

AGENDA

Hailey Planning and Zoning Commission

Monday, April 15, 2024

6:00 p.m. (Will begin after the DIF Advisory Committee)

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

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Or call in (audio only)

[+1 469-206-8535,,602369677#](#) United States, Dallas

Phone Conference ID: 602 369 677#

Call to Order

- Public Comment for items not on the Agenda.

Consent Agenda

- [CA 1](#) Motion to approve Meeting Minutes dated March 18, 2024. **ACTION ITEM**
- [CA 2](#) Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Preliminary Plat Application by Butterfly, LLC, to reconfigure Lot 2D, Block 3, Airport West Subdivision #2 (1911 Lear Lane) into two (2) condominium lots, with one (1) 950 square foot unit (approximately) on each lot and a shared 11,953 square foot common area. This project is known as Homeworks Condominium Association, Inc. and it is located within the SCI Industrial (SCI-I) Zoning District. **ACTION ITEM**
- [CA 3](#) Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Design Review Application by Rivian Automotive, LLC, for an improved parking area consisting of electric vehicle charging stations. The Applicant is proposing a total of five (5) standard charging stalls and one (1) pull-in trailer stall onsite, to be located on North Main Street (Lots 6-8, Block 44, Hailey Townsite) within the Business (B), Townsite Overlay (TO), and Downtown Residential Overlay (DRO) Zoning Districts. This project is also associated with a Conditional Use Permit Application, which was formally approved by the Planning and Zoning Commission on January 16, 2024. **ACTION ITEM**

- **CA 4** Motion to approve the Findings of Fact, Conclusions of Law, and Decision Design Review Application submitted by Noe and Rene Orihuela for the construction of a new, two story, 8,218 sq. ft. industrial space to be located at 4323 Glenbrook Drive (Lot 4, Block 42, Woodside Sub #10) within the Light Industrial (LI) Zoning District. **ACTION ITEM**

Public Hearing

- **PH 1** Consideration of a Design Review Pre-Application submitted by Frosty Acres, LLC, for eight (8), two-story duplexes, for a total of 16 residential units. Each unit will be approximately 1,770 square feet in size and access to the site is proposed off of Winterhaven Drive. This project is proposed to be located at 2730 Winterhaven Drive (Lot 1A, Block 61, Woodside Subdivision) within the Limited Business (LB) Zoning District. This project is known as Rock Ridge Townhomes. **ACTION ITEM**
- **PH 2** Consideration of a Rezone Application submitted by St. Charles Borromeo Catholic Church (Roman Catholic Diocese), represented by The Land Group, proposing to rezone Lots 3-10, Block 21, Townsite (311 South 1st Ave) from Transitional (TN) to Business (B), and located within the Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**

Staff Reports and Discussion

- **SR 1** Discussion of building activity, upcoming projects, and zoning code changes.
- **SR 2** Discussion: Next Planning and Zoning Meeting:
 - May 6, 2024:
 - DR: Eric Cueva
 - DR: 637 S River

Return to Agenda

Motion Language
DEVELOPMENT IMPACT FEE ADVISORY COMMITTEE
April 1, 2024
5:00 PM

Hailey Development Impact Fee Advisory Committee Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

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Phone Conference ID: 602 369 677#

Present:

Committee: Owen Scanlon, Jordan Fitzgerald, Janet Fugate, Dan Smith, Sage Sauerbrey, Sam Stahlnecker, Daryl Fauth

Staff: Ashley Dyer, Emily Rodrigue, Robyn Davis, Jessica Parker, Brian Yeager, Lisa Horowitz

5:01:27 PM Call to Order

Chair Fugate introduced new members – Samantha Stahlnecker and Daryl Fauth.

Public Hearing

- **5:02:06 PM PH 1** Proposed amendments to 2024 City Capital Budget Component. The Advisory Committee will form recommendations regarding the proposed budget and review updates to the FY 2024 Capital Improvement Plan for Hailey City Council's consideration as per Idaho Code [67-8205](#). **(ACTION ITEM)**

5:02:53 PM Horowitz began by presenting a brief overview of what the Development Impact Fee requirements are in the State of Idaho using a summarized PowerPoint previously done by Dave Guthrie in 2021. PowerPoint is on file with Community Development.

5:10:16 PM Horowitz, using the staff report in the packet, summarized projects completed in previous year, ongoing projects, noting rolling stock, the contractual obligations called out. Horowitz explained how DIF impact fees collected with building permits work.

[5:12:56 PM](#) Scanlon asked if could invest or can do anything with funds other than a checking account. Yeager explained how the funds are invested.

[5:14:09 PM](#) Horowitz continued using the staff report, noting new projects and briefly summarizing spreadsheet to be presented by Brian Yeager. Staff asked if there were any questions on projects or processes.

[5:17:05 PM](#) Fitzgerald asked if this is an annual report. Staff confirmed.

[5:18:42 PM](#) Stahlnecker asked how funds are determined to be spent. Yeager explained in lieu fees go to replacement, DIF has to go to new construction. Stahlnecker asked how staff differenates, referring to River Street Pathway. Yeager explained River Street pathway was funded by URA. Yeager summarized how City budget works.

[5:21:09 PM](#) Chair Fugate asked for update on URA district in Woodside. Horowitz provided a quick summary of proposed district in south Woodside.

[5:22:15 PM](#) Fauth asked what the committee is tasked with. Yeager explained the committee responsibility and how their decision applies to determining how CIP funds are spent by their recommendation to Council. Yeager explained amounts referenced in the spreadsheet are based off balance as of September 30, 2023 and reasoning why numbers based off this date.

[5:25:25 PM](#) Stahlnecker asked if the \$700,000 is accounted for in the current fiscal year in the table. Yeager clarified how the money is accounted for.

[5:26:09 PM](#) Sauerbrey asked how projects are determined. Horowitz explained how projects are determined primarily by Council. Sauerbrey asked if the projects listed are utilizing DIF Funds. Yeager stated no, not all.

[5:27:06 PM](#) Yeager using hand out provided during meeting, noted new sheets provided summarizing what those lists applies too. Chair Fugate noted this is easier to view this way, as it was kind of incorporated all together previously. Yeager explained brief history of CIP project lists. Yeager stated as DIF Committee is able to comment on any of the projects listed on all sheets provided. Yeager explained how certain funds are already committed – using rolling stock column in 2024, referring to the streets snow removal and how \$423K was committed for a new snow blower. Yeager explained staff would like to deploy the entirety of the DIF transportation fund for the purchase of the snow blower which would liberate some ARPA funds. Smith asked what the ARPA funds liberated would be applied too. Smith confirmed staff is looking for more flexibility. Staff confirmed. [5:36:05 PM](#) Yeager moved on to go through the proposed capital project list and discussed how funds are allocated. Yeager asked the committee how they would like him to proceed.

[5:38:20 PM](#) Chair Fugate asked about the Woodside Blvd bus pull outs. Yeager explained reasoning for relocation of bus stops on Woodside. Chair Fugate asked about emergency light at South 3rd and Main Street. Yeager explained Fire Department need for an emergency stop light. Chair Fugate asked if seems getting closer to fire consolidation. Horowitz provided brief update on fire consolidation. Horowitz referenced how staff report summarizes the proposed projects.

[5:41:39 PM](#) Smith asked about the contingency 10% required for River Street. Yeager explained that 10% is based off the construction cost and how that will affect the project.

[5:44:21 PM](#) Fitzgerald asked if there is a list of projects that were not chosen or receiving funding. Yeager explained how projects not funded are listed.

[5:45:19 PM](#) Stahlnecker asked about pathway. Stahlnecker and Yeager discussed potential improvements to park and area near Curtis Park.

[5:46:08 PM](#) Smith encouraged City to find a plot of land that could use for winter parking and park in summer. Smith and Yeager discussed pathway funds allotted near Whertimier.

[5:48:28 PM](#) Yeager explained that the committee can make a decision tonight to approve or continue to another night. Scanlon asked how projects not funded transition to getting funded. Yeager summarized how this takes place.

[5:50:04 PM](#) Committee and staff discussed if should continue to another hearing.

[5:51:41 PM](#) Scanlon motioned to continue this public hearing to April 15, 2024 at 5:00 PM. Smith seconded. All in Favor.

[5:52:26 PM](#) Smith motioned to adjourn. Sauerbrey seconded. All in Favor.

AGENDA
Hailey Planning and Zoning Commission
Monday, April 1, 2024
6:00 p.m. (Will begin after the DIF Advisory Committee)

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Phone Conference ID: 602 369 677#

Present:

Commission: Owen Scanlon, Jordan Fitzgerald, Janet Fugate, Dan Smith, Sage Sauerbrey
Staff: Ashley Dyer, Emily Rodrigue, Robyn Davis, Jessica Parker

6:00:15 PM Call to Order

- [6:00:26 PM](#) Public Comment for items not on the Agenda. No comment.

6:01:07 PM Consent Agenda

- [CA 1](#) Motion to approve Meeting Minutes dated March 18, 2024. **ACTION ITEM**

- [CA 2](#) Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Preliminary Plat Application by Butterfly, LLC, to reconfigure Lot 2D, Block 3, Airport West Subdivision #2 (1911 Lear Lane) into two (2) condominium lots, with one (1) 950 square foot unit (approximately) on each lot and a shared 11,953 square foot common area. This project is known as Homeworks Condominium Association, Inc. and it is located within the SCI Industrial (SCI-I) Zoning District. **ACTION ITEM**

Davis noted error on Findings and that correct findings will be presented at the next public hearing.

6:01:42 PM Sauerbrey motion to approve CA 1. Scanlon seconded. Smith abstained. All in Favor.

Public Hearing

- [6:02:09 PM PH 1](#) Continuation of a Design Review Application by Rivian Automotive, LLC, for an improved parking area consisting of electric vehicle charging stations. The Applicant is proposing a total of five (5) standard charging stalls and one (1) pull-in trailer stall onsite, to be located on North Main Street (Lots 6-8, Block 44, Hailey Townsite) within the Business (B), Townsite Overlay (TO), and Downtown Residential Overlay (DRO) Zoning Districts. This project is also associated with a Conditional Use Permit Application, which was formally approved by the Planning and Zoning Commission on January 16, 2024. **ACTION ITEM**

[6:02:40 PM](#) Dyer summarized previous hearing and items requested, including landscaping plans, irrigation plan, site management plan, and basic price points proposed. Dyer turned floor to applicant team.

[6:03:45 PM](#) Chelsey Williams introduced herself and co-working. Williams summarized proposed landscaping plan including the irrigation plan. Williams explained the site management plan, including plan for snow removal. Williams explained current price point of 0.36 per kilowatt hour and how that can change in future. Chair Fugate asked if that is across the board. Williams confirmed. Williams stated happy to answer any questions.

[6:05:56 PM](#) Chair Fugate asked what happens if they do not renew the lease. Williams explained it is the responsibly of Rivian to remove the equipment and the property will be left as a parking lot.

[6:06:40 PM](#) Sauerbrey stated no questions and thanked applicant for the amendments. Sauerbrey asked if applicant plans to include benches. Williams explained reason why decided not to add benches due to seasonal changes. Sauerbrey asked if that was something that a property manager could take care of. Sauerbrey suggested having contractor prep space for seasonal changes. Sauerbrey asked if the proposed tree is salt resistant. Williams is unable to comment on if the tree is salt resistant. Sauerbrey noted typo on staff report. Sauerbrey asked if plan to run irrigation to entirety of landscape property. Williams confirmed.

[6:10:18 PM](#) Smith thanked applicant, noting it is much better then what was previously presented.

[6:10:39 PM](#) Fitzgerald asked for clarification of keynote 16. Cheryl Lee, introduced herself, explained it is an existing gas vault onsite and for safety has decided to leave it alone. Fitzgerald suggested to abandoned underground. Fitzgerald asked staff for their input. Davis confirmed can add to conditions to have applicant to verify with utility company for their recommendations. Fitzgerald asked about reasoning for not extending landscaping. Lee confirmed it is due to snow storage.

[6:13:27 PM](#) Scanlon asked how long the lease is. Williams asked if it is required for her to state the term of the lease. Commission explained reasoning for questions on lease. Scanlon asked how much growth is on their property on the one corner and if it is an eyesore. Lee explained existing landscaping, confirming staff recommended tree to remain. Scanlon asked if it would be a requirement to remove the interior lot line. Davis explained not a requirement at this time. Scanlon asked how tall the actual charging equipment is and if will be sorry if don't give a waiver

for a taller fence. Chair Fugate summarized before discussion and why decision to not give a fence waiver was determined.

[6:16:46 PM](#) Chair Fugate asked about decision to replace the turf with gravel. Chair Fugate indicated would really like to see something there, something more inviting for people. Smith suggested landscaping that would not be impacted by snow storage. Chair Fugate asked applicant if they would be amenable to do something like that. Williams explained reason change to gravel. Williams asked if the seating is a requirement of code. Chair Fugate and staff discussed if this is a requirement of code. Commissioners all agreed to recommend or require some sort of seating.

[6:23:28 PM](#) Scanlon asked if there will be a fence along the north property line. Lee stated there is not a fence on that side of the property line, but there is on the other side.

[6:23:54 PM](#) Chair Fugate opened public comment.

[6:24:18 PM](#) Chair Fugate closed public comment.

[6:24:53 PM](#) Commission discussed the gravel area and how to improve, all agreed an amenity of some that adds interest and benefit to the community. All agreed project has improved greatly since first submittal. Commission and staff discussed if this is something that could be done administratively, all agreed. Chair Fugate asked applicant if they are willing to work with staff to make this area more attractive. Williams confirmed, and asked that the while working with staff it be considered that the cost not be prohibitive.

[6:30:50 PM](#) Chair Fugate confirmed two new conditions regarding the gas valve and amenity to gravel area. Davis noted would like to amend some conditions as proposed.

[6:31:24 PM](#) Sauerbrey asked if there is a maintenance plan. Williams confirmed snow removal and trash will be contracted out. Sauerbrey suggested including some sort of maintenance requirement for area including landscaping and gravel.

[6:32:23 PM](#) Davis and Commission discussed proposed conditions – g) amend to all areas, l) remove, add conditions new conditions as discussed.

[6:35:26 PM](#) Scanlon asked if applicant is contracted with Clear Creek to have a garbage station on site. Chair Fugate asked applicant team to confirm will have trash receptacle onsite. Williams confirmed a trashcan will be onsite, and emptied on a regular basis.

[6:37:05 PM](#) Sauerbrey motioned to approve the Design Review Application by Rivian Automotive, LLC, for an improved parking area consisting of electric vehicle charging stations, with a total of five (5) standard charging stalls and one (1) pull-in trailer stall onsite, to be located at North Main Street (Lots 6-8, Block 44, Hailey Townsite) within the Business (B), Townsite Overlay (TO), and Downtown Residential Overlay (DRO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code Titles 17 and 18, and City Standards, provided conditions (a) through (o), as amended, are met. Fitzgerald seconded. All in Favor.

- [6:38:25 PM PH 2](#) Consideration of a Design Review Pre-Application submitted by The Club at Aviation Drive, LLC/ Anthony St. George, represented by architect Daniel Hollis, for construction of a self-storage facility and clubhouse, as well as the retrofitting and relocation of an existing commercial building and greenhouse onsite, to be located on Lots 2 and 3A, Block 4, Airport West Subdivision #2 (1451 and 1551 Aviation Drive), within the SCI – Industrial (SCI-I) Zoning District on approximately 4.2 acres. This project proposes six (6) buildings in total (one (1) existing, five (5) new) with forty-three (43) self-storage units, as well as on-site parking. **ACTION ITEM**

[6:39:17 PM](#) Rodrigue introduced project, noting updates from applicant received today – units will be conditioned spaces, potential for mezzanine floors, and changes to bathrooms. Rodrigue turned floor to applicant team.

[6:41:02 PM](#) Daniel Hollis, summarized proposed project size and location. Hollis summarized site plan as proposed. Hollis discussed need for storage facilities. Hollis explained applicant goal with the project. Hollis explained intent for landscaping, fencing, use of units, access, etc. Hollis discussed proposed unit size and layout. Hollis noted trash enclosure site, rv fill/dump station, that will have a full landscape plan at full design review. Hollis explained how attempting to keep existing landscaping as much as able. Hollis described proposed materials to be used. Hollis explained club house area is still in flux as trying to make it stand out more. Hollis confirmed will have sufficient drainage that will see civil work in next go around. Hollis explained reasoning why designed doors facing interior, away from Aviation Drive. Hollis pointed out snow storage locations. Hollis explained emergency service access. Hollis asked if there are any questions.

[6:54:01 PM](#) Sauerbrey asked if these are for sale units. Hollis confirmed, and will have a property management for the site. Hollis confirmed will get Clear Creek approval on trash locations. Sauerbrey expressed safety concerns. Sauerbrey asked about mini split heat pumps. Hollis confirmed. Sauerbrey requested time be spent on designing buildings to be more energy efficient, expressing concern with all the asphalt and dark colors. Hollis explained intent of building design, and how shadows will be cast in terms of the heat sink. Hollis noted site runs north/south. Hollis continued to discuss how lowering heat buildup.

[7:01:39 PM](#) Smith asked about rationale for a clubhouse with kitchen at a self-storage facility. Hollis explained that it is an amenity that seems to work on previous projects around the country. Smith clarified size. Hollis explained sizes range from 40-60 ft, depending on if install a mezzanine. Smith confirmed mezzanine is optional. Hollis confirmed.

[7:04:22 PM](#) Sauerbrey asked width between the buildings. Hollis confirmed it is a 55 ft drive aisle.

[7:05:23 PM](#) smith asked if does not expect to see any industrial type activities. Tony St. George, applicant, explained uses will be personal will not be used for business use.

[7:08:18 PM](#) Fitzgerald, no questions.

[7:08:39 PM](#) Scanlon suggested additional colors. Scanlon encouraged applicant to think carefully about location and look of hvac system in the green house. Scanlon asked about height of mezzanine. Hollis stated mezzanines will be set at 10 ft . Scanlon asked if units could potentially become residential if allowed.

[7:12:09 PM](#) Chair Fugate asked about parking spaces. Hollis stated each unit has a designated parking space inside, and explained proposed parking location. Chair Fugate agree with Scanlon regarding addition of color. Chair Fugate asked about fire access. Christian Ervin, stated it will be based off of turning radius on civil plans. Ervin explained each unit as developed has to comply with building and fire codes. Ervin summarized potential challenge if were to transition later on to residential. Ervin confirmed comfortable with fire access. Hollis confirmed buildings will be sprinkled.

[7:18:31 PM](#) Chair Fugate asked about relocation of existing building. Hollis explained reasoning. Chair Fugate expressed concern of someone living in the unit. Chair Fugate asked for applicant to elaborate on the concept. Hollis explained it is personal storage. Chair Fugate asked if these units could be used for anything other than personal storage. Applicant explained there would be noxious uses, that cant be offensive with noise, fumes, lights, etc. Chair Fugate asked what is involved with the fill/dump station. Applicant explained it will be similar to what is near the police station and that will be exclusive use. Chair Fugate asked how large the club house is. Hollis stated around 1200 sq. ft. Chair Fugate asked applicant about adding color. Hollis is in agreement to add color. Chair Fugate asked if requires a new curb cut. Hollis confirmed no.

[7:25:22 PM](#) Chair Fugate opened public comment.

[7:25:51 PM](#) Chair Fugate closed public comment.

[7:26:26 PM](#) Fitzgerald asked about compliance of square footage per lot. Smith suggested shifting two lot lines instead of one. Fitzgerald expressed concern of use as being reactional.

[7:30:30 PM](#) Scanlon asked about EV hookups.

[7:32:03 PM](#) Sauerbrey expressed concern of use within this district, agreeing with Fitzgerald. Sauerbrey encouraged use of solar.

[7:35:13 PM](#) Smith suggested reviewing the heat pumps, and insulation. Smith hopes applicant comes back with a comparable landscaping design as neighbors.

No Motion.

[7:37:30 PM](#) Chair Fugate called for a 5-min break.

[7:44:15 PM](#) Chair Fugate called meeting back to order.

[7:44:24 PM](#) Smith disclosed that the applicant is the sub-contractor who did the roofing on his last two projects, that all projects are completed and has no business with the applicant.

- [7:44:56 PM PH 3](#) Continuation of a Design Review Application submitted by Noe and Rene Orihuela for the construction of a new, two story, 8,218 sq. ft. industrial space to be located at 4323 Glenbrook Drive (Lot 4, Block 42, Woodside Sub #10) within the Light Industrial (LI) Zoning District. **ACTION ITEM**

[7:45:25 PM](#) Dyer summarized proposed project and turned floor to applicant team.

[7:46:52 PM](#) Chair Fugate clarified if approved, the residential units would be approved conditional and comply with code at time pulls building permit.

[7:47:25 PM](#) Chad Blincoe, introduced himself, explained goal for project is to develop two spaces for the applicants who are brothers and would have a contractual agreement. Blincoe summarized floor plan, site plan, and use of structure. Blincoe noted parking, snow retention and snow storage along the building. Blincoe stated will be requesting an in lieu fee for sidewalk. Blincoe noted trash enclosure, elaborated on floor plans proposed.

[7:54:30 PM](#) Chair Fugate asked staff if the text amendments comes through, if these ADUs would be reviewed. Davis explained would depend on classification.

[7:55:30 PM](#) Scanlon asked how large the ADU spaces are, noting county permits accessory use if does not include showers. Blincoe explained that not looking at changing what is permitted. Chair Fugate clarified, that based off when draw permit could go with either use. Smith expressed concern of egress. Blincoe clarified egress that could be used. Blincoe noted building is sprinklered.

[7:59:51 PM](#) Fitzgerald noted that has to step out.

[8:00:06 PM](#) Blincoe provided samples of materials proposed to use. Blincoe continued to discuss design of building. Blincoe summarized energy efficiency steps taken. Scanlon asked how would insulate the walls if go route of steel building. Blincoe explained fabric available that can use.

[8:06:05 PM](#) Sauerbrey asked if explored option of overhang over entrance of potential adu units. Blincoe explained cost impact of overhangs.

[8:09:28 PM](#) Sauerbrey asked staff status of text amendment allowing housing in industrial district. Davis explained current status.

[8:09:55 PM](#) Scanlon asked if windows in 10 ft setbacks complies with fire code. Ervin confirmed complies.

Chair Fugate confirmed the commission would like the belly band. Chair Fugate asked where planting trees. Blincoe explained location of proposed trees and seasonal plantings. Chair Fugate asked if applicant has any security concerns. Blincoe explained there are different ways to handle it.

[8:14:52 PM](#) Chair Fugate opened public comment.

[8:15:08 PM](#) Chair Fugate closed public comment.

[8:15:18 PM](#) Smith stated glad to see local business expanding. Sauerbrey thinks it is a well-designed building and matches the space well.

[8:16:25 PM](#) Davis noted modifications to conditions of approval.

8:17:56 PM Smith to approve the Design Review Application by Noe and Rene Orihuela for the approval of the construction of a new 8,128 mixed use building located at 4323 Glenbrook Drive (Lot 4, Block 42, Woodside Subdivision #10) within the Light Industrial (LI) District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions (a) through (p), as amended, are met. Scanlon seconded. All in Favor.

Administrative Review (No Action)

- **AR 1** A Design Review Modification Application submitted by Pilling Family Trust, represented by Manya Yamada, for the modification to the previously approved plans within the Sunbeam Subdivision I, Panorama Point Project, B2 House. The proposed amendment incorporates a 588 square foot basement for only one (1) of the 10 approved cottage lots. The proposed building amendment is located on Sublot 1, Block 3, Sunbeam Subdivision.

- **AR 2** A Lot Line Adjustment, submitted by Michael and Jacqueline Swan wherein the interior lot lines of Hailey Lots 16-18 Block 60, Hailey Townsite (416 North 3rd Avenue) are eliminated. The reconfiguration of the lots would form one (1) lot, Lot 16A, comprising of 8,996 square feet. The Lot Line Adjustment is located within Section 9, T.2N., R.18 E., B.M., City of Hailey, Blaine County, Idaho, in the Townsite Overlay and General Residential (GR) Zoning District.

Staff Reports and Discussion

- **SR 1** Discussion of building activity, upcoming projects, and zoning code changes.
- **SR 2** Discussion: Next Planning and Zoning Meeting:
 - April 15, 2024:
 - DR PReApp: Frosty Acres
 - Rezone: St Charles Borromeo Catholic Church

Davis summarized upcoming meeting that will begin at 5pm per the continuation of the DIF.

8:20:00 PM Scanlon motion to adjourn. Smith seconded. All in Favor.

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 15, 2024, the Planning and Zoning Commission considered and approved a Preliminary Plat Application by Butterfly, LLC, to reconfigure Lot 2D, Block 3, Airport West Subdivision #2 (1911 Lear Lane) into two (2) condominium lots, with one (1) 950 square foot unit (approximately) on each lot and a shared 11,953 square foot common area. This project is known as Homeworks Condominium Association, Inc. and it is located within the SCI Industrial (SCI-I) Zoning District.

The Planning and Zoning Commission enters these Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express on February 28, 2024 and mailed to property owners on February 28, 2024.

Application: Butterfly, LLC, represented by Opal Engineering, submitted a Preliminary Plat Application for approval of a condominium plat/subdivision to an existing set of two (2) live-work buildings located on Lot 2D, Block 3, Airport West Subdivision #2 (1911 Lear Lane). The Design Review Application for the existing buildings was approved on January 21, 2021. Site planning/design, required infrastructure, and landscaping features were addressed during the Design Review process and installed with the construction of the live-work units themselves.

The existing live-work buildings are detached, and each is approximately 950 square feet in size. A detached 742.5 square foot garage (two bay) is also located on the lot, specified as within the "Limited Common Area". Each live-work unit contains a kitchen, bathroom, and entry patio on the first floor, plus a bedroom and additional bathroom on the second floor. Access to the site can be achieved from Mercure Lane and Lear Lane, both private streets. All common areas have been designated on the plat and draft Condominium Declarations have been submitted, which addresses all commonly owned areas.

As a Condominium Conversion, pursuant Section 16.07.070 of the Hailey Municipal Code, the Preliminary Plat is not subject to Section 16.04.110 of the Hailey Municipal Code, which addresses parks, pathways, and other green spaces.

Procedural History: The Application was submitted on February 12, 2024 and certified complete on February 13, 2024. A public hearing before the Planning and Zoning Commission was held on March 18, 2024 in the Council Chambers of Hailey City Hall, and virtually via Microsoft Teams.

These Findings of Fact, Conclusions of Law, and Decision ("Findings") represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey City Council, after deliberations on each of the criteria detailed herein below.

Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Water and Wastewater: <i>No comments</i>
				Planning: <i>No comments</i>
				Building: <i>No comments</i>
				Streets: <i>No comments</i>
				City Arborist: <i>No comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			Staff Comments	Please refer to the specific standards as noted herein.
16.04.020: Streets:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.020	Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			Staff Comments	The parcel is located within the Airport West Subdivision and is surrounded by private streets. Frontages of the live-work buildings face Lear Lane, while the garage frontage faces Mercure Lane. The two (2) designated parking spots are also accessed from Mercure Lane.

				<i>All other standards pertaining to Section 16.04.020: Streets, which are not listed below, have been met and/or are not applicable.</i>
16.04.030: Sidewalks and Drainage Improvements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.
			<i>Staff Comments</i>	<i>No new sidewalks are proposed with this application. There is an existing sidewalk along the front of the building (the property frontage of Lear Lane) leading to each entrance. Limited sidewalks exist on the properties directly to the east and the north, although broader sidewalk connectivity along Lear Lane properties is not present; sidewalks on the private streets were not required as part of the Airport West Subdivision. Sidewalks do exist on all public streets in the project vicinity (Aviation Drive and Merlin Loop).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.030(A) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.030(A) for further details.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.030(A) for further details and/or comments noted by City Staff.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			<i>Staff Comments</i>	<i>N/A, as this is not a lot line adjustment application.</i>
16.04.040: Alleys and Easements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Alleys:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			<i>Staff Comments</i>	<i>No alleys are associated with this site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:

				<p>The following easements are existing:</p> <ul style="list-style-type: none"> - 26'-wide Access and Utility Easement to benefit the north and east property frontages for Lot 2D (Mercure Lane and Lear Lane) - 10'-wide Public Utility, Snow Storage, and Landscaping Easement to benefit the south/southwest property frontages for Lot 2D (Merlin Loop).
16.04.050: Blocks				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.050	<p>Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.</p>
			<i>Staff Comments</i>	<i>No new blocks are proposed, and all existing blocks are shown on the Preliminary Plat.</i>
16.04.060: Lots				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.060	<p>Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the district in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.</p>
			<i>Staff Comments</i>	<i>N/A, as the lot is located within the SCI-I zoning district. Single-family residences are not permitted within the zoning district and the lot conforms to the minimum standards for lots within this district.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<p>If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.</p>
			<i>Staff Comments</i>	<i>N/A, as the existing lot and the proposed condominium lots are not more than double the minimum size required for the zoning district.</i>
16.04.070: Orderly Development				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	<p>Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.</p>
			<i>Staff Comments</i>	<i>N/A, as the building and all City services, roads, utilities, etc. are existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ol style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and

				<p>pedestrian traffic.</p> <ol style="list-style-type: none"> 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. 5. Park land shall be most appropriately located on the Contiguous Parcels. 6. Grading and drainage shall be appropriate to the Contiguous Parcels. 7. Development shall avoid easements and hazardous or sensitive natural resource areas. <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<i>Staff Comments</i>	<i>The Applicant owns two (2) parcels directly adjacent/contiguous to the parcel associated with this Application. These parcels are 41 Mercure Lane ("The Granary") and 1830 Lear Lane ("Lightworks"). These parcels have already been developed/improved. The parcel in question already has structures completed on it as well, and this application addresses a request for a condominium plat for these existing structures. With this context in mind, Staff do not feel an area development plan is necessary.</i>

16.04.080: Perimeter Walls, Gates and Berms

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.
			<i>Staff Comments</i>	<i>N/A, as no perimeter walls, gates or landscape berms are proposed. All other standards pertaining to Section 16.04.080: Perimeter Walls, Gates and Berms, which are not listed below, have been met and/or are not applicable.</i>

16.04.090: Cuts, Fills, Grading and Drainage

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A, as the building and subdivision are existing. The site is relatively flat and no floodplain exists.</i>
				<i>All other standards pertaining to Section 16.04.090: Cuts, Fills, Grading and Drainage, which are not listed below, have been met and/or are not applicable.</i>

16.04.100: Overlay Districts

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

			A.	Flood Hazard Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A, as the existing parcel is not located within the Flood Hazard Overlay District.</i> <i>All other standards pertaining to Section 16.04.100: Overlay Districts, which are not listed below, have been met and/or are not applicable.</i>
16.04.110: Parks, Pathways and Other Green Spaces				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.
			<i>Staff Comments</i>	<i>N/A. As a Condominium Conversion, pursuant Section 16.07.070 of the Hailey Municipal Code, the Preliminary Plat is not subject to the Parks, Pathways and Other Green Spaces standards noted in Section 16.04.110 of the Hailey Municipal Code.</i> <i>All other standards pertaining to Section 16.04.110: Parks, Pathways and Other Green Spaces, which are not listed below, have been met and/or are not applicable.</i>
16.05: Improvements Required:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.010	Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.
			<i>Staff Comments</i>	<i>N/A, as the building is existing and all infrastructure is in place.</i> <i>All other standards pertaining to Section 16.05: Improvements Required, which are not listed below, have been met and/or are not applicable.</i>
16.05.020: Streets, Sidewalks, Lighting, Landscaping				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.020	Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.
			<i>Staff Comments</i>	<i>N/A, as all public infrastructure is existing.</i>

				<i>All other standards pertaining to Section 16.05.020: Streets, Sidewalks, Lighting, and Landscaping, which are not listed below, have been met and/or are not applicable.</i>
16.05.030: Sewer Connections				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.030	Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<i>Staff Comments</i>	<i>N/A, as all sewer connections are existing.</i> <i>All other standards pertaining to Section 16.05.030: Sewer Connections, which are not listed below, have been met and/or are not applicable.</i>
16.05.040: Water Connections				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<i>Staff Comments</i>	<i>N/A, as all water connections are existing.</i> <i>All other standards pertaining to Section 16.05.040: Water Connections, which are not listed below, have been met and/or are not applicable.</i>
16.05.050: Drainage				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.050	Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A, as the building, subdivision and streets are existing.</i> <i>All other standards pertaining to Section 16.05.050: Drainage, which are not listed below, have been met and/or are not applicable.</i>
16.05.060: Utilities				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.060	Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.
			<i>Staff Comments</i>	<i>N/A, as all utilities are in place.</i> <i>All other standards pertaining to Section 16.05.060: Utilities, which are not listed below, have been met and/or are not applicable.</i>

16.05.070: Parks, Green Space				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.070	Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.
			Staff Comments	N/A. Please refer to Section 16.04.110 for further detail.
16.05.080: Installation to Specifications; Inspections				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.05.080	Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the city engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.
			Staff Comments	N/A, as no new construction or improvements are proposed.
16.05.090: Completion; Inspections; Acceptance				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the city prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.
			Staff Comments	N/A, as no new construction or improvements are proposed; however, if infrastructure improvements take place, this standard shall be met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	The developer may, in lieu of actual construction, provide to the city security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)
			Staff Comments	N/A, as all major infrastructure is complete.
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of "as-built plans and specifications" certified by the developer's engineer shall be filed with the City engineer. (Ord. 1191, 2015)
			Staff Comments	If any improvements are installed, as built drawings will be required. This standard will be met.
16.07: Condominiums				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.020	Plat Procedure: The developer of a condominium project shall submit with the preliminary plat application, as required by this title, a copy of the proposed bylaws and condominium declarations of the proposed condominium development. The documents shall adequately provide for the control (including billing, where applicable, and maintenance of all common utilities, common area, recreational facilities and green space. The developer may submit a final plat application following inspection and approval by the building inspector of the footings and setbacks of the condominium building. Prior to final plat approval, the developer shall submit to the City a copy of the final bylaws and condominium declarations to be recorded with the county recorder, including the instrument number(s) under which each document was recorded. (Ord. 1191, 2015).

			Staff Comments	<i>A copy of the Condominium Declarations has been submitted.</i> <i>The City has not and will not in the future determine the enforceability or validity of the Declaration of Covenants, Conditions, and Restrictions or other private agreements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.030	Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular condominium units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific condominium units on the condominium plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the condominium project. (Ord. 1191, 2015)
			Staff Comments	<i>The garage building is existing, the property it sits upon has been designated as Limited Common Area. The Applicant understands that the detached garage may not be sold and/owned separate from any dwelling units within the condominium project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.040	Storage, Parking Areas: Condominium projects shall provide parking spaces according to the requirements of Title 17, Chapter 17.09 of this code. (Ord. 1191, 2015)
			Staff Comments	<i>Per Title 17, Section 17.09.040.01, Condominium units require 1.5 parking spaces per unit. The existing buildings contain two (2) residential units, which require approximately three (3) parking spaces.</i> <i>Two (2) surface parking spaces are designated on site, with another two (2) parking spaces provided within the 2 bay, detached garage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.050	Construction Standards: All condominium project construction shall be in accordance with the IBC, IRC and IFC. (Ord. 1191, 2015)
			Staff Comments	<i>The live-work buildings and garage are existing and were constructed in 2021, and in accordance with the IBC, IRC and IFC Requirements in place at that time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.060	General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by condominium developments. (Ord. 1191, 2015)
			Staff Comments	<i>Upon meeting the proposed Conditions of Approval, the proposed Application does not appear to conflict with other provisions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.07.070	Conversion: The conversion by subdivision of existing units into condominiums shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)
			Staff Comments	<i>Please refer to Section 16.04.110 for further information.</i>

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following recommendations:

1. Adequate notice, pursuant to Title 16, Section 16.03.010, of the Hailey Municipal Code, was given for the public hearing.
2. Upon compliance with the conditions noted below, the Application substantially meets the standards of approval set forth in the Hailey Municipal Code.

DECISION

The Preliminary Plat Application by Butterfly, LLC, to reconfigure Lot 2D, Block 3, Airport West Subdivision #2 (1911 Lear Lane) into two (2) condominium lots, with one (1) 950 square foot unit (approximately) on each lot and a shared 11,953 square foot common area, known as Homeworks Condominium Association, Inc. has been approved, and meets the standards of approval set forth in the Hailey Municipal Code, and is recommended for approval by the Hailey Planning and Zoning Commission, subject to the following conditions, (a) through (j), as noted below:

- a) All Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards where required.
- c) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- d) Any Subdivision Inspection fees due shall be paid prior to recording the Final Plat.
- e) Any Application Development fees shall be paid prior to recording the Final Plat.
- f) Billing and utility payment information shall be addressed in the Condominium Declarations.
- g) Commonly-owned areas shall be addressed in the Condominium Declarations.
- h) All provisions of the Hailey Municipal Code, including but not limited to use regulations and parking requirements shall continue to be met. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- i) The Final Plat must be submitted within two (2) calendar years from the date of approval of the Preliminary Plat, unless otherwise allowed for within a Phasing Agreement.
- j) The detached garages shall not be owned and/or sold separately from the dwelling units within the condominium project.

Signed this ____ day of _____, 2024.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Building Coordinator and Deputy Treasurer

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 1, 2024, the Hailey Planning and Zoning Commission considered and approved a Design Review Application submitted by Rivian Automotive, LLC, for an improved parking area consisting of electric vehicle charging stations. The Applicant is proposing a total of five (5) standard charging stalls and one (1) pull-in trailer stall onsite, to be located on North Main Street (Lots 6-8, Block 44, Hailey Townsite) within the Business (B), Townsite Overlay (TO), and Downtown Residential Overlay (DRO) Zoning Districts.

FINDINGS OF FACT

Notice: Notice for the April 1, 2024, public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on March 13, 2024.

Background and Project Overview: The Application was first submitted on November 12, 2023, and certified complete on November 28, 2023. A public hearing for the project was first held before the Planning and Zoning Commission on December 18, 2023. A subsequent public hearing was held on February 20, 2024, in the Council Chambers and virtually via Microsoft Teams, and continued on record to April 1, 2024.

Rivian Automotive, LLC, submitted a Design Review Application for approval to improve an undeveloped parcel located along Main Street/HWY 75 and construct an electric vehicle charging site, which would consist of five (5) standard charging stalls and one (1) pull-in trailer stall onsite upon initial development. Site plans also show another two (2) standard charging stalls on the northern property line, proposed for possible future installation but not planned for initial site development. The Applicant also submitted a Conditional Use Permit – required for all parking lot developments located on Business (B) Zoning District Parcels – which was heard concurrently with this Design Review Application on December 18, 2023. The Applicant received formal approval for the Condition Use Permit via the Permit application’s Findings of Fact, Conclusion of Law, and Decision, considered and approved by the Planning and Zoning Commission on January 16, 2024.

Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision (“Findings”) represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

Notably, the primary issue of concern with this Application was the provision of specific guidelines related to the proposed landscaping plan and public amenities incorporated therein. The Commission requested a more comprehensive landscaping plan to include the incorporation of trees and additional drought tolerant species hardy to the Zone 4 environment, as well as the installation of an irrigation system and the utilization of the snow storage space as a landscaped area. It was also addressed and recommended that minimal snowmelt on the property be used to further protect the landscaping and trees planted.

On April 1, 2024, the Hailey Planning and Zoning Commission unanimously approved the Design Review Application submitted by Rivian Automotive, LLC, for an improved parking area consisting of electric vehicle charging stations. The Applicant is proposing a total of five (5) standard charging stalls and one (1) pull-in trailer stall onsite, to be located on North Main Street (Lots 6-8, Block 44, Hailey Townsite) within the Business (B), Townsite Overlay (TO), and Downtown Residential Overlay (DRO) Zoning Districts.

Procedural History: The Application was first submitted on November 12, 2023, and certified complete on November 28, 2023. A public hearing for the project was first held before the Planning and Zoning Commission on December 18, 2023. A subsequent public hearing was held on February 20, 2024, in the Council Chambers and virtually via Microsoft Teams, and continued on record to April 1, 2024.

A Public Hearing before the Hailey Planning and Zoning Commission was held on April 1, 2024, in the Hailey City Council Chamber and virtually via GoTo Meeting, at which time the Commission voted to unanimously approve the Design Review Application submitted by Rivian Automotive, LLC, for an improved parking area consisting of electric vehicle charging stations. The Applicant is proposing a total of five (5) standard charging stalls and one (1) pull-in trailer stall onsite, to be located on North Main Street (Lots 6-8, Block 44, Hailey Townsite) within the Business (B), Townsite Overlay (TO), and Downtown Residential Overlay (DRO) Zoning Districts.

Standards of Evaluation:

Chapter 17.06 of the Hailey Municipal Code establishes the criteria for applications for Zoning. For each applicable standard (in bold print), the Administrator makes the following Findings of Fact:

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<i>Complete Application</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering and Streets: <ul style="list-style-type: none"> • <i>The Public Works Director is strongly opposed to the above-ground installation of new utilities on the western, alley-adjacent lot line.</i> • <i>Staff previously requested that the Applicant submit a grading and drainage plan for the alleyway adjacent to the site, including all site pavement improvements and connections to the alley, prior to the project's Pre-Construction Meeting. A grading and drainage plan has been submitted and is included in the plan set associated with this design review continuation.</i> • <i>The Applicant shall submit an Encroachment Permit for pavement connections from the site to the adjacent alleyway.</i> <i>These have been made Conditions of Approval.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
				Life/Safety: <i>The City of Hailey Fire Inspector has reviewed this project and is in approval of fire department access.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
				Water and Sewer: <i>No comments.</i>

				Building: <i>No comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>The Applicant has proposed six (6) signs for the site, to be installed during the initial development of the site. Signs are located at each EV charging stall/parking space, informing the public that the stalls are to be utilized for "Vehicle Charging Only". Additional sub-signage is also presented in site plans, below "Vehicle Charging Only" placards, stating "Priority for vehicles with trailer". The Applicant has noted that this sub-signage will be used as needed. Excluding the sub-signage placards (approx. 0.3 square feet), the total area of the six (6) signs is 7.5 square feet.</i> <i>Given that the signage is not sponsoring a business, and relates to proper site use, no sign permit is needed.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code. Required: 1 space for 1,000 square feet of gross building area.
			Staff Comments	<i>The proposed charging station parking area does not have a structure associated with the use and so the required 1 space per 1,000 feet does not apply.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator
			Staff Comments	<i>The Applicant has proposed a full cut-off luminary ("Sag glass optical distribution") with LED lighting that is compliant with lumen output, pole height, etc. Outdoor lighting standards appear to have been met.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Business (B) and Townsite Overlay (TO) Zoning Districts: <ul style="list-style-type: none"> - Maximum Building Height: 35 feet - Front Yard Setback: 0 feet* - Side Yard Setbacks: 0 feet* - Rear Yard Setback: 0 feet* - Lot Coverage: No maximum

				<p>*Minimum setbacks in the Business (B) and Townsite Overlay (TO) Zoning Districts are 0 feet, unless townhouse units are proposed (varies based on site and unit design). No townhouse units are proposed with this project.</p>
			Staff Comments	<p>No buildings or residential units are proposed for the site. However, the Applicant is proposing six (6) charging stations, each 5' 10" in height.</p> <p>Five (5) charging stations are proposed along the southeastern portion of the lot perimeter. Each of these stations are approximately two feet (2') from the south lot line and spaced ten feet (10') apart from one another. The eastern-most station is approximately thirteen feet (13') from the eastern lot line along Main Street/HWY 75. The western-most station (in the grouping of five (5)) is approximately thirty-four feet (34') from the western lot line along the alley.</p> <p>The stand-alone, pull-through trailer charging stall is located approximately ten feet (10') from the alley (western lot line), twenty feet (20') from the southern lot line, fifty feet (50') from the northern lot line, and fifty feet (50') from the eastern lot line.</p> <p>Electrical utility equipment (transformer, switchgear, metering cabinet, power cabinet) is also proposed for the southwestern quadrant of the lot. This equipment will be located and installed per Idaho Power specifications.</p> <p>Due to the 0-foot setback minimums for lots in the Business (B) and Townsite Overlay (TO) districts and proposed equipment height below 35 feet (5'-10" for charging stations, 6' for parking signs, 7'-9" for electrical utility equipment), all bulk requirements for this project have been met.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070 (A)1 Street Improvements Required	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			Staff Comments	<p>The existing sidewalk currently occupies the property's Main Street/HWY 75 right-of-way frontage, and it is currently in good condition. No replacement or improvement is needed, as determined by Public Works Department Staff.</p> <p>One (1) new drywell & catch basin is proposed for the middle of the lot. A five-foot (5') by five-foot (5') section of concrete, on-site sidewalk is proposed for the center of the eastern lot line, providing interior site connection to the existing Main Street sidewalk.</p> <p>Any existing ground surface and/or curb removed during conduit placement shall be replaced by the Applicant with matching or improved material after conduits have been placed. This has been made a Condition of Approval.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070 (B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			Staff Comments	<p>An irrigation system is being proposed for this lot. This has been made a Condition of Approval.</p>

				<i>Findings: Compliance. This standard is either not applicable or has been met.</i>
Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey				
1. Site Planning: 17.06.080(A)1, items (a) thru (n)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p> <p><i>Staff Comments</i> <i>N/A- No building is proposed for the car charging station parking area.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p><i>Staff Comments</i> <i>There is an existing tree stump in the southeast corner of the lot that will be ground out and removed. The existing trees in the northwest corner of the lot will remain in place and be fenced and protected during site development.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> <i>In early stages of the Applicant’s project conceptualization, both Public Works and Street Department Staff informed the Applicant that site access would be required from the alley to the west of the site; no curb cuts along Main Street/HWY 75 would be permitted. As noted in Section 17.06.070(A)1, a small pedestrian sidewalk is proposed for the eastern lot line, providing access from the site’s interior to the Main Street/HWY 75 right-of-way.</i></p> <p><i>The five (5) non-trailer charging stations are in close proximity to this connector sidewalk and beyond the one (1) trailer charging station, which will be accessed via vehicular traffic moving north to the south and originating in the alley. This placement of the non-trailer charging stations will ensure that pedestrians are shielded from alley traffic and are given a safe point of ingress/egress to the site, instead of having this ingress/egress occur via the alley itself.</i></p> <p><i>Specific site use will also lend itself to safe site circulation, where charging station patrons will park their vehicle for extended periods of time and likely leave the site. With no retail, food service, or residential components to this project, non-charging pedestrian traffic on the site is likely to be minimal to none. Additionally, the absence of any throughways for the site will limit errant drivers from cutting through the site, further supporting safe pedestrian access.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent</p>

				<p>to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			<p><i>Staff Comments</i></p> <p>No buildings are proposed for the site, although the Applicant has shown their electrical utility equipment as located towards the rear of the site. Snow storage is proposed in the opposite corner of the site – no conflicts among the proposed uses are anticipated.</p> <p>At first submittal/public hearing, the Applicant only showed a 6” curb surrounding the electrical utility area. The Applicant has now submitted plans that show Trex seclusion fencing, screening the east, west, and north aspects of the utility area (one aspect must be left accessible for equipment servicing, per Idaho Power standards).</p> <p>The Applicant originally proposed 8’ fencing to screen the charging equipment. However, the permitted fence height in the Business District (B) is 6’ in height so the Applicant amended their plans to comply with the required 6’ fence. It should be noted that the 6’ fence will not provide complete screening of the equipment due to the district’s size restrictions. Code compliance has been met.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)1e</p> <p><i>Staff Comments</i></p>	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p>No buildings are proposed for the site, although multiple pieces of electrical utility equipment are shown. Per the request of City Staff, the Applicant has submitted a site design and traffic plan that limits all site access – including those for services – to the alley along the western property line.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.06.080(A)1f</p> <p><i>Staff Comments</i></p>	<p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> <p>N/A, as no vending machines are proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)1g</p> <p><i>Staff Comments</i></p>	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p> <p>No building is proposed for the parking area. There will be five (5) standard charging stalls and one (1) pull-in trailer stall located along the exterior of the property for a total of 6 charging stalls (spaces).</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)1h</p> <p><i>Staff Comments</i></p>	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p> <p>All access to on-site parking will be achieved from the alley.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)1i</p>	<p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>

			Staff Comments	<p>Snow storage will primarily be provided on the NE corner of the site, opposite all proposed charging stations associated with initial site development. This location appears to be accessible to all types of snow removal vehicles that can accommodate moderate areas of snow. Applicant shall minimize the utilization of snowmelt onsite and within the public right-of-way to further protect all landscaping, existing and proposed.</p> <p>A secondary snow storage location has been proposed for the north side of the utility equipment and screening fence, along the property’s southern boundary.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p>
			Staff Comments	<p>The total lot size is 10,785 square feet. Excluding all electrical utility and landscaping areas (approx. 2,877 square feet), the total improved parking and vehicle and pedestrian circulation area is approximately 7,548 square feet.</p> <p>25% of this area equates to 1,887 square feet of required snow storage.</p> <p>The Applicant has shown 1,901 square feet of snow storage area on site plans, which complies with the required minimum.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p>
			Staff Comments	<p>The designated snow storage area does not have any dimensions less than 10 feet.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p>
			Staff Comments	<p>No snow is proposed to be hauled off site at this time, although Staff encourage the use of a snow hauling plan to keep the site accessible and to minimize the use of snowmelt onsite.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p>
			Staff Comments	<p>Snow storage areas do not appear to impede parking, pedestrian, or utility areas for charging stations proposed with this development. See Section 17.06.080(A)1i for further detail on how snow storage could impact future site development.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p>
			Staff Comments	<p>Snow storage areas are proposed to be landscaped with asphalt and river rock and to minimize the use of snowmelt on site.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p>
			Staff Comments	<p>N/A. No buildings are proposed.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p>
			17.06.080(A)2b	<p>a. Standardized corporate building designs are prohibited.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<i>Staff Comments</i>	<i>N/A. No buildings are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2c	b. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>N/A. No buildings are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2d	c. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>N/A. No buildings are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	d. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>N/A. No buildings are proposed or currently on site. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2f	e. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	<i>N/A. No buildings are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2g	f. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<i>N/A. No buildings are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2h	g. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	<i>N/A. No buildings are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:
			<i>Staff Comments</i>	<i>N/A. No buildings are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
				<ul style="list-style-type: none"> i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii. South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii. Double glazed windows. iv. Windows with Low Emissivity glazing. v. Earth berming against exterior walls vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			<i>Staff Comments</i>	<i>N/A. No buildings are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	<i>N/A. No buildings are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	<i>N/A. No vehicle canopies are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Chapter 17.08.
			<i>Staff Comments</i>	<i>N/A. The Applicant has proposed six (6) signs for the site, to be installed during the initial development of the site. Signs are located at each EV charging stall/parking space, informing the public that the stalls are to be utilized for "Vehicle Charging Only". Additional sub-signage is also presented in site plans, below "Vehicle Charging Only" placards, stating "Priority for vehicles with trailer". The Applicant has noted that this sub-signage will be used as needed. No buildings are proposed for the site, and it will be utilized in a manner that is typical of a parking lot. Findings: Compliance. This standard is either not applicable or has been met.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A. No buildings or accessory structures are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A. No buildings or accessory structures are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>N/A. No walls or fences are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>N/A. No walls or fences are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>N/A. No roofs are proposed for the site.</i>

				<i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A. No buildings are proposed for the site. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>See Section 17.06.080 A(1)d for details on how this standard will be met. The proposed onsite trash receptacle shall be compliant with City Standards and the design shall be approved administratively. This has been made a Condition of Approval. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	h. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>The Applicant originally submitted site plans that showed the installation of a new, above-ground utility pole on the property’s western boundary, adjacent to the alley. As previously noted in this Staff Report, Public Works Staff are heavily opposed to this above ground installation. In conjunction with the first public hearing, the Commission and Staff required that the Applicant shall either install the new utility service from the alley underground, or they shall submit documentation from the utility company servicing the new utility pole, describing the extenuating circumstances that require above ground installation. Documentation from Idaho Power was provided by the Applicant, which states: “All poles within a reasonable distance are not suitable to install necessary equipment to serve the Rivian site with underground power. In order to serve Rivian with underground power, Idaho Power is relocating an existing overhead transformer from the East side of the alley to a pole on the West side of the alley (replacing existing pole). In order to serve the relocated transformer, Idaho Power will also need to install 2 short overhead wires to the pole and transformer (there is existing overhead wires in the same location).” Staff have also spoken directly with the utility contact (Idaho Power) listed on the Applicant’s plan set. Idaho Power has confirmed that all utility lines needed to service the Rivian site will be located underground, upon site development. The transformer relocation and remaining overhead lines in the alley are necessary for ongoing power service provisioning for surrounding properties. Given the explanation and approval granted by Idaho Power, Staff are amenable to the proposed service line orientation. The Commission requested that the Applicant verify and either abandon or leave as-is, the existing gas line that is located on the property with the utility company. The Applicant shall modify or protect said line as per the recommendations from the utility company. This has been made a Condition of Approval. Findings: Compliance. This standard is either not applicable or has been met.</i>
			17.06.080(A)3i	i. Additional appurtenances shall not be located on existing utility poles.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Staff Comments	<i>N/A, as no additional appurtenances are proposed, only the relocation of existing appurtenances. Findings: Compliance. This standard is either not applicable or has been met.</i>
4. Landscaping: 17.06.080(A)4, items (a) thru (n)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<p>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</p> <p><i>Upon first submittal, the proposed landscaping included: (25) shrubs located along Main Street frontage- Gray Rabbitbrush to be planted (3 Gal. Size). These shrubs are commonly found in the surrounding natural landscape and are drought tolerant to the environment.</i></p> <p><i>The second submittal supplied a landscaping plan that includes Rabbit Brush, as well as Blue Giant Hyssop (10 count at 3-gallon size), and Kinnikinnick grass.</i></p> <p><i>The amended submittal proposes Blue Giant Hyssop shrubs (22 count at 3-gallon size), Theissen Saskatoon Trees (3 count at 8' ht.) Kinnikinnick grass, Common Lomatium (30 count at 1-gallon size), Oregon Boxwood ground cover (15 count at 3-gallon size) and Street Kepper Honey locust trees (2 count at 2" cal.). Staff supports the proposed amended landscaping plan; noting that the proposed Theissen Saskatoon and the Common Lomatium are moderately drought tolerant species.</i></p> <p><i>While the Applicant has increased the landscaping onsite, as well as integrated the inclusion of trees, the Commission requested that the Applicant provide more drought tolerant landscaping, hardy to the Zone 4 environment, and incorporate usable public amenities, like flat-topped rocks, bench, or other bench-like features, to the gravel landscaped/snow storage area to better complement the existing character of Hailey and comply with the purpose of Hailey's Design Review code. This has been made a Condition of Approval through administrative review. Please see Standard 17.06.080(A)4f below for further discussion about plantings. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<p>b. All plant species shall be hardy to the Zone 4 environment.</p> <p><i>All proposed species shall be hardy to the Zone 4 environment. This has been made a Condition of Approval through administrative review. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p> <p><i>The Applicant has proposed an irrigation system and will install all apparatuses necessary to achieve an operating irrigation system that provides 100% coverage. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½"). A maximum of twenty percent (20%) of any single tree species shall not be</p>

				<p>exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</p>
			<i>Staff Comments</i>	<p><i>Staff and the Commission made note that trees with caliper of no less than 2.5" shall be planted onsite per the newly revised code section. This has been made a Condition of Approval through an Administrative Review via Staff.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p>
			<i>Staff Comments</i>	<p><i>N/A. This project is not located in the LI or SCI-I Zoning District.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p>
			<i>Staff Comments</i>	<p><i>The Applicant submitted revised landscaping plans which now include Blue Giant Hyssop shrubs (22 count at 3-gallon size), Theissen Saskatoon Trees (3 count at 8' ht.) Kinnikinnick grass, Common Lomatium (30 count at 1-gallon size), Oregon Boxwood ground cover (15 count at 3-gallon size) and Street Kepper Honey locust trees (2 count at 2" cal.) Staff supports the proposed amended landscaping plan; noting that the proposed Theissen Saskatoon and the Common Lomatium are moderately drought tolerant species. Staff requested that the Applicant add a bench or two to the revised landscaping area for public use.</i></p> <p><i>The Commission requested that the Applicant provide more drought tolerant landscaping, hardy to the Zone 4 environment, and incorporate usable public amenities, like flat-topped rocks, bench, or other bench-like features, to the gravel landscaped/snow storage area to better complement the existing character of Hailey and comply with the purpose of Hailey's Design Review code. This has been made a Condition of Approval through administrative review.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p>
			<i>Staff Comments</i>	<p><i>Runoff is directed toward the drywell in the center of the site. River rock ground cover in the planting beds will further support storm water runoff retention on site.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p>
			<i>Staff Comments</i>	<p><i>The Applicant shall be responsible for maintaining all landscaped areas in a tidy and attractive condition. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	<p>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p>
			<i>Staff Comments</i>	<p><i>N/A, as no retaining walls are proposed.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	<p>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p>
			<i>Staff Comments</i>	<p><i>N/A, as no retaining walls are proposed.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>

CONCLUSIONS OF LAW AND DECISION

The following Conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met, and plans shall be modified to meet the comments herein. Infrastructure plans shall be stamped by a licensed engineer. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required:
 - i. Any existing ground surface and/or curb removed during conduit placement shall be replaced by the Applicant with matching or improved material after conduits have been placed.
 - ii. The complete removal and replacement of all paving adjacent to the development is required where street cuts (for the subdivision construction and installation of utility services) exceed 25% of the street area.
 - iii. Final utility design plans shall be submitted to the Community Development Department for review, prior to the issuance of a Building Permit.
- c) The Applicant shall submit an encroachment permit for pavement connections from the site to the adjacent alleyway.
- d) The Applicant shall ensure that the entire utility area is screened with both fencing/walls and drought-tolerant landscaping and adheres to all utility provider site and access requirements, prior to issuance of a Certificate of Completion.
- e) The Applicant shall amend their utility equipment screening to be within 6' in height.
- f) The Applicant shall minimize the utilization of snowmelt onsite and within the public right-of-way to further protect all landscaping, existing and proposed.
- g) The Applicant shall be responsible for maintaining all areas in a tidy and attractive condition.
- h) All exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- i) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Completion can be issued.

- j) The project shall be constructed in accordance with the application or as modified by the Findings of Fact, Conclusions of Law, and Decision.
- k) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of, a valid Building Permit.
- l) Prior to final design, Staff and the Applicant will meet internally to finalize site details. If construction occurs prior to Staff review and approval of the final design, any and all site and/or right-of-way infrastructure installed may need to be removed at the sole expense of the Applicant.
- m) The Applicant shall verify the existing gas line on the property with the utility company and manage accordingly as directed by said company.
- n) The Applicant shall submit an amended landscaping plan to include trees with a caliper of no less than two and one-half inches (2 ½"). Further the gravel landscape/snow storage area shall be improved with drought tolerant landscaping, and an onsite trash receptacle, compliant with City Standards shall also be provided onsite.
- o) The Applicant shall provide useable public amenities onsite, such as flat-topped rocks, benches, or other bench-like features, as approved by Staff.

Signed this ____ day of _____, 2024.

Janet Fugate, Planning and Zoning Chair

Attest:

Jessica Parker, Community Development Building and Operations Manager

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 1, 2024, the Hailey Planning and Zoning Commission considered and approved a Design Review Application submitted by Noe and Rene Orihuela for the construction of a new 8,128 square foot mixed-use building to be located at 4323 Glenbrook Drive (Lot 4, Block 42, Woodside Subdivision #10) within the Light Industrial (LI) District.

FINDINGS OF FACT

Notice: Notice for the April 1, 2024, public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on March 13, 2024.

Background and Project Overview: The Application was submitted on February 7, 2024, and certified complete on February 27, 2024.

Noe and Rene Orihuela submitted a Design Review Application for approval to construct a two-story mixed-use building. The first floor is proposed to be 3,956 gross square feet in size, while the second floor is proposed to be 1,796 square feet in size. Two (2) residential units are also proposed and will be located above the proposed shop space. The total residential unit area (both units) is proposed to be 1,120 square feet in size, or 560 square feet per unit. The project includes 2,376 square feet of detached exterior storage for a total of 8,128 square feet of new development.

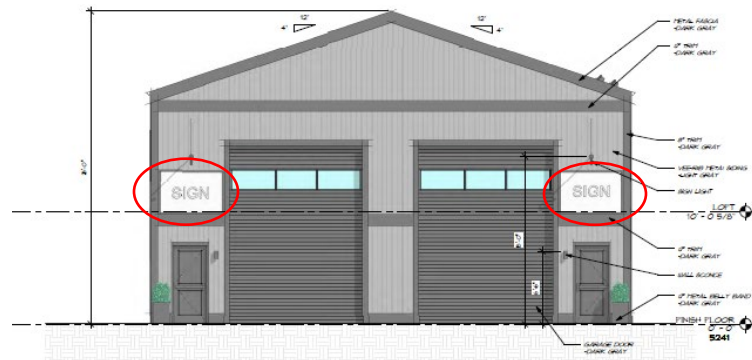
This project is located within the Light Industrial (LI) Zoning District, which does not currently permit dwelling units or residential occupancy. However, due to the evolving circumstances of housing availability and affordability and the dynamic nature of Hailey's Municipal Code, City Staff would like the Commission to consider the request in front of them. As a Condition of Approval for this Design Review Application, the proposed project shall conform with all regulations and standards as outlined in Title 17 of the Hailey Municipal Code, prior to issuance of a Building Permit. The City of Hailey is committed to utilizing the proposed commercial space as permitted until an amendment allows for residential uses - mixed-use, multifamily, or otherwise - within the LI Zoning District.

Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision ("Findings") represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

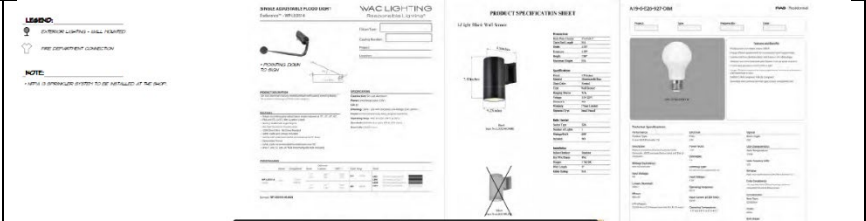
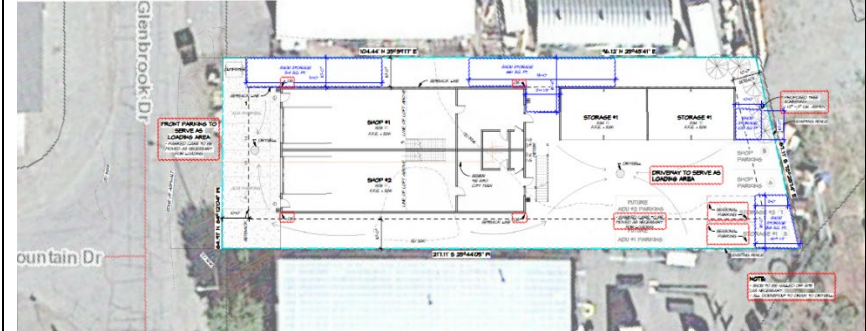
Notably, the primary issue of concern with this Application was the provision of specific guidelines related to the building design. The Commission asked the Applicant to continue the belly band around the entirety of the building horizontally to better reduce the massing and scale of the proposed structure.

On April 1, 2024, the Commission unanimously approved the Design Review Application submitted by Noe and Rene Orihuela for the construction of a new 8,128 square foot mixed-use building to be located at 4323 Glenbrook Drive (Lot 4, Block 42, Woodside Subdivision #10) within the Light Industrial (LI) District.

Procedural History: The Application was submitted on February 7, 2024, and certified complete on February 27, 2024. A public hearing for the project was scheduled before the Planning and Zoning Commission on March 18, 2024, in the Council Chambers and virtually via Microsoft Teams. That meeting was continued on record to April 1, 2024.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Water and Sewer: <i>There is too much snow piled up on this lot to look for an existing water service. If there is a service already to this lot and it can be located, the Applicant shall connect to it and install a meter vault. If a service cannot be found, the Applicant shall install a service according to city standards.</i>
				Findings: <i>Compliance. This standard is either not applicable or has been met.</i>
				Building: <i>No comments</i>
				Streets: <i>No comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in the sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<p><i>The Applicant is proposing two signs: one above each shop door. A Sign Permit Application will be required and approved prior to installation of business signage. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> 

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.09.040 On-site Parking Req.</p> <p><i>Staff Comments</i></p>	<p>See Section 17.09.040 for applicable code. 17.09.040 Light Industrial: one (1) space per 1,000 square feet of building.</p> <p><i>The LI District requires one (1) parking space for every 1,000 square feet of commercial space proposed. The total commercial space proposed is approximately 6,400 square feet, which would require seven (7) onsite parking spaces for commercial use alone.</i></p> <p><i>If permitted outright in the LI Zoning District, the proposed project would be categorized as a mixed-use development. Per the Hailey Municipal Code, mixed-use buildings containing dwelling units are required to provide at least one and a half (1.5) onsite parking spaces per unit. Here, the Applicant is proposing two (2) future residential units. A total of three (3) onsite parking spaces would be required for the residential component of the project; however, since the residential units are less than 1,000 square feet in size, only one (1) onsite parking space is required per unit, or two (2) onsite parking spaces total. If approved to construct the mixed-use building as proposed, a total of nine (9) onsite parking spaces are required. The Applicant is proposing a total of ten (10) onsite parking spaces for the proposed mixed-use building.</i></p> <p><i>Additionally, the Applicant has proposed two (2) accessible spaces along the property's frontage, which is above the requirement.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.08C.040 Outdoor Lighting Standards</p> <p><i>Staff Comments</i></p>	<p>17.08C.040 General Standards</p> <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator. <p><i>The Applicant will install Dark Sky compliant fixtures, downcast and low wattage fixtures.</i></p> <ul style="list-style-type: none"> - Downcast fixtures are proposed to illuminate the two signs by each shop entrance. - Wall Sconces are proposed for the entrance areas as well as the exterior of the buildings. <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>

				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Bulk Requirements</p>	<p>Zoning District: Light Industrial (LI)</p> <p>Zoning District:</p> <ul style="list-style-type: none"> - Maximum Building Height: 35 feet - Front Yard Setback: 10 feet* - Side Yard Setbacks: 10 feet* - Rear Yard Setback: 10 feet* - Lot Coverage: 75% <p>* No townhouse units are proposed with this project.</p> <p>Staff Comments</p> <p><i>Setbacks proposed by the Applicant are as follows and comply with the LI zoning district bulk requirements:</i></p> <ul style="list-style-type: none"> - <i>Maximum Building Height: 28 feet</i> - <i>Front Yard Setback: 10 feet</i> - <i>Side Yard Setbacks: 10 feet</i> - <i>Rear/ alley Setback: 10 feet</i> - <i>Lot Coverage: 37.8%</i> <p><i>All setback, building height, and lot coverage requirements have been met. Findings: Compliance. This standard is either not applicable or has been met.</i></p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.070(A)1 Street Improvements Required</p>	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> <p>Staff Comments</p> <p><i>Pursuant Section 17.06.070, The City may approve and accept voluntary cash contributions in lieu of the above-described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be as follows:</i></p> <ol style="list-style-type: none"> <i>For sidewalk and drainage improvement lengths of ninety (90) linear feet or less, the Applicant may propose an in-lieu payment per the currently adopted fee schedule.</i> <i>For improvement lengths greater than ninety (90) linear feet, the Applicant may propose an in-lieu payment amount based on a stamped engineering estimate for one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus</i>

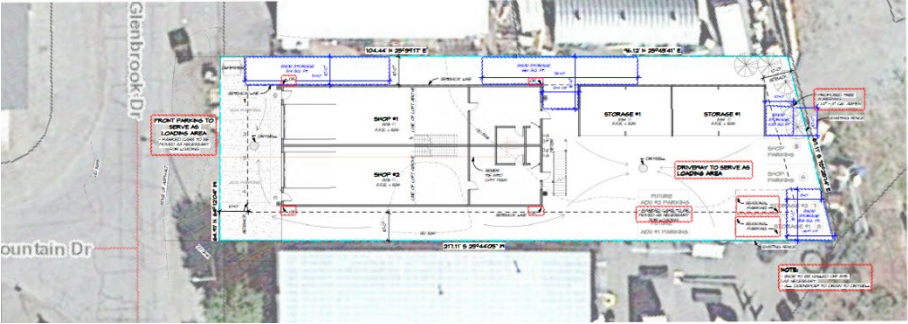
				<p><i>associated engineering costs, and said in-lieu payment is subject to approval by the city engineer.</i></p> <p>iii. <i>Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy.</i></p> <p><i>The total frontage of this project is approximately 65' in length; therefore, an in-lieu payment per the currently adopted fee schedule is appropriate and recommended by City Staff. The Applicant intends to pay in-lieu fees, as recommended by Staff. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<i>N/A. Findings: Compliance. This standard is either not applicable or has been met.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)


Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p>
			<i>Staff Comments</i>	<i>The location and orientation of the proposed building complements the surrounding area and frontage of the buildings facing Glenbrook Drive.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			<i>Staff Comments</i>	<i>N/A- This is an undeveloped lot so there is no existing landscaping- only weeds and brush. No trees are proposed to be removed on the parcel, as none exist.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			<i>Staff Comments</i>	<i>Site access is proposed from Glenbrook Drive. The Applicant is proposing an onsite gravel driveway that leads to the rear of the site for additional site access/parking.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>

			<i>Staff Comments</i>	<i>Metal screening to match the buildings finish is proposed for the trash dumpster and is located toward the front of the site for access from Clear Creek Services. The Applicant provided a loading area towards the front of the property, located in the proposed front parking area. The cars will be moved as needed for deliveries etc. There is another loading area proposed for the driveway towards the rear of the lot. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e <i>Staff Comments</i>	e. Where alleys exist, or are planned, they shall be utilized for building services. <i>N/A, as no alley exists for this site. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f <i>Staff Comments</i>	f. Vending machines located on the exterior of a building shall not be visible from any street. <i>N/A, as no vending machines are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g <i>Staff Comments</i>	g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.) i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street. <i>The lot is located in the LI Zoning District which allows for side and rear parking. The Applicant is proposing 10 onsite parking spaces in total. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h <i>Staff Comments</i>	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic. <i>All access to onsite parking will be achieved from Glenbrook Drive. No alley exists nor is one proposed for this site. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i <i>Staff Comments</i>	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow. <i>The Applicant is proposing onsite snow storage along the front of the building and along the Northern property line within the setback area. As well as the setback area along the northern rear property line, which allows for convenient accessibility to remove the snow.</i> <i>The Applicant will haul snow from the site as necessary. This has been made a Condition of Approval.</i> <i>Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j <i>Staff Comments</i>	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas. <i>The total lot size is 13,585; the total improved parking, vehicle and pedestrian circulation area is approximately 6,081 square feet.</i> <i>25% of this area equates to approximately 1,520 square feet of required snow storage; The Applicant has shown 1,533 square feet of proposed snow storage on</i>

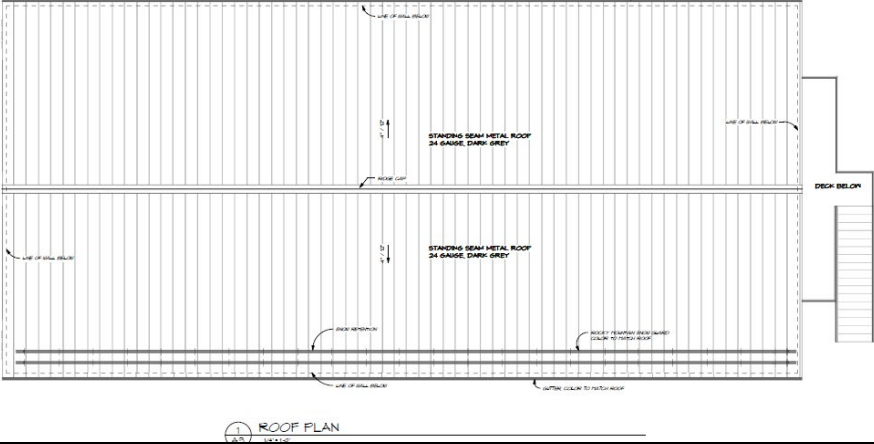
				<p>the site plan, which complies with the required minimum. The Applicant will haul snow from the site as necessary.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p> <p><i>Staff Comments</i> The designated snow storage complies with requirements, there is no proposed snow storage area that is under 10 feet on site.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p> <p><i>Staff Comments</i> The Applicant has proposed to haul snow from the site as necessary which has been made a Condition of Approval.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p> <p><i>Staff Comments</i> It appears that no snow storage areas impede parking spaces, or vehicular and pedestrian circulation of the site.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p> <p><i>Staff Comments</i> The only proposed snow storage areas that will be landscaped are located towards the rear of the property. The Applicant is proposing to plant Aspen deciduous trees along the northeastern corner of the site.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p> <p><i>Staff Comments</i> The proposed building is compatible with the adjacent buildings to the north and to the south, which includes a proposed 4.12 pitched roof and building height of 28'. <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2b	<p>b. Standardized corporate building designs are prohibited.</p> <p><i>Staff Comments</i> The proposed building design does not incorporate a standardized corporate design. <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p>

			Staff Comments	<p>The proposed building is comparable to the adjacent properties with the frontage facing Glenbrook Drive, pedestrian access from the front of the site and through the site with a 12'-wide driveway traveling from the front to the rear of the parcel. <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p>Staff Comments <i>The frontage of the proposed building faces Glenbrook Drive. The frontage incorporates metal fascia trim and belly bands around the building that help to break up the large wall pane. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p>Staff Comments <i>N/A. No addition is proposed- this is a new development. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p> <p>Staff Comments <i>The exterior incorporates dark grey metal roofing, and light grey metal siding with grey trim and belly bands. Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p>Staff Comments <i>The exterior materials and colors are compatible with other surrounding structures in the Light Industrial Zoning District. The Commission requested that the Applicant incorporate lighter shades of colors in the buildings color palette.</i></p>

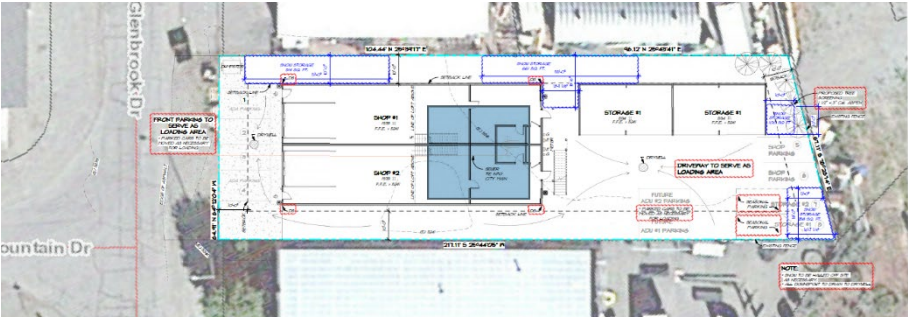
				<p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p> <p><i>Staff Comments</i> The proposed building is two stories in height with a steel railing exterior staircase at the rear of the building- No flat roofs are proposed. <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii. South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii. Double glazed windows. iv. Windows with Low Emissivity glazing. v. Earth berming against exterior walls vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed. <p><i>Staff Comments</i> The Applicant is proposing several energy saving measures such as: - the orientation of the longest wall plane is placed on the East- West axis and in 27 degrees of true South.</p>

				<ul style="list-style-type: none"> - All proposed windows are double glazed with low emissivity. - COMCHECK to be submitted for energy compliance (verification of compliance with IECC 2018) <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> <p><i>Staff Comments</i> The Applicant is proposing a 4.12 roof pitch for this project with snow retention clips and a Rocky Mountain snow guard to match the roof. <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>  <p style="text-align: center;">ROOF PLAN</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p> <p><i>Staff Comments</i> Downspout locations are proposed for all four corners of the building- draining to the proposed drywells on site. <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p> <p><i>Staff Comments</i> N/A. No vehicle canopies are proposed. <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Chapter 17.08.</p> <p><i>Staff Comments</i> The Applicant is proposing two signs: one above each shop door. A Sign Permit Application will be required and approved prior to installation of business signage. This has been made a Condition of Approval. <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
17. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p> <p><i>Staff Comments</i> The plans entail two (2), 594 square foot exterior storage buildings that are compatible with the proposed principal building through similar design and</p>

				<i>material. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>Both exterior storage buildings are located towards the rear of the sight.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>The exterior storage buildings are to be similar in design to the principal building in terms of material, and the color palette. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>The proposed wall size of the exterior storage units is compatible with the principal building. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>N/A. No roof equipment is proposed for the site. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A. No alternative energy sources are proposed with this application. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>The submitted plans do not include any exterior mechanical equipment. The proposed dumpster for the principal building is screened. Findings: Compliance. This standard is either not applicable or has been met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			Staff Comments	<i>All service lines into the property shall be installed underground. This has been made a Condition of Approval. Findings: Compliance. This standard is either not applicable or has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			Staff Comments	<i>N/A, none proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<p>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</p> <p>Staff Comments <i>Five (5), 1 ½ -3” Caliper Aspen Trees (deciduous trees) are proposed along the northeastern corner of the site.</i></p> <p><i>The Commission discussed the provision for newly landscaped areas and recommended that the caliper of each tree be no less than two and one-half inches (2 ½”). Further, the Commission recommended that no more than a maximum of twenty percent (20%) of any single tree species are onsite, which includes street trees. This has been made a Condition of Approval</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<p>b. All plant species shall be hardy to the Zone 4 environment.</p> <p>Staff Comments <i>The proposed deciduous species will be hardy to the Zone 4 environment.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4c	<p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p> <p>Staff Comments <i>There is a proposed NFPA 13 sprinkler system to be installed for landscaping onsite.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½”). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas</p>

				<p>shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</p> <p><i>Staff Comments</i> Although the LI District is excluded from this standard, The Commission discussed the provision for newly landscaped areas and recommended that the caliper of each tree be no less than two and one-half inches (2 ½”). Further, the Commission recommended that no more than a maximum of twenty percent (20%) of any single tree species are onsite, which includes street trees. This has been made a Condition of Approval Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p> <p><i>Staff Comments</i> The Applicant is proposing planter boxes at the entry doors for seasonal planting. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p> <p><i>Staff Comments</i> N/A, as buildings within the LI District are excluded from this standard. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p> <p><i>Staff Comments</i> Runoff is directed toward the drywells on site. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p> <p><i>Staff Comments</i> The Applicant shall be responsible for maintaining all landscaped areas in a tidy and attractive condition. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	<p>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	<p>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	<p>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	<p>l. Landscaping should be provided within or in front of extensive retaining walls.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	<p>m. Retaining walls over 24” high may require railings or planting buffers for safety.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed. Findings: Compliance. This standard is either not applicable or has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	<p>n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.</p>

		<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed. Findings: Compliance. This standard is either not applicable or has been met.</i>
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17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
 - 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
 - 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
 - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following Conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey’s Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. The following shall be met:
 - i. If present, existing water and sewer services shall be utilized.

- ii. New water and wastewater connections shall be established where none currently exists. All connections shall comply with City Standards.
- d) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law, and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- i) All utilities shall be located underground, consistent with 17.06.080(A)3h.
- j) A Sign Permit Application shall be submitted and approved prior to signage installation.
- k) Snow shall be hauled from the site as necessary.
- l) Pursuant Section 17.06.070 of Hailey’s Municipal Code, the Applicant shall pay an in-lieu fee for sidewalk and drainage improvements along for the property frontage of Glenbrook Drive. This payment shall be per the currently adopted fee schedule and be made prior to issuance of a Certificate of Occupancy.
- m) The Applicant shall be responsible for maintaining all landscaped areas in a tidy and attractive condition. The Applicant shall consider increasing the tree size to no less than two and one-half inches (2 ½”) caliper and consider not exceeding a maximum of twenty percent (20%) of any single tree species within the landscape plan, which includes street trees.
- n) All exterior mechanical equipment and trash enclosures shall be fully screened.
- o) The proposed project shall conform with all regulations and standards as outlined in Title 17 of the Hailey Municipal Code, prior to issuance of a Building Permit. The City of Hailey is committed to utilizing the proposed commercial space as permitted until an amendment allows for residential uses - mixed-use, multifamily, or otherwise - within the LI Zoning District.
- p) Prior to final design, Staff and the Applicant will meet internally to finalize site details. If construction occurs prior to Staff review and approval of the final design, any and all site and/or right-of-way infrastructure installed may need to be removed at the sole expense of the Applicant.

Signed this ____ day of _____, 2024.

Janet Fugate, Planning and Zoning Chair

Attest:

Jessica Parker, Community Development Building and Operations Manager

Return to Agenda



Staff Report
Hailey Planning and Zoning Commission
Regular Meeting of April 15, 2024

To: Planning and Zoning Commission
From: Ashley Dyer, Community Development City Planner

Proposal: Consideration of a Design Review Preapplication submitted by Frosty Acres, LLC, represented by Samantha Stahlnecker with Opal Engineering, for the construction of a new 26,720 square foot multifamily townhome development located at 2730 Winterhaven Drive (Lot 1A, Block 61, Woodside Subdivision #15). The development consists of eight (8), two story, multifamily buildings, which includes sixteen (16) dwelling units in total.

Hearing: April 15, 2024

Applicant: Frosty Acres, LLC, represented by Samantha Stahlnecker with Opal Engineering
Location: 2730 Winterhaven Drive, Lots 1A, Block 61, Woodside Subdivision #15
Zoning & Lot Size: Limited Business (LB)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on March 27, 2024, and mailed to property owners on March 22, 2024.

Background and Project Overview. The Applicant is proposing a new 26,720 square foot multifamily townhouse development, located at 2730 Winterhaven Drive (Lots 1A, Block 61, Woodside Subdivision #15) within the Limited Business (LB) Zoning District. This project is to be known as Rockridge Townhomes.

More specifically, the proposed site plan entails eight (8), 3,340 square foot, two story multifamily buildings; each building contains two (2), 1,770 square foot residential dwelling units, for a total of sixteen (16) units within the development.

- **First Floor:**
 - o Total living space: 676 square feet per unit
 - o Living room, Kitchen, and dining room
 - o 100 square foot Covered storage
 - o 420 square foot double garage
- **Second Floor:**
 - o Total living space: 674 square feet per unit
 - o 3 bedrooms 2 bathrooms

The proposed project parcel is subject to the Development Agreement, which was recorded on January 10, 2005. The Agreement refers to several required improvements as well as restrictions related to this parcel, such as:

Improvements Required:

- a.) Sidewalk. Pursuant to Hailey's Subdivision Ordinance, a five-foot (5') wide concrete sidewalk shall be constructed in accordance with the City standards for sidewalks within Woodside Boulevard and Winterhaven Drive, adjacent to Lots 1A, 2A, and 3A, and adjacent to Parcel M2.

In other words, the Owner(s) of Lot 1A shall construct the sidewalk adjacent to the lot prior to issuance of a Certificate of Occupancy for any dwelling unit upon the lot. While the Applicant has depicted the installation of a sidewalk along the property frontage of Winterhaven Drive, this will also be made a Condition of Approval within the Design Review Staff Report.

- b.) Park space and improvements. Pursuant to the Development Agreement, a total of 1.14 acres of park space and improvements shall be provided, proportionately across each lot. Prior to the issuance of the first building permit for any dwelling on any lot, the Owner(s) of Lots 1A, 2A, and 3A shall provide park space for each lot as described, plus any other improvements required pursuant Hailey's Municipal Code. For Lot 1A, the following park requirement shall be met:

- **Forty-two hundredths (0.42) acre for Lot 1A.**

Park In-lieu Contributions, per the Development Agreement, may also be collected. While park space and/or an in-lieu contribution has not been decided on at this time, this will be made a Condition of Approval within the Design Review Staff Report.

Required Restrictions:

- a.) No parking shall be allowed on Parcel ZZ (Serenity Lane) and the City shall have the authority to enforce the "No Parking" requirement.

The Applicant has submitted a Site Plan, Floor Plan, and Renderings, as required by the Preapplication Design Review submittal requirements, as well as a Snow Storage Plan.

Chapter 17.06: Design Review. Section 17.06.050: Application:

C. Design Review Pre-Application:

- 1. Required: An application for Preapplication Design Review shall follow the procedures and be subject to the requirements established by section 17.03.070 of this title, and shall be made by at least one holder of any interest in the real property for which the Preapplication Design Review is proposed.**
- 2. Information Required: The following information is required with an Application for Preapplication Design Review:**
 - a. The Design Review Application form, including project name and location, and Applicant and representative names and contact information.**
 - b. One (1) eleven inch by seventeen inch (11" x 17") and one electronic copy showing at a minimum the following:**

- i. **Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: A vicinity map must show the location of adjacent buildings and structures.**
- ii. **Site plan, to scale, showing proposed parking, loading and general circulation.**
- iii. **One color rendering of at least one side of the proposed building(s).**
- iv. **General location of public utilities (survey not required). (Ord. 1226, 2017; Ord. 1191, 2015)**

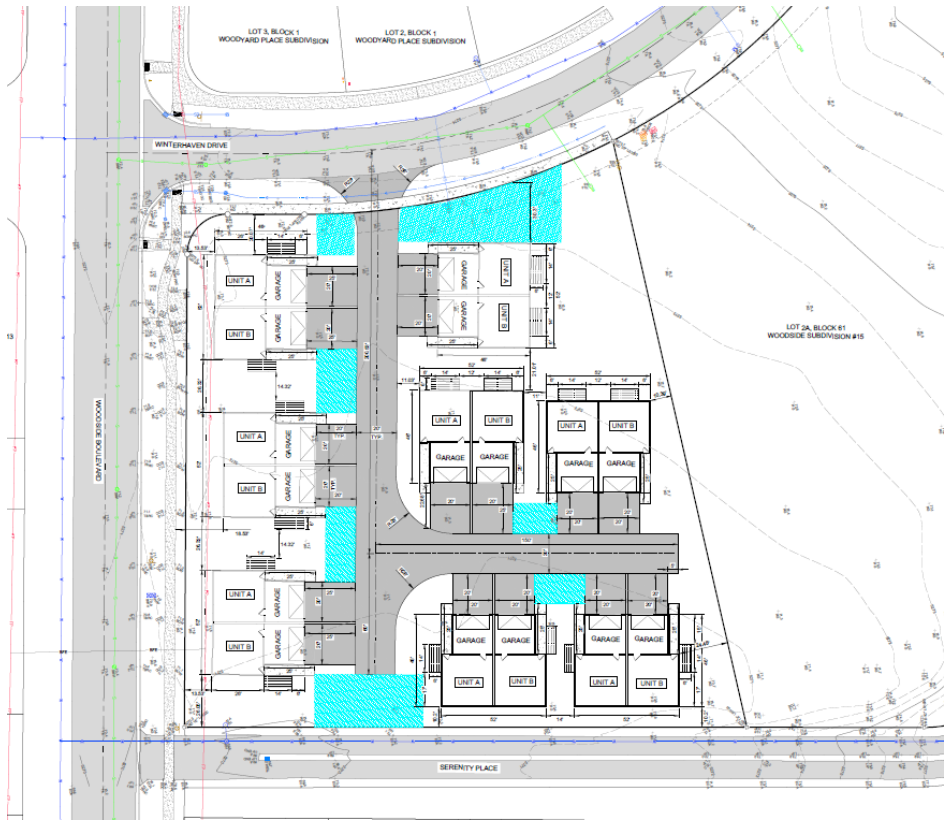
Other Items for Discussion:

1. **Overall Land Use.** The Applicant has stated that this project is intended to fill a housing need in the Hailey community. The proposed multifamily project is permitted outright within the Limited Business (LB) Zoning District, to which this parcel belongs to. According to the Hailey Municipal Code, the purpose of the Limited Business is:

“The purpose of the LB district is to provide areas for a wide range of residential uses, restricted business uses and medical facilities. The LB district is intended to allow for commercial uses that would not detract from the established downtown retail businesses, hence general retail is not allowed. (Ord. 1191, 2015)”

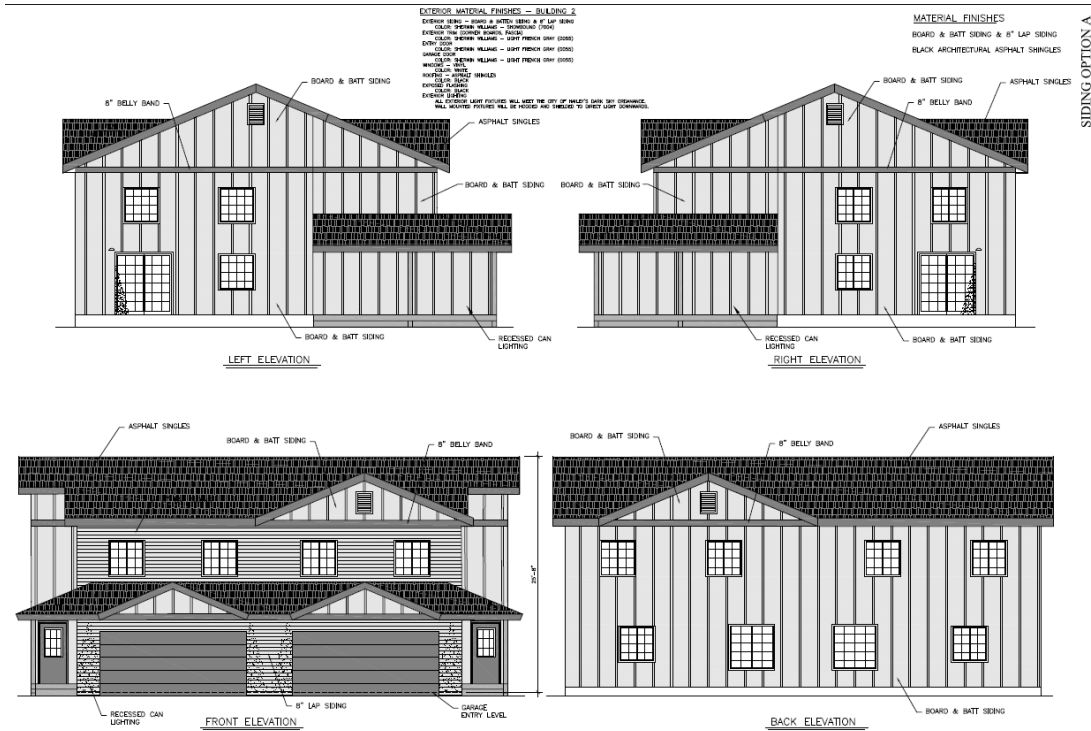
2. Site Planning:

- **Density:** The allowed density for the Limited Business (LB) District is 20 units per acre. Here, the Applicant is proposing 16 units for 1.5 acres, which complies, and is less than, the allowed maximum density for multifamily development in this district.
- **Setbacks.** The structures comply with all setback requirements of the LB Zoning District, with a front yard (along Winterhaven Drive) setback ranging from 20' to 30' (20' required), a rear yard setback (along Serenity Place) ranging from 10.2' to 26.05' (10' required), and side yard setbacks of 13.53' to 18.53' to the southwest (13.32' required), and 10.39' to 24.48' to the northeast (10' required). Setbacks between buildings are also compliant with code; however, additional review and analysis will take place prior to the Commission's review of the full Design Review package.
- **Snow Storage:** Per code, 25% of the total, onsite hardscape is required for an onsite snow storage area. The total hardscape area is 15,265 square feet, and 25% of this, or 3,816 square feet, is required to comply with City Standards. The Applicant is proposing a snow storage area of approximately 5,722 sq. ft. The proposed snow storage area complies with City code.
- **Site Access:** This parcel is unique in that vehicular access can only be achieved from Winterhaven Drive. The proposed development abuts a private drive, Serenity Lane. Access cannot be achieved due to the various agreements in place, code requirements, and the surrounding development. The Applicant is proposing that all access to the site be achieved from Winterhaven Drive via a parking access lane that connects to each driveway and garage.



3. Building Design, Materials, and Colors: Each multifamily building is proposed to be various shades of grays, Exterior materials incorporate both vertical and horizontal board and batten siding with 8” lap siding (horizontal features) along the lower portion of the garage entry. There is also an 8” horizontal belly band along the upper portion of the buildings. Undulation and visual interest are further enhanced by various sized windows and roof parapets with Black Architectural Asphalt shingles.

- Townhouse 1: Benjamin Moore- Kendall Charcoal with Light French Grey Trim
- Townhouse 2: Benajmin Moore- Showbound with light French Gray Trim
- Townhouse 3: Benjamin Moore- Kingsport Gray with Revere Pewter Trim
- Townhouse 4: Benjami Moore- Rever Pewter with Snowbound trim
- Townhouse 5: Benjamin Moore- Kendall Charcoal with Light French Gray Trim
- Townhouse 6: Benjamin Moore- Light French Gray with Kendall Charcoal Trim
- Townhouse 7: Benjamin Moore- Kingsport Gray with Griffin Trim
- Townhouse 8: Benjamin Moore- Showbound with Light Gray Trim



4. Streets, Right-of-Ways, Sidewalks: Improvements required include but are not limited to the installation of sidewalks along Winterhaven Drive or approved in-lieu fees, landscaping (street trees) and irrigation for all ROW landscaping.

- **ROW Improvements:** The Applicant intends to improve the public rights-of-ways along Woodside Boulevard, and Winterhaven Drive. These improvements will comply with the City Code and the Development Agreement, of which a more detailed analysis will be provided at full Design Review. Improvements include the integration, improvements to, and/or development of:

- Sidewalk. Pursuant to Hailey’s Subdivision Ordinance, a five-foot (5') wide concrete sidewalk shall be constructed in accordance with the City standards for sidewalks within Woodside Boulevard and Winterhaven Drive, adjacent to Lots 1A, 2A, and 3A, and adjacent to Parcel M2.

In other words, the Owner(s) of Lot 1A shall construct the sidewalk adjacent to the lot prior to issuance of a Certificate of Occupancy for any dwelling unit upon the lot. While the Applicant has depicted the installation of a sidewalk along the property frontage of Winterhaven Drive, this will also be made a Condition of Approval within the Design Review Staff Report.

- Irrigation/landscaping within ROW

5. Parking: Parking requirements for multifamily development projects include 1.5 spaces per unit unless the units are 1,000 square feet or less in size. As noted, there are a total of 16 residential proposed, of which, none of the units are 1,000 square feet in size or less. Each residential unit exceeds 1,000 sq. ft. in size, thereby, the Applicant is required to provide 1.5 spaces per unit. With

16 units in total, and each required to provide 1.5 onsite parking spaces, 24 onsite parking spaces are required for the multifamily development. The Applicant has depicted a total of 32 onsite parking spaces. These spaces are located within the proposed garages and/or in front of the garages. The overall onsite parking provided exceeds the minimum requirement for onsite parking.

- 6. Usable Open and/or Park Space.** As noted above, pursuant to the Development Agreement, a total of 1.14 acres of park space and improvements shall be provided, proportionately across each lot. Prior to the issuance of the first building permit for any dwelling on any lot, the Owner(s) of Lots 1A, 2A, and 3A shall provide park space for each lot as described, plus any other improvements required pursuant Hailey's Municipal Code. For Lot 1A, the following park requirement shall be met:

- **Forty-two hundredths (0.42) acre for Lot 1A.**

Park In-lieu Contributions, per the Development Agreement, may also be collected. While park space and/or an in-lieu contribution has not been decided on at this time, this will be made a Condition of Approval within the Design Review Staff Report.

- 7. Water, Sewer, and Fire:** This is a Preapplication Design Review. Final drawings that illustrate connection details will be required for full Design Review (to be determined).

8. Staff Comments:

- **Flooding:** Hillside runoff has been significant in the past and caused flooding on this property. It is recommended that the drainage ditch along Winterhaven Drive have a significant amount of capacity, as outlined in prior applications for this site. There are drainage challenges from Winterhaven Drive proceeding southerly on Woodside Boulevard, and to the drainage canal across from Serenity Place. It is recommended that the Applicant explore how to augment the flow route, if possible. Staff and the Applicant Team will further discuss how and if previous flooding events have impacted the surrounding neighborhood and homes.
- **Public Transit:** There is a bus stop located adjacent to this site. Staff, the Applicant Team, and Mountain Rides will work internally as to the possibility of a bus lane pullout in this location, rather than the three (3) existing in-street stops along Woodside BLVD currently.
- **Intersection Distances:** The distance from Woodside BLVD to the project site entrance is shorter than preferred; however, may be acceptable. Staff and the Applicant Team will work internally to resolve such issues, if any, prior to the full Design Review hearing.
- **The City's Water Division Manager** will verify if this project is subject to a looped water main. This will be discussed internally with the Applicant Team prior to full Design Review. will want to see any future water mains looped.

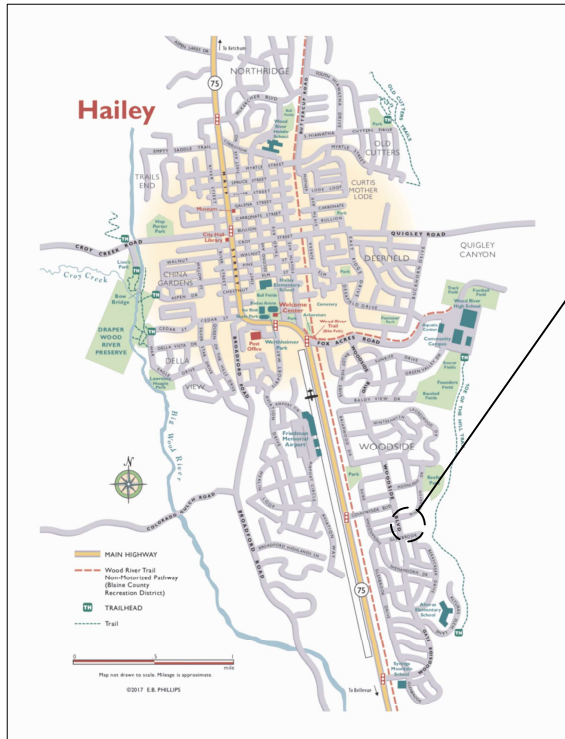
Action: No formal action is required at this time, as this is a Preapplication Design Review. The Commission should give feedback on the above items, and any others that may arise, so that the Applicant can incorporate said feedback into their Design Review submittal.

ROCKRIDGE TOWNHOMES

2730 WINTERHAVEN DRIVE

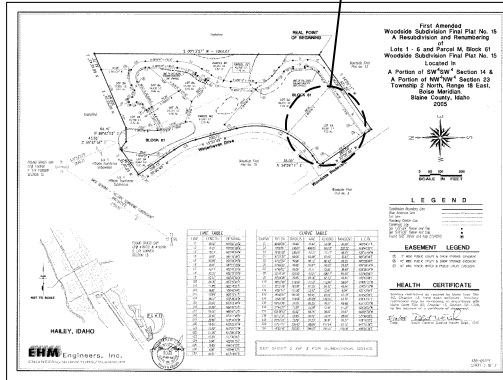
LOT 1A, BLOCK 61

WOODSIDE #15 SUBDIVISION



VICINITY MAP
SCALE NONE

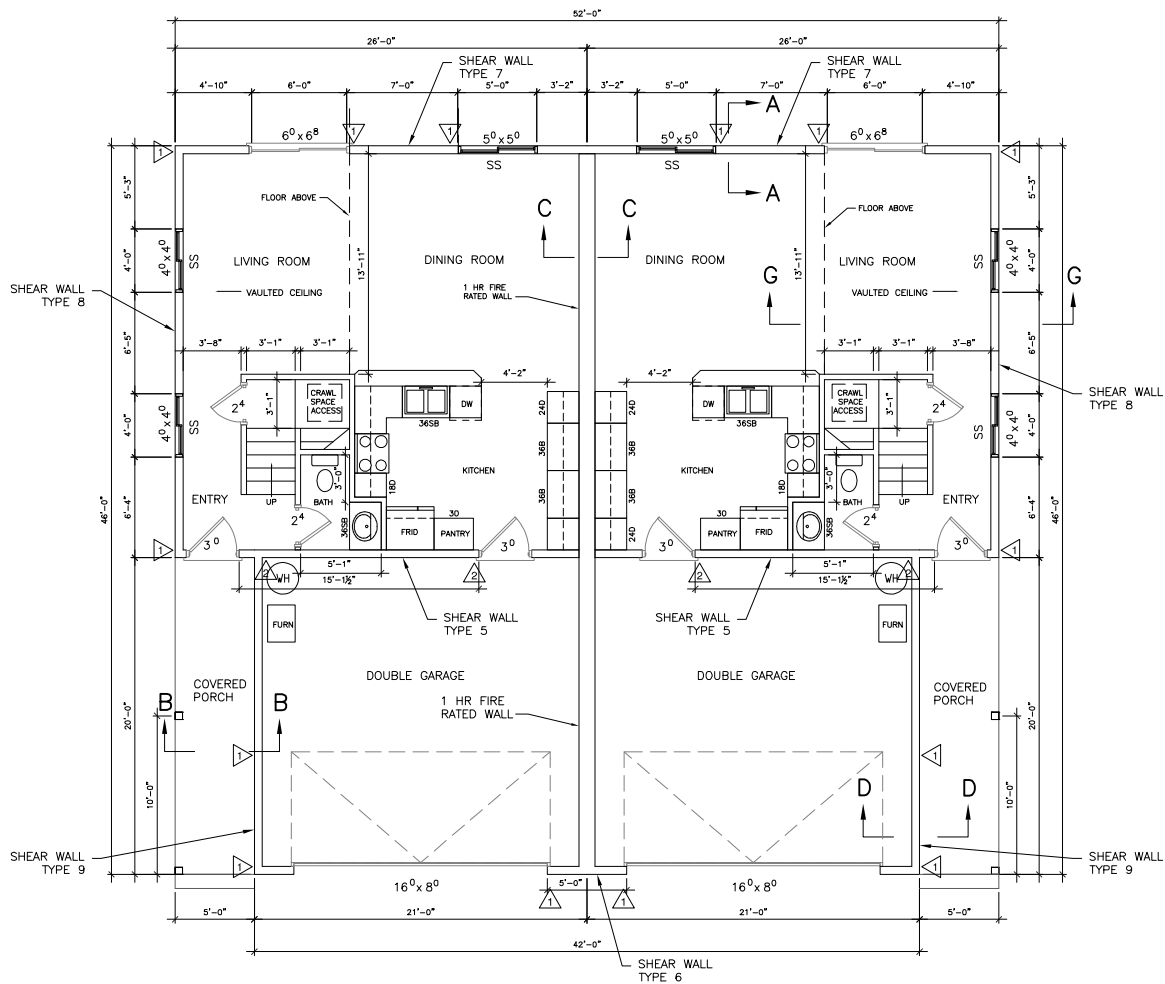
2730 Winterhaven Drive
Lot 1A, Block 61, Woodside #15 Subdivision
Hailey, Idaho



SUBDIVISION MAP
SCALE NONE

OWNER INFORMATION	
Bradley Construction North Inc. PO Box 41 Hailey, Idaho 83333 (208) 481-2209 Email: bradleyconst@cox.net	
PROJECT INFORMATION	
LEGAL DESCRIPTION:	
LOT AREA:	1.50 Acre 65,361 sq ft
area per unit	
GARAGE/STORAGE	420 SQ. FT.
LIVEABLE	1250 SQ. FT.
NEW DECKS	100 SQ. FT.
area per townhouse	
GARAGE/STORAGE	840 SQ. FT.
LIVEABLE	2500 SQ. FT.
NEW DECKS	200 SQ. FT.
CONSULTANTS	
OWNER Bradley Construction North Inc. PO Box 41 Hailey, Idaho 83333 (208) 481-2209 Email: bradleyconst@cox.net	
STRUCTURAL ENGINEER: GREG YARLOTT SELKIRKDESIGN@GMAIL.COM	
BUILDER: Bradley Construction North INC. PO Box 41 Hailey, Idaho 83333 (208) 481-2209 Email: bradleyconst@cox.net	
NO.	DESCRIPTION
a0	COVER SHEET, PROJECT DATA, VICINITY MAP
A1	FIRST FLOOR PLAN
A2	SECOND FLOOR PLAN
A3A	ELEVATIONS
A3B	ELEVATIONS
A4	FOUNDATION PLAN
A5	SECTIONS
A6	DETAILS
A7	FRAMING PLAN
A8	NOTES
A9	STRUCTURAL DETAILS

REVISION	0
DATE	03/06/24
SCALE	1/4"=1'-0"
FLOOR PLAN	A1
ROCKRIDGE TOWNHOMES, TYPE 1 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61 WOODSIDE # 15 SUBDIVISION, HAILEY, ID	
BRADLEY CONSTRUCTION JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333 PHONE: 788-3008 FAX 788-2801 CELL: 481-2209	



1ST FLOOR

PER DUPLEX

1ST FLOOR = 676 SQFT
 GARAGE = 420 SQFT

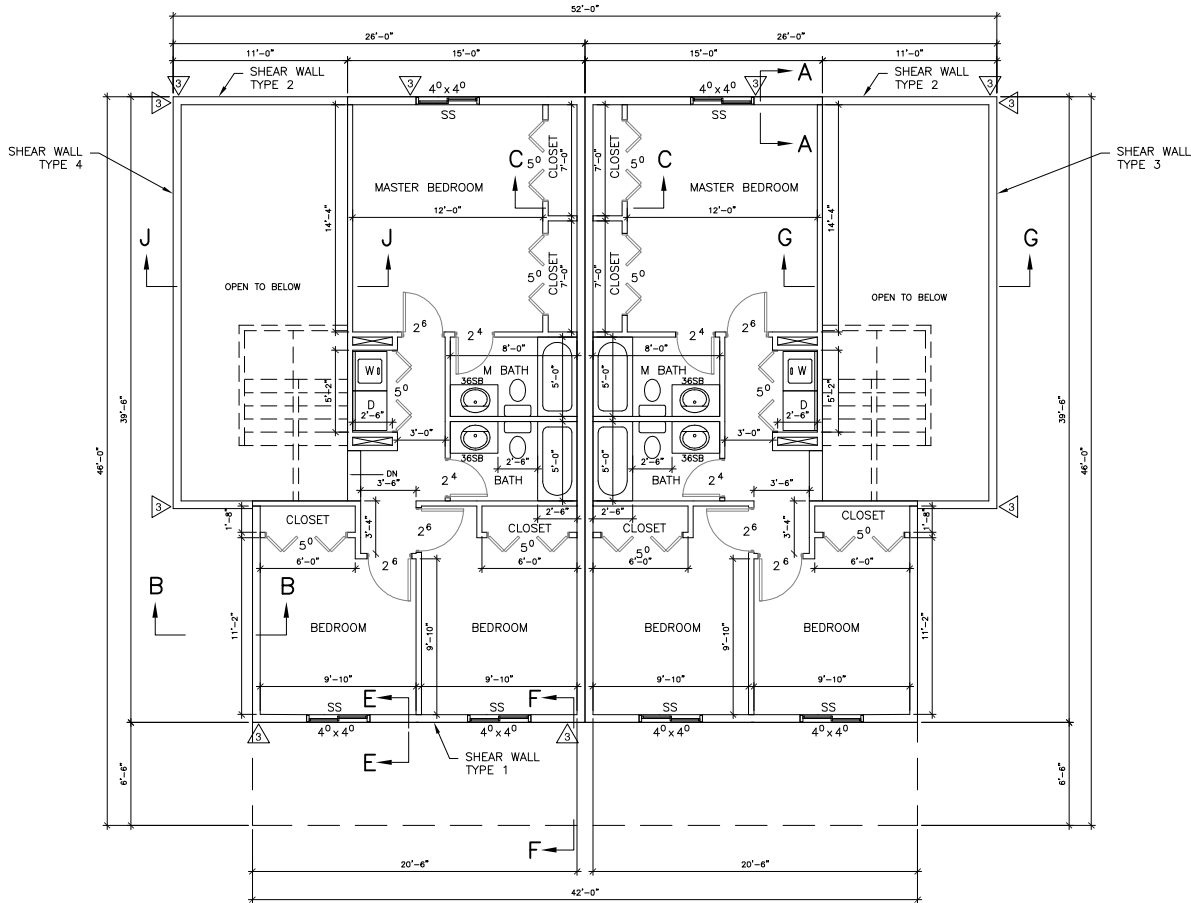
PER BUILDING

1ST FLOOR = 1252 SQFT
 GARAGE = 840 SQFT

NOTES

1. EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C. WITH 5 1/8" x9 GLB HEADERS.(U.N.O.)
2. ALL INTERIOR WALLS SHALL BE 2x4 AT 16" O.C. UNLESS OTHERWISE NOTED.
3. ALL SMOKE DETECTORS SHALL BE DIRECT-WIRED WITH BATTERY BACK-UP TYPICAL OF 8.
4. PROVIDE FROST-FREE HOSE BIBS FOR FRONT AND REAR OF EACH SIDE OF DUPLEX.
5. PROVIDE A 1 3/8" SOLID DOOR WITH SELF CLOSING HINGES BETWEEN GARAGE AND KITCHEN.
6. PROVIDE 1 HR FIRE RATED WALL BETWEEN EACH DUPLEX
7. STITCH ALL STUD BUNDLES TOGETHER WITH (2) 16d COMMON @ 16" O.C. MAX ATTACH SHEATHING TO EACH STUD W/ 8d @8" O.C.
8. TYPICAL HEADER SUPPORTS ARE (1) TRIMMER W/ KING STUD U.N.O.
9. SEE DRAWING AB FOR NOTES.

REVISION	0	DATE	03/06/24
	FLOOR PLAN		A1
<p>ROCKRIDGE TOWNHOMES, TYPE I 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61 WOODSIDE # 15 SUBDIVISION, HAILEY, ID</p>			
<p>BRADLEY CONSTRUCTION JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333 PHONE: 788-3008 FAX 788-2801 CELL: 481-2209</p>			



UPPER FLOOR

PER DUPLEX

UPPER FLOOR = 674 SQFT

PER BUILDING

UPPER FLOOR = 1248 SQFT

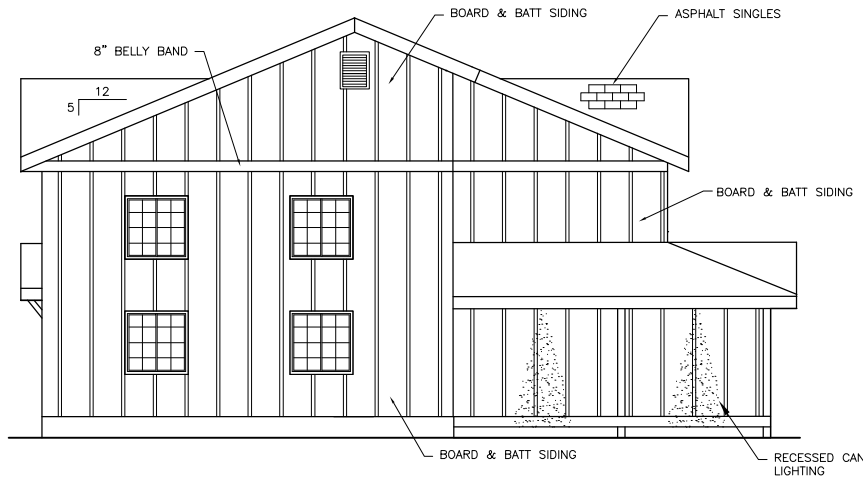
NOTES

1. EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C. WITH 5 1/2"x9 GLB HEADERS.(U.N.O.)
2. ALL INTERIOR WALLS SHALL BE 2x4 AT 16" O.C. UNLESS OTHERWISE NOTED.
3. ALL SMOKE DETECTORS SHALL BE DIRECT-WIRED WITH BATTERY BACK-UP.

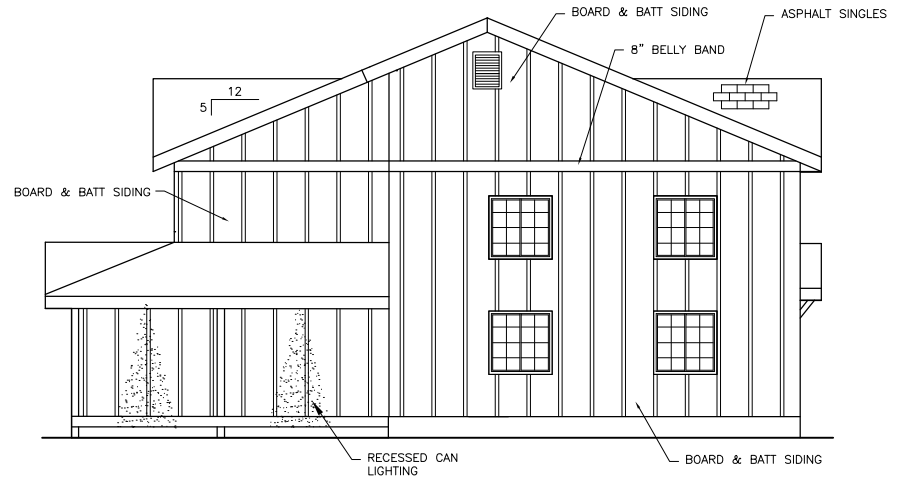
REVISION	0	DATE	03/06/24	SCALE: 1/4"=1'-0"	UPPER PLAN	A2
DATE	03/06/24					
ROCKRIDGE TOWNHOMES, TYPE 1						
2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61						
WOODSIDE # 15 SUBDIVISION, HAILEY, ID						
BRADLEY CONSTRUCTION						
JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333						
PHONE:788-3008 FAX:788-2801 CELL:481-2209						

MATERIAL FINISHES

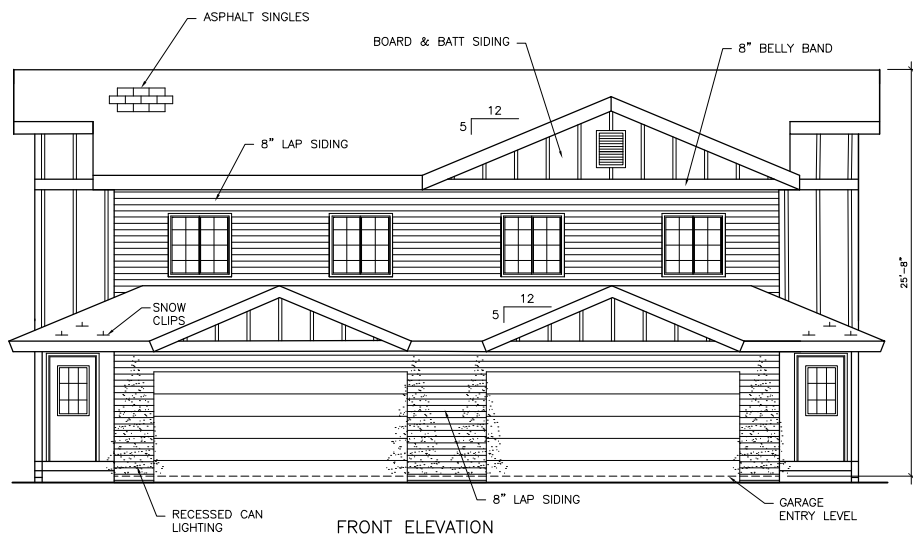
BOARD & BATT SIDING & 8" LAP SIDING
BLACK ARCHITECTURAL ASPHALT SHINGLES



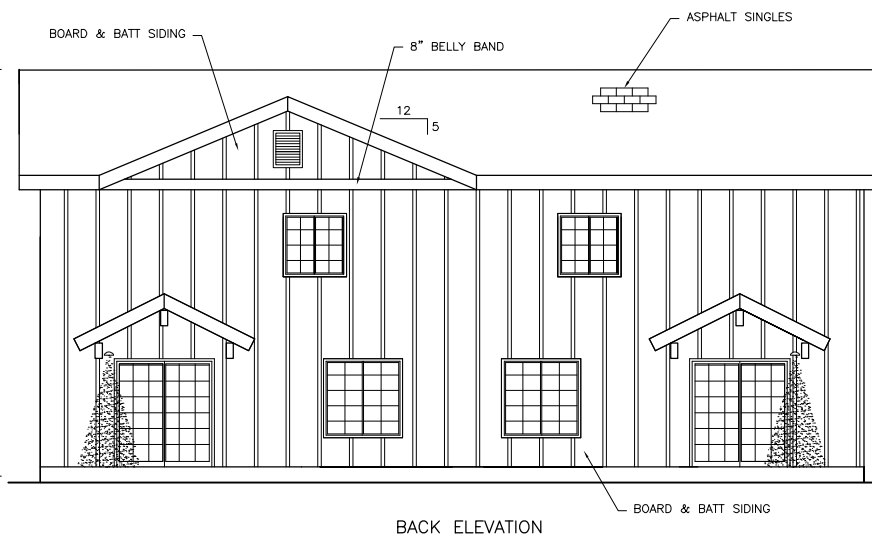
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

SIDING OPTION A

REVISION	0
DATE	03/06/24
SCALE	1/4"=1'-0"
ELEVATIONS	A3A

ROCKRIDGE TOWNHOMES, TYPE 1
2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
WOODSIDE # 15 SUBDIVISION, HAILEY, ID

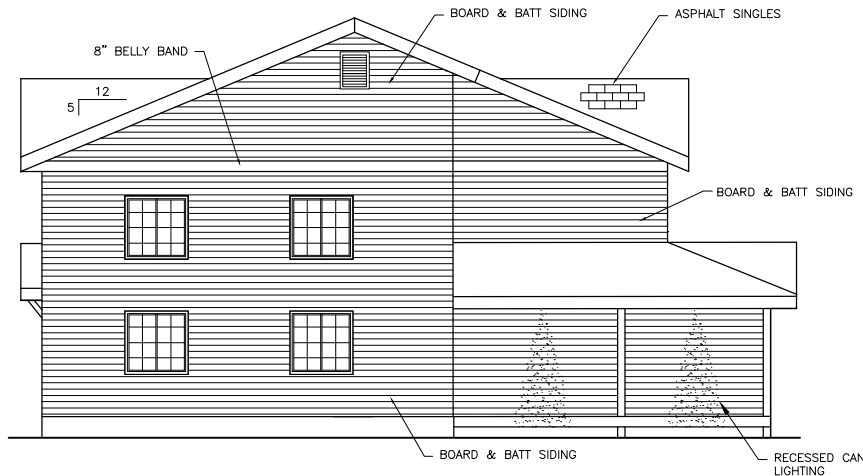
BRADLEY CONSTRUCTION
JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
PHONE: 788-3008 FAX 788-2801 CELL: 481-2209

MATERIAL FINISHES

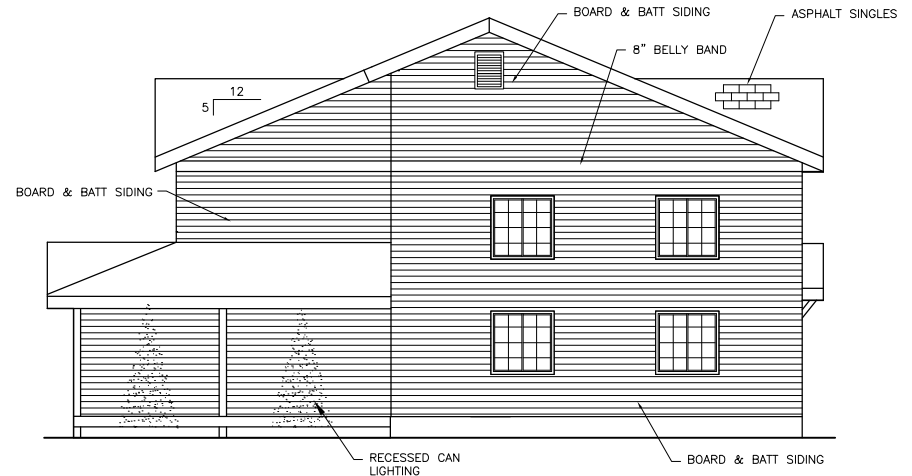
BOARD & BATT SIDING & 8" LAP SIDING
 BLACK ARCHITECTURAL ASPHALT SHINGLES

SIDING OPTION B

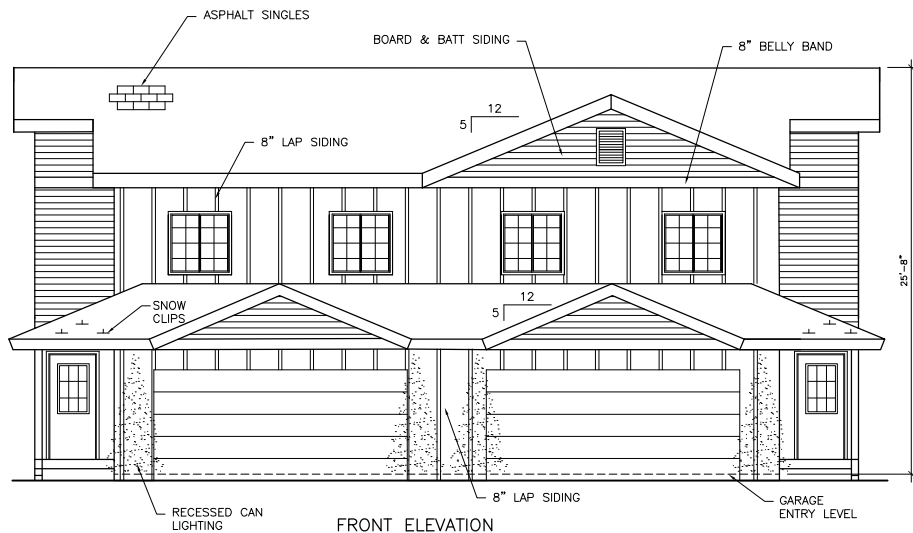
REVISION	0
DATE	03/06/24
SCALE	1/4"=1'-0"
ELEVATIONS	A3B



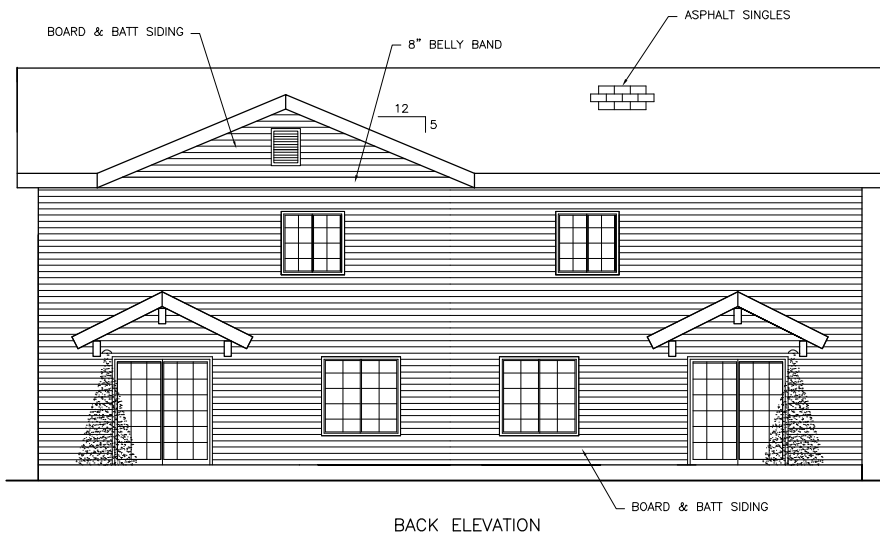
LEFT ELEVATION



RIGHT ELEVATION



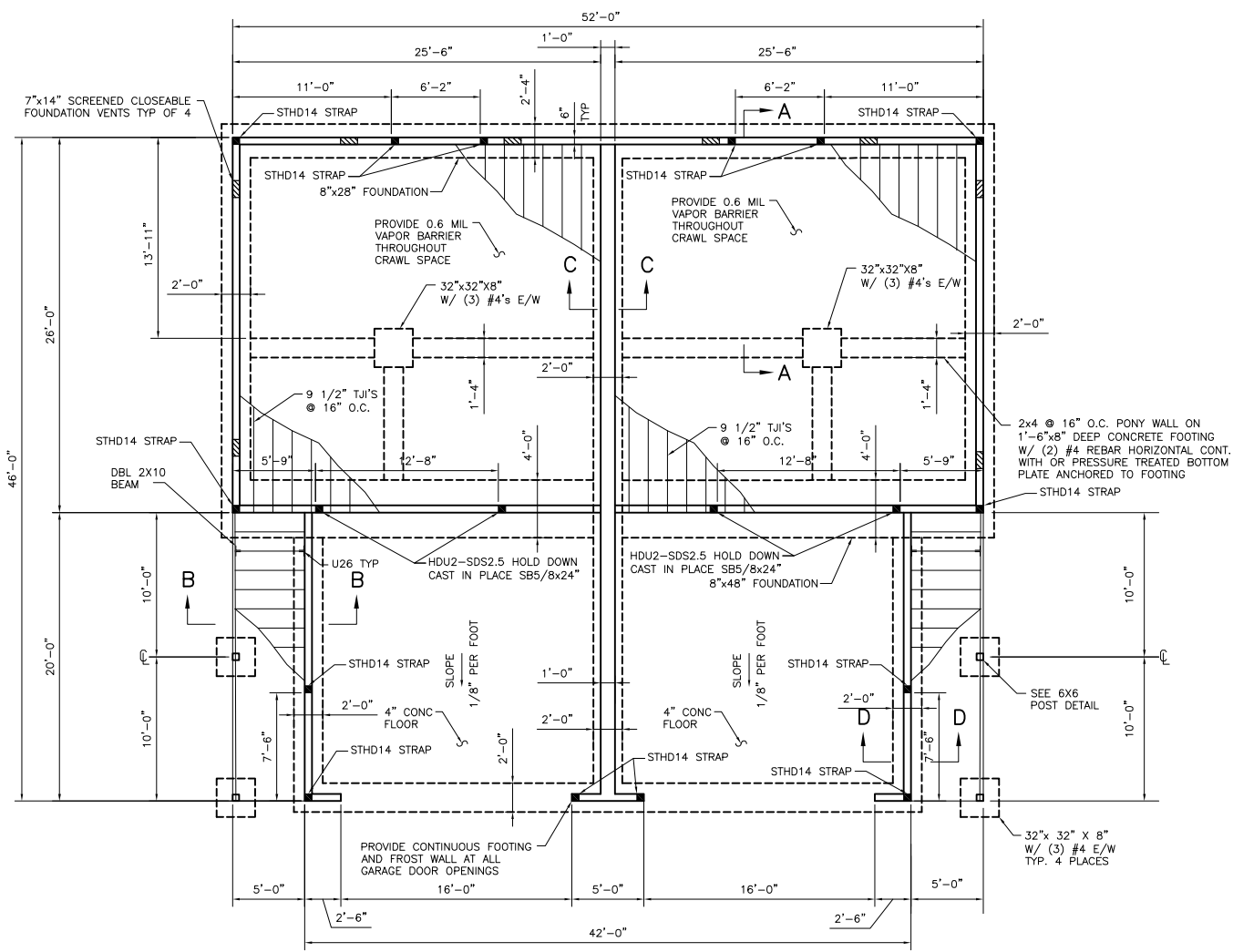
FRONT ELEVATION



BACK ELEVATION

ROCKRIDGE TOWNHOMES, TYPE I
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HAILEY, ID

BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
 PHONE: 788-3008 FAX 788-2801 CELL: 481-2209



FOUNDATION AND FRAMING PLAN

NOTES

- REBAR SHALL BE LAPPED A MINIMUM OF 18" AT ALL SPLICES.
- ANCHOR BOLTS (1/2" DIA x 10") SHALL BE PLACED A MINIMUM SPACING OF 48" O.C. ANCHOR BOLTS TO BE INSTALLED 12" FROM ENDS.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED FIR.

REVISION	0
DATE	03/06/24
SCALE	1/4"=1'-0"
FND PLAN	A4

ROCKRIDGE TOWNHOMES, TYPE 1
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HAILEY, ID

BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
 PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209

ASPHALT SHINGLES (235#)
OVER 15 lbs ASPHALT FELT

40/20 SPAN RATED 5/8" OSB
ROOF SHEATHING

8d'S @ 6" OC (MIN)

1 1/8"x 11 7/8" TIMBERSTRAND
BLOCKING W/(3) 2" DIA HOLES
(SCREENED) FOR VENTING

FASCIA

SUBFASCIA

SOFFIT

CONTINUOUS SOFFIT VENTS

PROVIDE SIMPSON H2.5 HURRICANE
ANCHORS AT ALL TRUSS TO WALL
CONNECTIONS

R-38 INSULATION

TRUSSES BY TRUSS
MANUFACTURER 24" O.C.

(2) 10d TN'S PER BLK'G (MIN)

8d'S @ 6" OC (MIN)

11 7/8" TJI'S @ 16" O.C. WITH
1 1/8" TIMBERSTRAND RIM

1/2" GYPSUM BOARD AT INTERIOR WALLS AND CEILING

VINYL SIDING

"TYVER" OR EQUAL HOUSEWRAP

7/16" OSB SHEATHING

2x6 STUDS @ 16" O.C.

0.6 MIL VAPOR BARRIER AT CEILINGS AND WALLS

R-19 INSULATION

3/4" OSB T&G FLOORING

DOUBLE 2x4 TOP PLATE

9 1/2" TJI'S @ 16" O.C. WITH
1 1/8" TIMBERSTRAND RIM

1/2" DIA x 10" ANCHOR
BOLT @ 48" O.C.

2x6 PRESSURE TREATED SILL PLATE

1/2" GYPSUM BOARD AT INTERIOR WALLS AND CEILING

#4 REBAR @ 48" O.C.
VERTICAL STAG HOOK

(2) #4 REBAR TOP & BOTTOM CONT.

8"x2'-4" CONCRETE FOOTING WITH
(2) #4 REBAR CONTINUOUS

UNDISTURBED SOIL

SECTION A-A

LADDER FRAMING

ASPHALT SHINGLES (235#)
OVER 15 lbs ASPHALT FELT

40/20 SPAN RATED 5/8" OSB
ROOF SHEATHING

TRUSSES BY TRUSS
MANUFACTURER @ 24" O.C. W/
11 7/8" ENERGY HEEL

TRUSSES BY TRUSS
MANUFACTURER 24" O.C.

8d'S @ 6" O.C.

2X6 BLK W/ (2) 16d'S

R-19 INSULATION

HANGER PER
TRUSS MANUFACTURER

6x12

SOFFIT

CC66

VINYL SIDING

HOUSEWRAP

7/16" OSB SHEATHING

2X8 LEDGER
W/(2) 16 d'S PER STUD

1/2" DIA x 10"
ANCHOR BOLT @ 48" O.C.

2X6 DECK

2X8 JST

2X6 PRESSURE TREATED SILL PLATE

4" CONCRETE SLAB OVER 4"
OF COMPACTED GRAVEL

6X6 POST
W/SIMP. CB 6X6
OR EQUAL

12" DIA SONOTUBE

GRADE

3" CLE

2'-0" MIN
BELOW GRADE

(3) #4 VERTS W/ HOOK

#3'S @ 12" O.C.
TIES TRP'L @ TOP

#4 REBAR @ 48" O.C.
VERTICAL ALTERNATE 8" HOOKS

(2) #4 REBAR TOP & BOTTOM CONT.

8"x2'-0" CONCRETE FOOTING
WITH (2) #4 REBAR CONTINUOUS

UNDISTURBED SOIL

FULL HEIGHT BLKG
SIMP CC Q
5 1/2"-6"-SDS2

SOFFIT

SOFFIT

6X12

CC66

VINYL SIDING

HOUSEWRAP

7/16" OSB SHEATHING

2X8 LEDGER
W/(2) 16 d'S PER STUD

1/2" DIA x 10"
ANCHOR BOLT @ 48" O.C.

2X6 DECK

2X8 JST

2X6 PRESSURE TREATED SILL PLATE

4" CONCRETE SLAB OVER 4"
OF COMPACTED GRAVEL

6X6 POST
W/SIMP. CB 6X6
OR EQUAL

12" DIA SONOTUBE

GRADE

3" CLE

2'-0" MIN
BELOW GRADE

(3) #4 VERTS W/ HOOK

#3'S @ 12" O.C.
TIES TRP'L @ TOP

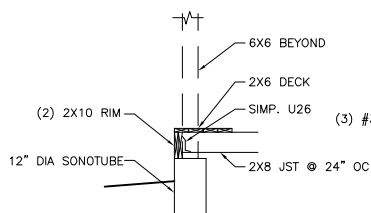
#4 REBAR @ 48" O.C.
VERTICAL ALTERNATE 8" HOOKS

(2) #4 REBAR TOP & BOTTOM CONT.

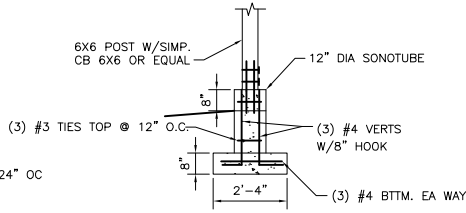
8"x2'-0" CONCRETE FOOTING
WITH (2) #4 REBAR CONTINUOUS

UNDISTURBED SOIL

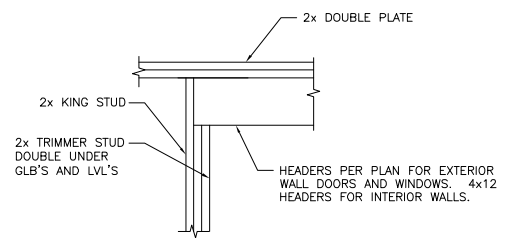
SECTION B-B



FRONT DECK DETAIL



6X6 POST DETAIL



HEADER DETAIL

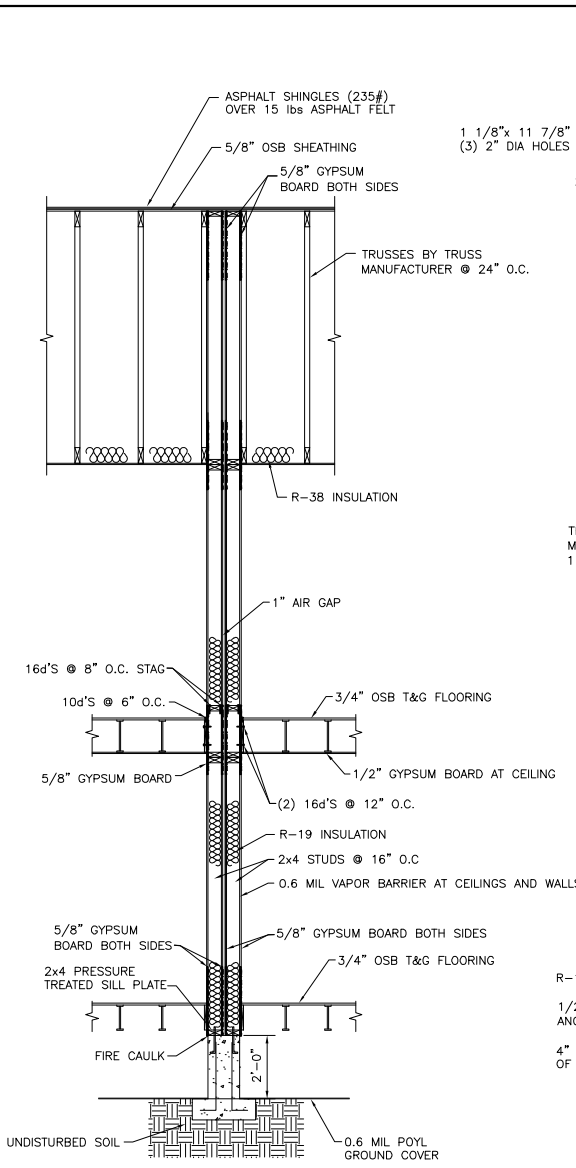
NOTES

1. BOTTOM OF ALL FOOTINGS TO BE 24" BELOW GRADE

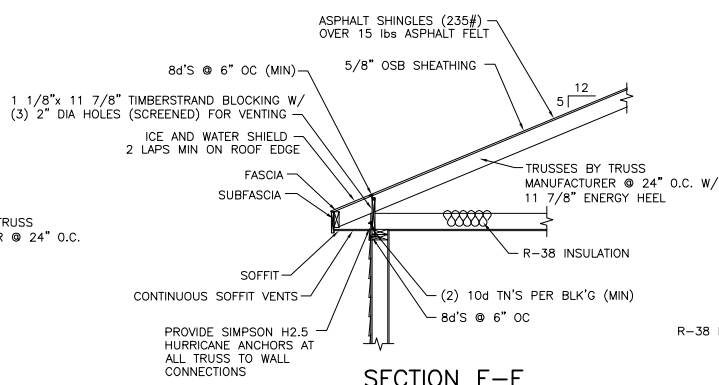
REVISION	0	SECTIONS	A5
DATE	03/06/24	SCALE	1/2"=1'-0"

ROCKRIDGE TOWNHOMES, TYPE I
2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
WOODSIDE # 15 SUBDIVISION, HAILEY, ID

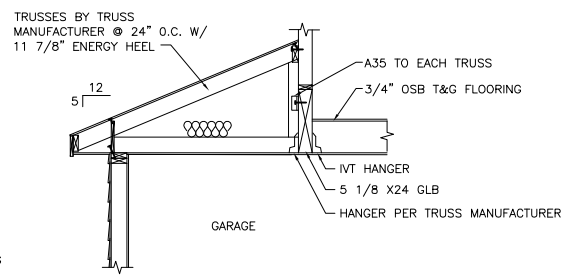
BRADLEY CONSTRUCTION
JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
PHONE: 788-3008 FAX 788-2801 CELL: 481-2209



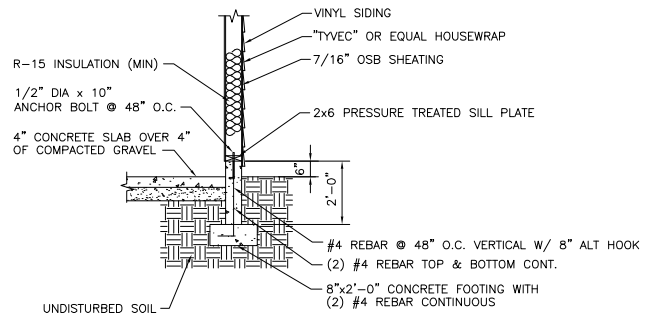
SECTION C-C



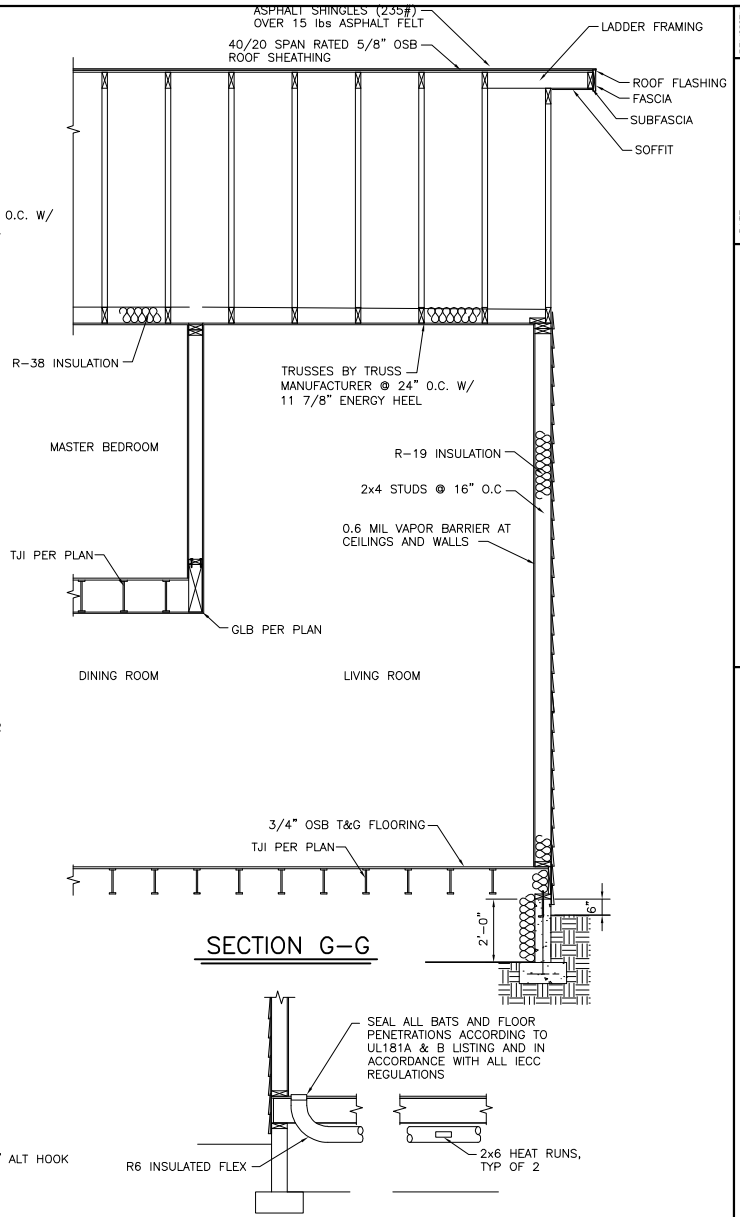
SECTION E-E



SECTION F-F



SECTION D-D

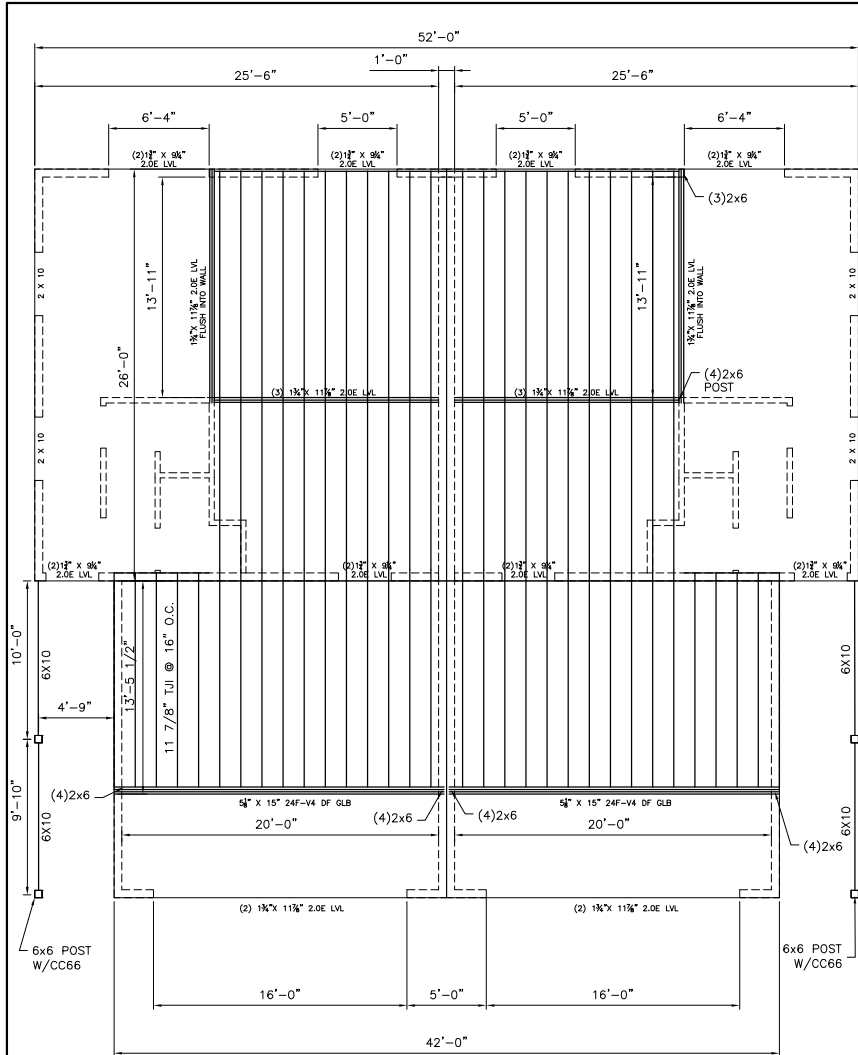


HVAC DETAIL

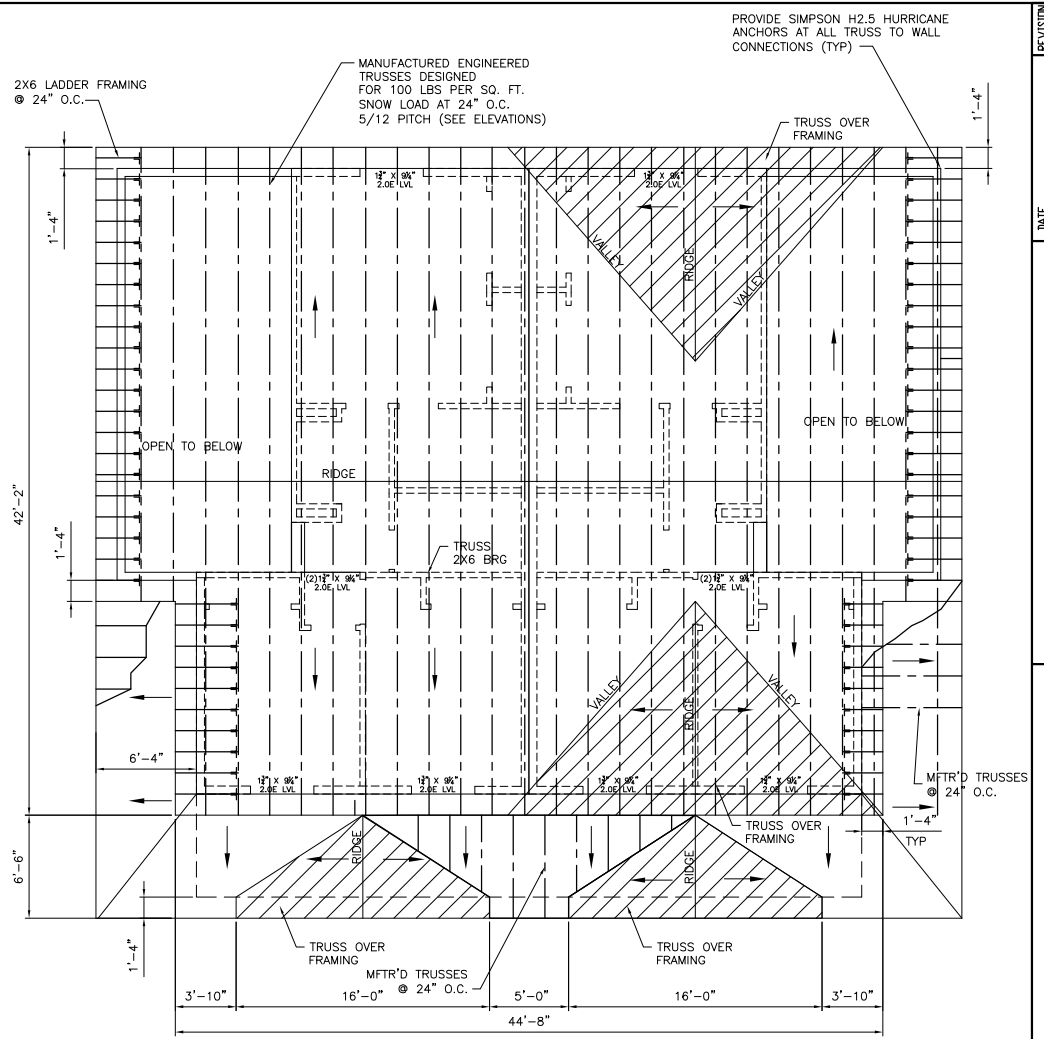
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DATE	03/06/24	
SCALE	1/2"=1'-0"	DETAILS

ROCKRIDGE TOWNHOMES, TYPE 1
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HAILEY, ID

BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
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UPPER FLOOR FRAMING



ROOF FRAMING

NOTES

1. PROVIDE BLOCKING BETWEEN TRUSSES, PROVIDE FOR VENTILATION
2. PROVIDE 6'-0" (MIN 2 LAPS) OF ICE AND WATER SHIELD AT ALL ROOF EDGES
3. PROVIDE MIN. 3'-0" OF ICE AND WATER SHIELD AT ALL VALLEYS AND ROOF PENETRATIONS.
4. PROVIDE CONTINUOUS VENT W/(3) 2" DIA SCREENED HOLES IN BLK'G AT ROOF EXTERIOR WALLS.
5. PROVIDE 2" INSULATION BAFFLE AT EACH TRUSS.
6. PROVIDE GABLE END ROOF VENTS AS INDICATED ON EXTERIOR ELEVATIONS.
7. SEE HEADER DETAIL FOR INTERIOR AND EXTERIOR DETAILS

REVISION	0
DATE	03/06/24
SCALE	1/4"=1'-0"
FRAMING PLAN	A7

ROCKRIDGE TOWNHOMES, TYPE I
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HAILEY, ID

BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
 PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209

GENERAL NOTES:

STRUCTURAL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS STRUCTURAL ENGINEERS STAMP IS AFFIXED TO STRUCTURAL DWGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, SPECIFICATIONS, AND NOTES SHALL BE REPORTED TO THE ENGINEER FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION. CONTRACTOR SHALL COORDINATE ALL DUCT PLACEMENT WITH ENGINEER. CONTRACTOR IS RESPONSIBLE FOR ALL BRACING AND SHORING DURING CONSTRUCTION. CONTRACTOR TO SUBMIT A REQUEST TO ENGINEER FOR ANY SUBSTITUTION OF MATERIALS OR PRODUCTS SPECIFIED ON STRUCTURAL SHEETS. THE FOLLOW APPLIES UNLESS OTHERWISE NOTED ON DRAWINGS.

BUILDING CODE:

STRUCTURAL DESIGN AND CONSTRUCTION TO CONFORM TO THE INTERNATIONAL BUILDING CODE - 2018

DESIGN ROOF LOADS:

LIVE LOAD (SNOW) 100 PSF
DEAD LOAD 25 PSF

LATERAL LOADS:

WIND 115 MPH EXPOSURE C
SEISMIC ZONE 20, I
W-APPLICABLE LOADS - .35 SNOW

FOUNDATION & SOILS:

ASSUMED DESIGN SOIL BEARING PRESSURE 1500 PSF

ALL FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED, DRAINED SOIL. IF SOIL IS DISTURBED, COMPACT SOIL IN 6" LIFTS TO 95% MAXIMUM DRY DENSITY PER ASTM D960. CONTRACTOR TO NOTIFY ARCHITECT/ENGINEER IF SOIL CONDITIONS ARE ENCOUNTERED WHICH MAY REQUIRE A LOWER ASSUMED SOIL BEARING PRESSURE SUCH AS CLAY, SILTS, OR ORGANICS. SEE DETAILS FOR MAXIMUM FOOTING DEPTH BELOW GRADE.

CONCRETE:

STRUCTURAL CONCRETE, INCLUDING FOOTINGS, WALLS, AND SLABS SHALL HAVE THE FOLLOWING MAX REQUIREMENTS, AND MAX AGGREGATE SIZE OF 3/4"

28 DAY COMPRESSION STRENGTH:	MIN. CEMENT CONTENT	ENTRAINED AIR	MAXIMUM SLUMP
3000 PSI	5 SACKS/CU YD.	5% TO 6%	4"

CONCRETE PLACEMENT:

ALL CONCRETE PLACEMENT AND REINFORCEMENT COVER SHALL CONFORM TO ACI 318. CONCRETE FORM WORK TO BE OF ADEQUATE STRENGTH AND PROPERLY BRACED TO PREVENT GAFFING OR BULGING. PROTECT ALL CONCRETE FROM FREEZING TEMPERATURES. NO FOOTING SHALL BE PLACED ON DISTURBED SOIL. REINFORCING STEEL SHALL BE CONTINUOUS THROUGH ALL COLD JOINTS.

CONCRETE REINFORCEMENT:

REINFORCEMENT SHALL BE ASTM A615, GRADE 40 FOR #1 BARS AND SMALLER, AND GRADE 60 FOR #5 BARS AND LARGER, WIRE MESH TO CONFORM TO ASTM A185-64. ALL REBAR SPLICES TO BE LAPPED 42 BAR DIAMETER'S UNLESS OTHERWISE NOTED. WELDING OF REBAR TO BE APPROVED BY ENGINEER, PAD AND STEM FOOTING REINFORCEMENT TO HAVE 3" CLEAR COVER OF CONCRETE TYPICAL UNLESS OTHERWISE NOTED ON THE DRAWINGS.

CONCRETE STEM WALLS:

REFER TO DRAWINGS FOR WALL SIZE AND REINFORCEMENT. PROVIDE CORNER BARS WITH 18" LEGS AT CORNERS AND INTERSECTING WALLS AND FOOTINGS. SIZE AND PLACEMENT TO MATCH HORIZONTAL REINFORCEMENT. ANCHOR BOLTS SHALL BE ASTM A307 AND OF THE SIZE AND SPACING AS INDICATED ON THE DRAWINGS AND HAVE A 7" MINIMUM EMBEDMENT DEPTH. ANCHOR BOLTS TO BE WITHIN 1'-0" OF SILL PLATE ENDS, WITH A MINIMUM OF TWO PER WALL, AND NO CLOSE THAN 6" FROM CONCRETE WALL CORNERS.

CONCRETE SLABS:

CONCRETE SLABS, UNLESS OTHERWISE NOTED ON DRAWINGS, SHALL BE 4" THICK, ON 6" COMPACTED GRAVEL BASE WITH 5 MIL. POLYETHYLENE VAPOR BARRIER, TO BE PLACED ON UNDISTURBED SOIL. REINFORCE WITH #3 BARS AT 18" O.C. PLACED 1-1/2" CLEAR FROM TOP FACE. ALL SURFACES OF CONSTRUCTION JOINTS SHALL BE CLEANED TO REMOVED DUST, CHIPS, AND FOREIGN MATTER PRIOR TO POURING ADJACENT SLAB. CRACK CONTROL JOINTS SHALL HAVE A MAXIMUM SPACING OF 15'-0" IN

SAWN STRUCTURAL LUMBER:

STRUCTURAL LUMBER SHALL BE DOUGLAS FIR-LARCH (DF-L) No. 2 OR BETTER FOR ALL 2X'S, 3X'S, AND 4X'S. WOOD BEARING ON, OR INSTALLED WITHIN 1" OF CONCRETE OR MASONRY SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.

WELDING:

ALL WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1 LATEST REVISION BY A CERTIFIED AWS WELDER.

WOOD FRAMING:

ALL FRAMING DETAILS SHALL BE IN ACCORDANCE WITH I.B.C. SECTION 2308 UNLESS NOTED OTHERWISE ON THE DRAWINGS. FRAMING NAILING SHALL CONFORM TO I.B.C. TABLE 2304.9.1 UNLESS NOTED OTHERWISE ON DRAWINGS. PROVIDE SOLID BLOCKING BELOW ALL BEARING WALLS AND POSTS. MINIMUM HEADER TO BE 6X8 WITH (1) 2X6 BEARING STUDS PLUS KING STUD EACH END UNLESS NOTED OTHERWISE, UNLESS NOTED OTHERWISE. STACK ALL RAFTER, JOIST AND STUD FRAMING. "MODULE". PROVIDE STEEL STRAPS AT PIPES IN STUD WALLS AS REQUIRED BY THE I.B.C. SECTION 2308.3.8 OVERFRAMING. OR "CALIFORNIA FRAMING" SHALL BE DONE SUCH THAT VERTICAL LOADS ARE TRANSFERRED, TO MAIN STRUCTURE BELOW, BY DIRECT BEARING, AT SPACING NOT TO EXCEED 24" O.C.

HEADERS:

UNLESS NOTED OTHERWISE ALL HEADERS SHALL BE 6x8.

FRM'G LUMBER (MAX. MOISTURE CONTENT=19%)

STUDS/PORCH FLOOR JOISTS	BEAMS, COLUMNS, & ROOF JOISTS
DOUGLAS FIR No. 1/No. 2	DOUGLAS FIR No. 1
Fb=900 E=1,600,000	Fb=1000 E=1,700,000

NAILS, BOLTS, LAGS, AND PRE-FABRICATED CONNECTIONS FOR WOOD:

ALL NAILS SHALL BE BOX OR GALVANIZED BOX. THE USE OF STAPLES TO BE VERIFIED BY ENGINEER, BOTH BOLTS AND LAGS SHALL CONFORM TO ASTM A307 GRADE UNLESS OTHERWISE NOTED. PROVIDE MILD STEEL PLATE WASHERS AT ALL BOLT HEADS AND NUTS BEARING AGAINST WOOD, METAL HANGERS AND CONNECTIONS SHOWN ON DRAWINGS TO BE MANUFACTURED BY THE SIMPSON COMPANY AND INSTALLED PER THEIR SPECIFICATIONS. OTHER MANUFACTURER'S MAY BE CONSIDERED WHERE LOAD CAPACITY AND DIMENSIONS ARE EQUAL OR BETTER. ALL SUBSTITUTIONS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW.

ROOF SHEATHING:

5/8" CDX MINIMUM (40/20) SPAN RATING

EXTERIOR WALL SHEATHING: 15/32" CDX (24/0) SPAN RATING UNLESS OTHERWISE NOTED. ORIENTED STRAND BOARD WITH THE SAME SPAN RATING MAY BE SUBSTITUTED.

PRE-MANUFACTURED WOOD TRUSSES:

WOOD TRUSSES SHALL BE MANUFACTURED WITH STRESS RATED MATERIALS DESIGNED TO SUPPORT LOADINGS SHOWN ON DRAWINGS. BRACE BOTTOM CHORD AND WEB MEMBERS AS REQUIRED BY MANUFACTURER. TRUSS DEFLECTION TO BE LIMITED TO L/240 OR BETTER FOR ALL LOADING CONDITIONS. TRUSS MANUFACTURER IS RESPONSIBLE FOR ALL BLOCKING CALL OUTS INCLUDING CONNECTIONS, INCLUDING SPECIFICATION OF JOIST HANGERS, OF TRUSSED ROOF AREAS, INCLUDING EAVE OVERHANGS AND OVERFRAMING, SHOP DRAWINGS, DETAILS, AND STRUCTURAL CALCULATIONS OF TRUSSED ROOF SYSTEM MUST BE STAMPED BY A PROFESSIONAL CIVIL ENGINEER LICENSED IN THE STATE IN WHICH THE PROJECT IS TO BE CONSTRUCTED AND SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION.

PLYWOOD SHEATHING:

ALL PLYWOOD SHEATHING SHALL BE APA RATED EXPOSURE 2 PLYWOOD WITH THICKNESS, VENEER GRADES AND SPAN RATINGS AS NOTED HEREIN OR ON DRAWINGS/DETAILS. PLYWOOD AT ROOF AND FLOORS SHALL BE LAD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND END JOINTS STAGGERED 4'-0" O.C.. PROVIDE 1/2" SPACE AT ALL PANEL EDGES. NAIL ROOF WITH 10d AT 6" O.C. EDGE NAILING (E,N,) AND 12" O.C. FIELD NAILING (INTERMEDIATE) UNLESS NOTED OTHERWISE ON DRAWINGS. NAIL FLOOR WITH 8d AT 6" O.C. EDGE NAILING (E,N,) AND 12" O.C. FIELD NAILING (U.N.O.) NAIL APA RATED WALL PANEL EDGES AND BOUNDARIES WITH 8d AT 6" O.C. EDGE NAILING, AND 12" O.C. FIELD NAILING (INTERMEDIATE) UNLESS OTHERWISE SPECIFIED ON DRAWINGS OR SHEAR WALL SCHEDULE. BLOCK AND NAIL ALL HORIZONTAL PANEL EDGES AT DESIGNATED SHEAR WALLS.

PONY WALLS (CRIPPLE WALLS)

ALL PONY WALLS WITH STUD HEIGHTS GREATER THAN 14" SHALL BE BRACED IN ACCORDANCE WITH I.B.C. SECTION 2308.9.4.

EDGE NAILING:

CALLOUT	NAIL	SPACING	FLR LOAD
E.N.1	10d	6"	320LF
E.N.2	10d	4"	425 LF
E.N.3	10d	3"	620 LF

U.N.O. ALL EDGE NAILING TO BE E.N.1.

SHEAR PANEL WALL BRACING

CALLOUT	BRACED WALL DESCRIPTION
WALL TYPE 1	WALL LOAD IS 1,920 lbs AND USING FTAO METHOD, SEE DETAIL 1, DRAWING AB.
WALL TYPE 2	WALL LOAD IS 1,920 lbs AND USING SW2 NAILING, THE MINIMUM PANEL LENGTH OF 10'4" USING A 15 TALL X 28" LONG PANEL, THE HOLD DOWN LOAD IS 1,024 lbs.
WALL TYPE 3	WALL LOAD IS 2,496 lbs AND USING SW2 NAILING, THE MINIMUM PANEL LENGTH IS 13'. USING A PANEL LENGTH OF 28" THE HOLD DOWN LOAD IS 785 lbs.
WALL TYPE 4	WALL LOAD IS 2,496 lbs AND USING SW2 NAILING, THE MINIMUM PANEL LENGTH IS 13'. USING A PANEL LENGTH OF 28" THE HOLD DOWN LOAD IS 785 lbs.
WALL TYPE 5	WALL LOAD IS 3,920 lbs AND USING SW2 NAILING, THE MINIMUM PANEL LENGTH IS 21'. USING (2) PANELS 15' IN LENGTH, THE HOLD DOWN LOAD IS 1,176 lbs.
WALL TYPE 6	WALL LOAD IS 1,960 lbs AND USING SW1 NAILING, THE MINIMUM PANEL LENGTH IS 4.35'. USING A PANEL 5' IN LENGTH, THE HOLD DOWN LOAD IS 3,528 lbs.
WALL TYPE 7	WALL LOAD IS 1,960 lbs AND USING SW1 NAILING, THE MINIMUM PANEL LENGTH IS 4.35'. USING (2) PANELS 7' IN LENGTH, THE HOLD DOWN LOAD IS 1,375 lbs.
WALL TYPE 8	WALL LOAD IS 6,344 lbs AND USING FTAO METHOD, SEE DETAIL 2, DRAWING AB.
WALL TYPE 9	WALL LOAD IS 1,500 lbs AND USING SW2 NAILING, THE MINIMUM PANEL LENGTH OF 8.1' USING A PANEL LENGTH OF 8' THE HOLD DOWN LOAD IS 1,896 lbs.

SHEAR WALL NAILING

CALLOUT	SHEATHING	FASTENERS	EDGE NAILING	FIELD NAILING	BLOCKING	ANCHOR BOLTS
SW 1	7/16 APA RATED OSB (BLOCKED) 24" O.C.	8d NAILS	4" O.C.	12" O.C.	PANEL EDGES @ 24" O.C.	1/2" DIA x 10 AB @ 24" O.C.
SW 2	7/16 APA RATED OSB (UNBLOCKED) 24" O.C.	8d NAILS	6" O.C.	12" O.C.	N/A	1/2" DIA x 10 AB @ 24" O.C.
SW 3	7/16 APA RATED OSB (BLOCKED) 24" O.C.	8d NAILS	3" O.C.	12" O.C.	PANEL EDGES @ 24" O.C.	1/2" DIA x 10 AB @ 24" O.C.

7/16 CROWN 16ga x 2" STAPLES 3" O.C. IF SUBSTITUTED FOR 8d NAILS & 6" O.C.

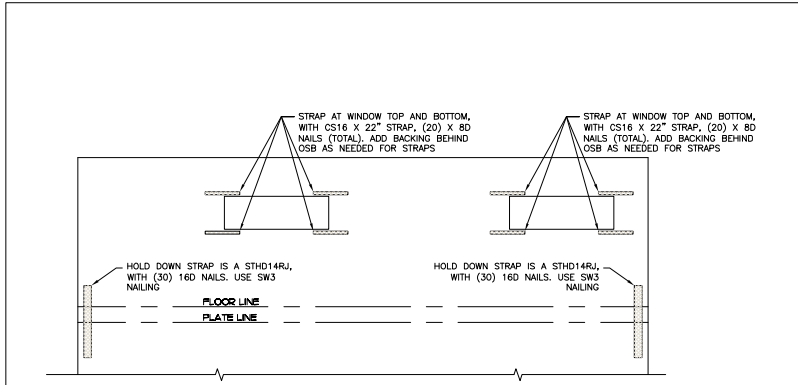
SHEAR PANEL HOLD DOWNS

- 1 HOLD DOWNS FOR THE LOWER LEVEL WILL HAVE A MAXIMUM OF 4,500 lbs AND MUST USE A STDH14 STRAP WITH (30) 16d SINKERS, IN LOCATIONS AS INDICATED.
- 2 HOLD DOWNS FOR THE LOWER LEVEL WILL HAVE A MAXIMUM OF 2,000 LBS AND MUST USE A HDU2-SDS2.5 HOLD DOWN WITH (8) 1/2"x2.5" SCREWS, SIMPSON CAST IN PLACE SB5/6x24" ANCHORS OR EQUIVALENT TO BE USED, WITH A MINIMUM 18" EMBEDMENT.
- 3 HOLD DOWNS FOR THE UPPER LEVEL WILL HAVE A MAXIMUM OF 2,000 LBS AND MUST USE A CMSTC16 COIL STRAP WITH (11) 0.148 x 2.5" NAILS, EACH END OF STRAP, STRAP IS 36" LONG TO SPAN THE FLOOR FRAMING.

REVISION	0
DATE	03/06/24
SCALE	
NOTES	A8

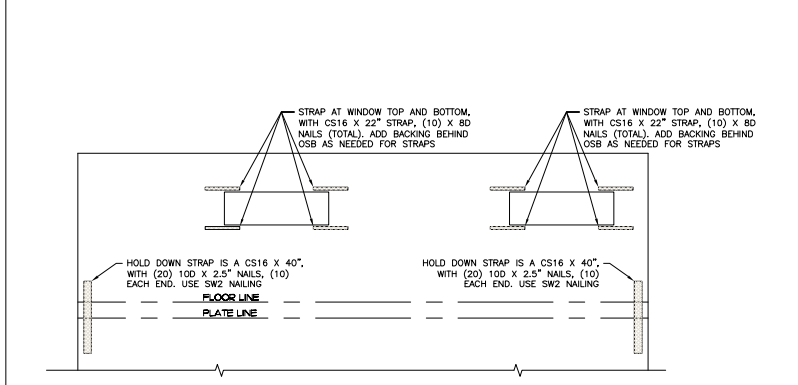
ROCKRIDGE TOWNHOMES, TYPE 1
2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
WOODSIDE # 15 SUBDIVISION, HAILLEY, ID

BRADLEY CONSTRUCTION
JAMES BRADLEY, PO BOX 2722, HAILLEY, IDAHO, 83333
PHONE: 788-5008 CELL: 481-2209 FAX 788-2801



WALL TYPE 8 - WALL LOAD IS 6,334 lbs AND USING FTAO METHOD, SUMMARY IS ABOVE

2 SHEER WALL TYPE 8 DETAIL
SCALE: NTS



WALL TYPE 1 - WALL LOAD IS 1,920 lbs AND USING FTAO METHOD, SUMMARY IS ABOVE

1 SHEER WALL TYPE 1 DETAIL
SCALE: NTS

REVISION	0
DATE	03/06/24
SCALE	1/2"=1'-0"
STR. DETAILS	

ROCKRIDGE TOWNHOMES, TYPE 1
2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
WOODSIDE # 15 SUBDIVISION, HAILEY, ID

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ROCKRIDGE TOWNHOMES HAILEY, IDAHO MARCH 2023



REVISION NO.	DATE	DESCRIPTION

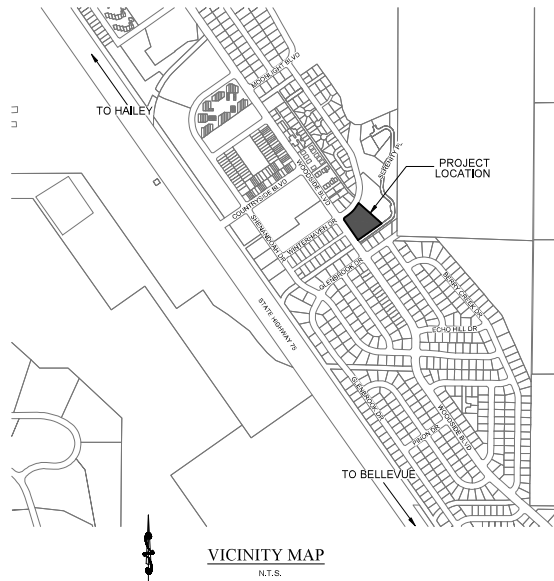
**PRELIMINARY
NOT FOR
CONSTRUCTION**

COVER SHEET
ROCKRIDGE TOWNHOMES
CREATED FOR RESIDENTIAL ACCESS, LLC

22028
PROJECT NUMBER
C0.1

GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPOWC) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPOWC AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL GDLINE (1-800-332-1989) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPOWC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPOWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH F#1 RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPOWC 802, TYPE II (STD STANDARD 703.04, 71). SHALL BE PLACED IN CONFORMANCE WITH ISPOWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPOWC 802, TYPE I (STD STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPOWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITO T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPOWC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 10" (9.5MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPOWC SECTION 803. ASPHALT GRINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPOWC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING, NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL, PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPOWC SECTIONS 701, 703, AND 705 AND CITY OF HAILEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPOWC SECTION 703, TABLE 1 WITH A MINIMUM OF 1.5 LBS/YD³ FIBER REINFORCEMENT. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-84. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPOWC 703.3.5), AND POST POUR CURE SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HAILEY PRIOR TO INSPECTIONS.
- ALL TRENCHING SHALL CONFORM TO ISPOWC STANDARD DRAWING SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.010.A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1813, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RECOMMANDED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPOWC), IDAPA 58.01.06, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF HAILEY UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPOWC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSISNF 610, 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSISNF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING. TOPOGRAPHIC INFORMATION WITHIN AND ADJACENT TO WOODSIDE SUB #15 LOT 2A BLOCK 61 IS AS IF EXISTED ON THE FIELD SURVEY WAS PERFORMED (05/22/19). TOPOGRAPHIC INFORMATION WITHIN AND ADJACENT TO WOODSIDE SUB #15 PARCEL M2 BLOCK 61 IS PER BLAINE COUNTY LIDAR DATED 2017.
- PROPOSED SUBLOT BOUNDARIES AND PROPOSED EASEMENTS SHOWN HEREON ARE PER A PRELIMINARY PLAT BY GALENA ENGINEERING, DATED MAY 25, 2021.

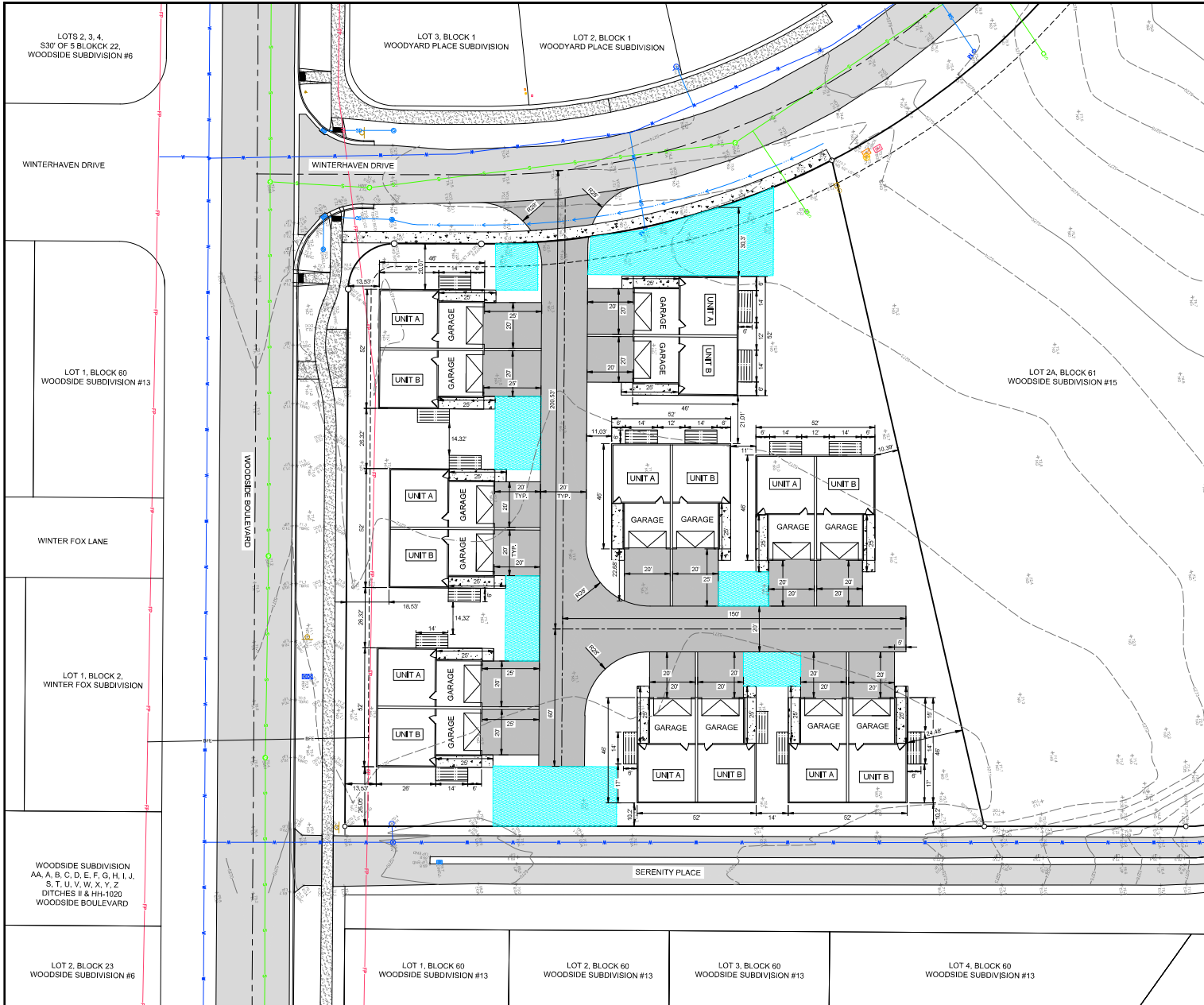


SHEET INDEX

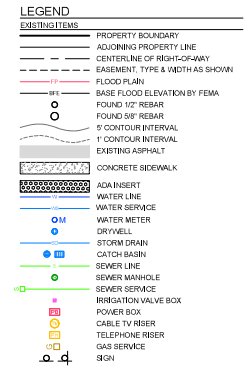
SHEET#	DESCRIPTION
C0.1	COVER SHEET
C0.9	SITE LAYOUT PLAN

CIVIL ENGINEER
SAMANTHA STAHLNECKER, PE
OPAL ENGINEERING, PLLC
416 S. MAIN STREET SUITE 204
PO BOX 2530
HAILEY, IDAHO 83333

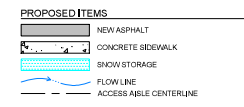
L. RELEASE OF DRAWINGS: These drawings, or any portion thereof, shall not be used in any project or endeavor of the project except by agreement with Opal Engineering, PLLC.



- NOTES**
- SEE SHEET C01 FOR CONSTRUCTION GENERAL NOTES.
 - SEE SURVEY FOR SURVEY NOTES.



- ABBREVIATIONS**
- 30W = BACK OF SIDEWALK
 - BL = BICYCLE LANE
 - CO = CURB CUT
 - CL = CENTERLINE OF ASPHALT
 - EOA = EDGE OF ASPHALT
 - EOC = EDGE OF CONCRETE
 - LP = LIP OF GUTTER
 - NG = NATURAL GRADE
 - PC = POINT OF CURVATURE
 - POC = POINT OF CURVATURE
 - COM = COMBUND
 - CURV = CURVATURE
 - PT = POINT OF TANGENT
 - TBC = TOP BACK OF ROLLED CURB
 - TC = TOP OF CONCRETE
 - VB = VALLEY GUTTER



SNOW STORAGE SUMMARY

PROPOSED SNOW REMOVAL AREA = 15,285 SF
 INCLUDES ACCESS AISLE AND DRIVEWAYS

REQUIRED SNOW STORAGE = 43,819 SF (28%)

PROVIDED SNOW STORAGE = 45,722 SF (37.4%)



PURPOSE: ISSUE FOR DESIGN REVIEW PRE-APPLICATION (03/13/2024)

REVISION NO.	DATE	DESCRIPTION

PRELIMINARY NOT FOR CONSTRUCTION

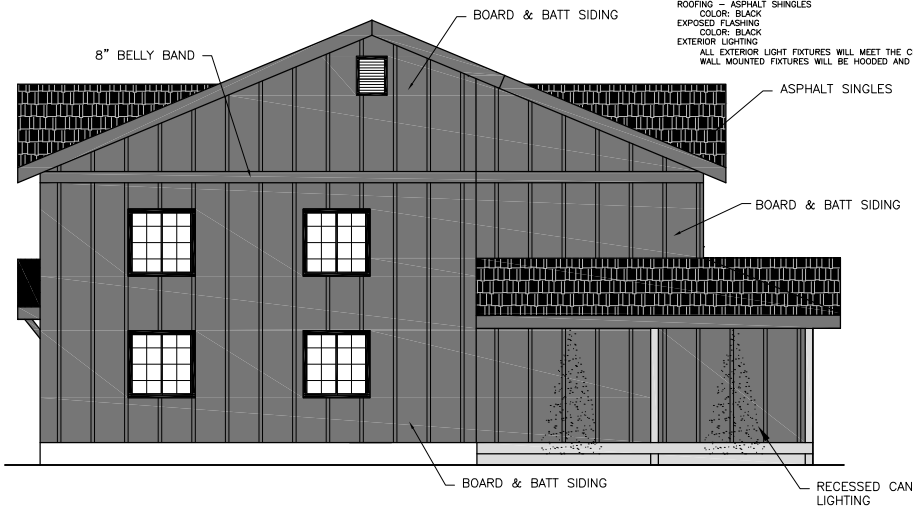
PRELIMINARY SITE PLAN
 ROCKRIDGE TOWNHOMES
 REDESIGNED FOR PROPERTY ACCESS, LLC.

22028
 PROJECT NUMBER
C1.0

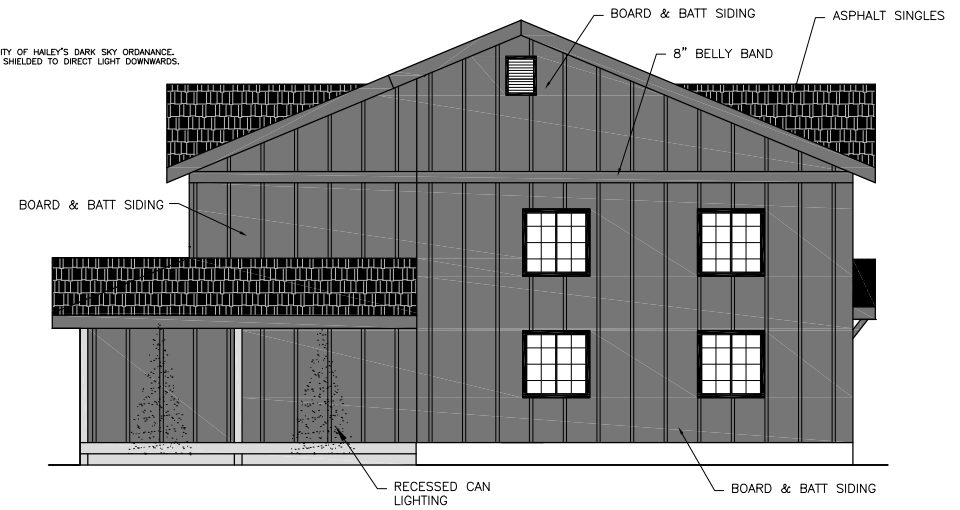
TABLE OF DRAWINGS: These drawings, or any portion thereof, shall not be used in any project of construction unless they are approved in writing by Opal Engineering, P.L.L.C.

EXTERIOR MATERIAL FINISHES — BUILDING 1

EXTERIOR SIDING — BOARD & BATT SIDING & 8" LAP SIDING
 COLOR: BENJAMIN MOORE — KENDALL CHARCOAL (HC-166)
 EXTERIOR TRIM (CORNER BOARDS, FASCIA)
 COLOR: BENJAMIN MOORE — KENDALL CHARCOAL (HC-166)
 ENTRY DOOR
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 GARAGE DOOR
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 WINDOWS — VINYL
 COLOR: BLACK
 ROOFING — ASPHALT SHINGLES
 COLOR: BLACK
 EXPOSED FLASHING
 COLOR: BLACK
 EXTERIOR LIGHTING
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 WALL MOUNTED FIXTURES WILL BE HOODED AND SHIELDED TO DIRECT LIGHT DOWNWARDS.



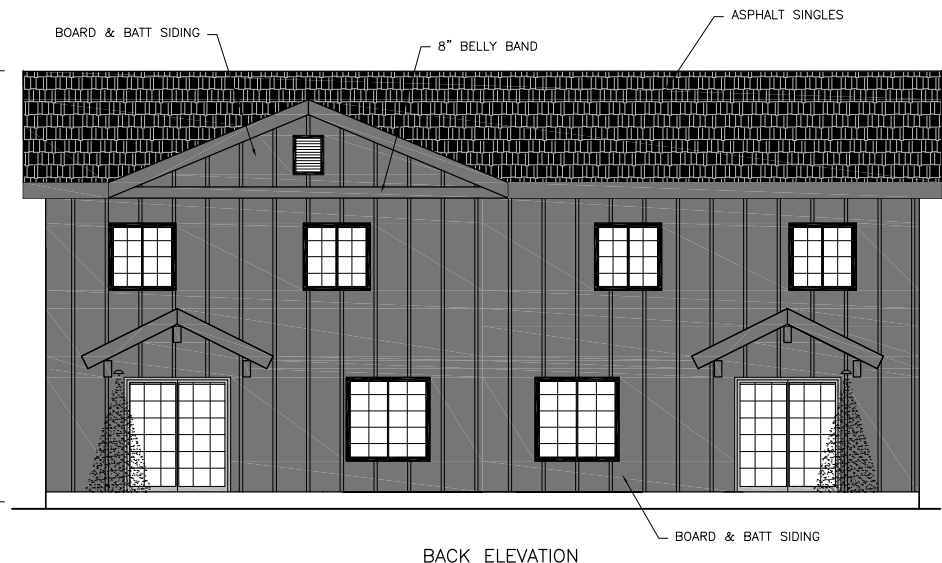
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

SIDING OPTION A

REVISION	0	A Z C
DATE	03/27/24	
SCALE	1/4"=1'-0"	

ROCKRIDGE TOWNHOMES, TYPE 1
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HALLEY, ID

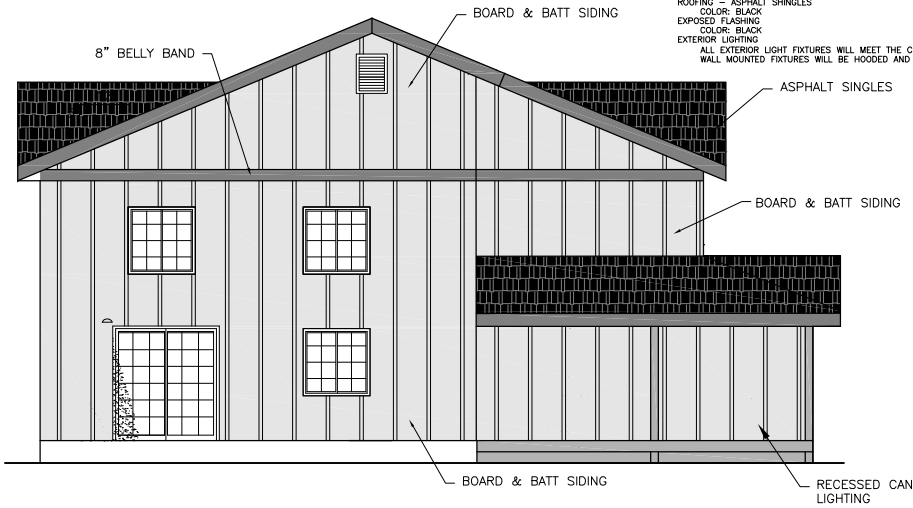
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HALLEY, IDAHO, 83333

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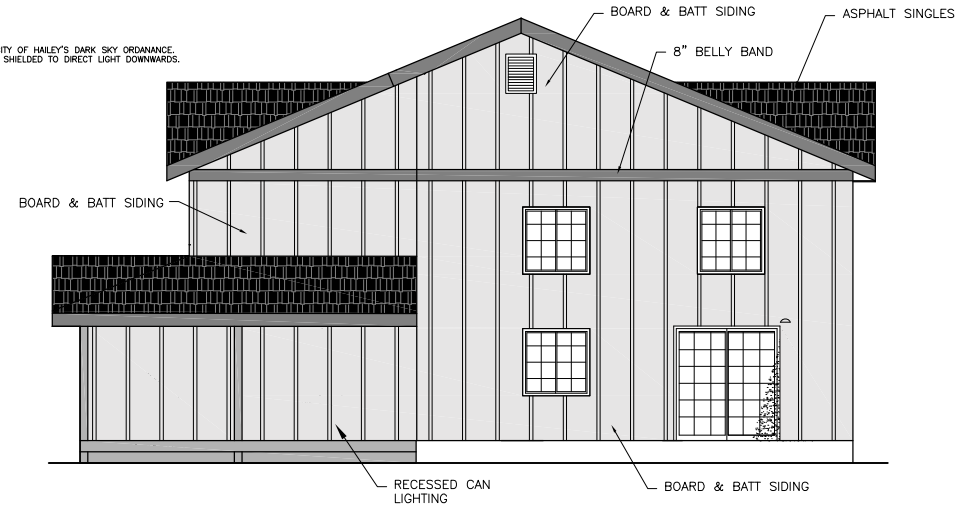
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 ENTRY DOOR
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 GARAGE DOOR
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 WINDOWS — VINYL
 COLOR: WHITE
 ROOFING — ASPHALT SHINGLES
 COLOR: BLACK
 EXPOSED FLASHING
 COLOR: BLACK
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MATERIAL FINISHES

BOARD & BATT SIDING & 8" LAP SIDING
 BLACK ARCHITECTURAL ASPHALT SHINGLES



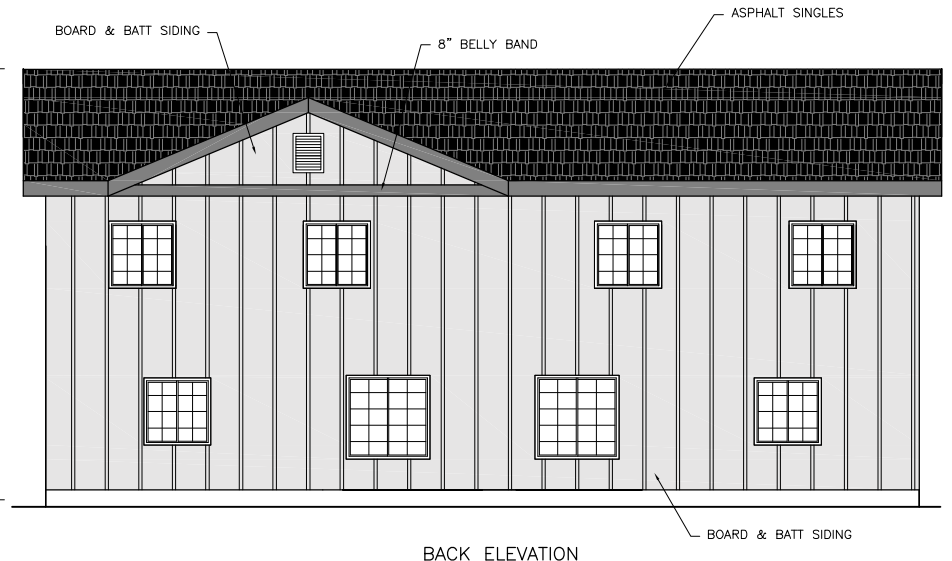
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

SIDING OPTION A

REVISION	0
DATE	03/06/24
SCALE	1/4"=1'-0"

ROCKRIDGE TOWNHOMES, TYPE 2
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HALLEY, ID

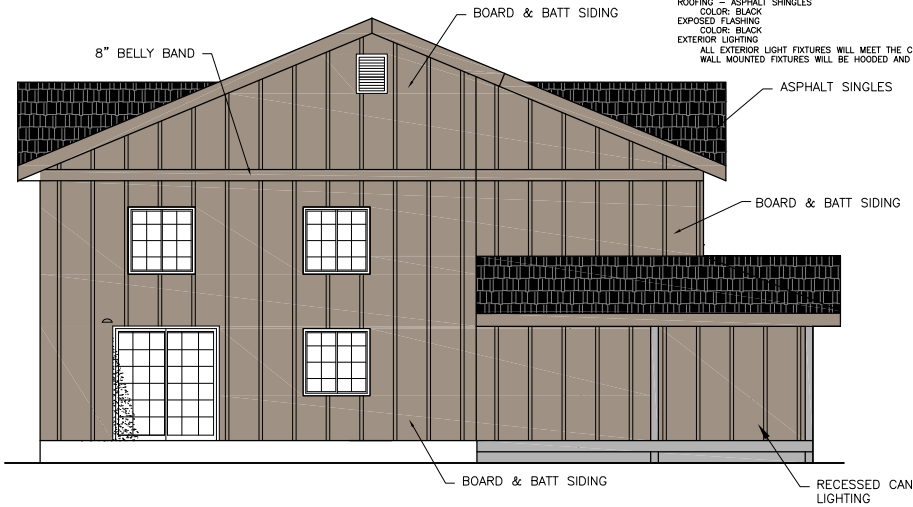
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HALLEY, IDAHO, 83333

EXTERIOR MATERIAL FINISHES — BUILDING 3

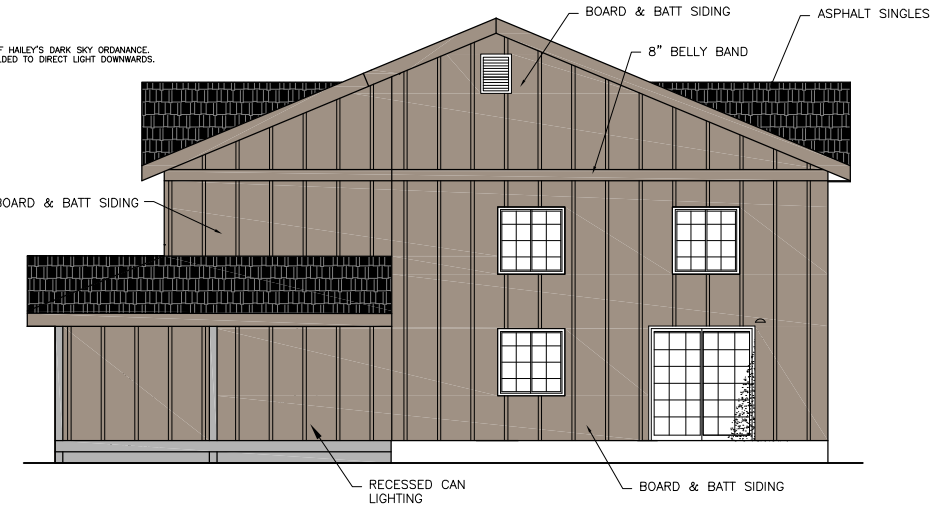
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 ENTRY DOOR
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 GARAGE DOOR
 COLOR: BENJAMIN MOORE — REVERE PEWTER (HC-172)
 WINDOWS — VINYL
 COLOR: WHITE
 ROOFING — ASPHALT SHINGLES
 COLOR: BLACK
 EXPOSED FLASHING
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MATERIAL FINISHES

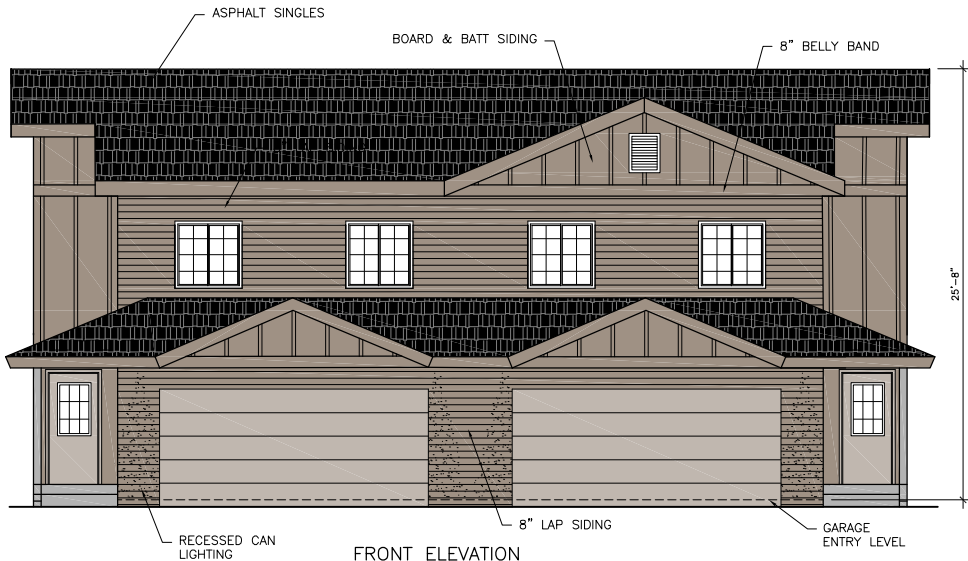
BOARD & BATT SIDING & 8" LAP SIDING
 BLACK ARCHITECTURAL ASPHALT SHINGLES



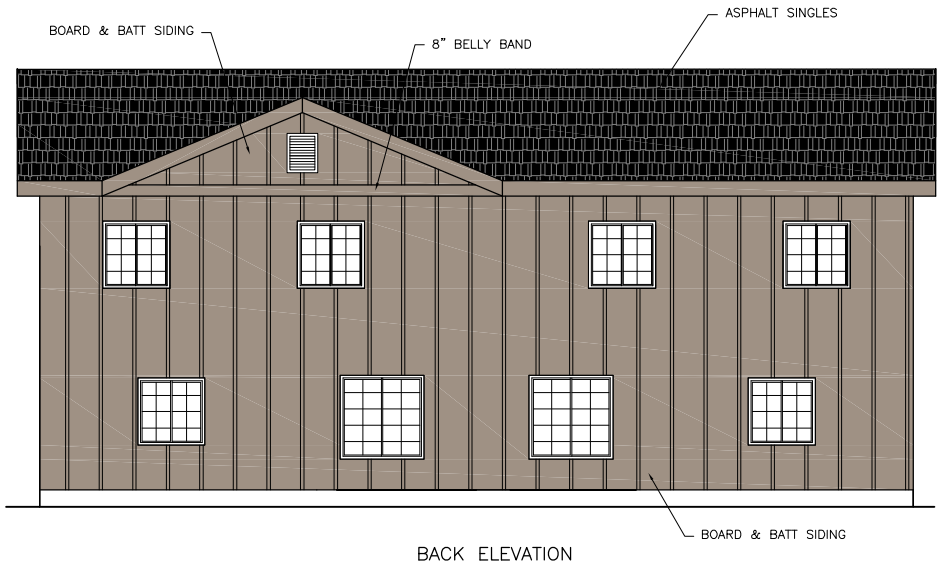
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

SIDING OPTION A

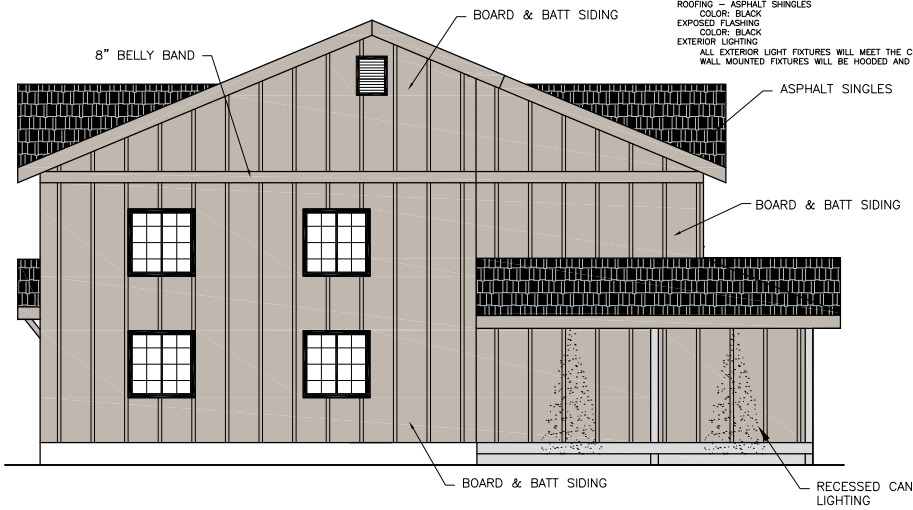
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ROCKRIDGE TOWNHOMES, TYPE 2
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 WOODSIDE # 15 SUBDIVISION, HAILEY, ID

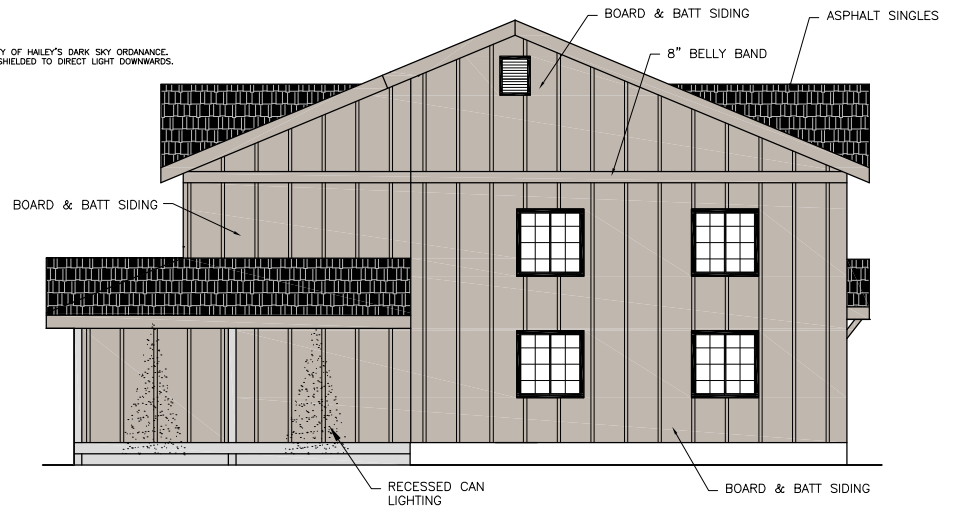
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333

EXTERIOR MATERIAL FINISHES — BUILDING 4

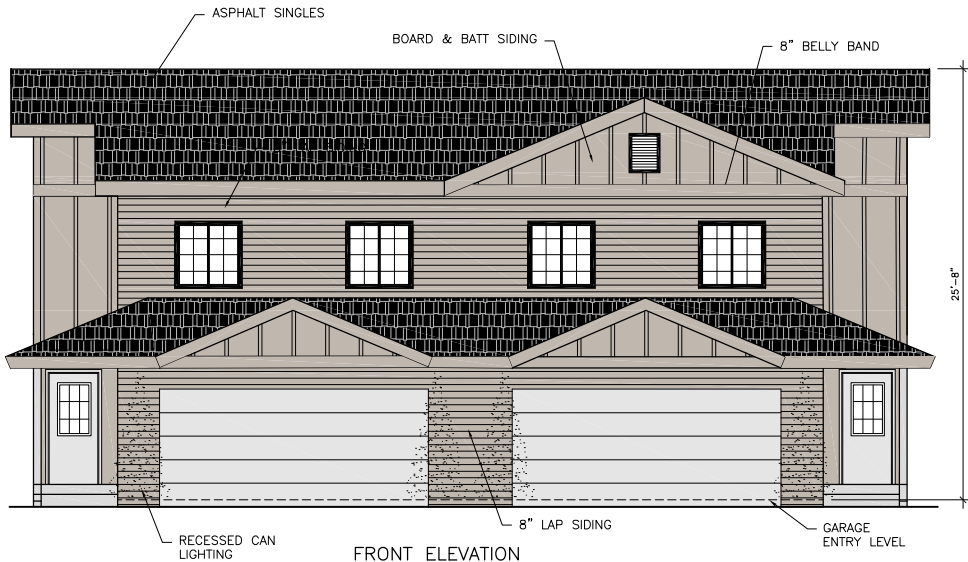
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 EXTERIOR TRIM (CORNER BOARDS, FASCIA)
 COLOR: BENJAMIN MOORE — REVERE PEWTER (HC-172)
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 GARAGE DOOR
 COLOR: SHERWIN WILLIAMS — SNOWBOUND (7004)
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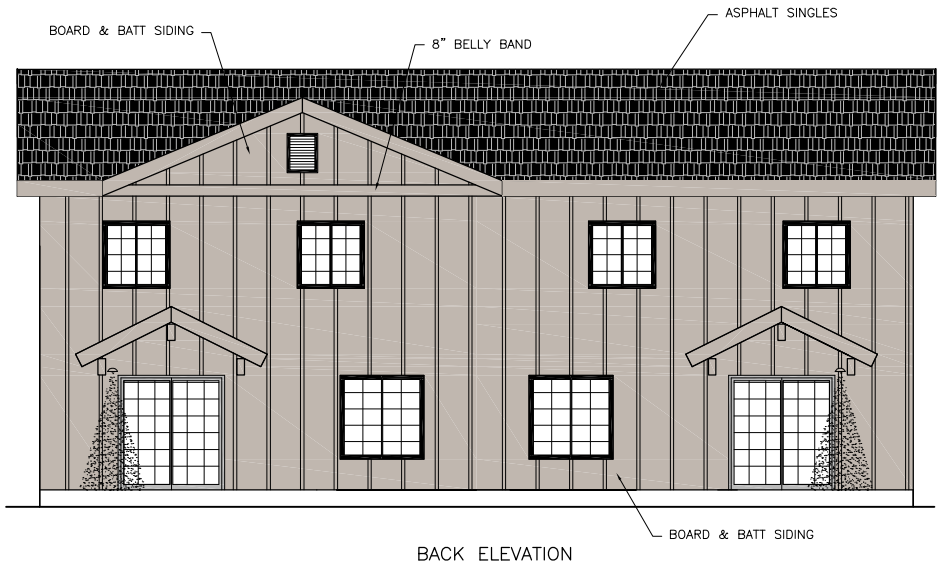
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

SIDING OPTION A

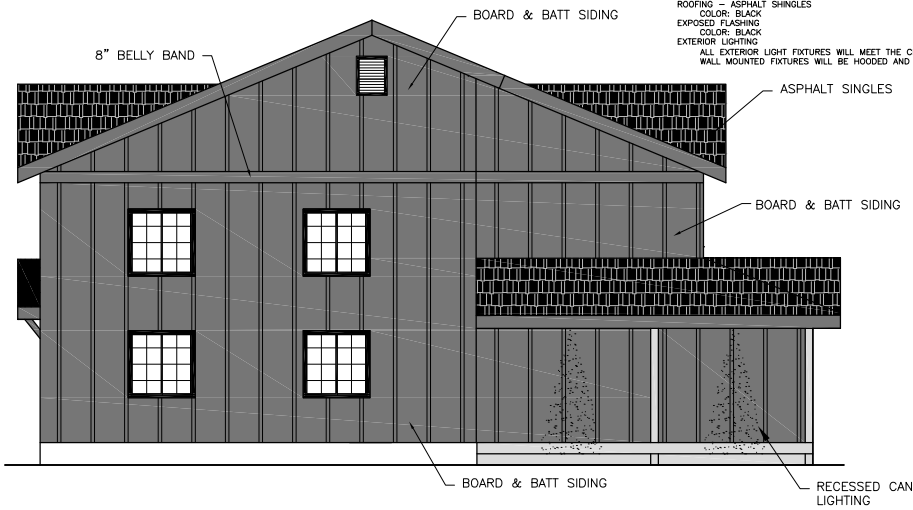
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 WOODSIDE # 15 SUBDIVISION, HALLEY, ID

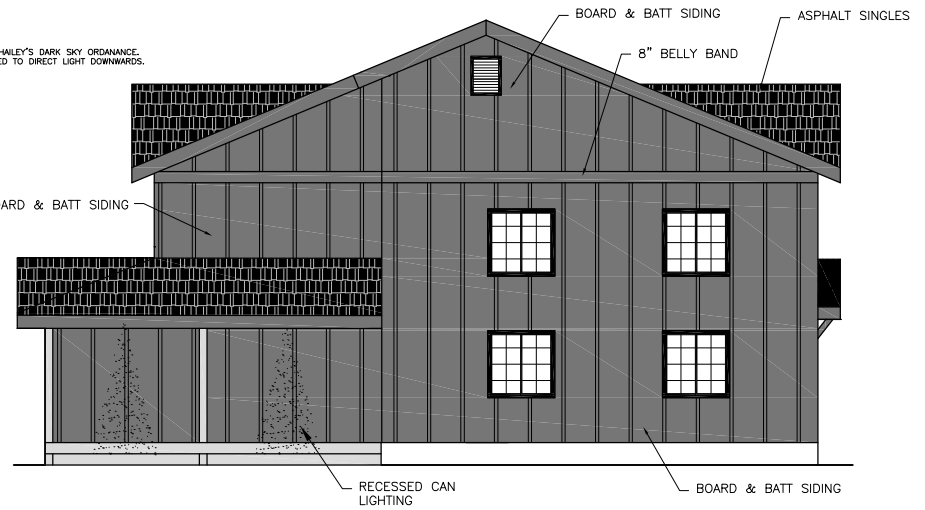
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HALLEY, IDAHO, 83333

EXTERIOR MATERIAL FINISHES – BUILDING 5

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 EXTERIOR TRIM (CORNER BOARDS, FASCIA)
 COLOR: BENJAMIN MOORE – KENDALL CHARCOAL (HC-166)
 ENTRY DOOR
 COLOR: SHERWIN WILLIAMS – LIGHT FRENCH GRAY (0055)
 GARAGE DOOR
 COLOR: SHERWIN WILLIAMS – LIGHT FRENCH GRAY (0055)
 WINDOWS – VINYL
 COLOR: BLACK
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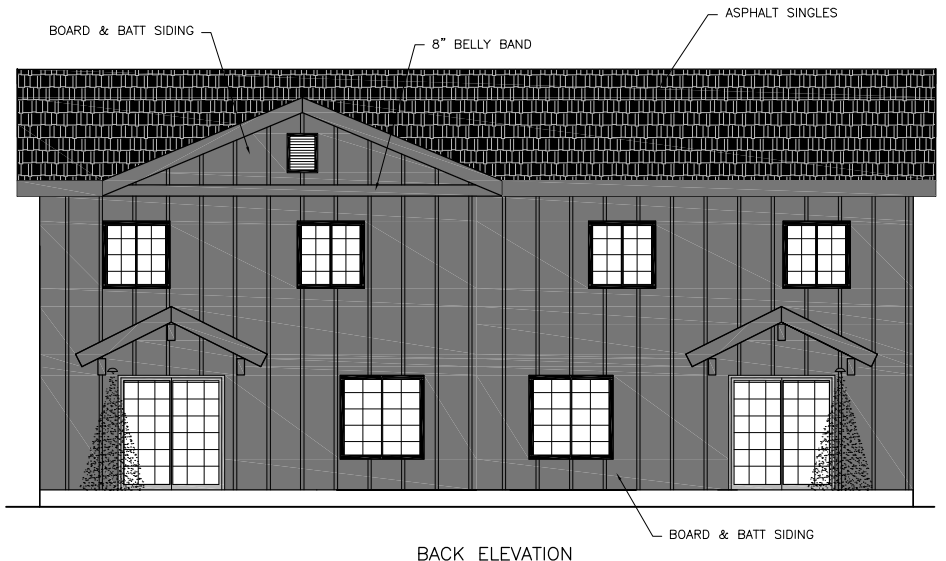
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

SIDING OPTION A

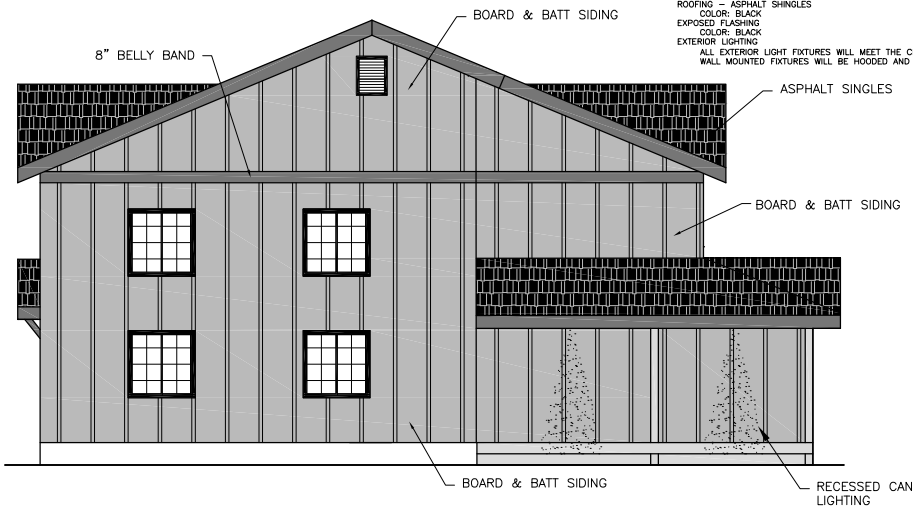
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DATE	03/27/24	
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 WOODSIDE # 15 SUBDIVISION, HALLEY, ID

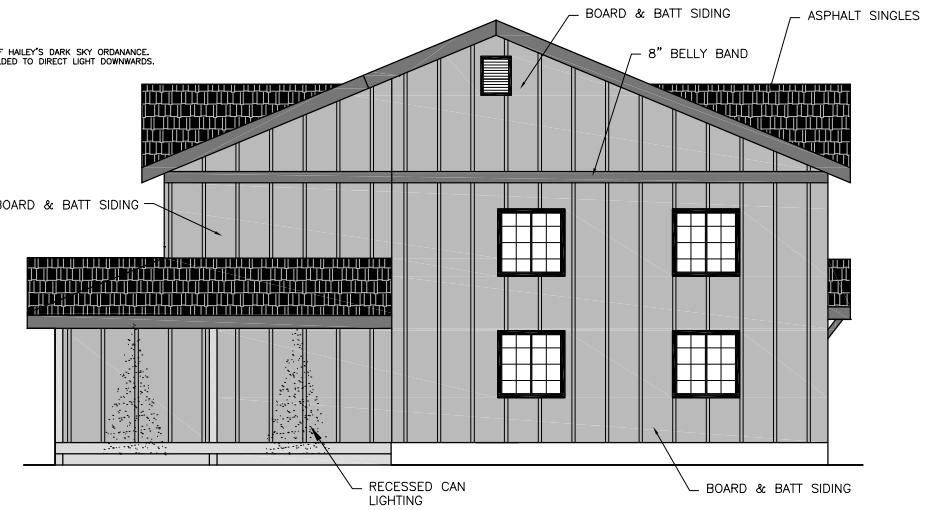
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HALLEY, IDAHO, 83333

EXTERIOR MATERIAL FINISHES — BUILDING 6

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 GARAGE DOOR
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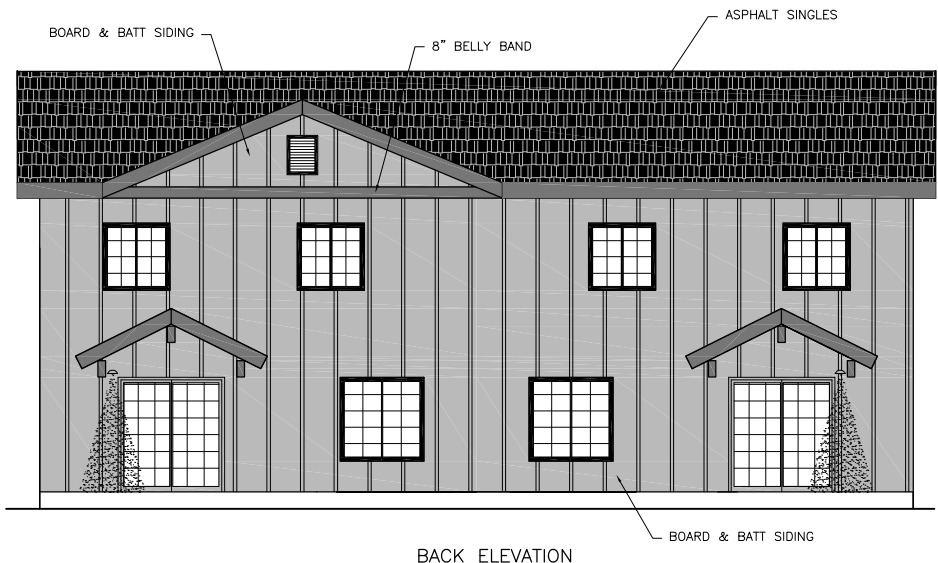
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

SIDING OPTION A

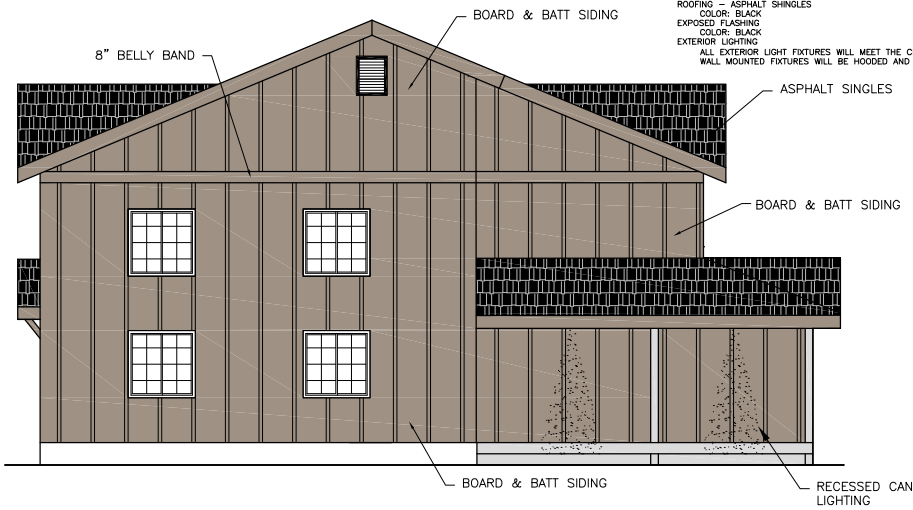
REVISION	0	A Z C
DATE	03/27/24	
SCALE	1/4"=1'-0"	

ROCKRIDGE TOWNHOMES, TYPE 1
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 WOODSIDE # 15 SUBDIVISION, HALLEY, ID

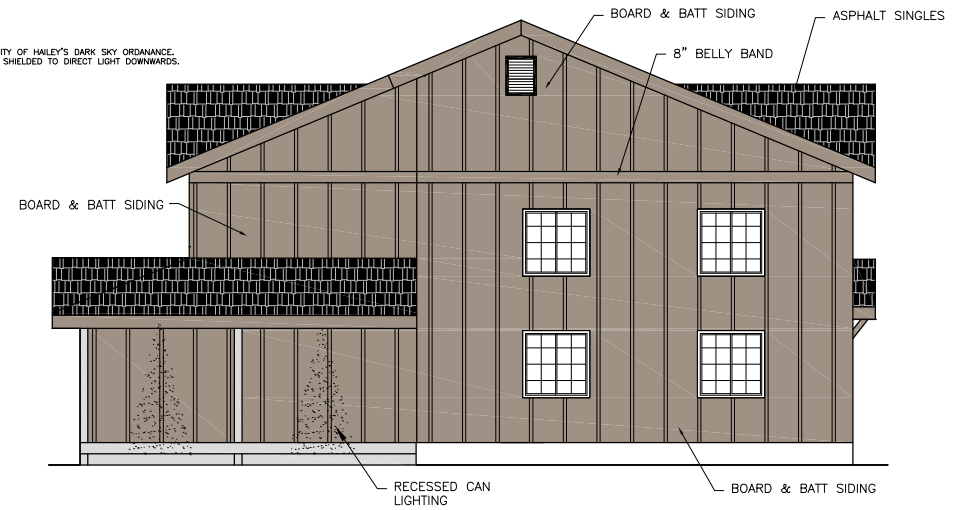
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HALLEY, IDAHO, 83333

EXTERIOR MATERIAL FINISHES – BUILDING 7

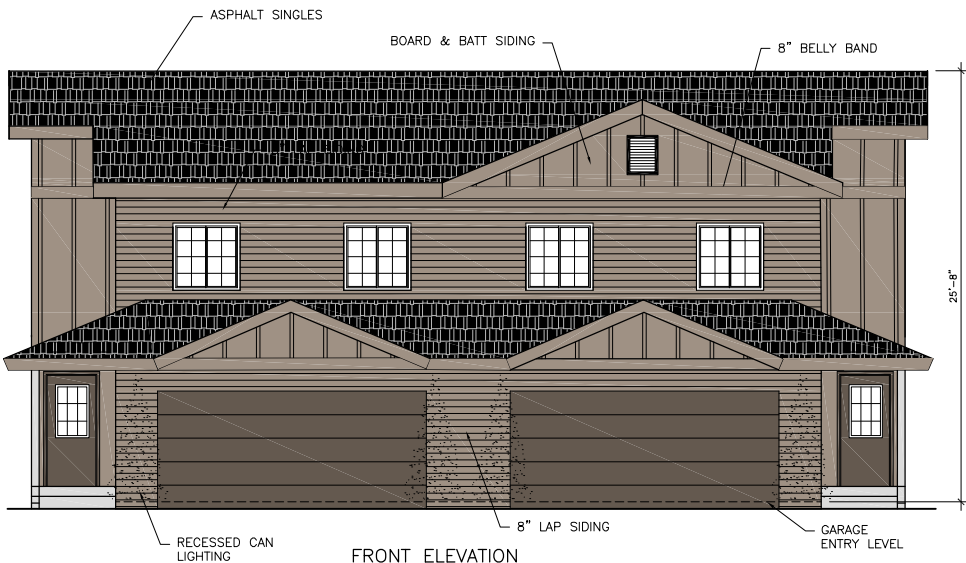
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 EXTERIOR TRIM (CORNER BOARDS, FASCIA)
 COLOR: BENJAMIN MOORE – KINGSPOINT GRAY (HC-86)
 ENTRY DOOR
 COLOR: SHERWIN WILLIAMS – GRIFFIN (7026)
 GARAGE DOOR
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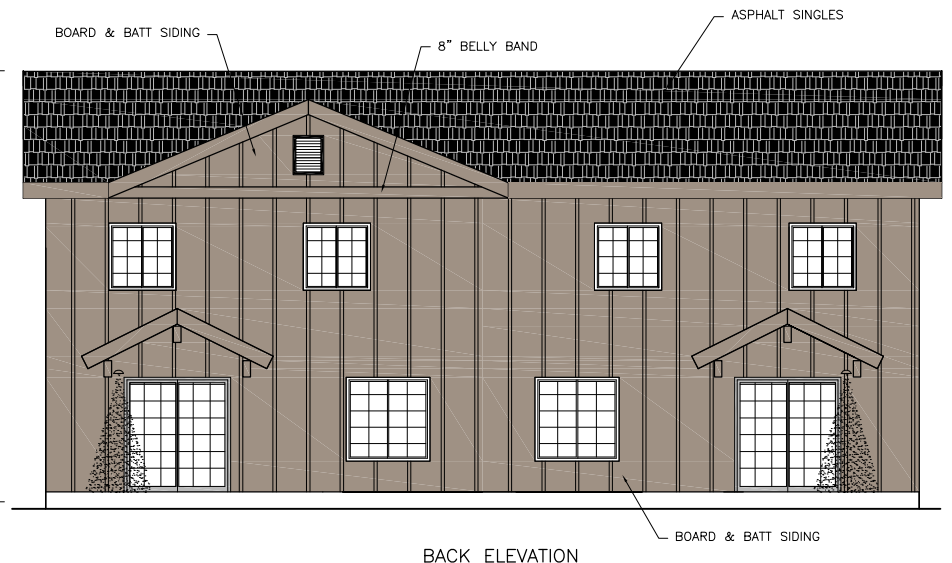
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

SIDING OPTION A

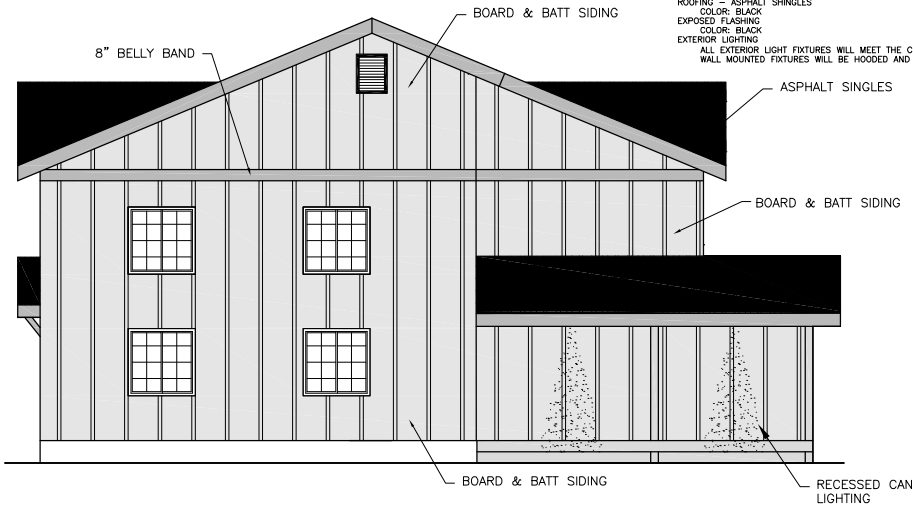
REVISION	0	A Z C
DATE	03/27/24	
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ROCKRIDGE TOWNHOMES, TYPE 1
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HALLEY, ID

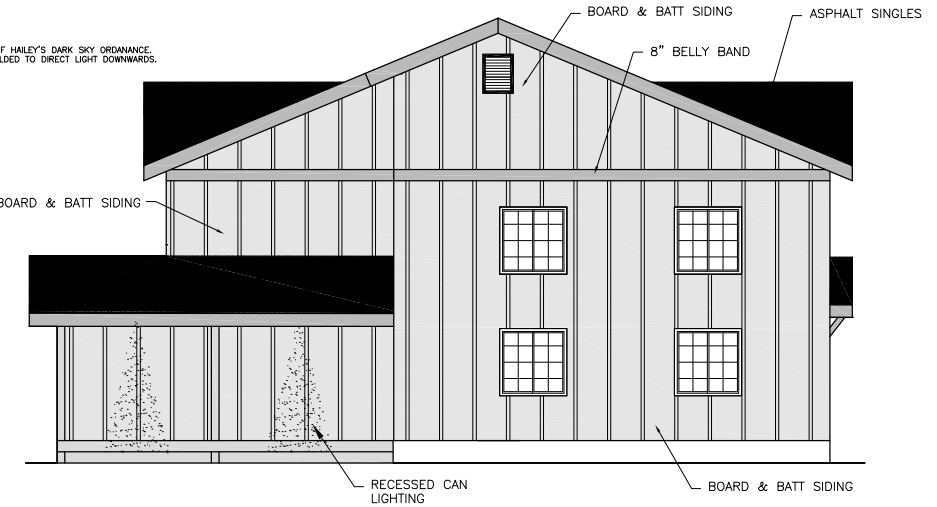
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HALLEY, IDAHO, 83333

EXTERIOR MATERIAL FINISHES — BUILDING 8

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 ENTRY DOOR
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 GARAGE DOOR
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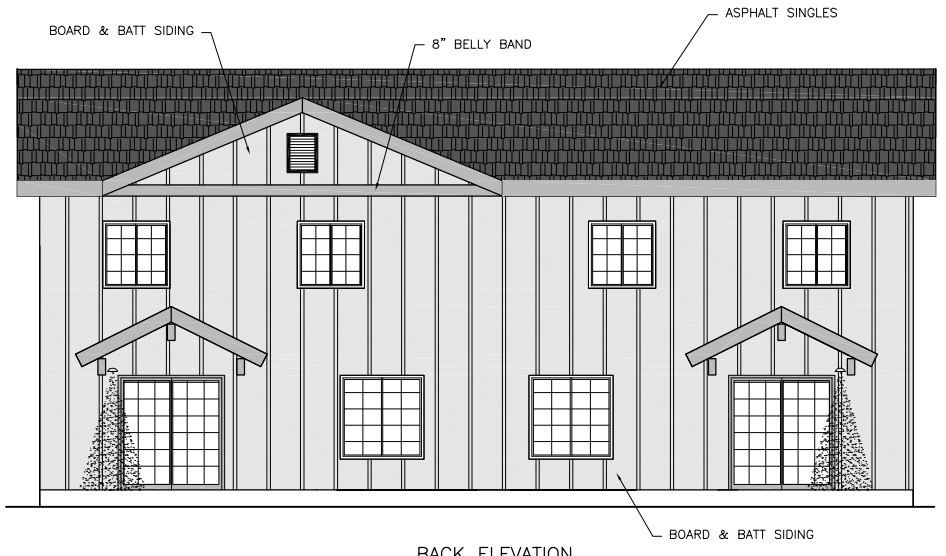
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

SIDING OPTION A

REVISION
0

DATE
03/27/24

SCALE: 1/4"=1'-0"

BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333

ROCKRIDGE TOWNHOMES, TYPE 1
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HAILEY, ID

Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of April 15, 2024

To: Hailey Planning and Zoning Commission

From: Emily Rodrigue, Community Development City Planner/Resilience Planner

Overview: Consideration of a Zone Change Application submitted by St. Charles Borromeo Catholic Church (Roman Catholic Diocese), represented by The Land Group, proposing to rezone Lots 3-10, Block 21, Townsite (311 South 1st Ave) from Transitional (TN) to Business (B), and located within the Townsite Overlay (TO) Zoning Districts.

Hearing: April 15, 2024

Application Contact: The Land Group, Inc. c/o Kira Wise

Location and Size: 311 South 1st Avenue (Hailey Lots 3-10, Block 21 (Church) Exempt App Received 2024); 0.661 acres

Current Zoning: Transitional (TN) and Townsite Overlay (TO)

Proposed Zoning: Business (B) and Townsite Overlay (TO)

Notice: Notice for the public hearing was mailed to property owners and agencies within 300 feet on April 7, 2023 and published in the Idaho Mountain Express on April 12, 2023. Notice was posted on the property on April 24, 2023. One (1) public comment was received by Staff.

Application: St. Charles Borromeo Catholic Church is proposing to amend the underlying zoning of their 0.66-acre property at 311 S 1st Avenue (Hailey Lots 3-10, Block 21 (Church) Exempt App Received 2024) from the Transitional (TN) Zoning District to the Business (B) Zoning District, maintaining the property's designation in the Townsite Overlay (TO) Zoning District. As shown below, the property borders the following zoning districts: General Residential (GR) to the east, Transitional (TN) to the south and north, and Business (B) to west.



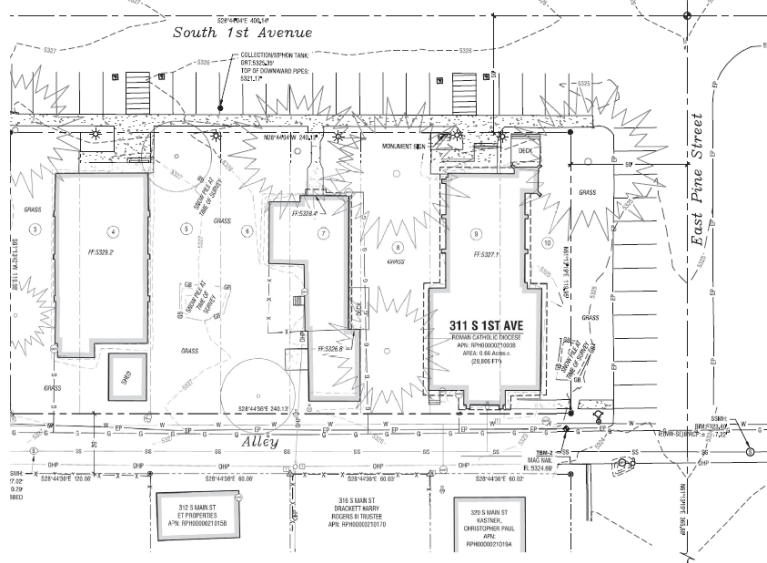
Analysis and Discussion:

The subject property is located on the west corner of S. 1st Avenue and E. Pine Street, east of the Main Street/State Highway 75, one (1) block east and south of the Central Core (CC) Overlay District. The lot borders Business (B) zoning to the west, Transitional (TN) to the north and south, and General Residential (GR) to the east. Further east is the Limited Residential (LR-1) zoning of Old Hailey. The Applicant has stated that the church community at this site has a 100+ year history, and that “the church has added a pastoral residence/office and Parish Hall”. Blaine County records confirm that three (3) buildings (church; residence/office; Parish Hall) currently occupy the site. The gabled roof lines, metal roofing, and exterior building materials/colors (brick, tan lap siding, and brown shingles), are characteristic of structures within the parcel’s Townsite Overlay (TO) Zoning District.

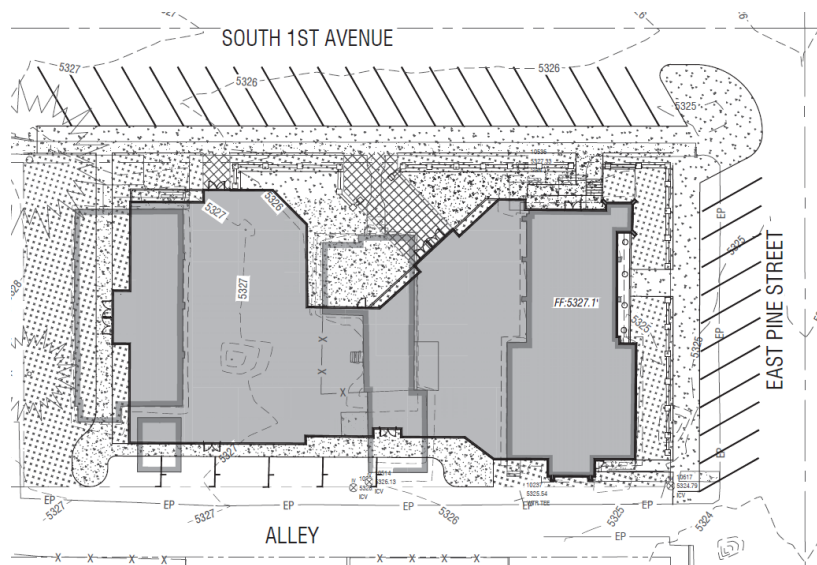
According to the Applicant, the Zone Change Application for 311 S 1st Avenue is a proposal that “aims to better align the zoning classification to the current use, allow for enhancement and expansion of the church buildings to support current uses, and improve connectivity to the surrounding community”. The church onsite hosts both English and Spanish services, with greater regular attendance for the Spanish masses, according to the Applicant. The Applicant states that there is “a notable demand for social services to be provided on the church site”, and that other current functions include youth religious education and community gatherings. Generally speaking, the Applicant has highlighted the large role the site plays for community connectivity and inclusivity.

The Applicant may wish to discuss their parish’s 2021/2022 master planning process for the site, which included a survey of parish members. According to the Applicant, “95% of survey respondents expressed the agreement that church requires enhancements and expansion”. The Applicant has also provided a conceptual site plan for Staff review, based on outreach conducted through the master planning process. This site plan shows the preservation of the church building, while the parish residence/office and church hall are slated to be removed. One (1) interconnected and cohesive structure is shown to then occupy the site. No onsite parking is proposed with the conceptual site redevelopment plans.

Current Site Layout



Proposed Site Layout



Staff would like to highlight the ongoing process for submittal that the Applicant has been engaged with. In the fall of 2023, representatives from the Applicant team began communicating their intent to redevelop the St. Charles site at 311 S 1st Avenue. Multiple conversations and meetings occurred, where Staff shared the various requirements, restrictions, and processes for development of the parcel. The Applicant indicated that their vision for site redevelopment did not include onsite parking, and Staff highlighted that aside from onsite parking requirements, the Applicant’s conceptual building plans also exceeded the lot coverage maximum assigned to the parcel, as currently zoned. A Planned Unit Development (PUD) Application was presented to the Applicant as an available option for pursuing the scale, density, and lack of onsite parking of their conceptual site plan, while ensuring that lasting

community benefits were obtained as part of redevelopment.

Due to the conceptual scale, scope, and overall nature of this project, Staff strongly encouraged, and continue to encourage, the Applicant to pursue a Planned Unit Development Application. Via a PUD, the benefits would be twofold:

- the Applicant would have ample flexibility and creativity to develop the land to best meet the needs of the Church, and
- a compatible relationship between the existing use and future redevelopment of the site to the surrounding land uses and users would be maintained.

This particular site and proposed redevelopment have the potential to offer a variety of community benefits/amenities - a requirement of all PUDs. Conceptual site plans show redevelopment that will remove six (6) very mature, landmark trees from the site. Most of these trees appear to be well over 30' tall. Five (5) of the six (6) trees are on the Applicant's property. One amenity available to PUD applicants is stated as follows:

"4. Preservation of Vegetation: Preservation of significant existing vegetation on the site must include the preservation of at least seventy five percent (75%) of mature trees greater than 6" caliper on the site".

The existing neighborhood character, as well as ecosystem services, provided by these mature trees could be retained for the neighborhood and community, should the Applicant pursue a PUD with this amenity.

Another non-residential PUD amenity option available to the Applicant is a contribution to the City in the form of pathway funds. A pathway funds contribution, commensurate with the scale of proposed development of the site under a PUD, could provide significant impact to the connectivity of Hailey's pathways. Staff are very receptive to hearing the Commission's thoughts on various amenity options available to this Applicant, should they pursue a PUD.

1. Existing Land Uses

- a. Adjacent to the
 - i. East:
 - 1. GR Zoning District
 - a. Single-family, small-scale homes
 - ii. South
 - 1. TN Zoning Districts
 - a. Single-family, small-scale homes
 - b. Pine Street Station Mixed-Use Building
 - iii. West
 - 1. B Zoning District (Main Street/HWY 75 Frontage)
 - a. CK's Real Food restaurant
 - b. Empty lot with landscaping

- c. Single-story commercial (Worth Printing)
- d. Single-story micro-apartments (5 units)
- iv. North
 - 1. Single-family home zoned TN

2. Purposes of the Zoning Districts:

- Townsite Overlay (TO):
 - o The purpose of the Townsite Overlay District is to promote the health, safety and welfare of current and future residents of the City of Hailey; to modify the bulk requirements of certain zoning districts in order to better respond to the unique conditions and circumstances of the original Hailey Townsite; to encourage infill while retaining neighborhood character; to increase the compatibility and lessen the degree of nonconformity of existing structures; to create sufficient flexibility to allow for desirable development; to conserve building resources; and to enhance neighborhoods with increased pedestrian orientation, all in accordance with the city of Hailey comprehensive plan, for the desirable future development of the city of Hailey.
- General Residential (GR):
 - o The purpose of the GR District is to provide areas for a variety of residential uses, and a limited number of other uses compatible with this type of residential development. The intent is to preserve the favorable amenities associated with a residential neighborhood.
- Transitional (TN):
 - o The purpose of the TN District is to provide a buffer zone between residential and business areas within the townsite overly district. The zone provides for restricted business activities within residential areas which are directly adjacent to or across a street or alley from established business zones. Uses shall be limited to those that generate relatively little traffic. The residential character of the area shall be maintained by preserving the existing buildings and requiring new building designs in keeping with the residential nature of the area and requiring adequate onsite parking. The term “transitional” does not imply that the properties within the district will be transitioning from residential to business zoning.
- Business (B):
 - o The purpose of the B District is to provide areas for general business and commercial activities and a limited number of residential uses.
- **311 South 1st Avenue (Hailey Lots 3-10, Block 21 (Church) Exempt App Received 2024)**
 - o The Applicant is proposing that the parcel, currently zoned within TN be rezoned to B.
 - o The proposed zoning would permit the Applicant’s current uses and future intentions for the site (“Religious institution and place of worship”) as a conditional use, according to Hailey Municipal Code’s District Use Matrix. This conditional designation in the matrix speaks to the somewhat incongruous nature of siting a church within the present-day Business (B) Zoning District. Religious institutions and places of worship do not promote ongoing general business nor commercial

activities. With the removal of the parish residence currently onsite, the Applicant would also be eliminating the existing “limited number of residential uses” with their proposed development as well. With a rezone to Business (B), the Applicant may take full advantage of the bulk requirements and larger-scale site redevelopment potential granted to parcels whose intent is to generate commercial and business activity (with possible limited residential components), without generating those activities themselves. Redevelopment of the property under St. Charles Borromeo Church will not produce any increases in property tax revenue over time as well, as religious institutions are tax-exempt entities.

- In its current form, the site achieves the stated purpose of the TN zoning district as providing a “buffer zone between residential and business areas within the townsite overlay district”. Of the ten (10) parcels directly contiguous to 311 S 1st Avenue (removing streets and alleys for the purpose of this analysis), five (5) of those parcels host small-scale residential structures. Maintaining the residential character of the area “by preserving the existing buildings and requiring new building designs in keeping with the residential nature of the area”, as stated in the purpose of the TN zoning district, will be eliminated with a rezone to B.

3. Bulk Requirements Comparison:

If approved, the rezone would:

- Increase the building height maximum by up to ten feet (10’), if a residential dwelling is included, to the maximum allowable height in the City of Hailey at forty feet (40’). Current building height maximum in the TN and TO zoning districts is thirty feet (30’).
- Decrease all building setbacks to zero feet (0’). Under the TN and TO zoning district(s), setbacks are currently set at:
 - Twelve feet (12’) from any street right of way
 - Six feet (6’) from any alley right of way
 - Ten feet (10’), plus wall height maximum additional setback (1 foot setback for every 2.5 feet of wall height). I
- Increase permissible lot coverage, from 30% to 100%.

		Zoning Districts		Summary of proposed changes
		Existing	Proposed	
		TN, TO	B, TO	
Lot dimensions	Minimum lot size (square feet)	6,000 ^{14, 15}	0 ^{14, 15}	No change.
	Minimum lot width (feet)	50 ^{14, 16}	0 ¹⁶	No change.
Building Height	Maximum building height	35 ¹⁴	35 ^{14, 17}	Substantial change; Townsite Overlay Zoning District reduces TN parcels to 30’ maximum, allows B parcels to build up to 40’, if at least one (1) residential unit is included.
Setbacks	Minimum front yard	12	0	Substantial change.

	setback (feet)			
	Minimum side yard setback (feet)	10 ^{14, 18, 20}	0 ^{14, 18, 20}	Substantial change.
	Minimum rear yard setback (feet)	6	0	Substantial change.
Multi-family and mixed-use density	Mixed use residential density: maximum units per acre	10	20 ²	Substantial increase.
	Multi-family residential density: maximum units per acre	10	20	Substantial increase.
Total lot coverage	Total maximum coverage by all buildings, which includes 1 accessory dwelling unit (percentage)	30 ¹⁴	-	Extreme increase; full lot coverage would be permitted.
Maximum floor area	Aggregate gross floor area for individual retail/wholesale trade (square feet)	-	36,000	Extreme increase and new uses allowed.
	Aggregate gross floor area for grouped retail/wholesale (square feet)	-	50,000	Extreme increase and new uses allowed.

Notes:

2. (may be applicable)	Mixed-use buildings and multi-family dwellings incorporating small residential units require a Conditional Use Permit and shall comply with subsection 17.04Q of this title.
7. (not applicable)	Townhouse unit shall be allowed 0 setbacks from the lot lines created by a townhouse subplot and the separation of the building containing townhouse units in a townhouse development parcel shall be not less than 6 feet as measured between any wall or any projection of a building, including, but not limited to, eaves, cornices, canopies, or other similar roof overhang features, pergolas, chimney chases, bay windows, decks, steps, wainscot, and utility meters; or the minimum distance required by the IBC and IFC, whichever is greater.
14. (Applicable)	May be subject to additional provisions per the Townsite Overlay Zoning District (TO). See subsection 17.04M1 of this title.
15. (Not applicable)	Townhouse sublots should have a maximum aggregate density of ten (10) lots per acre in the GR and TN Zoning Districts, fifteen (15) lots per acre in the NB Zoning District, and twenty (20) lots per acre in the LB and B Zoning Districts.
16. (Not applicable)	Townhouse sublots shall conform to the standards established in the IFC.
17. (Not applicable)	For a building with any portion of the building footprint within the Special Flood Hazard Area, building height shall be measured two (2) feet above the base flood elevation (BFE). For buildings

	located within the Special Flood Hazard Area and the LR Zoning Districts, buildings shall in no instance exceed a building height of thirty-two feet (32') from record grade. For buildings located within the Special Flood Hazard Area, and within the GR Zoning District, buildings shall in no case exceed a building height of thirty-five feet (35') from record grade.
19. (not applicable when zone change is to Business/no setback required)	See also subsections 17.07.010 F and G of this title.
20. (not applicable when zone change is to Business/no setback is required)	See also subsections 17.07.010 F and G of this title.

Summary: Given the analyses and information noted herein, Staff encourage the Commission to consider and discuss the various alternatives for redevelopment of the site, understanding that there is a wide spectrum of potential impacts and outcomes – both short and long-term – for any redevelopment of this site.

Criteria for Review:

17.14.060(A) Criteria Specified: When evaluating any proposed amendment under this Article, the Commission shall make findings of fact on the following criteria:

1) The proposed amendment is in accordance with the Comprehensive Plan;

The Comprehensive Plan aims to “Retain a compact City comprised of a central downtown with surrounding diverse neighborhoods, areas and characteristics as depicted on the Land Use map” (Goal 5.1, pg. 29). The Land Use Map depicts broad community goals, meant to guide land use decisions. On the Land Use Map, the St. Charles Borromeo parcel is located on the periphery of the “Downtown” core, in the “Residential Buffer”. The Comprehensive Plan (pg. 29) describes the intent of the related areas, as follows.

Downtown - the historic commercial center containing the greatest concentration of commercial, cultural, and civic activity. Downtown is the priority area for encouraging higher density commercial and mixed use (commercial and residential) development.

The historical relevance of the church site and its buildings and the parcel’s proximity to the Downtown core underline the importance of careful consideration and deliberation for rezoning of the site, as it relates to both the historic and future legacies of Hailey’s unique town character. The history and culture of Hailey are imbued in historic structures, like the ones at 311 S 1st Avenue. The Applicant alluded to St. Charles Borromeo as a “Special Site” in their application, as discussed in Section 3 of the Hailey Comprehensive Plan. Section 3 states a goal to “assure the protection and preservation of Special Sites, Areas, and Features to maintain a strong community identity for future generations”. A rezone of this parcel should ensure the protection and preservation of St. Charles Borromeo’s unique historical and cultural character.

Residential Buffer – medium density residential, providing a buffer between lower density residential neighborhoods to the east and west and the Main Street District.

While there is not a strong residential component to the site currently, nor proposed in the future, the site's location and non-commercial uses do lend themselves to the stated purpose of the Residential Buffer land use area. Small-scale single-family homes are immediately east of the site, followed by lower density residential neighborhoods zoned as Limited Residential-1. Main Street is just one (1) block to the west. The St. Charles Borromeo site plays an important role in bolstering the buffer between the ever-increasing traffic and activity of Main Street and the lower density, historic neighborhoods of Old Town Hailey. Care should be taken by the Applicant to ensure their site continues to support, and not detract, from this buffer area.

Part 3, Section 7 of Hailey's Comprehensive Plan, as stated by the Applicant, "underscores the importance of promoting inclusivity and addressing the needs of all segments of the population, particularly those at risk of discrimination or facing social or economic disadvantages". Goals 7.1 and 7.2 encourage projects and programs that foster cultural understanding, cross-cultural exchange, and educational enrichment. According to the Applicant, St. Charles Borromeo has higher weekly attendance for the Spanish-speaking services when compared to the English-speaking services. "St. Charles serves as a significant cultural hub, facilitating interactions and exchanges across diverse backgrounds", according to the Applicant. Staff commends the Applicant and the leadership of St. Charles Borromeo for promoting cross-cultural engagement and inclusivity in the Hailey community through their programs and services. For Staff, it is imperative that any redevelopment of this site, including the possibility of a rezone, continues to uphold these outcomes and community values.

2) Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;

The proposed rezone, if approved, will grant the Applicant the ability to redevelop the site to a greater scale than the underlying zoning TN currently permits. According to the Applicant, this redevelopment is hinged upon the increasing parish membership and demand for services, as well as broad parish community sentiments to update and redevelop the church building(s). As it currently operates and with conceptual site redevelopment plans, there is no parking provided on site for St. Charles Borromeo. All parking for the site currently exists in the form of improved (1st Avenue and Pine Street) and ancillary unimproved right-of-way parking. The Commission may wish to consider the potential impacts of rezoning, and subsequent redevelopment/expansion (no on-site parking proposed), on public parking in the site's vicinity, as well as the impact on surrounding neighbors.

3) The proposed uses are compatible with the surrounding area; and

The proposed zone change does not include a proposed change in use of 311 S 1st Avenue. Business B zoned parcels currently exist to the west and north (although indirect) of the site in question. The current and proposed uses of the site are compatible with the surrounding area, which is small-scale residential in nature. However, a rezone to the B zoning district activates the opportunity for different uses of the site in the future, should St. Charles Borromeo cease to occupy the property. The impacts of different uses and compatibility with the surrounding area will vary on a use-by-use basis.

4) The proposed amendment will promote public health, safety, and general welfare.

City Staff notes a variable basis in the Hailey Comprehensive Plan for this type of amendment. The proposed rezone may allow St. Charles Borromeo the opportunity to expand and modernize their facilities and programming to best meet the demand of Hailey's growing community. Cultural enrichment, cross-cultural exchange, community-building, and social service provisioning stand to benefit from redevelopment of the site. However, a rezone to B may also have unintended consequences for the surrounding neighborhood of St. Charles Borromeo. Parking availability and the new bulk requirements of the proposed rezoned site must be carefully considered.

Action: The Commission is required by the Hailey Municipal Code to make a recommendation to the Hailey City Council based on compliance with the Comprehensive Plan and the following criteria:

17.14.040(B) Recommendation.

1. **Following the hearing, if the Commission or Hearing Examiner makes a substantial change from what was presented at the hearing, the Commission or Hearing Examiner may either conduct a further hearing after providing notice of its recommendation, or make its recommendations to the Council, provided the notice of the Commission's or Hearing Examiner's recommendation shall be included in the notice of the hearing to be conducted by the Council.**
2. **The Commission or Hearing Examiner shall recommend, with reasons therefore, to the Council that the proposed amendment be granted or denied, or that a modified amendment is granted.**
3. **If the proposal initiated by an Applicant is not in accordance with the Comprehensive Plan, the Commission or Hearing Examiner shall notify the Applicant of this finding and inform the Applicant that the Applicant must apply for an amendment to the Comprehensive Plan before the Hailey Municipal Code or Zoning Map can be amended.**

A. The Hearing Examiner or Commission and Council shall make findings of fact on the following criteria:

1. **The proposed amendment is in accordance with the comprehensive plan;**
2. **Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;**
3. **The proposed uses are compatible with the surrounding area; and**
4. **The proposed amendment will promote the public health, safety and general welfare.**

B. Rezones: When evaluating any proposed zoning ordinance map amendment to rezone property to business (B) zoning district, limited business (LB) zoning district or transitional (TN) zoning district, the hearing examiner or commission and council shall consider the following:

1. **Vacancy rates of existing buildings and land within the existing business (B), limited business (LB) or transitional (TN) zoning districts. A lower vacancy rate will favor a rezone, while a higher vacancy rate will not favor a rezone.**
2. **The distance of the parcel proposed for rezone from the central core overlay district boundary. A shorter distance from the central core overlay district boundary will favor a rezone, while a longer distance from the central core overlay district boundary will not favor a rezone. (Ord. 1191, 2015).**

Summary and Suggested Conditions of Approval: The Commission shall recommend approval or denial to the Hailey City Council the Zone Change Application submitted by St. Charles Borromeo Catholic Church (Roman Catholic Diocese), represented by The Land Group, proposing to rezone Lots 3-10, Block 21, Townsite (311 South 1st Ave) from Transitional (TN) to Business (B), and located within the Townsite Overlay (TO) Zoning Districts. finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.14, Amendment, additional applicable requirements of Title 17, Title 18, and City Standards.

Motion Language:

Approval: Motion to approve the Zone Change Application submitted by St. Charles Borromeo Catholic Church (Roman Catholic Diocese), represented by The Land Group, proposing to rezone Lots 3-10, Block 21, Townsite (311 South 1st Ave) from Transitional (TN) to Business (B), and located within the Townsite Overlay (TO) Zoning Districts, finding that the changes are in accordance with the Comprehensive Plan, essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, the proposed uses are compatible with the surrounding area, and the proposed amendment will promote the public health, safety and general welfare.

Denial: Motion to deny the Zone Change Application submitted by St. Charles Borromeo Catholic Church (Roman Catholic Diocese), represented by The Land Group, proposing to rezone Lots 3-10, Block 21, Townsite (311 South 1st Ave) from Transitional (TN) to Business (B), and located within the Townsite Overlay (TO) Zoning Districts, finding that _____ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date].



Vicinity Map
 Horizontal Scale: 1" = 100'



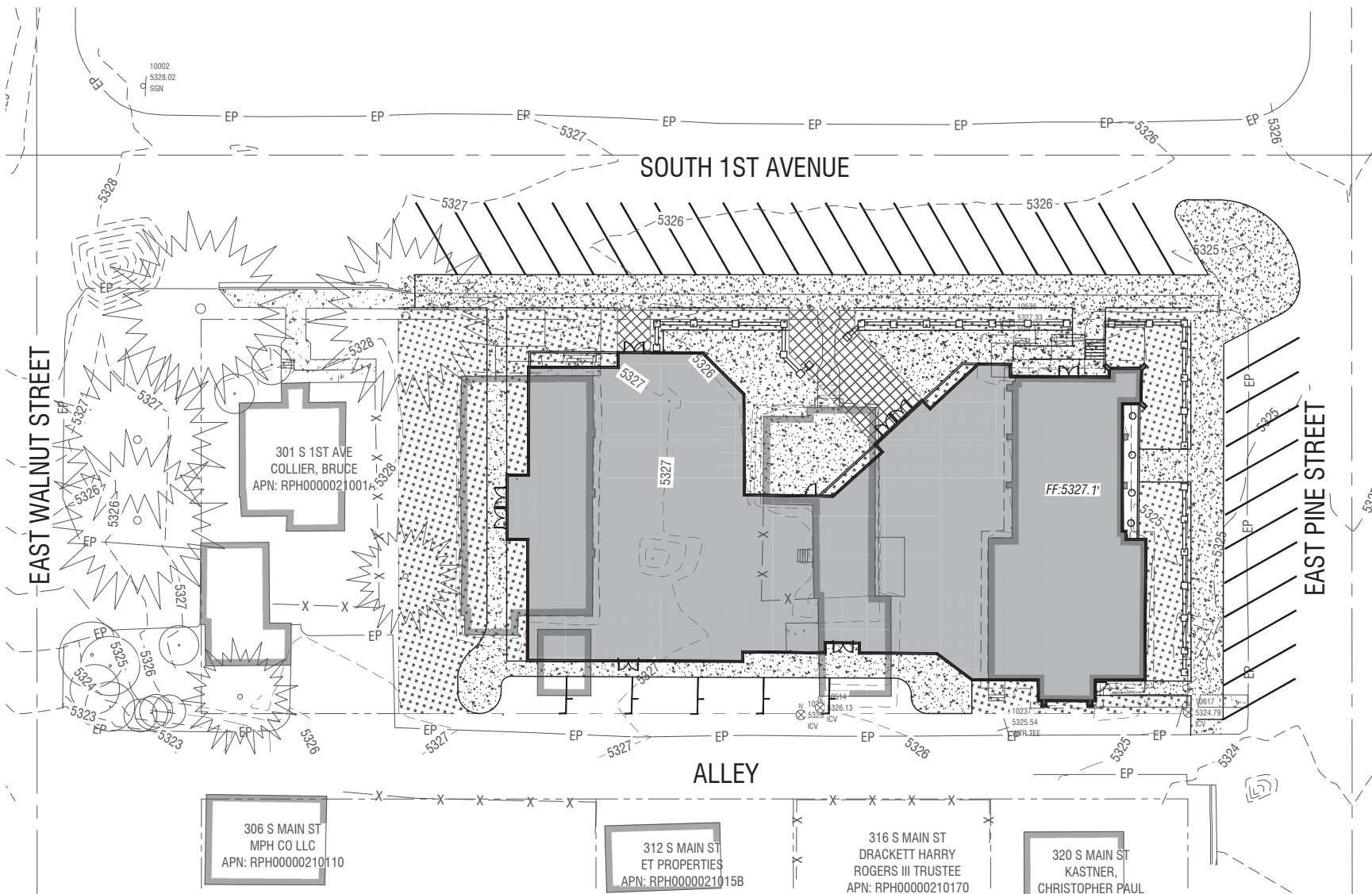
Vicinity Map
St. Charles Borromeo Catholic Church

311 South 1st Street
 Palmyra, ID 83553

Revisions	
1.	
Project No.:	121154
Date of Issuance:	03/05/2024

Vicinity Plan

File Location: C:\2024\121154\121154\121154 - St. Charles Borromeo Vicinity Map.dwg
 Date Plotted: Tuesday, March 5, 2024, 4:08:40 AM



**Conceptual Site Plan
St. Charles Borromeo Catholic Church**

311 South 1st Street
Palmyra, ID 83453

Revisions	
1.	
Project No.:	121154
Date of Issuance:	03/05/2024

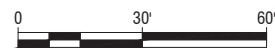
Site Plan

File Location: G:\2021\121154\SitePlan\A121154-1.dwg
Date Plotted: Thursday, March 5, 2024, 4:08:41 AM



Conceptual Site Plan

Horizontal Scale: 1" = 30'



Topographic Survey for St. Charles Borromeo

Being Lots 3-10, Block 21 of Hailey Townsite,
Situate in the NW 1/4 of the SE 1/4 of Section 9,
Township 2 North, Range 18 East, Boise Meridian
City of Hailey, Blaine County, Idaho
2024

Vicinity Map:



Referenced Survey Table:

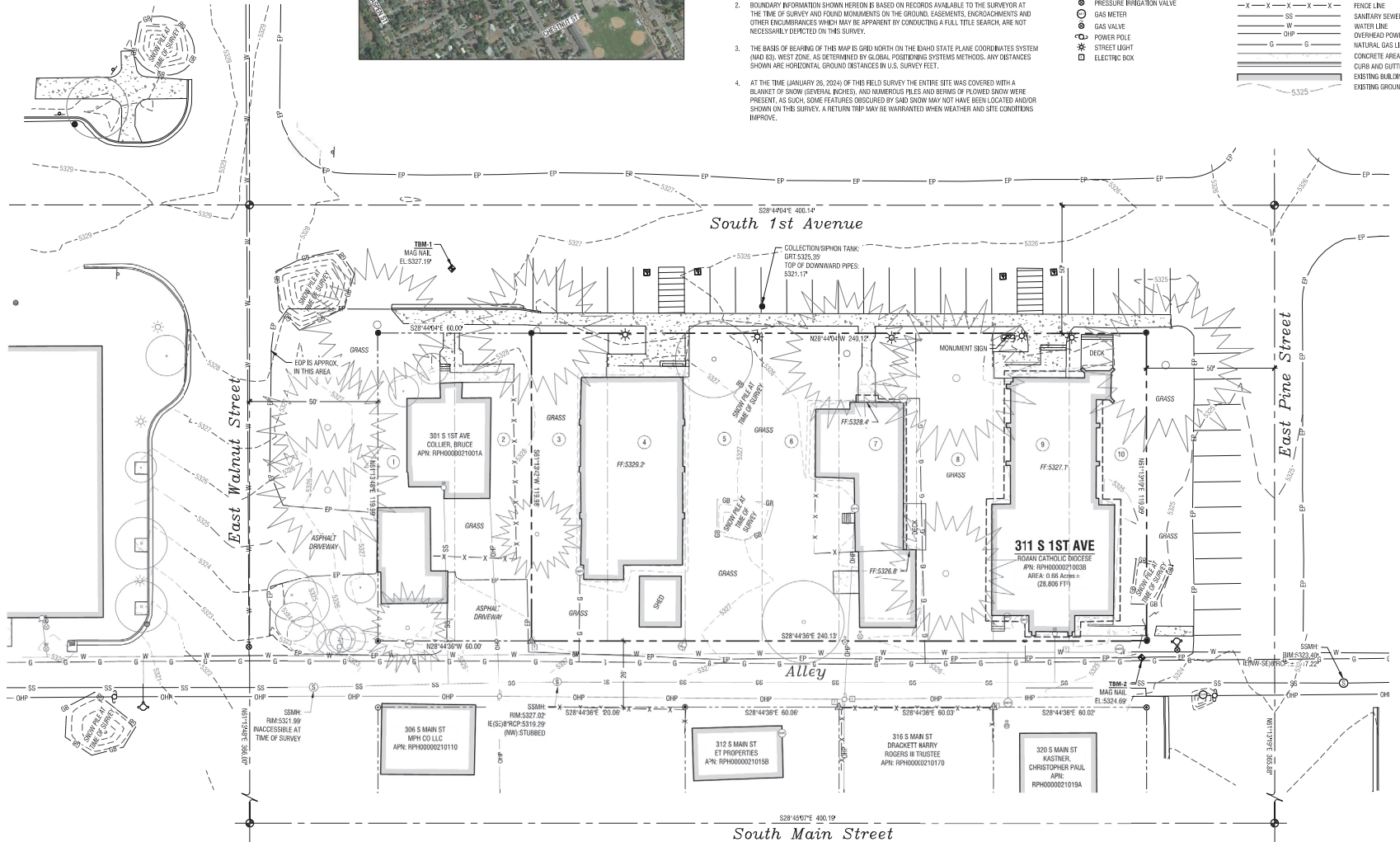
- R1. RECORD OF SURVEY INSTRUMENT #703181, RECORDS OF BLAINE COUNTY.
- R2. RECORD OF SURVEY INSTRUMENT #890043, RECORDS OF BLAINE COUNTY.
- R3. RECORD OF SURVEY INSTRUMENT #698696, RECORDS OF BLAINE COUNTY.

Keynotes:

1. UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND EVIDENCE AND UTILITY COMPANY FACILITY MAPS. THE SURVEYOR MAKES NO GUARANTEE OF THE ACCURACY OF LOCATION OF UNDERGROUND UTILITIES. IT APPEARS AS ALL UNDER GROUND UTILITIES ARE LOCATED WITHIN THE RIGHT OF WAY OF THE 24-FOOT ALLEY.
2. BOUNDARY INFORMATION SHOWN HEREON IS BASED ON RECORDS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY AND FOUND MONUMENTS ON THE GROUND, EASEMENTS, ENCROACHMENTS AND OTHER ENCUMBRANCES WHICH MAY BE APPARENT BY CONDUCTING A FULL TITLE SEARCH, ARE NOT NECESSARILY DEPICTED ON THIS SURVEY.
3. THE BASIS OF BEARING OF THIS MAP IS GRID NORTH ON THE IDAHO STATE PLANE COORDINATES SYSTEM (NAD 83), WEST ZONE, AS DETERMINED BY GLOBAL POSITIONING SYSTEMS METHODS. ANY DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET.
4. AT THE TIME (JANUARY 26, 2024) OF THIS FIELD SURVEY THE ENTIRE SITE WAS COVERED WITH A BLANKET OF SNOW (SEVERAL INCHES), AND NUMEROUS PILES AND BERMS OF PLOWED SNOW WERE PRESENT. AS SUCH, SOME FEATURES OCCURRED BY SNOW MAY NOT HAVE BEEN LOCATED AND/OR SHOWN ON THIS SURVEY. A RETURN TRIP MAY BE WARRANTED WHEN WEATHER AND SITE CONDITIONS IMPROVE.

Legend:

● FOUND ALUMINUM CAP MONUMENT	○ TELEPHONE RISER
● FOUND 1/2" REBAR, AS SHOWN	○ ADA SYMBOL SIGN
● FOUND MAG NAIL	○ DECIDUOUS TREE
● TEMPORARY BENCHMARK	○ CONIFEROUS TREE
▲ CALCULATED POINT, NOTHING FOUND OR SET	— OVERALL PARCEL BOUNDARY LINE
○ WATER VALVE	— ADJACENT PROPERTY LINE
○ WATER METER	— ORIGINAL HAILEY TOWNSITE LOT LINE
○ FIRE HYDRANT	— ROADWAY CENTERLINE
○ FIRE DEPARTMENT CONNECTION	— EP
○ RECTANGULAR INLET	— EP
○ ROUND INLET	— EP
○ AREA DRAIN	— EP
○ SANITARY SEWER MANHOLE	— EP
○ CLEAN OUT	— EP
○ PRESSURE IRRIGATION VALVE	— EP
○ GAS METER	— EP
○ GAS VALVE	— EP
○ POWER POLE	— EP
○ STREET LIGHT	— EP
○ ELECTRIC BOX	— EP
	— FENCE LINE
	— SANITARY SEWER LINE
	— WATER LINE
	— OVERHEAD POWER LINE
	— NATURAL GAS LINE
	— CONCRETE AREA
	— CURB AND GUTTER
	— EXISTING BUILDING
	— EXISTING GROUND CONTOUR



Topographic Survey St. Charles Borromeo

311 S 1st Ave
Hailey, ID 83333

Revisions:

1. _____
- _____
- _____
- _____
- _____
- _____
- _____
- _____
- _____
- _____



Project No.: 13156
Date of Issuance: 8/26/2024
Project Milestones:



March 5, 2024

City of Hailey
Community Development Department
Robyn Davis, Director
115 Main Street South
Hailey, ID 83333

Dear Robyn,

We are delighted to submit our Zone Change application in connection with St. Charles Borromeo Catholic Church. The Land Group, Inc. is privileged to act as the representative for the applicant in this matter.

Background

The project site is located at 311 S 1st Ave, positioned to the north of Pine Street, to the south of Walnut Street, and to the west of S. 1st Avenue. Encompassing an approximate area of 0.66 acres, Parcel No. RPH0000021003B. It is situated within a traditional grid pattern intersected by SH-75. Currently, the property carries a zoning classification of TN (Transitional District) in Hailey.

The subject parcel is owned by the Catholic Diocese of Boise and operated by the St. Charles Borromeo Catholic Church Parish (St. Charles). St. Charles Parish is an active community providing a range of community benefits at the site since its construction. As the community needs have evolved over its 100+ year history, the church has added a pastoral residence/office and Parish Hall. In its current role, the church not only conducts multiple services every week but also provides educational classes for students, and serves as the venue for a diverse array of community events throughout the year.

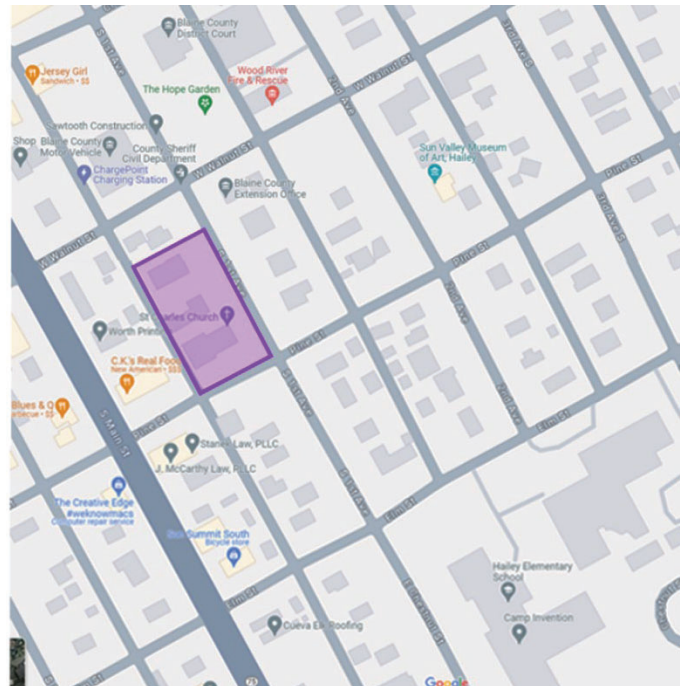


Figure 1 - Vicinity Map, subject property highlighted.

Zone Change Application Summary

The site is situated within the city limits of Hailey and currently falls under the Transitional classification (see figure 2). There are three immediate adjacent zones to the site, comprised of Business District (B), Transitional District (TN) and General Residential District (GR). This application proposes a rezone to Business District (B). This proposal aims to better align the zoning classification to the current use, allow for the enhancement and expansion of the church buildings to support current uses, and improve the connectivity to the surrounding community



Figure 2 – City of Hailey Zoning Map, subject property highlighted.

Comprehensive Plan Alignment

The City of Hailey’s Comprehensive Plan outlines objectives relevant to this application in section 3, noting a goal to “[a]ssure the protection and preservation of Special Sites, Areas and Features to maintain a strong community identity for future generation.” These Special Sites contribute significantly to the essence of Hailey, embodying elements of the city’s history and evolution through their unique form and function. Among these cherished locations, the St. Charles site is a longstanding emblem of the city’s heritage and future. Through thoughtful redevelopment efforts, the Parish community aims to ensure that the St. Charles site continues to hold its status as a Special Site, nurturing its role in fostering community connection and continuity.

Rezoning the subject parcel is consistent with the city of Hailey’s Comprehensive Plan Part Three Goals & Indicators Section 5- #5.6 reads “Manage and accommodate population growth by infill development and, when appropriate, minimal expansion by annexation and/or density increases.” This rezoning application effectively supports this goal by advocating for redevelopment within city limits rather than pursuing expansion onto surrounding natural landscapes. This strategic approach directly aligns with the overarching goals outlined in the City of Hailey’s comprehensive plan.

City of Hailey's Comprehensive Plan Part Three- Goals & Indicators Section 6, #6.1, notes a goal to "[e]ncourage a diversity of economic development opportunities within Hailey." This redevelopment project is anticipated to be implemented in phases and may span several years until completion. Throughout this process and beyond, the expansion and enhancement of facilities are expected to generate a broad spectrum of employment opportunities. Larger facilities resulting from the redevelopment will require additional personnel to oversee and manage the site, including the church itself. As this redevelopment unfolds, it becomes evident that achieving the goal outlined in the Comprehensive Plan is not only feasible but also a direct outcome of the redevelopment.



Figure 3—City of Hailey Comprehensive Map

The City of Hailey's Comprehensive Plan Part Three, Section 7, underscores the importance of promoting inclusivity and addressing the needs of all segments of the population, particularly those at risk of discrimination or facing social or economic disadvantages. This includes encouraging projects and programs that foster cultural understanding, cross-cultural exchange, and educational enrichment, as outlined in goals #7.1 and #7.2. Given the rapid growth of the Hispanic population in the St. Charles community, residents that attend a Spanish-speaking Mass have higher weekly attendance when compared to the English-speaking Mass. The cultural role of the St. Charles community is incredibly valuable and it is crucial to ensure that redevelopment efforts accommodate the entire community. St. Charles serves as a significant cultural hub, facilitating interactions and exchanges across diverse backgrounds. This aligns perfectly with the city's goals of promoting inclusivity, cultural enrichment, and cross-cultural engagement, as outlined in its Comprehensive Plan.

In line with the City of Hailey's Comprehensive Plan Part Three, Goal #11.1 emphasizes the importance of creating a built environment that fosters community interaction, maintains aesthetic appeal, and enhances the unique character of each neighborhood. The planned transformation of this site into a cohesive campus aligns seamlessly with these objectives. By designing the campus to be aesthetically pleasing, people-focused, and congruous with the neighboring uses, it will offer an elevated walking experience for guests, nearby residents, and visitors passing through. The campus itself will serve as a visual representation of the church's identity. This approach not only enhances the overall ambiance of

the area but also contributes to a stronger sense of community and connectivity within the neighborhood.

The purpose of the TN district is to provide a buffer zone between residential and business areas within the townsite overlay district. The zone provides for restricted business activities within residential areas which are directly adjacent to or across a street or alley from established business zones (Ord. 1191, 2015). However, the implementation of this district has been inconsistent. Nearby inconsistencies include, just a block west of US-75 which consists entirely of business zoning, with no transitional zoning to residential areas. Furthermore, just to the north of the site, there are two blocks of business zoned parcels east of US-75, whereas this application proposes only a single block. (Please refer to *figure 2* for visual clarification). Therefore, the rezone of this parcel to Business District would be consistent with established and successful similar examples within the City of Hailey.

Moreover, it is pertinent to highlight that there are already three other churches within proximity to downtown that are zoned as Business District. This underscores the precedent of allowing religious institutions to operate within commercial zones, especially when they are positioned near the heart of the city. Therefore, the proposed rezoning aligns with existing practices and supports the dynamic mix of land uses within Hailey's urban fabric.

The Parish's vision for the site remains consistent with its current use, with no proposed changes in function. However, the ongoing growth of the region, alongside the aging infrastructure, necessitates zoning adjustments that enable the Parish to adequately provide essential community services. The site will continue to fulfill its role as a dedicated worship space for Masses, a center for learning for students of all ages, a sanctuary for those in need, and a communal hub for the broader community to gather and connect.

The proposed rezone would allow the Parish community to optimize their existing space for greater efficiency, addressing both present day and future growth. It is anticipated that this development will yield positive impacts on the surrounding community. These benefits include the creation of a more cohesive and aesthetically pleasing campus, enhancement of pedestrian safety through wider sidewalks, improved lighting fixtures to support dark sky requirements, and designated pedestrian crossings and other traffic calming techniques.

[Conceptual Site Plan and Elevations](#)

The St. Charles Site, spans approximately 0.66 acres with a proposed building footprint of approximately 15,190.85 sq ft. This ambitious redevelopment project is poised to usher in a new era for the Parish, characterized by enhanced amenities and expanded facilities tailored to meet the evolving needs of Hailey's vibrant community.

The Parish community engaged in a master planning process in 2021 & 2022 to identify parish needs and desired facility improvements. The master planning effort included outreach efforts including a survey conducted among St. Charles Church members; this survey yielded nearly 200 responses and

underscores a widespread consensus, 95% of survey respondents expressed the agreement that the church requires enhancements and expansion. This collective feedback has been instrumental in shaping the Parish’s vision for the site and informing this application. The Conceptual Site Plan included in the application represents the culmination of extensive dialogue and collaboration among church committees, design experts, and community stakeholders. This comprehensive planning process has drawn from a wealth of discussions and input from diverse perspectives, ensuring a proposal that closely aligns with the goals and aspirations of Hailey and the rich history of the St. Charles community.

The existing Church and its associated facilities are inadequate to meet the diverse needs of its community. With insufficient seating capacity during mass, limited classroom space for children, inadequate office facilities for administration, and a notable demand for social services to be provided on the church site, it is evident that the Church’s current infrastructure falls short of addressing the evolving requirements of its congregation. Moreover, there is a resolute preference among the membership to retain the current location in the city center, reflecting a deep-rooted attachment to the longstanding place of worship.

Campus Layout

During the master planning design effort, the primary objectives were centered on enhancing the facilities for the community. Recognizing the importance of inclusivity and four-seasons of equitable access to facilities for all people, the design creates internal connections among all buildings. This climate and community responsive design requires a more substantial building footprint than can be accommodated by the site’s underlying zoning.

The thoughtful layout of the front entrance area adds to the architectural interest of the building and provides a welcoming focal point for visitors. This traditional Spanish Catholic Church entry, an Atrio preceding the entrance, reinforces the inclusivity envisioned by the redesign (*see figure 4*). This feature provides a place of transition from general public space into a place of worship. Continuing the thoughtful design around the building, incorporating a decorative and functional fence around the perimeter to delineate the church space from public and commercial areas, enhancing both security, aesthetics, and maintaining visual transparency into the site. The proposed design offers a notable increase in streetscape aesthetics, with new landscaping and particularly with the addition of a sculpture garden (*see figure 5*) along the Pine Street façade. These improvements will strengthen the site’s visual engagement with the community.



Figure 4 – Atrio “Conceptual- subject to charge”

Streetscape and Parking

In conjunction with the building renovations on church property, this site is committed to enhancing the surrounding infrastructure to ensure a seamless experience for its community members and visitors. For pedestrian safety the proposed design will feature widened sidewalks, and new lighting fixtures to improve visibility and safety. It will also incorporate crosswalks and curb bump-outs to facilitate traffic calming.



Figure 5 – Statue Garden “Conceptual- subject to change”

The proposed design is both aesthetically pleasing and functional, meeting all requirements outlined in the city code, Chapter 18.06, Street Design. Recognizing the limitations in onsite parking availability, there is a strategic parking layout to maximize the utilization of the available space. This arrangement aims to balance efficiency with convenience and accessibility for all members of the community. Furthermore, the designated drop-off area caters to individuals requiring a shorter and more accessible route to the church entrance, ensuring inclusivity and ease of access for all.

Overview

The proposed update to the church and the site’s layout seamlessly accommodates all programming needs while remaining situated in the heart of Hailey. These strategic measures, aimed at creating a unified campus appearance, represent a significant improvement from the facility’s current conditions. These enhancements will not only improve accessibility but also cultivate a stronger sense of belonging and identity within the broader community and responding appropriately to directly adjacent properties and uses.

The versatility and ample size of these proposed facilities positions them as an ideal hub for hosting a wide array of activities, thereby reinforcing their role as a cornerstone of community engagement. As the St. Charles Site undergoes these transformative enhancements, it is poised to continue to be a beacon of spiritual nourishment and community engagement.

[Precedent Examples](#)

In Hailey, two compelling examples of churches are zoned within business districts while bordering general residential areas. Examining the current conditions and operational efficacy of these establishments can provide valuable insights into the feasibility of this zoning request. There are churches in similar locations already providing local precedent for the requests outlined in this application.

Close to the site, there is a significant church located in a comparable zoning context. The Calvary Chapel located on 12th East Maple Street provides a pertinent case study. It is positioned adjacent to a residential zone while within the Business District. The Calvary Chapel site offers valuable insights into the compatibility and successful coexistence of religious institutions within mixed-use urban environments.

Another pertinent example of a church within a mixed zoning context is the Sun Valley Seventh-day Adventist Church, located at 705 S Main Street. This church, operating within a Business District zone, stands as a notable illustration of religious institutions coexisting alongside residential neighborhoods. Positioned directly adjacent to a residential district, it exemplifies the integration of religious facilities within urban settings characterized by diverse land use patterns.

In summary, the existence of these churches highlights the possibility of harmonious integration among religious spaces, residential neighborhoods, and business districts. Their strategic placements and zoning setups exemplify how religious institutions can seamlessly blend into dynamic urban environments, cultivating community cohesion while preserving the character of adjacent residential areas.

Conclusion

The rezoning of St. Charles Church to Business District (B) not only adheres to code regulations but also aligns with the objectives from the City of Hailey's Comprehensive Plan. Moreover, precedents demonstrate the viability of churches within the Business District setting. This development promises to deliver a favorable outcome for both community members and the city at large.

Approval of this rezoning request will enable the St. Charles Borromeo Catholic Church community to remain in their beloved historic church, where they have cultivated profound connections and enduring attachments to this venerable place of worship.

We appreciate the opportunity to formally present these application to the to the City of Hailey Planning and Zoning Commission and City Council. As you complete your review, please let me know if we can provide any additional information to clarify the project's vision. I can be reached via email at kwise@thelandgroupinc.com or at 208-939-4041.

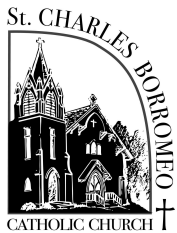
Sincerely,

Kira Wise

Kira Wise
Landscape Designer
The Land Group, Inc.

Enclosures - Rezone Application and specified supporting attachments





April 10, 2024

Dear Hailey City Council,

St. Charles Borromeo Church in Hailey was founded on June 17, 1883 and is one of the historical parishes of the Diocese of Boise, located in the pristine Wood River Valley. Originally erected to serve the mining community, over the years it has gone through several periods of growth and change, spawning another Church in Ketchum that became Our Lady of the Snows Catholic Church. Originally St. Charles was located at the present-day Atkinson's Market complex, and later moved to its current location on the corner of South First Avenue and Pine Street. The present Church was built in 1913 and was expanded several times, most recently in 1985, under the direction of Fr. Kevin Lafey to accommodate a growing parish. During this time the parish gym was remodeled into a parish hall, with 6 small classrooms, kitchen and bathrooms. Many glorious events have taken place in the Church and parish hall over the years. Of late, the parish hall has provided much needed service to the greater-Hailey community by providing aid to those in the area with food insecurities (Souper Supper), Alcohol Anonymous meetings and temporary housing for homeless migrants, among many other events and activities. We also use the parish hall to host events to raise money for a parish scholarship program to benefit the youth to pursue a university or technical education. In addition, the parish has continually responded to the mission of the Church to evangelize and educate by providing for religious education classes, retreats, dinners/fundraisers and parish social events for all Catholics and the greater Hailey community.

In the fall of 2021, a group of vested parishioners approached me about the desire to update our parish facilities and evaluate the needs of the parish. They told me that the community is a growing and thriving parish and requires a comprehensive update of its facilities and perhaps expansion of the Church, parish hall and offices. The parish hall is hardly adequate for current activities and ministries; in the winter children have to trudge through the snow to have access to a garage area that has been remodeled into a classroom. And the parish house/office/meeting room can no longer serve the ever-increasing demands of the Hailey community.

In January of 2022, I wrote to our Catholic Bishop Peter Christensen, telling him about the desire to do a comprehensive analysis of the parish facilities in Hailey and telling him that I would like to hire The Land Group (TLG) from Boise to lead the evaluation and assessment process. As part of the process of evaluating current city codes and parish facilities, in September 2022 a parish wide survey was conducted regarding the present and future use of parish facilities. Given the projected growth in the Wood River Valley the results of the parish survey were conclusive: St. Charles parishioners said that the current facilities can no longer adequately serve the growing population and planning for the future must begin as soon as possible. TLG assisted us in a professional analysis of our current facilities and what a projected building project might look like.

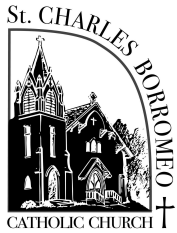
One piece of information that has been clear from the start is that while the parish is actively engaged in developing a site plan, it does not want to move from its current location – even given the challenges of remaining on the present site. The Catholic family enjoys the neighborhood in downtown Hailey. In the past a proposed building project failed because of lack of support to move from our current location to another site in Bellevue, Idaho, although the land was a gift to the parish. The present site, while limiting in many ways, is historically integral to City of Hailey and with creativity I believe it can be modified to serve the needs of an ever-growing Catholic community for generations to come.

Since the parish survey TLG and a key group of parishioners have been meeting to develop and fine tune a parish master plan. A general and workable design has been embraced by the leadership team. In August of 2023 we expanded our professional team and the parish hired Erstad Architects from Boise to help move the project to the next phase.

This is an exciting time for St. Charles Borromeo parish. As we continue our 140th Anniversary Year, I pray that God will bless our efforts to successfully pass on the historic legacy that we enjoy today to future generations and the community of Hailey.

Below is a snapshot of the kinds of services the parish offers. If you have any questions, do not hesitate to let me know.

Respectfully,
Father Ronald Wekerle
Pastor



Brief Summary of Ordinary Parish Activities

Registered Members: Approx 300 families, not counting a large number of Latino families who for a variety of reasons are not accustomed to registering.

Seating Capacity of Church: approx 220

Weekend Regular Religious Services:

Saturday Evening Service in Spanish at 7pm*

Sunday Morning Service in English at 8:30am*

*present services are full to capacity and additional services will be need to accommodate the growing population. The current schedule of services is limited by the fact that there is only one clergy member to serve the communities of Hailey and Ketchum/Sun Valley and Fairfield.

Weekday Religious Services:

Tuesday Daily Services at 8:30am. Attendance is approximately 25

Thursday Daily Services at 8:30am and 6:00pm. Attendance is approx 35

Religious Education and Group Activities:

Monday: Prayer Groups meet in the Church and Hall in the evening

Tuesday: Religious Education of Children in Spanish (50 children)
Prayer Groups meet

Wednesday: Religious Educaiton for Youth. (60 youth, plus their parents)
Parish Meetings

Thursday: Morning and Evening Services in the Church

Friday:

Saturday: During the spring and summer, we have numerous religious services such as Baptisms, Weddings and Quince Anos celebrations in the Church and Hall.

Return to Agenda