

Agenda
Hailey Planning and Zoning Commission
Tuesday, February 17, 2026
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

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Phone Conference ID: 602 369 677#

Call to Order - Hailey Planning and Zoning Commission

- Public Comment for items not on the Agenda.

Consent Agenda - ACTION ITEM

- **CA 1:** Motion to approve Findings of Fact, Conclusions of Law, and Decision for the Design Review Application, submitted by 1611 Aviation, LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, for the construction of a new, mixed-use condominium project. Eleven (11) commercial condominiums and one (1) mixed-use condominium with an accessory dwelling unit (ADU) are proposed, with each unit offering 2,552 square feet of conditioned interior space and a 90 square foot, private exterior balcony. This project is located at 1611 Aviation Drive (Lot 3B, Block 4, Airport West Subdivision #2) within the Service Commercial Industrial - Industrial (SCI-I) Zoning District. **ACTION ITEM**
- **CA 2:** Motion to approve Findings of Fact, Conclusions of Law, and Decision for the Preliminary Plat Application by 1611 Aviation, LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, with a proposal to subdivide Lot 3B, Block 4 of Airport West Subdivision #2 into twelve (12) commercial condominium sublots, including one (1) mixed-use condominium subplot with an accessory dwelling unit (ADU). This project, to be known as Della Mountain Suites, is located within the Service Commercial Industrial-Industrial (SCI-I) Zoning District. **ACTION ITEM**
- **CA 3:** Motion to approve meeting minutes dated February 2, 2026. **ACTION ITEM**

Public Hearing - ACTION ITEM

- **PH 1:** Consideration of a Planned Unit Development (PUD) Application submitted by St. Charles Borromeo Catholic Church, represented by The Land Group, Inc., to consider various waivers and benefits of the zoning and subdivision codes to be able to construct a new Parish Hall, Classrooms, Administrative Offices, Worship Sanctuary, as well as repurpose the existing church building, all located at 311 South 1st Avenue (Lots 3-10, Block 21, Townsite Overlay) within the Transitional (TN) and Townsite Overlay (TO) Zoning Districts. As part of this Application, the Applicant requests the following waivers:
 1. Waiver to maximum Building Height
 2. Waiver to maximum Lot Coverage
 3. Waiver to required onsite Parking requirements **ACTION ITEM**

Administrative Review – NO ACTION ITEM

- **AR 1:** Design Review Exemption by Spring Bullard proposing minor modifications to the existing 641 square foot single family residence located at 210 N. 2nd Avenue (Lot 19A Block 47, Hailey Townsite)

Staff Reports and Discussion

- Monday, March 2, 2026:
 - o Workshop: Land Use Assumptions for AOI

Adjourn by 8:00 PM - ACTION ITEM

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On February 17, 2026, the Hailey Planning and Zoning Commission considered and approved a Design Review Application, submitted by 1611 Aviation LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, for the construction of a new, mixed-use condominium project, where eleven (11) commercial condominiums and one (1) mixed-use condominium with an accessory dwelling unit (ADU) are proposed. This project is to be located at 1611 Aviation Drive (Lot 3B, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District.

The Hailey Planning and Zoning Commission enters these Findings of Fact, Conclusions of Law and Decision.

Applicant: 1611 Aviation LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning
Location: 1611 Aviation Drive (Lot 3B, Block 4- Airport West Subdivision #2)
Zoning & Lot Size: SCI-Industrial (SCI-I); Lot size 43,554 square feet

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on December 17, 2025. The project was noticed jointly with a corresponding condominium preliminary plat application. No public comments were received for either application during the public comment period. The Application was continued on the record at the January 5th, 2026 Public Hearing, to the certain date of February 2, 2026.

Background and Application: The Applicant proposed a new, mixed-use condominium development on an un-built parcel in the Airport West Subdivision. Currently, the property is being used for long-term equipment and material storage for nearby business owners. A Design Review Pre-Application was first submitted by the Applicant Team and reviewed by the Planning and Zoning Commission in April, 2025. The Applicant requested that the Commission consider their unique development proposal, which called for a series of twelve (12) identical condominium units, each offering 2,293 square feet of developable interior space and 90 square feet of private, exterior patio area. Three (3) separate buildings were proposed to host the twelve (12) units.

Most notably, the Applicant proposed architectural and site designs that could support future conversion of each unit's second-level commercial space into a two-bedroom Accessory Dwelling Unit (ADU), at the discretion of future unit owners. ADUs are permitted within live/work developments within the SCI-I Zoning District, although they must be owner or employee-occupied. Code compliant private outdoor space and parking capacity requirements for each unit (inclusive of all uses) were met with the Applicant's Pre-Application proposal. These project components have been retained for all iterations of the Design Review process.

On January 5, 2026, the Commission conducted a public hearing for the Applicant's full Design Review Application (a Condominium Preliminary Plat Application was also reviewed concurrently). The Design Review proposal included one (1) of the twelve (12) condominium units as a full ADU build-out in. The 900 square foot ADU was proposed for the second level of the condominium unit, featuring two (2) bedrooms, one (1) bathroom, and a kitchen/living area. Three hundred (300) square feet of additional commercial space was also proposed for the second level, as well as access to the ninety (90) square

foot exterior patio (ADU outdoor space requirement). Interior and site perimeter sidewalk connections were proposed, as well as a trash enclosure, privacy fence on the northern property boundary, and site landscaping. Twenty-two (22) surface parking spaces and eleven (11) individual garage parking spaces were proposed (33 total), with twenty-eight (28) parking spaces required (commercial and hypothetical residential uses).

Park space dedication/in-lieu requirements for the condominium subdivision will be addressed through a Development Agreement between the property owner and the City of Hailey, as discussed at the January 5, 2026 Public Hearing and captured within the proposed Conditions of Approval. Park requirements become active at the proposal of three (3) or more residential units. The Applicant is currently proposing one (1) formal condominium unit with a residential component. Given the highly flexible and uncertain nature of future additional residential components, which would trigger park requirements, Staff and the Hailey City Attorney have concurred that the Development Agreement approach - providing park-in-lieu fees, specifically – will ensure that all necessary Code requirements and impacts of potential future development are addressed. The Development Agreement will be brought to the Hailey City Council at future date for review and approval.

At the January 5, 2026 public hearing, Commissioners shared a number of concerns with the Design Review proposal. Some of these concerns centered around exterior façade design, while others concerned floor layout sizing, lighting, and minimizing energy consumption. After the Commission's decision to continue the Application's public hearing to a date certain, the Applicant provided a revised Justification Letter for the project, which catalogued the Commissioner's comments from January 5th and provided further explanation of how each comment was addressed in the Applicant's revised submittal. A detailed synopsis of the Commissioners' comments and the Applicant's responses is included within the project's February 2, 2026 Design Review Application Staff Report. A copy of this Staff Report is on file at the City of Hailey and can be made available upon request.

At the conclusion of the February 2, 2026 public hearing, the Commissioners expressed their general support for the Applicant's revised proposal. A total of five (5) additional Conditions of Approval were placed on the project, requesting minor adjustments to things like landscaping, screening, and lighting fixtures. A unanimous decision for approval was granted.

Procedural History: The Design Review Application was submitted on November 21, 2025, and certified complete on November 25, 2025. An initial public hearing before the Planning and Zoning Commission was held on January 5, 2026, in the Hailey City Council Chambers and virtually via Microsoft Teams. A continuation of the public hearing was then held on February 2nd, 2026 in the Hailey City Council Chambers and virtually via Microsoft Teams.





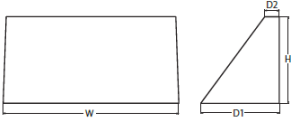
Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision ("Findings") represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.



General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<p>Engineering: <i>No comments</i></p> <p>Life/Safety: <i>No comments</i></p> <p>Water and Sewer:</p> <p><u>Water:</u></p> <ul style="list-style-type: none"> • All water mains shall be looped at the end of the main. • Each unit shall have its own water service, with no double meter vaults permitted. • Any unused water services located during construction shall be abandoned at the water main. • Water services located in asphalt areas shall have blue board installed over the service. • Water main connections on Lear Lane and Dornier Way shall be hot-tapped. <p><i>These have been made Conditions of Approval.</i></p> <p><u>Sewer:</u></p> <ul style="list-style-type: none"> • The Applicant shall submit finalized sewer plans and utility plans to the City of Hailey Engineer and Wastewater Division Manager and receive design approval, prior to issuance of a Building Permit. Final Plans shall include: <ul style="list-style-type: none"> - All identified clean-outs on the Sewer Plan (Sheet C4.1, Key Note #4) shall be switched to sewer manholes. - All Applicable City of Hailey and Idaho Standards for Public Works Construction (ISPWC) standards for sewer system design shall be observed and reflected through utility plan notations, as needed. - Sewer connection to existing manhole shall be plugged upon successful connection to the manhole to prevent unwanted flow from entering either direction. - Any pre-treatment features required by the Wastewater Division Manager, which also fit within the Applicant’s desired scope of work, shall be installed. <p><i>This has been made a Condition of Approval</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p> <p>Building: <i>No comments</i></p> <p>Streets, Landscaping, Other:</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

			<p>Staff Comments</p> <p><i>The Applicant is aware of sign permit requirements for the proposed monument signage. The Applicant shall refrain from installing any signage until sign permit approval has been granted.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.09.040 On-site Parking Req.</p> <p>See Section 17.09.040 for applicable code.</p> <p>Staff Comments</p> <p><i>The proposed project is located in the SCI- Industrial (SC-I) Zoning District. The Hailey Municipal Code requires a minimum of one (1) parking space per 1,000 square feet of commercial use. The project proposes approximately 29,604 square feet of commercial space, requiring at minimum thirty (30) parking spaces. Additionally, the Applicant is proposing one (1) ADU unit, requiring one (1) dedicated parking space.</i></p> <p><i>The minimum parking requirement for the proposed mixed-use development is thirty-one (31) spaces. The Applicant is proposing twelve (12) individual garage parking spaces, plus twenty-one (21) surface parking spaces, for a total of thirty-three (33) onsite parking spaces. The minimum parking requirements have been met.</i></p> <p><i>Any future conversion of commercial space into an ADU unit (as designed for by the Applicant) will result in an overall decrease in commercial area, thus lessening the minimum commercial parking requirement. If all twelve (12) condominium units are eventually converted to include an ADU, the total commercial area decreases from 29,604 square feet (as proposed) to 19,792 square feet. The new, hypothetical parking requirement would be twenty (20) spaces for the commercial use, plus twelve (12) spaces for the ADU use, resulting in an overall mixed-use parking requirement of thirty-two) spaces. In any mixed-use configuration (as currently permitted by the Hailey Municipal Code and planned for by the Applicant), the parking requirement will remain as met.</i></p> <p><i>At the Commission’s request, the Applicant provided a table of parking requirement breakdowns at various ADU build-out levels. This can be found in the submitted justification letter. While this table still reflects a parking space excess under any ADU build-out scenario, rounding and ADU square footage assumptions made by the Applicant (i.e. 900 square feet vs. actual 892 square foot proposal for Unit 112) reflect slightly different parking space totals. Regardless, parking requirements have been, and will be, met for this project under any proposed ADU build-out scenario, as permitted by Hailey Municipal Code.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.09.040.06: EXCESS OF PERMITTED PARKING:</p> <p>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p>

				<p><i>N/A- Site parking meets requirement.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08C.040 Outdoor Lighting Standards</p>	<p>17.08C.040 General Standards</p> <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ul style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<p><i>Staff Comments</i></p>	<p><i>The Applicant proposed two (2) different exterior lighting fixtures, both to be mounted to the exterior of each building. No freestanding light fixtures are proposed. Both proposed fixture types will utilize LED luminaires, reducing energy waste.</i></p> <p><i>Lighting fixture Type 1 (Luminis brand) is proposed to have eight (8) installments per building, each placed at approximately 8.75' feet above finished grade and affixed to the building's exterior, placed adjacent to primary and secondary human entry doors. Type 1 fixtures are proposed to be fully shielded and downcast, with a max lumen output of 3,732 lumens. This exceeds Hailey Municipal Code's lumen output recommendations for mounting height (max lumen output of 1,600 installed at eight (8) feet).</i></p> <p><i>Lighting fixture Type 2 (Lithonia WDGE3) is proposed to have five (5) installments per building, each placed at approximately fourteen (14) feet above finished grade and affixed to the building's exterior. Type 2 fixtures will be placed at the shared wall of each adjoining unit, just below the exterior balconies, as well as at the rear corners of each building (non-garage side). Type 2 fixtures are also proposed to be full shielded and downcast, with a max lumen output of 6,000 lumens. This meets the Code recommendation for mounting height (max lumen output of 2,400 at twelve (12) feet, and 6,000 at sixteen (16) feet).</i></p> <p><i>Type 1:</i></p>

				 <p>Type 2:</p>  <p>WDGE3 LED Architectural Wall Sconce</p>   <p>Specifications</p> <p>Depth (D1): 8" Depth (D2): 1.5" Height: 9" Width: 18" Weight: 19.5 lbs (without options)</p>  <p><i>While maximum lumen output for specific mounting heights are recommendations, per Hailey Municipal Code, the Applicant has provided additional details that show the lighting fixtures as fully shielded and downcast and lower in color temperature. The Hailey Municipal Code does, however, impose maximum requirements for average foot-candle illumination for parking areas. With a maximum of 1.5 foot-candles permitted, the Applicant has submitted a photometric plan that shows parking area and overall property illumination at an average of 1.4 foot-candles.</i></p> <p><i>In order to avoid over lighting and mitigate any possible threats of light trespass, the Commission requested that the Applicant decrease the illumination in certain areas of the site plan that did not directly serve as circulation corridors or provide functional benefit. The Applicant was amenable to this request.</i></p> <p><i>The Applicant shall remove at least one (1) of the proposed “wedge” wall sconce lighting fixtures from Buildings #1 and #3, and the Applicant shall decrease the maximum lumen output. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Zoning District: SCI-I Industrial Zoning District. Maximum Height: 35' within the SCI District Required Setbacks:


			<ul style="list-style-type: none"> - Front Yard: 10 feet - Side Yards: 10 feet - Rear Yard: 10 feet - Lot Coverage: 70%
			<p><i>Staff Comments</i></p> <p>Zoning District(s): SCI-I- Industrial Zoning District Proposed Height: 33' Proposed Setbacks:</p> <ul style="list-style-type: none"> - Front (East/Airport Way): 10 feet - Rear: 10 feet - Side (north): 10 feet - Side (South): 17 feet - Lot coverage: 5% <p>Lot Coverage: 15,297 square feet of building footprint, with 43,554 square feet of lot area, equaling approximately 35% of lot coverage (70% maximum permitted).</p> <p>All bulk requirements have been met.</p> <p>Findings: Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.070(A)1 Street Improvements Required</p> <p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			<p><i>Staff Comments</i></p> <p>The Applicant is proposing to construct a new, publicly accessible sidewalk along the property's southern boundary on Lear Lane/Dornier Way, accommodating for two (2) curb cuts that facilitate vehicular access to the onsite parking area. This sidewalk will also provide connection to the public open space (Parcel A) that is located between 1611 Aviation Drive and Broadford Road.</p> <p>Public sidewalk along the majority of the eastern property boundary is existing, although a small portion in the northeast corner is incomplete, due to a previously developed shared access easement with 1551 Aviation Drive. This easement is proposed to be vacated, in conjunction with the Applicant's corresponding Preliminary Plat Application. Sidewalks along each building's interior frontage are also proposed for further site connectivity.</p> <p>The Applicant shall install sidewalk within the vacated shared access easement to match and connect with the existing sidewalk along 1551 Aviation Drive. This has been made a Condition of Approval.</p> <p>The Applicant is proposing the construction of eleven (11) new drywells and two (2) new catch basins. Five (5) of the drywells will be installed in landscaped areas. City Staff and the City Engineer have reviewed the proposed drainage plans and found runoff containment to be adequate. The Wastewater Division Manager has also instructed the Applicant to adjust the drain type/naming from cleanouts to sewer manholes, for servicing requirements of the City of Hailey. However, the drainage function of the proposed improvements will remain.</p> <p>Findings: Compliance. This standard has been met.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			<i>Staff Comments</i>	<i>N/A - No alley access is proposed.</i> <i>Findings: Compliance. This standard does not apply.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p> <p><i>Staff Comments</i> Across the three (3) buildings, each of the twelve (12) units features a ninety (90) square foot covered balcony/outdoor deck space on the second level. Buildings 1 and 3 feature deck spaces that face interior to the site, while Building 2 features deck spaces that face outward from the property, towards the south. Sun exposure will be gained within each of the deck orientations, depending on the time of day and seasonal exposures. The garage doors also follow the same orientation patterns on the first level, which will allow for natural lighting opportunities and prevent excessive build-up of ice/snow in the winter months. Transom windows on each garage door further enhance sun exposure and safe access to buildings.</p> <p>Each unit features two (2) human entry doors on the first level, each on opposite sides of the building elevation. Safe access to the units is enhanced through multiple options for entry points. Eaves, roof gutters, and snow clips are also proposed, which will protect pedestrian access points and walkways from precipitation and snow build-up.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p><i>Staff Comments</i> The Applicant is proposing to retain the mature tree along Aviation Drive, which is in the City right-of-way. The only other existing plant material (visible in satellite imagery but not delineated on submitted surveys) appears to be located along the western property boundary. The Applicant has stated that these mature shrubs will be removed and replaced with new landscaping features.</p>


<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<i>Findings: Compliance. This standard has been met.</i> c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.
			Staff Comments	<p><i>The site design includes perimeter landscaping with new sidewalk connections along Lear Lane/Dornier Way. The proposed sidewalk along the southern property boundary will technically be located on private property, but the Applicant has stated that it will be publicly accessible. This sidewalk will provide new connection from existing sidewalk along Aviation Drive, to the public grass pathway along Broadford Road and located directly west of the property. Staff have also requested that the Applicant complete the missing sidewalk section along the northeast corner of the property, providing continuous pedestrian access along the property's Aviation Drive frontage.</i></p> <p><i>Interior to the site, the Applicant is proposing interconnected sidewalks along each building frontage with garage access. These sidewalks provide dedicated pedestrian travel areas amongst various points of potential vehicle egress/ingress, enhancing visibility and safety for pedestrians. All units can be accessed with a human entry door that is directly adjacent to a sidewalk (interior or exterior), and additional human doors on opposite building sides of each unit provide further access points to the buildings and through the site.</i></p>  <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.
			Staff Comments	<p><i>The Applicant is proposing an enclosed, screened trash receptacle towards the rear of the site, providing plenty of space for trash services. A letter from Clear Creek Disposal commenting on the adequacy of this enclosure and location shall be provided prior to the issuance of a Building Permit. This has been made a Condition of Approval.</i></p>

				<p><i>The Applicant has stated that they intend to construct a six (6) foot tall fence along the property’s northern boundary, further shielding the trash enclosure. While the Commission discussed some concern about Building 2’s garage doors facing Lear Lane and Dornier Way at the Applicant’s previous Design Review Pre-Application public hearing, Staff believe that the dead-end nature of Dornier Way will produce limited street traffic, and thus, limited conflicts with vehicles backing out of the garages and into traffic. The externally-facing garage doors of Building 2 also allow for additional on-site parking spaces to be provided, and it prevents excessive concentration of garage doors in one interior site location. Vehicular traffic patterns for both surface parking and garage access needs are balanced with the proposed site planning. All snow is proposed to be hauled offsite, preventing conflicts with snow storage and building services.</i></p> <p><i>Any necessary additional utilities, including transformers, electrical meters, and irrigation controls, shall be screened from view. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p><i>Staff Comments</i> <i>N/A. There is no existing alley to be utilized for building services.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> <p><i>Staff Comments</i> <i>N/A. No Vending Machines are proposed with this project.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			<i>Staff Comments</i>	<p><i>The proposed parking will be accessed via two (2) new entrances located off Dornier Way/Lear Lane. The onsite parking is located at the rear of the site, screened from view by the proposed buildings. A six-foot tall fence along the northern property boundary is proposed and will further screen the parking area from the adjoining property to the north.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.02	<p>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</p> <p>a. Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an</p>

				additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12’.
			<i>Staff Comments</i>	<p>The Applicant is proposing one (1), 600 square foot loading space at the northeast corner of Building 2. This loading space will facilitate trash removal services, as well as larger delivery loading needs for the various units. The Applicant has listed retail, wholesale, and storage as potential occupancies/uses of the twelve (12) condominium units, although the units will be owned individually and may not consistently share a single use or occupancy. Therefore, Staff believe that site layout will support the anticipated diversity of use and support the single proposed loading area, as proposed.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p> <p><i>Staff Comments</i></p> <p>The Commission previously discussed the property’s vehicular approaches at the April 2025 Design Review Pre-Application public hearing. Concerns about garages and backing onto Dornier Way were discussed, as well as the two (2) curb cuts on Dornier Way, although no formal alternatives for site planning were proposed.</p> <p>The limited traffic potential for Dornier Way (dead end street), and the ability for pedestrian access of on-site parking to be achieved via dedicated interior sidewalks each limit potential conflict for pedestrians and vehicles. The Applicant is proposing sidewalk infrastructure along the entirety of the property’s Dornier Way/Lear Lane frontage (aside from curb cut areas). The current site planning also allows for complete buffering of the onsite parking area.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1i	<p>i. Snow storage areas shall be provided on-site as follows: where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p> <p><i>Staff Comments</i></p> <p>N/A The Applicant is proposing to haul all snow offsite.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p> <p><i>Staff Comments</i></p> <p>Please refer to Section 17.06.080(A)1i for further information.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p> <p><i>Staff Comments</i></p> <p>Please refer to Section 17.06.080(A)1i for further information.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p> <p><i>Staff Comments</i></p> <p>Please refer to Section 17.06.080(A)1i for further information.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p>a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.</p> <p><i>Staff Comments</i> The proposed buildings accommodate the surrounding industrial and mixed-use properties with both north/south and east/west orientations, respecting existing street corridors and the potential viewing perspectives from the ground level orientation. The articulation of the rooflines, inclusion of parapet features, the diverse materials, and various sized windows complement the surrounding area.</p>  <p>The Applicant also provided additional examples in their submitted Justification Letter of existing buildings in the surrounding area, further highlighting this proposal's compatibility.</p>



1630 Aviation Drive (Existing Building Immediately across the street)



New Construction at approximately 1120 Airport Way (Aviation Drive)






East Elevation of Approved 1511 Aviation Drive

Findings: Compliance. This standard has been met.


<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(A)2b</p> <p><i>Staff Comments</i></p>	<p>b. Standardized corporate building designs are prohibited.</p> <p><i>N/A, as the proposed building design is not a standardized corporate building design.</i></p>
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				<i>Findings: Compliance. This standard does not apply.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction. Site planning shall include designated seating areas, picnic tables, pavilions, or other amenities that provide usable spaces for employees and pedestrians alike.</p> <p><i>Staff Comments</i></p> <p><i>The Applicant has integrated the building to the surrounding site and greater area. Separated human entry doors for each unit feature extensive glazing surface and provide a step down in scale to the pedestrian level, compared to the fourteen (14) foot tall garage doors for each unit. Each unit is proposed to have a covered balcony on the second level, clearly visible from the ground level. Three-paneglass doors on the balcony further emphasize the human scale of this architectural element.</i></p> <p><i>The Applicant is proposing sidewalks in both the interior and perimeter of the site. A pedestrian bench is proposed for the southwestern corner of the site, encouraging use of the southern sidewalk and access to the public greenspace and grass pathway to the west of the property, along Broadford Road. Eight (8) bicycle parking stalls are also proposed at the northeast corner of Building 2, adjacent to unit owner mailboxes.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p><i>Staff Comments</i></p> <p><i>Various materials and colors have been incorporated along all of the elevations, which are primarily visible from Aviation Drive and Dornier Way/Lear Lane. Wood-toned, painted fiber cement board lap siding is proposed for the bottom portion of the building, providing both visual interest and lasting material durability for the most heavily-impacted areas (moisture, snow, irrigation, etc.).</i></p> <p><i>The middle portion of the building is highlighted by a dark gray metal trim bellyband, transitioning into a slightly lighter gray batten and board siding, vertically oriented and made of painted fiber-cement. Along Dornier Way/Lear Lane, Building 2 showcases four (4) covered balcony areas with blackened steel guardrails, a sunken building offset with both floor-level and clerestory windows, and horizontal weathered wood planking, above each balcony. Buildings 1 and 3 are simpler in design when viewed from Dornier Way/Lear Lane, carrying forward the same primary material types and orientations as Building 2, but featuring a large vertical window and two (2) small horizontal windows. The angling of each building still allows for the street-facing façade to showcase the unit balconies and building projections that are interior to the site.</i></p> <p><i>At the January 5th, 2026 Public Hearing, the Commission expressed a desire for an enhanced eastern façade of Building #1 that included more architectural detailing and/or visual appeal. Additions of textures, materials, visual breaks, and undulations were suggested, as well as the consideration for flipping the building orientation.</i></p>

			<p><i>The Applicant deemed flipping the building orientation unfeasible for a variety of reasons, including easement restrictions, decreasing parking and drive aisle space, and snow-shedding into the parking area. Instead, the Applicant responded to the Commission’s suggestions by adding visual interest through indentations at the building corners and in the middle of the building façade, adding additional awnings over the windows within the indented areas, and adding Coreten wainscoting to the ground level, matching the Coreten wainscoting proposed for the lower areas around garage doors at the interior of the site.</i></p> <p><i>Building 1 also shows the same wood-toned, painted fiber cement board lap siding and dark/light gray color palette and vertical material orientation, although no balconies are visible from this elevation. Instead, eight (8) large square windows are featured on the second level, with four (4) separate, covered glass door entrances on the ground level. Each pedestrian entrance along Aviation Drive is also proposed to have a concrete stoop with sidewalk connections.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(A)2e</p> <p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>Staff Comments</i> N/A, as no expansion is planned at this time.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2f</p> <p>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</p> <p><i>Staff Comments</i> A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2g</p> <p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p><i>Staff Comments</i> Building colors are shown on the elevations. Colors are broken on various elements to help break up mass and be harmonious with other neighboring buildings. Please refer to Section 17.06.080(A)2d above for further detail.</p>

				 <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2h</p> <p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p> <p><i>Staff Comments</i></p>	<p><i>The proposed buildings are not flat-roofed, although they do feature parapets and balconies.</i></p>  <p><i>Building 3, viewed from the north.</i></p> <p><i>Although Building 1 as viewed from Aviation Drive gives a somewhat stronger appearance of being flat-roofed, the Applicant has added design enhancements (indentations, additional awnings over windows, wainscoting) that draw attention away from the roof area.</i></p>  <p><i>Proposed Building 1, viewed from Aviation Drive.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2i</p>	<p><i>Findings: Compliance. This standard has been met.</i></p> <p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii. South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii. Double glazed windows. iv. Windows with Low Emissivity glazing. v. Earth berming against exterior walls vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.
<p>Staff Comments</p>			<p><i>The building incorporates the following techniques that minimize its energy consumption:</i></p> <ul style="list-style-type: none"> - <i>All windows will be double glazed</i> - <i>Low E Glazing</i> - <i>Exterior light shelves will be installed for all windows on the southernmost facing side of Building 2. South-facing windows on Building 2 are located in fully-conditioned spaces, and as such, light shelves will help minimize energy demand for cooling during intense solar exposure.</i> <p><i>At the January 5th, 2026 Public Hearing, the Commission noted that the Applicant only met two (2) out of the three (3) required energy conservation measures required in section 17.06.080(A)2i. These included double-glazed windows and low emissivity glazing</i></p> <p><i>The Applicant stated that Building #2 does in fact meet at least three (3) measures, with additional measures noted as favorable solar orientation (longer wall plane on east-west axis) and southmost-facing windows with eave coverage. Staff conclude that these additional measures for Building #2 are in fact met.</i></p> <p><i>Building #1 and Building #3 do not include these design standards. The Applicant proposed the addition of an exterior light shelf to the stairwell window on the south face of each of the buildings. The two (2) remaining windows on Building #1 and #2’s southern elevation are located in bathroom areas and are meant to be used as ventilation windows. Light shelves would disable this function, according to the Applicant.</i></p> <p><i>At the February 2, 2026 public hearing, the Applicant stated that providing an enhanced insulation package, greater than 2018 IECC requirements for the building type, was a design approach that could be</i></p>	

			<p><i>considered. The Applicant requested that the Commission consider this enhanced insulation as a qualifying energy conservation measure. The Commission was amenable to this option, although the Applicant could not confirm with certainty if this would be the approach they would take. The Applicant expressed willingness to provide exterior light shelves for all south-facing windows as well, even though this may diminish the utility of the natural lighting for bathroom areas. The Commission was amenable to either approach.</i></p>  <p style="text-align: center;"><i>Exterior light shelf addition and bathroom windows.</i></p> <p><i>The Applicant shall either provide exterior light shelves to all south-facing windows across the project area, or provide building framing/insulation plans that demonstrate an insulation package that exceeds minimum requirements for the building type, as outlined in the 2018 IECC. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2j</p> <p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> <p><i>Staff Comments</i></p> <p><i>The Applicant has stated that all roof eaves over paving surfaces shall receive a continuous, pre-finished gutter that is connected to a roof leader directing all water towards a landscape swale area. Snow clips are also shown on roof plans over pedestrian entrances.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2k</p> <p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p> <p><i>Staff Comments</i></p> <p><i>Downspouts from the building appear to be routed underground to drywells. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only, and not onto pedestrian and hardscape locations.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(A)2l</p> <p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent</p>

				with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	<i>NA, as no drive-through canopies are proposed.</i>
				<i>Findings: Compliance. This standard does not apply.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	<i>The Applicant has provided a Master Sign Plan. All unit sizes are the same, will equal amounts of signage area allocated to each unit. Signage decal locations have also been identified on the architectural elevations for each building.</i>
				<i>Findings: Compliance. This standard has been met.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A. No Accessory Structure is proposed.</i>
				<i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A - No Accessory Structure is proposed.</i>
				<i>Findings: Compliance. This standard does not apply.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>The Applicant is proposing to construct a trash enclosure comprised of a concrete masonry unit (CMU) material that will match the proposed building colors, according to the Applicant's submitted narrative statement. A six (6) foot fence is also proposed by the Applicant in their narrative statement, to be constructed along the northern property boundary. However, no specific materials have been identified at this time.</i>
				<i>The Applicant shall submit a Fence Permit Application and receive approval for the proposed design, prior to any permanent fence installation. This has been made a Condition of Approval.</i>
				<i>Findings: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>The Applicant is proposing a six-foot-tall fence along the property's northern boundary. This fence will only provide shielding from the north and thus, will not dominate the buildings or landscape.</i>
				<i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be

				shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<p><i>The Applicant is proposing roof access for certain maintenance and equipment needs. They are aware of screening requirements and have committed to screening all roof and ground-mounted equipment.</i></p> <p><i>Any necessary additional utilities, including transformers, electrical meters, irrigation controls, and roof-mounted or roof access apparatuses, shall be screened from view. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<p><i>N/A- No alternative energy sources are proposed with this project.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<p><i>The Applicant is proposing 6.75’ foot tall CMU screening and enclosure structure for the trash receptacle area, with material color to match the proposed building elevations. The Applicant has also stated that all mechanical equipment will be roof-mounted.</i></p> <p><i>Any necessary additional utilities, including transformers, electrical meters, irrigation controls, and roof-mounted or roof access apparatuses, shall be screened from view. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	h. All service lines into the subject property shall be installed underground
			<i>Staff Comments</i>	<p><i>All service lines shall be installed underground. City Staff requests that, if applicable, transformer locations be shown on the Building Permit drawings.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	i. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<p><i>N/A, as no additional appurtenances are proposed.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
4. Landscaping: 17.06.080(A)4, items (a) thru (n)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.

			Staff Comments	<p><i>Drought tolerant and/or xeriscape specific plant materials are proposed. The Applicant is proposing the following landscaping onsite:</i></p> <p><i>Trees</i></p> <ul style="list-style-type: none"> - <i>Three (3) new 2.5" caliper Silver Linden</i> - <i>Six (6) new six foot to eight-foot tall Vanderwolf's Pyramid Limber Pine</i> - <i>The existing tree along the property's frontage will remain in place</i> <p><i>Shrubs</i></p> <ul style="list-style-type: none"> - <i>Forty-seven (47) new Karl Forester Feather Reed Grass at 1 gallon</i> - <i>Forty-four (44) new Kelsey's Dwarf Red Twig Dogwood at 3 gallons</i> - <i>Five (5) new Purple-Leaf Wintercreeper at 3 gallons</i> - <i>Eight (8) new Little Lime Panicile Hydrangea at 5 gallons</i> - <i>Nineteen (19)) new Walkers Low Catmint at 1 gallon</i> - <i>Fifty (50) new Dark Towers Beardtongue at 1 gallon</i> <p><i>The Commission requested that the Applicant revise their landscaping plans to include tree caliper sizes, instead of height. The Applicant shall submit amended landscaping plans that identify all proposed tree plantings with required 2.5" caliper sizing. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<p>b. All plant species shall be hardy to the Zone 4 environment.</p>
			Staff Comments	<p><i>Plant materials will be appropriate for the Zone 4 environment.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p>
			Staff Comments	<p><i>An automatic drip irrigation system will be installed according to City Standards. The automatically controlled system will include a smart controller and rain sensor for a water-wise system. Low water use rotator nozzles will also be installed in grass spaces. The irrigation system will be positioned in a way where it will minimize the spray of water on the pavement or other hardscape areas.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½"). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</p>
			Staff Comments	<p><i>N/A. The proposed development is located within the SCI-I Zoning District.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p>
			Staff Comments	<p><i>Crushed rock beds will be installed around all shrubs. A variety of colors will be used. Planted areas and planters will be professionally maintained.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p>
			<i>Staff Comments</i>	<p><i>N/A. The proposed development is within the SCI-I Zoning District.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p>
			<i>Staff Comments</i>	<p><i>An internal storm drainage system will capture and retain all storm water onsite. Roof leaders will direct runoffs to landscape swales onsite, where accessible.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p>
			<i>Staff Comments</i>	<p><i>The Applicant shall be responsible for maintaining plant material in a healthy condition. Plants were chosen for reduced maintenance, drought tolerance and ability to thrive in conditions on-site.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	<p>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p>
			<i>Staff Comments</i>	<p><i>N/A. The Applicant provided design clarifications that more clearly define the nature and size of the concrete curb on the northern edge of the parking area. While originally referred to as a retaining wall by Staff, the Applicant has clarified that this is in fact a concrete curb and not a retaining wall, by nature of the size and backslope design of the curb.</i></p> <p><i>The location of the proposed curb is not in a pedestrian circulation area or prominently visible from the rest of the site.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	<p>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p>
			<i>Staff Comments</i>	<p><i>See Standard 17.06.080(A)4i for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	<p>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</p>
			<i>Staff Comments</i>	<p><i>N/A See Standard 17.06.080(A)4i for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	<p>l. Landscaping should be provided within or in front of extensive retaining walls.</p>
			<i>Staff Comments</i>	<p><i>See Standard 17.06.080(A)4i for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	<p>m. Retaining walls over 24" high may require railings or planting buffers for safety.</p>
			<i>Staff Comments</i>	<p><i>See Standard 17.06.080(A)4i for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>See Standard 17.06.080(A)4i for further detail. Findings: Compliance. This standard does not apply.</i>

General Requirements for Accessory Dwelling Units				
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Compliant		Standards and Staff Comments		
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.020	Applicability. A. The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04D.030	General Provisions. A. Accessory Dwelling Units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached Accessory Dwelling Units may comprise the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising of the remaining floor area.
			<i>Staff Comments</i>	<i>The Applicant is proposing one (1) ADU, to be located within Unit 112 of Building 2. The ADU will comprise the majority of the second floor of the commercial condominium unit.</i> <i>Staff would like to note that the Applicant is proposing a site plan and architectural framing that supports the hypothetical future construction of one (1) ADU unit to be located within each of the remaining eleven (11) commercial units. Each potential future ADU will be no larger than 900 square feet.</i> <i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. Only one (1) Accessory Dwelling Unit is permitted on a lot.
			<i>Staff Comments</i>	<i>Only one (1) ADU is proposed for the individual condominium lot.</i> <i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		C. Accessory Dwelling Units are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transition and SCI zones, Accessory Dwelling Units are permitted in conjunction with commercial buildings. In Business, Limited Business and Neighborhood Business, one or more residential unit(s) are considered.
			<i>Staff Comments</i>	<i>The proposed ADU is in conjunction with a commercial condominium unit, and both are located within the SCI - Industrial (SCI-I) Zoning District. Any potential additional ADU units will be located within other individual condominium units onsite.</i> <i>Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		D. Accessory Dwelling Units in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in Section 17.04J.020, "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.
			<i>Staff Comments</i>	<i>The proposed development is not located in the SFHA.</i> <i>Findings: Compliance. This standard does not apply.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08D.040: Registration of Accessory Dwelling Units Required</p>	<p>A. All Accessory Dwelling Units created after February 10, 2021, shall be issued an Accessory Dwelling Unit Compliance Certificate.</p>
			<p><i>Staff Comments</i></p>	<p><i>Upon completion of construction for the proposed ADU, a Compliance Certificate will be issued.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08D.050: Occupancy Restrictions -Short Term Occupancy</p>	<p>A. Where a lot contains both a primary dwelling unit and an Accessory Dwelling Unit, only one dwelling unit shall be utilized for Short-Term Occupancy;</p>
			<p><i>Staff Comments</i></p>	<p><i>Within the mixed-use development, the ADU must be owner or employee occupied, which is the intent of the Applicant. This standard shall be met and has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p>B. When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.</p>
			<p><i>Staff Comments</i></p>	<p><i>Within the mixed-use development, the ADU must be owner or employee occupied, which is the intent of the Applicant- to use the space for employee housing. This standard shall be met and has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08D.060: Subordinate Scale and Size</p>	<p>A. Scale: The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.</p>
			<p><i>Staff Comments</i></p>	<p><i>Pursuant Hailey’s Municipal Code, Gross Floor Area is defined as:</i></p> <ul style="list-style-type: none"> - <i>The gross area included within the surrounding exterior walls of a building or portion thereof, including all floor levels, exclusive of vent shafts, outdoor courts, attics or garages, or other enclosed automobile parking areas subject to the following restrictions:</i> <ul style="list-style-type: none"> - <i>The basement of a single- or multiple-family dwelling is not included as floor area; and</i> - <i>The basement of any other building is included as floor area.</i> <p><i>The gross floor area for the primary building (unit) and use is approximately 2,293 square feet in size. 66% of this gross floor area equals 1,513 square feet – the maximum permitted ADU floor area, based on principal building square footage. The lot size of the condominium subplot is also approximately 2,293 square feet. Based on lot size, the maximum gross floor area for ADU’s is 900 square feet.</i></p> <p><i>As the smaller value, 900 square feet is the maximum gross floor area permitted for Della Mountain Suites. The Applicant is proposing 892 square feet of gross floor area for Unit 112’s ADU.</i></p> <p><i>A primary concern of the Commission at the January 5th, 2026 public hearing was the discrepancy and possible oversizing of the proposed ADU unit spaces. Per Hailey Municipal Code, the maximum gross square footage of the proposed ADU units is nine hundred (900) square feet. This includes interior staircases providing access to</i></p>

			<p><i>the ADU. The Applicant’s proposed floor plan did not show a clear delineation on the second level of each unit between the proposed three hundred (300) square feet of commercial space, plus the nine hundred (900) square feet of ADU living space. It was also unclear if this square footage calculation included the interior staircase in each unit that is proposed to provide access to both of these spaces.</i></p> <p><i>The Applicant stated that while they do not believe that Hailey Municipal Code actually requires physical separation between the ADU and commercial space, they have provided a floor plan layout for Unit 112 (singular mixed-use unit, as proposed) that provides walls and doorways to delineate these different uses. They have also assessed stairwell area within their square footage calculations. The new ADU size is 892 square feet, including a portion of ADU stairwell at level 2, and the second-level commercial space is sized at 384 square feet and includes the other portion of the stair/hallway area on the second level.</i></p> <p><i>At the February 2, 2026 public hearing, the Commission continued to share some concern with the proposed ADU/commercial space floor plan layout, including the possibility of conversion of the second-level commercial space into a second ADU bedroom, without the City of Hailey’s knowledge or consent. Such conversion would ultimately grow the square footage of the ADU and create a non-compliant unit size. As such, the Commission have required the Applicant to remove the proposed door connecting the ADU and commercial/office space, and limit ADU entry to one single entry point on the opposite side of the floor level.</i></p> <p><i>The Applicant shall remove the proposed door connecting 2nd level commercial/office space to the proposed ADU. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p style="text-align: center;">B. Maximum Floor Area:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Lot Size (square feet)</th> <th style="text-align: center;">Minimum Gross Floor Area (square feet)¹</th> <th style="text-align: center;">Maximum Gross Floor Area (square feet)¹</th> </tr> </thead> <tbody> <tr> <td>Up to 7,000</td> <td style="text-align: center;">300</td> <td style="text-align: center;">900</td> </tr> <tr> <td>7,001 – 8,000</td> <td style="text-align: center;">300</td> <td style="text-align: center;">950</td> </tr> <tr> <td>Lots 8,001 and greater</td> <td style="text-align: center;">300</td> <td style="text-align: center;">1,000</td> </tr> </tbody> </table> <p>Gross square footage calculations for Accessory Dwelling Units do not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.</p>	Lot Size (square feet)	Minimum Gross Floor Area (square feet) ¹	Maximum Gross Floor Area (square feet) ¹	Up to 7,000	300	900	7,001 – 8,000	300	950	Lots 8,001 and greater	300	1,000
Lot Size (square feet)	Minimum Gross Floor Area (square feet) ¹	Maximum Gross Floor Area (square feet) ¹													
Up to 7,000	300	900													
7,001 – 8,000	300	950													
Lots 8,001 and greater	300	1,000													
			<p><i>Staff Comments</i></p> <p><i>Please refer to Section 17.08D.060A, noted above, for further details.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p style="text-align: center;">C. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.</p>												
			<p><i>Staff Comments</i></p> <p><i>The proposed ADU has one (1) bedroom.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08D.070: Livability</p> <p>A. Outdoor Access: All Accessory Dwelling Units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineated by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. The Outdoor Access area shall be approved through the Design Review process.</p>												

			<i>Staff Comments</i>	<p>The Applicant is proposing a 90 square foot balcony of private outdoor space for the ADU unit.</p> <p>Additionally, each condominium unit is proposed to offer the same 90 square feet of private outdoor balcony space, upon initial site development. Should any future potential ADU's be constructed, the standard for outdoor access will have been previously met.</p> <p>Findings: Compliance. This standard will be met.</p>
Chapter 17.09: Parking and Loading				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09 020.05.B	<p>Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.</p>
			<i>Staff Comments</i>	<p>Parking for the ADU may be achieved either in the single oversized garage space below the unit, or in one (1) of the twenty-one (21) surface parking spaces that are located within the asphalt parking area. Condominium CC&R's may assign specific parking spaces, based on units.</p> <p>Findings: Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.05.D	<p>Mitigation for Accessory Dwelling Unit parking spaces: Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.</p>
			<i>Staff Comments</i>	<p>All onsite parking is located either inside of garage spaces, or at the rear interior of the site. Proposed fencing and building orientation will prevent any light trespass.</p> <p>Findings: Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040.01	<p>Accessory Dwelling Units and all dwelling units less than 1,000 square feet require one (1) parking space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.</p>
			<i>Staff Comments</i>	<p>This standard has been met. A single-car parking space is proposed to service the ADU and is in conjunction with the required commercial parking for the mixed-use building.</p> <p>Findings: Compliance. This standard has been met.</p>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
 - 1. The project does not jeopardize the health, safety or welfare of the public.
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with

subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing, and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.**
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Hailey Municipal Code and City Standards.

DECISION

The Design Review Application, submitted by 1611 Aviation LLC, for the construction of a new, mixed-use condominium project, where eleven (11) commercial condominiums and one (1) mixed-use condominium with an accessory dwelling unit (ADU) are proposed, to be located at 1611 Aviation Drive (Lot 3B, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District has been approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (w) are met:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
 - i. **Life and Safety:**
 - i. The building shall comply with IFC and IBC code requirements.
 - ii. **Water**
 - All water mains shall be looped at the end of the main.
 - Each unit shall have its own water service, with no double meter vaults permitted.
 - Any unused water services located during construction shall be abandoned at the water main.
 - Water services located in asphalt areas shall have blue board installed over the service.
 - Water main connections on Lear Lane and Dornier Way shall be hot-tapped.
 - iii. **Wastewater:**
 - The Applicant shall submit finalized sewer plans and utility plans to the City of Hailey Engineer and Wastewater Division Manager and receive design approval, prior to issuance of a Building Permit. Final Plans shall include:
 - o All identified clean-outs on the Sewer Plan (Sheet C4.1, Key Note #4) shall be switched to sewer manholes.
 - o All Applicable City of Hailey and Idaho Standards for Public Works Construction (ISPWC) standards for sewer system design shall be observed and reflected through utility plan notations, as needed.
 - o Sewer connection to existing manhole shall be plugged upon successful connection to the manhole to prevent unwanted flow from entering either direction.
 - o Any pre-treatment features required by the Wastewater Division Manager, which also fit within the Applicant's desired scope of work, shall be installed.
- d) The Applicant shall submit a Fence Permit Application and receive approval for the proposed design, prior to any permanent fence installation.
- e) The Applicant shall install sidewalk within the vacated shared access easement up to their property line, to match the existing sidewalk along 1551 Aviation Drive's frontage.
- f) Any necessary additional utilities, including transformers, electrical meters, irrigation controls, and roof-mounted or roof access apparatuses, shall be screened from view.

- g) The Applicant shall construct any proposed retaining walls with similar project materials used elsewhere, or natural or decorative materials.
- h) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.
- i) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- j) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- k) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- l) All exterior lighting shall comply with the Outdoor Lighting Ordinance. The Applicant shall remove at least one (1) of the proposed “wedge” wall sconce lighting fixtures from Buildings #1 and #3, and the Applicant shall decrease the maximum lumen output for “box” lighting fixtures proposed along the west elevation of Building #3.
- m) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- n) The residential unit(s) shall be owner or employee occupied. The residential unit(s) shall not be sold as a condominium or separate legal parcel from the principal building(s).
- o) A letter from Clear Creek Disposal commenting on the adequacy of this enclosure and location shall be provided prior to the issuance of a Building Permit.
- p) All necessary permits shall be filed, and approval received, demonstrating compliance with FAA regulations prior to issuance of a Building Permit.
- q) To ensure compliance with all FAA regulations, the Applicant shall apply for the proper permitting via the FAA and receive approval by the FAA to construct the project as proposed. This approval shall be supplied to the City prior to issuance of any Building Permit.
- r) The Applicant shall submit amended landscaping plans that identify all proposed tree plantings with required 2.5” caliper sizing.
- s) The Applicant shall clearly identify and provide for ADA accessible parking spaces on submitted site plans, prior to issuance of a Building Permit.
- t) The Applicant shall either provide exterior light shelves to all south-facing windows across the project area, or provide building framing/insulation plans that demonstrate an insulation package that exceeds minimum requirements for the building type, as outlined in the 2018 IECC.
- u) The Applicant shall remove the proposed door connecting 2nd level commercial/office space to the proposed ADU.
- v) The Applicant shall provide an alternative door entry to the ADU that is fire-rated for 2018 IBC/IFC occupancy separation requirements, as well as provide a locking mechanism.
- w) Ground-mounted utilities for Building #1 shall be shifted west and receive additional landscape screening.

Signed this ____ day of _____, 2026.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Robyn Davis, Community Development Director

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On February 17, 2026, the Hailey Planning and Zoning Commission considered and approved a Preliminary Plat Application to subdivide Lot 3B, Block 4 of Airport West Subdivision #2 into twelve (12) commercial condominium sublots, including one (1) mixed-use condominium subplot with an accessory dwelling unit (ADU). This project is to be located at 1611 Aviation Drive (Lot 3B, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District.

The Hailey Planning and Zoning Commission enters these Findings of Fact, Conclusions of Law and Decision.

Applicant: 1611 Aviation LLC
Project: Della Mountain Suites
Location: 1611 Aviation Drive (Lot 3B, Block 4, Airport West Subdivision #2)
Size: 1 acre (43,554 sq. ft.)
Zoning: Service Commercial Industrial-Industrial (SCI-I) Zoning District

Notice: Notice for the public hearing was published in the Idaho Mountain Express on December 17, 2025, and mailed to property owners within 300 feet on December 17, 2025. No additional notices were sent, or publications made.

Background: On November 18, 2025, the Applicant submitted a Preliminary Plat Application to subdivide Lot 3B, Block 4 of Airport West Subdivision #2 into twelve (12) commercial condominium sublots, including one (1) mixed-use condominium subplot with an accessory dwelling unit (ADU). Proposed as Della Mountain Suites, this subdivision application has also been submitted concurrently with a full Design Review Application. The Applicant previously engaged with Staff and the Commission in April 2025, when a Design Review Pre-Application for the Della Mountain Suites project was initially discussed and reviewed.

Each condominium subplot is proposed to be approximately 2,293 square feet in size. Sublots are proposed in clusters of four (4), situated across three (3) separate buildings. Each subplot will contain one (1) condominium unit. The first floor of each unit covers 1,093 square feet, while the second floor is proposed at 1,200 square feet. The submitted condominium airspace plat lists 900 square feet of second floor area within each subplot as "Living". The Applicant is proposing one (1) of the twelve (12) condominium sublots (Sublot/Unit 112) to be fully developed as a mixed-use unit at the time of project construction. Unit 112 will host a one (1) bedroom ADU unit that will be occupied by the unit's owner and/or employees of the business entity that subsequently occupies the commercial condo space. The remaining eleven (11) condominium sublots will be developed as commercial condominiums, with unit floor plans and building programming that facilitate the potential construction of an ADU within each unit at a later date, should individual condominium owners wish to complete those improvements. The proposed preliminary plat includes a plat note that requires any future owners within Della Mountain Suites to submit an Accessory Dwelling Unit Application to the City of Hailey and receive approval, prior to any ADU construction. The Applicant has stated that Della Mountain Suite's subdivision CC&R's will also provide regulation over future ADU development, in addition to any CC&R requirements of the broader Airport West Subdivision.

Across the 43,554 square foot property, 15,924 square feet will be occupied by the building footprints of Buildings 1-3. Landscape area will occupy 9,992 square feet, and the remaining 18,268 square feet of property area is dedicated to surface parking, sidewalks, and various access/utility easements. “Parcel A” of the Airport West Subdivision, Phase II, is located directly to the west of the property. Parcel A contains the publicly accessible grass pathway/open space, directly to the east of Broadford Road. The Applicant has proposed pedestrian pathway connections from their property to Parcel A.

January 5th, 2026 Public Hearing: The Preliminary Plat Application was heard concurrently with a proposed Design Review Application. At the Public Hearing, the Commission’s only comment on the Preliminary Plat was a request for clarification on Easement Note “H”, which calls out a “Designated Approach and Access Easement”. A call-out on the Plat shows this Easement H area to be vacated, as coordinated by the Applicant and the adjacent property owner to the north at 1551 Aviation Drive, who also previously held a portion of the shared access easement on their property as well. A Vacation and Disclaimer of Easement (Instrument No. 716388) has been jointly filed by both property owners at 1611 and 1551 Aviation Drive and recorded with Blaine County.

February 2nd, 2026 Public Hearing: The Commissioners offered minor comments for the proposed Preliminary Plat Application. Two (2) new Conditions of Approval were placed on the application, seeking to remove Easement note “H”, which resulted in redundant language addressing the Shared Access Easement at the northeast corner of the property, and to require language in the Final Plat and Development Agreement that outlined unit owner/employee occupancy restrictions. These Conditions of Approval have been incorporated into these Findings of Fact.

Minor adjustments to proposed building facades resulted in slight changes to overall unit footprints. These footprint changes have been incorporated into the Applicant’s revised Preliminary Plat map, proposed with this Application.

Procedural History: The Applicant submitted their Preliminary Plat Application for Della Mountain Suites on November 18, 2025, and it was certified complete on November 25, 2025. A public hearing before the Planning and Zoning Commission was held on January 5, 2026, in Hailey City Hall Council Chambers and virtually via Microsoft Teams. A unanimous motion to continue the public hearing to a date certain was made by the Commission. A public hearing before the Planning and Zoning Commission was held on February 2nd, 2026 in Hailey City Hall Council Chambers and virtually via Microsoft Teams.

Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision (“Findings”) represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments.</i>
				Fire/Safety: <i>No comments.</i>
				Water and Sewer: <i>Water and Wastewater Division Managers provided specific utility feedback through the Applicant's concurrent Design Review Application. This feedback has been addressed through various Conditions of Approval placed on the Design Review Application. Refer to Design Review Application materials for further detail.</i>
				<i>Findings: Compliance. This standard has been met.</i>
				Building: <i>No comments.</i>
				Streets: <i>No comments.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			Staff Comments	<i>Please refer to the specific standards as noted herein.</i>
				<i>Findings: Compliance. This standard will be met.</i>
16.04.020: Streets:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			16.04.020	Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			Staff Comments	<i>N/A –The project proposed here does not include any new streets.</i>
				<i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into unplatted areas shall not be considered dead end streets.
			Staff Comments	<i>N/A – No cul-de-sacs nor dead-end streets are proposed.</i>
				<i>Findings: Compliance. This standard does not apply.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			Staff Comments	<i>The Applicant has proposed two (2) curb cuts off of Dornier Way/Lear Lane. Both curb cuts are located towards the southern property line. As a commercial condominium development proposal, both Staff and the Applicant anticipate potential industrial vehicle/equipment traffic associated with the property. Multiple access points for the property will facilitate smoother entry/exit patterns for these larger industrial vehicles and mitigate the need for a large</i>

				<p>turn-around area. This design helps to preserve surface parking for passenger vehicles and create safer pedestrian routes to the buildings and through the site.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>D.</p> <p>Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.</p>	<p><i>Staff Comments</i> N/A – No streets are proposed.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>E.</p> <p>Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.</p>	<p><i>Staff Comments</i> N/A – No public streets nor traffic calming measures are proposed.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>F.</p> <p>Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.</p>	<p><i>Staff Comments</i> N/A – No public streets are proposed.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>G.</p> <p>Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.</p>	<p><i>Staff Comments</i> N/A – No roadways are proposed.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>H.</p> <p>Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.</p>	<p><i>Staff Comments</i> N/A – No new road grades are proposed. The public streets are existing and meet City Standards.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I.	<p>Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA’s “NPDES General Permit for Storm water Discharge from Construction Activity” for all construction activity affecting more than one acre.</p> <p><i>Staff Comments</i></p> <p>The Applicant is proposing the construction of eleven (11) new drywells and two (2) new catch basins. Five (5) of the drywells will be installed in landscaped areas. City Staff and the City Engineer have reviewed the proposed drainage plans and found runoff containment to be adequate.</p> <p>The Applicant is aware of both shallow injection well and stormwater permit requirements.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	J.	<p>Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.</p> <p><i>Staff Comments</i></p> <p>The Applicant will install Handicap Parking signage for the two (2) required ADA parking stalls. Signs will be installed according to City Standards. Monument signage is also proposed for the southeast corner of the property; however, the design of the signage and any necessary applications will be addressed at a future time, according to the Applicant.</p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	K.	<p>Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.</p> <p><i>Staff Comments</i></p> <p>N/A – No new streets nor alleys are proposed.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
			L.	<p>Private Streets:</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	<p>Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner’s association.</p> <p><i>Staff Comments</i></p> <p>N/A – No private streets are proposed.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	<p>Private streets, wherever possible, shall provide interconnection with other public streets and private streets.</p> <p><i>Staff Comments</i></p> <p>N/A – No private streets are proposed.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	<p>The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.</p>

			Staff Comments	<i>N/A – No private streets are proposed.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	Private street names shall not end with the word “Road”, “Boulevard”, “Avenue”, “Drive” or “Street”. Private streets serving five (5) or fewer dwelling units shall not be named.
			Staff Comments	<i>N/A – No private streets are proposed.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			Staff Comments	<i>N/A – No private streets are proposed.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 6.	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10’x20’) if angle parking, or ten feet by twenty-four feet (10’x24’) if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.
			Staff Comments	<i>N/A – No private streets are proposed.</i> <i>Findings: Compliance. This standard does not apply.</i>
			M.	Driveways:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			Staff Comments	<i>The Applicant has proposed two (2) curb cuts off Lear Lane/Dornier Way, accessing a single parking area that will serve all owners, tenants, and/or customers of Della Mountain Suites. Based on the scale of the proposed development, parking requirements, and life/safety access needs, Staff and Streets Division manager approve of the proposed access design.</i> <i>Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 2.	Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths: a) Accessing one residential unit: twelve feet (12’) b) Accessing two residential units: sixteen feet (16’) No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.

			Staff Comments	<p><i>N/A. No individual driveways are proposed, only a shared parking area that will serve all owners, tenants, and/or customers of Della Mountain Suites. It will be accessed via two (2) curb cuts along Lear Lane/Dornier Way. The parking area utility structures, and dumpsters have been reviewed and approved by both Public Works and the Hailey Fire Marshall. All snow will also be hauled off site.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 3.	<p>Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.</p>
			Staff Comments	<p><i>The proposed parking area has been reviewed and approved by the Hailey Fires Marshall.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 4.	<p>Driveways accessing more than one residential dwelling unit shall be maintained by an owner’s association, or in accordance with a plat note.</p>
			Staff Comments	<p><i>The parking area will be governed and maintained by the Della Mountain Suites HOA and CC&R’s.</i></p> <p><i>A draft copy of the proposed CC&R’s has not yet been submitted to the City of Hailey. The Applicant shall submit a draft copy of the proposed CC&R’s, prior to any approval of the Findings of Fact. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 5.	<p>The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.</p>
			Staff Comments	<p><i>A thirty (30) foot-wide Access and Utility Easement is designated on the Preliminary Plat, extending from Aviation Drive to the property’s western terminus. The easement is stated to benefit Lots 3B, and Lots 4A-4O, Block 4, Airport West Subdivision. 29,032 square feet of Common Area is also indicated on the plat, which contains the parking area and landscaped areas. A building setback envelope is also shown on the plat. Definitions and procedures for the identified Common Areas are outlined in the Condominium Declarations (Plat Note #8).</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 6.	<p>No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.</p>
			Staff Comments	<p><i>The single proposed ADU unit (located in Unit 112) can be accessed from one (1) of either two (2) human entry doors, located on the ground level of the north and south elevation of the unit. An interior stairwell provides access to the residential unit. Any additional residential units constructed in the future will have identical access points as Unit 112.</i></p> <p><i>Buildings 1 and 3 propose exterior balcony areas on the second level, facing interior to the lot and into the parking area. These balcony areas are designed to provide the required outdoor access space for any potential future ADU units that are constructed in these condo units. Building 2 contains the only formally proposed mixed-use condo unit for the project, with one (1) ADU proposed on</i></p>

				<p><i>the second level of Unit 112. Building 2 balcony areas face exterior to the site, towards Lear Lane/Dornier Way.</i></p> <p><i>In an effort to create a communal atmosphere, provide a level of privacy, and maintain consistent design across all three (3) buildings, the Applicant proposed the interior-facing balcony areas for Buildings 1 and 3. Staff support this site design and do not believe that the parking area will have adverse impact on residential dwelling units, either formally proposed or potential units in the future. This area does not appear to interfere with maintenance of any existing infrastructure.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	N.	<p>Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</p> <p>Staff Comments <i>The proposed parking access area has been approved by the Fire Department and will be inspected for IFC compliance during the final plat inspections.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	O.	<p>Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</p> <p>Staff Comments <i>The site plan for the parking area has been inspected by the Hailey Fire Department and appears to comply with all regulations set forth in the IFC and other applicable codes and ordinances.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
16.04.030: Sidewalks and Drainage Improvements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.</p> <p>Staff Comments <i>The Applicant is proposing to construct a new, publicly accessible sidewalk along the property's southern boundary on Lear Lane/Dornier Way, accommodating for two (2) curb cuts that facilitate vehicular access to the onsite parking area. This sidewalk will also provide connection to the public open space (Parcel A) that is located between 1611 Aviation Drive and Broadford Road. The proposed Preliminary Plat Map does not indicate this sidewalk section as publicly accessible, although it is located within an Access and Utility Easement that is currently meant to benefit Lots 3B. and Lots 4A-40, Block 40, Airport West Subdivision.</i></p> <p><i>The Applicant shall provide a Public Access Easement for the proposed sidewalk along the property's southern boundary. A revised Preliminary Plat Map indicating this Public Access Easement shall be submitted to the City, prior to issuance of a Building Permit. This has been made a Condition of Approval.</i></p> <p><i>Public sidewalk along the majority of the eastern property boundary is existing, although a small portion in the northeast corner is incomplete, due to a previously developed shared access easement with 1551 Aviation Drive. This easement is proposed to be vacated, as negotiated between the adjoining property owners and outlined on the preliminary plat. Sidewalks along each building's interior frontage are also proposed for further site connectivity.</i></p>

				<p><i>The Applicant shall install sidewalk within the vacated shared access easement to match and connect with the existing sidewalk along 1551 Aviation Drive. This has been made a Condition of Approval.</i></p> <p><i>The Wastewater Division Manager has also instructed the Applicant to adjust the drain type/naming from cleanouts to sewer manholes, for servicing requirements of the City of Hailey. However, the drainage function of the proposed improvements will remain. This request from the Wastewater Division Manager is addressed within the Conditions of Approval for the Applicant's corresponding Design Review Application. Refer to the Della Mountain Suites Design Review Application materials for further details.</i></p> <p><i>See Section 16.04.020(l) for further discussion on the Applicant's approach to required drainage improvements.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</p> <p><i>Staff Comments</i> <i>See Section 16.04.030(A) for further detail.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.</p> <p><i>Staff Comments</i> <i>The Applicant is proposing new sidewalks that will provide direct access to the public grass pathway located in Parcel A, directly west of the property. The ongoing Airport Way Master Plan development process proposes potential pathway enhancements in Parcel A, further underscoring the value of the Applicant's proposed pedestrian connections to this area.</i></p> <p><i>A Condition of Approval has been placed on the Preliminary Plat and Design Review Applications, requiring the completion of public sidewalk in the vacated shared access area at the northeast corner of the property. The completion of this sidewalk improvement will provide enhanced pedestrian connectivity along Aviation Drive. See Section 16.04.030(A) for further detail.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<p>Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.</p> <p><i>Staff Comments</i> <i>The Applicant is providing publicly accessible sidewalks on the north side of Lear Lane/Dornier Way, which currently functions as a non-through street.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	<p>The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.</p> <p><i>Staff Comments</i> <i>N/A – This is a Preliminary Plat Application for a new condominium subdivision, this project involves more than a Lot Line Adjustment.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
16.04.040: Alleys and Easements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Alleys:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			Staff Comments	<i>N/A. This project is located in the Service Commercial Industrial-Industrial (SCI-I) Zoning District.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	The minimum width of an alley shall be twenty-six (26') feet.
			Staff Comments	<i>N/A – No alleys are planned at this time.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	All alleys shall be dedicated to the public or provide for public access.
			Staff Comments	<i>N/A – No alleys are planned at this time.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 4.	All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.
			Staff Comments	<i>Alleys are not planned nor platted at this time. The proposed underground utilities are routed in public utility easements along the southern property boundary (Lear Lane/Dornier Way).</i> <i>Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 5.	Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.
			Staff Comments	<i>N/A – Alleys are not planned for this parcel.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	Dead-end alleys shall not be allowed.
			Staff Comments	<i>N/A – The proposed design does not include a dead-end alley.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.

			<p>Staff Comments</p> <p><i>The proposed plat includes:</i></p> <ul style="list-style-type: none"> • A Public Utility, Snow Storage, and Landscape Easement (10 foot width) on the eastern property boundary along Aviation Drive. • An Irrigation Easement (17-20 foot width), to benefit the Airport West Subdivision, located on the southern property boundary along Lear Lane/Dornier Way. • A blanket Access and Utility Easement, to benefit lots 3B, and Lots 4A through 4O, Block 4 of Airport West Subdivision #2 (24-30 foot width), located on the southern property boundary along Lear Lane/Dornier Way. • A Landscape Easement to benefit the Airport West Subdivision (10 foot width), located on the western property boundary. <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>B.</p> <p>Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:</p> <p>Staff Comments</p> <p><i>See Section 16.04.040.A.7 for explanation.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>B. 1.</p> <p>To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries, or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide fisherman’s access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman’s access.</p> <p>Staff Comments</p> <p><i>The easements have been explained in the prior Section 16.04.040.A.7. There is no need for a river access easement, as this site does not border the Big Wood River.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>B. 2.</p> <p>To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.</p> <p>Staff Comments</p> <p><i>N/A – No natural resource, riparian area, hazardous area or other limitation requires an easement, as specified above, for the proposed subdivision.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>B. 3.</p> <p>Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.</p>

			Staff Comments	<i>N/A The Applicant is proposing to haul all snow off site.</i> <i>Findings: Compliance. This standard does not apply.</i>
16.04.050: Blocks				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.050	Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.
			Staff Comments	<i>N/A – This subdivision and proposed plat involve an existing block. No new blocks are proposed.</i> <i>Findings: Compliance. This standard does not apply.</i>
16.04.060: Lots				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.060	Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.
			Staff Comments	<i>N/A. The proposed plat calls for subdividing a 43,554 square foot parcel and creating twelve (12) commercial condominium units, including one (1) mixed-use condominium unit.. No single-family lots are proposed.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.
			Staff Comments	<i>N/A, as Staff are amenable to the proposed lot arrangement.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).
			Staff Comments	<i>N/A – The plat does not include any double frontage lots.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.
			Staff Comments	<i>N/A – The proposed lot is buildable.</i> <i>Findings: Compliance. This standard does not apply.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.
			<i>Staff Comments</i>	<i>N/A – No flag lots are proposed.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.
			<i>Staff Comments</i>	<i>N/A, townhouse/condominium sublots are excluded from this requirement. The proposed development has frontage on the public streets of Aviation Drive and Lear Lane/Dornier Way.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			<i>Staff Comments</i>	<i>N/A. This Project is not located in the Townsite Overlay (TO) District.</i> <i>Findings: Compliance. This standard does not apply.</i>

16.04.070: Orderly Development

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.
			<i>Staff Comments</i>	<i>N/A. The Applicant is proposing to construct three (3) commercial condominium buildings containing twelve (12) condominium units. One (1) of the twelve (12) units is also proposed as a mixed-use unit with an ADU, as permitted by SCI-I Zoning Regulations. Phasing is not necessary, and city services will not extend through undeveloped land.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<u>Agreement:</u> Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.
			<i>Staff Comments</i>	<i>N/A – Neither the Applicant nor Staff are requesting that the proposed condominium subdivision be phased.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<u>Mitigation of Negative Effects:</u> No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current

				<p>residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</p> <ul style="list-style-type: none"> a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance.
			<i>Staff Comments</i>	<p><i>N/A, as no negative effects on the ability of service delivery, nor the compromising of quality for service delivery or the imposing of substantial additional public costs, is anticipated.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ul style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic. 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. 5. Park land shall be most appropriately located on the Contiguous Parcels. 6. Grading and drainage shall be appropriate to the Contiguous Parcels. 7. Development shall avoid easements and hazardous or sensitive natural resource areas. <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<i>Staff Comments</i>	<p><i>N/A – No contiguous parcels are proposed to be subdivided.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
16.04.080: Perimeter Walls, Gates, and Berms				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	<p>The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.</p>
			<i>Staff Comments</i>	<p><i>N/A – No perimeter walls, gates, nor landscape berms are proposed.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
16.04.090: Cuts, Fills, Grading and Drainage				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology, and hydrology</p>

				<p>of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.</p> <p>Staff Comments <i>The site is exceptionally flat, and little alterations to topography are proposed. The addition of eleven (11) new drywells are proposed, primarily servicing runoff accumulated from precipitations on building roofs, and the parking area. Disruption to existing natural conditions is not anticipated.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>A. 1.</p> <p>A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.</p> <p>Staff Comments <i>A soils report was not requested by the City Engineer; however, the Applicant did provide a soils report. It has been filed with the City of Hailey and is available for review.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>A. 2.</p> <p>A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information:</p> <ul style="list-style-type: none"> a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council. <p>Staff Comments <i>A Grading/Site Improvement Plan has been submitted and reviewed by the City Engineer. The City Engineer found the plans to be satisfactory.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>	
			<p>B.</p> <p>Design Standards: The proposed subdivision shall conform to the following design standards:</p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>B. 1.</p> <p>Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</p> <p>Staff Comments <i>Very little grading will be necessary as the site is relatively flat. That said, a Grading/Site Improvement Plan has been submitted and will be additionally reviewed and formally approved by the City Engineer, prior to issuance of the Building Permit.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>B. 2.</p> <p>Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.</p> <p>Staff Comments <i>N/A, as natural site conditions are well suited for development.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>B. 3.</p> <p>Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient</p>	

				<p>period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.</p> <p><i>Staff Comments</i> A permanent irrigation system is proposed for the site, servicing 6,285 square feet of landscape area (9,992 square feet of total landscape area across the site). The Applicant has stated that the irrigation system will be designed for maximum efficiency with zoned controls, allowing for specific application of water. This will minimize erosion and ensure proper plant establishment.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 4.	<p>Where cuts, fills or other excavation are necessary, the following development standards shall apply:</p> <ul style="list-style-type: none"> a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope. e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures. <p><i>Staff Comments</i> Proposed grading and drainage have been reviewed and approved by the City Engineer.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 5.	<p>The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State, and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.</p> <p><i>Staff Comments</i> This Standard has been met. Please see section 16.04.020(I) for further detail.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
16.04.100: Overlay Districts				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Flood Hazard Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	<p>Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.</p> <p><i>Staff Comments</i> N/A – The proposed subdivision is not located in the Flood Hazard Overlay District.</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.
			<i>Staff Comments</i>	<i>N/A – The proposed subdivision is not located in the Flood Hazard Overlay District.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.
			<i>Staff Comments</i>	<i>N/A – The proposed subdivision is not located adjacent to the Big Wood River nor its tributaries.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Hillside Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A – The proposed subdivision is not located within the Hillside Overlay District.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			<i>Staff Comments</i>	<i>N/A – The proposed subdivision is not located within the Hillside Overlay District.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			<i>Staff Comments</i>	<i>N/A – The proposed subdivision is not located within the Hillside or Floodplain Hazard Overlay Districts.</i> <i>Findings: Compliance. This standard does not apply.</i>

16.04.110: Parks, Pathways and Other Green Spaces

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.
			<i>Staff Comments</i>	
			A. 1.	Parks:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1. a.	<p>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</p> <p>P = x multiplied by .0277</p> <p>“P” is the Parks contribution in acres</p> <p>“x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</p>

			Staff Comments	<p><i>The proposed subdivision and Design Review Application are unique and offer a variety of outcomes for the residential component of this project. Given the unprecedented nature of this development proposal, Staff plan to work internally with the Applicant and the City Attorney to create a proactive, measured approach to addressing potential park/pathway contributions, given the project's potential to have three (3) or more residential condominium units in the future – or alternatively - the potential that this threshold is never reached.</i></p> <p><i>The Applicant shall work internally with City Staff to address park and/or pathway requirements through the Development Agreement process. Any potential in-lieu fees and procedures shall be addressed through the Development Agreement, and the Development Agreement shall only become active after required review and approval by the Hailey City Council. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.1.b	<p>In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.</p>
			Staff Comments	<p><i>N/A The proposed subdivision is located in the SCI-I Zoning District.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	<p>Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</p>
			Staff Comments	<p><i>N/A - Please reference Section 16.04.110(A)1 for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units. d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based

				on compliance with the master plan and provisions of this ordinance.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i> <i>Findings: Compliance. This standard does not apply.</i>
			D.	Minimum Requirements:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 1.	Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.
			Staff Comments	<i>All privately-owned landscape area is contained within designated "Common Area". A plat note on the submitted Preliminary Plat Map designates the Condominium Declarations as the controlling entity for all Common Areas.</i> <i>Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 5.	Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and

				<p>Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.</p>
			Staff Comments	<p><i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	<p>Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 1.	<p>Shall meet the minimum applicable requirements required by Subsection D of this section.</p>
			Staff Comments	<p><i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 2.	<p>Shall provide safe and convenient access, including ADA standards.</p>
			Staff Comments	<p><i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 3.	<p>Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.</p>
			Staff Comments	<p><i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 4.	<p>Shall be configured in size, shape, topography, and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.</p>
			Staff Comments	<p><i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 5.	<p>Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.</p>
			Staff Comments	<p><i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 6.	<p>Shall require low maintenance or provide for maintenance or maintenance endowment.</p>
			Staff Comments	<p><i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 2.	Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i> <i>Findings: Compliance. This standard does not apply.</i>
			G.	Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 1.	Shall meet the minimum applicable requirements required by section 4.10.04 of this section.
			Staff Comments	<i>N/A - Please reference Section 16.04.110(H)1 for further detail.</i> <i>Findings: Compliance. This standard does not apply.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 2.	Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).
			Staff Comments	<i>The Applicant is proposing public sidewalk connections to Parcel A, an adjacent public green space/grass pathway owned by the City of Hailey. A bench is also proposed at the connection point of the public sidewalk and entrance to Parcel A, further complimenting the nexus of these private and public green spaces.</i> <i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 3.	The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.
			Staff Comments	<i>Private green space proposed for the project will be used as general open space/landscaping.</i> <i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 4.	The private ownership and maintenance of green space shall be adequately provided for by written agreement.
			Staff Comments	<i>The Applicant will address the design and maintenance of the outdoor shared space in CC&R's for the condominium subdivision. This was made a Condition of Approval during the previous Design Review Application review and approval process.</i> <i>Findings: Compliance. This standard has been met.</i>
			H.	In-Lieu Contributions:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 1.	After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.
			Staff Comments	<i>See Section 16.04.110 A1.a for detailed discussion on in-lieu contributions and park improvements.</i> <i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 2.	The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this

				<p>ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in Sections 4.10.5.4 and 4.10.5.5 of these ordinances. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.</p> <p>Staff Comments Please reference Section 16.04.110(H)1 for further detail. This standard will be met.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 3.	<p>Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.</p> <p>Staff Comments Please reference Section 16.04.110(H)1 for further detail.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 4.	<p>In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.</p> <p>Staff Comments Please reference Section 16.04.110(H)1 for further detail. This standard will be met.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
16.05: Improvements Required:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	<p>Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.</p> <p>Staff Comments The Applicant will construct the minimum infrastructure improvements required and adhere to all City Standards and procedures set forth in Title 18 of the Hailey Municipal Code.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.</p> <p>Staff Comments This standard shall be met.</p>

				<i>Findings: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.
			<i>Staff Comments</i>	<i>This standard shall be met.</i> <i>Findings: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.
			<i>Staff Comments</i>	<i>This standard shall be met.</i> <i>Findings: Compliance. This standard will be met.</i>
16.05.020: Streets, Sidewalks, Lighting, Landscaping				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.020	Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.
			<i>Staff Comments</i>	<i>This standard shall be met, has been made a Condition of Approval, and will be reevaluated at final design, prior to Final Plat approval.</i> <i>Findings: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Any and all street cuts for the installation of the water and sewer mains shall be repaired per this standard. Connection details to the existing water system shall be approved by the Wastewater Division prior to construction. Street cuts shall be approved by the Streets Division prior to construction. All infrastructure will be approved by the city prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i> <i>Findings: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			<i>Staff Comments</i>	<i>The Applicant plans to install "Reserved Parking" signage for ADA parking stalls, in accordance with City Standards. No other signage is proposed.</i> <i>Findings: Compliance. This standard has been met.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.</p>
			<i>Staff Comments</i>	<p>N/A NO street lights in the right-of-way are proposed.</p> <p>Findings: Compliance. This standard does not apply.</p>
16.05.030: Sewer Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.030	<p>Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<i>Staff Comments</i>	<p>The Wastewater Division Manager has also instructed the Applicant to adjust the drain type/naming from cleanouts to sewer manholes, for servicing requirements of the City of Hailey. However, the drainage function of the proposed improvements will remain. This request from the Wastewater Division Manager is addressed within the Conditions of Approval for the Applicant’s corresponding Design Review Application. Refer to the Della Mountain Suites Design Review Application materials for further details.</p> <p>Findings: Compliance. This standard has been met.</p>
16.05.040: Water Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer’s discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<i>Staff Comments</i>	<p>The Water Division Manager provided specific feedback regarding water connections within the Applicant’s corresponding Design Review Application. This feedback is addressed within the Conditions of Approval of the Design Review Application. Refer to the Della Mountain Suites Design Review Application materials for further details.</p> <p>Connection details to the municipal water and wastewater system shall be approved by the Water and Wastewater Division prior to Final Plat approval. This has been made a Condition of Approval.</p> <p>Findings: Compliance. This standard will be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the</p>

				<p>subject property and the nearest public street, as recommended by the City Engineer.</p> <p><i>Staff Comments</i> <i>N/A, as no alleys exist in conjunction with this site.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
16.05.050: Drainage				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.050	<p>Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> <i>The Applicant is proposing the construction of eleven (11) new drywells and two (2) new catch basins. Five (5) of the drywells will be installed in landscaped areas. City Staff and the City Engineer have reviewed the proposed drainage plans and found runoff containment to be adequate.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
16.05.060: Utilities				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.060	<p>Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</p> <p><i>Staff Comments</i> <i>N/A, as no new streets or alleys are proposed for this project.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
16.05.070: Parks, Green Space				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.070	<p>Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.</p> <p><i>Staff Comments</i> <i>See Section 16.04.110 for further detail.</i></p> <p><i>Findings: Compliance. This standard does not apply.</i></p>
16.05.080: Installation to Specifications; Inspections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	<p>Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.</p> <p><i>Staff Comments</i> <i>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be evaluated in greater detail at final design.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>
16.05.090: Completion; Inspections; Acceptance				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.</p> <p><i>Staff Comments</i> <i>This standard shall be met.</i></p> <p><i>Findings: Compliance. This standard will be met.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)
			Staff Comments	<i>N/A – The completion of all major infrastructure by the Developer is preferred over bonding.</i> <i>Findings: Compliance. This standard does not apply.</i>
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015)
			Staff Comments	<i>As built drawings will be required. This standard will be met.</i> <i>Findings: Compliance. This standard will be met.</i>
16.07: Condominiums:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.020	Plat Procedure: The developer of a condominium project shall submit with the preliminary plat application, as required by this title, a copy of the proposed bylaws and condominium declarations of the proposed condominium development. The documents shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities, common area, recreational facilities and green space. The developer may submit a final plat application following inspection and approval by the building inspector of the footings and setbacks of the condominium building. Prior to final plat approval, the developer shall submit to the city a copy of the final bylaws and condominium declarations to be recorded with the county recorder, including the instrument number(s) under which each document was recorded. (Ord. 1191, 2015)
			Staff Comments	<i>This Standard shall be met.</i> <i>Findings: Compliance. This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.030	Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular condominium units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific condominium units on the condominium plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the condominium project. (Ord. 1191, 2015)
			Staff Comments	<i>Vehicular access on the proposed plat directly leads to the condominium units, where garages can be assumed. However, garage space is not exclusively proposed within the condominium units. The first level condominium space is dedicated as “commercial”.</i> <i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.040	Storage, Parking Areas: Condominium projects shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015)
			Staff Comments	<i>The Applicant is required to provide at least twenty-seven (27) parking spaces to accommodate the proposed 26,600 square feet of commercial space. Additionally, the Applicant is proposing one (1) ADU within Unit 112, requiring an additional one (1) parking space. The Applicant is providing a total of thirty-</i>

				<p>three (33) onsite parking spaces, in excess of the currently required twenty-eight spaces.</p> <p>Any future conversion of commercial space into an ADU unit (as designed for by the Applicant) will result in an overall decrease in commercial area, thus lessening the minimum commercial parking requirement. If all twelve (12) condominium units are eventually converted to include an ADU, the total commercial area decreases from 26,600 square feet (as proposed) to 16,716 square feet. The new, hypothetical parking requirement would be seventeen (17) spaces for the commercial use, plus twelve (12) spaces for the ADU use, resulting in an overall mixed-use parking requirement of twenty-nine (29) spaces. In any mixed-use configuration (as currently permitted by the Hailey Municipal Code and planned for by the Applicant), the parking requirement will remain as met.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.050	<p>Construction Standards: All condominium project construction shall be in accordance with the IBC, IRC and IFC. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> The proposed plat complies with this standard.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.060	<p>General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by condominium developments. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> This standard will be met.</p> <p><i>Findings: Compliance. This standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.07.070	<p>Conversion: The conversion by subdivision of existing units into condominiums shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> N/A</p> <p><i>Findings: Compliance. This standard does not apply.</i></p>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
 1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
 1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing, and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.

- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Hailey Municipal Code and City Standards.

DECISION

The Preliminary Plat Application, submitted by 1611 Aviation LLC, to subdivide Lot 3B, Block 4 of Airport West Subdivision #2 into twelve (12) commercial condominium sublots, including one (1) mixed-use condominium sublot with an accessory dwelling unit (ADU), to be located at 1611 Aviation Drive (Lot 3B, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District, has been approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (p) are met:

- a) All Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval and shall meet City Standards where required. Requirements to be completed at the Applicant's sole expense include, but will not be limited to:
 - i. The Applicant shall attain permits for the installation of all drywells.

- ii. The Applicant shall install sidewalk within the vacated shared access easement to match and connect with the existing sidewalk along 1551 Aviation Drive.
- c) The complete removal and replacement of all paving adjacent to the development where street cuts (for the subdivision construction and installation of utility services) exceed 25% of the street area.
- d) Connection details to the municipal water and wastewater system shall be approved by the Water and Wastewater Division prior to Final Plat approval.
- e) The Applicant shall submit a draft copy of the proposed CC&R's, prior to any approval of the Findings of Fact.
- f) The proposed parking access area shall be dedicated as unbuildable and managed by the HOA.
- g) The Applicant shall provide a Public Access Easement for the proposed sidewalk along the property's southern boundary. A revised Preliminary Plat Map indicating this Public Access Easement shall be submitted to the City, prior to issuance of a Building Permit.
- h) The Applicant shall address the maintenance of the Common Area, including parking and landscaped areas, in CC&R's for the subdivision.
- i) The Applicant shall install sidewalk within the vacated shared access easement up to their property line, to match the existing sidewalk along 1551 Aviation Drive's frontage.
- j) All improvements within the public right-of-way shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- k) The Applicant shall repair and/or install new sidewalks if the existing sidewalks are damaged during the construction process.
- l) The Final Plat must be submitted within three (3) calendar years from the date of approval of the Preliminary Plat, unless otherwise allowed for within a phasing agreement.
- m) Any application and/or subdivision inspection fees due shall be paid prior to recording the Final Plat.
- n) The Applicant shall work internally with City Staff to address park and/or pathway requirements through the Development Agreement process. Any potential in-lieu fees and procedures shall be addressed through the Development Agreement, and the Development Agreement shall only become active after required review and approval by the Hailey City Council.
- o) The Applicant shall remove Easement Note "H" from the Final Plat, at time of submittal.
- p) The Applicant shall include clear language in the final Development Agreement, as well as a plat note on the Final Plat, which provides for employee/owner occupancy restrictions and live/work requirements.

Signed this ____ day of _____, 2026.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Robyn Davis, Community Development Director

Return to Agenda

Meeting Minutes
Hailey Planning and Zoning Commission
Monday, February 2, 2026
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

[Download Teams](#) | [Join on the web](#)

Or call in (audio only)

[+1-469-206-8535: 602369677#](#) United States, Dallas

Phone Conference ID: 602 369 677#

Commissioners Present: Jordan Fitzgerald, Dan Smith, Janet Fugate, Mike Smith, Bozena Morawski; **Staff Present:** Robyn Davis, Ashley Dyer, Emily Brooks, Christopher Simms (City Attorney)

Call to Order - Hailey Planning and Zoning Commission

- Public Comment for items not on the Agenda.
[5:32:11 PM](#) Chair Fugate called the meeting to order.

Consent Agenda - ACTION ITEM

- [CA 1](#) Motion to approve Findings of Fact, Conclusions of Law, and Decision for a Conditional Use Permit Application by Kimberly Sesnon for the approval of a Bed and Breakfast lodging establishment to be known as The Dandelion SV, located at 416 N 1st Avenue (Lots 13 & 14, Block 58, Hailey Townsite), in the General Residential (GR) and Townsite Overlay (TO) Zoning District. **ACTION ITEM**
- [CA 2](#) Motion to approve Findings of Fact, Conclusions of Law, and Decision for the City-Initiated Text Amendment amending Hailey's Municipal Code, Title 15: Buildings and Construction, Chapter 15.20: Special Code Requirements, creating a new section, Section 15.20.020: Public and Commercial Swimming Pools, which establishes definitions and regulations for public and commercial swimming pools. **ACTION ITEM**
- [CA 3](#) Motion to approve meeting minutes dated January 5, 2026. **ACTION ITEM**
- [CA 4](#) Motion to approve meeting minutes dated January 20, 2026. **ACTION ITEM**

[5:32:11 PM](#) Chair Fugate called for a motion to approve the above consent agenda items. Mike Smith motioned to approve the above consent agenda items. Fitzgerald seconded. All were in favor.

Public Hearing - ACTION ITEM

- [PH 1](#) Consideration of Design Review Pre-Application submitted by Raised Bar Ventures, LLC, represented by Matt Smithman, Starhope Engineering PLLC, for the construction of a three (3) lot, detached townhouse development located at 216 W. Carbonate St. (Lot 2, Block 1, Lilac Subdivision) within the General Residential (GR) Zoning Districts. **ACTION ITEM**

[5:32:40 PM](#) Dyer opened the meeting with a brief overview of the project. The Applicant, Raised Bar Ventures, LLC, represented by Jason Roth, provided additional information on the project, seeking Commissioner feedback on the overall townhouse design. Fitzgerald supports the proposed project with the addition of accessory dwelling units, if Applicant is amenable. Commission agreed. Fugate questioned ADU process. Davis explained that standard entitlement process applies. Discussion ensued.

Fitzgerald further suggested that the Applicant take a closer look at driveway widths and onsite parking based on the sitting of structures and based on the City's street and driveway connection details. Fitzgerald further suggested the exploration of reconfiguring the interior floorplan to account for egress/ingress to the garage (from the residence), to the outdoors, and connectivity to the ADU. Lastly, Fitzgerald suggested extending the second story deck to provide covered parking below, and enhance the outdoor space on the second floor.

[5:49:41 PM](#) Dan Smith suggested adding additional plumbing if the dwellings are slab on grade; Applicant confirmed that a crawlspace will be constructed. Smith suggested the addition of electric vehicle charging or outlet within garages, and further suggested that the Applicant consider flipping the house to open toward Hop Porter Park – sharing a drive aisle with the entrance to the park. Discussion ensued.

[5:55:05 PM](#) Mike Smith echoed all comments thus far. Smith reiterated the concept of flipping the homes to enjoy the park (and take advantage of the western solar gain). Smith suggested increasing the 18'-wide garages for each unit. Smith continued to share feedback on overall design, site planning, and interior layout.

[6:00:33 PM](#) Morawski complemented the Applicant and agreed with the feedback provided by the other Commissioners. Fugate agreed.

[6:04:03 PM](#) Fugate opened the meeting for public comment. No public comments were made. Chair Fugate closed the public comment period.

- [PH 2](#) Continuation of a Design Review Application, submitted by 1611 Aviation, LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, for the construction of a new, mixed-use condominium project. Eleven (11) commercial condominiums and one (1) mixed-use condominium with an accessory dwelling unit (ADU) are proposed, with each unit offering 2,552 square feet of conditioned interior space and a 90 square foot, private exterior balcony. This project is located at 1611 Aviation Drive (Lot 3B, Block 4, Airport West Subdivision #2) within the Service Commercial Industrial - Industrial (SCI-I) Zoning District. **ACTION ITEM**

- [PH 2](#) Continuation of a Preliminary Plat Application by 1611 Aviation, LLC, represented by Richard Wilmot of Chrysalis Architecture and Planning, with a proposal to subdivide Lot 3B, Block 4 of Airport West Subdivision #2 into twelve (12) commercial condominium sublots, including one (1) mixed-use condominium sublot with an accessory dwelling unit (ADU). This project, to be known as Della Mountain Suites, is located within the Service Commercial Industrial-Industrial (SCI-I) Zoning District. **ACTION ITEM**

[6:04:57 PM](#) Chair Fugate read both public hearing descriptions, noting that the items would be heard concurrently. Brooks provided a brief background of the project and turned the floor over to the Applicant Team for further elaboration.

[6:09:28 PM](#) Richard Wilmont, Applicant Team representative, presented the project, and proposed changes, to the Commission. Wilmont noted the following changes or refinements:

- Overall square footage of the proposed buildings/project,
- Separation between ADU and commercial space,
- Consistency of exterior materials – renderings, elevations, and samples match,
- Provided better articulation of façade along Aviation Drive,
- Enhanced landscaping to screen ground-mounted equipment,
- Provided photometric plan to match lighting cutsheets and meet average footcandle requirement,
- Engaged with Wastewater Division Manager regarding floor drains in each commercial space – Applicant Team does not intend to install unless required by Division Manager. Applicant Team will work internally with Staff to resolve,
- Provided parking analysis based on overall square footages.

[6:19:23 PM](#) Fitzgerald questioned height of parapet as shown in drawings. Wilmont described safety guardrail based on IBC 2018.

[6:22:57 PM](#) Dan Smith questioned the photometric plan and the cutsheets – Smith noted that the cutsheets do not match the correct fixture layout. Staff will follow up with Applicant Team regarding exterior lighting and illumination levels. Smith went on to request that the Applicant Team list caliper sizes for trees, not height. Lastly, Smith requested that the Applicant Team clarify light shelving for bathroom windows. Applicant chose not to install on these windows based on use (bathroom) of room. Smith reiterated that all window shall have light shelving, if chosen as an alternative energy measure. Discussion ensued.

Smith requested that the Commission and Applicant Team discuss the exterior samples. Fugate questioned the colors proposed. Commission agreed that the overall color scheme, as proposed, works well for the project.

[6:35:44 PM](#) Mike Smith also questioned the exterior light fixtures and sizes proposed. Applicant Team will modify if Commission prefers. Chair Fugate questioned addresses of project. Mike Baledge, Hailey Fire Department, discussed placement and positioning of addresses. Davis confirmed that City will manage addressing of units.

Fugate questioned anticipated uses and loading space capacity for said uses. Wilmont noted that commercial and light industrial uses would be accommodated. Discussion ensued.

[6:53:24 PM](#) Commissioners discussed Preliminary Plat Application. Applicant Team spoke of the updates to the plat. Staff did not include revised plat in packet; however, will ensure all items discussed are notated on the final version of the preliminary plat. Commission requested that Staff add additional plat notes, based on discussion and as noted below. Discussion ensued.

[7:01:51 PM](#) Chair Fugate opened the public comment period. Katherine Daniels agreed that oil/sand separators should be required for this project. Mr. Hogan questioned the sound-proofing of the buildings given the proximal location to the Airport.

[7:05:47 PM](#) Chair Fugate closed the public comment period. Applicant responded to the public comments noting buildings are insulated above minimum building code requirements, which could help with sound-proofing.

Commission went on to discuss Conditions of Approval, as amended for Design Review:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
 - i. **Life and Safety:**
 - i. The building shall comply with IFC and IBC code requirements.
 - ii. **Water**
 - All water mains shall be looped at the end of the main.
 - Each unit shall have its own water service, with no double meter vaults permitted.
 - Any unused water services located during construction shall be abandoned at the water main.
 - Water services located in asphalt areas shall have blue board installed over the service.
 - Water main connections on Lear Lane and Dornier Way shall be hot-tapped.
 - iii. **Wastewater:**
 - The Applicant shall submit finalized sewer plans and utility plans to the City of Hailey Engineer and Wastewater Division Manager and receive design approval, prior to issuance of a Building Permit. Final Plans shall include:
 - o All identified clean-outs on the Sewer Plan (Sheet C4.1, Key Note #4) shall be switched to sewer manholes.
 - o All Applicable City of Hailey and Idaho Standards for Public Works Construction (ISPWC) standards for sewer system design shall be observed and reflected through utility plan notations, as needed.
 - o Sewer connection to existing manhole shall be plugged upon successful connection to the manhole to prevent unwanted flow from entering either direction.
 - o Any pre-treatment features required by the Wastewater Division Manager, which also fit within the Applicant's desired scope of work, shall be installed.
- d) The Applicant shall submit a Fence Permit Application and receive approval for the proposed design, prior to any permanent fence installation.
- e) The Applicant shall install sidewalk within the vacated shared access easement up to their property line, to match the existing sidewalk along 1551 Aviation Drive's frontage.
- f) Any necessary additional utilities, including transformers, electrical meters, and irrigation controls, and roof access apparatuses, shall be screened from view.

- g) The Applicant shall construct any proposed retaining walls with similar project materials used elsewhere, or natural or decorative materials.
- h) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.
- i) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- j) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- k) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- l) All exterior lighting shall comply with the Outdoor Lighting Ordinance. ~~The Applicant shall remove at least one (1) of the proposed "wedge" wall sconce lighting fixtures from Buildings #1 and #3, and the Applicant shall decrease the maximum lumen output for "box" lighting fixtures proposed for west elevation of Building #3.~~
- m) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- ~~n) The residential unit(s) shall be owner or employee occupied. The residential unit(s) shall not be sold as a condominium or separate legal parcel from the principal building(s).~~
- ~~n)~~
- ~~o) The residential unit(s) shall not be sold as a condominium or separate legal parcel from the principal building(s).~~
- ~~p) o) _____~~ A letter from Clear Creek Disposal commenting on the adequacy of this enclosure and location shall be provided prior to the issuance of a Building Permit.
- ~~q) p) _____~~ All necessary permits shall be filed, and approval received, demonstrating compliance with FAA regulations prior to issuance of a Building Permit.
- ~~q) _____~~ To ensure compliance with all FAA regulations, the Applicant shall apply for the proper permitting via the FAA and receive approval by the FAA to construct the project as proposed. This approval shall be supplied to the City prior to issuance of any Building Permit.
- ~~r) The Applicant shall submit amended landscaping plans that identify all proposed tree plantings with required 2.5" caliper sizing.~~
- ~~s) The Applicant shall clearly identify and provide for ADA accessible parking spaces on submitted site plans, prior to issuance of a Building Permit.~~
- ~~t) The Applicant shall either provide exterior light shelves to all south-facing windows across the project area, or provide building framing/insulation plans that demonstrate an insulation package that exceeds minimum requirements for the building type, as outlined in the 2018 IECC.~~
- ~~u) The Applicant shall remove the proposed door connecting 2nd level commercial/office space to the proposed ADU.~~
- ~~v) and the Applicant shall provide an alternative door entry to the ADU that is fire-rated for 2018 IFC occupancy separation requirements, as well as provides a locking mechanism.~~
- ~~f)w) _____~~ Ground-mounted utilities for Building #1 shall be shifted west and receive additional landscape screening.

[7:45:25 PM](#) Mike Smith motioned to approve the Design Review Application provided amended Conditions (a) through (w) are met. Dan Smith seconded and all were in favor.

[7:46:26 PM](#) Commission went on to discuss Conditions of Approval, as amended for Preliminary Plat:

- a) All Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval and shall meet City Standards where required. Requirements to be completed at the Applicant's sole expense include, but will not be limited to:
 - i. The Applicant shall attain permits for the installation of all drywells.
 - ii. The Applicant shall install sidewalk within the vacated shared access easement to match and connect with the existing sidewalk along 1551 Aviation Drive.
- c) The complete removal and replacement of all paving adjacent to the development where street cuts (for the subdivision construction and installation of utility services) exceed 25% of the street area.
- d) Connection details to the municipal water and wastewater system shall be approved by the Water and Wastewater Division prior to Final Plat approval.
- e) The Applicant shall submit a draft copy of the proposed CC&R's, prior to any approval of the Findings of Fact.
- f) The proposed parking access area shall be dedicated as unbuildable and managed by the HOA.
- g) The Applicant shall provide a Public Access Easement for the proposed sidewalk along the property's southern boundary. A revised Preliminary Plat Map indicating this Public Access Easement shall be submitted to the City, prior to issuance of a Building Permit.
- h) The Applicant shall address the maintenance of the Common Area, including parking and landscaped areas, in CC&R's for the subdivision.
- i) The Applicant shall install sidewalk within the vacated shared access easement up to their property line, to match the existing sidewalk along 1551 Aviation Drive's frontage.
- j) All improvements within the public right-of-way shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- k) The Applicant shall repair and/or install new sidewalks if the existing sidewalks are damaged during the construction process.
- l) The Final Plat must be submitted within three (3) calendar years from the date of approval of the Preliminary Plat, unless otherwise allowed for within a phasing agreement.
- m) Any application and/or subdivision inspection fees due shall be paid prior to recording the Final Plat.
- n) The Applicant shall work internally with City Staff to address park and/or pathway requirements through the Development Agreement process. Any potential in-lieu fees and procedures shall be addressed through the Development Agreement, and the Development Agreement shall only become active after required review and approval by the Hailey City Council.
- o) The Applicant shall remove Easement Note "H" from the Final Plat, at time of submittal.
- n)p) The Applicant shall include clear language in the final Development Agreement, as well as a plat note in the Final Plat, which provides for employee/owner occupancy restrictions and live/work requirements.

[7:48:17 PM](#) Dan Smith motioned to approve the Preliminary Plat Application provided amended Conditions (a) through (p) are met. Mike Smith seconded and all were in favor.

Administrative Review – NO ACTION ITEM

- [AR 1](#): Greer Accessory Dwelling Unit

Staff Reports and Discussion

- Tuesday, February 17, 2026:
 - o PUD: St. Charles Borromeo Catholic Church
 - o

Adjourn by 8:00 PM - ACTION ITEM

[7:53:56 PM](#) Dan Smith motioned to adjourn. Mike Smith seconded and all were in favor.

Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Meeting of February 17, 2026

To: Hailey Planning and Zoning Commission
From: Emily Brooks, Community Development City Planner/Resilience Planner

Overview: Consideration of a Planned Unit Development (PUD) Application submitted by St. Charles Borromeo Catholic Church, represented by The Land Group, Inc., to consider various waivers and benefits of the zoning and subdivision codes to be able to construct a new Parish Hall, Classrooms, Administrative Offices, Worship Sanctuary, as well as repurpose the existing church building, all located at 311 South 1st Avenue (Lots 3-10, Block 21, Townsite Overlay) within the Transitional (TN) and Townsite Overlay (TO) Zoning Districts. As part of this Application, the Applicant requests the following waivers:

1. Waiver to maximum Building Height
2. Waiver to maximum Lot Coverage
3. Waiver to required onsite Parking requirements

Hearing: February 17, 2026

Applicant: St. Charles Borromeo Catholic Church
Location: Lots 3-10, Block 21, Hailey Townsite (311 S 1st Avenue)
Zoning/Size: Transitional (TN), Townsite Overlay (TO) Zoning Districts; 0.66 acres.

Notice: Notice for the public hearing was published in the Idaho Mountain Express on January 28, 2026, and mailed to property owners within 300 feet on January 28, 2026. Onsite Notice was posted on the property on Friday, February 6, 2026.

Background: The Applicant has presented various development proposals for the subject property to the City of Hailey since April 2024. An abbreviated timeline is as follows:

- April 15, 2024: Hailey Planning and Zoning Commission considered and recommended denial to the Hailey City Council a Zone Change Application submitted by the Applicant, proposing to rezone Lots 3-10, Block 21, Townsite (311 South 1st Ave) from Transitional (TN) to Business (B), and remain within the Townsite Overlay (TO) Zoning Districts. According to the Applicant, the Zone Change Application for 311 S. 1st Avenue represented a proposal that “aims to better align the zoning classification to the current use, allow for enhancement and expansion of the church buildings to support current uses, and improve connectivity to the surrounding community”. Minimum on-site parking and maximum lot coverage requirements remained unmet, even with the proposed rezoning. As such, the Commission had sufficient grounds for Application denial.

The Applicant did not pursue a request for reconsideration, opting instead to refine their proposal and prepare a full Planned Unit Development (PUD) Application for submittal, including requested waivers.

- January 21, 2025: Hailey Planning and Zoning Commission conducted a public hearing and offered a “No Decision” for the Applicant’s proposed PUD Application. The Applicant requested the following waivers as part of the PUD Application submittal:
 1. Waiver to maximum Building Height
 2. Waiver to maximum Lot Coverage
 3. Waiver to required onsite Parking requirements
 4. Waiver to Setback requirements

Both Staff and the Applicant intended for the January 21, 2025, public hearing to serve as discussion and feedback gathering opportunity, with no formal decision requested or expected by the Applicant. Leading up to the public hearing, Staff informed the Applicant that they did not believe that the proposed community amenities/benefits were commensurate with the four (4) waivers being requested. The singular proposed community benefit included offsite parking and right-of-way improvements along S. 1st Avenue and E. Walnut Street. However, the proposed scope of improvements did not meet the minimum linear foot requirements for offsite sidewalk improvements and approved community benefits for waivers requested, as outlined in Hailey Municipal Code.

The January 21, 2025, public hearing included public comments from surrounding residents and neighbors, who expressed concern around things like excessive noise, trash, access to driveways, congestion and roadway safety, building height and massing, and parking (most commonly shared concern). Concerns were focused on both existing conditions and potential future impacts from the proposed increase in site usage intensity and property development. The Commissioners shared some of the same concerns for potential future impacts, specifically as they related to parking.

With documented parking conflicts from current site use, a proposed increase in site capacity, operations, and programming, and virtually no on-site parking proposed by the Applicant within their development plans, the Commission strongly recommended that the Applicant explore creative strategies to address present concerns and facilitate their proposed development, including possible shared parking agreements with proximal property owners like Hailey Elementary School and/or Blaine County. In general, the Commissioners did not express agreement in requested waivers being commensurate with the proposed community benefits, as presented at the January 21, 2025 public hearing.

- December 16, 2025: St. Charles Borromeo Catholic Church Applicant Team submitted an amended PUD Application package, with a request for another Public Hearing to be held on February 17, 2026.

Prior to the January 21, 2025 Public Hearing, Staff and the Applicant discussed additional amenity options that may be considered appropriate for this PUD Application. In addition to offsite sidewalk improvements provided in accordance with the established formulas in the Hailey Municipal Code (for nonresidential or mixed-use PUDs, a minimum of 100 linear feet per 1,000 square feet of gross floor area), the Applicant has also expressed enthusiasm and support for the proposed concept of existing residential structure preservation and relocation. An approximately 1,400 square foot residential structure is currently located onsite of the proposed redevelopment parcel. This structure is not currently occupied for residential uses, although it does function as St. Charles’ administrative office

area. The Applicant does not intend to retain the structure onsite, according to submitted site redevelopment plans.

According to the Applicant, the residential structure is in good condition, and they do not anticipate major challenges with relocation. City Staff have been exploring both City-owned and partner-owned receiving properties for placement. Both Staff and the Applicant are highly supportive of retaining this existing structure and preserving it as part of Hailey’s community housing stock. Benefits of preservation for the structure include retention of community housing stock, preservation of physical community character, significant sustainability outcomes for utilizing existing materials versus demolition and building with new materials, and a highly cost-efficient application of City funds to further community housing goals. The Commission may wish to consider this potential amenity and provide feedback to the Applicant, where appropriate.

Application: The Applicant is now requesting the following waivers within their PUD Application:

1. Waiver to minimum onsite parking requirements
2. Waiver to maximum building height
3. Waiver to maximum lot coverage

Parking:

Throughout Application submittals, both Planning and Zoning Commissioners and surrounding neighbors have expressed concerns over current and future anticipated parking impacts from activities at the Church. The Applicant has submitted revised site plans since their January 2025 public hearing, which include adjustments to entry gate setback (now compliant with minimum setback requirements) and the retention of numerous mature trees on site. However, the revised site plans still do not include the required minimum on-site parking spaces (three (3) drop-off stalls on the west/alley side of the property are proposed, however).

In response to the expressed concerns, the Applicant has taken – and is proposing – a number of measures to mitigate negative parking impacts and proactively respond to future parking needs. Measures that are not required by Hailey Municipal Code, but serve the proper function of the PUD at completion, include the implementation of a parking education campaign for the Church parish (March, 2025-Present); private contracting for snow removal along the property’s S. 1st Avenue right-of-way frontage, allowing for proper angled parking to consistently occur; and further discussions with surrounding neighbors to help clarify parking operation plans for the Church.

Per Hailey Municipal Code, the Applicant is required to provide a total of seventy (70) on-site parking spaces. The PUD proposal does not call for any on-site parking, with a waiver request for this development standard. In exchange for the requested waiver, the Applicant has developed and received County approval for a Shared Parking Agreement at the Blaine County Courthouse (thirty-six (36) spaces). This aligns with previous suggestions from the Commissioners to address parking demands. According to Hailey Municipal Code Section 17.09.040.08, the maximum reduction in the number of parking spaces required, which may be achieved by a Shared Parking Program/Agreement, is 20%. The shared parking must also be located no more than three hundred feet (300’) from the use that it serves, following a reasonable and safe walking route from main entry point to nearest parking lot.

Using Blaine County GIS Mapping Services, Staff have measured the minimum distance between the Applicant's northern-most property boundary to the Blaine County Courthouse parking lot as approximately seven hundred and fifty feet (750'). In this case, the minimum number of parking spaces required for the Applicant cannot be reduced by 20%, from seventy (70) to fifty-six (56) – and therefore, reducing the degree of parking waiver requested. In any case, the Applicant has presented a Shared Parking Agreement with Blaine County that will functionally serve the parking needs of St. Charles Borromeo Church, both presently and with any potential operational growth.

The Applicant is also seeking to apply Code Section 17.09.020.03: "Parking Credit", to their PUD proposal. This Code provision allows for certain right-of-way parking improvements to be completed by the Applicant and credited to the on-site parking requirements. The improved parking areas and right-of-way cannot be held or used for exclusive parking for any property owner and must remain open to the public. Other requirements for application of "Parking Credit" include locations within downtown, proximity to schools, providing continuous connection, locations within the Transitional Zoning District. The Applicant is proposing improvements for twenty-eight (28) parking spaces along the property's S. 1st Avenue and E. Pine Street frontages. While the proposed parking improvements meet the standards for the Parking Credit code provision, the Applicant would be required to complete these right-of-way improvements along the property's frontage via a Design Review Application process, should they engage. This may bring into question the applicability of these specific proposed right-of-way improvements, as they relate to PUD community benefit/amenity requirements Staff seek the Commission's feedback on the entirety of the present proposal, but specifically as it relates to right-of-way improvements.

Lastly, the Applicant is proposing complete right-of-way improvements (approx. 95') along the northwest corner of S. 1st Avenue, not directly adjacent to the subject property. These improvements are proposed to include curb and gutter, concrete sidewalk, and a truncated dome pedestrian crossing. There is no existing right-of-way infrastructure at this location. Across the street is the Blaine County Annex Building, Blaine County Courthouse, Hope Garden, and sidewalk connections to Main Street and nearby public transit stops, highlighting the importance of completing the missing link, as proposed by the Applicant.

Maximum Building Height:

At the January 2025 public hearing for the PUD Application, the Commission questioned whether the Applicant was measuring their maximum building height from record grade, or from finished grade. This measurement distinction impacts the specific waiver being requested for maximum building height. The Applicant has now requested that the maximum building height be measured from finished grade, including the sunken courtyard feature. Based on precedent set during standard City of Hailey Zoning Review practices for building permits – which request finished grade and maximum height calculations – City Staff support and require this interpretation for measuring maximum building height.

The maximum building height permitted for Transitional (TN)-zoned parcels in the Townsite Overlay District is thirty feet (30'). The Applicant is proposing a "concept design" maximum building height of fifty-nine feet (59') from finished grade. This is measured from finished grade of the sunken courtyard feature to the top of the proposed steeple feature. However, the Applicant is requesting a waiver for a maximum of sixty-five feet (65'). The Applicant has stated that they are requesting this larger waiver so as to provide for design flexibility if/when they proceed through the formal Design Review Application

process. The Applicant may ultimately propose a design that is less than sixty-five feet (65'), but the design will not exceed this amount. This represents a waiver for approximately 117% of the maximum permitted building height for the zoning and overlay districts.

In exchange for the requested waiver, the Applicant is proposing to retain four (4) on-site trees and two (2) adjacent street trees. Two (2) additional on-site trees are proposed for removal. Previously, the Applicant had proposed to remove five (5) on-site trees and one (1) street tree. According to Hailey's PUD Code, Section 17.10.030 (l)4, an approved, prescriptive PUD community amenity includes "Preservation of Vegetation: Preservation of significant existing vegetation on the site must include the preservation of at least seventy five percent (75%) of mature trees greater than six-inch (6") caliper on the site". All existing trees, both on-site and within City right-of-way, are greater than six-inch (6") caliper, according to submitted landscaping plans. They are mature trees that bring significant scaling and historical and ecological benefit to this area in Hailey.

With six (6) trees within the property boundary, approximately 4.5 existing mature trees would need to be retained, in order to apply this prescriptive PUD community amenity of 75% retention rate. The Applicant has proposed to retain one (1) additional mature tree in the City right-of-way, which was previously proposed for removal in the PUD's first iteration. The Applicant has stated that "great effort" has been taken to modify site plans to allow for retention of these trees. The Commission may wish to consider these facts when assessing applicability of this waiver/amenity combination.

Maximum Lot Coverage:

The maximum lot coverage requirement is 30% for the proposed project property. Existing site conditions produce a lot coverage of 32%, and the Applicant is proposing a new lot coverage of approximately 40%. This includes covered walkways that connect newly proposed building additions, but it does not include the sunken courtyard feature, as proposed. According to the submitted lot coverage exhibit, the Applicant's total building square footage footprint, upon full project completion, will be 11,274.89 square feet.

The Applicant's proposed community amenity for this lot coverage waiver request will be the donation of the existing residential structure on the site, which currently serves as the parish office. The Applicant has coordinated internally with ARCH Community Housing Trust and the City of Hailey to facilitate this donation. The donated structure will become a deed-restricted community housing unit within the City of Hailey, per ARCH guidelines, and a location for new placement has been confirmed by both ARCH and the City of Hailey. The arrangement has been captured within a submitted Memorandum of Understanding (MOU).

Procedural History: The Applicant submitted their first iteration of their PUD Application in December, 2024. The first Public Hearing was held on January 21, 2025, with no Commission decision anticipated or requested by the Applicant. After receiving Commission feedback, the Applicant returned with a second iteration of their PUD Application and submitted revised materials on December 16, 2025. The Hailey Planning and Zoning Commission will now consider the revised PUD Application and hold a Public Hearing on February 17, 2026, in-person at City Hall, and virtually via Microsoft Teams.

Standards of Evaluation	
17.10.030: General Requirements:	
A.	The minimum gross size for properties that may be developed as a PUD is one (1) acre, except in the Business and Limited Business zoning districts within the Central Business District, the minimum gross size shall be 18,000 square feet. All land within the development shall be contiguous except for intervening streets and waterways.
Staff Comments	<i>The proposed PUD site is measured at 28,784 square feet. Within the Townsite Overlay, the minimum gross size for properties that may be developed as a planned unit development shall be eighteen thousand (18,000) square feet. As this project is within the Townsite Overlay, this standard has been met.</i>
B.	A tract or parcel of land proposed for PUD development must be in one (1) ownership or the subject of an application filed jointly by the owners of all property included.
Staff Comments	<i>The parcel is in one ownership; this standard has been met.</i>
C.	Area Development Plan:
	C.1
	When the owner of Contiguous Parcels is required to obtain PUD approval for any portion of the Contiguous Parcels, an Area Development Plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:
Staff Comments	<i>This PUD proposal only involves one (1) parcel; this standard has been met.</i>
	C.1.a
	Streets, whether public or private, shall provide an interconnected system and be adequate to accommodate anticipated vehicular and pedestrian traffic.
Staff Comments	<p><i>No new streets – public or private – are proposed within the PUD Application. The project site has frontages along S. 1st Avenue and E. Pine Street, both of which are established public streets. Parking and sidewalk infrastructure is present along the entirety of the S. 1st Avenue block, whereas the E. Pine Street frontage only offers striped parking stalls.</i></p> <p><i>The Applicant is proposing improvements for twenty-eight (28) parking spaces along the property’s S. 1st Avenue and E. Pine Street frontages. This includes parking stall re-striping, curb and gutter, concrete sidewalk, landscaping, street lights, and truncated dome pedestrian crossings. Staff would like to note that these improvements would be required through a Design Review Application, should the Applicant wish to pursue such action.</i></p> <p><i>The Applicant is also proposing to complete right-of-way improvements (approx. 95’) along the northwest corner of S. 1st Avenue, not directly adjacent to the subject property. These improvements are proposed to match those listed above. There is no existing right-of-way infrastructure at this location.</i></p> <p><i>Public Works and Streets Division Managers have reviewed site plans and assessed existing infrastructure adjacent to the project parcel. They have preliminarily requested that the Applicant install pedestrian infrastructure features along the E. Pine Street frontage, in addition to a full curb bulbout at the corner of E. Pine and S. 1st. Staff are also requesting parking and sidewalk infrastructure on the south side of E. Pine Street, adjacent to the parcel, parking and/or pedestrian infrastructure along E. Walnut to S. 1st block, and the much-needed parking and sidewalk infrastructure connection at the corner of E. Croy and S. 1st. Each of these locations are within close or direct proximity to the project site, and they provide critical linkages to Hailey’s downtown core and surrounding amenities and services. A fully realized public right-of-way plan is highly desirous by Staff and Hailey’s citizenry. The Commission may wish to provide additional</i></p>

	<i>feedback as to these improvements with the understanding that detailed plans will be required at Design Review Application submittal.</i>
C.1.b	Non-vehicular circulation routes shall provide safe pedestrian and bicycle paths and provide an interconnected system to streets, parks and green space, public lands, or other destinations.
Staff Comments	<p><i>There is an existing 4'-wide sidewalk along the property's S. 1st Avenue frontage. The Applicant will be required to complete sidewalk improvements along the E. Pine Street frontage, if approval of the PUD is granted and/or with the submittal of a Design Review Application.</i></p> <p><i>The Applicant is proposing to complete right-of-way improvements (approx. 95') along the northwest corner of S. 1st Avenue, not directly adjacent to the subject property. These improvements (to be fully reviewed by Staff at the of Design Review Application submittal) are proposed to include curb and gutter, concrete sidewalk, landscaping, street lights, and truncated dome pedestrian crossings. There is no existing right-of-way infrastructure at this location. Across the street is the Blaine County Annex Building, Blaine County Courthouse, Hope Garden, and sidewalk connections to Main Street and nearby public transit stops, highlighting the importance of completing the missing link, as proposed by the Applicant.</i></p> <p><i>As for offsite non-vehicular circulation routes, Staff are providing the Applicant with ongoing guidance on the specific locations and design features of such routes. See Section 17.10.030 C.1.a for additional details.</i></p> <p><i>Within the project site itself, the Applicant has provided basic, non-vehicular circulation routes from the right-of-way to building entrances, a sunken courtyard, etc. Due to proposed building designs, onsite non-vehicular circulation routes are limited in scope.</i></p>
C.1.c	Water main lines and sewer main lines shall be designed in the most effective layout feasible.
Staff Comments	<p><i>Water and sewer main lines servicing the property are existing. There are currently three (3) water services connecting into the project property. The Applicant is proposing to install one (1) new water meter and one (1) new sanitary sewer service for the site. All meters and connections are proposed to be located within the alley.</i></p> <p><i>The Water Division Manager has requested that any service that will not be used after the addition will need to be abandoned at the water main. This action will be made a Condition of Approval in any subsequent Design Review Application submitted by the Applicant.</i></p>
C.1.d	Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.
Staff Comments	<i>Other utilities, including power, telephone, and gas service lines, currently exist and actively service the site. Any proposed undergrounding of overhead utilities will be addressed at a later date, in conjunction with the required Design Review Application for any redevelopment of the site.</i>
	C.1.e
	Park land shall be most appropriately located on the Contiguous Parcels.
Staff Comments	<i>N/A - This PUD proposal only involves one (1) parcel.</i>
C.1.f	Grading and drainage shall be appropriate to the Contiguous Parcels.
Staff Comments	<i>N/A/ - This PUD proposal only involves one (1) parcel.</i>

C.1.g	Development shall avoid easements and hazardous or sensitive natural resource areas.
Staff Comments	<i>N/A – This PUD proposal does not encounter any easements and hazard or sensitive natural resource areas.</i>
C.2	Upon any approval of the PUD application, the Owner shall be required as a condition of approval to record the Area Development Plan or a PUD agreement depicting and/or detailing the approved Area Development Plan. The Area Development Plan shall bind the Owner and Owner’s successors.
Staff Comments	<i>The Applicant provided a draft PUD Agreement as part of the January 2025 PUD Application process, depicting the property’s proposed Area Development Plan. This draft may be modified and subsequently approved upon a final PUD approval for St. Charles Borromeo Catholic Church via the Hailey City Council. The Applicant has also provided a Phasing Plan and details for project components. All phasing and development plans will be captured and recorded within the finalized PUD Agreement.</i>
D.	Solar Access: Street and lot orientation, landscaping, and placement of structures shall provide solar access to all south roofs and walls to the maximum extent feasible to promote energy efficiency.
Staff Comments	<i>The proposed structural addition will be oriented from north to south, with the largest wall planes facing the east and west aspect. Lot dimensions and orientation limit design styles that favor stronger solar access to south roofs.</i>
E.	Access: Access shall be provided according to standards in Chapter 16.04, Development Standards, of this Code. Buildings may not be so arranged that any structure is inaccessible to emergency vehicles.
Staff Comments	<i>Existing pedestrian access to the site from S. 1st Avenue will be retained. The Applicant is proposing one (1) new vehicular access point to the site, located to the rear of the building and accessed from the alley. This access point is proposed as a vehicular drop-off area.</i> <i>The Hailey Fire Department Fire Marshall has reviewed site plans and has no concerns with proposed plans at this time.</i>
F.	Underground Utilities: Underground utilities, including telephone and electrical systems, shall be required within the limits of all PUDs.
Staff Comments	<i>The Applicant shall ensure that all existing above ground utilities are relocated underground during site redevelopment. This has been made a Condition of Approval.</i>
G.	Public Easement: In each case where a PUD project is located adjacent to public lands, a public easement to those lands shall be provided. All existing public access to public lands must be preserved.
Staff Comments	<i>N/A – The PUD is not located adjacent to public lands.</i>
H.	Pathways: In each case where a PUD project encompasses a non-vehicular pathway as depicted on the Master Plan, a pathway constructed to City standards shall be provided.
Staff Comments	<i>The Public Works Department Supervisor and Streets Division Manager have recommended various onsite and offsite non-vehicular pathway/sidewalk improvements, as they relate to both community amenities required through the PUD and future potential Design Review Standards for property frontage improvements. The improvements will be required to be completed to specific City standards, which may include the “Side Street Standard” outlined for the River Street Typical Section (Chapter 18.14 “Standard Drawings”, Hailey Municipal Code), although the proposed PUD is not located within the River Street Corridor.</i>

		As City Staff desire to see the fulfillment of a safe, interconnected, high-functioning multi-modal network throughout the City of Hailey, the River Street Typical Section may be applied in select non-River Street locations, in order to achieve this desire. City Staff will provide specific guidance to the Applicant regarding which City standards shall be applied in each respective improvement location, if/when the PUD is approved, a full Design Review Application is submitted and approved, and enters future development phases.				
I.		Amenities: Each PUD shall provide one or more of the following amenities, commensurate with the size and density of the development, and commensurate with the modifications requested by the applicant, to ensure a public benefit:				
	I.1	<p>Green Space. All Green Space shall be granted in perpetuity and the PUD agreement shall contain restrictions against any encroachment into the Green Space. Where a subdivision is involved as part of the PUD approval process, Green Space shall be identified as such on the plat. A long-term maintenance plan shall be provided. Unless otherwise agreed to by the City, the PUD agreement shall contain provisions requiring that property owners within the PUD shall be responsible for maintaining the Green Space for the benefit of the residents or employees of the PUD and/or by the public. Green space shall be set aside in accordance with the following formulas:</p> <table border="1" style="margin-left: auto; margin-right: auto;"> <tr> <td>For residential PUDs</td> <td>A minimum of .05 acres per residential unit.</td> </tr> <tr> <td>For non-residential PUDs</td> <td>A minimum of 15% of the gross area of the proposed PUD.</td> </tr> </table>	For residential PUDs	A minimum of .05 acres per residential unit.	For non-residential PUDs	A minimum of 15% of the gross area of the proposed PUD.
For residential PUDs	A minimum of .05 acres per residential unit.					
For non-residential PUDs	A minimum of 15% of the gross area of the proposed PUD.					
Staff Comment		<i>N/A – The Applicant is proposing offsite sidewalk improvement amenities, mature tree retention, and community housing amenities.</i>				
	I.2	Active Recreational Facilities: Active recreational facilities include amenities such as a swimming pool, tennis courts or playing fields, of a size appropriate to the development's needs. The PUD agreement shall contain provisions requiring that such facilities be maintained in perpetuity or replaced with another similar recreation facility.				
Staff Comment		<i>N/A – The Applicant is proposing offsite sidewalk improvement amenities, , mature tree retention, and community housing amenities..</i>				
	I.3	Public Transit Facilities: Public transit facilities include a weather-protected transit stop or station and must be on a designated transit route.				
Staff Comment		<i>N/A – The Applicant is proposing offsite sidewalk improvement amenities, , mature tree retention, and community housing amenities..</i>				
	I.4	Preservation Of Vegetation: Preservation of significant existing vegetation on the site must include the preservation of at least seventy five percent (75%) of mature trees greater than six-inch (6") caliper on the site.				
Staff Comment		<p><i>The Applicant has proposed to retain four (4) out of the six (6) existing mature trees that are located on the site. All trees are greater than six-inch (6") caliper. The Applicant has also proposed to retain an additional two (2) mature street trees, including one (1) street tree that was proposed for removal during the PUD's first iteration.</i></p> <p><i>The Commission may wish to consider the full scope of these proposed retention measures when accounting for the official on-site retention requirements, as stated in Hailey Municipal Code.</i></p>				
	I.5	Wetlands: Protection of significant wetlands area must constitute at least ten percent (10%) of the gross area of the proposed PUD.				
Staff Comment		<i>N/A – The Applicant is proposing offsite sidewalk improvement amenities, mature tree retention, and community housing amenities.</i>				

	I.6	River Enhancement: Enhancement of the Big Wood River and its tributaries must include stream bank restoration and public access to or along the waterway.				
Staff Comment		<i>N/A – The Applicant is proposing offsite sidewalk improvement amenities, mature tree retention, and community housing amenities.</i>				
	I.7	Community Housing: For residential PUDs, the provision of at least ten percent (10%) of the approved number of dwelling units or lots as community housing units affordable to households earning between seventy percent (70%) and one hundred twenty percent (120%) of the area median income. This provision may be modified for individual projects based on the merits of the proposal as determined by the Commission and Council.				
Staff Comment		<i>While not a residential PUD in nature, the Applicant’s proposed community amenity for the requested lot coverage waiver request will be the donation of the existing residential structure on the site, which currently serves as the parish office. The Applicant has coordinated internally with ARCH Community Housing Trust and the City of Hailey to facilitate this donation. The donated structure will become a deed-restricted community housing unit within the City of Hailey, per ARCH guidelines, and a location for new placement has been confirmed by both ARCH and the City of Hailey. The arrangement has been captured within a submitted Memorandum of Understanding (MOU).</i>				
	I.8	Local Deed-Restricted Housing: For residential PUDs, the provision of at least thirty percent (30%) of the approved number of dwelling units or lots as local deed-restricted housing as defined by the local housing authority in its Community Housing Guidelines and reserved for households within the political boundaries of Blaine County, Idaho (residing full-time in Hailey, Idaho), and whose primary residence is within the residential PUD.				
Staff Comment		<i>See Section 17.10.030 (I)7 for details.</i>				
	I.9	Real Property: Dedication or conveyance of real property or an interest in real property to the city.				
Staff Comment		<i>See Section 17.10.030 (I)7 for details.</i>				
	I.10	<p>Sidewalks. Off-site sidewalk improvements shall be constructed according to City Standard Improvement Drawings and provided (in addition to sidewalk improvements that are required by ordinance adjacent to the subject property) in accordance with the following formulas:</p> <table border="1" style="margin-left: auto; margin-right: auto;"> <tr> <td style="padding: 5px;">For residential PUDs</td> <td style="padding: 5px;">A minimum of 100 linear feet per residential unit.</td> </tr> <tr> <td style="padding: 5px;">For non-residential or mixed-use PUDs</td> <td style="padding: 5px;">A minimum of 100 linear feet per 1000 square feet of gross floor area.</td> </tr> </table>	For residential PUDs	A minimum of 100 linear feet per residential unit.	For non-residential or mixed-use PUDs	A minimum of 100 linear feet per 1000 square feet of gross floor area.
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For non-residential or mixed-use PUDs	A minimum of 100 linear feet per 1000 square feet of gross floor area.					
Staff Comment		<p><i>As currently proposed, the Applicant does not meet the prescriptive minimum linear foot requirements for offsite sidewalk improvements, qualifying these improvements as a required community amenity in exchange for waivers requested.</i></p> <p><i>However, the Applicant is proposing the following sidewalk/right-of-way infrastructure improvements:</i></p> <ul style="list-style-type: none"> • <i>Right-of-way improvements for twenty-eight (28) parking spaces along the property’s S. 1st Avenue and E Pine Street frontages. This includes parking stall re-striping, curb and gutter, concrete sidewalk, landscaping, street lights, and truncated dome pedestrian crossings.</i> 				

		<ul style="list-style-type: none"> • <i>Right-of-way improvements (approx. 95') along the northwest corner of S. 1st Avenue, not directly adjacent to the subject property. These improvements are proposed to match those listed above. There is no existing right-of-way infrastructure at this location.</i> <p><i>The Commission may wish to discuss the applicability of the proposed sidewalk/right-of-way improvements and if they are commensurate with the waivers requested.</i></p>				
	I.11	Underground Parking: Underground parking must be provided for at least fifty percent (50%) of the required number of parking spaces in the PUD.				
Staff Comment		<i>N/A – The Applicant is proposing offsite sidewalk improvement amenities, mature tree retention, and community housing amenities.</i>				
	I.12	<p>Energy Consumption. All principal buildings within the PUD must comply with sustainable building practices, as follows:</p> <table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">For residential PUDs</td> <td>Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.</td> </tr> <tr> <td>For non-residential or mixed-use PUDs</td> <td>Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.</td> </tr> </table>	For residential PUDs	Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.	For non-residential or mixed-use PUDs	Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.
For residential PUDs	Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.					
For non-residential or mixed-use PUDs	Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.					
Staff Comment		<i>N/A – The Applicant is proposing offsite sidewalk improvement amenities, mature tree retention, and community housing amenities.</i>				
	I.13	Other Amenities: Other project amenities and/or community benefits found, by recommendation of the commission and council approval, to promote the purpose of this chapter and the goals of the comprehensive plan.				
Staff Comment		<i>Responding to specific requests from Staff the Commission during the January 2025 iteration of the PUD Application, the Applicant has also developed and received County approval for a Shared Parking Agreement at the Blaine County Courthouse (thirty-six (36) spaces). This Agreement will alleviate excessive parking demand in the immediate vicinity of St. Charles Borromeo Catholic Church, which has been a documented neighborhood challenge in the past. This proposed parking arrangement – in exchange for the requested parking minimum waiver - aligns with general goals in Hailey’s Comprehensive Plan for efficient land use, maintaining character in the downtown core, avoiding excessive costs for public services, and providing neighborhood pedestrian connectivity (achieved through associated sidewalk improvements, also included in this PUD Application).</i>				
17.10.040: Developer Benefits:						
The Council may grant modifications or waivers of certain zoning and/or subdivision requirements to carry out the intent of this Chapter and the land use policies of the City.						
Staff Comment		<p><i>In exchange for the proposed offsite sidewalk improvements community amenity, the Applicant requests waivers to the following requirements:</i></p> <ul style="list-style-type: none"> • <i>Building Height (30’ maximum) – requesting new maximum building height of 65’, with a current concept design of 59’.</i> • <i>Lot coverage (30% maximum) – requesting new lot coverage of approximately 40%.</i> • <i>On-site parking (1 space for every 5 seats – new seating capacity of 300 seats; 60 on-site parking spaces minimum requirement) – zero (0) permanent on-site</i> 				

		<i>parking spaces provided, with three (3) temporary on-site drop-off stalls proposed.</i>
17.10.040.01: DENSITY BONUS:		
A.		The following maximum increases in density may be granted only if one of the following conditions are met, and if no other density increase has been granted:
	A.1	Ten percent (10%): Solar, wind, geothermal or other alternative renewable energy sources will provide at least fifty percent (50%) of the total energy needs of the PUD.
Staff Comment		<i>N/A – A density bonus is not requested.</i>
	A.2	Ten percent (10%): At least twenty five percent (25%) of the property included in the PUD is in the floodplain and no development occurs within the floodplain.
Staff Comment		<i>N/A – A density bonus is not requested.</i>
	A.3	Ten percent (10%): The developer of the PUD provides or contributes to significant off-site infrastructure benefiting the city (e.g., water tank, fire station).
Staff Comment		<i>N/A – A density bonus is not requested.</i>
	A.4	Twenty percent (20%): The developer of the PUD provides or contributes to significant multi-modal infrastructure providing both vehicular and nonvehicular amenities benefiting the city and Wood River Valley.
Staff Comment		<i>N/A – A density bonus is not requested.</i>
	A.5	Ten percent (10%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for silver certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.
Staff Comment		<i>N/A – A density bonus is not requested.</i>
	A.6	Fifteen percent (15%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for gold certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.
Staff Comment		<i>N/A – A density bonus is not requested.</i>
	A.7	Twenty percent (20%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for platinum certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.
Staff Comment		<i>N/A – A density bonus is not requested.</i>
	A.8	Twenty-five percent (25%): The PUD provides or contributes deed-covenanted community housing units within the PUD. The number of community housing units so provided shall be determined by the Council and Commission. The density bonus of twenty-five percent (25%) may be increased by the Council and Commission if an increase in the density bonus serves a compelling housing need in the City, as determined by the Commission and Council.
Staff Comment		<i>N/A – A density bonus is not requested.</i>
B.		Density bonuses for project amenities and benefits to the community other than those listed here may be granted by unanimous vote of the council, following a recommendation by the commission, in order to carry out the purpose and intent of this chapter and the land use policies of the city. (Ord. 1191, 2015)
Staff Comment		<i>N/A – A density bonus is not requested.</i>
17.10.040.02: Density Transfer:		
Densities may be transferred between zoning districts within a PUD provided the resulting density shall be not greater than aggregate overall allowable density of units and uses allowed in the zoning districts in which the development is located.		

Staff Comment	<i>N/A - A density transfer is not requested.</i>	
17.10.040.05: Phased Development Allowed:		
The development of the PUD may be planned in phases provided that as part of the general submission, a development schedule is approved which describes:		
A.	Parcels: The parcels that are to be constructed upon in each phase and the date of each phase submission.	
Staff Comment	<i>The Applicant has provided a phasing exhibit for the proposed PUD, including five (5) phases. The date of each phase submission has not been provided by the Applicant, but will be further addressed and recorded via a PUD Agreement, to be reviewed and approved by the City Council at a later date.</i>	
B.	Number of Units: The number of units to be built in each submission.	
Staff Comment	<i>N/A – The PUD does not propose more than one (1) new structure throughout its phases. The submitted phasing plan details specific project components, including demolition, new structure construction, renovations to the existing structure, and exterior/landscaping improvements.</i>	
C.	Schedule For Completion: A schedule for making contributions (if any), for the completion of project amenities and public improvements, for posting of security pursuant to subsection 17.10.050.08 of this Chapter, for dedication of Green Space, for conveyance of community housing and/or provision of employee housing.	
Staff Comment	<i>The Applicant has not submitted a schedule for completion of project amenities and public improvements, although they have identified project phasing that includes these contributions. If this PUD is recommended for approval by the Hailey City Council, the City Council will discuss whether additional scheduling details for public improvements are necessary, or if the submitted phasing plan is sufficient.</i>	
D.	Stage Planning: Each stage within the PUD shall be so planned and related to existing and/or planned services and facilities, including commercial space, such that each phase is self-sufficient and not dependent on later phases and so that failure to proceed to the subsequent stages will not have any adverse impacts on the PUD, its surroundings, or the community in general. Each stage shall also be planned so as to ensure that green space and any other amenities will be provided along with proposed construction at each phase of construction.	
Staff Comment	<i>The Applicant has submitted a phasing plan that prioritizes public improvements, followed by construction of the new church structure and renovation of the existing church structure. The design of this phasing plan will ensure that public improvements are available as soon as possible, while also preserving church gathering space for St. Charles Borromeo congregants and minimizing disruptions to access of church services.</i>	
17.10.040.06: Modifications to the Subdivision Standards:		
Standards in the Subdivision Title for streets, sidewalks, alleys, and easements, lots and blocks, and parks may be allowed. The requirements for sidewalks in the zoning districts set forth in Section 16.04.030 shall not be waived.		
Staff Comment	<i>N/A - Modifications to the Subdivision Standards are neither requested nor proposed.</i>	
Subsection 17.10.050.04(C) sets forth Standards of Evaluation required by the City Council.		
A.	Standards of Evaluation	
	A.1	The proposed development can be completed within one (1) year of the date of approval or phased according to a development schedule as submitted in accordance with Section 17.10.040.05 of this chapter and approved by the City;
Staff Comment	<i>The Applicant has proposed a phasing schedule, although dates for completion of the various phases have not been provided. If this PUD is recommended for approval by the</i>	

		<i>Hailey City Council, the City Council will discuss whether additional scheduling details for public improvements are necessary, or if the submitted phasing plan is sufficient.</i>
	A.2	The streets and thoroughfares proposed are suitable and adequate to carry anticipated traffic;
Staff Comment		<i>S. 1st Avenue and E. Pine Street can accommodate anticipated vehicular traffic from the proposed PUD, and additional pedestrian improvements for these public streets are proposed/anticipated, further accommodating the increased pedestrian activity from the proposed PUD.</i>
	A.3	The PUD will not create excessive additional requirements at public cost for public facilities and services;
Staff Comment		<i>No excessive costs are anticipated from this project. Development in the downtown core makes efficient use of existing facilities and services.</i>
	A.4	The existing and proposed utility services are adequate for the population densities and non-residential uses proposed;
Staff Comment		<i>Utility services are available in the area and are adequate.</i>
	A.5	The development plan incorporates the site's significant natural features;
Staff Comment		<i>The development plan now includes the retention of five (5) of the eight (8) significant trees associated with the site. All trees are at least sixteen inches (16") DBH, according to submitted landscape plans. The Applicant previously proposed removal of six (6) of the eight (8) significant trees on site. The Applicant has made a clear effort to respond to Staff and Commissioner requests to retain significant on-site vegetation.</i>
	A.6	Each phase of such development shall contain all the necessary elements and improvements to exist independently from proposed future phases in a stable manner;
Staff Comment		<i>See Section 17.10.040.05 of this report for further details.</i>
	A.7	One or more amenities as set forth in subsection 17.10.030I of this chapter shall be provided to ensure a public benefit;
Staff Comment		<i>Please refer to Section I of this report for further details.</i>
	A.8	All exterior lighting shall comply with the standards set forth in subsection 17.08C of this chapter; and
Staff Comment		<i>The Applicant has noted Dark Sky Compliant lighting within their submitted plans, although specific lighting cut sheets have not yet been provided. Staff will ensure that all exterior lighting complies with the standards set forth in subsection 17.08C through a subsequent Design Review Application process, should the Applicant pursue this measure.</i>
	A.9	The proposed PUD Agreement is acceptable to the applicant and the city.
Staff Comment		<i>The proposed PUD Agreement has not yet been finalized. Review of the PUD Agreement is currently underway with Staff and the City Attorney. Further analysis and consideration will be discussed by the Hailey City Council, if the proposed PUD Application receives a recommendation for approval from the Planning and Zoning Commission.</i>

Summary and Suggested Conditions: The Commission shall conduct a public hearing and review the Application, all supporting documents and plans, and recommendations of City Staff, in making their recommendation to the Council. In any public hearing on a PUD Application, the presiding officer may order the hearing to be continued for up to thirty (30) days at the same place, in which case no further published notice shall be required. The following Conditions of Approval shall apply:

1. The project shall receive Planned Unit Development approval subject to the Conditions outlined in the PUD Development Agreement.

2. Waivers are hereby granted as follows:
 - i. Building Height (30' maximum) – requesting new building height of 60'
 - ii. Lot coverage (30% maximum) – requesting new lot coverage of 40%.
 - iii. On-site parking (1 space for every 5 seats – new seating capacity of 300 seats; 60 on-site parking spaces minimum requirement) – zero (0) permanent on-site parking spaces provided, with three (3) temporary on-site drop-off stalls proposed.
3. Any water service that will not be used after the addition shall be abandoned at the water main.
4. The Applicant shall ensure that all existing above ground utilities are relocated underground during site redevelopment.
5. A Maintenance Plan shall be developed for any infrastructure (i.e., sidewalks, landscaping) within the public right-of-way, and shall be recorded prior to issuance of a Certificate of Occupancy.

Motion Language:

Approval: Motion to recommend approval by the Hailey City Council, the Planned Unit Development (PUD) Application by St. Charles Borromeo Catholic Church, represented by The Land Group, Inc., to consider various waivers and benefits of the zoning and subdivision codes to be able to construct a new Parish Hall, Classrooms, Administrative Offices, Worship Sanctuary, as well as repurpose the existing church building, all located at 311 South 1st Avenue (Lots 3-10, Block 21, Townsite Overlay) within the Transitional (TN) and Townsite Overlay (TO) Zoning Districts, finding that the project meets the standards under Section 17.10 of the Hailey Municipal Code, subject to Conditions 1-5 above.

Denial: Motion to deny the Planned Unit Development (PUD) Application by St. Charles Borromeo Catholic Church, represented by The Land Group, Inc., to consider various waivers and benefits of the zoning and subdivision codes to be able to construct a new Parish Hall, Classrooms, Administrative Offices, Worship Sanctuary, as well as repurpose the existing church building, all located at 311 South 1st Avenue (Lots 3-10, Block 21, Townsite Overlay) within the Transitional (TN) and Townsite Overlay (TO) Zoning Districts; finding that the project does not meet the standards under Section 17.10 of the Municipal Code _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing for the Planned Unit Development (PUD) Application by St. Charles Borromeo Catholic Church to _____ [the Commission should specify a date].



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St. Charles Borromeo
311 1st avenue
hailey, idaho 83333

revision:
no. desc. date

project: 230706
date: 12.10.25
drawn: KW/CL/TJC
checked: N/A

Existing Conditions

PUD 1

Topographic Survey for St. Charles Borromeo

Being Lots 3-10, Block 21 of Hailey Townsite,
Situate in the NW 1/4 of the SE 1/4 of Section 9,
Township 2 North, Range 18 East, Boise Meridian
City of Hailey, Blaine County, Idaho
2024

Vicinity Map:



Referenced Survey Table:

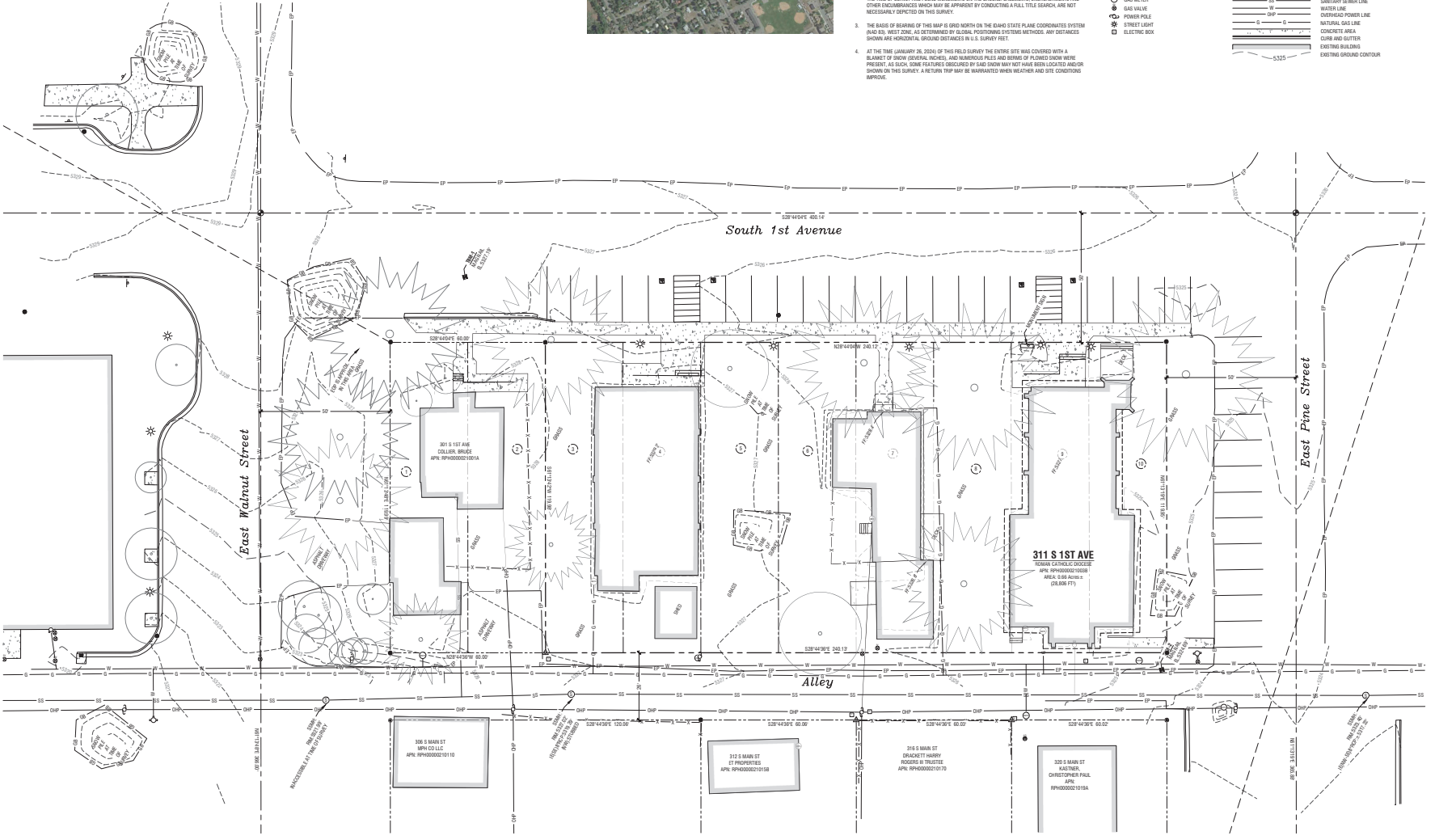
- R1. RECORD OF SURVEY INSTRUMENT #720181, RECORDS OF BLAINE COUNTY.
- R2. RECORD OF SURVEY INSTRUMENT #880043, RECORDS OF BLAINE COUNTY.
- R3. RECORD OF SURVEY INSTRUMENT #988084, RECORDS OF BLAINE COUNTY.

Keynotes:

1. UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREIN ARE BASED UPON ABOVE GROUND EVIDENCE AND UTILITY COMPANY FACILITY MAPS. THE SURVEYOR MAKES NO GUARANTEE OF THE ACCURACY OF LOCATION OF UNDERGROUND UTILITIES. IT APPEARS AS ALL UNDERGROUND UTILITIES ARE LOCATED WITHIN THE RIGHT OF WAY OF THE 30-FOOT ALLEY.
2. GROUNDWATER INFORMATION SHOWN HEREIN IS BASED ON RECORDS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY AND FOUND MONUMENTS ON THE GROUND. ENCROACHMENTS AND OTHER ENCUMBRANCES WHICH MAY BE APPARENT BY CONDUCTING A FULL TITLE SEARCH, ARE NOT NECESSARILY DEPICTED ON THIS SURVEY.
3. THE BASIS OF BEARING OF THIS MAP IS GRID NORTH ON THE IDAHO STATE PLANE COORDINATES SYSTEM (NAD 83), WEST ZONE, AS DETERMINED BY GLOBAL POSITIONING SYSTEM METHODS. ANY DISTANCES SHOWN ARE HORIZONTAL, GROUND DISTANCES IN U.S. SURVEY FEET.
4. AT THE TIME (JANUARY 26, 2024) OF THIS FIELD SURVEY THE ENTIRE SITE WAS COVERED WITH A BLANKET OF BROWN (GENERAL, INCHES, AND MANHOLE) PILES AND BERRMS OF PLOWED SNOW WERE PRESENT. AS SUCH, SOME FEATURES CONCEALED BY SNOW NOW MAY NOT HAVE BEEN LOCATED AND/OR SHOWN ON THIS SURVEY. A RETURN TRIP MAY BE WARRANTED WHEN WEATHER AND SITE CONDITIONS IMPROVE.

Legend:

- FOUND ALUMINUM CAP MONUMENT
 - FOUND 1" IRON NAIL WITH SHOWN
 - FOUND NAIL
 - TEMPORARY BENCHMARK
 - CALCULATED POINT, NOTHING FOUND ON SET
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - FIRE DEPARTMENT CONNECTION
 - RECTANGULAR INLET
 - ROUND INLET
 - AREA DRAIN
 - SANITARY SEWER MANHOLE
 - CLEAN OUT
 - PRESSURE REGULATION VALVE
 - GAS METER
 - GAS VALVE
 - POWER POLE
 - STREET LIGHT
 - ELECTRIC BOX
- ELECTRIC METER
 - TELEPHONE RISER
 - ADA SYMBOL
 - SIGN
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - OVERALL PARCEL BOUNDARY LINE
 - ADJACENT PROPERTY LINE
 - ORIGINAL HAILEY TOWNSITE LOT LINE
 - HORIZONTAL CENTERLINE
 - EDGE OF PAVEMENT
 - FENCE LINE
 - SANITARY SEWER LINE
 - WATER LINE
 - OVERHEAD POWER LINE
 - NATURAL GAS LINE
 - CONCRETE AREA
 - CURB AND GUTTER
 - EXISTING BUILDING
 - EXISTING GROUND CONTOUR



Existing Conditions
Horizontal Scale: 1" = 10'



Sheet Notes:

1. FOR LOWER COURTYARD SITE PLAN, SEE SHEET PUD 2.
2. FOR GRADING, DRAINAGE AND UTILITIES, SEE SHEET PUD 5 & 6.
3. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF WALK, EDGE OF PAVEMENT, EDGE OF FOUNDATION, EDGE OF WALL, CENTER OF WHEEL STOP OR CENTER OF POST.
4. SIDEWALK CROSS SLOPE CANNOT EXCEED 2%. NO TOLERANCES ALLOWED.

Material Legend:

- ASPHALT PAVING IN CITY OF HALEY FOR MATCH EXISTING PAVEMENT SECTION.
- LANDSCAPE AREAS: REFER TO LANDSCAPE SHEETS PUD 6 & 7 FOR MORE INFORMATION.
- STANDARD CONCRETE FLATWORK.
- REINFORCED CONCRETE FLATWORK.

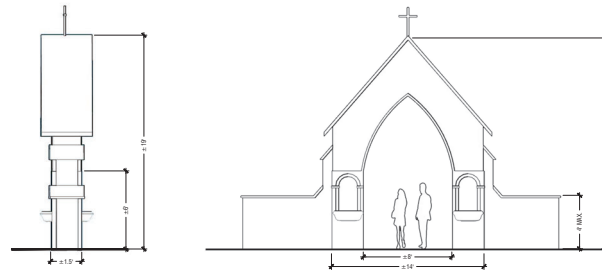
Keynotes:

1. TRAIN ENCLOSURE
2. MAIN ENTRY ARCH TO COURTYARD: SEE DETAIL 1: PUD 2
3. DROP OFF AREA
4. PUBLIC SEATING AREA
5. GEOMETRY FOR TRAIN WALL AND FENCE HEIGHT SHALL BE NO GREATER THAN 4 FT ABOVE STREET LEVEL'S FINISHED GRADE.
6. BUILDING ENTRY
7. SHIELD/GARAGE COMPLIANT STREET LIGHT
8. ADA RAMP WITH DETECTABLE WARNING STRIP
9. STREET SIGNAGE
10. STAIRS
11. OUTDOOR GATHERING SPACE

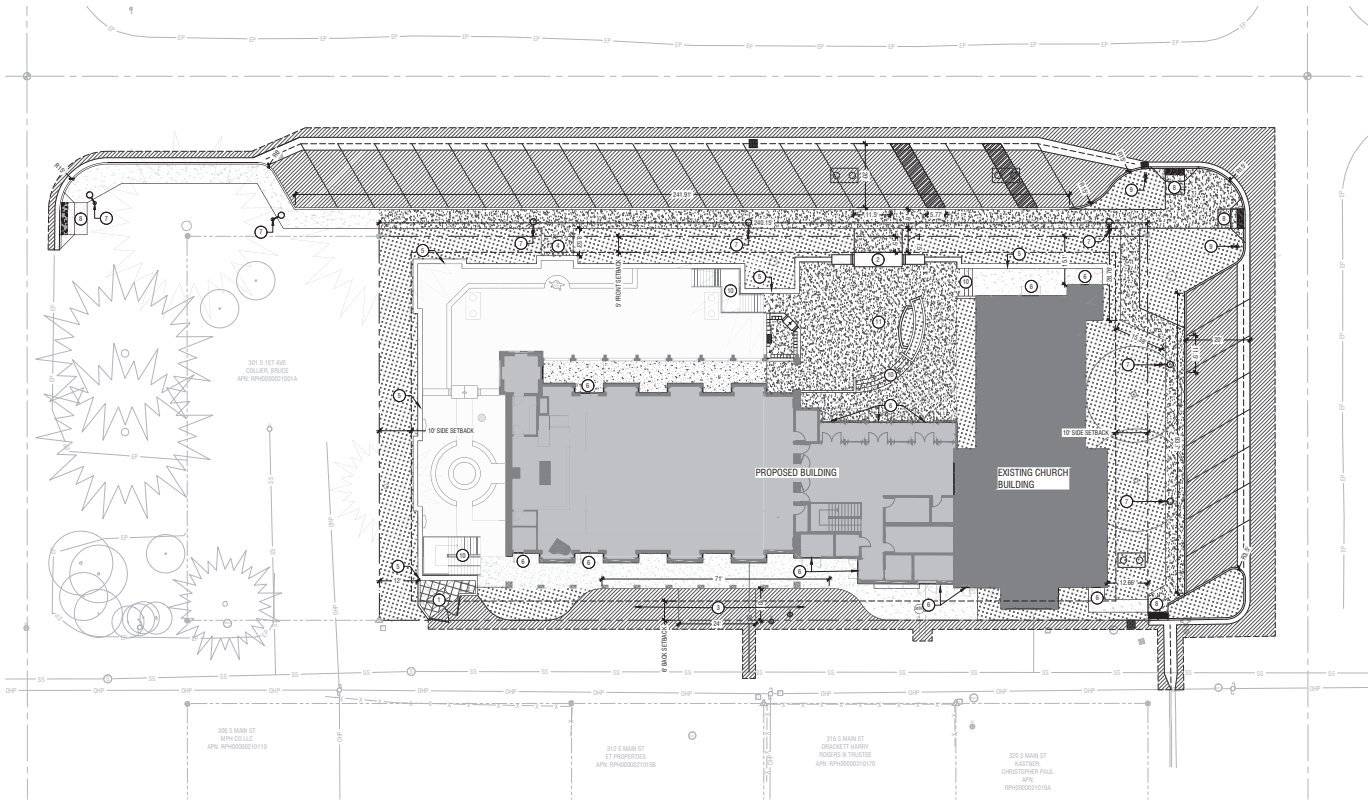
Code Compliance Data:

PARKING: RELIGIOUS INSTITUTION AS PRINCIPAL USE, 1 SPACE PER 5 SEATS.	
EXISTING ON-SITE	0
EXISTING IN RIGHT-OF-WAY	00
REQUIRED (SEE PUD 5 FOR MORE INFORMATION)	70
PROPOSED ON-SITE	3
PROPOSED IN RIGHT-OF-WAY	28

DIMENSIONAL REQUIREMENTS: TO ZONE WITH TOWNSITE OVERLAY	
FRONT YARD BUILDING SETBACK	13-FT OCCUPIED STRUCTURE, 5-FT UNOCCUPIED STRUCTURE (PER TOWNSITE OVERLAY)
SIDE YARD BUILDING SETBACK	13-FT (MINIMUM PER TOWNSITE OVERLAY), 12-FT (MINIMUM PER TOWNSITE OVERLAY)
REAR YARD SETBACK (ALLEY ROW)	8-FT (PER TOWNSITE OVERLAY)
BUILDING HEIGHT	35-FT (PER TOWNSITE OVERLAY)
LOT COVERAGE	30% (PER TOWNSITE OVERLAY)



1 Entry Gate Elevation
Scale: NTS



Site Plan - Main Level
Horizontal Scale: 1"=15'



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St. Charles Borromeo
311 1st avenue
Haley, Idaho 83333

revision:	no.	desc.	date

project: 230796
date: 12.10.23
drawn: KW/CL/TJC
checked: M/A

Site Plan - Main Level
PUD 2

Sheet Notes:

1. FOR UPPER COURTYARD SITE PLAN, SEE SHEET PUD 3.
2. FOR GRADING, DRAINAGE AND UTILITIES, SEE SHEET PUD 3 & 6.
3. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF WALK, EDGE OF PAVEMENT, EDGE OF FOUNDATION, EDGE OF WALLS, CENTER OF WHEEL STOP OR CENTER OF POST.
4. SIDEWALK CROSS SLOPE CANNOT EXCEED 2%. NO TOLERANCES ALLOWED.

Material Legend:

- [Pattern] STANDARD CONCRETE FLATWORK.
- [Pattern] LANDSCAPE AREAS. REFER TO LANDSCAPE SHEETS PUD 3 & 7 FOR MORE INFORMATION.

Keynotes:

1. THIRDS ENCLOSURE
2. MAIN ENTRY HEED TO COURTYARD; SEE DETAIL 1, PUD 2
3. DROP OFF AREA
4. PUBLIC SEATING AREA
5. DECORATIVE RETAINING WALL AND FENCE HEIGHT SHALL BE NO GREATER THAN 4 FT ABOVE STREET LEVEL'S FINISHED GRADE
6. BUILDING ENTRY
7. SHIELDING/NOISY COMPLIANT STREET LIGHT
8. ADA RAMP WITH DETECTABLE WARNING STRIP
9. STREET DRAINAGE
10. STAIRS
11. OUTDOOR GATHERING SPACE

CALLOUT NUMBERS COORDINATED TO NUMBERED NOTES BELOW.



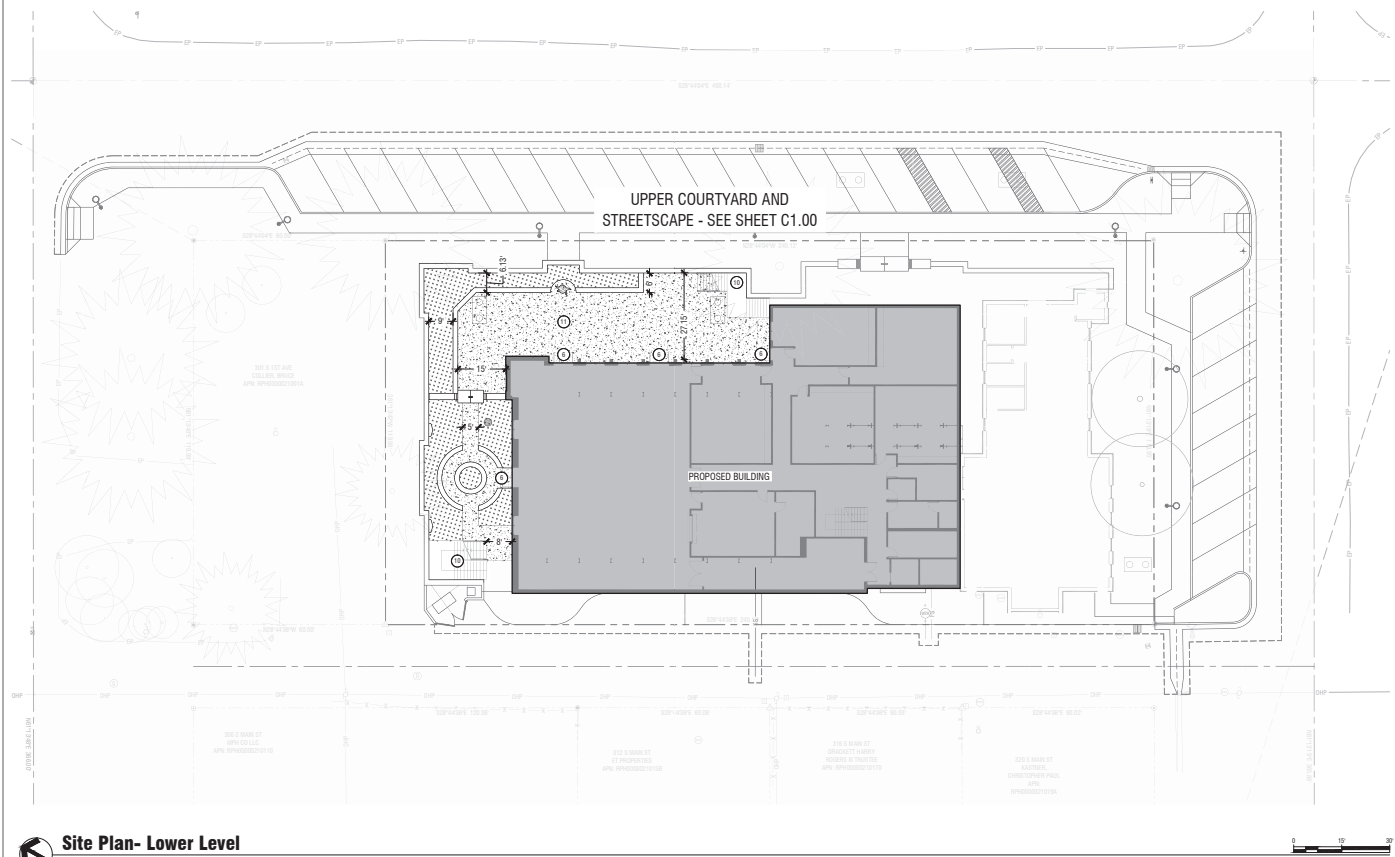
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 311 1st Avenue
 natley, idaho 83333

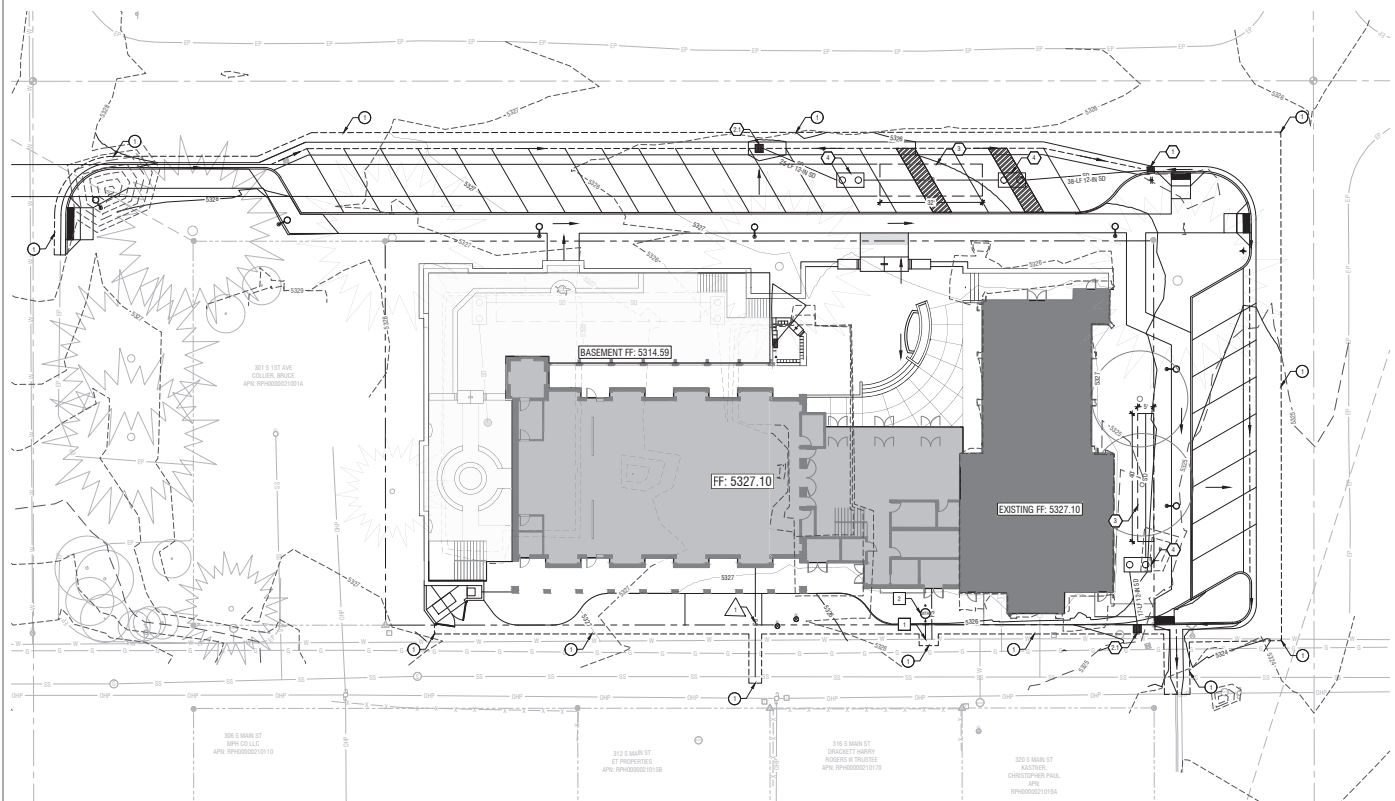
revision no.	desc.	date

project:	230704
date:	12.10.23
drawn:	KW/CL/TG
checked:	M/A

Site Plan- Lower Level
PUD 3



Site Plan- Lower Level
 Horizontal Scale: 1"=15'



- Sheet Notes:**
- CONDITIONAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 1%. CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN ROSEBANK RAMPS SHALL NOT EXCEED 5:1 SLOPE IN ANY DIRECTION. PLATFORM ADJACENT TO BUILDING SHALL NOT EXCEED 1% CROSS SLOPE OR HAVE CROSS SLOPE LESS THAN 1%.
 - SPOT ELEVATIONS INDICATE TOP OF FINISH GRADE SURFACE AS NOTED BY THE FOLLOWING:
FF - FINISHED FLOOR
 - ALL PIPE INSTALLATION AND TRENCHING SHALL COORDINATE WITH GPM DIVISION 300 AND 301.001. BEDDING AND BACKFILL SHALL BE CONSTRUCTED PER SECTIONS 300 AND 300.0 OF THE GPM.
- Grading Keynotes:**
1. SAWCUT PER GPMVC ID-303. PROVIDE A NEAT AND SMOOTH SAWCUT LINE.
- Storm Keynotes:**
- INSTALL CATCH BASIN TYPE 1 PER GPMVC ID-601.
 - INSTALL 30-INCH ROUND CATCH BASIN
 - WITH A **POURABLE GRIDED** LID.
 - WITH A **POURABLE GRIDED** LID.
 - INSTALL STORM WATER SEEPAGE BCD.
 - INSTALL SAND AND GREASE TRAP.
- Water Keynotes:**
- TAP WATER SERVICE FROM EXISTING WATER MAIN. COORDINATE WITH CITY OF HALEY WATER DEPARTMENT.
 - INSTALL WATER METER PER GPMVC AND CITY OF HALEY REQUIREMENTS.
- Sewer Keynotes:**
- INSTALL SANITARY SEWER SERVICE PER GPMVC ID-511.
- Legend:**
- ORAINAGE DIRECTIONAL ARROW



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Haley, Idaho 83333

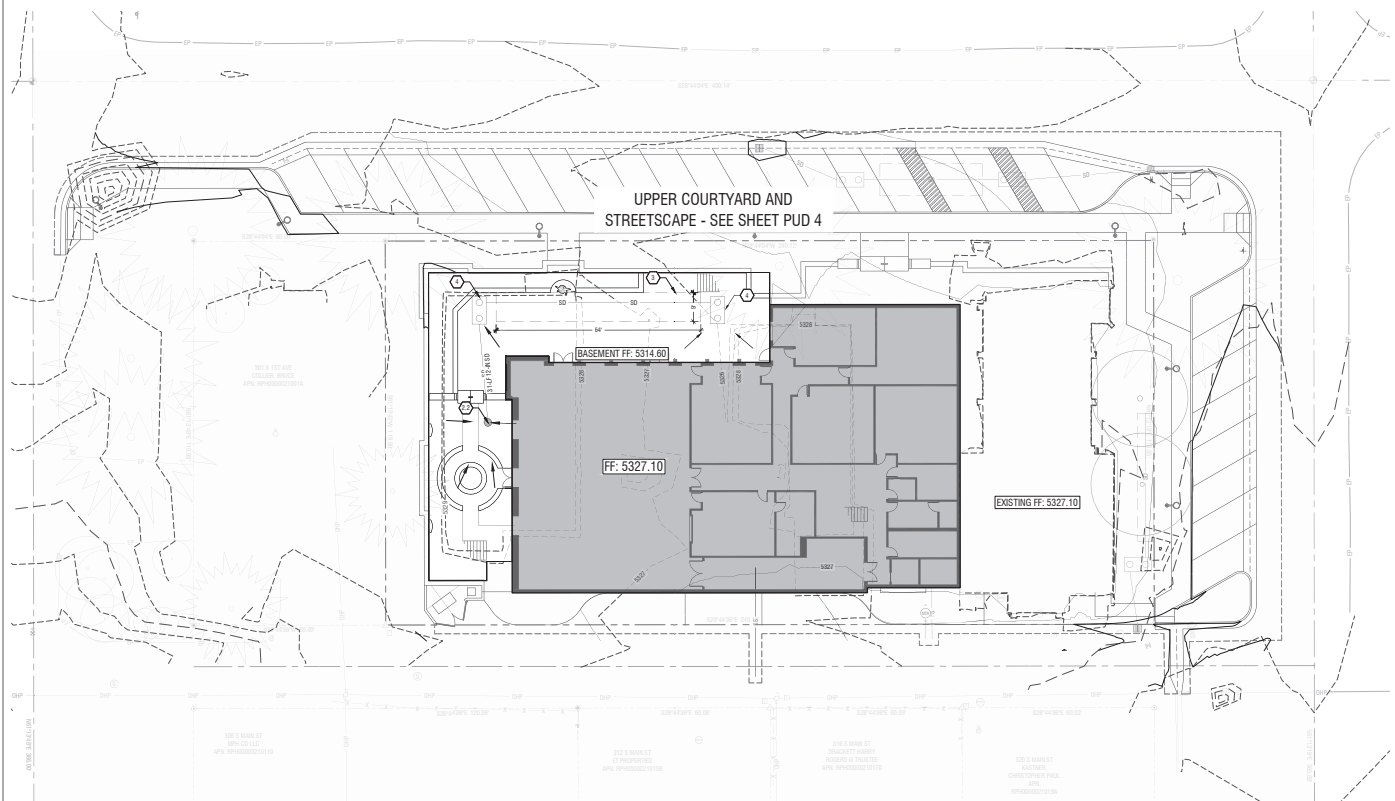
revision:	no.	desc.	date

project: 230706
date: 12-10-23
drawn: KW/CL/TG
checked: WJA

Grading and Drainage Plan- Main Level
PUD 4

Grading and Drainage Plan- Main Level
Horizontal Scale: 1" = 10'





- Sheet Notes:**
- CONDITIONAL SLOPE OF ALL SIDEWALKS SHALL NOT EXCEED 1%. CROSS SLOPE SHALL NOT EXCEED 2%. SLOPES WITHIN ROSEBANK RAMPS SHALL NOT EXCEED 12:1. SLOPE IN ANY DIRECTION. PLATFORM ADJACENT TO BUILDING SHALL NOT EXCEED 1% CROSS SLOPE OR HAVE CROSS SLOPE LESS THAN 1%.
 - SPOT ELEVATIONS INDICATE TOP OF FINISH GRADE SURFACE AS NOTED BY THE FOLLOWING:
FF - FINISHED FLOOR
 - ALL PIPE INSTALLATION AND TRENCHING SHALL COORDINATE WITH GPMV DIVISION 300 AND 303.01. BEDDING AND BACKFILL SHALL BE CONSTRUCTED PER SECTIONS 300 AND 303 OF THE GPMV.
- Grading Keynotes:**
1. SAWCUT PER GPMV ID-303. PROVIDE A NEAT AND SMOOTH SAWCUT LINE.
- Storm Keynotes:**
- INSTALL CATCH BASIN TYPE 1 PER GPMV ID-601.
 - INSTALL 30-INCH ROUND CATCH BASIN.
 - WITH A SQUARE GRADE LED.
 - INSTALL 30-INCH ROUND CATCH BASIN WITH A ROUND GRADE LED.
 - INSTALL STORM WATER SEEPAGE BCI.
 - INSTALL SAND AND GREASE TRAP.
- Water Keynotes:**
- TAP WATER SERVICE FROM EXISTING WATER MAIN. COORDINATE WITH CITY OF WAILEY WATER DEPARTMENT.
 - INSTALL WATER METER PER GPMV AND CITY OF WAILEY REQUIREMENTS.
- Sewer Keynotes:**
- INSTALL SANITARY SEWER SERVICE PER GPMV ID-511.
- Legend:**
- ORINAISE DIRECTIONAL ARROW



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St. Charles Borromeo
311 1st avenue
hailey, idaho 83333

revision no.	desc.	date

project: 230706
date: 12.10.25
drawn: KW/CL/TG
checked: M/A

Grading and Drainage Plan - Lower Level
PUD 5



PLANT SCHEDULE					
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
CLASS I TREES					
AG		AMELANCHIER X GRANDIFLORA / AUTUMN BRILLIANCE / AUTUMN BRILLIANCE APPLE SERVICEBERRY 15 HGT. 15 SPD	2" CAL.	8.5B	1
CLASS II TREES					
AC		ACER PLATANOIDES / CRIMSON KING / CRIMSON KING NORWAY MAPLE 40 HGT. 30 SPD	2.5" CAL.	8.5B	1
GA		GINKGO BILOBA / AUTUMN GOLD / AUTUMN GOLD MADENHAR TREE 30 HGT. 30 SPD	2.5" CAL.	8.5B	2
OE		QUERCUS X CRIMSCHMIDT / CRIMSON SPICE OAK 40 HGT. 15 SPD	2.5" CAL.	8.5B	4
CLASS III TREES					
GD		GYMNOCADUS DIOICUS / ESPRESSO / KENTUCKY COFFEETREE 50 HGT. 35 SPD	2.5" CAL.	8.5B	2
CONIFERS					
AL		ABIES LASIOCARPA / SUBALPINE FIR 50 HGT. 30 SPD	8" HT.	8.5B	2
PF		PRINUS FLEXILIS / VANDERWOLF'S PYRAMID / VANDERWOLF'S PYRAMID LAMBER PINE 25 HGT. 15 SPD	8" HT.	8.5B	2

PLANT SCHEDULE					
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
SHRUBS					
CM		CORNUS SANGUINEA / MIDWINTER FIRE / MIDWINTER FIRE BLOODTWIG DOGWOOD 6 HGT. 8 SPD	3 GAL.	POT	7
CS		CORNUS SERICEA / CARDINAL / CARDINAL RED TWIG DOGWOOD 6 HGT. 8 SPD	3 GAL.	POT	8
PH		PHILADELPHUS LEWISII / BUZZARD / BUZZARD MOCK ORANGE 4 HGT. 3 SPD	5 GAL.	POT	2
RG		PRUNUS AROMATICA / GRO-LOW / GRO-LOW FRAGRANT SUMAC 2 HGT. 6 SPD	3 GAL.	POT	12

PERENNIAL AND FORB PALETTE - FULL SUN			
SPECIES	MATURE SIZE	NURSERY STOCK SIZE	QTY
BOUTELOUA GRACILIS / BLONDE AMBITON / BLONDE AMBITON BLUE GRAMA GRASS	3 HGT. 3 SPD	2 GAL.	2
CESTRARIUM RUBER / RED VALERIAN	3 HGT. 3 SPD	1 GAL.	1
EDIMONIA PURPUREA / FRAGRANT ANGEL / FRAGRANT ANGEL CONFLOR	4 HGT. 2 SPD	1 GAL.	1
CALLUNA VULGARIS / CALLUNET	2 HGT. 2 SPD	1 GAL.	1
TRICHODROMA ALOPECUROIDES / FLOWERING PURPLE SAGE	2 HGT. 2 SPD	1 GAL.	1
SALIX ELAEAGNIS / MAY NIGHT / MAY NIGHT SAGE	2 HGT. 2 SPD	1 GAL.	1
LYSTICH SPICATA / BLANGING STAR	2 HGT. 2 SPD	1 GAL.	1
PENTSTEMON X MEXICAL / PINKY / RED ROCKS PENTSTEMON	2 HGT. 2 SPD	1 GAL.	1
PANICUM VIRGATUM / THUNDERBOLT / THUNDERBOLT WHIPPY GRASS	2 HGT. 2 SPD	2 GAL.	2
HEPETA X FASSONII / WALKER'S LOW / WALKER'S LOW CATWANT	2 HGT. 2 SPD	2 GAL.	2
SPOROBOLUS HETEROLEPSIS / PRIME DROPSIED	2 HGT. 2 SPD	2 GAL.	2
FENESTRAN ALPECOURENSIS / HAMELI / HAMELI FOUNTAIN GRASS	2 HGT. 2 SPD	2 GAL.	2
BRACHYPHYUM SUPINUM / LITTLE BLUESTEM	2 HGT. 2 SPD	2 GAL.	2

PERENNIAL AND FORB PALETTE - PARTIAL SHADE			
SPECIES	MATURE SIZE	NURSERY STOCK SIZE	QTY
HEUCHERA X PAVON / PAVON CORAL BELLS	2 HGT. 2 SPD	1 GAL.	1
HEUCHERA BLUE ANEMO / BLUE ANEMO HEUCHERA	2 HGT. 2 SPD	2 GAL.	2
RHE SIBIRICA / SIBERIAN RH	2 HGT. 2 SPD	1 GAL.	1
CAREX PENNSYLVANICA / PENNSYLVANIA SEDGE	1 HGT. 2 SPD	1 GAL.	1
PLATYCODON GRANDIFLORUS / BALLOON FLOWER	2 HGT. 2 SPD	1 GAL.	1
POLYSTICHUM GIBBERIFOLIUM / JACOBS LADDER	2 HGT. 2 SPD	1 GAL.	1
POLYSTICHUM MONTANUM / WESTERN SWAMP FERN	2 HGT. 2 SPD	2 GAL.	2
DIAPHYOTHICHUM OLIGOSPERMUM / FALL AFTER	4 HGT. 2 SPD	1 GAL.	1
HELIOPSIS X WALLENBERGII / MOBY PRINCE HELIOPSIS	2 HGT. 2 SPD	1 GAL.	1
BESCHMYPARA DEPTERIS / TOPPED HAIR GRASS	3 HGT. 2 SPD	2 GAL.	2

Sheet Notes:
 1. FOR LOWER QUANTITIES LANDSCAPE PLAN, SEE SHEET PUD-1.
 2. FOR EXISTING TREE INVENTORY, SEE SHEET PUD-1.

Material Legend:

Keynotes:
 1. SANDSTONE BOULDER, INSTALL PER DETAIL ACP-7.
 2. RAISED PLANTER.
 3. RAISED PLANTER AND INTEGRATED BENCH.
 4. RAISED EXISTING CHAIRPIT SEAT.
 5. CALLOUT NUMBERS CORRELATED TO NUMBERED NOTES BELOW.

Landscape Notes:
 1. CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
 2. PRIOR GRADES TO BE SMOOTH AND EVEN SURFACES WITH PROFILES AS ACCORDANCE WITH THE GRADING PLAN, REMOVE HOLES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES. PLACE 3" OF ALL-LAY DUNE SANDSTONE SOIL TO ACHIEVE FINISH GRADE. FINISH GRADES RELATED TO ADJUSTIVE SITE ELEMENTS SHALL BE:
 A. 1 INCH BELOW TOP OF ADJUSTIVE FURNISH VALVE BOX UNLESS NOTED OTHERWISE.
 B. 3 INCHES BELOW TOP OF CURB UNLESS NOTED OTHERWISE.
 C. ALL PLANTING BEDS SHALL HAVE A MINIMUM 12" OF TOPSOIL, 30% AREAS A MINIMUM OF 12" OF TOPSOIL. SPREAD, COMPACT AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE.
 D. RE-USE EXISTING SURFACE TOPSOIL, WHERE POSSIBLE, VERIFY SATURABILITY OF SURFACE SOIL TO PRODUCE TOPSOIL, MEETING REQUIREMENTS AND AMOUNT WHEN NECESSARY. TOPSOIL SHALL BE A LOOSE, FRAGILE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NODDLES, WEED SEEDS, ROCK GRADES OR OTHER FOREIGN MATERIALS AND A MIN. 10 TO 15% OF ORGANIC TOPSOIL WHICH DOES NOT MEET THESE MINIMUM STANDARDS. CONTRACTORS ARE RESPONSIBLE TO EITHER A) PROVIDE APPROVED IMPORTED TOPSOIL, OR B) IMPROVE ON SITE TOPSOIL WITH APPROVED BY LANDSCAPE ARCHITECT. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. CLEAN TOPSOIL OF ROOTS, PLANTS, SOIL, STONES, CLAY LUMPS AND OTHER CONTAMINATING MATERIALS FROM PLANT GROWTH.
 E. IF IMPORTED TOPSOIL FROM ON-SITE SOURCES IS REQUIRED, PROVIDE NEW TOPSOIL THAT IS VERTICAL, FRAGILE, NATURAL LOAM, SANDY, CLEAN AND FREE OF TOXIC MATERIALS, NODDLES, WEED SEEDS AND OTHER FOREIGN MATERIALS. STAMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTENSIVE OR TOXIC MATERIAL, ONLY FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES.
 F. ALL LANDSCAPE AREAS SHALL BE WEED FREE AT THE TIME OF LANDSCAPE INSTALLATION. REMOVE ALL ROOTS, WEEDS, ROCKS AND FOREIGN MATERIALS ON THE SURFACE.
 G. NEW TREE PLANTING, SEE DETAIL ACP-7. CONTRACTOR SHALL STATE ALL THESE ITEMS NECESSARY, I.E., FROM BEING SLOW DOWN, PLANTED WITH LOOSE ROOT BALL, ETC. CONTRACTOR'S OPTION.
 H. NEW PERENNIAL PLANTING, SEE DETAIL ACP-7.
 I. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTERS WILL BE SELECTED TO NOT A QUOTE AND HEALTHY CONDITION.
 J. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTITUTION. COMPLETELY REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
 K. TREE PIT BACKFILL, PLANTING PIT BACKFILL, SOIL AMENDMENTS AND FERTILIZER FOR TREE PIT BACKFILL AT THE FOLLOWING RATES, BLEND AMENDMENTS THOROUGHLY WITH SOIL BACKFILL. TREE PITS SHALL BE 20% OF TOTAL TREE CALIBER.
 L.A.A. HUMIC ACID, 2.5 LBS PER TREE PIT
 L.A.B. COMMERCIAL GRADE COMPOST - 10 CUBIC FEET PER TREE PIT
 L.A.C. PLANTING TABLET FERTILIZER - 2 TABLETS PER TREE PIT
 L.A.D. CALCIFED DATOMACCEDE EARTH - 75 LBS PER TREE PIT
 M. GROUND PIT BACKFILL, PLANTING PIT BACKFILL, SOIL AMENDMENTS AND FERTILIZER FOR SHRUB PIT BACKFILL AT THE FOLLOWING RATES, BLEND AMENDMENTS WITH THOROUGHLY WITH SOIL BACKFILL. SHRUB PITS SHALL BE 20% OF TOTAL SHRUB CALIBER.
 M.A. APPLICATION RATES:
 M.A.A. HUMIC ACID, 2.5 LBS PER SHRUB PIT
 M.A.B. COMMERCIAL GRADE COMPOST - 2 CUBIC FEET PER SHRUB PIT
 M.A.C. PLANTING TABLET FERTILIZER - 2 TABLETS PER SHRUB PIT
 M.A.D. CALCIFED DATOMACCEDE EARTH - 15 LBS PER SHRUB PIT
 N. IMMEDIATELY CLEAR UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
 O. CONTRACTOR SHALL SUBMIT MATERIAL SAMPLES FOR LANDSCAPE ROCK MULCH TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PROCUREMENT. LANDSCAPE BOULDER, PRODUCT SUBMITTAL IS ADEQUATE FOR ROCK MULCH, 50MM" GALLON BAG SAMPLE TO OWNER.

Automatic Underground Irrigation Notes:
 A. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES.
 B. EACH HOSEZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
 C. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 18" AT PLANTER BEDS, 6" AT LAWN AREAS.
 D. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEMS - WITH DRIP CONTROL, ZONE KIT AND 150 MESH FILTER (M1).
 E. ELECTRONIC WATER DISTRIBUTION TRIMMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 E.A. PRECISE INDIVIDUAL STATION TRIMMING.
 E.B. RUN THE CAPABILITY FOR STATION IN PRECONSTITUTION RATES.
 E.C. AT LEAST ONE PROGRAM FOR EACH HOSEZONE.
 E.D. SUPPLY AND RETURN VALVES TO AVOID WATER RUN-OFF.
 E.E. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPONDING HOSEZONES.
 F. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPONDING HOSEZONES.
 G. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE WITH HEAD TO HEAD SPACING OR THROUGHOUT SPACING AS APPROPRIATE.
 H. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ON IMPERVIOUS SURFACES SUCH AS SIDEWALKS, DRIVEWAYS, AND PORCHES AND SO.
 I. EACH VALVE SHALL BE INSTALLED IN A VALVE BOX LARGE ENOUGH TO ALLOW FOR MAINTENANCE AND REMOVE ONLY ONE VALVE PER BOX.

Project Calculations:

A. OWN RESIDENTIAL - STREET TREE CALIBER 4 INCHES			
E. PINE STREET:	118 LF	3 TREES PROVIDED	4 (INCL. 1 RETAINED & 2 RELATED)
S. 1ST AVENUE:	240 LF	6	6 (INCL. 1 RETAINED)
TOTAL STREET TREES:		9	9

B. LANDSCAPE BUFFER CALIBER 4 INCHES			
NORTH BUFFER TO RESIDENTIAL:	8.5 LINE FEET	BUFFERS/TREES REQUIRED	BUFFERS/TREES PROVIDED
		12 (2.14 SPECIFIED)	12 (2.14 TREE)

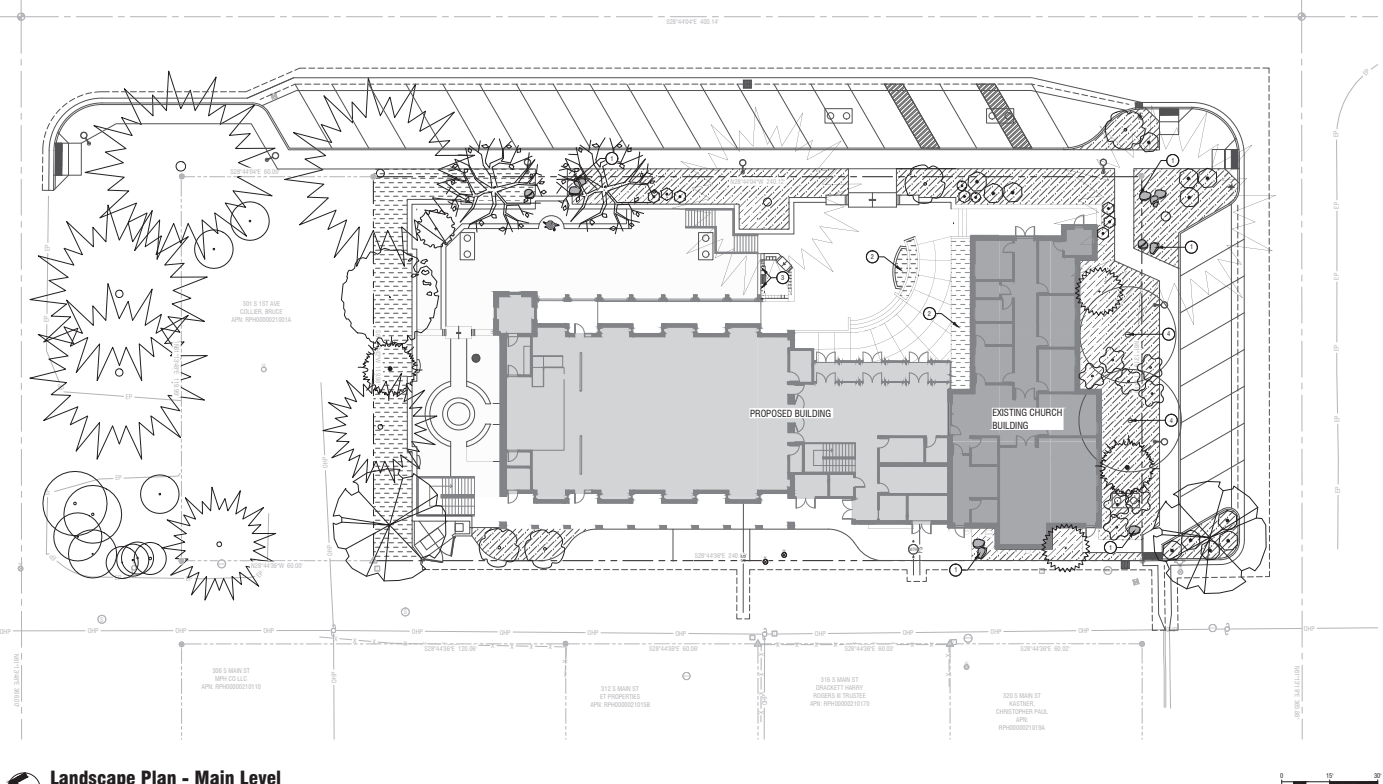
C. OPEN SPACE CALCULATION:

OPEN SPACE AREA (EXCL. PLANTERS IN ROW):	OPEN SPACE PROVIDED**
	11.75 LINE FEET

D. OVERALL LANDSCAPE:

TOTAL TREES RETAINED:	4
TOTAL TREES RELATED:	2
TOTAL TREES PROVIDED:	14
TOTAL TREES ON-SITE:	9
TOTAL TREE SPECIES ON-SITE:	9

* NON-RESIDENTIAL BUILDINGS WITHIN 200' DISTRICT MUST PROVIDE A 6-FOOT TALL YEAR ROUND VISUAL SCREEN WHEN ADJACENT TO RESIDENTIAL PARCELS. PROJECTS NORTH WALL TO PROVIDE A MINIMUM OF 6" TALL SCREENING TO ADJACENT RESIDENTIAL PROPERTY FRONTING ON WALL.
 ** INCLUDES 6.800 SF OF SOFTSCAPE PLANTERS AND 8.101 LANDSCAPE PLAZA SPACE.



Landscape Plan - Main Level
 Horizontal Scale: 1" = 10'



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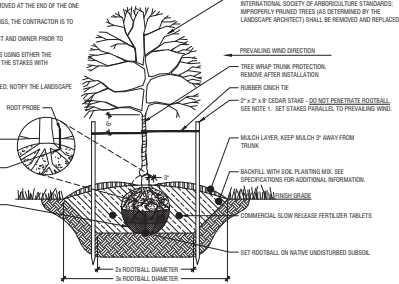
revision:
 no. desc. date

project: 230706
 date: 12.10.25
 drawn: KW/CL/JP
 checked: N/A

Landscape Plan - Main Level
PUD 6

NOTES:

- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
- IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
- WIRE RUBBER CATCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TIEING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPING.
- WATER TREE THREE TIMES WITHIN THE FIRST 24 HOURS.
- IN THE EVENT A HORIZONTAL SOIL PREVENT TIE PLANTING AS DETAILLED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

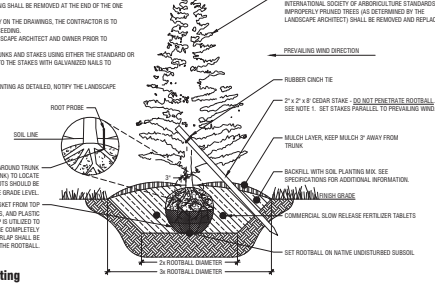


1 Deciduous Tree Planting

Scale: NTS

NOTES:

- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION; HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR A MINIMUM OF 1 YEAR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
- IN THE EVENT OF A QUESTION OR LACK OF CLARITY ON THE DRAWINGS, THE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
- LANDSCAPE CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION OF PLANT MATERIAL.
- WIRE RUBBER CATCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TIEING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPING.
- WATER TREE THREE TIMES WITHIN THE FIRST 24 HOURS.
- IN THE EVENT A HORIZONTAL SOIL PREVENT TIE PLANTING AS DETAILLED, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.



2 Coniferous Tree Planting

Scale: NTS

Sheet Notes:

- FOR LANDSCAPE NOTES AND PLANT SCHEDULE, SEE SHEET PUD 6.
- FOR UPPER COURTYARD AND STREETSCAPE LANDSCAPE PLAN, SEE SHEET PUD 6.
- FOR EXISTING TREE INVENTORY, SEE SHEET PUD 6.

Material Legend:

- PLANTER WITH MULCH AT 2\"/>
- LARGE SANDSTONE BOULDERS, 2-4 DIA. TYP.

Keynotes:

- SANDSTONE BOULDER, INSTALL PER DETAIL A.PUD.7.
- RAISED PLANTER AND INTEGRAL DETAIL.



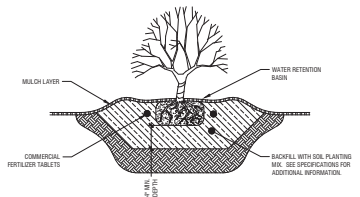
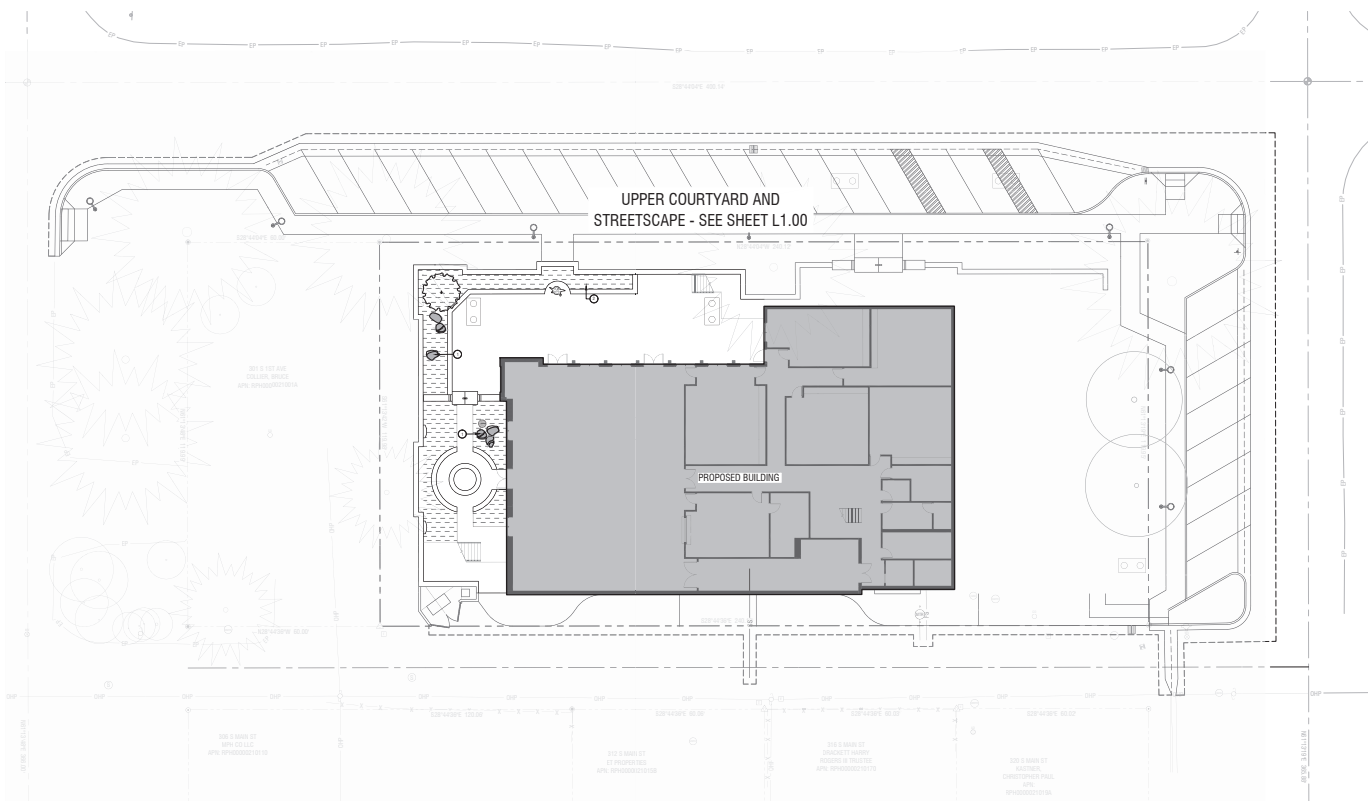
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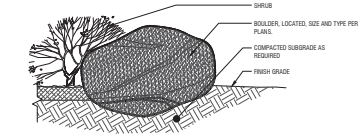
project: 230796
date: 12.10.25
drawn: KW/CL/TLS
checked: N/A

Landscape Plan - Lower Level
PUD 7



3 Shrub Planting

Scale: NTS



4 Boulder Installation

Scale: NTS

- NOTES:**
- WITH LANDSCAPE ARCHITECT WHEN PLACING BOULDERS FOR APPROVAL.
 - PLACE BOULDERS PRIOR TO INSTALLATION OF IRRIGATION SYSTEM.
 - CLEAN ALL BOULDERS OF DIRT AND LOOSE SURFS.
 - WHEN PLACING BOULDERS, BURY 1/4 TO 1/3 OF BOULDER BELOW FRESH GRADE.
 - DO NOT SCAR OR DAMAGE BOULDERS.



DETAILED TREE INVENTORY						
KEYNOTE #	DBH	BOTANICAL NAME	COMMON NAME	PUBLIC OR PRIVATE TREE	LANDSCAPE ARCHITECT NOTES	TREE MITIGATION REQUIRED
1	2" D"	POSA HEB	SEWYAM SPICE	PUBLIC		REMOVE TREE TO BE RETAINED
2	2" D"	POSA HEB	SEWYAM SPICE	PRIVATE		REMOVE TREE TO BE RETAINED
3	2" D"	POSA HEB	SEWYAM SPICE	PRIVATE		REMOVE TREE TO BE RETAINED
4	1" F"	WALNUT	CHAMPAGNE	PRIVATE	TREE TO BE REPLACED ON SITE	NONE
5	2" D"	POSA HEB	SEWYAM SPICE	PUBLIC		REMOVE TREE TO BE RETAINED
6	1" F"	WALNUT	CHAMPAGNE	PRIVATE		REMOVE TREE TO BE RETAINED
7	1" F"	WALNUT	CHAMPAGNE	PRIVATE	TREE TO BE REPLACED ON SITE	NONE
8	2" D"	POSA HEB	SEWYAM SPICE	PRIVATE		REMOVE TREE TO BE RETAINED

Sheet Notes:

- A. ALL TREES OUTSIDE OF PROJECT'S DEMOLITION LIMITS ARE TO BE RETAINED.
- B. PRELIMINARY TREE ANALYSIS REPORT AND MITIGATION PLAN WAS CREATED BY THE LAND GROUP (12/03/2018).
- C. ARBORIST REPORT TO BE COMPLETED AT TIME OF DESIGN REVIEW APPLICATION.
- D. ARBORIST CONTACT: T80 AT TIME OF DESIGN REVIEW APPLICATION.

Existing Trees:

TOTAL PUBLIC TREES TO BE REMOVED: 9
 TOTAL PRIVATE TREES TO BE REMOVED: 7
 TREES REQUIRING MITIGATION: 180
 TOTAL MITIGATION CALIPER INCHES PROPOSED ON LANDSCAPE PLAN: 32.5 IN.
 TOTAL CALIPER INCHES TO BE RETAINED ON-SITE: 149 IN.

Demolition Legend:

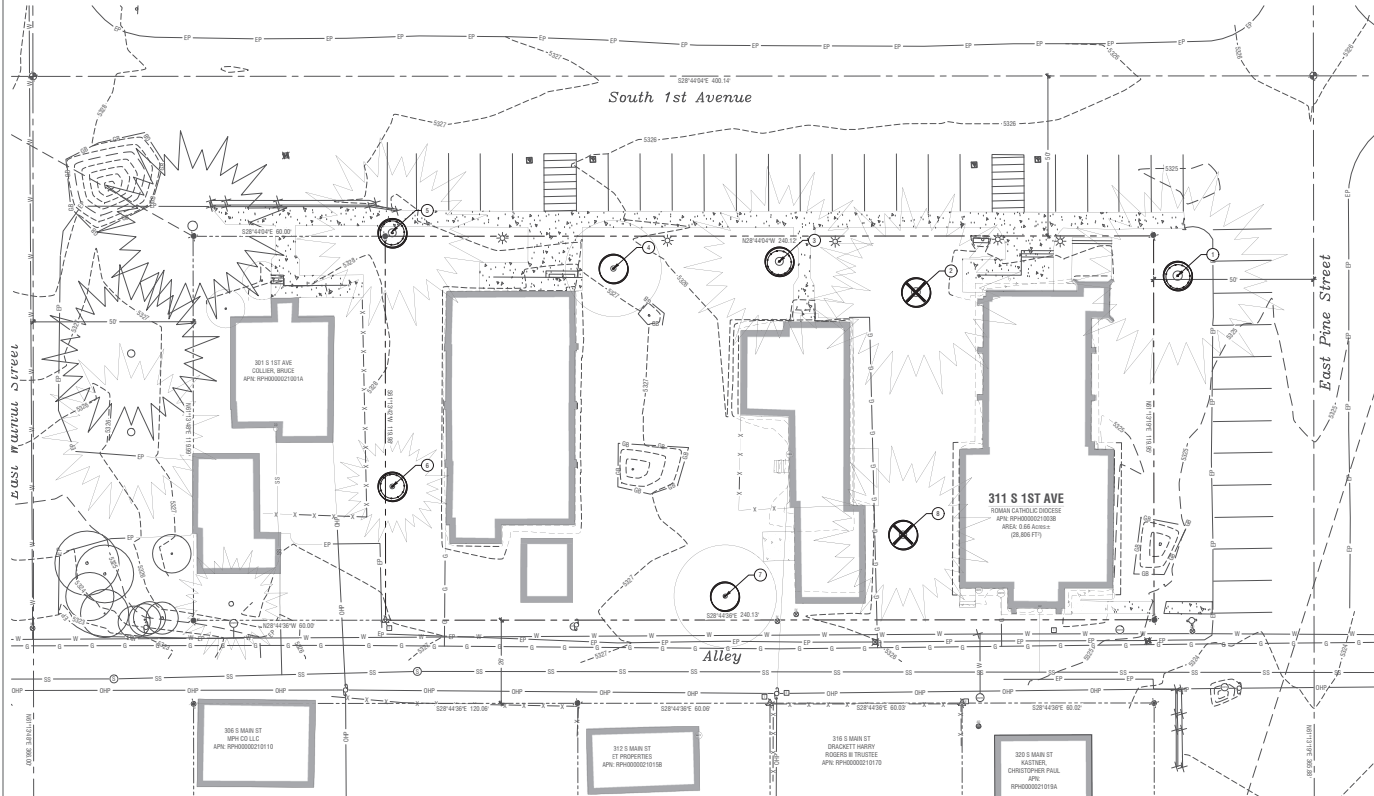
- RETAIN AND PROTECT EXISTING TREE. INSTALL PROTECTIVE FENCE AROUND TREE.
- REMOVE AND DISPOSE OF EXISTING TREE. LEAVE STUMP 18" BELOW EXISTING GRADE MIN.

Tree Protection Notes:

- A. PROTECT THE CRITICAL ROOT ZONE OF THE TREES TO BE RETAINED ON-SITE. (NOTE: CRITICAL ROOT ZONE IS THE AREA DIRECTLY BELOW THE DBP LINE OF THE TREE.)
- A.A. CONTRACT PROTECTIVE FENCING OF CHAIN-LINK AROUND THE CRITICAL ROOT ZONE PRIOR TO CONSTRUCTION OR DEMOLITION.
- A.B. DO NOT ALLOW CONSTRUCTION OR EQUIPMENT TRAFFIC DURING CONSTRUCTION OR DURING DEMOLITION.
- A.C. DO NOT ALLOW CEMENT TRUCKS TO RISE WITHIN THE PROTECTION AREA, ANYWHERE THAT TREE ROOTS EXIST OR IN PLANNED PLANTING BEDS.
- A.D. DO NOT STORE OR PLACE MATERIALS, DEBRIS OR SOIL WITHIN THE TREE PROTECTION AREA.
- A.E. MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE FROM MID-APRIL TO MID-OCTOBER AT THE RATE OF NOT LESS THAN THE EQUIVALENT OF 1.5" OF WATER OVER THE ENTIRE AREA PER WEEK.
- A.F. DO NOT TRENCH, EXCAVATE, FILL OR OTHERWISE DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE. ALLOWED PROPOSED IMPROVEMENT LOCATIONS AS REQUIRED TO AVOID DAMAGING TREE ROOTS.
- B. PROTECT THE CROWN AND TRUNK OF TREES TO BE RETAINED ON-SITE.
 - B.A. SPECIAL EQUIPMENT IN SUCH A MANNER AS TO AVOID CONTACT WITH TREE TRUNKS OR BRANCHES.
 - B.B. PRUNING OF PUBLIC PROPERTY TREES SHALL BE PERFORMED BY A LICENSED ARBORIST.
 - B.C. ALL TREES NOT IDENTIFIED FOR REMOVAL THAT ARE DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED USING THE FOLLOWING CRITERIA:

EXISTING TREE	REPLACEMENT
1" TO 2" CALIPER	3" CALIPER OF TREE REMOVED
3" TO 4" CALIPER	1.5X CALIPER OF TREE REMOVED
5" TO 12" OR LARGER CALIPER	1X CALIPER OF TREE REMOVED

EXAMPLE: IF AN 8" CALIPER TREE IS REMOVED, AN ACCEPTABLE REPLACEMENT WOULD BE (a) 8" CALIPER TREES OR (b) 7" CALIPER TREES.



Tree Inventory
 Horizontal Scale: 1" = 10'



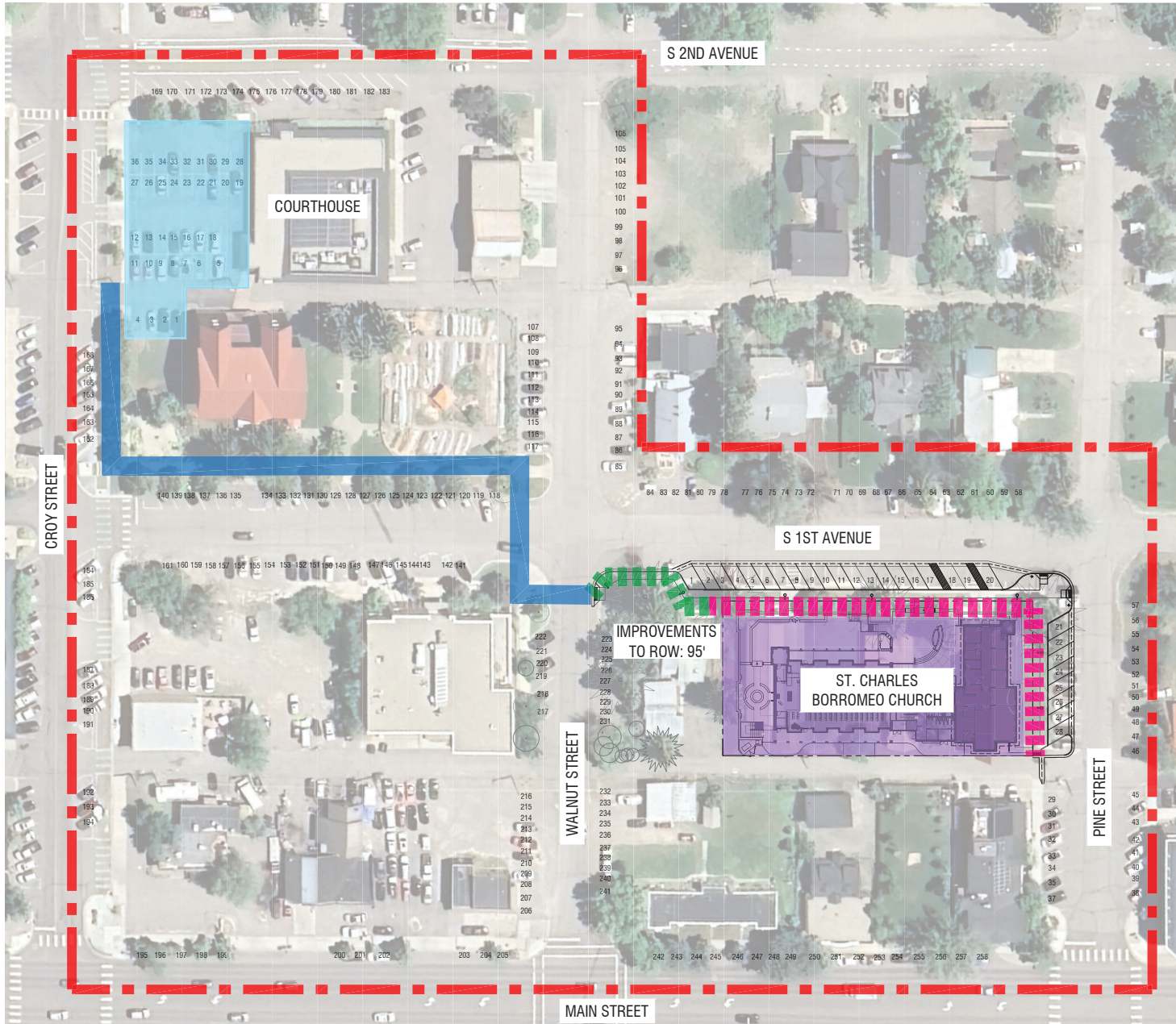
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 checked: N/A

Tree Inventory
PUD 8



PEDESTRIAN ACCESS AND COMMUNITY AMENITY KEY:



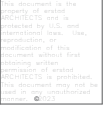
PARKING	
	PARKING STALL COUNT
PARKING SPACES REQUIRED	39
FRONTAGE IMPROVEMENT PARKING CREDITED PER 17.09.20.3	-39
SHARED PARKING AGREEMENT AREA (COURTHOUSE)	36
PARKING IN RIGHT-OF-WAY WITHIN PARKING ANALYSIS BOUNDARY	-238
TOTAL PROVIDED	-234

COURTHOUSE CONNECTION NOTES:

- PARKING REQUIRED:**
- a. PRIMARY USE: RELIGIOUS ASSEMBLY- 60 PARKING STALLS (300 SEATS = 60 SPACES)
 - b. ACCESSORY USE: OFFICE SPACE- 6 PARKING STALLS (5,600 SF = 6 SPACES)
 - c. ACCESSORY USE: CLASSROOM SPACE- 4 PARKING STALLS (3,700 SF = 4 SPACES)
- *TOTAL PARKING REQUIRED INCLUDES CODE REQUIRED PARKING PROVIDED FOR THE PRIMARY USE AS WELL AS ACCESSORY USES. IT IS IMPORTANT TO NOTE THAT THE REQUIREMENT TO AGGREGATE AND COMBINE PARKING DEMAND IS NOT DEFINED IN HALEY'S CITY CODE AND IS NOT ALIGNED WITH THE REALITY OF CHURCH OPERATIONS. PEOPLE CANNOT SIMULTANEOUSLY ATTEND A CHURCH SERVICE AND A RELIGIOUS EDUCATION CLASS, NOR WOULD THE SAME PERSON BE CAPABLE OF DRIVING TWO VEHICLES TO THE SAME SITE FOR THESE CONCURRENT ACTIVITIES. THIS PARKING REQUIREMENT DOES, HOWEVER, PROVIDE A "WORST CASE" EXAMPLE THAT MAY HELP ACCOUNT FOR ATYPICAL PARKING DEMAND.
- DISTANCE**
- SAFE WALKING ROUTE FROM MAIN ENTRANCE OF CHURCH TO SHARED PARKING LOT : 792'
 - TOTAL DISTANCE OF OFF-SITE RIGHT-OF-WAY NEEDING IMPROVEMENTS: 85'
 - TOTAL DISTANCE OVER BEYOND SHARED PARKING AGREEMENT DISTANCE PER 17.09.40.08: 492'

PARKING CODE:

- 17.9.20.3. **PARKING CREDIT:** NONRESIDENTIAL USES WITHIN THE BUSINESS, LIMITED BUSINESS DISTRICTS AND TRANSITIONAL DISTRICTS MAY IMPROVE CITY RIGHT OF WAY AND MAY BE CREDITED WITH THE PARKING SPACES CREATED BY THAT IMPROVEMENT.
- 17.9.40.2. COMMERCIAL, PROFESSIONAL, SERVICE, RECREATION AND ENTERTAINMENT; ALL COMMERCIAL, PROFESSIONAL, SERVICE, RECREATION AND ENTERTAINMENT USES SHALL PROVIDE IMPROVED PARKING IN THE AMOUNT OF ONE PARKING SPACE FOR EVERY ONE THOUSAND (1,000) SQUARE FEET GROSS BUILDING AREA, EXCEPT AS FOLLOWS:
- 17.9.40.3. INSTITUTIONAL: CHURCHES AND OTHER PLACES OF RELIGIOUS ASSEMBLY: 1 SPACE FOR EACH 5 SEATS.
- 17.9.40.4. USES NOT LISTED: WHERE A SPECIFIC USE IS NOT LISTED, AND NO SIMILAR USE IS LISTED, THE REQUIRED MINIMUM NUMBER OF ON-SITE PARKING SPACES SHALL BE ONE PER 1,000 SQUARE FEET OF GROSS AREA.
- 17.9.40.8. **SHARED PARKING:**
 - *** SHARED PARKING PROGRAM: NOTWITHSTANDING ANY OTHER PARKING REQUIREMENTS SET FORTH IN THIS CHAPTER, A MIXED USE SHARED PARKING PROGRAM ("SHARED PARKING PROGRAM") MAY BE APPLIED WHERE MIXED USES ARE PROPOSED OR EXISTING, AND THE MIX OF USES CREATES STAGGERED PEAK PERIODS OF PARKING DEMAND. A SHARED PARKING PROGRAM ALLOWS THE PROPERTY DEVELOPER TO USE PARKING SPACES MORE EFFICIENTLY BY ALLOW THE SAME SPACE TO BE "SHARED" BY VARIOUS LAND USES, THUS REDUCING THE TOTAL AMOUNT OF REQUIRED PARKING. SHARED PARKING IS NOT INTENDED TO BE USED BY TWO OR MORE RESIDENTIAL USES OR OTHER USES WHICH HAVE SAME PEAK DEMAND.
 - *** CONDITIONS: THE COMMISSION MAY APPROVE A SHARED PARKING PROGRAM; PROVIDED THAT 1) PEDESTRIAN ACCESS IS PROVIDED TO AND FROM PARKING AREA AND THE BUILDING; AND 2) ALL OTHER REQUIREMENTS SET FORTH HEREIN ARE MET.
 - *** FEASIBILITY: MAXIMUM REDUCTION: THOSE WISHING TO APPLY FOR SHARED PARKING PROGRAM MUST DEMONSTRATE TO THE COMMISSION THE FEASIBILITY OF SHARED PARKING IN ACCORDANCE WITH THIS SECTION. THE MAXIMUM REDUCTION IN THE NUMBER OF PARKING SPACES REQUIRED FOR ALL USES SHARING THE PARKING AREA SHALL BE TWENTY PERCENT (20%), UNLESS OTHERWISE PROVIDED BY SUBSECTION F OF THIS SECTION.
 - *** LOCATION OF DIFFERENT LOT THAN USE: SHARED PARKING SPACES MAY BE LOCATED ON A DIFFERENT LOT THAN THE USE, WHICH IT SERVES ONLY WHERE THE FOLLOWING CONDITIONS ARE MET:
 - **** THE PARKING IS LOCATED NO MORE THAN THREE HUNDRED FEET (300) FROM THE USE THAT IT SERVES. THE DISTANCE BETWEEN THE USE AND PARKING LOT SHALL BE MEASURE FOLLOWING A REASONABLE AND SAFE WALKING ROUTE FROM THE MAIN ENTRANCE OF THE USE TO THE NEAREST PARKING LOT.



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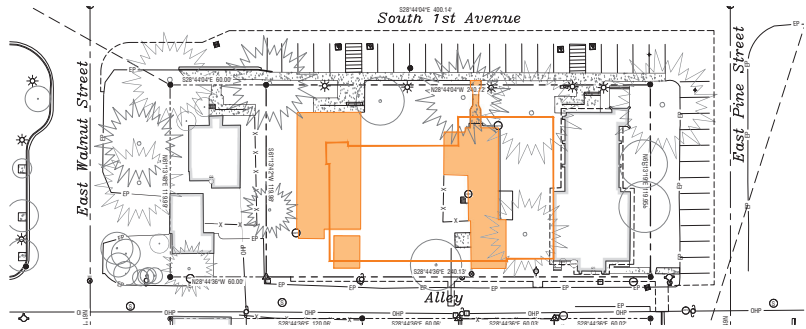
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checked: W.A.

Parking Strategy Exhibit
PUD 9

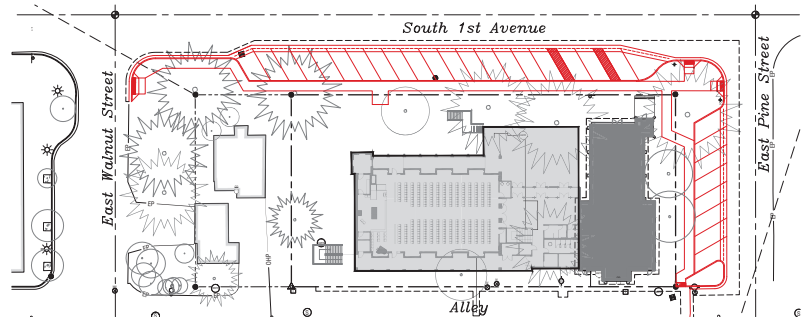


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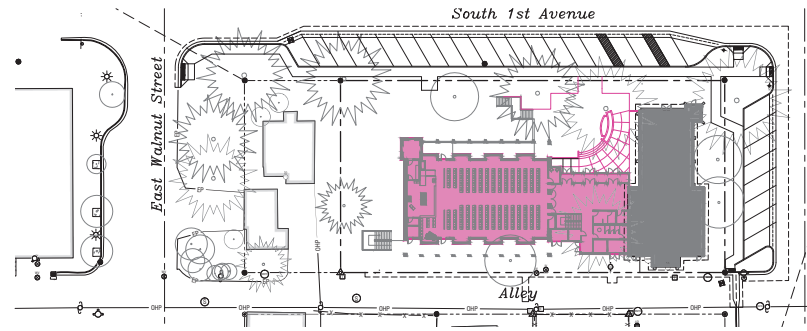
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 - PHASE THREE: COMPLETE BUILDING MAIN STRUCTURE AND ENTRY COURTYARD.
 - PHASE FIVE: COMPLETE LANDSCAPING LOWER COURTYARD AND BASEMENT.
- PHASE TWO: IMPROVEMENTS TO THE RIGHT-OF-WAY.
 - PHASE FOUR: REPURPOSE OF EXISTING CHURCH BUILDING, INTERIOR IMPROVEMENTS.



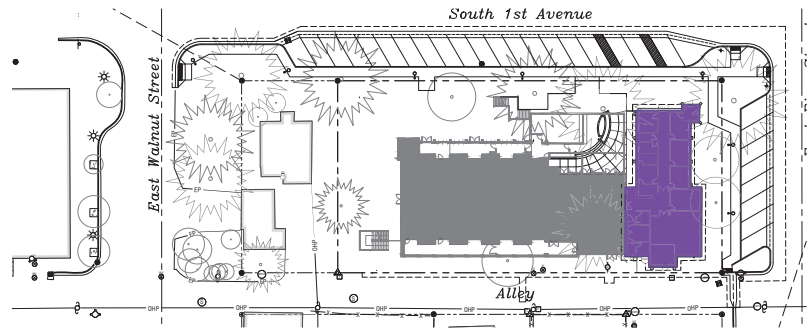
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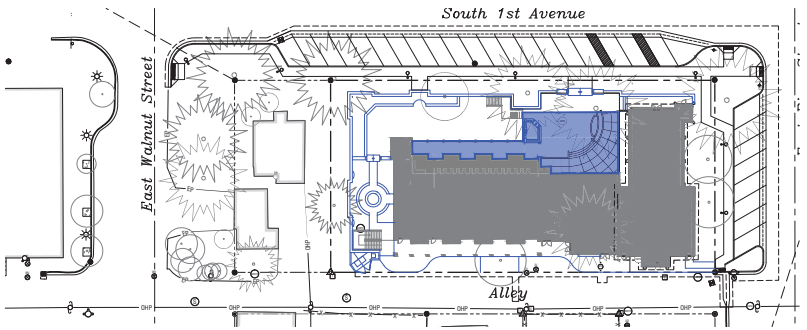
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Phasing Exhibit- Phase Three
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Phasing Exhibit- Phase Four
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Phasing Exhibit- Phase Five
Horizontal Scale: 1" = 30'



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Phasing Exhibit
PUD 10



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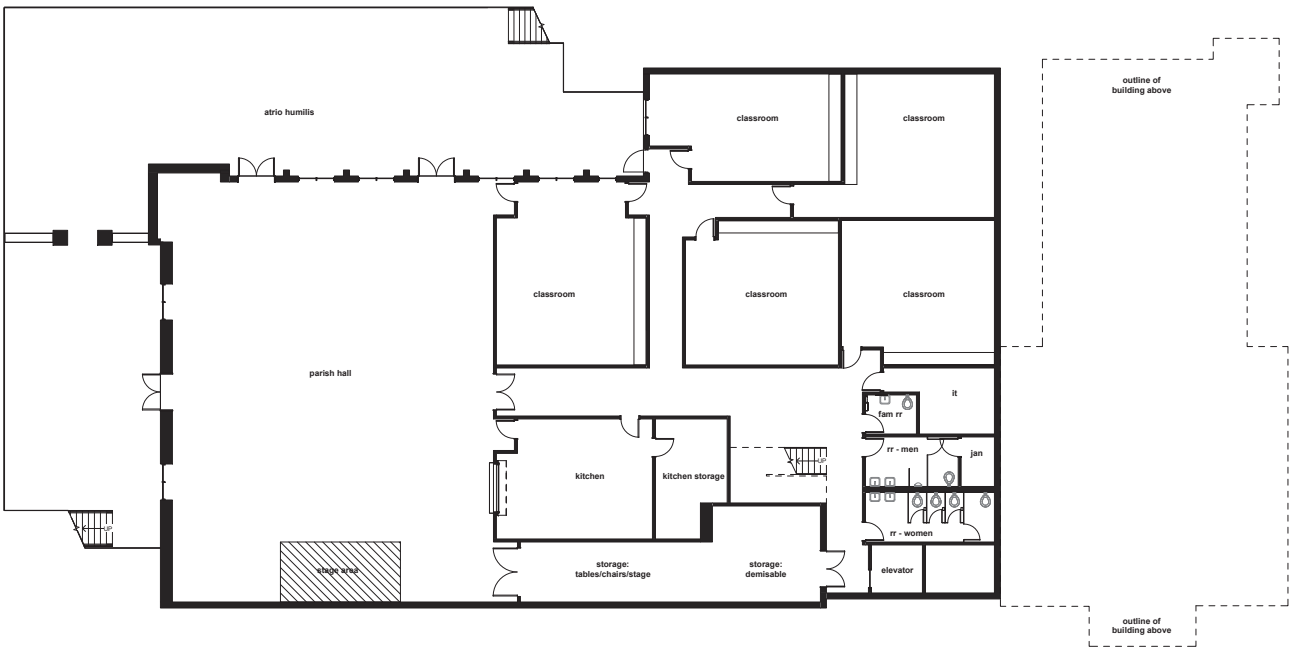
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pod application

basement floor plan

a2.10



basement
1/8" = 1'-0"

keynote

general notes

- A. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
- B. GYPSUM WALLBOARD APPLICATION & FINISHING AT ALL EXPOSED SURFACES TO COMPLY WITH SPECIFICATIONS.
- C. UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS ARE DIMENSIONED TO FACE OF FOUNDATION GRID LINE.
- D. UNLESS NOTED OTHERWISE, ALL PARTITIONS ARE DIMENSIONED TO FACE OF STUD.
- E. UNLESS DIMENSIONED OTHERWISE, INTERIOR DOORS SHALL BE LOCATED 4" FROM ADJACENT PARTITION.



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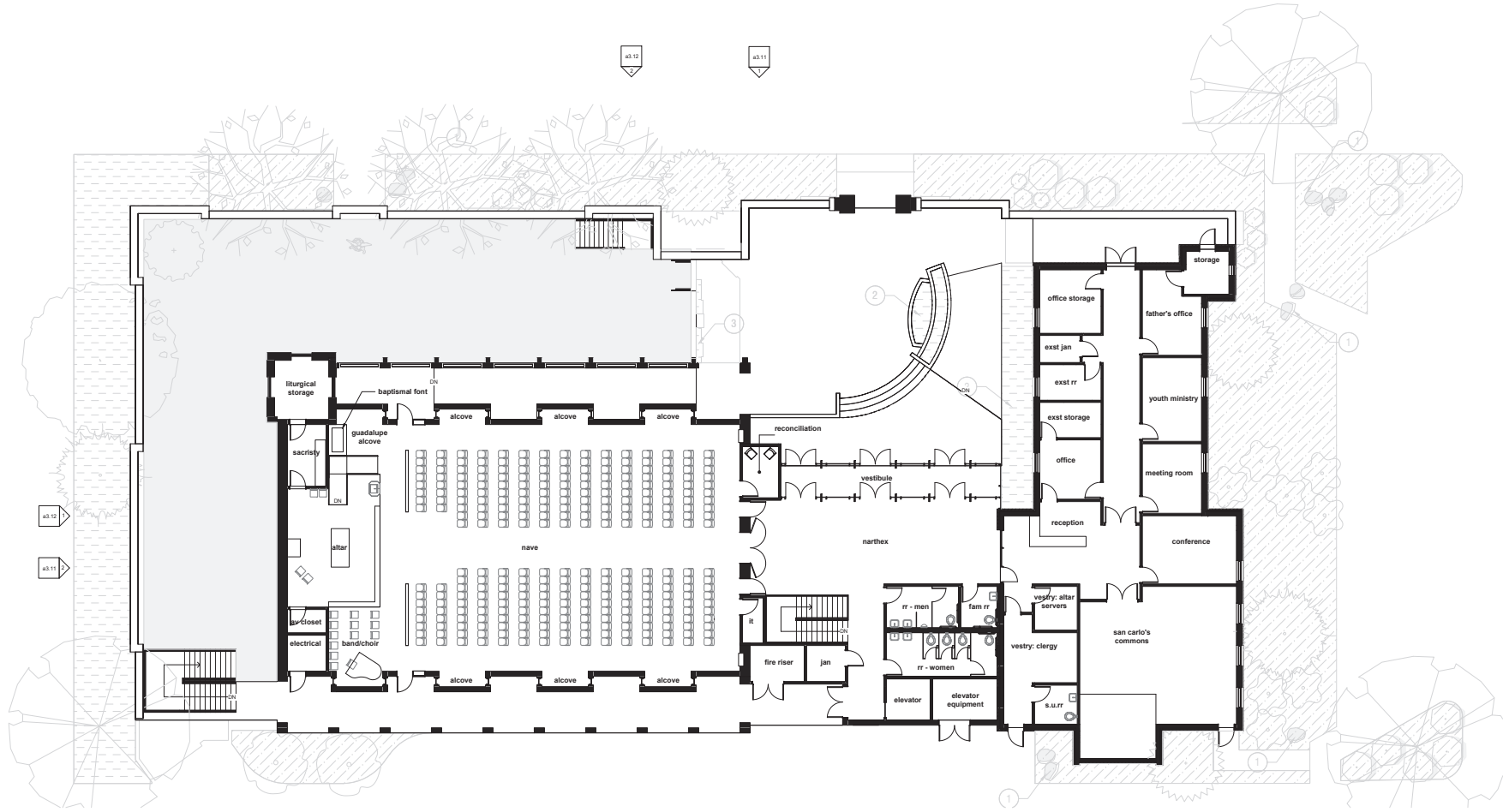
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date: 12.10.25
drawn: Author
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pod application

first floor plan
a2.11



first floor - addition
1/8" = 1'-0"

keynote

general notes

- A. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
- B. GYPSUM WALLBOARD APPLICATION & FINISHING AT ALL EXPOSED SURFACES TO COMPLY WITH SPECIFICATIONS.
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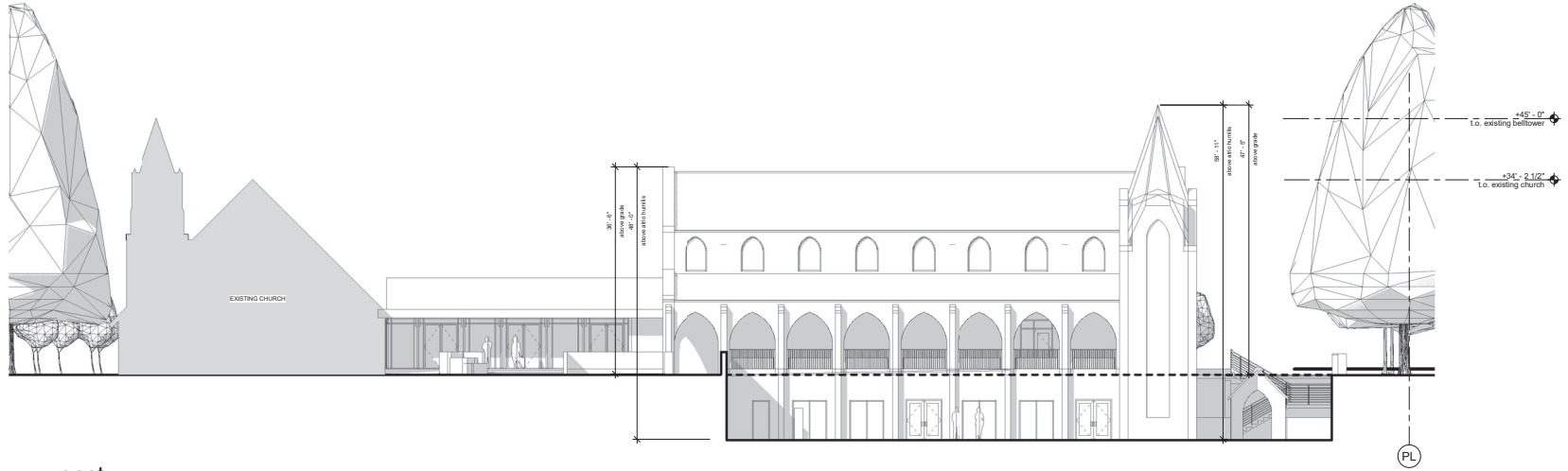
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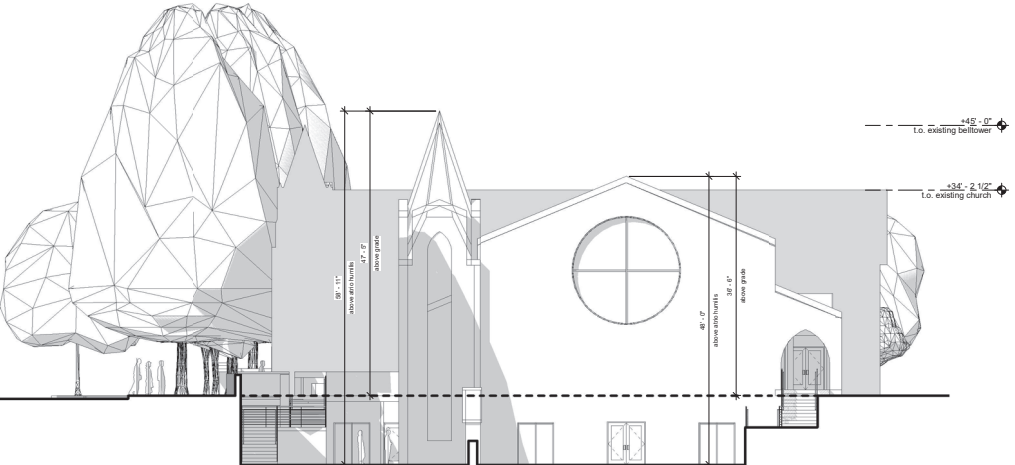
pud application

exterior elevations

a3.11



east
1/8" = 1'-0"



north
1/8" = 1'-0"



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St. Charles Borromeo
311 1st avenue
hailey, idaho 83333

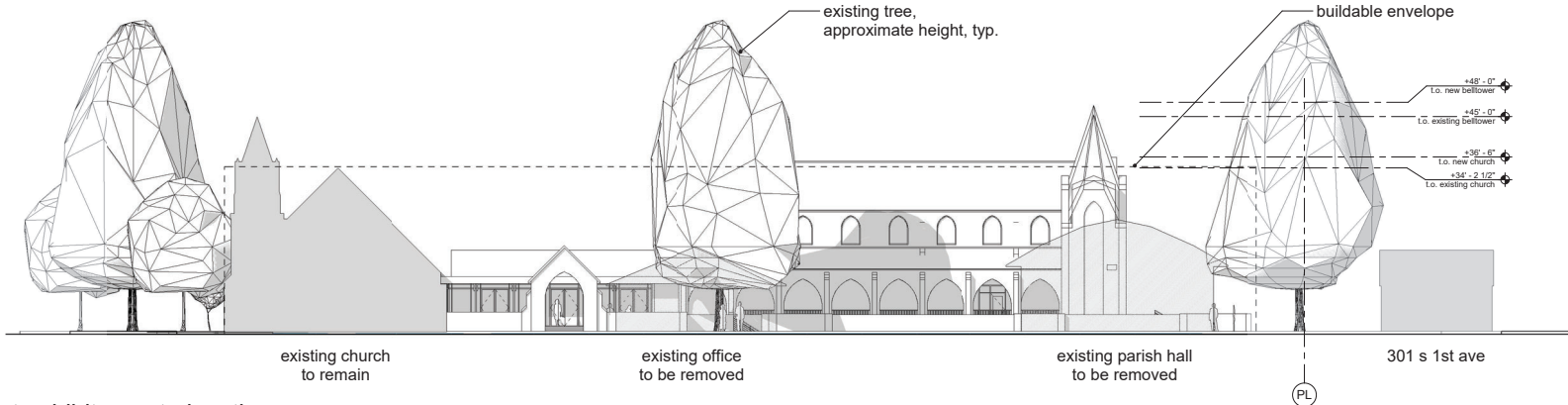
revision:
no. desc. date

project: 230706
date: 12.10.25
drawn: Author
checked: checker

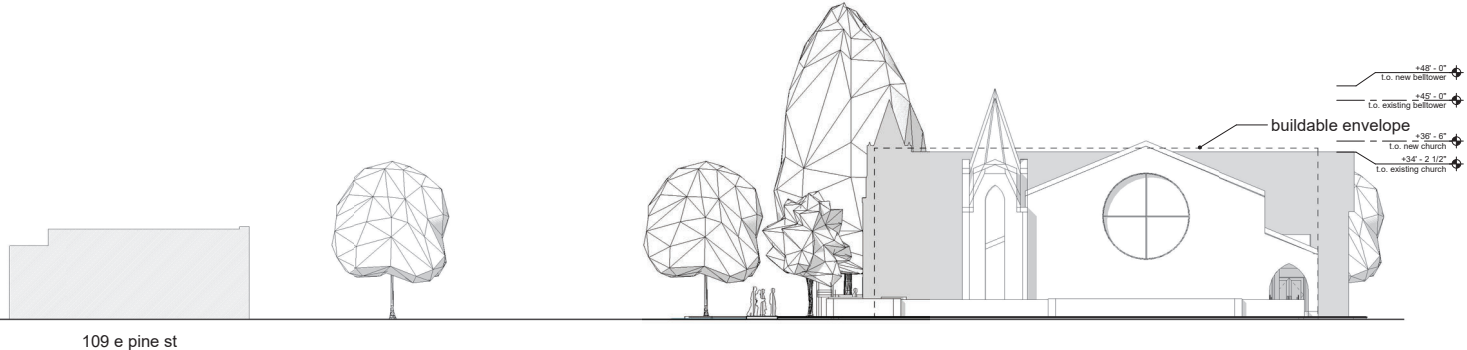
pud application

exterior elevations

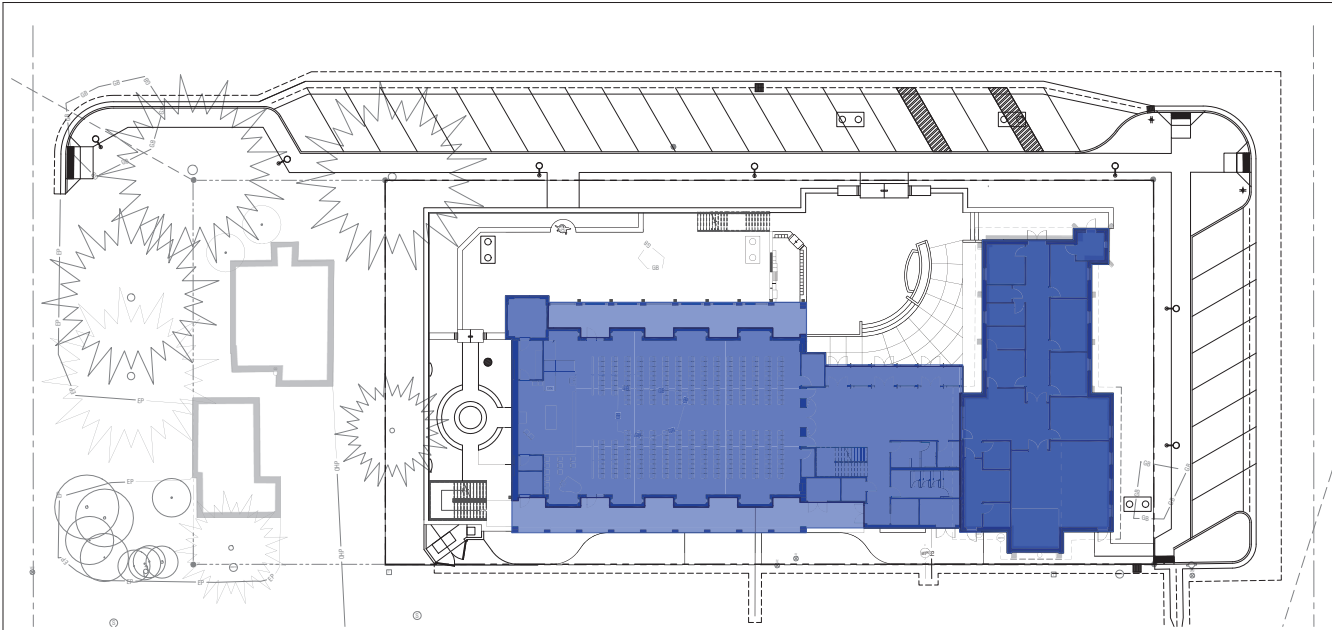
a3.12



context exhibit - east elevation
1" = 10'-0"



context exhibit - north elevation
1" = 10'-0"

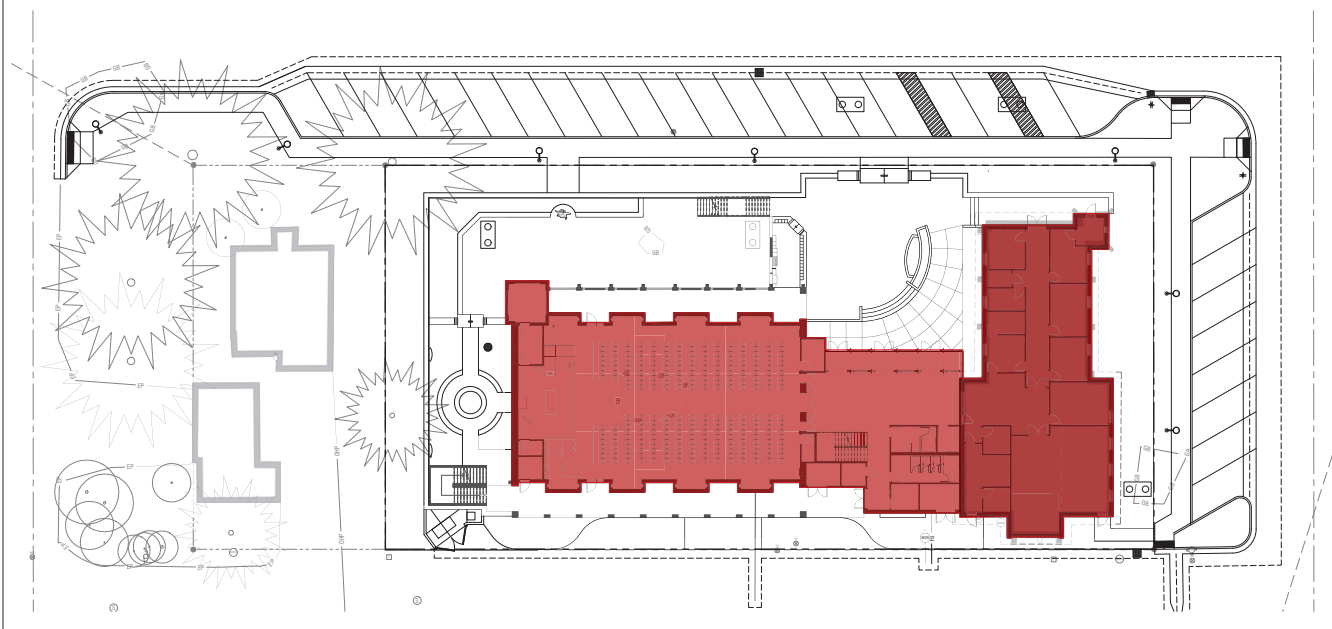


Site Plan- Lot Coverage Including Covered Walkways
Horizontal Scale: 1"=15'

Legend:

- LOT COVERAGE INCLUDING COVERED WALKWAYS
- LOT COVERAGE NOT INCLUDING COVERED WALKWAYS

Lot Coverage Table		
	Square Footage	Percentage
Total Lot Size	2886.61	N/A
Lot Coverage Not Including Covered Walkways	11274.89	39.14
Lot Coverage Including Covered Walkways	13548.11	45.20



Site Plan- Lot Coverage Not Including Covered Walkways
Horizontal Scale: 1"=15'



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St. Charles Borromeo
311 1st avenue
hailey, idaho 83333

revision:	no.	desc.	date

project: 230706
date: 12.20.24
drawn: KW/CL/TIC
checked: N/A

Site Plan- Lot Coverage
EX 1



December 10, 2025

City of Hailey
Community Development Department
115 Main Street South
Hailey, ID 83333

RE: St. Charles Borromeo Catholic Church – Planned Unit Development | Resubmittal

Dear Development Services:

In listening to the P&Z Commission Members we understand that they are highly supportive of the proposed St. Charles Borromeo Catholic Church Community and the PUD application. At the time of the hearing, there remained hurdles to overcome, and we received specific feedback on the following topics: Parking, gate setback encroachment, code interpretation related to the building height waiver and perceived building mass. At the conclusion of the P&Z hearing, we immediately met and started doing the hard work to address the concerns communicated to us by the commission and through public testimony. The results of these efforts are detailed below and represent our desire to proceed with this vital and transformative project.

We are providing an updated Planned Unit Development application with additional information to address comments and feedback received at the project's January 21, 2025 "No Decision" P&Z Hearing. This letter is intended to be a response to the January hearing and a cumulative update to the December 2024 application narrative. We request that the information provided herein be included in the packets and documentation provided to the Planning and Zoning Commission members prior to the second hearing on this project. We are excited to have the opportunity to collaboratively evolve the project in a way that results in a recommendation for approval at the upcoming commission hearing.

Parking:

The P&Z Commission members expressed concern with the current parking volume on the adjacent streets and how this may impact neighbors and street access. There were requests to clearly communicate both the short-term and long-term solutions to address parking.

Short Term Parking Improvements:

Short term parking has been dramatically improved on the undeveloped street frontages adjacent to the project site. While it's important to note that these frontages are public right-of-way and not exclusively accessed or otherwise used by St. Charles Borromeo Catholic Church members, significant efforts have been made to assist the community in engendering quality parking etiquette. St. Charles Borromeo Catholic Church launched an educational campaign to immediately improve the parking situation on 1st Ave from Pine to Walnut and on Pine from 1st Ave to 2nd Ave. This campaign began on March 9th and continues today. See the attached Parish Letter and Parking Exhibit for more information. The information in the letter communicates the need to park correctly and to avoid parking too close to the

intersection, in front of any driveways, and in front of any piled snow. A drop-off stall at the church entrance allows members to unload less able-bodied loved ones before parking at other acceptable public locations on adjacent blocks. This information has been included in the weekly church bulletin, posted in the exterior entry kiosk, and posted on the Church and Hall foyer bulletin boards. Fr. Ron has also announced the importance of this message in many Masses.

In addition to providing substantial, actionable, and immediate parking etiquette guidance to membership, the parish contracted snow removal during the 2024/25 winter season on the east and west sides of S. 1st Avenue from Pine St. to Walnut St. to allow for correct “nose in” parking in the street right of way and to allow for proper roadway width for emergency vehicles. This neighborly act not only provides a tangible solution to undesirable parking practices during inclement weather, but it also provides a model for quality community-serving action that other individuals, businesses, and organizations to emulate. We plan to continue this snow removal program permanently to be part of the solution to community concerns, regardless of whether they were caused by members of the St. Charles Borromeo church or the broader Hailey community.

We did receive an inquiry from the neighbor that resides at 109 Pine Street regarding the parking map. Fr. Ron met with the neighbor to hear their comments, and they asked to speak with The Land Group as we prepared the map and exhibits. The Land Group (Matthew) phoned the neighbor, and they indicated that the map appears to be upside down and could only be read properly if standing at the front of the church looking east. As the parish members are the intended audience, we feel that this map orientation was accurate. We spoke with the neighbor and encouraged them to contact us anytime they have questions.

While we understand these efforts for parking management and investment in snow removal are largely not required by Hailey municipal code, nor are any of these efforts’ requisites to a successful Planned Unit Development Application, our intent is to show a commitment to find creative solutions and to be a good neighbor. We are optimistic that these efforts have made an immediate impact on the parish community’s parking practices. Of course, we can’t predict how the public will park in public parking spaces, but perhaps the improved practices from the Parish can assist in improving parking practices from those across the city.

Long Term Parking Improvements:

We have worked collaboratively with the city planning department to complete an updated code analysis to determine our required parking counts and have summarized this below:

- UDC 17.09.040.03 – Primary Use: Religious Assembly – 1 space for each 5 seats @ 300 seats = 60 spaces
- UDC 17.09.040.02 – Accessory Use: Office Space (professional) – 1 space for every 1,000 square feet of gross building area @ 5,600 SF = 6 spaces
- UDC 17.09.040 C. – Uses Not Listed: Where a specific use is not listed, and no similar use is listed, the required minimum number of on-site parking spaces shall be one per one thousand (1,000) gross square feet. Classroom Space is 3,700 SF = 4 total spaces

Total Code Required Parking Spaces = 70

While the operations of our community do not have overlapping programmed events, i.e. we do not use the office spaces during Mass and we do not fill the hall during Mass, we do understand the need to account for a “worst case” parking scenario and are counting the accessory uses as requested based on applicable code sections.

To meet the parking need of 70 spaces, we are committing to a long-term parking agreement with Blaine

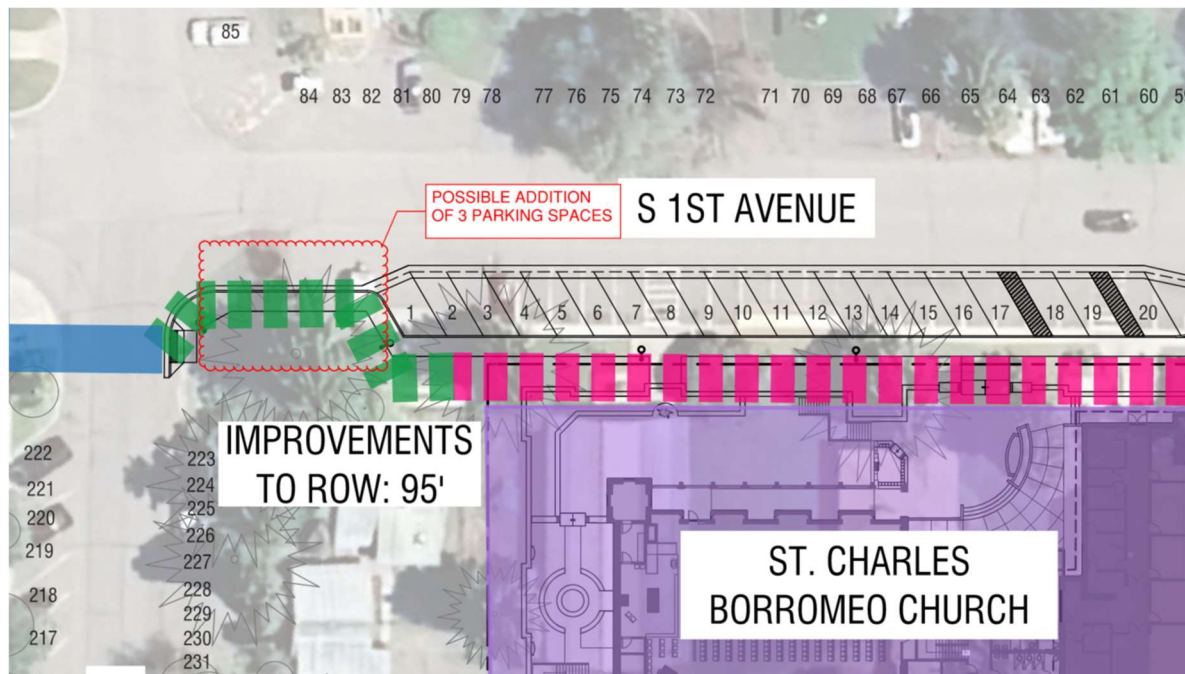
County and street frontage improvements beyond our project frontage. Please refer to the attached drawing PUD 9 which depicts the improvements and parking agreement area. Also, please see attached commissioner approved parking agreement with Blaine County for reference. We are confident that our Street Frontage right-of-way improvements qualify for a parking credit per UDC 17.09.020.03 **A. 1.** Located within one-fourth (1/4) or one-half (1/2) mile of a school; and **A. 2.** Provides continuous connection; and **A. 3.** Decreases a hazardous condition in need of repair; and **A. 7.** Located within one-fourth (1/4) or one-half (1/2) mile of downtown or neighborhood services. We plan to comply with UDC 17.09.020.03 through 17.09.020.10 for all frontage improvements. The approximately 95 linear feet of improvement is independent from the required parcel frontage improvements of 360 linear feet.

The attached drawing, PUD 9, depicts the total available parking within the area outlined in RED and located within a 2.5 block maximum walking distance of the church. The provided parking space count is summarized as follows:

- Frontage Improvement Parking Credit per 17.09.20.03: 28
- Designated Parking in Alley: 3
- Shared Parking Agreement with Blaine County: 36
- **Total Proposed Parking Spaces: 67**

We understand that this total figure is 3 short of the “worst case scenario” required parking. We have two solutions to this shortfall that we would ask the P&Z Commission for guidance on. As noted above, PUD 9 indicates our 2.5 block walking distance. There are approximately 210 parking spaces available, independent from the 67 noted above, in this area. Because these spaces are generally used at times that do not overlap with the peak use times of the church, the majority are available. One option is to reasonably consider this real-world supply and demand and allow the 67 dedicated spaces along with the 210 available spaces to satisfy the parking requirements.

The alternative approach is to develop 3 additional parking spaces. Street frontage on S 1st Ave does exist for this option, but it would result in the required removal of an existing spruce tree at this location. See image below for reference.



Community Benefit: Our offsetting community benefit for the Parking Waiver (distance to shared use stalls with Blaine County – code allowed distance exceeded by 60-linear feet) will be the development of the approximately 95' of S 1st Ave frontage at Walnut St. per UDC 17.09.020.03. This area currently poses a safety hazard and a gap in infrastructure that disconnects key uses in the area.

Gate Setback:

While the P&Z Commissioners did not indicate any desired modification of the gate setback encroachment, we did hear one neighbor express a concern over this feature. We have therefore modified the site design to comply with the required 5' unenclosed feature setback at the gate and formally withdraw our request for the setback waiver.

Building Height:

The P&Z Commissioners commented that we need to ensure we are interpreting the building height waiver code correctly to ensure the PUD waiver request is accurate. The discrepancy came from the surface at which the height of the building feature is measured, i.e. The street elevation, or the finish ground at the exterior building wall (basement). We formally request to modify our waiver to request that the building height be measured from adjacent finish grade to the building, rather than the street grade. The requested building height(s) are as follows:

- Concept design building ridge height: 48'
- Variance requested building ridge height: 54'
- Concept design steeple height: 59'
- Variance requested steeple height: 65'

The measurements indicated above are taken for the lowest point on-site. Because the building design is conceptual currently, we are asking for additional height. This can be more specifically determined in the Design Review process but will not exceed the Variance Height Request. While we feel it's important to acknowledge that the public will not experience the perceived visual impact of that height waiver request because of the sunken courtyard that has been deliberately designed to meet the spirit of the transitional zone's height provisions, we understand that the commission must accurately record the height waiver request.

Community Benefit: Our offsetting community benefit for this Building Height Waiver will be the retention of existing on-site trees. We have gone to great effort to modify the site plan to allow the retention of two large spruce trees on 1st Ave., and we are relocating two crabapple trees into new landscape locations. This significant investment in tree retention has resulted in an improvement in the scale of the project from the street, the visual impacts to the neighbors, and the overall health of the Hailey urban forest. Please refer to the attached tree retention drawing PUD 8 for more information.

Perceived Building Mass:

While not a requested waiver, the building mass and the view of the new building from the street were discussed. The current site has three distinct buildings while the proposed project will be one continuous structure north to south. The proposed building is larger and therefore has been intentionally located on the west half of the site near the alley. This location results in the original church building taking priority at the street frontage from all views and angles on Pine and 1st Ave. This location along with our revised

site design noted in the Building Height section above, also allows us to retain 2 large spruce trees on 1st Ave to provide screening and a more human scale to the proposed building. Please refer to the attached elevation views and renderings a3.11 and a3.12.

Lot Coverage:

We are requesting a waiver for the lot coverage requirements as outlined in TN, which stipulates a maximum of 30% lot coverage. The existing conditions of this site result in a lot of coverage of 32%, and our proposal is for a lot coverage of 40%. The additional 8% lot coverage is essentially a result of creating interior building spaces to connect the three primary uses of the church: worship, fellowship and education, and administration. Creating indoor, all-season connectivity between spaces is essential to the function of the parish community.

Our proposal, resulting in 40% lot coverage, will consolidate all buildings into a single structure, streamlining the layout and reducing fragmentation. This approach does not change the character of the site or the perceived lot coverage from the street level, and the generous setback from the street and neighboring properties, as well as the stepped-back massing of the church, mitigate the impact of the new building on the neighborhood. This change will only be perceived in a viewing of future aerial images and will have no detrimental effect on the TN zone, Townsite Overlay, or the community as a whole.

Community Benefit: Our offsetting community benefit for the Lot Coverage Waiver will be the donation of the existing parish office (converted residential home) to ARCH Community Housing Trust, please see attached MOU(Memorandum of Understanding) with ARCH housing for reference. Meetings were held with ARCH executive director, Michelle Griffith on May 29, 2025 and again with Michelle and city personnel: Emily Rodrigue, Robyn Davis, and Lisa Horowitz to discuss the donation to ARCH. Michelle expressed much enthusiasm in the receipt of the donation and communicated to Emily, Robyn, and Lisa her willingness to have ARCH work closely with the City of Hailey to get this new home into the Hailey housing stock in a manner that best fits the City’s needs.

In addition to the three specific offsetting community benefits, we would like to highlight some of the community benefits that the St. Charles Borromeo Parish provides to Hailey’s community more broadly and observe that that this project will allow us to expand and grow those services. In addition to the religious and spiritual activities, St. Charles Borromeo provides other key benefits to the entire Hailey community, irrespective of their religious affiliation.

- Organize a Baby Bottle Formula Drive for Hunger Coalition and Sage Woman’s Center
- Collect baby items and donate gift bags to needy families, The Advocates and Silver Creek High School teen mothers.
- Sponsor a winter coat drive
- Organize Christmas Baskets for needy individuals and families
- Offered emergency long-term shelter for needy (Fall 2023 – Spring 2024)
- Provide meeting space for Hunger Coalition and community programs
- Provide space for Mental Health Seminars
- Upon request, allow groups to use the industrial kitchen to prepare food
- Offer a “safe place” for advocacy for immigrant population
- Host Souper Supper and community kitchen when needed
- Coordinate a canned food drive for needy
- Host piano recitals for children and youth
- Provide space for Blaine County school district for teacher activities and staff development (Jr. High)
- Give emergency gas, grocery and housing assistance to travelers when necessary

- Provide pastoral counseling on a regular and emergency basis
- Provide dedicated meeting space for Alcoholics Anonymous Spanish speaking community.
- Provide community space to support and host Red Cross blood drives.

As we have clearly demonstrated here, the St. Charles Borromeo Catholic Church Parish, is a community benefit. And while we have detailed specific offsetting community benefits for each waiver request, the most important benefit is that each of the community outreach programs currently underway can be maintained, grown, and built upon in the future with an approval of this PUD application.

Thank you for your comments and the vigorous discussion at the no decision hearing. This healthy debate and conversation challenged us to think deeply and critically about our project, spend additional time coordinating and engage more deeply with the neighbors. We are confident that we have designed a one-of-a-kind project that not only helps solve the needs of the parish but will continue to be an enduring architectural icon of Hailey while providing for the spiritual and temporal needs of this great city that we love and cherish.

Sincerely,



Matthew T. Adams, Principal & Landscape Architect
The Land Group, Inc.

enclosures

LEASE AGREEMENT BETWEEN BLAINE COUNTY AND THE ST. CHARLES
BORROMEO CATHOLIC CHURCH

THIS AGREEMENT made and entered into this 4 day of November, 2025, by and between BLAINE COUNTY, IDAHO, a political subdivision of the state of Idaho (hereinafter referred to as "LESSOR"), and St. Charles Borromeo Catholic Church (hereinafter referred to as "LESSEE").

WHEREAS, LESSOR owns a certain real property as further described herein upon which LESSEE would like to use as a parking area for activities associated with LESSEE'S primary use; and

WHEREAS, it is the desire of the parties hereto to enter into a lease agreement relating to the use of such real property for parking purposes;

NOW, THEREFORE, the parties agree as follows:

1. Leased Premises. LESSOR hereby leases unto LESSEE as provided herein the following described real property described as follows, the parking area located adjacent to the Kramer Judicial Building and Old County Courthouse at LOT 1-12 BLOCK 27, in Hailey Idaho (hereinafter referred to as the "Leased Premises"). The Leased Premises shall not include areas shown in red on the attached map.

2. Term. The term of this lease shall be for a period of five (5) years from the date signed, which lease term may be extended by mutual consent of the parties and unanimous vote of the Board of County Commissioners. Notwithstanding the foregoing provisions, LESSOR may terminate this lease in its sole and exclusive discretion, with or without cause, at any time during the term of this lease upon providing thirty (30) days written notice to the LESSEE.

3. Purpose; and Duty to Maintain. The purpose of this lease shall be only for parking purposes associated with LESSEE's operations, and LESSEE agrees that it shall make no other use of the Leased Premises. LESSEE agrees that it shall at all times maintain the Leased Premises in a safe and reasonable manner, and keep the Leased Premises free of hazards and other unsafe conditions. LESSEE shall be responsible for any damage to County property caused by LESSEE's use of the Leased Premises. LESSEE agrees that it will provide snow removal services as needed at times when it will use the Leased Premises and the County has not snowplowed as part of its normal operations. LESSEE agrees to communicate and coordinate with LESSOR to insure that LESSEE's snow removal practices are consistent with those of LESSOR.

4. Authorized Uses. The parties agree that LESSEE's use under this Lease shall not be exclusive and the parties also agree and understand that LESSOR also uses the Leased Premises for its own purposes. LESSOR's use of the Leased Premises shall, at all times, take precedent over LESSEE's use under this lease agreement, and LESSOR reserves the right to deny access to

LESSEE at times when LESSOR and LESSEE's use conflict. LESSOR agrees to attempt to notify LESSEE when and if such conflicts arise.

5. Compliance With Laws. LESSEE agrees that in its use and maintenance of the Leased Premises it will comply with all applicable federal, state and County laws.

6. Rental. The rent to be paid by LESSEE to LESSOR is the sum of \$10.00 (ten) annually, which shall be prorated and paid prior to September 30th of each year.

7. Alterations And Improvements. No alterations, additions or improvements shall be made to the Leased Premises, nor any sign placed upon the Leased Premises by LESSEE without first obtaining the written consent of LESSOR. LESSOR shall approve any signage that may be necessary.

8. Entry by LESSOR. LESSOR shall have the right to enter the Leased Premises at any reasonable time to examine the same and determine the maintenance and state of repair. LESSOR also reserves the right to store County equipment and material on the premises so long as it can be done safely.

9. Liability Insurance. LESSEE agrees to maintain a policy of liability insurance covering bodily injury in an amount not less than five hundred thousand dollar (\$500,000.00) single limit, and twenty-five thousand dollar (\$25,000.00) property damage. LESSEE agrees to place LESSOR upon said policy as a co-insured, and provide a certificate of insurance to the LESSOR.

10. Indemnification and Hold Harmless. LESSEE agrees to defend, indemnify and save LESSOR, and its officials, employees and agents, harmless from and against all liability, claims, causes of action, damages, costs and expenses, including attorney's fees, of whatsoever nature, arising from or relating to: (a) LESSEE's use of the Leased Premises, or (b) the condition of the Leased Premises, or any buildings, other structures or improvements thereon, or (c) the negligence or other actionable conduct of LESSEE or its contractors, officials, employees, agents, guests, or invitees occurring in or about, or relating to, the Leased Premises, or any buildings, other structures or improvements thereon. LESSEE's responsibility under this paragraph shall not be released or affected if LESSOR elects to have its own attorney defend any action which may be brought against LESSOR to notify LESSEE of the commencement of any suit against LESSOR relating to the Leased Premises, and also to notify LESSEE of designation by LESSOR of any counsel to defend such action on behalf of LESSOR.

11. Liens and Hold Harmless. LESSEE shall defend, indemnify and save LESSOR harmless from and against any liens filed against the Leased Premises, which liens are attributable to LESSEE's use or occupancy, and also from and against all liability, claims, causes of action, damages, costs and expenses, including attorney's fees, of whatsoever nature, arising from any such liens. LESSEE's responsibility under this paragraph shall not be released or affected if LESSOR elects to have its own attorney defend any action which may be brought against LESSOR by reason of any matter covered by this paragraph. LESSOR agrees to notify LESSEE of the commencement of any suit against LESSOR relating to liens against the Property, and also to

notify LESSEE of designation by LESSOR of any counsel to defend such action on behalf of LESSOR.

12. Services of Notices. Any notice may be served upon LESSOR by certified mail to LESSOR at Blaine County Board of County Commissioners, 206 1st Avenue South, Suite 300, Hailey, ID 83333, and any notice may be served upon LESSEE by certified mail to LESSEE at P.O. Box 789, Hailey, Idaho 83333. Service of a notice by certified mail shall be deemed complete upon the date of the postmark by certified mail. Either party may change the address for services of notice by written notice to the other party.

13. Entire Agreement; Amendment. This instrument constitutes the entire integrated agreement between LESSOR and LESSEE relative to the Leased Premises. LESSOR and LESSEE agree all prior and/or contemporaneous oral and written agreements between and among themselves and their agents or representatives relating to the Leased Premises are merged in or revoked by this agreement. This agreement may be altered or amended only by an instrument in writing signed by LESSOR and LESSEE.

14. Third Party Beneficiary Rights. This agreement is not intended to create, nor shall it in any way be interpreted or construed to create, any third party beneficiary rights in any person not a party hereto.

15. No Partnership. It is expressly understood and acknowledged that LESSOR does not, in any way or for any purpose, become a partner of LESSEE in the conduct of its business, or otherwise, or a joint venturer or a member of a joint enterprise with LESSEE.

16. Employees. It is expressly understood and acknowledged that LESSOR does not, in any way or for any purpose, assume any liability for or towards LESSEE, its employees, and that such employees are not employees of Blaine County for the purposes of workers compensation, benefits, or any other privilege of Blaine County employment.

17. Construction. No presumptions shall exist in favor of or against any party to this agreement as a result of the drafting and preparation of this agreement. The headings and captions of paragraphs of this agreement are for convenience only and shall not be deemed to be relevant in resolving any question of interpretation or construction of this agreement.

18. Severability. If any term or provision of this lease shall to any extent be determined by a court of competent jurisdiction to be invalid or unenforceable, the remainder of this lease shall not be affected thereby, and each term and provision of this lease shall be valid and enforceable to the fullest extent permitted by law.

19. Attorney Fees. If LESSOR is required to bring an action to enforce the terms and provisions of this agreement, or to declare forfeiture or termination, or to collect damages for breach, or for removal of LESSEE from the premises and prevails in any such action, then LESSOR shall be entitled to recover from LESSEE its reasonable attorney fees, together with all costs authorized by law (including its reasonable costs and attorney fees on appeal).

20. Governing Law. All disputes arising out of or related to the formation, interpretation, performance and enforcement of and under this agreement shall be governed by the laws of the state of Idaho.

21. Authority of Board. LESSEE understands and agrees that only the Blaine County Board of County Commissioners is empowered to alter, amend, modify, revoke and permit waiver, assignment, sub-contract and delegation under this agreement on behalf of LESSOR. LESSEE shall not rely upon any representation, warranty or other statement by any other employee or agent of County, and any such reliance by LESSEE shall be at LESSEE's peril and shall not give rise to any claim or cause of action, in law or equity, against LESSOR, its employees or agents.

22. Representations. LESSEE agrees and warrants that in entering into this agreement it has relied upon no representations, express or implied, of LESSOR, its employees or agents, or of the Board that are not expressly stated herein.

23. Assignment Or Subletting Prohibited. LESSEE shall neither assign this lease nor sublease the whole or any part thereof without the prior written consent of LESSOR.

24. Successors and Assigns. Unless otherwise provided in this agreement, this agreement inures to the benefit of and will be binding upon the parties and their respective heirs, representatives, successors and permitted assigns.

Executed and effective by the undersigned parties as of the date first above written. Pursuant to Idaho Code Section 31-836(1), the Board has unanimously agreed to said lease.

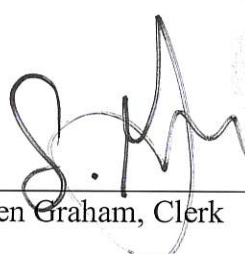
BLAINE COUNTY BOARD OF
COUNTY COMMISSIONERS


ATTEST:


Angenie McCleary, Chair

Absent
Lindsay Mollineaux, Commissioner


Muffy Davis, Commissioner


Stephen Graham, Clerk



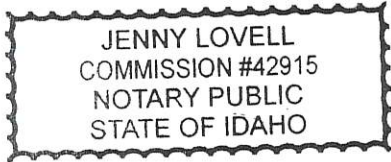
LESSEE

By Ronald Wekerle

STATE OF IDAHO)
) S.S.
County of Blaine)

On this 6 day of November, 2025, before me the undersigned, a Notary Public in and for said State, personally appeared Ronald Wekerle, known or identified to be the person whose name is subscribed to the within instrument and acknowledge to me that he/she executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.



Jenny Lovell
Notary Public for the State of Idaho
Residing Blaine ID
My Commission Expires 9-17-28

MEMORANDUM OF UNDERSTANDING

THIS MEMORANDUM OF UNDERSTANDING (hereafter “MOU”) is entered into on the date last executed below by and between St. Charles Borromeo Catholic Church (hereafter “St. Charles”) and ARCH Community Housing Trust (hereafter “ARCH”):

Purpose:

This MOU sets forth the agreement between St. Charles and ARCH regarding the donation and relocation of a historic home currently located on St. Charles property in Hailey, Idaho.

Recitals:

WHEREAS, St. Charles wishes to continue to provide, and enhance the many community benefits provided through the use of its facilities in the City of Hailey, St. Charles intends to modernize its current facilities which will impact the existing historic home on its property, and

WHEREAS, St. Charles wishes to donate the historic home to ARCH, and

WHEREAS, ARCH intends to accept the donation and work with the City of Hailey to relocate the home and ensure it is occupied by a local resident;

NOW THEREFORE, St. Charles and ARCH agree as follows:

1. Donation of Historic Home
 - St. Charles agrees to donate the existing historic home to ARCH at no cost.
2. Acceptance and Relocation
 - ARCH agrees to accept the donation and will assume responsibility for coordinating the removal and relocation of the home.
 - ARCH agrees to coordinate with the City of Hailey to oversee placement of the home and work to ensure it is occupied by a full-time employee of a Blaine County based employer.
3. No Financial Obligation
 - This MOU does not create any financial obligation between the parties beyond the terms stated herein.
4. Non-Binding Nature
 - This MOU reflects the intentions of both parties but is not a legally binding contract.

Effective Date:

This MOU becomes effective upon signature by both parties and will remain in effect until the relocation and occupancy of the historic home are completed.

Signatures

St. Charles Borromeo Catholic Church

By: 

Fr. Ron Wekerle, Pastor

Date: 11-11-25

ARCH Community Housing Trust

Signed by:
By: 
37D185FAD266451...

Michelle Griffith, Executive Director

Date: 11/11/2025

ATTACHMENT

INCLUDE MAP DESIGNATING PARKING AREAS (Blue) AND OFF LIMIT AREAS (Red)



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St. Charles Borromeo Catholic Church

By: 

Fr. Ron Wekerle, Pastor

Date: 11-11-25

ARCH Community Housing Trust

Signed by:
By: 
37D185FAD266451...

Michelle Griffith, Executive Director

Date: 11/11/2025

Public Comment



BLAINE COUNTY HOUSING AUTHORITY

208.788.6102 | INFO@BCOHA.ORG | WWW.BCOHA.ORG
111 N 1ST AVE STE 2J, HAILEY, ID 83333 | PO BOX 4045, KETCHUM, ID, 83340

February 6, 2026

Memo Re: Support for St. Charles Borromeo Catholic Church PUD

To: City of Hailey Planning and Zoning Commission

From: Keith Perry, Chair; Carissa Connelly, Housing Director
Blaine County Housing Authority

Blaine County Housing Authority (BCHA) is a public entity and has provided housing policy advice to local Blaine County governments since its inception in 1997. BCHA's mission is to ensure access to healthy, stable, and affordable housing for all Blaine County residents and workers by stewarding community housing, advocating for supportive policies and programs, and serving as the central hub for housing resources, education, and tenant services. Toward that end, we partner with local governments and non-profit organizations to engage and collaborate on efforts concerning community housing, comment on local development applications, and advocate for sensible policies at the local, state, and federal levels to support community housing in Blaine County.

We write to express our support for St. Charles Borromeo Catholic Church's PUD proposal. Specifically, we applaud the applicant's engagement with the City of Hailey and ARCH Community Housing Trust to use this redevelopment as an opportunity to provide community housing and preserve an existing structure. ARCH will be responsible for relocating the existing parish office to a site that has been identified by ARCH and the City of Hailey and is committing to operate it as community housing for a household that works for a Blaine County employer. While a community housing amenity is not a requirement for the applicant under the requested waivers in the PUD application, we are pleased to see the proposed partnership to deliver community housing as an outcome. We also commend the applicants for utilizing an existing structure that is suitable for residential use for community housing. ARCH has a history of effectively relocating existing structures for housing, and we are supportive of the proposal.

Thank you for your service to the community and thoughtful review of this application.



Keith Perry
BCHA Board of Commissioners, Chair



Carissa Connelly
BCHA Housing Director



P.O. Box 3569
Hailey, ID 83333
(208) 726-4411
www.archbc.org

City of Hailey, Idaho
Delivered Electronically

RE: St. Charles Catholic Church PUD
January 23rd, 2026

Dear Commissioners,

Thank you for the opportunity to comment on the St. Charles PUD application. I am writing in support of the application.

As a part of the proposed redevelopment, the applicant intends to gift a home currently situated on the property to ARCH. Our organization has partnered with The City of Hailey on many structure relocations, in this instance, the home may be moved to City owned property which was purchased expressly for the purpose of accepting donated structures. Once relocated, the home could provide critically needed housing for city employees or other members of the Hailey workforce. The goal of providing opportunities for workforce housing has long been an objective of this commission and this community benefit is in keeping with that goal.

Additionally, the redevelopment / modernization of a place of worship benefits the community as a whole. St. Charles Church has a long history of facilitating non-denominational community support by making kitchen and gathering spaces available to other groups and organizations.

Thank you for your consideration and for your continued support of affordable workforce housing.

Sincerely,

Michelle Griffith

Michelle Griffith,
Executive Director

The Third Floor Salon
400 South Main St suite 301
Hailey, Idaho 83333

2/5/2026

To whom It May Concern,

We are writing in support of the renovation project of St. Charles Catholic Church. The church has been our neighbor for 22 years and fully support their mission as a community gathering place for many that live in the Wood River Valley. We have seen no negative impact in the area and their support to the community is priceless. Please support this very important renovation.

Sincerely,

Bob and Joanne Brand
Owner The Third Floor Salon



November 18, 2025

Dear Hailey City Council Members,

We hope you will consider approving the proposed renovation project of our partners, St. Charles Catholic Church.

St. Charles goes to great lengths to care for our most vulnerable communities and uses their space to welcome, engage, and support people in need. The Church has been a vital partner for The Hunger Coalition, opening their doors during the homelessness crisis of 2022 to ensure our community had somewhere warm to sleep. They've also hosted several of our workshops in Hailey over the years where we can reach the parts of our population who can't make it to Bellevue.

Approving this renovation will ensure that St. Charles can continue to provide a safe, welcoming, and functional space for those who depend on their services. Their partnership has been invaluable to our shared mission of supporting Blaine County families, and we appreciate your careful review of this project.

Thank you for your time and consideration.

In Gratitude,

Jane Lopez, Community Organizing Manager
The Hunger Coalition



BLAINE COUNTY SCHOOL DISTRICT

118 West Bullion
Hailey, Idaho 83333

(208) 578-5000
BlaineSchools.org

James Foudy, Superintendent

October 29, 2025

City of Hailey

c/o Robyn Davis, Community Development Director

RE: Planned Unit Development (PUD) Application by St. Charles Borromeo Catholic Church

Dear Planning and Zoning Commission,

I am writing to express the Blaine County School District's support for St. Charles Borromeo Catholic Church's application for improving their facilities located at South 1st Ave in Hailey.

The district recognizes that St. Charles Borromeo Catholic Church is an important part of the Hailey community. The parish helps build up our local community and is an important part of the lives of many residents.

The district supports this plan because it offers safety enhancements for pedestrians walking to Hailey Elementary School. The plan offers value to the community by increasing the usable area for its continued positive impact.

As I understand it, the application requests minor concessions from the city to allow for a more creative and interesting project. The district supports this application because of the positive pedestrian safety impact it would have on Hailey Elementary School.

Sincerely,

A handwritten signature in black ink, appearing to read "Adam Johnson". The signature is fluid and cursive, with a large loop at the end.

Adam Johnson
Assistant Superintendent, Blaine County School District

Blaine County School District Board of Trustees

Lara Stone, Chair | Dan Turner, Vice Chair | Amber Perkes | Blanca Romero | Leah Scarnegi

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On February 17, 2026, the Administrator and Planning and Zoning Chair considered a request by Spring Bullard, represented by Lars Guy with Provis Inc., to exempt from Design Review minor modifications to the existing 641 square foot single family residence located at 210 N. 2nd Avenue (Lot 19A Block 47, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO), Zoning Districts.

The Administrator and Chair, having been presented with all the information regarding the design proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision relative to the Design Review Exemption.

FINDINGS OF FACT

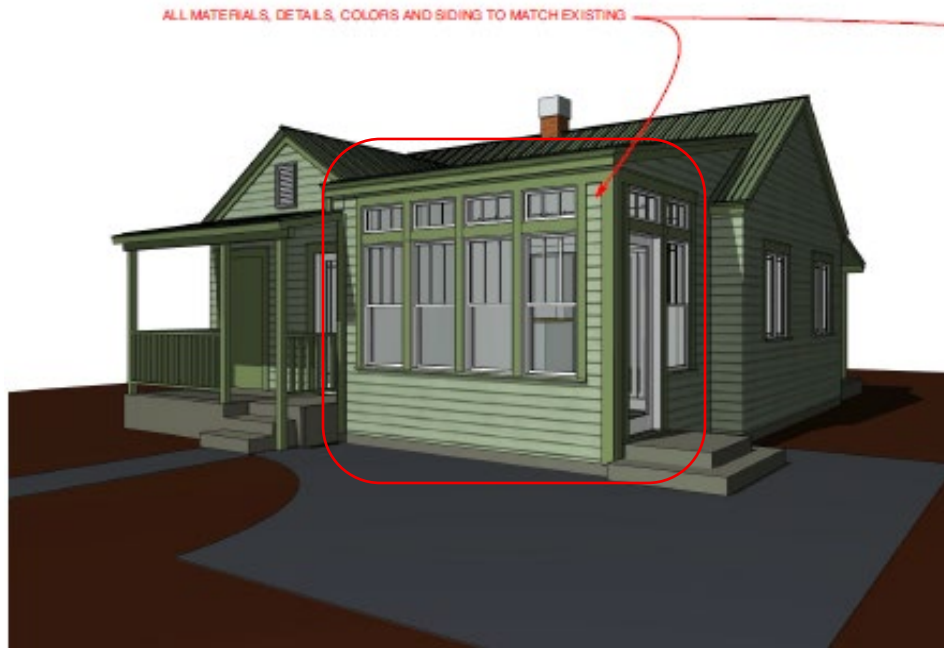
Standards of Evaluation:

Chapter 17.06 of the Hailey Municipal Code establishes the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Administrator makes the following Findings of Fact:

The Administrator has the authority to approve minor modifications to projects that have received design review approval by the commission prior to, and for the duration of a valid building permit. The Administrator shall make the determination as to what constitutes minor modifications and may include, but are not limited to, changes to approved colors and/or siding materials, changes to site plans that do not significantly increase building footprints or significantly change driveway or road alignment, changes to landscape plans that do not decrease the amount of landscaping, changes to dumpster enclosures, changes to exterior lighting fixtures and location, or changes to windows that do not significantly affect project design, appearance or function. All approved modifications must be documented in a memo to the project file and on the approved set of plans on file with the City. For modifications to design review approval that are determined by the Administrator not to be minor, the Administrator has the authority to recommend approval or denial of such modifications, subject to final decision by the commission on its consent agenda. Such recommendations for approval or denial shall be drafted in the form of findings of fact and conclusions of law. (Ord. 1191, 2015)

The modifications listed below are minor in the overall scope. The proposed modifications consist of:

- A 114 square foot residential addition positioned behind the setback to be compliant.
- The TO District allows additions with floor area less than fifty percent (50%) of the original structure to be approved through an exemption. The proposed addition is a 17% increase in floor area which complies with this standard.
- All materials and siding are proposed to match the existing structure.



CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Administrator and Chair make the following Conclusions of Law and Decision:

1. The modifications, as approved, have been noted in a memo on file with the Community Development Department.
2. Approval of the Design Review Exemption does not in any way waive any Design Review requirements approved by the Commission. All Design Review elements must be installed, or security provided, prior to issuance of a Certificate of Occupancy.

Signed this ____ day of _____, 2026.

Janet Fugate, Planning and Zoning Chair

Attest:

Robyn Davis, Community Development Director

Return to Agenda