

Agenda
Hailey Planning and Zoning Commission
Monday, June 15, 2026
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

[Download Teams](#) | [Join on the web](#)

Or call in (audio only)

[+1- 469-206-8535: 602369677#](#) United States, Dallas

Phone Conference ID: 602 369 677#

Call to Order - Hailey Planning and Zoning Commission

- Public Comment for items not on the Agenda.

Consent Agenda - ACTION ITEM

- **CA 1:** Motion to approve the Findings of Fact for a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 15: Building and Construction, Chapters 15.08: Building Code, Section 15.08.020 Amendments of Code, to modify the historic structure year in Item e. 2. Historic Structures, from 1941 to 1975. **ACTION ITEM**
- **CA 2:** Motion to approve the Findings of Fact for a City-Initiated Text Amendment amending Hailey's Municipal Code, Title 17: Zoning Regulations, Chapter 17.08: Supplementary Regulations, Article D. Accessory Dwelling Units and Tiny Homes on Wheels, to align with Idaho law (SB 1354), which allows increased flexibility for the implementation and construction of Accessory Dwelling Units within the City of Hailey. **ACTION ITEM**
- **CA 3:** Motion to approve meeting minutes dated April 6, 2026. **ACTION ITEM**
- **CA 4:** Motion to approve meeting minutes dated April 20, 2026. **ACTION ITEM**
- **CA 5:** Motion to approve meeting minutes dated June 1, 2026. **ACTION ITEM**

Public Hearing:

- **PH 1:** Consideration of a Design Review Preapplication submitted by Zions Bank for the construction of a new 2,156 square foot commercial building at 401 South Main Street (Lots 1, 2 & N. ½ of 3, Block 17, Hailey Townsite), and located within the Business (B), Townsite Overlay (TO), and Downtown Residential Overlay (DRO) Zoning Districts. **ACTION ITEM**
- **PH 2:** Consideration of Preliminary Plat Application submitted by John David and Jane McGrew and Michael James and Geraldine Swisshelm Shane, and represented by Samantha Stahlnecker of Opal Engineering, for the approval to combine Lots 5, 6, & 7, Block 1, Cedar Bend Subdivision into two (2) lots, Lot 5A, comprising 21,040 square feet, and Lot 6A, comprising 21,299 square feet. The proposed subdivision is located within the Limited Residential (LR-1) Zoning District. **ACTION ITEM**

Administrative Review:

- **AR 1:** Design Review Exemption request by the City of Hailey Wastewater Department, represented by Erinn Bliss with Bliss Architecture to exempt from Design Review minor modifications to the Wastewater Department office Building located at 4297 Glenbrook Drive (Lot 1 Sewer Plant Hailey Headworks Subdivision within the Light Industrial (LI) Zoning District. **NO ACTION ITEM**

Staff Reports and Discussion

- Monday, July 6, 2026: Cancelled

Adjourn by 8:00 PM - ACTION ITEM

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION

On June 1, 2026, the Hailey Planning and Zoning Commission considered and recommended for approval by the Hailey City Council a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 15: Building and Construction, Chapters 15.08: Building Code, Section 15.08.020 Amendments of Code, to modify the historic structure year in Item e. 2. Historic Structures, from 1941 to 1975.

The Hailey Planning and Zoning Commission unanimously recommended approval by the Hailey City Council, the City-Initiated Text Amendment to amend the Hailey Municipal Code, on June 1, 2026, and enters these Findings of Fact, Conclusions of Law and Decision.

Applicant: City of Hailey

Notice: Notice for the public hearing was published in the Idaho Mountain Express on May 20, 2026, and mailed to public agencies on that same day.

Background: In April 2025, Staff presented, and the Council adopted, Hailey’s first-ever historic preservation code whereby bulk requirement flexibility may be granted when a historic structure has been retained and preserved. A key component of this newly adopted code was the discussion – and adoption – of age of structure.

The Council identified historic structures as those structures built in 1975, or older. While the Council recognized the importance of aligning Hailey’s historic timeline with both Idaho State Code, and the fifty (50) year “rule of thumb” historic timeline that exists across the field of historic preservation, they preferred to specify a 50-year or older date of 1975.

As part of this effort, Staff are “cleaning up” code to align with the recent language adopted, which modifies Title 15: Building and Construction, Chapter 15.08: Building Code, Section 15.08.020: Amendments of Code, Item e. 2. Historic Structures, from 1941 to 1975, as described below and within the attached Draft Ordinance.

Proposed Amendment:

Title 15: Building and Construction, Chapter 15.08: Building Code, Section 15.08.020: Amendments of Code, to modify the historic structure year in Item e. 2. Historic Structures, as follows:

- Historic Structures. Prior to issuance of a "demolition" permit for buildings and structures built wholly or in part prior to 1975 ("historic structure"), regardless of whether the historic structure was constructed on or relocated to the property, the Hailey building official shall submit the application to the Hailey planning department, Hailey fire department and Hailey arts and historic preservation commission. The applicant shall demonstrate the age of a building or structure by reliable records, including, but not limited to, records of the Blaine County assessor.

Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision (“Findings”) represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

Standards of Review:

Criteria for Review. Section 17.14.060(A) of the Hailey Municipal Code provides “[w]hen evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

- 1. The proposed amendment is in accordance with the comprehensive plan.**
- 2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.**
- 3. The proposed uses are compatible with the surrounding area; and**
- 4. The proposed amendment will promote public health, safety, and general welfare.**

1. The proposed amendment is in accordance with the comprehensive plan.

The currently adopted Comprehensive Plan (2020) articulates the merits of protecting the residential character and scale of the original Townsite, in addition to responding to growth through infill development:

Goal 3.2: “Protect the residential character and scale of the original Townsite”.

Goal 5.6: “Manage and accommodate population growth by infill development and, when appropriate, minimal expansion by annexation and/or density increases”.

Staff, the Commission, and the Council found that by allowing flexibility for specific bulk requirements within Hailey’s most historic Overlay District (TO District), there will be greater incentive and opportunity for historic residential and commercial buildings to be retained and expanded upon, versus demolished and rebuilt. This type of development not only deepens neighborhood connections and residents’ access to the core of Hailey, but it also carries secondary benefits of greater community walkability, efficient land use, and less potential impact from development sprawl into wildlife migration zones, intact ecosystems, and the wildland-urban fire interface (“WUI”). Each of these secondary benefits further supports the existing and recently adopted Comprehensive Plan Update (2024), which offers a more directed focus on sustainability and community resiliency.

Findings: Compliance. The Commission found that this standard has been met.

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.

The proposed amendments will not result in a change in allowed uses nor will they create excessive additional requirements at the public cost for services. The amendments are intended to clarify regulations, to simplify administration of the requirements, and to implement best practices.

Findings: Compliance. The Commission found that this standard has been met.

3. The proposed uses are compatible with the surrounding area; and

The proposed text amendment will not result in a change in allowed uses, and compatibility with surrounding areas will not be impacted.

Findings: Compliance. The Commission found that this standard has been met.

4. The proposed amendment will promote public health, safety, and general welfare.

The proposed amendments are consistent with the Hailey Comprehensive Plan, will promote public health, safety, and general welfare, and will not result in a change in allowed uses.

Findings: Compliance. The Commission found that this standard has been met.

CONCLUSIONS OF LAW AND DECISION

Based on the above Findings of Fact, Conclusions of Law and Decision, the Commission, on a unanimous vote, concluded the adequate notice, pursuant Title 17, and further made the following recommendations:

An ordinance, Ordinance No. _____, amending Hailey’s Municipal Code, Title 15: Building and Construction, Chapters 15.08: Building Code, Section 15.08.020 Amendments of Code, to modify the historic structure year in Item e. 2. Historic Structures, from 1941 to 1975, and is hereby recommended for review and approval by the Hailey City Council.

Signed this ____ day of _____, 2026.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Yadira Ward, Community Development Assistant

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 1, 2026, the Hailey Planning and Zoning Commission considered and recommended for approval a City-Initiated Text Amendment amending Hailey's Municipal Code, Title 17: Zoning Regulations, Chapter 17.02: Definitions, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Chapter 17.06: Design Review, Chapter 17.08: Supplementary Regulations, Article D. Accessory Dwelling Units and Tiny Homes on Wheels, and Chapter 17.09: Parking and Loading, to align with Idaho law ([SB 1354](#)) with regard to Accessory Dwelling Units, which allows increased flexibility for the implementation and construction of Accessory Dwelling Units within the City of Hailey.

Hearing: June 1, 2026

FINDINGS OF FACT

Applicant: City Staff

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to public agencies on May 13, 2026.

Background and Objective: During the 2026 Idaho State Legislative Session, the Idaho Senate successfully passed [Senate Bill 1354](#), which revised provisions regarding Accessory Dwelling Units statewide. Specifically, the Legislature modified the definition of Accessory Dwelling Unit and established new provisions for ADUs whereby municipal organizations, HOA Boards, and other governing organizations are unable to limit or prohibit ADUs on any property, land, or structure thereon within the jurisdiction(s). Additional provisions adopted further allow for increased flexibility for the implementation and construction of ADUs, which included:

- a) Allow for either one (1) internal accessory dwelling unit within the single-family dwelling or one (1) detached accessory dwelling unit per lot in the rear yard or subject to setbacks required of the primary dwelling;
- b) Prohibit requiring any off-street parking or guest parking for any accessory dwelling unit unless the principal dwelling unit does not have off-street parking or the street is not paved and designed or constructed for on-street parking, or unless the principal dwelling unit is within one-fourth (1/4) mile of transit, an employment area, or commercial services;
- c) Prohibit imposing impact fees or utility connection fees on accessory dwelling units that are greater than those imposed on other single-family dwellings;
- d) Prohibit limiting the size of an accessory dwelling unit to less than one thousand (1,000) square feet or seventy-five percent (75%) of the size of the primary dwelling;
- e) Prohibit an owner-occupancy requirement for the primary dwelling or for the accessory dwelling unit;
- f) Prohibit imposing a limit on building height that is less than the height of an existing single-family dwelling on a lot; and
- g) Prohibit restrictions for accessory dwelling units that are more restrictive than restrictions for single-family primary dwellings within the same zoning district with regard to setbacks, lot size, or coverage or building footprint.

Staff incorporated the above provisions within the attached draft ordinance, either by the addition of the new legislature or by modifying existing code to capture the intent of Idaho's new law.

Additional Provisions from Idaho Law (SB 1354): In addition to the requirements outlined above, the following also apply:

- ADU projects that meet the jurisdiction’s established land use requirements shall be approved administratively and as a matter of right, without the needs for discretionary approval.
- Any approval standards, special conditions, and procedures for approval adopted by a local government shall be clear and objective and shall not have the effect, either singularly or cumulatively, of discouraging the development of an ADU through unreasonable cost or delay.
- Nothing in this section shall prohibit a city from enacting a regulation, standard, or condition that is less restrictive than the requirements of this section.
- The provisions of this section shall apply only to cities with a population greater than ten thousand (10,000).
- The provisions of this section shall not supersede state or local laws that protect public health, safety, and welfare, including:
 - o Building codes, fire safety standards, and floodplain regulations;
 - o Laws regarding water, sewer, storm drainage, road access, and utility services necessary to support the required density;
 - o Laws regarding environmental hazards, aquifer recharge zones, steep slopes, and critical habitat protections; and
 - o Laws and regulations regarding setback requirements for rights-of-way and easements.

One notable provision of the new law is that it “shall apply only to cities with a population greater than ten thousand (10,000).” According to the 2020 U.S. Census, the City of Hailey’s population was below 10,000. Although the official census is conducted once every ten years, the U.S. Census Bureau regularly updates population estimates between census years. Based on current projections, Hailey’s population is expected to exceed 10,000 prior to the next decennial census in 2030. Accordingly, Staff are taking a proactive approach by proposing updates to the City’s code to align with best practices related to housing attainability and affordability, pursuant Idaho law.

Since the passage of SB 1354, City Staff have consulted with the City Attorney, as well as with the City of Ammon, as to the proposed amendments. Hailey’s City Attorney offered full support of the City’s ordinance proposal, and City of Ammon Staff are working on a similar draft ordinance to present to their respective Boards, Commissions, and Council.

Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision (“Findings”) represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

At the June 1, 2026, public hearing, the Commissioners offered feedback on the proposed Text Amendment, limited to incorporating language regarding long-term occupancy as well as the addition of minimum gross square footages for ADUs. These updates have been incorporated herein.

Creative Housing Opportunity: Through the process of reviewing Hailey’s ADU code, Staff identified another possible housing opportunity. Staff implored the Commission to consider and discuss the feasibility of allowing two (2) accessory dwelling units per lot – one (1) internal (attached) ADU, and one (1) detached ADU. The Bulk Requirements (height, lot coverage, setbacks, etc.) would remain as is based on underlying zoning district, and other light provisions could be established for the second ADU (e.g., special use permit, DR exemption, locals only rental, etc.).

Accessory Dwelling Units can be found around the country. These unit types present a variety of opportunities in creating housing within a city and meeting housing needs where other prevalent housing types are lacking. They diversify housing choice, offer a cost-effective way to live, and provide housing that is more attractive to some households than that of traditional single-family homes, or apartment-style living arrangements.

The Commission considered and lightly discussed this idea at their public meeting on June 1, 2026. Ultimately, the Commission concurred that it was not an appropriate time to consider or further discuss the details of a second ADU per lot, as they further agreed that Idaho's new law lacked thoughtful consideration as to jurisdictional-specific needs, and degraded Hailey's existing code language that was carefully curated to meet the needs of the Hailey community.

Conclusion: In summary, the City of Hailey seeks to align with State Code regarding the newly adopted ADU provisions by reducing overly prescriptive requirements and, more importantly, expanding opportunities for attainable and affordable housing for all.

Proposed Amendments: Specific amendments to be considered include, but are not limited to, the following:

1. Title 17: Chapter 17.02: Definition of Accessory Dwelling Unit
2. Title 17: Chapter 17.04: Size Modifications to ADUs
3. Title 17: Chapter 17.06: Design Review, Table 1 – Administrative Approval for ADUs
4. Title 17: Chapter 17.08:
 - a. Removal of Occupancy-Restrictions for ADUs
 - b. Size Modifications to ADUs
 - c. Modifications to Onsite Parking Requirements for ADUs

Attachments:

- Staff Report
- Draft Ord. No. ____: Text Amendment to Title 17: ADUs

Standards of Review:

Criteria for Review. Section 16.13.010 of the Hailey Municipal Code provides when evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

1. The proposed amendment is in accordance with the comprehensive plan;
2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;
3. The proposed amendment will promote the public health, safety, and general welfare.

1. The proposed amendment is in accordance with the comprehensive plan;

The Comprehensive Plan articulates the importance of creating an approachable housing environment that supports a wide range of individuals and families and creates and sustains an attainable housing market. As such, the following goals from the Comprehensive Plan are relevant to the proposed text amendment:

3.8.1 Preserve and produce a diverse housing inventory that promotes a variety of housing options and affordability ranges.

E. Encourage the inclusion of accessory dwelling units with new and existing residential and commercial development.

3.8.3 Create strong housing policy and land use strategies to promote housing attainability and workforce development goals.

A. Ensure that Hailey’s zoning code and ordinances are aligned to provide housing opportunities in locations where greater density is allowed.

B. Work with regional partners to advocate for Statewide legislative and policy implementation that provides cities and local jurisdictions more tools to increase housing attainability and improved housing outcomes for individuals living and working in Hailey and other similar communities.

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.

Findings: Compliance. The Commission found the proposed amendments will not result in a change in allowed uses, nor will they create excessive additional requirements at public cost for services. The proposed amendments will not result in a change in allowed uses, nor will they create excessive additional requirements at the public cost for services. The amendments are intended to clarify regulations, to simplify administration of the requirements, and to implement best practices, with no additional burden or extraneous costs placed on the City of Hailey.

3. The proposed amendment will promote public health, safety, and general welfare.

Findings: Compliance. The Commission found the proposed amendments are consistent with the Hailey Comprehensive Plan, will promote public health, safety, and general welfare, and will not result in a change in allowed uses.

CONCLUSIONS OF LAW AND DECISION

Based on the above Findings of Fact, Conclusions of Law and Decision, the Commission, on a 3 to 1 vote, concluded the adequate notice, pursuant Title 17, and further made the following recommendations:

An ordinance, Ordinance No. _____, amending Hailey’s Municipal Code, Title 17: Zoning Regulations, Chapter 17.02: Definitions, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Chapter 17.06: Design Review, Chapter 17.08: Supplementary Regulations, Article D. Accessory Dwelling Units and Tiny Homes on Wheels, and Chapter 17.09: Parking and Loading, to reflect Idaho’s new law (SB 1354), and is hereby recommended for review and approval by the Hailey City Council.

Signed this ____ day of _____, 2026.

Janet Fugate, Planning and Zoning Chair

Attest:

Yadira Ward, Community Development Building and Administrative Assistant

HAILEY ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING HAILEY'S MUNICIPAL CODE, TITLE 17: ZONING REGULATIONS, CHAPTER 17.02: DEFINITIONS, SECTION 17.02.010: INTERPRETATION OF TERMS OR WORDS, TO INCLUDE A REVISED DEFINITION OF ACCESSORY DWELLING UNIT (ADU) BASED ON IDAHO CODE; AMENDING CHAPTER 17.04: ESTABLISHMENT, PURPOSES AND USES WITHIN ZONING DISTRICTS, SECTION 17.04M.060.F., TO REMOVE SIZE LIMITATIONS FOR ADUS; AMENDING CHAPTER 17.06: DESIGN REVIEW, SECTION 17.06.010.A, TABLE 1, TO EXCLUDE ADUS FROM DESIGN REVIEW; AMENDING CHAPTER 17.08: SUPPLEMENTARY REGULATIONS, ARTICLE D: ACCESSORY DWELLING UNITS AND TINY HOMES ON WHEELS, SECTION 17.08D.010 THROUGH SECTION 17.08D.070, TO REMOVE OCCUPANCY RESTRICTIONS FOR ADUS AND TO REMOVE SIZE LIMITATIONS FOR ADUS; AND AMENDING CHAPTER 17.09: PARKING AND LOADING, TO MODIFY THE PROVISIONS FOR ONSITE PARKING REQUIREMENTS FOR ADUS; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Commission and Council have a desire and interest to align with regulations as set for in Idaho Code;

WHEREAS, the Commission and Council have determined that municipal code changes that expand housing opportunities in Hailey are a priority;

WHEREAS, the Council finds that the proposed changes to Accessory Dwelling Unit standards will encourage modest and necessary infill housing development to meet the needs of the community as contemplated in the 2024 Update to Hailey's Comprehensive Plan;

WHEREAS, the changes proposed will address supplemental design and quality of life for Accessory Dwelling Units with the intent of reinforcing the following statements and goals contained within the Comprehensive Plan:

WHEREAS, the Hailey Comprehensive Plan calls for:

1. The City seeks to accommodate population growth through a balanced combination of two means, with one being "infill" development or redevelopment of existing land within the current City limits in accordance with existing zoning and density allowances without necessitating the use of density bonuses or waivers.
2. Land Use Implications of Population Growth Scenarios: Impacts resulting from growth pressure, such as environmental degradation, inadequate social and infrastructure services, and loss of small-town character are concerns associated with unrestricted growth of the community; therefore, it is the responsibility of the city to plan for potential future population growth.
3. Social Diversity and Social Well-Being: Sustainable communities offer equal opportunity, social harmony, and mutual respect for a diverse population. Diversity means an inclusive

community of people with varied human characteristics, ideas, and worldviews and whose interactions both benefit and challenge each other to grow. Such a community will:

- a. promote equity and equal opportunity
 - b. encourage interaction among diverse people to enrich life experience, promote personal growth and enhance the community
 - c. foster mutual respect, value differences and promote cross cultural understanding
 - d. attract and retain a diverse population thereby creating more diversity
4. While many factors influence both the existence and perception of discrimination and unequal treatment, income is an important element, as are education, occupational status and life expectancy.
 5. Affordable employee housing is a key element in the decisions of business owners to create new enterprises or expand their businesses. If affordable housing for employees to purchase and/or rent cannot be provided, it will limit the growth potential and sustainability of local businesses. To the extent that attractive, affordable housing is available, employees can better be recruited and retained.
 6. Productivity of the workforce improves when commutes are shortened.
 7. The ongoing local spending and taxes generated because of homes being occupied by the working community are significant.
 8. Long commutes are not only costly to the workers, but to the environment as well. Carbon emissions are reduced and air quality is improved when employees live close to work. In addition, fewer commuters will alleviate the demand for more highway lanes and asphalt.
 9. Many social benefits are realized when workers live in their own community. Quality of life and safety improve when critical care employees live within close responding distance. Children do better in school when parents are at home in the mornings and evenings. Homeowners are more active in their communities, creating a greater vibrancy and sense of unity.

WHEREAS, essential public facilities and services are available to Accessory Dwelling Units without excessive public cost;

WHEREAS, the proposed accessory dwelling use is compatible with the surrounding area; and

WHEREAS, the Zoning Regulations set forth in this ordinance will promote public health, safety and general welfare;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. Title 17: Zoning Regulations, Chapter 17.02: Definitions, Section 17.02.010: Interpretation of Terms or Words, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and the deletion of the stricken language, as noted. This section shall not be replaced in its entirety with the amendments below:

ACCESSORY DWELLING UNIT: A structure subordinate to the principal use on the same lot or premises having kitchen facilities and at least one (1) bathroom, to be occupied as a residence, which is incidental to the use of the principal building. A self-contained living unit that includes its own cooking, sleeping, and sanitation facilities and that is located on the same lot as a single-family primary dwelling. An accessory dwelling unit may be internal, attached, or detached but does not

include a motorhome, camper, recreational vehicle, tiny home on wheels or other such similar dwellings on wheels.

Section 2. Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Article M. Townsite Overlay (TO) District, Section 17.04M.060.F: Bulk Requirements, are hereby amended by the addition of the underlined language and the deletion of the stricken language, as noted. This section shall not be replaced in its entirety with the amendments below:

~~17.04M.060.F. Accessory Dwelling Units: Accessory Dwelling Units shall have a minimum gross floor area of three hundred (300) square feet and a maximum gross floor area of one thousand (1,000) square feet. Supplemental standards for Accessory Dwelling Units are contained in Chapter 17.08, Article D. Accessory Dwelling Units.~~

Section 3. Title 17: Zoning Regulations, Chapter 17.06: Design Review, Section 17.06.010.A, Table 1, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and the deletion of the stricken language, as noted. This section shall not be replaced in its entirety with the amendments below:

17.06.010.A. Design Review Approval or Exemption: No person shall build, develop or substantially remodel or alter the exterior of the following buildings without receiving design review approval or exemption pursuant to this chapter, as outlined in the matrix below:

TABLE 1
PROJECT TYPES

Type of Use	Exempt (PZ Chair And Administrator)	Hearings Examiner	Full PZ Review
New construction:			
All zones: Nonresidential buildings			X
All zones: Residential of 3 or more units			X
All zones: Accessory Dwelling Units and Tiny Homes on Wheels	X		
Townsite Overlay District: New single-family or duplex			X
Townsite Overlay District: Accessory structures that add floor area equal to or greater than 50 percent of the original structure (excluding Accessory Dwelling Units and Tiny Homes on Wheels)			X

	Additions:			
	Commercial: Additions under 500 square feet which are not prominently visible from a public street	X		
	Townsite Overlay District: Single-family, duplex, or accessory structure that adds floor area equal to or greater than 50 percent of the original structure (<u>excluding Accessory Dwelling Units and Tiny Homes on Wheels</u>)			X
	Townsite Overlay District: Additions that add floor area less than 50 percent of the original structure and comply with section 17.06.020 of this chapter	X		
	Modifications that do not add square footage:			
	Minor façade changes, alterations to parking and other site elements	X		
	Commercial: Major deck additions; changes to architectural elements which alter the overall style of the building; addition of window(s) or door(s), or changes to existing windows or doors that result in major stylistic changes; changes to architectural elements which alter the overall style of the building			X
	Commercial: Minor deck additions; changes to siding and/or materials; changes to window(s) or door(s) that do not result in major stylistic changes; landscape and/or parking changes that do not materially alter the flow of circulation	X		
	Murals and public art	X		
	Temporary Structures	X		
	Projects which qualify under subsection 17.06.020B of this chapter	X		

Section 4. Chapter 17.08, Supplementary Regulations, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and the deletion of the stricken language, as noted. This section shall not be replaced in its entirety with the amendments below:

Article D. Accessory Dwelling Units and Tiny Homes on Wheels

17.08D.010: Purpose and Intent

- A. Purpose: The City of Hailey recognizes that land use, population growth, and community character are interrelated, and that social well-being and diversity are tied to the availability of an array of housing types and sizes available for sale and for rent at various price points. Accessory dwelling units and tiny homes on wheels, when thoughtfully designed, can simultaneously complement the fabric of existing neighborhoods, increase the supply of available housing, and sustainably accommodate population growth.

The purpose of this section is to address supplemental design and quality of life for accessory dwelling units and tiny homes on wheels with the intent of reinforcing the preceding and following statements, which are reflective of statements and goals expressed in the comprehensive plan:

1. Hailey is a community that believes livability and quality of life can be maintained and enhanced only with strong, diverse residential neighborhoods. Further, the community recognizes its identity to include being a place primarily comprised of full-time residents and being a community where the workforce can reside.
2. The City of Hailey seeks to accommodate population growth in a balanced manner, with "infill" development and redevelopment of existing lands in City limits being two strategies. Accessory dwelling units and tiny homes on wheels provide opportunities for infill development and redevelopment.
3. Many social benefits are realized when workers live in their own community. Quality of life and safety improve when critical care employees live within close responding distance. Children do better in school when parents are at home in the mornings and evenings. Homeowners are more active in their communities, creating a greater vibrancy and sense of unity.
4. Accessory dwelling units and tiny homes on wheels add to the diversity of housing unit types, additionally supporting the flexibility and convenience for residents seeking housing within the City. (Ord. 1320, 2023; Ord. 1275, 2021)

17.08D.020: Applicability

- A. The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building; and to all tiny homes on wheels established after March 13, 2023.

17.08D.030: General Provisions

- A. Accessory dwelling units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached accessory dwelling units may comprise

- the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising the remaining floor area.
- B. ~~Only~~ One (1) accessory dwelling unit (detached or attached) or one (1) tiny home on wheels is permitted on a lot, ~~as an~~ accessory to a single-family dwelling unit.
 - C. Accessory dwelling units and tiny homes on wheels are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transitional and SCI zones, accessory dwelling units or tiny homes on wheels are permitted in conjunction with commercial buildings. In Business, Limited Business, and Neighborhood Business, one (1) or more residential unit(s) are considered mixed-use.
 - D. Accessory dwelling units and tiny homes on wheels located in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in section [17.04J.020](#), "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.
 - E. Tiny homes on wheels are subject to the same standards as accessory dwelling units, including administrative design review standards, except where specifically noted herein.
 - F. If tiny homes on wheels (THOW) are removed from Hailey's Municipal Code as an allowable use, no THOW structure shall be considered legally non-conforming. (Ord. 1320, 2023; Ord. 1275, 2021)

17.08D.040: Registration Required

- A. All Accessory Dwelling Units created after February 10, 2021, and all tiny homes on wheels established after March 13, 2023, shall be issued a compliance certificate as a prerequisite for a certificate of occupancy.
- B. Tiny homes on wheels shall be registered or permitted annually with the Idaho Transportation Department Division of Motor Vehicles. (Ord. 1320, 2023; Ord. 1275, 2021)

17.08D.050: Occupancy Restrictions – Short Term Occupancy

~~A. Accessory Dwelling Units:~~

- ~~1. Where a lot contains both a primary dwelling unit and an accessory dwelling unit (ADU), only one dwelling unit shall be utilized for short-term occupancy; and~~
- ~~2. When one dwelling unit is utilized for short-term occupancy, the other dwelling unit shall be owner-occupied or One dwelling unit shall be utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.~~

B. A. Tiny Homes On Wheels (THOW):

1. THOWs are restricted for long-term use (thirty-one (31) days or longer) only. (Ord. 1320, 2023; Ord. 1275, 2021)

17.08D.060: Subordinate Scale and Size

A. Accessory Dwelling Units:

1. Scale: Accessory Dwelling Units shall be subordinate in scale and design to the principal building. The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.

2. Minimum floor area: All Accessory Dwelling units shall not have a minimum floor area of less than two hundred (200) square feet.
3. ~~Maximum floor area:~~

Lot Size (square feet)	Minimum Gross Floor Area (square feet) ¹	Maximum Gross Floor Area (square feet) ^{1,2}
Up to 7,000	300	900
7,001 — 8,000	300	950
Lots 8,001 and greater	300	1,000
1. — Gross square footage calculations for Accessory Dwelling Units do not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.		

4. 3. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.

B. Tiny Homes on Wheels:

1. The footprint of tiny homes on wheels shall be limited between one hundred (100) to four hundred (400) square feet in size. (Ord. 1320, 2023; Ord. 1275, 2021).

17.08D.070: Livability

- A. Outdoor Access: All accessory dwelling units and tiny homes on wheels shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineate by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. ~~The Outdoor Access area shall be approved through the administrative design review process.~~

Section 5. Chapter 17.09, Parking and Loading, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and the deletion of the stricken language, as follows:

17.09.020.05.B: Parking areas and driveways for single-family, accessory dwelling unit, tiny homes on wheels, and duplex residences may be improved with compacted gravel or other dustless material.

17.09.020.09.D. Mitigation for Accessory Dwelling Unit and tiny homes on wheels parking spaces: Parking stalls for Accessory Dwelling Units and tiny homes on wheels shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.

17.09.040.01: Residential Parking Requirements:

Parking for all dwelling units smaller than 1,000 square feet	Minimum of 1 space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit, or tiny homes on wheels shall provide 2 onsite
---	--

<u>(excluding Accessory Dwelling Units)</u>	spaces. Existing parking in excess of the required parking for a single-family dwelling unit shall count toward the total required onsite parking.
Parking for all dwelling units larger than 1,000 square feet in multifamily, mixed-use, townhouse, and cottage developments	Minimum of an average of 1.5 spaces per dwelling unit.
Single-family dwelling units	2 spaces per dwelling unit minimum, 6 spaces per dwelling unit maximum. The City allows for the utilization of 100-foot rights-of-way within Hailey’s original townsite for licensed passenger vehicle parking for single-family dwelling units. Parking for accessory dwelling units or tiny homes on wheels must be provided onsite.
Co-living dwelling facility	Minimum of one (1) space per bedroom AND one (1) guest parking space for every six (6) co-living dwelling units.
<u>Accessory dwelling units (ADUs)</u>	<u>No additional onsite parking spaces are required to be provided for ADUs unless the principal dwelling unit does not have off-street parking or the street is not paved and designed or constructed for on-street parking, or unless the principal dwelling unit is within one-fourth (1/4) mile of transit, an employment area, or commercial services.</u>

Section 6. Severability Clause. Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

Section 7. Repealer Clause. All City of Hailey ordinances or parts thereof, which are in conflict herewith, are hereby repealed.

Section 8. Effective Date. This ordinance shall be in full force and effect from and after its passage, approval, and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE MAYOR THIS ___ DAY OF _____, 2026.

Martha Burke, Mayor, City of Hailey

Attest:

Mary Cone, City Clerk

Return to Agenda

**Meeting Minutes
Hailey Planning and Zoning Commission
Monday, April 06, 2026
5:30 p.m.**

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

[Download Teams](#) | [Join on the web](#)

Or call in (audio only)

[+1- 469-206-8535](tel:+14692068535): [602369677#](tel:+14692068535) United States, Dallas

Phone Conference ID: 602 369 677#

Attendance: Janet Fugate, Dan Smith, Jordan Fitzgerald, Michael Smith, Bozena Morawski

Staff: Robyn Davis, Emily Brooks, Ashley Dyer and Yadira Ward

Call to Order - Hailey Planning and Zoning Commission

- Public Comment for items not on the Agenda.

[5:30:17 PM](#) Chair Fugate requested public comment for items not on the agenda. No comments were made.

Consent Agenda - ACTION ITEM

- **CA 1 & CA 2:** Motion to approve CA1 & CA2. **ACTION ITEM**
[5:32:48 PM](#) M. Smith motioned to approve the meeting minutes. D. Smith seconded. All were in favor.
- **CA 3:** Motion to approve meeting minutes dated March 17, 2026. **ACTION ITEM**
[5:33 PM](#) Fitzgerald motioned to approve the meeting minutes. Morawski seconded. All were in favor.

Public Hearing - ACTION ITEM

- **PH 1:** Consideration of Design Review Application submitted by Ben and Susan Worst, and represented by Thomas Howland of Howland Architecture, for the construction of a new 1,079 square foot Accessory Dwelling Unit located above a new, detached 1,148 square foot garage; an addition to the existing 1,688 square foot single-family residence located at 516 South River Street (Lot 16A, Block 8, Hailey Townsite) within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**

[5:34:09 PM](#) Dyer provided background information on the project. Thomas Howland elaborated on the intent of new addition of the garage and ADU, as well as building design. Howland presented information as to details of the site plan, building design, exterior colors, outdoor access and rooftop deck, vehicular circulation and pedestrian access, and the historic structure preservation components.

[5:42:55 PM](#) The commission reviewed the proposed renovation and ADU project for a historic property, focusing on design compatibility, historic preservation, site planning, and code compliance.

[5:48:30PM](#) Specifically, the commissioner's discussion centered on whether the proposed renovations and additions maintain the property's historic character. Several commissioners expressed concern that the scope of changes—including additions, garage modifications, materials, and overall massing—could diminish the structure's historic integrity. Howland emphasized that the design seeks to unify the building, improve functionality, and provide additional living and storage space while preserving as much of the original character as practical.

The commission further discussed and/or questioned the gravel driveway, garage door configuration, parking functionality, and future resale impacts. Howland explained that the gravel driveway was selected for simplicity and ease of construction and that the garage layout was designed to maximize maneuverability and accommodate neighboring uses.

Commissioners discussed the proposed black metal roof, exterior materials, window placement, and overall color palette. Some members felt the combination of materials and colors lacked cohesion, while also acknowledging efforts to retain wood elements and historic character.

Concerns were also raised about the absence of proposed landscaping, drainage plans, and protection of mature trees during construction. Howland stated that drainage solutions are still being finalized and acknowledged that some trees may need to be removed while others could be preserved through protective measures.

[6:04:14PM](#) Fitzgerald questioned and/or addressed proposed exterior lighting, including table lighting and railing lighting. Howland clarified that decorative lighting would primarily operate at night and that some lighting shown in renderings was illustrative only.

[6:05:36PM](#) The commissioners further reviewed setbacks, roof encroachments, garage dimensions, privacy impacts from windows, and bulk requirements. The debate continued regarding whether the project should be modified to better conform to zoning and historic preservation standards. Discussion ensued.

[6:18:08PM](#) Fugate questioned whether the front entrance was sufficiently visible and identifiable, as required by code. The Commission suggested additional design modifications to make entry more apparent from the street. The Commission further inquired about active construction on site. Howland reported that limited demolition work has begun, including siding removal and mold remediation under a demolition permit, with roof work planned next. Discussion ensued.

[6:22:45PM](#) Fugate opened the meeting for public comment.

[6:24:31PM](#) Sara Smith, a neighboring property owner on South River Street, voiced concerns about the proposed ADU and renovation project, particularly its impact on adjacent properties and the character of the neighborhood. She noted existing roof encroachments near the property line and emphasized the need for proper drainage measures, including gutters, to prevent runoff onto neighboring lots. Smith

questioned whether the ADU design accurately reflects the site's elevation changes and expressed concern that the structure could sit higher than shown in the renderings. She argued that the modern design and rooftop deck are inconsistent with the historic residential character of the area, where traditional pitched-roof homes predominate, and felt the scale of the ADU makes it appear more like a second primary residence than an accessory structure. She also raised concerns about increased stormwater runoff and snowmelt drainage resulting from additional impervious surfaces, urging the commission to require a detailed drainage plan. Finally, Smith expressed concerns about rooftop and railing lighting contributing to light pollution and affecting neighborhood views of the night sky. Overall, she encouraged the commission to carefully consider the project's compatibility with the surrounding neighborhood and its potential impacts on neighboring properties before granting approval.

[6:32:57PM](#) Fugate called for additional public comments. No public comments were made. Fugate closed the meeting for public comment.

[6:33:34PM](#) Following public comment, the commission continued discussing drainage, design compatibility, historic preservation, and neighborhood impacts. Howland agreed that drainage improvements would be necessary and explained that accommodations would be made to address runoff concerns raised by neighboring property owners. Commissioners discussed potential snow-shedding issues, roof overhangs near property lines, and possible solutions such as gutters to protect adjacent properties. Discussion ensued.

[6:38:10PM](#) Questions were also raised about the size, height, and overall massing of the ADU, with several commissioners expressing concern that the modern design, rooftop deck, and scale of the structure felt intrusive and out of character with the surrounding historic neighborhood. While Howland acknowledged that the design was more contemporary than most nearby homes, he explained that the goal was to create a comfortable and functional living space while remaining compliant with city regulations.

A significant portion of the discussion focused on ways to reduce the project's visual impact and improve compatibility with the historic residence. Commissioners suggested modifications to the front entrance, including making the front door more visible and architecturally distinct, both for code compliance and to better reflect the home's historic character. Additional concerns were raised about garage door sizes, window placement and privacy impacts on neighboring properties, exterior lighting, snow retention, and the need to protect mature trees during construction. Howland indicated a willingness to consider revisions, including changes to the front entry, lighting, and other design elements.

[6:55:15PM](#) Commissioners remained divided on the project's historic preservation aspects. Some members argued that the proposal complies with applicable codes and balances preservation with modern living needs, while others felt the cumulative changes—including new roofing, windows, porches, additions, and the ADU design—would significantly diminish the property's historic character. Discussion also centered on whether enough historic features would remain to justify the designation and how the project could better blend with the surrounding neighborhood through modifications to colors, materials, and architectural details. As the discussion concluded, commissioners generally agreed that additional revisions and information would be beneficial before making a final decision.

[7:12:25PM](#) Staff recommended continuing the application to a future meeting to allow the Applicant Team time to address concerns related to the front entrance, colors, landscaping, drainage, historic compatibility, neighborhood character, and other design details. The commission concurred.

[7:21:03PM](#) Smith M. motioned to continue the public hearing item to May 4th, 2026. D. Smith seconded the motion. All were in favor.

- **PH 2:** Consideration of a City-Initiated Text Amendment to Title 5: Business Licenses and Regulations, to add a new chapter, Chapter 5.38: Mobile Vending, which would establish definitions for and regulations around food truck and mobile vending within the City of Hailey. A Draft Ordinance will be presented and no motions, at this time, will be made. **ACTION ITEM**

[7:30:30PM](#) Staff introduced commission to City-Initiated Text Amendment regarding Mobile Vending in Hailey.

[7:31:28PM](#) The commission centered its discussion of proposed mobile vending regulations, focusing on definitions, permitted locations, operational standards, and potential impacts on existing businesses. Commissioner Smith raised questions about how the proposed regulations would apply to individual vendors operating on private property, citing examples of informal vendors currently operating in the community. Staff explained that the proposed temporary vendor definitions were intended to address those situations, while acknowledging that additional work would be needed in future phases of the ordinance.

Commissioners also discussed the distinction between private property and private residences, as well as the zoning districts where mobile vending would be permitted. Staff clarified that the proposed regulations were focused on districts where food sales are already allowed and intentionally excluded areas where such uses would not be appropriate.

[7:35:13PM](#) Additional discussion focused on operational requirements, including bicycle parking, generators, lighting, and screening. Commissioners generally supported encouraging bicycle parking but sought clarification on how requirements would be implemented. Questions were also raised regarding generator noise and safety. The Fire Department indicated that food truck generators are generally safe when operated according to applicable regulations, while staff noted a preference for quieter and safer generator options.

Commissioners also spent considerable time discussing shielding and screening requirements for mobile vending sites, seeking clearer definitions and examples of acceptable screening methods. Staff explained that screening could include landscaping, trees, or other features rather than requiring large permanent structures.

[7:46:42PM](#) Overall, the discussion focused on refining the proposed mobile vending ordinance, with commissioners and staff recognizing that additional clarification and future amendments may be needed to address operational details, location standards, screening requirements, and the interaction between mobile vendors and existing businesses. Discussion ensued.

[7:50:03PM](#) Fugate opened the meeting for public comment.

[7:50:43PM](#) Teal Duncan highlighted concerns about screening requirements and the relationship between mobile vendors and existing businesses. She questioned whether screening standards could create practical challenges, particularly in windy conditions or on leased sites, and expressed concern about potential conflicts between mobile vendors and nearby brick-and-mortar businesses. Duncan also emphasized the importance of evaluating parking availability and identifying appropriate locations where mobile vendors could operate successfully without negatively impacting surrounding businesses. Questions were also raised regarding special event vending. Staff explained that vendors operating during special events are subject to separate permitting requirements, including inspections to ensure compliance with applicable health and safety regulations.

[7:56:45PM](#) Another member of the public requested more information regarding mobile vending, as she knows a few people interested in pursuing. Fugate noted that Staff will help keep the public informed.

[7:59:33PM](#) Fugate closed the meeting to public comment. General discussion by the Commission ensued.

[8:13:00PM](#) Fugate concluded the meeting and reiterated her continuance of the mobile vending discussion. Staff shared the plan of bringing forward a revised version at a later date for the commission to review and discuss.

Administrative Review – NO ACTION ITEM

- [AR 1](#): Accessory Dwelling Unit (ADU) Application, by Scott Goitiandia, for the approval to convert 528 square feet of living area in an existing single-family residence to an ADU – located at 2171 Laurelwood Drive.

No discussion took place.

Staff Reports and Discussion

- Monday, April 20, 2026:
 - o DR/PP: Shapi Shay Subdivision
 - o Discussion : Sustainability Action Plan

[8:13:35 PM](#) Davis provided brief update of items at next meeting.

Adjourn by 8:00 PM - ACTION ITEM

[8:14:38 PM](#) Morawski motioned to adjourn. D. Smith seconded and all were in favor.

Return to Agenda

**Minutes
Hailey Planning and Zoning Commission
Monday, April 20, 2026
5:30 p.m.**

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

[Download Teams](#) | [Join on the web](#)

Or call in (audio only)

[+1- 469-206-8535](tel:+14692068535): [602369677#](tel:+14692068535) United States, Dallas

Phone Conference ID: 602 369 677#

[5:01:32 PM to Order - Hailey Planning and Zoning Commission](#)

- Public Comment for items not on the Agenda.

Consent Agenda - ACTION ITEM

Presentations: To begin at 5:00pm

- A presentation by Staff of the Hailey Sustainability Action Plan, a strategic plan for community and city-initiated actions that support greenhouse gas emissions reductions, resource conservation, and the health and vitality of people and ecosystems in Hailey. A draft plan will be presented, and no motions, at this time, will be made.

[5:03:35 PM](#) Staff introduced the SAP to date, initiatives and efforts undertaken so far, and next steps moving forward.

[5:04:40 PM](#) The commission received a presentation on the Sustainability Action Plan (SAP) and engaged in a detailed discussion about its goals, implementation, and long-term impact. Commissioners raised questions about energy conservation, solar panel integration, water management, leak repairs, landscaping practices, and opportunities for innovation. Several members emphasized the importance of reducing water consumption, engaging landscaping companies and larger businesses in sustainability efforts, and exploring alternative transportation options, including the potential revival of an electric bike program. Questions were also raised regarding the role of Idaho Power, tree removal practices, land stewardship goals, and regional collaboration with neighboring communities such as Bellevue and Ketchum.

Commissioners and members of the public expressed strong support for the Sustainability Action Plan. Public comments highlighted enthusiasm for renewable energy initiatives, particularly the use of

solar power in wastewater operations, and appreciation for the City's commitment to sustainability. Discussion also included the need for public involvement, project prioritization, and methods for tracking progress and outcomes.

Public Hearing: To begin at 5:30pm

- **PH 1:** Continuation of a Design Review Application, submitted by East Oakland International, LLC, and represented by Sage Sauerbrey, owner of Bigwood Tiny Homes, for the construction of a 3,436 square foot residential addition to an existing commercial building located at 400 N. Main Street (Lot 18-20, Block 57, Hailey Townsite) within the Business (B), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts.

5:43:24 PM Dyer presented the details, modifications, and any new additions to the project at 400 N. Main St.

5:44:45 PM Sage Sauerbrey, contractor leading the project, presented detailed information as to building design, exterior materials, site plan details and site circulation, outdoor space, floor plans, and overall compatibility with the existing structure.

5:51:07 PM The Commission reviewed and discussed site accessibility, drainage, snow shedding, landscaping, fencing, parking, utility meters, and tree removal. Sauerbrey explained that ADA access would be incorporated into the design, drainage concerns had been addressed through planned improvements, and some existing trees would be removed due to project requirements. Additional parking spaces are proposed, utility meters will be replaced, and landscaping will be updated while retaining elements consistent with the surrounding area.

Commissioners also discussed the building's architectural design, materials, and relationship to neighboring properties. Questions were raised regarding compatibility with surrounding buildings, construction techniques, the age and condition of the existing structure, and the continued operation of the on-site realty office during redevelopment. Sauerbrey stated that the project seeks to maintain the character of the original building while creating a complementary and less imposing appearance, using primarily the same materials with only limited changes.

6:02:19 PM Additional discussion addressed the integration of residential and commercial uses, building dimensions, elevator installation, and parking management for residents and businesses. Overall, commissioners expressed appreciation for the presentation and support for the proposed improvements, particularly the modernization of the building and infrastructure.

6:19:15 PM Fugate opened the meeting for public comment.

6:20:38 PM Public comments raised concerns about alley access, drainage, and snow impacts on neighboring properties. (Staff was unable to obtain the names of public commentors).

6:24:05 PM The discussion moved to onsite access and parking management for the proposed mixed-use development. Sauerbrey explained that the existing real estate office would maintain access throughout the project and that a small fence would be installed to clearly separate the adjacent properties. Commissioners raised questions regarding business access to the alley and whether the issue should be addressed through administrative review, with multiple commissioners expressing agreement that access concerns should be carefully considered.

Additional discussion centered on parking availability and vehicle management for residents. Commissioner M. Smith asked how the number of vehicles per resident would be controlled, and Sauerbrey responded that resident parking would be limited and governed through lease or contract provisions. Commissioner D. Smith noted that similar developments and businesses have experienced parking challenges in the past, emphasizing the importance of proactively managing parking demand to avoid future conflicts.

Commissioner D. Smith motioned to approve the Preliminary Plat Application. Commissioner M. Smith seconded and all were in favor.

- **PH 2:** Consideration of a Preliminary Plat Application submitted by Guerra-Ori, LLC, and represented by Bruce Smith of Alpine Enterprises Inc., for the development of Shapi Shay Townhomes Subdivision. The subdivision proposes three (3) detached townhomes, each on a subplot ranging from approximately 6,800 square feet to 8,280 square feet in size. The proposed subdivision is located at 2410 Woodside Boulevard (Lot 18, Block 62, Woodside Subdivision No. 15) within the General Residential (GR) Zoning District. **ACTION ITEM**

[6:37:20 PM](#) Dyer provided a detailed explanation of project.

[6:42:43 PM](#) Alex Nelson, member of the Applicant Team, further described the site plan, orientation of buildings, and modifications made since the last hearing (Cottage Text Amendment). Presentation ensued.

[6:51:03 PM](#) The Commission reviewed technical and design aspects (both Preliminary Plat and Design Review Applications) of the proposed project, with discussion led by Nelson regarding energy efficiency, utilities, parking, landscaping, and site layout. Nelson confirmed that the project will use double-glazed, low-emissivity windows to improve energy performance and reduce heating and cooling costs.

Nelson also noted that landscaping efforts will include tree conservation, replacement of any trees impacted by construction, and the use of native, low-maintenance vegetation with grass in non-paved areas. Questions were raised about sewer and water connections, solar wiring, traffic control compliance, and coordination with existing utility infrastructure, including a nearby gas line, which Nelson stated would be properly located and managed by appropriate personnel.

Commissioners and members of the public focused heavily on parking, ADU compliance, landscaping design, and neighborhood compatibility. Nelson explained that the project provides required ADU parking with a combination of garages and exterior spaces totaling nine on-site parking spots, and that waste collection would be handled through individual bins placed at the curb for pickup. Additional discussion addressed snow storage areas, the use of salt-tolerant plants, and overall landscaping aesthetics, with several commissioners emphasizing the importance of improving the visual design and consistency with the surrounding neighborhood. Nelson indicated willingness to refine landscaping plans in response to feedback.

Overall, the discussion reflected general support for the project, with continued attention to landscaping, utility safety, and design (and exterior color) integration.

[7:16:17 PM](#) Commissioner D. Smith motioned to approve the Preliminary Plat Application. Commissioner M. Smith seconded and all were in favor.

- **PH 3:** Consideration of a Design Review Application submitted by Guerra-Ori, LLC, and represented by Jay Cone of Jay Cone Architecture, for the development of three (3) detached

townhomes, each approximately 3,192 square feet in size. Each proposed townhome is two (2) stories in height and includes a two (2) car garage, four (4) bedrooms, and three (3) bathrooms. The proposed townhomes are located at 2410 Woodside Boulevard (Lot 18, Block 62, Woodside Subdivision No. 15) within the General Residential (GR) Zoning District. **ACTION ITEM**

7:18:10PM Commissioner M. Smith motioned to approve. Commissioner D. Smith seconded and all in favor.

Staff Reports and Discussion

- Monday, May 4, 2026:
 - o DR: Worst at 516 S. River St.
 - o TA: Mobile Vending
 - o CUP: Marky's Super Tow

Davis provided update on next agenda items, scheduled for May 4, 2026.

Adjourn by 8:00 PM - ACTION ITEM

Commissioner Morawski motioned to adjourn. Commissioner D. Smith seconded and all in favor.

Return to Agenda

Minutes
Hailey Planning and Zoning Commission
Monday, June 1, 2026
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

[Download Teams](#) | [Join on the web](#)

Or call in (audio only)

[+1-469-206-8535: 602369677#](tel:+14692068535) United States, Dallas

Phone Conference ID: 602 369 677#

Call **to Order - Hailey Planning and Zoning Commission**

- Public Comment for items not on the Agenda.

Consent Agenda:

CA 1: Motion to approve the Findings of Fact for a Conditional Use Permit Application by Mark Gardoski with Marky's Super Tow for the approval of an Impound Yard for vehicles towed by the Hailey Police Department, located at 4181 Glenbrook Drive (Lot 27, Block 42, Woodside Subdivision #10), in the Light Industrial (LI) Zoning District. ACTION ITEM

CA 2: Motion to approve the Findings of Fact for a Design Review Application submitted by Ben and Susan Worst, and represented by Thomas Howland of Howland Architecture, for the construction of a new 945 square foot Accessory Dwelling Unit located above a new, detached 1,148 square foot garage; an addition to the existing 1,688 square foot single-family residence located at 516 South River Street (Lot 16A, Block 8, Hailey Townsite) within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. ACTION ITEM

CA 3: Motion to approve the Findings of Fact for a of a City-Initiated Text Amendment to Title 5: Business Licenses and Regulations, to add a new chapter, Chapter 5.38: Mobile Vending, which would establish definitions for and regulations around food truck and mobile vending within the City of Hailey. A Draft Ordinance will be presented and no motions, at this time, will be made. ACTION ITEM

CA 4: Motion to approve meeting minutes dated April 6, 2026. ACTION ITEM • CA 5: Motion to approve meeting minutes dated April 20, 2026. ACTION ITEM

[5:32:40 PM](#) M. Smith made a motion to approve the consent agenda. Fitzgerald seconded and all in favor.

Public Hearing:

- **PH 1:** Consideration of a City-Initiated Text Amendment amending Hailey’s Municipal Code, Title 15: Building and Construction, Chapter 15.08: Building Code, Section 15.08.020: Amendment of Codes to modify the historic structure year in Item e. 2. Historic Structures, from 1941 to 1975, and to include a rolling 50-year timeline. ACTION ITEM

[5:33:32 PM](#) Dyer explained the purpose of this Text Amendment request. Davis further elaborated on background of amendment, which included the codification of Hailey more recent ordinance regarding the historic preservation of structures in Hailey.

[5:34:40 PM](#) Fitzgerald questioned date and rolling year timeline. Davis provided background as to Council’s decision, as well as alignment with State Code.

[5:35:57 PM](#) Fitzgerald went on to question the age of a structure versus its architectural and design components that qualify a residence or structure as historic. The Commission discussed components of amendments, presently and previously. Commissioners questioned how the historic demolition process works and which board reviews them. Discussion ensued.

[5:39:34 PM](#) Davis explained the process before the Hailey Arts and Historic Preservation Commission (HAHPC), the oversight of the HAHPC, and their role as a recommending body. Discussion ensued.

[5:46:28 PM](#) Fitzgerald motioned to recommend approval by the Hailey City Council. M. Smith seconded and all in favor.

- **PH 2:** Consideration of a City-Initiated Text Amendment amending Hailey’s Municipal Code, Title 17: Zoning Regulations, Chapter 17.08: Supplementary Regulations, Article D. Accessory Dwelling Units and Tiny Homes on Wheels, to align with Idaho law (SB 1354), which allows increased flexibility for the implementation and construction of Accessory Dwelling Units within the City of Hailey. ACTION ITEM

[5:47:47 PM](#) Davis introduced the item. The discussion focused on proposed amendments to the city’s Accessory Dwelling Unit (ADU) regulations to align with recent Idaho state law changes. Davis further explained that Idaho has amended state law regarding housing and ADUs, particularly in response to population growth and housing needs.

- Key state-mandated changes include:
 - Elimination of local requirements for off-street parking for ADUs.
 - Updated ADU definitions that must align with state code.
 - Restrictions on local governments imposing certain regulations on ADUs, including occupancy requirements and some building limitations.
 - Prohibition on imposing more restrictive standards on ADUs than allowed by state law.

Davis noted that a draft ordinance was prepared incorporating these changes.

[5:51:52 PM](#) The Commission repeatedly expressed concern that removing off-street parking requirements could worsen neighborhood parking problems. The Commission questioned the following:

- Interpretation of language regarding on-street and off-street parking.
- Snow removal and winter parking challenges.
- Long-term impacts of increased density on neighborhood parking.

Davis noted that state law limits the city's ability to require parking for ADUs. Several commissioners stated that parking remains their primary concern and should be revisited in the future.

[6:00:45 PM](#) M. Smith shared concerns regarding the removal of long-term occupancy for ADUs. The Commissioners generally viewed long-term occupancy as a potential way to support housing goals. Discussion ensued.

[6:03:58PM](#) Fugate questioned ADU size limitations. Considerable discussion centered on ADU size limitations. The Commission questioned the following:

- Whether ADUs should have maximum or minimum size limits.
- Whether the current "subordinate to the primary dwelling" approach is sufficient.
- Whether a fixed maximum square footage would be clearer than percentage-based limits.

Davis explained that:

- Legal counsel reviewed the proposed size provisions.
- Lot coverage, setbacks, and other bulk requirements already provide controls on ADU scale.

Commissioners expressed differing opinions, with some supporting maximum size limits and others preferring existing standards.

[6:07:31 PM](#) Fitzgerlad questioned why Tiny Homes on Wheels (THOWs) are treated differently from ADUs. Davis explained that THOWs are not classified as ADUs under Idaho law, so the proposed ADU amendments cannot and should not be applied to them. Further discussion centered on the design review process for ADUs and definition of cooking facilities. Davis reminded the Commission that most local ADUs currently do not require design review except in limited circumstances, and that existing definitions generally provide sufficient clarity.

[6:40:53 PM](#) Chair Fugate opened the meeting for public comment. Peggy Miller shared general support for the new language.

[6:41:55 PM](#) Chair Fugate closed the public comment period.

[7:10:31 PM](#) Discussed moved to the idea of two ADUs per lot. The Commission was generally unresponsive given the new language in State Code. The Commission reiterated their parking concerns and further emphasized that parking should be continued to be evaluated in the future.

[7:11:45 PM](#) M. Smith motioned to recommend approval by the Hailey City Council. Morawski seconded and three (3) commissioners voted in favor, with Commissioner Fitzgerald opposed.

- AR 1: Review of the Application for a Lot Line Adjustment submitted by Ben and Susan Worst, located at 516 South River Street (Lots 16 and 17, Block 8, Hailey Townsite).

[7:13:53 PM](#) Davis mentioned the June 15, 2026, meeting agenda.

Staff Reports and Discussion –

- Monday, June 15, 2026: o Pre Application Design Review: Zions Bank o PP Short Plat: Cedar Bend Subdivision

[7:15:07 PM](#) Fitzgerald motioned to adjourn. M. Smith seconded and all were in favor.

Return to Agenda



Staff Report
Hailey Planning and Zoning Commission
Regular Meeting of June 15, 2026

To: Planning and Zoning Commission
From: Ashley Dyer, Community Development City Planner

Proposal: Consideration of a Design Review Preapplication submitted by Zions Bank, represented by Angelica Fierro with Pathe Studio Architecture, for the construction of a new 2,131 square foot commercial development project located at 401 S. Main Street (Lots 1-2 N ½ of 3, Block 17, Hailey Townsite), and within the Business (B), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts.

Hearing: June 15, 2026

Applicant: Zions Bank, represented by Angelica Fierro, with Pathe Studio Architecture
Location: 401 S. Main Street (Lots 1-2 N ½ of 3, Block 17, Hailey Townsite).
Zoning & Lot Size: Business (B), Townsite Overlay (TO), and Downtown Residential Overlay (DRO) Districts; approximately .20 acres (8,992 sq. ft.)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on May 27, 2026, and mailed to property owners on May 27, 2026.

Background and Project Overview. The Applicant is proposing a new 2,131 square foot commercial development project located at 401 S. Main Street (Lots 1-2 N ½ of 3, Block 17, Hailey Townsite), designed and planned for Zions Bank.

The existing building located onsite, previously a real estate office, is slated to be demolished this summer. Zions Bank is working through the process to construct a new 2,131 sq. ft. commercial building at this location. This historic demolition review, pursuant Hailey’s Municipal Code, was considered by the Hailey Arts and Historic Preservation Commission on April 8, 2026.

The Applicant has submitted a Site Plan, Vicinity Map and Colored Rendering, as required by the Preapplication Design Review submittal requirements.

Chapter 17.06: Design Review. Section 17.06.050: Application:

C. Design Review Pre-Application:

- 1. Required: An application for Preapplication Design Review shall follow the procedures and be subject to the requirements established by section [17.03.070](#) of this title, and shall be made by at least one holder of any interest in the real property for which the Preapplication Design Review is proposed.**

- 2. Information Required: The following information is required with an Application for Preapplication Design Review:**
- a. **The Design Review Application form, including project name and location, and Applicant and representative names and contact information.**
 - b. **One (1) eleven inch by seventeen inch (11" x 17") and one electronic copy showing at a minimum the following:**
 - i. **Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: A vicinity map must show the location of adjacent buildings and structures.**
 - ii. **Site plan, to scale, showing proposed parking, loading and general circulation.**
 - iii. **One color rendering of at least one side of the proposed building(s).**
 - iv. **General location of public utilities (survey not required). (Ord. 1226, 2017; Ord. 1191, 2015)**



Items for Discussion:

1. Overall Land Use.

"The purpose of the Business (B) District is to provide areas for general business and commercial activities and a limited number of residential uses. (Ord. 1191, 2015)

"The purpose of the Townsite Overlay (TO) district is to promote the health, safety and welfare of current and future residents of the city of Hailey; to modify the bulk requirements of certain zoning districts in order to better respond to the unique conditions and circumstances of the original Hailey townsite; to encourage infill while retaining neighborhood character; to increase the compatibility and lessen the degree of nonconformity of existing structures; to create

3. Building Design, Materials, and Colors:

The Applicant is proposing Brick Veneer (Norman Brick) in Interstate Brick color, Copper Tone with matte finish in natural Mortar color, with Aluminum Steel metal coping to match exterior glazing. Anodized Aluminum Sheet metal wrapped Canopy Fascia and Soffit to also match exterior glazing system, with Champagne Arcadia Windows. The proposed height of the building is 18 feet tall, which complies with the maximum height of both the Business and TO Zoning Districts.



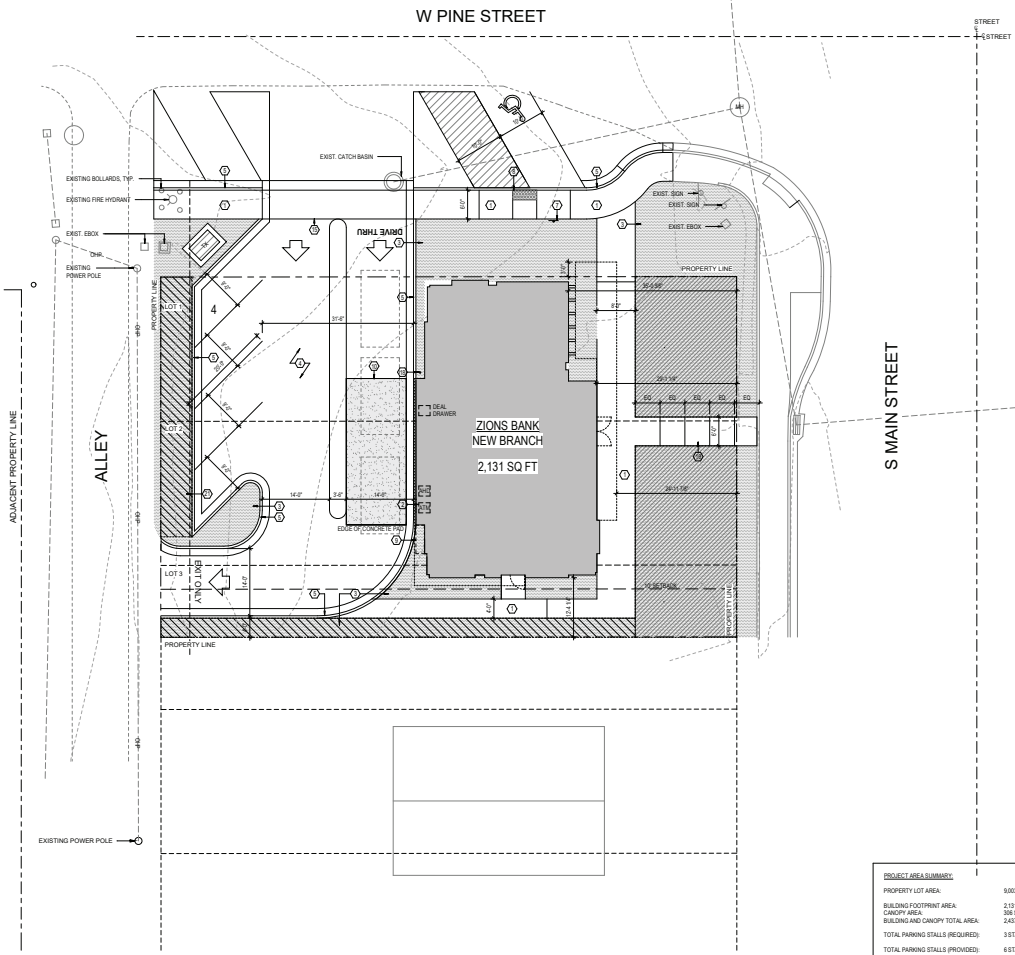
4. Streets, Right-of-Ways, Sidewalks: Required landscaping (street trees) and irrigation for all ROW landscaping, or a combination thereof, as discussed with City Staff and highlighted below.

- **ROW Improvements:** The Applicant intends to improve the public right-of-way on Main Street pursuant to side street standards as noted in Title 18 of Hailey’s Municipal Code. Improvements include but are not limited to curb, gutter, sidewalks, bulbout, street trees, ROW landscaping improvements and irrigation, electrical, and on-street parking.

5. Parking: Parking requirements for commercial development projects located within the Business District require a minimum of one (1) space per 1,000 gross sq. ft. of building. The proposed commercial project is 2,131 sq. ft. in size. This requires a minimum of two (2) onsite parking spaces. The Applicant is proposing four (4) onsite parking spaces, as well as two (2) R.O.W parking spaces, which exceeds the minimum requirement for onsite parking.

6. Water, Sewer, and Fire: This is a Preapplication Design Review. Final drawings that illustrate connection details will be required for full Design Review (to be determined).

Action: No formal action is required at this time, as this is a Preapplication Design Review. The Commission should give feedback on the above items, and any others that may arise, so that the Applicant can incorporate said feedback into their Design Review submittal.



PROJECT AREA SUMMARY

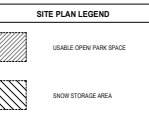
PROPERTY LOT AREA:	9,000 SF (0.207 ACRES)
BUILDING FOOTPRINT AREA:	2,131 SF (0.049 ACRES) (4%)
CANOPY AREA:	388 SF (0%)
BUILDING AND CANOPY TOTAL AREA:	2,437 SF (27%)
TOTAL PARKING STALLS REQUIRED:	33 STALLS (1) (1,000 SF), INCLUDING 1 ACCESSIBLE STALL (1) (25 STALLS)
TOTAL PARKING STALLS PROVIDED:	6 STALLS TOTAL, INCLUDING 4 ON-SITE STALLS, 2 STREET PARKING STALLS (1 ACCESSIBLE)
USABLE OPEN (PARK SPACE) REQUIRED:	865.3 SF (10%)
USABLE OPEN (PARK SPACE) PROVIDED:	1,462 SF (16%)
LANDSCAPE AREA PROVIDED:	2,744 SF (30%)
PAVED SURFACE AREA PROVIDED:	4,153 SF (46%)
SNOW STORAGE AREA REQUIRED:	1,000 SF
SNOW STORAGE AREA PROVIDED:	700 SF

ARCHITECTURAL SITE PLAN
 1" = 10'-0"



- SITE PLAN GENERAL NOTES**
1. THE CONTRACT LIMIT LINE SHALL BE CONCEALED WITH THE TENANT SPACE BUILDING LINE UNLESS NOTED OTHERWISE.
 2. THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS WITH ARCHITECTURAL DRAWINGS AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
 4. REFER TO ELECTRICAL AND ELECTRICAL DRAWINGS HEREIN FOR ADDITIONAL SITE INFORMATION.
 5. THE OWNER'S SIGNAGE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN A SIGNAGE PERMIT FOR ALL SITE STRUCTURAL AND EXTERIOR WALL MOUNTED SIGNAGE.
 6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL ADA PARKING AND TRAFFIC SIGNAGE AS INDICATED IN THE CIVIL DRAWINGS.
 7. REFER TO THE SHEET 11 FOR SITE AREA SIGNAGE.
 8. ALL SITE CONCRETE FINISH CONTROL JOINTS TO BE 1/4" WIDE SAW CUT JOINTS. RE. CIVIL DRAWINGS.

- SITE PLAN KEYED NOTES**
1. CONCRETE SIDEWALK, WITH CONCRETE SCORING PATTERN AND FINISH COORDINATE PATTERN W/ ARCHITECT PRIOR TO COMMENCING WITH CONCRETE POUR. RE. CIVIL.
 2. DRINK-UP ATM. RE. OWNER'S EQUIPMENT MANUFACTURER DOCUMENTS AND ELECTRICAL.
 3. LANDSCAPE AREA. RE. CIVIL AND LANDSCAPE DRAWINGS.
 4. ASPHALT PAVING. RE. CIVIL.
 5. CONCRETE CURB AND GUTTER. RE. CIVIL.
 6. MONUMENT SIGN BY OWNER'S SIGNAGE CONTRACTOR. RE. ELECTRICAL.
 7. ACCESSIBLE PARKING STALL SIGN. RE. CIVIL. COORDINATE LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
 8. TRANCHING/CONCRETE COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE. RE. CIVIL.
 9. PROPOSED GAS METER LOCATION.
 10. CONCRETE PAVED AREA W/ INTEGRAL COLOR. BLACK. RE. CIVIL.
 11. KEYSTONE RETAINING WALL. RE. CIVIL.
 12. POLE LIGHT FEATURE.
 13. ILLUMINATED DIRECTIONAL SIGN BY OWNER'S SIGNAGE CONTRACTOR. RE. ELECTRICAL.
 14. CONCRETE PAVED CROSS WALK. NATURAL COLOR CONCRETE. RE. CIVIL.
 15. CONCRETE PAVING CONTROL JOINT. 1/4" WIDE SAW CUT JOINT. RE. CIVIL.
 16. 4" STEEL BOLLARD.
 17. CONCRETE STAIRS. RE. CIVIL AND DETAIL.
 18. PAINTED STEEL HANDRAIL. RE. DETAIL.
 19. ELECTRICAL TRANSFORMER. RE. ELECTRICAL.



PATHE STUDIO ARCHITECTS • 171 WEST PIERPONT AVE. • SALT LAKE CITY, UTAH 84101 • TEL: 801.521.9111

ZIONS BANK
 HAILEY FINANCIAL CENTER
 401 S MAIN STREET,
 HAILEY, ID 83333

DATE: 02.24.24
 SHEET NO: A0.1
 PROJECT NO: 2328

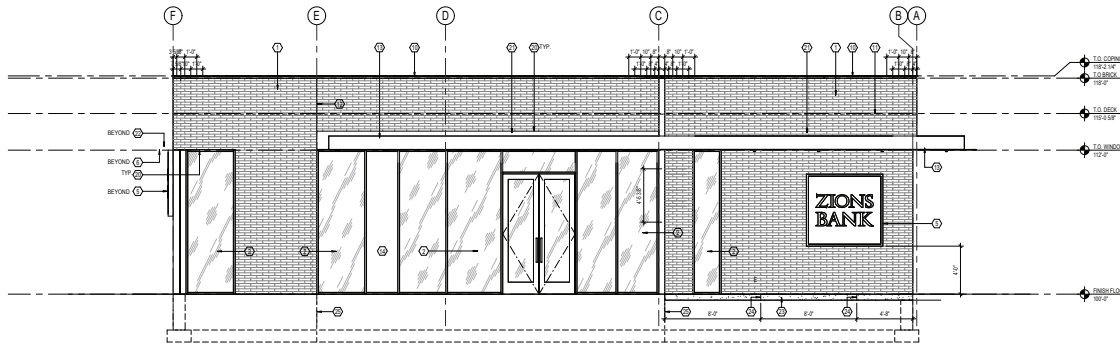
DRAWN BY: SS
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]
 PROJECT MANAGER: [Signature]
 ARCHITECT: [Signature]

ARCHITECTURAL SITE PLAN

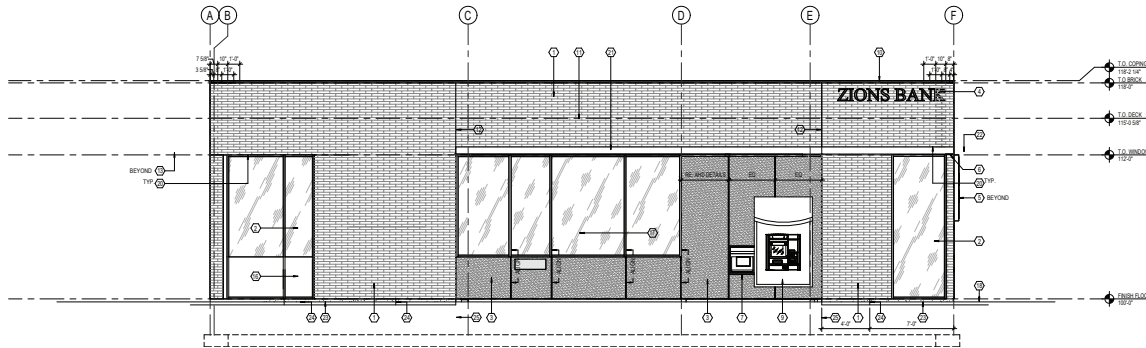
NOT FOR CONSTRUCTION



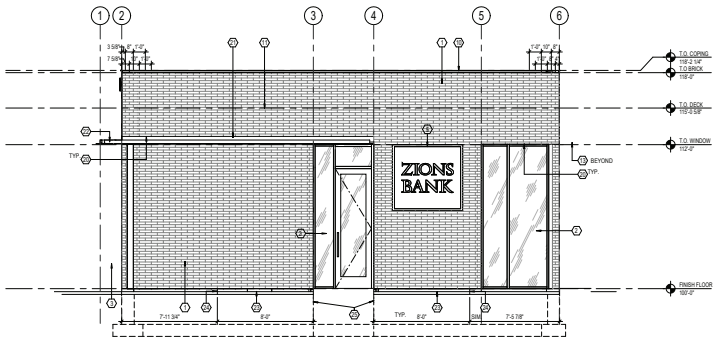
ZIONS BANK
HAILEY, ID
RENDERING - NORTH EAST CORNER



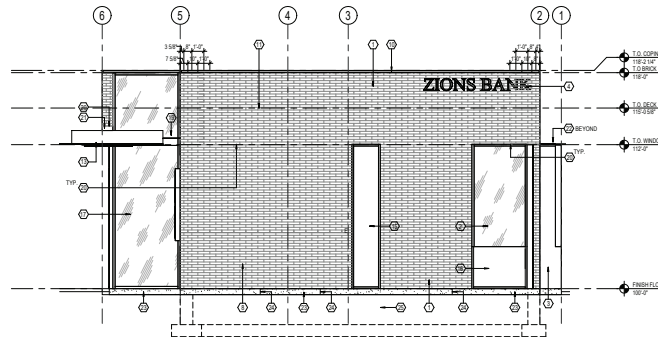
1 EAST ELEVATION
SCALE 1/4" = 1'-0"



2 WEST ELEVATION
SCALE 1/4" = 1'-0"



4 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE 1/4" = 1'-0"

ELEVATION GENERAL NOTES

1. ALL BUILDING SIGNAGE SHALL BE SUBMITTED BY THE SIGNAGE CONTRACTOR AS A DEFERRED SUBMITTAL TO THE CITY FOR REVIEW.

ELEVATION KEYED NOTES

1. BRICK VENEER 3 1/4" NOMINAL BRICK, COLOR INTERSTATE BRICK, COPPER STONE MATTE FINISH. IN NATURAL MOTTE. COLOR SQUARE RATED BED JOINTS BY FLUSH STRUCK HEAD JOINTS FOR BROWNING MATTE. RE DETAIL.
2. ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM. RE WINDOW SCHEDULE. BASE OF DESIGN ANODIA. COLOR CHAMPAGNE. EYE COLOR TO BE COORDINATED BY ARCHITECT.
3. ANODIZED ALUMINUM SIGNAGE. COLOR TBD. ANODIZED - COORDINATE BY SIGNAGE VENDOR AND ELECTRICAL.
4. BRIGLE FACE ILLUMINATED CABINET SIGNAGE. COORDINATE BY SIGNAGE VENDOR AND ELECTRICAL.
5. ANODIZED ALUMINUM KNIFE PLATE. SHEET METAL WRAPPED STEEL. COLOR TO MATCH EXTERIOR GLAZING SYSTEM.
6. AFTER HOURS DEPOSIT RE EQUIPMENT PLAN. RECESSED BRICK VENEER. FINISH 3 1/4" NOMINAL BRICK. COLOR INTERSTATE BRICK. COPPER STONE MATTE FINISH.
7. ATM RE EQUIPMENT PLAN.
8. COLOR ANODIZED ALUMINUM SHEET METAL COPING. COLOR TO MATCH EXTERIOR GLAZING SYSTEM. RE DETAIL.
9. LINE OF ROOF RECK BEYOND SHOWN DASHED.
10. BRICK MASONRY EXPANSION JOINT. RE DETAIL.
11. 0.04" COLOR ANODIZED ALUMINUM SHEET METAL WRAPPED CANOPY FRAMA AND SHEET. COLOR TO MATCH EXTERIOR GLAZING SYSTEM. RE CEILING PLAN AND CANOPY DETAILS.
12. UNGLAZED COLOR ANODIZED ALUMINUM COMPOSITE SPANDREL PANEL. GLAZED W/0 CURTAIN WALL MULLION. RE WINDOW SCHEDULE.
13. COLOR ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM. RE WINDOW SCHEDULE. BASE OF DESIGN ANODIA. COLOR CHAMPAGNE. CONCRETE CURB.
14. ADD ETCH GLAZING PANEL. RE GLAZING SCHEDULE.
15. ANODIZED ALUMINUM CURTAIN WALL GLAZING SYSTEM. RE WINDOW SCHEDULE. BASE OF DESIGN ANODIA. COLOR CHAMPAGNE. CONCRETE CURB.
16. PAINTED CANOPY SUPPORT BEAM. COLOR TO MATCH EXTERIOR GLAZING SYSTEM.
17. STEEL MASONRY LINTEL. PAINT POSITION EXPPOSED TO WEAR. PAINT COLOR LIFE-EXPOSED. WOODWORK. GLOSS FINISH.
18. 0.04" COLOR ANODIZED ALUMINUM COURSE FLASHING WITH FLUSH FOLDED FLAT LOOK. SCHEDULE FOR FINISH TO GO. SPANDREL STEEL HOLD DOWN CLAY. COLOR TO MATCH EXTERIOR WALL GLAZING SYSTEM.
19. 0.04" COLOR ANODIZED ALUMINUM SHEET METAL WRAPPED FACIA ABOVE INTERFLATE ROOF. COLOR TO MATCH EXTERIOR GLAZING SYSTEM.
20. ARCHITECTURAL FINISH CONCRETE FOUNDATION WALL WHERE EXPOSED TO VIEW. RE FOUNDATION PLAN.
21. LINE OF CONCRETE PANEL BEAM.
22. FOUNDATION WALL STEP.

EXTERIOR ELEVATIONS

PATHE STUDIO ARCHITECTS • 171 WEST PIERPONT AVE. • SALT LAKE CITY, UTAH 84101 • TEL: 801.521.9111

ZIONS BANK
HAILEY FINANCIAL CENTER
401 S MAIN STREET,
HAILEY, ID 83333

DESIGNED BY: SS
DRAWN BY: SS
PROJECT NO.: ZJB38
DATE: 02.24.16

SHEET NO. A2.1
NOT FOR CONSTRUCTION

Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of June 15, 2026

To: Hailey Planning and Zoning Commission
From: Ashley Dyer, Community Development City Planner

Overview: Consideration of Preliminary Plat Application submitted by John David and Jane McGrew, and Michael James and Geraldine Swisshelm Shane, and represented by Samantha Stahlnecker of Opal Engineering, for the approval to combine Lots 5, 6, & 7, Block 1, Cedar Bend Subdivision into two (2) lots; Lot 5A, comprising 21,040 square feet, and Lot 6A, comprising 21,299 square feet. The proposed subdivision is located within the Limited Residential (LR-1) Zoning District.

Hearing: June 15, 2026

Applicant: John David and Jane McGrew, Michael James and Geraldine Swisshelm Shane
Location: Lots 5, 6, & 7, Block 1, Cedar Bend Subdivision
Zoning/Size: Limited Residential (LR-1) Zoning District; 0.97 acres (42,339 square feet)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on May 27, 2026, and mailed to property owners and public agencies on May 27, 2026.

Background: The Applicant is proposing to subdivide three (3) existing residential lots, Lots 5, 6, & 7, Block 1, Cedar Bend Subdivision (331, 341, & 421 W. Cedar Street) into two (2) lots; Lot 5A, comprising 21,040 square feet in size, and Lot 6A, comprising 21,299 square feet in size.

Procedural History: The Application was submitted on May 24, 2026, and certified complete on June 1, 2026. A public hearing before the Planning and Zoning Commission will be held on June 15, 2026, in the City Council Chambers and virtually via Microsoft Teams

Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: No Comments.
			Life/Safety: No Comments	
			Water and Sewer: The Applicant will need to reconfigure their water and sewer services to eliminate the unused services.	
			Wastewater: There is currently sewer stubs located in the center lot for all three (3) lots. The Applicant shall abandon the connection for Lot 6 while keeping connection for Lot 5 and Lot 7.	
			Water:	

			Building: <i>No Comments.</i>
			Streets:
			Landscaping/Parks: <i>No Comments.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards
			Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			Staff Comments <i>Please refer to the specific standards as noted herein.</i>
16.04.020: Streets:			
Compliant			Standards and Staff Comments
Yes	No	N/A	City Code
			City Standards and Staff Comments
			16.04.020
			Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.
			Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			Staff Comments <i>The subject parcels are located along W. Cedar Street, an existing public street. No new streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.
			Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.
			Staff Comments <i>N/A, as no cul-de-sacs or dead-end streets and alleys are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.
			Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			Staff Comments <i>Access to the existing and reconfigured lots are achieved from W. Cedar Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.
			Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.
			Staff Comments <i>N/A. No new streets are proposed, and all surrounding access streets exist.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.
			Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street

				design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.
			<i>Staff Comments</i>	<i>N/A. No new streets are proposed, and all surrounding access streets are existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.
			<i>Staff Comments</i>	<i>N/A. No new streets are proposed, and all surrounding access streets exist.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G.	Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.
			<i>Staff Comments</i>	<i>N/A. The only public access for the proposed subdivision, W. Cedar Street, exists. No new streets are proposed, and all surrounding access streets are existing.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H.	Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.
			<i>Staff Comments</i>	<i>N/A. No new streets are proposed, and all surrounding access streets exist.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I.	Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			<i>Staff Comments</i>	<i>No drainage features or areas for the proposed subdivision have been shown on the submitted preliminary plat. Drainage for the site shall meet the approval of the City Engineer, prior to issuance of a Building Permit. This has been made a Condition of Approval.</i> <i>The City Engineer will review all proposed storm sewers, drywells and other drainage facilities. Permits shall be obtained for installation of all drywells. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	J.	Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.
			<i>Staff Comments</i>	<i>N/A. No new street signs are proposed, and traffic control signs are not an anticipated need.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	K.	Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.
			<i>Staff Comments</i>	<i>The street accessing the proposed project, W. Cedar Street, is an existing platted street. The proposed internal driveways will be privately maintained.</i>
			L.	Private Streets:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial,

				Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association.
			<i>Staff Comments</i>	<i>N/A, as no private streets are proposed. Each driveway will be maintained by the respective lot owner.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			<i>Staff Comments</i>	<i>N/A, as no private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			<i>Staff Comments</i>	<i>N/A, as no private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	Private street names shall not end with the word "Road", "Boulevard", "Avenue", "Drive" or "Street". Private streets serving five (5) or fewer dwelling units shall not be named.
			<i>Staff Comments</i>	<i>N/A, as no private streets are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			<i>Staff Comments</i>	<i>No private streets are proposed. There is an existing 10'-wide Snow Storage Easement and Public Utility Easement along the property frontage of W. Cedar Street. No shared parking or driveway access areas are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 6.	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall Meet the parking standards of section 17.09.030, Onsite Parking Dimensions. Guest/overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.
			<i>Staff Comments</i>	<i>N/A. No private streets are proposed.</i>
			M.	Driveways:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway.
			<i>Staff Comments</i>	<i>The Applicant is proposing to subdivide the property into two (2) lots, adhering to Standards of the Hailey Municipal Code. The Applicant has stated that each lot will be serviced via their own driveway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 2.	Driveways shall be constructed with an all-weather surface and shall have the following maximum roadway widths: a) Accessing one residential unit: twenty feet (20')

				<p>b) Accessing two residential units: thirty feet (30') No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.</p>
			<i>Staff Comments</i>	<i>The Applicant has not depicted the exact location and dimensions of the proposed driveway for Lot 5A or Lot 6A. The location and dimension of the driveways shall be approved by the Hailey Fire Chief and the Street Department, prior to issuance of a Building Permit. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 3.	Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.
			<i>Staff Comments</i>	<i>The Applicant has not depicted the exact location and dimensions of the proposed driveway for Lot 5A or Lot 6A The location and dimension of the driveways shall be approved by the Hailey Fire Chief and the Street Department, prior to issuance of a Building Permit. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 4.	Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.
			<i>Staff Comments</i>	<i>The Applicant has proposed that each lot will be accessed via its own driveway. No shared driveway areas are currently proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 5.	The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.
			<i>Staff Comments</i>	<i>N/A. No driveways serving more than one dwelling unit is currently proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 6.	No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.
			<i>Staff Comments</i>	<i>The Applicant has not depicted the exact location and dimensions of the proposed driveway for Lot 5A or Lot 6A on the submitted Preliminary Plat. The proposed new driveway's placement shall have the least adverse impact on residential dwelling units (existing and proposed) and the maintenance of existing infrastructure. The Applicant shall meet this standard by scheduling a meeting with the Street Superintendent to discuss the placement of the new driveway.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N.	Parking Access Lane: Multifamily, townhouse developments of greater than four (4) dwelling units, and cottage developments may be served by a parking access lane. A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			<i>Staff Comments</i>	<i>N/A. The proposed subdivision addresses two (2) single-family residential lots.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	O.	Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			<i>Staff Comments</i>	<i>N/A</i>

16.04.030: Sidewalks and Drainage Improvements

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.</p> <p><i>Staff Comments</i> No sidewalks currently exist along the adjacent segments of W. Cedar Street, and no sidewalks are currently proposed. However, the Streets Division Manager requires that the Applicant pay in-lieu fees for the estimated cost of installation for sidewalk improvements. The scope of improvements for in-lieu fee collection shall be reviewed and mutually agreed upon by City Staff and the Applicant, prior to recordation of Final Plat. This has been made a Condition of Approval.</p> <p><i>Staff Comments</i> Drainage appears to be adequate for the site but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to issuance of a Building Permit.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</p> <p><i>Staff Comments</i> Please refer to Section 16.04.030(A), comments noted above, for further information.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.</p> <p><i>Staff Comments</i> N/A. No new sidewalks are proposed with this application.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p>Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.</p> <p><i>Staff Comments</i> N/A. This site is not located adjacent to a public or private street that is not currently a through street.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	<p>The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.</p> <p><i>Staff Comments</i> N/A. The Application is for a Preliminary Plat.</p>

16.04.040: Alleys and Easements

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Alleys:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	<p>Alleys shall be provided in all Business District and Limited Business District developments where feasible.</p> <p><i>Staff Comments</i> N/A. This project is located in the Limited Residential (LR-1) Zoning District.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	<p>The minimum width of an alley shall be twenty-six (26') feet.</p> <p><i>Staff Comments</i> N/A, as no alleys are proposed or existing.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	<p>All alleys shall be dedicated to the public or provide for public access.</p> <p><i>Staff Comments</i> N/A. No alleys are proposed or existing,.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 4.	<p>All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.</p> <p><i>Staff Comments</i> All infrastructure to the site will be installed underground. Such infrastructure will be installed within the existing Public Utility Easements and/or within the public right-of-way.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 5.	<p>Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any</p>

				runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.
			<i>Staff Comments</i>	<i>NA, as no alleys exist and/or are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	Dead-end alleys shall not be allowed.
			<i>Staff Comments</i>	<i>N/A, as no dead-end alleys are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			<i>Staff Comments</i>	<i>There is an existing ten-foot (10') snow storage easement and utility easement along the front of the property boundary, per the existing Cedar Bend Subdivision Plat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.
			<i>Staff Comments</i>	<i>There is an existing ten-foot (10') Snow Storage easement and Utility Easement along the front of the property boundary, per the existing Cedar Bend Subdivision Plat. No other easements are necessary or applicable at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.
			<i>Staff Comments</i>	<i>No natural resource, riparian area, hazardous area or other limitation requires an easement, as specified above, for the proposed subdivision.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.
			<i>Staff Comments</i>	<i>There is an existing 10's-wide Snow Storage and Public Utility Easement that exists along the property frontage and the rear of the property of W. Cedar Street.</i>

16.04.050: Blocks

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.050	<p>Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.</p> <p><i>Staff Comments</i> N/A, as no new blocks are created with the proposed subdivision.</p>
16.04.060: Lots				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.060	<p>Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the district in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.</p> <p><i>Staff Comments</i> All lots conform to the minimum standards for lots located within the Limited Residential (LR-1) Zoning District..</p> <p><u>Required:</u></p> <ul style="list-style-type: none"> - Minimum size of 8,000 square feet - Minimum Lot width: 75 square feet <p><u>Proposed:</u></p> <ul style="list-style-type: none"> - Lot 5A: 21,040square feet/width: 160.56 square feet - Lot 6A: 21,299 square feet/width: 131.22 square feet
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.</p> <p><i>Staff Comments</i> The proposed lots are double the minimum size required by the zoning district, which suggests that the Applicant consider or anticipate future re-subdivision. If a replat occurs, the existing public street will service the site.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).</p> <p><i>Staff Comments</i> N/A, as no double frontage lots are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.</p> <p><i>Staff Comments</i> N/A, as no unbuildable lots are platted. Access, utility, and snow storage easements are shown on the preliminary plat.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p>A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining</p>

				<p>minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.</p> <p><i>Staff Comments</i> N/A, as no flag lots are being proposed with the subdivision.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<p>All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 16.04.020 M2 of this chapter and subsection D of this section. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.</p> <p><i>Staff Comments</i> The Applicant intends for proposed Lots 5A and 6A to be considered single-family residential lots, and both lots have frontage on the public street, W. Cedar Street.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	<p>In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e., lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.</p> <p><i>Staff Comments</i> N/A, as this project is not located within the Townsite Overlay (TO) District.</p>
16.04.070: Orderly Development				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<p>Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.</p> <p><i>Staff Comments</i> N/A, there are only two lots within the proposed subdivision and will only be a single phase of development for each lot associated with this subdivision.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.</p> <p><i>Staff Comments</i> N/A, as the Applicant is not requesting a phased subdivision.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</p> <ul style="list-style-type: none"> a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance. <p><i>Staff Comments</i> N/A</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ol style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and

				<p>pedestrian traffic.</p> <ol style="list-style-type: none"> 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. 5. Park land shall be most appropriately located on the Contiguous Parcels. 6. Grading and drainage shall be appropriate to the Contiguous Parcels. 7. Development shall avoid easements and hazardous or sensitive natural resource areas. <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<i>Staff Comments</i>	<i>N/A, as the Applicant is only proposing to subdivide three (3) parcels and all streets exist within the subdivision.</i>
16.04.080: Perimeter Walls, Gates and Berms				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	<p>The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.</p>
			<i>Staff Comments</i>	<i>N/A, as no perimeter walls, gates, landscape berms or retaining walls are proposed.</i>
16.04.090: Cuts, Fills, Grading and Drainage				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.</p>
			<i>Staff Comments</i>	<i>The proposed subdivision complements the pattern of the surrounding area. The current site conditions are mostly flat, with robust vegetation, and no drainage channels or other significant hydrological/geological features within the property boundary.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	<p>A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.</p>
			<i>Staff Comments</i>	<i>N/A, as the City Engineer has not required a Soils Report from the Applicant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<p>A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information:</p> <ol style="list-style-type: none"> a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.

			<i>Staff Comments</i>	<i>Preliminary grading, drainage, and any street and utility improvements will be reviewed at final design by the City Engineer.</i>
			B.	Design Standards: The proposed subdivision shall conform to the following design standards:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.
			<i>Staff Comments</i>	<i>Preliminary grading, drainage, and any street and utility improvements will be reviewed at final design by the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 2.	Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.
			<i>Staff Comments</i>	<i>The site is relatively flat and appears to be well suited for development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.
			<i>Staff Comments</i>	<i>Erosion control and re-vegetation shall be included in final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 4.	Where cuts, fills or other excavation are necessary, the following development standards shall apply: <ul style="list-style-type: none"> a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope. e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.
			<i>Staff Comments</i>	<i>Drainage for the site shall meet the approval of the City Engineer, prior to issuance of a Building Permit. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 5.	The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			<i>Staff Comments</i>	<i>Drainage for the site shall meet the approval of the City Engineer, prior to issuance of a Building Permit. This has been made a Condition of Approval.</i> <i>The City Engineer will review all proposed storm sewers, drywells and other drainage facilities. Permits shall be obtained for installation of all drywells. This has been made a Condition of Approval.</i>

16.04.100: Overlay Districts				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
			A.	Flood Hazard Overlay District:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>The proposed subdivision is located within the Flood Hazard Overlay District and shall comply with Title 17.04J.040 Floodplain Regulations, which includes applying for a Floodplain Development Permit Application for any modifications – building or otherwise – to the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.
			<i>Staff Comments</i>	<i>The proposed subdivision is located within the Flood Hazard Overlay District and shall comply with Title 17.04J.040 Floodplain Regulations, which includes applying for a Floodplain Development Permit Application for any modifications – building or otherwise – to the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision, is not located adjacent to the Big Wood River or its tributaries.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Hillside Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
16.04.110: Parks, Pathways and Other Green Spaces				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.
			<i>Staff Comments</i>	<i>N/A. The Applicant is proposing to combine the three (3) existing parcels into two (2) lots. Standard 16.04.110 A.1.a does not apply.</i>
			A. 1.	Parks:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1. a.	The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula: P = x multiplied by .0277

				<p>“P” is the Parks contribution in acres “x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</p>
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.1.b	In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a park shall be reduced by 75%, but in no event shall the area required for a park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.
			<i>Staff Comments</i>	<i>N/A. The subdivision is located within the Limited Residential (LR-1) Zoning District. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units. d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			<i>Staff Comments</i>	<i>N/A, as the Subdivision will be made up of individual lots with individual private ownership of each lot.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
			D.	Minimum Requirements:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 1.	Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.

			<i>Staff Comments</i>	<i>N/A. No “common” private green space is proposed with this development. All ongoing maintenance and standards for green space on individual lots shall be the responsibility of the lot’s owner.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 5.	Pathway: Pathways shall have a minimum twenty-foot (20’) right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The city may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a park for every square foot of qualified dedicated Pathway right-of-way.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 2.	Shall provide safe and convenient access, including ADA standards.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 3.	Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is

				privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 4.	Shall be configured in size, shape, topography and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 5.	Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 6.	Shall require low maintenance or provide for maintenance or maintenance endowment.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. 2.	Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
			G.	Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 1.	Shall meet the minimum applicable requirements required by section 4.10.04 of this section.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 2.	Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 3.	The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110(A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 4.	The private ownership and maintenance of green space shall be adequately provided for by written agreement.
			<i>Staff Comments</i>	<i>N/A. Please refer to Sections 16.04.110(A) and 16.04.110 (D.1) for further detail.</i>
			H.	In-Lieu Contributions:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 1.	After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.

			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110 (A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 2.	The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in Sections 4.10.5.4 and 4.10.5.5 of these ordinances. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110 (A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 3.	Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110 (A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 4.	In-lieu contributions must be segregated by the city and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110 (A) for further detail.</i>

16.05: Improvements Required:

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.
			<i>Staff Comments</i>	<i>The Applicant intends to construct all necessary infrastructure, if the project is approved.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.
			<i>Staff Comments</i>	<i>This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.
			<i>Staff Comments</i>	<i>This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of

				approval of all improvements as complete and satisfactory by the City engineer, except those parks shall be guaranteed and maintained by the developer for a period of two years.
			<i>Staff Comments</i>	<i>This standard will be met.</i>
16.05.020: Streets, Sidewalks, Lighting, Landscaping				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.020	<p>Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.</p>
			<i>Staff Comments</i>	<p><i>All public infrastructure shall meet City specifications. No streetlights are needed nor proposed at this time.</i></p> <p><i>In June 2024, the Planning and Zoning Commission held a public hearing for the exploration of Hailey Municipal Code updates. This public hearing (June 3, 2024) included a discussion about additional water conservation measures that the City may wish to pursue. This topic was fully embraced by Planning and Zoning Commissioners. Additional landscaping/irrigation requirements for recently approved subdivisions in Hailey (Sunbeam, Colorado Gulch) were cited as model examples of water conservation measures that positively impact natural resource stewardship in Hailey. Given this precedence and the Applicant's receptivity, the following shall be added as a plat note to the Final Plat and applicable to the proposed subdivision:</i></p> <p><i>"The following turf landscape restrictions shall apply to Lot 5A and Lot 6A of the Cedar Bend Subdivision.</i></p> <ul style="list-style-type: none"> <i>i. A maximum of forty percent (40%) of the total land area may be turf.</i> <i>ii. Promotes a low water use landscape through the use of drought tolerant plants either from an approved list or as recommended by a landscape design professional.</i> <i>iii. Each residential irrigation system shall be at a 70% distribution uniformity for turf areas and/or utilize EPA water sensor controllers and heads or equivalent".</i> <p><i>This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>Any and all street cuts for the installation of the water and sewer mains shall be per this standard.</i></p> <p><i>Connection details to the existing water and wastewater systems shall be approved by the Water and Wastewater Divisions prior to construction. Street cuts shall be approved by the Streets Division prior to construction. All</i></p>

				<i>infrastructure will be approved by the city prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			<i>Staff Comments</i>	<i>Street names and signage are existing and meet this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A, as no streetlights are shown and/or proposed.</i>
16.05.030: Sewer Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.030	Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<i>Staff Comments</i>	<i>Connection details to the existing sewer system shall be approved by the Wastewater Division prior to construction. All infrastructure will require detailed final construction drawings, to be submitted to the city and approved by the city prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures.</i>
16.05.040: Water Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<i>Staff Comments</i>	<i>Connection details to the existing water system shall be approved by the Water Division prior to construction. All infrastructure will require detailed final construction drawings, to be submitted to the city and approved by the city prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			<i>Staff Comments</i>	<i>N/A, as this project is not within the Townsite Overlay (TO) District.</i>
16.05.050: Drainage				

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.050	<p>Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p> <p><i>Drainage appears to be adequate for the site but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to issuance of a Building Permit.</i></p>
			<i>Staff Comments</i>	
16.05.060: Utilities				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.060	<p>Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</p> <p><i>All infrastructure must meet City of Hailey specifications and will be further evaluated in greater detail at final design. All utilities shall be installed underground and within the proposed Public Utility Easements located along the front of the lot lines.</i></p>
			<i>Staff Comments</i>	
16.05.070: Parks, Green Space				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.070	<p>Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.</p> <p><i>See Section 16.04.110(A) for further detail.</i></p>
			<i>Staff Comments</i>	
16.05.080: Installation to Specifications; Inspections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	<p>Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the city engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.</p> <p><i>All infrastructure must meet City of Hailey specifications and will be further evaluated in greater detail at final design. The inspection process of the proposed public improvements shall include materials testing to ensure compliance with City of Hailey code.</i></p> <p><i>The city will need to select an inspector, to be paid for by the Applicant, for all water, sewer, and roadway infrastructure during construction.</i></p>
			<i>Staff Comments</i>	
16.05.090: Completion; Inspections; Acceptance				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<p>Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the city prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.</p> <p><i>N/A. No infrastructure improvements are proposed with this development.</i></p>
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>The developer may, in lieu of actual construction, provide to the city security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)</p> <p><i>N/A, as the completion of all major infrastructure by the Developer is preferred over bonding.</i></p>
			<i>Staff Comments</i>	
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	<p>As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of "as-built plans and</p>

				specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>As-built drawings will be required. This standard will be met.</i>

Summary and Suggested Conditions: The Commission shall review the Preliminary Plat Application and continue the public hearing, approve the Preliminary Plat, conditionally approve, or deny the Application. If approved, the Final Plat Application will be forwarded to the Hailey City Council for review at a subsequent hearing.

The following are suggested Conditions of Approval for this Application:

General Conditions:

- a) All Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant’s sole expense include, but will not be limited to:
 - i. The City Engineer will review all proposed storm sewers, drywells and other drainage facilities. Permits shall be obtained for installation of all drywells.
 - ii. The location and dimension of the driveway for Lot 5A and Lot 6A shall be approved by the Hailey Fire Chief and the Street Department, prior to issuance of a Building Permit. The Applicant shall reconfigure the water and sewer services to eliminate the unused service lines, by abandoning the connection for Lot 6 while keeping connection for Lot 5 and Lot 7.
- c) All improvements and all improvements within the public right-of-way shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- d) The Final Plat must be submitted within two (2) calendar years from the date of approval of the Preliminary Plat, unless otherwise allowed for within a phasing agreement.
- e) Any subdivision inspection fees due shall be paid prior to recording the Final Plat.
- f) Any application fees due shall be paid prior to recording the Final Plat.
- g) Drainage for the site shall meet the approval of the City Engineer, prior to issuance of a Building Permit.
- h) The Applicant shall pay in-lieu fees for the estimated cost of installation for sidewalk improvements. The scope of improvements for in-lieu fee collection shall be reviewed and mutually agreed upon by City Staff and the Applicant, prior to recordation of Final Plat.
- i) The location and dimension of the driveway for Lot 5A and Lot 6A shall be approved by the Hailey Fire Chief and the Street Department, prior to issuance of a Building Permit.
- j) The Applicant shall apply for a Floodplain Development Permit Application for any modifications – building or otherwise – to the site.
- k) The following turf landscape restrictions shall apply to Lot 5A and Lot 6A of the Cedar Bend Subdivision.
 - i. A maximum of forty percent (40%) of the total land area may be turf.
 - ii. Promotes a low water use landscape through the use of drought-tolerant plants either from an approved list or as recommended by a landscape design professional.

- iii. Each residential irrigation system shall be at a 70% distribution uniformity for turf areas and/or utilize EPA water sensor controllers and heads or equivalent”.

Motion Language:

Approval: Motion to approve a Preliminary Plat Application submitted by John David and Jane McGrew, and Michael James and Geraldine Swisshelm Shane, for the approval to combine Lots 5, 6, & 7, Block 1, Cedar Bend Subdivision into two (2) lots; Lot 5A, comprising 21,040 square feet in size, and Lot 6A, comprising 21,299 square feet in size, finding that the application meets all City Standards, and that Conditions (a) through (k) will be met.

Denial: Motion to deny a Preliminary Plat Application submitted by John David and Jane McGrew, Michael James and Geraldine Swisshelm Shane, for the approval to combine Lots 5, 6, & 7, Block 1, Cedar Bend Subdivision into two (2) lots, Lot 5A, comprising 21,040 square feet, and Lot 6A, comprising 21,299 square feet. The proposed subdivision is located within the Limited Residential (LR-1) Zoning District, finding that _____ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date].

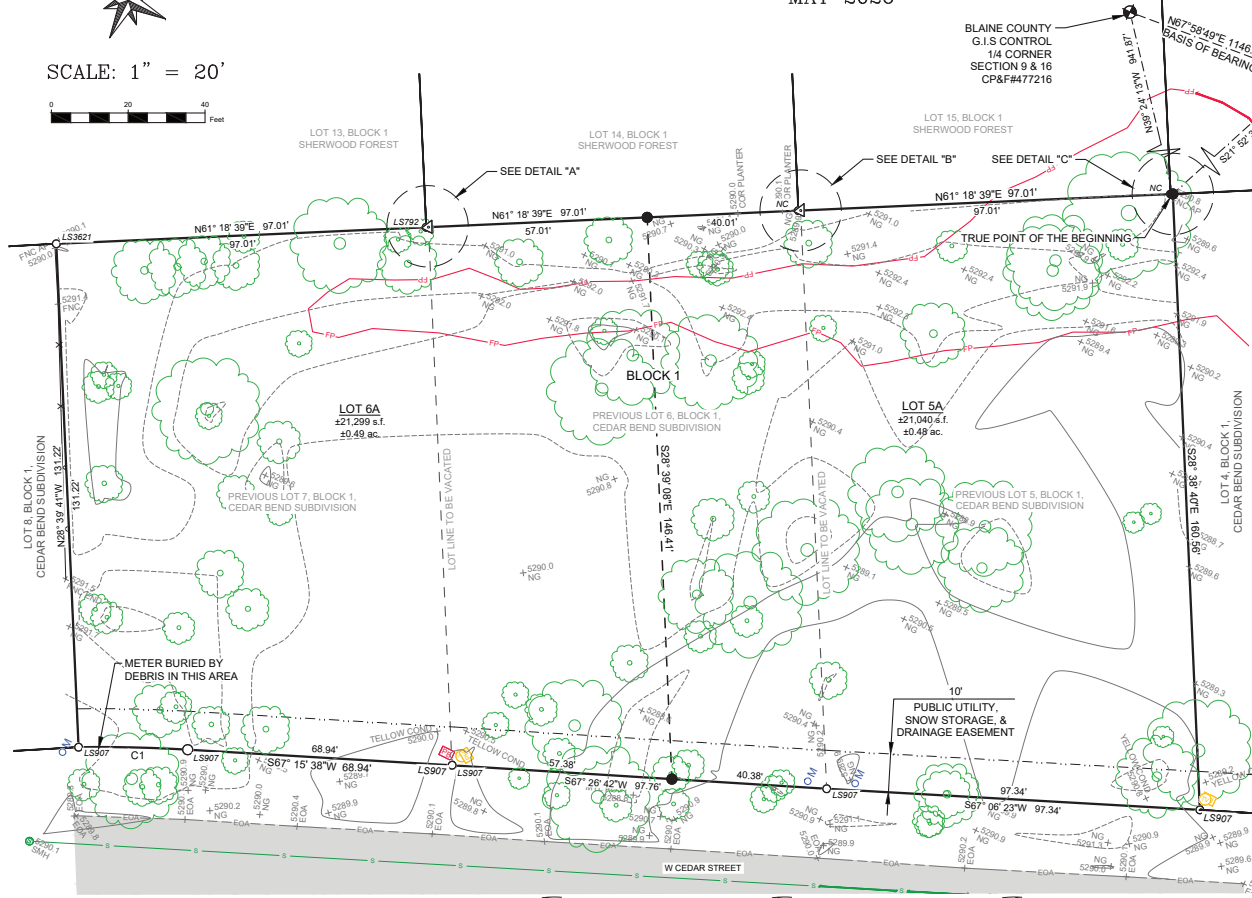
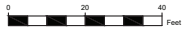
A PRELIMINARY PLAT SHOWING LOTS 5A & 6A, BLOCK 1, CEDAR BEND SUBDIVISION

WHEREIN LOTS 5, 6, & 7, BLOCK 1, CEDAR SUBDIVISION ARE SUBDIVIDED AS SHOWN HEREON
LOCATED WITHIN SECTION 16, T.2N., R.18E., CITY OF HAILEY, B.M., BLAINE COUNTY, IDAHO

MAY 2026



SCALE: 1" = 20'



LEGEND

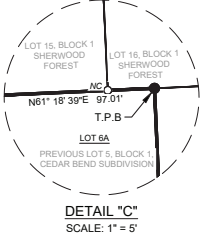
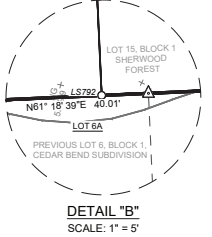
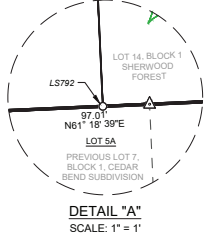
	Property Line		Edge of Asphalt
	Adjoiner's Lot Line		Sewer Main Line
	Proposed Lot Line		Sewer Manhole
	Previous Tax Lot Line		Water Meter
	Fence Line		Cable TV Rider
	Easement, Type & Width as shown		Telephone Rider
	Blaine County GIS Tie		Power Box
	5' Contour Interval		Conifer Tree
	1' Contour Interval		Deciduous Tree
	Found Aluminum Cap, as shown		No Cap
	Found Brass Cap, as shown		T.P.B.
	Found 1/2" Rebar		
	Found 5/8" Rebar		
	Set 5/8" Rebar		
	Calculated Point (Nothing Set)		
	Floodplain per FEMA 2010 Study		
	Asphalt		

- ### SURVEY NARRATIVE & NOTES
- The purpose of this survey is to show the monuments found during the boundary retracement of Lots 5, 6 & 7, Block 1, Cedar Bend Subdivision and subdivide them into Lots 5A & 6A, Block 1, Cedar Bend Subdivision, as shown hereon. The boundary shown is based on found lot corner monuments, the plat of Cedar Bend Subdivision, Instrument Number 444568, and Warranty deeds, Instrument Number 692513, 718255, & 678890, all records of Blaine County, Idaho.
 - The distances shown are measured. Refer to the above referenced documents for the previous record data.
 - Unless specifically shown hereon, this survey does not purport to reflect any of the following which may be applicable to subject real property, including but not limited to: rights associated with lies of possession, natural hazard, encroachments, wetlands, ditches, easements, building setbacks, restrictive covenants, conditions, and restrictions, subdivision restrictions, wetlands, zoning or any other land-use regulations.
 - Due to dense ground vegetation and debris throughout the site, not all trees were located. Trees measuring less than 6" in diameter were not surveyed. Variation of the contour data may occur as a result of the existing ground cover and debris conditions.
 - The owners/subdividers are John David McGrew Trustee & Jane Elizabeth McGrew Trustee, PO Box 309, Hailey, ID 83333, and Michael James Shane Trustee & Geraldine Swissheim Shane Trustee, PO Box 309, Hailey, ID 83333, and 7554 Glen Pointe Ct, Springfield, VA, 22153. The surveyor/representative is Mark Phillips, Phillips Land Surveying, PLLC, 941 Cherry Creek Drive, Hailey, Idaho 83333.
 - The current zoning is Limited Residential 1 (LR1) with Airport Influence Area. Refer to the City of Hailey Zoning Ordinance for more specific information about these zones.
 - A Lot Book Report for the subject property has been issued by Blaine County Title, Inc., file number SGO08023045, with a Date of Policy of May 07, 2026. Certain information contained in said title policy may not appear on this map or may affect items shown hereon. It is the responsibility of the owner or agent to review said title policy. Some of the encumbrances and easements listed in the title report are NOT plotted hereon. Review of specific documents is required, if further information is desired.
 - A 10' Wide Public Utility, Snow Storage, & Drainage easement existing as shown hereon per Cedar Bend Subdivision Plat, Instrument Number 444568.
 - All new utilities shall be underground.
 - The subdivision is within the floodplain of the Big Wood River and the river may, at some time, change channels and substantially alter these properties.
 - The floodplain area designated on this plat is considered by Blaine County and Phillips Land Surveying, PLLC as reasonable for regulatory purposes. However, neither the City of Hailey or Phillips Land Surveying, PLLC represents, guarantees, warrants, or implies that areas outside the designated floodplain area are safe and free from flood or flood danger.

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	28.45'	380.00'	4° 17' 21"	S 65° 10' 07" W	28.44'

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date _____ South Central District Health Dept., EHS



A PRELIMINARY PLAT
LOTS 5A & 6A, BLOCK 1,
CEDAR BEND SUBDIVISION

PHILLIPS LAND SURVEYING, PLLC
HAILEY, IDAHO

1 OF 2
PROJECT: 2026-23

CERTIFICATE OF OWNERSHIP

This is to certify that the undersigned is the owner in fee simple of the following described parcel of land:

A Parcel of land located within Section 16, T.2N., R.18E., B.M., City of Hailey, Blaine County, Idaho, more particularly described as follows:

LOT 5, BLOCK 1 CEDAR BEND SUBDIVISION
LOT 6, BLOCK 1, CEDAR BEND SUBDIVISION
LOT 7, BLOCK 1, CEDAR BEND SUBDIVISION

The easements indicated hereon are not dedicated to the public, but the right to use said easements is hereby reserved for the public utilities and for any other uses indicated hereon and no permanent structures are to be erected within the lines of said easements. We do hereby certify that all lots in this plat will be eligible to receive water service from an existing water distribution system and that the existing water distribution system has agreed in writing to serve all of the lots shown within this plat.

It is the intent of the owner to hereby include said land in this plat.

John David McGrew, Trustee of the McGrew Revocable Trust dated October 14, 2021

Jane Elizabeth McGrew, Trustee of the McGrew Revocable Trust dated October 14, 2021

ACKNOWLEDGMENT

STATE OF
COUNTY OF } ss

On this day of 2026, before me, a Notary Public in and for said State, personally appeared John David McGrew and Jane Elizabeth McGrew, Trustees, of The McGrew Revocable Trust dated October 14, 2021, known or identified to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public in and for said State
Residing in
My Commission Expires

Michael James Shane, Trustee of The Michael and Geraldine Shane Revocable Trust dated July23, 2018

Geraldine Swisshelm Shane, Trustee of The Michael and Geraldine Shane Revocable Trust dated July23, 2018

ACKNOWLEDGMENT

STATE OF
COUNTY OF } ss

On this day of 2026, before me, a Notary Public in and for said State, personally appeared Michael James Shane and Geraldine Swisshelm Shane, Trustees, of The Michael and Geraldine Shane Revocable Trust, dated July 23, 2018, known or identified to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public in and for said State
Residing in
My Commission Expires

SURVEYOR'S CERTIFICATE

I, Mark E. Phillips, a duly Licensed Professional Land Surveyor in the State of Idaho, do hereby certify that this plat is a true and accurate map of the land and points surveyed under my direct supervision and that it is in accordance with the Idaho State Code relating to Plats, Surveys, and the Corner Perpetuation and Filing Act, 55-1601 through 55-1612.

Mark E. Phillips, P.L.S. 16670



BLAINE COUNTY SURVEYOR'S APPROVAL

I, Sam Young County Surveyor for Blaine County, Idaho, do hereby certify that I have checked the foregoing Plat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating to Plats and Surveys

Sam Young, P.L.S. 11577
Blaine County Surveyor

Date

HAILEY CITY ENGINEER'S APPROVAL

The foregoing plat was approved by Brian Yeager, City Engineer for the City of Hailey, on this day of 2026.

City Engineer

HAILEY CITY COUNCIL'S APPROVAL

The foregoing plat was approved by the City Council of Hailey on this day of 2026.

City Clerk

BLAINE COUNTY TREASURER'S APPROVAL

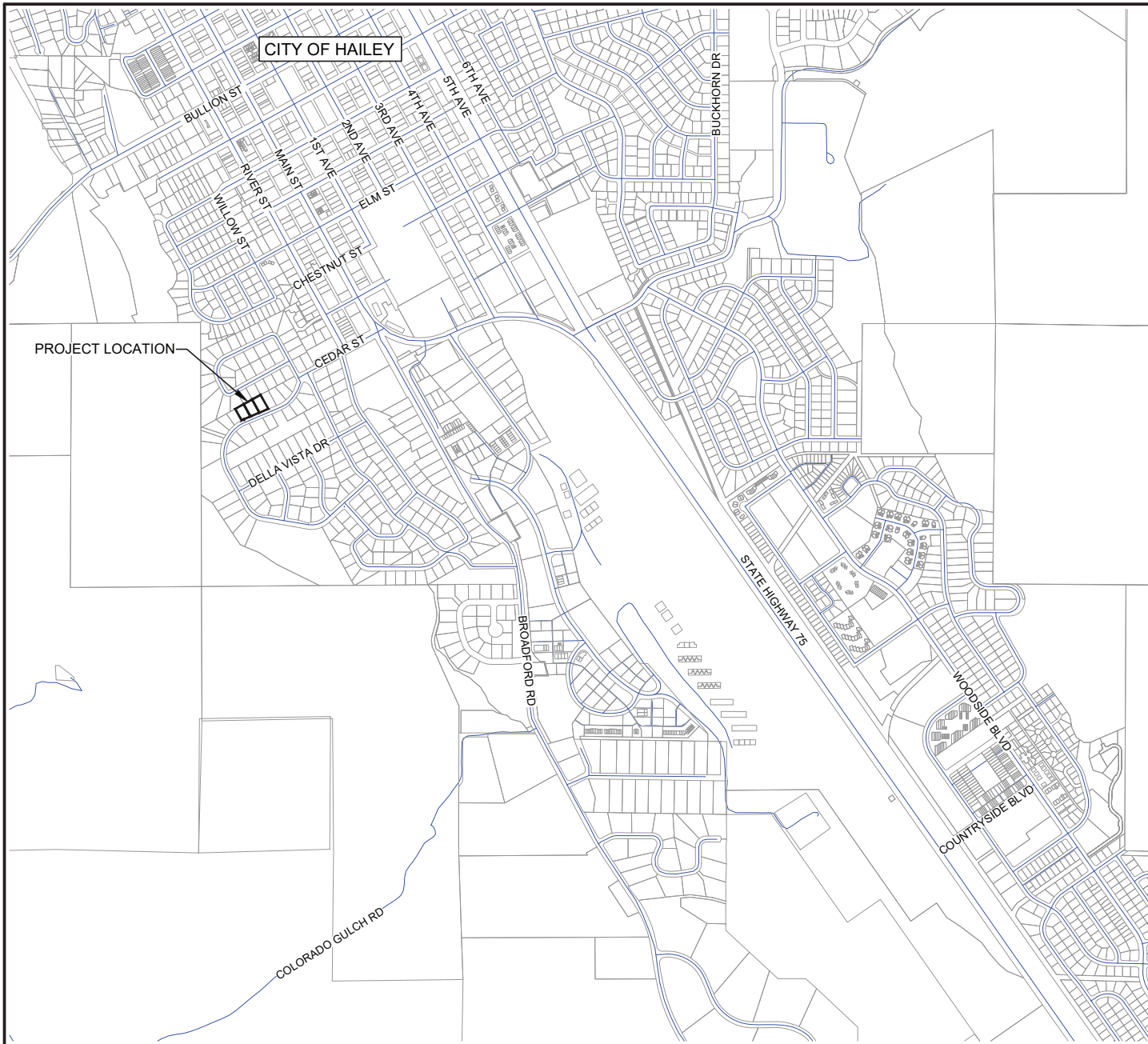
I, the undersigned County Treasurer in and for Blaine County, State of Idaho per the requirements of Idaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this subdivision have been paid in full. This certification is valid for the next thirty (30) days only.

Blaine County Treasurer

Date

BLAINE COUNTY RECORDER'S CERTIFICATE

A PRELIMINARY PLAT
LOTS 5A & 6A, BLOCK 1,
CEDAR BEND SUBDIVISION
PHILLIPS LAND SURVEYING, PLLC
HAILEY, IDAHO
2 OF 2
PROJECT: 2026-23



NOTES:
 PROPERTY BOUNDARIES SHOWN HEREON
 ARE APPROXIMATE PER BLAINE COUNTY GIS.

LEGEND:
 ——— PROPERTY BOUNDARY PER
 BLAINE COUNTY GIS
 ——— ADJOINING PROPERTY BOUNDARY
 PER BLAINE COUNTY GIS
 ——— ROADS PER BLAINE COUNTY GIS

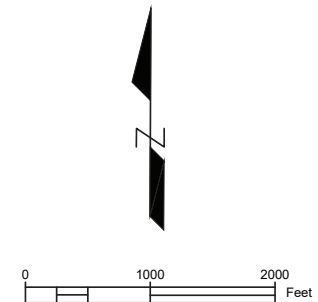


EXHIBIT ONLY



OPAL ENGINEERING, PLLC
 101 E. BULLION ST., STE 3E, HAILEY, ID 83433
 WWW.OPAL-ENGINEERING.COM

VICINITY MAP EXHIBIT

LOTS 5, 6, & 7, BLOCK 7, CEDAR BEND SUBDIVISION
 PREPARED FOR MICHAEL & GERALDINE SHANE REVOCABLE TRUST, AND THE MCGREW REVOCABLE TRUST

26003
 PROJECT NUMBER

EX

Return to Agenda