500 square feet or larger and located within the GR of LR-1 Zoning Districts, maximum lot coverage will remain as noted therein. **ACTION ITEM.***

[6:57:31 PM](#) Scanlon disclosed that has worked with Ian to research this code change and to assist in some of the verbiage of this proposal. Scanlon will leave up to commission and Simms to determine if should recuse himself. Simms does not believe there is an issue with Scanlon participating within the vote of this. All commissioners agree.

[6:59:00 PM](#) Davis introduced applicant team and turned floor over to Ian Sundby. [6:59:26 PM](#) Sundby introduced himself and thanked commissioners. Sundby explained that the amendment addresses affordability, livability. Sundby explained the intent of the amendment, which is to increase the lot coverage for lots that are 4,500 square feet or smaller. The increase proposed is 10% for a total of 40% allowable lot coverage for parcels that are 4,500 square feet or smaller (in GR zones). Sundby went on to explain data collected from the GIS database. Sundby also explained that the proposal would allow property owners the ability to construct reasonable-sized homes on substandard lots. [7:01:40 PM](#) Sundby explained amendment would allow for development on substandard sized lots.

[7:02:36 PM](#) Scanlon summarized that the amendment will still have all the same standard restrictions; however, Scanlon thinks it will provide a benefit, and believes it is a change that warrants consideration. [7:04:18 PM](#) Sundby agreed and believes by increasing the lot coverage for these substandard lots, we can create a more affordable, livable community with various housing options available to support the community and its various needs. [7:05:20 PM](#) Horowitz noted that this change is about livability and flexibility, it does not permit ADUs where ADUs are not currently permitted. Horowitz stated all ADUs in Townsite will still come through design review.

[7:06:11 PM](#) Stone asked what the rationale is to provide more lot coverage when add a covered garage. Horowitz believes because it's screening parking. Stone is curious if need to add width of garage, or if should keep because it was originally there. Horowitz stated ok either way, just followed existing verbiage in code. Stone is ok either way, but not sure if should place burden of garage on top of it.

[7:08:19 PM](#) Pogue likes burden of garage, as already have ample number of cars on the street.

[7:08:46 PM](#) Chair Fugate agrees with Pogue, having it enclosed in a smaller space gives a better appearance. Chair Fugate likes as it is, it is consistent with other parts of codes. Stone understands and gets reasoning.

[7:09:56 PM](#) **Vice Chair Pogue opened public comment.**

[7:10:12 PM](#) Errin Bliss, owners of one of the 4 vacant parcels, just wanted to thank applicant for taking initiative on this. It is a great idea.

[7:10:58 PM](#) Vice Chair Pogue closed public comment.

Pogue asked any comments from staff. No further comments.

[7:11:14 PM](#) No further comments from Stone or Chair Fugate.

[7:11:40 PM](#) I, Fugate, moved to recommend approval to the Hailey City Council an Ordinance amending Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, to allow for a maximum lot coverage of forty percent (40%) where at least seventy-five percent (75%) of required parking spaces are enclosed within a structure for lots smaller than 4,500 square feet in size, and located within the General Residential (GR), Limited Residential (LR-1) and Limited Residential (LR-2) Zoning Districts, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare. Scanlon seconded. All in Favor.

**PH 3** [7:13:49 PM](#) *Consideration of a City-Initiated Text Amendment to the Hailey Municipal Code, Title 15: Buildings and Construction, Chapter 15.20: Green Building Standards, to add a new section, Section 15.20.012, entitled Solar Requirements, mandating new residential developments to install solar wiring for solar electricity generation and consumption capabilities. **ACTION ITEM.***

[7:14:20 PM](#) Nied stated since the amendment was written, believes language should be amended that moving forward should be solar ready. Nied explained intention is to cut cost with retrofitting building for solar and expand solar market within Hailey. Nied stated staff also recognizes not every structure would be suitable for solar, could in-lieu of solar have something else approved on a case-by-case basis.

[7:16:41 PM](#) Stone likes this idea and believes getting penetration through roof at initial build is easier. Stone is concerned what would be deemed as an appropriate build for solar given roof design, pitch and size, and agrees with reviewing such projects on a case-by-case basis.

[7:18:25 PM](#) Scanlon asked if just requiring solar or if should expand options. Scanlon suggested considering wind turbines or other alternatives that generate electricity that may be used to supplement solar. Scanlon believes this amendment is on the right track.

[7:20:05 PM](#) Fugate believes this is great; this could bring about more energy savings than even the EV. Fugate does think need to clarify how solar ready are they discussing. Fugate thinks will be a good idea of a general standard. Fugate would like to see this move forward.

[7:21:37 PM](#) Pogue agrees, thanks the staff for all the amendments. Pogue stated this is a start, and encourages staff to go forward as fast as we can.

[7:23:09 PM](#) Horowitz agrees with Nied to allow applicants to have the choice between wiring and conduit. Horowitz does not believe the "such as's" are needed, that an applicant could propose an ideas such insulation changes.

[7:24:13 PM](#) Vice Chair Pogue opened public comment.

[7:24:26 PM](#) Rebecca Bundy applauds city for amendments. Bundy recommends it be made crystal clear that the amendments are not solar thermal. Bundy believes the utilization of solar thermal is a great thing to do but that winter creates a whole new host of issues.

[7:25:54 PM](#) Vice Chair Pogue closed public comment.

[7:26:02 PM](#) Stone clarified the conduit would not include any actual wiring, would basically just make sure there is a path. Stone agrees with Bundy regarding wind, power grid is not going to accept wind energy from residence. Stone stated solar is very stable. Stone is curious what determines whether solar is appropriate or not for a house - what is the criteria. Nied asked commission for their input. Stone believes city staff would be appropriate to make a decision; he is just curious what the criteria is. Horowitz stated can come up with a "such as" list but believes developer will run the wire or conduit. Horowitz asked others on meeting their input.

[7:29:36 PM](#) Scanlon agrees with amendment and that it could be a case by case. Scanlon believes should have wiggle room for alternative methods.

[7:30:23 PM](#) Fugate stated this change is really exciting. Fugate thinks needs to move this forward, thinks professionals should provide a general outline of criteria. Fugate would like to see this move forward with a recommendation that some type of criteria parameter is added to it.

[7:32:04 PM](#) Stone recommends can include City Engineer and City Resiliency Planner can approve on a case by case situation. Staff and commission agreed on idea, staff will finalize verbiage to ensure does not cause future issues.

[7:33:48 PM](#) Fugate motioned to recommend for approval by the Hailey City Council Ordinance No. \_\_\_\_\_, an Ordinance amending the Hailey Municipal Code, Title 15: Buildings and Construction, Chapter 15.20, Green Building Standards, Section 15.20.012: Solar Requirements, mandating new residential developments of single-family homes, townhomes, and substantial remodels to install solar wiring for solar electricity generation and consumption capabilities, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare, with some general criteria standards. Scanlon seconded. All in favor.

**PH 4** [7:35:44 PM](#) *Consideration of a City-initiated Text Amendment to the Hailey Municipal Code, Title 16: Subdivision Regulations, Chapter 16.05: Improvements Required, Section 16.05.060: Utilities, to amend this standard to encourage electric utilities and make natural gas optional. **ACTION ITEM.***

[7:36:15 PM](#) Nied explained process of electricizing utilities. Nied stated intent behind this amendment, is to change the wording as it is in the code to encourage electricity over gas and to make natural gas optional.

[7:37:23 PM](#) Fugate confirmed language change is under 16.05.060 utilities, making natural gas optional. Staff confirmed.

[7:38:17 PM](#) Stone stated a huge amount of energy is expelled through the valley via natural gas and that it will be a burden on the power grid but it is the way to proceed.

[7:39:22 PM](#) Scanlon believes this is the correct way to proceed.

[7:39:35 PM](#) Pogue agrees with all comments.

[7:39:47 PM](#) Vice Chair Pogue opened public comment.

[7:40:14 PM](#) Vice Chair Pogue closed public comment.

[7:40:20 PM](#) Stone motioned to recommend for approval by the Hailey City Council Ordinance No. \_\_\_\_\_, an Ordinance amending the Hailey Municipal Code, Title 16: Subdivision Regulations, Chapter 16.05: Improvements Required, Section 16.05.060: Utilities, to amend the language to encourage the use of electric utilities over natural gas, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare. Fugate seconded. All in Favor.

**PH 5** [7:42:42 PM](#) *Consideration of a City-Initiated Text Amendment to the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.06: Design Review, Section 17.06.080: Design Standards, applicable to (A) Nonresidential, Mixed Family, Or Mixed-Use Building, to modernize the requirements for energy conservation in accordance with developments in energy saving technology, and to add a new standard regarding progress towards the City's clean energy goals. ACTION ITEM.*

[7:43:21 PM](#) Nied explained this amendment is to be treated a workshop to get commission input on what staff has been working on so far. Nied summarized current code regarding prescriptive list and staff is open to feedback. Horowitz stated staff is not expecting action tonight, just looking for feedback.

[7:46:07 PM](#) Stone asked what the target is for these mixed use buildings. Horowitz stated these standards apply to all applications in old Hailey that is non single family. Stone confirmed just new construction. Staff confirmed. Stone stated it seems a lot of stuff working on, seems to be in attempt to keep house cool. Nied confirmed for overheating during the summer. Horowitz stated purpose of this standard is to reduce energy use. Stone wonders where balance point is if starts having everyone point their windows away from the sun. Fugate used her home as an example.

[7:49:50 PM](#) Scanlon stated what discussing is classic passive solar. Scanlon thinks solar glazing is another avenue that is great that has been touched on. Scanlon listed off various items that help address Stones concern – white eaves, insidious trees.

[7:51:47 PM](#) Stone would like to hear others ideas. Pogue asked Scanlon if had used triple pane windows. Scanlon confirmed, but has not followed up on them. He can say they are more expensive. Scanlon appreciates us having a large list.

[7:53:13 PM](#) Fugate confirmed only require 3 of 10 for energy conservation, asking staff how many applicants has to provide under Caron Neutrality. Staff is asking commission for their input. Nied stated goal would be similar to energy conservation. Horowitz clarified, it's an alternative path chosen. Fugate

asked if carbon neutrality is chosen from. Horowitz explained staff was not prepared to require must meet X, just looking for feedback so can come back a more refined report.

[7:55:58 PM](#) Errin Bliss thinks list is great concern is he does not feel a lot of these are relevant to planning and zoning commission staff believes these would relate more to building department. Horowitz stated Bliss is making an interesting point but that this code has been part of the code for quite some time.

[7:57:55 PM](#) Stone stated there are few items he likes, and others he likes little less. Stone does not think will get much out of composting. Stone asked what the difference is between turf and grass. Staff confirmed should read as artificial turf. Stone stated roof top garden sounds interesting, but not sure if should be something that can be picked. Stone asked what an operational window is, as it is called out specifically for commercial builds. Scanlon believes that has to do with air flow, thinks there is a discussion to be had on that. [8:01:56 PM](#) Commission went through items listed, stated what the liked and did not like. Fugate asked if most appliances are energy efficient. Nied confirmed most are. [8:04:33 PM](#) Commission continued to discuss what options really liked and disliked. Staff will take commissions input and bring revised report back in near future.

#### **New Business**

**NB 1** [8:06:48 PM](#) Election of Chair and Vice Chair. **ACTION ITEM**

[8:07:54 PM](#) Stone motioned to re-elect Janet Fugate as Chair and Richard Pogue as Vice Chair. Scanlon seconded. All in Favor.

#### **Staff Reports and Discussion**

**SR 1** Discussion of current building activity, upcoming projects, and zoning code changes.

**SR 2** Discussion of the next Planning and Zoning meeting: **February 7, 2022.**  
*Text Amendment PUD Density Bonus / DR: Pioneer Storage Phase 3 /DR: Spruce St Apts*

Horowitz summarized upcoming projects.

[8:10:38 PM](#) Scanlon motioned to adjourn. Fugate seconded. All in favor.

01/18/2022 Transcript

Alright, thank you Dustin that is so huge when we have expertise such as yours. Moving on, if you move the page for me, please. Okay, alright, first order of business we have consideration of design review preapplication by Kazuko-San, LLC, for construction of 3 multifamily buildings, which includes twenty-two one-bedroom units ranging in size from 540-702 square feet and six, two-bedroom units, ranging in size from 872 to 873 square feet, for a total of twenty-eight residential units. This project will be located at Lot 4B, Block 1, North Hailey Plaza, within the business and downtown residential overlay zoning districts and is to be known as Saddle Lofts Madam Chair you are breaking up a bit. Thank you Madam Chair the architect on this project is Rebecca Bundy, she is on the line and I will turn it over to her for presentation. Thanks Robyn. Thank you, Robyn. Rebecca Bundy architect on this project good evening. Commission thank you for joining us. I would first like to introduce our team which is myself, Susan Scovell consulting architect, Nathan Schutte our landscape architect and Samantha Stahlnecker our civil engineer. Our general contractor team will be Paul Conrad, of Conrad Brothers as well as my controller. We are looking forward to getting your input this evening on our conceptual design before moving on into our next phase. The intent of our project is to provide much needed workforce housing in Hailey. With the goal of targeting your medium income working population. Our client is a local man who shares his time between the Wood River Valley and California. He does have a home here and is very vested in our community. Before commencing the drawings, we met with the Blaine County Housing Authority to determine what the need was and the need is for primary one bedroom function bedroom rental units. Of course, there is a need for other types of housing and those are welcome, but their first need is for one bedroom and two-bedroom rentals as median income and low-income rentals. The location is just south of Albertsons on the corner of Empty Saddle Trail on River Street, the northeast corner. So we are surrounded by Albertsons, the movie theater, a couple of smaller buildings to the east, Pioneer Federal to the north the Marriot to the south, River Street Senior Housing to the southwest and the former Marketron building to the west. So can you see my screen? Yes we can see your screen. This is a photo montage of the what the surrounding buildings look like. Some are quite large like our proposal, the Albertsons for sure. It varies in height from a little old one-story cottage to the east, Albertsons and the theater and then two-story senior housing. There is no real defining characteristic in the area. You have rafters, gables, modern architecture and the old cottage style to the east, so we are really dealing with a little eclectic neighborhood there. We have a relatively flat lot with a side slope of about 25' from the southern property line to the northern property line. Interestingly our street right of way on Empty Saddle is narrower west of River Street, then it widens up and narrows down to 70' which is a challenge, but I will let Sam who is a civil engineer address this. So our lot is approximately, just for reference, about the size of the river lot, so just a little bit less size on the lot. So a similar amount of building on the lot just a little bit less, for comparative purposes, than the River Street Senior Housing project. This project provided more generous setbacks, in order to accommodate the balconies that you see. So each minimal house stops before a side wall. There are 28 units and it consists of 12, one-bedroom, 10 of what we are calling a duplex bedroom, which is a one-bedroom with an office. It has a double barn door that opens onto a living space and private extra space in the unit. And 6, two-bedroom units that open onto River Street. We have 28 parking spaces on site as per code. With a driveway off Empty Saddle Road with a driveway entrance of 150 feet of the main street intersection which is ample distance. We have 19 regular spaces, 7 compact and 1 ADA and 1 ADA passenger stall per code requirement. 3 of the spaces are in the covered carport and the rest will be outside. Along the eastern edge is a utility easement that we cannot put a building on. So no carport can be proposed there. We have a total of 25 vertical parking

spots 10 of which are covered, 9 on street parking spaces, and in the ROW which will be credited for just parking. We are proposing 3400' of outdoor open space as opposed to the 2300' required by code, between the parking spaces and the building itself. We will not need open space for snow storage, we are proposing to have the snow hauled off site, by one of the professional companies that regularly does that. The trash storage has been proposed on the edge of the parking area. We will check with Clear Creek disposal to make sure that functions. The project is organized into 3 buildings. We are calling Building A at the northwest corner, Building B in the center of the project and Building C on the eastern edge of property. The buildings are connected by an exterior walkway balcony system through the units. They are covered by an articulated roof; we have tried to express 3 separate buildings by providing articulation in roofline. As far as exterior management goes, as mentioned, we've got our outdoor open space that work with the concept of being divided into basically four separate outdoor rooms that can serve a variety of usage purposes and will let Nathan talk about that a little bit more. We provided ample space for buffering from parking area; and the building itself from the adjacent walkways. The design was an interesting challenge that I will have Sam discuss here shortly. That has been done in conjunction with input from staff and we're proposing. The green space around the trees at this point, welcome input from the Commission and I know that Nathan has input in maybe breaking that up to provide a space for people to walk through. As far as the form, the main entrance is off of River Street, access is via trellis at the entrance and there is a proposed trellis to the parking lot in the back. But there is a secondary entrance off of Empty Saddle as well as the driveway. As mentioned, each unit will have balcony or patio. And there are articulated, both in horizontal and vertical directions, with pop outs. As you see here, the kitchen is enlarged a bit with pop out. There's a pop out with the bathroom and southern stair, that provides for a little relief in the horizontal direction, and those are only two stories tall and also in a vertical direction. We're proposing articulation as far as colors and materials go, so the entire first floor would be a dark sort of rusted color corrugated metal and the upper level, where the pop outs are, would be {indecipherable}. And then there are the gable vents, where we would then reference the color of the of the metal body below. Accent colors for windows, balconies, sunshades, etc, we're proposing a black color coat on balconies, which you really won't see from the ground. Architectural shingle light gray color, which reflects some of the heat gain. So this is our color selection. I want your input on it and we will come back to Design Review with actual colors and materials. As far as the roof goes {indecipherable}, not really structurally necessary at all, but they do provide that visual relief, rather than have a flat roof in front of the building. As well as then the lower section of the connecting Buildings A and B, so that we have a continuous roofline all the way across the buildings. In this sketch, {indecipherable}. This roof will be lower. About 12 inches lower {indecipherable} to help them provide some relief. We are proposing 25:12 roof pitch. It's true that it's a really quite shallow roof pitch. We'd love to go steeper, but we are balance height limit given topographic slopes on site, and our suppliers to provide 9-foot ceilings where possible, just to make the unit. For generous. As far as individual units goes, its got a lot of really nice amenities those pop outs provide additional kitchen space on units that have those generous kitchen large sort of like great room closet in every bedroom and hall closet in every unit washer dryer. As I mentioned balcony where possible, where we can with {indecipherable} requirement, we're proposing to have an additional door between the the toilet tub area and vanity area so that there can be a little bit more private use one bathroom {indecipherable}. Offices in one-bedroom units and storage lockers not required by code, but we {indecipherable} for each of the apartment dwellers. As far as the energy efficiency provisions in the code, though I understand that this means there will be a further discussion on on that area {indecipherable} little out of date. So

we like to propose some Uh, my guess would be more effective solutions for that than the opposite that's in code (indecipherable) we are proposing to beat the energy code we are hoping to beat it by 5-10% we are also doing a lot of strategies to minimize heating so that we can avoid having air conditioning units in the units Those would be (indecipherable) roof structure Above code insulation there some studies included in our application (indecipherable) shading from roof sun shades and deciduous trees to keep sun off the windows on the South and West side during summer And we are proposing low solar (indecipherable) coefficient, windows on the left for for sure, and any windows that our sun study shows That are not being adequately stated on the South side We are proposing an electric vehicle charger in car port We will meet Whatever code is adopted at the time and (indecipherable) and we are proposing an all-electric building with no (indecipherable) for heating or appliances So, with that I would like to turn it over to Sam and then following that Mason and then maybe we can turn it back over to me To make A few Final comments Sam, Mason let me know which drawings you would like me to have up Thanks Rebecca, thanks commissioners this is Samantha Stahlnecker with galena engineering for the for the record Rebecca if you could site plan that shows kind of the sidewalk frontage that would be helpful I'm just Going to touch on that Running improvements that we're proposing is there a little bit nonstandard and it relates to the river St standards Rebecca touched on the right of way With that we were dealing with specifically on River Street in front of this project the right of way in front of River Street is only 17 feet typically River Street Right way is 80 feet So to make the you know variation of the standard River Street section fit in this location We worked with the city engineer pretty closely and came to this conclusion So, what what's showing here is a (indecipherable) parallel parking along the frontage to the properties The standard 2-foot paver path bike lane consistent with the standard uh landscape strip, which statement mason can address that in a minute and then a nonstandard sidewalk so typically in the River section that sidewalk would be 8 feet wide We're proposing Just under 5-foot sidewalk The reason we we, we chose to pursue a sidewalk just shy of 5 feet to allow for a 5-foot bike path on the south side of River Street There's an existing curb and gutter on the West side that we we felt wouldn't change in the future and the city felt a strong desire to continue the bike path on the left side Of River St as well So, we were able to fit 5-foot bypass On the west as well as two do travel lanes and the section that You see in front Of you, that's the reason we chose this section The section on empty saddle Trail is pretty consistent with the standard, so really no concerns In terms of layout There I'll be happy to answer y any questions that you have at the end of the presentation and I'll let Nathan talk about the landscape plan Thank you thanks Sam Good evening, everyone my name is Nathan Schutte and I am a landscape architect and I'm helping out the landscape Design on this project I'll just briefly kind of go over the overview This is a great plan to have up Thanks for that So the overall aspects of the landscape is we have perimeter landscaping around Still, on the streetscape along River Street Streetscaping along empty Saddle and then more buffer landscaping on the east and north Sides of the project And then also having a center landscape area More of Common space for the that acts as A buffer as a buffer For parking, as well as a community area For the residents that together and do it themselves enjoy themselves So, the street scape proposing street trees in some plants along both streets We haven't really selected the species yet, but I foresee Those being a class One or Class 2 tree from the Hailey approved tree list And would probably be maples, (indecipherable), Crab apples Along those not proposing that it's too large in those spaces (indecipherable) accents structure as much as possible In the center landscape area, create a nice space there for the for the residences To enjoy is there As Rebecca mentioned at the center Thoroughfare, their concern with with the trellis and some seating and then come on left and

right side of larger space The larger side on the left would include more of a seating or gathering patio, (indecipherable) benches and may a little play structure for the kids And the idea of this overall is to be more natural natural some boulders, or long grasses and smaller shrubs and lawn areas were appropriate for for use adjacent to these spaces And then on the right side We have kind of A smaller area that would be used for dogs so if residents need to take their dogs out to the restroom Also having kind of a a drinking fountain for them, possibly (indecipherable) Dog close off area (indecipherable) prior to home So, along the east side and north side again have smaller smaller trees probably again class one would be smaller species like Crab apples and then (indecipherable) plantings along to help buffer them up along the edge between Drive Lane and property line We would propose to obviously Help landscaper adding utilities like the Transformers? That type of thing I'm probably trying to sneak in a little Bit landscaping around the trash dumpster area moving forward So again, this is kind of an preliminary We are going to refine Mostly stick to what we got here for the ideas Thanks for the time I'm happy to answer any questions With that I would like to thank the commission for their time and You could ask us for any questions or clarifications That we may Need thank you And Madam Chair, just one clarification Or we could turn to Samantha Stahlnecker about this, but Brian Yaeger was indicated that the empty saddle right of way is the standard city width for a side street Thank you OK Commissioners do We've lost you Janet Can you hear me? Now we can but you cut out Yeah, I'm having something (indecipherable) Richard, do you have questions I do First of all, I think You've tried very hard to Have a good project I'm curious as to why you put the two Bedrooms on the third floor The client was interested (indecipherable) light, so he was interested in In those units being On the third floor (indecipherable) I'm just That said there's 8 units below that that that have very similar, very similar light So, 15 units below that it's obvious I'm just talking about the functionality if People have children which you you anticipate because you're Talking about it Play cabin and a play yard I would I would think it would be better not to have people walk up two stories with their with their kids if we can avoid them I applaud the fact that you've put the storage facilities In the In the project I also applaud that you put the bicycle racks in the in the project I would I would probably encourage you not to have a building for the kids, but have a have a Swing set or whatever you wind up putting there and without the building so that they have more place to run On on the on the landscaping I would encourage you to get together with the landscape committee to Help with the trees And and whatever else you're proposing And I would encourage looking at the Images of the buildings look very dark to me and I would encourage you looking at that to make sure that that they are Somewhat lighter As far as the materials that you use I understand what Samantha and you are working with regarding the River Street and I think That is a A good Accommodation to have the 5 foot or a little smaller sidewalk I think we can accommodate that Those are, those are my comments Starting discussion Janet, if you're talking, we're not hearing you Can you hear me (Echoes on mic) Something wrong with your mic, Janet? You're breaking up OK (indecipherable) Yeah, it's still pretty bad So, I think she said Dustin, do you? Have any questions? I'm not sure That's probably what I said So, what size do you Think the bedroom is going to be in your 540 square foot apartment The bedrooms are approximately by 7x 10 (indecipherable) around the queen sizes bed in all of the bedrooms thanks, did you say your current plan is to not have any air conditioning units in these buildings? That is, that is the current proposal We are proposing to deal with that by, and in my experience with (indecipherable) over the years, if we can keep the sun off the windows and insulate the house well That the units stay cool with the exception of possibly, you know, just one really short hot stretch in the summertime So yes, our goal, is to not install air conditioning I think that's going to be pretty hard on people living there Just my opinion Then have you

guys Done some research into the all-electric building Or it's just something your kind proposing Yes, I have done projects new single family and we did that at silver river We will be working with John Reuter with Greenworks on our energy efficiency compliance and design So, we will be having his input Make sure the buildings going to function properly And and yes, we do have a lot of experience with all this stuff So you've done another all electric multi room apt 28 bedrooms or 28 units We did at Silver River with 16 units And and how did that go? I mean, was it pretty functional, or was it? Was there many pains? Go, I mean making it All electric for 16 units or Was it not that bad No, I I know Paul Conrad is on the call he was our contractor Paul, would you like to address that Sure, is the mic online now Yeah, we can hear you All electric units is becoming very commonplace For multi families Can you hear me? Hey Paul, can you say your name for record? Paul Conrad Conrad brothers Construction all electric is becoming the norm in many communities Especially west coast Actually, the code Silver River was made with the first all-electric multi families around here Now they're really simple They're more cost efficient Let's address the cooling in just a second and sort of load calculations and how We arrive it You know something sensible and Has quality of life considerations or and (indecipherable) that's really concern at the end of the day You know how this is very livable? Or is it Just a, uh, a number Process and then you can find that it's being though about as a very livable being (indecipherable) All electric really going into kicking off at the end is really gas for cooking and certain elements of gas for Heating and in this environment in Idaho and power structures electric efficiencies are really good these days The only other things you can look at to maybe improve efficiencies Which is really an operational cost, not anything else It's using heat pumps and We we studied The heck out of this and then in the Hailey market and the cost to build and rent roll It doesn't pencil to go down the road of Heat pumps and as much as Everybody would like to do that That would be the Next move at the end of the day I agree with Rebecca If you do a really, really good job of doing your load calculations, you're siding and your solar control, solar gain control and really bump up your your insulation Is it a very, very small window of any kind of discomfort? And there's a lot of houses here and, and even you know, look at some of the bigger markets and single family that are now 20 years old and say Northridge guaranteed people have cooling up there In exchange solar control and Uh, a lot insulation I think handle this very well The only Other path that I can see we've entertained This with couple areas We're probably doing it in a project up in Ketchum is doing a uh through wall port for future Point of use cooling, which is a mobile cooling it unit, but you have to exhaust them outside through basically a dryer duct If somebody wanted To add cooling to the space, you can put those in there It does happen I'm not a big fan of it, I Think that thermal bridging Problems, you've got condensation issues with those ports I think it's not necessary down there and I Think it's smart? Design and I personally don't have an issue with it, and when it comes to all electric buildings, they Make a ton of sense So again Push it Heating and hot water Lot of fishing Equipment out there and all electric buildings are kind of the future of multifamily How are you guys planning heating? We are using infrared heaters called cove heaters so they sit up in the junction of the walls and ceiling (indecipherable) more so than standard efficient of than baseboard heaters And people have loved them and I think they're so far with Probably Silver River being the Best test of that this locally again (indecipherable) Very, very helpful Even heat distribution from ceiling Down as opposed To from baseboard off by furniture And so it is It's called Cove heater There's a handful of different companies that make them, and they are long linear resistance excuse me infrared heaters Thanks, Conrad I mean, I'm sorry Paul From Conrad Brothers, I'm sorry That's alright (indecipherable) So, I'm I'm curious on the design side I thought I heard there's three parking spots in the in the carport Is there something special about those? There's just space available basically to stick a

stick some cars there That is correct we we have to do a change to in the original design? Uh, because we couldn't sort of snow on site to be able to accommodate snow removal and (indecipherable) and so in reconfiguring the parking area That became an awkward opportunity for covered parking Thank you that's all my questions madam chair Yeah, that's Janet, we're not hearing users I'm sorry, muted Can you hear me now? Yes OK, I'm sorry I'm having trouble here and I'm not Quite sure what issue is, but I will Plug my headphones Hopefully that will help I'll try to keep myself muted when not because (indecipherable) Thank you Madam chair are you now turning to Owen for questions Yeah, thank you Can you not hear me? I guess you're just cutting in and out (indecipherable) Janet I would suggest that you log out the call and log back in Then we could start with Owen Are you ready? I'm ready and will just start I noticed in the staff report that there is a low retaining wall along River Street Owen, this is Rebecca {indecipherable} the building step down would be a foot or less OK, thank you What you anticipate the material will be, will be a concrete wall, dry stack stone wall, or have you thought about that? At this point, I'll just considered a concrete curb OK, let's use Right? The multifamily housing, even on the opposite end of River Street that has dry stack, which the walls are falling apart and that hasn't worked very well so Be sure that you think this through and get approved Specification of what you're going to do there when you come through design review place I have a question and maybe this is for staff There is an easement or something along the East property line That people drive into park and stuff when they go to the cinemas right now was that a public use easement? What is the purpose of that? Yeah, that's a public utility easement Owen And how wide is it? Maybe Sam or Rebecca can tell us how wide It is it has a sewer main line in it It is a 15-foot-wide public utility easement That accommodates came a sewer main and we have met with the public works Director about that And he has he is fine with the parking and the garbage recycling being over that easement as long as you know the project understands that both things would have to be removed in the in the event that the sewer main needs maintenance or repair So, so it doesn't serve as an alley at all then That is Correct, we are at this point just outside of the platted townsite, so there is no alley but the access that the design team has created to their parking lot is about where an alley Would be so That is why the staff team feels that access location is appropriate OK, when I was going with this I was trying to determine if there wasn't some way we could get access to the property from the north as well as the South to maybe soften the the traffic impact on empty saddle just on that one street But it sounds like that's not a possibility Well at a Staff level we discourage them from having a curb cut on River Street that is more of our pedestrian (indecipherable) down by Albertsons Unfortunately, that's private property and they would have to grant an easement (indecipherable) And my clients really feels that Having the dead end is going work better for his tenants rather than having people use that as a shortcut Understood Did you say you had received approval from clear creek for the dumpster locations? Yes, I worked with clear creek on this on the design OK, are you planning on potentially having solar panels in the future have you tried to discuss that with your client? We certainly have and we would be Willing to rough in solar at this time especially given our experience with Silver River It would only work if utilized it for the common areas, just the way their metering program goes and everything and so at this time we are willing to rough in for it But does not plan to install OK, thank you I would like to follow up on Mr Conrad's comments about (indecipherable) units that if you framed an opening in the in the wall, especially on those South facing units, so the builders could put a P tech unit in there, that might be something to consider for flexibility for people who have a lot of sun exposure I'm not too concerned about the west facing units because that will be down here in this neighborhood I realized that the sun sets quite early In the evenings, even in the summertime, and so I'm not concerned about dramatic heat gain in those spaces,

but if that might be something you consider on the South facing units The last thing building will list building have a fire sprinkler system and if so where where your riser rooms or where you put your rising rooms? It is required by time to have first person, so we have a mechanical room a little bit about ground floor and in each building A and B And that's where we are planning on accommodating that We are in the process of working with the sprinkler consultants And we'll have that all figured out before come back for design review All right, thank you That's all the questions I have for that Madam Chair Janet, I see that you're back on the call Let's see if we can hear you now Can you hear? Me now, yeah? OK, OK All right? I do not have any further questions here You spoke about the trash I'm sorry I missed some of that I'm sorry I'm having technical difficulties Are you hearing? OK, yes, we can hear you now Alright, that's good So this has been noted as a public hearing So I we have quite a few People on the call Janet, you're cutting out again (indecipherable) I'm so sorry I don't know how to solve this problem Maybe I, it be best to pass over the chairing of the meeting to Richard whose here in person He could do it and (indecipherable) And I've put a timer OK, I think we are going to have to do that Yeah, we heard one right? OK Jenny, (indecipherable) is called using the computer here, but you dialed the number You might get a better connection to get least best speak if you need to later Right, OK, alright that's good that's what I'm going to do Alright Richard please thank you I'm so sorry Because of the number of people on the call Will limit your comments to three minutes and the applicant will not come in until after all the comments are made, and uh Who would like to go first? I'd be glad to jump This is Dennis Potts And a resident of Hailey and just have a few comments on this I think the density is too high for this area of Hailey I think the The fact that there's no step back as you go up to the third floor; seems like a very big block of space And you know it does go three stories I think a step back would be helpful A 10 by 10-foot bedroom; it's really a Manhattan sized accommodation trying to really squeeze people in there So, if you're trying to get too many again, it relates to density The 4<sup>th</sup>, is no air conditioning, I don't I mean that could be fine with cross ventilation I just want to make sure we have a restriction that there's no window air conditioning units You know with that much housing your problem, you see So that would be a good restriction But I do want to compliment you on the colors I think it's much better than those pastel colors of that other six-unit place on River Street that the planning zoning approved I guess a few years ago It's a much better color scheme That's all I had Thank you Next? The people on the call do you wish to speak, we need to have you off mute and speak now before the public hearing is closed Yeah, go ahead Brad, we can hear you OK, thank you alright Get this badly and you know some of the comments which I agree with, parking and traffic which has not even been close to represented Here in the Density and the size of the units um, the applicants need to know that this is going to be challenged with a Land Use Petition under the Title 67 in Chapter 65 of the Local Land Use Petition Act This whole thing is just not a good idea in any witchcraft Please identify yourself I can't I didn't hear you Can you, identify yourself, please Oh, thank you OK, this is Brad Chinn Oka, you may continue, brad That's it Hi, {indecipherable} I'm a home owner in Hailey and I live basically two blocks from this project and I love Hailey I am very concerned that this big complex with the density and everything will ruin the feeling I just hear some servers That this big complex with the density and everything is going to ruin the downtown Seems like too many people switch to the one place we have an intersection right there And I'm never thrilled that people run the stop sign all the time, going back and forth to Albertson's I can't imagine this many people living right there and what's going to happen? It's dangerous And it's not pretty, and the colors are nice But that's all I can say about it That's it Thank you, Susan Next? Does anyone who has not spoken want to speak to this issue? Give you time to unmute OK We'll close the public hearing and bring it back to the Commission Does the applicant

have any points they want to address? Only that we are doing everything to meet the zoning code, as well as the International Building Code, and all other requirements in our design Commission Pogue: Lisa, you do agree that this meets the building code Lisa Horowitz: Uh yes, for pre-application design review I think it does, the Commission can discuss the bulk and scale if you choose to I didn't hear any of you bring it up in your initial comments, but, um you know it is a bigger apartment building, although certainly this part of town was zoned for this with the downtown residential overlay Commission, Mike Baledge, Fire Chief Yes, go ahead Mike Yeah, looking through this plan, they've done a good job meeting city code and meeting fire code as well, and I'm I hope it goes forward, we need this Thank you So, Mr Chair, a pre app is just an exchange of ideas and feedback to the applicant, not decisions However, if the board members want to make any final comments after the presentation and public comment Dustin, do you have anything else to add? I do um, I think that It's an area zoned for density and we have large amount of new construction happening along River Street I can, I can understand what a homeowner along River Street is dealing with Lots of colorful and Highly dense buildings popping up around you And I do think that some of the one bedroom could entertain a you know a couple more of the two bedrooms to soften that a little bit and also maybe encourage a little bit more of a uh, neighborhood long, you know, of living families that will be around for a while instead of you know, just supporting people to sleep there Then drive a Sun Valley each morning And then move on, possibly to the next job But then um I do think workforce housing is important, but I think it's, your 99% workforce here and I think it would probably be better if it was more like 30% It you know we got to, we got to support people that are here to Work that also Have a wife and a kid or a husband and a child, not just a single person by himself The, I like Owen's idea on kind of a compromise on air conditioning I think that I take Paul on his word that he can insulate our way out of maybe some of that Western shaded side But I'd like to see an opportunity for, uh to put in some kind of AC unit If some people that are renting there may be a little bit more sensitive to changes in heat and what is a small amount of time It's very long It's 30 days of 98 degrees in your house I also kind, of liked one of the It may be If there is a little bit of push and pull that we can get out of that third floor to create a little bit of change in Text, not text is not the right word, but any well elevation changes or what? Madam Chair, we call it Dillon facts And then I had a question for Every time we bring Up solar and then it seemed like there was some kind of past information on it like somehow solar was not going well and it didn't go well on previous projects I don't need to hear about it tonight, but I'd like to To find out what that issue is And if there's anything we can do to make solar very attractive for our developers I actually think it would be valuable to take 3 minutes here and have Rebecca explain the conundrum about net metering because we are not going to see solar on any multifamily buildings that are owned by 1 owner until Idaho Power changes their policies Thank you Their policies, is that correct, Rebecca? That's what I'm doing for my component and how you can switch More expensive Yeah, probably, and I'm very versed in this and I'm not sure this is the form of doing it Quite honestly, I think you guys are making awesome comments by the way, Dustin everything you just said really resonated It's real I think maybe we break down outside this and have some conversations and We represent something stuff in some Way revealing brains Some sensible stuff That will probably be a fault We could put it on a future agenda, but I think the public at large should understand the hurdles that a multifamily project in Idaho and in Lake County is facing because of net metering So, we can cover it in another meeting It's not doable This reality of let's talk about it later, but you know, it's amazing, incredible awesome comments Will appreciate it Thank you, Paul Well, I agree With like you said, Richard about maybe making some rules like the first story Colors could be a little lighter I don't know if you're planning on using real steel rust actually or the metal product that has

a finish permanent finish put on it There are wider colors available I would like to compliment you on the fact that you are using various materials that you have articulated the walls of the building Sending the third story back would be a nice touch, but you have to, you know if you're down to 10 by 10-foot bedrooms I certainly can't see where you're going to take any sizeable square footage out You have awnings, you have balconies, you have tried everything you can You've broken up the collection of the buildings But I think Dustin makes a good point about the density Maybe you could combine some of the one-bedroom units and provide more opportunities for families rather than single people and reduce the density somewhat I think that that should be taking into consideration You might also consider, I know that you're considering lighter roofs, so to put less heat load on the building, so usually the little steps that you can think of before you resubmit And that's what I have right now Mr Chairman Thank you all Janet, are you on? Oh, can you hear me? OK, yeah, we can Oh, I'm so sorry for all the technical difficulties, no I think this is great I do agree with the I like that corrugated metal and I think lighter on top would definitely be better I think this is, I think this is a good project, and they're going to haul the snow Now, I just have another question I didn't hear My connection was cutting out when we were talking about this trash {indecipherable} Change the configuration of second, who created with? Thank you, I thought I thought I heard that, but like I said I was I was struggling So, thank you for repeating that And that's all I have, right? Now, OK Again, I complemented the development team on trying to build portable little units and it's difficult in this market and I understand That the need for more density Might not be warranted on an economic viewpoint, but I would love for you to look at having more two-bedroom units And if at all possible, it would add to the viability of the project in the long-term I hope we've helped you and good luck with your project

# City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH  
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815

**Present:**

**Commission:**

**Staff: Lisa Horowitz, Robyn Davis, Paige Nied, Brian Yeager, Heather Dawson, Chris Simms, Jessica Parker.**

[5:33:53 PM](#) Chair Fugate called DIF to Order.

**\*\*\*insert DIF agenda here\*\*\***

Horowitz provided summary of DIF Committee responsibilities and brief history of past projects and recommendations. Horowitz turned floor to Heather Dawson and Brian Yeager.

[5:37:21 PM](#) Dawson asked committee if they had any questions regarding DIF cash flow table presented. Dawson summarized table and values listed.

[5:39:29 PM](#) Stone asked why police impact fee is 0. Dawson summarized history of change, explaining it was removed after city entered into agreement for the amoroary.

[5:40:58 PM](#) Pogue asked why transportation in 2015 was over \$300,000. Dawson explained that was actually fiscal years 2008-2015, not just 2015.

[5:43:21 PM](#) Dawson moved on to discuss remaining funds in each category, listed on page 3 of packet. Dawson moved on to discuss projects that may or may not have had impact fees spent on them. Dawson noted big expense was to acquire town square property. Dawson explained that staff took priorities to council prior to coming to the DIF committee. Dawson discussed projects planned for upcoming years.

[5:50:28 PM](#) Yeager asked if there were any questions or discussions on what Dawson discussed.

[5:50:48 PM](#) Scanlon asked about the pathway near Blaine Manor. Yeager summarized activity taking place in that area of town including changes with Blaine Manor, School District. Yeager explained concern in trying to deploy money in area that may be under construction again. Scanlon confirmed there are a lot of moving parts. **Yeager confirmed, and that he is concerned about spending money on pathway that may be torn out but would also like the pathway.** [5:53:36 PM](#) Yeager

[5:53:53 PM](#) Fugate understands Yeager's dilemma. Fugate asked about pedestrian pathway across Main Street, if it was one of the moving parts. Yeager confirmed it is one of the moving parts, and is a sure thing. Yeager summarized history and provided update on status of pathway. Yeager explained he is eager to get it done and is currently working with new ITD engineer.

[5:56:37 PM](#) Fugate confirmed location would ultimately connect with other pathways discussed. Yeager confirmed.

5:57:10 PM Stone is confused on expanding pathway through main street to skate park. Yeager ...  
Stone asked if the City intention is to ... so putting a path there now would be in the way...

5:58:15 PM Scanlon asked where 1<sup>st</sup> Ave would go. Yeager stated would commence at Elm Street and continue south to Blaine Manor property, on west side of ice rink. Scanlon asked if would connect to the highway. Yeager stated 1<sup>st</sup> ave would not come back to the highway.

6:01:07 PM Yeager continued to discuss pathway and funding allotted to that.

6:02:30 PM Smith agrees with Fugate concerns about the Main Street crossing. Smith anticipates would have a fair amount of usage. Smith suggested instead of building a pathway and having to remove it what would the possibility be to build a 10' wide roadway. Yeager explained they had thought about that and why they opted not to go that route.

6:04:23 PM Stone asked about River Street project getting moved out on the timeline. Yeager quickly summarized River Street projects, and that he believes is question pertains to the LHTAC project. Yeager explained time line change with ITD, LHTAC project and Stanley Consultants. Stone asked about line item stating final design project being completed. Yeager clarified almost complete, over budget so redesigning. Yeager explained how the LHTAC and River Street Improvement project with the URA apply. Stone asked about number of city employees in relation to housing. Yeager explained that line item would probably only secure one housing unit. Yeager explained they do not have a specific employee in mind, but do know that in requirement process housing is big issue. Stone asked if the City has anyone who audits them from the outside. 6:10:17 PM Dawson explained it is required by law that all government agencies have an outside audit conducted annually, and that Hailey has always had that done.

6:11:06 PM Scanlon asked how the city determines how they determine how much to spend. Yeager clarified, if asking how the City validates the expenditure. Scanlon stated how do they justify the expenditure. Yeager explained it has not been fully developed but that they do know they are struggling to get new employees. Yeager stated in his mind, how much is it going to cost to get something. Yeager went on to explain his idea and how he believes that there is really not a loss.

6:14:53 PM Stone feels good and does not see need to go through line by line as he already did.

6:15:12 PM Smith asked what HGMP. Yeager stated it is Hailey Greenway Master Plan. Smith asked... Yeager explained that one thing Hailey always tries is to not deploy all the CIP funds at once, that try to hold a piece in reserve. Smith asked about maintenance of art. Yeager explained that City adopted an ordinance that 1% goes to art and 0.25% goes towards art maintenance. Smith asked if had identified art maintenance for X? Yeager ... Horowitz stated HAC has a list of art pieces and maintenance needed but that it does not include dollar amount.

6:18:46 PM Pogue asked if it is firm money for River would not be applied until 2026. Yeager explained how that project could come sooner or later depending on LHTAC. Pogue stated would be nice to have completed as projects are coming forward on River Street. Yeager explained... Pogue asked if there are any monies to retro fit the existing building behind City Hall. Yeager stated there is funding on line 55 of the PDF spreadsheet. Pogue asked about Lyons park, where

used to store snow. Yeager stated there is no specific component addressing improvements to Lyons Park in this plan. Yeager stated more recently has been working with Ryan Santos with WRLT .... Yeager stated there is some hope to do land fill mitigation. Yeager stated the city does continue to dump snow there in addition to the snow storage further west. Yeager noted possible testing to be done in ball pits.

[6:25:31 PM](#) Fugate stated it was exciting to see the projects completed last year, despite the challenges. Fugate believes projects are timely and good.

[6:26:06 PM](#) Stone agrees. Scanlon stated no further questions. [6:27:20 PM](#) Yeager stated if all approved, would need a motion to recommend to City Council for approval.

[6:27:58 PM](#) Smith asked about bottom line, separate table to right, row 53 being listed as blank. Yeager stated there were some items on CIP that would more properly fall under an operations plan, and that the items in yellow are left of where these items were.

[6:29:28 PM](#) Fugate opened public comment.

[6:32:58 PM](#) Elizabeth Jeffery, know that the city is looking at reaching a goal to have ... wondering if all the funds for that kind of improvements have been moved to operations or where that would be found.

[6:33:46 PM](#) Fugate closed public comment.

[6:30:12 PM](#) Dawson called committee attention to bottom of spreadsheet where the totals are. Dawson further elaborated on items removed from CIP to operations. Dawson stated with all those removed, the total cost of projects is 18 million and 12 million is unfunded. Dawson stated assuming process continues forward, the current year is funding 2million. Dawson recommended....

[6:33:49 PM](#) Yeager responded to Jefferies comment – there is an opportunity to address the equipment as those age out. Yeager stated as to the facilities, .... Yeager summarized while don't see specific projects on list, that they do still continue to keep that money and continue towards that.

[6:36:48 PM](#) **Smith Motioned to recommend report to Hailey City Council for consideration in the Council ... Scanlon seconded. All in Favor.**

[6:37:47 PM](#) Pogue motioned to adjourn.

[6:37:47 PM](#) Fugate called for a 5-minute break.

**Agenda**  
**HAILEY PLANNING & ZONING COMMISSION**  
**April 4, 2022**  
**Virtual and In-Person Meeting**  
**5:30 p.m. (after DIF Advisory Committee)**

From your computer, tablet or smartphone: <https://meet.goto.com/CityofHaileyPZ>  
Via One-touch dial in by phone: <tel:+15713173122,,506287589#>  
Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

[6:43:57 PM](#) Chair Fugate called to order.

[6:44:07 PM](#) Public Comment for items not on the agenda. No comments.

[6:44:43 PM](#) Consent Agenda

**CA 1** *Adoption of Findings of Fact, Conclusions of Law and Decision of a Conditional Use Permit (CUP) Application submitted by Justin and Macquel Earl to permit up to eighteen (18) children at Macquel's House, LLC, Daycare located at 3110 Berrycreek Drive (Lot 13, Block 55, Woodside Subdivision #14) within the General Residential (GR) Zoning District. **ACTION ITEM.***

**CA 2** *Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application by Kilgore Properties, LLC, for construction of Sweetwater Condominiums Phase II, to be located at Block 2, Sweetwater PUD Subdivision. The project will consist of eight (8), ten-plex buildings, three-stories in height, for a total of eighty (80) units. Each unit will comprise of approximately 1,380 square feet. Sweetwater Condominiums Phase I, consisting of five (5), ten-plex buildings, three-stories in height, and one (1) amenity building, was approved by the Planning and Zoning Commission on September 7, 2021. **ACTION ITEM.***

**CA 3** *Adoption of Meeting Minutes dated March 21, 2022. **ACTION ITEM.***

[6:44:56 PM](#) Dustin Stone was not present at 3/21/22 meeting.

[6:45:14 PM](#) Smith motioned to accept CA 1-3. Pogue seconded. Stone abstained. Smith, Fugate, Scanlon and Pogue: Yay.

**Public Hearing**

**PH 1** [6:45:36 PM](#) *Consideration of a of Design Review by Virginia Holly McCloud, for construction of 2,400 square foot single-family residence to be located at Lots 19-20, Block 104, Hailey Townsite (216 South 4<sup>th</sup> Avenue) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.***

[6:46:01 PM](#) Nied turned floor to applicant team. Ben Young introduced project, single family project working on for his mother in law, located in Townsite overlay. Young summarized

floor plan, explaining access would be off of 4<sup>th</sup> Avenue and that project is roughly mid-block. Young stated this is a small lot, approximately 6000 sq. ft. Young explained proposed materials to be used – stucco, metal awnings over windows and doors facing street, exposed wooden beams. Scanlon questioned color of stucco. Young stated grey, to use color rendering for better visual. Young noted landscaping proposed. Young explained there is a side wall along the rear parameter of the lot, attempting to use plans both vertically and horizontally to break up the structure. Young explained in more detail the proposed landscape, using landscape plan provided in the packet. Young noted proposing solar panels in backyard. Young stated utilities will be from alley and light fixtures will be minimal on exterior.

[6:54:38 PM](#) Chair Fugate asked where existing plants proposed to be removed are located. Young noted where existing box elder is located at that is set to be removed. Chair Fugate asked if would be replacing it with something else. Young explained proposing various trees, that south property line would not be devoid of vegetation. Young stated proposing to replace the sidewalk as existing is disrepair.

[6:57:10 PM](#) Scanlon asked if will be relocating laundry facilities based off floor plan. Young stated there will be no changes to the exterior of the laundry room being relocated except maybe a vent near the mud room. Young confirmed will hold to the plan set. Scanlon asked if aware recommendation for access to come from alley instead of street. Young stated access is off 4<sup>th</sup>, that he was aware wording in code recommends access off alley. Young explained his interpretation of code was that it was recommended but not required. Young summarized reasons for having access off 4<sup>th</sup> instead – elderly client, city does not plow alley. Young explained there are many homes with setback garages and that he did not see it as a problem as it was objective and thinks with character of housie, and size of garage is not going to detract from old town. Scanlon asked if anyone else accesses off the alley. Young confirmed on other side. Scanlon confirmed then the mother in law would not be the primary person responsible in maintaining the alley. Young confirmed.

[7:02:49 PM](#) Stone referenced code requiring distinct entry way within old town, but to him the entry way appears to be the garage from the elevation plan. Stone stated traditionally when working in old town, if people are not following the should he would expect there to be a reason such as access from back is limited due to geographic factors. [7:04:21 PM](#) Stone noted issue either way regarding snow whether garage off alley or 4<sup>th</sup>. Stone recommends emphasizing human access from 4<sup>th</sup>. Young stated there is a tree in rendering blocking front door. Young does think the front door stands very well. Young provided elevation without the tree blocking front door.

[7:06:47 PM](#) Smith noted that one of the energies saving items was blocks made out of cement and recycled wood, Smith asked how that accomplishes energy saving. Young explained accomplish that by thermal mass on interior wall. Young explained it is a block that has been used a fair amount in the valley. Smith was curious if had any numbers as to what the effective R value is for this material. Young does not have those numbers off the top of his head. Smith would like him to pass that along to staff. [7:09:26 PM](#) Smith referenced code 17.06.090.C1 Site Planning, recommending applicant look at realigning entrance to alley side for garage.

[7:10:41 PM](#) Pogue asked how many panels will install on the fence. Young stated 5. Pogue is curious on effectiveness of panels. Young stated will get light in morning and early afternoon.

[7:11:43 PM](#) Smith asked what the landscaping situation is on the lot adjacent to the south. Young stated best description would be abandoned, that there is some vegetation. Smith suggested may want to think of a better location for panels. Young stated panels could be relocated to the roof.

[7:13:13 PM](#) Pogue believes roof may work better for panels. Pogue agrees with City staff that the garage should come off the alley. Pogue likes the lighter color much better than the darker color.

[7:14:01 PM](#) Young stated the code does say shall address, but it is not a mandate. Young asked if the language should be worded differently if are not going to be permitted. Scanlon stated they have not seen that in the Townsite overlay. Young stated that may be true, but as an applicant coming in how an applicant knows it is not permitted. Smith stated that allows some flexibility for preexisting buildings, old topography that does not allow for safe access, historic buildings, etc. Commission and applicant continued to discuss requirement for garage access from alley.

[7:19:15 PM](#) Chair Fugate asked for material samples of materials to be used. Chair Fugate agrees in respect to Townsite overlay, does not see should make an exception to garage.

[7:21:08 PM](#) Scanlon asked staff about size of floor plan being tight and staff will be doing back checking as project is built. Nied stated per the plans meet the 40%.

[7:21:52 PM](#) Young asked if concern about the garage is the access is because of the cars. Scanlon stated have a very competent staff and a good discussion with them would have gone over well. Commission and applicant continued to discussed garage access and how to navigate code.

[7:25:20 PM](#) Chair Fugate opened public comment.

[7:25:59 PM](#) Tom Bergin, 220 S 4<sup>th</sup> Ave, not an adjacent house has a variety of comments. .... When initially saw the design his reaction was little more post .... Did not strike him as old hailey. As he kinda of looked at this more, ... [7:27:38 PM](#) Flat roof was unique, can think of one house that has a flat rough that is a unique compenent. From street does not see as much bulk,... [7:29:02 PM](#) Garage sits on adjacent lot to the south.... Agrees with Young about comment about abandoned landccaping and that is because old renter did nto maintain the landscaping. .... Other feature is the garage, which received quite about of comments and push back, that in the alley there are two garages and generally has not been used by the residents. Current resident does use garage but has to plow snow almost into his property in order to use the garage and they have come to resolution regarding the snow.... [7:32:17 PM](#) would say if garage is going to be redesigned would say that should be brought back to them not just a condition of approval AS to the solar panels believes they are perfectly placed. [7:33:29 PM](#) There was an old house on this

property that was torn down about two years and to his understanding here is a process with public process prior to having an old home demolished. He stated from his understanding and recollection this process was not completed. Bergin stated sidewalk does need to be repaired. Bergin noted potential edits noted in the staff report – LLA needed and construction staging will be challenging. Bergin stated on alley, alley is plowed in winter time used in summer time. Believes it will be a fairly limited view of the garage.

[7:36:53 PM](#) Scanlon asked if Bergin's house is north or south of this property. Bergin stated south. ....

[7:37:57 PM](#) Chair Fugate closed public comment.

[7:38:05 PM](#) Young responded to public comment, confirming does need to do a lot line. Young stated there was reference in staff report to neighbors permit. Young thinks there are good points on alley access and when access from street do have ample turn radius. Young continued to discuss alley access, noting he does not think this house is objectionable for old Hailey standards.

[7:40:27 PM](#) Davis confirmed applicant is correct regarding lot line adjustment. Davis stated the existing alleys are graded on a rotation basis by the city. Davis stated the City has been known to trim trees to keep from impending traffic access. Davis confirmed City of Hailey did not receive historic demolition application, and was not notified above building being demolished so did not have that process. Davis went on to discuss guidelines and principles attached to the guidelines, explaining how since these guidelines were developed not aware of permitted access off roads such as 4<sup>th</sup> Ave.

[7:43:42 PM](#) Chris Simms, sympathizes with the applicant, Young has been a good citizen and planning partner of the City. Simms stated the Commission is on clear, good ground to make their decision. Simms recommends to have applicant back if asks the applicant to design.

[7:45:03 PM](#) Scanlon stated ordinance is there for all safety and does not think there is a reason to foundationally say cannot bring access off the alley. Scanlon would like applicant to pick one stucco color and bring it back to them – likes the lighter color over the darker color. Scanlon suggested may not want to plant the trees right around the solar panels. Scanlon suggested talking with Baledge to be sure understand the proper clearances. Scanlon stated it is an attractive house, just thinks some closer observances to the ordinances would make everyone happy.

[7:47:12 PM](#) Stone can see where the applicant is going and understands what he is saying. Stone stated that being said, he is going to have to stick with the opinion that the garage needs to be relocated.

[7:48:21 PM](#) Smith understands this is a hard one, he is sorry to say when he reviewed this one of the first things that struck him was the garage and when he took on this position he vowed to uphold the code. Smith noted there is some due diligence that needs to take place but it is what it is.

[7:50:00 PM](#) Pogue appreciates his approach to the situation and the property design and thinks will add to the area if get the garage off the alley.

[7:50:27 PM](#) Chair Fugate understands this is a tough one, commends him on the no turf in the addition to the solar but does have to agree need to have the garage off the alley. Chair Fugate is hoping he can find a way to allow for a larger turning radius, understands concern. Young explained the intent is to become residents. Young stated he did submit a demolition permit but that it did not hit the historical structures from their assessment.

[7:56:48 PM](#) Scanlon motioned to continue the public hearing to May 2, 2022. Smith seconded. **All in Favor.**

**PH 2** [7:57:17 PM](#) *Consideration of a Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes twenty-seven (27) units in total, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units. Twenty-eight (28) onsite storage units and 27 onsite parking spaces are also proposed. The project will be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project will be known as Saddle Lofts. **ACTION ITEM.***

[7:57:53 PM](#) Davis introduced project, noting first heard this in January under the pre-application process. Davis summarized recommendations made at the January hearing. Davis turned floor to applicant team.

[7:58:42 PM](#) Rebecca Bundy, Architect, introduced applicant team. [7:59:57 PM](#) Bundy stated clients are part time residents who are in a position to give to the community, that they would like to develop work force housing to benefit the essential works of the communities. Bundy stated clients have decided to deed restrict two of the 1 bedroom units of this project. Bundy stated at this point has not determined which units would be deed restricted. Bundy turned floor to Susan Scovell to discuss outreach done.

[8:02:02 PM](#) Susan Scovell introduced herself. Scovell stated clients of the project are longtime friends of hers, that they have been in the food industry their whole lives and understand that housing challenge. Scovell stated clients would like the workers to work/live in Hailey. Scovell listed various places they have reached out too regarding how they can incorporate their employee needs in this housing project.

[8:03:34 PM](#) Stone asked what the overall need is based off the reach out. Scovell stated from her knowledge with Ketchum URA 1-2 bedrooms are needed, but that this time not talking about how many bedrooms needed talking what how many they need.

[8:05:31 PM](#) Bundy explained what has learned from research, is supply and demand. Bundy explained how they have striven to really find a balance between density and costs, how to make it a benefit to the community.

[8:07:19 PM](#) Bundy stated the project meets the code in every way, one area that has little leeway- energy savings that they have proposed to do more than the minimum required. [8:08:12 PM](#) Bundy went through proposed materials to be used on the exterior of the building.

[8:10:59 PM](#) Scanlon asked about the metal siding. Bundy confirmed, explained did not want rust. Scanlon asked where the natural wood goes. Bundy stated it is the structure of the exterior balconies, trellis and stairways. Scanlon asked how it would be treated. Bundy stated she is proposing **mesmos** natural, which she has had good experience with.

[8:13:30 PM](#) Smith asked what seeing above the windows. Bundy stated is the sun awning, providing shade. Bundy mentioned small modifications in ROW. Bundy confirmed has worked with Fire Department to ensure they meet all their needs regarding sprinkler systems, including addition to semi insulated attic. Bundy noted Fire department request to remove bollards and replace with curb. Bundy summarized location of power supplies. Bundy stated down to 27 units with 27 parking spaces. Bundy stated they strongly considered commission input for 2 bedroom units on ground floor but due to structure inputs. Bundy went on to explain has smaller stacking units on 1<sup>st</sup> and 2<sup>nd</sup> floor to better carry the load and not need extensive beams to carry loads. Bundy went on to discuss changes to cooling system units as needed. Bundy summarized project and noted changes made since pre-application. Bundy stated there will be nothing but identification signage.

[8:29:00 PM](#) Scanlon asked who gets to park under the building. Bundy stated one is the ADA parking. Bundy went on to discuss how meet and in most cases hope to exceed code requirements in regards to energy savings including plan to provide 220 outlets for EV charging and do plan to rough in solar on the roof. Bundy stated the building is designed as all electric. Bundy turned floor to Nathan Schutte.

[8:32:30 PM](#) Schutte, landscape architect, discussed proposed landscape on the property and within the right of way. Schutte, noted proposed patios, improvements along River Street and grade change along Empty Saddle Schutte, discussed greenspace proposed within heart of building and proposed seating. Schutte, noted proposed dog wash on south end of green space, natural play areas. Schutte, noted location of existing trees to be removed.

[8:39:09 PM](#) Scanlon asked Schutte, to point out trash enclosure location. Scanlon asked if has been approved by Clear Creek. Pending on review with tree. Schutte, turned floor over to Sam Stahlnecker.

[8:40:05 PM](#) Stahlnecker summarized proposals to River Street and Empty Saddle which will be coming up at a future hearing. Stahlnecker summarized conversation with Brian Yeager. Stahlnecker stated grading and drainage straight forward, and available for questions if there are any.

[8:42:11 PM](#) Stone asked where the AC duct would be pointed at floor plan. Bundy noted would envision being in corner of living room, possibly on inside or outside of balcony depending and would look similar to dryer vent. Stone asked size of storage unit. Bundy stated 4 feet wide by 5 feet deep and 90 inches in height.

[8:44:07 PM](#) Smith would like to see a photometric layout for how many lumens going to have on the ground at board of parking lot. Smith thinks it is a great idea to install the heating ducts. Smith asked surface to be used in dog area. Nathan? stated doggy pavers. Smith will be interested to see how well the ac units work through a 4" duct. Smith encourages trying to minimize the water usage as much as possible.

[8:47:32 PM](#) Pogue appreciates work done and response to the previous meeting. Pogue applauds the design, thinks the storage units are very important. Pogue asked what the size of the offices are in the 1 bedroom. Bundy stated on ground floor they are just over 4"x11", that it is really more of an alcove then an office. Bundy stated on 2<sup>nd</sup> floor is approximately 6"x12'. Pogue stated concern of someone backing that a 2<sup>nd</sup> bedroom. Bundy stated safety wise it is legal, but size does not allow for it to be advertised as a 2<sup>nd</sup> bedroom.

[8:50:15 PM](#) Stone asked about note in report that if any issues arise the applicant will install individual ac units. Discussion ensued regarding comment. It was determined that the management will strive to ensure occupants of comfortable and that the proposed units will suffice during few weeks needed.

[8:53:00 PM](#) **Chair Fugate opened public comment.**

[8:53:16 PM](#) Steve Linden, 441 Angela Drive, just down the road from this place. First of all, would like to thank all present for what they do, lot of work and not easy doing this stuff. First of all, would like would like for everyone to step back and look at big picture with this overlay district and that it is going fairly smooth right now think it's been in line for couple of three years now. But if take a look at what have in small space, thinks it is well designed and likes this project but it is troubling that would allow (*unable to decipher*) lots in this overlay district and multiple this space by empty lots this is where going and going to have a very large population of people if this whole district is built to this degree. His question is this what we want? That's all. As for this particular design, thinks it is great perfect place for this whole scenario. His big concern is on Main Street where have this crosswalk at south east corner of grocery, thinks it needs to be abandoned and force pedestrian traffic 1 one block north up to the light just for safety reasons. Going to start seeing this whole are get developed like seeing on southern end of town. [8:55:59 PM](#) Linden stated drainage is always a big issue, this is in the 500 yr. floodplain, where it comes down from Indian creek, saw a big rain last August 1<sup>st</sup> and as this stuff gets developed going to have drainage issue that goes down into his backyard. As develops this let's keep an eye on that. Linden noted that when presenters walk away from podium it's impossible to hear them.

[8:57:23 PM](#) Matt Gelso, 411 Northstar, over by Steve on other side of street. Want to thank commissioners and applicant, thinks it is a great project overall. Plan is good, colors are good. Only comment is parking, would encourage commissioners to consider many of the one bedroom will have couples who will have two cars. That there could be as many as 50 more cars associated with this, that could be creating a structure parking deficit in this area. Encourage commissioners to think of parking concern and ask for more so don't have this problem down the line.

[9:00:40 PM](#) **Chair Fugate closed public comment.**

[9:00:48 PM](#) Bundy understands parking concern, that has met the code. Bundy explained why she thinks the city is in a transition, and thinks the parking concerns are very solvable problems. Bundy stated believes at cusp of different society, where people don't have a vehicle per person.

[9:03:02 PM](#) Commission and staff discussed conditions of approval. New conditions: applicant shall submit photometric plan.

[9:03:44 PM](#) Scanlon stated this is a well-designed project and has followed code. Scanlon agrees the 27 units will likely have more cars. Scanlon would like to see gap between 1 bedroom and 2 bedroom units closed. Scanlon complimented the project and the applicant team.

[9:06:34 PM](#) Stone likes how the addressed previous concerns made. Stone stated attempted to really spell out fire safety, and thinks they did a good job getting that as safe as they can. Stone likes concept of all electric building. Stone likes the layout. Stone shares the concern with parking. Stone complimented applicant team and project design.

[9:09:18 PM](#) Smith thinks did a great job, his comments about water usage are applicable across the board. Smith thinks it is a beautiful project. Smith stated parking issue is open they are restrained with by the ordinance; applicant team has met the current code. Smith complimented applicant team and project.

[9:10:50 PM](#) Pogue complimented applicant team and design, thinks parking issue is an issue to be discussed at another time, they are meeting the code.

[9:11:19 PM](#) Chair Fugate reiterates they always appreciate the responsiveness, glad spoke with the fire chief. Chair Fugate thinks this is a nice project, well designed and very thoughtful.

[9:12:54 PM](#) Davis added little roman numeral ii in regards to right of way agreement to be approved prior to occupancy and condition k, photometric plan.

Commission and applicant discussed parking lot of project, that the end of parking lot will be a clear squared curb in place of bollards and will read end of parking lot. Bundy clarified photometric was just for the parking lot. Smith confirmed.

[9:15:05 PM](#) **Stone motioned to approve the Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, for a total of twenty-seven (27) residential units, to be located at Sublot 4B, Block 1, North Hailey Plaza, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 18, and City Standards, provided conditions (a) through (k) are met. Pogue seconded. All in favor.**

[9:17:21 PM](#) Chair Fugate called for 5 minute break.

[9:23:06 PM](#) Chair Fugate called back to order.

**PH 3** [9:23:13 PM](#) *Consideration of a Design Review by Flowing Wells, LLC, for construction of a commercial building consisting of a 7,994 square foot warehouse with an attached 2,108 square foot showroom to be located at Lot 7H, Block 4, Airport West Subdivision (1930 Embraer Way) within the SCI Industrial (SCI-I) Zoning District. This project will be known as Sun Valley Auto Club. ACTION ITEM.*

[9:23:56 PM](#) Nied introduced project and turned floor over to applicant team.

[9:26:43 PM](#) Brian Opp, project coordinator, introduced applicant team. Opp went through the site plan – 1 ada parking in rear, explaining facility is not intended for employees working there that entire warehouse is full of parking and employees of sun valley auto park in the their own lot.

[9:29:36 PM](#) Scanlon asked how far away the employee parking lot is from this building. Opp stated that the employee parking is roughly 300 – 350 ft. Scanlon asked for clarification on code that employee parking is within the permitted distance. Davis will follow up. Opp went on to explain facility design and how has been working with staff. Opp summarized the proposed landscape plan. Opp discussed idea for future stacking car lifts. Opp discussed proposed materials on exterior of building. Opp noted the owner plans to install the stacking parking stalls as needed.

[9:34:11 PM](#) Sam Stahlnecker, requested to amend condition e regarding sidewalk and existing street trees. Stahlnecker would like to leave the proposed sidewalk along the property line and remove and replace existing trees. Stahlnecker explained thought process of why would like to see sidewalk along the property line. Scanlon asked if has site plan that shows sidewalk conditions discussed. Stahlnecker confirmed.

[9:37:48 PM](#) Dean Hernandez, provided photos of the culvert and existing trees would like to remove. Hernandez proposes to remove 4 4" caliper trees. Smith asked current caliber of trees. Hernandez stated majority are 4" with one between 5-6" caliper. Hernandez stated HOA would prefer to keep sidewalk in proposed location. Hernandez noted that the existing fence is to be removed. Hernandez noted two areas proposed with grass paved where on occasion may have a special car displayed. Hernandez noted that landscaping will be drought tolerant. [9:44:09 PM](#) Opp discussed car lift opening. Opp noted the HOA approved this with no comments.

[9:45:02 PM](#) Smith asked why species of tree. Hernandez discussed species thinking, noting style thinking is the same as used at Jimmy's gardens. Chair Fugate asked if the trees are healthy. Hernandez stated a few are nice and two are probably not worth dealing with. Hernandez explained had looked at option to relocate but water main is directly below trees. Discussion continued regarding existing trees proposed to be removed.

[9:49:21 PM](#) Opp stated worked with City Staff to ensure building meets all zoning codes. Smith asked how reflective the metal is proposed to be on showroom. Opp referred to material board provided. Smith asked if has consulted with the Airport. Opp has not at this time.

[9:50:58 PM](#) Stone asked the purpose of this building. Opp explained it would be for storage. Stone expressed concern about the classification. Stahlnecker asked staff for clarification of classification. Davis confirmed has been classified as a warehouse.

[9:52:52 PM](#) Chair Fugate would like to see the culvert and sidewalk more clearly, would like for applicant to contact airport regarding façade. Stone thinks sometimes trees may need to be moved, think moving the trees in general are a good idea. Chair Fugate agrees, but would like to see the culvert. Smith agrees. Pogue thinks need to go before the airport board to get an approval for the metallic shiny. Stone suggested that be made a condition of approval. Opp stated intent of design of parapet façade, that it is a dull sheen that it is not a reflective metal shine.

[9:58:00 PM](#) Chair Fugate opened public comment.

Simms noted public comment received this afternoon by Matt Engel. Commissioners confirmed received copy.

[9:59:19 PM](#) Chair Fugate closed public comment.

Commission discussed what they would like to see: plan showing culvert and sidewalk connections, fence removed, something to breakup southern wall, and verify distance of employee parking. Nied stated per code employee parking has to be within 800 feet. Commission discussed parking requirements and potential concern if owner were to sell the lot. Davis confirmed parking has been provided. Opp explained showroom is not intended for selling vehicles. Smith suggested to change term from show to display room. Opp explained these are all private cars that are not for sell. Applicant confirmed understands what the commission is wanting to see. Davis noted that if end up removing existing trees and replace with new, the applicant will need to get approval from the Hailey Tree Committee.

[10:11:27 PM](#) Smith motioned to continue the public hearing to April 18, 2022. Pogue seconded. All in Favor.

#### **Staff Reports and Discussion**

**SR 1** Discussion of current building activity, upcoming projects, and zoning code changes.

**SR 2** Discussion of the next Planning and Zoning meeting: **April 18, 2022.**

- Text Amendment: Title 17 Solar Definition
- PP: Bullion Square
- DR: Idaho Equipment

Davis summarized upcoming projects for next meeting.

[10:13:40 PM](#) Smith motioned to adjourn. Pogue seconded. All in Favor.

## Verbatim Transcript of Saddles from April 4, 2022

Moving to public hearing number 2 [7:57:17 PM](#) Consideration of a Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes twenty-seven (27) units in total, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units Twenty-eight (28) onsite storage units and 27 onsite parking spaces are also proposed The project will be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts This project will be known as Saddle Lofts Thank you madam chair you first saw this or heard this project in January through the preapplication design review process The applicant team is here to navigate you through the, um, design review standards of this project At that hearing you suggested um some you suggested that the applicant consider some items like adding air conditioning units to each residential unit, possibly incorporating two-bedroom units on the ground floor, consider utilizing lighter exterior colors or lighter colored shear walls to the building and consider reducing the building density to (Indecipherable) the average bedroom size The applicant can further describe how they have accommodated those and I will turn it over to Rebecca Thank you Robyn, Thank you madam chair, I am Rebecca Bundy, I am the architect of record of this project I got my team members, consulting architect Susan Scovell, landscape architect Nathan Schutte, our civil engineer Samantha Stahlnecker and member of our general contracting team Mike (Indecipherable) Who also since the preapp design review added John Reuter Greenworks to our team who has completed an energy model of the project a draft model that at this point we are working on putting (Indecipherable) That's our team I am going to start by just answering some of the the requested (Indecipherable) changes, and then will turn over to Nathan who can describe the landscape plan that has gone into effect since our last meeting with the commission and then Samantha can discuss the grading, drainage, right of way improvements that have evolved since (Indecipherable) Would like to start by just reiterating our client's intent, our clients are local part time residents who are in a position right now to give to their community, they realize that we have a real housing crisis at this point and they would like to develop work force housing to benefit what they call true pillars of our community Our essential workers firefighters, our

hospital workings, teachers, grocery retail workers and folks who work for governmental agencies and some of our nonprofits as well That's their goal for this project I am really pleased to announce tonight, our clients have decided to deed restricting 2 of the one bedroom within the project to meet the needs of community residents in the under 100% of annual (Indecipherable) Those at this time point have not selected which units would be deed restricted, but they would be 2 of the 540 sq ft one-bedroom units of this project Like I said the point of the project is to serve exactly this group of people, people who are working in that category category 5 area medium income So with that I would like to turn it over to Susan just to talk a little bit about the work we have been doing and outreach and the research and who trying to learn who a project like this can really serve and what the needs are Susan Scovell long time architect in the valley and um thank you madam chair and commissioners for hearing this Owners of this project for this purpose are also long-time friends of mine They love this area they love this city they want to give back; they are givers They been in the food industry their whole lives, they understand the challenges of work force housing They want the people to live where they work that's number one to them So, like the people who work in Hailey to live in Hailey And its these workers that make this community special, they make strong, safe community, they make it a diverse community and very livable They want these people who make this a special place to live here too So far we reached out and will reach out to more reached out to Hailey Fire, Blaine County School District, St Luke's, forest service, Albertson and the community school and wanted to know what their needs are how can incorporate their employees needs So, thank you I have a question for you Yes? Have you gotten any responses from them Oh Yeah What was their overall need? Obviously, housing, but is it, I'm just curious if one or two bedrooms Because I'm also on the Ketchum URA and have looked at doing another project in Ketchum know that it is 1or 2 bedrooms are the most needed And so that's right now not talking with them about how many bedrooms they need we're talking to them about how many they need For example talked to the fire chief he said he needs two 25 (Indecipherable) employees that need housing, school district needs so much more than the rest so far And yeah Thank you Susan, so before ever putting pencil paper with design we need to figure out where we're trying to go, what are constraints, our opportunities, what's the need out there So one of

the first things we did with this project was meet with the executive director of the housing authority and ask what are the needs Of course, they need everything, need everything their highest need is rentals and very highest need is one-bedroom rentals and next to that are two bedrooms Those are the people really being underserved in this community at this point They can find middle income people for whatever can be provided we are choosing to really target that audience What we have learned from our research, and thing this is probably intuitive, that a big part of the our current problem is supply and demand There is just dearth of housing in this community So the fact that not all the units are deed restricted nor can be deed restricted in a market rate project construction is to expensive more supply is really going to help the problem by creating umm reducing the (Indecipherable) out there We have also striven to supply housing here in the city in a very sustainable fashion So that it is located where we already have city infrastructure, where the land is already zoned for it, where folks are going to live where they work and we can build an efficient building that is hopefully going to keep construction cost down because the higher the construction cost go obviously the higher the rents need to go So striven to really find a balance between density and size of lot, that lot could support more than 27units and 27 parking spaces but we really striven to create something that is an asset to the community that's going to make a good dent into the housing problem and hopefully you'll agree is a design that would a lovely place for folks to live So in response to the commission inputs at pre application design review, first do want to say our project meets the code in every way the one area there a little bit of leeway is meeting the energy efficiency options but there as other applicants recent past have done we proposed a variety of other options and in the spirit have proposed to a lot better than the minimum required In response to the comments of our preapplication we believe color samples are they up oh they are up here we need to go to the next slide oh lets hold onto this one for a moment So we are continuing to propose a metal corrugated siding although we have changed to a horizontal application rather than vertical stuff that it sort of undulates along the 1st floor everywhere and up to the second floor where we have articulation in the building and A lighter beige Stucco above natural wood on the trellis at the entrance and the company's natural wood in the Gables Black access on the sunshades, the railings and balconies and all of the

fenestration, with the exception of the entry doors on the backside, and proof of a reddish color to kind of tie these colors together This looks kind of orangish yellow because by the time you print something out it doesn't so if we could go to the Next slide please You don't get your actual colors And we can have the actual sampling, I'm sorry But this is our Response to the comments on the dark corrugated we've found a lighter orangier more a rust colored Corrugated material, a stucco to compliment but provide a lighter contrast with that Natural wood, the black windows and balconies, reddish color light roof will which will reflect some heat and the sort of copper penny colored Entry doors to the elements The actual roofing sample is I don't know if you want me To pass this around Can we see it if you open it up It's this one now step backwards That doesn't look red That looks yellow to me It's not a lot of flecks of different colors That's the one can you can you park it so that that part of the board is does that work? So, it's the Third, one down on the right, correct? Yes it is Can you see that Owen? If I understand perspective correctly, you won't see the roof When you're up and you're flying your drone Right? So I have a question Rebecca (Indecipherable) siding that looks like a pre finished panel in some sort That is a correct, yes rather than a weathering surface We do not want to have a staining problem with real rust What drove the decision to go horizontal application instead of a vertical? You know that architectural horizontally thing? The problem and how will you have the outside corners? We Will have a trim piece made the same materials? Yes so there will be a trim band at the top of the metal siding trim pieces of the corners to help And at the bottom also, we're worthwhile You never know Where does the natural wood go? The doctor would is The structure of the access balconies and and so that's in between the buildings The stairways at the ends, and then it's really very visible at the back, so it'll be 4 by 4 by construction The small trellis at the entry, and the large trellis at the rear of the structure And in and the in the Gable ends, there's a Simulated Gable that would be where the natural wood is I love the natural wood color, but it doesn't weather well So how will you treat it or do you want it gray well I'm I'm Proposing to use mesmerize natural, which I have really good success with and it's it's I've used it in applications where we've applied a wood cleaner after 10 years And switched it right on It's been a superior product Thank you In the mean time since preapplication, we have further addressed the river St improvements with the the city

staff and Sam will detail the the additional Little changes that we made in those They're essentially the same If we could go to the site plan please Before we leave, I just quickly can you tell me what I'm seeing? Is that an awning that it? Doesn't appear to project That is the sun sun shadeIT projects 2 feet 2 feet And that's what's causing the shadow thats what's causing shadows, see the little stripes there That's where the sun's coming through OK It didn't seem to be that Protrude that much on the side view So OK, thank you and that's made out of? That is black aluminum Black powder coated So with small Modifications in the right of way in response to The Commission's input and I'll let Sam address those We have worked with mountain fire sprinklers and Fire Chief to address Any fire suppression concerns we have determined that this is the riser location, it's it's alt's a location that works well for the fireFor fire suppression to to get to all the sprinklersIn the building We have how the wet system is going to work Which balconies will need to have fire suppression and which won't due to their sizeWe have decided to do semi conditioned attic that will then make it so that we don't have to have heat tape in the attic to keep the fire suppression system from freezing and that'll be an energy savingsAnd finally the the Fire Chief in a recent meeting has requested That instead of Bollards Here at the Turn around that we just do a curve we do not Want through traffic onto the neighboring property But this is a curve that in event of an emergency, he Could roll over He would, He was when he was very pleased with that solution with just Removing the bollards there Your semi conditioned attics Where will your insulation layer be? It will be...And how will that affect the snow melt on the roof Or do you want it to melt the snow on the roof IT won't melt snow It'll be a Foam applied to the underside of the sheeting So would be underneath the shingle line rather on the ceiling correct We worked with Idaho Power on refining the power supplies, so the transformer has Now taken Our 28th parking space and reduced to 27The supply will come off of empty saddle trail so large transformer for this size of a project And will allow for some bicycle Parking in front of it The meters Will be located here out of sight in the backside Of the garage And the power panel will be in a small utility room in this section Each of these utility rooms then also give us crawl space access Protocol space below the building In response to losing that parking space and the the Commission's request to convert some of the one bedroom units into two bedroom units We are now down to 27 units and 27 parking

spaces The code requires 1 parking space per unit So if we could go to the third floor Right there Now on the 2nd floor, we have three one bedroom units in what we're calling building C But on the 3rdFloor, now we have two Two bedroom units And is that bringing the density down 27 units On the (Indecipherable) We strongly considered the Commission's input on two bedroom units on the ground floor But due to the structural implications, if we could go to the section Section A So, so we have the smaller stacking Units on the on The lower two floors so that we can carry our floor loads Efficiently on those those fairly frequent common walls demising walls between the units, and there's not there won't be as much need for extensive being, keep going, one more In this We won't have A need for really extensive beams to carry loads This is just the (Indecipherable) in the great room and these units stack really neatly To efficiently carry the the the floor Loads of these Buildings once we get up to the Roof load that is being carried Only on the Front and rear the West and the east on on the on buildings A and B, the North and South, and it gives us a lot more flexibility on the third floor as far as Having larger units with more open space and fewer walls, and just as an a side I don't know if you all know, but I I got my masters in architecture in Munich Studied there for four years and I was a mom toting infant and toddler up to my third floor, walkup for four years and It's it's It's very happily doable Let's say I I never Regret that time Living in downtown Munich it's a fabulous experience So as far as energy efficiency goes We have engaged John Reuter We do have a dropped energy model at this point We're meeting Hailey's energy code and have some suggestions from him on how we can achieve our goal of of five to 10% better than code It looks like right now with some above code windows Above code, possibly wall insulation, and actually most importantly huge effect If we can do a really good job sealing the building to two air changes per hour, we can we can achieve that goal As far as air conditioning goes The energy model is showing that we do have a small cooling load in the summertime and We are proposing to deal with that As we discussed Before by shading the windows by using low (Indecipherable) coefficient blasts But we have also decided to install a four inch duct in each unit that will be available in the event that Cooling is needed A portable air conditioner should suffice To handle the the load and it'll ducted out of this of this stuff duct that will be supplied in each unit And we will provide cooling On an as needed basis For for, for the units

that are, those units are quite energy efficient, and they do not require The big Compressor apparatus on the outside of the building They are fully contained inside the unit and the Except for (Indecipherable) duct Does that goes through the wall? Yes What does that look like? (Indecipherable) And it's placed underneath The window over in the corner That will appear on the face of the building Like the like the dryer vents Which were not drawn in The drawings, so they'll be ducted where possible to an unobtrusive place, and they will appear as a four inch Opening in in in in the same color as the the siding that They're coming through Same color as the stucco If they come through stucco if they come through stucco will try to have similar color Thank you If we could go back please to The site plan I I think I think rather than walk you Through the whole Project again, I'll just address some of the the changes Small changes that we've made The the footprint of the building and the form of the building is exactly the same as it was when came Before you with the preapplication We've discussed the loss of 1 unit, the loss of 1 parking space We still have them on street parking and the five guest spaces per code We still have 28 storage units on the ground floor, so one more than the number of units, so we have an extra one that can be utilized by the management for storage of lawn furniture or other items Those those storage units are 4 foot by 5 foot one will have a special door unlocked to meet ada requirements Since since we came Through we can have the 1st floor please We still have the outdoor open space exceeding the minimum requirement, we are planning to remove snow from the site The trash removal has not changed and we can provide a will serve letter from From Clear Creek UM On one change to the floor plans is that we have converted this unit A 13 To a full on type a accessible Unit the rest of the units on the ground floor are type b fair Housing Act through Universal Design compliant could be converted to serve Someone who might like might be in a wheelchair or partially disabled, but we have converted that one, that third unit over into a type A If we could go back to just the The rendering on the very first page The building form hasn't Hasn't changed, we still have the idea of three separate buildings with a lower group in between Buildings A & B as you go around the corner Buildings B & C are differentiated by a stairway that projects out The building is Articulated both horizontally and vertically, so we have two foot pop outs at some of the kitchens here Here a foot pop out at the (Indecipherable) houses the bathtubs in these units The trellis is projecting

and then A variety of things to break it up in the horizontal direction so so that we we don't have straight lines just coming all the way across But the pop Outs are also then two story to give articulation in that direction The sunshades the The three foot overhangs The Gables on the On the on the roofs Too, to give some relief on that Yeah, but those Are completely cosmetic in nature and not necessary, but I think they break up the roof As far as exterior lighting goes, there's absolutely no change from the pre app We've still just Specify a very modest low mounted light fixture And four parking lot lot lights and as far As signage goes We have no master plan requirement because there will be nothing but identification or directional signage Is there a Rendering of building C from the Parking lot There is a black and white rendering k must have missed it Just wonder about the storage Those are all enclosed Right, I wonder what they're going to look like from the outside Robyn, could you go to the elevation? In your packet or in ours In my pocket is fine This is empty saddle Rd building C So the storage units are in this area Here, where is it accessed? From just that one door There's there are two doors Ones inside this is This is the pedestrian entrance from empty saddle and inside of there there's a door into a storage unit and then behind there There's another door into a set of storage units Could you go to the 1st floor plan? I see Empty saddle so this Is 1 door Here's the other door This is just a walkway that accesses the ada van stall with the access balconies above it surrounding the outdoor open space courtyard Rebecca who gets to park under the building as opposed to those that don't Is it a first come first serve basis One of those stalls is the ADA stall so I think that is going to be the person in unit 1 a-13 the others um, it's a lottery charging station? Yeah, so I was just going to get to as far as energy efficiency provisions The code has about 6 items to choose from, one of which is double paned Windows we'll do those I I'm hoping to do 027 or better windows Not the code minimum Of 030 we As I as I said, have have some strategies where we're hoping to beat the code By 5 to 10% In addition, we have carefully designed this to minimize heat gain in the summertime of all The overhangs and the big Maple trees along the street And the white color group The Sun study, which is part of your packet that I'm sure you've seen and and low solar heat gain coefficient windows We're also planning to do two other things We are planning to do 2/ 220 outlets for EV charging in the garage One has to be accessible so that You can provide any EV charging that van space Has to have any

charge That has to be accessible from the aisle and the other would would serve the other two parking spaces in that area Now how they'll eventually be utilized? I think that's probably going to depend on who has an EV And whether that's going to have to be If you've got a few people with the EV, there might Have to be some sort of Agreement on that They share that Maybe it's just accessible during the daytime and then somebody has it for a nighttime reserve spot, I'm not sure The other thing that That we will do in anticipation of The city is requiring this, and I think we'll probably come through the building permit before that's in place, but we do plan to rough in for solar on the roof To eventually serve the common spaces with the building And then finally the building as before Is designed as an all-electric building In the spirit of the city's goal for 100% clean energy and it will be a building that we can as as out of a power converts to cleaner energy Well, we'll be able to say it's 100% clean building So with that I'd like to turn it over have Robin put the landscape plan up and let Nathan, tell you what we've come up with As far as our evolution from our conceptual plan, we came before you before and I will say that we have Full approval now from the tree committee for our our trees in the right of way And so we've passed that through Thank you Rebecca My name is Nathan Schutte I am the landscape architect I was she stole my Thunder I was going to tell you about the tree committee No worries, good news regardless, so let's kind of start out front with the street trees since we're kind of on that subject, so along empty saddle Rd, which is to the South Now proposing to do street Trees class one which is the Smaller St tree Proposing to Washington Hawthorns in the planters along that road along that road, along with some ornamental grass, it's jumping around plain as you come around later section you'll see that we did provide some larger bulb outs with some landscaping around there and then working along River Street Looking at making those A little bit larger a Class 2 St Tree which would be on (Indecipherable) blaze Maple and that ties in with Rebecca's architecture and helping with the heat gain on that side of the building As well, those planters are a little bit larger than Indy style, but they do provide nice space for more oriental grasses and plantings along there On River Street we do have Again, we worked with this staff with the city We did provide the bike path along with their river street improvements as well as there's a 5 foot walkway between the planters and That into the property or The property line there Along the front, the River street frontage along the

building just proposing some accent Foundation plantings Again, more oriental grasses and also in cover works allowed spaces allowed More native shrubs Shrub matchings in most locations There are patios Kind proposed Off of the each ground level there That we're proposing To kind of screen panel steel stream download matched railings on the architecture to provide a little bit of privacy in those spaces So grades kind of heading north on river street that tends to slope down and obviously the building needs to pass State level so there is going to be a smaller concrete curve that would be along the property line there that Is kind of shown That's a little light But it kind of starts at the first units at the intersection that works north, and then it actually wraps the corner to the east And kind of encompasses and ties back into the corner of the building there, so there will be a little Bit of concrete retainage there to facilitate that grade and in that would be some planters on the North End of the building Again that would match and kind of oriental grasses and then in the elevation There's some opportunity to do mark like a vertical (Indecipherable) evergreen Those would be are the Rocking mountain junipers that have a little tighter form and Evergreen that would provide nice year round screening along that end So the meat potatoes of the project is is the green space that we're proposing, kind of in the heart of the project, off the park between the parking and the buildings and center That kind of the entrance coming in is a gazebo, or which trellis there with some benches underneath there For seating And then off each side of that would be more open space Grasses and I'm kind of envision that need more low maintenance fescue Fescue (Indecipherable), and not necessarily a Kentucky bluegrass Traditional lawn , it requires as much irrigation, but more more of a, uh, native blend that would still be a nice turf, but not not have the demand of water as a traditional lawn, so The intention with Those green spaces there To the to the South, and there's proposing to do kind of dog wash or dog fountain in that space, or some boulders coming around that tucked into landscaping there so so residents can wash their dogs or Take care of dirty shoes or whatever needs to be done outside And then on the North End of the green space, having a couple picnic tables and paver patio there and then just adjacent to that would be some smaller Boulder play areas I've kind of an example down here in the bottom left of The screen but They're being kind of smaller one for The little kids and Then a little bit bigger Maybe not quite that Vertical, but you know a little Bit larger size one for The older kids of the

climb and play around Originally we did have kind of more of a structure or play structure and we did We did kind of when we went away from that idea Didn't work on the natural area Around that would be landscaping so the four trees come along the parking There are smaller variety in that (Indecipherable) Maple, so they they won't be as large as as the autumn blaze out front (Indecipherable) nice Landscape buffer between the parking green space Around the perimeter Proposing to do crabapples That's what the red symbols are as well as shrub plantings And then on the East End on each side If you Want to kind of roll up on the plan there Proposing to do more Evergreen shrubs along there to provide screening your house screening along that property line And then sneaking in any landscaping I can around the trash receptacles and and long as well along that southeast side of the property there there are a few straggly existing trees that are on the property now They're kind of along the River Street There at the North End, there's some red circles That indicate those those will be removed They're just kind of voluntary stragglers out there Not really anything predominant And then we do have They're not on our Property, but the the east It's are some established Cottonwood deciduous trees along there so Also along the South End again using shrub massings and oriental grass plantings along there and some boulders Kind of tucked In and (Indecipherable)Landscaping as well to help put that in as natural as possible And provides some aesthetic value as well Excuse me, will you point out the trash enclosure I think I see it So dumpsters here and then recycling, so when I say sneak In I mean (Indecipherable) through here and then some plantings kind of behind Has this been approved by huh clear creek They have reviewed it They have not reviewed the tree We're still reviewing the tree That's why (Indecipherable) said snuck it in Hopefully, if not, it'll just be Straight in so I believe that's all I had for the landscaping Will let Sam touch on civil Thank you Commissioners Samantha Stahlnecker with Opal Engineering for the record, I'll just make a couple quick comments as there's been a lot of items discussed so if you have Any questions, feel free to ask them In our previous presentation we had shown rather lengthy landscape periods on River Street and one of the pieces feedback I believed received from commissioners was that (Indecipherable) create more of an open pedestrian access To the buildings would be beneficial, so We did that and Nathan laid out nicely Kind of symmetrical landscape area layout on River Street, so that's one

change that you will see on this plan The other feedback That was really focused on traffic For this site was The intersection of River Street and empty saddle And what kind of traffic? Control we were proposing there I have coordinated with the city engineer and submitted An Agenda summary item Unfortunately, I didn't get to him in time for this meeting, but we are proposing to convert River Street and Empty Saddle to a four way stop So that should be on one of your future agendas to View with the description and summary with more analysis to support that four way stop Excuse me, that's currently a two way Stop on River Street Correct River Street is stop controlled currently So there's been comments from the neighbors about traffic impacts and concerns about safety there I've talked to Brian Yaeger, the city engineer about the goal for river St To really be a draw pedestrian and bicycle traffic, and we felt that a four way stop at this location was appropriate Again, the utility and drainage creating design is Fairly straightforward if you have questions feel free to ask me but you guys have been here for a long time, so I'll keep it Simple and short thank you Thanks Sam OK anything to add at this moment Robyn Not at this moment Questions? nope On the Where would the ac stuff be If you just pointed at it on here For instance, we could have a unit here It might come out right here You wouldn't have it in the kitchen You'd most likely want it in the in the living space, so I would envision them being in 1/4 of the living rooms And coming out On the Probably on the outside, the balcony prop, possibly on the inside of the balcony, depending On where exactly the railing is installed ?And it would Be similar to a dryer vent, a little square vent outlet What size of are the storage units? This is probably (Indecipherable)4 foot wide by 5 foot deep They are a standard off the shelf unit wire unit that we can buy How high? They go something like 7 feet What's that mike? 90inches That's why you came Mike has been pricing everything, so he is intimately knowledgeable Sure, thanks Dan? Thank you, Madam Chair I see a lot of cut sheets on your exterior lighting and putting in some streetlight parking lights Parking lot lights I Guess I should call them I would like to see a photometric Layout for how much How many lumens per foot you're going to have on the ground at the border of your parking Lot, that's one of the things on 15So it would be nice to see and I couldn't figure out the (Indecipherable) lot A lot of detailed intensity distributions and those kind of things, but it would be nice to have a photometric of Laying out just how much light there is, so we make sure we don't make a light

trespass And then we have had a good lighting for the people getting out of their car and into the residences think it's, great idea your putting into cooling ducts I wasn't here to previous review I know every once in a while we end up with a year with five seasons and the fifth one expire and having woken up a few times after opening the Windows cool my house at night and the next morning know what it feels like to be in Beijing? Even though I'm not asthmatic, it was not comfortable to have that level of particulate floating around, so I think this will give people An opportunity to Cool and sleep in a cooler area Without necessarily having to open windows Question for you have your dog area what? What is the surface that You're proposing there That would be pavers Pavers Yeah Ah, and your type a unit was the third one from the? Third one from the left Third one from the north, OK, so Having had a mother who's confined to a wheelchair, I'd suspect She would want to use your ADA Unit that's closest to the the walkway so she could minimize the distance And I'm glad to see that you have an ada compliant parking spot there next to the walkway, which adds another 5 feet in addition to the EV Parking spot that's a great move um Believe that, you've pretty much addressed everything that I had as a concern I have chance to see how well the AC units worked through a four inch duct, that's That's something I hadn't seen before I hope your water usage I mean you've got some very significant plantings going on here, which I know are aesthetic, but I would encourage you to look at trying to minimize the water usage as much as possible because that is going to Becomes even more prevalent concern, almost sure know it would? Minimize potential problems with keeping your plants alive, but also minimize the cost of maintaining those down the road That's all I have, thank you Thank you Richard the we appreciate that The work that you did in response to The previous meeting I applaud again the design and including the Storage is, I think it's very important (Indecipherable) such as this one of the questions I have Excuse me For your manager, what are the sizes of the offices? In the one bedroom They on the upper They're a little smaller on the ground floor because of You need you need To on on ground floor we have some ada style clearances that are required so on the ground floor they are just over 4 feet by about 11 Feet, and they have a big double Door so that it's it's really more of An alcove than Office up on on the upper the second floor They are more like 6 feet by 10 or 11 feet They do not qualify as a second bedroom, in pinch obviously I have put an egress

door Even though that's Not a requirement, I'm sorry window, even though that's not a requirement because of the sprinklering. But it could obviously be used as a nursery And it would be safe But they've got a double barn door with the intent that there sort of an extension of the entry You might have a desk against the far wall, but then if you were holding the zoom call, hopefully that's (Indecipherable) you could shut your barn doors and have a little privacy My only comment is going to be Very tempting for someone to make that a second bedroom, yeah safety wise, that would be legal it does not qualify to be advertised as a second bedroom. I think it's a great project, you're meeting the Demand of City deeply appreciate you reaching out to the schools and all the businesses and fire department Police Department That is where our Open needs are I hope your Very very successful Thank you very much I don't have any questions at this time Opp do you have something else just one spot for clarification I am just confused on something Under the air conditioning unit, says if any Issues or complications arrives The applicant will install individual air conditioning units We are We are planning the ducting Right, it says that But I'm I'm wondering what it means when we say If any issues or complications Arise the applicant will install individual air conditioning units And what is an issue or complication I think that that the way that that should be worded is that the The management of the apartment complex Will be striving to keep their tenants comfortable and happy and If there are issues Then we have provisions so that we can Remedy a situation where and this this exactly what what Mr Smith said is exactly what our energy consultant has told us with the fire problems in the summer We cannot rely on always being able to leave our windows open (Indecipherable) summer So under is his Well, the way it reads to me and I don't I want to make sure that We're not Was this a condition of approval No, this might have been my this was a Comment that I Made and it might have been my misunderstanding, but and Rebecca and speaking with you, I thought that you know if some issues were to arise with your Proposal with the Air conditioning unit You would remedy the situation by Installing other units oh to help with approval, but not after the Bill, because you need infrastructure to support that Right right (Indecipherable) the info that we have from our builder who's installed these units before is that and in talking with our energy consultant is that these units shall suffice with the that the portable units shall suffice with the level of insulation that we're planning with the care

that's gone into shading the the fenestration That that these should suffice in those weeks where it's hot and it's smokey and we've got to Be shut down Thanks, sorry All right? Excuse me, notice as a public hearing, if there is someone here, but I Just speak to this application Anyone on the call like to comment on this application now it's your opportunity OK please you say your name for the record? Steve Linden, 441 Angela Drive, just down the road from this place. First of all, would like to thank everybody there for what they do, lot of work very few pats on the back I understand lot of work and not easy doing this stuff. Sure most of the comments you get are negative I'll try to keep mind not so negative First of all, would like would like for everyone pz council everybody to step back and look at big picture with this overlay district and that it is going fairly smooth right now I think it's been in line for couple of three years now. But if we actually take a look at what have here in small space, thinks it is well designed and I like this project by the way but it what's troubling that with what we have with empty lots in this high density overlay district and multiply this space times the empty lots I don't have the number right now because I didn't have time to do my homework but this is where we are going and going to have a very very large population of people if this whole district gets built to this degree. My question to everyone is is this what we want? And That's all. As for this particular design, I think it is great again perfect place for this whole scenario (Indecipherable) whole deal for people. His big concern is on Main Street where got this crosswalk those kids are coming across at south end south east corner of the grocery store, I think that's needs to be abandoned and force pedestrian traffic 1 one block north up to the light just for safety reasons. We are going to start seeing this whole area get developed and when we got a concern like seeing on southern end of town the new buildings down there. Drainage is always a huge issue, this is in the 500 yr. floodplain, where it coming down from Indian creek, saw a last year think it was August 1<sup>st</sup> saw a big big rain and probably you know a 100-year event but as this stuff gets developed going to have drainage issue goes all down into my backyard. As we develop this let's keep an eye on that. Finally, just real quick comment when presenters are walking away from podium it becomes impossible for people out here remotely to understand what's happening. So just kind of (Indecipherable) moving forward if guys want to continue including us to that degree. That's all I have thank you for your time.

Thank you steeve, I apologize I kept meaning to tell the person to take the microphone with them My apologizes for not catching that thank you for making me more aware of it Yes, I have a comment. Go ahead. Matt Gelso, live at 411 Northstar, over kind of by Steve on other side of street. Want to thank commissioner's madam chair the developer Rebecca she (Indecipherable) thought this through think it is a great project overall great goals. Fire fighters (Indecipherable) Plan is good, colors are good, (Indecipherable) is good, overall. Only comment is parking, (Indecipherable) but I would encourage commissioners to consider that many of the one bedroom may have couples most couples own two cars. (Indecipherable) madam chair I am going to interrupt its necessary for us to be able to transcribe the record. I think we might have trouble with this. We are having difficulty hearing you Mr. Gelso if you could get a little closer to your mic it could be very helpful. Thank you for suggesting that. Is this better Yes Yes ok anyway as I was saying there could be as many as 50 more cars associated with this, and 27 spaces not a lot. I realize that (Indecipherable) to code but still does get you somewhere that you could be creating a structure parking deficit in this area. I hadn't even though of this If you do more of this develop this dense that's going to add more and more parking that is going to get even worse in winter with snow removal they could be spilling over to Marketron building (Indecipherable) Albertsons parking I would encourage commissioners to think of parking concern and ask for some parking so we don't have this problem down the line with development. That's all I had to say thank you for your time. Thank you for your comments Anyone else like to speak to this application? Going once All right? We will close the public hearing and I'm not sure if there's anything that you would simply like to respond to you, but move to the applicant to give the opportunity to respond Thank you, Madam Chair I understand the parking concerns I also would like to say we have met the code and Besides being a licensed architect, I'm a certified planner and I know a lot about what happens with parking roads People using public transportations, etc. sometimes there is sort of a painful transition of going from a lot of parking And and High ways the old adage was You just build more, right? Well, what that does is just encourage people to drive more, buy more cars Keep taking the freeway rather than changing their habits, I think That, given our climate issues and our our desire for walkability and our downtown and our probability for people to live in the downtown, we're in

a bit of a transition where we are transitioning from everybody Having two cars and I really applaud the city for The way their code Is written at this point I think there maybe maybe may need to be some creative solutions in the future for the issue of snow removal But uhm I think that these are very, very solvable problems and I actually believe that we're at the cusp of becoming a bit of a different society, and people having alternatives to everybody in the House having a vehicle. thank you Thank you Any further comments Madam Chair I do have some edits to the conditions of approval Also, when you're ready we can go through those OK, well I think you need to hear these comments you then there's another one I would like to add on if Dan doesn't do so is to supply those photo metrics. I would be satisfied if they just provide that to staff don't think you need to come back to us, necessary, but no, but as a condition Yeah, well, if that's necessary I don't know if they had an objection to that. We have no objection to any of the conditions. Well we can add it as a condition if you like. I do think it needs to be addressed before The building permits However that will work So commissioners This is a well-designed project The designers, the architects that done their homework Now they have followed the code It's like they laid the code book opened and examined the project right next to it, and that's makes some relief there for all of us While I don't share Rebecca's optimism I think it would be nice if we could be less car conscious But I can't see The American love affair with the cars going away Anytime soon, now, that doesn't solve the problem, but I Don't know what the solution is People are always going to have more cars Because land is (Indecipherable) up here and it's expensive It's hard to give up land you can live for land you can park on though we have both to and I agree that 27 units Will more than likely have 54 cars How does that resolved its just sort of ignored and people park where they can. I would like to see and we brought this up in pre design I would like to see the gap between 18 one bedroom units 9 2 bedrooms closed I think you've got a nice lodging going You have some floors that have two bedroom units one bedroom units below I understand structural considerations I understand you make the project pay for itself And that comes through the rental incomes and things like that But it's a nice project ladies, and I think it fits in The location its in and I'd like to see the built We can certainly have more living units I'm not I'm glad there's going to be a four way stop at that intersection I go through that intersection a dozen times a day people have a 4 way stop

down by Les Schwab and go down to next intersection think there's another four way stop so they and they look at me and they pull out in front of me because they think I'm going to stop, especially on my motorcycle, so I almost always stop so I think this is a nice project but I would like to see it, it almost seems anti-family I would like to see some more two bedroom units if you could make the parameters work. Thank you Owen. I like the way you addressed the previous concerns that we made it added value to that process it wasn't really discussed, but I also saw we attempted to really spell out fire safety and fire exiting, which was something that we had talked about, but it wasn't really necessarily against code and I think you did a good job getting that to as safe as it can be and I appreciate that I like the concept of an all-electric building and that has instantaneous effects not only as we get greener, but for we're the third greenest state in the United States, so once you're on the power grid automatically more green the layout is good I like the idea of the apartment monset with the possible office or study or whatever we're going to call it, I think that can be a gap for transitional families especially since it is safe and we're learning that we can move smaller I share the concern with parking I would have been your target renter for a very long part of my life and my top car was routinely towed which is a burden on somebody that is an essential worker and we are attempting to support essential workers and we're bending over backwards or like we are doing everything we can to support our social workers taking their car away in the middle of the night because they had the party illegally is a concern now that's not your concern that's our concern, and that's something that I've been talking about it at every single one of these meetings now the way we get greener is the cars get greener I don't think we just presume that people are going to walk to work so you've met all the requirements you've built a beautiful design you've followed all of our recommendations I applaud what you guys are doing. Thank you Dustin. I think you did a great job I wasn't at the first meeting, but I do appreciate all the effort that you put into match up my comments earlier regarding minimizing water use think those kind of things I think are applicable across the board and I do hope that you could maybe make some adjustments use some xeriscaping something like that if possible I do think it's a beautiful project I'm going to fit the need that we have obviously did your homework there and gives a very strong indication as if we didn't already have that this will fill

a need Uh, now unfortunately, the parking issue is one that we are Constrained by the Ordinance, I mean, that is what the ordinance says That is what's required and you have met the the code that we have out there Again, it may be something that we need to take another look at in the future I've often thought that maybe 1 parking space per bedroom would be more appropriate Something like that, although tonight yeah Couples in one bedroom there's Probably going to be more than one car Just to keep peace in The family, if nothing else But anyway, thank you very much for all the efforts that you've made here And I do think that working with Mr. Reuter I've worked with him a Little bit, I think his recommendation probably provide you with some long term benefits With the increased insulation and Less cost to your Residence now Thanks again Richard Thank you for your work and design on the project I think the Parking issue is an issue that we're going to have to Talk about it At another time because you are meeting the code For your project I think your project is you work very hard to make it successful and I hope you are successful thank you Richard. I also wanted to reiterate always appreciate your responsiveness with Certainly, in fact in this case Also, we are glad you spoke with the fire Chief and You know we are comfortable Those concerns And also I want to say that The owners that the intent of this project is also sincerely appreciated that we have been seen and and this is trying to address that and and with the addition of adding two of the units being deed restricted Is is generous and so m(Indecipherable) You know, once again, parking Now we do not know what's going to happen with that And the concerns Are valid but but the project is certainly compliant and you know I may not be quite as hopeful as Rebecca either However, part of this is so people can live in Hailey and work in Hailey that requires less transportation, I would hope So I think this is a nice project and it gets you know well designed and very thoughtful and, you know, we appreciate that as well I so don't think anything else I'm going to add is not already been said so In that case, do we have a motion madam chair Oh, I'm sorry Robyn that's ok conditions That's all right, so I would like to Add a little roman numeral 2 that reads a right of way maintenance agreement shall be adopted by Council prior to issuance of the certificate of occupancy And then I would like To add condition K Which says the applicant shall submit a photometric Plan prior to issuance of building permit And I just I'm sorry to throw this in, but I just had one quick question cause I know that you're trying to not

have that be through there where the bollards are removed and then there's a curve What is going to be? What are you going to do to prevent that from being Gone through by other than fire It will be a Bonafede curve and it can paint it red if we need to, but it will indicate that it is the end of the parking lot That's not to say somebody Could not go down there but but What we're what we're really trying to do is make the parking lot at dead end so that we don't have people taking shortcuts through our property endangering children That you know might have a basketball hoop or something in that parking area I forgot it was going to be a full curve It will be a full curve squared curved not rolled it will say end of parking lot and Do not exit Thank you and yes, we are here in full agreement in cooperation With all of the suggested conditions OK, as amended, amended just to clarify, though, the photometric study was just for the Parking lot lighting Correct, correct you look like you had downcast Dark Sky compliant fixtures on the building itself So yeah, the parking area would be where we could potentially see some light trespass We don't want And we don't want and if we find that it is, we will adjust accordingly All right, in that case do we have a motion madam chair I'd like to make a [9:15:05 PM](#) motion To approve the design review application By **Kazuko-San ID, Kazuko say it again Kazuko LLC, for construction of three (3) multifamily residential buildings, for a total of twenty-seven (27) residential units, to be located at Sublot 4B, Block 1, North Hailey Plaza, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 18, and City Standards, provided conditions (a) through (k) are met** As amended as amended second. Thank you all those in favor. I I I I. Thank you Thank you very much, Commissioner thank you staff.

**Meeting Minutes**  
**HAILEY PLANNING & ZONING COMMISSION**  
**April 18, 2022**  
**Virtual and In-Person Meeting**  
**5:30 p.m.**

From your computer, tablet or smartphone: <https://meet.goto.com/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

**Present**

**Commission:** Dan Smith, Richard Pogue, Janet Fugate, Dustin Stone, Owen Scanlon

**Staff:** Mike Baledge, Robyn Davis, Paige Nied, Jessica Parker

[5:30:32 PM](#) Chair Fugate called to order.

[5:30:45 PM](#) Public Comment for items not on the agenda.

[5:31:26 PM](#) Consent Agenda

**CA 1** *Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes twenty-seven (27) units in total, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units. Twenty-eight (28) onsite storage units and 27 onsite parking spaces are also proposed. The project will be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project will be known as Saddle Lofts. **ACTION ITEM.***

[5:31:42 PM](#) Pogue motioned to approve consent agenda. Smith seconded. All in Favor.

**Public Hearing**

**PH 1** [5:32:00 PM](#) Continuation of a Design Review by Flowing Wells, LLC, for construction of a commercial building consisting of a 7,994 square foot warehouse with an attached 2,108 square foot showroom to be located at Lot 7H, Block 4, Airport West Subdivision (1930 Embraer Way) within the SCI Industrial (SCI-I) Zoning District. This project will be known as Sun Valley Auto Club. **ACTION ITEM.**

[5:32:33 PM](#) Nied introduced project and turned floor to applicant to discuss changes from last hearing. Sam Stahlnecker introduced herself, discussed changes to civil plan – relocation of sidewalk allowing for drainage to culvert. Stahlnecker confirmed applicant has contacted FAA and pending response from them. Stahlnecker turned floor to Dean Hernandez. Hernandez summarized meeting with Hailey Tree Committee, memo received from the committee right before meeting and was handed out. [5:36:15 PM](#) Chair Fugate asked if the trees removed, if there is an option to relocate the trees. Hernandez explained there is not a way to spade the trees safely due to location of water line and ash trees that size do not relocate well. [5:37:13 PM](#) Smith asked why eliminating 4-inch caliper trees and replacing with 2 to 2.5 calipers.

Hernandez explained proposed trees are new to market and does not have available in 4 inch caliper. Hernandez explained various reasons, summarizing smaller trees adapt faster. Davis confirmed that is correct, city staff has been working with Hailey Tree Committee to bring an amendment to required size of caliper for trees – reducing size to 2 or 2.5 inch caliper.

[5:39:29 PM](#) Smith asked if these will be similar in appearance to the ash trees. Hernandez explained the ginko is not quite as broad, but will be very similar in branching out. Hernandez noted the ash trees are no longer on the city tree list. [5:40:47 PM](#) Scanlon noted had added windows to south elevation and that helps a lot. Scanlon asked how the rain gutter is going to be, location of downspouts. Brian Opp stated will have downspout on either end and drain to surface. Scanlon asked I downspouts will be same color as siding. Opp confirmed.

No further questions from commission.

[5:42:28 PM](#) Chair Fugate opened public comment.

[5:42:57 PM](#) Chair Fugate closed public comment.

[5:43:05 PM](#) Stone asked staff if condition I is still applicable. Nied explained the FAA is pending, and that can modify that condition. Staff confirmed will eliminate that condition, new conditions A-L.

[5:44:10 PM](#) Pogue and Smith have no comments or questions, appreciates applicant's willingness.

[5:44:46 PM](#) Stone asked if the FAA will cause issues with applicant. Opp stated he is not concerned, and that for time line purposes believes ok.

[5:45:34 PM](#) Chair Fugate confirmed the material is being submitted to the FAA. Chris Pomeroy and FAA does not believe that will be a concern.

[5:46:08 PM](#) Stone is concerned about the water going to the surface asked if there is a plan for that. Stahlnecker confirmed there are a couple of drywells proposed onsite. Commission and applicant discussed location of drywell and drainage. Applicant is good with added condition m regarding drywell underwater connection from all downspouts.

[5:49:03 PM](#) Commission and applicant discussed options from drainage for downspouts, Scanlon expressing concern of freezing with piping water underground. Applicant will work together to address freezing concern with running the connection from downspouts to drywell underground.

[5:51:34 PM](#) Stone motioned to approve the Design Review Application by Flowing Wells, LLC, represented by Brian Opp of Opp Construction Inc., for a 10,102 square foot vehicle storage warehouse and showroom with two (2) onsite parking space. The project is located on Lot 7H, Block 4, Airport West Subdivision #2, in the SCI Industrial Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (m), as modified are met. Scanlon seconded. All in Favor.

**PH 2** [5:53:32 PM](#) Consideration of a Design Review Application by Kruger Industrial Smoothing, LLC, for construction of a new 2,400 square foot commercial building, to be located at Lot 11 and 12, Block 43, Woodside Subdivision, within the Light Industrial (LI) Zoning District.  
**ACTION ITEM.**

[5:53:47 PM](#) Davis introduced project and turned floor to applicant. Todd Hunter, owner of Idaho Lumber, introduced himself and the applicant team. Hunter explained business concept of 3 businesses in 1 but as business has grown increased traffic has prompted them to move rental equipment to a separate area. Hunter explained location of project in south Woodside, and drainage plan. Hunter stated building will be wired for solar and will be utilizing some solar. Hunter noted potential EV wiring proposed.

[5:58:25 PM](#) Stone asked if plan on treating this as a retail location. Hunter explained will sell anything a client may need associated with equipment to be rented. Hunter confirmed this will be rental equipment.

[5:59:30 PM](#) Scanlon asked if chain link fence is allowed. Davis confirmed it is. Hunter stated working with local company that would like fence to be a wrought iron post fence, with a rustic look. Hunter stated chain link will be last option. Scanlon confirmed no overflow of lumber. Hunter confirmed businesses would not be mixed. Scanlon asked about energy conservation. Hunter stated hoping to use solar, building is insulated well, electric heat on inside of the building. Scanlon asked if applicant feels met code requirements for energy conservation. Hunter confirmed, also noting that getting quote for EV charging station.

[6:01:51 PM](#) Pogue encourages applicant to try to shield some of the equipment in the lot with the fencing. Hunter agrees.

[6:02:22 PM](#) Smith asked how the breakroom would be ADA complaint with break room upstairs. Hunter stated there will be a break space right beside office and that will be ADA compliant. Smith asked if EV wiring is now considered a way to be compliant with energy saving. Davis confirmed that has not been adopted. Smith asked about roof top wiring is also not currently part of the code. Smith questioned chain link being allowed. Davis confirmed staff will review code again regarding approved materials and work with applicant.

[6:05:46 PM](#) Chair Fugate asked about the building being foamed in. Commission discussed current code requirements for approved energy conservations.

[6:07:56 PM](#) **Chair Fugate opened public comment.**

[6:09:07 PM](#) **Chair Fugate closed public comment.**

[6:09:20 PM](#) Commission and staff discussed proposed conditions with applicant. Applicant is comfortable with conditions proposed.

[6:14:36 PM](#) Commission reviewed proposed materials to be used – metal siding horizontal and vertical proposed.

[6:17:15 PM](#) Scanlon suggested increasing roof insulation to R60 to meet current energy saving requirements.

[6:19:05 PM](#) Scanlon motioned to approve the Design Review Application submitted by Kruger Industrial Smoothing, LLC, for construction of a new 2,400 square foot commercial building, to be located at Lot 11 and 12, Block 43, Woodside Subdivision, within the Light Industrial (LI) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code Titles 17 and 18, and City Standards, provided conditions (a) through (m) are met. Smith seconded. All in Favor.

**PH 3** [6:20:58 PM](#) Consideration of a City-Initiated Text Amendment to the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.02: Definitions, Section 17.02.020: Meaning of Terms or Words, to add the various definitions of solar energy systems to provide clarity and opportunity concerning the development of solar resources. **ACTION ITEM.**

[6:21:25 PM](#) Nied introduced project, explaining lack of definitions for solar definitions was found in SolSmart review. Commission discussed definitions provided. [6:23:54 PM](#) Stone asked where staff got numbers. Nied explained a lot came from SolSmart. Smith noted possible type, staff agreed to change.

[6:26:58 PM](#) Chair Fugate opened public comment.

[6:27:24 PM](#) Chair Fugate closed public comment.

[6:27:40 PM](#) Chair Fugate believes this will be very helpful in the future. Smith asked if there were any concern to bring to attention regarding code requirements. Baledge noted need for rapid shutdown switch and access to roof.

[6:32:06 PM](#) I, Dan Smith, move to recommend approval to the Hailey City Council an Ordinance amending Hailey Municipal Code,, Title 17: Zoning Regulations, Chapter 17.02: Definitions, Section 17.02.020: Meaning of Words or Terms, to add the various definitions of solar energy systems to provide clarity and opportunity concerning the development of solar resources, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare. Pogue seconded. All in Favor.

#### **Staff Reports and Discussion**

**SR 1** Discussion of current building activity, upcoming projects, and zoning code changes.

- Memorandum to City Council: FY CIP and Capital Budget

**SR 2** Discussion of the next Planning and Zoning meeting: **May 2, 2022.**

- Continuation of DR McCloud
- PUD & Pre-App: 40 Mckercher
- PP: Bullion Square

[6:33:27 PM](#) Davis summarized memorandum regrading DIF provided by city staff, explaining will go to City Council. Davis summarized upcoming projects. Davis requested to start May 16<sup>th</sup> meeting at 5 PM instead of 5:30 PM. Commission agreed.

Smith would like to have discussion regarding current code and modifications – energy, parking requirements in DRO, and lighting and to have separate meetings for DIF meetings.

**6:39:56 PM Stone motioned to adjourn. Scanlon seconded. All in Favor.**

**April 18, 2022 - Verbatim Transcript for Saddle Lofts project. Findings of Fact, Conclusions of Law and Decision Approval by Planning and Zoning Commission**

[Planning and Zoning 20220418-1730 01d85349feccd1200.mp3](#)

5:30pm Chair Fugate: I would like to the call the Planning and Zoning Commission of April 18, 2022, in-person and virtual meeting, to order. First order of business is for items not on the agenda. If there is anyone here that would like to speak to something we will not be discussing later on, now is your opportunity to do so, and it's also my opportunity to remind everyone to please adjust any device, as it might interrupt proceedings later. Is there anyone here or on the call that would like to speak to something that is not talked about later? Hearing no response, we will move onto the Consent Agenda, of which there is only one item. May I have a motion or does anyone need to discuss that agenda item?

Commissioner Pogue: Madam Chair, I move to approve the Consent Agenda. Commission Smith: Second. Chair Fugate: Thank you, Richard. Thank you, Dan. All those in favor? Commissioner Scanlon: I. Commissioner Stone: I. Commissioner Smith: I. Commissioner Pogue: I. Chair Fugate: I. Chair Fugate: Very good.

**Return to Agenda**



# Design Review Pre-Application

Submission Date: 11/29/2021

Project Name: Saddle Lofts Parcel No. RPH0444000004B  
 Legal Description of Property: Subdivision North Hailey Plaza Lot(s) Sublot 4B, Block 1  
 Street Address of Property: No street address at this time  
 Current Zoning of Property: B and DRO Year of original construction: N/A  
(Only applicable if property is within the Townsite Overlay)  
 Existing building gross sq. ft. (if applicable) N/A Proposed addition or new construction sq. ft. \_\_\_\_\_

Name of Owner of the Property: Kazuko-San ID, LLC  
 Mailing Address: 4468 Via Alegre City: Santa Barbara State: CA Zip: 93110  
 Phone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Cell: ( ) (805) 705 - 7640  
 Email Address: bmreichard@gmail.com

### Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any ex parte discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: Bruce Reichard Date: 11 26 21

Name of Individual to contact on behalf of Trust or LLC (if applicable): Bruce Reichard  
 Mailing Address: 4468 Via Alegre City: Santa Barbara State: CA Zip: 93110  
 Phone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Cell: ( ) (805) 705 - 7640  
 Email Address: bmreichard@gmail.com

Application Contact (if different than above): Rebecca F. Bundy  
 \*\*Application Contact will be the Planning Department's primary point of contact for questions related to the application.  
 Mailing Address: PO Box 2313 City: Ketchum State: ID Zip: 83340  
 Phone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_ Cell: ( ) (208) 720 - 1832  
 Email Address: rebecca@rfbundydesign.com  
 Signature: Rebecca Bundy Date: 11/23/21

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

### FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

<input type="checkbox"/> Commercial, Mixed-Use or Multi-Family.....	\$ 250.00
OR <input type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Dwelling Unit in Townsite Overlay.....	\$ 250.00
OR <input type="checkbox"/> Accessory Structure.....	\$ 250.00
OR <input type="checkbox"/> Retainer.....\$250, \$500 or \$1000 (depending on complexity of project) .....	\$ 250.00
Publication cost.....	\$ 50.00
Mailing (# of addresses _____) x (_____ postage + .15 paper, envelope & label) .....	\$ _____
<b>Total Due</b> .....	\$ _____

# DESIGN REVIEW - CHECKLIST

Project Name:

Saddle Lofts

City Use Only -

Certified Compete by: \_\_\_\_\_

Date: \_\_\_\_/\_\_\_\_/\_\_\_\_

The following items must be submitted with the application for the application to be considered complete (✓):

- The design review application form, including project name and location, and applicant and representative names and contact information.
- One (1) eleven inch by seventeen inch (11" x 17") and one electronic copy showing at a minimum the following:
  - Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area.  
Note: A vicinity map must show location of adjacent buildings and structures.
  - Site plan, to scale, showing proposed parking, loading and general circulation.
  - One colored rendering of at least one side of the proposed building(s).
  - General location of public utilities (survey not required)
- Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Halley Planning staff upon request.
- Names and addresses of easement holders within subject property.
- Other information as required by the Zoning Administrator, Hearing Examiner or Commission.

**City Use Only:**

- Double check address
- Advise applicant if Lot Line Adjustment is needed
- Check following basic standards:
  - Density
  - Setbacks
  - Height (plans must show elevation points of record grade)
  - Lot coverage
  - Floor area
  - Parking (# of spaces)

# DESIGN REVIEW - CHECKLIST

Project Name:

Saddle Lofts

Sublot 4B, Blk 1, Hailey North Plaza

City Use Only -

Certified Complete by: FD

Date: 12 / 06 / 2021

The following items must be submitted with the application for the application to be considered complete (✓):

- The design review application form, including project name and location, and applicant and representative names and contact information.
- One (1) eleven inch by seventeen inch (11" x 17") and one electronic copy showing at a minimum the following:
  - Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area.
 

Note: A vicinity map must show location of adjacent buildings and structures.
  - Site plan, to scale, showing proposed parking, loading and general circulation.
  - One colored rendering of at least one side of the proposed building(s).
  - General location of public utilities (survey not required)
- Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- Names and addresses of easement holders within subject property.
- Other information as required by the Zoning Administrator, Hearing Examiner or Commission. *written description sun study*

City Use Only:

- Double check address *no address*
- Advise applicant if Lot Line Adjustment is needed
- Check following basic standards:
  - Density
  - Setbacks
  - Height (plans must show elevation points of record grade) *v 35'*

- Lot coverage
- Floor area
- Parking (# of spaces)

*proposed = 39.6%*

*side(N) = 5' - 1.9"*

*side(S) = 3' - 9/8"*

*Front = 2' - 5/16"*

*Rear = 26' - 8 5/16"*

*.53 acres (23,087 sq ft)*

*Bo. DPO*

*average unit size = 681 sq ft*

*Building A = 2719 sq ft*

*Building B = 2719 sq ft*

*Building C = 1880 sq ft*

*= 9098 sq ft*

*proposed:*

*- 25 uncovered (18 standard, 1 ADA, 6 compact)*

*- covered = 3 (1 ADA van, 1 standard, 1 compact)*

*- improved POW = 5 spaces*

*2 + 11 + 9 = 28 units proposed.*



115 MAIN STREET S. SUITE H  
 HAILEY, ID 83333  
 PHONE: (208) 788-4221  
 FAX: (208) 788-2924

INVOICE #	INVOICE DATE
111844228	11/30/2021
DUE DATE	CUSTOMER ACCOUNT NUMBER
12/01/2021	10071
AMOUNT DUE	TERMS:
311.56	Open Terms

BILL TO:

**Kazuko-San ID, LLC**

4468 Via Alegre  
 Santa Barbara CA 93110

PLEASE DETACH AND RETURN THIS TOP PORTION WITH  
 YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY  
 115 S MAIN ST STE H  
 HAILEY, ID 83333

## INVOICE

DESCRIPTION	QUANTITY	CHARGE	EXT. PRICE
PLANNING DESIGN REVIEW PRE APP	1	250.00	250.00
PLANNING PUBLICATION	1	50.00	50.00
PLANNING MAIL	1	11.56	11.56
			311.56
			TOTAL AMOUNT DUE

THANK YOU FOR YOUR PROMPT PAYMENT  
 For Billing Inquiries Call: (208)788-4221  
 Office Hours: 9:00 a.m. - 5:00 p.m.  
 Monday thru Friday

PH and Meeting Checklist		PROOF OF NOTICING REQUIREMENTS MET
Hailey CC	Hearing date:	January 18, 2022
5:30 PM- CC Room		DR PreApp Saddle Lofts
		TA Title 17 Townsite by Sunby
		TA Title 15 Greenbuilding Standards
		TA Title 16 Utilities
		TA Title 17 DR Standards
<b>CERTIFIED COMPLETE</b>	Complete on	Requirement:
12/21/21	12/25/2021	Email Public Notice to Mountain Express
		<b>For vacations:</b> 2 successive weeks in paper, the last not less than 7 days prior. <b>For fees:</b> consecutively 2 weeks prior.
	12/25/2021	Post application documents on website
12/29/21	12/30/2021	Mail Public Notice to adjoining property owners & applicants & published in the Mt. Express; If alternate notice, display ad and post all boundaries. Copy of notice and mailing list in file.
	12/30/2021	Mail Public Notice to public agencies - only applicable for Amendments to Comp Plan, Zoning Ord. & Map, Sub Ord, City Standards, Annexations and ACI. Copy of notice and mailing list in file.
	12/30/2021	Certified mail to affected property owners - only applicable for vacations
	1/11/2022	Post Public Notice on property - only applicable for CUP, Annexation, Planned Unit Development, Rezone, Wireless
	1/13/2022	Email agenda to Commissioners and recipients - for email, BCC "Agenda List" in P&Z Contacts in Outlook
	1/14/2022	Post agenda at City Hall (front & back doors) - at least 48 hrs prior to meeting, at least 24 hrs if a special meeting
	1/14/2022	Post agenda on website
	1/19/2022	Email staff report or findings, agenda and any public comment received to applicant and representative; print copy of sent email for file
	1/19/2022	Place original documents in appropriate file

I HEREBY CERTIFY that the Notice of Public Hearing, Agenda, and packet information pertaining to the meeting specified above was distributed on the dates as shown on the above checklist. This notice package will be placed in the project file(s). SWORN AND DATED this 29 day of Dec, 2022.

Print Name and Title Sessie Penber CDD Initial SP

**NOTICE OF PUBLIC HEARING  
HAILEY PLANNING AND ZONING COMMISSION  
Tuesday, January 18, 2022  
5:30 p.m.**

PUBLIC NOTICE IS HEREBY GIVEN that the Hailey Planning and Zoning Commission will hold a Public Meeting at 5:30 p.m. on **Tuesday, January 18, 2022**, to be held in person, and virtually as a remote telecommunication meeting, and in compliance with the Open Meetings Law. **The phone number to call in for the meeting will be posted on the agenda on the city website by January 14, 2022.** The telephonic Public Hearing will be conducted on the following item(s):

- Consideration of Design Review Preapplication by Kazuko-San ID, LLC, for construction of three (3) multifamily buildings, which includes 22 one-bedroom units ranging in size from 540-702 square feet, and six (6) two-bedroom units, ranging in size from 872-873 square feet, to be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project is to be known as Saddle Lofts.
- Consideration of a Text Amendment submitted by Ian and Sarah Sundby to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, to allow for a maximum lot coverage of forty percent (40%) where at least seventy-five percent (75%) of required parking spaces are enclosed within a structure for lots smaller than 4,500 square feet in size, and located within the General Residential (GR), Limited Residential (LR-1) and Limited Residential (LR-2) Zoning Districts. For those lots that are 4,500 square feet or larger and located within the GR of LR-1 Zoning Districts, maximum lot coverage will remain as noted therein.
- Consideration of a City-Initiated Text Amendment to the Hailey Municipal Code, Title 15: Buildings and Construction, Chapter 15.20: Green Building Standards, to add a new section, Section 15.20.012, entitled Solar requirements, mandating new residential and commercial developments to install solar wiring for solar electricity generation and consumption capabilities.
- Consideration of City-initiated Text Amendment to the Hailey Municipal Code, Title 16: Subdivision Regulations, Chapter 16.05: Improvements Required, Section 16.05.060: Utilities, to amend this standard to encourage electric utilities and make natural gas optional.
- Consideration of City-Initiated Text Amendment to the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.06: Design Review, Section 17.06.080: Design Standards, applicable to (A) Nonresidential, Mixed Family, Or Mixed-Use Building, to modernize the requirements for energy conservation in accordance

with developments in energy saving technology, and to add a new standard regarding progress towards the City's clean energy goals.

Any and all interested persons are invited to attend this public hearing using telecommunication devices or submit written comments or direct questions to the Community Development Assistant at 115 South Main Street, Hailey, Idaho 83333, or [planning@haileycityhall.org](mailto:planning@haileycityhall.org). For special accommodations or to participate in the noticed meeting, please contact the City Clerk 208.788.4221.

DESERT PINE LLC  
BOX 6343  
KETCHUM ID 83340-0000

FIVE B LLC  
C/O PATRICK BUCHANAN  
831 N MAIN ST  
HAILEY ID 83333-0000

HAILEY FF LLC  
PO BOX 1491  
IDAHO FALLS ID 83403-0000

KAZUKO-SAN ID LLC  
4468 VIA ALEGRE  
SANTA BARBARA CA 93110-0000

KELLY SANDRA  
106 NORTH ANGELA DR  
HAILEY ID 83333-0000

LIFE CHURCH WOOD RIVER INC  
PO BOX 3490  
HAILEY ID 83333-0000

LINDBERG PATRICIA B  
114 EMPTY SADDLE TRL  
HAILEY ID 83333-0000

MBS REAL ESTATE LLC  
101 EMPTY SADDLE TRL  
HAILEY ID 83333-0000

MC DONALD'S CORPORATION  
KYLE INC/#13380  
DBA VALLEY FOOD SERVICE INC  
261 4TH AVE N  
TWIN FALLS ID 83301-0000

MOORE DEMI GENE TRUSTEE  
MOORE DEMI FAMILY TRUST  
C/O NIGRO KARLIN SEGAL & FELDS  
10960 WILSHIRE BLVD 5TH FLOOR  
LOS ANGELES CA 90024-0000

NORTHSTAR MEADOWS PROPERTY OWNERS  
C/O BOULDER MOUNTAIN PROP MGNT  
BOX 3821  
HAILEY ID 83333-0000

NUNBERG GEOFFREY D TRUSTEE  
GEOFFREY D NUNBERG 2010 TRUST DATED  
5/13/2010  
C/O PARADIGM TAX GROUP  
PO BOX 800729  
DALLAS TX 75380-0000

PIONEER FEDERAL CREDIT UNION  
250 W 3RD ST S  
MOUNTAIN HOME ID 83647-0000

RIVER STREET APARTMENTS LP  
1812 MADISON AVE  
NAMPA ID 83687-0000

SEVEN S LLC  
1106 CLUB PL  
BATON ROUGE LA 70810-0000

TREVINO JAMIE M  
BAKER TAWNI L  
750 NORTHSTAR DR  
HAILEY ID 83333-0000

WILLIAMS LATHAM L TRUSTEE  
WILLIAMS FAMILY TRUST  
PO BOX 3639  
KETCHUM ID 83340-0000

**IN THE DISTRICT COURT FOR THE FIFTH JUDICIAL DISTRICT FOR THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE**

IN RE: Remi Glynnyraye Torioro  
Legal Name

Case No. CV07-21-582  
NOTICE OF HEARING  
ON NAME CHANGE  
(Adult or Emancipated Minor)

A Petition to change the name of Remi Glynnyraye Torioro now residing in the City of Hailey, State of Idaho, has been filed in the District Court in Blaine County, Idaho. The name will change to Remi Glynnyraye Trapp. The reason for the change in name is: I would like to honor my step-father Jon Dale Trapp by taking his last name as he has raised me as his own since I was five years old.

A hearing on the petition is scheduled for 11 o'clock a.m. on 1/12/2022 at the Blaine County Courthouse. Objections may be filed by any person who can show the court a good reason against the name change.

Date: 11/23/2021

CLERK OF THE DISTRICT COURT

C Compton  
By /s/ C Compton  
Deputy Clerk

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 8, 15, 22 & 29, 2021**

**IN THE DISTRICT COURT FOR THE FIFTH JUDICIAL DISTRICT FOR THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE**

IN RE: Ione Racheal Baumann  
Legal Name

Case No. CV07-21-583  
NOTICE OF HEARING  
ON NAME CHANGE  
(Adult or Emancipated Minor)

A Petition to change the name of Ione Racheal Baumann, now residing in the City of Bellevue, State of Idaho, has been filed in the District Court in Blaine County, Idaho. The name will change to Ione Racheal Garcia. The reason for the change in name is: Divorced.

A hearing on the petition is scheduled for 11:30 o'clock a.m. on Jan. 4, 2022 at the Blaine County Courthouse. Objections may be filed by any person who can show the court a good reason against the name change.

Date: 11/23/2021

CLERK OF THE COURT  
Stephen McDougall Graham

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 8, 15, 22 & 29, 2021**

**IN THE DISTRICT COURT OF THE FIFTH JUDICIAL DISTRICT OF THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE**

**IN THE MATTER OF THE ESTATE OF RANDALL LYNN TOWNSEND, Deceased.**

Case No. CV07-21-00804  
NOTICE TO CREDITORS  
(I.C. 15-3-801)

NOTICE IS GIVEN that the undersigned has been appointed personal representative of the above-named decedent. All persons having claims against the decedent or the estate are required to present their claims within four (4) months after the date of the first publication of this Notice or said claims will be forever barred.

Claims must be presented to the undersigned at the address indicated below and filed with the Clerk of this Court.

DATED this 7th day of December, 2021.  
  
/s/ Kathie Rose Townsend  
Kathie Rose Townsend  
4604 Lincoln Road  
Caldwell, ID 83605  
Tel: (208) 880-0798

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 15, 22 & 29, 2021**

**IN THE DISTRICT COURT FOR THE FIFTH JUDICIAL DISTRICT FOR THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE**

IN RE: Samantha Stuart Ware  
Legal Name

Case No. CV07-21-610  
NOTICE OF HEARING  
ON NAME CHANGE  
(Adult or Emancipated Minor)

A Petition to change the name of Samantha Stuart Ware, now residing in the City of Bellevue, State of Idaho, has been filed in the District Court in Blaine County, Idaho. The name will change to Beth Stuart Ware. The reason for the change in name is: I've always gone by my old middle name Elizabeth and want to make it official.

A hearing on the petition is scheduled for 9:00 o'clock a.m. on Jan. 18, 2022 at the Blaine County Courthouse. Objections may be filed by any person who can show the court a good reason against the name change.

Date: December 7, 2021.

Samantha Stuart Ware  
Typed/printed name

CLERK OF THE COURT  
By: April Piña  
Deputy Clerk

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 15, 22, 29 2021 & JAN 5, 2022**

**IN THE DISTRICT COURT OF THE FIFTH JUDICIAL DISTRICT OF THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE**

**IN THE MATTER OF THE ESTATE OF KIMBERLY M. NEILL, Deceased.**

CASE NO: CV07-21-00344  
NOTICE TO CREDITORS  
(I.C. 15-3-801)

NOTICE IS HEREBY GIVEN that Robert E. Wright has been appointed personal representative of the above-named decedent. All persons having claims against the decedent or the estate are required to present their claims within four months after the date of the first publication of this Notice or said claims will be forever barred.

Claims must be presented to Robert E. Wright, care of Alex Kincaid Law, at the address indicated and filed with the Clerk of the Court.

DATED: December 9, 2021.

/s/ Alexandra Kincaid  
Alex Kincaid Law  
Attorney for Robert E. Wright  
709 S. Washington Ave., Suite B  
Emmett, Idaho 83617

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 15, 22 & 29, 2021**

**IN THE DISTRICT COURT OF THE FIFTH JUDICIAL DISTRICT OF THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE**

**IN THE MATTER OF THE ESTATE OF ANNA IMOGENE BRUCE ROBINSON, Deceased.**

CASE NO. CV-21-614  
NOTICE TO CREDITORS

NOTICE IS HEREBY GIVEN that the undersigned has been appointed personal representative of the above-named decedent. All persons having claims against the decedent or the estate are required to present their claims within four months after the date of the first publication of this Notice or said claims will be forever barred. Claims must be presented to the undersigned at the address indicated, and filed with the Clerk of the Court.

DATED this 10th day of December, 2021.

Paul Bruce Robinson

/s/ Paul Robinson  
By: Paul Bruce Robinson  
420 Eureka Dr., Hailey, ID 83333  
619-339-5607

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 22, 29, 2021 & JAN 5, 12, 2022**

**IN THE DISTRICT COURT FOR THE FIFTH JUDICIAL DISTRICT FOR THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE**

IN RE: Emily Jayne Clemens  
Legal Name

Case No. CV07-21-611  
NOTICE OF HEARING  
ON NAME CHANGE  
(Adult or Emancipated Minor)

A Petition to change the name of Emily Jayne Clemens now residing in the City of Sun Valley, State of Idaho, has been filed in the District Court in Blaine County, Idaho. The name will change to Emily Sawyer. The reason for the change in name is: With the sole intent of having the same last name as my children.

A hearing on the petition is scheduled for 9:15am on 1/18/2022 at the Blaine County Courthouse. Objections may be filed by any person who can show the court a good reason against the name change.

Date: 12/7/2021

/s/ Emily Jayne Clemens

CLERK OF THE DISTRICT COURT  
By: /s/ April Piña, Deputy Clerk

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 22, 29, 2021, JAN 5 & 12, 2022**

**IN THE DISTRICT COURT OF THE FIFTH JUDICIAL DISTRICT OF THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE**

**IN THE MATTER OF THE ESTATE OF PETER A. GAASLAND, Deceased.**

Case No. CV07-21-00619  
NOTICE TO CREDITORS  
(I.C. 15-3-801)

NOTICE IS HEREBY GIVEN that the undersigned has been appointed personal representative of the above-named decedent. All persons having claims against the decedent or the estate are required to present their claims within four months after the date of the first publication of the Notice to Creditors, or within 60 days after undersigned mailed or delivered a copy of this notice to such persons, whichever is later or said claims will be forever barred.

Claims must be presented to the undersigned at the address indicated, and filed with the Clerk of the Court.

DATED this 16th day of December, 2021.

/s/ Susan G. Gaastland  
c/o Perkins Coie LLP  
PO Box 737  
Boise, ID 83701-0737  
(208) 343-3434

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 22, 29, 2021 & JAN 5, 2022**

CASPER J. RANKIN (SBN 9107)  
SYDNEY K. LEAVITT (SBN 8933)  
ALDRIDGE PITE, LLP  
3597 E. MONARCH SKY LN., STE. 240  
MERIDIAN, ID 83646  
Telephone: (208) 908-0709  
Facsimile: (858) 726-6254  
E mail: sleavitt@aldridgepite.com

**Attorneys for Plaintiff NATIONSTAR MORTGAGE LLC D/B/A CHAMPION MORTGAGE COMPANY**

**IN THE DISTRICT COURT OF THE FIFTH JUDICIAL DISTRICT OF THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE**

NATIONSTAR MORTGAGE LLC D/B/A CHAMPION MORTGAGE COMPANY, Plaintiff,

THE UNKNOWN HEIRS, ASSIGNS AND DEVISEES OF CARLA A. ROCHE; SECRETARY OF HOUSING AND URBAN DEVELOPMENT; MIDLAND FUNDING, LLC; STATE OF IDAHO, DEPARTMENT OF HEALTH AND WELFARE; AND DOES 1 THROUGH 20, INCLUSIVE, including all parties with an interest in and/or residing in real property commonly known as 3651 GLENBROOK DRIVE, HAILEY, IDAHO 83333, and legally described as:  
LOT 1, BLOCK 41 OF WOODSIDE SUBDIVISION FINAL PLAT NO. 9, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED AS INSTRUMENT NO. 151026, RECORDS OF BLAINE COUNTY, IDAHO.  
Defendants.

Case No. CV07-21-00570  
SUMMONS FOR PUBLICATION ON COMPLAINT FOR JUDICIAL FORECLOSURE AND DECLARATORY RELIEF

TO: DEFENDANTS THE UNKNOWN HEIRS, ASSIGNS AND DEVISEES OF CARLA A. ROCHE AND DOES 1 through 20, inclusive, including all parties with an interest in and/or residing in real property commonly known as 3651 GLENBROOK DRIVE, HAILEY, IDAHO 83333:

You have been sued by Nationstar Mortgage LLC d/b/a Champion Mortgage Company, the Plaintiff, in the District Court in and for the County of Blaine, Idaho, Case No. CV07-21-00570.

The nature of the claim against you is an action for declaratory relief and judicial foreclosure of the real property currently known as 3651 GLENBROOK DRIVE, HAILEY, IDAHO 83333 and legally described as

LOT 1, BLOCK 41 OF WOODSIDE SUBDIVISION FINAL PLAT NO. 9, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED AS INSTRUMENT NO. 151026, RECORDS OF BLAINE COUNTY, IDAHO.

Any time after 21 days following the last publication of this summons, the court may enter a judgment against you without further notice, unless prior to that time you have filed a written response in the proper form, including the Case Number and paid any required filing fee to the Clerk of the Court at 205 1st Ave. S., Hailey, ID 83333, (208) 788-5548, and serve a copy of your response on the Plaintiff's attorney, Sydney K. Leavitt, at ALDRIDGE PITE, LLP, 3597 E. Monarch Sky Ln., Ste. 240, Meridian, ID 83646.

A copy of the Summons and Complaint can be obtained by contacting either the Clerk of the Court or the attorney for Plaintiff. If you wish for legal assistance, you should immediately retain an attorney to advise you in this matter.

Dated: 12/20/2021

/s/ Ned Williamson  
The Honorable  
Judge of the District Court

CLERK OF THE DISTRICT COURT

By: /s/ Andrea Logan  
DEPUTY

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 29, 2021, JAN 5, 12 & 19, 2022**

**IN THE DISTRICT COURT OF THE FIFTH JUDICIAL DISTRICT OF THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE**

**IN THE MATTER OF THE ESTATE OF JAMES C. HILL, Deceased.**

Case No. CV07-21-00594 NOTICE TO CREDITORS

Idaho Code Section 15-3-801

NOTICE IS HEREBY GIVEN that JULIE L. HILL has been appointed personal representative of the above-named decedent. All persons having claims against the decedent or his

estate are required to present their claims within four (4) months after the date of the first publication of the Notice to Creditors or be forever barred. Claims must be presented to the undersigned at the address indicated and filed with the clerk of the court: Blaine County Court Clerk, 201 2nd Ave. South, Suite 106, Hailey, ID 83333

DATED THIS 20th day of December 2021.

/s/ Joshua Stanek  
Joshua Stanek  
Attorney For Personal Representative Stanek Law, PLLC  
P. O. Box 4439  
Hailey, ID 83333

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 29, 2021, JAN 5, & 12, 2022**

**NOTICE OF PUBLIC HEARING  
HAILEY PLANNING AND ZONING COMMISSION  
TUESDAY, JANUARY 18, 2022  
5:30 P.M.**

PUBLIC NOTICE IS HEREBY GIVEN that the Hailey Planning and Zoning Commission will hold a Public Meeting at 5:30 p.m. on Tuesday, January 18, 2022, to be held in person, and virtually as a remote telecommunication meeting, and in compliance with the Open Meetings Law. The phone number to call in for the meeting will be posted on the agenda on the city website by January 14, 2022. The telephonic Public Hearing will be conducted on the following item(s):

- Consideration of Design Review Preapplication by Kazuko-San ID, LLC, for construction of three (3) multifamily buildings, which includes 22 one-bedroom units ranging in size from 540-702 square feet, and six (6) two-bedroom units, ranging in size from 872-873 square feet, to be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project is to be known as Saddle Lofts.

- Consideration of a Text Amendment submitted by Ian and Sarah Sundry to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, to allow for a maximum lot coverage of forty percent (40%) where at least seventy-five percent (75%) of required parking spaces are enclosed within a structure for lots smaller than 4,500 square feet in size, and located within the General Residential (GR), Limited Residential (LR-1) and Limited Residential (LR-2) Zoning Districts. For those lots that are 4,500 square feet or larger and located within the GR of LR-1 Zoning Districts, maximum lot coverage will remain as noted therein.

- Consideration of a City-Initiated Text Amendment to the Hailey Municipal Code, Title 15: Buildings and Construction, Chapter 15.20: Green Building Standards, to add a new section, Section 15.20.012, entitled Solar requirements, mandating new residential and commercial developments to install solar wiring for solar electricity generation and consumption capabilities.

- Consideration of City-initiated Text Amendment to the Hailey Municipal Code, Title 16: Subdivision Regulations, Chapter 16.05: Improvements Required, Section 16.05.060: Utilities, to amend this standard to encourage electrical utilities and make natural gas optional.

- Consideration of City-Initiated Text Amendment to the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.06: Design Review, Section 17.06.060: Design Standards, applicable to (A) Nonresidential, Mixed Family, Or Mixed-Use Building, to modernize the requirements for energy conservation in accordance with developments in energy saving technology, and to add a new standard regarding progress towards the City's clean energy goals.

Any and all interested persons are invited to attend this public hearing using telecommunication devices or submit written comments or direct questions to the Community Development Assistant at 115 South Main Street, Hailey, Idaho 83333, or [planning@haileycityhall.org](mailto:planning@haileycityhall.org). For special accommodations or to participate in the noticed meeting, please contact the City Clerk 208.768.4221.

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 29, 2021**

**PUBLIC NOTICE**

NOTICE IS HEREBY GIVEN that the Sun Valley Planning & Zoning Commission will hold a public hearing on **Thursday, January 13th, 2022, at 9:00 AM** at City Hall Council Chambers, 81 Elkhorn Road, Sun Valley, ID to hear comments from the public concerning the following items:

- DR 2021-88:** Continued design review application for a new single-family residence at 98 Skyline Drive. The proposed site grading for the south terrace would cause a minor disturbance to a pocket of slope exceeding 25% record grade. The proposed disturbance includes natural boulder retainage to stabilize the slope and fill to lessen the height and visual impact of the terrace site wall. Applicant: Sparano & Mooney Architecture for Kevin & Linda Longe. Location: 98 Skyline Drive; Kuolt Parcel.
- DR 2021-87:** Design review application for a new single-family residence at 31 West Lane Ranch Road. Applicant: Blincoe Architecture for William Davis & Sarah Innes. Location: 31 West Lane Ranch Road; Lane Ranch Subdivision Phase 2 Lot 95A.
- DR 2021-94:** Design review application for a remodel, addition, and attached accessory dwelling unit at the existing single-family residence at 38 East Lane Ranch Road. Applicant: Jarvis Group Architects for George & Leslie Hume. Location: 38 East Lane Ranch Road; Lane Ranch Subdivision Phase 2 Lot 18A.
- SUBPA 2021-05:** Plat amendment application for vacation of the existing 10' utility and irrigation easements within existing Lot 18A. Location: 38 East Lane Ranch Road; Lane Ranch Subdivision Phase 2 Lot 18A.
- SUBPA 2021-08:** Plat amendment application to eliminate the boundary common between Lot 28 of the Dollar Mountain Subdivision and Tax Lot 6145, combining the two to create lot 28B. Location: 101 Skyline Drive; Dollar Mountain Subdivision Lot 28 & Tax Lot 6145.
- DR 2021-89:** Design review application for six new single-family residences in Cluster 8 of the existing Weyyakin Subdivision Phase IV. Applicant: RLB Architecture for Stilwyn Inc. Location: Weyyakin Subdivision Phase 5 Cluster 8; Weyyakin Ranch Sub Lot 15A Block 3.
- SUBPP 2021-10:** Preliminary plat application for a six-unit subdivision in Cluster 8 of the existing Weyyakin Subdivision Phase IV. Applicant: Benchmark Associates for Stilwyn Inc. Location: Weyyakin Subdivision Phase 5 Cluster 8; Weyyakin Ranch Sub Lot 15A Block 3.

Please check the Agenda posted to the city website, prior to the meeting for information regarding remote participation. For in person participation in the meeting please check the city website for information regarding Public Health Order 2021-01. At the aforementioned time, all interested persons may appear in person or virtually and shall be given an opportunity to comment on the matters stated above. Comments and questions prior to the public meeting should be directed to the City of Sun Valley Community Development Department, at PO Box 416, Sun Valley, ID 83353, or emailed to [cdcounter@sunvalley-idaho.gov](mailto:cdcounter@sunvalley-idaho.gov). Written comments received prior to the meeting shall be made part of the public record at the meeting. Application materials are on file in the Community Development Department located in City Hall for public inspection during normal City Hall business hours and can be shared for public inspection through email by request.

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 29, 2021, JAN 5, & 12, 2022**

**IN THE FIFTH JUDICIAL DISTRICT  
COURT OF THE STATE OF IDAHO  
IN AND FOR THE COUNTY  
OF BLAINE**

**IN THE MATTER OF THE ESTATE  
OF RICHARD ALEX JAENICKE,  
KAREN JAENICKE,  
Deceased.**

Case No. CV7-21-550

Notice is given that Megan McEachern of Sun Valley, Idaho, was appointed Personal Representative for the Estate of Richard Alex Jaenicke and Karen Jaenicke on 6 December 2021.

All persons having claims against the Decedents, or the estate are required to present their claims within four months after the date of the first publication of this Notice to Creditors or those claims will be forever barred.

Claims must be sent to the Personal Representative's attorney and filed with the Clerk of the Court.

DATED 23 December 2021

/s/ Paul Ross  
Paul Ross  
PO Box 483  
Paul, ID 83347

**PUBLISH  
IDAHO MOUNTAIN EXPRESS  
DEC 29, 2021, JAN 5 & 12, 2022  
NOTICE OF  
TRUSTEE'S SALES  
NOTICE OF TRUSTEE SALE**

T.S. No. 091605-ID Parcel No.: RP001550020010 NOTICE OF TRUSTEE'S SALE On 4/21/2022 at 11:00 AM (recognized local time), at the BLAINE COUNTY COURTHOUSE FRONT STEPS OLD BUILDING, 206 1ST AVE S., HAILEY, ID 83333, in the County of Blaine, SYDNEY K. LEAVITT, ESQ., a member of the State Bar of Idaho, of ALDRIDGE PITE, LLP as trustee, will sell at public auction, to the highest bidder, for cash, in lawful money of the United States, all payable at the time of sale, the following described real property, situated in the County of Blaine, State of Idaho, and described as follows, to wit: LOT 1, IN BLOCK 2 OF EAST FORK SUBDIVISION NO. 2, BLAINE COUNTY, IDAHO, ACCORDING TO THE OFFICIAL PLAT THEREOF, ON FILE IN THE OFFICE OF THE COUNTY RECORDER, BLAINE COUNTY, IDAHO. The Trustee has no knowledge of a more particular description of the above referenced real property, but for purposes of compliance with Idaho Code Section 60-113, the Trustee has been informed that the address of: 101 SHEEP TRAIL LANE, HAILEY, ID 83333 AKA, 101 SHEEP TRAIL LANE, BLAINE COUNTY, ID 83333, is commonly associated with said real property. Said sale will be made without covenant or warranty, express or implied, regarding title, possession or encumbrances to satisfy the obligation secured by and pursuant to the power of sale conferred in the Deed of Trust executed by DIANA C RECK A SINGLE WOMAN, as Grantor(s), to FIRST AMERICAN TITLE INSURANCE COMPANY, as Trustee, for the benefit and security of MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC., AS BENEFICIARY, AS NOMINEE FOR GUARANTY RESIDENTIAL LENDING, INC., ITS SUCCESSORS AND ASSIGNS, as Beneficiary, dated 11/9/2004, recorded 11/16/2004, as Instrument No. 512810, official records of Blaine County, Idaho. Please note: The above named Grantors are named to comply with Idaho Code Section 45-1506(4)(a); no representation is made that they are, or are not, presently responsible for the obligation. The default for which this sale is to be made is the failure to make monthly payments when due from 8/1/2018 and all subsequent monthly payments thereafter, including installments of principal, interest, impounds, advances, plus any charges lawfully due under the note secured by the aforementioned Deed of Trust, Deed of Trust and as allowed under Idaho Law. The sum owing on the obligation secured by said Deed of Trust as of 12/9/2021 is \$452,923.37 including interest, costs, fees, including trustee and/or attorney fees and costs, and expenses actually incurred in enforcing

**NOTICE OF PUBLIC HEARING BEFORE THE KETCHUM CITY COUNCIL**

Meeting Date:	January 18, 2021
Meeting Time:	4:00 PM, or thereafter as the matter can be heard.
Meeting Location:	City Hall Council Chambers, 191 5 <sup>th</sup> Street West, Ketchum, Idaho. The meeting will be livestreamed at <a href="http://www.ketchumidaho.org/meetings">www.ketchumidaho.org/meetings</a> . Public comment may be given in person or remotely, when the public comment portion of the meeting for this item is opened. The link to join the webinar for the meeting is: <a href="https://ketchumidaho.org/zoom.us/j/84433523671">https://ketchumidaho.org/zoom.us/j/84433523671</a> , meeting ID: 844 3352 3671. This information can also be found on the meeting agenda.
Project Name:	Reitinger Rezone
Project Location:	104 Neils Way (Lot 3 of the Mortgage Row Subdivision, RP05030000030)
Zoning:	Limited Residential – One Acre District (LR-1)
Applicant:	Mark Reitinger
Property Owner:	Mark Reitinger and Rebecca Reitinger
Application Type:	Zoning Map Amendment
File Number:	P21-057
Project Description:	The Ketchum City Council will consider, hear public input, and take action on, a request to Amend the Official Zoning Map of the City of Ketchum. The subject property at 104 Neils Way is currently zoned Limited Residential – One Acre (LR-1). The applicant requests the city consider changing the zoning of the property to Limited Residential (LR).

**A copy of the Staff Report will be available on the City website at the following link <https://ketchumidaho.org/meetings>. The meeting will be livestreamed with the video feed accessible at the same link at 4:00 p.m. the day of the meeting.**

NOTICE IS FURTHER GIVEN that at the aforementioned time all interested persons shall be given an opportunity to comment on the matter stated above. Comments on this project may be provided using the information above. Comments and questions prior to the hearing may be directed to the Ketchum Department of Planning and Building, P.O. Box 2315, Ketchum, Idaho, 83340 or via email to [participate@ketchumidaho.org](mailto:participate@ketchumidaho.org). Written comments received by 5:00 PM, seven (7) days prior to the hearing will be included as an attachment to the staff report. For additional information, please call (208) 726-7801.

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the obligation thereunder or in this sale and to protect the security associated with the Deed of Trust, as authorized in the Note, Deed of Trust or as allowed under Idaho Law. Because interest, late charges, fees, costs and expenses continue to accrue, the total amount due varies from day to day. Hence, if you pay the amount shown above, an adjustment may be necessary after receipt of funds to satisfy the debt. For further information, write the Trustee at 4375 Jutland Drive, Ste. 200, San Diego, CA 92117, or call (866)931-0036 DATED: 12/9/2021 SYDNEY K. LEAVITT, ESQ., a member of the State Bar of Idaho, of ALDRIDGE PITE, LLP.

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**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Special Meeting of January 18, 2022**

**To:** Planning and Zoning Commission

**From:** Robyn Davis, Community Development City Planner

**Overview:** Consideration of Design Review Preapplication by Kazuko-San ID, LLC, for construction of three (3) multifamily buildings, which includes twenty-two (22), one-bedroom units ranging in size from 540-702 square feet, and six (6), two-bedroom units, ranging in size from 872-873 square feet, for a total of twenty-eight (28) residential units. This project will be located at Lot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts, and is to be known as Saddle Lofts.

**Hearing:** January 18, 2022

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**Applicant:** Kazuko-San ID, LLC

**Location:** Lot 4B, Block 1, North Hailey Plaza

**Zoning & Size:** Business (B) and Downtown Residential Overlay (DRO) Zoning Districts; 0.53 acres

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on December 29, 2021 and mailed to property owners within 300 feet on December 29, 2021.

**Background and Application:** The Applicant, Kazuko-San ID, LLC, has submitted a Design Review Preapplication for construction of three (3) multifamily buildings, which includes twenty-two (22), one-bedroom units ranging in size from 540-702 square feet, and six (6), two-bedroom units, ranging in size from 872-873 square feet, for a total of twenty-eight (28) residential units on 0.53 acres (23,087 square feet).

If approved, the project would be located on the east side of River Street, on the corner of River Street and Empty Saddle Trail. The project is located within the Downtown Residential Overlay (DRO), and is proposing the following:

- Twenty-eight (28) onsite parking spaces, which will include:
  - Eighteen (18) uncovered standard spaces
  - One (1) uncovered accessible space
  - Six (6) uncovered compact spaces
  - One (1) covered standard spaces
  - One (1) covered van accessible space
  - One (1) covered compact space

- Nine (9) improved public right-of-way spaces, which will include:
  - Five (5) spaces will serve as guest parking for Saddle Lofts
- Twenty-two (22), one-bedroom units (540-702 square feet in size)
- Six (6), two-bedroom units (872-873 square feet in size)
- Eleven (11) bicycle racks for a total of 22 bicycle parking spaces
- Storage lockers for each unit
- Approximately 3,452 square feet of common useable open space
- Site, public right-of-way and landscaping improvements

Parking for the proposed units will be accessed off of an internal shared drive that connects to the existing public street, Empty Saddle Trail. No alley exists; however, a utility easement exists along the eastern property line and will be utilized as part of the internal drive. The internal drive will be 22' in width and the proposed onsite parking angles are at 90 degrees.

The buildings have been designed to face River Street (west) and Empty Saddle Trail (south). The parking area is located behind the buildings and takes advantage of the existing utility easement that cannot be built upon. The shape and position of the buildings create an elongated courtyard/open space between the parking area and the buildings, which supports various outdoor “rooms” for residents to enjoy. At the north (and sunniest) end of the open space, a play structure is proposed. Just to the south of this is an uncovered, paved gathering area with benches. The outdoor room located just south of this gathering area with benches, there will be another common area covered by a trellis structure, providing filtered light and more shade. At the southernmost edge of the open space, a more naturalized space with a bark path and pet-friendly area are proposed. The Applicant is proposing a total of 3,452 square feet of useable open space (2,299 square feet is required), which will be open to the public and will be available for use by all tenants.

The primary pedestrian entrances will be covered and are located off of River Street and Empty Saddle Trail. The entries to each unit will be accessed via a covered walkway/balcony system located along the rear sides of the building. The buildings, in most places, are setback approximately five feet (5') from the sidewalks to allow for ample landscaping on private property.

The above design is cohesive with the surrounding zoning and uses, that consist of commercial, single-family, and multi-family residential uses.

The Applicant has submitted a site plan, vicinity/neighborhood plan, preliminary landscape plan and colored elevation renderings. A Sun Study capturing various times of sun and shade on the proposed project, as well as a detailed narrative describing how the project meets the DRO Standards and Design Review Standards have also been provided.

**Procedural History:** The Design Review Preapplication was submitted on November 29, 2021. A public hearing before the Planning and Zoning Commission will be held on Tuesday, January 18, 2022, in the Hailey City Council Chambers and virtually via GoTo Meeting.

### Preapplication Design Review:

1. **Required:** An application for preapplication design review shall follow the procedures and be subject to the requirements established by section [17.03.070](#) of this title, and shall be made by at least one holder of any interest in the real property for which the preapplication design review is proposed.
2. **Information Required:** The following information is required with an application for preapplication design review:
  - a. The design review application form, including project name and location, and applicant and representative names and contact information.
  - b. One (1) eleven inch by seventeen inch (11" x 17") and one electronic copy showing at a minimum the following:
    - i. Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: A vicinity map must show location of adjacent buildings and structures.
    - ii. Site plan, to scale, showing proposed parking, loading and general circulation.
    - iii. One color rendering of at least one side of the proposed building(s).
    - iv. General location of public utilities (survey not required). (Ord. 1226, 2017; Ord. 1191, 2015).

### Items for Discussion and/or Items of Note:

1. **Building Design:** The overall building design, undulation features and exterior materials proposed are compatible with other, similar projects in the surrounding area. Various colors and textures are proposed to further reduce the mass of the proposed buildings. The Commission may wish to further discuss the proposed roofline and pitch of the buildings, its effectiveness in reducing the overall mass of the buildings, and its compatibility with the surrounding area.
2. **Water, Sewer and Fire:** This is a Preapplication Design Review. Final drawings that show connection details and fire suppression systems will be required for Design Review.
3. **Streets/Right-of-Ways:** Planning Staff suggests that the Applicant provide irrigation to all landscaping, including street trees. Electrical shall also be installed (for street tree lights and any street lights) during construction. Streetlight placement will be determined by the Public Works Department. If approved, a Right-of-Way Maintenance Agreement will be developed at the time of Building Permit submittal.

The River Street Typical Section is proposed along the property frontage of River Street and Empty Saddle Trail. There have been ongoing internal discussions with regard to hardscape and how to better 'soften' the right-of-way with the utilization of drought tolerant grasses and/or other plantings. The Applicant is proposing to construct a nine-foot (9') wide sidewalk along River Street (this section of River Street is only 70' in width, as opposed to 100' in width farther south). The sidewalk and hardscape will be broken up at various intervals with tree wells in four-foot (4') wide planting strips. Similarly, a ten-foot (10') wide

sidewalk and four-foot (4') wide planting strips will be incorporated along the property frontage of Empty Saddle Trail.

4. **Landscaping and Street Trees:** At this time, the Landscape Plan is conceptual. No plant material has been selected; however, it is anticipated that drought tolerant grasses and groundcover will be utilized, and all materials will be hardy to the Zone 4 environment. The Hailey Tree Committee will review the proposed street tree locations, species and sizes at the next available hearing, tentatively scheduled for February 2022.
5. **Snow Storage:** With regard to the storing of snow, the Applicant intends to haul snow from the site, which is permissible within the zoning district. If snow is stored onsite, be it temporarily or permanently, snow shall not be stored within the useable open space or impact vehicular and pedestrian areas.

## APPLICANT RESPONSES TO APPLICABLE ZONING CODE SECTIONS

### 17.04R.050: MULTI-FAMILY AND MIXED USE DENSITY:

- A. Maximum Residential Units Per Acre: Residential units per acre provisions of the underlying district shall not apply; rather density shall be limited by required open space, parking, landscaping and standards of review from [chapter 17.06](#), "Design Review", of this title. The commission shall have the discretion to modify building design based on the standards in [chapter 17.06](#) of this title.
- B. Dwelling Unit Average Size Requirement: The average dwelling unit size shall be not less than six hundred (600) net square feet per building.

*The average dwelling unit size is 681 net square feet, measured to the inside of the unit's exterior walls.*

### 17.04R.060: PARKING SPACES, SCREENING AND STORAGE REQUIREMENTS:

- A. On-Site Parking Space Requirements For Multiple Family Dwellings And Dwelling Units Within A Mixed Use Building:
1. A minimum of one space per residential dwelling unit, where up to twenty five percent (25%) of required on-site parking spaces may be provided as compact parking spaces. Compact spaces must be signed as such.
  2. At least one guest parking space for every six (6) dwelling units. Unimproved City rights-of-way adjacent to the site that are improved as part of the project shall count towards the guest parking requirement.

*Twenty eight units, with 28 corresponding on site parking spaces, are proposed, including seven signed compact spaces.*

*Project street improvements will result in 9 on street parking spaces, of which 5 will serve as guest parking.*

- B. Useable Open Space, Screening And Landscaping:
1. Useable open space of not less than ten percent (10%) of the total lot area shall be included in the project design. Useable open space shall not include private decks, patios or rooftop gardens.
  2. A landscape buffer between parking areas and residential zone districts may consist of an acceptably designed wall or fence incorporating drought tolerant plantings; and

*The lot area of 22,992 sf results in an open space requirement of 2,299 sf, while 3,452 sf is proposed. The proposed open space is public and available to all tenants.*

*N/A. The project does not abut a residential zoning district.*

3. Minimum distance setbacks in section [17.09.020.11](#) of this title shall not apply.

C. On-Site Parking Dimension: Where the parking angle is ninety degrees (90°), the minimum aisle width may be twenty two feet (22'), as determined through the design review process.

*The proposed on site parking angle is 90°, and an aisle width of 22 feet is proposed.*

D. Storage: All units under five hundred (500) square feet shall be provided with on-site storage suitable for bikes, skis and other similar items. Size, location and design of the storage areas shall be determined through the design review process.

*All 28 units exceed 500 net square feet in size. However, each unit has been provided with a 4' wide by 5' deep storage unit in a facility located on the ground floor of the building.*

**17.06.070: IMPROVEMENTS REQUIRED:**

A. Sidewalks And Drainage Improvements:

1. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.

*Civil engineer, Samantha Stahlnecker, Galena Engineering, Inc., has worked with City staff to develop an acceptable sidewalk system design that addresses City landscaping goals, while also achieving parking, bicycle lane, drainage and other requirements. The right of way on River Street adjacent to the project site, is only 70 feet wide, as opposed 100 feet wide further south on River Street. Therefore, the regular City River Street standards to not fit this application. The applicant team would like feedback on the proposed preliminary design prior to investing effort in final civil engineering documents for the Design Review submittal.*

a. The requirement for sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.

*N/A.*

b. The requirement for sidewalk and drainage improvements may be waived for any remodel or addition to single-family dwelling and duplex projects within the townsite overlay district; sidewalk and drainage improvements shall be required for new principal building.

*N/A.*

c. The city may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage

improvements provided by a qualified contractor, plus associated engineering costs, as approved by the city engineer. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy.

*N/A. Sidewalks and drainage will be completed as part of the proposed project.*

2. Sidewalk and drainage improvements shall be located and constructed according to applicable city standards, except as otherwise provided herein.

- a. In the B and LB zoning districts, the following are required:

- (1) A minimum sidewalk width of ten feet (10');

*A 9 foot wide sidewalk, interspersed with tree wells in 4 foot wide planting strips, is proposed along River Street. In order to satisfy City staff's request for less concrete and more vegetation along River Street, we have proposed long planting strips but will modify as directed by the Commission.*

*Similarly, on Empty Saddle Trail, a 10 foot wide sidewalk with 4 foot wide planting strips in proposed.*

*The applicant teams looks forward to Commission feedback to inform the final sidewalk design.*

- (2) Street trees with tree grates or a landscape buffer between the sidewalk and curb determined to be adequate.

*See item (1) discussion above.*

- b. The developer or city may propose alternatives to either the standard sidewalk location or configuration required.

*The applicant teams looks forward to Commission feedback to inform the final sidewalk design.*

- (1) The council, commission or hearing examiner shall ensure that the alternative configuration or location shall not reduce the level of service or convenience to either residents of the development or the public at large.
- (2) If an alternative location is approved, the cost of construction of the required square footage of sidewalk and linear feet of drainage improvements and the associated engineering costs, as approved by the city engineer, shall be paid by the applicant to the city before the city issues a certificate of occupancy, unless otherwise allowed for in an agreement between the city and applicant. The city shall ensure construction of sidewalk and drainage improvements occurs within two (2) years of the date the funds are received from the applicant.

3. The length of sidewalk and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.

*The length of the sidewalk and drainage improvements will be equal to the length of the subject property lines.*

4. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.

*The proposed new sidewalks will replace the existing sidewalks on River Street and Empty Saddle Trail that do not meet current City requirements. They will continue to connect to the existing sidewalk system in the vicinity and will provide safe pedestrian access to and around the proposed building.*

5. Sites located adjacent to public streets or private streets that are not currently through streets, regardless of whether the street may provide a vehicular connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.

N/A.

- B. Water Line Improvements: In the townsite overlay district, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer.

N/A.

#### **17.06.080: DESIGN STANDARDS:**

- A. Nonresidential, Multi-Family Or Mixed Use Building: The following design standards apply to any nonresidential, multi-family or mixed use building located within the city of Hailey:

1. Site Planning:

- a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible, sun exposure in exterior spaces to create spaces around buildings that are usable by the occupants and allow for safe access to buildings.

*The buildings are located to face River Street (to the west) and Empty Saddle Trail (to the south) with their interior great room spaces facing the street and bedroom/offices facing the rear of the buildings. The parking is located behind the buildings and takes advantage of a utility easement that cannot be built upon. The L-shaped building creates an elongated courtyard (open space) between the parking area and the building that will offer four different outdoor "rooms" for residents. At the north (and sunniest) end of the open space, a play structure is proposed. Just to the south is an uncovered, paved gathering area with benches. South of that is another gathering area covered by a trellis structure, providing filtered light and more shade. Finally, at the southern edge of the open space, there is a more naturalized area with a bark path and opportunities for care of pets. The main pedestrian entrances face the streets (west and south), will receive ample sunlight and will be covered to provide safe access. Finally, the*

*building is set back about five feet from the sidewalk in most places to allow for ample landscaping on private property along the sidewalk.*

- b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than six inch (6") caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the tree guide and shall be a minimum of four inch (4") caliper.

*The existing site contains only wild grasses and weeds and two small, unmaintained trees less than 6" caliper. None of the existing landscape will be preserved or relocated. It will be removed and replaced with appropriate plantings.*

- c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.

*The main pedestrian entrances face the streets (west and south), will receive ample sunlight and will be covered to provide safe access. The apartments will be accessed via a covered walkway/balcony system located along the rear sides of the building. Both a covered walkway, as well as an uncovered path, will provide access from the building to the parking area.*

- d. Building services, including loading areas, trash storage/pick up areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.

*The trash storage/pick up area is located to the rear of both the west and east wings of the building along the eastern property line, and the power box will be located along the north property line at the rear of both wings. Each has its own dedicated space that does not interfere with other uses. Each will be screened with vegetation, and the trash area will be partially enclosed with a removable fence in the event that the sewer main in the utility easement needs to be accessed. Snow will be hauled from the site.*

- e. Where alleys exist, or are planned, they shall be utilized for building services.

*N/A. No alley exists or is planned.*

- f. Vending machines located on the exterior of a building shall not be visible from any street.

*N/A. No vending machines are proposed.*

- g. Except as otherwise provided herein, on site parking areas shall be located at the rear of the building and buffered from the sidewalk adjacent to the street. Parking and access shall not be obstructed by snow accumulation.

*The on site parking is located to the rear of the building and is buffered from the sidewalk by the open space and the building itself. Snow will be hauled from the site.*

(1) Parking areas located within the SCI zoning district may be located at the side or rear of the building.

*N/A. The property is not located in the SCI zoning district.*

(2) Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts, provided a usable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.

*The project has a generous pedestrian entrance at the front of the building on River Street, as well as a secondary entrance on Empty Saddle Trail. The parking is located to the rear of both wings of the building and is accessed from a driveway along the eastern property edge.*

- h. Access to on site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

*The site is not served by an alley. The on site parking is accessed from a single approach off of Empty Saddle Road and is buffered from the adjacent streets by the buildings, preserving the street frontage for pedestrian traffic.*

- i. Snow storage areas shall be provided on site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.

*There is adequate area in the outdoor open space provided to satisfy the snow storage requirement, but staff has informed the design team that the open space may not be used for snow storage. In that case, the snow will be hauled away from the site. The driveway and parking lot aisle will accommodate snow removal equipment.*

- j. Snow storage areas shall not be less than twenty five percent (25%) of the improved parking and vehicle and pedestrian circulation areas.

*See item i. above.*

- k. A designated snow storage area shall not have any dimension less than ten feet (10').

*N/A. See item i. above.*

- l. Hauling of snow from downtown areas is permissible where other options are not practical.

*N/A. See item i. above.*

- m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pick up areas, service areas or utilities.

*N/A. See item i. above.*

- n. Snow storage areas shall be landscaped with vegetation that is salt tolerant and resilient to heavy snow.

*N/A. See item i. above.*

## 2. Building Design:

- a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.

*The surrounding buildings vary widely in size, shape and roofline, from the flat roofed, essentially 2 ½ story tall, 36,541 sf Albertson's Market to the north to the single story, steep pitched roof, 1,301 sf cottage at 831 North Main Street directly to the east. The proposed apartment building, at about 7,220 sf, is substantially smaller than Albertsons, the nearby movie theater, the office building across the street or the apartments kiddy corner from the site. It is about twice the size of the Pioneer Federal building and substantially larger than the cottage directly to the east.*

*The proposed apartment building is designed as a collection of three smaller buildings connected by a covered access breezeway/balcony. The overall shape of the complex is an L shaped rectangle. Most of the neighboring buildings have rectangular shapes.*

*The proposed apartment building has a low pitched, but sloped, roof consistent with a residential vernacular and to facilitate roof drainage. The larger neighboring buildings have flat roofs, and the smaller buildings nearby have pitched roofs of varying slope.*

- b. Standardized corporate building designs are prohibited.

*N/A. A custom building design is proposed.*

- c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.

*The proposed building design emphasizes human scale along the main River Street façade by providing a generous landscaping buffer between the sidewalk and the building, breaking up the façade horizontally with a horizontal change in siding material at the second floor level, providing four pop-outs to undulate the façade and with a trellis structure over the main pedestrian entry. The main access is generous, pedestrian friendly and inviting to encourage human interaction at the entry and to direct people into the property.*

*The southern façade is not the primary building elevation, but it also has a generous pedestrian access, change in siding materials and vertical planes, and landscaping at the street level.*

- d. The front facade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building offsets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.

*The front façade faces River Street and includes numerous windows, the generous main pedestrian entrance, multiple building offsets, projections in the form of decks, roof eaves and*

*sun shades, architectural detailing of those elements and changes in materials at the second/third floor levels.*

- e. Any addition on to or renovation of an existing building shall be designed to create a cohesive whole.

*N/A. The proposed building is new construction.*

- f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.

*The building's exterior walls incorporate a mix of corrugated metal siding (rust color), stucco (beige color), metal decks and sunshades (black color), gable vents and generous eaves.*

- g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.

*The proposed earth tone colors will be harmonious with the neighboring brown, gray, burgundy, burgundy and brick colored buildings. The stucco and metal materials will be of high quality and will complement the variety of materials found on the neighboring buildings.*

- h. Flat roofed buildings over two (2) stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.

*N/A. Pitched roofs are proposed.*

- i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:

*In addition to the energy efficiency measures below, the project will be provided with building insulation to exceed minimum energy code compliance, low solar heat gain coefficient windows on the south and west façades to minimize afternoon heat gain and an electric vehicle, level 2 charging opportunity.*

- (1) Solar Orientation: If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within thirty degrees (30°) of true south.

*N/A. The shape of the lot does not lend itself to this option.*

- (2) South Facing Windows With Eave Coverage: At least forty percent (40%) of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.

*Due to the shape of the lot, most of windows are on the west façade (actually southwest facing). However, all windows facing south and west will be mostly shaded by roof overhangs, sun shades, balconies or street trees. See attached sun study.*

- (3) Double Glazed: Double glazed windows.

*Double glazed windows will be utilized.*

- (4) Low Emissivity Glazing: Windows with low emissivity glazing.

*Low-E glazing will be utilized.*

- (5) Exterior Walls: Earth berming against exterior walls.

*Not practical on this flat, tight site.*

- (6) Alternative Energy: Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on site.

*Alternative energy is not proposed at this time.*

- (7) Exterior Light Shelves: All windows on the southernmost facing side of the building shall have external light shelves installed.

*Exterior light shelves are not proposed, but sun shades are proposed on the west and south facades.*

- j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.

*The low pitched roofs will retain snow. Gable roofs will direct melting snow and rain run off to gutters located at the eaves. The apartment access balconies/walkways adjacent to the building will be covered by a pitched roof with a gutter system.*

- k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.

*Downspouts and drains will be located in landscaped areas and will drain to a drywell on site.*

- l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of three to twelve (3:12) and be consistent with the colors, material and architectural design used on the principal building(s).

*N/A. No such facilities are proposed.*

- m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with section 17.08A.020 of this title.

*A master signage plan will be submitted at Design Review.*

3. Accessory Structures, Fences And Equipment/Utilities:

- a. Accessory structures shall be designed to be compatible with the principal building(s).

*Trellises, attached to the building, are located at the front and rear of the main pedestrian entry. No other accessory structures are proposed.*

- b. Except as otherwise provided herein, accessory structures shall be located at the rear of the property.

- (1) Accessory structures may be considered in a location other than the rear on sites determined to have characteristics that prevent location at the rear of the site.

*N/A. See item a. above.*

- c. Walls and fences shall be constructed of materials compatible with other materials used on the site.

*No perimeter fences are proposed. Lot lines at the edges of the parking lot will be defined by occasional gabion baskets interspersed with vegetative landscaping. Removable screening to match the corrugated siding is proposed around the trash dumpsters and recycling containers.*

- d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.

*See item d. above.*

- e. Except as otherwise provided herein, all roof projections, including roof mounted mechanical equipment, such as heating and air conditioning units, shall be shielded and screened from view from the ground level of on site parking areas, adjacent public streets and adjacent properties. Wind energy systems that have received a conditional use permit and solar panels are exempt from this requirement.

*No roof projections, except plumbing vents, are proposed.*

- f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.

*N/A. At this time, no alternative energy systems are proposed.*

- g. All ground mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas, shall be adequately screened from surrounding properties and streets by the use of a wall, fence or landscaping, or shall be enclosed within a building.

*No ground mounted mechanical equipment is proposed. The trash receptacle area is located near the rear of the property, and the receptacles will be fenced on three sides.*

- (1) All service lines into the subject property shall be installed underground.

*All service lines will be installed underground.*

- (2) Additional appurtenances shall not be located on existing utility poles.

*No additional appurtenances will be located on existing utility poles.*

4. Landscaping:

*At this time, the landscape plan is conceptual. The standards below will be met at Design Review.*

- a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey landscaping manual or an approved alternative.

*Plant selection has not been completed. This standard will be met.*

- b. All plant species shall be hardy to the zone 4 environment.

*Plant selection has not been completed. This standard will be met.*

- c. At a minimum, a temporary irrigation system that fully operates for at least two (2) complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.

*This standard will be met.*

- d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than ten (10) trees, a minimum of ten percent (10%) of the trees shall be at least four inch (4") caliper, twenty percent (20%) shall be at least three inch (3") caliper, and twenty percent (20%) shall be at least two and one-half inch (2 1/2") caliper, and a maximum of twenty percent (20%) of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.

*Landscaped areas occur along all lot lines, as well as in the open space area at the rear of the building. Trees, shrubs, ground covers and ornamental grasses are proposed. Tree caliper standards will be met, and sufficient space will be allotted to accommodate mature trees.*

- e. Seasonal plantings in planter boxes, pots and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.

*N/A.*

- f. Plantings for pedestrian areas within the B, LB, TN and SCI-SO zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots and/or hanging baskets.

*The conceptual landscape design envisions using a mix of red, yellow and green colors with a variety of textures and forms. Final plant selections have not been made. This standard will be met.*

- g. Stormwater runoff should be retained on the site wherever possible and used to irrigate plant materials.

*The stormwater runoff system has not been design, but the runoff will be retained on site and will, where feasible, be used to irrigate plant materials.*

- h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).

*This standard will be met at Design Review application.*

- i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.

*Use of retaining walls will be limited to that necessary to meet required standards. At this time, a very low retaining wall (maximum about 18") is proposed along the River Street sidewalk to allow the building to be placed lower to meet building height requirements.*

- j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.

*Since the proposed retaining wall is essentially a curb and is located adjacent to the sidewalk, it is proposed to be constructed of matching concrete.*

- k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet (4') or terraced with a three foot (3') horizontal separation of walls.

*No tall retaining walls are proposed, and their use will be minimal.*

- l. Landscaping should be provided within or in front of extensive retaining walls.

*No extensive retaining walls are proposed. Landscaping is proposed within the minimal retaining wall along the front sidewalk.*

- m. Retaining walls over twenty four inches (24") high may require railings or planting buffers for safety.

*N/A. No retaining walls over 24" tall are proposed.*

- n. Low retaining walls may be used for seating if capped with a surface of at least twelve (12) to sixteen inches (16") wide.

*N/A. No such retaining walls are proposed.*

- D. Multi-Family: In addition to the standards applicable to any nonresidential, multi-family or mixed use building located within the city of Hailey described in subsection A of this section, the following design standards also apply to any multi-family building located within the city of Hailey:

- 1. Site Planning:

- a. The location of buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.

*The building responds to its corner location by presenting its main facades to the street. The open space is located behind the building to buffer the building from the parking area and to provide privacy from the more public right of way. The gentle north to south slope is accommodated by stepping the buildings along with the topography. Surrounding uses are buffered from the residential building by street rights of way and the project's parking area.*

- b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.

*A simple, logical system of pedestrian pathways connects the public rights of way with the project and access to parking. Most of the walkways on site are covered. Additional informal pathways are provided to access the outdoor rooms in the open space. Three sets of stairs serve the upper levels.*

- c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.

*See item b. above.*

- 2. Building Design:

- a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Front doors should be individual and visible from the street. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.

*The overall building is composed of three smaller residential buildings, each containing up to 11 dwelling units. It is clad in a mix of corrugated metal siding on the lower levels and stucco above, with frequent articulation of the façade, to break up the building massing and scale. Two generous openings to and through the building provide welcoming entrances and passage into the project. Horizontal elements, such as sun shades, private balconies, generous roof overhangs and access walkways mitigate the vertical elements. An approximately five foot wide setback from the public sidewalk provides an opportunity for vegetative landscaping to soften the front*

*edges of the building. The gable roof forms utilized reference a single-family vernacular. While colors have not been selected, we are anticipating the building's exterior walls to incorporate a mix of corrugated metal siding (rust color), stucco (beige color), metal decks and sunshades (black color), gable vents and generous eaves. Natural wood stair stringers and access balcony construction will provide an additional accent material and color. Windows are large enough to admit ample daylight and provide code required egress. They are placed to admit winter sun, but shading is provided so that they are shielded from summer sun heat gain. Where possible, each room has light from two sides. The front door to each dwelling unit will be painted an accent color to complement the final color palette. The individual apartment doors do not face the street, rather they face the access balconies on the inside of the property, and the great room doors, windows and balconies face the more public street sides of the property.*

- b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.

*The proposed building design emphasizes human scale along the main River Street façade by providing a generous landscaping buffer between the sidewalk and the building, breaking up the façade horizontally with a change the siding material, providing four pop-outs to undulate the façade and with a trellis structure over the main pedestrian entry. The main access is generous, pedestrian friendly and inviting to encourage human interaction at the entry and to direct people into the property.*

*The southern façade is not the primary building elevation, but it also has a generous pedestrian access, change in siding materials and vertical planes, and landscaping.*

#### **17.09.020: STANDARDS:**

##### **17.09.020.01: LOCATION OF ON SITE PARKING SPACES:**

The following regulations shall govern the location of on site parking spaces and areas, except as otherwise provided below and in section [17.09.040.08](#) of this chapter:

- A. Single-Family Dwellings: Parking spaces for all single- family dwellings shall be located on the same lot as the dwelling which they serve, except as otherwise provided in section [17.09.040.01](#) of this chapter.

N/A.

- B. Multi-Family, Institutional Uses: Parking spaces for multi- family or institutional uses shall be located not more than three hundred feet (300') from the principal use.

*No parking space is located further than 84 feet from the apartment building.*

- C. Commercial, Industrial Uses: Parking spaces for commercial or industrial uses shall be located not more than eight hundred feet (800') from the principal use and must be located within a B, LB, SCI or LI district.

N/A.

- D. Rear Location; Exception: New on site parking areas shall be located at the rear of the building, except within the SCI zoning district where parking is allowed at the side of the building.

*The proposed on site parking is located to the rear of both the River Street and Empty Saddle Trail portions of the building.*

- E. Prohibited Location; Exception: On site parking areas are not permitted between the sidewalk within the public right of way and the primary frontage of a building, except where the location of an existing buildings or site conditions precludes another location for parking; such parking requires a landscape buffer, or an alternative approved by the administrator, between sidewalk and parking.

*The proposed on site parking is located to the rear of both the River Street and Empty Saddle Trail portions of the building.*

**17.09.020.04: MAINTENANCE:**

The owner of property used for parking and/or loading shall maintain such area in good condition without holes and free of all dust, trash, other debris and snow.

*This standard shall be met. Snow will be hauled from the site.*

**17.09.020.05: SURFACING AND CONSTRUCTION:**

- A. All required parking and loading spaces, together with driveways, aisles and other circulation areas, shall be constructed in accordance with the city standards.

*The parking lot dimensions meet the code standards, and the Design Review application will contain civil engineering to show compliance with this standard.*

- B. Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.

N/A.

**17.09.020.06: DRAINAGE:**

All parking, loading or other nonpermeable surface areas shall provide for on site drainage of surface water to prevent the drainage of such water onto adjacent properties, walkways or into the public right of way. Drainage provided shall be in accordance with city standards.

*The design review application will contain civil engineering to show compliance with this standard.*

**17.09.020.07: LIGHTING:**

Any parking area which is intended to be used during nondaylight hours shall be properly illuminated to avoid accidents. Any lights used to illuminate a parking lot shall be so arranged as to direct the light

away from the adjoining property, and shall be of a type and method of construction to shield the light source from direct view from any adjacent property or right of way. All parking area lighting shall comply with the standards as set forth in [chapter 17.08](#), article C of this title. (

*The design review application will contain civil engineering to show compliance with this standard.*

**17.09.020.08: ACCESS:**

- A. Design: Except as otherwise provided herein, any parking area on private property shall be designed in such a manner that any vehicle leaving or entering the parking area from or onto a public street shall be traveling in a forward motion.

*A turn-around space has been provided at the north end of the parking lot so that vehicles can turn around to exit the parking lot traveling in forward motion.*

- B. Through Alleys: Where alleys exist, access to on site parking for any nonresidential use or for any multi-family dwelling of three (3) or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.

N/A.

- C. Alley Not Present: If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

*The site will be accessed by a single approach from Empty Saddle Trail.*

- D. Visibility: Access for on site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.

*At the driveway, the building is set back 5 feet from the property line to provide clear site lines in either direction of the side walk. In addition, the covered parking has large openings facing the street and the parking lot to provide adequate sight lines through the building for safety.*

- E. Subdivisions: Access for subdivisions shall be provided in accordance with standards set forth in title 16, [chapter 16.04](#) of this code.

N/A.

- F. Backing Design Permitted: Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI districts may be designed to allow a vehicle to back from the parking area into the public right of way.

N/A.

- G. Stacking: Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus "stacking" the parking area. For nonresidential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.

*No stacked parking spaces are proposed.*

**17.09.020.09: SCREENING AND LANDSCAPING:**

- A. Screening From Residential Property:

*N/A. The subject property does not abut any residential zoning or residential uses.*

1. All loading space areas and parking areas shall be screened from a public street and shall be screened on all sides which adjoin or face any residential property.
2. The screening shall consist of an acceptably designed wall, fence or drought tolerant landscaping.
3. Such a fence or wall shall be not less than four feet (4') nor more than six feet (6') in height and shall be maintained in good condition. The space between such fence or wall and the lot line of the adjoining premises in any residential district shall be landscaped with drought tolerant landscaping and maintained in good condition.

- B. When Buffer Required: When a project is being reviewed pursuant to chapter 17.06 of this title, and an existing on site parking area is located adjacent to a sidewalk, a landscape buffer is required between the surface of the parking area and the sidewalk.

*N/A.*

- C. Landscaping Within Parking Area: Parking areas designed to accommodate sixty (60) or more cars shall include landscaping appropriately located within the parking area to adequately break up the pavement area. The landscaping shall include deciduous trees no smaller than two inch (2") caliper.

*N/A. The parking lot accommodates 28 vehicles.*

- D. Mitigation for Accessory Dwelling Unit parking spaces: Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.

*N/A. No ADU's are proposed.*

**17.09.020.10: WHEEL BLOCKS:**

Whenever a parking lot extends to a property line, wheel blocks or other suitable devices shall be installed to prevent any part of a parked vehicle from extending beyond the property line.

*N/A. The parking lot has a minimum 29" landscaping buffer on all sides.*

**17.09.030: ON SITE PARKING DIMENSION:**

For the purposes of this chapter, the dimensions of all parking areas within the city right of way shall be in accordance with the city standards. The dimensions of all on site parking areas shall be according to the following table:

<b>On Site Parking Dimensions (Shown In Feet)</b>			
<b>Parking Angle</b>	<b>Stall Width (S)</b>	<b>Stall Depth (D)</b>	<b>Aisle Width (A)</b>
90	9	18	24
ADA	11 (+5 for ADA aisle)	Same as above	Same as above
Compact	8	16	Same as above

*The proposed on site parking consists of all 90° parking with*

- 19 standard spaces (9x18)
- 7 compact spaces (8 x 16)
- 1 ADA van stall (11 x 18, plus 5' aisle), per building code
- 1 ADA standard stall (9 x 18, plus 5' aisle), per building code

**17.09.040: ON SITE PARKING SPACE REQUIREMENTS:**

For the purpose of this chapter, the following on site parking space requirements shall apply as the minimum number of parking spaces which shall be provided on site by the given use:

- A. Fractions: Where the calculation of parking spaces results in a fraction, the required parking shall be rounded down to the nearest whole number.

*N/A. The parking lot calculation is determined by the DRO standards.*

- B. Gross Area Defined: For the purposes of this section, "gross area" is defined as the total square foot area of a given use, as designated for each use.

*N/A. The parking lot calculation is determined by the DRO standards.*

- C. Uses Not Listed: Where a specific use is not listed, and no similar use is listed, the required minimum number of on site parking spaces shall be one per one thousand (1,000) gross square feet.

*N/A. The parking lot calculation is determined by the DRO standards.*

- D. Handicap Accessible: All uses shall provide handicap accessible parking spaces as required by the IBC, and designed to comply with the standards set forth in ANSI A117.1. Such spaces may be included in the total number of required on site parking spaces.

*The IBC and ANSI A117.1 require one ADA van stall for the first 25 required parking spaces and one standard ADA stall for the next 26 - 50 required spaces. Both required spaces have been provided.*

- E. Compact Spaces: Up to twenty five percent (25%) of the required on site parking spaces may be provided with compact parking spaces, but in no case shall more than five (5) spaces be reserved as compact. Compact spaces must be signed as such.

*N/A. The compact spaces calculation is determined by the DRO standards.*

**17.09.040.01: RESIDENTIAL:**

<p>Accessory dwelling units and all dwellings less than 1,000 square feet</p>	<p>Minimum of 1 space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking. <i>N/A.</i></p>
<p>Multiple-family dwellings and dwelling units with a mixed use building</p>	<p>Minimum of 1.5 spaces per unit. <i>N/A. The parking spaces calculation is determined by the DRO standards.</i></p>
<p>Single-family dwellings</p>	<p>2 spaces per dwelling minimum, 6 spaces per dwelling maximum.  Parking spaces within any garage, carport or similar structure shall be credited at 1 space per 9 feet of floor width and 18 feet of floor length.  The city will allow the use of 100 foot wide rights of way within the Hailey original townsite for licensed passenger vehicle parking for single-family dwellings. Parking for accessory dwelling units must be provided on site. <i>N/A.</i></p>

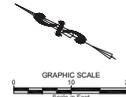
**17.09.040.07: BICYCLE PARKING:**

All multi-family residential and commercial or mixed use development, including new construction and additions, shall provide at least three (3) bicycle parking spaces or bicycle spaces equivalent to twenty five percent (25%) of the required number of vehicle parking spaces, whichever is greater.

*A total of 7 bicycle parking spaces are required, but 10 are provided under cover, and an additional 12 uncovered spaces are provided.*



PLEASE DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY. FOR A COMPLETE LIST OF CONDITIONS, REFER TO THE PROJECT MANUAL AND ANY ADDENDUMS THEREON. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION SHOWN HEREON. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



**LEGEND**

	Property Line		ADA = Curb Ramp Points
	Adjoiner's Lot Line		BOW = Back of Walk
	Centerline Right of Way		CC = Curb Cut
	Public Utility Easement per Plat		COR = Corner
	FDS#8 = Found 8" Rebar		EOA = Edge of Asphalt
	FD#12 = Found 12" Rebar		EOC = Edge of Concrete
	CNTRL = Survey Control		FL = Flow Line
	5' Contour Interval		IN = Invert
	Curb & Gutter		LSP = Lip of Gutter
	FNC = Fence Line		NG = Natural Ground
	Asphalt		PC = Point of Curvature
	Concrete Sidewalk		POC = Point on Curve
	SIGN = Sign		PT = Point of Tangency
	PHBOX = Telephone Riser		TA = Top of Asphalt
	PBOX = Power Box		TBC = Top Back of Curb
	Sewer Main		VG = Valley Gutter
	Sewer Service		
	SMH = Sewer Manhole		
	Storm Drain		
	CB = Catch Basin		
	DWELL = Dry Well		
	Water Main		
	Water Service		
	WMTR = Water Meter		
	WV = Water Valve		

**NOTES**

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (08/19/2021).
- Boundary information is based on Found Monumentation. Please refer to the recorded plat of North Hailey Plaza Subdivision, Insist 402013, records of Blaine County, Idaho Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- Underground utility locations are based on above ground appearances / utilities visible at the time of the survey and City utility maps. Sub-surface utility locations are approximate and locations should be verified before any excavation.
- Galena Engineering, Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is found 5' rebar at southwest corner of property, elevation = 5333.40. Point elevations shown are truncated (i.e. 5334.34 is 34.3). Vertical Datum as NAVD 1988.

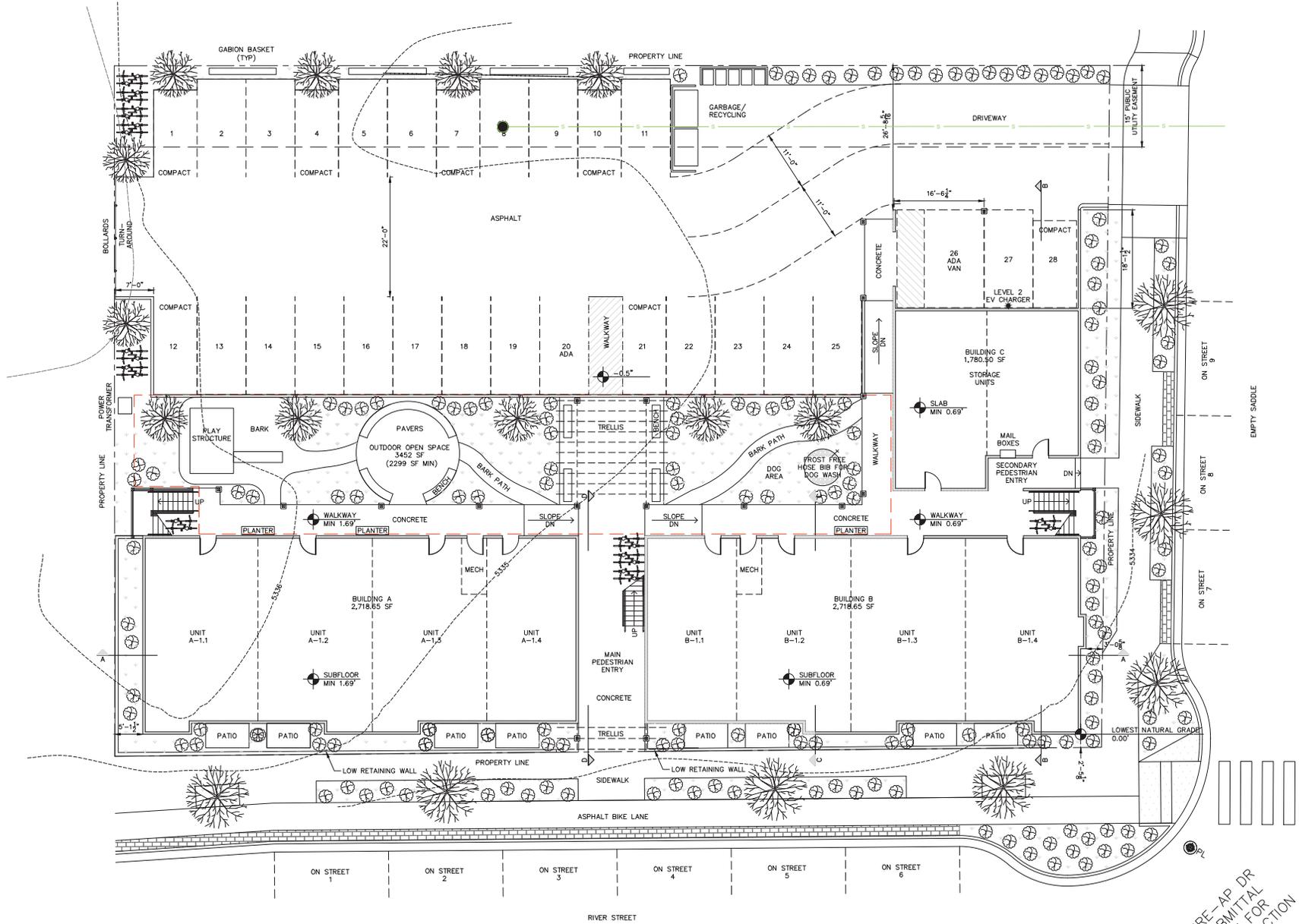
**A TOPOGRAPHIC MAP SHOWING**  
**LOT 4B, BLOCK 1, NORTH HAILEY PLAZA SUBDIVISION**  
 LOCATED WITHIN SECTION 8, T.2N. R.1E. B.M. CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 PROJECT INFORMATION  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]



DESIGNED BY: [Signature]  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
**GALENA**  
**ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 117 N. River Street  
 Boise, Idaho 83725  
 (208) 784-1700  
 email: galena@galenaengineering.com

NO.	DATE	BY	REVISIONS

PURPOSE: [Blank]  
 TOPO



SITE PLAN

1/8"=1'-0"



PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



REBECCA F. BUNDY, ARCHITECT, PLLC  
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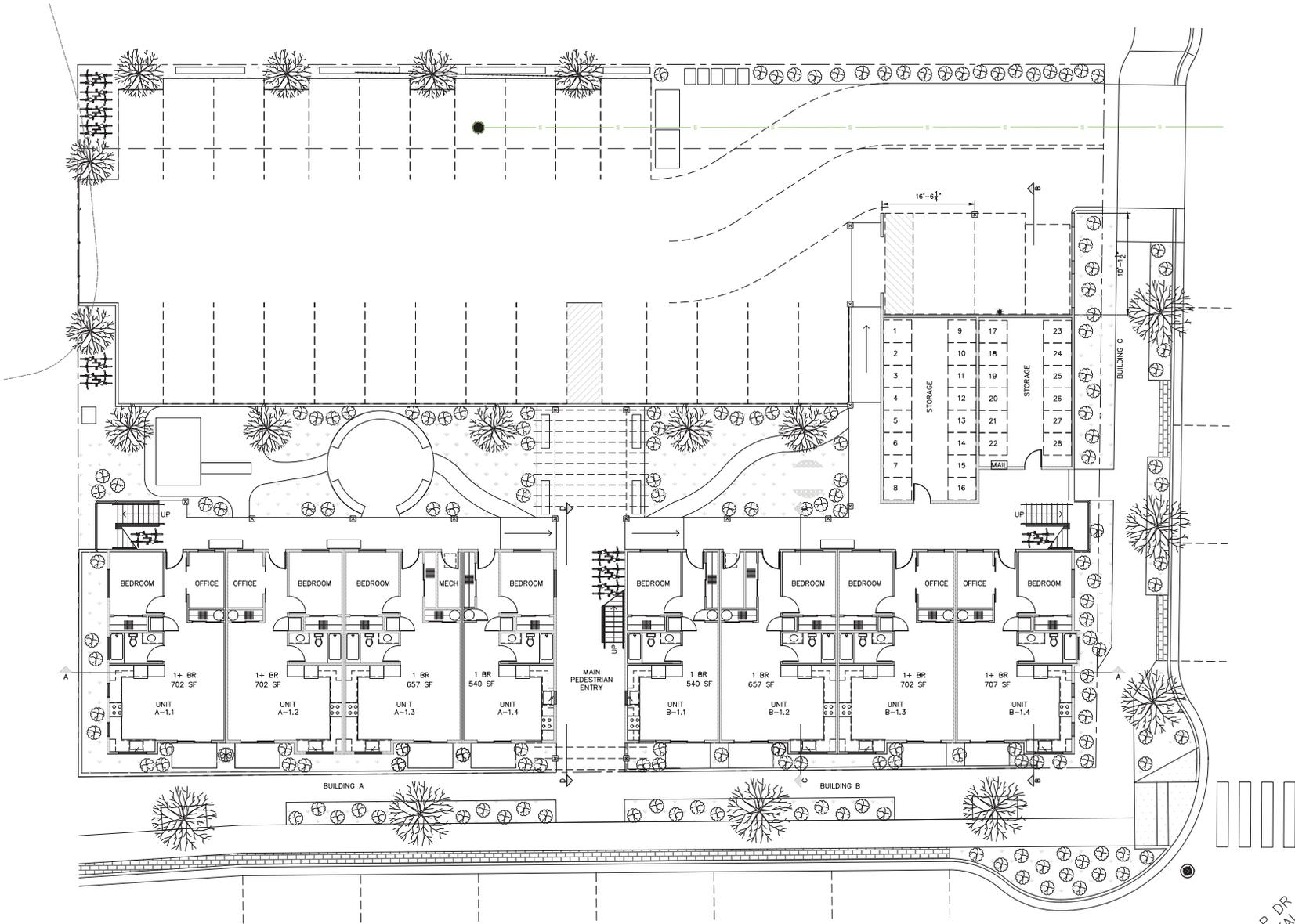
SITE PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS
SUBMIT DATE:

SCALE 1/8"=1'-0"  
DATE 11/24/2021  
DRAWING NO.

A 1.01



GROUND FLOOR PLAN

(8) UNITS  
 (4) 1+ BEDROOMS  
 (4) 1 BEDROOMS  
 8"=1'-0"

PRE-AP DR  
 SUBMITTAL  
 NOT FOR  
 CONSTRUCTION



REBECCA F. BUNDY, ARCHITECT, PLLC  
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 PO BOX 2313  
 KETCHUM, ID 83340  
 REBECCA@REBFUNDYDESIGN.COM

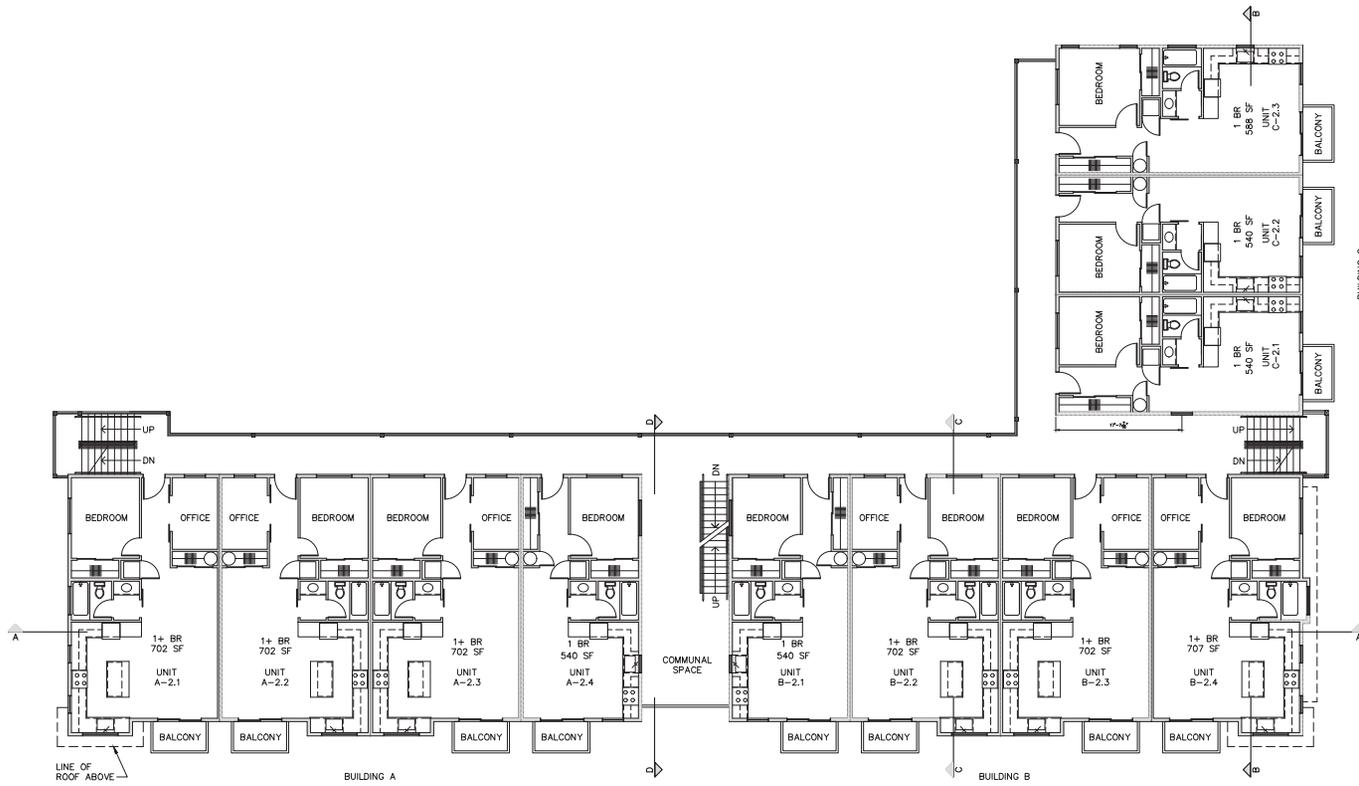
GROUND FLOOR  
 PLAN

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS  
 SUBMIT DATE:

SCALE 1/8"=1'-0"  
 DATE 11/24/2021  
 DRAWING NO.

A 1.02



2ND FLOOR PLAN

- (1) UNITS
- (6) 1+ BEDROOMS
- (5) 1 BEDROOMS

1/8"=1'-0"



PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



REVISION	DATE

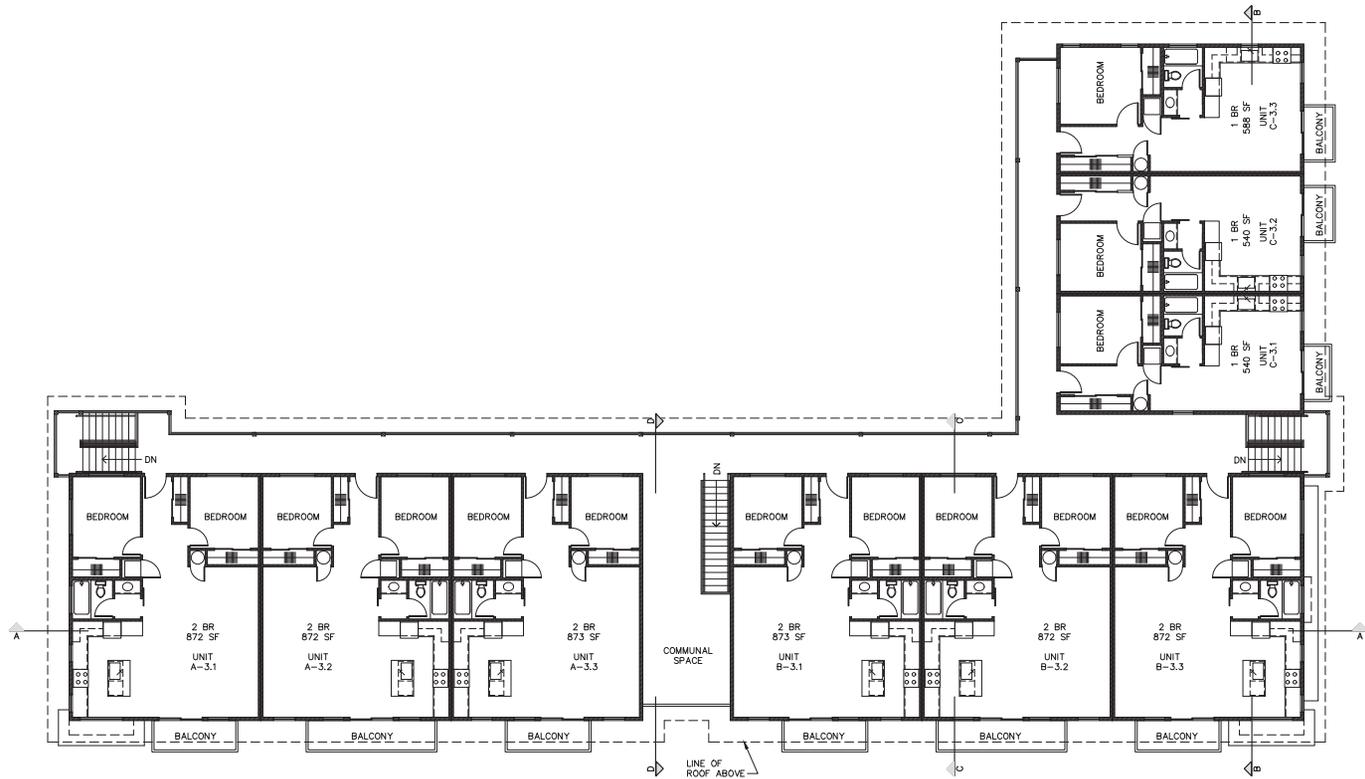
SCALE 1/8"=1'-0"  
DATE 11/24/2021  
DRAWING NO.

A 1.03

REBECCA F. BUNDY, ARCHITECT, PLLC  
AIA AICP CFM  
PO BOX 2313  
KETCHUM, ID 83340  
(208) 720-1832  
REBECCA@RFBUNDYDESIGN.COM

SECOND FLOOR  
PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION



3RD FLOOR PLAN

(9) UNITS  
 (6) 2 BEDROOMS  
 (3) 1 BEDROOMS  
 1/8"=1'-0"



PRE-AP DR  
 SUBMITTAL  
 NOT FOR  
 CONSTRUCTION



REBECCA F. BUNDY, ARCHITECT, PLLC AIA AICP CFM PO BOX 2313 83340 KETCHUM, ID 83340 (208) 720-1832 REBECCA@RFBUNDYDESIGN.COM	
<b>THIRD FLOOR PLAN</b>	
SADDLE LOFTS N HAILEY PLAZA, SBLT 4B, BLK 1 HAILEY, IDAHO NEW MULTI-FAMILY CONSTRUCTION	
REVISION STATUS SUBMIT DATE:	SCALE 1/8"=1'-0" DATE 11/24/2021 DRAWING NO.
<b>A 1.04</b>	

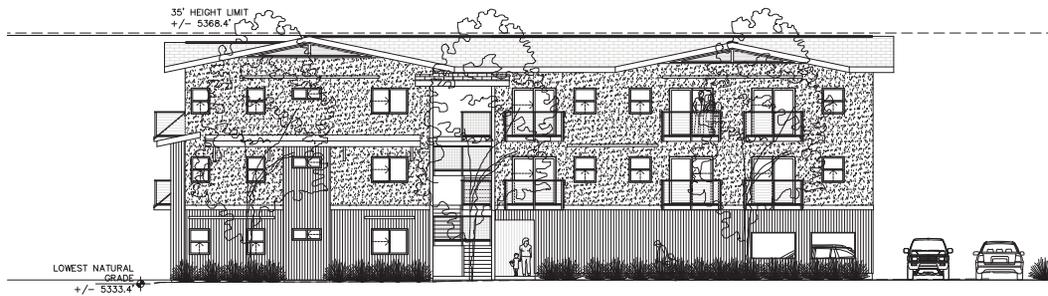


WEST ELEVATION

1/8"=1'-0"

LEGEND

-  ASPHALT SHINGLE
-  STUCCO SIDING
-  CORRUGATED METAL SIDING
-  METAL GUARDRAIL
-  SUN SHADE



SOUTH ELEVATION

1/8"=1'-0"

IMAGES



AS&D BALCONY SYSTEMS



AS&D SUN SHADE



CABINFIELD AMISH PLAYSET



HALLOWELL SINGLE TIER BULK STORAGE LOCKER



VERSATILE MAIL BOXES

PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



REBECCA F. BUNDY, ARCHITECT, PLLC  
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REBECCA@RFBUNDYDESIGN.COM

WEST & SOUTH  
ELEVATIONS

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS
SUBMIT DATE:

SCALE 1/8"=1'-0"  
DATE 11/24/2021  
DRAWING NO.

A 2.01

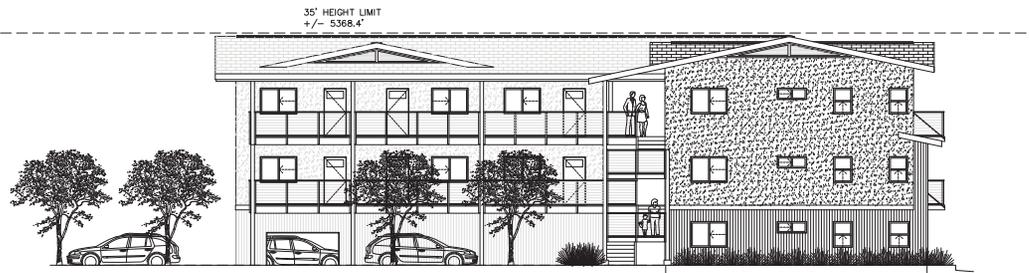


EAST ELEVATION

1/8"=1'-0"

LEGEND

-  ASPHALT SHINGLE
-  STUCCO SIDING
-  CORRUGATED METAL SIDING
-  METAL GUARDRAIL
-  SUN SHADE



NORTH ELEVATION

1/8"=1'-0"

PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



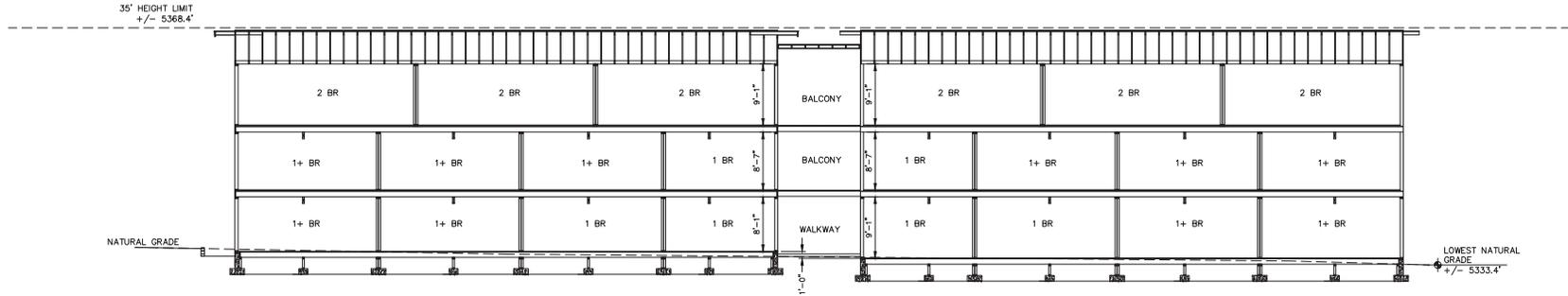
REBECCA F. BUNDY, ARCHITECT, PLLC  
AIA AICP CFM  
PO BOX 2313  
KEETCHUM, ID 83340  
REBECCA@RFBUNDYDESIGN.COM

EAST & NORTH  
ELEVATIONS

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

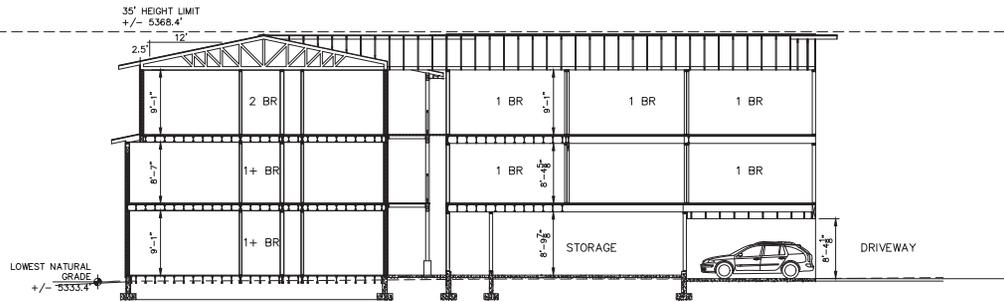
REVISION STATUS
SUBMIT DATE:

SCALE 1/8"=1'-0"  
DATE 11/24/2021  
DRAWING NO.  
A 2.02



SECTION A

1/8"=1'-0"



SECTION B

1/8"=1'-0"

PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



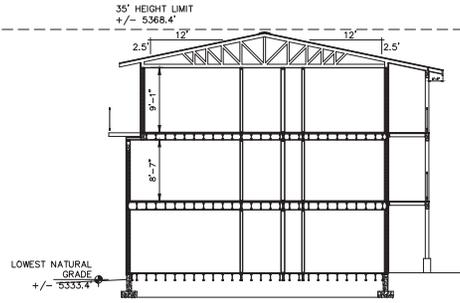
REBECCA F. BUNDY, ARCHITECT, PLLC  
 AIA AICP CFM  
 PO BOX 2313  
 KETCHUM, ID 83340  
 TEL 208.726.8322  
 REBECCA@RFBUNDYDESIGN.COM

SECTIONS A & B

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

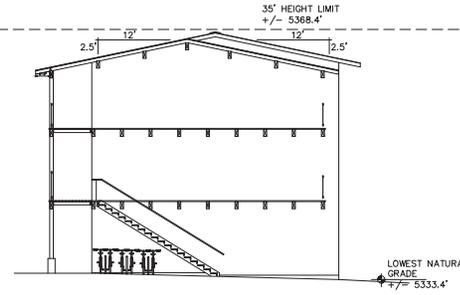
REVISION STATUS
SUBMIT DATE:

SCALE 1/8"=1'-0"  
 DATE 11/24/2021  
 DRAWING NO.  
 A 3.01



SECTION C

1/8"=1'-0"



SECTION D

1/8"=1'-0"

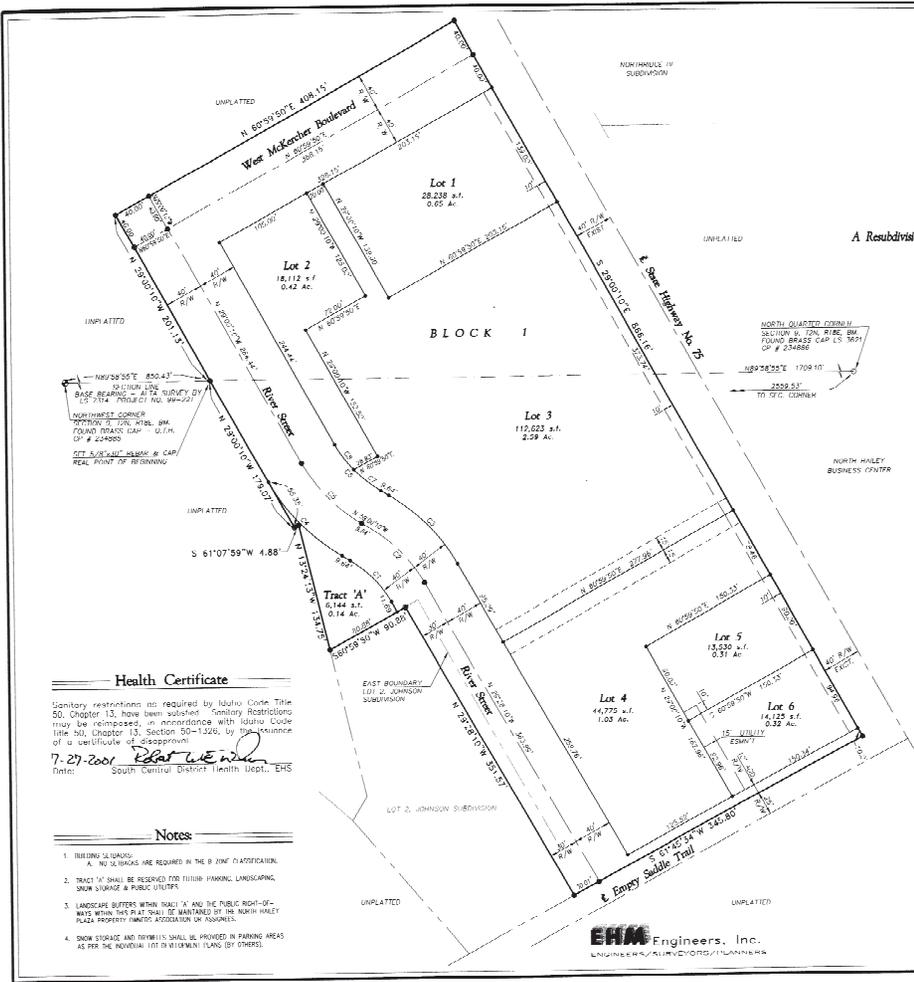
PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



REBECCA F. BUNDY, ARCHITECT, PLLC AIA AICP CFM PO BOX 2313 KETCHUM, ID 83340 TEL: 208.224.7200 REBECCA@RFBUNDYDESIGN.COM	SECTIONS C & D	SADDLE LOFTS N HAILEY PLAZA, SBLT 4B, BLK 1 HAILEY, IDAHO NEW MULTI-FAMILY CONSTRUCTION
REVISION STATUS	SCALE 1/8"=1'-0"	DATE 11/24/2021
SUBMIT DATE:	DRAWING NO.	A 3.02

REVISIONS TO BE MADE AS SHOWN ON THIS PLAN. ALL DIMENSIONS SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED. THE ENGINEER'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THIS PLAN.

NO. 101117 PLAN, EUBEN, EUBEN & ASSOCIATES, INC. 101117 PLAN, EUBEN, EUBEN & ASSOCIATES, INC. 101117 PLAN, EUBEN, EUBEN & ASSOCIATES, INC.



N  
↑  
1" = 60'

**"North Hailey Plans Subdivision"**  
A Resubdivision & Renumbering of Lot 1 and the East 15 feet of Lot 2 of Johnson Subdivision  
In  
Portions of SW4 Section 4 and NW4 Section 9  
Township 2 North, Range 18 East, Boise Meridian  
Blaine County, Idaho  
2001

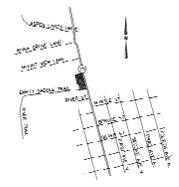
**Legend**

- SUBDIVISION BOUNDARY
- LOT LINE
- STREET CENTERLINE
- - - VEHICULAR ACCESS & UTILITY FACILITY
- - - LANDSCAPE, SIDEWALK & UTILITY FACILITY
- - - SECTION LINE
- 5/8" x 3/8" x 30" REBAR & CAP (CE-LS 2/23)
- 1/2" x 2 1/4" REBAR & CAP (CE-LS 2/23)
- 1/2" HOLLOW BRICK/PIED WITH 3/8" x 30" REBAR & CAP (CE-LS 2/23)

**Curve Data**

CVL	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
1	20°32'00"	120.00	61.05	41.17	31.63	N 44°14'15"W
2	26°32'00"	150.00	82.47	61.26	42.17	N 44°14'15"W
3	28°32'00"	200.00	103.09	101.00	56.26	N 44°14'15"W
4	30°32'00"	210.00	111.11	108.85	58.26	N 44°14'15"W
5	30°00'00"	171.00	90.30	80.85	48.00	N 44°00'10"W
6	20°00'00"	110.00	60.64	56.85	35.26	N 44°00'10"W
7	12°00'00"	111.00	35.23	35.32	14.26	S 30°11'30"E
8	44°25'00"	152.00	33.41	33.32	14.26	S 30°11'30"E

VICINITY MAP - NOT TO SCALE



**Health Certificate**

Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied. Sanitary Restrictions may be reimposed, in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.

Date: 7-27-2001  
 South Central District Health Dept., EHS

**Notes**

1. BUILDING LOADS: A. NO LOADS ARE REQUIRED IN THE 20MP CLASSIFICATION.
2. TRACT 'A' SHALL BE RESERVED FOR FUTURE PARKING, LANDSCAPING, SNOW STORAGE & PUBLIC UTILITIES.
3. LANDSCAPE BUFFERS WITHIN TRACT 'A' AND THE PUBLIC RIGHT-OF-WAY WITHIN THIS PLAN SHALL BE MAINTAINED BY THE NORTH HAILEY PLANS PROPERTY OWNERS AT ALL TIMES.
4. SNOW STORAGE AND REMOVAL SHALL BE PROVIDED IN PARKING AREAS AS PER THE INDIVIDUAL LOT OR WORKMAN PLANS (BY OTHERS).

**EEM** Engineers, Inc.  
ENGINEERS/SURVEYORS/PLANNERS



DRAW

DATE PLOTTED: 08/01/01  
SCALE: AS SHOWN  
SHEET NO.: 3 OF 3

DRAWING NUMBER

INSTRUMENT # 454422  
DATE OF INSTRUMENT: 08/01/01  
BOOK AND PAGE: 2001-08-17  
RECORDED FOR: FIRST AMERICAN TITLE INSURANCE COMPANY  
BY: MPP

NORTH HALEY PLAZA SUBDIVISION  
84,9 273 R1B2 3 OF 3

PLANNING AND ZONING COMMISSION  
DATE: 08/01/01  
BY: MPP

North Haley Plaza Subdivision

### County Engineer's Certificate

This is to certify that the undersigned, a Registered Professional Engineer in the State of Idaho has checked the foregoing plat and computations for making the same and has determined that they comply with the laws of the State of Idaho and the County of Blaine, Idaho related hereto.

Lin W. Kovner 8/01/01  
County Engineer

### County Treasurer's Certificate

Wicki A. Dick, County Treasurer in and for the County of Blaine, Idaho per the requirements of Idaho Code 59-1308, do hereby certify that all county property taxes due for the property included in this plat have been paid in full. This certification is valid for the next thirty days only.

Wicki A. Dick by Ricky Jones Date: August 3, 2001  
County Treasurer

### County Recorder's Certificate

Instrument No. \_\_\_\_\_  
State of \_\_\_\_\_ } ss  
County of \_\_\_\_\_

On this \_\_\_\_\_ day of \_\_\_\_\_, 2001, at \_\_\_\_\_ M., the foregoing plat was filed for record in the office of the Recorder of Blaine County, Idaho and duly recorded in plat book \_\_\_\_\_, on page \_\_\_\_\_.

Instrument # 454422  
HALEY, BLAINE, IDAHO  
2001-08-17  
Recorded for: FIRST AMERICAN TITLE INSURANCE COMPANY  
By: MPP  
Merla Payne  
Ex-Officio Recorder

### Planning and Zoning Commission Acceptance

The foregoing plat was duly accepted and approved by the City of Haley Planning and Zoning Commission, Blaine County, Idaho, on this 7th day of August, 2001.

[Signature]  
Chairman

### Certificate of Surveyor

This is to certify that L. Gerald L. Martens, a Professional Land Surveyor in the State of Idaho, made the survey of land as described in the Certificate of Owner's and that this plat is a true and accurate representation of said survey as made and staked under my supervision and direction.



### Approval of City Council

Accepted by the City Council of Haley, Idaho, at their meeting on the 23rd day of April, 2001.

[Signature]  
Mayor

Heather Dawson  
City Clerk

### City Engineer's Certificate

This is to certify that the undersigned, a Registered Professional Engineer in the State of Idaho has checked the foregoing plat and computations for making the same and has determined that they comply with the laws of the State of Idaho and ordinances of the City of Haley.

[Signature]  
City Engineer



DCA

DRAWING NUMBER  
NORTH HAILEY PLAZA SUBDIVISION  
PLAT 2412

NORTH HAILEY PLAZA SUBDIVISION  
PLAT 2412

# A REPLAT SHOWING LOT 4, BLOCK 1, NORTH HAILEY PLAZA SUBDIVISION

WHEREIN LOT 4, BLOCK 1, NORTH HAILEY PLAZA SUBDIVISION  
AND A PORTION OF THE SOUTH 1/2 OF THE NORTH EAST 1/4,  
LOCATED WITHIN SECTION 9 TOWNSHIP 2 NORTH, RANGE 18 EAST, OF THE  
BOISE MERIDIAN, CITY OF HAILEY, BLAINE COUNTY, IDAHO.  
2003

### CERTIFICATE OF OWNER

KNOW ALL PEOPLE BY THESE PRESENTS:  
THAT GARY L. CARR, JR., CYNTHIA A. CARR AND CURTIS M. LUCK, DO HEREBY  
CERTIFY THAT THEY ARE THE OWNERS OF THE REAL PROPERTY AS DESCRIBED BELOW AND  
IT IS THEIR INTENTION TO INCLUDE SAID PROPERTY IN THIS SUBDIVISION PLAT.  
THE OWNER FURTHER CERTIFIES THAT ALL LOTS IN THIS SUBDIVISION WILL RECEIVE  
DOMESTIC WATER FROM THE CITY OF HAILEY, AND THAT THE CITY OF HAILEY HAS AGREED  
IN WRITING TO SERVE ALL LOTS IN THIS SUBDIVISION.  
THE EASEMENTS SHOWN ON THIS PLAT ARE NOT DEDICATED TO THE PUBLIC, BUT THE  
RIGHT TO USE SAID EASEMENTS IS HEREBY RESERVED FOR PUBLIC UTILITIES AND FOR ANY  
OTHER USES AS DESIGNATED HEREON, AND NO PERMANENT STRUCTURES ARE TO BE  
ERECTED WITHIN THE LINES OF SAID EASEMENT.

### LEGAL DESCRIPTION

A PORTION OF LOT 4 OF NORTH HAILEY PLAZA SUBDIVISION, ACCORDING TO THE  
OFFICIAL PLAT THEREOF, RECORDS OF BLAINE COUNTY, IDAHO MORE PARTICULARLY  
DESCRIBED AS FOLLOWS:  
COMMENCING AT THE SECTION CORNER COMMON TO SECTION 4, 5, 8 AND 9, 12N,  
R1E, S. M. BLAINE COUNTY, IDAHO, SAID CORNER LYING S89°58'55"W, 2550.53 FEET  
FROM THE 1/4 CORNER COMMON TO SAID SECTION 4 AND 9; THENCE N89°58'55"  
R50.43 FEET ALONG THE SECTION LINE COMMON TO SAID SECTIONS 4 AND 9 TO A  
POINT ON THE WESTERLY BOUNDARY OF TAX LOT 4887; THENCE N89°00'10"W, 181.13  
FEET; THENCE N60°59'50"E, 408.15 FEET TO A POINT ON THE WESTERLY BOUNDARY  
OF STATE HIGHWAY 75; THENCE S29°00'10"E, 552.74 FEET ALONG SAID WESTERLY  
HIGHWAY BOUNDARY TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG  
SAID WESTERLY BOUNDARY OF TAX LOT 4887, 78.46 FEET; THENCE LEAVING SAID  
WESTERLY BOUNDARY N89°00'10"E, 150.33 FEET; THENCE S29°00'10"E, 182.98 FEET  
TO A POINT ON THE NORTHERLY BOUNDARY OF EMPTY SADDLE ROAD; THENCE  
S61°45'34"W, 125.52 FEET ALONG SAID NORTHERLY BOUNDARY LINE TO A POINT ON  
THE EASTERLY BOUNDARY OF RIVER STREET; THENCE N29°28'10"W, 259.76 FEET  
ALONG SAID EASTERLY BOUNDARY; THENCE LEAVING SAID EASTERLY BOUNDARY LINE  
N60°59'50"E, 277.95 FEET TO THE POINT OF BEGINNING.  
SAID PARCEL OF LAND CONTAINS 1.03 ACRES MORE OR LESS

*Gary L. Carr, Jr.*  
GARY L. CARR, JR.  
*Cynthia A. Carr*  
CYNTHIA A. CARR  
*Curtis M. Luck by Patricia A. Luck P.O.A.*  
CURTIS M. LUCK

### ACKNOWLEDGMENT

STATE OF IDAHO }  
COUNTY OF BLAINE }  
ON THIS 07th DAY OF Oct, 2003, BEFORE ME, THE UNDERSIGNED, A NOTARY  
PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED GARY L. CARR, JR. AND CYNTHIA A. CARR,  
HUSBAND AND WIFE, KNOWN TO ME TO BE THE PERSONS WHO EXECUTED THE WITHIN INSTRUMENT,  
AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL THE DAY AND YEAR  
IN THIS CERTIFICATE FIRST ABOVE WRITTEN.  
*Jim Anderson*  
NOTARY PUBLIC FOR Blaine Co, ID.  
RESIDING AT Hailey  
MY COMMISSION EXPIRES: 1-10-08



### CERTIFICATE OF COUNTY SURVEYOR

I, THE UNDERSIGNED, PROFESSIONAL LAND SURVEYOR FOR BLAINE COUNTY, IDAHO,  
DO HEREBY CERTIFY THAT I HAVE CHECKED THIS PLAT AND FIND THAT IT COMPLIES  
WITH THE STATE OF IDAHO CODE RELATIVE TO PLATS AND SURVEYS.

*Jim W. Komer 10/6/03*  
JIM W. KOMER  
COUNTY SURVEYOR

### CERTIFICATE OF SURVEYOR

I, GORDON N. ANDERSON, PLS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND  
SURVEYOR LICENSED BY THE STATE OF IDAHO, AND THAT THIS PLAT AS DESCRIBED  
IN THE CERTIFICATE OF OWNERS, WAS DRAWN FROM AN ACTUAL SURVEY MADE ON  
THE GROUND UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS THE  
POINTS PLATED THEREON, AND IS IN CONFORMITY WITH THE STATE OF IDAHO CODES  
RELATING TO PLATS, SURVEYS AND THE CORNER PERPETUATION AND PLUNG ACT.

*Gordon N. Anderson, PLS*  
GORDON N. ANDERSON, PLS  
7314  
STATE OF IDAHO  
PROFESSIONAL LAND SURVEYOR  
EXPIRES 08/31/03

### APPROVAL OF CITY ENGINEER

I, THE UNDERSIGNED, CITY ENGINEER IN AND FOR THE CITY OF HAILEY, BLAINE COUNTY,  
IDAHO, DO HEREBY APPROVE THIS PLAT AND CERTIFY THAT IT IS IN ACCORDANCE  
ACCORDANCE WITH THE SUBDIVISION ORDINANCE RELATING TO SUBDIVISION PLATS.

*Jim Anderson*  
JIM ANDERSON  
CITY ENGINEER

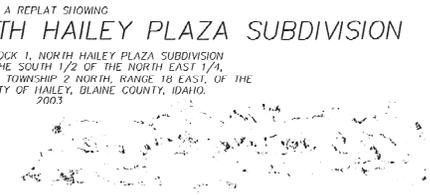
### ACKNOWLEDGMENT

STATE OF IDAHO }  
COUNTY OF BLAINE }  
ON THIS 07th DAY OF Oct, 2003, BEFORE ME, THE UNDERSIGNED, A NOTARY  
PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED CURTIS M. LUCK,  
KNOWN TO ME TO BE THE PERSON WHO EXECUTED THE INSTRUMENT,  
AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL THE DAY AND YEAR  
IN THIS CERTIFICATE FIRST ABOVE WRITTEN.  
*Jim Anderson*  
NOTARY PUBLIC FOR Blaine Co, ID.  
RESIDING AT Hailey  
MY COMMISSION EXPIRES: 1-10-08



03131502.DWG 09/23/03



### APPROVAL OF CITY COUNCIL

I, THE UNDERSIGNED, CITY CLERK IN AND FOR THE CITY OF HAILEY, BLAINE COUNTY,  
IDAHO, DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE CITY COUNCIL HELD  
ON THE 07th DAY OF October, 2003 THIS PLAT WAS DULY ACCEPTED AND  
APPROVED.

*Heather Daise*  
HEATHER DAISE  
CITY CLERK

### APPROVAL OF CITY PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, PLANNING AND ZONING CHAIRMAN IN AND FOR THE CITY OF HAILEY,  
BLAINE COUNTY, IDAHO, DO HEREBY CERTIFY THAT AT A REGULAR MEETING OF THE  
MEETING OF THE PLANNING AND ZONING COMMISSION HELD ON  
ON THE 06 DAY OF October, 2003 THIS PLAT WAS DULY ACCEPTED AND  
APPROVED.

*Frank J. Cooper*  
FRANK J. COOPER  
PLANNING AND ZONING CHAIRMAN

### APPROVAL OF CITY MAYOR

I, THE UNDERSIGNED MAYOR IN AND FOR THE CITY OF HAILEY, BLAINE COUNTY, IDAHO,  
DO HEREBY APPROVE THIS SUBDIVISION PLAT  
ON THE 07th DAY OF October, 2003.

*Steve Milligan*  
STEVE MILLIGAN  
MAYOR, CITY OF HAILEY

### CERTIFICATE OF COUNTY TREASURER

I, THE UNDERSIGNED, COUNTY TREASURER IN AND FOR THE COUNTY OF BLAINE, STATE OF  
IDAHO, DO HEREBY CERTIFY THAT ANY AND ALL CURRENT AND/OR DELINQUENT PROPERTY  
TAXES FOR THE PROPERTY INCLUDED IN THIS PROPOSED SUBDIVISION HAVE BEEN PAID  
IN FULL THIS CERTIFICATION IS VALID FOR THE NEXT THIRTY (30) DAYS.

*Vicki A. Dick by Melba England 9-26-03*  
VICKI A. DICK  
COUNTY TREASURER

### CERTIFICATE OF COUNTY RECORDER

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED AT THE REQUEST OF  
ANDERSON-DAVID & ASSOCIATES AT 10:45 MINUTES PAST 10 O'CLOCK AM  
ON THIS 07 DAY OF October, 2003, IN BOOK        OF PLATS AT  
PAGES        AND        INSTRUMENT NO.       

DEPUTY EX-OFFICIO RECORDER

Instrument # 493013  
HAILEY, BLAINE, IDAHO  
2003-10-07 10:45:00 No. of Pages: 2  
Recorded by: GARY CARR  
MARSHA BISHMAN  
EX-OFFICIO Recorder Deputy Fee: \$1.00  
10/10/2003

SHEET 2 OF 2



11:00 am

**Saddle Lofts Sun Study  
June 21**



12:00 am



---

1:00 pm



---

2:00 pm



---

3:00 pm



---

4:00 pm



---

5:00 pm



---

6:00 pm



7:00 pm

## Jessica Parker

---

**From:** Cole Balis  
**Sent:** Tuesday, January 11, 2022 9:42 AM  
**To:** Robyn Davis  
**Subject:** RE: Design Reviews: Saddle Lots -

They are only going to have one meter for the whole complex and they are not required to have fire suppression in the buildings? Or am I just looking at the wrong sheet for water infrastructure?

Thank you,

Cole

---

**From:** Robyn Davis <[robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org)>  
**Sent:** Tuesday, January 11, 2022 9:15 AM  
**To:** Brian Yeager <[brian.yeager@haileycityhall.org](mailto:brian.yeager@haileycityhall.org)>; Kelly Schwarz <[kelly.schwarz@haileycityhall.org](mailto:kelly.schwarz@haileycityhall.org)>; Cole Balis <[cole.balis@haileycityhall.org](mailto:cole.balis@haileycityhall.org)>; Stephanie Cook <[stephanie.cook@haileycityhall.org](mailto:stephanie.cook@haileycityhall.org)>; Steve Holyoak <[steve.holyoak@haileycityhall.org](mailto:steve.holyoak@haileycityhall.org)>  
**Subject:** FW: Design Reviews: Saddle Lots -

Hi, All –

Do any of you have preliminary comments on the attached project? If so, I need them this morning. Thanks!

**Robyn Davis, M.A.**

**Community Development City Planner**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2

---

**From:** Robyn Davis  
**Sent:** Wednesday, December 29, 2021 1:49 PM  
**To:** Brian Yeager <[brian.yeager@haileycityhall.org](mailto:brian.yeager@haileycityhall.org)>; Cole Balis <[cole.balis@haileycityhall.org](mailto:cole.balis@haileycityhall.org)>; Kelly Schwarz <[kelly.schwarz@haileycityhall.org](mailto:kelly.schwarz@haileycityhall.org)>; Lisa Horowitz <[lisa.horowitz@haileycityhall.org](mailto:lisa.horowitz@haileycityhall.org)>; Mike Baledge <[mike.baledge@haileycityhall.org](mailto:mike.baledge@haileycityhall.org)>; Nancy Arellano <[nancy.arellano@haileycityhall.org](mailto:nancy.arellano@haileycityhall.org)>; Paige Nied <[paige.nied@haileycityhall.org](mailto:paige.nied@haileycityhall.org)>; Stephanie Cook <[stephanie.cook@haileycityhall.org](mailto:stephanie.cook@haileycityhall.org)>; Steve Holyoak <[steve.holyoak@haileycityhall.org](mailto:steve.holyoak@haileycityhall.org)>  
**Subject:** Design Reviews: Saddle Lots -

Hi, All –

Please review the attached drawings for construction of three (3) multifamily buildings, which includes 28 residential units, to be located at Sublot 4B, Block 1, North Hailey Plaza.

Please provide comments by January 10, 2022.

Thank you and Happy New Year!

**Robyn Davis, M.A.**

**Community Development City Planner**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2

**From:** [Laura Theis](#)  
**To:** [planning](#)  
**Subject:** Proposal for Saddle Lofts at Sublot 4B, Block 1  
**Date:** Friday, January 14, 2022 4:58:42 PM

---

Hello Hailey Planning and Zoning,  
I've been reviewing the plans for the Saddle Lofts at Sublot 4B, Block 1, North Hailey Plaza.

I know there's a fine balancing of cost of construction & affordability, but I urge planning & zoning to make sure that the new housing being built provides a range of living options.

I'm supportive of building higher density housing to increase the housing stock during what can only be described as a housing crisis. But from the plans that are being presented, I worry that what we're seeing is out of state developers bringing more one bedroom ski condos (now down valley in addition to Ketchum) that won't serve our community housing needs for people to live in long-term which includes more parking and more storage.

Thank you for your consideration,  
Laura Theis  
Hailey, Idaho

**From:** [svlocal89](#)  
**To:** [Lisa Horowitz](#); [planning](#)  
**Cc:** [Robyn Davis](#)  
**Subject:** Public Comment - River St & Empty Saddle Trail apartments (Saddle Lofts)  
**Date:** Tuesday, January 18, 2022 10:43:36 AM

---

Good day,

This is my first public comment for the Hailey City Planning & Zoning Committee meeting.....January 18, 2022.

The attached email is more questions than resolutions.

Please read and respond to these public comments during the Consideration of a Design Review Preapplication by Kazuko-San ID, LLC, Sublot 4B, Block 1, North Hailey Plaza

Thank you,  
Sandy Kelly  
208-721-0378

---

My questions regarding the Design Review Preapplication by Kazuko-San ID, LLC, Sublot 4B, Block 1, North Hailey Plaza are:

- Ingres & egress to the apartments is entirely from Empty Saddle Trail. Empty Saddle Trail has never been of an approved width and may cause a dire situation to get off and onto Main Street. Traffic pattern shows that people driving South on Main Street may want to visit McDonalds are face to face with people driving North that want to turn onto Empty Saddle Trail. Also, the distance from Main Street to the Saddle Lofts driveway/access is not enough to prevent serious traffic congestion. This is an important safety consideration.
- Snow removal.....I read the paragraph regarding snow removal which was very vague. I have not experienced a multi-housing unit "remove" snow".....to where? and how? and for how long?
- Parking on River Street. There appears to be 6-8 parking slots on River St for auxiliary parking, which may not meet the requirements of the road width. Clarification requested before approval.
- Are these rental units owned by one company, or may an individual purchase a "unit"?
- The Webster's definition of a "plaza" is public square or marketplace or a similar open space in a built up area. How did the usage of a multi-residence become acceptable (i.e. transgress) to be included in the 'North Hailey Town Plaza'?
- What is the comprehensive plan (i.e. long-term vision) for River Street in Hailey? The continuum of public/private set backs, sidewalks, bike path, city trees and street width are not apparent at this time.
- For comparison, what are the square footage of the lot, # of units, and set backs for the recently developed apartments on North River Street (i.e.the Silver River apartments and the River Street apartments,

Thank you for the time to express my questions / concerns during the preapplication of the Saddle Lofts.

Kind regards,  
Sandy Kelly  
208-721-0378

## Jessica Parker

---

**From:** Lisa Horowitz  
**Sent:** Friday, January 21, 2022 10:41 AM  
**To:** Robyn Davis  
**Cc:** Rebecca Bundy  
**Subject:** FW: River St. Apts.

Public comment

Lisa Horowitz  
COMMUNITY DEVELOPMENT DIRECTOR  
CITY OF HAILEY  
115 S. MAIN ST. HAILEY, ID 83333  
208-788-9815 EXT. 1  
CELL: 727-7097

---

**From:** Donna Svei <donnasvei@gmail.com>  
**Sent:** Friday, January 21, 2022 9:24 AM  
**To:** Lisa Horowitz <lisa.horowitz@haileycityhall.org>  
**Subject:** River St. Apts.

Hi Lisa,

I saw the Mt. Express article.

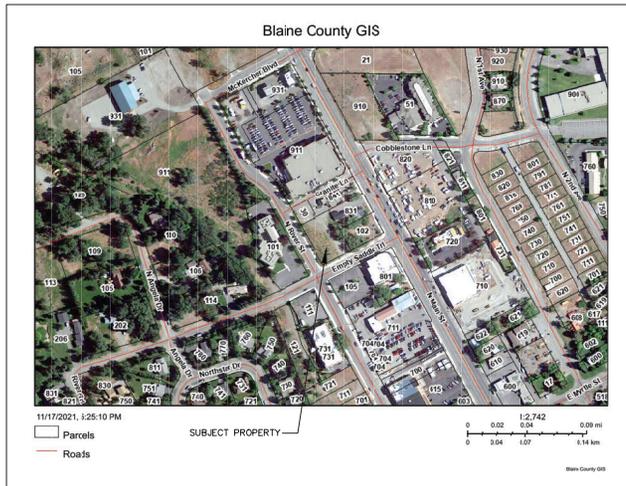
I agree that lack of A/C is a problem. We just experienced a summer with two months of horrible air quality. I'm incredibly grateful I have air conditioning because opening my windows for cool air would have filled my home and lungs with dangerous toxins.

Thanks,

Donna



CONCEPTUAL RENDERING OF SOUTH & WEST FACADES



VICINITY MAP



**PROJECT INFORMATION**

OWNER:  
KAZUKI-SAN ID, LLC  
4488 VA ALEGRE  
SANTA BARBARA, CA 93110

PROJECT ADDRESS:  
NO ADDRESS YET  
NE CORNER OF RIVER STREET & EMPTY SADDLE TRAIL  
HAILEY, ID 83333

LEGAL DESCRIPTION:  
NORTH HAILEY BUSINESS CENTER, AMENDED LOT 2A

**BUILDING INFORMATION NOTES**

SITE AREA: ±0.53 ACRES (±22,992 SF)  
ZONING: BUSINESS (B)  
OVERLAY ZONING: DOWNTOWN RESIDENTIAL OVERLAY (DRO)

BUILDING OCCUPANCY: R-2  
BUILDING CONSTRUCTION TYPE: VB

LOT COVERAGE:  
BUILDING A 2,718.7 SF  
BUILDING B 2,718.7 SF  
BUILDING C 1,780.8 SF  
COVERED ACCESS BALCONIES 1,879.6 SF  
TOTAL LOT COVERAGE 9,097.5 SF (39.6%)

AVERAGE UNIT SIZE: 681 NSF

OFF-STREET PARKING:  
25 UNCOVERED SPACES (18 STANDARD, 1 ADA, 6 COMPACT)  
3 SPACES IN CARPORT (1 ADA VAN, 1 STANDARD, 1 COMPACT)  
5 GUEST SPACES IN IMPROVED ROW

**CODE INFORMATION**

APPLICABLE CODES, AS ADOPTED & AMENDED BY THE CITY OF HAILEY:  
2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL FIRE CODE  
2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE  
HAILEY MUNICIPAL CODE:  
• 15.08.01Z - BUILD BETTER PROGRAM  
• CHAPTER 17 - ZONING REGULATIONS

**SHEET INDEX:**

- A 1.00 - COVER SHEET, CONCEPTUAL RENDERING, SHEET INDEX, VICINITY MAP
- TOPO - SURVEY
- A 1.01 - SITE PLAN
- A 1.02 - GROUND FLOOR PLAN
- A 1.03 - SECOND FLOOR PLAN
- A 1.04 - THIRD FLOOR PLAN
- A 2.01 - WEST & SOUTH ELEVATIONS
- A 2.02 - EAST & NORTH ELEVATIONS
- A 3.01 - SECTIONS A & B
- A 3.02 - SECTIONS C & D

**DESIGN TEAM**

ARCHITECT:  
REBECCA F BUNDY, ARCHITECT, PLLC  
PO BOX 2313  
KETCHUM, ID 83340  
REBECCA@RFBUNDYDESIGN.COM  
(208) 720-1832

CIVIL ENGINEER/SURVEYOR:  
GALENA ENGINEERING, INC  
317 NORTH RIVER STREET  
HAILEY, ID 83333  
SAM@GALENA-ENGINEERING.COM  
(208) 788-1705

CONTRACTOR:  
CONRAD BROTHERS CONSTRUCTION  
105 LEWIS STREET, SUITE 101  
KETCHUM, ID 83340  
PAUL@CONRADBROTHERSCONSTRUCTION.COM  
(208) 726-5788

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SUBMITTAL  
NOT FOR  
CONSTRUCTION



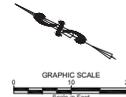
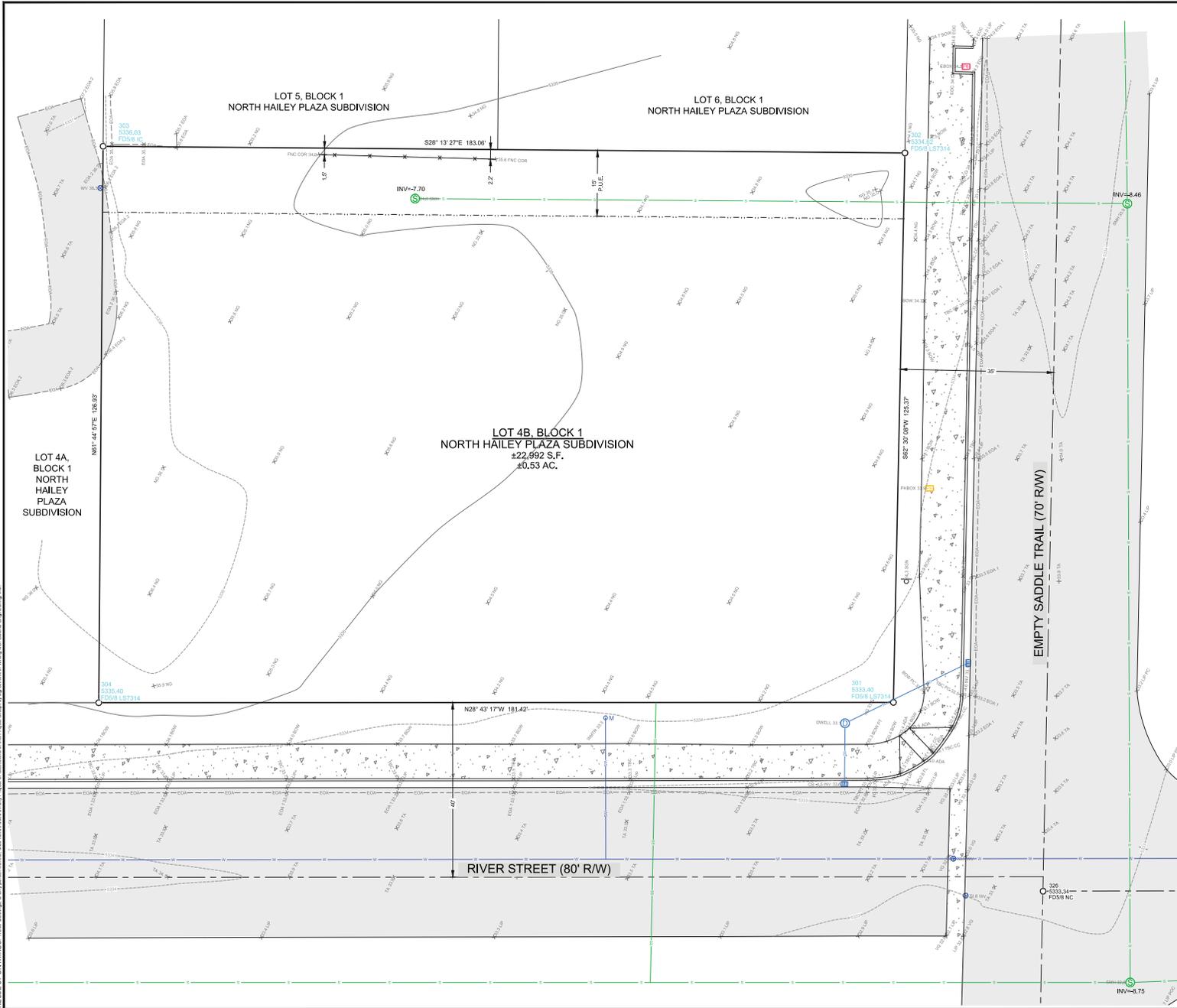
REBECCA F. BUNDY, ARCHITECT, PLLC  
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PO BOX 2313  
KETCHUM, ID 83340  
(208) 720-1832  
REBECCA@RFBUNDYDESIGN.COM

COVER SHEET

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS	
SUBMIT DATE:	
SCALE N/A	
DATE 11/24/2021	
DRAWING NO.	
A 1.00	

PLEASE DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION OR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF GALENA ENGINEERING, INC.



**LEGEND**

—	Property Line	—	ADA = Curb Ramp Points
—	Adjoiner's Lot Line	—	BOW = Back of Walk
—	Centerline Right of Way	—	CC = Curb Cut
—	Public Utility Easement per Plat	—	COR = Corner
—	FD518 = Found 5/8" Rebar	—	EOA = Edge of Asphalt
—	FD1/2 = Found 1/2" Rebar	—	EOC = Edge of Concrete
—	CNTRL = Survey Control	—	FL = Flow Line
—	5' Contour Interval	—	IN = Invert
—	1' Contour Interval	—	LSP = Lip of Gutter
—	Curb & Gutter	—	NG = Natural Ground
—	FNC = Fence Line	—	PC = Point of Curvature
—	Asphalt	—	POC = Point on Curve
—	Concrete Sidewalk	—	PT = Point of Tangency
—	Sign	—	TA = Top of Asphalt
—	PHBOX = Telephone Riser	—	TBC = Top Back of Curb
—	PBOX = Power Box	—	VG = Valley Gutter
—	Sewer Main		
—	Sewer Service		
—	SMH = Sewer Manhole		
—	Storm Drain		
—	CB = Catch Basin		
—	DWELL = Dry Well		
—	Water Main		
—	Water Service		
—	WMTR = Water Meter		
—	WV = Water Valve		

**NOTES**

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (08/19/2021).
- Boundary information is based on Found Monumentation. Please refer to the recorded plat of North Hailey Plaza Subdivision, Insist 402013, records of Blaine County, Idaho Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- Underground utility locations are based on above ground appearances / utilities visible at the time of the survey and City utility maps. Sub-surface utility locations are approximate and locations should be verified before any excavation.
- Galena Engineering, Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is found 5/8" rebar at southwest corner of property, elevation = 5333.40. Point elevations shown are truncated (i.e. 5334.34 is 34.3). Vertical Datum as NAVD 1988.

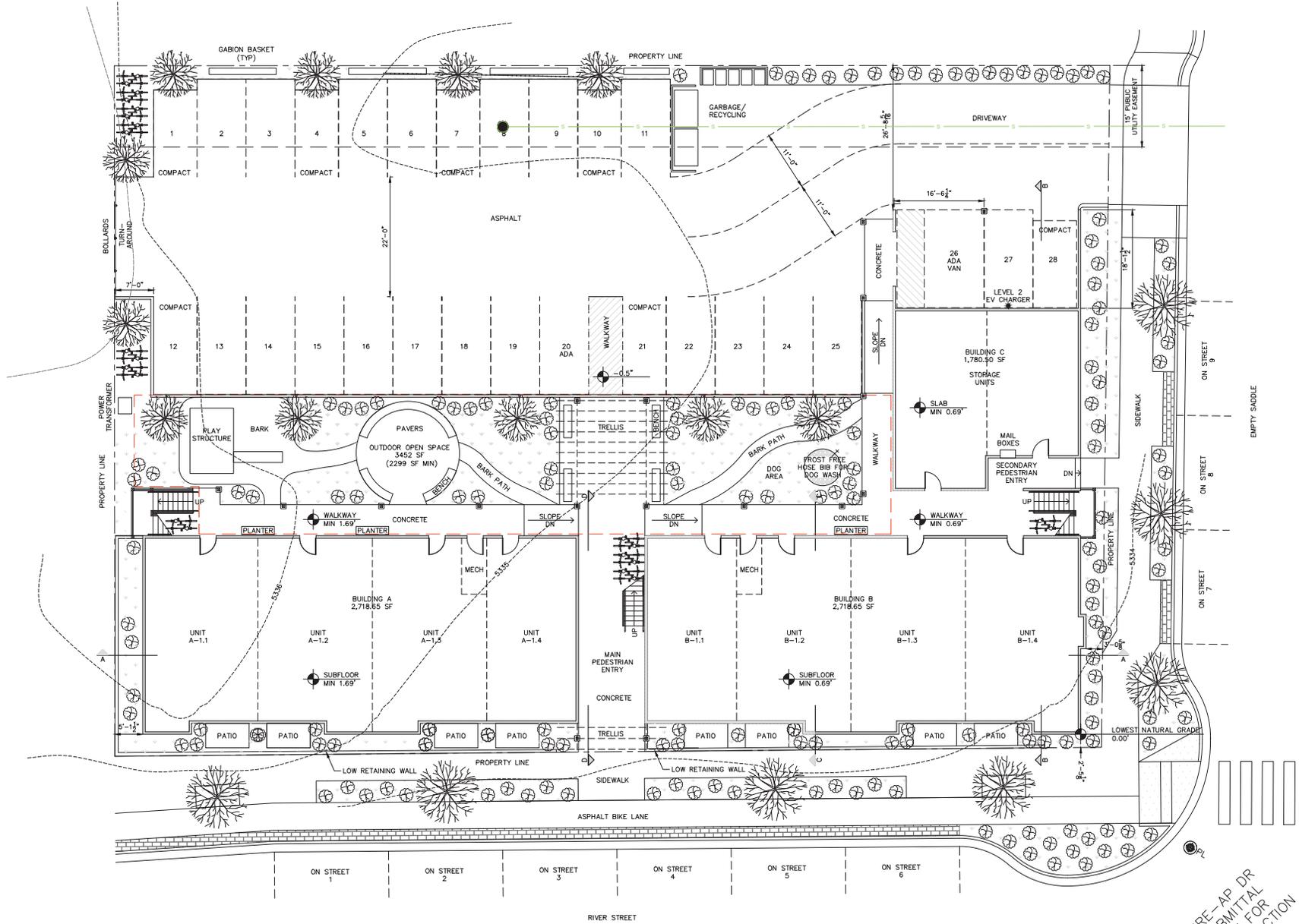
**A TOPOGRAPHIC MAP SHOWING**  
**LOT 4B, BLOCK 1, NORTH HAILEY PLAZA SUBDIVISION**  
 LOCATED WITHIN SECTION 8, T.2N. R.1E. B.M. CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 PROJECT INFORMATION  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]



DESIGNED BY: [Signature]  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 117 N. River Street  
 Boise, Idaho 83725  
 (208) 784-1700  
 email: galena@galenaengineering.com

NO.	DATE	BY	REVISIONS

**PURPOSE:** TOPO  
**NOT DATE:**



SITE PLAN

1/8"=1'-0"



PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



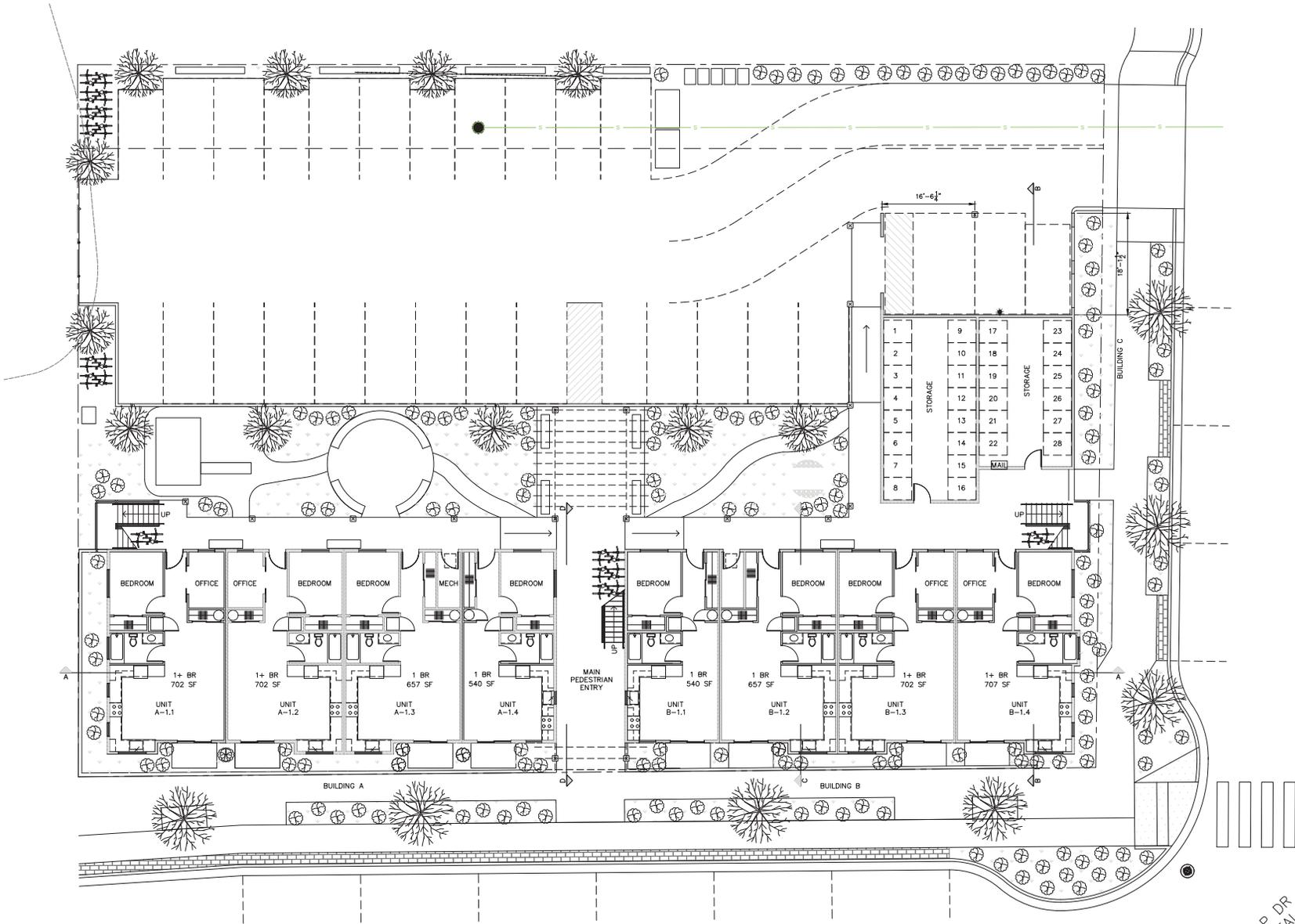
REBECCA F. BUNDY, ARCHITECT, PLLC  
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PO BOX 2313  
KETCHUM, ID 83340  
(208) 720-1832  
REBECCA@RFBUNDYDESIGN.COM

SITE PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS	SUBMIT DATE:

SCALE 1/8"=1'-0"  
DATE 11/24/2021  
DRAWING NO.  
A 1.01



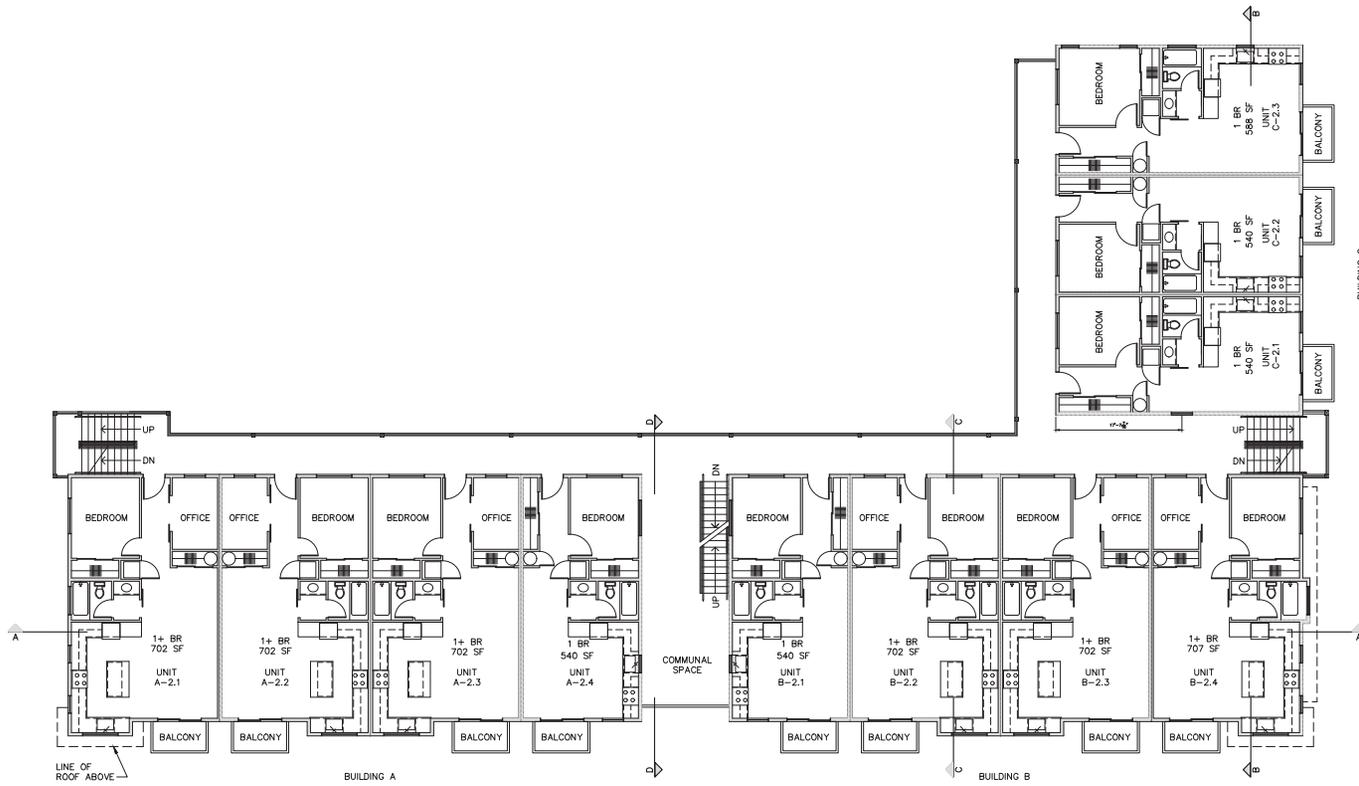
GROUND FLOOR PLAN

(8) UNITS  
 (4) 1+ BEDROOMS  
 (4) 1 BEDROOMS  
 8"=1'-0"

PRE-AP DR  
 SUBMITTAL  
 NOT FOR  
 CONSTRUCTION



REBECCA F. BUNDY, ARCHITECT, PLLC	
AIA AICP CFM	
PO BOX 2313	83340
KENTHUM, ID	
REBECCA@REBFUNDYDESIGN.COM	
GROUND FLOOR PLAN	
SADDLE LOFTS N HAILEY PLAZA, SBLT 4B, BLK 1 HAILEY, IDAHO NEW MULTI-FAMILY CONSTRUCTION	
REVISION STATUS	
SUBMIT DATE:	
SCALE 1/8"=1'-0"	
DATE 11/24/2021	
DRAWING NO.	A 1.02



2ND FLOOR PLAN

- (1) UNITS
- (6) 1+ BEDROOMS
- (5) 1 BEDROOMS

1/8"=1'-0"



PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



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REBECCA@RFBUNDYDESIGN.COM

SECOND FLOOR  
PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS

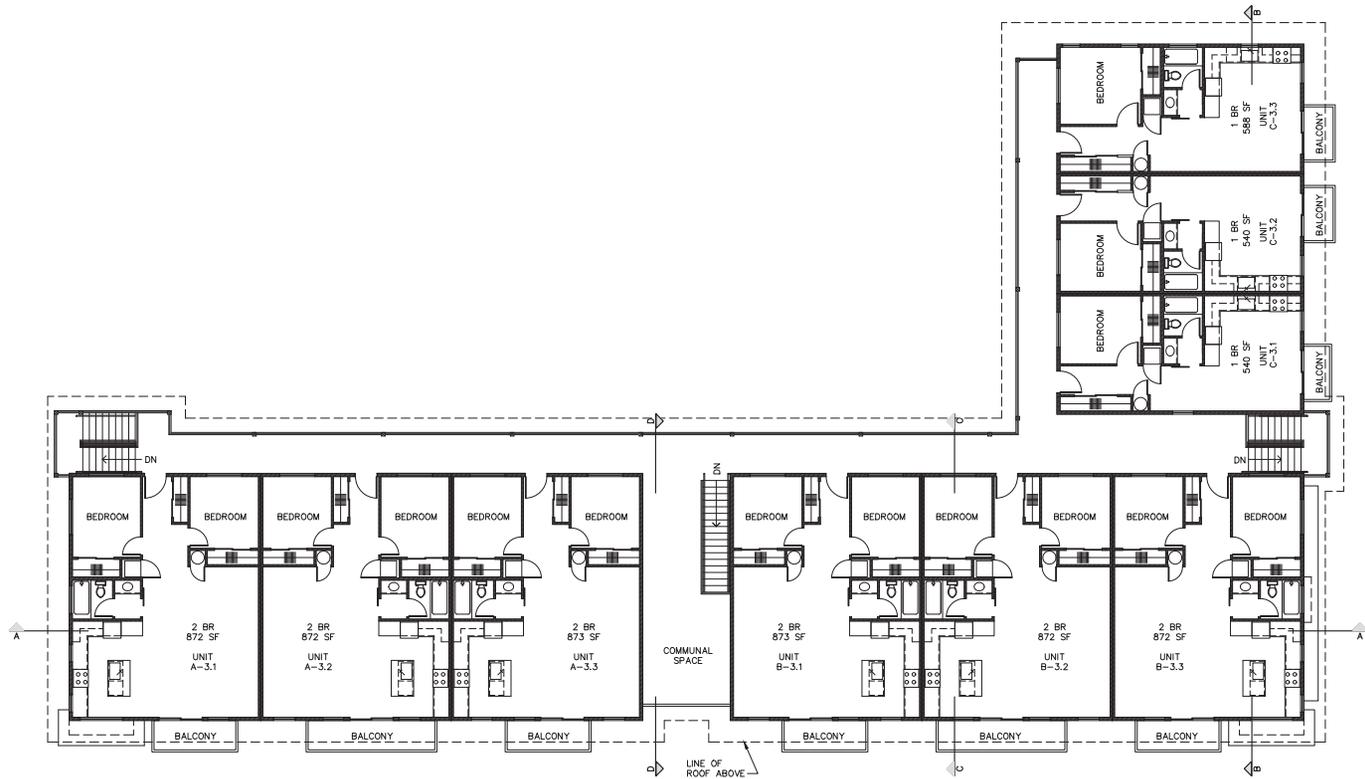
SUBMIT DATE:

SCALE 1/8"=1'-0"

DATE 11/24/2021

DRAWING NO.

A 1.03



3RD FLOOR PLAN

- (9) UNITS
- (6) 2 BEDROOMS
- (3) 1 BEDROOMS

1/8"=1'-0"



PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



<p>THIRD FLOOR PLAN</p>	<p>SADDLE LOFTS N HAILEY PLAZA, SBLT 4B, BLK 1 HAILEY, IDAHO NEW MULTI-FAMILY CONSTRUCTION</p>
<p>REBECCA F. BUNDY, ARCHITECT, PLLC AIA AICP CFM PO BOX 2313 83340 KETCHUM, ID 83340 20877201832 REBECCA@RFBUNDYDESIGN.COM</p>	
<p>REVISION STATUS SUBMIT DATE:</p>	
<p>SCALE 1/8"=1'-0" DATE 11/24/2021 DRAWING NO.</p>	
<p>A 1.04</p>	



Neighborhood Context



① View from NW

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② View from SW

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③ View from SE

---



④ View from NE

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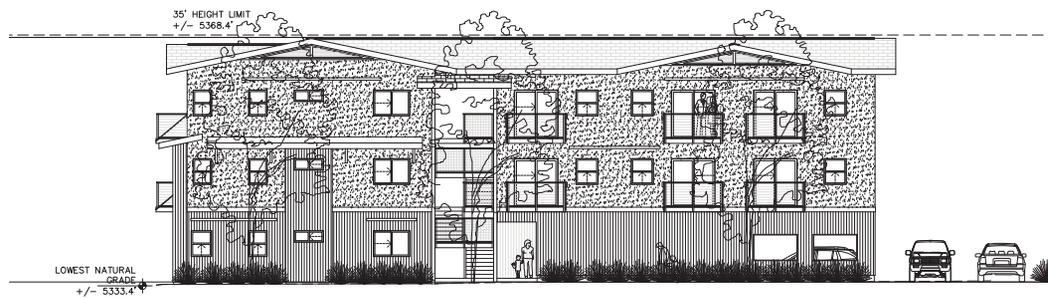


WEST ELEVATION

1/8"=1'-0"

LEGEND

-  ASPHALT SHINGLE
-  STUCCO SIDING
-  CORRUGATED METAL SIDING
-  METAL GUARDRAIL
-  SUN SHADE



SOUTH ELEVATION

1/8"=1'-0"

IMAGES



AS&D BALCONY SYSTEMS



AS&D SUN SHADE



CABINFIELD AMISH PLAYSET



HALLOWELL SINGLE TIER BULK STORAGE LOCKER



VERSATILE MAIL BOXES

PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



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WEST & SOUTH  
ELEVATIONS

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS
SUBMIT DATE:

SCALE 1/8"=1'-0"  
DATE 11/24/2021  
DRAWING NO.

A 2.01

SW 6369  
**Tassel**  
Interior / Exterior  
Location Number: 128-C5



128

Tassel

Stucco



Balconies & Sunshades



Asphalt Roofing  
(final color TBD)



Western Rust (CMG)

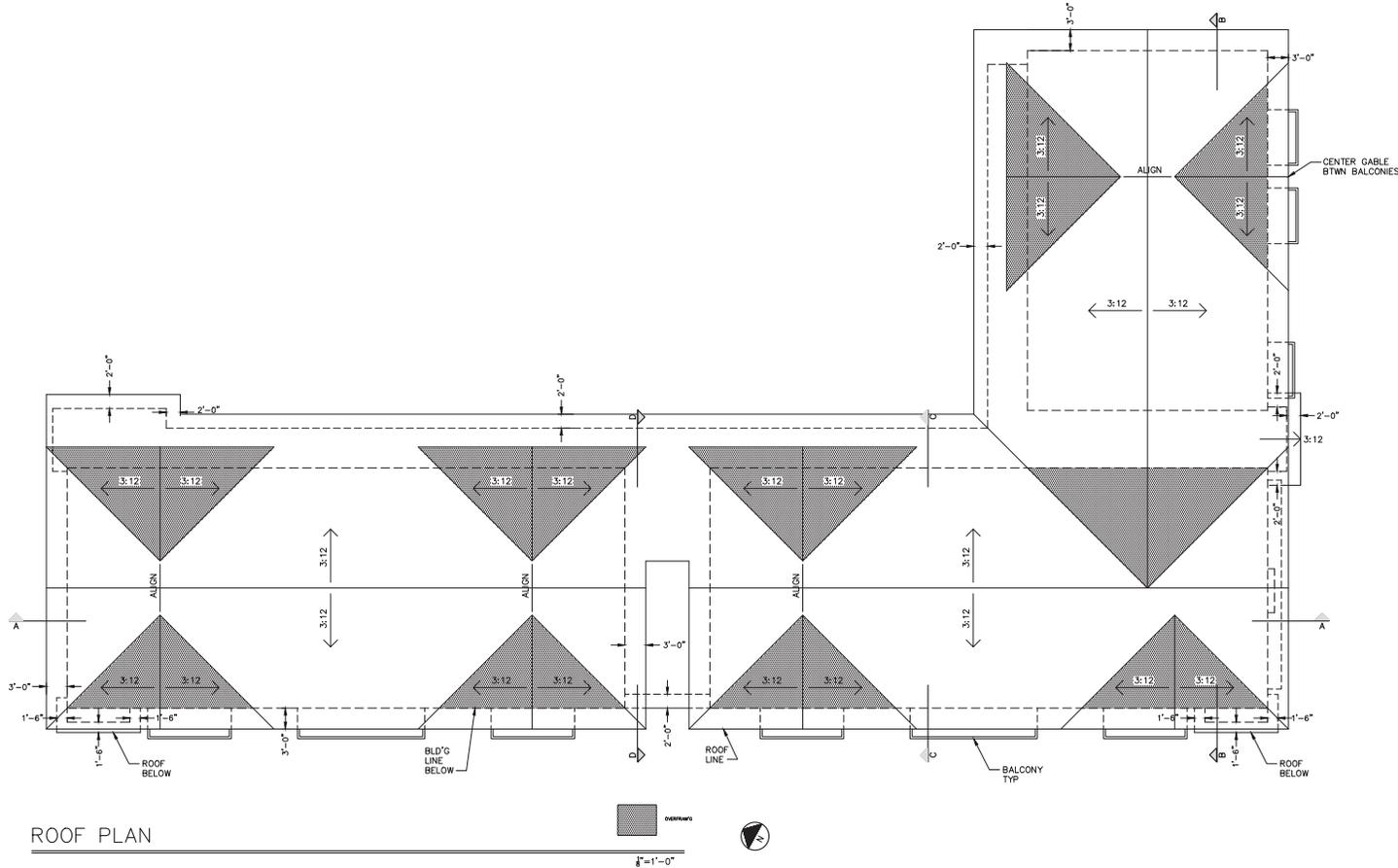
Metal Siding



## Exterior Color Palette Concept



Windows - Black



ROOF PLAN

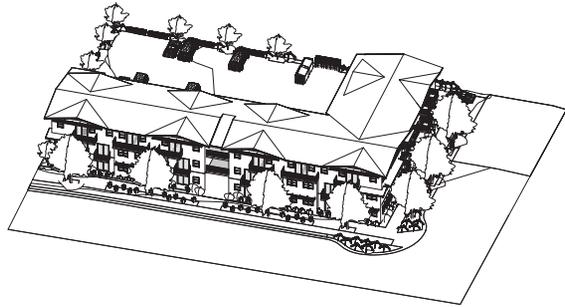
PRE-AP DR  
 SUBMITTAL  
 NOT FOR  
 CONSTRUCTION

REBECCA F. BUNDY, ARCHITECT, PLLC AIA AICP PO BOX 2313 83340 KETCHUM, ID 83340 208/720-1832 REBECCA@RFBUNDYDESIGN.COM	
ROOF PLAN	
SADDLE LOFTS N HAILEY PLAZA, SBLT 4B, BLK 1 HAILEY, IDAHO NEW MULTI-FAMILY CONSTRUCTION	
REVISION STATUS SUBMIT DATE:	SCALE 1/8"=1'-0" DATE 1/13/2022 DRAWING NO.
A 1.05	



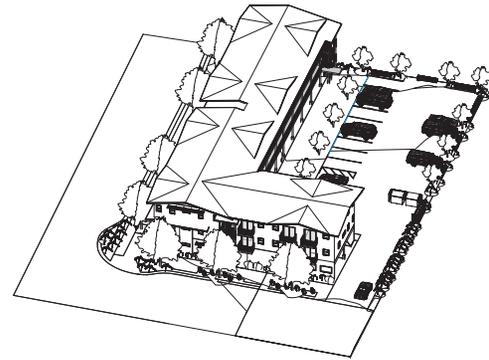
① View from W

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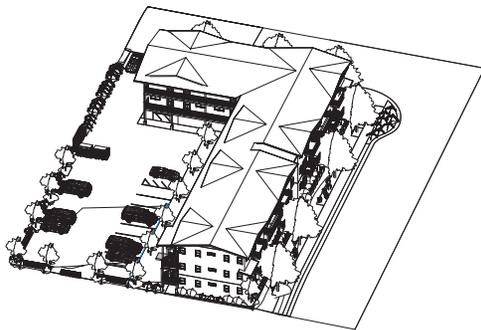
① ir e e from W

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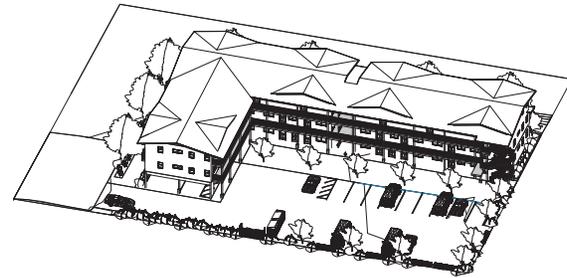
○ ir e e from

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○ ir e e from W

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○ ir e e from

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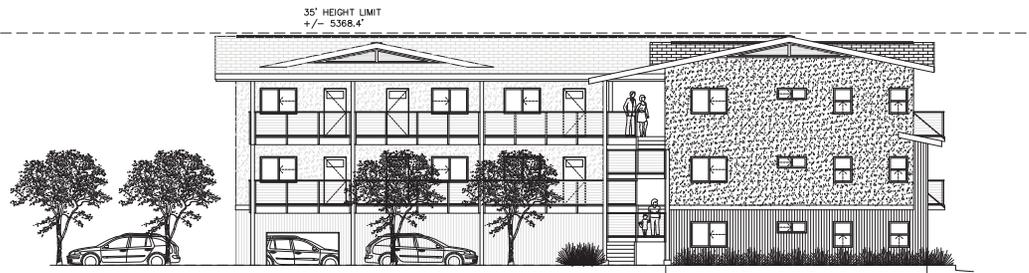


EAST ELEVATION

1/8"=1'-0"

LEGEND

-  ASPHALT SHINGLE
-  STUCCO SIDING
-  CORRUGATED METAL SIDING
-  METAL GUARDRAIL
-  SUN SHADE



NORTH ELEVATION

1/8"=1'-0"

PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



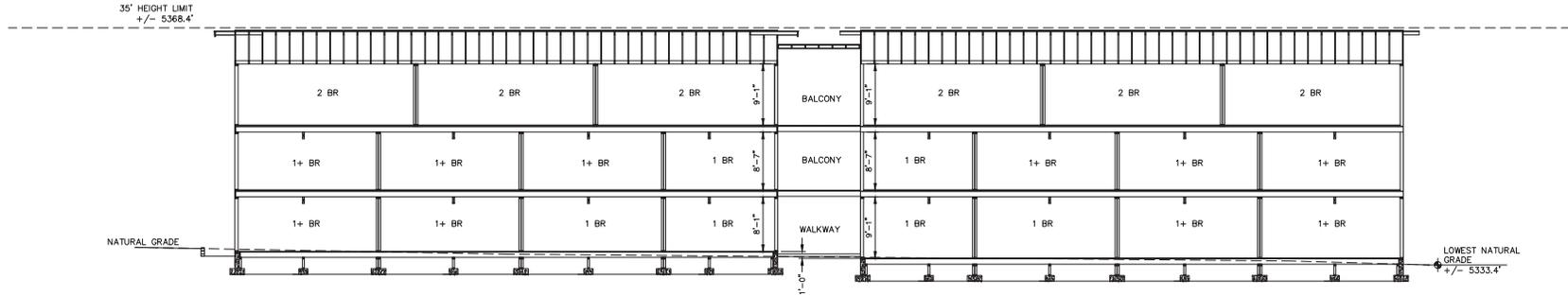
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AIA AICP CFM  
PO BOX 2313  
KEETCHUM, ID 83340  
REBECCA@RFBUNDYDESIGN.COM

EAST & NORTH  
ELEVATIONS

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

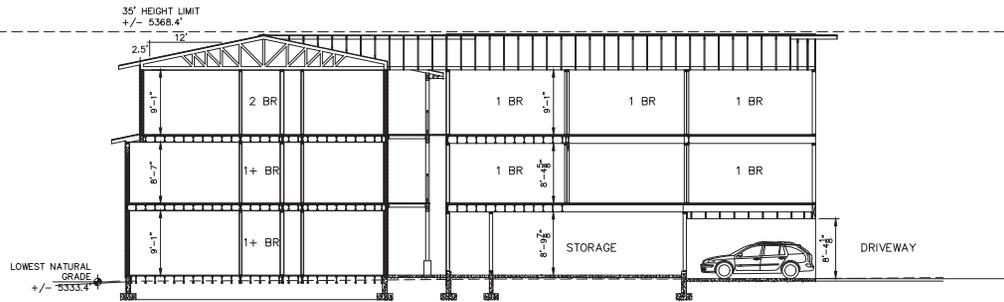
REVISION STATUS
SUBMIT DATE:

SCALE 1/8"=1'-0"  
DATE 11/24/2021  
DRAWING NO.  
A 2.02



SECTION A

1/8"=1'-0"



SECTION B

1/8"=1'-0"

PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



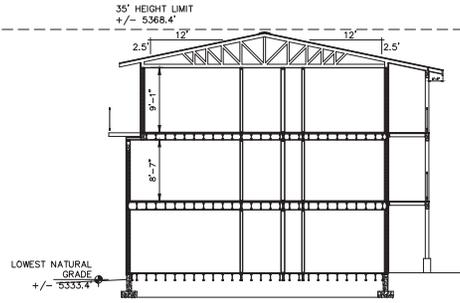
REBECCA F. BUNDY, ARCHITECT, PLLC  
AIA AICP CFM  
PO BOX 2313  
KETCHUM, ID 83340  
TEL 208.720.8332  
REBECCA@RFBUNDYDESIGN.COM

SECTIONS A & B

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

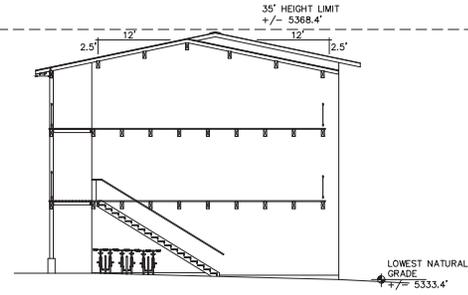
REVISION STATUS
SUBMIT DATE:

SCALE 1/8"=1'-0"  
DATE 11/24/2021  
DRAWING NO.  
A 3.01



SECTION C

1/8"=1'-0"



SECTION D

1/8"=1'-0"

PRE-AP DR  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



REBECCA F. BUNDY, ARCHITECT, PLLC AIA AICP CFM PO BOX 2313 KETCHUM, ID 83340 PHONE 208.224.7200 REBECCA@RFBUNDYDESIGN.COM	SECTIONS C & D	SADDLE LOFTS N HAILEY PLAZA, SBLT 4B, BLK 1 HAILEY, IDAHO NEW MULTI-FAMILY CONSTRUCTION
REVISION STATUS	SCALE 1/8"=1'-0"	DATE 11/24/2021
SUBMIT DATE:	DRAWING NO.	A 3.02

**Return to Agenda**

P. O. Box 2313  
Ketchum, ID 83340  
(208) 720-1832  
rebecca@rfbundydesign.com

February 10, 2022

Re: Saddle Lofts Design Review submittal

Dear Department of Community Development staff,

Please accept the attached application for Pre-application Design Review. The submittal includes:

- Application Form
- Applicant Responses to Applicable Zoning Code Sections
- Exterior Lighting Cut Sheets
- June 21 Sun Study
- Architectural Plan Set
  - 24x36 set
  - 11x17 reduction
- Exterior Materials Samples

Our submittal addresses input provided by the Planning and Zoning Commission at the Pre-application Design Review hearing, specifically:

- The Commission's suggestion that a few one bedroom units might be combined into two bedroom units to accommodate more families has been addressed by combining (3) one bedroom units (C-3.1, C-3.2 and C-3.3) into (2) two bedroom units (C-3.1 and C-3.2);
- The Commission's suggestion that the metal siding material was too dark. We researched quite a number of options and have selected a lighter rust colored metal and have adjusted the stucco color accordingly;
- We met again with City staff to refine the River Street improvements;
- We have incorporated input from Mountain Fire Sprinklers, as well as the Hailey Fire Chief, for riser room location and sprinkler feasibility;
- We have worked extensively with Idaho Power to determine feasible transformer box and meter locations;
- We have engaged John Reuter Greenworks to perform an energy model on the building to inform final decisions related to the building envelope and HVAC systems; and
- We have given further thought to the outdoor open space, including the children's play area, which now includes children's climbing rocks with nearby picnic tables for parents.

Sincerely,



Rebecca F. Bundy



# Design Review Application

Submission Date: 2/11/2022

Project Name: Saddle Lots Parcel No. RPH04440000048  
 Legal Description of Property: Subdivision North Hailey Plaza Lot(s) Sublot 4B, Block: \_\_\_\_\_  
 Street Address of Property: No street address at this time  
 Current Zoning of Property: B & DRO Year of original construction: N/A  
(Only applicable if property is within the Townsite Overlay)  
 Existing building gross sq. ft. (if applicable) N/A Proposed addition or new construction sq. ft. 22,159 SF

Name of Owner of the Property: Kazuko-San ID, LLC  
 Mailing Address: 4468 Via Alegre City: Santa Barbara State: CA Zip: 93110  
 Phone: (\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_ Fax: (\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_ Cell: (805) 705 \_\_\_\_\_ - 7640  
 Email Address: bmrecharad@gmail.com

### Property Owner Consent:

By signature hereon, the property owner acknowledges that City officials and/or employees may, in the performance of their functions, enter upon the property to inspect, post legal notices, and/or other standard activities in the course of processing this application, pursuant to Idaho Code §67-6507. The property owner is also hereby notified that members of the Planning and Zoning Commission and City Council are required to generally disclose the content of any *ex parte* discussion (outside the hearing) with any person, including the property owner or representative, regarding this application.

Property Owner's Signature: *Bruce Reichard* Date: 2/4/2022

Name of individual to contact on behalf of Trust or LLC (if applicable): Bruce Reichard  
 Mailing Address: 4468 Via Alegre City: Santa Barbara State: CA Zip: 93110  
 Phone: (\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_ Fax: (\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_ Cell: (805) 705 \_\_\_\_\_ - 7640  
 Email Address: bmrecharad@gmail.com

Application Contact (if different than above): Rebecca F. Bundy, Architect  
 \*\*Application Contact will be the Planning Department's primary point of contact for questions related to the application.  
 Mailing Address: PO Box 2313 City: Ketchum State: ID Zip: 83340  
 Phone: (\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_ Fax: (\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_ Cell: (208) 720 \_\_\_\_\_ - 1832  
 Email Address: rebecca@rfbundydesign.com

Signature: *Rebecca F. Bundy* Date: 2/2/2022

See attached checklist for items that must be submitted with this application in order for application to be considered complete. See the applicable Design Review Guidelines, including Townsite Overlay Guidelines if applicable, in Section 6A of the Hailey Zoning Ordinance.

Appeals: Any interested party may appeal in writing any final decision of the Planning and Zoning Administrator, Hearing Examiner, or Commission to the City Council by filing an appeal with the Hailey City Clerk within fifteen (15) days from the date of the decision. The appeal shall specifically state the decision appealed and reasons for the appeal. If no appeal is filed within the fifteen (15) day period, the decision shall be deemed final.

### FOR CITY USE ONLY Fees: Cost of additional noticing, recording fees, and other direct costs will also be assessed.

<input type="checkbox"/> Commercial, or Mixed-Use .....	\$ 1000.00
plus \$50 / 1,000 gross square feet .....	\$ _____
<input type="checkbox"/> Development Agreement .....	\$ 1500.00
processing expenses exceeding \$1500.00.....	\$ _____
OR <input type="checkbox"/> Multi-Family.....	\$ 500.00
plus \$100 / additional unit.....	\$ _____
OR <input type="checkbox"/> Single-Family Dwelling, Duplex or Accessory Dwelling Unit in Townsite Overlay.....	\$ 250.00
OR <input type="checkbox"/> Accessory Structure.....	\$ 250.00
OR <input type="checkbox"/> Retainer.....\$250, \$500 or \$1000 (depending on complexity of project) .....	\$ _____
OR <input type="checkbox"/> Modification to DR Approval... (No publication or mailing) .....	\$ 100.00
OR <input type="checkbox"/> DR Exemption... (No publication or mailing) .....	\$ 75.00
Publication cost.....	\$ 50.00
Mailing (# of addresses _____) x (_____ postage + .15 paper, envelope & label) .....	\$ _____
Total Due.....	\$ _____

*Emailed to Rebecca 2/5/22*

# DESIGN REVIEW - CHECKLIST

Project Name:

Saddle Lofts

City Use Only -

Certified Compete by: \_\_\_\_\_

Date: \_\_\_\_/\_\_\_\_/\_\_\_\_

**The following items must be submitted with the application for the application to be considered complete (✓):**

- One (1) 24" x 36" set of plans with scale indicated containing the following:
- Vicinity map showing project location in relationship to adjacent buildings and surrounding area.
- Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions (**must** show location of adjacent buildings and structures).
- Total square footage of subject property, including lot dimensions.
- Building setbacks.
- Staging and Contractor Parking Plan.
- Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures).
- Landscape plan
  - Existing trees to be shown as retained/relocated/removed.
  - All proposed species type/size/quantity of each.
  - Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
- Floor plan (include gross square footage for each floor, occupancy classification and type of construction).
- Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
- Drainage plan (grading, catch basins, piping, and dry-wells).
- Detailed elevations showing facade of all sides of proposed building and other exterior elements.  
**Must show elevation points of record grade.** Include notes on colors, materials, dimensions.
- Colored rendering of at least one side of the proposed building.
- Plans and drawings for all buildings, except single-family dwellings and accessory structures, shall be prepared and stamped by an Idaho licensed architect
- North point and scale.
- One (1) 11" x 17" copy of any larger plans/maps
- PDF files of all required documents and 11" x 17" plans/maps
- N/A Color photographs of any existing structures on the site.
- Materials and colors sample board. Each sample approximately 12" x 12"(no larger).
- N/A Sign Plan (if applicable).
- N/A Area Development Plan (required if property owner also owns adjacent parcels).
- N/A For properties located in Airport West, Design Review approval by Airport West Design Board.
- Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- Names and addresses of easement holders within subject property.
- \_\_\_\_\_ Other information as required by the Zoning Administrator, Hearing Examiner or Commission:
  - Written statement of how each design review standard is met (contact the Planning Coordinator for which set of standards is applicable to your project).

---

**City Use Only:**

- \_\_\_\_\_ Double check address
- \_\_\_\_\_ Advise applicant if Lot Line Adjustment is needed
- \_\_\_\_\_ Check following basic standards:
  - \_\_\_\_\_ Density
  - \_\_\_\_\_ Setbacks
  - \_\_\_\_\_ Height (**plans must show elevation points of record grade**)
  - \_\_\_\_\_ Lot coverage
  - \_\_\_\_\_ Floor area
  - \_\_\_\_\_ Parking (# of spaces)

# DESIGN REVIEW - CHECKLIST

Project Name:

Saddle Lofts

sublot 4B, B1K1, North Hailey Plaza

City Use Only -

Certified Complete by: FD

Date: 02 / 14 / 2021

The following items must be submitted with the application for the application to be considered complete (✓):

- X ✓ One (1) 24" x 36" set of plans with scale indicated containing the following:
- X ✓ Vicinity map showing project location in relationship to adjacent buildings and surrounding area.
- X ✓ Site plan showing proposed parking, loading, general circulation, snow storage and parking stall dimensions (must show location of adjacent buildings and structures).
- X ✓ Total square footage of subject property, including lot dimensions. 0.53 acres; 22,992 sq ft
- X ✓ Building setbacks.
- X ✓ Staging and Contractor Parking Plan.
- X ✓ Exterior lighting plan (location, type, height, lumen output, luminance levels for area lighting, and spec sheets for fixtures).
- X ✓ Landscape plan
  - X ✓ Existing trees to be shown as retained/relocated/removed.
  - X ✓ All proposed species type/size/quantity of each.
  - X ✓ Drought tolerant and xeriscape species must be identified for at least 50% of landscaped area.
- X ✓ Floor plan (include gross square footage for each floor, occupancy classification and type of construction).
- X ✓ Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
- X ✓ Drainage plan (grading, catch basins, piping, and dry-wells).
- X ✓ Detailed elevations showing facade of all sides of proposed building and other exterior elements.
 

**Must show elevation points of record grade.** Include notes on colors, materials, dimensions.
- X ✓ Colored rendering of at least one side of the proposed building.
- X ✓ Plans and drawings for all buildings, except single-family dwellings and accessory structures, shall be prepared and stamped by an Idaho licensed architect
- X ✓ North point and scale.
- X ✓ One (1) 11" x 17" copy of any larger plans/maps
- X ✓ PDF files of all required documents and 11" x 17" plans/maps
- N/A N/A Color photographs of any existing structures on the site.
- X ✓ Materials and colors sample board. Each sample approximately 12" x 12" (no larger).
- N/A N/A Sign Plan (if applicable).
- N/A N/A Area Development Plan (required if property owner also owns adjacent parcels).
- N/A N/A For properties located in Airport West, Design Review approval by Airport West Design Board.
- X ✓ Names and address of all property owners within three hundred (300) feet of the exterior boundaries of the land being considered. Names and addresses can be obtained using the Blaine County map server <http://maps.co.blaine.id.us/> or from the Blaine County Assessor's office. Assistance can be provided by the Hailey Planning staff upon request.
- X ✓ Names and addresses of easement holders within subject property. (Public utility easement)
- Other information as required by the Zoning Administrator, Hearing Examiner or Commission:
  - X ✓ Written statement of how each design review standard is met (contact the Planning Coordinator for which set of standards is applicable to your project).

## City Use Only:

- ✓ Double check address
- N/A Advise applicant if Lot Line Adjustment is needed
- ✓ Check following basic standards:
  - ✓ Density
  - ✓ Setbacks
  - ✓ Height (plans must show elevation points of record grade) 5333.4  
-35'

- φ Lot coverage 32.3% proposed
- ✓ Floor area
- ✓ Parking (# of spaces)
  - 27 total onsite parking
  - 5 spaces in ROW

DRU =  
average unit size: 707 sq ft

ground floor = 8 units  
2nd Floor = 11 units  
3rd Floor = 8 units  
} total = 27 units



115 MAIN STREET S. SUITE H  
 HAILEY, ID 83333  
 PHONE: (208) 788-4221  
 FAX: (208) 788-2924

INVOICE #	INVOICE DATE
111844279	02/11/2022
DUE DATE	CUSTOMER ACCOUNT NUMBER
02/12/2022	10071
AMOUNT DUE	TERMS:
3,160.88	Open Terms

BILL TO:

**Kazuko-San ID, LLC**

4468 Via Alegre  
 Santa Barbara CA 93110

PLEASE DETACH AND RETURN THIS TOP PORTION WITH  
 YOUR PAYMENT BY DUE DATE TO:

CITY OF HAILEY  
 115 S MAIN ST STE H  
 HAILEY, ID 83333

## INVOICE

DESCRIPTION	QUANTITY	CHARGE	EXT. PRICE
PLANNING DESIGN REVIEW	1	3,100.00	3,100.00
PLANNING MAIL	1	10.88	10.88
PLANNING PUBLICATION	1	50.00	50.00
			3,160.88
			TOTAL AMOUNT DUE

THANK YOU FOR YOUR PROMPT PAYMENT  
 For Billing Inquiries Call: (208)788-4221  
 Office Hours: 9:00 a.m. - 5:00 p.m.  
 Monday thru Friday

PHand Meeting Checklist		PROOF OF NOTICING REQUIREMENTS MET
Hailey OC	Hearing date:	April 4, 2022
5:30 PM- OCRoom		DF
		DR McCloud
		DR Saddle Lofts
		DR Sun Valley Auto Club
<b>CERTIFIED COMPLETE</b>	Complete no	Requirement:
3/11	3/11/2022	Email Public Notice to Mountain Express
1		<b>For vacations:</b> 2 successive weeks in paper, the last not less than 7 days prior. <b>For fees:</b> consecutively 2 weeks prior.
	3/11/2022	Post application documents on website
3/16	3/16/2022	Mail Public Notice to adjoining property owners & applicants & published in the Mt. Express. If alternate notice, display ad and post all boundaries. Copy of notice and mailing list in file.
	3/16/2022	Mail Public Notice to public agencies - only applicable for Amendments to Comp Plan, Zoning Ord. & Map, Sub Ord, City Standards, Amendments and ACl. Copy of notice and mailing list in file.
	3/16/2022	Certified mail to affected property owners - only applicable for vacations
	3/28/2022	Post Public Notice on property - only applicable for CUP, Amendment, Planned Unit Development, Rezone, Wireless
	3/30/2022	Email agenda to Commissioners and recipients - for email, BCC "Agenda List" in P&Z Contacts in Outlook
	3/31/2022	Post agenda at City Hall (front & back doors) - at least 48 hrs prior to meeting, at least 24 hrs if a special meeting
	3/31/2022	Post agenda on website
	4/5/2022	Email staff report or findings, agenda and any public comment received to applicant and representative, print copy of sent email for file
	4/5/2022	Place original documents in appropriate file

I HEREBY CERTIFY that the Notice of Public Hearing, Agenda, and packet information pertaining to the meeting specified above was distributed on the dates as shown on the above checklist. This notice package will be placed in the project file(s). SWORN AND DATED this 16 day of March, 2022.

Print Name and Title Jessie Parker CDD Initial JF

DESERT PINE LLC  
BOX 6343  
KETCHUM ID 83340-0000

FIVE B LLC  
C/O PATRICK BUCHANAN  
831 N MAIN ST  
HAILEY ID 83333-0000

HAILEY FF LLC  
PO BOX 1491  
IDAHO FALLS ID 83403-0000

KAZUKO-SAN ID LLC  
4468 VIA ALEGRE  
SANTA BARBARA CA 93110-0000

KELLY SANDRA  
106 NORTH ANGELA DR  
HAILEY ID 83333-0000

LIFE CHURCH WOOD RIVER INC  
PO BOX 3490  
HAILEY ID 83333-0000

LINDBERG PATRICIA B  
114 EMPTY SADDLE TRL  
HAILEY ID 83333-0000

MBS REAL ESTATE LLC  
101 EMPTY SADDLE TRL  
HAILEY ID 83333-0000

MC DONALD'S CORPORATION  
KYLE INC/#13380  
DBA VALLEY FOOD SERVICE INC  
261 4TH AVE N  
TWIN FALLS ID 83301-0000

MOORE DEMI GENE TRUSTEE  
MOORE DEMI FAMILY TRUST  
C/O NIGRO KARLIN SEGAL & FELDS  
10960 WILSHIRE BLVD 5TH FLOOR  
LOS ANGELES CA 90024-0000

NORTHSTAR MEADOWS PROPERTY OWNERS  
C/O BOULDER MOUNTAIN PROP MGNT  
BOX 3821  
HAILEY ID 83333-0000

NUNBERG GEOFFREY D TRUSTEE  
GEOFFREY D NUNBERG 2010 TRUST DATED  
5/13/2010  
C/O PARADIGM TAX GROUP  
PO BOX 800729  
DALLAS TX 75380-0000

PIONEER FEDERAL CREDIT UNION  
250 W 3RD ST S  
MOUNTAIN HOME ID 83647-0000

RIVER STREET APARTMENTS LP  
1812 MADISON AVE  
NAMPA ID 83687-0000

SEVEN S LLC  
1106 CLUB PL  
BATON ROUGE LA 70810-0000

TREVINO JAMIE M  
BAKER TAWNI L  
750 NORTHSTAR DR  
HAILEY ID 83333-0000

WILLIAMS LATHAM L TRUSTEE  
WILLIAMS FAMILY TRUST  
PO BOX 3639  
KETCHUM ID 83340-0000

**NOTICE OF PUBLIC HEARING  
HAILEY PLANNING AND ZONING COMMISSION  
Monday, April 4, 2022  
5:30 p.m.**

PUBLIC NOTICE IS HEREBY GIVEN that the Hailey Planning and Zoning Commission will hold a Public Meeting at 5:30 p.m. on **Monday, April 4, 2022**, to be held in person, and virtually as a remote telecommunication meeting, and in compliance with the Open Meetings Law. **The phone number to call in for the meeting will be posted on the agenda on the city website by April 1, 2022.** The telephonic Public Hearing will be conducted on the following item(s):

- Consideration of Design Review by Virginia Holly McCloud, for construction of 2,400 square foot single-family residence to be located at Lots 19-20, Block 104, Hailey Townsite (216 South 4<sup>th</sup> Avenue) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts.
- Consideration of Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes twenty-seven (27) units in total, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units. Twenty-eight (28) onsite storage units and 27 onsite parking spaces are also proposed. The project will be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project will be known as Saddle Lofts.
- Consideration of Design Review by Flowing Wells, LLC, for construction of a commercial building consisting of a 7,994 square foot warehouse with an attached 2,108 square foot showroom to be located at Lot 7H, Block 4, Airport West Subdivision (1930 Embraer Way) within the SCI Industrial (SCI-I) Zoning District. This project will be known as Sun Valley Auto Club.

Any and all interested persons are invited to attend this public hearing using telecommunication devices or submit written comments or direct questions to the Community Development Assistant at 115 South Main Street, Hailey, Idaho 83333, or [planning@haileycityhall.org](mailto:planning@haileycityhall.org). For special accommodations or to participate in the noticed meeting, please contact the City Clerk 208.788.4221.

IN THE DISTRICT COURT OF THE FIFTH JUDICIAL DISTRICT OF THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE

IN THE MATTER OF THE ESTATES OF JOHN PAUL KEARNEY, JR. and JEAN MARIE KEARNEY, Deceased

CASE NO. CV07-22-00089  
NOTICE TO CREDITORS

NOTICE IS HEREBY GIVEN that GRETEL KEARNEY FRIEDMAN has been appointed personal representative of the above-named estates. All persons having claims against the decedents or the estates are required to present their claims within four months after the date of the first publication of this Notice or said claims will be forever barred.

Claims must be presented to the Personal Representative of the estate at BALDWIN LAW, PLLC, 3045 E. Copper Point Dr., Meridian, Idaho 83642 and filed with the Clerk of the Court.  
DATED March 3, 2022.

/s/ ERIC F. BALDWIN  
Attorney for Personal Representative

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IDAHO MOUNTAIN EXPRESS  
MARCH 16, 23 & 30, 2022

#### UNCLAIMED PROPERTY NOTICE

Why would anyone have unclaimed money? Unclaimed money consists of forgotten bank accounts, refund checks, utility deposits, wages, tax refunds and more. The Idaho State Treasurer's Unclaimed Property Division acts as a consumer protection agency to ensure forgotten funds are returned to their rightful owners. Check online for your name at [YourMoney.Idaho.gov](http://YourMoney.Idaho.gov).

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IDAHO MOUNTAIN EXPRESS  
MARCH 16, 2022

#### MAGIC DAM HYDRO NOTICE OF MEETING

Notice is hereby given that Big Wood Canal Company, owner of the Magic Dam Hydroelectric Project, will hold a site visit and meeting on Friday, April 1, 2022 beginning at 10:00 AM at the Magic Dam Rest Area located on the east side of Magic Dam, Blaine County, ID. This meeting is for consideration of the following:

- Develop a common understanding of the hydroelectric development at the Magic Dam site, which is proposed for FERC re-licensing;
- Discuss data to be obtained and studies to be conducted by the applicant as part of the re-licensing process.

A guided tour of the project site will be conducted prior to the meeting for all interested parties. The tour will begin at 10:00am from the Magic Dam Rest Area. The public meeting will be held at 2:00 PM at the Lincoln County Community Center located at 201 S. Beverly St, Shoshone, ID 83352.

A written project summary is currently available for copying and inspection at the Big Wood Canal Company Office in Shoshone. You may also request an electronic copy by sending e-mail to [peter.gsense@gmail.com](mailto:peter.gsense@gmail.com).

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IDAHO MOUNTAIN EXPRESS  
MARCH 16, 2022

The following application(s) have been filed to appropriate the public waters of the State of Idaho:

37-23368  
TOM R NORRIS  
104 W CHANNEL LN  
HAILEY, ID 83333-5034  
Point of Diversion NESE S7 T03N R18E BLAINE County Source GROUND WATER Tributary  
Use: AESTHETIC 01/01 to 12/31 0.04 CFS

Total Diversion: 0.04 CFS  
Date Filed: 06-01-2021  
Place Of Use: AESTHETIC  
T03N R18E S7 NESE  
Application proposes to divert 0.04 cfs from an existing domestic well to maintain water quality in an existing aesthetic pond associated with water

right 37-8916. The point of diversion and place of use is located approximately 5.2 miles south and 0.6 miles east of the center of Ketchum on Lot 2B of Little Makawao Subdivision. This application proposes to appropriate trust water and will be evaluated in compliance with Section 42-203C, Idaho Code, and IDWR's Water Appropriation Rules, IDAPA 37.03.08.

#### NOTICE OF PROPOSED CHANGE OF WATER RIGHT TRANSFER NO. 85860

NORTH FORK RANCH LLC, PO BOX 4750, KETCHUM, ID 83340-4799 has filed Application No. 85860 for changes to the following water rights within BLAINE County(s): Right No(s). 37-11852, 37-11854, 37-12219, 37-2168A, 37-2168C, 37-22121, 37-22125, 37-8870. The purpose of the transfer is to change a portion of the above rights as follows: Application proposes to change the recorded point(s) of diversion (POD) and place(s) of use (POU) locations for eight water rights diverted from groundwater, two springs, and Oregon Creek sources used on property located on the west side of Hwy 75 approximately 6.5 to 6.8 miles north and 2.3 to 2.6 miles west of the intersection of Sun Valley Rd & Hwy 75 in Ketchum. POD changes are to reflect actual locations of existing diversions. The groundwater diversions are two existing wells located on the property. The Oregon Creek diversion is located approximately 6.9 miles north and 2.9 miles west of the intersection of Sun Valley Rd & Hwy 75 in Ketchum. One spring diversion is located approximately 6.8 miles north and 2.6 miles west of the same intersection. The other spring is located approximately 6.6 miles north and 2.6 miles west of the intersection. POU changes will create a 24.1 acre irrigation and irrigation from storage permissible place of use limited to the irrigation of 14.7 acres and modify POU's for other uses (domestic, stockwater, commercial, irrigation storage, aesthetic storage, stockwater storage, and stock water from storage) on the property. The eight water rights authorize a total combined diversion of 0.99 cfs (0.39 cfs from groundwater, 0.22 cfs from the springs, and 0.38 cfs from Oregon Creek).

#### NOTICE OF PROPOSED CHANGE OF WATER RIGHT TRANSFER NO. 85902

STONECOVE SUBDIVISION PROPERTY OWNERS ASSOCIATION INC, C/O JEFFRA SYMS PO BOX 3485, KETCHUM, ID 83340-3421 has filed Application No. 85902 for changes to the following water rights within BLAINE County(s): Right No(s). 37-21408. The purpose of the transfer is to change a portion of the above rights as follows: Application for transfer proposes to split an existing irrigation ground water right, with a flow rate of 0.50 cfs, into two rights; one will irrigate 14.1 acres in an 18.0 acre place of use, out of an existing well, and the other will irrigate 0.7 acre diverted out of a different existing well. The place of use and points of diversion are located approximately 1.5 miles south and 0.8 mile east of the intersection of Main and Bullion Streets in Hailey. The transfer will allow a parcel within a subdivision to be irrigated with the existing domestic well located on that parcel, instead of using the existing subdivision irrigation well.

Permits will be subject to all prior water rights. For additional information concerning the property locations, contact Southern Region office at (208) 736-3033; or for a full description of the rights &/or proposed transfer, please see <https://research.idwr.idaho.gov>. Protests may be submitted based on the criteria of Sec 42-222 and 42-203A, Idaho Code. Any protest against the approval of this application(s) must be filed with the Director, Dept. of Water Resources, Southern Region, 650 ADDISON AVE W, STE 500, TWIN FALLS, ID 83301-5856 together with a protest fee of \$25.00 for each application on or before April 4, 2022. The protestant must also send a copy of the protest to the applicant.

GARY SPACKMAN, Director

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IDAHO MOUNTAIN EXPRESS  
MARCH 16 & 23, 2022

#### NOTICE OF APPLICATION FOR DEMOLITION OF AN HISTORIC BUILDING

Project Name:	Chess House Demolition
Project Location:	520 N Walnut Ave. (Ketchum Lot 2A Block 90)
Property Owner/Applicant:	Robert and Stacey Chess
Application Type:	Historic Demolition
Project Description:	Demolition of a structure older than 50 years of age.

NOTICE IS FURTHER GIVEN that upon publishing of this notice in the Idaho Mountain Express on March 16, 2022, a sixty (60) day waiting period shall commence prior to demolition.

Property owners within three hundred (300) feet are hereby notified of the application as described and are invited to comment through Monday, May 16, 2022, at 5:00 PM., after which final action on said application will be taken. Written comments should be addressed to the Ketchum Department of Planning and Building, P.O. Box 2315, Ketchum, Idaho, 83340, or via email to [participate@ketchumidaho.org](mailto:participate@ketchumidaho.org).

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MARCH 16, 2022

#### LEGAL NOTICE BLAINE COUNTY BOARD OF COUNTY COMMISSIONERS APRIL 5, 2022

On Tuesday, April 5, 2022, the Blaine County Board of County Commissioners will hold a public meeting upstairs in the Old County Courthouse located at 208 First Ave. So., in Hailey. Items on their agenda include the following:

**1:30 pm ACTION ITEM: 201 Poison Creek Road-Plat Amendment:** The applicants Kim & Marilyn Nissen propose to amend Lot 4, Tews Ranch Subdivision by amending the existing building envelope (5.71 acres) adjacent a creek and wetlands to a (5.21 acre) building envelope located on the bench; to be renamed Lot 4A. The property is zoned Rural Remote District (RR-4D) with areas of Riparian Setback (R) and Wetland Overlay District (WE).

This meeting is open to the public and attendees are encouraged to attend by web access. If attending in person, please observe posted protocol for face coverings and physical distancing. The meeting agenda will be posted to the Blaine County website at <https://www.co.blaine.id.us/AgendaCenter> by the Thursday prior to the hearing. Please check the meeting agenda for further instructions for digital web access.

The materials associated with this meeting are available for review at Land Use and Building Services located in the Blaine County Annex at 219 First Avenue South, Suite 208 in Hailey and on the Blaine County web page at <https://www.co.blaine.id.us/199/County-Commissioner-Hearing-Materials>. To receive adequate consideration, written comments in excess of one page should be forwarded to Blaine County at least 4 days prior to the public hearing by mail, e-mail to [pccomenter@co.blaine.id.us](mailto:pccomenter@co.blaine.id.us), or by fax to (208) 788-5576.

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MARCH 16, 2022

IN THE DISTRICT COURT OF THE FIFTH JUDICIAL DISTRICT OF THE STATE OF IDAHO, IN AND FOR THE COUNTY OF BLAINE  
MAGISTRATE DIVISION

IN THE MATTER OF THE ESTATE OF WILLIAM ROBERT BRAND, Deceased.

CASE NO. CV07-22-00115  
NOTICE TO CREDITORS

NOTICE IS GIVEN that DIANA J. LANDIS has been appointed Administrator of the Estate of Decedent WILLIAM ROBERT BRAND. All persons having claims against the Decedent or the Estate are required to present their claims within four (4) months after the date of the first publication of this Notice or said claims will be forever barred.

Claims must be presented to the undersigned at the address indicated, or filed with the Clerk of this Court.

DATED March 9, 2022.  
Attorney Administrator,  
DIANA J LANDIS  
/s/ John A. Seiler  
PO Box 6200

Ketchum, ID 83340

PUBLISH  
IDAHO MOUNTAIN EXPRESS  
MARCH 16, 23 & 30, 2022

#### POSTED NOTICE Posted March 16, 2022 BLAINE COUNTY NOTICE OF PUBLIC AUCTION

Notice is hereby given that, pursuant to I.C. §31-808, the Blaine County Board of County Commissioners ("Board") will offer for sale at public auction on the 29th day of March, 2022, at 9:00 o'clock a.m., in the Commissioners' Meeting Room, Third Floor, Blaine County Courthouse, Hailey, Idaho, to the highest bidder, the following described property belonging to Blaine County:

One five year old female Malinois/Shepherd mix; and  
One five and one half year old male Malinois/Shepherd mix.  
Both dogs are trained in drug detection with the Blaine County Sheriff's Office.

IN ACCORDANCE WITH I.C. §31-808(1), THE BOARD INTENDS TO REJECT ANY AND ALL BIDS FOR THE DOGS SO THAT THEY MAY BE SOLD ON PRIVATE TERMS TO THEIR HANDLERS, WHO ARE LEAVING EMPLOYMENT WITH THE BLAINE COUNTY SHERIFF'S OFFICE AND HAVE CARED FOR THE DOGS FOR THE PAST FOUR YEARS. THE DOGS WILL BE RETIRED FROM SERVICE AND WILL BE KEPT AS PETS.

PUBLISH  
IDAHO MOUNTAIN EXPRESS  
MARCH 16, 2022

NOTICE OF PUBLIC HEARING BEFORE THE BELLEVUE COMMON COUNCIL FOR A PROPOSED CHANGE OF THE REGULAR COMMON COUNCIL MEETING TIME TO 5:30P.M.

NOTICE IS HEREBY GIVEN that a Public Hearing on the consideration of changing the start time of Regular Common Council Meetings to 5:30p.m. will be held via Zoom on Monday, March 28, 2022, beginning at 6:00 p.m. Please check the City website, [www.bellevueidaho.us](http://www.bellevueidaho.us), for instructions for telecommunication meeting access.

All interested persons are invited to attend this public hearing using telecommunication devices and shall be given an opportunity to comment on the proposed meeting time change or may submit written comment to the City of Bellevue, PO Box 825, Bellevue, Idaho 83313 prior to 5:00 p.m. Wednesday, March 23, 2022. Any person needing special accommodations to participate in the above noticed meeting should contact Bellevue City Hall, PO Box 825, 115 Pine St., Bellevue, ID 83313 or telephone 208-788-2128 at least twenty-four (24) hours prior to the meeting. Marian Edwards, Bellevue Clerk/Treasurer.

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MARCH 16 & 23, 2022

#### PUBLIC AUCTION

Public notice is hereby given that a storage sale of certain personal property shall occur at Northwood Self Storage 220 Northwood Way, Ketchum, Idaho,

to sell contents of storage unit to pay for delinquencies in rent and fees. Open bids will be taken at [1 :00] p.m., Saturday, March 26th, 2022. Contents will be sold according to Idaho State Law. Sale may be canceled at any time prior to set date. Said sale will consist of contents of the following Northwood Self Storage, Unit# 1073 Jill Sanders, P.O. Box 2372 Sun Valley, ID 83353  
Items to be sold:  
Suitcase, file cabinet, airmo, planters, rug, fan, 35 boxes contents unknown.

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MARCH 16 & 23, 2022

NOTICE OF PUBLIC HEARING  
HAILEY PLANNING AND ZONING COMMISSION  
MONDAY, APRIL 4, 2022  
5:30 P.M.

PUBLIC NOTICE IS HEREBY GIVEN that the Hailey Planning and Zoning Commission will hold a Public Meeting at 5:30 p.m. on Monday, April 4, 2022, to be held in person, and virtually as a remote telecommunication meeting, and in compliance with the Open Meetings Law. The phone number to call in for the meeting will be posted on the agenda on the city website by April 1, 2022. The telephonic Public Hearing will be conducted on the following item(s):

- Consideration of Design Review by Virginia Holly McClood, for construction of 2,400 square foot single-family residence to be located at Lots 19-20, Block 104, Hailey Townsite (216 South 4th Avenue) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts.

- Consideration of Design Review Application by Kazuko-San Id, LLC, for construction of three (3) multifamily residential buildings, which includes twenty-seven (27) units in total, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units. Twenty-eight (28) onsite storage units and 27 onsite parking spaces are also proposed. The project will be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project will be known as Saddle Lofts.

- Consideration of Design Review by Flowing Wells, LLC, for construction of a commercial building consisting of a 7,994 square foot warehouse with an attached 2,108 square foot showroom to be located at Lot 7H, Block 4, Airport West Subdivision (1930 Embraer Way) within the SCI Industrial (SCI-I) Zoning District. This project will be known as Sun Valley Auto Club.

Any and all interested persons are invited to attend this public hearing using telecommunication devices or submit written comments or direct questions to the Community Development Assistant at 115 South Main Street, Hailey, Idaho 83333, or [planning@haileycityhall.org](mailto:planning@haileycityhall.org). For special accommodations or to participate in the noticed meeting, please contact the City Clerk 208.788.4221.

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MARCH 16, 2022



**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of April 4, 2022**

**To:** Hailey Planning and Zoning Commission

**From:** Robyn Davis, Community Development City Planner

**Overview:** Consideration of Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes at total of twenty-seven (27) units, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units. The project will be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project will be known as Saddle Lofts.

**Hearing:** April 4, 2022

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**Applicant:** Kazuko-San ID, LLC

**Location:** Sublot 4b, Block 1, North Hailey Plaza (Address TBD)

**Zoning/Size:** Business (B), Downtown Residential Overlay (DRO) Zoning Districts; 0.53 acres (22,992 square feet)

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on March 16, 2022 and mailed to property owners within 300 feet on March 16, 2022.

**Background and Application:** The Applicant, Kazuko-San ID, LLC, has submitted a Design Review Application for construction of three (3) multifamily residential buildings. Building A is approximately 2,817 square feet, Building B is approximately 2,823 square feet in size, and Building C is approximately 1,020 square feet in size. Within the three (3) buildings, a total of twenty-seven (27) residential units are proposed. These units comprise of various unit size: nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units on 0.53 acres (22,992 square feet).

If approved, the project would be located on the east side of River Street, on the corner of River Street and Empty Saddle Trail. The project is located within the Downtown Residential Overlay (DRO), and is proposing the following:

- Twenty-seven (27) onsite parking spaces, which will include:
  - Twenty-four (24) uncovered parking spaces:
    - Eighteen (18) standard spaces
    - One (1) accessible space
    - Five (5) compact spaces
  - Three (3) covered parking spaces:
    - One (1) accessible space
    - One (1) standard space

- One (1) compact space
- Nine (9) improved public right-of-way parking spaces
- Nine (9) one-bedroom units (540-680 square feet in size)
- Ten (10) one-bedroom units with office space (702-707 square feet in size)
- Eight (8) two-bedroom units (842-873 square feet in size)
- Eleven (11) bicycle racks for a total of 22 bicycle parking spaces
- Storage lockers for each unit
- Approximately 3,490 square feet of common useable open space
- Public right-of-way, street tree and landscaping improvements

Parking for the proposed units will be accessed off of an internal shared drive that connects to the existing public street, Empty Saddle Trail. No alley exists; however, a utility easement exists along the eastern property line and will be utilized as part of the internal drive. The internal drive will be 22' in width and the proposed onsite parking angles are at 90 degrees.

The buildings have been designed to face River Street (west) and Empty Saddle Trail (south). The parking area is located behind the buildings and takes advantage of the existing utility easement that cannot be built upon. The shape and position of the buildings create an elongated courtyard/open space between the parking area and the buildings, which supports various outdoor “rooms” for residents to enjoy. At the north (and sunniest) end of the open space, a play structure is proposed. Just to the south of this is an uncovered, paved gathering area with benches. The outdoor room located just south of this gathering area with benches, there will be another common area covered by a trellis structure, providing filtered light and more shade. At the southernmost edge of the open space, a more naturalized space with a bark path and pet-friendly area are proposed. The Applicant is proposing a total of 3,490 square feet of useable open space (2,299 square feet is required), which will be open to the public and will be available for use by all tenants.

The primary pedestrian entrances will be covered and are located off of River Street and Empty Saddle Trail. The entries to each unit will be accessed via a covered walkway/balcony system located along the rear sides of the building. The proposed buildings, in most places, are setback approximately five feet (5') from the sidewalks to allow for ample landscaping on private property.

The above design is cohesive with the surrounding zoning and uses, which consist of commercial, single-family, and multi-family residential uses.

**Commission Feedback.** On January 18, 2022, the Planning and Zoning Commission reviewed the Design Review Preapplication for Saddle Lofts. The Commission neither approved nor denied the proposal, but suggested the following:

- **Consider adding air conditioning units to each residential unit.** The Applicant will install a sleeve feature that allows for the installation of a portable air conditioning unit. This unit will not be visible from the outside of the building, and if any issues or complications arise, the Applicant will install individual air conditioning units.
- **Consider incorporating two-bedroom units on the ground floor.** Structurally, it is easier to accommodate for the stacking of two-bedroom units on the upper floors. While the Applicant did not place two-bedroom units on the ground floor as suggested, three (3) of the one-

bedroom units have been strategically converted to two-bedroom units to better accommodate for a couple, family and/or more than one (1) individual.

- **Consider utilizing lighter exterior colors, or lighter-colored shingles, to reduce the mass of the building.** The Applicant has lightened the exterior colors, as shown on the Materials Board. The corrugated metal siding is a rust color, the stucco siding is a beige color, the entry doors will be a penny, or burnt rust color. A lighter shingle, in Shakewood, will be utilized for the roof.
- **Consider reducing the density to increase average bedroom size.** The Applicant has reduced the overall number of units by one (1). At the Design Review Preapplication hearing, the Applicant proposed a total of 28 residential units. This proposal includes a total of 27 residential units. While the reduction in unit count does not alter the bedroom size, ample bedroom closet and hallway closet space has been provided.

**Procedural History:** A Design Review Preapplication public hearing before the Planning and Zoning Commission of the project was held on January 18, 2022, in the Hailey City Council Chambers. The Commission reviewed the project and provided suggestions, as noted herein. No decision was made. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on April 4, 2022, in the Hailey City Council Chambers and virtually via GoTo Meeting.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b> <i>No comments</i>
				<b>Life/Safety:</b> <i>No comments</i>
				<b>Streets, Water &amp; Wastewater:</b> <i>No comments</i>
				<b>Building:</b> <i>No comments</i>
				<b>Streets:</b> <i>No comments</i>
			<b>City Arborist:</b> <i>The Hailey Tree Committee met on March 10, 2022 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design as proposed.</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	<b>17.08A Signs:</b> <b>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</b>
			<b>Staff Comments</b>	<i>N/A, as no signage is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<b>See Section 17.09.040 for applicable code.</b>
			<b>Staff Comments</b>	<i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i>  <i>The project is comprised of three (3) apartment buildings with a total of twenty-seven (27) residential units. The site plan shows a total of 27 onsite parking spaces, of which, one (1) parking space is a standard accessible parking space, and one (1) parking space is a van accessible parking space. Additionally, the Hailey Municipal Code allows twenty-five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or six (6) of the proposed onsite parking spaces</i>

				<p><i>could be compact spaces. The Applicant is proposing a total of six (6) spaces as compact spaces.</i></p> <p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units; however, if unimproved public right-of-ways are improved, this shall satisfy the guest parking requirement. The Applicant is proposing to improve the public right-of-way and off-street parking along River Street and Empty Saddle Trail. Nine (9) on-street parking spaces are proposed (along River Street and Empty Saddle Trail).</i></p> <p><i>Parking requirements for the proposed project are met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	<p><b>A. Approval Required:</b> No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p>
			Staff Comments	<p><i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p><b>17.08C.040 General Standards</b></p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			Staff Comments	<p><i>The Applicant will install Dark Sky compliant, downcast and low wattage fixtures.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p><b>Business (B) and Townsite Overlay (TO) Zoning Districts:</b></p>
			Staff Comments	<p><b>Building Height:</b></p> <ul style="list-style-type: none"> <li>- Permitted Building Height: 35' (except for a building containing at least one residential unit, then the allowable height is 40').</li> <li>- Proposed Building Height: +/- 35'</li> </ul> <p><b>Building Setbacks:</b></p> <ul style="list-style-type: none"> <li>- Required Setbacks:             <ul style="list-style-type: none"> <li>o Front Yard: 0'</li> <li>o Side Yards: 0'</li> <li>o Rear Yard: 0'</li> </ul> </li> <li>- Proposed Setbacks:             <ul style="list-style-type: none"> <li>o Front Yard (River Street): 2-5 3/16"'</li> </ul> </li> </ul>

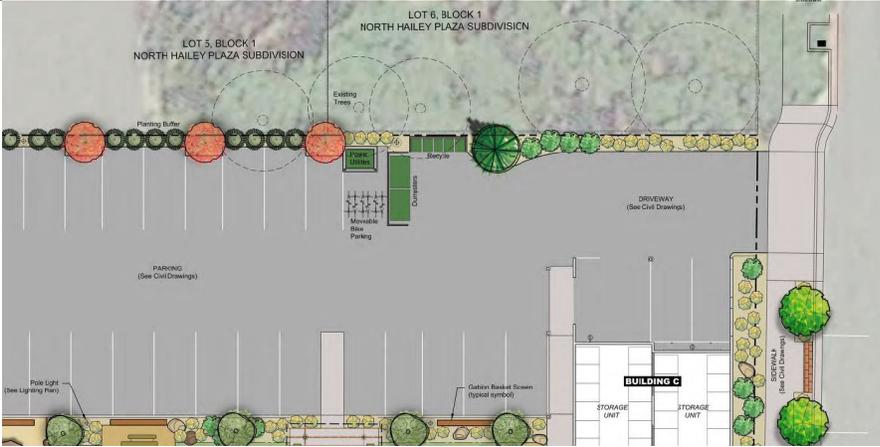
				<ul style="list-style-type: none"> <li>○ Side Yard (north): 5'-1 ½"</li> <li>○ Side Yard (south): 3'- 5/8"</li> <li>○ Rear Yard: 26'-8 5/16"</li> </ul> <p><i>All setback and building height requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<p><i>The public right-of-way on River Street and adjacent to the project site is 70' in width, instead of a traditional 100' in width. As such, the River Street Typical Section has been modified to fit the site-specific conditions. These modifications, noted herein, have been discussed with and are acceptable to the Public Works Department.</i></p> <p><i>A new 8.8'-wide sidewalk is shown along the property frontage of River Street. This sidewalk is interspersed with four (4), 3.8'-wide planting strips. The minimum sidewalk width along River Street is five (5) feet. An eight (8) foot wide sidewalk with four (4) interspersed planting strips are proposed along the property frontage of Empty Saddle Trail. The minimum sidewalk width along Empty Saddle Trail is six (6) feet wide.</i></p> <p><i>The proposed planting strips have been sized to provide ample room for a landscape buffer, while also providing pedestrian opportunities to access the sidewalk from the street/parking space. The proposed perimeter sidewalks will connect to interior sidewalks and patio area, providing safe access and sufficient circulation around and through the site.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	N/A.

**Design Review Requirements for Non-Residential, Multifamily,  
and/or Mixed-Use Buildings within the City of Hailey**

**1. Site Planning: 17.06.080(A)1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			Staff Comments	<i>The buildings face River Street (to the west) and Empty Saddle Trail (to the south). Parking is located behind the buildings and take advantage of a utility easement that cannot be built upon. The shape and position of the buildings create an</i>

				<p><i>elongated courtyard/open space between the parking area and the buildings, which supports various outdoor “rooms” for residents to enjoy. At the north (and sunniest) end of the open space, a play structure is proposed. Just to the south of this is an uncovered, paved gathering area with benches. The outdoor room located just south of this gathering area with benches, there will be another common area covered by a trellis structure, providing filtered light and more shade. At the southernmost edge of the open space, a more naturalized space with a bark path and pet-friendly area are proposed. The primary pedestrian entrances face the public streets (west and south), will receive ample sunlight and will be covered to provide safe access.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p><b>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</b></p>
			<i>Staff Comments</i>	<p><i>No mature, existing plant material exists onsite. Grasses, shrubs, weeds and two small, unmaintained trees will be removed prior to construction.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p><b>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</b></p>
			<i>Staff Comments</i>	<p><i>Site circulation has been designed to keep vehicular access and onsite parking to the shared internal drive. New sidewalks are shown along the property frontages of River Street and Empty Saddle Trail, which will connect to internal sidewalks and pedestrian entrances, creating safe access to and through the site. The pedestrian entrances face the streets (west and south), will receive ample sunlight, and will be covered. The apartments will be accessed via a covered walkway/balcony system located along the rear sides of the building. Both a covered walkway and an uncovered path will provide access from the building to the proposed parking area.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p><b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b></p>
			<i>Staff Comments</i>	<p><i>Trash receptacles, recycling and utility boxes are located to the rear of both the west and east wings along the eastern property line (see image below for further details). The trash enclosure will be partially enclosed with a removable fence in the event that utilities within the easement need to be accessed. A letter from Clear Creek Disposal commenting on accessibility of the proposed enclosure shall be provided. This has been made a Condition of Approval.</i></p>

				 <p style="text-align: center;"><i>Furthermore, a power box is located directly north of the dumpster enclosure. This power box and the trash enclosure do not interfere with each other and will be screened with vegetation, subject to Idaho Power clearance regulations.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.080(A)1e</b> <i>Staff Comments</i>	<b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b> <i>N/A, as no alleys exist or are planned. The internal shared drive will be utilized for building services.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.080(A)1f</b> <i>Staff Comments</i>	<b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b> <i>N/A, as no vending machines are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)1g</b> <i>Staff Comments</i>	<b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b> <ul style="list-style-type: none"> <li><b>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b></li> <li><b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b></li> </ul> <p><i>Onsite parking is located off of the proposed internal drive and to the rear of the building. A prominent entrance is proposed along River Street, and a secondary entrance is located along Empty Saddle Trail. All parking is screened from the street, buffered by buildings, landscaping and/or sidewalks.</i></p> <p><i>It is anticipated that snow will be hauled from the site, as the total number of dwelling units and onsite parking spaces proposed leave little space for snow storage. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)1h</b> <i>Staff Comments</i>	<b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b> <p><i>The site is serviced by two public streets, River Street and Empty Saddle Trail. Onsite parking can be accessed from an internal shared drive, which is located behind the proposed buildings and is a single-approach off of Empty Saddle Trail. Primary pedestrian access can be achieved from River Street and Empty Saddle Trail.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<b>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b>
			<i>Staff Comments</i>	<i>It is anticipated that snow will be hauled from the site, and no snow shall be stored within the proposed open space. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail.</i>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<b>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</b>
			<i>Staff Comments</i>	<i>The proposal is for three (3) multifamily buildings of 27 dwelling units in the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. A variety of homes, single-family and multifamily, as well as commercial spaces, exist. These uses vary widely in size, shape and roofline. From the flat roofed, Albertson's Market (~36,600 square feet in size) to the single-story, steep-pitched roof cottage (~1,300 square feet in size) to the east, and the nearby movie theater, Big Wood Cinema (~12,903 square feet in size), the proposed buildings complement its surroundings. The multifamily buildings have a footprint of 7,424 square feet, which is substantially smaller than Albertson's and Big Wood Cinema. The design incorporates a variety of features, such as balconies, breezeways and/or pop-outs. The buildings have low-pitched, sloped roofs, consistent with a residential vernacular. The project has been designed as a collection of three (3) smaller buildings that are rectangular in shape, consistent with the surrounding buildings.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	<b>b. Standardized corporate building designs are prohibited.</b>
			<i>Staff Comments</i>	<i>N/A, as the project is not a corporate design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</b>
			<i>Staff Comments</i>	<i>The proposed building design emphasizes human scale along the River Street façade by providing a generous landscaping buffer between the sidewalk and the building. The façade will also see directional siding, both horizontal and vertical, and a change in siding material at the second-floor level. Balconies, sunshades</i>

			<p><i>and eaves, pop-outs and trellis structure also reduce the mass and emphasize human scale. The primary entry from River Street is inviting, spacious and pedestrian-oriented.</i></p>  <p><i>While not the primary building elevations, the southern façade is spacious, providing for safe pedestrian access. Changing in siding materials, vertical planes, balconies, eaves and landscaping also encourage human interaction.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)2d</b></p> <p><b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b></p> <p><i>Staff Comments</i> <i>The primary front façade faces River Street and includes various-sized windows, spacious pedestrian entrance, multiple building offsets, projections in the form of decks, roof eaves and sunshades, and exterior material changes at the second and third levels. The utilization of various materials, integration of undulation and exterior colors help to break up any large building surfaces.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>17.06.080(A)2e</b></p> <p><b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b></p> <p><i>Staff Comments</i> <i>N/A, as no future additions or renovations are planned at this time.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)2f</b></p> <p><b>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</b></p> <p><i>Staff Comments</i> <i>A variety of materials will be used on the exterior of the buildings. A mix of corrugated metal siding (rust color), stucco siding (beige color), metal decks and sunshades (black color), natural wood gable vents, access balconies and trellises, and eaves are proposed (see the image above for further details).</i></p> <p><i>A Materials Sample Board has been provided and will be brought to the hearing.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)2g</b></p> <p><b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b></p> <p><i>Staff Comments</i> <i>The exterior colors and materials proposed have been integrated into the architecture of the building and are similar to other buildings in the surrounding neighborhood. The colors are earthy in nature and will be harmonious with the neighboring brown, gray or burgundy, and brick-colored buildings. The stucco and metal materials will also complement the variety of materials found on the neighboring buildings.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>17.06.080(A)2h</b></p> <p><b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</b></p> <p><i>Staff Comments</i> <i>N/A, as no flat roofs are proposed. The buildings will incorporate pitched roofs.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p><b>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</b></p> <p>i) <b>Solar Orientation.</b> If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</p> <p>ii) <b>South facing windows with eave coverage.</b> At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</p> <p>iii) <b>Double glazed windows.</b></p> <p>iv) <b>Windows with Low Emissivity glazing.</b></p> <p>v) <b>Earth berming against exterior walls</b></p> <p>vi) <b>Alternative energy.</b> Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p>vii) <b>Exterior light shelves.</b> All windows on the southernmost facing side of the building shall have external light shelves installed.</p>
			<i>Staff Comments</i>	<p><i>The Applicant has stated that they plan to minimize energy consumption by incorporating/utilizing the following:</i></p> <ul style="list-style-type: none"> <li>- <i>South Facing Windows with Eave Coverage: At least 40% of the building's total glazing is oriented to the south, those which are oriented south and/or west are protected from the summer heat gain by adequate roof overhangs, and sun shades.</i></li> <li>- <i>Double Glazed Windows: All windows will be, at a minimum, double glazed.</i></li> <li>- <i>Low Emissivity Glazing: All windows will have low emissivity glazing.</i></li> <li>- <i>An alternative energy system is not proposed at this time; however, the building will be rooftop solar ready.</i></li> </ul> <p><i>Additionally, the Applicant is proposing the following:</i></p> <ul style="list-style-type: none"> <li>- <i>Building insulation to exceed minimum energy code compliance</i></li> <li>- <i>Low solar heat gain coefficient windows on the south and west facades to minimize afternoon heat gain</i></li> <li>- <i>Two (2) electric vehicle, Level 2, charging opportunities</i></li> </ul> <p><i>If needed, the Applicant can further describe any of the above methods and/or other alternative energy sources utilized to minimize energy consumption.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p><b>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</b></p>
			<i>Staff Comments</i>	<p><i>Low-pitched roofs are proposed and will retain snow. Gable roofs will direct melting snow and rain runoff to the gutters at the eaves. The access balconies/walkways will be covered by a pitched roof with gutter system.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p><b>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</b></p>
			<i>Staff Comments</i>	<p><i>Downspouts and drains will be located within landscaped areas and shall not create any pedestrian hazards.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<p><b>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent</b></p>

				<b>with the colors, material and architectural design used on the principal building(s).</b>
			<i>Staff Comments</i>	<i>N/A, as no vehicle canopies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<b>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</b>
			<i>Staff Comments</i>	<i>N/A, as no master signage plan is needed. That said, the Applicant has submitted a plan, but it appears all proposed signage is exempt from permitting requirements (i.e., smaller than four square feet, address signage, etc.).</i>

**3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<b>a. Accessory structures shall be designed to be compatible with the principal building(s).</b>
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed. Trellis features, attached to the building, are located at the front and rear pedestrian entrances.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	<b>b. Accessory structures shall be located at the rear of the property.</b>
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed. A trash/recycling enclosure is located off of the internal shared drive, at the rear of the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	<b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b>
			<i>Staff Comments</i>	<i>N/A, as no perimeter fences are proposed. The perimeter of the property will be defined by vegetative landscaping. Removable screening to match the corrugated siding is proposed around the trash and recycling enclosure.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>
			<i>Staff Comments</i>	<i>N/A, as no fencing is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>
			<i>Staff Comments</i>	<i>Aside from minimal plumbing vents, no roof projections and/or roof-mounted mechanical equipment are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3f	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b>
			<i>Staff Comments</i>	<i>N/A, as no alternative energy sources are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>Trash receptacles, recycling and utility boxes are located to the rear of the building, off of the internal shared drive. The Idaho Power transformer box will be located, per IPCO Regulations, along the eastern property line and will be screened from view by landscaping. No additional ground-mounted mechanical equipment is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	<b>i. All service lines into the subject property shall be installed underground.</b>
			<i>Staff Comments</i>	<i>All services lines will be underground.</i>
			17.06.080(A)3i	<b>j. Additional appurtenances shall not be located on existing utility poles.</b>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Staff Comments</i>	<i>No appurtenances will be permitted on poles.</i>
<b>4. Landscaping: 17.06.080(A)4, items (a) thru (n)</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<p><b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b></p> <p><i>Staff Comments</i> All plant material has been selected for its drought-tolerance and ability to thrive in the local environment. Tree selections include Washington Hawthorn, Autumn Blaze Maple, Tartarian Maple, Crabapple, Subalpine Fir, Rocky Mountain Juniper and Tannenbaum Pine. Shrub selections include Oriental Dwarf Spruce and a mix of Cotoneaster, Ninebark, Lilac, Spirea and Snowberry. Grasses and perennials include three (3) drought-tolerant grasses, and three (3) native or adapted flowering perennials. The limited turf grass proposed is a low-water use Fescue Blend.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<p><b>b. All plant species shall be hardy to the Zone 4 environment.</b></p> <p><i>Staff Comments</i> The Applicant has stated that all plant species proposed are hardy to a minimum USDA Zone 4.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<p><b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b></p> <p><i>Staff Comments</i> All disturbed areas will be revegetated and irrigated with an automatic, underground irrigation system. Drip irrigation will be installed in all planting beds, planter boxes and tree wells. The irrigation system will be automatically controlled with a smart controller and rain sensor for a water wise system.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<p><b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</b></p> <p><i>Staff Comments</i> The proposed Landscaping Plan incorporates a combination of trees, shrubs, grasses and groundcover. The Landscape Plan (Sheet L1) shows a total of eighteen (18) trees to be planted onsite and a total eight (8) street trees to be planted.</p> <p>Pursuant this standard, newly landscaped areas having more than 10 trees, a minimum of 10% of the trees, or one (1) tree, shall be at least 4" caliper, 20% of the trees, or three (3) trees, shall be at least 3" caliper, and 20% of the trees, or three (3) trees, shall be at least 2 ½" caliper. The Applicant is proposing the following onsite trees:</p> <ul style="list-style-type: none"> <li>- Four (4) Tartarian Maple Trees at 3" caliper</li> <li>- Six (6) Crabapple Thunderchild Trees at 2" caliper</li> <li>- One (1) Subalpine Fir Tree at 12' in height</li> </ul>

				<ul style="list-style-type: none"> <li>- Five (5) Rocky Mountain Juniper/Tannenbaum Pine Trees at 15 gallons each</li> </ul> <p><i>Additionally, the Applicant is proposing the following street trees:</i></p> <ul style="list-style-type: none"> <li>- Four (4) Washington Hawthorne Trees at 3" caliper</li> <li>- Four (4) Autumn Blaze Maple Trees at 4" caliper</li> </ul> <p><i>The proposed tree species and sizes comply with this standard.</i></p> <p><i>Lastly, the Hailey Tree Committee met on March 10, 2022 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design as proposed.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p> <p><i>Staff Comments</i> N/A, as the proposed project is located within the Business (B) Zone District.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p> <p><i>Staff Comments</i> Proposed landscaping is varied, as shown in the Landscape Plans. Refer to Section 17.06.080(A)4d for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p> <p><i>Staff Comments</i> A Grading and Drainage Plan has been submitted and storm water will be retained onsite. Runoff is directed to drywells where it will infiltrate into the soil.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p> <p><i>Staff Comments</i> The Applicant will be responsible for maintaining plant material in healthy condition.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4i	<p>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p> <p><i>Staff Comments</i> A very low retaining wall, maximum of eight inches (18") is proposed along the River Street sidewalk to allow a small change in grade from the sidewalk to the subject property. It will have a six inch (6") minimum curb on the sidewalk side, per the request of the Public Works Department, to facilitate snow removal on the sidewalk.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4j	<p>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p> <p><i>Staff Comments</i> Per the request of the Public Works Department, the proposed retaining wall described above will be made of reinforced concrete to match the sidewalk.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	<p>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</p> <p><i>Staff Comments</i> N/A, as no tall retaining walls are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	<p>l. Landscaping should be provided within or in front of extensive retaining walls.</p> <p><i>Staff Comments</i> N/A, as no extensive retaining walls are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	<p>m. Retaining walls over 24" high may require railings or planting buffers for safety.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed to be over 24" in height.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are compatible for seating.</i>

### Additional Design Review Requirements for Multi-Family within the City of Hailey

#### 1. Site Planning: 17.06.080(D)1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	<p>a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.</p> <p><i>Staff Comments</i>            The building responds to its corner location by presenting its main facades toward River Street and Empty Saddle Trail. The open space is located behind the building to buffer the building from the parking area and to provide privacy from the public right-of-way. The gentle north to south slope is accommodated by stepping the buildings down with the topography. Surrounding uses are buffered from the residential building by street rights-of-way, the project's parking area and landscape buffers along property lines.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	<p>b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.</p> <p><i>Staff Comments</i>            A simple, logical system of pedestrian pathways connects the public rights-of-way with the project and access to parking. Most of the walkways onsite are covered. Additional informal pathways are provided to access the outdoor rooms in the open space. Three (3) sets of stairs serve the upper levels.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	<p>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</p> <p><i>Staff Comments</i>            Please refer to Section 17.06.080(D)1b above.</p>

#### 2. Building Design: 17.06.080(D)2, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</p> <p><i>Staff Comments</i>            The overall building is composed of three (3) smaller residential buildings, each containing up to ten (10) dwelling units. It is clad in a mix of corrugated metal siding on the lower levels and stucco above, with frequent articulation of the façade, to break up the building massing and scale. Two (2) generous openings to and through the building provide welcoming entrances and passage into the project. Horizontal elements, such as sunshades, private balconies, trellises, generous roof overhangs and access walkways mitigate the vertical elements. An</p>

				<p><i>approximately five-foot-wide setback from the public sidewalk provides an opportunity for vegetative landscaping to soften the front edges of the building. The gable roof forms utilized reference a residential vernacular. The exterior finish materials incorporate a mix of corrugated metal siding (rust color), stucco (beige color), metal decks and sunshades (black color) and generous eaves. Natural wood stair stringer, access balcony construction, trellises and gable vents will provide an additional accent material and color. Windows are large enough to admit ample daylight, cross ventilation and egress. They are placed to admit winter sun, but shading is provided so that they are shielded from summer sun heat gain. Where possible, each room has light from two (2) sides. The front door to each dwelling unit will be painted a burnt orange color to differentiate it from other exterior finishes, while complementing the overall color palette. The individual apartment doors do not face the street, rather they face the access balconies on the inside of the property, and the great room doors, windows and balconies face the more public street sides of the property.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p><b>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</b></p>
			<i>Staff Comments</i>	<p><i>The proposed building design emphasizes human scale along the River Street façade by providing a generous landscaping buffer between the sidewalk and the building, breaking up the façade horizontally with a change in siding material at the second-floor level, protruding balconies, sunshades and generous eaves, providing four pop-outs to undulate the façade and with a trellis structure over the main pedestrian entry. The main access is generous, pedestrian-friendly and inviting to encourage human interaction at the entry, as well as to direct people into the property.</i></p>

### General Requirements for the Downtown Residential Overlay District (DRO)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.030	<p><b>General Application:</b> The Downtown Residential Overlay District shall be an overlay district with bulk, open space, landscaping and parking requirements for buildings and structures located within the district which are developed as multi-family or mixed uses. Where the regulations specified for the underlying zoning district, the requirements of this article shall apply and control, except as otherwise specified in this article (Ord. 1238, 2018).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.040(A)	<p><b>Use and Bulk Requirements:</b> Use and bulk requirements shall be those of the underlying zoning district, except where specifically amended herein (Supplementary Location and Bulk Requirements of Chapter 17.07 of this title shall also apply in the DRO).</p> <p><b>A. Residential Percentage:</b> There shall be no maximum residential percentage on the ground level (Ord. 1238, 2018).</p>
			<i>Staff Comments</i>	<p><i>The project is proposing twenty-seven (27) dwelling units within the three (3) multifamily buildings. Of the overall total, eight (8) of the dwelling units are on the ground floor. Parking and storage spaces for each unit are also located on the ground floor.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(A)	<p><b>Multifamily and Mixed-Use Density:</b></p> <p><b>A. Maximum Residential Units Per Acre:</b> Residential units per acre provisions of the underlying district shall not apply; rather density shall be limited by required open space, parking, landscaping and standards of review from Chapter 17.06: "Design Review", of this title. The Commission shall have the discretion to modify building design based on the standards in Chapter 17.06 of this title.</p>
			<i>Staff Comments</i>	<p><i>Please refer to the Design Review Standards as noted herein.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.04R.050(B)</b>	<p><b>B. Dwelling Unit Average Size Requirement: The average dwelling unit size shall be not less than six hundred (600) net square feet per building (Ord. 1238, 2018).</b></p>
			<i>Staff Comments</i>	<p><i>The average dwelling unit size is 707 net square feet, as measured to the inside of the unit's exterior walls.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.04R.060 (A)</b>	<p><b>Parking Spaces, Screening and Storage Requirements:</b></p> <p><b>A. Onsite Parking Space Requirements Multiple Family Dwellings and Dwelling Units Within A Mixed-Use Building:</b></p> <ol style="list-style-type: none"> <li><b>1. A minimum of one space per residential dwelling unit, where up to twenty five percent (25%) of required on-site parking spaces may be provided as compact parking spaces. Compact spaces must be signed as such.</b></li> <li><b>2. At least one guest parking space for every six (6) dwelling units. Unimproved City rights-of-way adjacent to the site that are improved as part of the project shall count towards the guest parking requirement.</b></li> </ol>
			<i>Staff Comments</i>	<p><i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i></p> <p><i>The project is comprised of three (3) apartment buildings with a total of twenty-seven (27) residential units. The site plan shows a total of 27 onsite parking spaces, of which, one (1) parking space is a standard accessible parking space, and one (1) parking space is a van accessible parking space. Additionally, the Hailey Municipal Code allows twenty-five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or six (6) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of six (6) spaces as compact spaces.</i></p> <p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units; however, if unimproved public right-of-ways are improved, this shall satisfy the guest parking requirement. The Applicant is proposing to improve the public right-of-way and off-street parking along River Street and Empty Saddle Trail. Nine (9) on-street parking spaces are proposed (along River Street and Empty Saddle Trail).</i></p> <p><i>Parking requirements for the proposed project are met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.04R.060 (B)</b>	<p><b>B. Useable Open Space, Screening and Landscaping:</b></p> <ol style="list-style-type: none"> <li><b>1. Useable open space of not less than ten percent (10%) of the total lot area shall be included in the project design. Useable open space shall not include private decks, patios or rooftop gardens.</b></li> <li><b>2. A landscape buffer between parking areas and residential zone districts may consist of an acceptably designed wall or fence incorporating drought tolerant plantings; and</b></li> <li><b>3. Minimum distance setbacks in Section 17.09.020.11 of this title shall not apply.</b></li> </ol>
			<i>Staff Comments</i>	<p><i>The total lot area is 22,992 square feet in size. The Applicant is required to provide 2,299 square feet of useable open space or ten (10%) percent of the total lot area. The Applicant is proposing useable open space that is approximately 3,490 square feet in size.</i></p> <p><i>A landscape buffer between parking areas and residential zoning districts are also required; however, the project does not abut a residential zoning district. That said,</i></p>

				<i>the Applicant is proposing to buffer the parking area from adjacent properties with trees and deciduous and evergreen shrubs (see Sheet A9.01 for further details).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (C)	<b>C. Onsite Parking Dimension:</b> Where the parking angle is ninety degrees (90°), the minimum aisle width may be twenty-two (22') feet, as determined through the design review process.
			<i>Staff Comments</i>	<i>The Applicant is proposing that all onsite parking angles be of ninety degrees (90°). They have also proposed an aisle width to access the parking are of twenty-two (22') in width.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (D)	<b>D. Storage:</b> All units under five hundred (500) square feet shall be provided with on-site storage suitable for bikes, skis and other similar items. Size, location and design of the storage areas shall be determined through the design review process (Ord. 1238, 2018).
			<i>Staff Comments</i>	<i>All proposed units (27 in total) exceed 500 net square feet in size; however, the Applicant Team has provided each unit with a twenty (20) square foot (4'x5') storage unit. These units are located on the ground floor.</i>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
  - 1. The project does not jeopardize the health, safety or welfare of the public.
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
  - 1. Ensure compliance with applicable standards and guidelines.
  - 2. Require conformity to approved plans and specifications.
  - 3. Require security for compliance with the terms of the approval.
  - 4. Minimize adverse impact on other development.
  - 5. Control the sequence, timing and duration of development.
  - 6. Assure that development and landscaping are maintained properly.
  - 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
  - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.

2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions of Approval are suggested to be placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
  - i. The Applicant shall install a building sprinkler system and alarm system, as set forth in the IFC.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- d) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- e) The Applicant shall submit a letter from Clear Creek Disposal commenting on the accessibility of the proposed trash enclosure.
- f) The Applicant shall remove and haul snow from the site, as needed. No snow shall be stored in the proposed open space.
- g) Any and all ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- h) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- i) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- j) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.

#### **Motion Language**

**Approval:** Motion to approve the Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, for a total of twenty-seven (27) residential units, to be located at Sublot 4B, Block 1, North Hailey Plaza, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 18, and City Standards, provided conditions (a) through (j) are met.

**Denial:** Motion to deny the Design Review Application by Kazuko-San ID, LLC, for construction of three

(3) multifamily residential buildings, for a total of twenty-seven (27) residential units, to be located at Sublot 4B, Block 1, North Hailey Plaza, finding that \_\_\_\_\_[the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_[Commission should specify a date].

## Memorandum

To: Mayor Burke and Hailey City Council;  
Hailey Planning and Zoning

From: Hailey Tree Committee

RE: Recommend to accept tree proposal of Saddle Lofts

Date: March 10, 2022

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**Background:** The proposed Saddle Lofts are located at Lot 4B, Block 1, North Hailey Plaza, consisting of three (3) multifamily buildings, which includes twenty-two (22), one-bedroom units and six (6), two-bedroom units, for a total of twenty-eight (28) residential units.

The proposed street tree plan shows four Autumn Blaze Maples along River St. and four Washington Hawthorns along Empty Saddle.

The interior lot consists of four Tartarian Maples, six Crabapple Thunderchilds, one Sub Alpine Fir, five small evergreen trees including Rocky Mountain Juniper and Tannenbaum Pines.

Hailey Tree Committee noted that they are close to an overabundance of Autumn Blaze Maples, in the City and that those trees appear not to be as durable in the long term.

**Recommendation:** At the March 10, 2022 meeting, the Hailey Tree Committee voted unanimously to accept the tree plan.

# C L E A R   C R E E K   D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • [www.ccdisposal.com](http://www.ccdisposal.com)

April 28, 2022

Lisa Horowitz, Community Development Director  
City of Hailey  
115 S Main Street, Suite H  
Hailey, ID 83333

Re: Saddle Lofts

Dear Ms. Horowitz,

Clear Creek Disposal has engaged with Rebecca Bundy, Architect regarding the above-mentioned project. I am pleased to inform you that adequate garbage service will be met by construction of the area designed as per the attached drawings.

Collection will occur completely within the "parking lot." I do not see any safety concerns as the trucks are equipped with reflective tape, adequate flashing lights, back up alarm, and reversing cameras.

If you have any questions, please contact me at your convenience.

Respectfully,



Mike Goitiandia  
Clear Creek Disposal

.Saddle Lofts - 1





**SADDLE LOFTS**

**DESIGN REVIEW APPLICATION**

**APPLICANT RESPONSES TO APPLICABLE ZONING CODE SECTIONS**

**17.04R.050: MULTI-FAMILY AND MIXED USE DENSITY:**

- A. Maximum Residential Units Per Acre: Residential units per acre provisions of the underlying district shall not apply; rather density shall be limited by required open space, parking, landscaping and standards of review from [chapter 17.06](#), "Design Review", of this title. The commission shall have the discretion to modify building design based on the standards in [chapter 17.06](#) of this title.
- B. Dwelling Unit Average Size Requirement: The average dwelling unit size shall be not less than six hundred (600) net square feet per building.

*The average dwelling unit size is 707 net square feet, measured to the inside of the unit's exterior walls.*

**17.04R.060: PARKING SPACES, SCREENING AND STORAGE REQUIREMENTS:**

- A. On-Site Parking Space Requirements For Multiple Family Dwellings And Dwelling Units Within A Mixed Use Building:
  - 1. A minimum of one space per residential dwelling unit, where up to twenty five percent (25%) of required on-site parking spaces may be provided as compact parking spaces. Compact spaces must be signed as such.
- 2. At least one guest parking space for every six (6) dwelling units. Unimproved City rights-of-way adjacent to the site that are improved as part of the project shall count towards the guest parking requirement.

*Twenty-seven units, with 27 corresponding on-site parking spaces, are proposed, including six signed compact spaces.*

*Project street improvements will result in 9 on street parking spaces, of which 5 will serve as guest parking.*

- B. Useable Open Space, Screening And Landscaping:
  - 1. Useable open space of not less than ten percent (10%) of the total lot area shall be included in the project design. Useable open space shall not include private decks, patios or rooftop gardens.

*The lot area of 22,992 sf results in an open space requirement of 2,299 sf, while 3,490 sf is proposed. The proposed open space is public and available to all tenants.*

2. A landscape buffer between parking areas and residential zone districts may consist of an acceptably designed wall or fence incorporating drought tolerant plantings; and

*N/A. The project does not abut a residential zoning district. However, the parking lot is buffered from adjacent properties with trees and deciduous/evergreen shrubs. See Sheet A9.01, View from NE.*

3. Minimum distance setbacks in section [17.09.020.11](#) of this title shall not apply.

- C. On-Site Parking Dimension: Where the parking angle is ninety degrees (90°), the minimum aisle width may be twenty two feet (22'), as determined through the design review process.

*The proposed on-site parking angle is 90°, and an aisle width of 22 feet is proposed.*

- D. Storage: All units under five hundred (500) square feet shall be provided with on-site storage suitable for bikes, skis and other similar items. Size, location and design of the storage areas shall be determined through the design review process.

*All 27 units exceed 500 net square feet in size. However, each unit has been provided with a 4' wide by 5' deep storage unit in a facility located on the ground floor of the building. An extra storage unit will serve common space storage needs.*

#### **17.06.070: IMPROVEMENTS REQUIRED:**

- A. Sidewalks And Drainage Improvements:

1. Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.

*The right of way on River Street adjacent to the project site is only 70 feet wide, as opposed 100 feet wide further south on River Street, so the standard River Street right-of-way design has been adjusted to fit the site specific conditions. Civil engineer, Samantha Stahlnecker, Opal Engineering, PLLC, has worked extensively with City staff to develop an acceptable sidewalk system design that addresses City landscaping goals, while also achieving parking, bicycle lane, drainage and other requirements. See Sheets C0.1 – 1.1 for details and plans.*

- a. The requirement for sidewalk and drainage improvements may be waived if the proposed project construction is less than five hundred (500) square feet.

*N/A.*

- b. The requirement for sidewalk and drainage improvements may be waived for any remodel or addition to single-family dwelling and duplex projects within the townsite overlay district; sidewalk and drainage improvements shall be required for new principal building.

N/A.

- c. The city may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the city engineer. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy.

*N/A. Sidewalks and drainage will be completed as part of the proposed project.*

2. Sidewalk and drainage improvements shall be located and constructed according to applicable city standards, except as otherwise provided herein.

- a. In the B and LB zoning districts, the following are required:

- (1) A minimum sidewalk width of ten feet (10');

*Due to the non-standard right-of-way widths and per discussions with City staff, an 8.8 foot wide sidewalk, interspersed with (4) 3.8 foot wide planting strips, is proposed along River Street. Minimum sidewalk width on River Street is 5 feet. An 8 foot wide sidewalk with (4) planting strips on Empty Saddle Trail results in a minimum sidewalk width there of 6 feet. Each planting strip contains a tree and landscaping. See Sheets C1.0 and 1.1.*

- (2) Street trees with tree grates or a landscape buffer between the sidewalk and curb determined to be adequate.

*See item (1) discussion above. The planting strips are sized to provide a generous amount of landscape buffer while also allowing frequent opportunities for a driver to access the sidewalk from his/her parking space. See Sheet L1.*

- b. The developer or city may propose alternatives to either the standard sidewalk location or configuration required.

*The applicant team has worked with City staff to develop a configuration that meets the needs of the City and the project.*

- (1) The council, commission or hearing examiner shall ensure that the alternative configuration or location shall not reduce the level of service or convenience to either residents of the development or the public at large.

- (2) If an alternative location is approved, the cost of construction of the required square footage of sidewalk and linear feet of drainage improvements and the associated engineering costs, as approved by the city engineer, shall be paid by the applicant to the city before the city issues a certificate of occupancy, unless otherwise allowed for in an agreement between the city and applicant. The city shall ensure construction of sidewalk and drainage improvements occurs within two (2) years of the date the funds are received from the applicant.

N/A

3. The length of sidewalk and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.

*The length of the proposed sidewalk and drainage improvements extend the full length of the lot.*

4. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.

*The proposed new sidewalks will replace the existing sidewalks on River Street and Empty Saddle Trail that do not meet current City requirements. They will continue to connect to the existing sidewalk system in the vicinity and will provide safe pedestrian access to and around the proposed building.*

5. Sites located adjacent to public streets or private streets that are not currently through streets, regardless of whether the street may provide a vehicular connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.

N/A.

- B. Water Line Improvements: In the townsite overlay district, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer.

N/A.

**17.06.080: DESIGN STANDARDS:**

- A. Nonresidential, Multi-Family Or Mixed Use Building: The following design standards apply to any nonresidential, multi-family or mixed use building located within the city of Hailey:

1. Site Planning:

- a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible, sun exposure in exterior spaces to create spaces around buildings that are usable by the occupants and allow for safe access to buildings.

*The buildings face River Street (to the west) and Empty Saddle Trail (to the south) with each dwelling unit's great room space facing the street and bedrooms/offices facing the rear of the buildings. Parking is located behind the buildings and takes advantage of a utility easement that cannot be built upon. The L-shaped building cluster creates an elongated courtyard (open space) between the parking area and the buildings that will offer (5) different outdoor "rooms" for residents. At the north (and sunniest) end of the open space, a children's play area with climbing boulders is proposed. Just to the south is an uncovered, paved gathering area with*

*picnic tables. South of that is a multi-purpose lawn area and another paved gathering area covered by a trellis structure, providing filtered light and some shade. Finally, at the southern edge of the open space, another lawn area provides opportunities for pets, including a dog water/washing station. The main pedestrian entrances face the streets (west and south), will receive ample sunlight and will be covered to provide safe access. Finally, the building is set back about five feet from the sidewalk in most places to allow for ample landscaping on private property along the sidewalk.*

- b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than six inch (6") caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the tree guide and shall be a minimum of four inch (4") caliper.

*The existing site contains only wild grasses, a few scrubby shrubs, weeds and two small, unmaintained trees less than 6" caliper. None of the existing landscape will be preserved or relocated. Rather, it will be removed and replaced with appropriate plantings.*

- c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.

*The main pedestrian entrances face the streets (west and south), will receive ample sunlight and will be covered to provide safe access. The apartments will be accessed via a covered walkway/balcony system located along the rear sides of the building. Both a covered walkway, as well as an uncovered path, will provide access from the building to the parking area.*

- d. Building services, including loading areas, trash storage/pick up areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.

*The trash storage/pick up area is located to the rear of both the west and east wings of the building along the eastern property line, with the power box located directly to the north of the dumpster enclosure. Each building service area has its own dedicated space that does not interfere with other uses. Each will be screened with vegetation, and the trash area will be partially enclosed with a removable fence in the event that utilities in the utility easement need to be accessed. Snow will be hauled from the site.*

- e. Where alleys exist, or are planned, they shall be utilized for building services.

*N/A. No alley exists or is planned.*

- f. Vending machines located on the exterior of a building shall not be visible from any street.

*N/A. No vending machines are proposed.*

- g. Except as otherwise provided herein, on site parking areas shall be located at the rear of the building and buffered from the sidewalk adjacent to the street. Parking and access shall not be obstructed by snow accumulation.

*The on-site parking is located to the rear of the building and is buffered from the sidewalk by the open space and the building itself. Snow will be hauled from the site.*

- (1) Parking areas located within the SCI zoning district may be located at the side or rear of the building.

*N/A. The property is not located in the SCI zoning district.*

- (2) Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts, provided a usable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.

*The project has a generous pedestrian entrance at the front of the building on River Street, as well as a secondary entrance on Empty Saddle Trail. The parking is located to the rear of both wings of the building and is accessed from a driveway along the eastern property edge.*

- h. Access to on site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

*The site is not served by an alley. The on-site parking is accessed from a single approach off of Empty Saddle Road and is buffered from the adjacent streets by the buildings, preserving the street frontage for pedestrian traffic.*

- i. Snow storage areas shall be provided on site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.

*There is adequate area in the outdoor open space provided to satisfy the snow storage requirement, but staff has informed the design team that the open space may not be used for that purpose. In that case, the snow will be hauled away from the site. The driveway and parking lot aisle will accommodate snow removal equipment.*

- j. Snow storage areas shall not be less than twenty five percent (25%) of the improved parking and vehicle and pedestrian circulation areas.

*See item i. above.*

- k. A designated snow storage area shall not have any dimension less than ten feet (10').

*N/A. See item i. above.*

- l. Hauling of snow from downtown areas is permissible where other options are not practical.

*N/A. See item i. above.*

- m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pick up areas, service areas or utilities.

*N/A. See item i. above.*

- n. Snow storage areas shall be landscaped with vegetation that is salt tolerant and resilient to heavy snow.

*N/A. See item i. above.*

## 2. Building Design:

- a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.

*The surrounding buildings vary widely in size, shape and roofline, from the flat roofed, essentially 2½ story tall, 36,541 sf Albertson's Market to the north to the single story, steep pitched roof, 1,301 sf cottage directly to the east. The proposed apartment building, with a building footprint of 7,424 sf, is substantially smaller than Albertsons, the nearby movie theater, the office building across the street or the apartment building kiddy corner from the site. It is about twice the size of the Pioneer Federal Credit Union building and much larger than the cottage directly to the east.*

*The proposed apartment building is designed as a collection of three smaller buildings connected by a covered access breezeway/balcony. The overall shape of the complex is an L shaped rectangle. Most of the neighboring buildings have rectangular shapes.*

*The proposed apartment building has a low pitched, but sloped, roof consistent with a residential vernacular and to facilitate roof drainage. The larger neighboring buildings have flat roofs, and the smaller buildings nearby have pitched roofs of varying slope.*

- b. Standardized corporate building designs are prohibited.

*N/A. A custom building design is proposed.*

- c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.

*The proposed building design emphasizes human scale along the main River Street façade by providing a generous landscaping buffer between the sidewalk and the building, breaking up the façade horizontally with a change in siding material at the second floor level, protruding balconies, sunshades and generous eaves, providing four pop-outs to undulate the façade and with a trellis structure over the main pedestrian entry. The main access is generous, pedestrian friendly and inviting to encourage human interaction at the entry and to direct people into the property.*

*The southern façade is not the primary building elevation, but it also has a generous pedestrian access, changes in siding materials and vertical planes, protruding balconies and eaves and landscaping at the street level.*

- d. The front facade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building offsets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.

*The front façade faces River Street and includes numerous windows, the generous main pedestrian entrance, multiple building offsets, projections in the form of decks, roof eaves and sunshades, architectural detailing of those elements and changes in materials at the second/third floor levels.*

- e. Any addition on to or renovation of an existing building shall be designed to create a cohesive whole.

*N/A. The proposed building is new construction.*

- f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.

*The building's exterior walls incorporate a mix of corrugated metal siding (rust color), stucco (beige color), metal decks and sunshades (black color), natural wood gable vents, access balconies and trellises and generous eaves.*

- g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.

*The proposed earth tone colors will be harmonious with the neighboring brown, gray, burgundy and brick colored buildings. The stucco and metal materials will be of high quality and will complement the variety of materials found on the neighboring buildings.*

- h. Flat roofed buildings over two (2) stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.

*N/A. Pitched roofs are proposed.*

- i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:

*In addition to the energy efficiency measures below, the project will be provided with building insulation to exceed minimum energy code compliance, low solar heat gain coefficient windows on the south and west façades to minimize afternoon heat gain and (2) electric vehicle, level 2 charging opportunities in the garage.*

- (1) Solar Orientation: If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within thirty degrees (30°) of true south.

*N/A. The shape of the lot does not lend itself to this option.*

- (2) South Facing Windows With Eave Coverage: At least forty percent (40%) of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.

*Due to the shape of the lot, most of windows are on the west façade (actually southwest facing). However, all windows facing south and west will be mostly shaded by roof overhangs, sun shades, balconies or street trees. See attached sun study.*

- (3) Double Glazed: Double glazed windows.

*Double glazed windows will be utilized.*

- (4) Low Emissivity Glazing: Windows with low emissivity glazing.

*Low-E glazing will be utilized.*

- (5) Exterior Walls: Earth berming against exterior walls.

*Not practical on this flat, tight site.*

- (6) Alternative Energy: Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on site.

*An installed alternative energy system is not proposed at this time, but the building will be rooftop solar ready.*

- (7) Exterior Light Shelves: All windows on the southernmost facing side of the building shall have external light shelves installed.

*Exterior light shelves are not proposed, but sunshades are proposed on the west and south facades.*

- j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.

*The low-pitched roofs will retain snow. Gable roofs will direct melting snow and rain run off to gutters located at the eaves. The apartment access balconies/walkways adjacent to the building will be covered by a pitched roof with a gutter system.*

- k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.

*Downspouts and drains will be located in landscaped areas and will drain to a drywell on site.*

- I. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of three to twelve (3:12) and be consistent with the colors, material and architectural design used on the principal building(s).

*N/A. No such facilities are proposed.*

- m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with section 17.08A.020 of this title.

*N/A. The proposed sign at the building entrance will identify the building and address only and is exempt from the regulations of HMC, Section 17.08A. All other signage on the site will be directional (unit numbers) or required by code (ADA, compact parking stall...).*

### 3. Accessory Structures, Fences And Equipment/Utilities:

- a. Accessory structures shall be designed to be compatible with the principal building(s).

*Trellises, attached to the building, are located at the front and rear of the main pedestrian entry. No other accessory structures are proposed.*

- b. Except as otherwise provided herein, accessory structures shall be located at the rear of the property.

- (1) Accessory structures may be considered in a location other than the rear on sites determined to have characteristics that prevent location at the rear of the site.

*N/A. See item a. above.*

- c. Walls and fences shall be constructed of materials compatible with other materials used on the site.

*No perimeter fences are proposed. Lot lines at the edges of the parking lot will be defined by vegetative landscaping. Removable screening to match the corrugated siding is proposed around the trash dumpsters and recycling containers. Three gabion baskets are proposed between the open space and the parking area to provide separation between the uses.*

- d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.

*See item d. above.*

- e. Except as otherwise provided herein, all roof projections, including roof mounted mechanical equipment, such as heating and air conditioning units, shall be shielded and screened from view from the ground level of on site parking areas, adjacent public streets and adjacent properties. Wind energy systems that have received a conditional use permit and solar panels are exempt from this requirement.

*No roof projections, except plumbing vents, are proposed.*

- f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.

*N/A. No alternative energy systems are proposed.*

- g. All ground mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas, shall be adequately screened from surrounding properties and streets by the use of a wall, fence or landscaping, or shall be enclosed within a building.

*No ground mounted mechanical equipment is proposed, with the exception of Idaho Power's transformer box. It will be located along the east property line to the north of the trash enclosure. The trash enclosure is located near the rear of the property, and the receptacles will be fenced on three sides.*

- (1) All service lines into the subject property shall be installed underground.

*All service lines will be installed underground.*

- (2) Additional appurtenances shall not be located on existing utility poles.

*No additional appurtenances will be located on existing utility poles.*

#### 4. Landscaping:

- a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey landscaping manual or an approved alternative.

*All plant material has been selected for its drought-tolerance and ability to thrive in the local environment. Tree selections include Washington Hawthorn, Autumn Blaze Maple, Tartarian Maple, Crabapple, Subalpine Fir, Rocky Mountain Juniper and Tannenbaum Pine. Shrub selections include Oriental Dwarf Spruce and a mix of Cotoneaster, Ninebark, Lilac, Spirea and Snowberry. Grasses and perennials include (3) drought-tolerant grasses and (3) native or adapted flowering perennials. The limited turf grass proposed is a low water use Fescue Blend.*

- b. All plant species shall be hardy to the zone 4 environment.

*All plant materials selected are hardy to zone 4.*

- c. At a minimum, a temporary irrigation system that fully operates for at least two (2) complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.

*All disturbed areas will be revegetated and irrigated with an automatic underground irrigation system. Drip irrigation will be installed in all planting beds, planter boxes and tree wells. The irrigation system will be automatically controlled with a smart controller and rain sensor for a water wise system. See Sheet L1.*

- d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than ten (10) trees, a minimum of ten percent (10%) of the trees shall be at least four inch (4") caliper, twenty percent (20%) shall be at least three inch (3") caliper, and twenty percent (20%) shall be at least two and one-half inch (2 1/2") caliper, and a maximum of twenty percent (20%) of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.

*Landscaped areas occur along all lot lines, as well as in the open space area at the rear of the building. Trees, shrubs, ground covers and ornamental grasses are proposed. (See item a above.) A total of (16) on-site trees and (8) street trees are proposed. Tree caliper standards have been met, and sufficient space has been allotted to accommodate mature trees.*

- e. Seasonal plantings in planter boxes, pots and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.

*N/A.*

- f. Plantings for pedestrian areas within the B, LB, TN and SCI-SO zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots and/or hanging baskets.

*See item a above.*

- g. Stormwater runoff should be retained on the site wherever possible and used to irrigate plant materials.

*Grading and drainage has been designed to keep all runoff on site. The runoff will be directed to drywells where it will slowly infiltrate into the soil. See Sheet C1.1.*

- h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).

*The owner will employ a landscaping service to maintain the landscaping, and an on-site manager will handle day to day maintenance chores.*

- i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.

*A very low retaining wall (maximum about 18") is proposed along the River Street sidewalk to allow a small change in grade from the sidewalk to the subject property. It will have a 6" minimum curb on the sidewalk side, per the request of the Public Works Director, to facilitate snow removal on the sidewalk.*

- j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.

*Per the request of the Public Works Director, the proposed retaining wall/ curb will be made of reinforced concrete to match the sidewalk.*

- k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet (4') or terraced with a three foot (3') horizontal separation of walls.

*No tall retaining walls are proposed.*

- l. Landscaping should be provided within or in front of extensive retaining walls.

*No extensive retaining walls are proposed. Landscaping is proposed within the minimal retaining wall along the front sidewalk.*

- m. Retaining walls over twenty four inches (24") high may require railings or planting buffers for safety.

*N/A. No retaining walls over 24" tall are proposed.*

- n. Low retaining walls may be used for seating if capped with a surface of at least twelve (12) to sixteen inches (16") wide.

*N/A. No such retaining walls are proposed.*

- D. Multi-Family: In addition to the standards applicable to any nonresidential, multi-family or mixed use building located within the city of Hailey described in subsection A of this section, the following design standards also apply to any multi-family building located within the city of Hailey:

- 1. Site Planning:

- a. The location of buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.

*The building responds to its corner location by presenting its main facades to River Street and Empty Saddle Trail. The open space is located behind the building to buffer the building from the parking area and to provide privacy from the more public right of way. The gentle north to south slope is accommodated by stepping the buildings down with the topography. Surrounding uses are buffered from the residential building by street rights of way, the project's parking area and landscape buffers along property lines.*

- b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.

*A simple, logical system of pedestrian pathways connects the public rights-of-way with the project and access to parking. Most of the walkways on site are covered. Additional informal pathways are provided to access the outdoor rooms in the open space. Three sets of stairs serve the upper levels.*

- c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.

*See item b. above.*

## 2. Building Design:

- a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Front doors should be individual and visible from the street. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.

*The overall building is composed of three smaller residential buildings, each containing up to (10) dwelling units. It is clad in a mix of corrugated metal siding on the lower levels and stucco above, with frequent articulation of the façade, to break up the building massing and scale. Two generous openings to and through the building provide welcoming entrances and passage into the project. Horizontal elements, such as sunshades, private balconies, trellises, generous roof overhangs and access walkways mitigate the vertical elements. An approximately 5 foot wide setback from the public sidewalk provides an opportunity for vegetative landscaping to soften the front edges of the building. The gable roof forms utilized reference a residential vernacular. The exterior finish materials incorporate a mix of corrugated metal siding (rust color), stucco (beige color), metal decks and sunshades (black color) and generous eaves. Natural wood stair stringer, access balcony construction, trellises and gable vents will provide an additional accent material and color. Windows are large enough to admit ample daylight, cross ventilation and egress. They are placed to admit winter sun, but shading is provided so that they are shielded from summer sun heat gain. Where possible, each room has light from two sides. The front door to each dwelling unit will be painted a burnt orange color to differentiate it from other exterior finishes, while complementing the overall color palette. The individual apartment doors do not face the street, rather they face the access balconies on the inside of the property, and the great room doors, windows and balconies face the more public street sides of the property.*

- b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.

*The proposed building design emphasizes human scale along the main River Street façade by providing a generous landscaping buffer between the sidewalk and the building, breaking up the façade horizontally with a change in siding material at the second floor level, protruding balconies, sunshades and generous eaves, providing four pop-outs to undulate the façade and with a trellis structure over the main pedestrian entry. The main access is generous, pedestrian friendly and inviting to encourage human interaction at the entry and to direct people into the property.*

*The southern façade is not the primary building elevation, but it also has a generous pedestrian access, change in siding materials and vertical planes, and landscaping.*

**17.09.020: STANDARDS:**

**17.09.020.01: LOCATION OF ON SITE PARKING SPACES:**

The following regulations shall govern the location of on site parking spaces and areas, except as otherwise provided below and in section [17.09.040.08](#) of this chapter:

- A. Single-Family Dwellings: Parking spaces for all single- family dwellings shall be located on the same lot as the dwelling which they serve, except as otherwise provided in section [17.09.040.01](#) of this chapter.

*N/A.*

- B. Multi-Family, Institutional Uses: Parking spaces for multi- family or institutional uses shall be located not more than three hundred feet (300') from the principal use.

*No parking space is located further than 84 feet from the apartment building.*

- C. Commercial, Industrial Uses: Parking spaces for commercial or industrial uses shall be located not more than eight hundred feet (800') from the principal use and must be located within a B, LB, SCI or LI district.

*N/A.*

- D. Rear Location; Exception: New on site parking areas shall be located at the rear of the building, except within the SCI zoning district where parking is allowed at the side of the building.

*The proposed on site parking is located to the rear of both the River Street and Empty Saddle Trail portions of the building.*

- E. Prohibited Location; Exception: On site parking areas are not permitted between the sidewalk within the public right of way and the primary frontage of a building, except where the location of an existing buildings or site conditions precludes another location for parking; such parking requires a landscape buffer, or an alternative approved by the administrator, between sidewalk and parking.

*The proposed on site parking is located to the rear of both the River Street and Empty Saddle Trail portions of the building.*

**17.09.020.04: MAINTENANCE:**

The owner of property used for parking and/or loading shall maintain such area in good condition without holes and free of all dust, trash, other debris and snow.

*This standard shall be met. Snow will be hauled from the site.*

**17.09.020.05: SURFACING AND CONSTRUCTION:**

- A. All required parking and loading spaces, together with driveways, aisles and other circulation areas, shall be constructed in accordance with the city standards.

*The parking lot dimensions meet the code standards. See Sheets C0.1 – 1.1 for civil engineering plans and details.*

- B. Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.

N/A.

**17.09.020.06: DRAINAGE:**

All parking, loading or other nonpermeable surface areas shall provide for on site drainage of surface water to prevent the drainage of such water onto adjacent properties, walkways or into the public right of way. Drainage provided shall be in accordance with city standards.

*This standard has been met. See Sheet C1.1.*

**17.09.020.07: LIGHTING:**

Any parking area which is intended to be used during nondaylight hours shall be properly illuminated to avoid accidents. Any lights used to illuminate a parking lot shall be so arranged as to direct the light away from the adjoining property, and shall be of a type and method of construction to shield the light source from direct view from any adjacent property or right of way. All parking area lighting shall comply with the standards as set forth in [chapter 17.08](#), article C of this title.

*This standard has been met. See Sheet E1.01 and fixture cut sheets.*

**17.09.020.08: ACCESS:**

- A. Design: Except as otherwise provided herein, any parking area on private property shall be designed in such a manner that any vehicle leaving or entering the parking area from or onto a public street shall be traveling in a forward motion.

*A turn-around space has been provided at the north end of the parking lot so that vehicles can turn around to exit the parking lot traveling in forward motion.*

- B. Through Alleys: Where alleys exist, access to on site parking for any nonresidential use or for any multi-family dwelling of three (3) or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.

N/A.

- C. Alley Not Present: If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

*The site will be accessed by a single approach from Empty Saddle Trail.*

- D. Visibility: Access for on site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.

*At the driveway, the building is set back 5 feet from the property line to provide clear site lines in either direction of the sidewalk. In addition, the covered parking has large openings facing the street and the parking lot to provide adequate sight lines through the building for safety.*

- E. Subdivisions: Access for subdivisions shall be provided in accordance with standards set forth in title 16, [chapter 16.04](#) of this code.

N/A.

- F. Backing Design Permitted: Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI districts may be designed to allow a vehicle to back from the parking area into the public right of way.

N/A.

- G. Stacking: Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus "stacking" the parking area. For nonresidential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.

*No stacked parking spaces are proposed.*

**17.09.020.09: SCREENING AND LANDSCAPING:**

- A. Screening From Residential Property:

*N/A. The subject property does not abut any residential zoning or residential uses.*

1. All loading space areas and parking areas shall be screened from a public street and shall be screened on all sides which adjoin or face any residential property.
2. The screening shall consist of an acceptably designed wall, fence or drought tolerant landscaping.
3. Such a fence or wall shall be not less than four feet (4') nor more than six feet (6') in height and shall be maintained in good condition. The space between such fence or wall and the lot line of

the adjoining premises in any residential district shall be landscaped with drought tolerant landscaping and maintained in good condition.

- B. When Buffer Required: When a project is being reviewed pursuant to chapter 17.06 of this title, and an existing on site parking area is located adjacent to a sidewalk, a landscape buffer is required between the surface of the parking area and the sidewalk.

*N/A.*

- C. Landscaping Within Parking Area: Parking areas designed to accommodate sixty (60) or more cars shall include landscaping appropriately located within the parking area to adequately break up the pavement area. The landscaping shall include deciduous trees no smaller than two inch (2") caliper.

*N/A. The parking lot accommodates 27 vehicles.*

- D. Mitigation for Accessory Dwelling Unit parking spaces: Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.

*N/A. No ADU's are proposed.*

**17.09.020.10: WHEEL BLOCKS:**

Whenever a parking lot extends to a property line, wheel blocks or other suitable devices shall be installed to prevent any part of a parked vehicle from extending beyond the property line.

*N/A. The parking lot has a minimum 29" landscaping buffer on all sides.*

**17.09.030: ON SITE PARKING DIMENSION:**

For the purposes of this chapter, the dimensions of all parking areas within the city right of way shall be in accordance with the city standards. The dimensions of all on site parking areas shall be according to the following table:

<b>On Site Parking Dimensions (Shown In Feet)</b>			
<b>Parking Angle</b>	<b>Stall Width (S)</b>	<b>Stall Depth (D)</b>	<b>Aisle Width (A)</b>
90	9	18	24
ADA	11 (+5 for ADA aisle)	Same as above	Same as above
Compact	8	16	Same as above

*The proposed on site parking consists of all 90° parking with*

- 19 standard spaces (9x18)
- 6 compact spaces (8 x 16)
- 1 ADA van stall (11 x 18, plus 5' aisle), per building code
- 1 ADA standard stall (9 x 18, plus 5' aisle), per building code

**17.09.040: ON SITE PARKING SPACE REQUIREMENTS:**

For the purpose of this chapter, the following on site parking space requirements shall apply as the minimum number of parking spaces which shall be provided on site by the given use:

- A. Fractions: Where the calculation of parking spaces results in a fraction, the required parking shall be rounded down to the nearest whole number.

*N/A. The parking lot calculation is determined by the DRO standards.*

- B. Gross Area Defined: For the purposes of this section, "gross area" is defined as the total square foot area of a given use, as designated for each use.

*N/A. The parking lot calculation is determined by the DRO standards.*

- C. Uses Not Listed: Where a specific use is not listed, and no similar use is listed, the required minimum number of on site parking spaces shall be one per one thousand (1,000) gross square feet.

*N/A. The parking lot calculation is determined by the DRO standards.*

- D. Handicap Accessible: All uses shall provide handicap accessible parking spaces as required by the IBC, and designed to comply with the standards set forth in ANSI A117.1. Such spaces may be included in the total number of required on site parking spaces.

*The IBC and ANSI A117.1 require one ADA van stall for the first 25 required parking spaces and one standard ADA stall for the next 26 - 50 required spaces. Both required spaces have been provided.*

- E. Compact Spaces: Up to twenty five percent (25%) of the required on site parking spaces may be provided with compact parking spaces, but in no case shall more than five (5) spaces be reserved as compact. Compact spaces must be signed as such.

*N/A. The compact spaces calculation is determined by the DRO standards.*

**17.09.040.01: RESIDENTIAL:**

<p>Accessory dwelling units and all dwellings less than 1,000 square feet</p>	<p>Minimum of 1 space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking. <i>N/A.</i></p>
<p>Multiple-family dwellings and dwelling</p>	<p>Minimum of 1.5 spaces per unit. <i>N/A. The parking spaces calculation is determined by the DRO standards.</i></p>

units with a mixed use building	
Single-family dwellings	<p>2 spaces per dwelling minimum, 6 spaces per dwelling maximum.</p> <p>Parking spaces within any garage, carport or similar structure shall be credited at 1 space per 9 feet of floor width and 18 feet of floor length.</p> <p>The city will allow the use of 100 foot wide rights of way within the Hailey original townsite for licensed passenger vehicle parking for single-family dwellings. Parking for accessory dwelling units must be provided on site. N/A.</p>

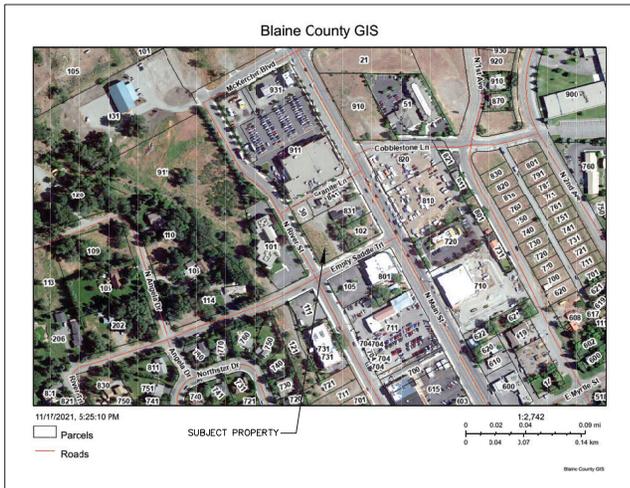
**17.09.040.07: BICYCLE PARKING:**

All multi-family residential and commercial or mixed use development, including new construction and additions, shall provide at least three (3) bicycle parking spaces or bicycle spaces equivalent to twenty five percent (25%) of the required number of vehicle parking spaces, whichever is greater.

*A total of 7 bicycle parking spaces are required, but 10 are provided under cover, and an additional 14 uncovered spaces are provided near the parking area.*



CONCEPTUAL RENDERING OF SOUTH & WEST FACADES



VICINITY MAP

**SHEET INDEX:**

- A 1.00 COVER SHEET
- TOPO SURVEY
- CO.1 COVER & DETAIL SHEET
- CO.2 DETAIL SHEET
- CO.3 DETAIL SHEET
- CO.4 DETAIL SHEET
- C1.0 SITE GEOMETRY PLAN
- C1.1 SITE GRADING & DRAINAGE PLAN
- L1 LANDSCAPE PLAN
- A1.01 SITE PLAN
- A1.02 GROUND FLOOR PLAN
- A1.03 SECOND FLOOR PLAN
- A1.04 THIRD FLOOR PLAN
- A1.05 ROOF PLAN
- A2.01 WEST & SOUTH ELEVATIONS
- A2.02 EAST & NORTH ELEVATIONS
- A3.01 SECTIONS A & B
- A3.02 SECTIONS C & D
- A9.01 3D RENDERINGS
- E1.01 GROUND FLOOR EXTERIOR LIGHTING PLAN
- E1.02 SECOND FLOOR EXTERIOR LIGHTING PLAN
- E1.03 THIRD FLOOR EXTERIOR LIGHTING PLAN
- GC-1 STAGING & CONTRACTOR PARKING PLAN

**PROJECT INFORMATION**

OWNER:  
KAZUKO-SAN ID, LLC  
4468 WA ALEGRE  
SANTA BARBARA, CA 93110

PROJECT ADDRESS:  
NO ADDRESS YET  
NE CORNER OF RIVER STREET & EMPTY SADDLE TRAIL  
HAILEY, ID 83333

LEGAL DESCRIPTION:  
NORTH HAILEY PLAZA SUB LOT 4B, BLOCK 1

**BUILDING INFORMATION NOTES**

SITE AREA: ±0.53 ACRES (±22,992 SF)  
ZONING: BUSINESS (B),  
OVERLAY ZONING: DOWNTOWN RESIDENTIAL OVERLAY (DRO)

BUILDING OCCUPANCY: R-2  
BUILDING CONSTRUCTION TYPE: VB

BUILDING FOOTPRINT:  
BUILDING A 2,817.6 SF  
BUILDING B 2,823.9 SF  
BUILDING C 1,782.5 SF  
TOTAL BUILDING FOOTPRINT 7,424.0 SF

TOTAL LOT COVERAGE: 7,424 SF/22,992 SF = 32.3%  
AVERAGE UNIT SIZE: 707 NSF

OFF-STREET PARKING:  
24 UNCOVERED SPACES (18 STANDARD, 1 ADA, 5 COMPACT)  
3 SPACES IN CARPORT (1 ADA VAN, 1 STANDARD, 1 COMPACT)  
27 TOTAL ON-SITE PARKING SPACES  
5 GUEST SPACES IN IMPROVED ROW

**CODE INFORMATION**

APPLICABLE CODES, AS ADOPTED & AMENDED  
BY THE CITY OF HAILEY:  
2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL FIRE CODE  
2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE  
HAILEY MUNICIPAL CODE:  
• 15.08.012 BUILD BETTER PROGRAM  
• CHAPTER 17 - ZONING REGULATIONS

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DESIGN REVIEW  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



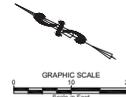
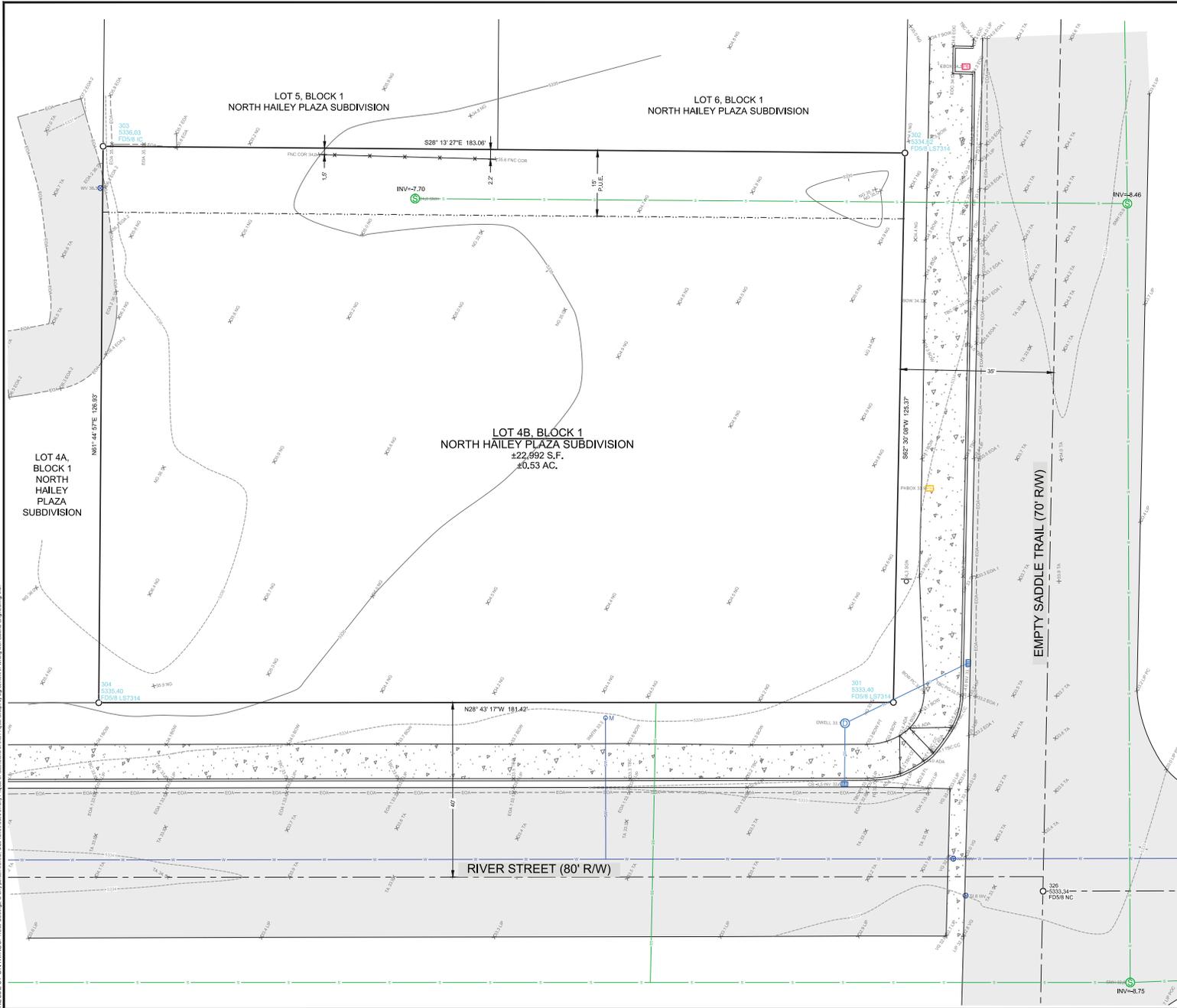
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COVER SHEET

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS	SCALE N/A
SUBMIT DATE:	DATE 2/10/2022
	DRAWING NO.
	A1.00

PLEASE DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT TO BE USED AS A BASIS FOR ANY DECISIONS OR ACTIONS WITHOUT CONSULTING WITH GALENA ENGINEERING, INC.



**LEGEND**

—	Property Line	—	ADA = Curb Ramp Points
—	Adjoiner's Lot Line	—	BOW = Back of Walk
—	Centerline Right of Way	—	CC = Curb Cut
—	Public Utility Easement per Plat	—	COR = Corner
—	FD518 = Found 5/8" Rebar	—	EOA = Edge of Asphalt
—	FD1/2 = Found 1/2" Rebar	—	EOC = Edge of Concrete
—	CNTRL = Survey Control	—	FL = Flow Line
—	5' Contour Interval	—	IN = Invert
—	1' Contour Interval	—	LSP = Lip of Gutter
—	Curb & Gutter	—	NG = Natural Ground
—	FNC = Fence Line	—	PC = Point of Curvature
—	Asphalt	—	POC = Point on Curve
—	Concrete Sidewalk	—	PT = Point of Tangency
—	Sign	—	TA = Top of Asphalt
—	PHBOX = Telephone Riser	—	TBC = Top Back of Curb
—	PBOX = Power Box	—	VG = Valley Gutter
—	Sewer Main		
—	Sewer Service		
—	SMH = Sewer Manhole		
—	Storm Drain		
—	CB = Catch Basin		
—	DWELL = Dry Well		
—	Water Main		
—	Water Service		
—	WMTR = Water Meter		
—	WV = Water Valve		

**NOTES**

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (08/19/2021).
- Boundary information is based on Found Monumentation. Please refer to the recorded plat of North Hailey Plaza Subdivision, Insist 402013, records of Blaine County, Idaho Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- Underground utility locations are based on above ground appearances / utilities visible at the time of the survey and City utility maps. Sub-surface utility locations are approximate and locations should be verified before any excavation.
- Galena Engineering, Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is found 5/8" rebar at southwest corner of property, elevation = 5333.40 Point elevations shown are truncated (i.e. 5334.34 is 34.3). Vertical Datum as NAVD 1988.

**A TOPOGRAPHIC MAP SHOWING**  
**LOT 4B, BLOCK 1, NORTH HAILEY PLAZA SUBDIVISION**  
 LOCATED WITHIN SECTION 8, T.2N. R.1E. B.M. CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 PROJECT INFORMATION  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]



DESIGNED BY: [Signature]  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 117 N. River Street  
 Boise, Idaho 83725  
 (208) 784-1700  
 email: galena@galenaengineering.com

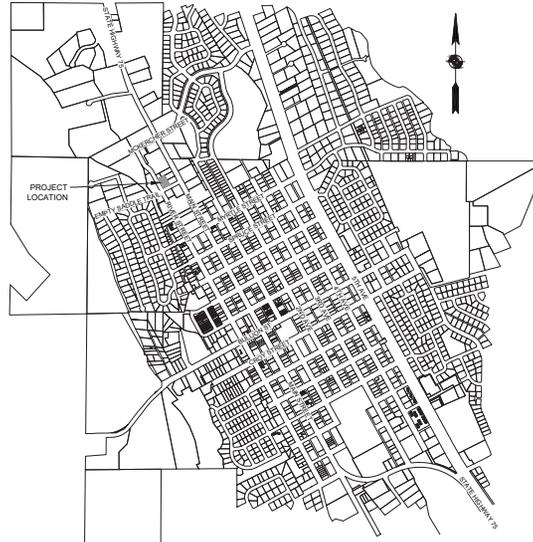
NO.	DATE	BY	REVISIONS

PURPOSE: [Blank]  
 TOPO

# SADDLE LOFTS HAILEY, IDAHO FEBRUARY 2022

## GENERAL CONSTRUCTIONS NOTES

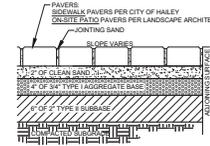
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWC AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1955) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-498. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITD STANDARD 703.04, 21), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (12MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPWC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING, NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPWC SECTIONS 701, 703, AND 705 AND CITY OF HAILEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPWC SECTION 703, TABLE 1 WITH A MINIMUM OF 1.5 LBS/CY FIBER REINFORCEMENT. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPWC 703.3.5), AND POST-CURE SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HAILEY PRIOR TO INSPECTIONS.
- ALL TRENCHING SHALL CONFORM TO ISPWC STANDARD DRAWING SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.010.A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING DATED 9/22/21.



VICINITY MAP  
N.T.S.

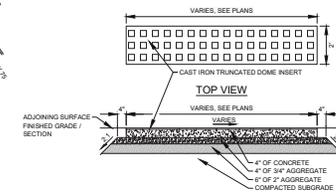
## SHEET INDEX

SHEET#	DESCRIPTION
CO.1	COVER SHEET AND DETAIL SHEET
CO.2	DETAIL SHEET
CO.3	DETAIL SHEET
CI.0	SITE GEOMETRY PLAN
CI.1	SITE GRADING, DRAINAGE, AND UTILITY PLAN

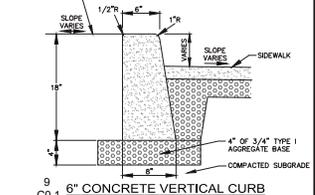


- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

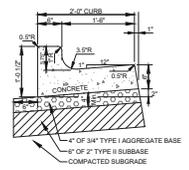
7 CO.1 PAVEMENT DETAIL  
N.T.S.



8 CO.1 TRUNCATED DOME INSERT DETAIL  
N.T.S.

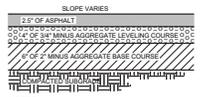


9 CO.1 6\"/>



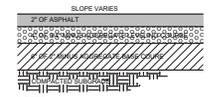
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - CURBED STREET SECTION CONSTRUCTION SHALL CONFORM TO CITY OF HAILEY STANDARD DRAWING 18.14.012.F.1.

1 CO.1 TYPICAL STREET ASPHALT SECTION  
N.T.S.



- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

2 CO.1 TYPICAL PARKING LOT ASPHALT SECTION  
N.T.S.

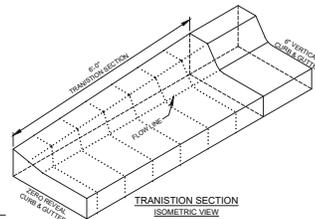


- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

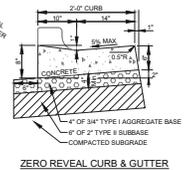
3 CO.1 TYPICAL PATH ASPHALT SECTION  
N.T.S.



4 CO.1 6\"/>



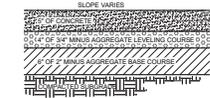
TRANSITION SECTION ISOMETRIC VIEW



ZERO REVEAL CURB & GUTTER

- NOTES:
- SUBBASE CAN BE 2" TYPE I OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 10-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FEET MAXIMUM SPACING (8 FEET SIDEWALK).
  - CURB AND GUTTER CONSTRUCTION SHALL CONFORM TO ISPWC DRAWING SD-707.

5 CO.1 TYPICAL CURB TRANSITION DETAIL  
N.T.S.



- NOTES:
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
  - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURBS AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE P PREFORMED EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH FOR NEW SIDEWALK CONSTRUCTION.
  - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 1/2" WIDE, IF IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 4' FOR NEW SIDEWALK CONSTRUCTION.
  - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
  - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - CONCRETE THICKNESS PER THIS DETAIL, OR MATCH EXISTING, WHICHEVER IS GREATER.

6 CO.1 TYPICAL CONCRETE SECTION  
N.T.S.



OPAI ENGINEERING, P.L.L.C.  
PO BOX 285 HAILEY, IDAHO 83401  
PHONE: 208.734.1100 FAX: 208.734.1101

PURPOSE: ISSUE FOR DESIGN REVIEW (02/09/2022)



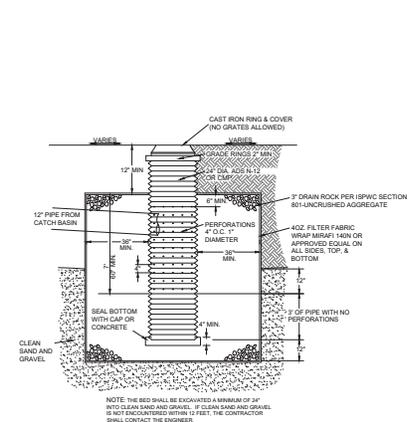
COVER AND DETAIL SHEET

SADDLE LOFTS  
PREPARED FOR: LAZAR SAND, LLC

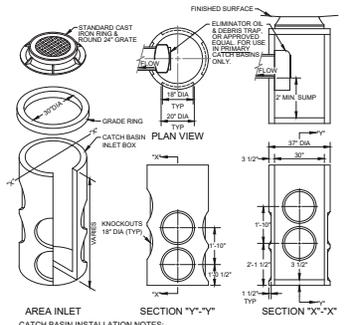
22014  
PROJECT NUMBER

CO.1

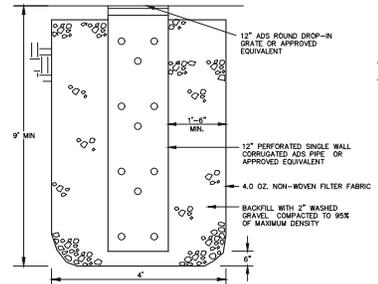
RELEASE OF DRAWINGS: These drawings are prepared under Project of the author. The Project engineer is responsible for the accuracy of the information. I, GALENA ENGINEERING, INC.



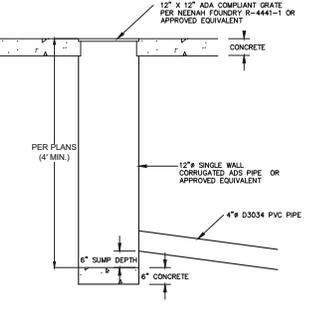
1 CITY OF HAILEY DRYWELL DETAIL (18.14.010.D4)  
 N.T.S.



2 30" DIAMETER CATCH BASIN  
 N.T.S.

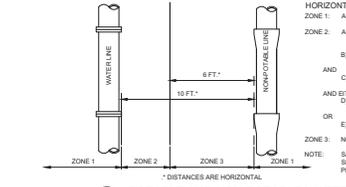
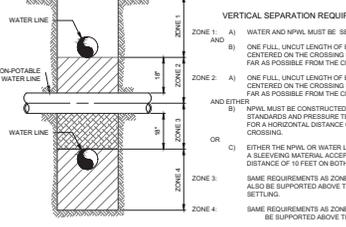


3 LANDSCAPE DRYWELL  
 N.T.S.



4 LANDSCAPE CATCH BASIN  
 N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



5 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION  
 N.T.S.

**VERTICAL SEPARATION REQUIREMENTS**

ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND ONE FULL UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.

ZONE 2: A) ONE FULL UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.

ZONE 3: C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVING MATERIAL ACCEPTABLE TO DEC FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.

ZONE 4: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

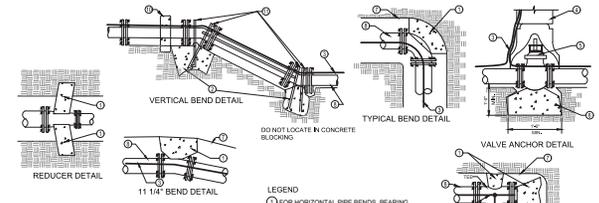
**HORIZONTAL SEPARATION REQUIREMENTS**

ZONE 1: A) NO SPECIAL REQUIREMENTS.

ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.

ZONE 3: E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEC.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 12" HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEC.



**TABLE 1**  
 THRUST AREA FOR HORIZONTAL BENDS\*\*

PIPE SIZE	TEE, PLUG & VALVE	90° BEND	45° BEND	22.5°/11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.2
4"	1.4	2.0	1.1	0.8
6"	3.2	4.5	2.4	1.7
8"	5.7	8.0	4.3	3.2
10"	8.8	12.8	6.8	3.4
12"	12.7	18.0	9.7	5.0
16"	19.3	28.5	15.3	8.8
18"	22.6	33.0	17.3	8.8
24"	29.8	43.5	23.0	11.2

\* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH) OR TEE ACTING AS A 90° BEND  
 \*\* THRUST BLOCK DEPTH TO BE A MINIMUM 12" FOR PIPE SIZES 3" - 8" AND 12" FOR PIPE SIZES 10" - 18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER

6 THRUST BLOCK AND ANCHOR DETAILS  
 N.T.S.

**LEGEND**

1) FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2000 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.

2) FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.

3) NO. 12 COPPER FINDER WIRE, SEE SD-914 FOR SPLICING.

4) C.I. VALVE BOX WITH COVER.

5) C.I. GATE VALVE (N.A.).

6) THRUST BLOCKS FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" MIN. REBAR.

7) TRENCH SIDE.

8) PIPE.

9) PLUG.

10) HAMMERHEAD THRUST BLOCKING.

11) ANCHOR BARS (12"x0 MM).

**TEE AND PLUG DETAIL**

NOTES:

1) ANCHOR ALL VALVES CONNECTED TO V.C. PIPE AS SHOWN.

2) COVER BARS AND FLANGES WITH PLASTIC TO PROTECT FROM CONCRETE OVERSIGHT DURING CONSTRUCTION OF THRUST BLOCKS.

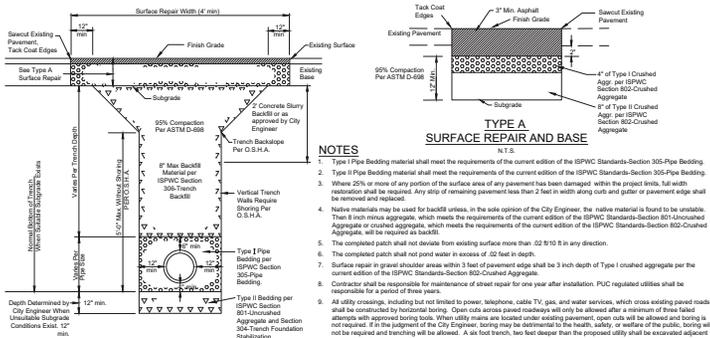
3) SEE CHART FOR MIN. THRUST IN VALVE OR CAST IN PLACE WITH 2-1/2" MIN. REBAR.

4) ALL CONCRETE TO BE 2000 P.S.I. STRENGTH POURED AGAINST UNDISTURBED EARTH.

5) PROVIDE 1/4" POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.

6) NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.

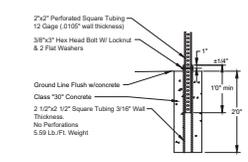
7) ALL BLOCKS TO BE CENTERED AROUND PIPE SPRING LINE.



**EXISTING STREET TYPICAL TRENCH SECTION**  
N.T.S.

**1 TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)**  
N.T.S.

- NOTES**
- Type I Pipe Bedding material shall meet the requirements of the current edition of the ISWPC Standards-Section 305-Pipe Bedding.
  - Type II Pipe Bedding material shall meet the requirements of the current edition of the ISWPC Standards-Section 305-Pipe Bedding.
  - Where 20% or more of any portion of the surface area of any pavement has been damaged within the project limits, full width reconstruction shall be required. Any strip of remaining pavement less than 2 feet in width along curb and gutter or pavement edge shall be removed and replaced.
  - Native materials may be used for backfill unless, in the sole opinion of the City Engineer, the native material is found to be unstable. Then 8 inch minus aggregate, which meets the requirements of the current edition of the ISWPC Standards-Section 801-Unsaturated Aggregate or crushed aggregate, which meets the requirements of the current edition of the ISWPC Standards-Section 802-Crushed Aggregate, will be required as backfill.
  - The completed patch shall not deviate from existing surface more than .02 ft/10 ft in any direction.
  - The completed patch shall not pond water in excess of .02 feet in depth.
  - Surface repair or gravel shoulder areas within 3 feet of pavement edge shall be 3 inch depth of Type I crushed aggregate per the current edition of the ISWPC Standards-Section 802-Crushed Aggregate.
  - Contractor shall be responsible for maintenance of street repair for one year after installation. PUC regulated utilities shall be responsible for a period of three years.
  - All utility crossings, including but not limited to power, telephone, cable TV, gas, and water services, which cross existing paved roads shall be constructed by horizontal boring. Open cuts across paved roadways will only be allowed after a minimum of three failed attempts with approved boring tools. When utility mains are located under existing pavement, open cuts will be allowed and boring is not required. It is the judgment of the City Engineer, boring may be determined if the health, safety, or welfare of the public, boring will not be required and repaired will be allowed. A six foot trench, no feet deeper than the proposed utility shall be excavated adjacent to the edge of pavement for evaluation of soil conditions by the City Engineer to determine if boring shall be attempted or if trenching will be allowed.
  - All trenches shall be heaved within 72 hours of starting the work unless prior approval to delay heaving has been provided by the City Engineer.
  - Concrete Slurry Mix Design  
Course Aggregate (SPWPC) 2.600 lbs  
Sand 800 lbs  
Cement 94 lbs (max)  
Water 11 lbs (max)

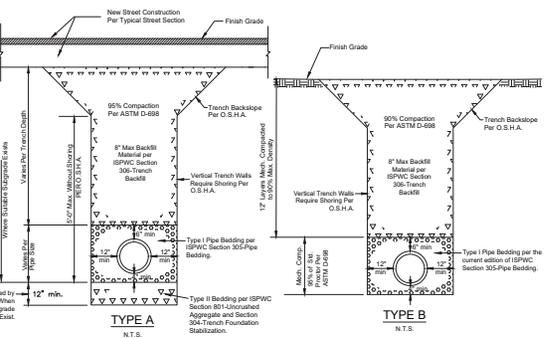


**SIGN POST INSTALLATION DETAIL WITH ONE PIECE ANCHOR POST FOR USE IN CONCRETE SIDEWALKS**  
N.T.S.

- NOTES**
- Anchor post shall be installed so that the holes will align and the top be flush with the sign post anchor.
  - All installations shall have 8" square concrete foundations or grouted into solid rock.

**3 CITY OF HAILEY STREET SIGN DETAIL (18.14.014.D)**  
N.T.S.

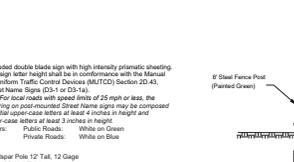
- ROAD SIGN DETAIL**  
N.T.S.
- NOTES**
- Sign placement shall be in accordance with the most current edition of the MUTCD.
  - Sign placement shall be approved by the City of Hailey.



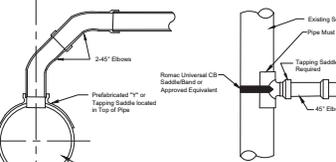
**TYPICAL TRENCH SECTIONS**  
N.T.S.

- NOTES**
- Type I Pipe Bedding material shall meet the requirements of the current edition of the ISWPC Standards-Section 305-Pipe Bedding.
  - Type II Pipe Bedding material shall meet the requirements of the current edition of the ISWPC Standards-Section 305-Pipe Bedding.
  - Native materials may be used for backfill unless, in the sole opinion of the City Engineer, the native material is found to be unstable; then either 8-inch minus unsaturated aggregate per the current edition of the ISWPC Standards-Section 801-Unsaturated Aggregate or Type I or II crushed aggregate per the current edition of the ISWPC Standards-Section 802-Crushed Aggregate will be required as backfill.
  - All work in public traffic ways is subject to approval by the City Engineer. He shall be notified one day before any excavation is started. No backfill shall be placed until the backfill material has been approved by the City Engineer.
  - Type A Trench Section shall be used when crossing a public or private road, street or driveway section. A road, street or driveway section is defined as the area under an existing asphalt or gravel surface or curb and sidewalk, plus 10 feet beyond each edge.
  - Type B Trench Section shall be used outside of any Type A, where new streets are not planned.
  - Rock shall be excavated to at least standard trench depth with the current edition of the ISWPC Standards-Section 302-Rock Excavation.

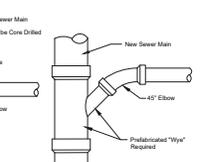
**2 CITY OF HAILEY DETAIL NEW DEVELOPMENT TYPICAL TRENCH SECTION (18.14.010.A.2)**  
N.T.S.



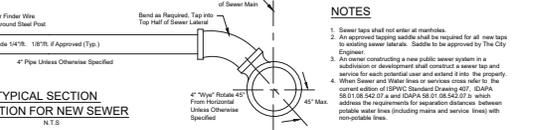
**CONNECTION FOR INTERCEPTOR SEWERS**  
N.T.S.



**CONNECTION FOR EXISTING SEWER**  
N.T.S.



**CONNECTION FOR NEW SEWER**  
N.T.S.



**TYPICAL SECTION CONNECTION FOR NEW SEWER**  
N.T.S.

**4 CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)**  
N.T.S.

- NOTES**
- Sewer taps shall not enter at manholes.
  - An approved tapping saddle shall be required for all new taps to existing sewer laterals. Saddles to be approved by the City Engineer.
  - An owner constructing a new public sewer system in a subdivision or development shall construct a sewer tap and service for each potential user and extend it into the property.
  - When Sewer and Water lines are service cross under the current edition of ISWPC Standards Drawing 407, IDAPA 58.01.08.042.07 and IDAPA 58.01.08.042.07, which address the requirements for separation distance between potable water lines (including mains and service lines) with non-potable lines.

**SEWER CONSTRUCTION NOTES**

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISWPC) AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF PLANS STAMPED WITH THE DEED APPROVAL STAMP AND A COPY OF THE DEED APPROVAL LETTER ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL SERVICES SHALL COMPLY WITH IDAPA 58.01.08.042.07 AND IDAPA 58.01.08.042.07 WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.2). IN ADDITION, WATER SERVICES SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME RELOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.
- POTABLE/NON-POTABLE CROSSINGS SHALL COMPLY WITH ISWPC STANDARD DRAWING NO. SD-407 AND IDAPA SECTION 801 OR 842.07.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
- SEWER SERVICE LINES SHALL BE PLACED AT A SLOPE OF 2% WITH MARKERS PER ISWPC. CLEANOUTS ARE REQUIRED AT CHANGES IN ALIGNMENT, GRADE, AND MINIMUM 150' LENGTH.
- ALL PIPE SHALL BE BEDDED WITH (ISWPC) TYPE I BEDDING MATERIAL.
- TRENCHES SHALL BE BACK FILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- THE CONTRACTOR SHALL PRESSURE TEST ALL SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION"

**WATER CONSTRUCTION NOTES**

- WATER SERVICE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS. NO WATER SERVICE SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.
- WATER SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6.0'), MEASURED FROM FINISHED GRADE.
- ALL 4" AND LARGER WATER LINES SHALL BE CONSTRUCTED WITH AWWA C-400, CLASS 235 PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH ISWPC SECTION 401.3.6 AND THE CITY OF HAILEY STANDARDS. TRACER WIRE SHALL BE NO. 12 GAUGE COPPER LOCATING WIRE INSULATED PER ISWPC SECTION 401 AND THE CITY OF HAILEY SPECIFICATIONS.
- ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANSII/A916 (SCHEDULE 406). ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (C9.25100 BY WEIGHT).
- ALL TEES, PLUGS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY STRUTS BLOCKING (MECHANICAL RESTRAINTS ARE NOT ALLOWED). THURST BLOCKS SHALL CONFORM TO ISWPC SD-403 AND THE CITY OF HAILEY STANDARDS.
- ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEM, "O" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING AWWA STANDARDS PER ISWPC SECTION 402. ALL GATE VALVES LOCATED IN PAVEMENT SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER ISWPC SD-406 AND THE CITY OF HAILEY SPECIFICATIONS.
- ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110 FOR 200 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
- FIRE HYDRANTS SHALL CONFORM WITH THE CITY OF HAILEY STANDARDS.
- ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM T-304 STAINLESS STEEL WITH ANSII/A915 C-201 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A-360. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT PLUG.
- ALL WATER MAINS SHALL COMPLY WITH IDAPA 58.01.08.042.07 AND IDAPA 58.01.08.042.07 WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.2). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
- ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH ISWPC SECTION 404 AND THE CITY OF HAILEY STANDARDS. A USE TO APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA) SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS (INCLUDING FIRE SUPPRESSION SERVICES, IF APPLICABLE) IN ACCORDANCE WITH THE CITY OF HAILEY WATER DEPARTMENT, FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAHO BACKFLOW PREVENTION REQUIREMENTS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 6".
- THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LIVE TO THE GREATEST EXTENT POSSIBLE WHILE INSTALLING THE NEW WATER MAIN AND SERVICES MINIMIZING DISRUPTION TO EXISTING WATER SYSTEM USERS. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED AND FLUSHED PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SHUTDOWN IS 4 HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REMOVING AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY, INCLUDING COMPLETION OF BACKFILL OF THE PIPE ZONE. AT NO ADDITIONAL COST TO THE OWNER, THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.
- EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND COMPLEXES.

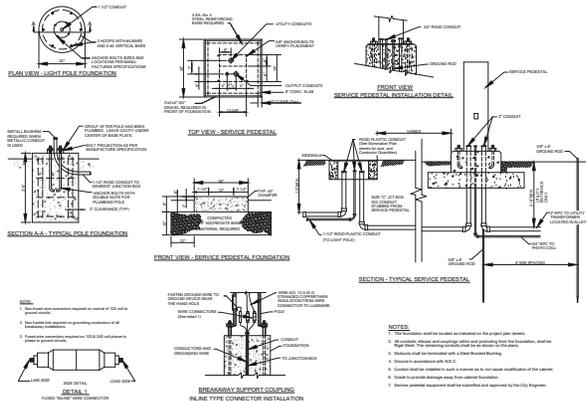


REVISION NO.	DATE	DESCRIPTION

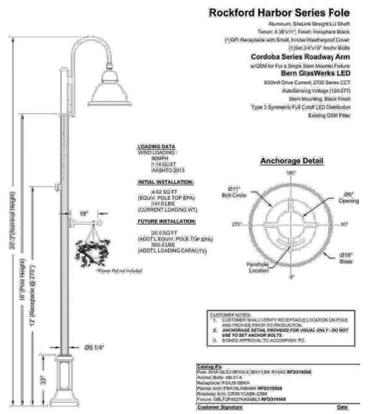


**DETAIL SHEET**  
SADDLE LOFTS  
PREPARED FOR: SAUND, LLC

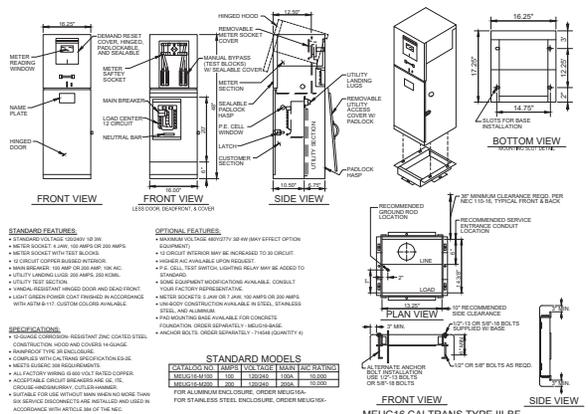
RELEASE OF DRAWINGS: These drawings, or any portion thereof, shall not be used for any project or construction other than that specifically approved by Opal Engineering, P.L.L.C.



1  
C0.4 CITY OF HAILEY LIGHT POLE PEDESTAL DETAIL (18.14.014.E.1)  
N.T.S.



2  
C0.4 CITY OF HAILEY STREET LIGHT DETAIL (18.14.014.E.2)  
N.T.S.



3  
C0.4 CITY OF HAILEY LIGHT CONTROL DETAIL (18.14.014.E.3)  
N.T.S.



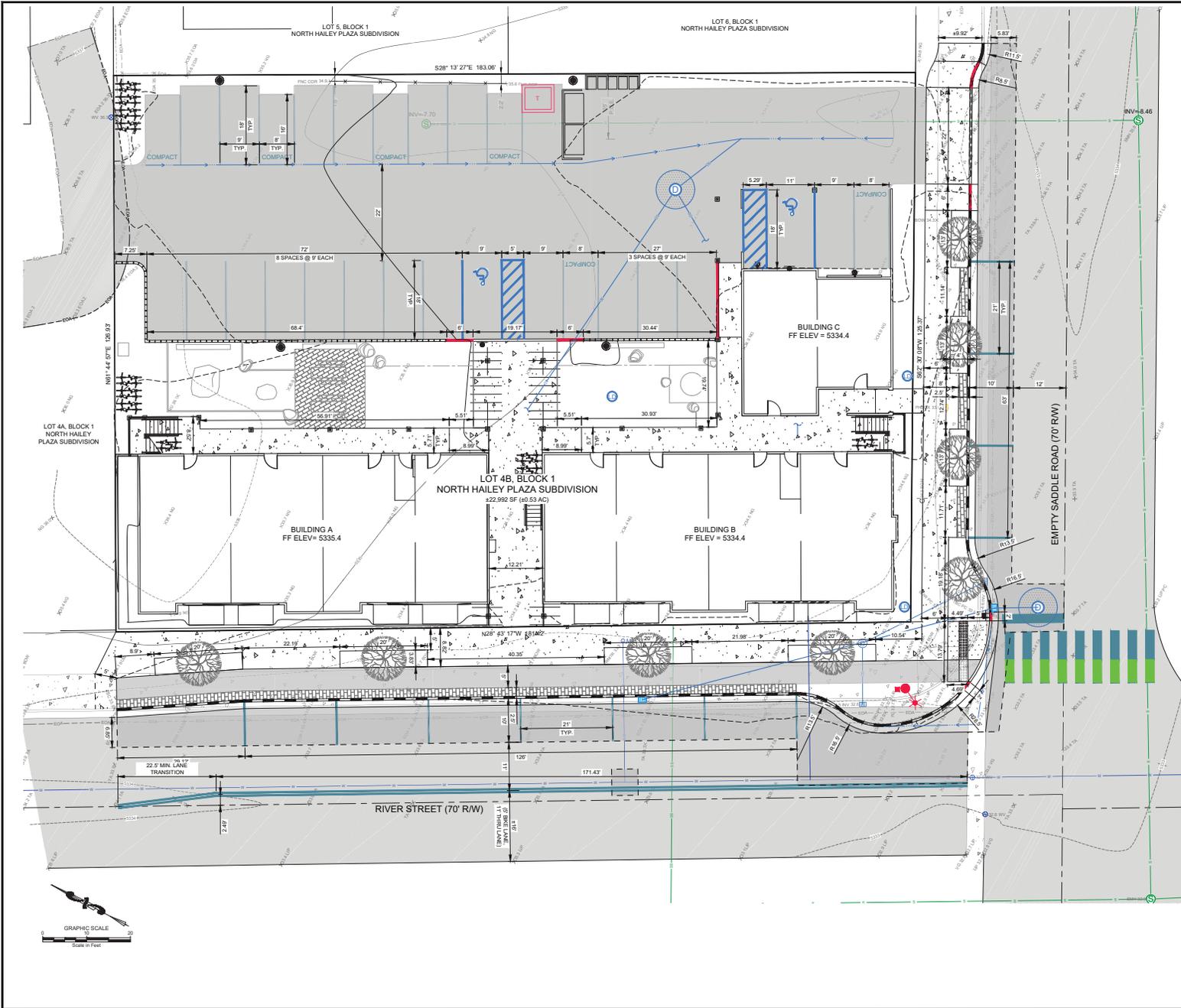
PURPOSE: ISSUE FOR DESIGN REVIEW (02/09/2022)

REVISION NO.	DATE	DESCRIPTION



**DETAIL SHEET**  
 SADDLE LOFTS  
 PREPARED FOR SADDLE LOFTS  
 22014 PROJECT NUMBER  
 C0.4

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**LEGEND**

**EXISTING ITEMS**

- PROPERTY LINE
- CENTERLINE OF RIGHT-OF-WAY
- EDGE OF ASPHALT
- EOG = EDGE OF GRAVEL
- PB = BURIED POWER LINE
- OVERHEAD POWER LINE
- WATER MAIN
- WATER SERVICE
- 8" SEWER MAIN
- SS = SEWER SERVICE
- GM = GAS MAIN
- PHB = BURIED TELEPHONE LINE
- STORM DRAIN
- 5' CONTOUR INTERVAL
- 1' CONTOUR INTERVAL

**BUILDING**

- FOUND ALUMINUM CAP
- FOUND 5/8" REBAR
- FH = FIRE HYDRANT
- WV = WATER VALVE
- WTMR = WATER METER
- VB = VALVE BOX
- FIBER OPTIC VAULT
- GV = GAS VALVE
- GMKR = GAS MARKER
- TVBOX = TV RISER
- PHBOX = TELEPHONE RISER
- PHM = TELEPHONE MANHOLE
- SM = SEWER MANHOLE
- SCD = SEWER CLEANOUT
- CB = CATCH BASIN
- DWELL = DRY WELL
- PP = POWER POLE
- GVY = GUYING
- PBOX = POWER BOX

**PROPOSED ITEMS**

- NEW ASPHALT
- CONCRETE SIDEWALK
- GRAVEL WALKWAY
- CONCRETE # VERTICAL CURB
- CURB TRANSITION ZERO REVEAL TO TYPICAL # VERTICALS
- ZERO REVEAL CURB & GUTTER
- # VERTICAL CURB
- ADA ACCESS TRUNCATED DOME SIGN
- WATER VALVE
- 5' CONTOUR INTERVAL
- 1' CONTOUR INTERVAL
- PAVERS
- DRYWELL
- 12" STORM DRAIN
- 4" STORM DRAIN
- CATCH BASIN
- SAWTOOTH LINE
- ROAD PAINT
- GRADE
- 2.0% GRADE
- ADA ACCESS RAMP
- WATER SERVICE
- SEWER SERVICE
- FLOW LINE
- ADA PAINT & SYMBOL
- ADA ISB
- STREET LIGHT W/ CONTROL BOX
- LANDSCAPE DRYWELL
- DOWNPOUT, PER ARCHITECT
- TRANSFORMER PER E&M POWER
- TREE, SEE LANDSCAPE PLANS



PURPOSE: ISSUE FOR DESIGN REVIEW (02/09/2022)

REVISION NO.	DATE	DESCRIPTION



# SITE GEOMETRY PLAN

SADDLE LOFTS  
PREPARED FOR: ALZCO SAND, LLC

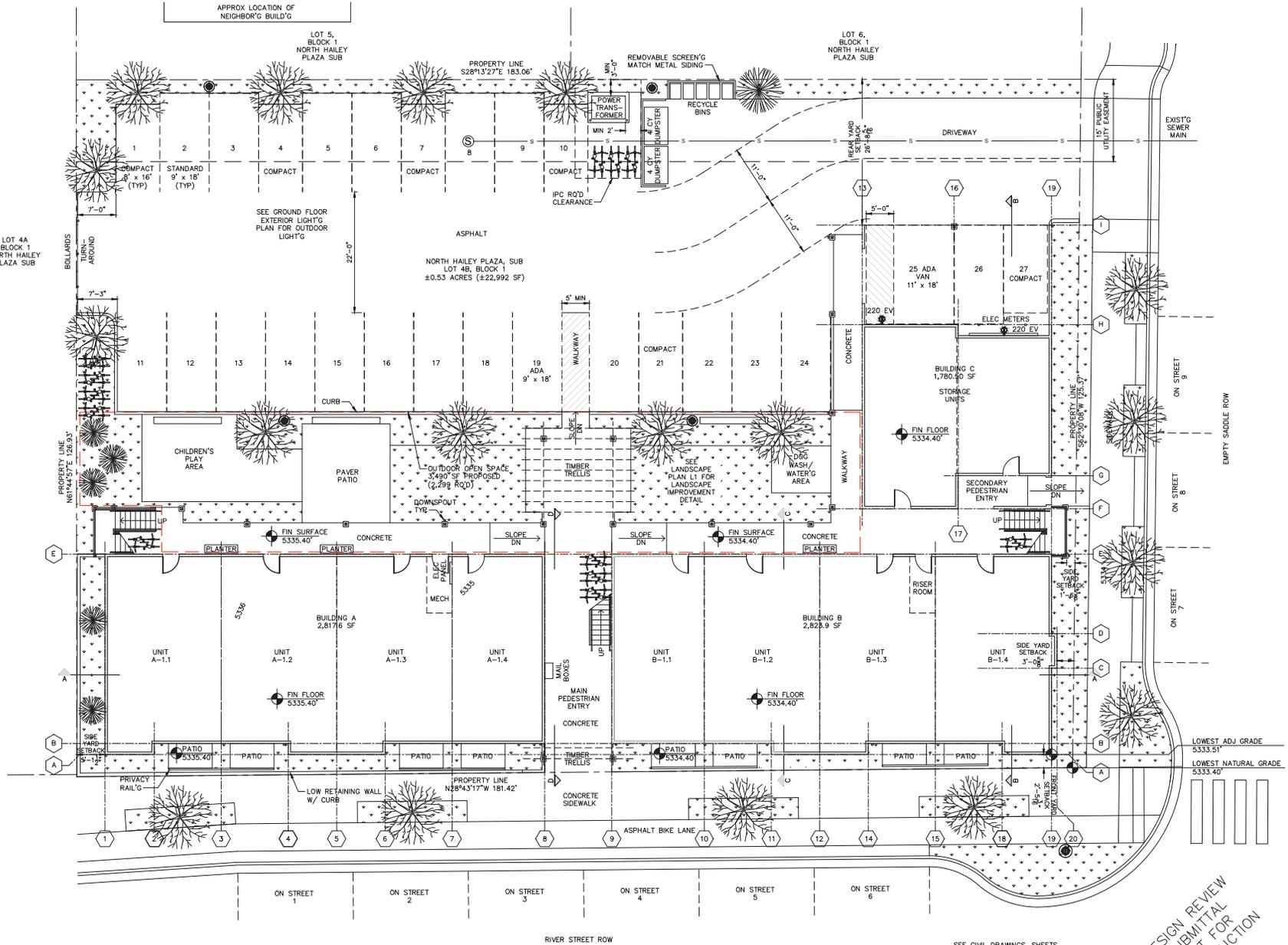
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APPROX LOCATION OF NEIGHBOR'S BUILD'G

LOT 4A  
BLOCK 1  
NORTH HAILEY PLAZA SUB



SITE PLAN

NOTE: SNOW REMOVED FROM PARKING AREA & WALKWAYS WILL BE HAULED FROM THE SITE BY A HAULING SERVICE

RIVER STREET ROW

1"=1'-0"

SEE CIVIL DRAWINGS, SHEETS CD.1-1.1 FOR GRADING, DRAINAGE & ROW IMPROVEMENT DETAIL

DESIGN REVIEW  
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SITE PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS

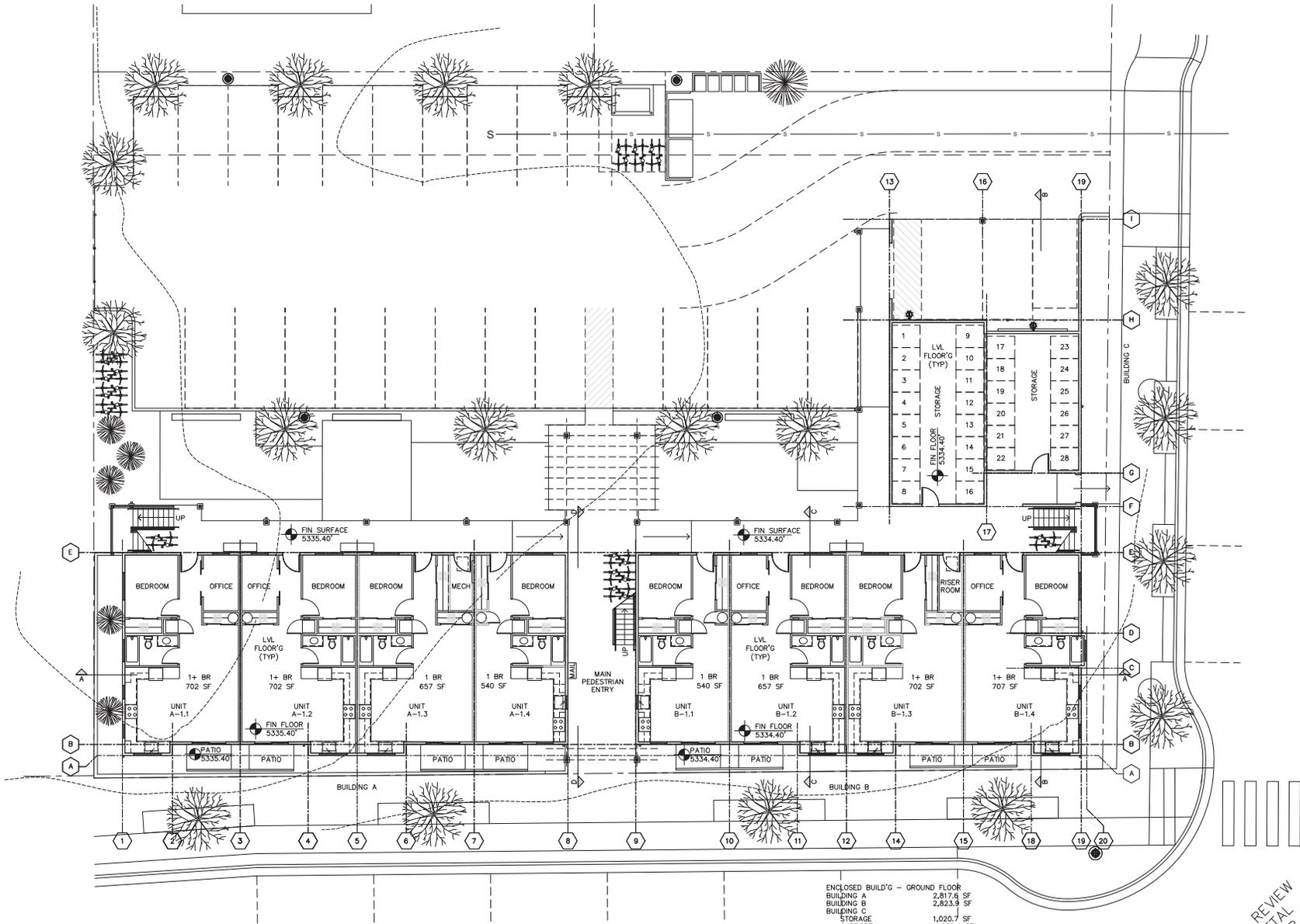
SUBMIT DATE:

SCALE 1/8"=1'-0"

DATE 2/10/2022

DRAWING NO.

A1.01



GROUND FLOOR PLAN

(8) UNITS TOTAL:  
 (4) 1+ BEDROOMS  
 (4) 1 BEDROOMS

1/8"=1'-0"

ENCLOSED BUILD'G - GROUND FLOOR  
 BUILDING A 2,817.6 SF  
 BUILDING B 2,823.9 SF  
 BUILDING C 1,020.7 SF  
 STORAGE 659.4 SF  
 CARPORT 102.4 SF  
 COVERED WALKWAY 7,424.0 SF  
 TOTAL ENCLOSED GND FL 7,424.0 SF

UNENCLOSED AREAS - GROUND FLOOR  
 COVERED ACCESS WALKWAY 1,876.6 SF  
 COV. GROUND FLOOR PATIOS 288.0 SF  
 TOTAL UNENCLOSED GND FL 2,163.6 SF

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LEICHER ARCHITECTURE  
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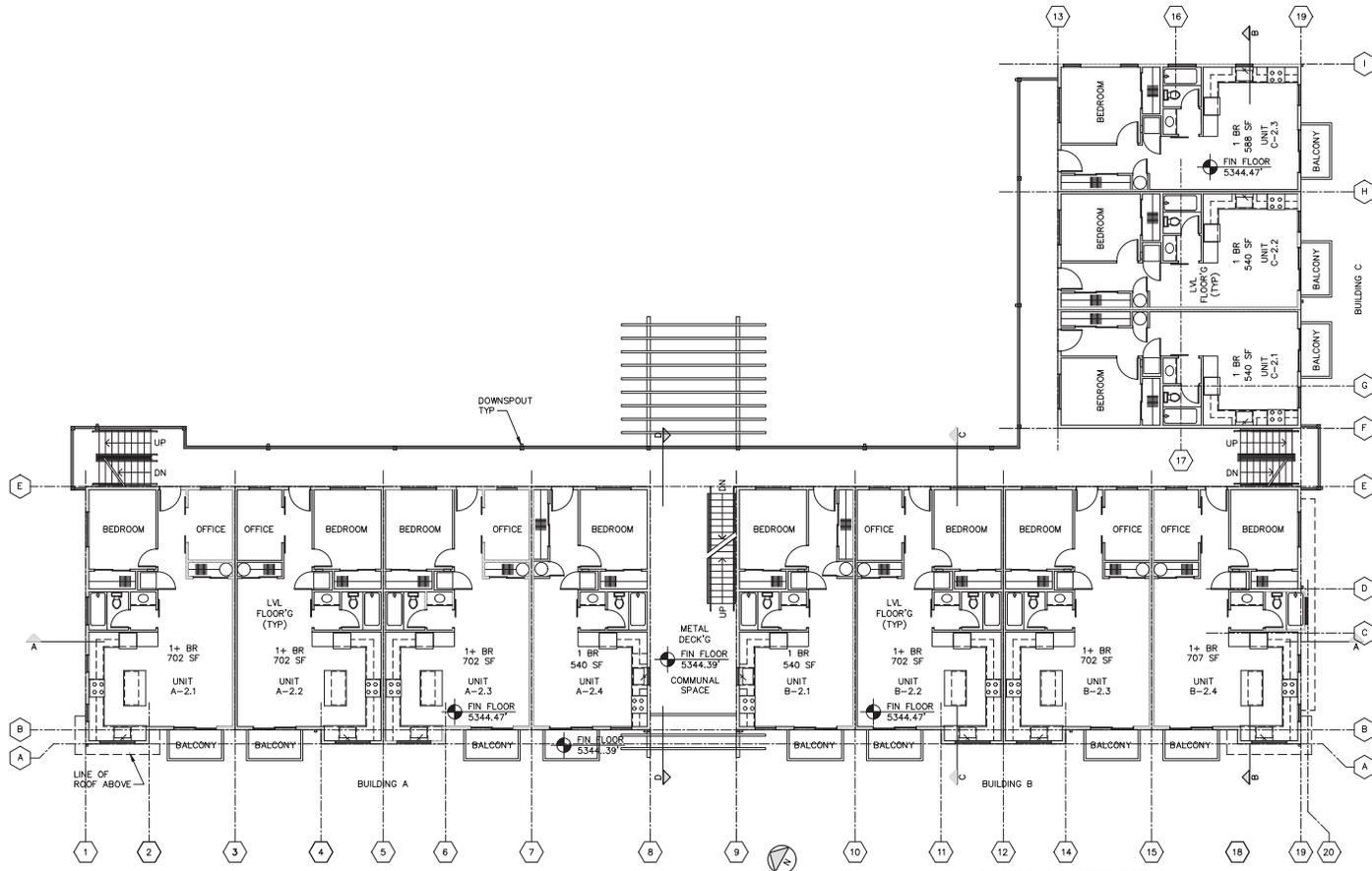
GROUND FLOOR  
 PLAN

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS  
 SUBMIT DATE:

SCALE 1/8"=1'-0"  
 DATE 2/10/2022  
 DRAWING NO.

A1.02



2ND FLOOR PLAN

(11) UNITS TOTAL:  
 (6) 1+ BEDROOMS  
 (5) 1 BEDROOMS

1/8"=1'-0"

ENCLOSED BUILD'G - SECOND FLOOR  
 BUILDING A 2,817.6 SF  
 BUILDING B 2,823.9 SF  
 BUILDING C 1,782.5 SF  
 TOTAL ENCLOSED 2ND FL 7,424.0 SF

UNENCLOSED AREAS - SECOND FLOOR  
 COVERED ACCESS WALKWAY 1,851.2 SF  
 COVERED BALCONIES 255.9 SF  
 TOTAL UNENCLOSED 2ND FL 2,077.1 SF

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LEEDS  
 ARCHITECT  
 REBECCA F. BUNDY, ARCHITECT, PLLC

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SECOND FLOOR  
 PLAN

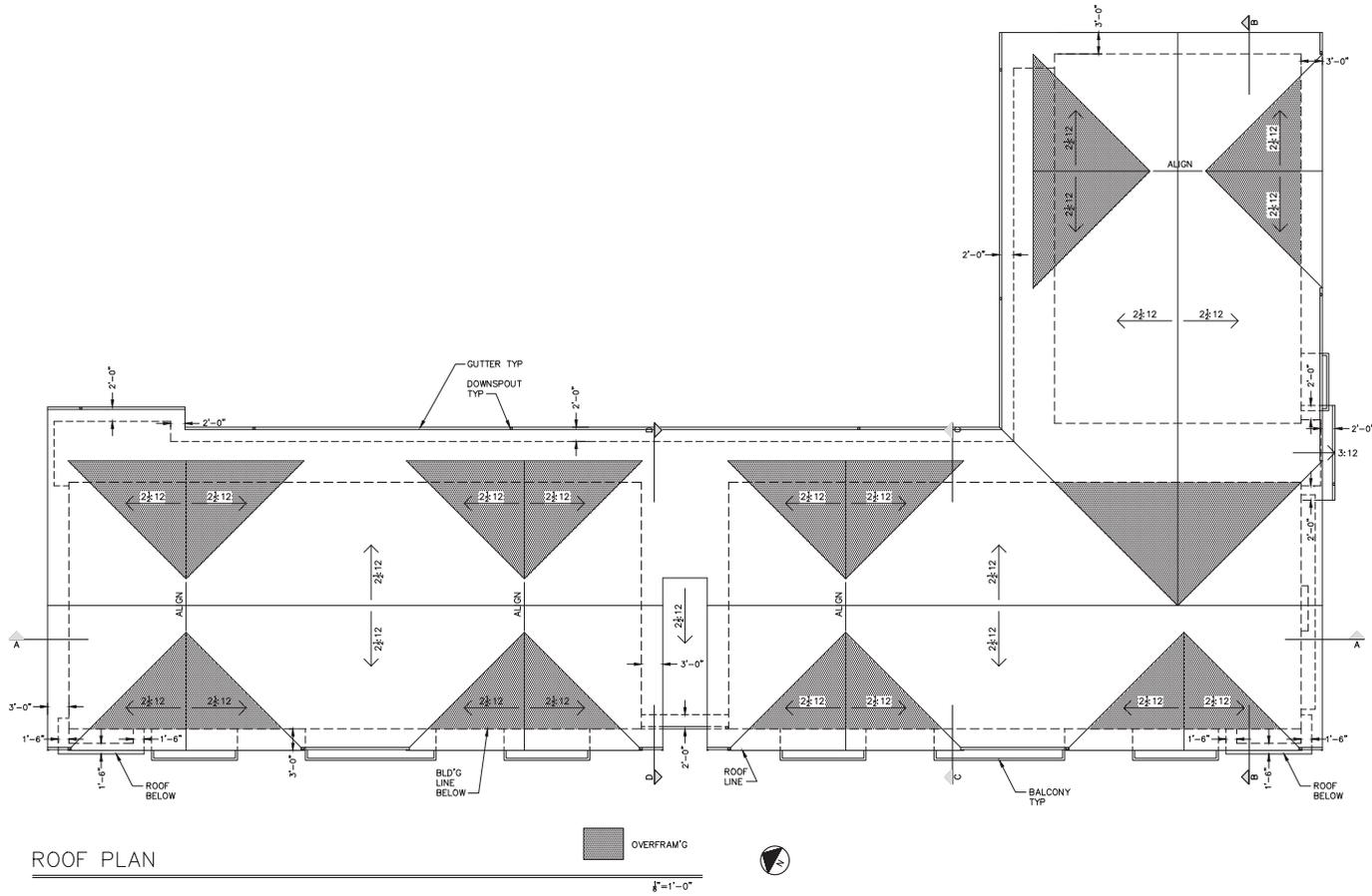
SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS  
 SUBMIT DATE:

SCALE 1/8"=1'-0"  
 DATE 2/10/2022  
 DRAWING NO.

A1.03





ROOF PLAN

OVERFRAM'G

1/8"=1'-0"

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REBECCA F. BUNDY, ARCHITECT, PLLC AIA AICP PO BOX 2313 83340 KETCHUM, ID 20877201832 REBECCA@RFBUNDYDESIGN.COM	ROOF PLAN	SADDLE LOFTS N HAILEY PLAZA, SBLT 4B, BLK 1 HAILEY, IDAHO NEW MULTI-FAMILY CONSTRUCTION
REVISION STATUS SUBMIT DATE:	SCALE 1/8"=1'-0" DATE 2/10/2022 DRAWING NO.	
	A1.05	



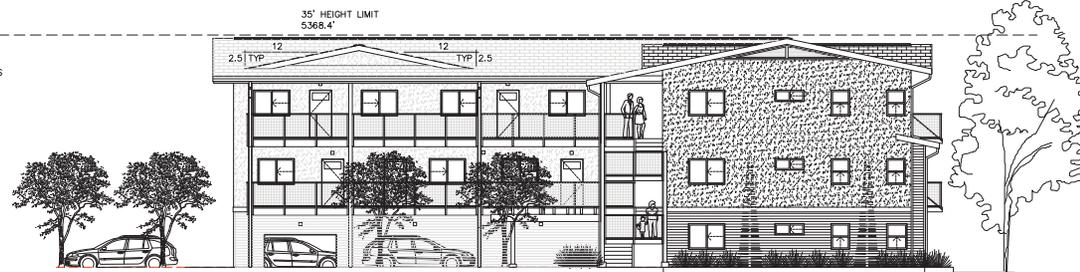


EAST ELEVATION

1/8"=1'-0"

LEGEND

-  ASPHALT SHINGLE ROOF
-  TIMBERLINE SHAKEWOOD
-  STUCCO SIDING
-  SHERWIN WILLIAMS SW 9103 FARRO
-  CORRUGATED METAL SIDING
-  WESTERN STATES STREAKED RUST
-  MESH INFILL PANEL
-  MCNICHOLS 4" SQ, BLACK POWDER COAT
-  SUN SHADE
-  AMERICAN STRUCTURES & DESIGN BLACK POWDER COAT
-  BALCONY
-  AMERICAN STRUCTURES & DESIGN BLACK POWDER COAT
-  WINDOWS/SLIDING DOORS
-  FIBERGLASS BLACK
-  WOOD TRELLIS, BEAMS, GABLE VENTS
-  NATURAL
-  APARTMENT ENTRY DOORS
-  MDF SHERWIN WILLIAMS SW 6349 PENNYWISE
-  WALL SCONCES
-  MAXIM PATHFINDER 52120BK BLACK
-  DOWNSPOUTS & GUTTERS
-  ALUMINUM BLACK



NORTH ELEVATION

1/8"=1'-0"

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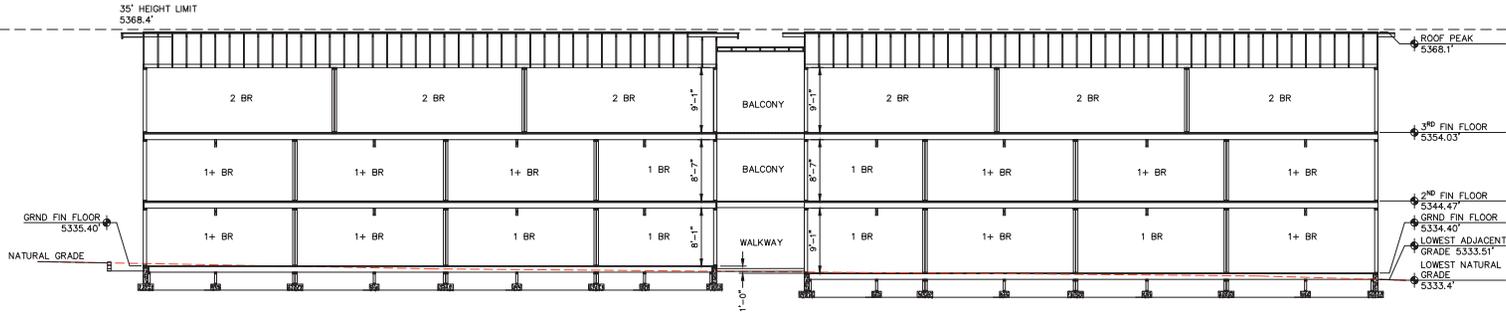
EAST & NORTH  
ELEVATIONS

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS  
SUBMIT DATE:

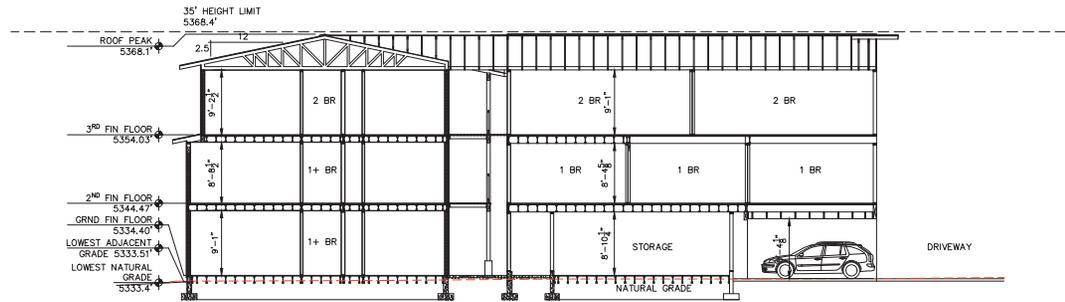
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DATE 2/10/2022  
DRAWING NO.

A2.02



SECTION A

1/8"=1'-0"



SECTION B

1/8"=1'-0"

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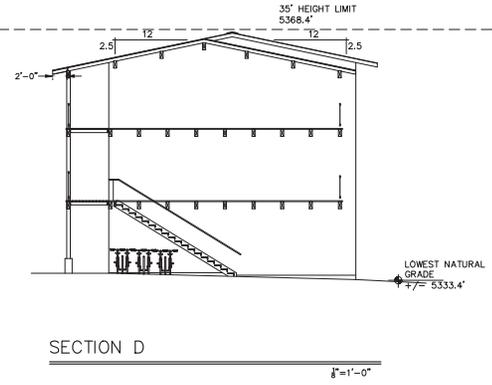
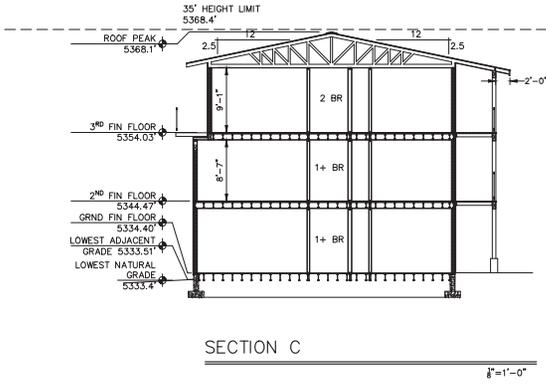
SECTIONS A & B

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS  
SUBMIT DATE:

SCALE 1/8"=1'-0"  
DATE 2/10/2022  
DRAWING NO.

A3.01



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SECTIONS C & D

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

DESIGN REVIEW  
 SUBMITTAL  
 NOT FOR  
 CONSTRUCTION



REVISION STATUS
SUBMIT DATE:

SCALE 1/8"=1'-0"  
 DATE 2/10/2022  
 DRAWING NO.

A3.02



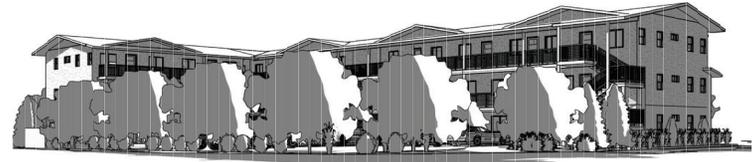
① View from NW



② View from SW



③ View from SE



④ View from NE

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3D SKETCHES

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

DESIGN REVIEW  
 SUBMITTAL  
 NOT FOR  
 CONSTRUCTION

REVISION STATUS

SUBMIT DATE:

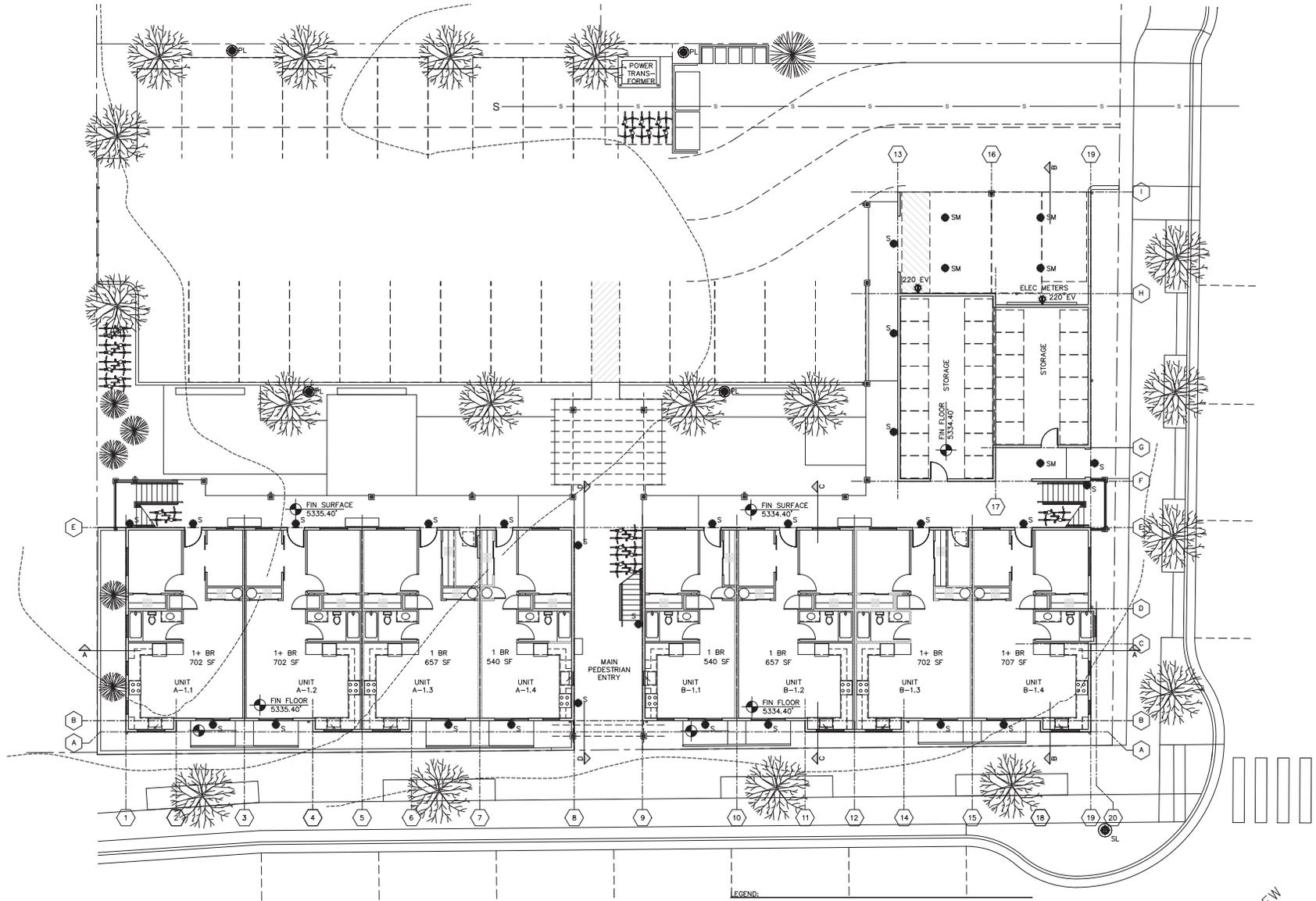
SCALE N/A

DATE 2/10/2022

DRAWING NO.

A9.01





GROUND FLOOR EXTERIOR LIGHTING PLAN

1/8"=1'-0"

LEGEND:

FIXTURE TYPE	PRODUCT ID	HEIGHT	LUMENS
WALL SCENCE ● S	MAXIM PATHFINDER 52120BK	~7.5'	880
SURFACE MOUNT ● SM	ELITE RL575-700L 5"	~8"	859
POLE LIGHT ● PL	LUMARK PFPRV PREVAL C15	15'	7111
STREET LIGHT ● SL	PER CITY STANDARD		

ILLUMINATION LEVELS:

- MINIMUM 1 FC (11 LUX) ● EXIT ACCESS (IBC 1008.2.1)
- MINIMUM 5 FC (55 LUX) ● CARPORT (IESNA)
- MINIMUM 1.5 FC (16.5 LUX) ● PARKING LOT (ESNA) (1.5 FC AVERAGE)
- MINIMUM 1 FC (11 LUX) ● BUILDING EXTERIOR (IESNA)

DESIGN REVIEW  
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NOT FOR  
CONSTRUCTION



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KETCHUM, ID 83340  
REBECCA@REBFUNDYDESIGN.COM

GROUND FLOOR  
LIGHTING  
PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS

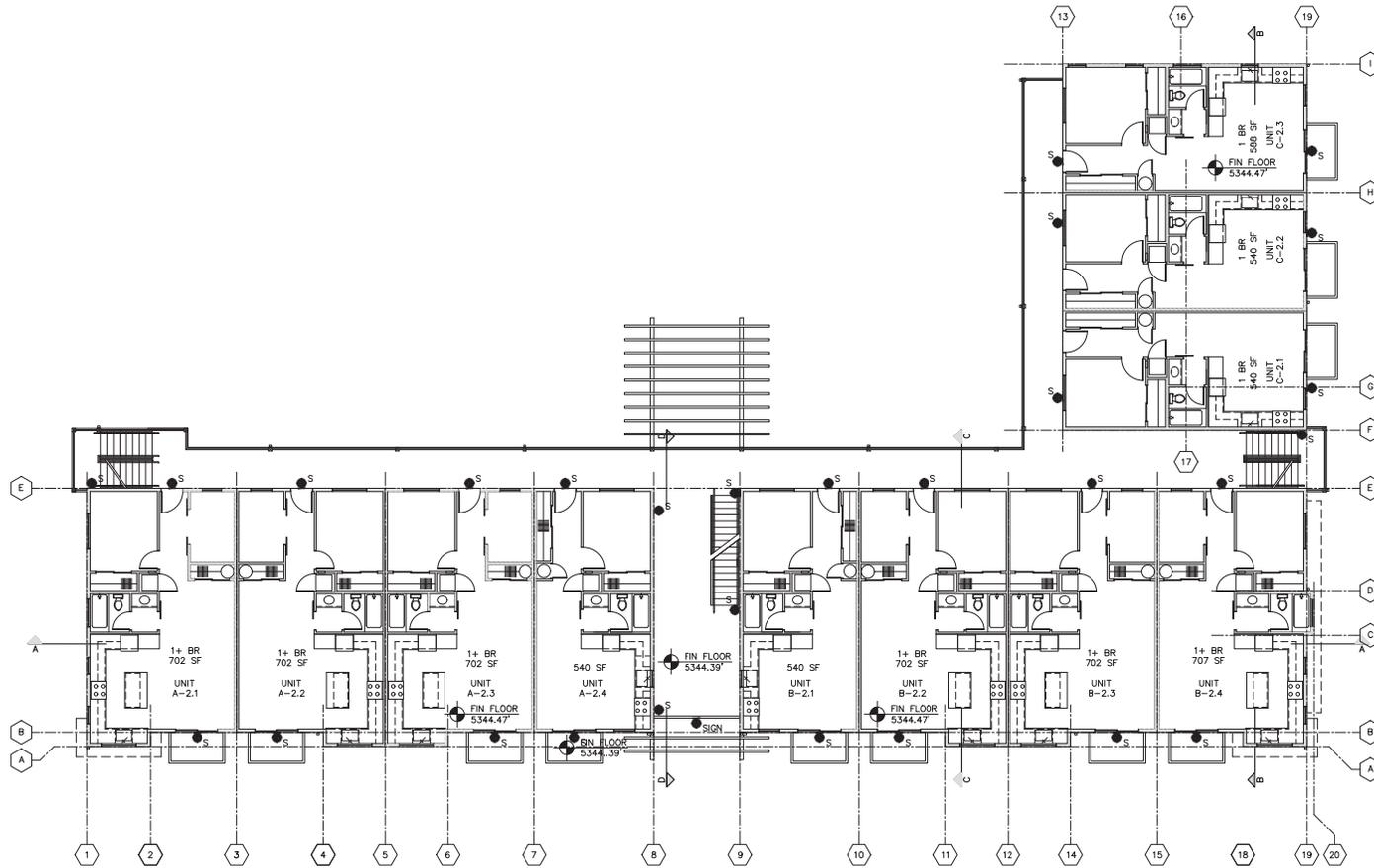
SUBMIT DATE:

SCALE 1/8"=1'-0"

DATE 2/10/2022

DRAWING NO.

E1.01



SECOND FLOOR EXTERIOR LIGHTING PLAN

1/8"=1'-0"

LEGEND:

FIXTURE TYPE	PRODUCT ID	HEIGHT	LUMENS
WALL SCONCE	S MAXIM PATHFINDER 52120BK	~7.5'	880
SIGN LIGHT	SIGN BACKLIT	12'	TBD

- ILLUMINATION LEVELS:
- MINIMUM 1 FC (11 LUX) • EXIT ACCESS (IBC 1008.2.1)
  - MINIMUM 1 FC (11 LUX) • BUILDING EXTERIOR (IESNA)

DESIGN REVIEW  
SUBMITTAL  
NOT FOR  
CONSTRUCTION

REBECCA F. BUNDY  
ARCHITECT

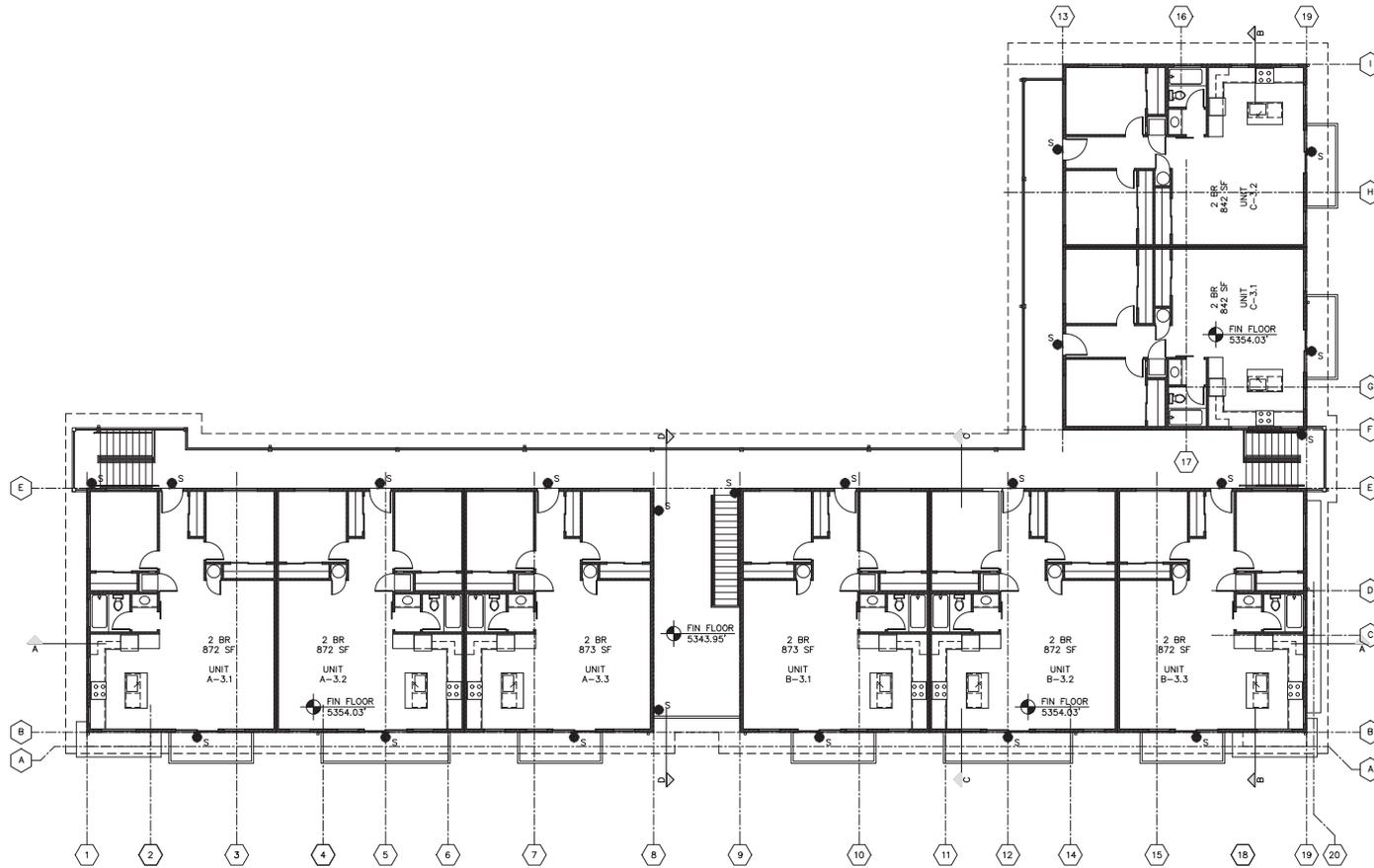
REBECCA F. BUNDY, ARCHITECT, PLLC  
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KENTHUM, ID 83340  
REBECCA@REBECCAFBUNDYDESIGN.COM

SECOND FLOOR  
LIGHTING  
PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS  
SUBMIT DATE:

SCALE 1/8"=1'-0"  
DATE 2/10/2022  
DRAWING NO.  
E1.02



THIRD FLOOR EXTERIOR LIGHTING PLAN

1/8"=1'-0"

LEGEND:

FIXTURE TYPE	PRODUCT ID	HEIGHT	LUMENS
WALL SCONCE S	MAXIM PATHFINDER 52120BK	~7.5'	880

ILLUMINATION LEVELS:

- MINIMUM 1 FC (11 LUX) ● EXIT ACCESS (IBC 1008.2.1)
- MINIMUM 1 FC (11 LUX) ● BUILDING EXTERIOR (IESNA)

DESIGN REVIEW  
SUBMITTAL  
NOT FOR  
CONSTRUCTION



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THIRD FLOOR  
LIGHTING  
PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS

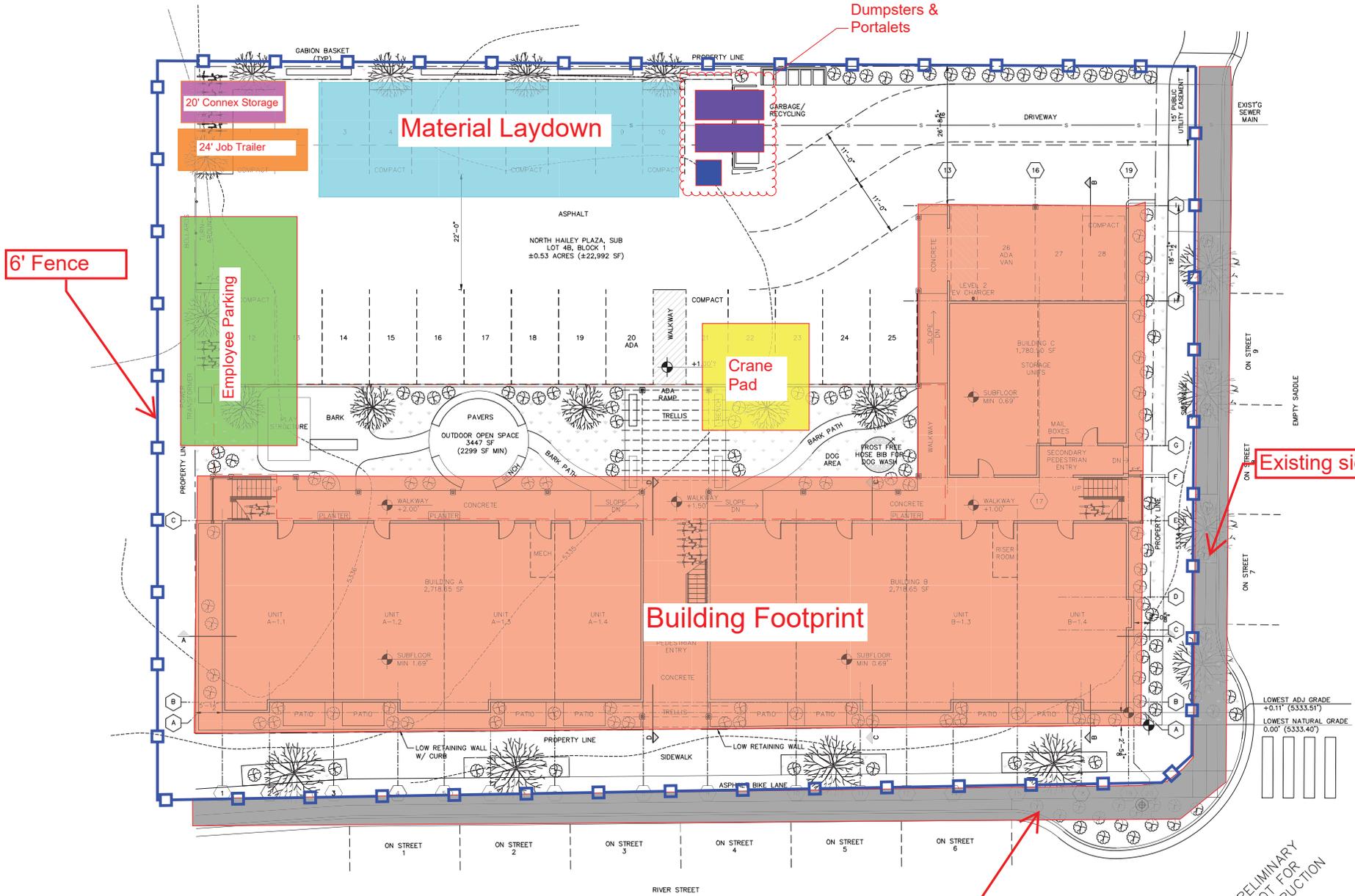
SUBMIT DATE:

SCALE 1/8"=1'-0"

DATE 2/10/2022

DRAWING NO.

E1.03



STAGING & CONTRACTOR PARKING PLAN

SITE PLAN

1/8"=1'-0"

Existing sidewalk

Existing sidewalk

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REBECCA F. BUNDY, ARCHITECT, PLLC  
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KETCHUM, ID 83340  
(208) 720-1832  
REBECCA@RFBUNDYDESIGN.COM

SITE PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS	SUBMIT DATE

SCALE 1/8"=1'-0"  
DATE 1/25/2022  
DRAWING NO.

GC-1

A 1.01



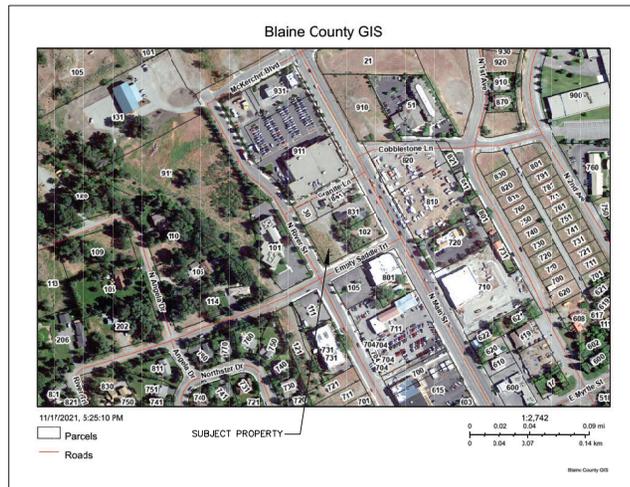
CONCEPTUAL RENDERING OF SOUTH & WEST FACADES

REBECCA F. BUNDY, ARCHITECT, PLLC  
 AIA AICP  
 PO BOX 2313  
 KETCHUM, ID 83340  
 (208) 720-1832  
 REBECCA@RFBUNDDYDESIGN.COM

COVER SHEET

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS  
 SUBMIT DATE:  
 SCALE N/A  
 DATE 3/1/2022  
 DRAWING NO.  
 A1.00



VICINITY MAP

**SHEET INDEX:**

- A1.00 COVER SHEET
- TOPO SURVEY
- C0.1 COVER & DETAIL SHEET
- C0.2 DETAIL SHEET
- C0.3 DETAIL SHEET
- C0.4 DETAIL SHEET
- C1.0 SITE GEOMETRY PLAN
- C1.1 SITE GRADING & DRAINAGE PLAN
- L1 LANDSCAPE PLAN
- A1.01 SITE PLAN
- A1.02 GROUND FLOOR PLAN
- A1.03 SECOND FLOOR PLAN
- A1.04 THIRD FLOOR PLAN
- A1.05 ROOF PLAN
- A2.01 WEST & SOUTH ELEVATIONS
- A2.02 EAST & NORTH ELEVATIONS
- A2.03 ELEVATIONS BTWN BUILDINGS
- A3.01 SECTIONS
- A3.01 3D RENDERINGS
- E1.01 GROUND FLOOR EXTERIOR LIGHTING PLAN
- E1.02 SECOND FLOOR EXTERIOR LIGHTING PLAN
- E1.03 THIRD FLOOR EXTERIOR LIGHTING PLAN
- GC-1 STAGING & CONTRACTOR PARKING PLAN

**PROJECT INFORMATION**

OWNER:  
 KAZUKO-SAN ID, LLC  
 4468 WA ALEGRE  
 SANTA BARBARA, CA 93110

PROJECT ADDRESS:  
 NO ADDRESS YET  
 NE CORNER OF RIVER STREET & EMPTY SADDLE TRAIL  
 HAILEY, ID 83333

LEGAL DESCRIPTION:  
 NORTH HAILEY PLAZA SUB LOT 4B, BLOCK 1

**BUILDING INFORMATION NOTES**

SITE AREA: ±0.53 ACRES (±22,992 SF)  
 ZONING: BUSINESS (B),  
 OVERLAY ZONING: DOWNTOWN RESIDENTIAL OVERLAY (DRO)

BUILDING OCCUPANCY: R-2  
 BUILDING CONSTRUCTION TYPE: VB

BUILDING FOOTPRINT:  
 BUILDING A 2,817.6 SF  
 BUILDING B 2,823.9 SF  
 BUILDING C 1,782.5 SF  
 TOTAL BUILDING FOOTPRINT 7,424.0 SF

TOTAL LOT COVERAGE: 7,424 SF/22,992 SF = 32.3%

AVERAGE UNIT SIZE: 708 NSF

OFF-STREET PARKING:  
 24 UNCOVERED SPACES (18 STANDARD, 1 ADA, 5 COMPACT)  
 3 SPACES IN CARPORT (1 ADA VAN, 1 STANDARD, 1 COMPACT)  
 27 TOTAL ON-SITE PARKING SPACES  
 5 GUEST SPACES IN IMPROVED ROW

**CODE INFORMATION**

APPLICABLE CODES, AS ADOPTED & AMENDED  
 BY THE CITY OF HAILEY:  
 2018 INTERNATIONAL BUILDING CODE  
 2018 INTERNATIONAL FIRE CODE  
 2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE  
 2018 INTERNATIONAL ENERGY CONSERVATION CODE  
 HAILEY MUNICIPAL CODE:  
 • 15.08.012 BUILD BETTER PROGRAM  
 • CHAPTER 17 - ZONING REGULATIONS

**DESIGN TEAM**

ARCHITECT:  
 REBECCA F BUNDY, ARCHITECT, PLLC  
 PO BOX 2313  
 KETCHUM, ID 83340  
 REBECCA@RFBUNDDYDESIGN.COM  
 (208) 720-1832

LANDSCAPE ARCHITECT:  
 NS CONSULTING  
 NATHANWSCHUTTE@GMAIL.COM  
 (208) 320-2911

CIVIL ENGINEER/SURVEYOR:  
 OPAL ENGINEERING, PLLC  
 SAMOPAL-ENGINEERING.COM  
 (208) 720-9608

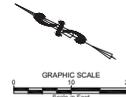
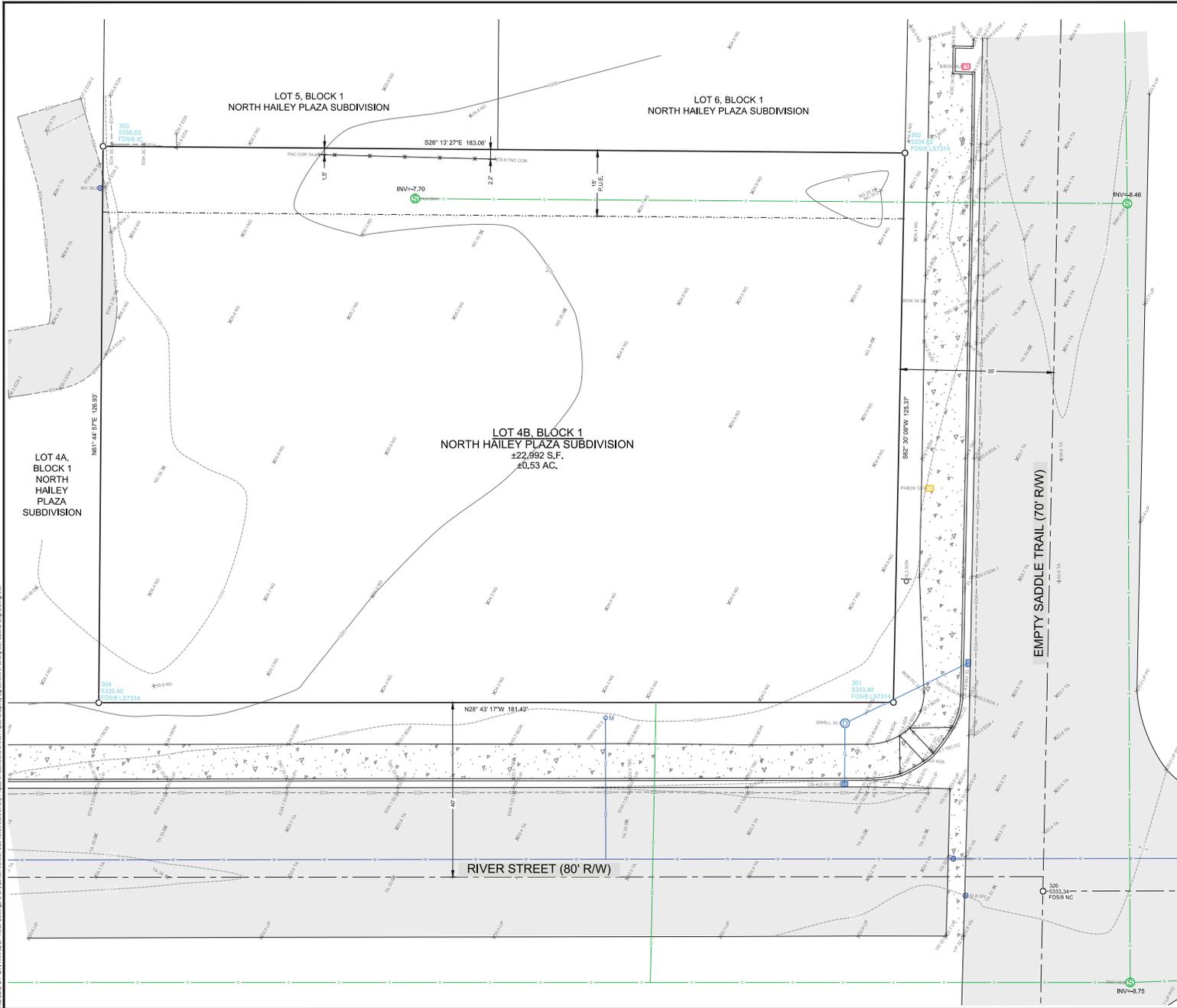
ENERGY CONSULTANT:  
 JOHN REUTER GREENWORKS, LLC  
 102 SOUTH 4TH AVENUE  
 HAILEY, ID 83333  
 JOHN@DAHOGREENWORKS.COM  
 (208) 721-2922

GENERAL CONTRACTOR:  
 CONRAD BROTHERS CONSTRUCTION  
 105 LEWIS STREET, SUITE 101  
 KETCHUM, ID 83340  
 PAUL@CONRADBROTHERSCONSTRUCTION.COM  
 (208) 726-5788

DESIGN REVIEW  
 NOT FOR  
 CONSTRUCTION



PLEASE DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT TO BE USED FOR CONSTRUCTION OR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF GALENA ENGINEERING, INC.



**LEGEND**

	Property Line		ADA = Curb Ramp Points
	Adjoiner's Lot Line		BOW = Back of Walk
	Centerline Right of Way		CC = Curb Cut
	Public Utility Easement per Plat		COR = Corner
	FDS#8 = Found 8" Rebar		EOA = Edge of Asphalt
	FD#12 = Found 12" Rebar		ECC = Edge of Concrete
	CNTRL = Survey Control		FL = Flow Line
	5' Contour Interval		IN = Invert
	Curb & Gutter		LSP = Lip of Gutter
	FNC = Fence Line		NG = Natural Ground
	Asphalt		PC = Point of Curvature
	Concrete Sidewalk		POC = Point on Curve
	SIGN = Sign		PT = Point of Tangency
	PHBOX = Telephone Riser		TA = Top of Asphalt
	PBOX = Power Box		TBC = Top Back of Curb
	Sewer Main		VG = Valley Gutter
	Sewer Service		
	SMH = Sewer Manhole		
	Storm Drain		
	CB = Catch Basin		
	DWELL = Dry Well		
	Water Main		
	Water Service		
	WMTR = Water Meter		
	WV = Water Valve		

**NOTES**

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (08/19/2021).
- Boundary information is based on Found Monumentation. Please refer to the recorded plat of North Hailey Plaza Subdivision, Insist 402013, records of Blaine County, Idaho Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- Underground utility locations are based on above ground appearances / utilities visible at the time of the survey and City utility maps. Sub-surface utility locations are approximate and locations should be verified before any excavation.
- Galena Engineering, Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is found 2" rebar at southwest corner of property, elevation = 5333.40. Point elevations shown are truncated (i.e. 5334.34 is 34.3). Vertical Datum as NAVD 1988.

**A TOPOGRAPHIC MAP SHOWING**  
**LOT 4B, BLOCK 1, NORTH HAILEY PLAZA SUBDIVISION**  
 LOCATED WITHIN SECTION 8, T.2N. R.1E. B.M. CITY OF HAILEY, BLAINE COUNTY, IDAHO  
 PROJECT INFORMATION  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]



DESIGNED BY: [Signature]  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 117 N. River Street  
 Blaine, Idaho 83406  
 (208) 784-1700  
 email: galena@galenaengineering.com

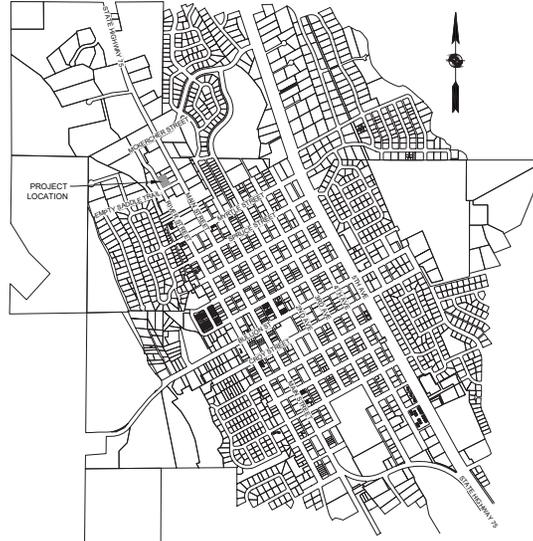
NO.	DATE	BY	REVISIONS

PURPOSE: [Blank]  
 TOPO

# SADDLE LOFTS HAILEY, IDAHO FEBRUARY 2022

## GENERAL CONSTRUCTIONS NOTES

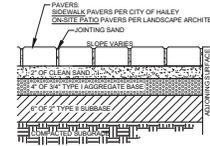
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWC AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1955) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-498. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITD STANDARD 703.04, 21), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (12MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPWC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING, NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPWC SECTIONS 701, 703, AND 705 AND CITY OF HAILEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPWC SECTION 703, TABLE 1 WITH A MINIMUM OF 1.5 LBS/CY FIBER REINFORCEMENT. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPWC 703.3.5), AND POST-CURE SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HAILEY PRIOR TO INSPECTIONS.
- ALL TRENCHING SHALL CONFORM TO ISPWC STANDARD DRAWING SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.010.A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING DATED 9/22/21.



VICINITY MAP  
N.T.S.

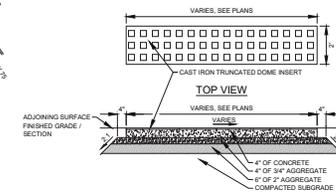
## SHEET INDEX

SHEET#	DESCRIPTION
CO.1	COVER SHEET AND DETAIL SHEET
CO.2	DETAIL SHEET
CO.3	DETAIL SHEET
CI.0	SITE GEOMETRY PLAN
CI.1	SITE GRADING, DRAINAGE, AND UTILITY PLAN

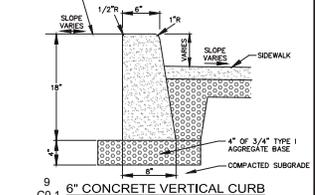


- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

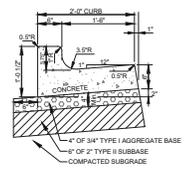
7 CO.1 PAVEMENT DETAIL  
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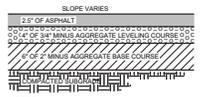
8 CO.1 TRUNCATED DOME INSERT DETAIL  
N.T.S.



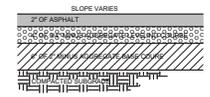
9 CO.1 6\"/>



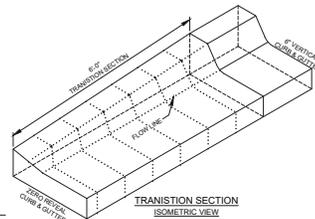
1 CO.1 TYPICAL STREET ASPHALT SECTION  
N.T.S.



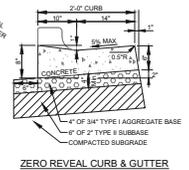
2 CO.1 TYPICAL PARKING LOT ASPHALT SECTION  
N.T.S.



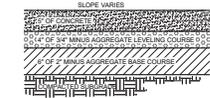
3 CO.1 TYPICAL PATH ASPHALT SECTION  
N.T.S.



5 CO.1 TYPICAL CURB TRANSITION DETAIL  
N.T.S.



6 CO.1 TYPICAL CURB TRANSITION DETAIL  
N.T.S.



8 CO.1 TYPICAL CONCRETE SECTION  
N.T.S.

- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 10-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF CURB.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FEET MAXIMUM SPACING (8 FEET SIDEWALK).
  - CURB AND GUTTER CONSTRUCTION SHALL CONFORM TO ISPWC DRAWING SD-701.

4 CO.1 6\"/>

- NOTES:
- SUBBASE CAN BE 2" TYPE I OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 10-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF CURB.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FEET MAXIMUM SPACING (8 FEET SIDEWALK).
  - CURB CONSTRUCTION SHALL CONFORM TO ISPWC DRAWING SD-707.

- NOTES:
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
  - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURBS AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE P PREFORMED EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH FOR NEW SIDEWALK CONSTRUCTION.
  - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 1/2" WIDE, IF IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 4' FOR NEW SIDEWALK CONSTRUCTION.
  - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
  - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - CONCRETE THICKNESS PER THIS DETAIL, OR MATCH EXISTING, WHICHEVER IS GREATER.



REVISION NO.	DATE	DESCRIPTION



COVER AND DETAIL SHEET  
SADDLE LOFTS  
PREPARED FOR GALENA ENGINEERING, P.L.L.C.

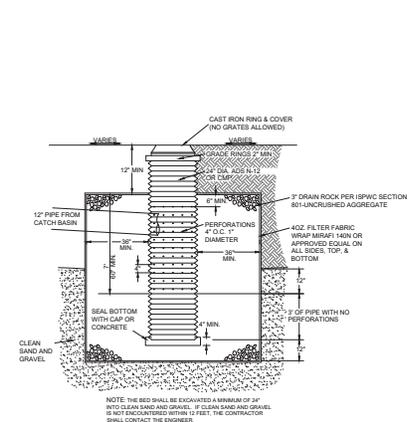
22014  
PROJECT NUMBER

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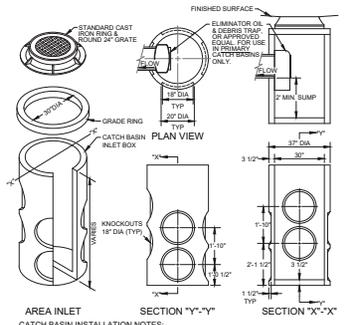
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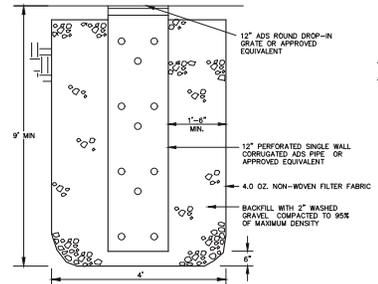
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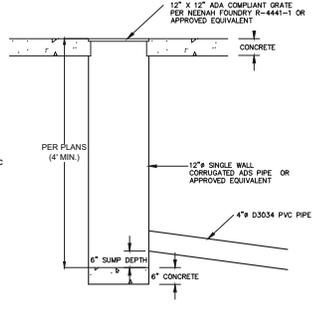
1 CITY OF HAILEY DRYWELL DETAIL (18.14.010.D4)  
 N.T.S.



2 30" DIAMETER CATCH BASIN  
 N.T.S.

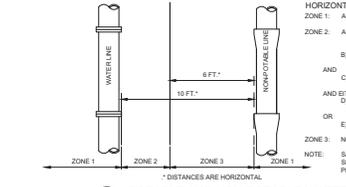
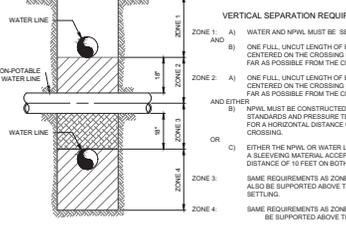


3 LANDSCAPE DRYWELL  
 N.T.S.



4 LANDSCAPE CATCH BASIN  
 N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



5 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION  
 N.T.S.

**VERTICAL SEPARATION REQUIREMENTS**

ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND ONE FULL UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.

ZONE 2: A) ONE FULL UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVING MATERIAL ACCEPTABLE TO DEC FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.

ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

**HORIZONTAL SEPARATION REQUIREMENTS**

ZONE 1: A) NO SPECIAL REQUIREMENTS.

ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEC.

ZONE 3: NOT ALLOWED WITHOUT DEC WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEC.

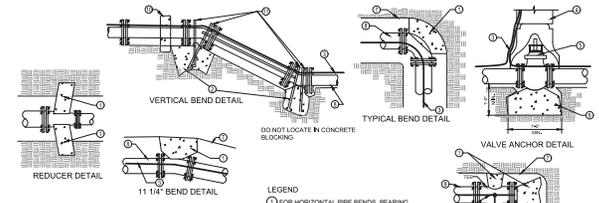


TABLE 1  
 THRUST AREA FOR HORIZONTAL BENDS\*\*

PIPE SIZE	TEE, PLUG & VALVE	90° BEND	45° BEND	22.5° & 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.2
4"	1.4	1.9	1.1	0.4
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.8	6.8	3.4
12"	12.7	18.0	9.7	5.0
16"	19.3	26.5	14.3	7.6
18"	27.6	38.0	19.3	9.8
24"	49.8	69.5	33.9	17.2

\* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH) OR TEE ACTING AS A 90° BEND  
 \*\* THRUST BLOCK DEPTH TO BE A MINIMUM 12" FOR PIPE SIZES 3" & 4" AND 18" FOR PIPE SIZES 10", 12", 16" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER

**LEGEND**

1) FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2000 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.

2) FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.

3) NO. 12 COPPER FINDER WIRE, SEE SD-914 FOR SPLICING.

4) C.I. VALVE BOX WITH COVER.

5) C.I. GATE VALVE (N.A.).

6) THRUST BLOCKS FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" MIN. REBAR.

7) TRENCH SIDE.

8) PIPE.

9) PLUG.

10) HAMMERHEAD THRUST BLOCKING.

11) ANCHOR BARS (1/2" X 20").

**TEE AND PLUG DETAIL**

NOTES:

1) ANCHOR ALL VALVES CONNECTED TO V.C. PIPE AS SHOWN.

2) COVER BARS AND FLANGES WITH PLASTIC TO PROTECT FROM CONCRETE SPILLAGE DURING CONSTRUCTION OF THRUST BLOCKS.

3) SEE CHART FOR MIN. THRUST IN VALVE OR CAST IN PLACE WITH 2-1/2" MIN. REBAR.

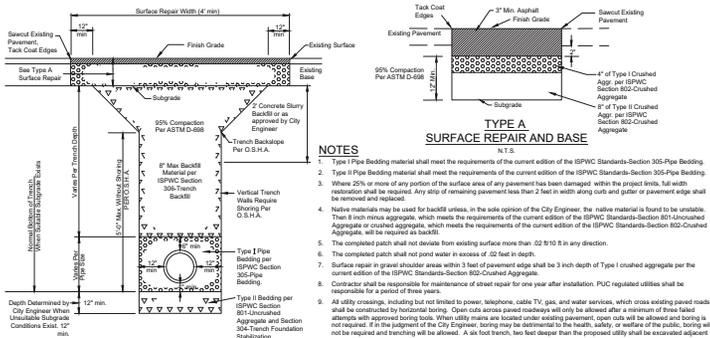
4) ALL CONCRETE TO BE 2000 P.S.I. STRENGTH POURED AGAINST UNDISTURBED EARTH.

5) PROVIDE 1/4" POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.

6) NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.

7) ALL BLOCKS TO BE CENTERED AROUND PIPE SPRING LINE.

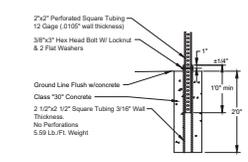
6 THRUST BLOCK AND ANCHOR DETAILS  
 N.T.S.



- NOTES**
- Type I Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
  - Type II Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
  - Where 20% or more of any portion of the surface area of any pavement has been damaged within the project limits, full width reconstruction shall be required. Any strip of remaining pavement less than 2 feet in width along curb and gutter or pavement edge shall be removed and replaced.
  - Native materials may be used for backfill unless, in the sole opinion of the City Engineer, the native material is found to be unstable. Then 8 inch minus aggregate, which meets the requirements of the current edition of the ISPWV Standards-Section 801-Unsaturated Aggregate or crushed aggregate, which meets the requirements of the current edition of the ISPWV Standards-Section 802-Crushed Aggregate, will be required as backfill.
  - The completed patch shall not deviate from existing surface more than .02 ft/10 ft in any direction.
  - The completed patch shall not pond water in excess of .02 feet in depth.
  - Surface repair or gravel shoulder areas within 3 feet of pavement edge shall be 3 inch depth of Type I crushed aggregate per the current edition of the ISPWV Standards-Section 802-Crushed Aggregate.
  - Contractor shall be responsible for maintenance of street repair for one year after installation. PUC regulated utilities shall be responsible for a period of three years.
  - All utility crossings, including but not limited to power, telephone, cable TV, gas, and water services, which cross existing paved roads shall be constructed by horizontal boring. Open cuts across paved roadways will only be allowed after a minimum of three failed attempts with approved boring tools. When utility mains are located under existing pavement, open cuts will be allowed and boring is not required. It is the judgment of the City Engineer, boring may be determined if the health, safety, or welfare of the public, boring will not be required and replaced will be allowed. A six foot trench, no feet deeper than the proposed utility shall be excavated adjacent to the edge of pavement for evaluation of soil conditions by the City Engineer to determine if boring shall be attempted or if trenching will be allowed.
  - All trenches shall be heaved within 72 hours of starting the work unless prior approval to delay heaving has been provided by the City Engineer.
  - Concrete Slurry Mix Design  
Course Aggregate (SPP minus) 2.60 Btu  
Sand 800 lbs  
Cement 94 lbs (max)  
Water 11 (max)

**EXISTING STREET TYPICAL TRENCH SECTION**  
N.T.S.

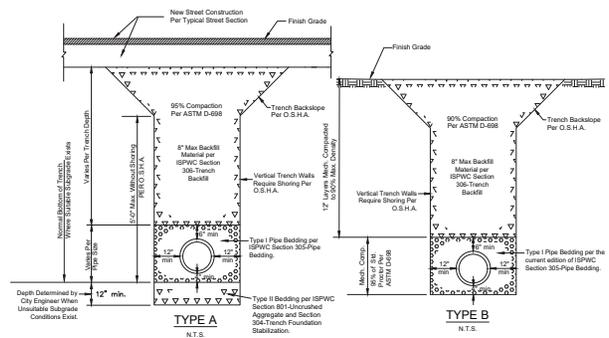
**1 TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)**  
N.T.S.



**SIGN POST INSTALLATION DETAIL WITH ONE PIECE ANCHOR POST FOR USE IN CONCRETE SIDEWALKS**  
N.T.S.

- NOTES**
- Anchor Post shall be installed so that the holes will align and the top be flush with the sign post anchor.
  - All installations shall have 8" square concrete foundations or grouted into solid rock.

**3 CITY OF HAILEY STREET SIGN DETAIL (18.14.014.D)**  
N.T.S.



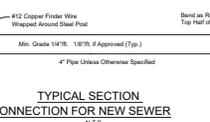
**TYPICAL TRENCH SECTIONS**  
N.T.S.

- NOTES**
- Type I Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
  - Type II Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
  - Native materials may be used for backfill unless, in the sole opinion of the City Engineer, the native material is found to be unstable; then either 8-inch minus unsaturated aggregate per the current edition of the ISPWV Standards-Section 801-Unsaturated Aggregate or Type I or II crushed aggregate per the current edition of the ISPWV Standards-Section 802-Crushed Aggregate will be required as backfill.
  - All work in public traffic ways is subject to approval by the City Engineer. He shall be notified one day before any excavation is started. No backfill shall be placed until the backfill material has been approved by the City Engineer.
  - Type A Trench Section shall be used when crossing a public or private road, street or driveway section. A road, street or driveway section is defined as the area under an existing asphalt or gravel surface or curb and sidewalk, plus 10 feet beyond each edge.
  - Type B Trench Section shall be used outside of any Type A, where new streets are not planned.
  - Rock shall be excavated to at least standard trench depth with the current edition of the ISPWV Standards-Section 302-Rock Excavation.

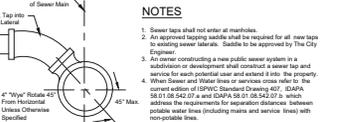
**2 CITY OF HAILEY DETAIL NEW DEVELOPMENT TYPICAL TRENCH SECTION (18.14.010.A.2)**  
N.T.S.



**CONNECTION FOR INTERCEPTORS**  
N.T.S.



**CONNECTION FOR EXISTING SEWER**  
N.T.S.



- NOTES**
- Sewer taps shall not enter at manholes.
  - An approved tapping saddle shall be required for all new taps to existing sewer laterals. Saddles to be approved by the City Engineer.
  - An owner constructing a new public sewer system in a subdivision or development shall construct a sewer tap and service for each potential user and extend it into the property.
  - When Sewer and Water lines are service cross under the current edition of ISPWV Standards Drawing 407, IDAPA 58.01.08.042.07 and IDAPA 58.01.08.042.07, which address the requirements for separation distance between potable water lines (including mains and service lines) with non-potable lines.

**4 CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)**  
N.T.S.

- SEWER CONSTRUCTION NOTES**
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "IDAH0 STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWV) AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF PLANS STAMPED WITH THE DEED APPROVAL STAMP AND A COPY OF THE DEED APPROVAL LETTER ON SITE AT ALL TIMES DURING CONSTRUCTION.
  - ALL SERVICES SHALL COMPLY WITH IDAPA 58.01.08.042.07 AND IDAPA 58.01.08.042.07 WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.2). IN ADDITION, WATER SERVICES SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
  - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME RELOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.
  - POTABLE/NON-POTABLE CROSSINGS SHALL COMPLY WITH ISPWV STANDARD DRAWING NO. SD-407 AND IDAPA SECTION 801.08.02.07.
  - THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
  - SEWER SERVICE LINES SHALL BE PLACED AT A SLOPE OF 2% WITH MARKERS PER ISPWV. CLEANOUTS ARE REQUIRED AT CHANGES IN ALIGNMENT, GRADE, AND MINIMUM 150' LENGTH.
  - ALL PIPE SHALL BE BEDDED WITH (ISPWV) TYPE I BEDDING MATERIAL.
  - TRENCHES SHALL BE BACK FILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
  - THE CONTRACTOR SHALL PRESSURE TEST ALL SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE "IDAH0 STANDARDS FOR PUBLIC WORKS CONSTRUCTION"

- WATER CONSTRUCTION NOTES**
- WATER SERVICE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS. NO WATER SERVICE SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.
  - WATER SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6.0'), MEASURED FROM FINISHED GRADE.
  - ALL 4" AND LARGER WATER LINES SHALL BE CONSTRUCTED WITH AWWA C-400, CLASS 235 PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH ISPWV SECTION 401.3.6 AND THE CITY OF HAILEY STANDARDS. TRACER WIRE SHALL BE NO. 12 GAUGE COPPER LOCATING WIRE INSULATED PER ISPWV SECTION 401 AND THE CITY OF HAILEY SPECIFICATIONS.
  - ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANSII/A1061-2001. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (C9.25 PPM BY WEIGHT).
  - ALL TEES, PLUGS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY STRUT BLOCKS (MECHANICAL RESTRAINTS ARE NOT ALLOWED). THURST BLOCKS SHALL CONFORM TO ISPWV SD-403 AND THE CITY OF HAILEY STANDARDS.
  - ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEM, "O" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING AWWA STANDARDS PER ISPWV SECTION 402. ALL GATE VALVES LOCATED IN PAVEMENT SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER ISPWV SD-406 AND THE CITY OF HAILEY SPECIFICATIONS.
  - ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWWA C-110 FOR 200 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
  - FIRE HYDRANTS SHALL CONFORM WITH THE CITY OF HAILEY STANDARDS.
  - ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM T-304 STAINLESS STEEL WITH ANSI/AWWA C-201 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A-360. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT PLUG.
  - ALL WATER MAINS SHALL COMPLY WITH IDAPA 58.01.08.042.07 A AND IDAPA 58.01.08.042.07 B WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.2). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
  - ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH ISPWV SECTION 404 AND THE CITY OF HAILEY STANDARDS. A USE TO APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA) SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS (INCLUDING FIRE SUPPRESSION SERVICES, IF APPLICABLE) IN ACCORDANCE WITH THE CITY OF HAILEY WATER DEPARTMENT, FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAH0 BACKFLOW PREVENTION REQUIREMENTS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 6".
  - THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LIVE TO THE GREATEST EXTENT POSSIBLE WHILE INSTALLING THE NEW WATER MAIN AND SERVICES MINIMIZING DISRUPTION TO EXISTING WATER SYSTEM USERS. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED AND FLUSHED PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SHUTDOWN IS 4 HOURS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REMOVING AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY, INCLUDING COMPLETION OF BACKFILL OF THE PIPE ZONE. AT NO ADDITIONAL COST TO THE OWNER, THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.
  - EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND COMPLEXES.

**opai**  
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PHONE: 208.735.1100 FAX: 208.735.1101

REVISION NO.	DATE	DESCRIPTION

**2014**  
PROJECT NUMBER

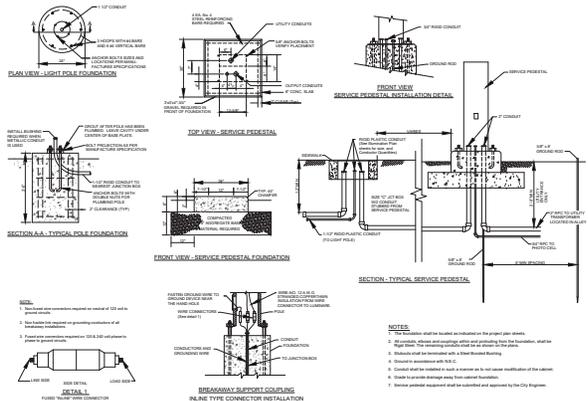
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**DETAIL SHEET**

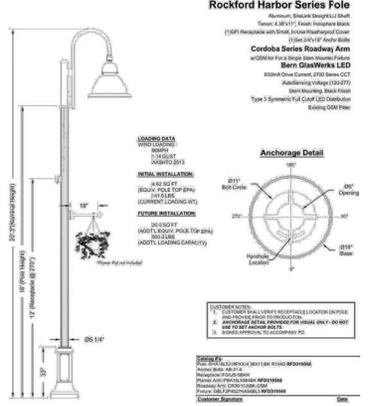
**SADDLE LOFTS**  
PREPARED FOR: DAVID SANDIL, LLC

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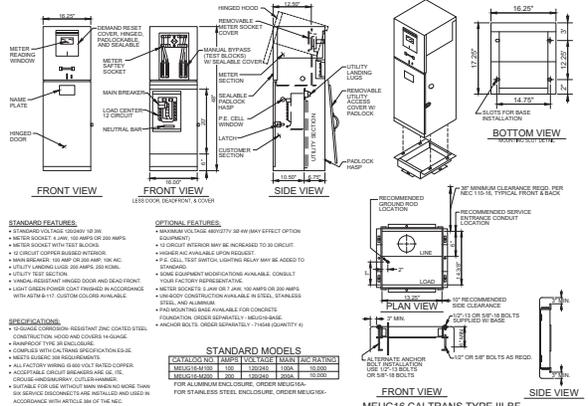
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1  
C0.4 CITY OF HAILEY LIGHT POLE PEDESTAL DETAIL (18.14.014.E.1)  
N.T.S.



2  
C0.4 CITY OF HAILEY STREET LIGHT DETAIL (18.14.014.E.2)  
N.T.S.



3  
C0.4 CITY OF HAILEY LIGHT CONTROL DETAIL (18.14.014.E.3)  
N.T.S.



PURPOSE: ISSUE FOR DESIGN REVIEW (02/09/2022)

REVISION NO.	DATE	DESCRIPTION

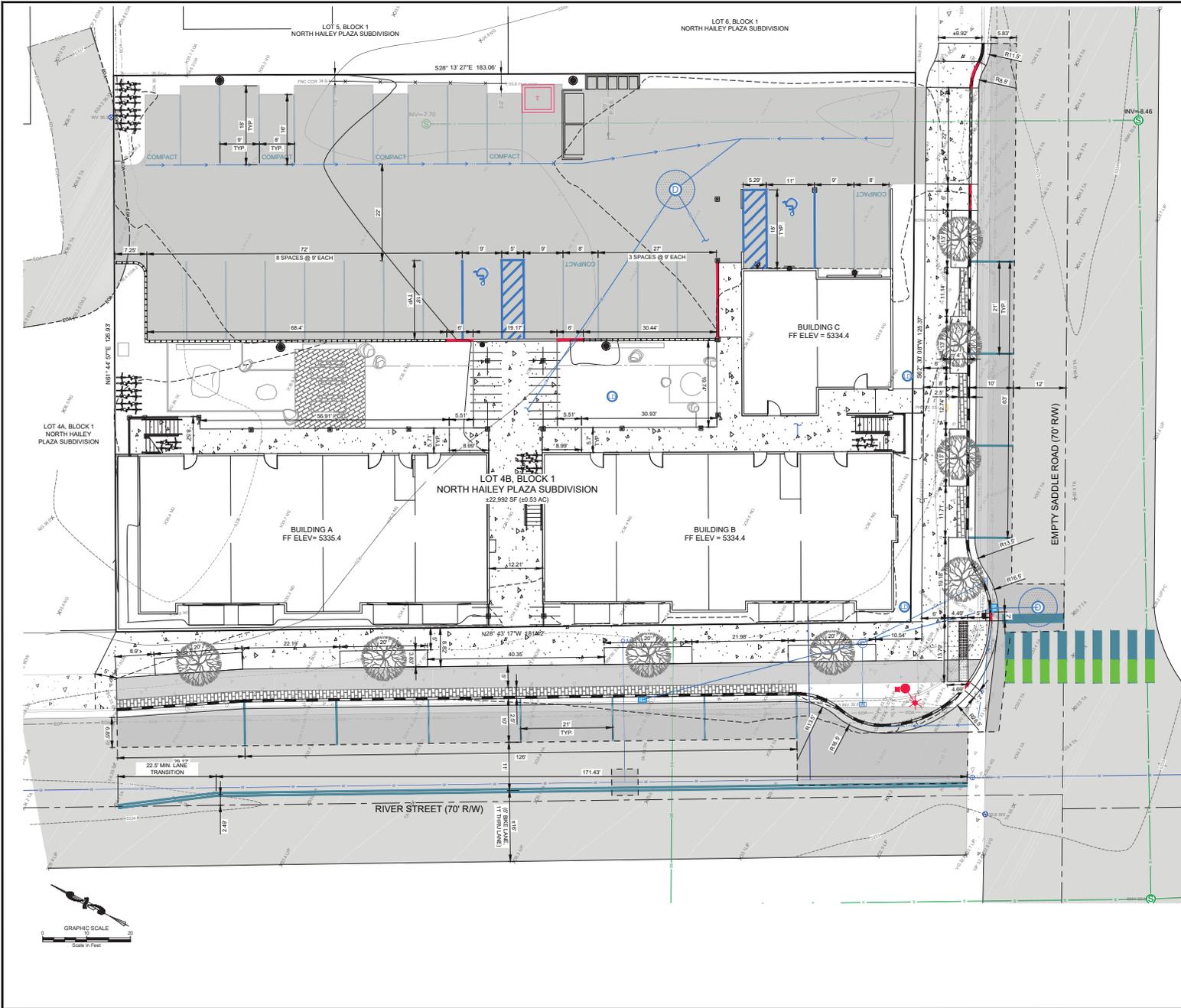


DETAIL SHEET

SADDLE LOFTS  
PREPARED FOR: SADDLE LOFTS

22014  
PROJECT NUMBER

C0.4



**LEGEND**

**EXISTING ITEMS**

- PROPERTY LINE
- CENTERLINE OF RIGHT-OF-WAY
- EDGE OF ASPHALT
- EOG = EDGE OF GRAVEL
- PB = BURIED POWER LINE
- OVERHEAD POWER LINE
- WATER MAIN
- WATER SERVICE
- 8" SEWER MAIN
- SS = SEWER SERVICE
- GM = GAS MAIN
- PHB = BURIED TELEPHONE LINE
- STORM DRAIN
- 5' CONTOUR INTERVAL
- 1' CONTOUR INTERVAL

**BUILDING**

- FOUND ALUMINUM CAP
- FOUND 5/8" REBAR
- FH = FIRE HYDRANT
- WV = WATER VALVE
- WTMR = WATER METER
- VB = VALVE BOX
- FIBER OPTIC VAULT
- GV = GAS VALVE
- GMKR = GAS MARKER
- TVBOX = TV RISER
- PHBOX = TELEPHONE RISER
- PHM = TELEPHONE MANHOLE
- SM = SEWER MANHOLE
- SCD = SEWER CLEANOUT
- CB = CATCH BASIN
- DWELL = DRY WELL
- PP = POWER POLE
- GVY = GUYING
- PBOX = POWER BOX

**PROPOSED ITEMS**

- NEW ASPHALT
- CONCRETE SIDEWALK
- GRAVEL WALKWAY
- CONCRETE VERTICAL CURB
- CURB TRANSITION ZERO REVEAL TO TYPICAL (VERTICAL)
- ZERO REVEAL CURB & GUTTER
- 4" VERTICLE CURB
- ADA ACCESS TRUNCATED DOME SIGN
- WATER VALVE
- 5' CONTOUR INTERVAL
- 1' CONTOUR INTERVAL
- PAVERS
- DRYWELL
- 12" STORM DRAIN
- 4" STORM DRAIN
- CATCH BASIN
- SAWTOOTH LINE
- ROAD PAINT
- GRADE
- 2.0% GRADE
- ADA ACCESS RAMP
- WATER SERVICE
- SEWER SERVICE
- FLOW LINE
- ADA PAINT & SYMBOL
- ADA ISB
- STREET LIGHT W/ CONTROL BOX
- LANDSCAPE DRYWELL
- DOWNPOUT PER ARCHITECT
- TRANSFORMER PER E&M POWER
- TREE, SEE LANDSCAPE PLANS



PURPOSE: ISSUE FOR DESIGN REVIEW (02/09/2022)

REVISION NO.	DATE	DESCRIPTION



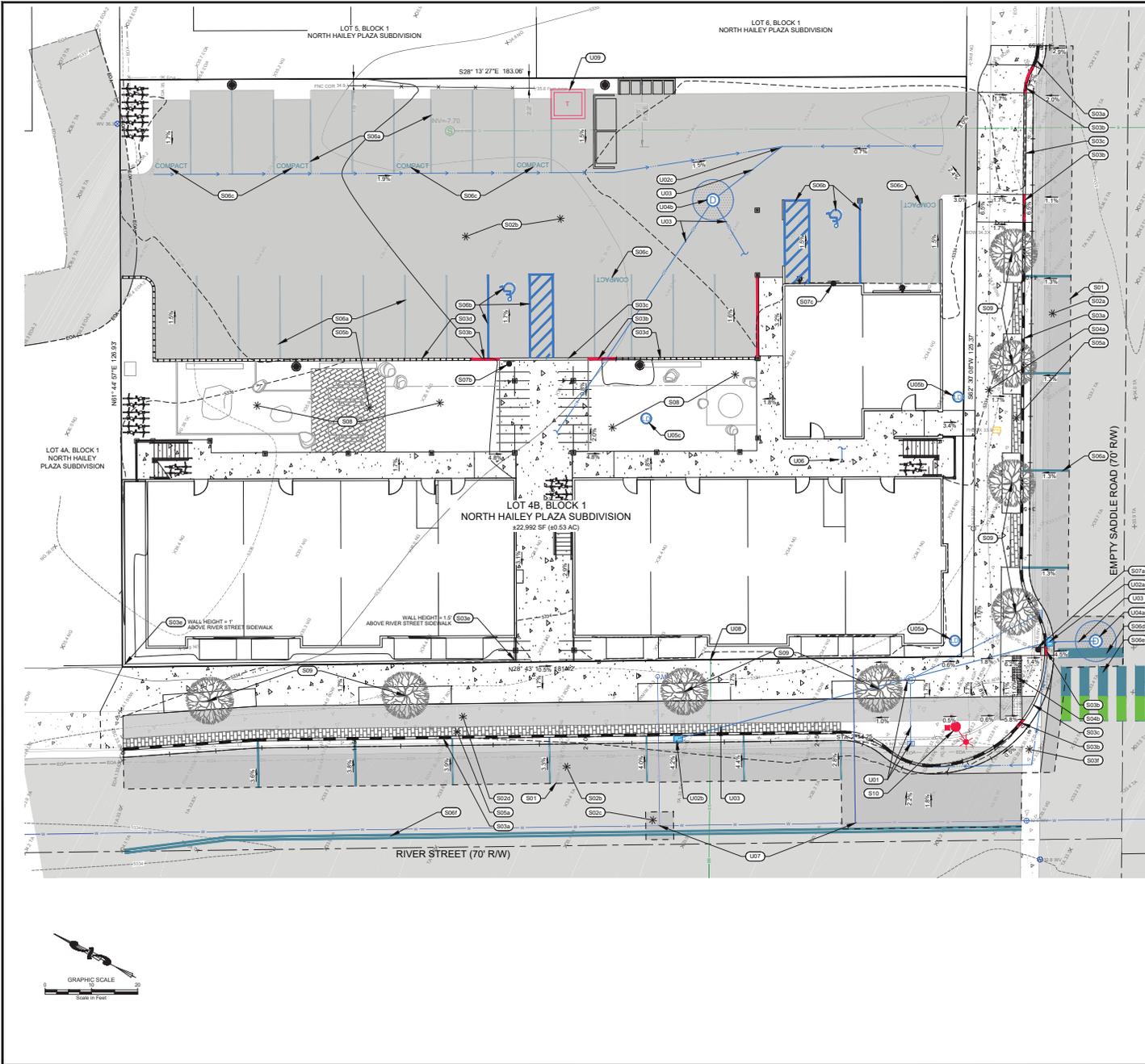
**SITE GEOMETRY PLAN**

SADDLE LOFTS  
PREPARED FOR: ALZCO SAND, LLC

22014  
PROJECT NUMBER

C1.0

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- ### SITE IMPROVEMENT KEY NOTES
- S01 SAWCUT EXISTING ASPHALT
  - S02 ASPHALT:
    - a. CONSTRUCT ASPHALT ROADWAY SEE DETAIL 1 / CO.1.
    - b. CONSTRUCT ASPHALT REPAIR. SEE DETAIL 1 / CO.3.
    - c. CONSTRUCT ASPHALT PARKING LOT SEE DETAIL 1 / CO.1.
    - d. CONSTRUCT ASPHALT PATH SEE DETAIL 1 / CO.1.
  - S03 CONSTRUCT CONCRETE ITEM
    - a. 6" VERTICAL C&G PER DETAIL 4 / CO.1.
    - b. CURB TRANSITION PER DETAIL 5 / CO.1.
    - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 5 / CO.1.
    - d. 6" VERTICAL CURB PER DETAIL 9 / CO.1.
    - e. CONCRETE SITE WALL HEIGHT AS SHOWN.
    - f. CURB RETURN FILLET MATCH EXISTING CONCRETE THICKNESS.
  - S04 CONSTRUCT CONCRETE SIDEWALK WIDTH AS SHOWN ON SHEET C1.0. SEE DETAIL 8 / CO.1.
    - a. FLAT WORK
    - b. ADA COMPLIANT RAMP WITH CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 8 / CO.1.
  - S05 PAVERS
    - a. INSTALL PAVER SIDEWALK EDGING. REFER TO CITY STANDARD PATTERNS AND MATERIALS.
    - b. INSTALL PAVER WALKWAY / PATIO. SEE DETAIL 7 / CO.1.
  - S06 INSTALL ROAD STRIPING / PAINT
    - a. WHITE ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
    - b. BLUE ADA PARKING STRIPING (4" WIDE) AND SYMBOL.
    - c. WHITE "COMPACT" LETTERS
    - d. 24" WIDE WHITE THERMOPLASTIC STOP BAR
    - e. WHITE AND GREEN THERMOPLASTIC CROSSWALK STRIPING. COLORS AND PATTERNS TO MATCH CITY STANDARDS.
    - f. ROAD CENTERLINE STRIPING. TWO 4" WIDE YELLOW STRIPING.
  - S07 SIGNS
    - a. INSTALL STREET SIGNS OVER STOP SIGN. COORDINATE FINAL LOCATION WITH CITY OF HALEY. SEE DETAIL 3 / CO.3 FOR SIGN BASE DETAIL.
    - b. INSTALL ADA STANDARD "RESERVED PARKING" SIGN. SIGN SHALL BE PLACED AT LEAST 60" ABOVE SURFACE. SEE DETAIL 3 / CO.3 FOR SIGN BASE DETAIL.
    - c. INSTALL ADA STANDARD "RESERVED PARKING" OVER "VAN ACCESSIBLE" SIGN. SIGNS SHALL BE PLACED AT LEAST 60 INCHES ABOVE SURFACE. ATTACH SIGN TO BUILDING PER ARCHITECT.
  - S08 LANDSCAPE:
    - a. INSTALL LANDSCAPE AREA. REFER TO ARCHITECTURAL PLANS.
  - S09 INSTALL STREET TREE PER LANDSCAPE PLAN
  - S10 INSTALL STREET LIGHT PER DETAILS ON SHEET C0.4. LIGHT HEAD TO BE LOCATED 2' FROM BACK OF CURB.
- ### UTILITY KEY NOTES
- U01 DEMOLISH AND REMOVE EXISTING STORM STRUCTURE AND PIPING.
  - U02 INSTALL CATCH BASIN. SEE DETAIL 2 / CO.2.
    - a. PRIMARY CATCH BASIN  
RIM =  
INV. OUT =
    - b. SATELLITE CATCH BASIN  
RIM =  
INV. OUT =
    - c. PRIMARY CATCH BASIN  
RIM =  
INV. OUT =
  - U03 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 5 / CO.2 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 2 / CO.3 FOR TRENCHING.
  - U04 DRYWELL. SEE DETAIL 1 / CO.2.
    - a. RIM =  
INV. IN =  
a. (CONNECT ROOF DRAINS PER ARCHITECT)  
RIM = 5389.99  
INV. IN = 5324.88
  - U05 LANDSCAPE DRYWELL. SEE DETAIL 3 / CO.2.
    - a. RIM =
    - b. RIM =
    - c. RIM =
  - U06 LANDSCAPE CATCH BASIN. CONNECT TO DOWNSPOUT PIPING WITH 4" D3034 PVC PIPE. SEE DETAIL 4 / CO.2.
    - RIM =
  - U07 CUT CAP AND ABANDON EXISTING WATER SERVICE AT MAIN LINE. HOT TAP NEW 6" WATER SERVICE WITH THRUST BLOCK AND CITY APPROVED CORE STOP AT MAIN LINE. COVER SERVICE WITH 2" DOW BOARD. CONTRACTOR SHALL VERIFY REQUIRED WATER SERVICE SIZE WITH PLUMBING ENGINEER. SEE DETAIL 1/CO.3 FOR TRENCHING.
  - U08 UTILIZE EXISTING SEWER SERVICE. NOTIFY ENGINEER OF INADEQUATE SLOPE.
  - U09 TRANSFORMER LOCATION TO BE VERIFIED BY CONTRACTOR. COORDINATE WITH BMDM POWER FOR EQUIPMENT DIMENSIONS AND REQUIRED SETBACKS ADJACENT STRUCTURE MATERIALS
- ### LEGEND
- #### EXISTING ITEMS
- PROPERTY LINE
  - CENTERLINE OF RIGHT-OF-WAY
  - EDGE OF ASPHALT
  - EOG = EDGE OF GRAVEL
  - PB = BURIED POWER LINE
  - OVERHEAD POWER LINE
  - WATER MAIN
  - WATER SERVICE
  - 8" SEWER MAIN
  - SS = SEWER SERVICE
  - GM = GAS MAIN
  - PFB = BURIED TELEPHONE LINE
  - STORM DRAIN
  - 5' CONTOUR INTERVAL
  - 1' CONTOUR INTERVAL
- #### BUILDING
- FOUND ALUMINUM CAP
  - FOUND 5/8" REBAR
  - FW = FIRE HYDRANT
  - WV = WATER VALVE
  - WM = WATER METER
  - VB = VALVE BOX
  - FIBER OPTIC VAULT
  - GV = GAS VALVE
  - GMK = GAS MARKER
  - TVBOS = TV RISER
  - PHBOX = TELEPHONE RISER
  - SMH = SEWER MANHOLE
  - SOS = SEWER CLEANOUT
  - CS = CATCH BASIN
  - DWELL = DRY WELL
  - PP = POWER POLE
  - GVY = GUYING
  - PBOX = POWER BOX
- #### PROPOSED ITEMS
- NEW ASPHALT
  - CONCRETE SIDEWALK
  - GRAVEL WALKWAY
  - CONCRETE 6" VERTICAL CURB
  - CURB TRANSITION ZERO REVEAL TO TYPICAL 6" VERTICAL
  - ZERO REVEAL CURB & GUTTER
  - 4" VERTICAL CURB
  - ADA ACCESS TRUNCATED DOME SIGN
  - WATER VALVE
  - 5' CONTOUR INTERVAL
  - 1' CONTOUR INTERVAL
  - PAVERS
  - DRYWELL
  - 12" STORM DRAIN
  - 4" STORM DRAIN
  - CATCH BASIN
  - SAWCUT LINE
  - ROAD PAINT
  - 2.0% GRADE
  - ADA ACCESS RAMP
  - WATER SERVICE
  - SEWER SERVICE
  - FLOW LINE
  - ADA PAINT & SYMBOL
  - ADA SIGN
  - STREET LIGHT W/ CONTROL BOX
  - LANDSCAPE DRYWELL
  - DOWNSPOUT PER ARCHITECT
  - TRANSFORMER PER BMDM POWER
  - TREE. SEE LANDSCAPE PLANS

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WWW.OPAL-ENGINEERING.COM

REVISION NO.	DATE	DESCRIPTION

PROFESSIONAL ENGINEER  
SADDLE LOFTS  
CITY OF HALEY, IDAHO

**SITE GRADING AND DRAINAGE PLAN**

SADDLE LOFTS  
PROJECT NUMBER

22014

C1.1

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Note: No Bollards Along River Street Adjacent To Bike Path Per City of Hailey's Request

**RIVER STREET**

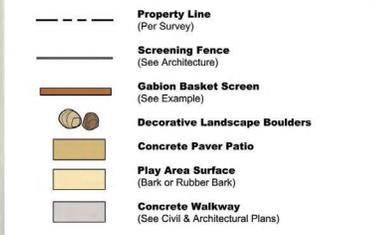
**PLANT LEGEND**

symbol	quan	description	planted size
	4	<b>Street Tree - Class I</b> (Per Street Tree List) Washington Hawthorn - <i>Crataegus phaenopynum</i>	3" Cal. 17% Of Tree Total
	4	<b>Street Tree - Class II</b> (Per Street Tree List) Autumn Blaze Maple - <i>Acer x freemanii</i>	4" Cal. 17% Of Tree Total
	4	<b>Deciduous Trees</b> Tatarian Maple - <i>Acer tataricum</i>	3" Cal. 17% Of Tree Total
	6	<b>Deciduous Trees</b> Crabapple Thunderchild - <i>Malus x Thunderchild</i>	2" Cal. 25% Of Tree Total
	1	<b>Evergreen Trees</b> Sub Alpine Fir - <i>Abies lasiocarpa</i>	12' Height 4% Of Tree Total
	5	<b>Small Evergreen Trees</b> Rocky Mountain Juniper - <i>Juniperus scopulorum</i> Tannenbaum Pine - <i>Pinus Mugo 'Tannenbaum'</i>	15 Gal. 12% Of Tree Total 8% Of Tree Total
	12	<b>Ornamental Shrubs</b> Oriental Dwarf Spruce - <i>Picea o. 'Nigra Compacta'</i>	5 Gal.
	24	<b>Shrub Massing</b> FelixClematis - <i>Clematis flammula</i> Diablo Ninebark - <i>Physocarpus opulifolius 'Diablo'</i> Miss Kim Yucca - <i>Byrnia perfoliata 'Miss Kim'</i> Snowmound Spirea - <i>Spirea x nigropalis 'Snowmound'</i> Tee Blackhaw Spirea - <i>Spirea betulifolia 'Tee'</i> Common Snowberry - <i>Symphoricarpos albus</i>	5 Gal.
	201	<b>Ornamental Grasses &amp; Perennials</b> Reed Grass - <i>Calamagrostis x a. 'Karl Foerster'</i> Flame Grass - <i>Miscanthus sinensis</i> Blue Oat Grass - <i>Helictotrichon sempervirens</i> Black Eye Susan - <i>Rudbeckia hirta</i> Lavender - <i>Lavandula</i> Salvia - <i>Salvia divinatorum</i>	5 Gal.
	30	<b>Planter Boxes</b> Perennial Mix To Be Determined	1 Gal.
	750	<b>Grass Space</b> Fescue Blend - Low Water Use 25% Of Landscape Area	Sod

**EXISTING TREE LEGEND**



**PLAN LEGEND**

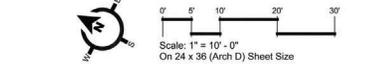


**LANDSCAPE NOTES**

- All disturbed areas shall be revegetated and irrigated with an automatic underground irrigation system.
- Native compatible plant material will be used to provide a drought tolerant, low water use, & low maintenance landscape to blend seamlessly with the surrounding landscape.
- Planting beds shall have 3" of bark or mulch.

**IRRIGATION NOTES**

- Verify utility locations prior to starting irrigation.
- Irrigation system to be automatically controlled with smart controller and rain sensor for a water wise system.
- Drip irrigation shall be installed in all planting beds, planter boxes, and tree wells.
- Low water use rotator nozzles to be used in green spaces.
- Irrigation systems shall not be placed against pavement, or placed such that they spray water onto the pavement.
- Irrigation supply connected to the developments water system. The point of connection will include an approved backflow prevention device and water meter.



**NS CONSULTING**  
landscape architecture & drone mapping  
Nathan Schutte, ASLA  
P: 208.320.2911  
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PROJECT  
**SADDLE LOFTS**  
N Hailey Plaza, SBLT 4B, BLK 1  
Hailey, Idaho

DOCUMENT DATE  
February 8, 2022  
DRAWN BY  
Nathan Schutte

REVISION  
No. Date Remark

PRELIMINARY  
LANDSCAPE PLAN

**L1**



**Gabion Screen**



**Climbing Boulder**

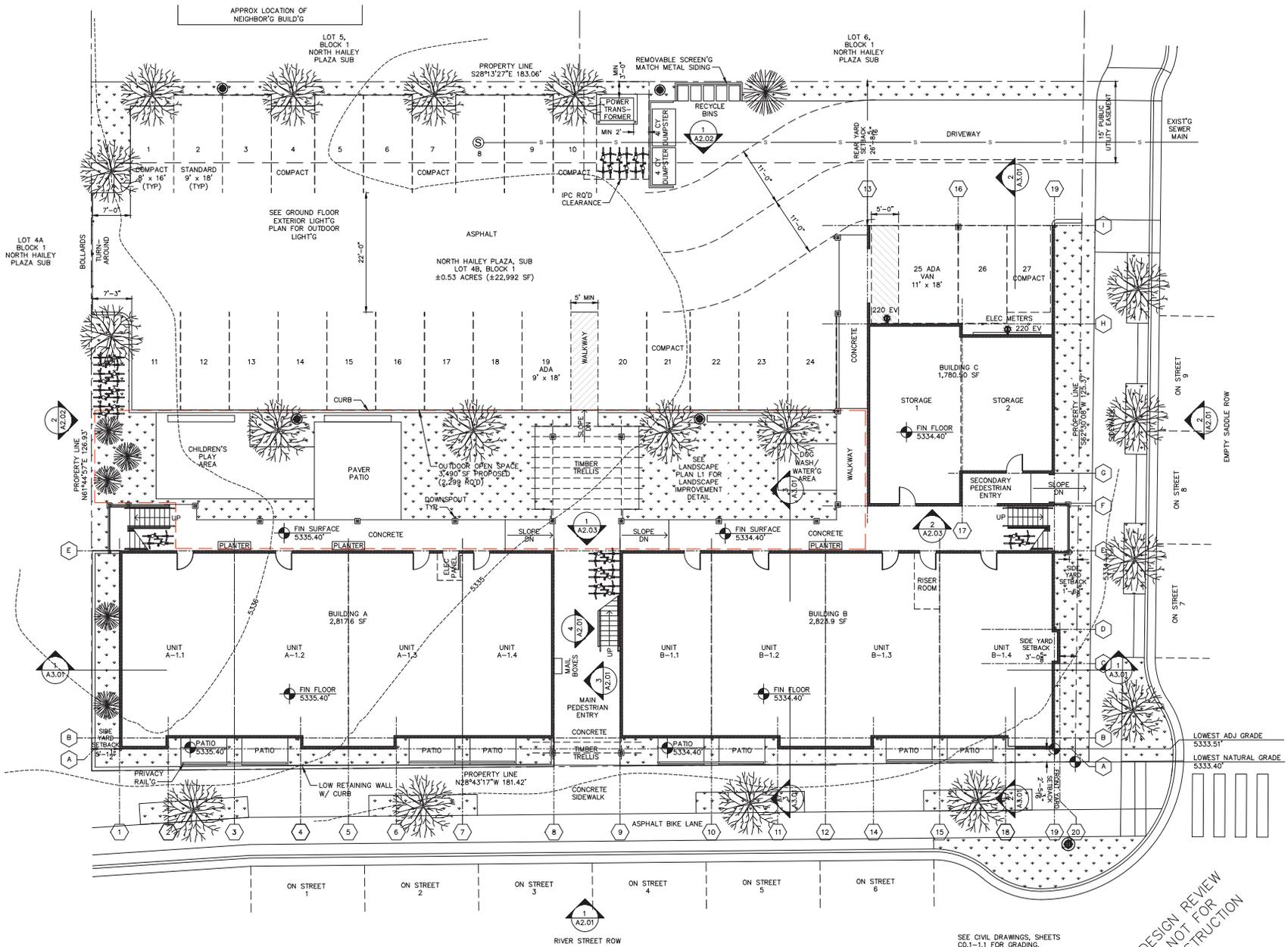
APPROX LOCATION OF NEIGHBOR'S BUILD'G

LOT 4A  
BLOCK 1  
NORTH HAILEY PLAZA SUB

APPROX LOCATION OF NEIGHBOR'S BUILD'G

LOT 5,  
BLOCK 1  
NORTH HAILEY PLAZA SUB

LOT 6,  
BLOCK 1  
NORTH HAILEY PLAZA SUB



# SITE PLAN

NOTE: SNOW REMOVED FROM PARKING AREA & WALKWAYS WILL BE HAULED FROM THE SITE BY A HAULING SERVICE

1/8"=1'-0"

RIVER STREET ROW

SEE CIVIL DRAWINGS, SHEETS CD.1-1.1 FOR GRADING, DRAINAGE & ROW IMPROVEMENT DETAIL

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## SITE PLAN

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS

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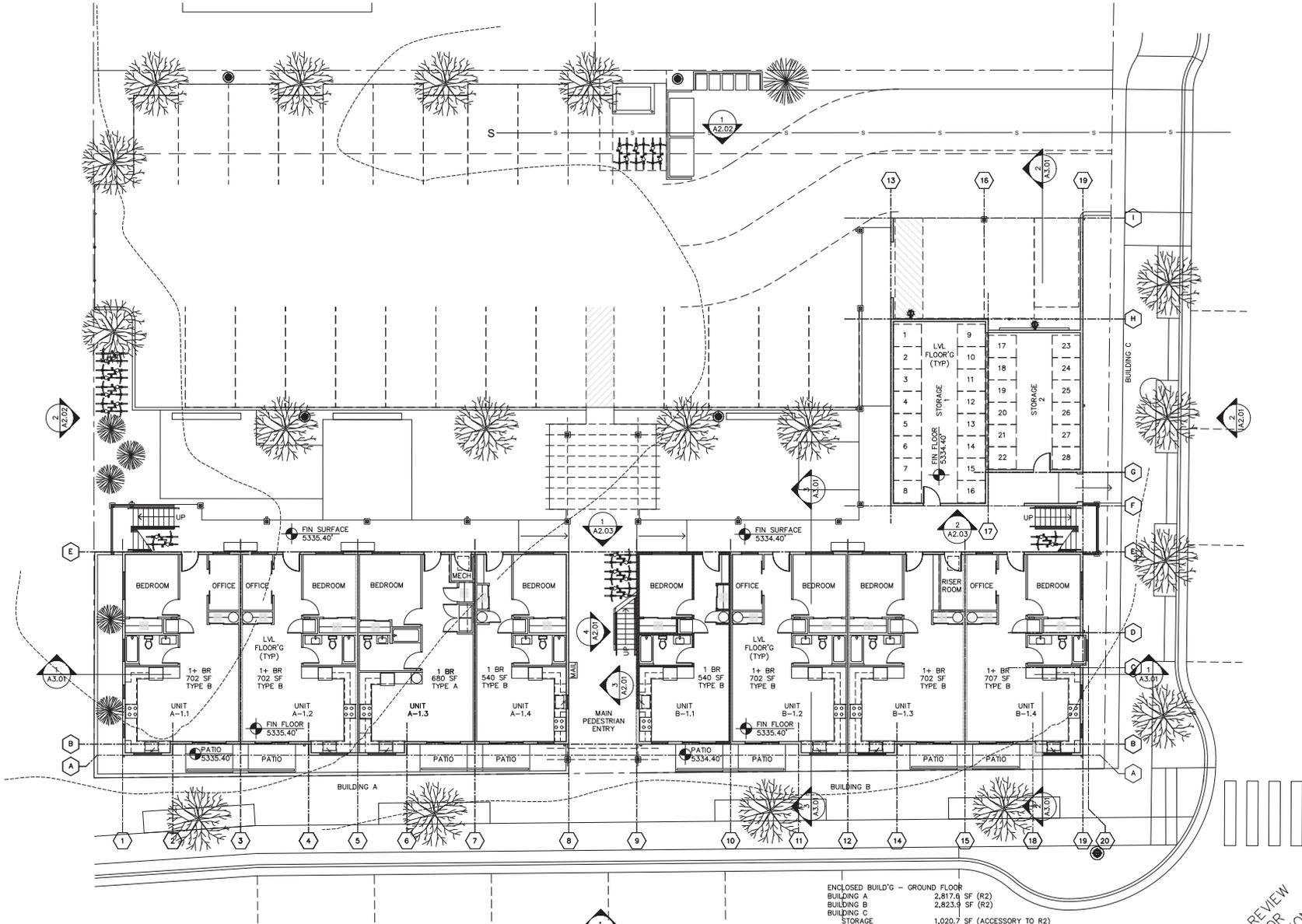
SCALE 1/8"=1'-0"

DATE 3/1/2022

DRAWING NO.

A1.01





GROUND FLOOR PLAN

(8) UNITS TOTAL:  
 (4) 1+ BEDROOMS  
 (4) 1 BEDROOMS

1/8"=1'-0"

ENCLOSED BUILD'G - GROUND FLOOR  
 BUILDING A 2,817.6 SF (R2)  
 BUILDING B 2,823.9 SF (R2)  
 BUILDING C 1,020.7 SF (ACCESSORY TO R2)  
 STORAGE 659.4 SF  
 CARPORT 102.4 SF  
 COVERED WALKWAY 102.4 SF  
 TOTAL ENCLOSED GND FL 7,424.0 SF

UNENCLOSED AREAS - GROUND FLOOR  
 COVERED ACCESS WALKWAY 1,875.6 SF  
 COV. GROUND FLOOR PATIOS 288.0 SF  
 TOTAL UNENCLOSED GND FL 2,163.6 SF

OCCUPANCY LOAD 6,662.2/200 = 34 OCCUPANTS

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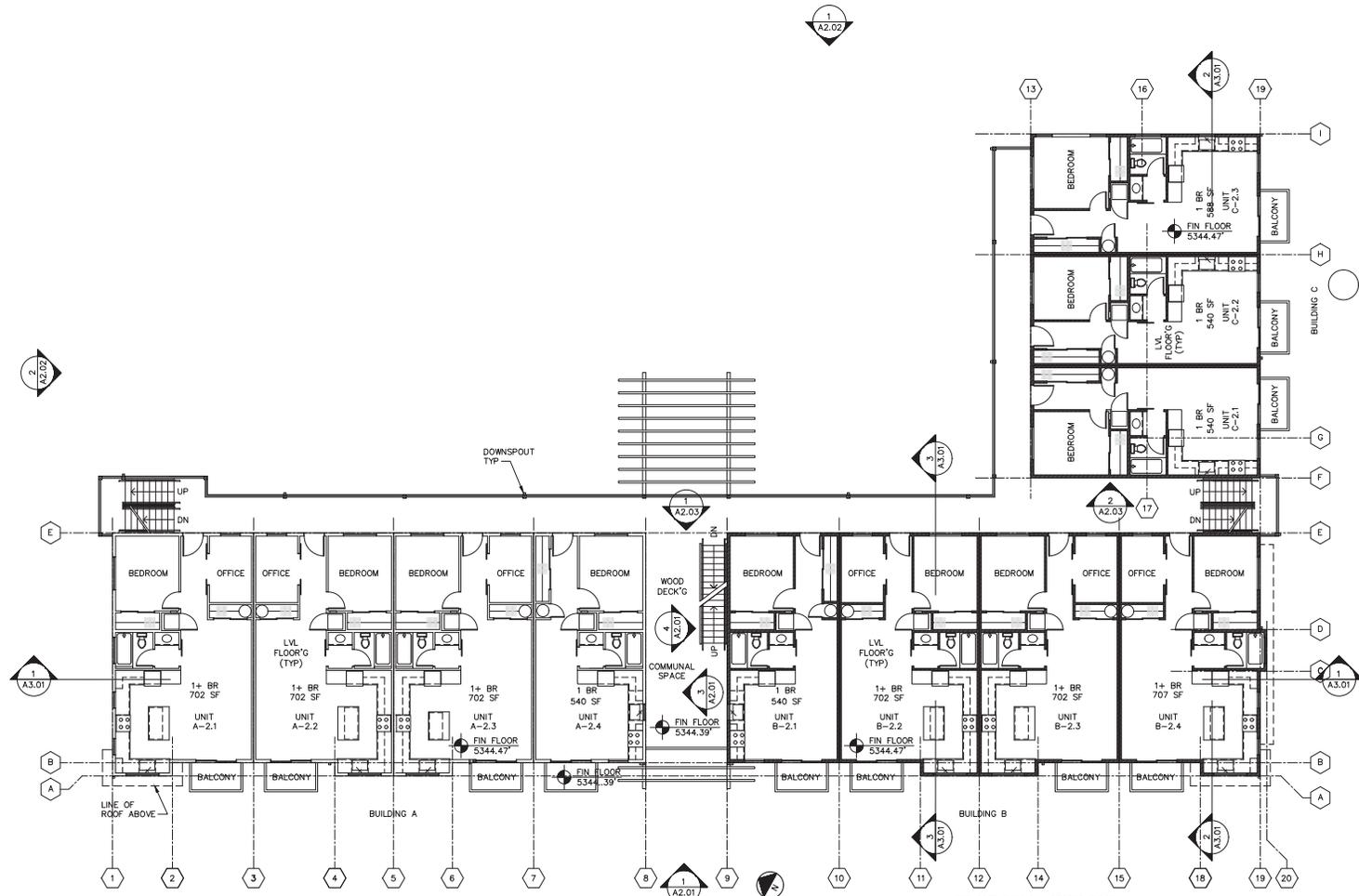
GROUND FLOOR  
 PLAN

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS  
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 DATE 3/1/2022  
 DRAWING NO.

A1.02



2ND FLOOR PLAN

- (11) UNITS TOTAL:  
 (6) 1+ BEDROOMS  
 (5) 1 BEDROOMS

1"=1'-0"

ENCLOSED BUILD'G - SECOND FLOOR  
 BUILDING A (R2) 2,817.6 SF  
 BUILDING B (R2) 2,823.9 SF  
 BUILDING C (R2) 1,782.5 SF  
 TOTAL ENCLOSED 2ND FL 7,424.0 SF (R2)

UNENCLOSED AREAS - SECOND FLOOR  
 COVERED ACCESS WALKWAY 1,851.2 SF  
 COVERED BALCONIES 225.9 SF  
 TOTAL UNENCLOSED 2ND FL 2,077.1 SF

OCCUPANCY LOAD 7,424.0/200 = 38 OCCUPANTS

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LEEDS  
 ARCHITECT  
 VERIFIED  
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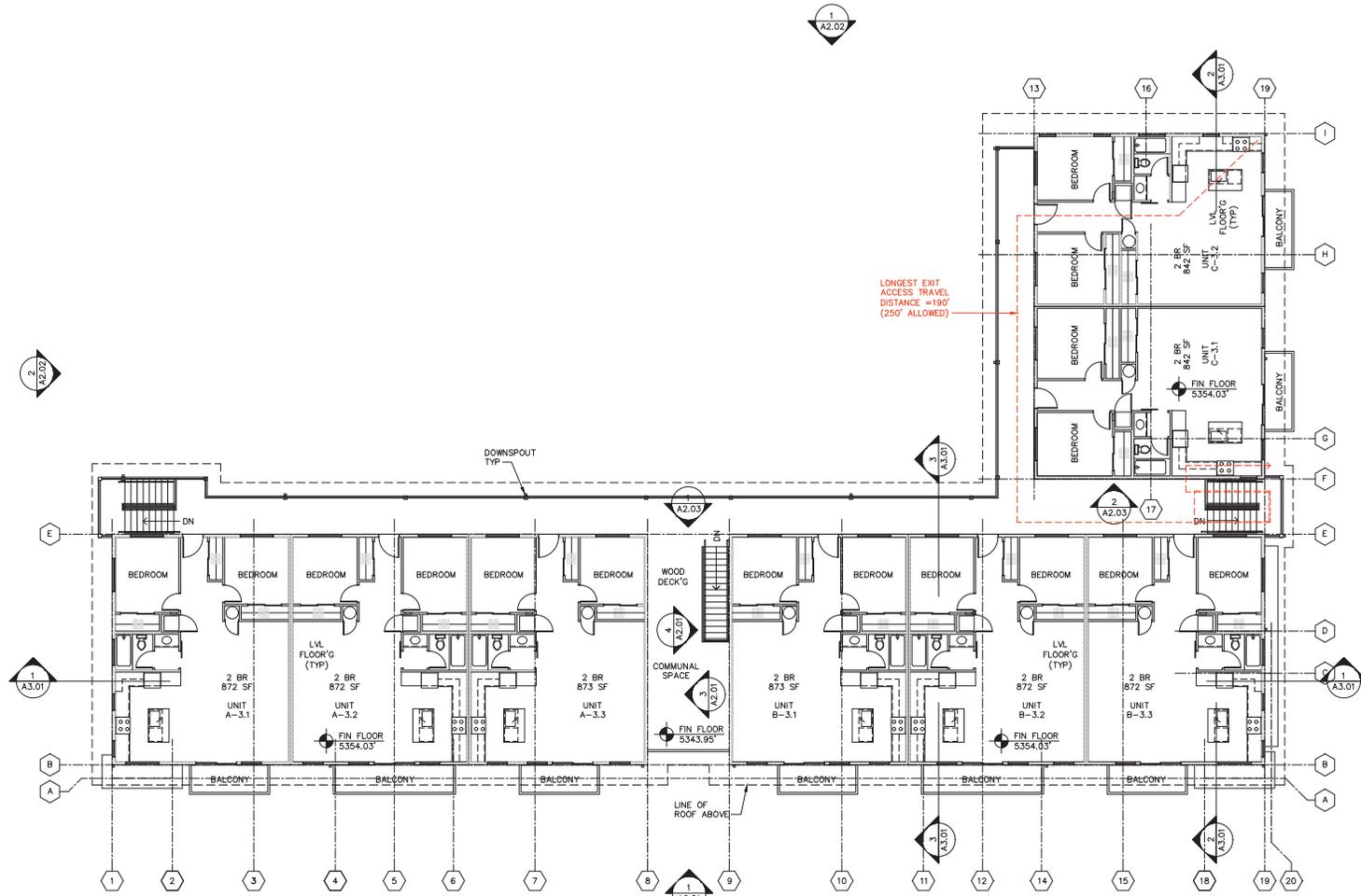
SECOND FLOOR  
 PLAN

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

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SCALE 1/8"=1'-0"  
 DATE 3/1/2022  
 DRAWING NO.

A1.03



3RD FLOOR PLAN

(8) UNITS TOTAL:  
 (8) 2 BEDROOMS  
 1/8"=1'-0"

ENCLOSED BUILD'G - THIRD FLOOR  
 BUILDING A (R2) 2,764.3 SF  
 BUILDING B (R2) 2,764.3 SF  
 BUILDING C (R2) 1,782.5 SF  
 TOTAL ENCLOSED BUILD'G 7,311.1 SF (R2)  
 UNENCLOSED AREAS - THIRD FLOOR  
 COVERED ACCESS WALKWAY 1,596.6 SF  
 COVERED PATIOS 0.0 SF  
 TOTAL UNENCLOSED 3RD FL 1,596.6 SF

OCCUPANCY LOAD 7,322.1/200 = 37 OCCUPANTS

DESIGN REVIEW  
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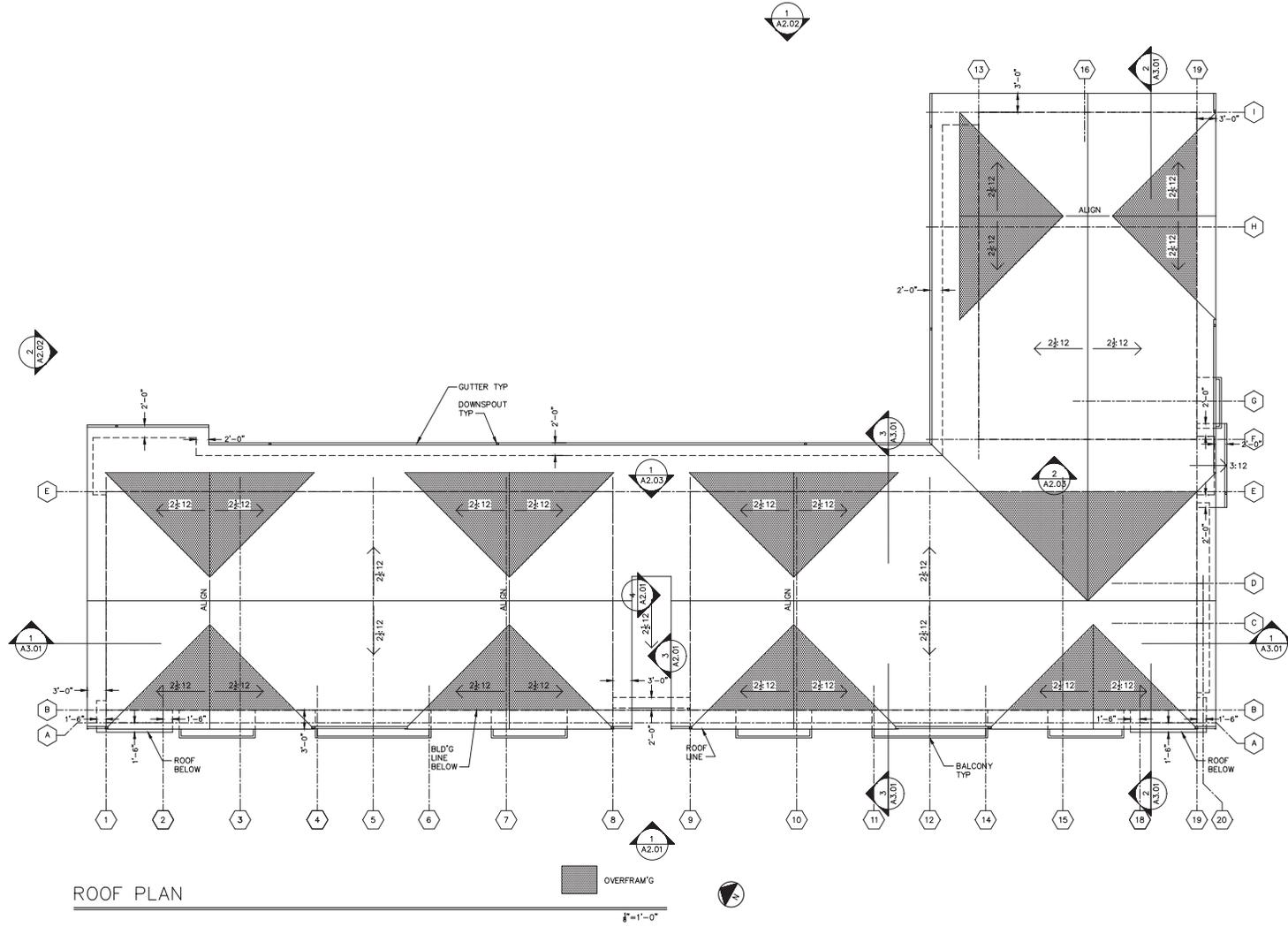
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THIRD FLOOR  
 PLAN

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

REVISION	STATUS	SUBMIT DATE:

SCALE 1/8"=1'-0"  
 DATE 3/1/2022  
 DRAWING NO. A1.04



ROOF PLAN

OVERFRAM'G  
 1/8"=1'-0"

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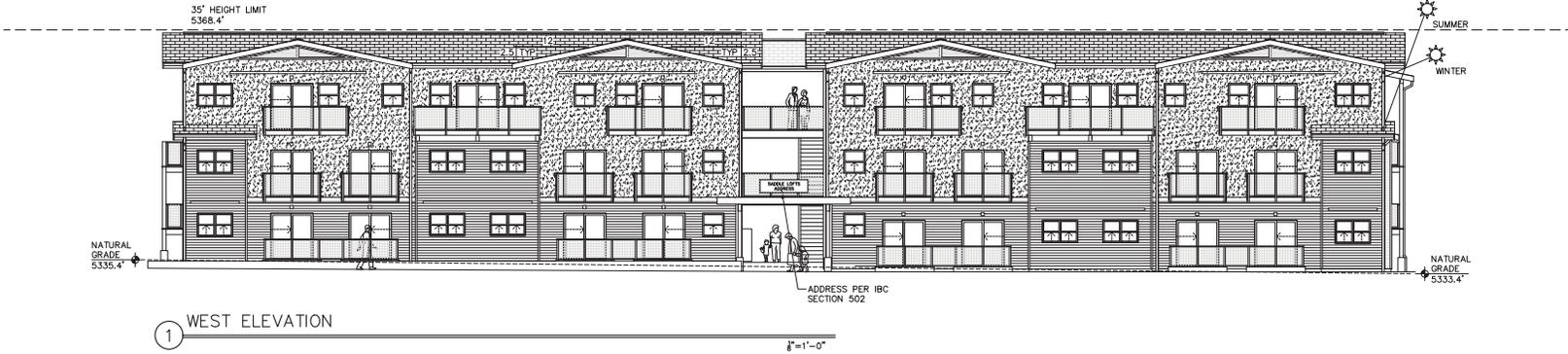
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ROOF PLAN	
SADDLE LOFTS N HAILEY PLAZA, SBLT 4B, BLK 1 HAILEY, IDAHO NEW MULTI-FAMILY CONSTRUCTION	
REVISION STATUS	DATE
SUBMIT DATE:	
SCALE 1/8"=1'-0"	DATE 3/1/2022
DRAWING NO. A1.05	

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WEST & SOUTH ELEVATIONS

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

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 SCALE 1/8"=1'-0"  
 DATE 3/1/2022  
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 A2.01



LEGEND

- ASPHALT SHINGLE ROOF
- TIMBERLINE SHAKWOOD
- STUCCO SIDING SHERWIN WILLIAMS SW 9103 FARRO
- CORRUGATED METAL SIDING WESTERN STATES STREAKED RUST
- MESH INFILL PANEL MONCHOLS 4" SQ, BLACK POWDER COAT
- SUN SHADE AMERICAN STRUCTURES & DESIGN BLACK POWDER COAT
- BALCONY AMERICAN STRUCTURES & DESIGN BLACK POWDER COAT
- WINDOWS/SLIDING DOORS FIBERGLASS BLACK
- WOOD TRELLIS, BEAMS, GABLE VENTS NATURAL
- APARTMENT ENTRY DOORS MDF SHERWIN WILLIAMS SW 6349 PENNYWISE
- WALL SCONCES MAXIM PATHFINDER 52120BK BLACK
- DOWNSPOUTS & GUTTERS ALUMINUM BLACK



IMAGES



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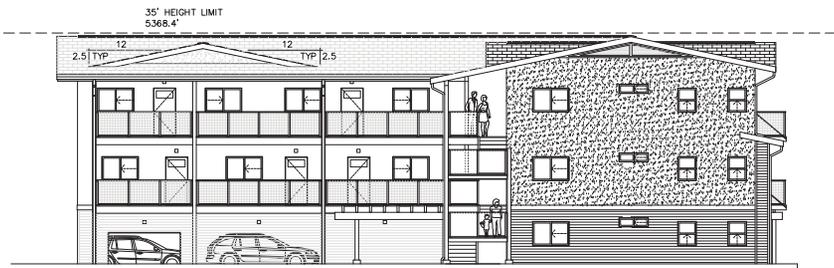


1 EAST ELEVATION

1/8"=1'-0"

LEGEND

-  ASPHALT SHINGLE ROOF
-  TIMBERLINE SHAKEWOOD
-  STUCCO SIDING
-  SHERWIN WILLIAMS SW 9103 FARRO
-  CORRUGATED METAL SIDING
-  WESTERN STATES STREAKED RUST
-  MESH INFILL PANEL
-  MCNICHOLS
-  4" SQ. BLACK POWDER COAT
-  SUN SHADE
-  AMERICAN STRUCTURES & DESIGN BLACK POWDER COAT
-  BALCONY
-  AMERICAN STRUCTURES & DESIGN BLACK POWDER COAT
-  WINDOWS/SLIDING DOORS
-  FIBERGLASS BLACK
-  WOOD TRELLIS, BEAMS, GABLE VENTS
-  NATURAL
-  APARTMENT ENTRY DOORS
-  MDF SHERWIN WILLIAMS SW 6349 PENNYWISE
-  WALL SCONCES
-  MAXIM PATHFINDER 52120BK BLACK
-  DOWNSPOUTS & GUTTERS
-  ALUMINUM BLACK



2 NORTH ELEVATION

1/8"=1'-0"

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EAST & NORTH  
ELEVATIONS

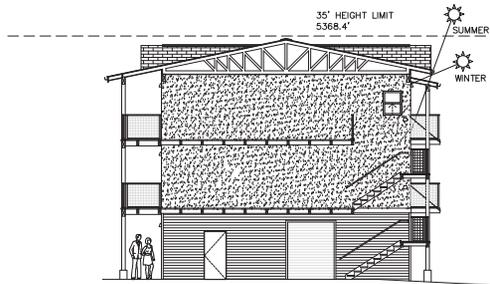
SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS
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DATE 3/1/2022
DRAWING NO.
A2.02



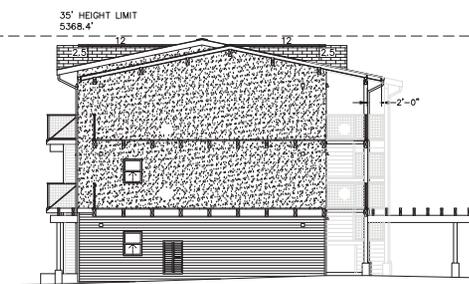
1 BUILDINGS A & B - EAST ELEVATION

1/8"=1'-0"



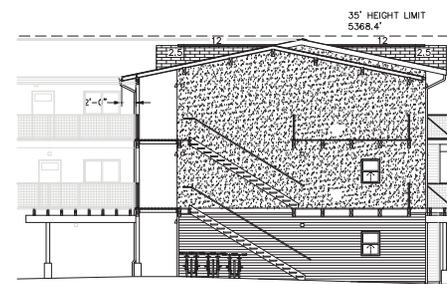
2 BUILDING C - WEST ELEVATION

1/8"=1'-0"



3 BUILDING A - SOUTH ELEVATION

1/8"=1'-0"



4 BUILDING B - NORTH ELEVATION

1/8"=1'-0"

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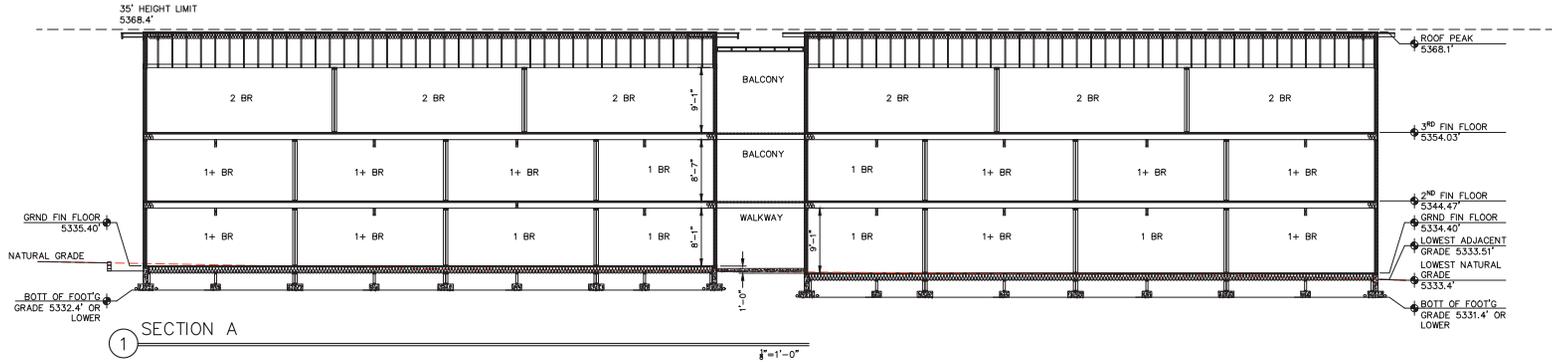
ELEVATIONS BTWN  
BUILDINGS

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS
SUBMIT DATE:

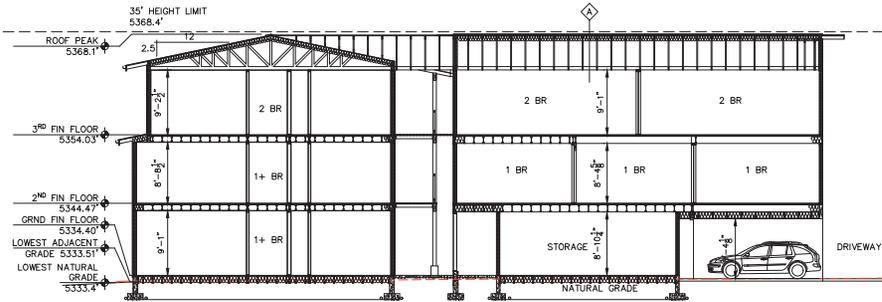
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DATE 3/1/2022  
DRAWING NO.

A2.03



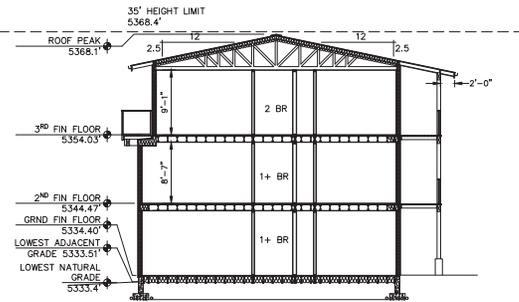
SECTION A

1/8"=1'-0"



SECTION B

1/8"=1'-0"



SECTION C

1/8"=1'-0"

WALL TYPES

EXTERIOR WALLS

- SIDING PER PLAN
- HOUSEWRAP
- A 1/2" SHEATHING
- 2x6 STUDS @ 16" oc
- R-25 INSULATION
- VAPOR BARRIER
- 1/2" GWB

- B DAMPPROOF'G
- 6" REINFORCED CONCRETE STEM WALL

INTERIOR WALLS

- (2) 1/2" GWB ONE SIDE
- 2x4 WOOD STUDS @ 16" oc
- SOUND INSULATION

- C 1/2" AIRSPACE
- 2x4 WOOD STUDS @ 16" oc
- 1/2" GWB

- D 1/2" GWB
- 2x6 WOOD STUDS @ 24" oc
- 1/2" GWB

- E 1/2" GWB
- 2x4 WOOD STUDS @ 24" oc
- 1/2" GWB

ROOF TYPES

- ASPHALT ROOF'G
- ICE & WATERSHIELD
- 1/2" SHEATHING
- R-49 MIN SPRAY FOAM INSULATION
- PRE-MANUF TRUSSES PER PLAN
- 1/2" GWB

- ASPHALT ROOF'G
- ICE & WATERSHIELD
- 1/2" SHEATHING
- RAFTERS PER PLAN
- 1/2" FINISH GRADE PLYWOOD

FLOOR TYPES

- FINISH FLOOR PER PLAN
- A 1/2" SUBFLOOR
- JOISTS PER PLAN
- R-30 MIN INSULATION

- FINISH FLOOR PER PLAN
- 1" CYPRETE
- 1/2" SOUND ISOLATION UNDERLAYMENT
- 1/2" SUBFLOOR
- JOISTS PER PLAN
- SOUND INSULATION
- (2) 1/2" GWB

- C FINISH FLOOR PER PLAN
- JOISTS PER PLAN
- (2) 1/2" GWB

- D SLAB ON GRADE PER PLAN

DESIGN REVIEW  
NOT FOR  
CONSTRUCTION



REBECCA F. BUNDY, ARCHITECT, PLLC  
AIA AICP  
PO BOX 2313 83340  
KETCHUM, ID  
2087202313  
REBECCA@REBUNDYDESIGN.COM

BUILDING  
SECTIONS

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS

SUBMIT DATE:

SCALE 1/8"=1'-0"

DATE 3/1/2022

DRAWING NO.

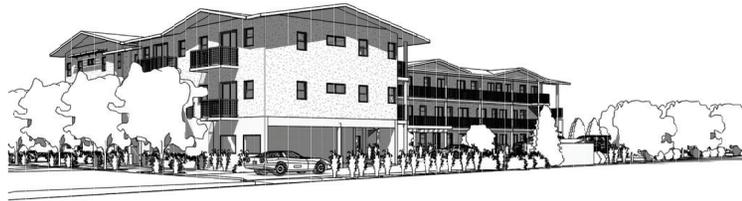
A3.01



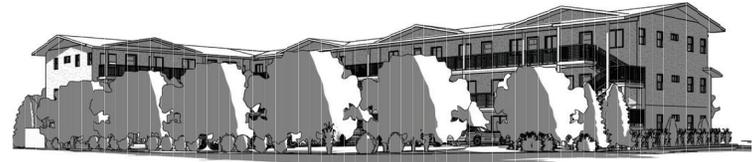
① View from NW



② View from SW



③ View from SE



④ View from NE

REBECCA F. BUNDY, ARCHITECT, PLLC

AIA AICP

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 208.324.2313  
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3D SKETCHES

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

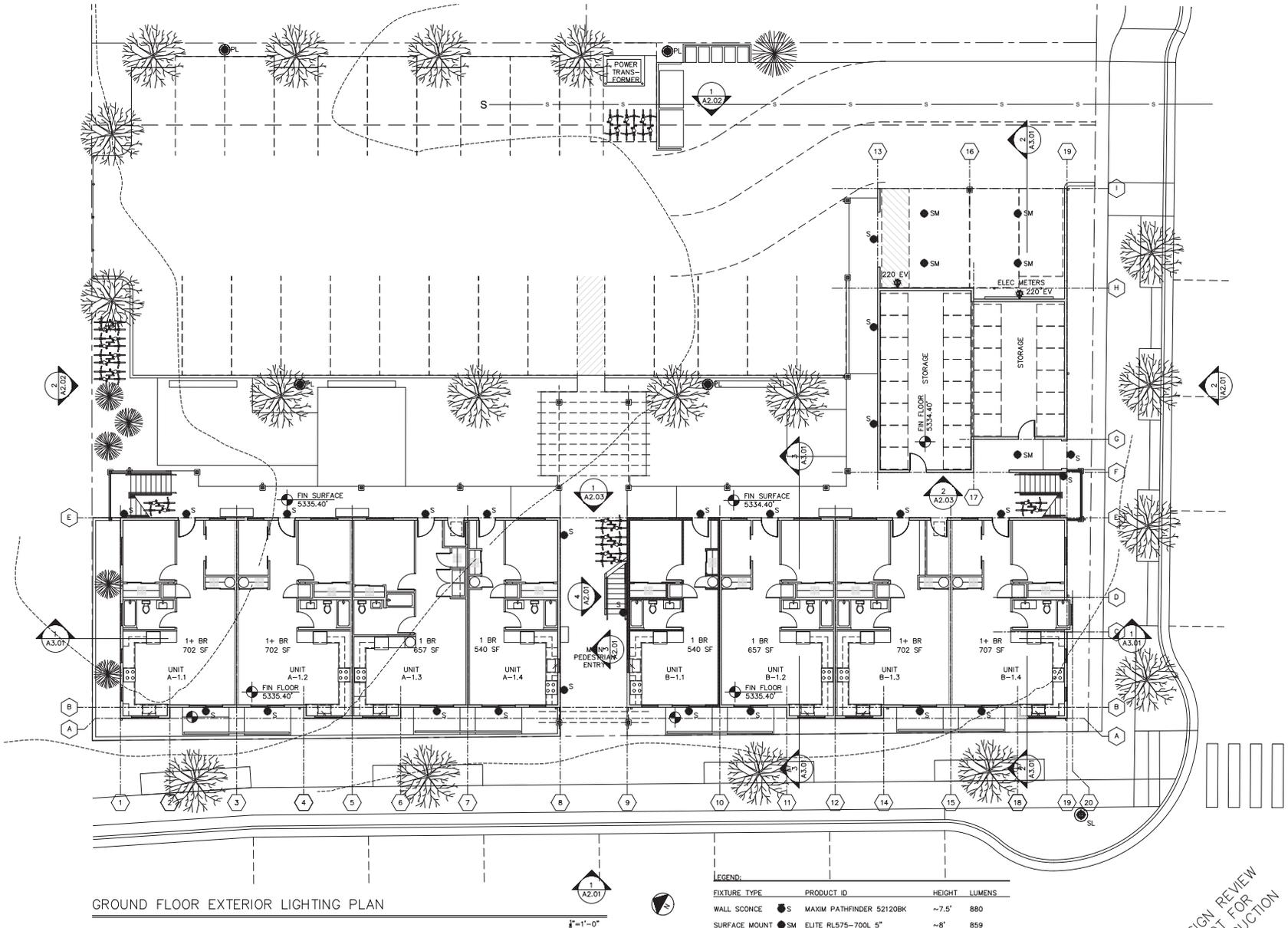
DESIGN REVIEW  
 SUBMITTAL  
 NOT FOR  
 CONSTRUCTION

REVISION STATUS  
 SUBMIT DATE:

SCALE N/A  
 DATE 3/1/2022  
 DRAWING NO.

A9.01





GROUND FLOOR EXTERIOR LIGHTING PLAN



LEGEND:

FIXTURE TYPE	PRODUCT ID	HEIGHT	LUMENS
WALL SCENCE	MAXIM PATHFINDER 52120BK	~7.5'	880
SURFACE MOUNT	SM ELITE RL575-700L 5"	~8"	859
POLE LIGHT	PL LUMARK PFPRV PREVAL C15	15'	7111
STREET LIGHT	SL PER CITY STANDARD		

- ILLUMINATION LEVELS:
- MINIMUM 1 FC (11 LUX) @ EXIT ACCESS (IBC 1008.2.1)
  - MINIMUM 5 FC (55 LUX) @ CARPORT (IESNA)
  - MINIMUM 1.5 FC (16.5 LUX) @ PARKING LOT (ESNA) (1.5 FC AVERAGE)
  - MINIMUM 1 FC (11 LUX) @ BUILDING EXTERIOR (IESNA)

DESIGN REVIEW  
NOT FOR  
CONSTRUCTION



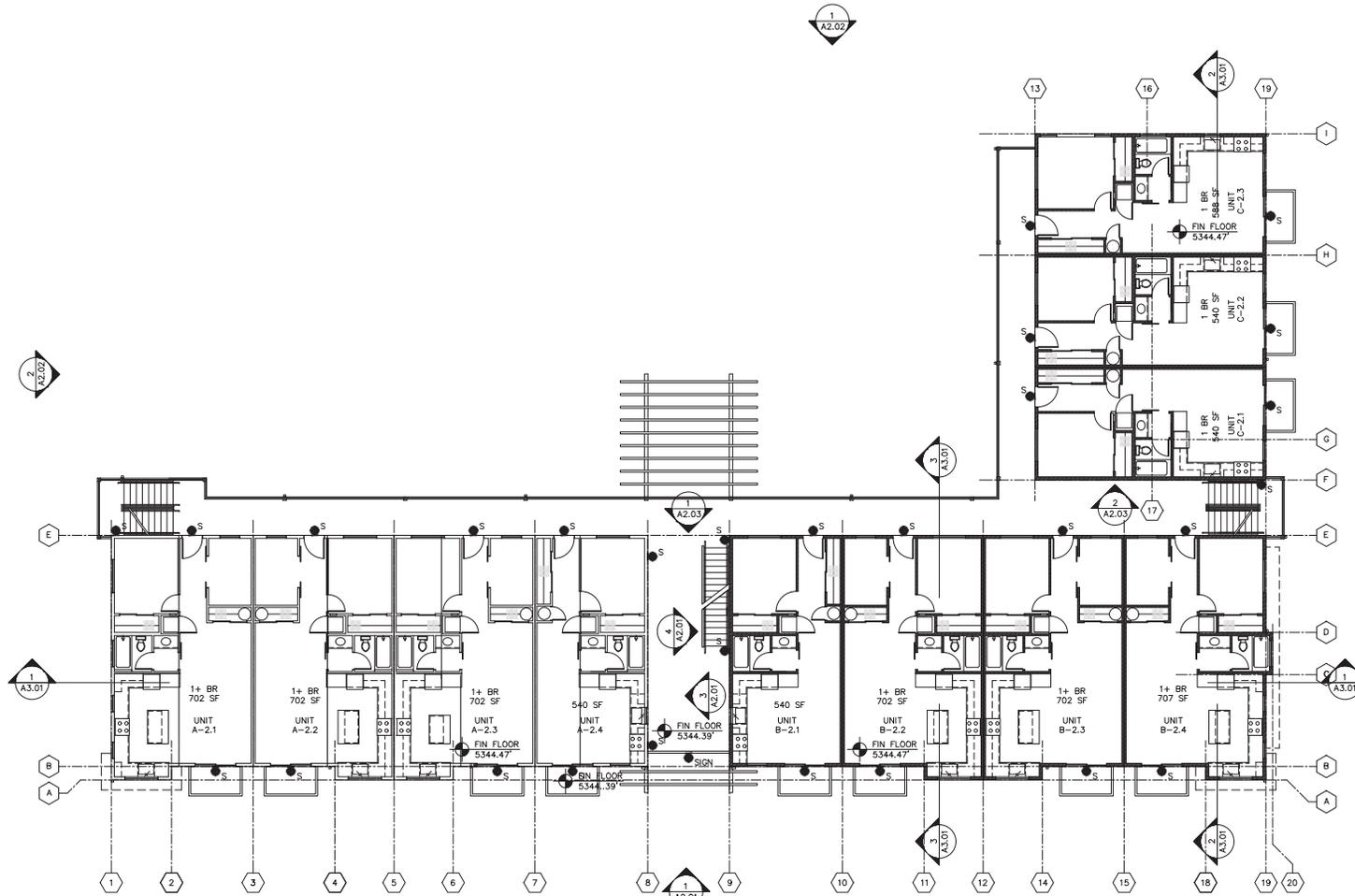
REBECCA F. BUNDY, ARCHITECT, PLLC  
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KETCHUM, ID 83340  
REBECCA@RFBUNDYDESIGN.COM

GROUND FLOOR  
EXTERIOR  
LIGHTING PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS  
SUBMIT DATE:

SCALE 1/8"=1'-0"  
DATE 3/1/2022  
DRAWING NO.  
E.101



SECOND FLOOR EXTERIOR LIGHTING PLAN

1/8"=1'-0"

LEGEND:

FIXTURE TYPE	PRODUCT ID	HEIGHT	LUMENS
WALL SCONCE	S MAXIM PATHFINDER 52120BK	~7.5'	880
SIGN LIGHT	■ SIGN BACKLIT	12'	TBD

- ILLUMINATION LEVELS:
- MINIMUM 1 FC (11 LUX) ● EXIT ACCESS (IBC 1008.2.1)
  - MINIMUM 1 FC (11 LUX) ● BUILDING EXTERIOR (IESNA)

DESIGN REVIEW  
NOT FOR  
CONSTRUCTION

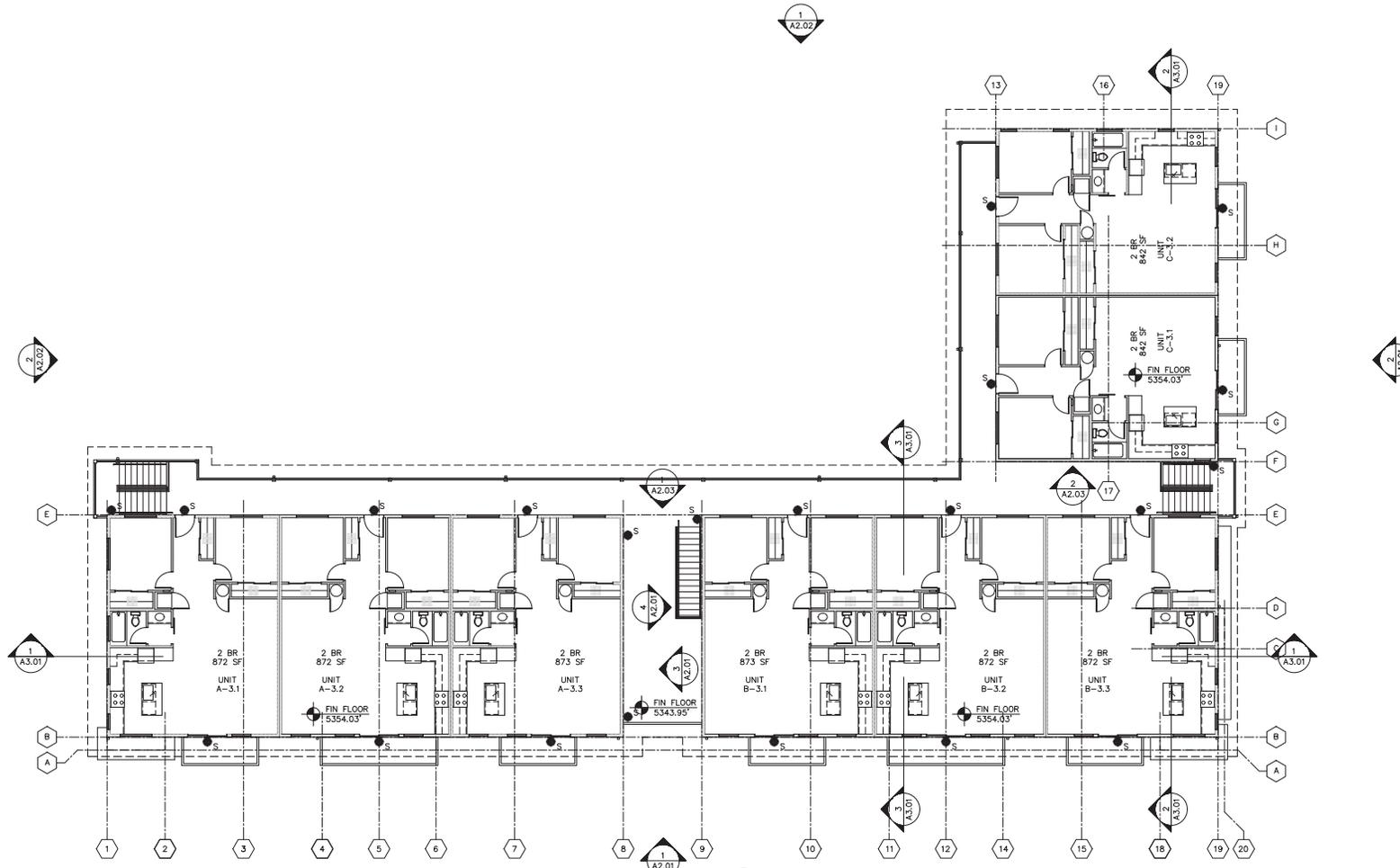


REBECCA F. BUNDY, ARCHITECT, PLLC  
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 208.333.2342  
 REBECCA@RFBUNDYDESIGN.COM

SADDLE LOFTS  
 N HAILEY PLAZA, SBLT 4B, BLK 1  
 HAILEY, IDAHO  
 NEW MULTI-FAMILY CONSTRUCTION

SECOND FLOOR  
 EXTERIOR  
 LIGHTING PLAN

REVISION STATUS	
SUBMIT DATE:	
SCALE 1/8"=1'-0"	
DATE 3/1/2022	
DRAWING NO.	E1.02



THIRD FLOOR EXTERIOR LIGHTING PLAN

1/8"=1'-0"

LEGEND:

FIXTURE TYPE	PRODUCT ID	HEIGHT	LUMENS
WALL SCONCE	S MAXIM PATHFINDER 52120BK	~7.5'	880

ILLUMINATION LEVELS:

- MINIMUM 1 FC (11 LUX) ● EXIT ACCESS (IBC 1008.2.1)
- MINIMUM 1 FC (11 LUX) ● BUILDING EXTERIOR (IESNA)

DESIGN REVIEW  
NOT FOR  
CONSTRUCTION



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PO BOX 2313  
KETCHUM, ID 83340  
REBECCA@RFBUNDYDESIGN.COM

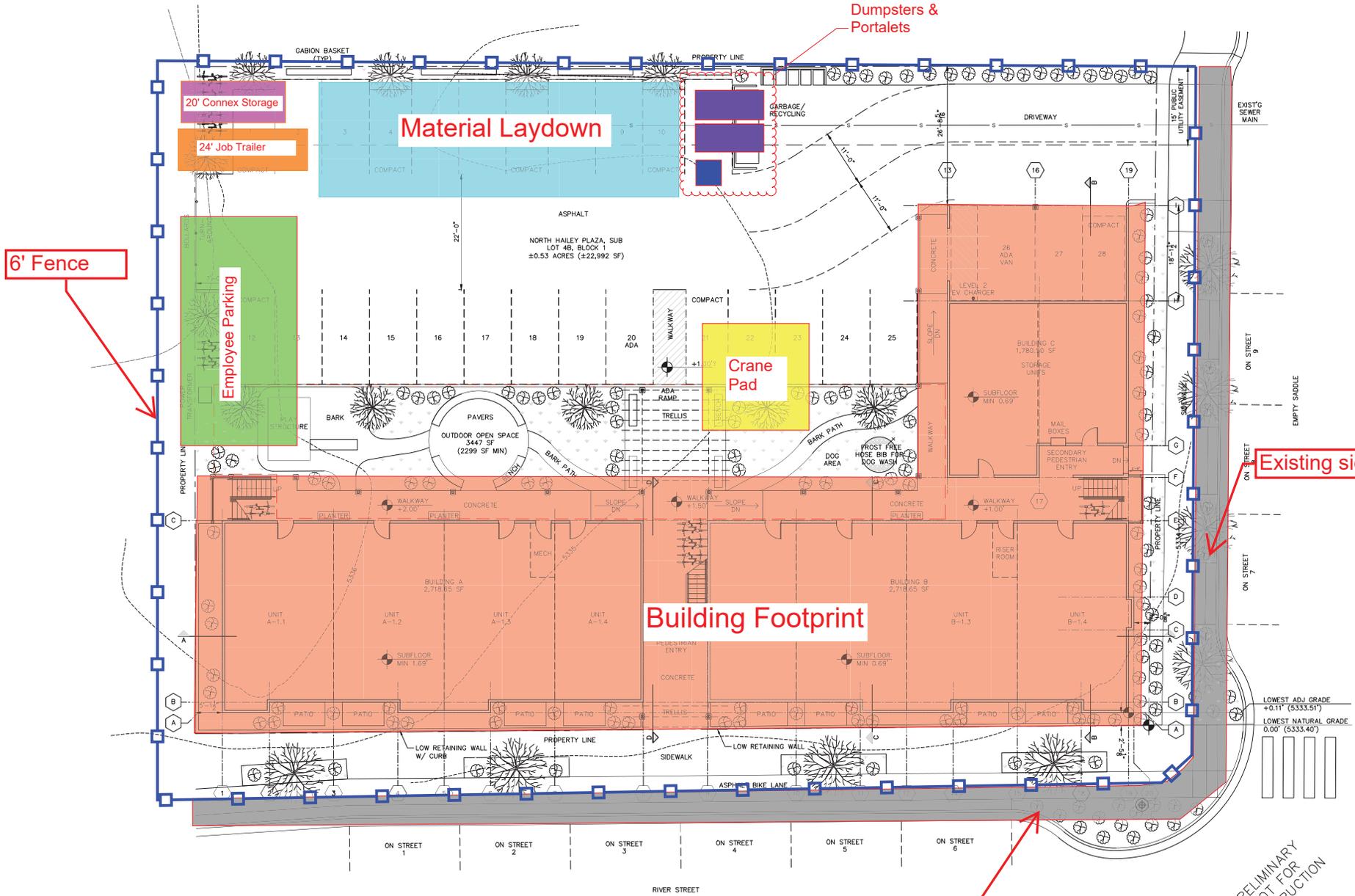
THIRD FLOOR  
EXTERIOR  
LIGHTING PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS	
SUBMIT DATE:	

SCALE 1/8"=1'-0"  
DATE 3/1/2022  
DRAWING NO.

E1.03



STAGING & CONTRACTOR PARKING PLAN

SITE PLAN

1/8"=1'-0"

Existing sidewalk

PRELIMINARY  
NOT FOR  
CONSTRUCTION

REBECCA F. BUNDY, ARCHITECT, PLLC  
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KETCHUM, ID 83340  
(208) 720-1832  
REBECCA@RFBUNDYDESIGN.COM

SITE PLAN

SADDLE LOFTS  
N HAILEY PLAZA, SBLT 4B, BLK 1  
HAILEY, IDAHO  
NEW MULTI-FAMILY CONSTRUCTION

REVISION STATUS
SUBMIT DATE:

SCALE 1/8"=1'-0"  
DATE 1/25/2022  
DRAWING NO.



11:00 am

**Saddle Lofts Sun Study  
June 21**



12:00 am



---

1:00 pm



---

2:00 pm



---

3:00 pm



---

4:00 pm



---

5:00 pm



---

6:00 pm



7:00 pm

**Saddle Lofts**  
**Design Review Application**  
**2/10/2022**

**Exterior Lighting Cut Sheets**



**PRODUCT DESCRIPTION**

With solid Die-Cast Aluminum construction and powered by a range voltage input driver, Pathfinder is a high performance down light for commercial and residential installations. Available in Black, Architectural Bronze, or Metallic Sliver there is sure to be a style to fit most any installation.

**MEASUREMENTS**

DIMENSION : 5.5" W x 5.5" H x 4" Ext  
 BACK PLATE : 5.5" W x 5.5" H x 2.75" HCO  
 HANGING WEIGHT : 2.2 lb

**LAMPING**

INPUT VOLTAGE : 120-277V  
 LUMENS : 880 Rated (820 Del.)  
 BULB : 1 x 15W LED PCB Integrated , 15W Total  
 BULB INCLUDED : (Integrated)  
 DIMMABLE : Dimmable at 120V with ELV  
 CRI : 80 CRI  
 COLOR\_TEMP : 3000K  
 LIGHTING\_DIRECTION : Down

**FINISHES OPTION**

-  Architectural Bronze
-  Black
-  Silver

**MATERIAL**

Die Cast Aluminum

**RATINGS**

cETLus  
 Wet Location  
 For Outdoor DARKSKY



**ADDITIONAL**

INSTALL UP/DOWN: Up/Down  
 OPERATING TEMPERATURE:  
 -20°C (-4°F), 40°C (104°F)

Always consult a qualified electrician before installing any lighting product.



**WESTERN DISTRIBUTION CENTER (HEADQUARTER)**  
 253 NORTH VINELAND AVE | CITY OF INDUSTRY, CA 91746

**EASTERN DISTRIBUTION CENTER**  
 4200 SHIRLEY DR. | ATLANTA, GA 30336

P. 626.956.4200 | F. 626.956.4225 | maximlighting.com

# HOPOO GONIOPHOTOMETERS SYSTEM TEST REPORT

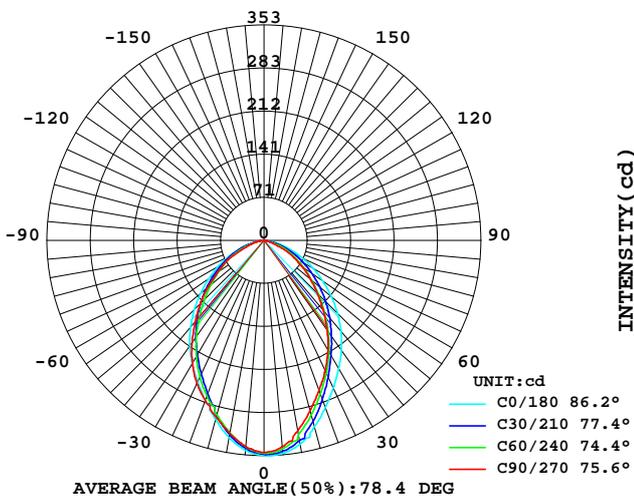
## LUMINAIRE PHOTOMETRIC TEST REPORT

Report number:

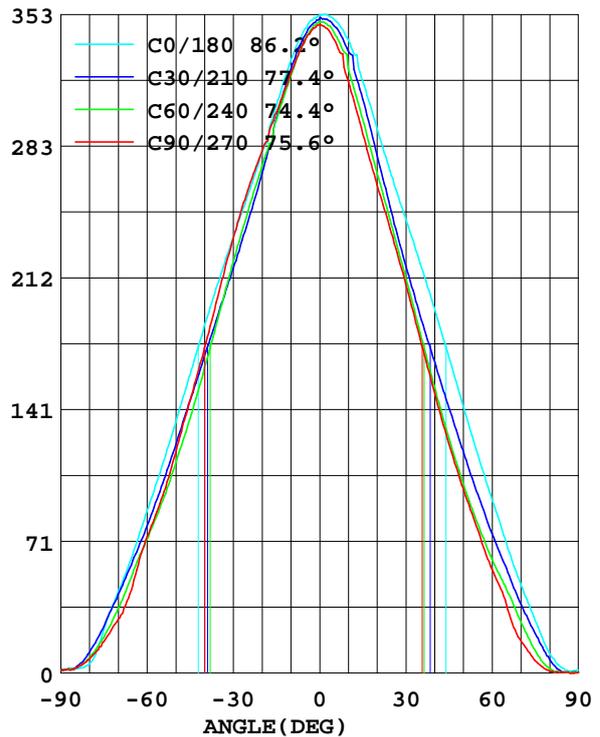
MANUFACTURER:	Address:		
NAME: W1906-WW	TYPE:	WEIGHT:	
SPECIFICATION:	DIMENSION:	SERIAL No.:	

DATA OF LAMP		I <sub>max</sub> (cd)	353.4	S/MH(C0/180)	1.01
MODEL		EFFICIENCY(%)	100.0	S/MH(C90/270)	1.03
NOMINAL POWER(W)	14	TOTAL FLUX(lm)	622.23	Voltage(V)	120.4
RATED VOLTAGE(V)	120	EFFICIENCY(lm/W)	41.5	Current(A)	0.124
NOMINAL FLUX(lm)	622.2	η up(%)	0.0	Power(W)	14.98
LAMPS QUANTITY	1	η down(%)	100.0	Power Factor(PF)	0.996
TEST VOLTAGE(V)	120.4	Effective Flux(lm)	0.0	EEI	0.000

LUMINOUS INTENSITY DISTRIBUTION



LUMINOUS INTENSITY DISTRIBUTION



Test System:HOPOO HPG1600  
 Temperature:25.3DEG  
 Operators:  
 Test Date:2020年06月24日

Test Set: 5.0deg/s C-Gamma (TYPE C)  
 Humidity:65.0%  
 Test Distance:10.400 m  
 Remarks:

Color Temperature Data List

Report number:

MANUFACTURER:	Address:	
NAME: W1906-WW	TYPE:	WEIGHT:
SPECIFICATION:	DIMENSION:	SERIAL No.:

---

Test System:HOPOO HPG1600  
Temperature:25.3DEG  
Operators:  
Test Date:2020年06月24日

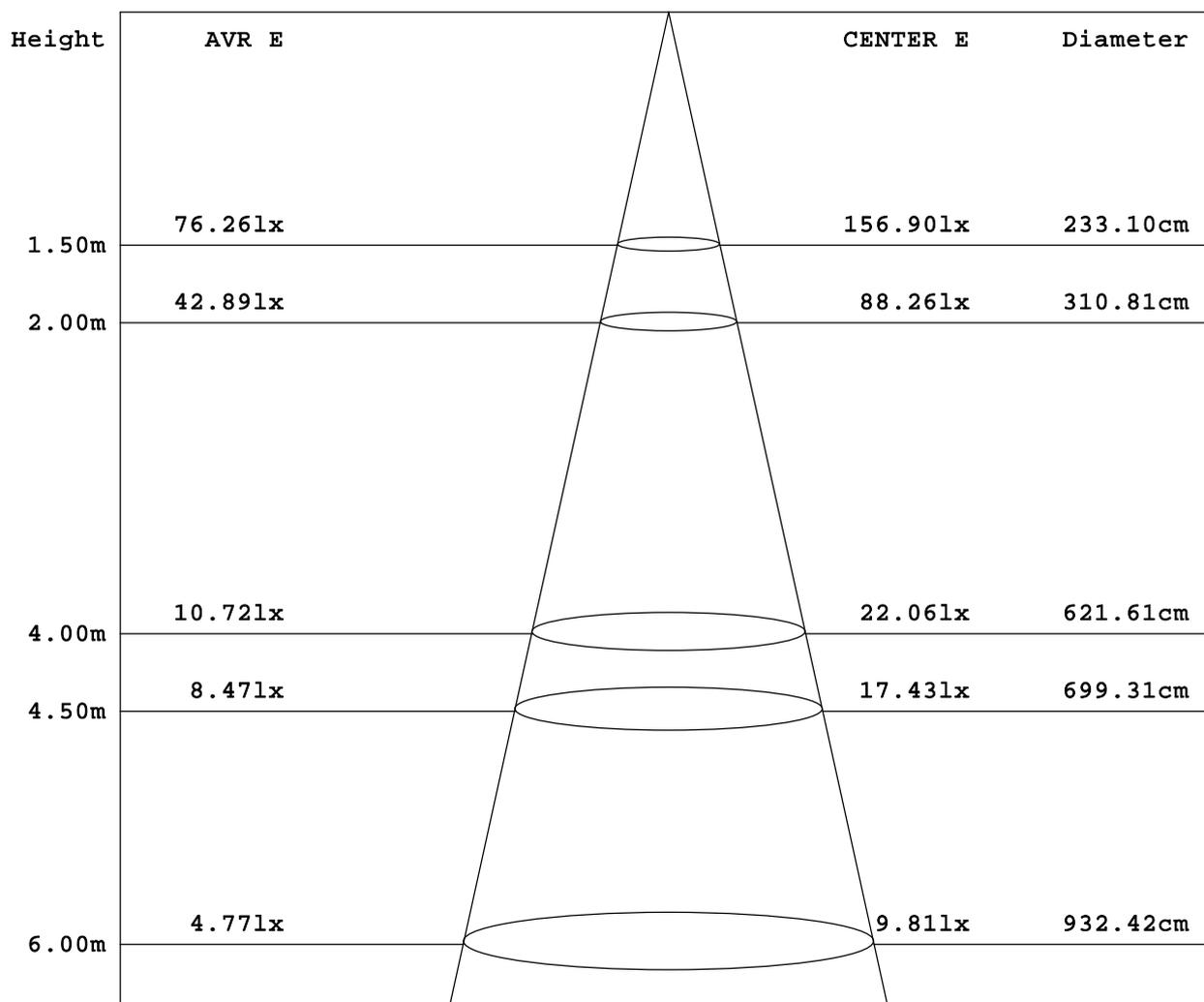
Test Set: 5.0deg/s C-Gamma (TYPE C)  
Humidity:65.0%  
Test Distance:10.400 m  
Remarks:

HOPOO GONIOPHOTOMETERS SYSTEM TEST REPORT

AVERAGE AND CENTER E Figure

Report number:

MANUFACTURER:	Address:	
NAME: W1906-WW	TYPE:	WEIGHT:
SPECIFICATION:	DIMENSION:	SERIAL No.:



Angle: 75.7deg

Test System: HOPOO HPG1600  
 Temperature: 25.3DEG  
 Operators:  
 Test Date: 2020年06月24日

Test Set: 5.0deg/s C-Gamma (TYPE C)  
 Humidity: 65.0%  
 Test Distance: 10.400 m  
 Remarks:

HOPOO GONIOPHOTOMETERS SYSTEM TEST REPORT

ZONAL FLUX DIAGRAM

Report number:

MANUFACTURER:	Address:	
NAME: W1906-WW	TYPE:	WEIGHT:
SPECIFICATION:	DIMENSION:	SERIAL No.:

γ	C0	C45	C90	C135	C180	C225	C270	C315	γ	zone	total
5.0	345.8	339.2	339.5	342.0	350.9	347.1	340.0	339.0	0- 5	8.260	8.260
10.0	328.9	317.1	321.7	324.5	339.8	331.7	317.7	319.9	5- 10	23.86	32.12
15.0	304.5	291.4	300.9	302.3	317.5	306.8	289.3	292.7	10- 15	37.01	69.13
20.0	278.8	263.6	280.0	276.0	292.2	276.3	261.8	260.3	15- 20	47.09	116.2
25.0	256.5	236.9	259.1	248.4	267.0	246.3	236.1	230.3	20- 25	54.43	170.6
30.0	234.0	211.7	233.5	222.8	243.9	217.2	208.5	203.2	25- 30	59.10	229.7
35.0	210.3	185.6	204.3	196.0	219.5	189.2	179.1	177.9	30- 35	61.04	290.8
40.0	186.6	159.5	174.5	170.6	195.4	162.2	150.1	152.9	35- 40	60.29	351.1
45.0	160.0	135.0	146.3	146.3	169.5	137.3	122.9	129.6	40- 45	57.21	408.3
50.0	134.4	111.4	118.3	121.8	143.2	113.0	98.96	106.9	45- 50	52.26	460.5
55.0	109.7	89.55	93.23	98.96	117.2	90.74	76.79	85.55	50- 55	45.84	506.4
60.0	87.17	70.84	73.00	78.74	93.01	71.16	55.70	66.51	55- 60	38.57	545.0
65.0	63.70	53.32	46.83	59.92	69.65	53.53	36.55	48.88	60- 65	30.83	575.8
70.0	43.69	35.58	28.87	43.37	47.48	37.20	17.41	32.23	65- 70	22.25	598.1
75.0	23.68	19.36	16.98	25.95	28.22	20.22	6.597	16.76	70- 75	14.17	612.2
80.0	4.975	6.705	7.354	11.14	10.38	6.381	0.865	5.299	75- 80	6.985	619.2
85.0	2.163	0.973	2.704	1.946	2.271	2.271	0.541	2.163	80- 85	2.261	621.5
90.0	1.514	0.649	1.406	0.433	1.622	1.406	0.433	1.297	85- 90	0.707	622.2
95.0									90- 95		
100.0									95-100		
105.0									100-105		
110.0									105-110		
115.0									110-115		
120.0									115-120		
125.0									120-125		
130.0									125-130		
135.0									130-135		
140.0									135-140		
145.0									140-145		
150.0									145-150		
155.0									150-155		
160.0									155-160		
165.0									160-165		
170.0									165-170		
175.0									170-175		
180.0									175-180		
DEG	LUMINOUS INTENSITY:cd									UNIT:lm	

Test System:HOPOO HPG1600  
 Temperature:25.3DEG  
 Operators:  
 Test Date:2020年06月24日

Test Set: 5.0deg/s C-Gamma (TYPE C)  
 Humidity:65.0%  
 Test Distance:10.400 m  
 Remarks:

HOPOO GONIOPHOTOMETERS SYSTEM TEST REPORT

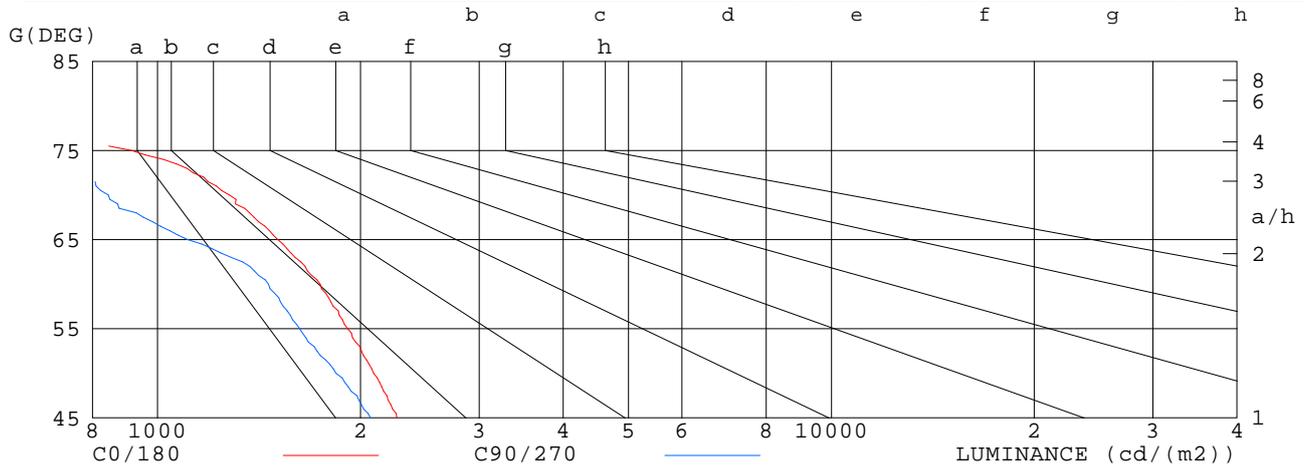
LUMINANCE LIMITATION CURVES

Report number:

<b>MANUFACTURER:</b>		<b>Address:</b>	
<b>NAME: W1906-WW</b>		<b>TYPE:</b>	<b>WEIGHT:</b>
<b>SPECIFICATION:</b>		<b>DIMENSION:</b>	<b>SERIAL No.:</b>

LUMINANCE LIMITATION CURVES

GLARE	CLASS	ILLUMINANCE (lx)							
		2000	1000	500	<=300				
1.15	A								
1.50	B		2000	1000	500	<=300			
1.85	C			2000	1000	500	<=300		
2.20	D				2000	1000	500	<=300	
2.55	E					2000	1000	500	<=300



LUMINANCE cd/(m2)		
G (DEG)	C0/180	C90/270
85	248	310
80	287	424
75	915	656
70	1278	844
65	1507	1108
60	1744	1460
55	1914	1625
50	2092	1841
45	2264	2070

Test System:HOPOO HPG1600  
 Temperature:25.3DEG  
 Operators:  
 Test Date:2020年06月24日

Test Set: 5.0deg/s C-Gamma (TYPE C)  
 Humidity:65.0%  
 Test Distance:10.400 m  
 Remarks:

Project		Catalog #		Type	
Prepared by		Notes		Date	



# HALO

## HLB6

### 6" LED Lens Downlight with Remote Driver / Junction Box

#### Typical Applications

Residential

#### Interactive Menu

- Order Information page 2
- Photometric Data page 2
- Energy Data page 3
- Product Specifications page 3
- Product Warranty
- Dimming Guide

#### Product Certification



Refer to ENERGY STAR® Certified Products List.  
Can be used to comply with California Title 24 High Efficacy requirements.  
Certified to California Appliance Efficiency Database under JAB.

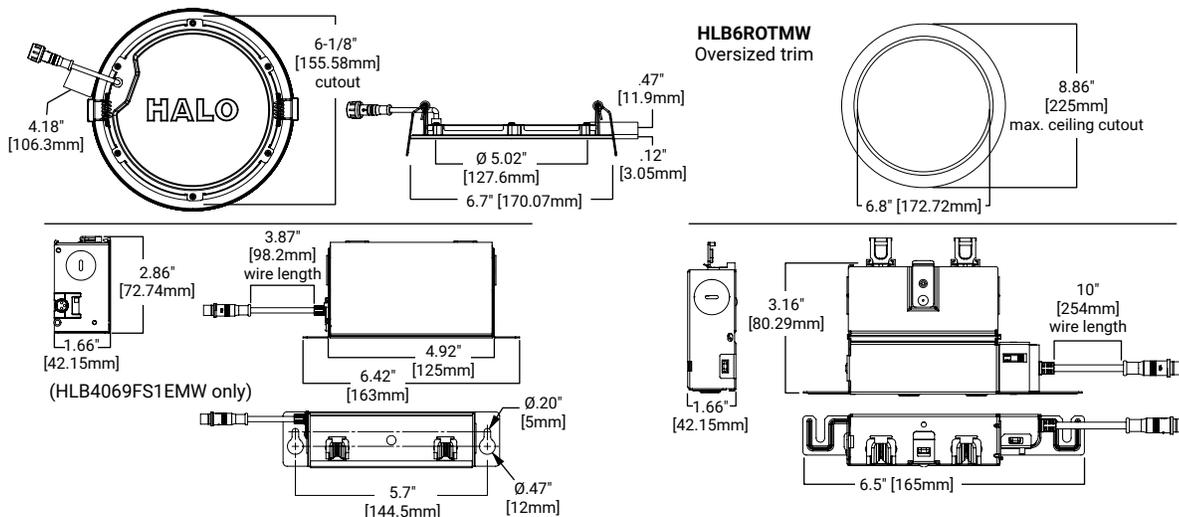
#### Product Features



#### Top Product Features

- Direct mount (does not require recessed housing or junction box)
- Delivers up to 1,150 lumens; Achieves L70 at 50,000 hours in IC and non-IC applications
- 2700K, 3000K, 3500K, 4000K and 5000K field selectable CCT; 3000K and 4000K fixed CCT
- 90 CRI (min), R9 50 and color accuracy within 4 SDCM
- Wet location listed for showers and protected ceilings; Available in 120V or 120-277V

#### Dimensional and Mounting Details



## Order Information

SAMPLE ORDER NUMBER: **HLB6099FS1EMWR**

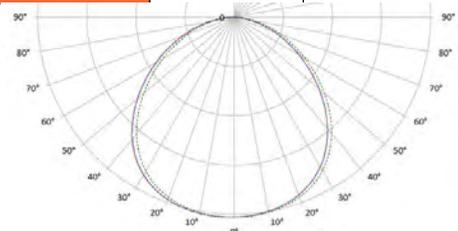
Models	Lumens	CRI / CCT	Driver	Finish	Packaging
<b>HLB6</b> = 6-Inch LED lens downlight with remote driver / junction box	<b>09</b> = 900 lumens (nominal)	<b>930</b> = 90 CRI minimum, 3000K CCT <b>940</b> = 90 CRI minimum, 4000K CCT <b>9FS</b> = 90 CRI minimum, field selectable 2700K, 3000K, 3500K, 4000K or 5000K CCT	<b>1E</b> = 120V 60Hz, LE & TE phase cut 5% dimming <b>E010</b> = 120-277V, 0-10V 5% dimming <sup>(1)</sup>	<b>MW</b> = matte white flange	<b>R</b> = recyclable 4-color unit carton suitable for point of purchase merchandising display
<b>Notes</b>	<b>Notes</b>	<b>Notes</b>	<b>Notes</b> (1) E010 driver is only available in FS color temperature.	<b>Notes</b>	<b>Notes</b>

### Accessories

Accessories	
<b>HL6RSMF</b> = 6" round and square mounting frame <b>HLB6ROTMW</b> = 6" round oversized trim, matte white  <b>Designer Trims</b> <b>HLB6RTRMMW</b> = 6" round decorative overlay, matte white <b>HLB6RTRMSN</b> = 6" round decorative overlay, satin nickel <b>HLB6RTRMTBZ</b> = 6" round decorative overlay, tuscan bronze	<b>Extension Cable   Dedicated Driver/Jbox</b> <b>HLB06EC</b> - 6 ft. extension cable <b>HLB12EC</b> - 12 ft. extension cable <b>HLB20EC</b> - 20 ft. extension cable  <b>Extension Cable   selectable Driver/Jbox</b> <b>HLB06FSEC</b> - 6 ft. extension cable <b>HLB12FSEC</b> - 12 ft. extension cable <b>HLB20FSEC</b> - 20 ft. extension cable

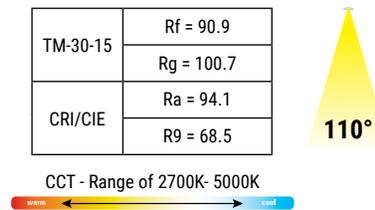
## Photometric Data

HLB6099FS1EMWR-3000K		
Luminaire lumens	1023	
Input watts	13.8	
LER (LPW)	74.1	
Spacing Criteria	0-180	1.31
	90-270	1.31
	Diagonal	1.41
Beam angle (degrees)	112.2	
Field angle (degrees)	161.3	
Zonal lumen	Lumens	% Lumens
0-30	294	27.7
0-40	486	45.8
0-60	851	80.2
0-90	1061	100



\* Tested in accordance with IES LM63. Field results may vary.

### Color Metric Summary - 3000K



### Product Specifications

## PRODUCT SPECIFICATIONS

<b>Lumens</b>	<b>1023</b>
<b>Watts</b>	<b>13.8</b>
<b>Lumens Per Watt (Efficacy)</b>	<b>74.1</b>
<b>Color Accuracy (CRI)</b>	<b>94</b>
<b>Light Color (CCT)</b> <small>Correlated Color Temperature (CCT)</small>	<b>3000K</b>

2700K    3000K    4500K    6500K

HLB6 6-inch	CCT	Lumens	Power (W)	LPW
Fixed CCT	3000K	992.3	13.6	73.4
	4000K	1057.7	13.6	78.0
Field Selectable CCT	2700K	989	13.7	72.2
	3000K	1023	13.8	74.1
	3500K	1060	13.8	76.8
	4000K	1096	13.8	79.4
	5000K	1141	13.7	83.3

## Energy Data

Lumens	900 Series
Input Voltage	120V
Input Current	132 (mA)
Input Power	13.8 (W)
Efficiency	74.1 (LPW)
Inrush (A)	2.1 A @ 14mS
THD	≤ 20%
PF	≥ 0.90
T Ambient	-30° - +40°C
Sound Rating	≤ 22 dba

## Product Specifications

### Housing

- Die-cast aluminum mounting frame with integral flange provides passive thermal cooling
- Achieves L70 at 50,000 hours in IC and non-IC applications
- High impact diffuse lens provides shielding to the light guide minimizing pixilation

### Gasket

- Closed cell gasket achieves restrictive airflow and wet location listing without additional gaskets or caulking

### Optics

- Precision acrylic light guide organizes source flux into wide distribution with 1.4 spacing criteria, useful for general area illumination

### LED Array

- Plurality of mid power LED's provides a uniform source with high efficiency and long life
- 90 CRI minimum; R9 greater than 50 provides high color rendering
- Fixed 3000K and 4000K CCT color temperatures; color accuracy within 3 SDCM
- Optional field selectable color temperature, select 2700K, 3000K, 3500K, 4000K or 5000K CCT; color accuracy within 4 SDCM
- Meets ENERGY STAR® color angular uniformity requirements; Deviation is less than 0.006 u' v'

### Remote Driver/Junction Box

- Pre-galvanized steel driver/junction box with captive hinged junction box cover
- Listed for six #12 AWG 90° C splice conductors: two in, two out plus two ground
- Two 1/2" conduit pry-outs
- Two Slide-N-Side™ non-metallic (NM) wire traps allows wiring outside the box
- Accepts NM cable types: 14-2, 14-3, 12-2, 12-3 (U.S.) and 14-2, 14-3, 12-2 (Canadian)
- Three 4-port push wire nuts with clear caps for quick and reliable mains voltage connections
- Integral mounting holes facilitate direct mounting to building structure or mounting frame

### Driver

- Available in 120V or 120-277V, providing noise free operation
- Continuous flicker-free dimming down to 5% with select dimmers
- Plenum rated inline electrical quick connect provides low voltage connection to fixture fitting, CMP/FT6 rated

### Installation

- Can be installed in 1/2" to 1-1/4" thick ceilings
- Cutout utilizes standard round hole saw sizes; cutout template provided
- Heat treated springs hold fixture fitting securely in the ceiling eliminating light leak
- Housing is less than 1/2" thick and can span a 2" nominal framing member
- Can be removed from below the ceiling for service or replacement

### Optical Mounting Frame

- Pre-galvanized steel mounting frame locates fixture fittings during electrical rough-in and provides cutout guidance for drywall contractor
- Provides attachment of remote driver/junction box

### Compliance

- cULus Certified type IC suitable for direct contact with air permeable insulation
- Not recommended for use in direct contact with spray foam insulation (reference NEMA LSD57-2013)
- Wet location listed and IP44 ingress protection
- Airtight per ASTM-E283-04
- Suitable for use in clothes closets when installed in accordance with the NEC 410.16 spacing requirements
- EMI/RFI emissions per FCC 47CFR Part 15 consumer limits
- Contains no mercury or lead and RoHS compliant
- Photometric testing in accordance with IES LM-79-08
- Lumen maintenance projections in accordance with IES LM-80-08 and TM-21-11
- State of California Title 24 high efficacy
- LED compliance under JA8, reference Modernized Appliance Efficiency Database System (MAEDBS) for 2016 JA8 High Efficacy Lighting
- ENERGY STAR® certified (reference "Certified Light Fixtures" database)

### Warranty

- Five-year limited warranty

## DESCRIPTION

The Prevail™ LED pole and fixture combination makes selection and installation of poles and fixtures simple. Included is the die-cast Prevail area, site and roadway luminaire with standard mounting arm, square straight steel pole, anchor bolts, base cover, template and hardware. Stock configurations are available in single and dual fixture combinations. The Prevail luminaire delivers a new level of versatility and value in patent pending, architectural design that delivers energy savings greater than 85% and replaces 150-450W metal halide fixtures. The Prevail fixture and pole combo is ideal for general area/site lighting applications.

## SPECIFICATION FEATURES

### Construction

Construction is comprised of a heavy-duty, single-piece die-cast aluminum housing in dark bronze polyester powder paint. The die-cast aluminum door is tethered to provide easy access to the driver if replacement is required. The optics is mounted on a versatile, aluminum plate that dissipates heat from the LEDs resulting in longer life of the fixture. The fixture is IP66 and 3G vibration rated (ANSI C136.31).

### Optics

Available in Type III and IV distributions with lumen packages ranging from 7,000 to 20,000 nominal lumens. Light engine configurations consist of 1 or 2 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/50,000 hours at 25°C) per IESNA TM-21. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed.

### Electrical

Available in 120-277V 50/60Hz. 10kV/10kA surge protection standard. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such as dimming and occupancy. Suitable for ambient temperatures from -40°C to 40°C.

### Mounting

The versatile, patent pending, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the standard mounting arm enables wiring of the fixture without having to access the driver compartment. A knock-out on the standard mounting arm enables round pole mounting.

<b>Catalog #</b>		<b>Type</b>	
<b>Project</b>			
<b>Comments</b>		<b>Date</b>	
<b>Prepared by</b>			

### Pole

Shaft is one-piece construction ASTM A500 grade "B" steel, shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM A366 steel full base cover is provided to enclose base plate and anchor bolts. Anchor bolts are per ASTM A576 with two nuts, two flat washers, and one lock washer. Hardware and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt. 4" hook for 1" bolt.

### Finish

Housing and cast parts finished in five-stage super TGIC polyester bronze powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear.

### Warranty

Five-year warranty.

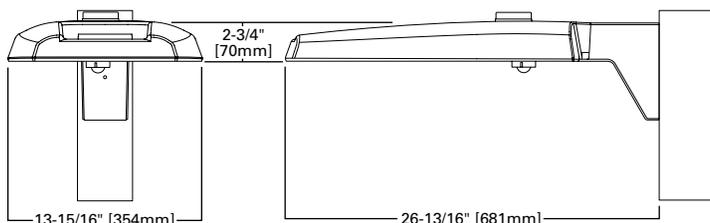


## PPFRV PREVAIL POLE AND FIXTURE COMBO

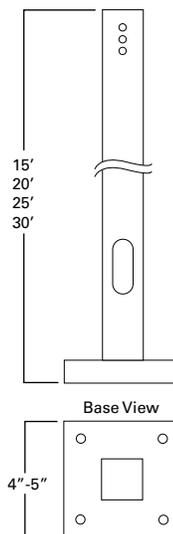
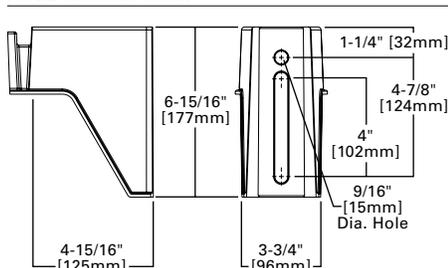
LED

POLE AND FIXTURE COMBO

## DIMENSIONS



## POLE MOUNT ARM



## CERTIFICATION DATA

UL and cUL Wet Location Listed  
IP66-Rated  
3G Vibration Rated  
ISO 9001

## ENERGY DATA

**Electronic LED Driver**  
0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277V/50 and 60Hz,  
347V/60Hz, 480V/60Hz  
-40°C Minimum Temperature Rating  
+40°C Ambient Temperature Rating

## EPA

**Effective Projected Area (Sq. Ft.): 0.75**  
(1 fixture)

## SHIPPING DATA

**Approximate Net Weight:**  
20lbs. [9.09 kgs.] (1 fixture)

**CONTROL OPTIONS**

**0-10V (D)**

This fixture is offered standard with 0-10V dimming wire leads for use with a lighting control panel or other control method.

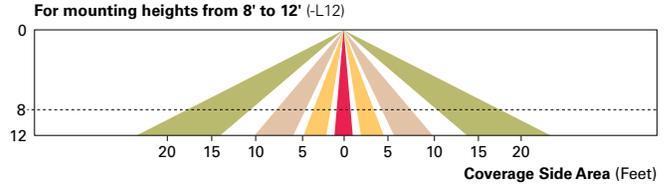
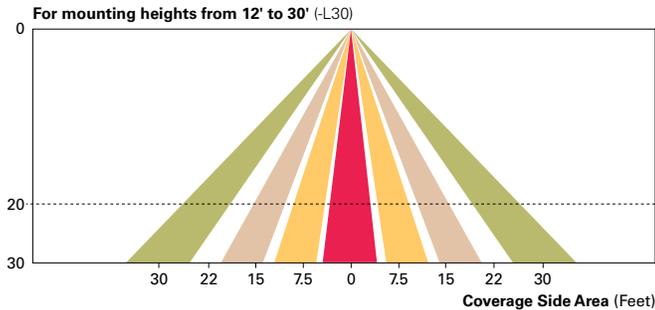
**Photocontrol (PER and PER7)**

Photocontrol receptacles provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

**Dimming Occupancy Sensor (MSP/DIM-LXX)**

These sensors are factory installed in the luminaire housing. When a sensor for dimming operation (/DIM) is selected, the luminaire will dim down to approximately 50 percent power after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output.

These occupancy sensors include an integral photocell that can be activated or inactivated with the programming remote / configuration tool for "dusk-to-dawn" control or "daylight harvesting". Note: For MSP sensors, the factory preset is ON (Enabled). The programming remote / tool is a wireless tool that can be utilized to change the dimming level, time delay, sensitivity and other parameters. A variety of sensor lenses are available to optimized the coverage pattern for mounting heights from 8'-30'.



**POWER AND LUMENS**

Light Engine		C15	C25	C40	C60
Nominal Power (Watts)		52W	96W	131W	153W
Input Current @ 120V (A)		0.43	0.80	1.09	1.32
Input Current @ 277V (A)		0.19	0.35	0.48	0.57
Type III	Lumens	7,111	13,183	17,144	20,050
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4
Type IV	Lumens	7,088	13,140	17,087	19,984
	BUG Rating	B1-U0-G3	B2-U0-G4	B2-U0-G4	B3-U0-G5

**LUMEN MAINTENANCE**

Ambient Temperature	TM-21 Lumen Maintenance (50,000 Hours)	Theoretical L70 (Hours)
25°C	> 91.30%	> 194,000
40°C	> 87.59%	> 134,000

**LUMEN MULTIPLIER**

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99

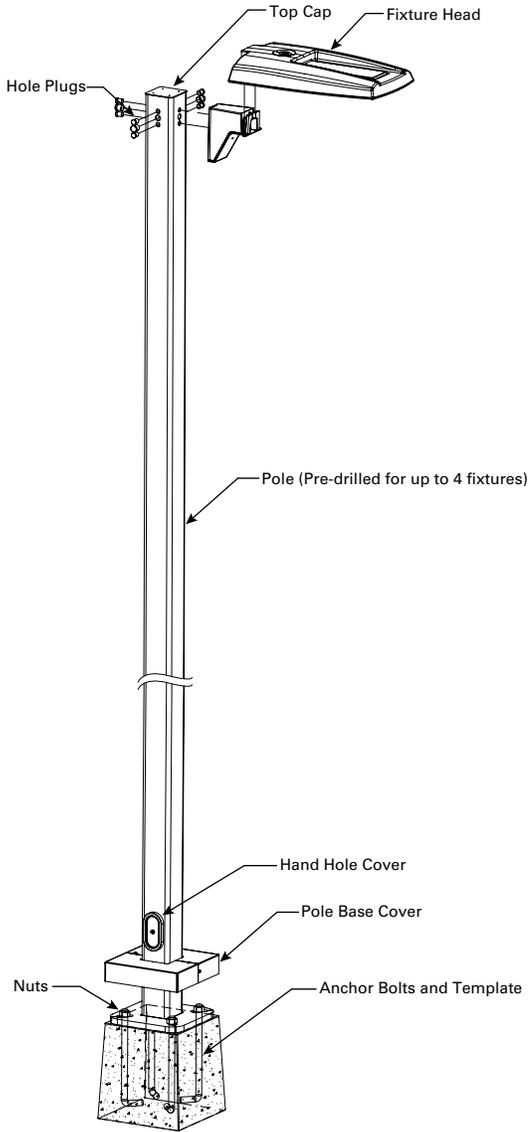
**ORDERING INFORMATION**

Sample Number: PFPRV-1-C25-T3-15-N/AB

Series 1,2	Number of Fixtures	Light Engine	Distribution	Pole Height	Maximum Wind Zone (MPH)	Options (Add as Suffix)	Accessories (Order Separately)
PFPRV=Prevail Pole and Fixture Combo	1=1 2=2 3=3 4=4	C15=(1 LED) 7,100 Nominal Lumens C25=(2 LED) 13,100 Nominal Lumens C40=(2 LED) 17,100 Nominal Lumens C60=(2 LED) 20,000 Nominal Lumens	T3=Type III T4=Type IV	15=15' 20=20' 25=25' 30=30'	Blank=80 9=90 0=100	N/AB=No Anchor Bolts (Used when ordered separately) HSS=House Side Shield 3 MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height PER=NEMA 3PIN Twistlock Photocontrol Receptacle 4 PER7=NEMA 7PIN Twistlock Photocontrol Receptacle 4	HS/VERD=House Side Shield 3

NOTES: 1 4000K CCT, standard bronze, 120-277V, 0-10V dimming. 2 Standard mount arm included with fixture. Supplied with straight steel shaft, anchor bolts, template, base cover and hardware. 3 HSS not available with C60 lumen package. Ordered as an option, it will come factory-installed. Ordered as a field-installable accessory, must order quantity one per optic/LED. 4 Not available with MSP options.

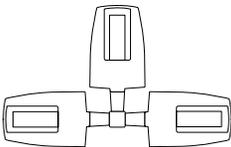
**PREVAIL POLE AND FIXTURE COMBO**

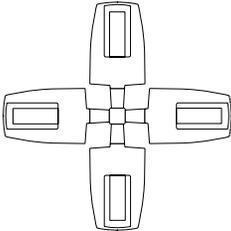


**INCLUDED POLE REFERENCE TABLES**

1 Fixture (EPA= 0.75)		Wind Zone (MPH)		
	Pole Height (Feet)	80	90	100
	15	SSS4A15SFM4 <sup>1</sup>		
	20	SSS4A20SFM4 <sup>1</sup>		
	25	SSS4A25SFM4 <sup>1</sup>	SSS5A25SFM4 <sup>2</sup>	
	30	SSS5A30SFM4 <sup>2</sup>	SSS5M30SFM4 <sup>2</sup>	

2 Fixtures (EPA= 1.50)		Wind Zone (MPH)		
	Pole Height (Feet)	80	90	100
	15	SSS4A15SFM4 <sup>1</sup>		
	20	SSS4A20SFM4 <sup>1</sup>		
	25	SSS4A25SFM4 <sup>1</sup>	SSS5A25SFM4 <sup>2</sup>	
	30	SSS5A30SFM4 <sup>2</sup>	SSS5M30SFM4 <sup>2</sup>	

3 Fixtures (EPA= 2.25)		Wind Zone (MPH)		
	Pole Height (Feet)	80	90	100
	15	SSS4A15SFM4 <sup>1</sup>		
	20	SSS4A20SFM4 <sup>1</sup>		
	25	SSS4A25SFM4 <sup>1</sup>	SSS5A25SFM4 <sup>2</sup>	
	30	SSS5A30SFM4 <sup>2</sup>	SSS5M30SFM4 <sup>2</sup>	

4 Fixtures (EPA= 3.00)		Wind Zone (MPH)		
	Pole Height (Feet)	80	90	100
	15	SSS4A15SFM4 <sup>1</sup>		
	20	SSS4A20SFM4 <sup>1</sup>		
	25	SSS4A25SFM4 <sup>1</sup>	SSS5A25SFM4 <sup>2</sup>	
	30	SSS5A30SFM4 <sup>2</sup>	SSS5M30SFM4 <sup>2</sup>	

**NOTES:**  
 1. Uses hardware kit POLSSHDWC4FCHHP.  
 2. Uses hardware kit POLSSHDWC5FCHHP.

## DESCRIPTION

The patented Lumark Crosstour™ MAXX LED wall pack series of luminaires provides low-profile architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction, back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall/surface, inverted mount for facade/canopy illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

## SPECIFICATION FEATURES

### Construction

Low-profile LED design with rugged one-piece, die-cast aluminum back box and hinged removable door. Matching housing styles incorporate both a full cutoff and refractive lens design. Full cutoff and refractive lens models are available in 58W, 81W and 102W. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes four 1/2" NPT threaded conduit entry points. The back box is secured by four lag bolts (supplied by others). External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Not recommended for car wash applications.

### Optical

Silicone sealed optical LED chamber incorporates a custom engineered reflector providing high-efficiency illumination. Full cutoff models integrate an impact-resistant molded refractive prism optical lens assembly meeting requirements for Dark Sky compliance. Refractive lens models incorporate a molded lens

assembly designed for maximum forward throw. Solid state LED Crosstour MAXX luminaires are thermally optimized with eight lumen packages in cool 5000K, neutral 4000K, or warm 3000K LED color temperature (CCT).

### Electrical

LED driver is mounted to the die-cast aluminum housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 58W, 81W and 102W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C [122°F] models available in 58W and 81W models only. Crosstour MAXX luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Four half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz, 480V 60Hz, or 347V 60Hz electrical operation. 480V is compatible for use with 480V Wye systems only.

### Emergency Egress

Optional integral cold weather battery emergency egress includes emergency operation test switch (available in 58W and 81W models only), an AC-ON indicator light and a premium extended rated sealed maintenance-free nickel-metal hydride battery pack. The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

### Finish

Crosstour MAXX is protected with a super TGIC carbon bronze or summit white polyester powder coat paint. Super TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life. Options to meet Buy American and other domestic preference requirements.

### Warranty

Five-year warranty.



## XTOR CROSSTOUR MAXX LED

APPLICATIONS:  
WALL / SURFACE  
INVERTED  
SITE LIGHTING



### CERTIFICATION DATA

UL/cUL Wet Location Listed  
Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)  
DesignLights Consortium® Qualified\*  
LM79 / LM80 Compliant  
ROHS Compliant  
NOM Compliant Models  
3G Vibration Tested  
UL924 Listed (CBP Models)  
IP66 Rated

### TECHNICAL DATA

40°C Ambient Temperature  
External Supply Wiring 90°C Minimum

### EPA

Effective Projected Area (Sq. Ft.):  
XTOR6B, XTOR8B, XTOR12B=0.54

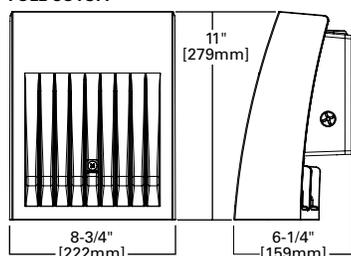
### SHIPPING DATA:

Approximate Net Weight:  
12-15 lbs. [5.4-6.8 kgs.]

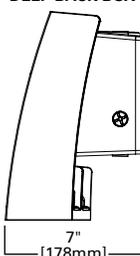
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## DIMENSIONS

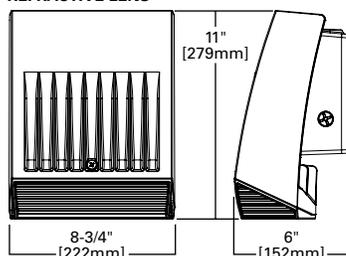
### FULL CUTOFF



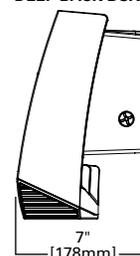
### DEEP BACK BOX



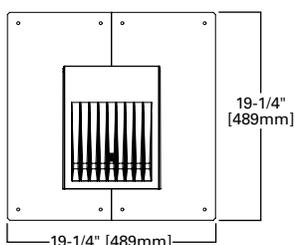
### REFRACTIVE LENS



### DEEP BACK BOX



## ESCUTCHEON PLATES

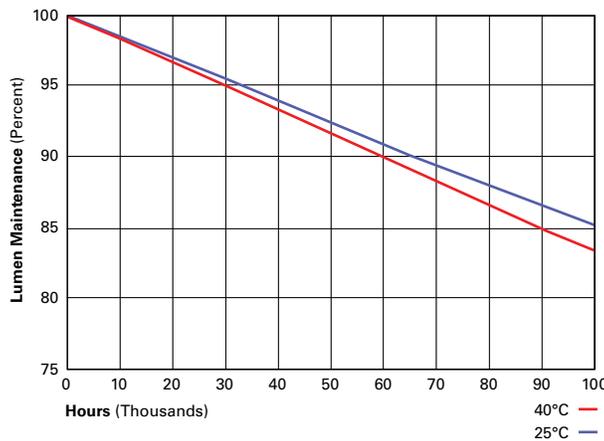


**POWER AND LUMENS BY FIXTURE MODEL**

58W Series						
LED Information	XTOR6B	XTOR6BRL	XTOR6B-W	XTOR6BRL-W	XTOR6B-Y	XTOR6BRL-Y
Delivered Lumens	6,129	6,225	6,038	6,133	5,611	5,826
B.U.G. Rating	B1-U0-G1	B2-U4-G3	B1-U0-G1	B2-U4-G3	B1-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	58W	58W	58W	58W	58W	58W
81W Series						
LED Information	XTOR8B	XTOR8BRL	XTOR8B-W	XTOR8BRL-W	XTOR8B-Y	XTOR8BRL-Y
Delivered Lumens	8,502	8,635	8,373	8,504	7,748	8,079
B.U.G. Rating	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	81W	81W	81W	81W	81W	81W
102W Series						
LED Information	XTOR12B	XTOR12BRL	XTOR12B-W	XTOR12BRL-W	XTOR12B-Y	XTOR12BRL-Y
Delivered Lumens	12,728	13,458	12,539	13,258	11,861	12,595
B.U.G. Rating	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3	B2-U0-G1	B2-U4-G3
CCT (Kelvin)	5000K	5000K	4000K	4000K	3000K	3000K
CRI (Color Rendering Index)	70	70	70	70	70	70
Power Consumption (Watts)	102W	102W	102W	102W	102W	102W
EGRESS Information	XTOR6B and XTOR8B Full Cutoff CBP Egress LED			XTOR6B and XTOR8B Refractive Lens CBP Egress LED		
Delivered Lumens	509			468		
B.U.G. Rating	N.A.			N.A.		
CCT (Kelvin)	4000K			4000K		
CRI (Color Rendering Index)	65			65		
Power Consumption (Watts)	1.8W			1.8W		

**LUMEN MAINTENANCE**

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
<b>XTOR6B Model</b>		
25°C	> 90%	246,000
40°C	> 88%	217,000
50°C	> 88%	201,000
<b>XTOR8B Model</b>		
25°C	> 89%	219,000
40°C	> 87%	195,000
50°C	> 86%	181,000
<b>XTOR12B Model</b>		
25°C	> 89%	222,000
40°C	> 87%	198,000



**CURRENT DRAW**

Voltage	Model Series				
	XTOR6B	XTOR8B	XTOR12B	XTOR6B-CBP (Fixture/Battery)	XTOR8B-CBP (Fixture/Battery)
120V	0.51	0.71	0.94	0.60/0.25	0.92/0.25
208V	0.25	0.39	0.52	--	--
240V	0.25	0.35	0.45	--	--
277V	0.22	0.31	0.39	0.36/0.21	0.50/0.21
347V	0.19	0.25	0.33		--
480V	0.14	0.19	0.24		--

**ORDERING INFORMATION**

Sample Number: XTOR6B-W-WT-PC1

Domestic Preferences <sup>17</sup>	Series <sup>1</sup>	LED Kelvin Color	Housing Color	Options (Add as Suffix)
[Blank]=Standard BAA=Buy American Act TAA=Trade Agreements Act	<b>Full Cutoff</b> XTOR6B=58W XTOR8B=81W XTOR12B=102W  <b>Refractive Lens</b> XTOR6BRL=58W XTOR8BRL=81W XTOR12BRL=102W	[Blank]=Bright White (Standard) 5000K W=Neutral, 4000K Y=Warm, 3000K	[Blank]=Carbon Bronze (Standard) WT=Summit White BK=Black BZ=Bronze AP=Grey GM=Graphite Metallic DP=Dark Platinum	<b>347V</b> =347V <sup>2,3,4,5</sup> <b>480V</b> =480V <sup>2,3,4,5,6</sup> <b>PC1</b> =Photocontrol 120V <sup>7</sup> <b>PC2</b> =Photocontrol 208-277V <sup>7,8</sup> <b>MS-L20</b> =Motion Sensor for ON/OFF Operation <sup>2,3,9,10</sup> <b>MS/DIM-L20</b> =Motion Sensor for Dimming Operation <sup>2,3,9,10,11,12,13</sup> <b>CBP</b> =Cold Weather Battery Pack <sup>2,3,14,15,16</sup> <b>HA</b> =50°C High Ambient <sup>16</sup>
<b>Accessories (Order Separately)<sup>18</sup></b>				
<b>WG-XTORMX</b> =Crosstour MAXX Wire Guard <b>PB120V</b> =Field Installed 120V Photocontrol <b>PB277V BUTTON PC</b> =Field Installed 208-277V Photocontrol <sup>8</sup>			<b>EWP/XTORMX</b> =Escutcheon Wall Plate, Carbon Bronze <b>EWP/XTORMX-WT</b> =Escutcheon Wall Plate, Summit White <b>FSIR-100</b> =Wireless Configuration Tool for Occupancy Sensor <sup>13</sup>	

- NOTES:**
- DesignLights Consortium<sup>®</sup> Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.
  - Not available with HA option.
  - Deep back box is standard for 347V, 480V, CBP, MS-L20 and MS/DIM-L20.
  - Not available with CBP option.
  - Thru-branch wiring not available with HA option or with 347V.
  - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
  - Not available with MS-L20 and MS/DIM-L20 options.
  - Use PC2 with 347V or 480V option for photocontrol. Factory wired to 208-277V lead.
  - For use in downlight orientation only. Optimal coverage at mounting heights of 9'-20'.
  - 120V thru 277V only.
  - Factory set to 50% power reduction after 15-minutes of inactivity. Dimming driver included.
  - Includes integral photo sensor.
  - The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff, and more. Consult your lighting representative at Cooper Lighting Solutions for more information.
  - 120V or 277V operation only.
  - Operating temperatures -20°C to 25°C.
  - Not available in XTOR12B or XTOR12BRL models.
  - Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCES](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
  - Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.

**STOCK ORDERING INFORMATION**

Domestic Preferences <sup>1</sup>	58W Series	81W Series	102W Series
[Blank]=Standard	<b>Full Cutoff</b>		
BAA=Buy American Act	XTOR6B=58W, 5000K, Carbon Bronze	XTOR8B=81W, 5000K, Carbon Bronze	XTOR12B=102W, 5000K, Carbon Bronze
TAA=Trade Agreements Act	XTOR6B-PC1=58W, 5000K, 120V PC, Carbon Bronze	XTOR8B-PC1=81W, 5000K, 120V PC, Carbon Bronze	
	XTOR6B-WT= 58W, 5000K, Summit White	XTOR8B-WT=81W, 5000K, Summit White	
	XTOR6B-W=58W, 4000K, Carbon Bronze	XTOR8B-PC2=81W, 5000K, 208-277V PC, Carbon Bronze	
	XTOR6B-PC2= 58W, 5000K, 208-277V PC, Carbon Bronze	XTOR8B-347V=81W, 5000K, Carbon Bronze, 347V	
	<b>Refractive Lens</b>		
	XTOR6BRL=58W, 5000K, Refractive Lens, Carbon Bronze	XTOR8BRL=81W, 5000K, Refractive Lens, Carbon Bronze	XTOR12BRL=102W, 5000K, Refractive Lens, Carbon Bronze
	XTOR6BRL-PC1=58W, 5000K, Refractive Lens, 120V PC, Carbon Bronze	XTOR8BRL-PC1=81W, 5000K, Refractive Lens, 120V PC, Carbon Bronze	XTOR12BRL-W=102W, 4000K, Refractive Lens, Carbon Bronze
	XTOR6BRL-WT=58W, 5000K, Refractive Lens, Summit White	XTOR8BRL-WT=81W, 5000K, Refractive Lens, Summit White	XTOR12BRL-347V=102W, 5000K, Refractive Lens, Carbon Bronze, 347V
	XTOR6BRL-W=58W, 4000K, Refractive Lens, Carbon Bronze	XTOR8BRL-PC2=81W, 5000K, Refractive Lens, 208-277V PC, Carbon Bronze	
	XTOR6BRL-PC2=58W, 5000K, Refractive Lens, 208-277V PC, Carbon Bronze	XTOR8BRL-W=81W, 4000K, Refractive Lens, Carbon Bronze	
	XTOR6BRL-347V=58W, 5000K, Refractive Lens, Carbon Bronze, 347V	XTOR8BRL-347V = 81W, 5000K, Refractive Lens, Carbon Bronze, 347V	

- NOTES:**
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC PREFERENCES](#) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.



**Cooper Lighting Solutions**  
1121 Highway 74 South  
Peachtree City, GA 30269  
P: 770-486-4800  
www.cooperlighting.com

Specifications and dimensions subject to change without notice.



### GAF TIMBERLINE ASPHALT ROOF'S

# Color Availability

Most Popular (Available Nationwide)

**Barkwood**

**Charcoal**

**Shakewood**

**Weathered Wood**

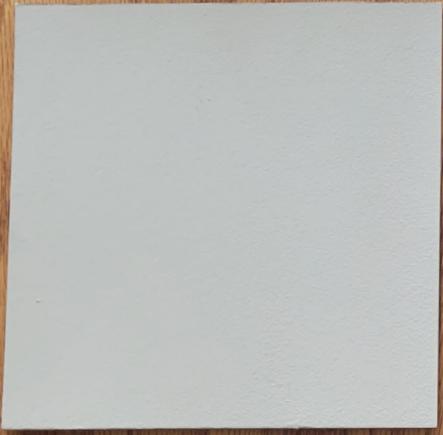
**Hunter Green**

**Slate**

**Hickory**

We can help you choose the right shingle for your roof!

Try GAF's Virtual Home Remodeler at [gaf.com](http://gaf.com). Visualize GAF shingles on a house like yours—or upload and decorate your own house. Try different siding, trim, and brick colors. It's fun!



## Jessica Parker

---

**From:** Rebecca Bundy <rebecca@RFBUNDYDESIGN.COM>  
**Sent:** Monday, April 25, 2022 2:01 PM  
**To:** Robyn Davis  
**Cc:** Scovell Susan  
**Subject:** Saddle Lofts Parking Lot Lighting  
**Attachments:** lumark-prevail-series-discrete-spec.pdf; poles-sss-square-straight-steel-spec.pdf; Saddle Lofts Parking Lot Rev 0.pdf

Hi Robyn –

I've attached the requested photometric study for the Saddle Lofts parking lot lighting. I sent the lighting engineer the code requirements and asked him to adjust the design accordingly. He has come up with an average lighting level of 1.26 fc (code requirement is max 1.5 fc) and containment of virtually all parking lot light on the property.

He selected a slightly different fixture that does a better job throwing light forward to minimize light leaving the property. A very low level of light (0.4 fc max) does leave the property right behind the fixtures on the east property line. In his opinion, "Zero trespass is not typically possible but I think what we have would be considered acceptable."

Here's a photo of the lighting level proposed (we proposing to be at the very low end of the lowest spectrum):

<https://lightpolesplus.com/foot-candle-reference-guide/>

Please let me know if this meets the City's requirements.

Thank you!

Rebecca F. Bundy, Architect, PLLC

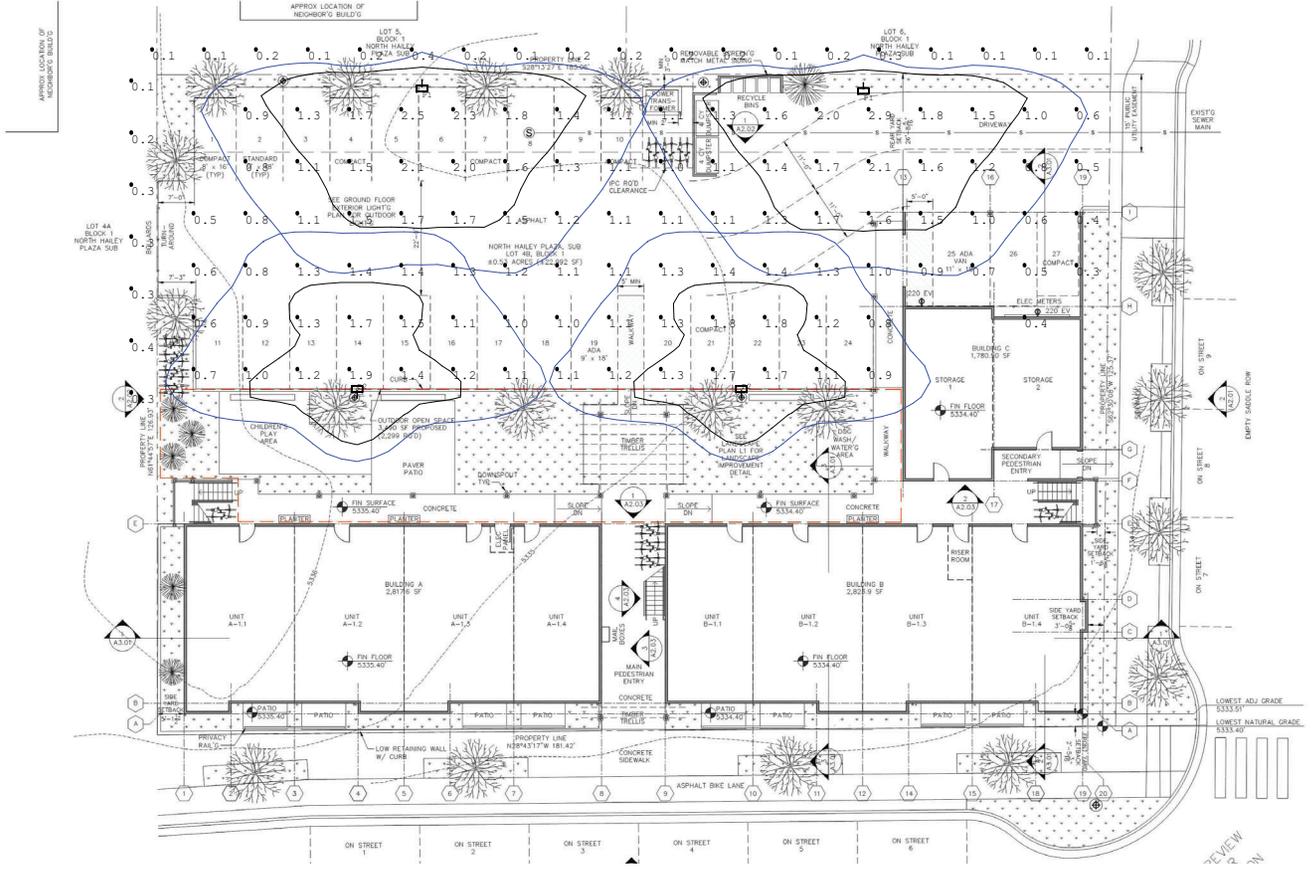
AIA NCARB AICP

[www.rfbundydesign.com](http://www.rfbundydesign.com)

208-720-1832

Luminaire Schedule						
Symbol	Qty	Label	Tag	LLF	Luminaire Lumens	Mounting Height
□	2	PRV-P-PA1A-730-U-T4W 3960 lum	P2	0.900	3960	15
□	2	PRV-P-PA1B-730-U-T4W-HSS 4938	P1	0.900	4938	15

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Parking Lot	Illuminance	Fc	1.26	2.9	0.3	4.20
Property Line	Illuminance	Fc	0.20	0.4	0.1	2.00



REBECCA F. BUNDY, ARCHITECT, PLLC  
 AIA AICP  
 P.O. BOX 210 83340  
 (208) 720-1832  
 REBECCA@REBECCAFBUNDYDESIGN.COM

SITE PLAN

SADDLE LOFTS  
 N HALEY PLAZA, SBLT 4B, BLK 1  
 HALEY, IDAHO 83333  
 NEW MULTI-FAMILY CONSTRUCTION

Drawn By: Ethan Griffiths  
 Date: 4/25/2022

Project Name: Saddle Lofts Parking Lot Rev 0  
 Client: Rebecca Bundy



Project		Catalog #		Type	
Prepared by		Notes		Date	



# Lumark

## Prevail Discrete LED

Area / Site Luminaire

### Product Features



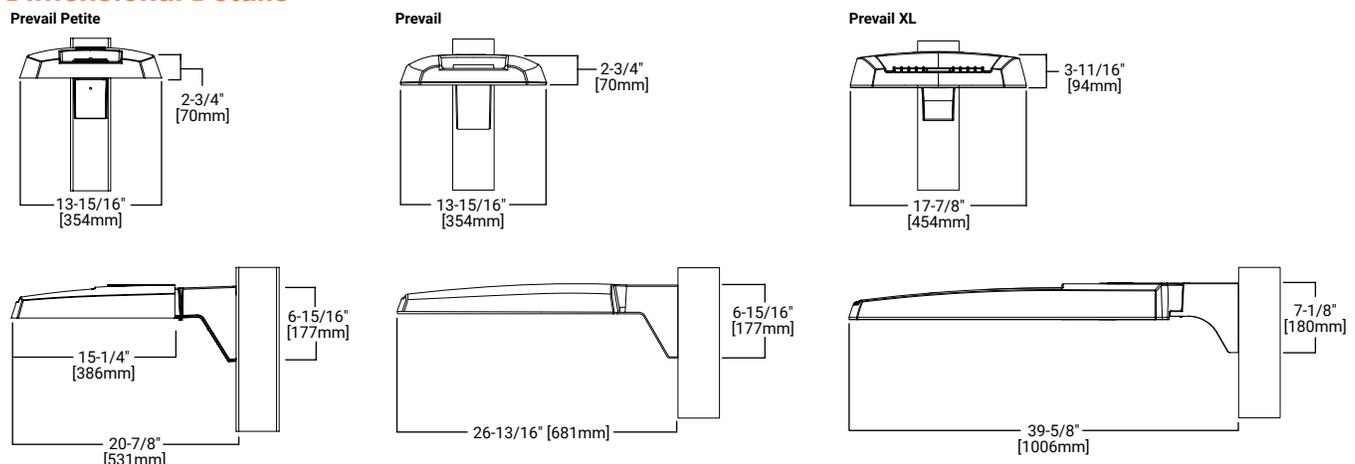
### Interactive Menu

- Ordering Information [page 2](#)
- Mounting Details [page 3](#)
- Optical Configurations [page 4](#)
- Product Specifications [page 4](#)
- Energy and Performance Data [page 5](#)
- Control Options [page 7](#)

### Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 41,000 nominal lumens (30W - 300W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Standard universal quick mount arm with universal drill pattern

### Dimensional Details



NOTES:  
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.  
 2. IDA Certified for 3000K CCT and warmer only.

### Product Certifications



### Connected Systems

- WaveLinx

Ordering Information

SAMPLE NUMBER: PRV-XL-PA4B-740-U-T4W-BZ

Product Family <sup>1,2</sup>	Light Engine		Color Temperature	Voltage	Distribution	Mounting (Included)	Finish
	Configuration	Drive Current <sup>4</sup>					
<b>PRV-P=Prevail Petite</b> <b>BAA-PRV-P=Prevail Petite BAA Buy American Act Compliant</b> <sup>3</sup> <b>TAA-PRV-P=Prevail Petite TAA Trade Agreements Act Compliant</b> <sup>3</sup>	<b>PA1</b> =1 Panel, 24 LED Rectangle	<b>A=400mA Nominal</b> <b>B=700mA Nominal</b> <b>C=950mA Nominal</b> <b>D=1200mA Nominal</b>	<b>740=70CRI, 4000K</b> <b>730=70CRI, 3000K</b> <b>750=70CRI, 5000K</b>	<b>U=Universal, 120-277V</b> <b>H=High Voltage, 347-480V</b> <b>9=347V</b> <b>8=480V</b> <sup>5</sup> <b>D=DuraVolt, 277-480V</b> <sup>5,6</sup>	<b>T2R=Type II Roadway</b> <b>T2U=Type II Urban</b> <b>T3=Type III</b> <b>T4W=Type IV Wide</b> <b>5WQ=Type V Square Wide</b>	<b>[Blank]=Standard Versatile Arm</b> <b>MA=Mast Arm</b> <b>WM=Wall Mount Arm</b> <b>ADJA=Adjustable Arm - Pole Mount</b> <b>ADJS=Adjustable Arm - Slipfitter, 3in vertical tenon</b> <b>ADJA-WM=Adjustable Arm-Wall Mount</b>	<b>BZ=Bronze</b> <b>AP=Grey</b> <b>BK=Black</b> <b>DP=Dark Platinum</b> <b>GM=Graphite Metallic</b> <b>WH=White</b>
<b>PRV=Prevail</b> <b>BAA-PRV=Prevail BAA Buy American Act Compliant</b> <sup>3</sup> <b>TAA-PRV=Prevail TAA Trade Agreements Act Compliant</b> <sup>3</sup>	<b>PA1</b> =1 Panel, 24 LED Rectangle <b>PA2</b> =2 Panels, 48 LED Rectangles	<b>A=700mA Nominal</b> <b>B=950mA Nominal</b>					
<b>PRV-XL=PRV XL</b> <b>BAA-PRV-XL=Prevail XL BAA Buy American Act Compliant</b> <sup>3</sup> <b>TAA-PRV-XL=Prevail XL TAA Trade Agreements Act Compliant</b> <sup>3</sup>	<b>PA3</b> =3 Panels, 72 LED Rectangles <b>PA4</b> =4 Panels, 96 LED Rectangles	<b>A=750mA Nominal</b> <b>B=950mA Nominal</b>					

Options (Add as Suffix)

Accessories (Order Separately) <sup>20,21</sup>

<b>10K</b> =10KV UL 1449 Fused Surge Protective Device <b>20MSP</b> =20KV MOV Surge Protective Device <b>20K</b> =Series 20KV UL 1449 Surge Protective Device <b>L90</b> =Optics Rotated 90° Left <b>R90</b> =Optics Rotated 90° Right <b>HSS=House Side Shield (Factory Installed)</b> <sup>7</sup> <b>HA</b> =50°C High Ambient Temperature <sup>8</sup> <b>CC</b> =Coastal Construction <sup>9</sup> <b>PR</b> =NEMA 3-PIN Twistlock Photocontrol Receptacle <sup>10</sup> <b>PR7</b> =NEMA 7-PIN Twistlock Photocontrol Receptacle <sup>10</sup> <b>MS/DIM-L08</b> =Dimming Motion and Daylight Sensor, IR Remote Programmable, < 8' Mounting <sup>11,12,13</sup> <b>MS/DIM-L20</b> =Dimming Motion and Daylight Sensor, IR Remote Programmable, 8' - 20' Mounting <sup>11,12,13</sup> <b>MS/DIM-L40</b> =Dimming Motion and Daylight Sensor, IR Remote Programmable, 21' - 40' Mounting <sup>11,12,13</sup> <b>SPB1</b> =Dimming Motion and Daylight Sensor, Bluetooth Programmable, < 8' Mounting <sup>11,14</sup> <b>SPB2</b> =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 8' - 20' Mounting <sup>11,14</sup>	<b>SPB4</b> =Dimming Motion and Daylight Sensor, Bluetooth Programmable, 21' - 40' Mounting <sup>11,14</sup> <b>ZW</b> =Wavelinx-enabled 4-PIN Twistlock Receptacle <sup>11,12</sup> <b>ZD</b> =SR Driver-enabled 4-PIN Twistlock Receptacle <sup>11,12</sup> <b>ZW-SWPD4XX</b> =WaveLinx, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>11,12,15,16,17</sup> <b>ZW-SWPD5XX</b> =WaveLinx, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>11,12,15,16,17</sup> <b>ZD-SWPD4XX</b> =WaveLinx, SR Driver, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>11,12,15,16,17</sup> <b>ZD-SWPD5XX</b> =WaveLinx, SR Driver, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>11,12,15,16,17</sup> <b>(See Table Below)</b> =LumenSafe Integrated Network Security Camera <sup>16,19</sup>	<b>PRVSA-XX</b> =Standard Arm Mounting Kit <sup>22</sup> <b>PRVMA-XX</b> =Mast Arm Mounting Kit <sup>22</sup> <b>PRVWM-XX</b> =Wall Mount Kit <sup>22</sup> <b>PRV-ADJA-XX</b> =Adjustable Arm - Pole Mount Kit <sup>22</sup> <b>PRV-ADJS-XX</b> =Adjustable Arm - Slipfitter Kit <sup>22</sup> <b>PRV-ADJA-WM-XX</b> =Adjustable Arm - Wall Mount Kit <sup>22</sup> <b>PRVXLSA-XX</b> =Standard Arm Mounting Kit <sup>18</sup> <b>PRVXLMA-XX</b> =Mast Arm Mounting Kit <sup>18</sup> <b>PRVXLMW-XX</b> =Wall Mount Kit <sup>18</sup> <b>PRV-XL-ADJA-XX</b> =Adjustable Arm - Pole Mount Kit <sup>18</sup> <b>PRV-XL-ADJS-XX</b> =Adjustable Arm - Slipfitter Kit <sup>18</sup> <b>PRV-XL-ADJA-WM-XX</b> =Adjustable Arm - Wall Mount Kit <sup>18</sup> <b>MA1010-XX</b> =Single Tenon Adapter for 3-1/2" O.D. Tenon <b>MA1011-XX</b> =2@180° Tenon Adapter for 3-1/2" O.D. Tenon <b>MA1017-XX</b> =Single Tenon Adapter for 2-3/8" O.D. Tenon <b>MA1018-XX</b> =2@180° Tenon Adapter for 2-3/8" O.D. Tenon	<b>SRA238</b> =Tenon Adapter from 2-3/8" to 3" <b>PRV/DIS-FDV</b> =Full Drop Visor <sup>23</sup> <b>PRVXL/DIS-FDV</b> =Full Drop Visor <sup>18</sup> <b>HSS-VP</b> =House Side Shield, Vertical Panel <sup>7,24</sup> <b>HSS-HP</b> =House Side Shield, Horizontal Panel <sup>7,24</sup> <b>OA/RA1013</b> =Photocontrol Shorting Cap <b>OA/RA1014</b> =NEMA Photocontrol - 120V 105-285V <b>OA/RA1201</b> =NEMA Photocontrol - 347V <b>OA/RA1027</b> =NEMA Photocontrol - 480V <b>FSIR-100</b> =Wireless Configuration Tool for Occupancy Sensor <sup>25</sup> <b>SWPD4-XX</b> =WaveLinx Sensor, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting <sup>15,16,17,26</sup> <b>SWPD5-XX</b> =WaveLinx Sensor, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting <sup>15,16,17,26</sup> <b>WOLC-7P-10A</b> =WaveLinx Outdoor Control Module (7-PIN) <sup>27</sup>
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NOTES:

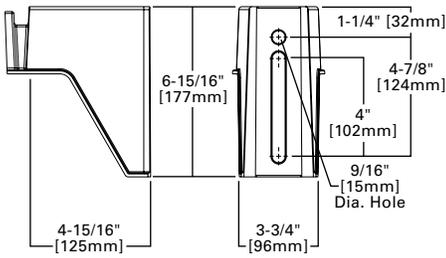
- DesignLights Consortium® Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details.
- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WP513001EN for additional support information.
- Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to [DOMESTIC-PREFERENCES](http://DOMESTIC-PREFERENCES) website for more information. Components shipped separately may be separately analyzed under domestic preference requirements.
- Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables.
- 480V not to be used with ungrounded or impedance grounded systems.
- DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit [www.signify.com/duravolt](http://www.signify.com/duravolt) for more information.
- House Side Shield not for use with 5WQ distribution.
- Not available with PA1D light engine in Petite housing (PRV-P).
- Salt spray tested to over 5,000-hours per ASTM B117 with a scribe rating of 9 per ASTM D1654. Also achieves 7,000-hour rating per ASTM B117 with a scribe rating of 4 per ASTM D1654. Extended lead times may apply.
- If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used.
- Controls system is not available in combination with a photocontrol receptacle (PR or PR7) or another controls system (MS, SPB, ZD, or ZW).
- Option not available with High Voltage (H). Must specify Universal (U), 347V (9), or 480V (8) voltage.
- Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately.
- Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details.
- Sensor passive infrared (PIR) may be overly sensitive when operating below 20°C (-4°F).
- In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more WaveLinx application information.
- Replace XX with sensor color (WH, BZ or BK).
- Only available in PRV-XL configurations.
- Not available with High Voltage (H, DV, 8 or 9) or HA options. Consult LumenSafe system product pages for additional details and compatibility information.
- Replace XX with paint color.
- For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information.
- Only for use with PRV and PRV-P.
- Only for use with PRV. Not available with PRV-XL or PRV-P.
- Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 3, or 4). Refer to House Side Shield reference table for details.
- This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information.
- Requires 4-PIN twistlock receptacle option (ZD or ZW) option.
- Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, ZD, ZW or LWR). Only for use at 120-347V.

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

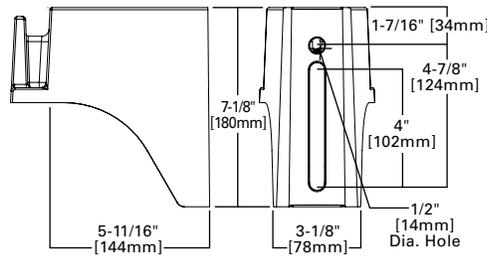
Product Family	Camera Type	Data Backhaul
<b>L=LumenSafe Technology</b>	<b>H=Dome Camera, High Res</b> <b>Z=Dome Camera, Remote PTZ</b>	<b>C=Cellular, Customer Installed SIM Card</b> <b>A=Cellular, Factory Installed AT&amp;T SIM Card</b> <b>V=Cellular, Factory Installed Verizon SIM Card</b> <b>S=Cellular, Factory Installed Sprint SIM Card</b> <b>E=Ethernet Networking</b>

Mounting Details

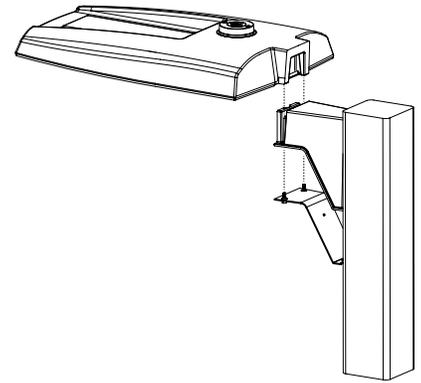
Pole Mount Arm (PRV & PRV-P)



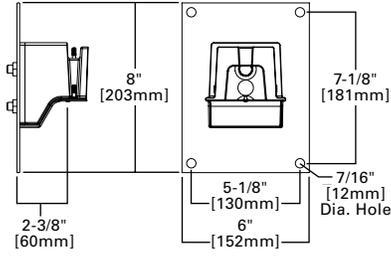
Pole Mount Arm (PRV-XL)



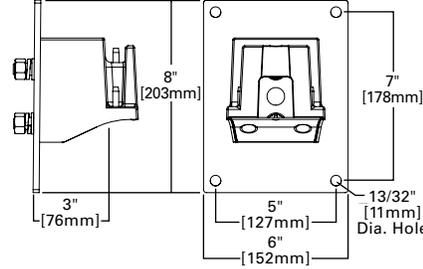
Versatile Mount System



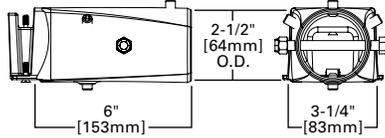
Wall Mount (PRV & PRV-P)



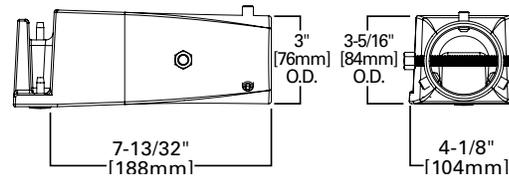
Wall Mount (PRV-XL)



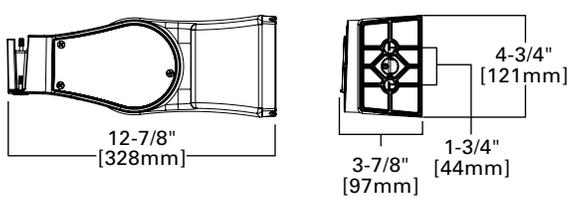
Mast Arm Mount (PRV & PRV-P)



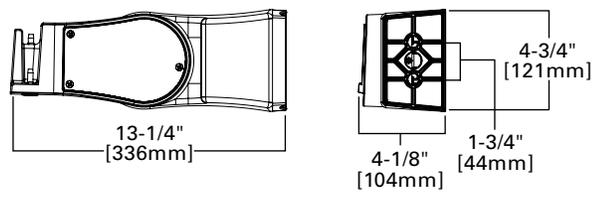
Mast Arm Mount (PRV-XL)



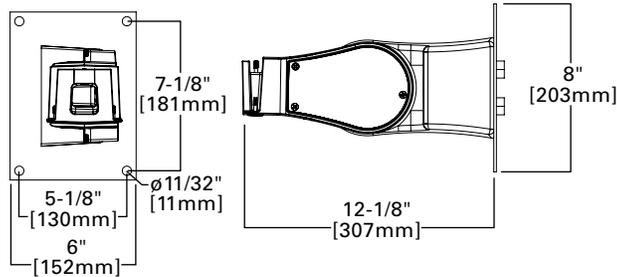
Adjustable Pole Mount Arm (PRV & PRV-P)



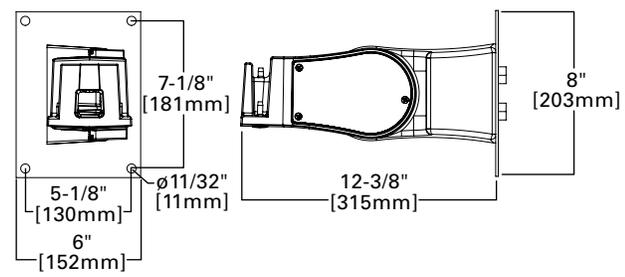
Adjustable Pole Mount Arm (PRV-XL)



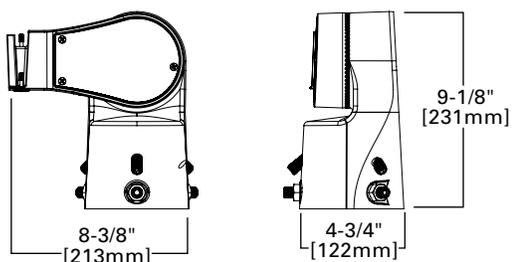
Adjustable Wall Mount (PRV & PRV-P)



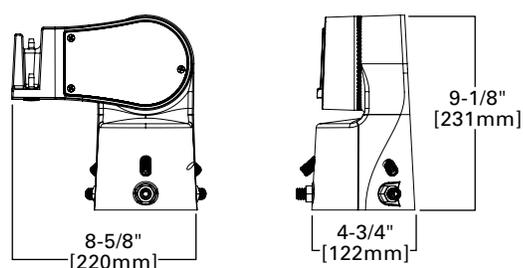
Adjustable Wall Mount (PRV-XL)



Adjustable Slipfitter (PRV & PRV-P)



Adjustable Slipfitter (PRV-XL)



## Mounting Details

### Mounting Configurations and EPAs

**NOTE:** For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications.

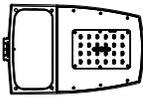
Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49

## Optical Configurations

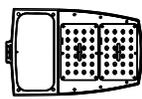
PRV-P-PA1X



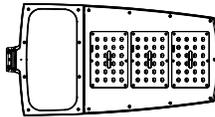
PRV-PA1X



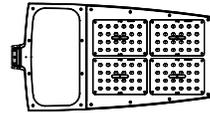
PRV-PA2X



PRV-XL-PA3X

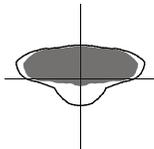


PRV-XL-PA4X

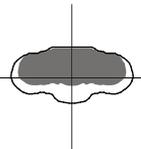


### Optical Distributions

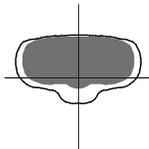
T2R (Type II Roadway)



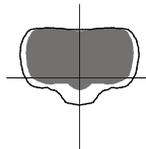
T2U (Type II Urban)



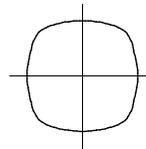
T3 (Type III)



T4W (Type IV Wide)



5WQ (Type V Square Wide)



■ = Distribution with House Side Shield (HSS)  
 □ = Optical Distribution

## Product Specifications

### Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

### Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

### Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

### Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Prevail and Prevail Petite: 3G vibration rated (all arms)
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated

### Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

### Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

### Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)

### Warranty

- Five year limited warranty, consult website for details. [www.cooperlighting.com/legal](http://www.cooperlighting.com/legal)

## Energy and Performance Data

Power and Lumens

[View PRV-P IES files](#)

[View PRV IES files](#)

[View PRV-XL IES files](#)

Product Family		Prevail Petite				Prevail				Prevail XL			
Light Engine		PA1A	PA1B	PA1C	PA1D	PA1A	PA1B	PA2A	PA2B	PA3A	PA3B	PA4A	PA4B
<b>Power (Watts)</b>		31	53	72	93	54	74	113	151	172	234	245	303
<b>Drive Current (mA)</b>		375	670	930	1200	670	930	720	970	750	980	785	970
<b>Input Current @ 120V (A)</b>		0.26	0.44	0.60	0.78	0.45	0.62	0.93	1.26	1.44	1.95	2.04	2.53
<b>Input Current @ 277V (A)</b>		0.12	0.20	0.28	0.35	0.21	0.28	0.41	0.55	0.62	0.85	0.93	1.12
<b>Input Current @ 347V (A)</b>		0.10	0.17	0.23	0.29	0.17	0.23	0.33	0.45	0.52	0.70	0.74	0.90
<b>Input Current @ 480V (A)</b>		0.07	0.13	0.17	0.22	0.12	0.17	0.24	0.33	0.39	0.52	0.53	0.65
<b>Distribution</b>													
<b>Type II Roadway</b>	4000K/5000K Lumens	4,505	7,362	9,495	11,300	7,605	9,896	15,811	19,745	24,718	30,648	34,067	39,689
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
	Lumens per Watt	147	139	132	121	141	134	141	131	144	131	139	131
	3000K Lumens <sup>1</sup>	4,103	6,705	8,647	10,291	6,926	9,012	14,399	17,982	22,511	27,912	31,025	36,145
<b>Type II Roadway w/ HSS</b>	4000K/5000K Lumens	3,727	6,091	7,855	9,349	6,006	7,815	12,487	15,594	19,521	24,204	26,094	31,334
	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B1-U0-G4
	Lumens per Watt	121	115	109	100	111	106	111	103	113	103	107	103
	3000K Lumens <sup>1</sup>	3,394	5,547	7,154	8,514	5,470	7,117	11,372	14,201	17,778	22,043	24,502	28,545
<b>Type II Urban</b>	4000K/5000K Lumens	4,496	7,347	9,476	11,277	7,597	9,886	15,795	19,724	24,692	30,616	34,031	39,647
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4
	Lumens per Watt	146	139	131	121	141	134	141	131	144	131	139	131
	3000K Lumens <sup>1</sup>	4,095	6,691	8,630	10,271	6,919	9,003	14,384	17,963	22,488	27,882	30,992	36,107
<b>Type II Urban w/ HSS</b>	4000K/5000K Lumens	3,253	5,316	6,856	8,160	5,297	6,893	11,013	13,753	17,217	21,347	23,728	27,644
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4
	Lumens per Watt	106	101	95	87	98	93	97	91	100	91	97	91
	3000K Lumens <sup>1</sup>	2,963	4,841	6,244	7,431	4,824	6,277	10,029	12,525	15,680	19,441	21,609	25,176
<b>Type III</b>	4000K/5000K Lumens	4,443	7,261	9,364	11,145	7,575	9,857	15,749	19,667	24,621	30,527	33,932	39,532
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	145	138	130	119	140	133	141	130	143	130	138	130
	3000K Lumens <sup>1</sup>	4,046	6,612	8,528	10,150	6,899	8,977	14,343	17,911	22,423	27,802	30,903	36,002
<b>Type III w/ HSS</b>	4000K/5000K Lumens	3,406	5,566	7,179	8,543	5,592	7,277	11,626	14,519	18,176	22,536	25,049	29,183
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5
	Lumens per Watt	111	105	100	91	104	98	103	96	106	96	102	96
	3000K Lumens <sup>1</sup>	3,102	5,069	6,538	7,781	5,093	6,627	10,588	13,222	16,553	20,524	22,813	26,578
<b>Type IV Wide</b>	4000K/5000K Lumens	4,348	7,106	9,164	10,906	7,484	9,738	15,560	19,431	24,325	30,161	33,525	39,057
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5
	Lumens per Watt	142	135	127	117	139	132	139	129	141	129	137	129
	3000K Lumens <sup>1</sup>	3,960	6,471	8,346	9,932	6,816	8,869	14,170	17,696	22,153	27,468	30,531	35,570
<b>Type IV Wide w/ HSS</b>	4000K/5000K Lumens	3,318	5,422	6,993	8,323	5,420	7,053	11,268	14,072	17,617	24,843	24,279	28,286
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5
	Lumens per Watt	108	103	97	89	100	95	100	93	102	106	99	93
	3000K Lumens <sup>1</sup>	3,022	4,938	6,369	7,580	4,936	6,423	10,262	12,816	16,044	19,892	22,111	25,760
<b>Type V Square Wide</b>	4000K/5000K Lumens	4,497	7,349	9,478	11,280	7,831	10,190	16,281	20,332	25,453	31,559	35,079	40,868
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	145	138	145	135	148	135	143	135
	3000K Lumens <sup>1</sup>	4,095	6,693	8,632	10,273	7,132	9,280	14,827	18,517	23,180	28,741	31,947	37,219

**NOTES:**

1. For 3000K or HSS BUG Ratings, refer to published IES files

Energy and Performance Data

House Side Shield Reference Table

Product Family		Prevail		Prevail XL		
Light Engine		PA1	PA1	PA2	PA3	PA4
Rotated Optics	Standard	HSS-HP (Qty 1)	HSS-VP (Qty 1)	HSS-HP (Qty 2)	HSS-HP (Qty 3)	HSS-VP (Qty 4)
	L90 or R90 option	HSS-VP (Qty 1)	HSS-HP (Qty 1)	HSS-VP (Qty 2)	HSS-VP (Qty 3)	HSS-HP (Qty 4)

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Lumen Maintenance

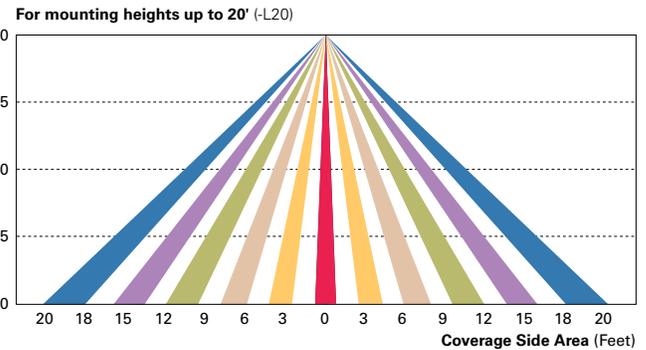
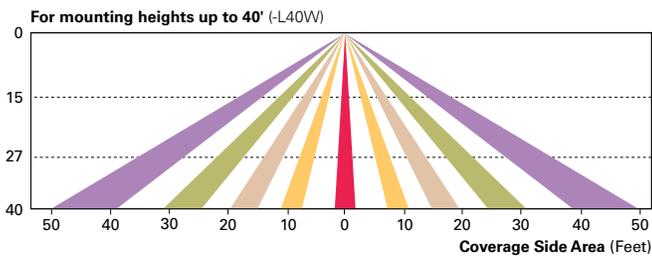
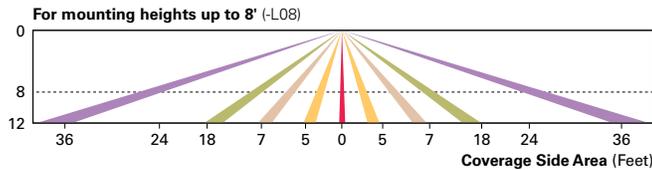
Ambient Temperature	TM-21 Lumen Maintenance (78,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 896,000

### Control Options

**0-10V** This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

**Photocontrol (PR and PR7)** Photocontrol receptacles provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

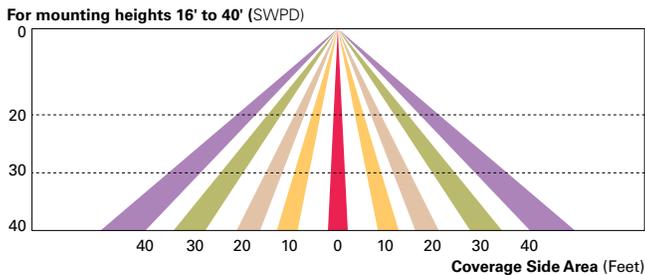
**Dimming Occupancy Sensor (SPB, MS/DIM-LXX and MS-LXX)** These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. When a sensor for ON/OFF operation (MS-LXX) is selected, the luminaire will turn off after five minutes of no activity. These occupancy sensors include an integral photocell for “dusk-to-dawn” control or “daylight harvesting.” Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



**WaveLinX Wireless Control and Monitoring System** Available in 7-PIN or 4-PIN configurations, the WaveLinX Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

**WaveLinX Outdoor Control Module (WOLC-7P-10A)** A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

**WaveLinX Wireless Sensor (SWPD4 and SWPD5)** These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for “dusk-to-dawn” control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



**LumenSafe (LD)** The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.

# Steel Poles



## SSS SQUARE STRAIGHT STEEL

Catalog #		Type
Project		
Comments		Date
Prepared by		

### FEATURES

- ASTM Grade steel base plate with ASTM A366 base cover
- Hand hole assembly 3" x 5" on 5" and 6" pole; and 2" x 4" on 4" pole
- 10'-39' mounting heights
- Drilled or tenon (specify)

### DESIGN CONSIDERATIONS - VIBRATIONS AND NON-GROUND MOUNTED INSTALLATIONS

The information contained herein is for general guidance only and is not a replacement for professional judgment. Design considerations for wind-induced vibrations and non-ground mounted installations (e.g., installations on bridges or buildings) are not included in this document. Consult with a professional, and local and federal standards, before ordering to ensure product is appropriate for the intended purpose and installation location. Refer to the Cooper Lighting Solutions Light Pole White Paper for risk factors and design considerations. [Learn more.](#)

**NOTE:** The Limited Warranty for this product specifically excludes fatigue failure or similar damage resulting from vibration, harmonic oscillation or resonance.

Specifications and dimensions subject to change without notice. Consult your lighting representative at Cooper Lighting Solutions or visit [www.cooperlighting.com](http://www.cooperlighting.com) for available options, accessories and ordering information.

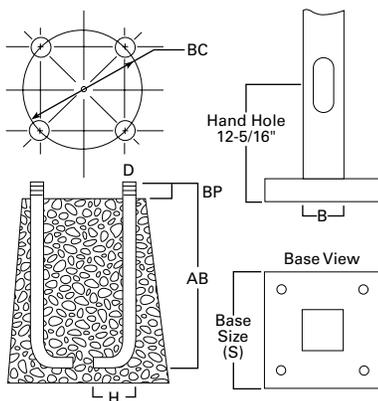
### ORDERING INFORMATION

**SAMPLE NUMBER:** SSA5A20SFM1XG

Product Family	Shaft Size (Inches) <sup>1</sup>	Wall Thickness (Inches)	Mounting Height (Feet)	Base Type	Finish	Mounting Type	Number and Location of Arms	Arm Lengths (Feet)	Options (Add as Suffix)
<b>SSS=Square</b> Straight Steel	<b>4=4"</b> 5=5" 6=6"	<b>A=0.120"</b> <b>M=0.188"</b> X=0.250"	<b>10=10'</b> <b>15=15'</b> 20=20' 25=25' 30=30' 35=35' 39=39'	<b>S=Square</b> Steel Base	F=Dark Bronze G=Galvanized Steel J=Summit White K=Carbon Bronze L=Dark Platinum R=Hartford Green S=Silver T=Graphite Metallic V=Grey W=White X=Custom Color Y=Black	2=2-3/8" O.D. Tenon (4" Long) 3=3-1/2" O.D. Tenon (5" Long) 4=4" O.D. Tenon (6" Long) 9=3" O.D. Tenon (4" Long) 6=2-3/8" O.D. Tenon (6" Long) 7=4" O.D. Tenon (10" Long) A=Type A Drilling C=Type C Drilling E=Type E Drilling F=Type F Drilling G=Type G Drilling J=Type J Drilling K=Type K Drilling <b>M=Type M Drilling</b> N=Type N Drilling R=Type R Drilling S=Standard Upsweep Arm <sup>6</sup> Z=Type Z Drilling	<b>1=Single</b> 2=2 at 180° 3=Triple <sup>2</sup> 4=4 at 90° 5=2 at 90° X=None	<b>X=None</b> 2=2' 3=2.5' 4=4' 6=6' 8=8'	A=1/2" Tapped Hub <sup>3</sup> B=3/4" Tapped Hub <sup>3</sup> C=Convenience Outlet <sup>4</sup> E=GFCI Convenience Outlet <sup>4</sup> G=Ground Lug H=Additional Hand Hole <sup>5</sup> V=Vibration Dampener

**NOTES:** 1. All shaft sizes nominal. 2. Square poles are 3 at 90°, round poles are 3 at 120°. 3. Tapped Hub is located 5' below the pole top and on the same side of pole as hand hole, unless specified otherwise. 4. Outlet is located 4' above base and on same side of pole as hand hole, unless specified otherwise. Receptacle not included, provision only. 5. Additional hand hole is located 12" below pole top and 90° from standard hand hole location, unless otherwise specified. 6. Arm must be ordered separately.

### ANCHORAGE DATA



Pole	Template Number	Bolt Number	Bolt Circle (inches)	Number of Bolts	Bolt Size (inches)
SSS4	TMP1	AB1	8.5 - 11.0	4	3/4 x 25 x 3
SSS5	TMP1	AB1	11.0	4	3/4 x 25 x 3
SSS6	TMP2	AB3	12.5	4	1 x 36 x 4

**EFFECTIVE PROJECTED AREA (At Pole Top)**

Mounting Height (Feet)	Catalog Number <sup>1,2</sup>	Wall Thickness (Inches)	Base Square <sup>3</sup> (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection <sup>3</sup> (Inches)	Shaft Size <sup>3</sup> (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) <sup>4</sup>				Max. Fixture Load - Includes Bracket (Pounds)
									80 mph	90 mph	100 mph	110 mph	
MH			S	BC	BP	B	D x AB x H						
10	SSS4A10S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	85	30.0	22.0	17.0	13.0	100
15	SSS4A15S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	118	15.0	11.5	8.7	6.5	100
20	SSS4A20S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	150	8.7	5.9	3.9	2.5	150
20	SSS5A20S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	183	15.4	11.1	7.9	5.5	150
25	SSS4A25S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	181	3.7	1.7	0.3	--	200
25	SSS5A25S	0.120	10-1/2	11	5	5	3/4 x 25 x 3	222	9.3	6.0	3.5	1.6	200
25	SSS6A25S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	284	9.9	6.1	3.5	1.2	200
30	SSS5A30S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	260	4.7	2.1	--	--	200
30	SSS5M30S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	392	10.4	6.4	3.5	1.5	200
30	SSS6A30S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	330	4.3	1.4	--	--	200
30	SSS6M30S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	489	19.0	13.0	8.7	5.6	200
35	SSS5M35S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	453	5.8	2.8	--	--	200
35	SSS6M35S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	564	12.8	7.2	3.7	1.0	200
35	SSS6X35S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	738	16.5	11.0	6.8	3.5	200
39	SSS6M39S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	618	7.3	3.0	--	--	300
39	SSS6X39S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	816	13.0	7.0	3.7	0.8	300

**EFFECTIVE PROJECTED AREA (Two Feet Above Pole Top)**

Mounting Height (Feet)	Catalog Number <sup>1,2</sup>	Wall Thickness (Inches)	Base Square <sup>3</sup> (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection <sup>3</sup> (Inches)	Shaft Size <sup>3</sup> (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) <sup>4</sup>				Max. Fixture Load - Includes Bracket (Pounds)
									80 mph	90 mph	100 mph	110 mph	
MH			S	BC	BP	B	D x AB x H						
10	SSS4A10S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	85	23.0	17.5	14.0	11.0	100
15	SSS4A15S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	118	13.4	10.0	7.5	5.7	100
20	SSS4A20S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	150	7.6	5.2	3.4	2.1	150
20	SSS5A20S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	183	13.8	9.9	7.1	4.9	150
25	SSS4A25S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	181	3.4	1.6	0.3	--	200
25	SSS5A25S	0.120	10-1/2	11	5	5	3/4 x 25 x 3	222	8.5	5.5	3.2	1.5	200
25	SSS6A25S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	284	9.1	5.6	3.0	1.2	200
30	SSS5A30S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	260	1.8	--	--	--	200
30	SSS5M30S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	392	9.6	5.9	1.9	0.2	200
30	SSS6A30S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	330	4.1	1.3	--	--	200
30	SSS6M30S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	489	18.5	12.5	8.4	5.3	200
35	SSS5M35S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	453	5.5	2.4	--	--	200
35	SSS6M35S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	564	11.8	7.0	3.5	1.0	200
35	SSS6X35S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	738	16.0	10.5	6.4	3.4	200
39	SSS6M39S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	618	7.0	2.4	--	--	300
39	SSS6X39S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	816	12.0	6.7	3.0	0.5	300

- NOTES:
1. Catalog number includes pole with hardware kit. Anchor bolts not included. Before installing, make sure proper anchor bolts and templates are obtained.
  2. Tenon size or machining for rectangular arms must be specified. Hand hole position relative to drill location.
  3. Shaft size, base square, anchor bolts and projections may vary slightly. All dimensions nominal.
  4. EPAs based on shaft properties with wind normal to flat. EPAs calculated using base wind velocity as indicated plus 30% gust factor.

## VIBRATION

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Vibrations may cause damage to structures, including poles. Vibrations are unpredictable, and there are many factors and variables that can cause damaging vibrations. Many wind conditions exist that can create damaging vibrations to poles and luminaires, such as constant winds between 10-30 mph. Although all pole types can experience vibration, straight square poles seem to be most prone. Vibration dampers and/or a round tapered design may be used to mitigate damage from vibrations, but there is no guarantee damaging vibrations will be prevented. Vibration dampers are not included with this pole but can be ordered separately. Consult with a professional, and local and federal standards, to ensure this pole is appropriate for the intended purpose and installation location. Refer to Cooper Lighting Solutions' Light Pole White Paper for risk factors and design considerations.

## MAINTENANCE

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Perform inspections periodically. A prudent inspection schedule would be: one week after installation, one month after installation, yearly after installation, and following any major wind event. During the inspection, check the poles for cracks. If cracks are detected, remedial action is required. Recheck anchor bolt torques and re-tighten according to the recommended torque values. Check for missing covers and pole caps and replace as necessary. Check the pole for corrosion and deterioration of the finish. Should there be corrosion or deterioration, take remedial action to correct.

**WARNING:** Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to pole white paper WP513001EN for additional support information. Before installing, make sure proper anchor bolts and templates are obtained. The use of unauthorized accessories such as banners, signs, cameras or pennants for which the pole was not designed voids the pole warranty and may result in pole failure causing serious injury or property damage. Information regarding total loading capacity can be supplied upon request. The pole warranty is void unless poles are used and installed as a complete pole and luminaire combination. This warranty specifically excludes failure as the result of a third party act or omission, misuse, unanticipated uses, fatigue failure or similar phenomena resulting from induced vibration, harmonic oscillation or resonance associated with movement of air currents around the product.

Specifications and dimensions subject to change without notice. Consult your lighting representative at Cooper Lighting Solutions or visit [www.cooperlighting.com](http://www.cooperlighting.com) for available options, accessories and ordering information.

Over 40 Years Manufacturing Expertise

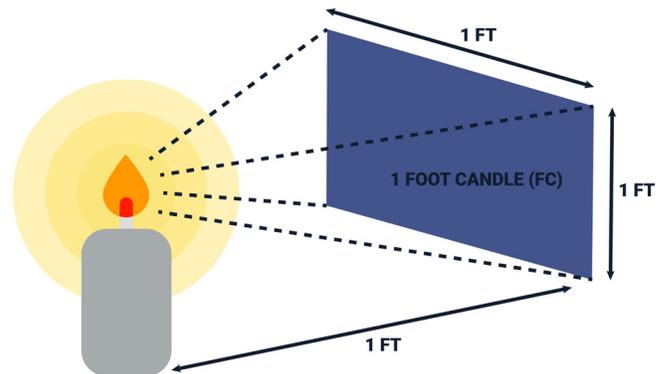


## Foot Candle Reference Guide

A foot-candle is a form of measurement that is commonly used to determine sufficient lighting levels for our LED lighting projects. One foot-candle can stand for the amount of one lumen per square foot or about 10.764 lux. Being that it isn't particularly easy to measure the lighting levels above  $\pm 10\%$ , it is acceptable to consider one foot-candle as 10lux.

Foot Candle ranges provided are general recommendations. For specific project recommendations, consult a Light Poles Plus product specialist.

[CONTACT SPECIALIST](#)

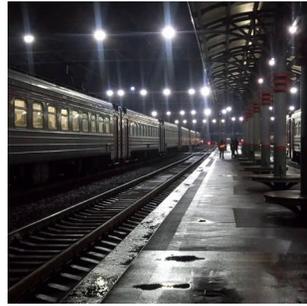


## Application Examples

### 2-10 Foot Candles



Walkway



Train Station



Parking Garage



Parking Lot

### 10-25 Foot Candles



Multi-Purpose Room



Parcel Distribution



Gun Range

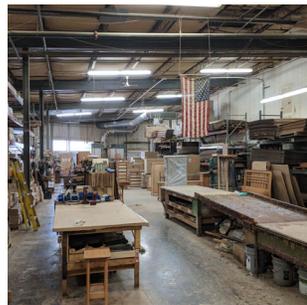


Auto Dealership

### 25-40 Foot Candles



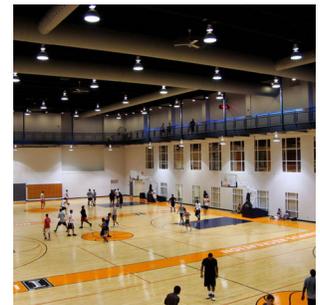
Airport



Workshop



Gymnasium



Fieldhouse

### 40-55 Foot Candles



Factory



Gym



Gymnastics Gym



Paint Booth

## 60+ Foot Candles



Commercial Kitchen



Office



Chemical Laboratory



Operating Room

## Jessica Parker

---

**From:** Mike Baledge  
**Sent:** Monday, March 21, 2022 2:12 PM  
**To:** Robyn Davis  
**Subject:** RE: Design Review: Saddle Lofts

Access needs to be 26 feet wide, and why the bollards.

Mike Baledge  
Fire Chief, Fire Marshal  
City of Hailey Idaho Fire Department  
Phone: 208-788-3147  
E-mail: [mike.baledge@haileycityhall.org](mailto:mike.baledge@haileycityhall.org)

---

**From:** Robyn Davis <[robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org)>  
**Sent:** Monday, March 21, 2022 11:49 AM  
**To:** Brian Yeager <[brian.yeager@haileycityhall.org](mailto:brian.yeager@haileycityhall.org)>; Cole Balis <[cole.balis@haileycityhall.org](mailto:cole.balis@haileycityhall.org)>; Kelly Schwarz <[kelly.schwarz@haileycityhall.org](mailto:kelly.schwarz@haileycityhall.org)>; Lisa Horowitz <[lisa.horowitz@haileycityhall.org](mailto:lisa.horowitz@haileycityhall.org)>; Mike Baledge <[mike.baledge@haileycityhall.org](mailto:mike.baledge@haileycityhall.org)>; Nancy Arellano <[nancy.arellano@haileycityhall.org](mailto:nancy.arellano@haileycityhall.org)>; Paige Nied <[Paige.Nied@haileycityhall.org](mailto:Paige.Nied@haileycityhall.org)>; Stephanie Cook <[stephanie.cook@haileycityhall.org](mailto:stephanie.cook@haileycityhall.org)>; Steve Holyoak <[steve.holyoak@haileycityhall.org](mailto:steve.holyoak@haileycityhall.org)>  
**Subject:** Design Review: Saddle Lofts

Hi, All –

Please review the attached plans for Saddle Lofts. This project is a multifamily project at the corner of Empty Saddle and River Street.

The Applicant is proposing the construction of three (3) multifamily residential buildings, which includes twenty-seven (27) units in total.

The legal is Sublot 4B, Block 1, North Hailey Plaza.

Please send comments by Monday, March 28, 2022. Thanks!

**Robyn Davis, M.A.**

**Community Development City Planner**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2

## Jessica Parker

---

**From:** Lisa Horowitz  
**Sent:** Friday, March 25, 2022 8:09 AM  
**To:** Brian Yeager; Kelly Schwarz  
**Cc:** Robyn Davis  
**Subject:** Re: Design Review: Saddle Lofts

I think just the corner, not the side street.

Lisa

---

**From:** Brian Yeager <brian.yeager@haileycityhall.org>  
**Date:** Monday, March 21, 2022 at 1:58 PM  
**To:** Kelly Schwarz <kelly.schwarz@haileycityhall.org>  
**Cc:** Robyn Davis <robyn.davis@haileycityhall.org>, Lisa Horowitz <lisa.horowitz@haileycityhall.org>  
**Subject:** FW: Design Review: Saddle Lofts

What do we want for street lights on the side street?

---

**Brian Yeager, P.E. / P.L.S.**  
**City of Hailey Public Works Director/City Engineer/Land Surveyor**  
115 S. Main Street, Hailey, ID 83333  
(208) 788-9815 Ext. 4224  
Cell: (208) 727-7614

---

**From:** Robyn Davis <robyn.davis@haileycityhall.org>  
**Sent:** Monday, March 21, 2022 11:49 AM  
**To:** Brian Yeager <brian.yeager@haileycityhall.org>; Cole Balis <cole.balis@haileycityhall.org>; Kelly Schwarz <kelly.schwarz@haileycityhall.org>; Lisa Horowitz <lisa.horowitz@haileycityhall.org>; Mike Baledge <mike.baledge@haileycityhall.org>; Nancy Arellano <nancy.arellano@haileycityhall.org>; Paige Nied <Paige.Nied@haileycityhall.org>; Stephanie Cook <stephanie.cook@haileycityhall.org>; Steve Holyoak <steve.holyoak@haileycityhall.org>  
**Subject:** Design Review: Saddle Lofts

Hi, All –

Please review the attached plans for Saddle Lofts. This project is a multifamily project at the corner of Empty Saddle and River Street.

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**Robyn Davis, M.A.**

**Community Development City Planner**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2



## Jessica Parker

---

**From:** Steve Holyoak  
**Sent:** Thursday, April 14, 2022 4:39 PM  
**To:** Robyn Davis  
**Subject:** RE: Design Review: Saddle Lofts  
**Attachments:** Saddle Lofts.pdf

Hi Robyn,

My comments might be a little late. The property has 2 sewer services in the alley way that should be used. This would avoid cutting across River St to connect to the main sewer as shown in the drawings. I've attached a copy of sewer service map which shows the existing sewer lines.

---

### STEVE HOLYOAK

City of Hailey Wastewater Manager  
4297 Glenbrook Dr, Hailey, ID 83333  
(208) 578-2211  
Cell: (208) 539-9998

---

**From:** Robyn Davis <robyn.davis@haileycityhall.org>  
**Sent:** Monday, March 21, 2022 11:49 AM  
**To:** Brian Yeager <brian.yeager@haileycityhall.org>; Cole Balis <cole.balis@haileycityhall.org>; Kelly Schwarz <kelly.schwarz@haileycityhall.org>; Lisa Horowitz <lisa.horowitz@haileycityhall.org>; Mike Baledge <mike.baledge@haileycityhall.org>; Nancy Arellano <nancy.arellano@haileycityhall.org>; Paige Nied <Paige.Nied@haileycityhall.org>; Stephanie Cook <stephanie.cook@haileycityhall.org>; Steve Holyoak <steve.holyoak@haileycityhall.org>  
**Subject:** Design Review: Saddle Lofts

Hi, All –

Please review the attached plans for Saddle Lofts. This project is a multifamily project at the corner of Empty Saddle and River Street.

The Applicant is proposing the construction of three (3) multifamily residential buildings, which includes twenty-seven (27) units in total.

The legal is Sublot 4B, Block 1, North Hailey Plaza.

Please send comments by Monday, March 28, 2022. Thanks!

### Robyn Davis, M.A.

Community Development City Planner  
City of Hailey - 115 South Main Street, Hailey, ID 83333  
(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2





PO Box 1292  
Ketchum, Idaho 83340  
(208) 726-4411  
www.archbc.org

To: The City of Hailey

March 29, 2022

RE: Saddle Lofts Apartments

Delivered Electronically

Dear Members of the Hailey Planning and Zoning Commission,

I am the Executive Director of ARCH Community Housing Trust, an owner of the River Street Senior apartments located at 731 North River Street. Our 24-unit senior community has been fully leased from the time a certificate of occupancy was issued. We also have a substantial waiting list.

From 2019 to 2021, the advertised rental rate for a 3-bedroom unit in Hailey increased 54%. This is a direct result of a catastrophic undersupply of housing. Any increase to the supply of housing – income restricted or otherwise, will help ease the cost burden associated with the under-supply of housing.

Additionally, I believe the subject parcel is in the Hailey Urban Renewal District. The revenue generated to the URA from an undeveloped parcel to a 27-unit apartment is significant. These funds will have a tremendous impact on the City of Hailey's ability finance the infrastructure needed to accommodate the needs of the City.

I hope you will consider the significant benefits this development could provide as you evaluate this application.

Sincerely,

*Michelle Griffith*

Michelle Griffith

Executive Director



## BLAINE COUNTY HOUSING AUTHORITY

208.788.6102 | [INFO@BCOHA.ORG](mailto:INFO@BCOHA.ORG) | [WWW.BCOHA.ORG](http://WWW.BCOHA.ORG) | 191 SUN VALLEY ROAD | PO BOX 4045 | KETCHUM, ID 83340

March 30, 2022

City of Hailey  
Community Development Department  
115 Main Street South  
Hailey, ID 83333

Attn: Lisa Horowitz, Director  
Janet Fugate, P&Z Commission Chair

CC: Susan Scovell  
Sarah Michael, BCHA Board Chair

Transmitted via Email

Dear Ms. Horowitz and Chair Fugate,

On behalf of the Blaine County Housing Authority, I would like to express our support of the intent of the “Saddle Lofts” project, to provide attainable workforce housing within its 27-unit multi-family development. Should they remain affordable, I know that households within BCHA’s database will benefit from this new construction—both now and in the future.

Before the Hailey P&Z Commission is an opportunity to address a portion of the dire need for additional workforce housing—providing for our teachers, firefighters, nurses, service industry workers, among others. This workforce helps make Hailey a vibrant and connected community.

Multi-family rental housing is desperately needed in our community, for many, their first entry into the workforce begins with a rental near their job. Having attainable rental options for our workforce will position our neighbors to be contributing members of the community and will serve as a “point of entry” to this valley, adulthood, or retirement. If the lower rents are implemented as proposed, it will allow the households who benefit from this development to be better equipped to remain in our community and, perhaps purchase their own homes one day.

I urge the board to approve this needed development and to include provisions for ongoing workforce affordability—to create a place for those in our economy and community that contribute to the overall vibrancy of Hailey, and indeed the greater Wood River Valley. We cannot continue to close doors of opportunity to our neighbors, and we certainly cannot let opportunities such as the Saddle Lofts pass us by.

*The Blaine County Housing Authority’s mission is to advocate, promote, plan and preserve the long-term supply of desirable and affordable housing choices in all areas of Blaine County in order to maintain an economically diverse and vibrant community.*

I would like to thank the P&Z Commissioners, City staff, and the development team for your commitment to the local workforce of Hailey to provide safe, desirable, and affordable housing for our community to retain our vibrant and talented workforce.

Should you have any additional questions for me or if you require any additional information, please don't hesitate to reach out to me.

Cordially,



Nathan S. Harvill  
Executive Director  
Blaine County Housing Authority



**From:** [caitlinhegwood@icloud.com](mailto:caitlinhegwood@icloud.com)  
**To:** [Robyn Davis](#)  
**Subject:** Support for Saddle Loft  
**Date:** Tuesday, March 29, 2022 2:48:18 PM  
**Attachments:** [73B4FD7D6AE54BA59221C05DF886D632.png](#)

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Dear Robyn,

My name is Caitlin Hegwood and I am writing in support of the Saddle Loft apartments. Our communities are in dire need of work force housing for our school teachers, fire fighters, police, restaurant and other workers. The Saddle Lofts project aims to supply a significant amount of housing for middle income workers, like myself, who are being forced out of the area due to 200% of median income rental rates. Furthermore, the Saddle Lofts project is located in an area zoned for exactly for the proposed use. The project will add another important link in the River Street pedestrian amenities, including wider sidewalks, street trees, streetlights and bicycle path.

I hope the city allows this project to go through, as I believe it will support ALL of in our community.

Thank you for considering,



Caitlin Hegwood, MS, ACADC, CCTS-I  
208-309-1948  
[caitlinhegwood@icloud.com](mailto:caitlinhegwood@icloud.com)

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Vicki Shapiro MD  
551 River Trail  
Hailey ID 83333

Robyn:

My husband and I are writing to voice our strong approval and appreciation for the proposed Saddle Loft project on River Street. Development can be challenging when we are used to seeing empty space, but we would welcome this project to improve our neighborhood and agree with the following:

Our communities are in dire need of work force housing. The Saddle Lofts project aims to supply a significant amount of housing for middle income workers.

Multi-family housing is affordable to lower and middle income workers.

Rental housing is an important type of housing for those who cannot afford to purchase a home.

The Saddle Lofts project is located in an area zoned for exactly for the proposed use.

The size of the building fits well with the other large buildings in the vicinity.

The proposed project meets all City codes and requests no exceptions or waivers.

The project will add another important link in the River Street pedestrian amenities, including wider sidewalks, street trees, streetlights and bicycle path.

Hailey desperately needs more affordable housing and this would be a great infill project.

Thank you for your time

*Vicki Shapiro*

Vicki and Glen Shapiro

551 River TRL

Hailey ID 83333

Dear Hailey Planning and Zoning,

I am writing in support of the workforce housing project, Saddle Lofts. I am aware of the desperate need our valley has for workforce housing and I believe this location, being surrounded by businesses, just on the edge of the residential zone is a perfect location. Within walking distance of the downtown area will also help reduce traffic congestion.

With all the Airbnb rentals in our resort community we are in dire need of rental housing for those that cannot afford to purchase a home.

I hope the city of Hailey will approve of this project.

Sincerely,

Sonya Wilander

**From:** [Elizabeth Corker](#)  
**To:** [Robyn Davis](#)  
**Subject:** Please approve Saddle Lofts Workforce Housing project  
**Date:** Wednesday, March 30, 2022 1:59:42 PM

---

To Hailey Planning and Zoning Commission Members,

I am a long-time Hailey resident and am writing in strong support of the 27-unit Saddle Lofts Workforce Housing project that will be presented on April 4.

Working-class citizens of our valley can no longer afford to live here. The situation is dire. Without workforce housing, school teachers, fire fighters, police, restaurant and other workers will be forced to leave and vacancies will go unfilled.

I have looked into some of the details of the project. I like its appearance, its scale and also think the location is perfect. I welcome such a project in our wonderful, caring community.

Sincerely,

Elizabeth Corker  
PO Box 3777  
Hailey, Idaho 83333

## Jessica Parker

---

**From:** Matt Gelso <mgelso@kenny-bogue.com>  
**Sent:** Wednesday, March 30, 2022 5:54 PM  
**To:** planning  
**Subject:** P&Z Written Comment - Kazuko-San ID, LLC

RE the consideration of Design Review Application by Kazuko – San ID, LLC at the scheduled Hailey P&Z meeting on April 4, 2022.

P&Z Commissioners,

I have no objections to the building design, unit count, site plan, or the project in general.

My only concern deals with parking – please consider requiring 1 parking space per bedroom, or more. That is at minimum an additional 8 onsite parking spaces. Please do not allow a structural parking deficit. Even most 2 member adult households have 2 vehicles – there could be as many as 54 vehicles associated with this project. Please consider the impacts to the surrounding residential neighborhoods if 27 additional vehicles (current plan calls for only 27 onsite parking spaces) are parked in the surrounding area. In winter months this issue would be especially acute.

If, in the future, private vehicle use drastically declines and there is excess parking onsite, the space can be utilized as open space, park, outdoor seating/bbq area, etc.

I can be reached at the contact information below for any additional questions or follow-up. Please confirm receipt of this message.

Thank you for your time and consideration.

Best,

Matt Gelso  
Associate Broker  
PAUL KENNY & MATT BOGUE REAL ESTATE  
333 S Main St, Suite 210 | PO Box 5102 | Ketchum, ID 83340  
Office (208) 726-1918 | Mobile (530) 448-9470  
mgelso@kenny-bogue.com | [www.kenny-bogue.com](http://www.kenny-bogue.com)

**From:** [Jan Wasmann](#)  
**To:** [planning](#)  
**Subject:** Regarding the consideration of Design Review Application by Kazuko – San ID, LLC at the scheduled Hailey P&Z meeting on April 4, 2022.  
**Date:** Thursday, March 31, 2022 2:07:03 PM

---

3/31/22

P&Z Commissioners,

As we desperately need more affordable housing in the valley, I have no objections to the building design, unit count or the project in general.

I do have serious concerns with the parking, I think the property should require 1 parking space ***per bedroom*** or more. This would require at minimum an additional 8 on-site parking spaces. Please do not approve this plan until the parking deficit can be addressed and fixed. Most 2 member adult households have 2 vehicles, more bedrooms = more cars. There could be as many as 54 vehicles associated with this project. I live in Northstar Meadows and would like you to consider the impact to our and other surrounding residential neighborhoods if 27 additional vehicles (current plan calls for only 27 on-site parking spaces) are parked in the surrounding area. In winter months when street parking is prohibited this will be a nightmare.

I can be reached at the contact information below for any additional questions or follow-up. Please confirm receipt of this message.

Thank you for your consideration of my concerns,

Jan Wasmann  
711 Northstar Drive  
Hailey, ID 83333  
208 788 8778

31 March 2022

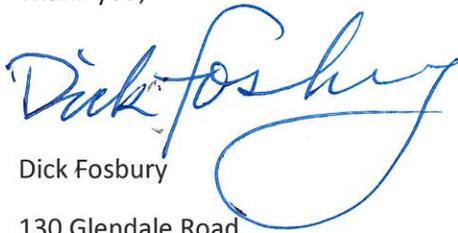
To: Hailey Planning and Zoning Commission

Ref: proposed Saddle Lofts project

I am commenting in favor of the design for the Saddle Lofts project, to provide new workforce housing for our community. We have a housing supply crisis that this project will help to mitigate and I hope you can approve. The design is very thoughtful with variation in the street-front appearance, attractive colorings, and good access to parking in the rear off of River Street and Empty Saddle Trail. This project is well located for the residents to walk to town or the river and will contribute to our community of all ages. It is in compliance with the existing zoning ordinances and comprehensive plan and I know the design team has successfully provided other attractive projects in Hailey. If I moved to town, I would be excited to live in one of these units when I retire.

Thank you for your consideration in favor of this project.

Thank you,



Dick Fosbury

130 Glendale Road

Bellevue ID 83313

**From:** [Lisa Horowitz](#)  
**To:** [Jessica Parker](#)  
**Cc:** [Robyn Davis](#)  
**Subject:** FW: Design Review Application by Kazuko - San ID, LLC at the scheduled Hailey P&Z meeting on April 4, 2022  
**Date:** Monday, April 4, 2022 4:39:09 PM

---

Lisa Horowitz  
CITY ADMINISTRATOR  
CITY OF HAILEY  
115 S. MAIN ST. HAILEY, ID 83333  
208-788-9815 EXT. 1  
CELL: 727-7097

---

**From:** Doug Barrett <doug@mwaseattle.com>  
**Sent:** Monday, April 4, 2022 4:11 PM  
**To:** planning <planning@haileycityhall.org>  
**Subject:** Design Review Application by Kazuko - San ID, LLC at the scheduled Hailey P&Z meeting on April 4, 2022

Dear P&Z Commissioners,

As a nearby property owner, I welcome the addition of workforce housing and would like to see this project move forward. I would ask that the Commissioners and the developers consider ways to increase parking at this planned development. I think it is likely more than 27 parking stalls will be needed to service this project given its total bedroom count, and spillover parking in the area could be problematic, particularly in the winter months.

Thank you for considering my comments and looking forward to seeing this project come to fruition in Hailey.

Kind regards,  
Doug

**Doug Barrett, CCIM**  
Manager  
BearRock Investments LLC  
Office: 206.816.1579 | Mobile: 425.260.3333  
[doug@mwaseattle.com](mailto:doug@mwaseattle.com)

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**From:** [Robyn Davis](#)  
**To:** [Jessica Parker](#)  
**Subject:** FW: Support for Saddle Loft Project  
**Date:** Monday, April 4, 2022 9:05:26 AM

---

Can you save to file and send to Commission please?

**Robyn Davis, M.A.**

**Community Development City Planner**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2

---

**From:** Kevin Campbell <[thekevincampbell@gmail.com](mailto:thekevincampbell@gmail.com)>  
**Sent:** Sunday, April 3, 2022 7:49 AM  
**To:** Robyn Davis <[robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org)>  
**Subject:** Support for Saddle Loft Project

Good Morning, Robyn-

My name is Kevin Campbell and I am writing in support of the proposed Saddle Loft project on the corner of River Street and Empty Saddle Trail in Hailey. Projects like these can go a long way to ameliorating our local housing crisis while also improving the ability of local businesses to hire and retain talent. As a local school administrator, I have noticed a significant increase in the pressure that our current staff, particularly renters, have faced in the past two years in keeping up with the staggering increase in rents. We have also faced challenges with recruitment, as what was already an expensive market has become even more unaffordable. Saddle Lofts is a positive step toward helping increase our housing stock for those most vulnerable to the increased cost of living in the valley.

I reside in the Northstar neighborhood (on Northstar Drive) and as someone who drives right by this lot everyday, I have little concern about increased traffic or people in this neighborhood. Projects like these are exactly what the valley needs. I am happy to share more of my thoughts should that be helpful.

Kindly-

Kevin Campbell

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 4, 2022, the Hailey Planning and Zoning Commission considered and approved the Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes a total of twenty-seven (27) units, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units. The project will be located at Sublot 4B, Block 1, North Hailey Plaza, within the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. This project will be known as Saddle Lofts.

### FINDINGS OF FACT

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on March 16, 2022 and mailed to property owners within 300 feet on March 16, 2022.

**Background and Application:** The Applicant, Kazuko-San ID, LLC, has submitted a Design Review Application for construction of three (3) multifamily residential buildings. Building A is approximately 2,817 square feet, Building B is approximately 2,823 square feet in size, and Building C is approximately 1,020 square feet in size. Within the three (3) buildings, a total of twenty-seven (27) residential units are proposed. These units comprise of various unit size: nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units on 0.53 acres (22,992 square feet).

If approved, the project would be located on the east side of River Street, on the corner of River Street and Empty Saddle Trail. The project is located within the Downtown Residential Overlay (DRO), and is proposing the following:

- Twenty-seven (27) onsite parking spaces, which will include:
  - Twenty-four (24) uncovered parking spaces:
    - Eighteen (18) standard spaces
    - One (1) accessible space
    - Five (5) compact spaces
  - Three (3) covered parking spaces:
    - One (1) accessible space
    - One (1) standard space
    - One (1) compact space
- Nine (9) improved public right-of-way parking spaces
- Nine (9) one-bedroom units (540-680 square feet in size)
- Ten (10) one-bedroom units with office space (702-707 square feet in size)
- Eight (8) two-bedroom units (842-873 square feet in size)
- Eleven (11) bicycle racks for a total of 22 bicycle parking spaces
- Storage lockers for each unit
- Approximately 3,490 square feet of common useable open space
- Public right-of-way, street tree and landscaping improvements
- Two (2) deed-restricted residential units equal to or less than 100% Area Median Income (AMI)

Parking for the proposed units will be accessed off of an internal shared drive that connects to the existing public street, Empty Saddle Trail. No alley exists; however, a utility easement exists along the

eastern property line and will be utilized as part of the internal drive. The internal drive will be 22' in width and the proposed onsite parking angles are at 90 degrees.

The buildings have been designed to face River Street (west) and Empty Saddle Trail (south). The parking area is located behind the buildings and takes advantage of the existing utility easement that cannot be built upon. The shape and position of the buildings create an elongated courtyard/open space between the parking area and the buildings, which supports various outdoor “rooms” for residents to enjoy. At the north (and sunniest) end of the open space, a play structure is proposed. Just to the south of this is an uncovered, paved gathering area with benches. The outdoor room located just south of this gathering area with benches, there will be another common area covered by a trellis structure, providing filtered light and more shade. At the southernmost edge of the open space, a more naturalized space with a bark path and pet-friendly area are proposed. The Applicant is proposing a total of 3,490 square feet of useable open space (2,299 square feet is required), which will be open to the public and will be available for use by all tenants.

The primary pedestrian entrances will be covered and are located off of River Street and Empty Saddle Trail. The entries to each unit will be accessed via a covered walkway/balcony system located along the rear sides of the building. The proposed buildings, in most places, are setback approximately five feet (5') from the sidewalks to allow for ample landscaping on private property.

The above design is cohesive with the surrounding zoning and uses, which consist of commercial, single-family, and multi-family residential uses.

**Commission Feedback.** On January 18, 2022, the Planning and Zoning Commission reviewed the Design Review Preapplication for Saddle Lofts. The Commission neither approved nor denied the proposal, but suggested the following:

- **Consider adding air conditioning units to each residential unit.** The Applicant will install a sleeve feature that allows for the installation of a portable air conditioning unit, which will not be visible from the outside of the building,
- **Consider incorporating two-bedroom units on the ground floor.** Structurally, it is easier to accommodate for the stacking of two-bedroom units on the upper floors. While the Applicant did not place two-bedroom units on the ground floor as suggested, three (3) of the one-bedroom units have been strategically converted to two-bedroom units to better accommodate for a couple, family and/or more than one (1) individual.
- **Consider utilizing lighter exterior colors, or lighter-colored shingles, to reduce the mass of the building.** The Applicant has lightened the exterior colors, as shown on the Materials Board. The corrugated metal siding is a rust color, the stucco siding is a beige color, the entry doors will be a penny, or burnt rust color. A lighter shingle, in Shakeswood, will be utilized for the roof.
- **Consider reducing the density to increase average bedroom size.** The Applicant has reduced the overall number of units by one (1). At the Design Review Preapplication hearing, the Applicant proposed a total of 28 residential units. This proposal includes a total of 27 residential units. While the reduction in unit count does not alter the bedroom size, ample bedroom closet and hallway closet space has been provided.

**Procedural History:** A Design Review Preapplication public hearing before the Planning and Zoning Commission of the project was held on January 18, 2022, in the Hailey City Council Chambers. The

Commission reviewed the project and provided suggestions, as noted herein. No decision was made. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on April 4, 2022, in the Hailey City Council Chambers and virtually via GoTo Meeting.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Streets, Water & Wastewater: <i>No comments</i>
				Building: <i>No comments</i>
				Streets: <i>No comments</i>
			City Arborist: <i>The Hailey Tree Committee met on March 10, 2022 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design as proposed.</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>N/A, as no signage is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			Staff Comments	<p><i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i></p> <p><i>The project is comprised of three (3) apartment buildings with a total of twenty-seven (27) residential units. The site plan shows a total of 27 onsite parking spaces, of which, one (1) parking space is a standard accessible parking space, and one (1) parking space is a van accessible parking space. Additionally, the Hailey Municipal Code allows twenty-five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or six (6) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of six (6) spaces as compact spaces.</i></p> <p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units; however, if unimproved public right-of-ways are improved, this shall satisfy the guest parking requirement. The Applicant is proposing to improve the public right-of-way and off-street parking along River Street and Empty Saddle Trail. Nine (9) on-street parking spaces are proposed (along River Street and Empty Saddle Trail).</i></p> <p><i>The Commission found that all parking requirements for the proposed project have been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no

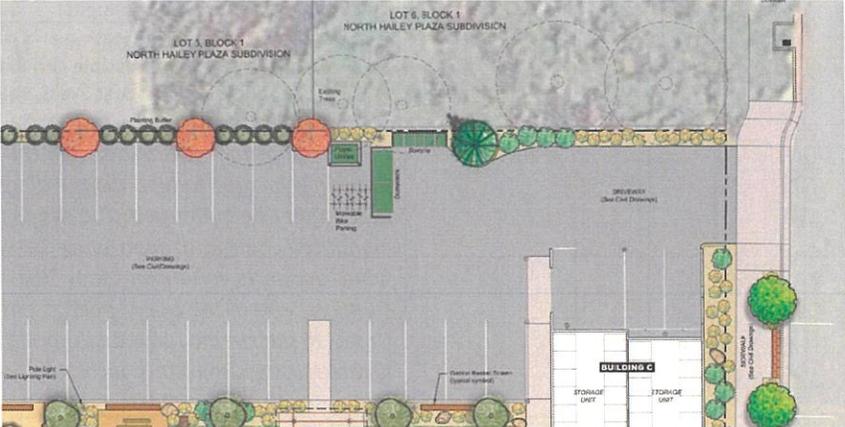
				other application is pertinent, under the notice and hearing procedures set forth for design review.
			<i>Staff Comments</i>	<i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p><b>17.08C.040 General Standards</b></p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<i>Staff Comments</i>	<i>The Applicant will install Dark Sky compliant, downcast and low wattage fixtures. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Business (B) and Townsite Overlay (TO) Zoning Districts:
			<i>Staff Comments</i>	<p><b>Building Height:</b></p> <ul style="list-style-type: none"> <li>- Permitted Building Height: 35' (except for a building containing at least one residential unit, then the allowable height is 40').</li> <li>- Proposed Building Height: +/- 35'</li> </ul> <p><b>Building Setbacks:</b></p> <ul style="list-style-type: none"> <li>- Required Setbacks:             <ul style="list-style-type: none"> <li>o Front Yard: 0'</li> <li>o Side Yards: 0'</li> <li>o Rear Yard: 0'</li> </ul> </li> <li>- Proposed Setbacks:             <ul style="list-style-type: none"> <li>o Front Yard (River Street): 2-5 3/16"</li> <li>o Side Yard (north): 5'-1 1/2"</li> <li>o Side Yard (south): 3'- 5/8"</li> <li>o Rear Yard: 26'-8 5/16"</li> </ul> </li> </ul> <p><i>The Commission found that all setback and building height requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>The public right-of-way on River Street and adjacent to the project site is 70' in width, instead of a traditional 100' in width. As such, the River Street Typical Section has been modified to fit the site-specific conditions. These modifications, noted</i>

				<p>herein, have been discussed with and are acceptable to the Public Works Department.</p> <p>A new 8.8'-wide sidewalk is shown along the property frontage of River Street. This sidewalk is interspersed with four (4), 3.8'-wide planting strips. The minimum sidewalk width along River Street is five (5) feet. An eight (8) foot wide sidewalk with four (4) interspersed planting strips are proposed along the property frontage of Empty Saddle Trail. The minimum sidewalk width along Empty Saddle Trail is six (6) feet wide.</p> <p>The proposed planting strips have been sized to provide ample room for a landscape buffer, while also providing pedestrian opportunities to access the sidewalk from the street/parking space. The proposed perimeter sidewalks will connect to interior sidewalks and patio area, providing safe access and sufficient circulation around and through the site.</p> <p>The Commission discussed maintenance to the Public Right-of-Way and concurred with Staff that a Public Right-of-Way Maintenance Agreement be developed between the City and the Applicant wherein the Applicant shall maintain all infrastructure within the right-of-way. This has been made a Condition of Approval.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	N/A. The Commission found that this standard has been met.

**Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey**

**1. Site Planning: 17.06.080(A)1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			Staff Comments	<p>The buildings face River Street (to the west) and Empty Saddle Trail (to the south). Parking is located behind the buildings and take advantage of a utility easement that cannot be built upon. The shape and position of the buildings create an elongated courtyard/open space between the parking area and the buildings, which supports various outdoor "rooms" for residents to enjoy. At the north (and sunniest) end of the open space, a play structure is proposed. Just to the south of this is an uncovered, paved gathering area with benches. The outdoor room located just south of this gathering area with benches, there will be another common area covered by a trellis structure, providing filtered light and more</p>

				<p>shade. At the southernmost edge of the open space, a more naturalized space with a bark path and pet-friendly area are proposed. The primary pedestrian entrances face the public streets (west and south), will receive ample sunlight and will be covered to provide safe access. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p><b>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</b></p> <p><i>Staff Comments</i> No mature, existing plant material exists onsite. Grasses, shrubs, weeds and two small, unmaintained trees will be removed prior to construction. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p><b>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</b></p> <p><i>Staff Comments</i> Site circulation has been designed to keep vehicular access and onsite parking to the shared internal drive. New sidewalks are shown along the property frontages of River Street and Empty Saddle Trail, which will connect to internal sidewalks and pedestrian entrances, creating safe access to and through the site. The pedestrian entrances face the streets (west and south), will receive ample sunlight, and will be covered. The apartments will be accessed via a covered walkway/balcony system located along the rear sides of the building. Both a covered walkway and an uncovered path will provide access from the building to the proposed parking area. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p><b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b></p> <p><i>Staff Comments</i> Trash receptacles, recycling and utility boxes are located to the rear of both the west and east wings along the eastern property line (see image below for further details). The trash enclosure will be partially enclosed with a removable fence in the event that utilities within the easement need to be accessed. A letter from Clear Creek Disposal commenting on accessibility of the proposed enclosure shall be provided. This has been made a Condition of Approval.</p> 

				<p>Furthermore, a power box is located directly north of the dumpster enclosure. This power box and the trash enclosure do not interfere with each other and will be screened with vegetation, subject to Idaho Power clearance regulations. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p><i>Staff Comments</i> N/A, as no alleys exist or are planned. The internal shared drive will be utilized for building services. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> <p><i>Staff Comments</i> N/A, as no vending machines are proposed at this time. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p> <p><i>Staff Comments</i> Onsite parking is located off of the proposed internal drive and to the rear of the building. A prominent entrance is proposed along River Street, and a secondary entrance is located along Empty Saddle Trail. All parking is screened from the street, buffered by buildings, landscaping and/or sidewalks.</p> <p>It is anticipated that snow will be hauled from the site, as the total number of dwelling units and onsite parking spaces proposed leave little space for snow storage. This has been made a Condition of Approval. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p> <p><i>Staff Comments</i> The site is serviced by two public streets, River Street and Empty Saddle Trail. Onsite parking can be accessed from an internal shared drive, which is located behind the proposed buildings and is a single-approach off of Empty Saddle Trail. Primary pedestrian access can be achieved from River Street and Empty Saddle Trail. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p> <p><i>Staff Comments</i> It is anticipated that snow will be hauled from the site, and no snow shall be stored within the proposed open space. This has been made a Condition of Approval. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p>

			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The proposal is for three (3) multifamily buildings of 27 dwelling units in the Business (B) and Downtown Residential Overlay (DRO) Zoning Districts. A variety of homes, single-family and multifamily, as well as commercial spaces, exist. These uses vary widely in size, shape and roofline. From the flat roofed, Albertson's Market (~36,600 square feet in size) to the single-story, steep-pitched roof cottage (~1,300 square feet in size) to the east, and the nearby movie theater, Big Wood Cinema (~12,903 square feet in size), the proposed buildings complement its surroundings. The multifamily buildings have a footprint of 7,424 square feet, which is substantially smaller than Albertson's and Big Wood Cinema. The design incorporates a variety of features, such as balconies, breezeways and/or pop-outs. The buildings have low-pitched, sloped roofs, consistent with a residential vernacular. The project has been designed as a collection of three (3) smaller buildings that are rectangular in shape, consistent with the surrounding buildings. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	<i>N/A, as the project is not a corporate design. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The proposed building design emphasizes human scale along the River Street façade by providing a generous landscaping buffer between the sidewalk and the building. The façade will also see directional siding, both horizontal and vertical, and a change in siding material at the second-floor level. Balconies, sunshades and eaves, pop-outs and trellis structure also reduce the mass and emphasize human scale. The primary entry from River Street is inviting, spacious and pedestrian-oriented.</i>

				 <p>While not the primary building elevations, the southern façade is spacious, providing for safe pedestrian access. Changing in siding materials, vertical planes, balconies, eaves and landscaping also encourage human interaction. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p><i>Staff Comments</i> The primary front façade faces River Street and includes various-sized windows, spacious pedestrian entrance, multiple building offsets, projections in the form of decks, roof eaves and sunshades, and exterior material changes at the second and third levels. The utilization of various materials, integration of undulation and exterior colors help to break up any large building surfaces. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>Staff Comments</i> N/A, as no future additions or renovations are planned at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p> <p><i>Staff Comments</i> A variety of materials will be used on the exterior of the buildings. A mix of corrugated metal siding (rust color), stucco siding (beige color), metal decks and sunshades (black color), natural wood gable vents, access balconies and trellises, and eaves are proposed (see the image above for further details).</p> <p>A Materials Sample Board has been provided and will be brought to the hearing. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p><i>Staff Comments</i> The exterior colors and materials proposed have been integrated into the architecture of the building and are similar to other buildings in the surrounding neighborhood. The colors are earthy in nature and will be harmonious with the neighboring brown, gray or burgundy, and brick-colored buildings. The stucco and metal materials will also complement the variety of materials found on the neighboring buildings. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p>

			<i>Staff Comments</i>	<i>N/A, as no flat roofs are proposed. The buildings will incorporate pitched roofs. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> <li>i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</li> <li>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii) Double glazed windows.</li> <li>iv) Windows with Low Emissivity glazing.</li> <li>v) Earth berming against exterior walls</li> <li>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul>
			<i>Staff Comments</i>	<p><i>The Applicant has stated that they plan to minimize energy consumption by incorporating/utilizing the following:</i></p> <ul style="list-style-type: none"> <li>- <i>South Facing Windows with Eave Coverage: At least 40% of the building's total glazing is oriented to the south, those which are oriented south and/or west are protected from the summer heat gain by adequate roof overhangs, and sun shades.</i></li> <li>- <i>Double Glazed Windows: All windows will be, at a minimum, double glazed.</i></li> <li>- <i>Low Emissivity Glazing: All windows will have low emissivity glazing.</i></li> <li>- <i>An alternative energy system is not proposed at this time; however, the building will be rooftop solar ready.</i></li> </ul> <p><i>Additionally, the Applicant is proposing the following:</i></p> <ul style="list-style-type: none"> <li>- <i>Building insulation to exceed minimum energy code compliance</i></li> <li>- <i>Low solar heat gain coefficient windows on the south and west facades to minimize afternoon heat gain</i></li> <li>- <i>Two (2) electric vehicle, Level 2, charging opportunities</i></li> <li>- <i>All electric building</i></li> </ul> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<p><i>Low-pitched roofs are proposed and will retain snow. Gable roofs will direct melting snow and rain runoff to the gutters at the eaves. The access balconies/walkways will be covered by a pitched roof with gutter system. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>

			<i>Staff Comments</i>	<i>Downspouts and drains will be located within landscaped areas and shall not create any pedestrian hazards. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	<i>N/A, as no vehicle canopies are proposed. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	<i>N/A, as no master signage plan is needed. That said, the Applicant has submitted a plan, but it appears all proposed signage is exempt from permitting requirements (i.e., smaller than four square feet, address signage, etc.). The Commission found that this standard has been met.</i>

**3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed. Trellis features, attached to the building, are located at the front and rear pedestrian entrances. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed. A trash/recycling enclosure is located off of the internal shared drive, at the rear of the property. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>N/A, as no perimeter fences are proposed. The perimeter of the property will be defined by vegetative landscaping. Removable screening to match the corrugated siding is proposed around the trash and recycling enclosure. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>N/A, as no fencing is proposed at this time. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>Aside from minimal plumbing vents, no roof projections and/or roof-mounted mechanical equipment are proposed at this time. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.

			<i>Staff Comments</i>	<i>N/A, as no alternative energy sources are proposed at this time. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>Trash receptacles, recycling and utility boxes are located to the rear of the building, off of the internal shared drive. The Idaho Power transformer box will be located, per IPCO Regulations, along the eastern property line and will be screened from view by landscaping. No additional ground-mounted mechanical equipment is proposed. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All services lines will be underground. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances will be permitted on poles. The Commission found that this standard has been met.</i>

**4. Landscaping: 17.06.080(A)4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>All plant material has been selected for its drought-tolerance and ability to thrive in the local environment. Tree selections include Washington Hawthorn, Autumn Blaze Maple, Tartarian Maple, Crabapple, Subalpine Fir, Rocky Mountain Juniper and Tannenbaum Pine. Shrub selections include Oriental Dwarf Spruce and a mix of Cotoneaster, Ninebark, Lilac, Spirea and Snowberry. Grasses and perennials include three (3) drought-tolerant grasses, and three (3) native or adapted flowering perennials. The limited turf grass proposed is a low-water use Fescue Blend. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>The Applicant has stated that all plant species proposed are hardy to a minimum USDA Zone 4. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>All disturbed areas will be revegetated and irrigated with an automatic, underground irrigation system. Drip irrigation will be installed in all planting beds, planter boxes and tree wells. The irrigation system will be automatically controlled with a smart controller and rain sensor for a water wise system. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in

				<p>any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</p>
			<i>Staff Comments</i>	<p>The proposed Landscaping Plan incorporates a combination of trees, shrubs, grasses and groundcover. The Landscape Plan (Sheet L1) shows a total of eighteen (18) trees to be planted onsite and a total eight (8) street trees to be planted.</p> <p>Pursuant this standard, newly landscaped areas having more than 10 trees, a minimum of 10% of the trees, or one (1) tree, shall be at least 4" caliper, 20% of the trees, or three (3) trees, shall be at least 3" caliper, and 20% of the trees, or three (3) trees, shall be at least 2 ½" caliper. The Applicant is proposing the following onsite trees:</p> <ul style="list-style-type: none"> <li>- Four (4) Tartarian Maple Trees at 3" caliper</li> <li>- Six (6) Crabapple Thunderchild Trees at 2" caliper</li> <li>- One (1) Subalpine Fir Tree at 12' in height</li> <li>- Five (5) Rocky Mountain Juniper/Tannenbaum Pine Trees at 15 gallons each</li> </ul> <p>Additionally, the Applicant is proposing the following street trees:</p> <ul style="list-style-type: none"> <li>- Four (4) Washington Hawthorne Trees at 3" caliper</li> <li>- Four (4) Autumn Blaze Maple Trees at 4" caliper</li> </ul> <p>The Commission found that the proposed tree species and sizes comply with this standard.</p> <p>Lastly, the Hailey Tree Committee met on March 10, 2022 to discuss the project. The Hailey Tree Committee unanimously voted to approve the street tree plan design as proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p>
			<i>Staff Comments</i>	<p>N/A, as the proposed project is located within the Business (B) Zone District. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p>
			<i>Staff Comments</i>	<p>Proposed landscaping is varied, as shown in the Landscape Plans. Refer to Section 17.06.080(A)4d for further details. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p>
			<i>Staff Comments</i>	<p>A Grading and Drainage Plan has been submitted and storm water will be retained onsite. Runoff is directed to drywells where it will infiltrate into the soil. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p>
			<i>Staff Comments</i>	<p>The Applicant will be responsible for maintaining plant material in healthy condition. The Commission found that this standard has been met.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>A very low retaining wall, maximum of eight inches (18") is proposed along the River Street sidewalk to allow a small change in grade from the sidewalk to the subject property. It will have a six inch (6") minimum curb on the sidewalk side, per the request of the Public Works Department, to facilitate snow removal on the sidewalk. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>Per the request of the Public Works Department, the proposed retaining wall described above will be made of reinforced concrete to match the sidewalk. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A, as no tall retaining walls are proposed. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A, as no extensive retaining walls are proposed. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed to be over 24" in height. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are compatible for seating. The Commission found that this standard has been met.</i>

**Additional Design Review Requirements for  
Multi-Family within the City of Hailey**

**1. Site Planning: 17.06.080(D)1, items (a) thru (c)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
			<i>Staff Comments</i>	<i>The building responds to its corner location by presenting its main facades toward River Street and Empty Saddle Trail. The open space is located behind the building to buffer the building from the parking area and to provide privacy from the public right-of-way. The gentle north to south slope is accommodated by stepping the buildings down with the topography. Surrounding uses are buffered from the residential building by street rights-of-way, the project's parking area and landscape buffers along property lines. The Commission found that this standard has been met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	<p><b>b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.</b></p>
			<i>Staff Comments</i>	<p><i>A simple, logical system of pedestrian pathways connects the public rights-of-way with the project and access to parking. Most of the walkways onsite are covered. Additional informal pathways are provided to access the outdoor rooms in the open space. Three (3) sets of stairs serve the upper levels. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	<p><b>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</b></p>
			<i>Staff Comments</i>	<p><i>Please refer to Section 17.06.080(D)1b above. The Commission found that this standard has been met.</i></p>

**2. Building Design: 17.06.080(D)2, items (a) thru (b)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p><b>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</b></p>
			<i>Staff Comments</i>	<p><i>The overall building is composed of three (3) smaller residential buildings, each containing up to ten (10) dwelling units. It is clad in a mix of corrugated metal siding on the lower levels and stucco above, with frequent articulation of the façade, to break up the building massing and scale. Two (2) generous openings to and through the building provide welcoming entrances and passage into the project. Horizontal elements, such as sunshades, private balconies, trellises, generous roof overhangs and access walkways mitigate the vertical elements. An approximately five-foot-wide setback from the public sidewalk provides an opportunity for vegetative landscaping to soften the front edges of the building. The gable roof forms utilized reference a residential vernacular. The exterior finish materials incorporate a mix of corrugated metal siding (rust color), stucco (beige color), metal decks and sunshades (black color) and generous eaves. Natural wood stair stringer, access balcony construction, trellises and gable vents will provide an additional accent material and color. Windows are large enough to admit ample daylight, cross ventilation and egress. They are placed to admit winter sun, but shading is provided so that they are shielded from summer sun heat gain. Where possible, each room has light from two (2) sides. The front door to each dwelling unit will be painted a burnt orange color to differentiate it from other exterior finishes, while complementing the overall color palette. The individual apartment doors do not face the street, rather they face the access balconies on the inside of the property, and the great room doors, windows and balconies face the more public street sides of the property. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p><b>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</b></p>
			<i>Staff Comments</i>	<p><i>The proposed building design emphasizes human scale along the River Street façade by providing a generous landscaping buffer between the sidewalk and the building, breaking up the façade horizontally with a change in siding material at the second-floor level, protruding balconies, sunshades and generous eaves,</i></p>

				providing four pop-outs to undulate the façade and with a trellis structure over the main pedestrian entry. The main access is generous, pedestrian-friendly and inviting to encourage human interaction at the entry, as well as to direct people into the property. The Commission found that this standard has been met.
<b>General Requirements for the Downtown Residential Overlay District (DRO)</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.030	<b>General Application:</b> The Downtown Residential Overlay District shall be an overlay district with bulk, open space, landscaping and parking requirements for buildings and structures located within the district which are developed as multi-family or mixed uses. Where the regulations specified for the underlying zoning district, the requirements of this article shall apply and control, except as otherwise specified in this article (Ord. 1238, 2018).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.040(A)	<b>Use and Bulk Requirements:</b> Use and bulk requirements shall be those of the underlying zoning district, except where specifically amended herein (Supplementary Location and Bulk Requirements of Chapter 17.07 of this title shall also apply in the DRO). <b>A. Residential Percentage:</b> There shall be no maximum residential percentage on the ground level (Ord. 1238, 2018).
			<i>Staff Comments</i>	<i>The project is proposing twenty-seven (27) dwelling units within the three (3) multifamily buildings. Of the overall total, eight (8) of the dwelling units are on the ground floor. Parking and storage spaces for each unit are also located on the ground floor. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(A)	<b>Multifamily and Mixed-Use Density:</b> <b>A. Maximum Residential Units Per Acre:</b> Residential units per acre provisions of the underlying district shall not apply; rather density shall be limited by required open space, parking, landscaping and standards of review from Chapter 17.06: "Design Review", of this title. The Commission shall have the discretion to modify building design based on the standards in Chapter 17.06 of this title.
			<i>Staff Comments</i>	<i>Please refer to the Design Review Standards as noted herein. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(B)	<b>B. Dwelling Unit Average Size Requirement:</b> The average dwelling unit size shall be not less than six hundred (600) net square feet per building (Ord. 1238, 2018).
			<i>Staff Comments</i>	<i>The average dwelling unit size is 707 net square feet, as measured to the inside of the unit's exterior walls. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (A)	<b>Parking Spaces, Screening and Storage Requirements:</b> <b>A. Onsite Parking Space Requirements Multiple Family Dwellings and Dwelling Units Within A Mixed-Use Building:</b> <ol style="list-style-type: none"> <li>1. A minimum of one space per residential dwelling unit, where up to twenty five percent (25%) of required on-site parking spaces may be provided as compact parking spaces. Compact spaces must be signed as such.</li> <li>2. At least one guest parking space for every six (6) dwelling units. Unimproved City rights-of-way adjacent to the site that are improved as part of the project shall count towards the guest parking requirement.</li> </ol>
			<i>Staff Comments</i>	<i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.  The project is comprised of three (3) apartment buildings with a total of twenty-seven (27) residential units. The site plan shows a total of 27 onsite parking spaces, of which, one (1) parking space is a standard accessible parking space, and one (1)</i>

				<p><i>parking space is a van accessible parking space. Additionally, the Hailey Municipal Code allows twenty-five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or six (6) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of six (6) spaces as compact spaces.</i></p> <p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units; however, if unimproved public right-of-ways are improved, this shall satisfy the guest parking requirement. The Applicant is proposing to improve the public right-of-way and off-street parking along River Street and Empty Saddle Trail. Nine (9) on-street parking spaces are proposed (along River Street and Empty Saddle Trail).</i></p> <p><i>The Commission found that all parking requirements for the proposed project have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (B)	<p><b>B. Useable Open Space, Screening and Landscaping:</b></p> <ol style="list-style-type: none"> <li>1. Useable open space of not less than ten percent (10%) of the total lot area shall be included in the project design. Useable open space shall not include private decks, patios or rooftop gardens.</li> <li>2. A landscape buffer between parking areas and residential zone districts may consist of an acceptably designed wall or fence incorporating drought tolerant plantings; and</li> <li>3. Minimum distance setbacks in Section 17.09.020.11 of this title shall not apply.</li> </ol>
			<i>Staff Comments</i>	<p><i>The total lot area is 22,992 square feet in size. The Applicant is required to provide 2,299 square feet of useable open space or ten (10%) percent of the total lot area. The Applicant is proposing useable open space that is approximately 3,490 square feet in size.</i></p> <p><i>A landscape buffer between parking areas and residential zoning districts are also required; however, the project does not abut a residential zoning district. That said, the Applicant is proposing to buffer the parking area from adjacent properties with trees and deciduous and evergreen shrubs (see Sheet A9.01 for further details).</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (C)	<p><b>C. Onsite Parking Dimension:</b> Where the parking angle is ninety degrees (90°), the minimum aisle width may be twenty-two (22') feet, as determined through the design review process.</p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing that all onsite parking angles be of ninety degrees (90°). They have also proposed an aisle width to access the parking are of twenty-two (22') in width. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (D)	<p><b>D. Storage:</b> All units under five hundred (500) square feet shall be provided with on-site storage suitable for bikes, skis and other similar items. Size, location and design of the storage areas shall be determined through the design review process (Ord. 1238, 2018).</p>
			<i>Staff Comments</i>	<p><i>All proposed units (27 in total) exceed 500 net square feet in size; however, the Applicant Team has provided each unit with a twenty (20) square foot (4'x5') storage unit. These units are located on the ground floor. The Commission found that this standard has been met.</i></p>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
  - 1. The project does not jeopardize the health, safety or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
  - 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
  - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

## **CONCLUSIONS OF LAW**

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

- 1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.**
- 2. The project is in general conformance with the Hailey Comprehensive Plan.**
- 3. The project does not jeopardize the health, safety, or welfare of the public.**
- 4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Hailey Municipal Code and City Standards.**

## DECISION

The Design Review Application by Kazuko-San ID, LLC, for construction of three (3) multifamily residential buildings, which includes a total of twenty-seven (27) units, comprising of nine (9) one-bedroom units, ten (10) one-bedroom units with office space, and eight (8) two-bedroom units, was approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (k) are met:

- a) All applicable Fire Department and Building Department requirements shall be met. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
  - i. The Applicant shall install a building sprinkler system and alarm system, as set forth in the IFC.
  - ii. A Right of Way Maintenance Agreement shall be adopted by the Council prior to Certificate of Occupancy.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- d) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- e) The Applicant shall submit a letter from Clear Creek Disposal commenting on the accessibility of the proposed trash enclosure.
- f) The Applicant shall remove and haul snow from the site, as needed. No snow shall be stored in the proposed open space.
- g) Any and all ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- h) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- i) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- j) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- k) The Applicant shall submit a Photometric Plan prior to issuance of a Building Permit.

Signed this 18<sup>th</sup> day of April, 2022.



Janet Fugate, Planning & Zoning Commission Chair

Attest:



Jessie Parker, Community Development Assistant

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