

City of Hailey

COMMUNITY DEVELOPMENT DEPARTMENT

115 MAIN STREET SOUTH
HAILEY, IDAHO 83333

Zoning, Subdivision, Building and Business Permitting and Community Planning Services

(208) 788-9815
Fax: (208) 788-2924

DEVELOPMENT IMPACT FEE ADVISORY COMMITTEE

AGENDA

Monday, April 19, 2020

Hailey City Hall

4:30 p.m. (before P & Z regular meeting)

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Call to Order

Public Hearing

PH 1 Five-year update to the Development Impact Fee Ordinance to consider land use assumptions, level of service and facility needs, capital improvements plan; review of cost allocation alternatives for each Development Impact Fee; review of above with consultant. **ACTION ITEM.**

Any and all interested persons are invited to attend this public hearing using telecommunication devices or submit written comments or direct questions to the Community Development Assistant at 115 South Main Street, Hailey, Idaho 83333, or planning@haileycityhall.org. For special accommodations or to participate in the noticed meeting, please contact the City Clerk 208.788.4221.



Land Use Assumptions for 2021 Development Impact Fee Update

Prepared for:
City of Hailey, Idaho

April 13, 2021

Prepared by:
DP Guthrie, LLC

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APPENDIX A: LAND USE ASSUMPTIONS

Appendix A provides the population, housing unit, jobs and nonresidential floor area data for the 2021 development impact fee study. To evaluate the demand for growth-related infrastructure from various types of development, DP Guthrie, LLC also prepared documentation of average weekday vehicle trip generation rates and demand indicators by size of dwelling. These metrics (explained further below) are the “service units” or demand indicators that will be used to update Hailey’s impact fees.

Development impact fees must be proportionate by type of development and based on the need for growth-related improvements. The demographic data and development projections discussed below will be used to demonstrate proportionality and the anticipated need for additional infrastructure. All land use assumptions and projected growth rates are consistent with Hailey’s Comprehensive Plan. In contrast to the Comprehensive Plan, which is more general and has a long-range horizon, development impact fees require more specific quantitative analysis and have a short-range focus. Typically, impact fee studies look out five to ten years, with the expectation that fees will be periodically updated (e.g., every 5 years). Infrastructure standards will be calibrated using fiscal year 2020-21 data. In the City of Hailey, the fiscal year begins on October 1st.

Summary of Growth Indicators

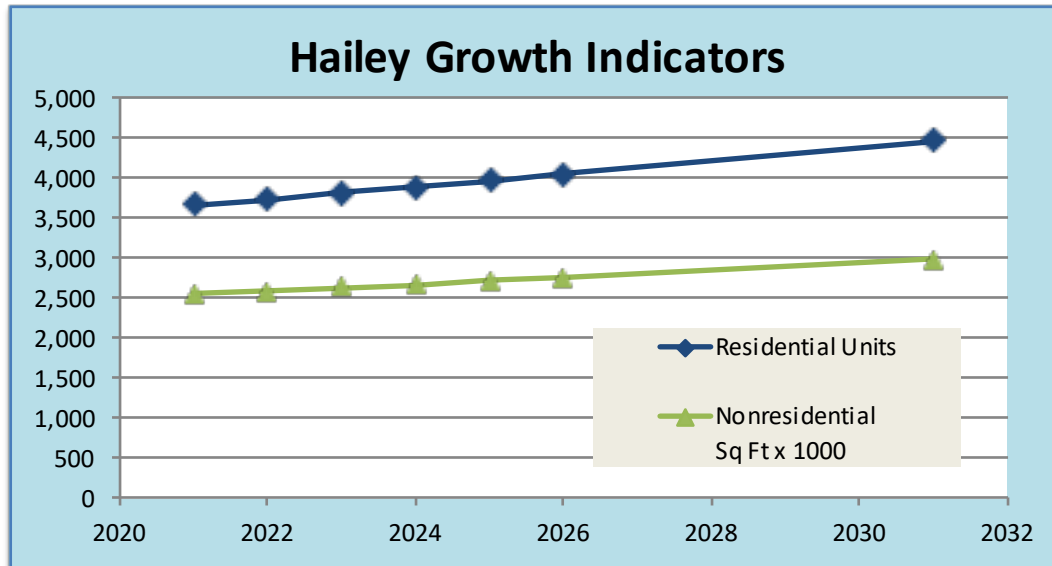
As shown in Figure A1, key development projections for the City of Hailey are housing units and nonresidential floor area. These projections will be used to estimate development fee revenue and to indicate the anticipated need for growth-related infrastructure. The goal is to have reasonable projections without being overly concerned with precision. Because impact fees methods are designed to reduce sensitivity to development projections in the determination of the proportionate-share fee amounts, if actual development is slower than projected, fee revenue will decline, but so will the need for growth-related infrastructure. In contrast, if development is faster than anticipated, the City will receive an increase in fee revenue, but will also need to accelerate capital improvements to keep pace with the actual rate of development.

Consistent with the latest Water Master Plan for Hailey, the 2021 impact fee study assumes 2.0% annual growth for population and housing units. Conversion of year-round residents to housing units assumes 2.47 persons per housing unit, as documented below (see Figure A2 and related text). During the next five years, the impact fee study assumes an average increase of 76 housing units per year.

The projected increase in floor area is based on a growth rate of 1.6% per year, matching the historical increase in traffic volume from 2013 through 2018, as documented in the Transportation Master Plan. The current estimate of nonresidential floor area is based on the Blaine County Assessor’s property database. Over the next five years, Hailey expects an average increase of 42,000 square feet of nonresidential floor area per year. The weighted average job increase is also 1.6% per year.

Figure A1: Summary of Development Projections and Growth Rates

Hailey, Idaho	Year							2021 to 2026 Average Annual	
	2021	2022	2023	2024	2025	2026	2031	Increase	Compound Growth Rate
Residential Units	3,660	3,733	3,808	3,884	3,962	4,041	4,461	76	2.0%
Nonresidential Sq Ft x 1000	2,540	2,580	2,630	2,660	2,710	2,750	2,980	42	1.6%



Residential Development and Persons per Housing Unit

Starting with the 2010 census, the U.S. Census Bureau conducts ongoing monthly surveys. The American Community Survey (ACS) enables data to be updated annually but the process is constrained by sample-sizes. For example, data on detached housing units are now combined with attached single units (commonly known as townhouses). Part of the rationale for deriving fees by unit size, as discussed further below, is to address this ACS data limitation. Because townhouses generally have fewer bedrooms than detached units, fees by bedroom range ensure proportionality and facilitate construction of affordable units.

As shown Figure A2, dwellings with a single unit per structure (detached and attached) average 2.68 persons per housing unit. Dwellings in structures with two or more units average 2.06 year-round residents per unit. This category includes duplexes, which have two dwellings on a single parcel of land. According to the latest available data, the overall average is 2.47 year-round residents per housing unit.

According to the U.S. Census Bureau, a household is a housing unit that is occupied by year-round residents. Development fees often use per capita standards and persons per housing unit, or persons per household, to derive proportionate-share fee amounts. DP Guthrie, LLC recommends that fees for residential development in the City of Hailey be imposed according to the number of year-round residents per housing unit.

Figure A2: Year-Round Persons per Unit by Type of Housing**2019 Five-Year Estimate by Type of Housing**

Units in Structure	Persons	House-holds	Persons per Household	Housing Units	Persons per Housing Unit	Housing Mix	Vacancy Rate
Single Unit*	5,954	1,705	3.49	2,221	2.68	65%	23%
2+ Units	2,429	957	2.54	1,178	2.06	35%	19%
Subtotal	8,383	2,662	3.15	3,399	2.47		22%
Group Quarters	25						
TOTAL	8,408						

* Single unit includes detached and attached (zero mobile homes).

Source: Tables B25024, B25032, B25033, and B26001.

Five-Year Estimates, 2019 American Community Survey, U.S. Census Bureau.

Jobs and Nonresidential Development

In addition to data on residential development, the calculation of impact fees requires data on nonresidential development. DP Guthrie, LLC uses the term “jobs” to refer to employment by place of work. In Figure A3, color shading indicates four nonresidential development prototypes that will be used to derive average weekday Vehicle Miles of Travel (VMT) and nonresidential floor area. Current floor area estimates for industrial, commercial, institutional, and office/other services, are derived using national averages of square feet per job (Trip Generation, Institute of Transportation Engineers, 2017). For future industrial development, Light Industrial (ITE code 110) is a reasonable proxy with an average 613 square feet per job. The prototype for future commercial development is an average-size Shopping Center (ITE code 820). Commercial development (i.e., retail and eating/drinking places) is assumed to average 427 square feet per job. For institutional development, such as public buildings, schools and churches, floor area in Hailey is based on education and government jobs, assuming an average of 1,075 square feet per job. The prototype for institutional development is an Elementary School (ITE 520). For office and other services, an average-size Office (ITE 710) is the prototype for future development, averaging of 337 square feet per job.

Figure A3: Average Weekday Vehicle Trip Ends

ITE Code	Land Use / Size	Demand Unit	Wkdy Trip Ends Per Dmd Unit*	Wkdy Trip Ends Per Employee*	Emp Per Dmd Unit	Sq Ft Per Emp
110	Light Industrial	1,000 Sq Ft	4.96	3.05	1.63	613
140	Manufacturing	1,000 Sq Ft	3.93	2.47	1.59	629
150	Warehousing	1,000 Sq Ft	1.74	5.05	0.34	2,941
520	Elementary School	1,000 Sq Ft	19.52	21.00	0.93	1,075
530	High School	1,000 Sq Ft	14.07	22.25	0.63	1,587
610	Hospital	1,000 Sq Ft	10.72	3.79	2.83	353
620	Nursing Home	1,000 Sq Ft	6.64	2.91	2.28	439
710	General Office	1,000 Sq Ft	9.74	3.28	2.97	337
760	Research & Dev Center	1,000 Sq Ft	11.26	3.29	3.42	292
770	Business Park	1,000 Sq Ft	12.44	4.04	3.08	325
820	Shopping Center (avg size)	1,000 Sq Ft	37.75	16.11	2.34	427
857	Discount Club	1,000 Sq Ft	41.80	32.21	1.30	769

* Trip Generation, Institute of Transportation Engineers, 10th Edition (2017).

Figure A4 indicates 2018 estimates of jobs within Hailey. Job estimates, by type of nonresidential, are from Hailey's Work Area Profile from the U.S. Census Bureau's online web application known as OnTheMap. The number of jobs in Hailey is based on quarterly workforce reports supplied by employers.

Figure A4: Jobs and Floor Area Estimates

	2018 Jobs (1)	Sq Ft per Job (2)	Jobs per 1000 Sq Ft (2)
Industrial (3)	704	23.0%	613
Commercial (4)	710	23.2%	427
Institutional (5)	560	18.3%	1,075
Office & Other Services (6)	1,086	35.5%	337
TOTAL	3,060	100%	

(1) Jobs in 2018 from Work Area Profile, OnTheMap, U.S. Census Bureau web application.

(2) Derived from data in Trip Generation, published by the Institute of Transportation Engineers, 2017.

(3) Major sectors are Construction, Manufacturing, and Transportation/Warehousing.

(4) Major sectors are Retail and Accommodation/Food Services.

(5) Major sectors are Educational Services and Public Administration.

(6) Major sectors are Professional/Scientific/Technical Services and Health Care.

Detailed Land Use Assumptions

Demographic data shown in Figure A5 are key inputs for Hailey's impact fee update. Cumulative data are shown at the top and projected annual increases, by type of development, are shown at the bottom of the table. The 2019 population estimate of 8,689 year-round residents in Hailey is from the U.S. Census Bureau and the estimate of 4,427 jobs in Hailey is from Sun Valley Economic Development. The 2020 estimate of approximately 2.5 million square feet of nonresidential development in Hailey is consistent with the Blaine County Assessor's property database.

Figure A5: Annual Demographic Data

Hailey, Idaho	FY18-19	FY19-20	FY20-21	FY21-22	FY22-23	FY23-24	FY24-25	FY25-26	FY30-31
Begins Oct 1st	2019	2020	2021	2022	2023	2024	2025	2026	2031
			Base Yr	1	2	3	4	5	10
Total Population									
City of Hailey	8,689	8,863	9,040	9,221	9,405	9,593	9,785	9,981	11,020
Housing Units									
City of Hailey	3,399	3,588	3,660	3,733	3,808	3,884	3,962	4,041	4,461
Persons per Hsg Unit	2.47	2.47	2.47	2.47	2.47	2.47	2.47	2.47	2.47
Jobs in City of Hailey									
Industrial	1,018	1,035	1,051	1,068	1,085	1,103	1,120	1,138	1,232
Commercial	1,027	1,044	1,060	1,077	1,094	1,112	1,130	1,148	1,243
Institutional	810	823	836	850	863	877	891	905	980
Office & Other	1,571	1,596	1,622	1,648	1,674	1,701	1,728	1,756	1,901
Total Jobs	4,427	4,498	4,570	4,643	4,717	4,793	4,869	4,947	5,356
Jobs to Housing Ratio	1.30	1.25	1.25	1.24	1.24	1.23	1.23	1.22	1.20
Nonresidential Floor Area (square feet in thousands)									
Industrial	620	630	640	650	670	680	690	700	760
Commercial	440	450	450	460	470	470	480	490	530
Institutional	870	880	900	910	930	940	960	970	1,050
Office & Other	530	540	550	560	560	570	580	590	640
Total KSF	2,460	2,500	2,540	2,580	2,630	2,660	2,710	2,750	2,980
Avg Sq Ft Per Job	556	556	556	556	558	555	557	556	556
Avg Jobs per KSF	1.80	1.80	1.80	1.80	1.79	1.80	1.80	1.80	1.80
									2021-2031
Annual Increases									Avg Anl
Total Population	177	181	184	188	192	196	200		198
Housing Units	72	73	75	76	78	79	81		80
Jobs	72	73	74	76	76	78	79		79
Industrial KSF	10	10	20	10	10	10	10		12
Commercial KSF	0	10	10	0	10	10	10		8
Institutional KSF	20	10	20	10	20	10	20		15
Office & Other KSF	10	10	0	10	10	10	10		9
Total Nonres KSF/Yr =>	40	40	50	30	50	40	50		44

Demand Indicators by Dwelling Size

Impact fees must be proportionate to the demand for infrastructure. Because averages per housing unit, for both persons and vehicle trips, have a strong, positive correlation to the number of bedrooms, DP Guthrie, LLC recommends residential fee schedules that increase by dwelling size. Custom tabulations of demographic data by bedroom range can be created from individual survey responses provided by the U.S. Census Bureau, in files known as Public Use Microdata Samples (PUMS). PUMS files are only available for areas of at least 100,000 persons, with the City of Hailey included in Public Use Microdata Area (PUMA) 01000 that includes the following seven counties: Blaine, Elmore, Jerome, Minidoka, Gooding, Lincoln, and Camas. As shown in Figure A6, DP Guthrie, LLC derived trip generation rates and average persons per housing unit by bedroom range, from un-weighted PUMS data. The recommended multipliers by bedroom range (shown below) are for all types of housing units, adjusted to the control totals for Hailey. Hailey averages 2.47 persons per housing unit, which is lower than the national average derived from trip generation rates (see the middle section in the table below). In contrast, Hailey averages 1.42 vehicles available per housing unit, which is slightly higher than the national average derived from trip generation rates.

Figure A6: Vehicle Trip Ends and Persons by Bedroom Range

2019 Public Use Microdata Sample (PUMS)

Bedroom Range	Persons (1)	Vehicles Available (1)	Housing Units (1)	Hailey Hsg Mix	Unadjusted Persons/HU	Adjusted Persons/HU (2)	Unadjusted VehAvl/HU	Adjusted VehAvl/HU (2)
0-1	197	183	209	7%	0.94	1.11	0.88	0.70
2	1,051	868	683	23%	1.54	1.81	1.27	1.01
3	2,990	2,647	1,357	47%	2.20	2.59	1.95	1.56
4+	1,884	1,474	662	23%	2.85	3.35	2.23	1.78
Total	6,122	5,172	2,911		2.10	2.47	1.78	1.42

National Averages (ITE 2017)

ITE Code	AWVTE per Person	AWVTE per Veh Avl	AWVTE per Dwelling Unit	Hailey Hsg Mix	Persons per Housing Unit	Veh Avl per Housing Unit
220 & 221 MF	1.84	5.10	5.44	35%	2.96	1.07
210 SFD	2.65	6.36	9.44	65%	3.56	1.48
Wgtd Avg	2.37	5.92	8.05		3.35	1.34

AWVTE per Housing Unit by Bedroom Range

Bedroom Range	AWVTE per Housing Unit Based on Persons (3)	AWVTE per Housing Unit Based on Veh Avl (4)	AWVTE per Housing Unit (5)
0-1	2.63	4.14	3.39
2	4.29	5.98	5.14
3	6.14	9.24	7.69
4+	7.94	10.54	9.24
Total	5.85	8.41	7.13

(1) American Community Survey (ACS), Public Use Microdata Sample for AIDPUMA 1000 (2019 Five-Year unweighted data).

(2) Adjusted multipliers are scaled to make the average PUMS values match control totals for Hailey. Vehicles Available is from table B25046, ACS 2019 5-year data.

(3) Adjusted persons per household multiplied by national weighted average trip rate per person.

(4) Adjusted vehicles available per household multiplied by national weighted average trip rate per vehicle available.

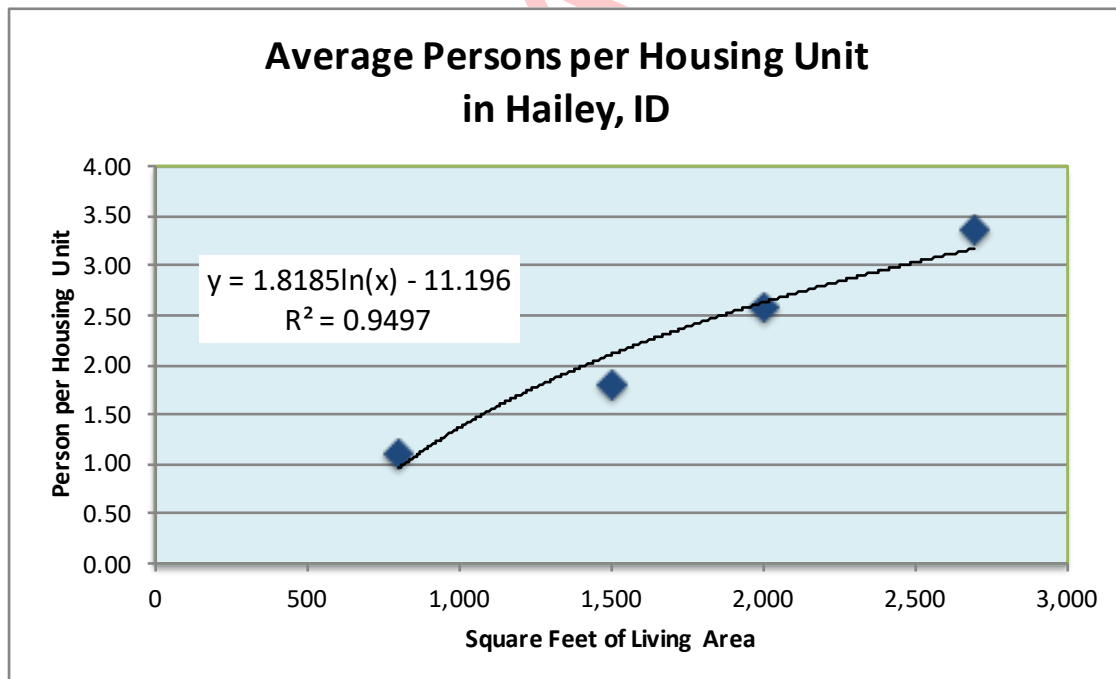
(5) Average of trip rates based on persons and vehicles available per household.

Average floor area and number of persons by bedroom range are plotted in Figure A7, with a logarithmic trend line derived from four actual averages for the area that includes Hailey. Using

the trend line formula shown in the chart, DP Guthrie, LLC derived the estimated average number of persons, by dwelling size, using 300 square foot intervals. For the purpose of impact fees, DP Guthrie, LLC recommends a minimum fee based on a unit size of 700 square feet and a maximum fee for units 2801 square feet or larger. The Blaine County Assessor's residential database indicates that single family houses constructed in Hailey over the past ten years average 800 square feet of finished floor area for a one-bedroom unit, 1500 square feet for a two-bedroom unit, 2000 square feet for a three-bedroom unit, and 2700 square feet for housing units with four or more bedrooms. The average number of persons by bedroom range is from Figure A6 above.

Figure A7: Persons by Square Feet of Living Space

Blaine County property database is the source for average square feet of dwellings. Average persons per housing unit is from 2019 ACS PUMS for the PUMA that includes Hailey.	Actual Averages per Hsg Unit			Fitted-Curve Values	
	Bedrooms	Square Feet	Persons	Sq Ft Range	Persons
	0-1	800	1.11	700 or less	0.72
	2	1,500	1.81	701 to 1000	1.37
	3	2,000	2.59	1001 to 1300	1.84
	4+	2,700	3.35	1301 to 1600	2.22
				1601 to 1900	2.53
				1901 to 2200	2.80
				2201 to 2500	3.03
				2501 to 2800	3.24
				2801 or more	3.42



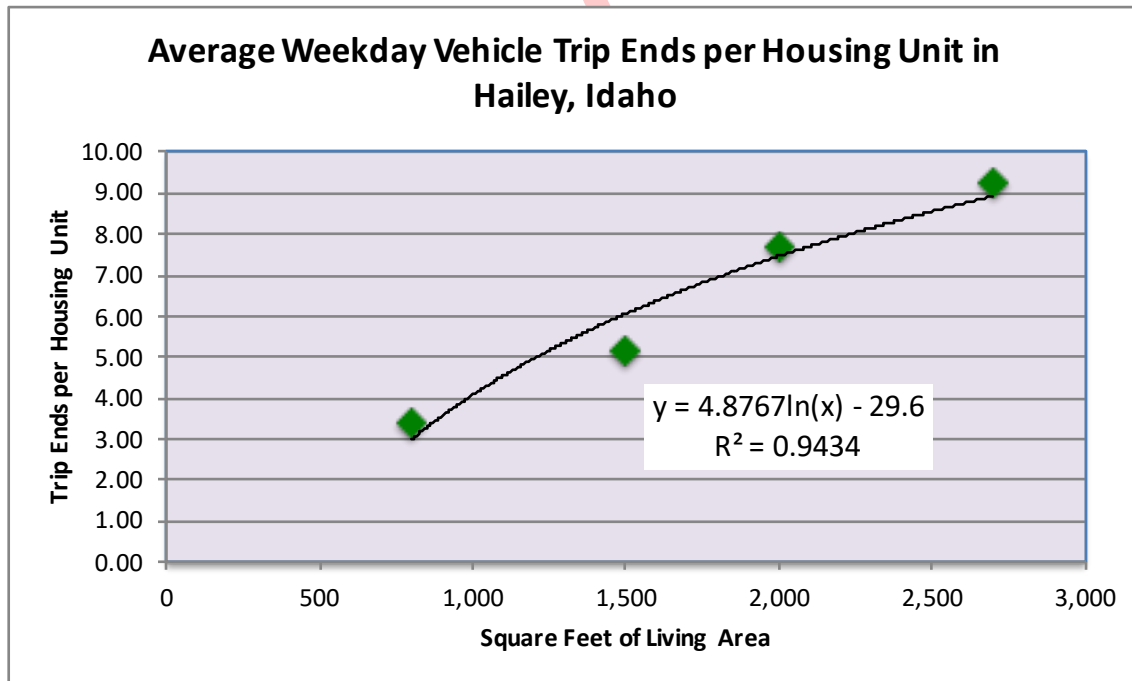
To derive average weekday vehicle trip ends by house size, DP Guthrie, LLC combined demographic data derived from U.S. Census Bureau PUMS files with average unit size data from the Blaine County Assessor's residential database. Average floor area and weekday vehicle trip ends, by bedroom range, are plotted in Figure A8, with a logarithmic trend line derived from four actual averages for the area that includes Hailey. DP Guthrie, LLC used the trend line formula to derive estimated trip ends by dwelling size, in 300 square foot intervals.

In contrast to the trip generation rates shown below, that increase in proportion to unit size, the national average trip generation rate for Multifamily Low-Rise housing is 7.32 average weekday vehicle trip ends per unit and the average for Single Family Detached housing is 9.44 average weekday vehicle trip ends per unit (ITE, 2017). DP Guthrie, LLC does not recommend a "one-size-fits-all" approach that would require small units to pay more than their proportionate share while large units would pay less than their proportionate share.

Figure A8: Vehicle Trips by Dwelling Size

Blaine County property database is the source for average square feet of dwellings. Average trip ends per housing unit derived from 2019 ACS PUMS for the PUMA that includes Hailey.

Actual Averages per Hsg Unit			Fitted-Curve Values	
Bedrooms	Square Feet	Trip Ends	Sq Ft Range	Trip Ends
0-1	800	3.39	700 or less	2.35
2	1,500	5.14	701 to 1000	4.09
3	2,000	7.69	1001 to 1300	5.37
4-5	2,700	9.24	1301 to 1600	6.38
			1601 to 1900	7.22
			1901 to 2200	7.93
			2201 to 2500	8.56
			2501 to 2800	9.11
			2801 or more	9.60



Parks and Paths Capital Improvements Plan

4/14/2021

Hailey, Idaho

<i>Description</i>	<i>Year 1-5</i>	<i>Year 6-10</i>	<i>Total Cost</i>	<i>Impact Fee Share</i>	<i>Impact Fee Funding</i>
Town Square - Land Acquisition*	\$1,600,000		\$1,600,000	35%	\$560,000
Town Square - Construction*		\$1,600,000	\$1,600,000	35%	\$560,000
Campground - Land acquisition*	\$1,500,000		\$1,500,000	35%	\$525,000
Campground - Construction Cost*		\$834,560	\$834,560	35%	\$292,096
East Croy Pathway TAP Grant Construction (Date TBD)	\$482,264		\$482,264	30%	\$144,679
Park Play Structure Expansions		\$350,000	\$350,000	30%	\$105,000
Balmoral Scooter Park Improvements	\$250,000		\$250,000	30%	\$75,000
Restrooms at Lions Park		\$100,000	\$100,000	30%	\$30,000
Heagle Park Pavilion		\$100,000	\$100,000	30%	\$30,000
Road and Parking Improvements at Lions Park		\$50,000	\$50,000	30%	\$15,000
East Croy Pathway TAP Match	\$47,696		\$47,696	30%	\$14,309
Total =>	\$3,879,960	\$3,034,560	\$6,914,520	34%	\$2,351,084
Funding from Other Revenue Sources =>			\$4,563,436		
Share from Other Sources =>			66%		

* Projects funded by impact fees over 20 years.

<i>Planning Horizon</i>		
	<i>10-Year</i>	<i>20-Year</i>
Existing Development Share =>	82%	65%
Growth Share (based on population) =>	18%	35%

Fire Stations and Apparatus Capital Improvements Plan

Hailey, Idaho

4/14/2021

<i>Description</i>	<i>Year 1-5</i>	<i>Year 6-10</i>	<i>Total Cost</i>	<i>Impact Fee Share</i>	<i>Impact Fee Funding</i>
Fire Apparatus	\$725,000	\$1,200,000	\$1,925,000	25%	\$481,250
Total =>	\$725,000	\$1,200,000	\$1,925,000	25%	\$481,250
Funding from Other Revenue Sources =>			\$1,443,750		
Share from Other Sources =>			75%		

Need useful life. If longer than ten years, I'll crunch numbers to likely increase the growth share and enable Hailey to collect fees for the

Hailey, Idaho

<i>Project Description</i>	<i>1-5 Years</i>	<i>6-10 Years</i>	<i>Total Cost</i>	<i>Impact Fee Share</i>	<i>Impact Fee Funding</i>
Rolling Stock	\$500,000	\$500,000	\$1,000,000	30%	\$300,000
Missing Sidewalk Connections	\$50,000	\$50,000	\$100,000	40%	\$40,000
River Street Downtown	\$1,340,000	\$0	\$1,340,000	40%	\$536,000
Myrtle (East)	\$0	\$63,489	\$63,489	40%	\$25,396
Airport Way	\$432,000	\$0	\$432,000	40%	\$172,800
River Street North of Downtown	\$0	\$2,510,000	\$2,510,000	40%	\$1,004,000
River Street South of Downtown	\$0	\$1,670,000	\$1,670,000	40%	\$668,000
Eastridge/8th	\$3,720,000	\$0	\$3,720,000	40%	\$1,488,000
1st Ave/Wertheimer	\$1,060,000	\$0	\$1,060,000	40%	\$424,000
Elm Street (West)	\$0	\$280,000	\$280,000	40%	\$112,000
Second Ave/ Bullion Street	\$350,000	\$0	\$350,000	40%	\$140,000
Cedar/Broadford/SH-75	\$350,000	\$0	\$350,000	40%	\$140,000
Woodside/SH-75	\$0	\$350,000	\$350,000	40%	\$140,000
Airport Way/SH-75	\$350,000	\$0	\$350,000	40%	\$140,000
Fox Acres/SH-75	\$0	\$350,000	\$350,000	40%	\$140,000
Bullion/SH-75	\$350,000	\$0	\$350,000	40%	\$140,000
Myrtle/SH-75	\$0	\$200,000	\$200,000	40%	\$80,000
Elm/SH-75	\$0	\$200,000	\$200,000	40%	\$80,000
Streets Salt Storage Shed Phase 1	\$100,000		\$100,000	40%	\$40,000
Streets Salt Storage Shed Phase 2	\$100,000		\$100,000	40%	\$40,000
Plan pathway along east side of relocated 8th Street	\$5,000		\$5,000	40%	\$2,000
Construct pathway along east side of relocated 8th Street	\$75,000		\$75,000	40%	\$30,000
Bicycle and Pedestrian mobility improvements	\$250,000		\$250,000	40%	\$100,000
Broadford Road Pathway	\$0	\$1,760,000	\$1,760,000	40%	\$704,000
Total =>	\$9,032,000	\$7,933,489	\$16,965,489	39%	\$6,686,196
			Revenue from Sources Other Than Impact Fees =>	61%	\$10,279,293

Return to Agenda

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, April 19, 2021
Virtual Meeting
5:30 p.m.

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Adoption of Meeting Minutes dated March 15, 2021. **ACTION ITEM.**

Public Hearing

PH 1 Consideration of a Design Review Application by Antony and Sarah Gray for a new 2,609 square foot single-story residence. This project is located at 121 North 3rd Avenue (Lots 1-4, Block 38, Hailey Townsite) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

PH 2 Consideration of a Design Review application by Hailey Airport Inn, LLC, represented by Owen Scanlon, for the addition of two (2) new three-story apartment buildings containing a total of twenty-one (21) units. This project is located at Lot 1A, Block 137, Hailey Townsite (804 South 4th Avenue) within the Limited Business (LB) Zoning District. **ACTION ITEM.**

PH 3 Consideration of a Design Review Pre-Application by Kilgore Properties, LLC, for construction of Sweetwater Condominiums to be located at Block 2, Sweetwater PUD Subdivision. This project was approved by the Planning and Zoning Commission on December 2, 2019; however, the Applicant has reconfigured the parcel, to consist of thirteen (13), ten-plex, three-story condominiums, each unit comprising of approximately 1,380 square feet. A total of 137 units (130 residential units and seven live-work units) are proposed. **ACTION ITEM.**

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

SR 2 Discussion of the next Planning and Zoning meeting: **May 3, 2021**

- CUP: PA Spirits
- PP: Winterhaven Estates
- TA: Sunchart

Return to Agenda

Meeting Minutes
HAILEY PLANNING & ZONING COMMISSION
Monday, March 15, 2021
Virtual Meeting
5:30 p.m.

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122>, 506287589#

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Present

Commission: Richard Pogue, Janet Fugate, Dan Smith, Dustin Stone

Staff: Lisa Horowitz, Robyn Davis, Jessica Parker

Absent: Owen Scanlon

[5:30:23 PM](#) Chair Fugate called to order.

[5:31:19 PM](#) Public Comment for items not on the agenda. No comment.

[5:31:39 PM](#) **Consent Agenda**

CA 1 *Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application by Rebecca Wilkinson for a new 475 square foot detached, two-car garage. This project is located at 323 North 2nd Avenue (Lots 1-4, Block 51, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.*

CA 2 *Adoption of the Meeting Minutes from the March 1, 2021 PZ Hearing. **ACTION ITEM.***

[5:31:56 PM](#) Pogue motioned to approve CA 1 and CA 2. Smith seconded. All in Favor.

Public Hearing

PH 1 [5:32:44 PM](#) *Consideration of a Design Review Application by Grocery Outlet Bargain Market, represented by BRR Architecture, for a new 590 square feet bale storage. This project is located at 615 North Main Street (Lots 1-5, and Lots 11-15, Block 68, alley between Lots 1-5 and Lots 11-15 150' x 26' alley, Hailey Townsite) within the Business (B) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.***

Horowitz turned floor over to applicant team. Jenna Markley, BRR Architecture, introduced team and explained adding bale storage in front of existing structure. The bale storage will match the exterior coloring, noting the baler will be located inside.

[5:34:53 PM](#) Stone asked if have other locations with same design. Markley explained has other bale storages, but this one is fancier than other locations since matching the existing building. Stone if access it the typical way with a pallet jack? Markley confirmed access is the same.

[5:35:43 PM](#) Smith stated 17.5x37.4 comes up to 653 square feet, asked applicant to verify square footage. Markley stated inside usable space with 590 square feet, the 653 square feet is the outside dimensions. Confirmed losing the additional space due to wall space. Markley

confirmed. Smith asked what the roof material will be. Markley stated it will be a slopped metal roof. Smith asked what color or type of metal. Markley stated it will be a corrugated metal, and will match the rest of the building. Smith asked if will be similar to the shoreline. Markley confirmed. Smith asked if shoreline material will match the existing building. Markley confirmed the shoreline will be painted onto the existing building. Smith asked what the materials the doors are made out of. Markley stated metal gates. Smith confirmed will be solid. Markley confirmed. Smith asked about the gap between the top of the wall and roof. Smith asked if have any concerns to it being opened to the weather and/or birds nesting. Markley stated has not had issues in the past but has done chain link fences in the past and are open to that if needed. Smith recommends doing something to minimize exposures to unwanted birds and etc. Horowitz stated chain-link fencing is not permitted. Smith suggested a woven wire or mesh. Markley stated could do a woven wired mesh. Smith suggested to look at adding an overhang to help minimize moisture exposure. Smith asked about the bale size and weight. Markley explained it is on a pallet, that is basically a 4x4 cube, that there would be about 4-6 bales accumulated a week. Smith confirmed the actual baler will be located inside the store. Markley confirmed.

[5:40:25 PM](#) Pogue asked how often the bales are taken out to the storage facility. Markley explained depends on sale, up to once a day. Pogue asked if has a private company that picks up the bales. Jeff Demearais, bales are typically sent back with the trucks when delivery grocery to the store. Pogue confirmed all in house. Demarais confirmed. Pogue hates that trash will be located in front but the shelter for it is well thought out. Markley explained this is just for the bales, noting the location of where actual trash will go. Horowitz stated that is an important clarification, as cardboard is a priority to be recycled.

[5:43:50 PM](#) Chair Fugate agrees with Smith points to having it enclosed and the overhang. Chair Fugate asked if there are parking spaces next to the enclosure. Markley confirmed there are. Chair Fugate asked if the parking would impede their access. Markley explained doors on the northside, so will be clear of the adjacent parking.

[5:45:49 PM](#) Stone asked what is done when the storage area is full. Demarais does not anticipate it ever getting full, where overflowing. Stone asked what happens if does get full. Demarais stated could leave it in the store and schedule a pick up. Stone confirmed no intention of storing it out front along the building. Demarais confirmed not typically.

[5:47:08 PM](#) Chair Fugate opened public comment.

[5:47:33 PM](#) Chair Fugate closed public comment.

[5:47:37 PM](#) Stone thinks as long as there is no intention to have overflowing cardboard sitting out front, that this company seems concerned about s

[5:48:37 PM](#) Smith thinks they have done the best they can. Smith agrees with Pogue it's unfortunate the bale storage has to go out front but with by siding it they way they have it will dimension the impact. Smith would say it's going to be a benefit to them to have additional storage so can have a larger area for merchandise.

[5:49:21 PM](#) Pogue thinks the business will be good for the community, no further questions.

[5:49:43 PM](#) Chair Fugate agrees with all that has been said, appreciates the attention to the aesthetics and fact that does want the storage for this. Chair Fugate noted that need to correct the square footage is corrected in the motion. Horowitz confirmed correct square in the reports.

[5:50:31 PM](#) **Smith motioned to approve the Design Review Application by Grocery Outlet Bargain Market, represented by BRR Architecture, for a new 653 square feet bale storage. This project is located at 615 North Main Street, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (i) are met. Pogue seconded. All in Favor.**

Staff, commission and applicant discussed need to remove condition (i), agreed to remove.

[5:53:47 PM](#) **Smith amended the motion to strike condition (i). Pogue seconded. All in favor.**

PH 2 [5:54:36 PM](#) *Consideration of a Design Review Application by Kim and Terry Hayes, represented by Chip Maguire of M.O.D.E. LLC, for a new 3,459 square feet single family residence. This project is located at 313 South 2nd Avenue (Lot 5A, block 22, Hailey Townsite) within the Limited Residential 1 (LR 1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.***

[5:55:08 PM](#) Stone stated he lives across the street from this location, does not know the people looking to build and feels comfortable can make a fair judgement.

[5:55:45 PM](#) Davis introduced applicant team and turned floor over to Chip Maguire. [5:57:12 PM](#) Maguire explained project is for a new residential, similar location to existing house. Maguire summarized property and brief history with ADU above garage built in 2019. Maguire explained why proposing new house as existing house is not structurally sound. Maguire provided site plan of the existing and proposed homes, noting new house is setback slightly further and will be connected to the existing ADU. Maguire explained proposing basement, 1st floor and 2nd floor, describing the layouts of each. Maguire is proposing to keep landscape similar to what is there. Maguire stated parking will be in the back where it is now. Maguire stated the lighting proposed is going to be can lighting to be dark sky compliant. Maguire went into more detail of the floor plan for each level, noting patio and courtyard locations. Maguire stated the roof pitch is steeper in pitch on the upper story, with corrugated metal. Maguire explained existing ADU/garage materials and that brought that material into the house to tie them together. Maguire explained how plans to breakup of the roof and that plan to use a brick in the front of the house that is a combination of red/white. Maguire provided elevation perspectives showing how the house relates to the ADU and how complimenting the project as whole. Maguire explained design to make this house stand out as the primary residence of the property.

[6:08:22 PM](#) Stone asked if there is a picture of the existing garage/adu looking towards the east. Maguire asked if elevation or picture, Stone stated anything. Maguire explained that because it is existing, did not focus a lot on the backside. Stone asked if doing anything to the ADU. Maguire stated only change is where the lower wing will connect. Stone noted door on the site plan. Maguire stated that door already exists. Stone asked staff if applicant is following stipulations of an attached or detached garage. Horowitz stated from planning standpoint, it

falls as detached. Stone asked if there was some recommendation causing them to keep the two spruce trees. Maguire stated there was no reason to take them out, the owners wanted to keep the existing landscaping.

[6:11:59 PM](#) Smith suggested adding the setbacks in Townsite Overlay to the matrix. Smith asked if using corrugated metal for the roofing. Smith recommends using snow clips or snow rail. Maguire agrees, back door entry will for sure have snow clips. Smith stated happy the applicant wants to keep the spruce trees, but wants to be sure the applicant is aware if one or both are damaged during construction applicant will have to replace. Smith suggested to make sure those are well protected during construction. Smith is glad to see as mentioned the proportion between the main house and ADU will be much better than what it was before.

[6:15:05 PM](#) Pogue commented that the applicant team has done a great job, no questions or further comments.

[6:15:30 PM](#) Chair Fugate opened public comment.

No comment.

[6:16:15 PM](#) Chair Fugate closed public comment.

[6:16:20 PM](#) Chair Fugate complimented the design of the project and texture of the roofing.

[6:17:20 PM](#) Stone appreciates the applicant working with the city to make an improvement in old town and the effort it took.

[6:18:31 PM](#) Smith and Pogue no further comments.

[6:18:44 PM](#) Chair Fugate agrees with Stones comments.

[6:19:13 PM](#) Stone motioned to approve the Design Review Application by Terrence and Kimberly Hayes, represented by Chip Maguire of M.O.D.E. LLC, for a new 3,459 square foot single-family residence. This project is located at 313 South 2nd Avenue (Lot 5A, Block 22, Hailey Townsite), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, and City Standards, provided conditions (a) through (k) are met. Pogue seconded. All in Favor.

PH 3 [6:20:44 PM](#) *Consideration of a Design Review Pre-Application by Summit View Land Company, LLC for two new multi-family buildings, building A1 will consist of 16 units and building A2 will consist of 8 units, all units will range in size from 374 square feet to 488 square feet. This project is located at 760 and 750 North 2nd Avenue (FR NE NW TL 8360 SEC 9 2N 18E and FR NE NW TL 8361 SEC 9 2N 18E) within the General Residential (GR) Zoning District. **ACTION ITEM.***

[6:21:19 PM](#) Davis turned floor to Errin Bliss, architect. Bliss provided drawings showing site location. Bliss provided site plan of existing buildings, with a total of 52 units onsite. Bliss stated the project was constructed in 1977 and originally there was a 7th building onsite with 8 units, but at some point in time that 7th building burned down. Bliss discussed existing layout of parking, entrances, trash enclosures and

landscaping. Bliss provided conceptual site plans, noting this submittal is to get input and feedback from city staff and commission. Bliss stated presenting two options. Option 1, rebuilding existing building that burnt down – parking, architecture would remain the same. Would be a straight forward submittal, replicating what is there. Bliss discussed option 2, increase density further applying for a PUD, would build two buildings two stories each for a total of 24 new units increasing the number of units to 76. Bliss stated with option 2, would move forward PUD, that at least 20% of units would be deed restricted or low-income housing. Bliss explained with option 2, intent was to make some site improvements – add new outdoor structure, provide some type of outdoor space and gather place for tenants. Bliss stated intent was to also make improvements along 2nd Ave – new curb cuts to be safer to enter and exit, and add landscaping. Bliss stated another idea to try to make the complex more attractive and appealing, is adding a new sidewalk, creating new curb cut and street trees also with this option an idea is to create new trash enclosures. Bliss stated with increased density, would be adding more parking will not be asking for concessions for parking. Bliss went on to discuss the base floor plans for each building. Bliss explained intent is to match existing architecture, siding and roof. Bliss turned floor to Kevin Garrison, property owner.

[6:35:32 PM](#) Garrison explained he purchased this property roughly 6 years ago, that has full onsite security for the property. Garrison explained has easy opportunity to put back what was already there but given the housing needs is trying to split this up. Garrison noted that roughly 50% of his bedrooms are unoccupied. Garrison stated he is trying to help the community, as a business right on the edge, not sure if makes sense to do this. Garrison is estimated to be around \$700-800 for the studios and \$800 - \$900 for 1 bedroom, and 2 bedrooms estimated to be around \$1000-\$1050. Garrison summarized would like to get feedback. Garrison noted this property has been upgraded dramatically over the last 6 years – broken sidewalks replaced, most units new paint, etc. Garrison wants this to be a great place, crime rate has gone down with security system in place.

[6:41:17 PM](#) Stone asked for clarification on what will be affordable housing – 20% or 30%. Bliss explained the different options. Garrison stated what can guarantee, is that 100% of these units will fit within the 30% of 50%-100% of the medium income. Stone asked if expect the owners to self-regulate this percentage. Horowitz stated it is managed through the Blaine County Housing Authority if use PUD or deed restricted. Horowitz stated she is seeing different number them but that they can further discuss in future. Garrison stated number he saw was just under 52,000. Garrison stated right on the edge of the lower limit, not able to commit to lower because literally right on that edge. Stone asked if there is one that is trying to use for density bonus. Bliss stated no, going on further explain the density bonus. [6:47:35 PM](#) Garrison added that was not sure how to apply those bonuses due to how far they are behind. Stone explained does not expect them to go back in time on other buildings. Garrison stated all the windows are now conforming, the landscaping even. Garrison when on to discuss changes made. [6:49:13 PM](#) Bliss added in terms of density bonus, section 17.10.020 allows the commission to increase the density of the site. [6:50:07 PM](#) Stone stated it does make it hard to make recommendations when not sure what the applicant is requesting. Stone asked if project is currently within the density requirements. Horowitz stated they are an existing non-conforming, and able to rebuild the 7th building that burned down. Horowitz suggested the commission should focus on the increase density in exchange for this restricted housing. [6:52:01 PM](#) Garrison stated Horowitz's clarification is right.

[6:52:18 PM](#) Smith referred to code Bliss mentioned, 17.10.020. [6:53:02 PM](#) Smith noted because the applicant is grandfathered already exceed the density allowance. Smith stated if look at all options to I increase density, even under PUD limited to 10-20%, and has some concerns with going over 200%. Smith is glad to see them look at rebuilding the existing building that was burned. Smith referenced the

ARCH PUD, stating they were allowed 20 units per acre and with the units they put in was given approximately a 10% bump because all the units were deed restricted. Smith would not want to move to additional density over what is grandfathered without seeing what the impacts are – traffic study, etc. Smith is hoping with all of this happening going to see much approved affordable housing the community. Smith really has problem with going over the 20% available, that the project is adjacent to school, and single-family homes. Smith has real problem with idea of increasing of density over and above what would typically be allowed in this zone. Smith is curious about the improvements discussed, glad to see idea of landscaping and street trees. Smith stated thinks there is a lot of benefits and positives but to go beyond what is grandfathered in is a step to far without additional information.

[6:56:54 PM](#) Pogue agrees with Smith, thinks very fortunate to have Garrison as owner of this property. Pogue agrees community needs more housing, but thinks has responsibility to city to keep it within the GR guidelines. Pogue thinks it would be a disservice to the community to allow this project to go beyond the GR Guidelines. Pogue recommends look at rebuilding portion that burned down and see if could modernize that without adding more rooms.

[6:58:39 PM](#) Chair Fugate understands the concern with the density and that it is obvious this site is being taken care of. Chair Fugate asked how many total parking spaces would be if went to the 76 units. Bliss stated there would be a total of 114 onsite. Chair Fugate if just rebuild the building, does that leave out the other amenities proposed. Bliss confirmed. Chair Fugate explained that is one reason she would consider the PUD, and likes idea of outdoor space and improving the playground equipment. Chair Fugate would like to see recycling with new trash enclosures. Chair Fugate thinks if were to do this, does need additional parking and would like to see stop signs at the curb cuts. Chair Fugate asked if there was a laundry facility in this complex. Garrison confirmed. Chair Fugate understands concerns of increased density, thinks traffic study and additional parking would be helpful. Chair Fugate would rather see increased density with the proposed amenities. [7:04:47 PM](#) Garrison explained with proposal would only be adding six additional cars per day. Garrison would like to be careful of adding additional cost as this is a low-income housing project. Garrison stated going to put in the secondary eating/shading area and new playground will happen regardless.

[7:06:58 PM](#) Chair Fugate opened public comment.

No comment.

[7:07:58 PM](#) Chair Fugate closed public comment.

[7:08:10 PM](#) Stone asked if a PUD could override the nonconforming statutes. Horowitz confirmed, that the council could go higher if choose too. Stone is not directly opposed to increasing density and appreciates if truly have rent controlled. Stone stated if truly rent controlled that has special value to him. Stone suggested targeting something in density to get the density bonus. Stone agrees with the Chair Fugate, that this is a dense location and about to get denser either way. Stone stated so getting some value whether be parking, stop sign would not fall on deaf ears.

[7:11:11 PM](#) Smith complimented Garrison, work done and is pleased to hear intends to provide amenities to his tenants. Smith noted this would come back for design review and could stipulate trash enclosures. Smith's concerns are the density and to make it even higher at the price of impacting the sense of place, life in that area and those attending school, he is concerned about going further than what already have. Smith is very hesitant to go above what is grandfathered.

[7:13:26 PM](#) Pogue complimented Garrison and work done. Pogue's concern with adding the number of units is the traffic, its adjacent to the school and existing single-family homes built under GR code. Pogue is glad to hear of improvements intend to do whether go forward or not. Pogue has problem with that high of density adjacent to the school and single family.

[7:15:23 PM](#) Chair Fugate asked if just replaced the previous building that would be 8 units which would be 16 bedrooms and if would also have 16 bedrooms in the one new building. Chair Fugate summarized, basically the one building would have the same number of bedrooms and 2nd building would have 8 – a net of 8 bedrooms total. Staff and applicant confirmed. Chair Fugate understands density concern, but at this point leaning towards increasing density as it is a net of only 8 bedrooms. Chair Fugate thinks if applicant gets back with more specific details on amenities, landscaping, parking and safety in mind.

[7:18:40 PM](#) Stone stated in end, talking about the a2 building that the building to the west is something the owner has the right to build.

[7:20:28 PM](#) No questions from Bliss. Garrison thanked commission and staff for their time. Garrison explained why he does not feel they would be adding to traffic – i.e. kids walking and riding bus. Garrison would really like to build this, does not think cost wise makes sense business wise.

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

SR 2 Discussion of the next Planning and Zoning meeting: **April 5, 2021**

- TA: Fence Height
- DR: Croy Street Exchange
- PP: Winterhaven Estates

Horowitz provided summary of upcoming projects. Horowitz stated at the second meeting in April, will be having the 5year meeting regarding DIF – Horowitz stated it is likely will start at 4:30 but that is not decided.

[7:27:17 PM](#) Pogue motioned to adjourn. Smith seconded. All in Favor.

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STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of April 19, 2021

To: Hailey Planning and Zoning Commission

From: Robyn Davis, Community Development City Planner

Overview: Continuation of a Design Review Application by Antony and Sarah Gray for a new 2,742 square foot single-story residence. This project is located at 121 North 3rd Avenue (Lots 1-4, Block 38, Hailey Townsite) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts.

Hearing: April 19, 2021

Applicant: Antony and Sarah Gray

Request: Construction of a 2,742 square foot single-family residence

Location: Lots 1-4, Block 38, Hailey Townsite (121 North 3rd Avenue)

Zoning: Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts

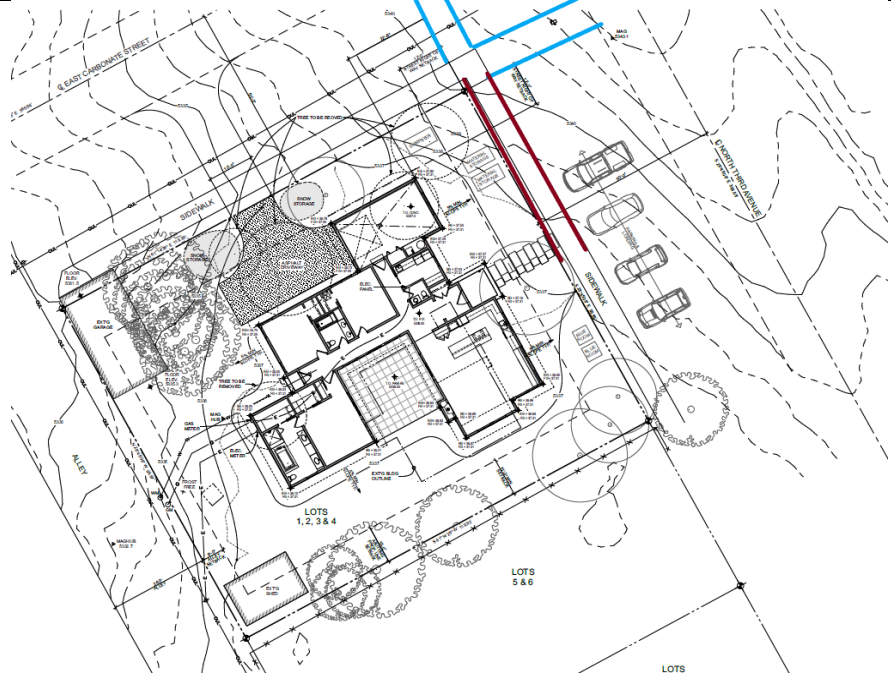
Notice: Notice for the public hearing was published in the Idaho Mountain Express on February 10, 2021 and mailed to property owners within 300 feet on February 10, 2021. This item was continued to April 5, 2021. Due to a noticing error, this item was continued at the April 5, 2021 public hearing to April 19, 2021.

Application: The Applicant is proposing to construct a new 2,742 square foot single-family residence, which includes an attached garage, at 121 North 3rd Avenue. This is a corner lot. Access for the existing historic residence is located on Third Avenue. The existing residence will be relocated to another site in Hailey, and the two outbuildings, labeled 'garage' and 'shed', will remain onsite. This Application was heard by the Commission on March 1, 2021. The Applicant proposed that the garage gain access off of Third Avenue and not the alley, as called for in the TO District, and as noted herein.

As a general rule (pursuant Section 17.06.090(C)4 of the Hailey Municipal Code), garages and parking areas should be accessed from the alley side of the property and not the street side. Per feedback from the Commission at the March 1, 2021 public hearing, the Commission recommended that the Applicant look at reconfiguring the site plan to meet the standard or draft an alternative design for the Commission's consideration. Further discussion of this standard can be found below.

Procedural History: The Design Review Application was submitted on January 27, 2021 and certified complete on February 5, 2021. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on March 1, 2021. The Commission continued the project to April 5, 2021. Due to a noticing error, this item was continued at the April 5, 2021 public hearing to April 19, 2021. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on April 19, 2021, virtually via GoTo Meeting, and in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<p>Engineering, Streets and Public Works: <i>The existing driveway is 30' from the intersection of the two public roads, Third Avenue and Carbonate Street. In the original design, the Applicant proposed that the garage gain access from Third Avenue, where the driveway is approximately 14' from the intersection of these roads. Due to the proximity of the proposed driveway to the intersection, the Commission found that the proposed driveway and garage would impede visibility of vehicular and pedestrian traffic coming from Third Avenue and Carbonate Street. The Commission strongly encouraged the Applicant to position the proposed garage and driveway off of the alley or reconfigure the site in differently, to be reviewed by the Commission at a later date.</i></p> <p><i>The Public Works Department also recommended and the Commission concurred that the sidewalk along Carbonate Street and Third Avenue be extended to the edge of asphalt on both Carbonate Street and Third Avenue (see the blue lines in the image below for further details).</i></p>



With the new configuration, the Applicant is proposing that the garage door face the alley; however, access be achieved from Carbonate Street. The reasons that the Applicant proposes this configuration are 1) to retain all of the historic outbuildings located on the alley side of the property; 2) the garage off of the alley would require a step into the house due to grade change.

Planning Staff feels the current proposal is more aligned with the Design Review Guidelines for Townsite Overlay than the previous proposal for the following reasons:

- 1) The garage doors will not face a street, but will face the alley.
- 2) Historic structures will be preserved.
- 3) There is an existing nonconforming curb cut, which will be relocated to a more appropriate location.

Planning Staff also suggests that the existing driveway, off of Third Avenue, be removed and the area be revegetated, and that the sidewalk along the property frontage and where the previous driveway was, be installed/repared/replaced (see the red lines in the image above for further details). The existing sidewalks may also need some repairing. The Applicant shall repair the existing sidewalks, as outlined by the Public Works Department, prior to issuance of a Certificate of Occupancy.


Furthermore, a detailed engineering plan with grading and drainage shall be provided prior to issuance of a Building Permit. The Public Works Department will need to review the final design before additional recommendations can be made.

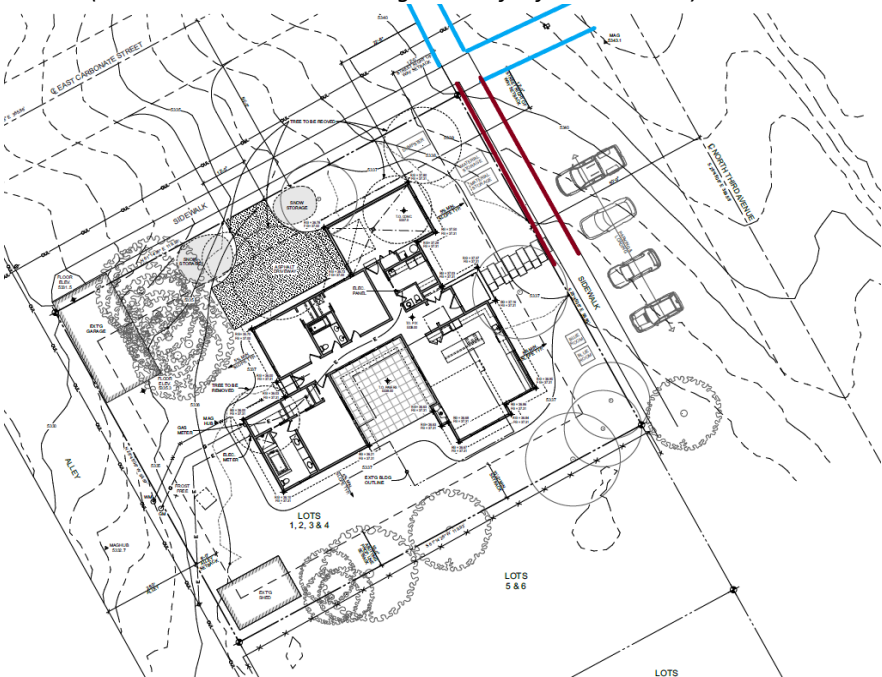
Comments above have been made Conditions of Approval.

Life/Safety: No comments

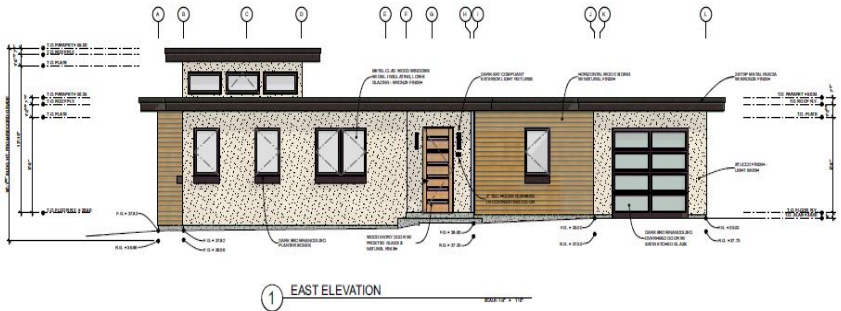
Water and Sewer: The Water and Wastewater Departments recommend that the Applicant utilize the existing services to the lot.

				Building: No comments
				City Arborist: <i>The City Arborist recommends that the Applicant make every effort to protect the existing trees from damage and compaction during the construction process. There are approximately 18 trees proposed to be retained, of which, include a variety of species: Ponderosa Pine Trees, Douglas Fir Trees, Spruce Trees, and Box Elder Trees. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>N/A, as signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code. 17.09.040 Single-Family Dwellings: minimum of two (2) spaces, maximum of six (6) spaces
			Staff Comments	<i>The Hailey Municipal Code requires a minimum of two (2) parking spaces for each single-family residential dwelling. An attached garage is proposed and it appears that two (2) or more spaces have been provided onsite. It also appears that the public right-of-way (Third Avenue) can accommodate for a total of approximately three (3) parking spaces.</i> <i>The new site plan indicates that vehicular access to the site will be off of Carbonate Street, and onsite parking would remain off of Third Avenue. Planning Staff suggests that there be no onsite or public right-of-way parking off of Carbonate Street, only Third Avenue. This has been made a Condition of Approval.</i> <i>Additionally, an alley exists and vehicular access could be restricted to the existing alley; however, the Applicant is proposing that vehicular access be achieved from Carbonate Street. The garage door will face the alley, rather than a public street, which Planning Staff feels is more closely aligned with the City Code. Please see Section 17.06.090(C)4 for further details.</i> <i>Parking requirements for the proposed residence are met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards a. All exterior lighting shall be designed, located and lamped in order to prevent: 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.

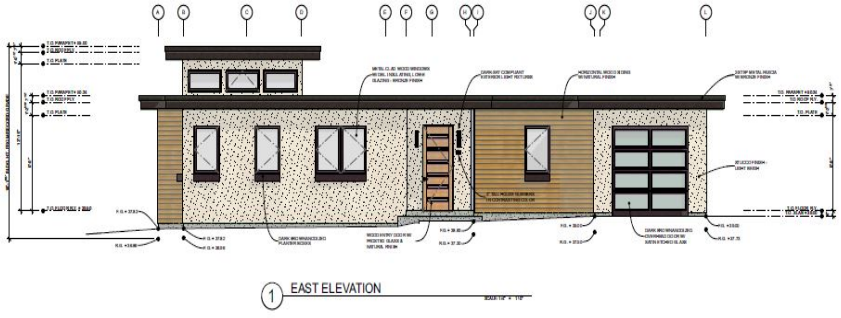
			Staff Comments	<p><i>The Applicant will install Dark Sky compliant fixtures, downcast and low wattage fixtures. Cut Sheets are attached.</i></p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p>Zoning District: Limited Residential (LR-1) and Townsite Overlay (TO) Maximum Height: 30' Setbacks:</p> <ul style="list-style-type: none"> • Street R.O.W. Adjacent: 12'; 20' to Garage Door • Private Property Abutment: 15% of lot width or 10', whichever is less; 6' min. • 1' for every 2.5' of building height • Alley: 6' minimum <p>Lot Coverage: 35%</p>
			Staff Comments	<p><i>Maximum Building Height: 30'</i> <i>Proposed Building Height: 18'-1 5/8"</i></p> <p><i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> ○ Front Yard (East): 22'-6" ○ Side Yard (North): 14' ○ Side Yard (South): 21' ○ Rear Yard (West): ~30' <p><i>Proposed Lot Coverage:</i></p> <ul style="list-style-type: none"> ○ 3,622 square feet (Proposed Footprint + Existing Garage Footprint) / 11,979 square foot lot = 30% <p><i>All setback, building height, and lot coverage requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			Staff Comments	<p><i>Sidewalks are existing along the property frontage of Third Avenue and Carbonate Street. That said, the Public Works Department recommended and the Commission concurred that the sidewalk along Carbonate Street and Third</i></p>

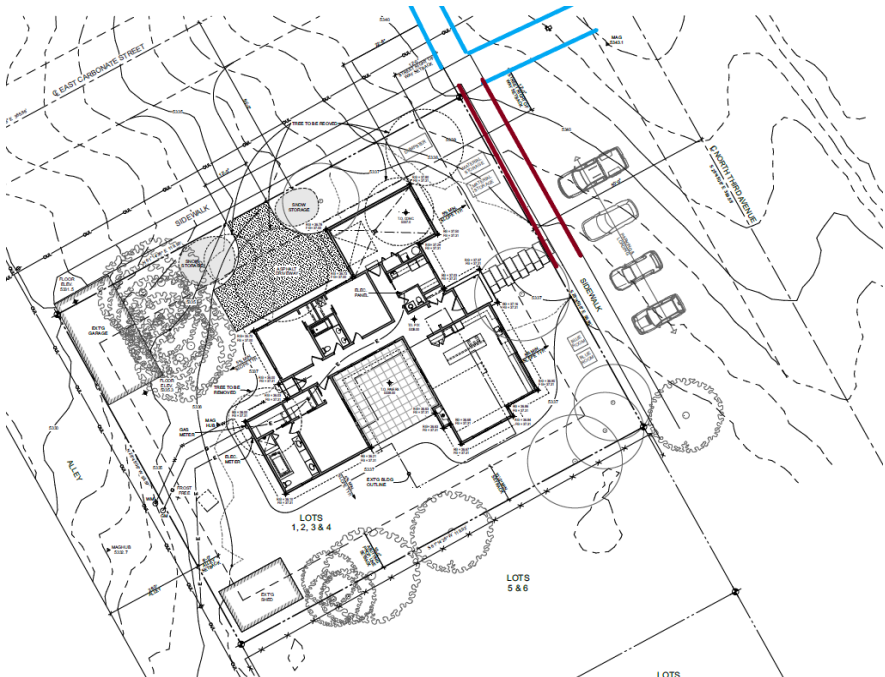
			<p><i>Avenue be extended to the edge of asphalt on both Carbonate Street and Third Avenue (see the blue lines in the image below for further details).</i></p>  <p><i>Planning Staff also suggests that the existing driveway, off of Third Avenue, be removed and the area be revegetated, and that the sidewalk along the property frontage and where the previous driveway was, be installed/repaired/replaced (see the red lines in the image above for further details). The existing sidewalks, as outlined by the Public Works Department, prior to issuance of a Certificate of Occupancy.</i></p> <p><i>Furthermore, a detailed engineering plan with grading and drainage shall be provided prior to issuance of a Building Permit. The Public Works Department will need to review the final design before additional recommendations can be made.</i></p> <p><i>Comments above have been made Conditions of Approval. the image below for further details). This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.070(B) Required Water System Improvements</p> <p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)</p>
			<p>Staff Comments</p> <p><i>This standard shall be met.</i></p>
<p>Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).</p>			
<p>Compliant</p>		<p>Standards and Staff Comments</p>	

Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)1	1) Site Planning Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions. <i>Staff Comments:</i> The lot is existing and respects the Old Hailey Townsite grid pattern.
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: Site planning for new development and redevelopment shall address the following: <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • The scale of the proposed addition is consistent with the scale and massing of buildings in the surrounding neighborhood. • The lot is existing and respects the Old Hailey Townsite grid pattern. The front entry of the home faces Third Avenue and will be accessible via Third Avenue. • The garage door will face the alley, although the alley is not proposed to be used for vehicular access. Existing historic sheds located along the alley will be preserved. • The proposed residence will span the entire lot. Ample yard and open space exist on all sides of the home. • Snow storage has been identified on the site plan and is sufficient for the site. • Utilities are existing. Water, sewer and gas are located underground. Any additional utilities shall be located underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.
			<i>Staff Comments</i>	<p>The design intent of the proposed residence was to complement that of the surrounding area, while utilizing a mid-Century Usonian Design. Please see Section 17.06.090(C)3 for further details.</p> <p>The proposed design takes advantage of the southeastern exposure: a large patio area, several entries and windows are located along the southern elevation of the proposed residence.</p> <p>The size and shape of the proposed windows are also in scale with the building character of Old Hailey. No solar collectors are proposed at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)2	2. Bulk Requirements (Mass and Scale, Height, Setbacks) Guideline: The perceived mass of larger buildings shall be diminished by the design.

			Staff Comments	<i>The use of a flat roof, covered front entry, and large windows reduces the massing of the building, and breaks up the roofline. The various exterior materials, and undulations in the building design make the residence appear smaller in scale.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3	3. Architectural Character
			17.06.090(C)3a	a. General
				Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.
			Staff Comments	<p><i>The architectural style of the proposed residence is that of a mid-Century Usonian Design. Per the Applicant, Usonian Homes are typically small, single-story dwellings without a garage or much storage. They are often L-shaped to fit around a garden terrace on unusual and inexpensive sites. They are characterized by native materials; flat roofs and large cantilevered overhangs for passive solar heating and natural cooling; natural lighting with clerestory windows; radiant-floor heating. Another distinctive feature is that they typically have little exposure to the front/public side, while the rear/private sides are completely open to the outside. A strong visual connection between the interior and exterior spaces is an important characteristic of all Usonian Homes.</i></p>  <p style="text-align: center;">① EAST ELEVATION</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3b	b. Building Orientation
				Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.
			Staff Comments	<i>The front entry of the proposed residence is located facing Third Avenue. A pathway leading to the front entry is proposed, which is visible and inviting from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			Staff Comments	<i>The lot is existing and respects the Old Hailey Townsite grid pattern. A pathway leading to the front entry is proposed, which is prominent and inviting from Third Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3c	c. Building Form
				Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			Staff Comments	<i>The use of a flat roof, covered front entry, and large windows reduces the massing of the building, and breaks up the roofline. The various exterior materials, and undulations in the building design make the residence appear smaller in scale.</i>

				<i>The proposed residence will complement that of the surrounding neighborhood. The proposed exterior materials include: horizontal wood siding with a natural finish, stucco finish in light beige, two-step metal fascia with bronze finish, a dark brown anodized overhead door with stain etched glass, and metal clad wood windows with a bronze finish. Dark brown anodized planter boxes will be added under most windows, and a wooden entry door with frosted glass will finish the exterior materials.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	d. Roof Form
				Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			<i>Staff Comments</i>	<i>The proposed roof form and front entry are similar to those in the surrounding area (home on Second Avenue and Pine Street, home on River Street and Cedar, home on Main Street and Walnut Street). The pathway leading to the front entry helps define the front façade of the residence.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site. <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			<i>Staff Comments</i>	<i>The proposed roof is flat, which will retain snow on the roof, rather than allow snow to shed onto the property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.
			<i>Staff Comments</i>	<i>The proposed roof forms and materials are similar to those traditionally found in the neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.
			<i>Staff Comments</i>	<i>The proposed roof forms and materials are similar to those traditionally found in the neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	e. Wall Planes
				Guideline: Primary wall planes should be parallel to the front lot line.
			<i>Staff Comments</i>	<i>The proposed residence's primary wall plane is parallel to the lot line where the entrance is located.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.
			<i>Staff Comments</i>	<i>The residence is proportional to the site in that the site's longest side is parallel with the residence's longest side. Material variation and front entry porch will also reduce the scale of the building to match the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: The use of pop-outs to break up longer wall planes is encouraged.
			<i>Staff Comments</i>	<i>The front entry and unique configuration of the residence creates wall plane variation to break up the mass and longer wall planes of the home.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	f. Windows
				Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			<i>Staff Comments</i>	<i>The proposed windows are traditional in size, scale, and are appropriate for the neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.


			Staff Comments	<i>Minimal windows are proposed facing the alley. Windows are also framed in a manner that is consistent with the neighborhood and do not impact neighborhood privacy.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)3g	g. Decks and Balconies
				Guideline: Decks and balconies shall be in scale with the building and the neighborhood.
			Staff Comments	<i>N/A, as no decks or balconies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)3g	Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			Staff Comments	<i>N/A, as no decks or balconies are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	h. Building Materials and Finishes
				Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.
			Staff Comments	<i>The proposed residence will complement that of the surrounding neighborhood. The proposed exterior materials include: horizontal wood siding with a natural finish, stucco finish in light beige, two-step metal fascia with bronze finish, a dark brown anodized overhead door with stain etched glass, and metal clad wood windows with a bronze finish. Dark brown anodized planter boxes will be added under most windows, and a wooden entry door with frosted glass will finish the exterior materials (see image below for further detail).</i>
				 <p>1 EAST ELEVATION</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			Staff Comments	<i>The largest wall plane is the northeast elevation. This plane is broken up by a variety of window sizes, building undulations, and various exterior materials. Horizontal wood siding and stucco will help reduce the mass of the wall plane.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	i. Ornamentation and Architectural Detailing
				Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.
			Staff Comments	<i>Simple detailing is proposed: covered front entry, horizontal wood siding, and stucco.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			Staff Comments	<i>The proposed residence has minimal ornamentation. Simple detailing is proposed: flat roof, covered front entry, horizontal wood siding, and stucco.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.


			Staff Comments	Please refer to Section 17.06.090(C)3i for further information.
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	4. Circulation and Parking
				Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			Staff Comments	<p>Adequate parking has been provided. The existing driveway is 30' from the intersection of the two public roads, Third Avenue and Carbonate Street. In the original design, the Applicant proposed that the garage gain access from Third Avenue, where the driveway is approximately 14' from the intersection of these roads. Due to the proximity of the proposed driveway to the intersection, the Commission noted that, in addition to being inconsistent with Design Review Guidelines which direct vehicular access to alleys, the proposed driveway and garage would impede visibility of vehicular and pedestrian traffic coming from Third Avenue and Carbonate Street. The Commission strongly encouraged the Applicant to position the proposed garage and driveway off of the alley or reconfigure the site in differently, to be reviewed by the Commission at a later date.</p> <p>The Public Works Department also recommended and the Commission concurred that the sidewalk along Carbonate Street and Third Avenue be extended to the edge of asphalt on both Carbonate Street and Third Avenue (see the blue lines in the image below for further details).</p>  <p>With the new configuration, the Applicant is proposing that the garage door face the alley; however, access be achieved from Carbonate Street. Planning Staff feels this is a more appropriate alternative to the original proposal, but the Commission may wish to discuss further.</p> <p>Planning Staff also suggests that the existing driveway, off of Third Avenue, be removed and the area be revegetated, and that the sidewalk along the property</p>

				<p><i>frontage and where the previous driveway was, be installed/repaired/replaced (see the red lines in the image above for further details). The existing sidewalks may also need some repairing. The Applicant shall repair the existing sidewalks, as outlined by the Public Works Department, prior to issuance of a Certificate of Occupancy.</i></p> <p><i>Furthermore, a detailed engineering plan with grading and drainage shall be provided prior to issuance of a Building Permit. The Public Works Department will need to review the final design before additional recommendations can be made.</i></p> <p><i>Comments above have been made Conditions of Approval.</i></p> <p><i>Lastly, pedestrian access is provided with the proposed pathway to the front entry of the residence. Snow storage areas are located to the east and west of the proposed driveway, located off of Third Avenue. Snow storage areas do not appear to restrict pedestrian access.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<p>Guideline: The visual impacts of on-site parking visible from the street shall be minimized.</p>
			Staff Comments	<p><i>The revised proposal positions the new driveway off of Carbonate Street and the garage door facing the alley. With the garage door facing the alley, the visual impacts of onsite parking have been diminished.</i></p>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<p>Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.</p>
			Staff Comments	<p><i>An attached garage is proposed. In the new configuration, the Applicant is proposing that access to the garage be from Carbonate Street, and the garage door face the alley. Though access would not be achieved from the alley, Planning Staff feels the current proposal is a better and safer alternative to the original proposal. Per the Applicant, a garage with access off of the alley is not practical, as the grade is too steep. Additionally, two (2) historic outbuildings exist along the rear (alley) property line, which the Applicant intends to retain.</i></p> <p><i>With garage access off of Carbonate Street and the garage door facing the alley, Planning Staff agrees that the alternative would continue to facilitate more pedestrian friendly neighborhoods, keep the aesthetic charm of Old Town Hailey intact, and keep accessory structures, such as garages, subordinate to and concealed from the primary streets.</i></p> <p><i>The Commission should further discuss the pros and cons of the placement of the proposed garage and driveway, and whether the preference for alley access shall be retained as a primary goal in Old Hailey, or whether the unique extenuating circumstances of this lot do not in fact set a precedent.</i></p>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<p>Guideline: Detached garages accessed from alleys are strongly encouraged.</p>
			Staff Comments	<p><i>The proposed garage is attached. The Applicant is proposing that the garage, though facing the alley, be accessed from Carbonate Street and not the alley. Please refer to Section 17.06.090(C)4 for further details.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<p>Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.</p>
			Staff Comments	<p><i>The site plan shows the proposed garage gaining access off of Carbonate Street and the garage door facing the alley. If approved as such, the garage door will not be visible from the street and said space, from Third Avenue and Carbonate</i></p>

				<i>Street, does not appear to be garage-like, but rather additional living space for the proposed residence.</i>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			<i>Staff Comments</i>	<i>The new site plan has the garage door facing the alley with vehicular access off of Carbonate Street. The proposed garage is one-car in width. Though garage access is not achieved via the alley, Planning Staff finds this alternative to be more appropriate and safer than the original design. The Commission may wish to discuss garage placement and access further.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			<i>Staff Comments</i>	<i>Seasonal, off-street parking for recreational vehicles could occur onsite; however, no parking space for recreational vehicles has been delineated. Staff recommends that recreational vehicle parking occur in the driveway off of Carbonate Street.</i>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	5. Alleys
				Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			<i>Staff Comments</i>	<i>The alley is existing and will be retained, although it is not planned for vehicular access or recreational vehicles. For further details on alley access, please refer to Section 17.06.090(C)4 for further details.</i>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.
			<i>Staff Comments</i>	<i>Utilities shall be located underground. There are two (2) outbuildings or accessory structures that gain access off of the alley, both of which the Applicant intends to retain. That said, the Applicant is proposing that the garage door face the alley and access be achieved from Carbonate Street, and not the alley. Please refer to Section 17.06.090(C)4 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			<i>Staff Comments</i>	<i>The existing alley is gravel. If noxious weeds are present on the site, the Applicant shall control according to State Law.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			<i>Staff Comments</i>	<i>The landscaping to be maintained is turf.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)6	6. Accessory Structures
				Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			<i>Staff Comments</i>	<i>Two (2) accessory buildings exist onsite and are located to the rear of the primary dwelling. The building labeled as 'existing garage' is located within the public right-of-way along Carbonate Street. The Applicant intends to retain both outbuildings; however, any additions or repairs to the nonconforming 'garage' shall comply with standards set forth in the Hailey Municipal Code. Staff finds that this building is nonconforming and can remain as such until repairs or additions are made. That said, the Applicant shall apply for an Encroachment Permit to document and allow for the nonconforming building (located on</i>

				northwest corner of parcel and labeled as 'existing garage'), to be kept in its current location and within the public right-of-way. This shall be applied for concurrently with the Building Permit Application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			Staff Comments	Two (2) accessory buildings exist onsite and are located to the rear of the primary dwelling. Both appear to be subordinate to the proposed single-family residence.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	7. Snow Storage
				Guideline: All projects shall be required to provide 25% snow storage on the site.
			Staff Comments	Per the Applicant, snow will be stored on either side of the proposed driveway. Snow storage has been delineated onsite; however, no calculations have been provided. Per the Applicant, snow storage areas meet this standard (approximately 300 square feet of hardscape is proposed, and the snow storage areas are greater than 300 square feet). If needed, the Applicant can further describe.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			Staff Comments	Snow storage areas are located along the north and northeastern property lines, and on either side of the proposed driveway. Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	8. Existing Mature Trees and Landscaping
				Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			Staff Comments	Existing trees are identified onsite. It appears that five (5) trees are proposed to be removed to accommodate for the new residence. It does not appear any additional trees or landscaping will be added to the site. An Arborist Report has been provided and included herein. If necessary, the Applicant can also describe further.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			Staff Comments	The City Arborist recommends that the Applicant make every effort to protect the existing trees from damage and compaction during the construction process. There are approximately 18 trees proposed to be retained, of which, include a variety of species: Ponderosa Pine Trees, Douglas Fir Trees, Spruce Trees, and Box Elder Trees. This has been made a Condition of Approval. No other significant landscape features will be removed or appear to be impacted by the proposed residence. That said, it doesn't appear that any additional trees or landscaping will be added to the site. If necessary, the Applicant can describe further.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Noxious weeds shall be controlled according to State Law.
			Staff Comments	If noxious weeds are present on the site, the Applicant shall control according to State Law.
			17.06.090(C)9	9. Fences and Walls

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			Staff Comments	<p>No fences or walls exist onsite. The Applicant plans to install a black metal fence, matches that of the neighbors to the south, around the parcel (see the image below for further details).</p>  <p>That said, the Applicant shall install the fence on or within the property lines. This has been made a Condition of Approval.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	Guideline: Retaining walls shall be in scale to the streetscape.
			Staff Comments	N/A, as none are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)10	10. Historic Structures
				<p>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</p> <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			Staff Comments	<p>There is an existing residence onsite (see image below for further details). The single-family residence was built in 1898. It will be relocated from this parcel to a lot in Old Cutters (by the new owners). It is anticipated that the relocation will occur in April 2021. Once relocated, the owners of the subject parcel hope to construct the proposed single-family residence, as noted herein.</p>

				
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)10	<p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.
			<i>Staff Comments</i>	<i>The relocation of the existing structure is proposed. Two historic accessory buildings are proposed to be retained.</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**

- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Title at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:
 - i. The Applicant shall utilize the existing water and wastewater services to the lot.

- ii. The Applicant shall extend the existing sidewalks along Carbonate Street and Third Avenue to the edge of asphalt of both streets. The Applicant shall extend the sidewalk along Third Avenue and in front of the existing driveway, approximately twenty (20) feet in length, and the existing driveway shall be removed, and the area be revegetated. Additionally, the Applicant shall repair the existing sidewalks, if necessary. Such repairs will be determined by the Public Works Department. The installation and repairs shall comply with City Standards and be completed prior to issuance of the Certificate of Occupancy.
- d) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) The Applicant shall provide a detailed engineering plan, which includes grading and drainage, prior to issuance of a Building Permit.
- g) The Applicant shall apply for an Encroachment Permit to document and allow for the nonconforming building (located on northwest corner of parcel and labeled as 'existing garage'), to be kept in its current location and within the public right-of-way. This shall be applied for concurrently with the Building Permit Application.
- h) The Applicant shall protect the existing trees from damage and compaction throughout the construction process. There are approximately 18 trees proposed to be retained, of which, include a variety of species: Ponderosa Pine Trees, Douglas Fir Trees, Spruce Trees, and Box Elder Trees.
- i) The Applicant shall install the proposed fence on or within the property lines.
- j) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- k) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- l) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- m) All utilities shall be located underground, consistent with 17.06.080(A)3h.
- n) The Applicant shall apply for a Lot Line Adjustment Application to remove interior lot lines. This Application shall be applied for concurrently with the Building Permit Application.

Motion Language:

Approval: Motion to approve the Design Review Application by Antony and Sarah Gray for a new 2,742 square foot single-story residence. This project is located at 121 North 3rd Avenue (Lots 1-4, Block 38, Hailey Townsite), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines,

applicable requirements of the Hailey Municipal Code, and City Standards, provided conditions (a) through (n) are met.

Denial: Motion to deny the Design Review Application by Antony and Sarah Gray for a new 2,742 square foot single-story residence. This project is located at 121 North 3rd Avenue (Lots 1-4, Block 38, Hailey Townsite), finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date].



Lisa Horowitz, Community Development Director
Stephanie Cook, City Arborist
City of Hailey
115 South Main Street
Hailey, ID 83333

April 6, 2021

Alpine Tree Service has been asked to provide an Arborists Assessment Report for select trees at 121 Third Ave North in Hailey. The property is subject to redevelopment, and select trees obstruct both the removal of the existing residence and the construction of a new residence. One of the trees subject to this report is a large Sub Alpine Fir (*Abies lasiocarpa*) that died several years ago, and should be removed prior to it falling over.

Three live trees have been selected for removal and this assessment is centered on the health and condition of those trees. Other trees on the property were not assessed.



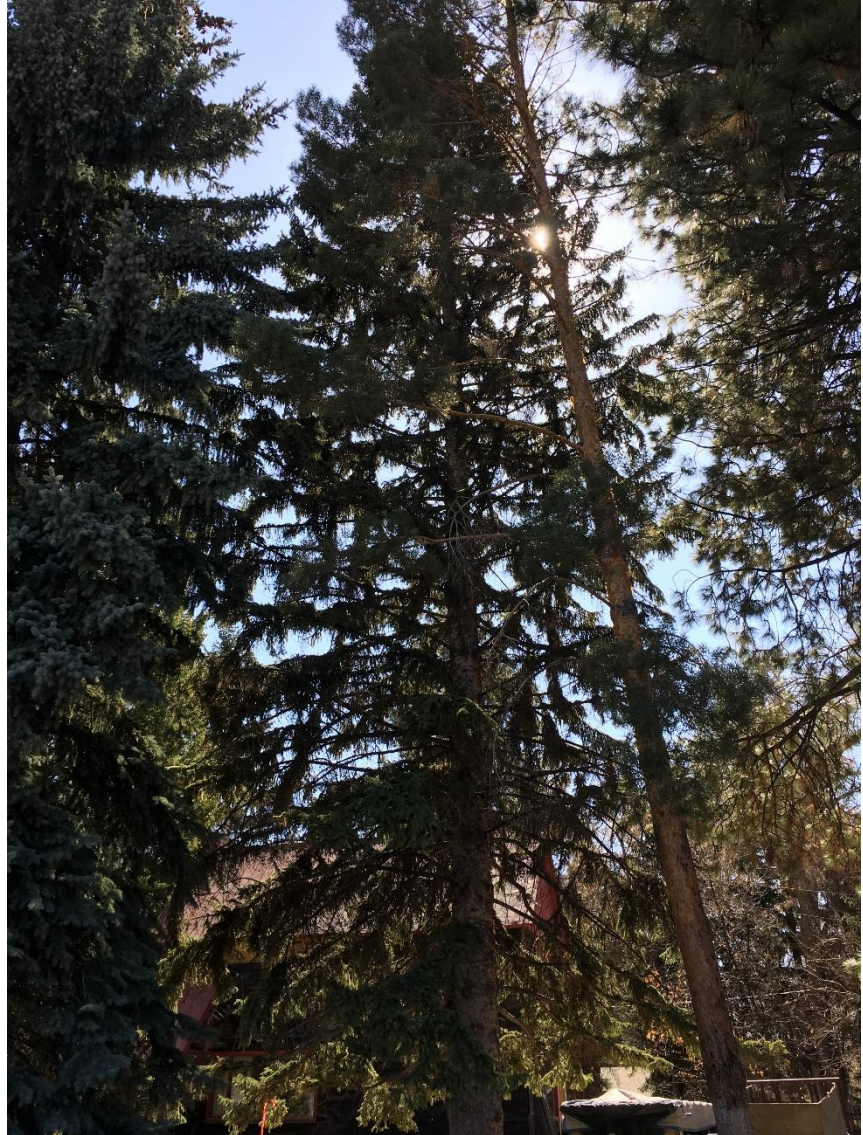
Tree #1 is a 28" DBH (Diameter at Breast Height) Austrian Pine (*Pinus nigra*) on the northeast corner of the property. The tree has good health and needle development, and only minor issues with pests and disease. The tree is shown at right.



The Austrian Pine is, however, leaning fairly sharply to the east, and the crown has the poor and chaotic trunk structure of a tree that was damaged some years ago. The cause of that damage is not readily apparent. While the tree is a relatively good wind block, and may be used as small animal and bird habitat, it should not be considered a high value asset.

Tree #2 is the aforementioned dead Sub Alpine Fir. That tree has been a hazard since it died, and should be removed to mitigate that hazard.

Tree #3 is a 28" Engelmann Spruce (*Picea engelmannii*) on the north side of the property. The tree is large, but is not in very good condition. The tree has chlorotic (yellowing) foliage that can be indicative of poor nutrient and water uptake, which may in turn mean that the root system is unhealthy. Root failure would mean that the tree will decline and die over the coming decade. Additionally, the crown of the tree is poorly formed and is almost completely bare on the northwest and western side due to poor competition with adjacent Ponderosa Pines. The tree is, however, quite large, and acts as an effective barrier for road noise and northerly winds. The tree should not be considered an asset, but is not hazardous.

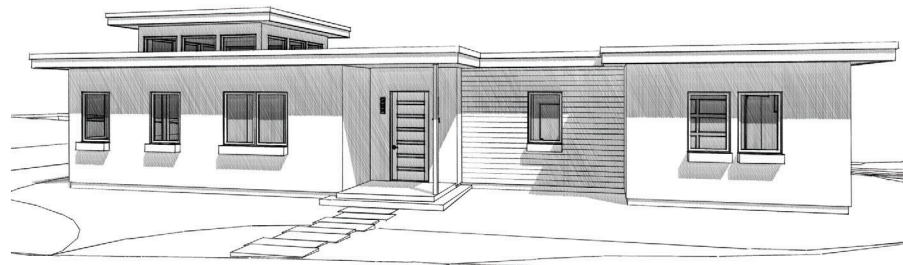
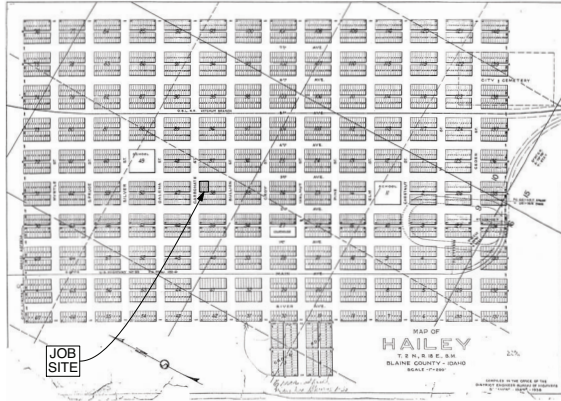


Tree #4 is a very tall, very thin Scots Pine (*Pinus sylvestris*) also located on the north side of the property. The tree is only 12" DBH, but is estimated to be more than 70 feet tall. It has no significant limbs on the lower 55 feet of the trunk, and is weak and poorly formed. The tree is not as asset.

To summarize, none of the trees selected for removal should be considered a high value asset. Please contact me with any concerns or questions. Please note that Alpine Tree Service plans to proceed with the removal of these trees Thursday, April 8, 2021.

Carl Hjelm, ASCA
Certified Arborist

ANTONY & SARAH GRAY RESIDENCE



PRINT DATE: 4/8/21
PERMIT SET:

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DESIGN REVIEW SET, NOT FOR CONSTRUCTION

ANTONY & SARAH GRAY RESIDENCE
HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F.
121 N. 3RD AVE, HAILEY, IDAHO

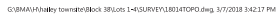
DRAWN BY:
D3 DRAFTING, INC.
KETCHUM, ID
208.720.6308

PROJECT INFO. /
SHEET INDEX

SCALE: AS NOTED

CVR

PROJECT TEAM		PROJECT TABULATION	VICINITY MAP	SHEET INDEX
OWNER: Antony & Sarah Gray P.O. Box 6622 Ketchum, Idaho 83340 Phone: (208) 720-8153 a.j.gray@cox.net CONTRACTOR / BUILDER: Silver Fox Builders Greg Edwards silverfoxbuilders@gmail.com 208-309-2360	CIVIL ENGINEER: Benchmark Associates, P.A. Don Sewell P.O. Box 733 Ketchum, Idaho 83340 Phone: (208) 726-9512, Ext. 115 don@bma5b.com STRUCTURAL ENGINEER: Liv Jensen Engineering, PLLC Hailey, Idaho 83333 Phone: (208) 720-5549 liv@cox.net	PROPERTY ADDRESS: 121 N. 3RD AVE., HAILEY, ID. PARCEL NO.: RPH000038001A ZONE: LR-1 & TO TOWNSITE OVERLAY DISTRICT LOT AREA: 11,979 S.F. (0.275 ACRES) PROPOSED BUILDING FOOTPRINT: 2,742 S.F. TOTAL PROPOSED FOOTPRINT W/ EXT'G GARAGE: 3,089 S.F. MAX. ALLOWABLE BLDG. HT. 30' FLOOR AREAS: PROPOSED FLOOR LIVING: 2,276 S.F. PROPOSED GARAGE: 400 S.F. TOTAL PROPOSED: 2,676 S.F. EXISTING GARAGE: 480 S.F. TOTAL ALL: 3,156 S.F.		CVR COVER SHEET -- CIVIL SITE PLAN L1.1 SITE / GRADING PLAN A1.1 FLOOR & CLERESTORY PLANS A1.2 ROOF PLAN A2.1 EXTERIOR ELEVATIONS A2.2 EXTERIOR ELEVATIONS A2.3 PERSPECTIVE VIEWS A3.1 BUILDING SECTIONS A3.2 BUILDING SECTIONS
		LEGAL DESCRIPTION HAILEY TOWNSITE BLOCK 38, LOTS 1-4 LOCATED WITHIN SECTION 9, TOWNSHIP 3 NORTH, RANGE 18 EAST, B.M. CITY OF HAILEY, BLAINE COUNTY, IDAHO		



DISCLAIMER:
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ANTONY & SARAH GRAY RESIDENCE
HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F.
121 N. 3RD AVE, HAILEY, IDAHO

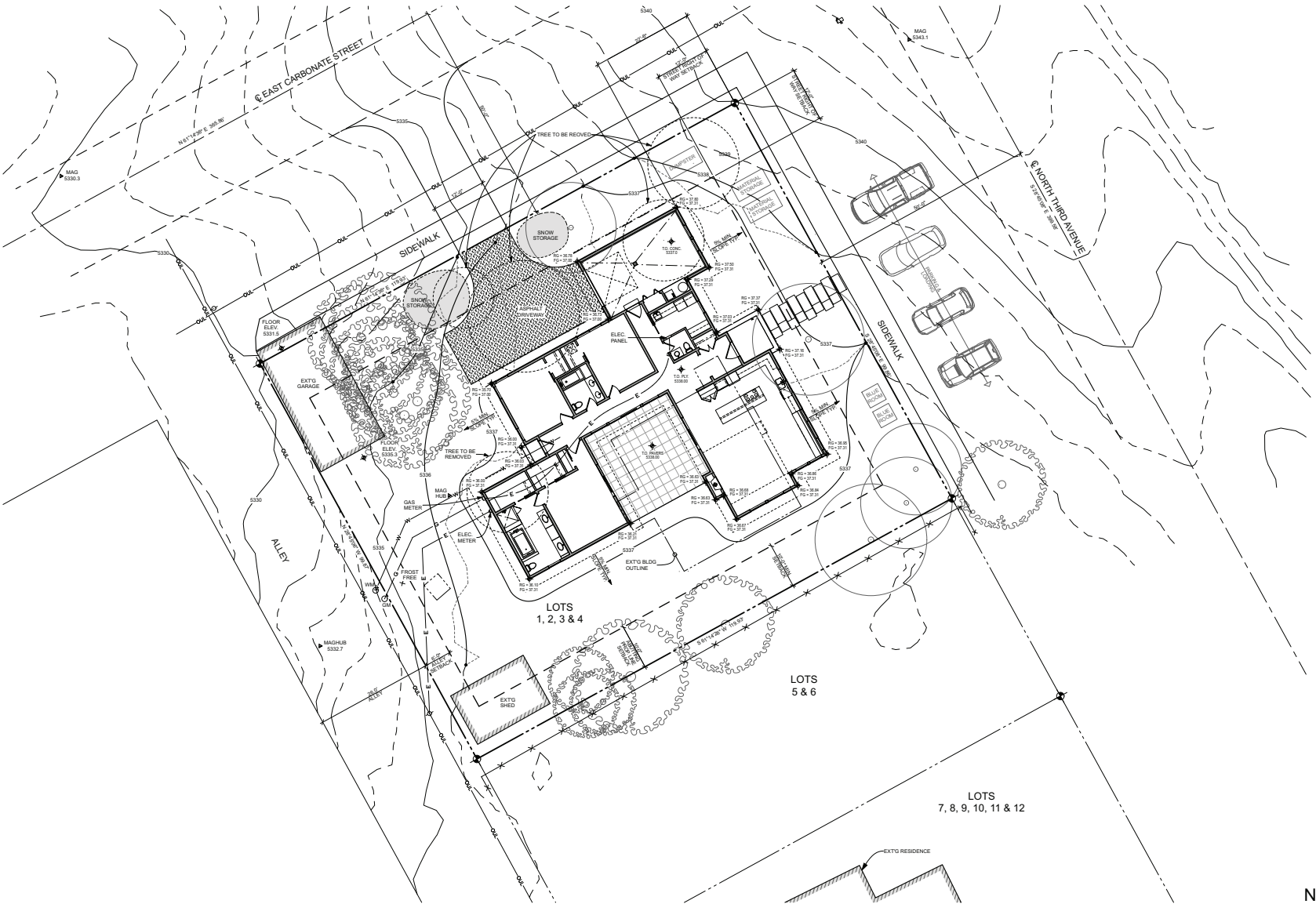
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208.720.6508

SITE / GRADING
PLAN

SCALE: AS NOTED

L1.1

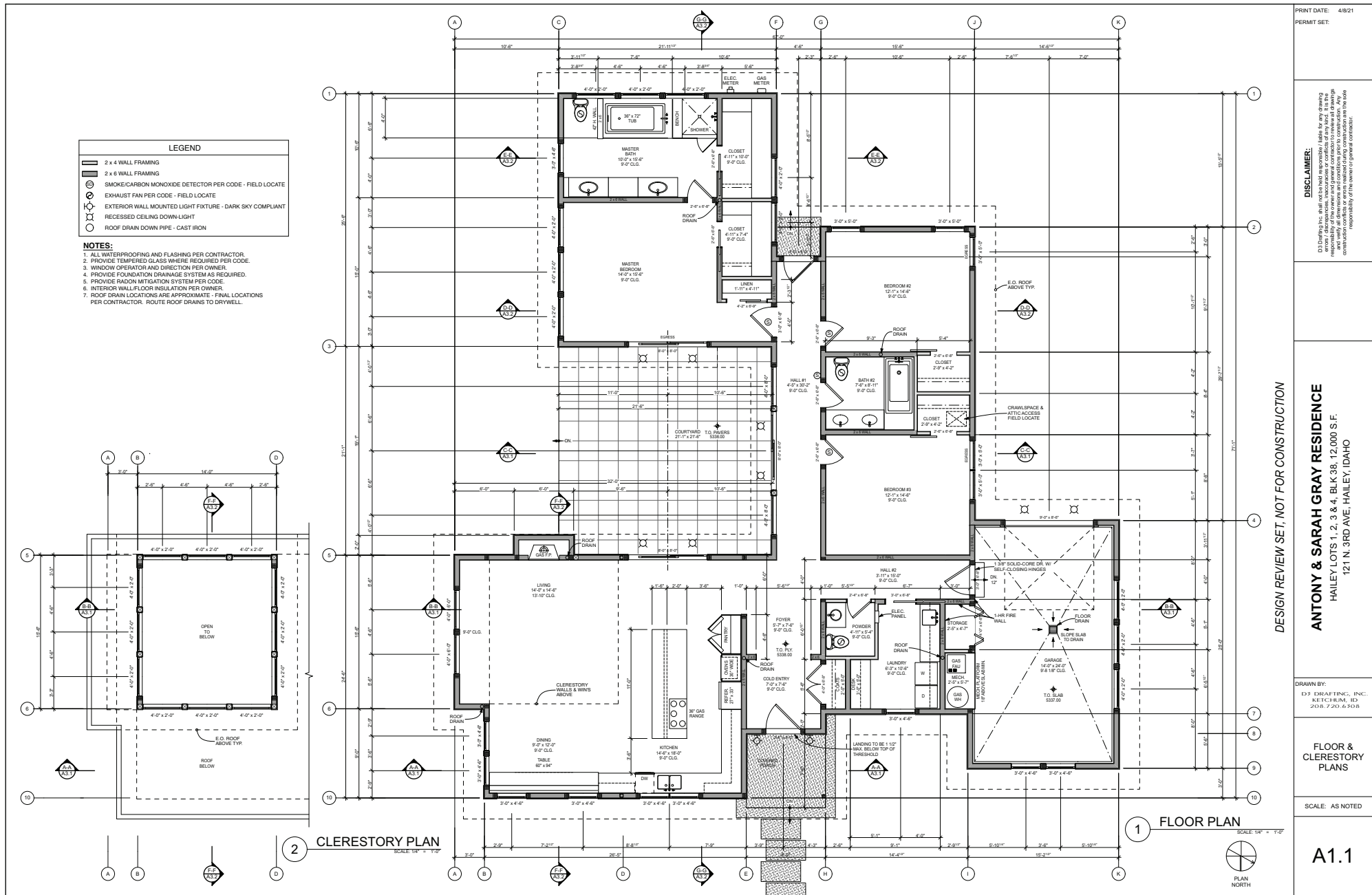
DESIGN REVIEW SET, NOT FOR CONSTRUCTION

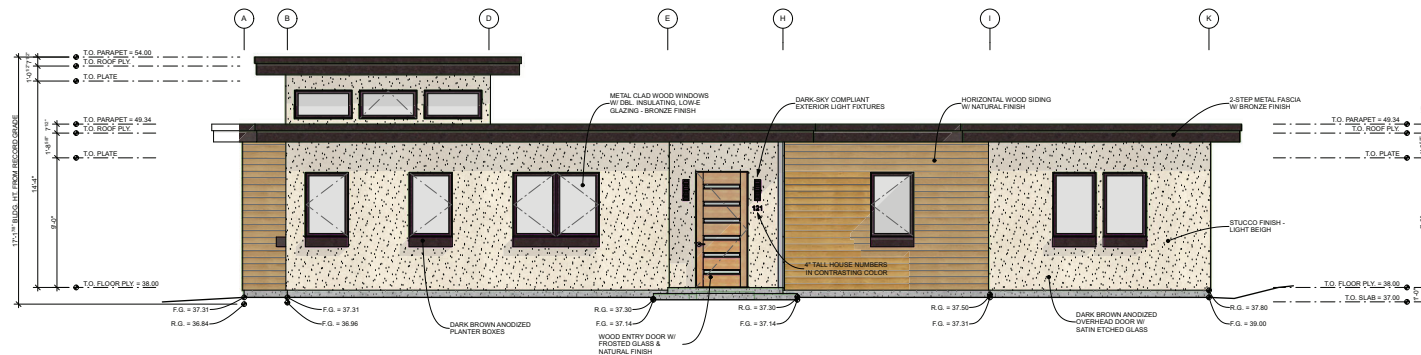


1 SITE PLAN

SCALE 1" = 10'

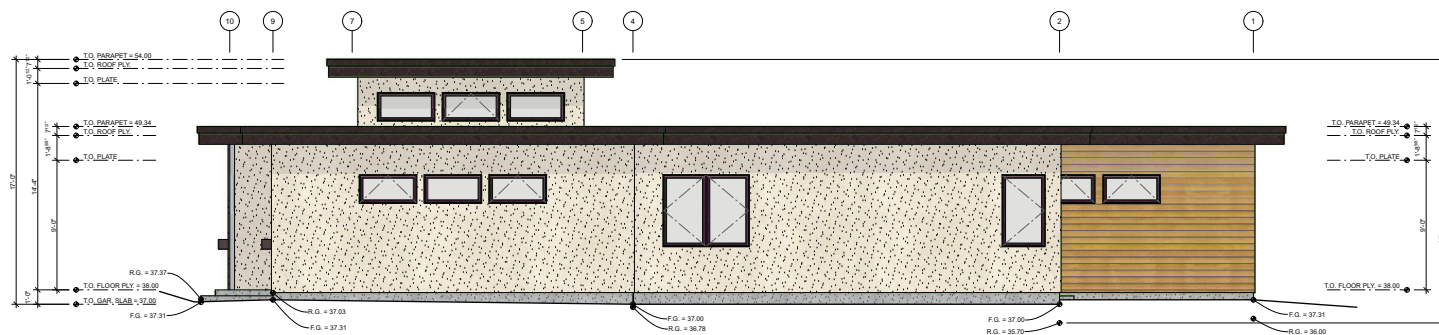






1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
ALL DRAINAGE, MOISTURE
PROTECTION, WATERPROOFING,
DIPS AND FLASHINGS PER
OWNER/CONTRACTOR



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PRINT DATE: 4/8/21
PERMIT SET:

DISCLAIMER:

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DESIGN REVIEW SET, NOT FOR CONSTRUCTION

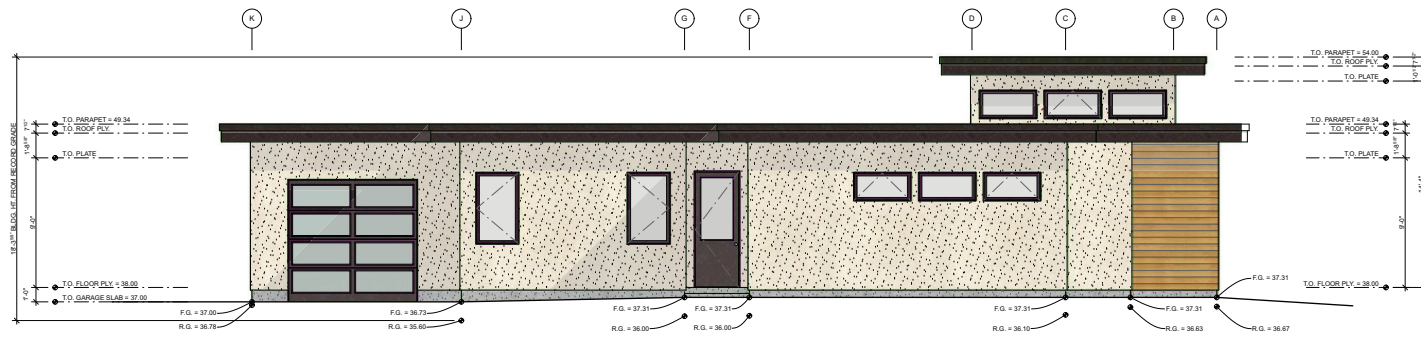
ANTONY & SARAH GRAY RESIDENCE
HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F.
121 N. 3RD AVE, HAILEY, IDAHO

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208.720.6308

EXTERIOR
ELEVATIONS

SCALE: AS NOTED

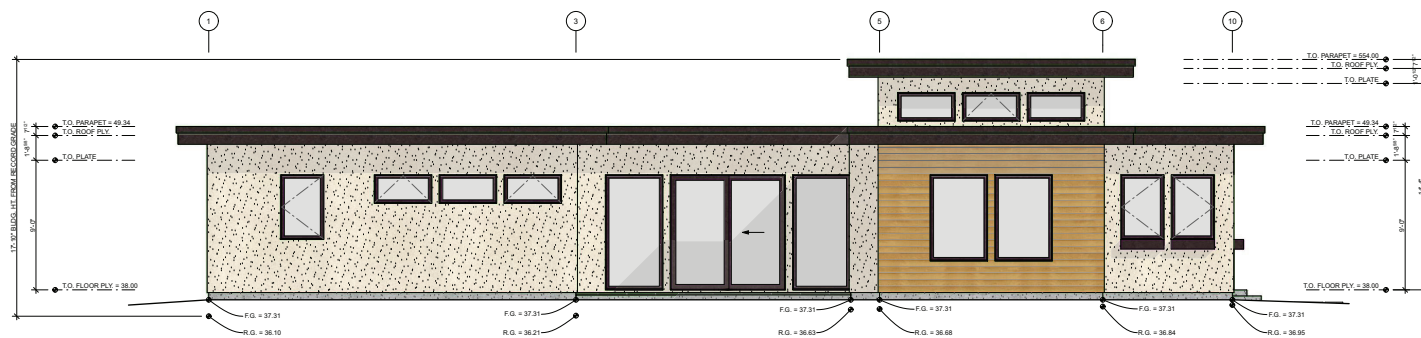
A2.1



1 WEST ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
ALL DRAINAGE, MOISTURE
PROTECTION, WATERPROOFING,
DRIPS AND FLASHINGS PER
OWNER/CONTRACTOR



2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

DESIGN REVIEW SET, NOT FOR CONSTRUCTION

PRINT DATE: 4/8/21
PERMIT SET:

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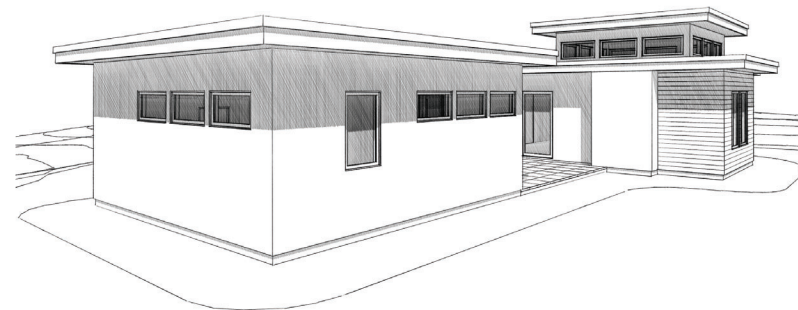
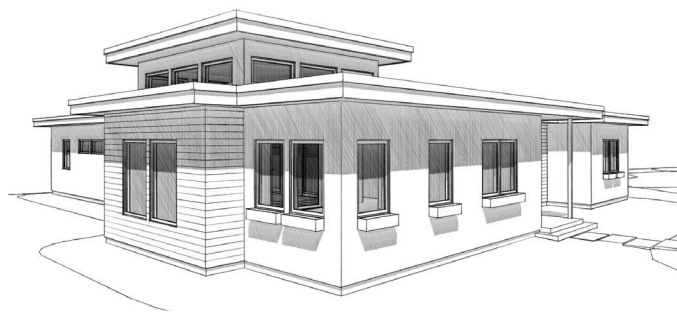
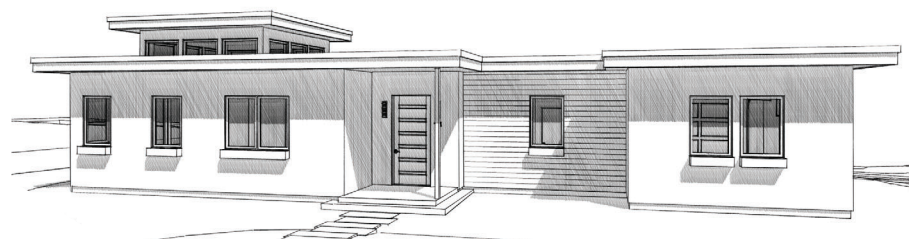
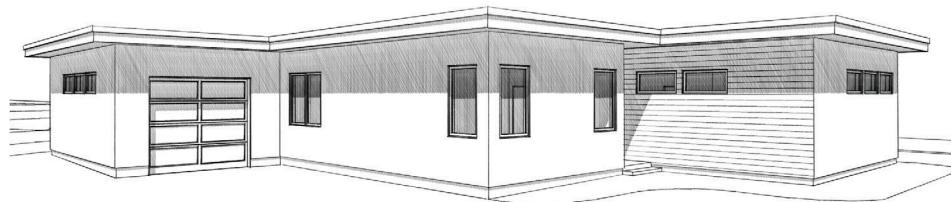
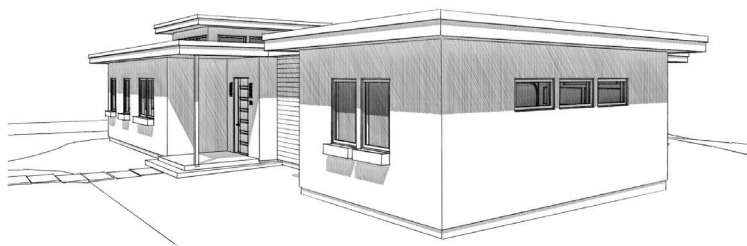
ANTONY & SARAH GRAY RESIDENCE
HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F.
121 N. 3RD AVE, HAILEY, IDAHO

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208.720.6508

EXTERIOR
ELEVATIONS

SCALE: AS NOTED

A2.2



PRINT DATE: 4/8/21
PERMIT SET:

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DESIGN REVIEW SET, NOT FOR CONSTRUCTION

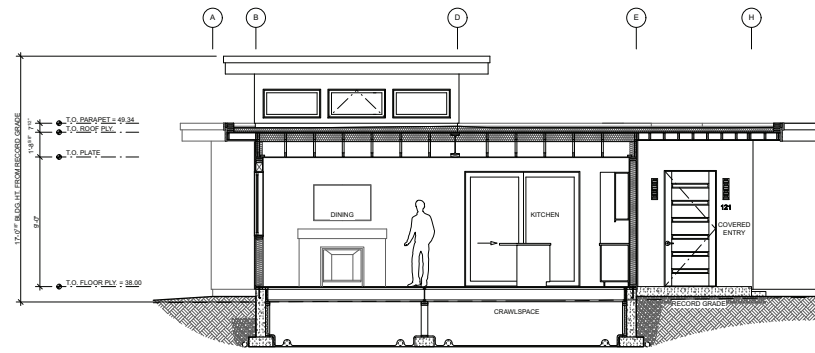
ANTONY & SARAH GRAY RESIDENCE
HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F.
121 N. 3RD AVE, HAILEY, IDAHO

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PERSPECTIVE
VIEWS

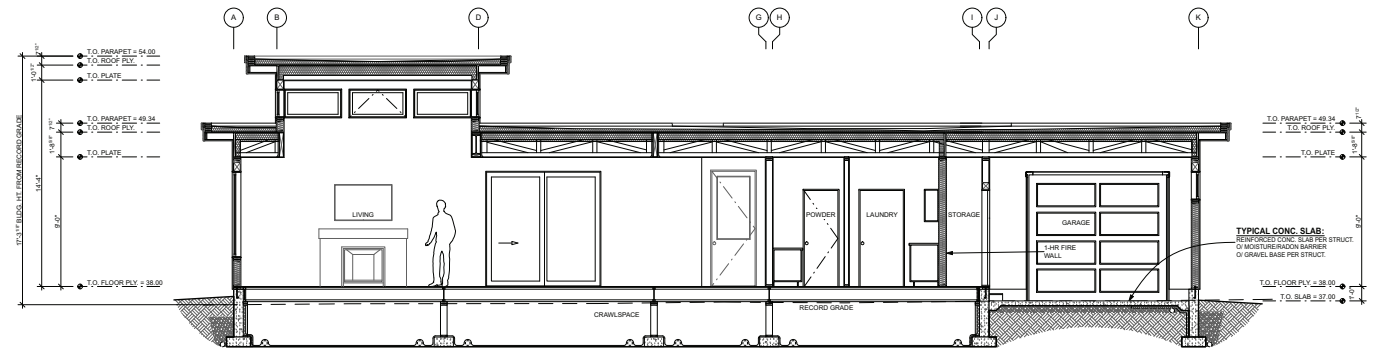
SCALE: AS NOTED

A2.3



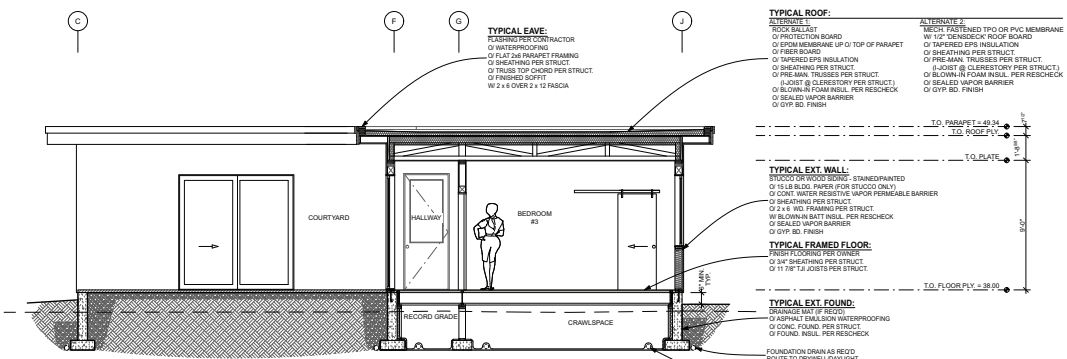
(A-A) BUILDING SECTION
SCALE: 1/4" = 1'-0"

NOTE:
ALL DRAINAGE, MOISTURE PROTECTION, WATERPROOFING, DRIPS AND FLASHINGS PER OWNER/CONTRACTOR



(B-B) BUILDING SECTION
SCALE: 1/4" = 1'-0"

TYPICAL CONC. SLAB:
REINFORCED CONC. SLAB PER STRUCT.
MOISTURE/RAILROAD BARRIER
GRAVEL BASE PER STRUCT.



(C-C) BUILDING SECTION
SCALE: 1/4" = 1'-0"

TYPICAL EAVE:
FLASHING PER CONTRACTOR
WATERPROOFING
FLAT 24# PARAPET FRAMING
SHEATHING PER STRUCT.
TRUSS TOP CHORD PER STRUCT.
FINISHED SOFFIT
W/ 2 x 8 OVER 2 x 12 FLOOR

TYPICAL ROOF:
ALTERNATIVE A:
ROCK BALLAST
PROTECTION BOARD
EPDM MEMBRANE UP TO TOP OF PARAPET
FIBER BOARD
TAPERED EPS INSULATION
SHEATHING PER STRUCT.
PRE-MAK. TRUSSES PER STRUCT.
JOIST @ CLOSURE PER STRUCT.
BLOWN-IN FOAM INSUL. PER RESHECK
SEALED VAPOR BARRIER
GYM. BD. FINISH

ALTERNATIVE B:
MESH FASTENED TPO OR PVC MEMBRANE
W/ 1/2" GERSBERG ROOF BOARD
TAPERED EPS INSULATION
SHEATHING PER STRUCT.
PRE-MAK. TRUSSES PER STRUCT.
JOIST @ CLOSURE PER STRUCT.
BLOWN-IN FOAM INSUL. PER RESHECK
SEALED VAPOR BARRIER
GYM. BD. FINISH

TYPICAL EXT. WALL:
BRICK OR TUDOR BRICK, STAINED/PAINTED
1/2" GERSBERG ROOF BOARD
15 LB. SLD. PAPER (FOR STUCCO ONLY)
CONT. WATER RESISTIVE W/OUT PERMEABLE BARRIER
SHEATHING PER STRUCT.
2 x 4 V.C. FRAMING PER STRUCT.
BLOWN-IN BATT INSUL. PER RESHECK
SEALED VAPOR BARRIER
GYM. BD. FINISH

TYPICAL FRAMED FLOOR:
FRESH FLOORING PER OWNER
3/4" SHEATHING PER STRUCT.
11/16" T.J. JOISTS PER STRUCT.

TYPICAL EXT. FOUND.
DRAINAGE MAT (IF REQ'D)
ASPHALT EMULSION WATERPROOFING
CONC. FOUND. PER STRUCT.
FOUND. INSUL. PER RESHECK
FOUNDATION DRAIN AS REQ'D
ROUTE TO DRYWELL/OUTLET

TYP. UNDER FLOOR VENT:
CONT. VAPOR BARRIER PER RESHECK, PAR. 3
FOR UNVENTED CRAWLSPACE W/ RADON

DESIGN REVIEW SET, NOT FOR CONSTRUCTION

PRINT DATE: 4/8/21
PERMIT SET:

DISCLAIMER:
Ketchum, Inc. shall not be held responsible for any building code violations or other issues that may arise from the use of this set of drawings. The user assumes all responsibility for the use and interpretation of the drawings. Ketchum, Inc. shall not be held responsible for any construction conflicts or errors related during construction and the sole responsibility of the owner or general contractor.

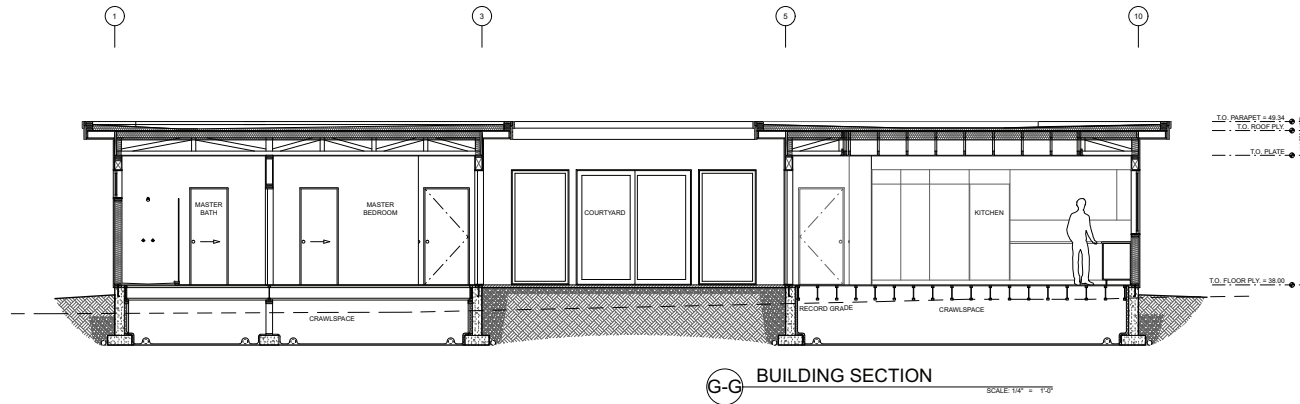
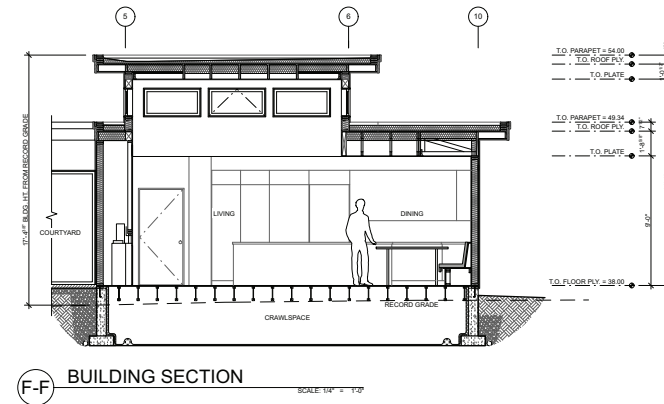
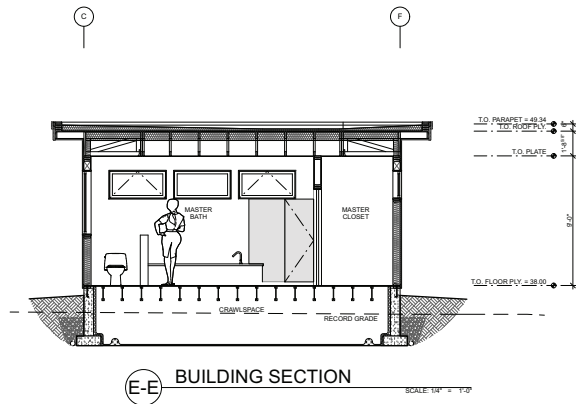
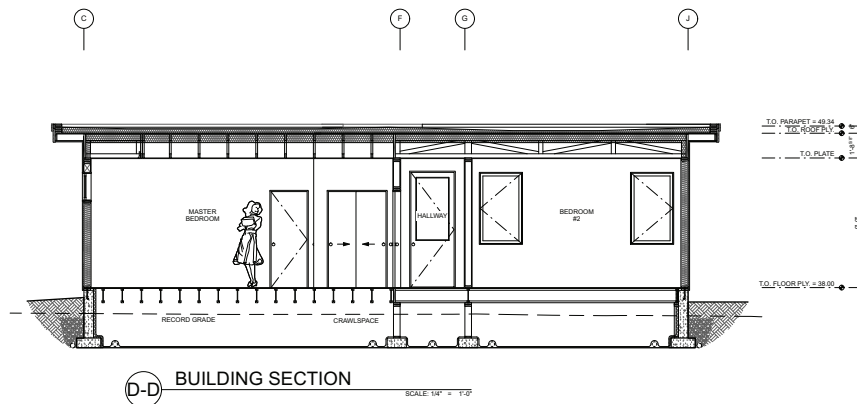
ANTONY & SARAH GRAY RESIDENCE
HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F.
121 N. 3RD AVE, HAILEY, IDAHO

DRAWN BY:
D3 DRAFTING, INC.
KETCHUM, ID
208.720.6308

BUILDING SECTIONS

SCALE: AS NOTED

A3.1



DESIGN REVIEW SET, NOT FOR CONSTRUCTION

PRINT DATE: 4/8/21 PERMIT SET:	
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ANTONY & SARAH GRAY RESIDENCE HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F. 121 N. 3RD AVE, HAILEY, IDAHO	
DRAWN BY: D3 DRAFTING, INC. KETCHUM, ID 208.720.6308	
BUILDING SECTIONS	
SCALE: AS NOTED	
A3.2	

Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
April 19, 2021

TO: Hailey Planning and Zoning Commission

FROM: Lisa Horowitz Community Development Director

Overview: Design Review application by Hailey Airport Inn, LLC, represented by Owen Scanlon, for the addition of two (2) new three-story apartment buildings containing a total of twenty-one (21) units. This project is located at Lot 1A, Block 137, Hailey Townsite (804 South 4th Avenue) within the Limited Business (LB) Zoning District.

HEARING: April 19, 2021

Applicant: Hailey Airport Inn, LLC

Request: Design Review for the addition of two (2) new three-story apartment buildings

Location: 804 South 4th Avenue (Lot 1A, Block 137, Hailey Townsite)

Zoning: Limited Business (LB) and Townsite Overlay (TO) Zoning Districts

Notice

Notice for the public hearing was published in the Idaho Mountain Express on March 26, 2021 and mailed to property owners within 300 feet on March 26, 2021.

Application

The applicant is proposing the addition of two (2) new three-story apartment buildings containing a total of twenty-one (21) units. Building One (12 units) will consist of three (3) one-bedroom units and nine (9) two-bedroom units, ranging in size from 484 square feet to 745 square feet. Building Two (9 units) will include four (4) one-bedroom units, two (2) two-bedroom units and three (3) three-bedroom units, ranging in size from 598 square feet to 1,020 square feet.

The density proposed complies with the Limited Business (LB) Zone District, and is as follows:

- Original mixed-use buildings in Phase One (Buildings A, B and C): 45 short-term dwelling units exist and are considered commercial, which do not count toward the overall density.
- The proposed buildings (Building One and Building Two) are considered long-term residential dwelling units. Per the Bulk Requirements of the LB Zone District, 20 units per acre is the

maximum density for any multi-family or mixed-use project. The total land area (after removal of all interior lot lines) is 1.62 acres (.42 acres + .44 acres + .76 acres) or 70,567 square feet (1.62*20 = 32). At this time, the Applicant is proposing 21 long-term residential units within the mixed-use project. Thirty-two (32) long-term residential units are permitted per the density requirements outlined in the Hailey Municipal Code.

The Planning and Zoning Commission first heard a Design Review Pre-Application for this proposal on January 19, 2021. Feedback included:

- Look into electric charging station.
- Consider adding more vertical elements to stairwells
- Play area/picnic area
- Consider breaking two buildings into 4

Procedural History

The application was submitted on March 17, 2021 and certified complete on March 18, 2021. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on April 19, 2021, in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>Drainage shall be addressed in more detail as part of the building permit, and it shall be shown that drainage does not drain towards Cedar Street.</i>
				Life/Safety: <i>No comments</i>
				Water and Sewer: <i>No comments</i>
				Building: <i>No comments</i>
				Streets: A new sidewalk is proposed along Cedar Street. (Sidewalks are already complete from Phase 1 of the project along Fourth Avenue). The existing and proposed sidewalk are on private property, and do not contain curb and gutter. The site plans shows includes parallel parking on private property, which is appropriate given the width of the Cedar Street right of way. There is not enough room for head-in parking. Snow from Cedar Street is pushed to the east into the ITD right of way.
				Snow removal from the proposed sidewalks would be the responsibility of the property owner, and road snow removal may impact sidewalks.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	8.2 Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.

			Staff Comments	<i>No proposed signs are identified on plans submitted March 17, 2021.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<p>See Section 9.4 for applicable code.</p> <p>9.4.2- 1 parking space per 1,000 gross square feet- Phase 1 commercial</p> <p>Residential: Dwelling Units less than 1,000 square feet: 1 space per unit.</p>
			Staff Comments	<p><i>The site plan shows 24 parking spaces in an interior parking lot, and five parallel spaces adjacent to the Cedar Street right of way. Public works has confirmed that there is not room in the public right of way to allow for head-in parking.</i></p> <p><i>Twenty-one spaces are required by Code.</i></p> <p><i>All public right-of-way parking shall not be held or used for exclusive parking for any property owner.</i></p>
<input checked="" type="checkbox"/>		<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p>8B.4.1 General Standards</p> <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ul style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			Staff Comments	<i>Lighting cut sheets have been submitted and meet City standards. A photometric plan has been submitted. All proposed lighting is downcast and meets City standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p>(Insert sections from applicable zoning district)</p> <p>Maximum Height: 34'-9" (35' permitted)</p> <p>Setbacks: 20' from Cedar Street; 10' from the east (rear) property line. Setbacks are per City Code.</p> <p>Lot Coverage: Lot coverage for the project is 20,496 sq ft, or 29% of the total lot size.</p>
			Staff Comments	<i>The proposed buildings comply with height, setback, and lot coverage requirements.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<i>5' (approximate) sidewalks are proposed on the Cedar Street frontage. Curb and gutter will be required.</i>

				<p>4th Avenue from Maple to Main Street is classified as a 100' Business/ Collector per Chapter 18.06. The road section per city code consists of a 12-14' travel lane with sharrow, 60 degree angled parking, curb and gutter, and a 5' minimum sidewalk within the public right-of-way. However these improvements are not triggered by with this application. The applicant plans installed a sidewalk as part of Phase 1.</p> <p>A preliminary drainage plan has been submitted, and a full drainage plan will be required as part of the building permit to ensure that no drainage affects the City right of way.</p>
			17.06.070(B) Required Water System Improvement s	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)
			Staff Comments	

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey				
1. Site Planning: 17.06.080(A)1, items (a) thru (n)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p>Staff Comments: The buildings are infill to an existing site, and allow sun exposure to all of the units.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4 inch caliper.</p> <p>Staff Comments: Existing landscaping was addressed in Phase 1.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p>Staff Comments: Site circulation allows for circulation both along 4th Avenue and Cedar Street and in the parking lot between the buildings. Pedestrian access is also provided on all sides of Building 1 and on the west side of Building 2.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building</p>

				<p>adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			<i>Staff Comments</i>	<p><i>A location for a trash enclosure is shown on the submitted plans adjacent to parking stall #24. A sketch of the enclosure has not been submitted. Staff recommends a recycle area within the trash enclosure for the new residential units. An area should also be planned for future compostable waste at such time as that service is available for multifamily developments. A letter from Clear Creek will be required stating the adequacy of the location for hauling.</i></p> <p><i>Existing overhead lines all need to be relocated underground.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1g	<p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p>
			<i>Staff Comments</i>	<i>All on-site parking is proposed at the front of the building. Rear parking is not feasible for this infill development</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Staff Comments</i>	<i>The 4th Avenue access point was relocated to East Cedar Street, which is appropriate as no alley exists.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			<i>Staff Comments</i>	<i>Snow storage location identified on submitted plans is practical and accessible.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>All snow will be hauled off site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1k	k. A designated snow storage area shall not have any dimension less than 10 feet.

			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	All snow will be hauled off site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	None of the above are impeded by snow storage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	Snow storage areas are compacted gravel.
2. Building Design: 17.06.080(A)2, items (a) thru (m)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	The building is existing and is compatible with the surrounding buildings.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	The building designs are not corporate.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	The re-design of the existing building incorporates architectural detail such as varying siding details, overhangs at each entrance, and landscaping.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	Existing buildings face the street. The new infill buildings are interior to the site. Design features on the street façade include covered entryways, two-toned painted trim, and varying siding to create a human scale feeling.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	The proposed new buildings are designed in similar style to create a cohesive whole.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	Per the applicant:

				<p><i>Exterior walls- light tan color is stucco maroon color is Hardi-board siding Facia and soffit- dark brown Hardi-board Window, door trim- dark brown Hardi-board Asphalt composition shingles dark brown Vinyl windows- dark bronze Exterior doors- dark brown to match Hardi-board</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p>
			<i>Staff Comments</i>	<i>The materials and color scheme is contemporary and suitable to the Hailey community.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2h	<p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p>
			<i>Staff Comments</i>	<i>The proposed buildings are three stories with sloped roof.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.
			<i>Staff Comments</i>	<i>The applicant will describe how this standard will be met in the hearing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2j	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p>
			<i>Staff Comments</i>	<i>Pedestrian entrances are covered by balconies.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p>
			<i>Staff Comments</i>	<i>Downspouts are not shown on plans and shall be designed per this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent</p>

				with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	No signage is proposed.
3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	A sketch is needed for the dumpster enclosure. One existing shed is to remain. The shipping container near the shed should be removed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	See above
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	No walls or fences are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	See the staff response to item c.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	No roof top projections or equipment is existing or identified on submitted plans. Any roof-top equipment shall comply with this standard.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6A.8(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	Ground equipment locations not identified on submitted plans. Condition of approval identifying this standard would be necessary if the project includes ground-mounted mechanical equipment.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3h	i. All service lines into the subject property shall be installed underground.

			Staff Comments	<i>All proposed service lines into the addition will be underground. Existing service lines shall be located underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 3i	j. Additional appurtenances shall not be located on existing utility poles.
			Staff Comments	<i>No appurtenances are proposed on existing utility poles.</i>
4. Landscaping: 17.06.080(A)4, items (a) thru (n)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			Staff Comments	<i>Applicant shall confirm that all proposed plant material is drought tolerant. Lawn areas may not be drought tolerant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4b	b. All plant species shall be hardy to the Zone 4 environment.
			Staff Comments	<i>Applicant shall confirm that all proposed plant materials are hardy to Zone 4.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			Staff Comments	<i>Irrigation design is not specified on plans. All irrigation for proposed landscaping shall meet this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			Staff Comments	<i>The proposed landscape plan includes a combination of trees and shrubs that satisfies this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A) 4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			Staff Comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			Staff Comments	<i>The proposed landscaping incorporates a combination of trees, and lawn that have a variety of colors, textures, and forms.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			Staff Comments	<i>A preliminary Grading and Drainage plan has been submitted, but a final grading plan prepared by a licensed engineer shall be submitted as part of the Building Permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).

			Staff Comments	<i>Maintenance is planned for all landscape areas. The applicant shall address the plan for the existing berm on the east property boundary, which is weedy. The berm is not shown on the plans.</i>
<input type="checkbox"/>		<input checked="" type="checkbox"/>	17.06.080(A) 4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			Staff Comments	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A) 4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			Staff Comments	See "I" above.
<input type="checkbox"/>		<input checked="" type="checkbox"/>	17.06.080(A) 4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three foot horizontal separation of walls.
			Staff Comments	See "I" above.
<input type="checkbox"/>		<input checked="" type="checkbox"/>	17.06.080(A) 4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			Staff Comments	No retaining walls are planned.
<input type="checkbox"/>		<input checked="" type="checkbox"/>	6A.8(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			Staff Comments	No retaining walls are planned.
<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	17.06.080(A) 4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			Staff Comments	No retaining walls are planned.

Additional Design Review Requirements for Non-Residential Buildings Located within B, LB, or TN

1. Site Planning: 17.06.080(B)1, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B) 1a	a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.
			Staff Comments	Sidewalks are planned on the majority of building fronts.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080 (B)1b	b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.
			Staff Comments	5' sidewalks are proposed currently, and appear adequate for this location.

2. Building Design: 17.06.080 (B) 2, items (a) thru (g)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080 (B)2a	a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.

			Staff Comments	<i>Multiple entrances are provided along Cedar Street and 4th Avenue; however, a majority of the units are access from the rear of the building adjacent to parking. Because this is a multi-unit building, no one main entrance existing, and staff feels that the design shown meets this standard.</i>
<input checked="" type="checkbox"/> ?		<input type="checkbox"/>	17.06.080 (B)2b	b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image which may often accompany large buildings.
			Staff Comments	<i>The applicant should describe how the entrances are highlighted.</i>
<input checked="" type="checkbox"/>		<input type="checkbox"/>	17.06.080 (B)2c	c. Building designs shall maximize the human scale of buildings and enhance the small town “sense of place”. This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.
			Staff Comments	<i>Design features on the street façade include covered entryways, two-toned painted trim, and varying siding to create a human scale feeling.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(B) 2c	d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.
			Staff Comments	<i>The buildings are 34’-9” and record grade will be required as part of the building permit so that the 35’ height limit is not violated. Building entrances cannot be elevated.</i>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080 (B)2e	e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.
			Staff Comments	<i>No useable outdoor spaces are shown.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080 (B)2f	f. Fire department staging areas shall be incorporated into the design elements of the building.
			Staff Comments	<i>Adequate space is available behind the existing building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080 (B)2g	g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: <ul style="list-style-type: none"> i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses; ii. Stepping down the massing of the building along the site’s edge; and iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns
			Staff Comments	<i>The residential areas adjacent to the north are buffered with landscaping and sidewalks, and the pedestrian access and windows along the northern elevation create a residential feel.</i>

3. Landscaping: 17.06.080 (B) 3, item (a)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.060.080(B)3a	a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be

				at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.
			<i>Staff Comments</i>	<i>The proposed project is zoned LB.</i>

Additional Design Review Requirements for Multi-Family within the City of Hailey

1. Site Planning: 17.06.080(D)a, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D) 1a	a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
			<i>Staff Comments</i>	<i>Building location is adequate for an infill project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D) 1b	b. Site plans shall include convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.
			<i>Staff Comments</i>	<i>Each building is served by a walkway.</i>
<input checked="" type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D) 1c	c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering spaces.
			<i>Staff Comments</i>	<i>Pedestrian circulation exists, but no gathering spaces are shown.</i>

2. Building Design: 17.06.080(D)2, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D) 2a	a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multifamily buildings. Front doors should be individual and visible from the street. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.
			<i>Staff Comments</i>	<i>The residential areas adjacent to the north are buffered with landscaping and sidewalks, and the pedestrian access and windows along the northern elevation create a residential feel.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D) 2b	b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.
			<i>Staff Comments</i>	<i>Entrances and landscaping are shown at ground level.</i>

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

Compliant	Standards and Staff Comments
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Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 1	1. Site Planning
				Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.
			<i>Staff Comments</i>	A grid pattern is used.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: Site planning for new development and redevelopment shall address the following: <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units.
			<i>Staff Comments</i>	Scale and massing is consistent with the neighborhood. The above standard has been addressed earlier in this report.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.
			<i>Staff Comments</i>	The applicant will describe the energy conservation elements at the hearing.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 2	2. Bulk Requirements (Mass and Scale, Height, Setbacks)
				Guideline: The perceived mass of larger buildings shall be diminished by the design.
			<i>Staff Comments</i>	The bulk of the buildings is compatible with this part of Old Hailey.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3	3. Architectural Character
			17.06.090(C) 3a	a. General
				Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.
			<i>Staff Comments</i>	Building design is compatible with this part of Old Hailey.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 3b	b. Building Orientation
				Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.
			<i>Staff Comments</i>	Primary structure is existing.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.
			<i>Staff Comments</i>	Grid pattern is respected.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3c	c. Building Form
				Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.
			<i>Staff Comments</i>	<i>Building forms are compatible with this portion of Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3d	d. Roof Form
				Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.
			<i>Staff Comments</i>	<i>Roof forms are compatible.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3d	Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site. <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			<i>Staff Comments</i>	<i>Snow storage needs are met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3d	Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.
			<i>Staff Comments</i>	<i>Roof forms and pitch are compatible.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3d	Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.
			<i>Staff Comments</i>	<i>See above</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3e	e. Wall Planes
				Guideline: Primary wall planes should be parallel to the front lot line.
			<i>Staff Comments</i>	<i>Wall planes are parallel.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3e	Guideline: Wall planes shall be proportional to the site and shall respect the scale of the surrounding neighborhood.
			<i>Staff Comments</i>	<i>Wall planes are proportional.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3e	Guideline: The use of pop-outs to break up longer wall planes is encouraged.
			<i>Staff Comments</i>	<i>Small pop-outs are included.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3f	f. Windows
				Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			<i>Staff Comments</i>	<i>Windows are design to match the rest of the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3f	Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			<i>Staff Comments</i>	<i>Windows will be compatible with the residential to the north.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 3g	g. Decks and Balconies

				Guideline: Decks and balconies shall be in scale with the building and the neighborhood.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 3g	Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3h	h. Building Materials and Finishes
				Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.
			<i>Staff Comments</i>	<i>See earlier descriptions of finishes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3h	Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	<i>Wall planes are broken with color changes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3i	i. Ornamentation and Architectural Detailing
				Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.
			<i>Staff Comments</i>	<i>Some detailing is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 3i	Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 3i	Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	<i>Details match existing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 4	4. Circulation and Parking
				Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	<i>Pedestrian walkways are planned in all parking areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	<i>Parking is interior.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.

			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 5	5. Alleys
				Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple and respect the functional nature of the area and the pedestrian activity that occurs.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 6	6. Accessory Structures
				Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			<i>Staff Comments</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 7	7. Snow Storage
				Guideline: All projects shall be required to provide 25% snow storage on the site.
			<i>Staff Comments</i>	See earlier comments.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			<i>Staff Comments</i>	All snow will be hauled.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C) 8	8. Existing Mature Trees and Landscaping
				Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			<i>Staff Comments</i>	Existing vegetation was addressed in Phase 1.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			Staff Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 8	Guideline: Noxious weeds shall be controlled according to State Law.
			Staff Comments	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 9	9. Fences and Walls
				Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			Staff Comments	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 9	Guideline: Retaining walls shall be in scale to the streetscape.
			Staff Comments	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 10	10. Historic Structures
				General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			Staff Comments	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C) 10	<p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; <p>The relationship of wall planes to the street and to interior lots should be preserved with new additions.</p>

			<i>Staff Comments</i>	
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17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Ordinance, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following Conditions of Approval are suggested to be placed on approval of this Application:

General Conditions:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. On-site infrastructure improvements to be completed at the applicant's sole expense.
- c) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- d) All new lighting shall comply with the Outdoor Lighting Ordinance. Location of all proposed lighting shall be shown on the plans.
- e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- f) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- g) The applicant shall submit a Master Signage Plan and sign permit for staff approval if any new signage is proposed. Proposed sign(s) shall conform to City Zoning requirements, and shall be approved prior to installation.
- h) A letter shall be provided from Clearcreek Disposal prior to issuance of a building permit stating that the design and location of the dumpster area is adequate for trash and recycling pickup.
- i) All new ground-mounted utility equipment shall be located to the rear of the building(s) and screened from view. All existing utility lines shall be relocated underground.
- j) The landscape plan shall be modified as part of the building permit submittal to confirm drought tolerant plantings, particularly for lawn areas.
- k) All public right-of-way parking shall not be held or used for exclusive parking for any property owner.
- l) A grading and drainage plan prepared by a licensed engineer shall be submitted as part of the building permit to ensure no drainage is directed towards public rights of way.

Motion Language

Approval:

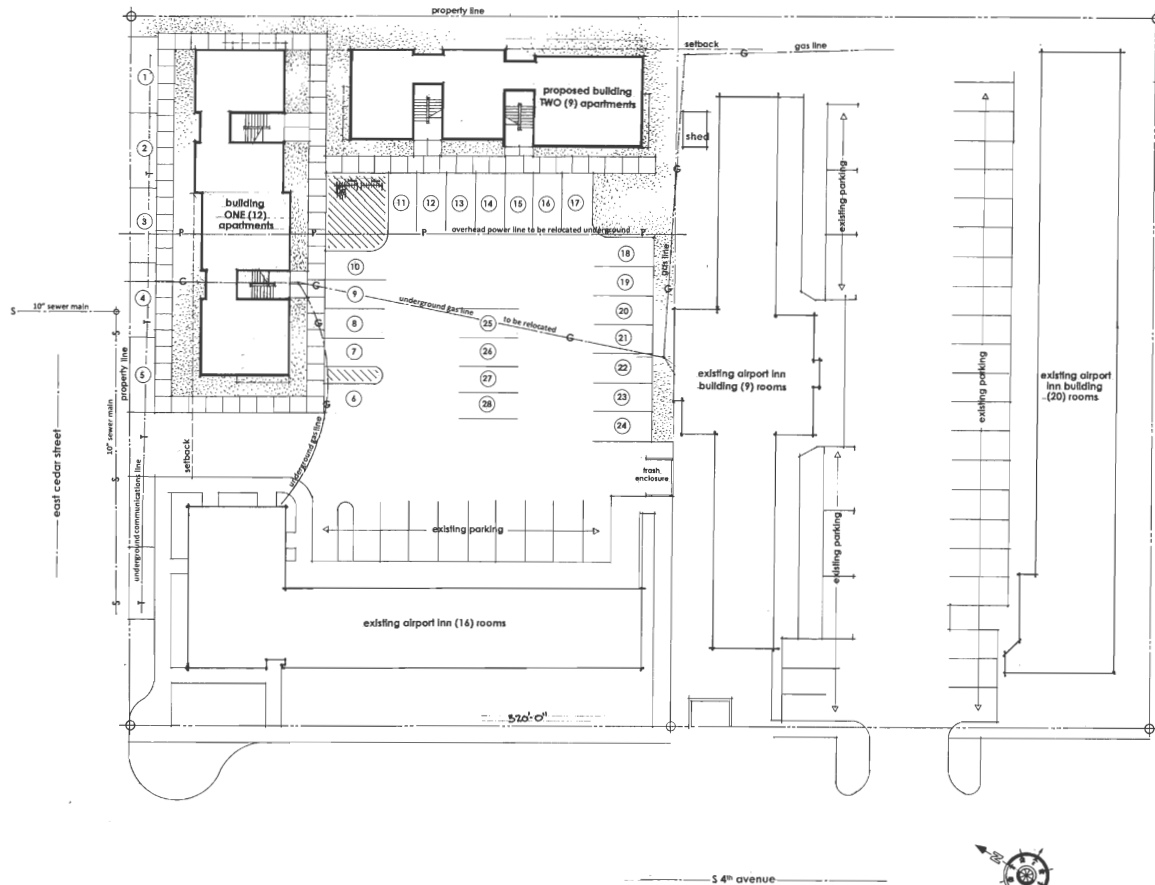
Motion to approve the Design Review application submitted by Hailey Airport Inn, LLC, for the addition of two (2) new three-story apartment buildings containing a total of twenty-one (21) units. This project is located at Lot 1A, Block 137, Hailey Townsite (804 South 4th Avenue) within the Limited Business (LB) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (l) are met.

Denial:

Motion to deny the Design Review application submitted by Hailey Airport Inn, LLC for the addition of two (2) new three-story apartment buildings containing a total of twenty-one (21) units, finding that____[the Commission should cite which standards are not met and provided the reason why each identified standard is not met].

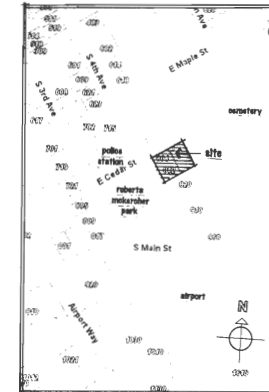
Continuation:

Motion to continue the public hearing on Design Review application submitted by Hailey Airport Inn, LLC for the addition of two (2) new three-story apartment buildings containing a total of twenty-one (21) units, to____[Commission should specify a date].



site development plan

SCALE: 1/8" = 1'-0"



TOTAL LOT SIZE: 10,400^{sq}



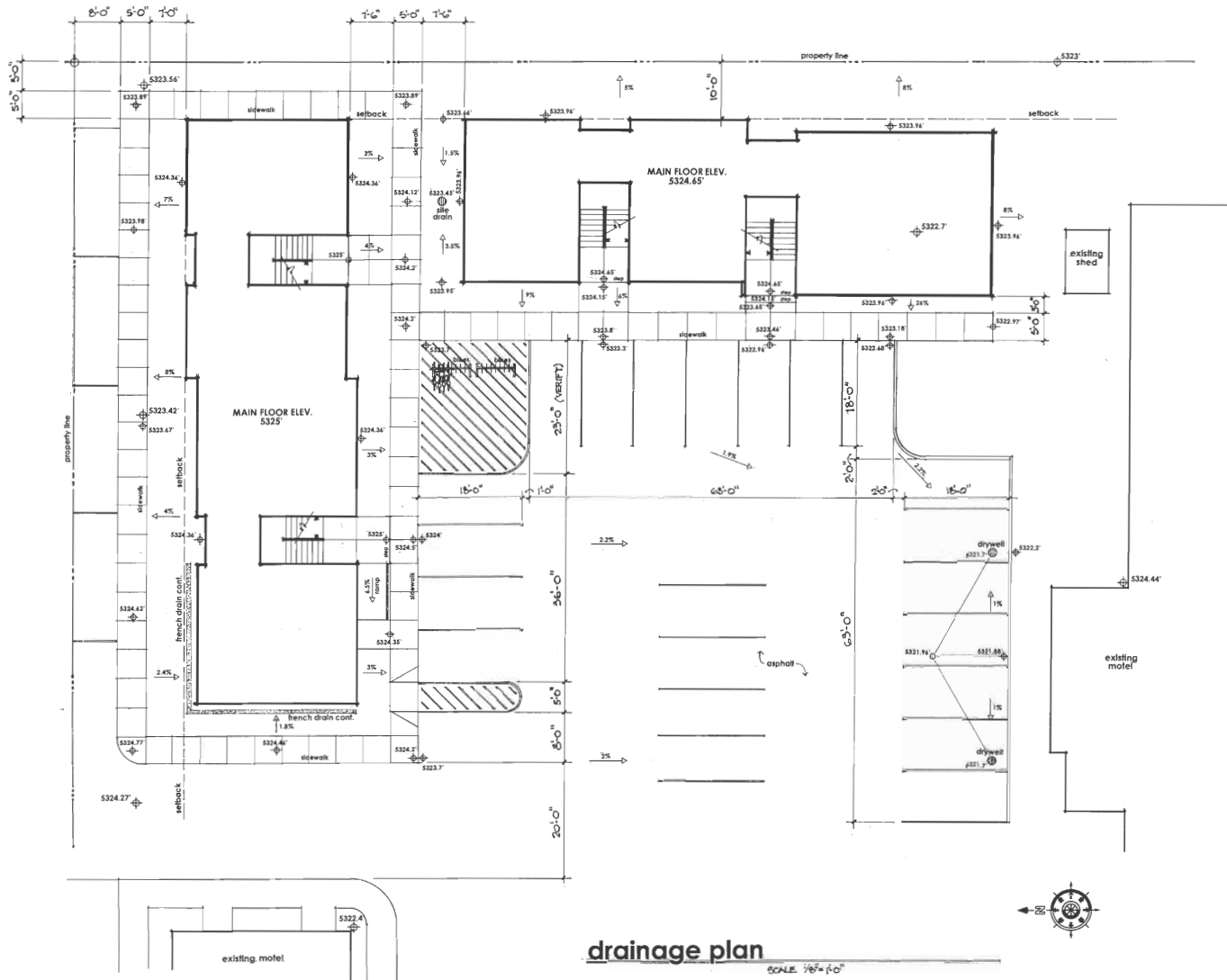
ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83333
(208) 728-2344

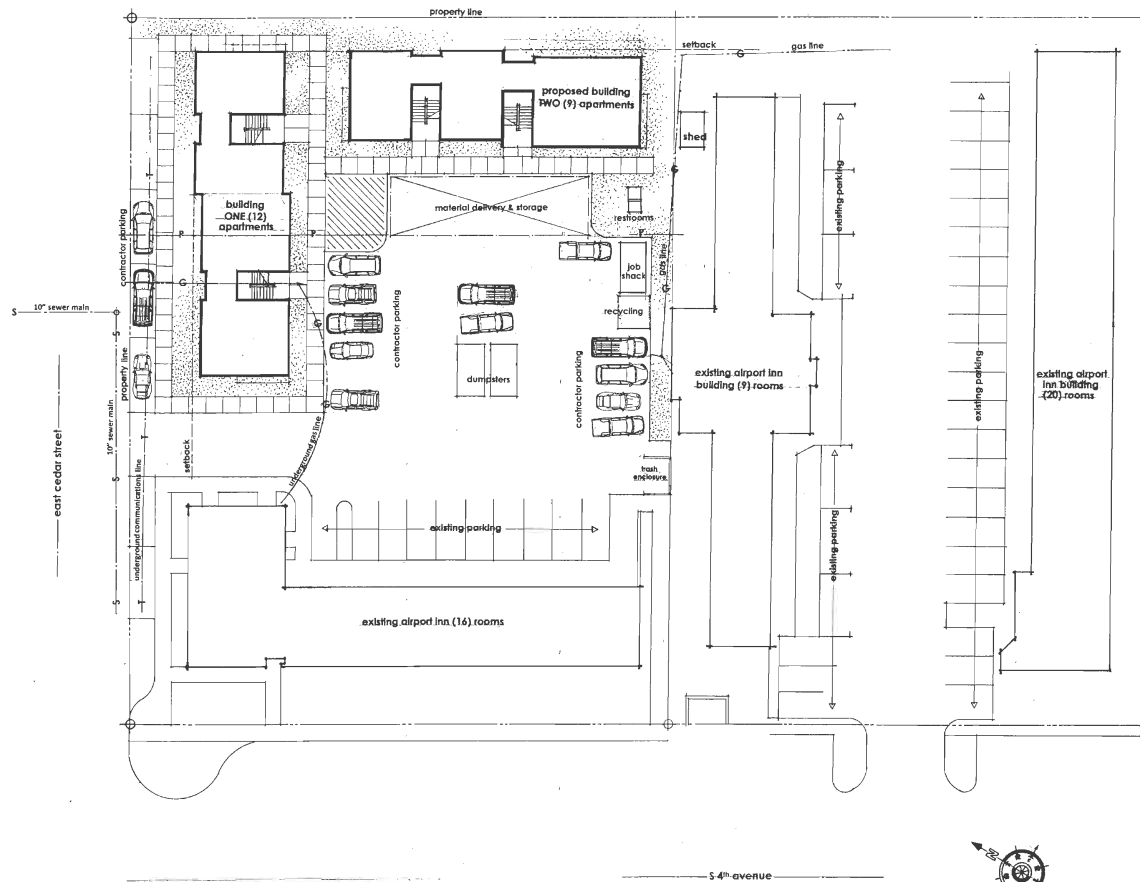
PROJECT NO.
DATE
DOWN BY

OWEN WRIGHT SCANLON
apartments at airport inn
820 4th ave s
hailey, idaho 83333

HCARD

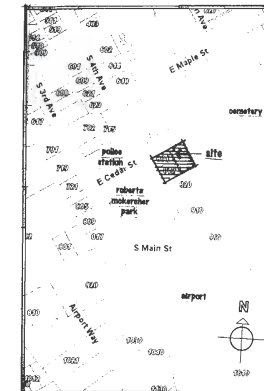
SD-1.0





construction activities plan

SCALE 1/8" = 1'-0"



OWEN WRIGHT SCANLON

ARCHITECT PLANNER

110 N ANGELA DR

HAILEY, ID 83333

(208) 720-2344

PROJECT NO. 820 4th ave s

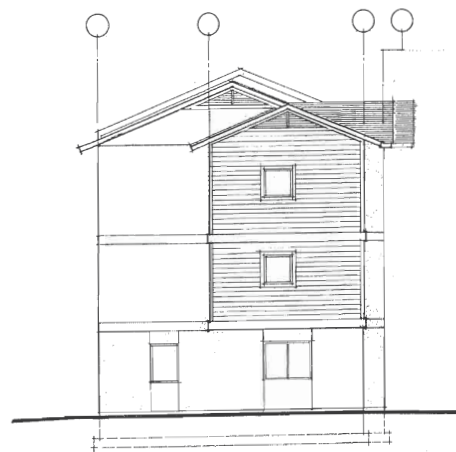
DATE 8/20/2010

DRAWN BY



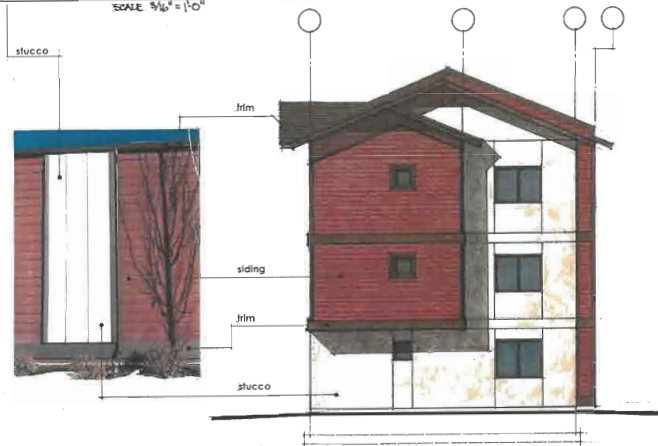
west elevation building two

SCALE 3/16" = 1'-0"



north elevation building two

SCALE 3/16" = 1'-0"



south elevation building two

SCALE 3/16" = 1'-0"

ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83333
(208) 726-2344

REVISION 02/05/08

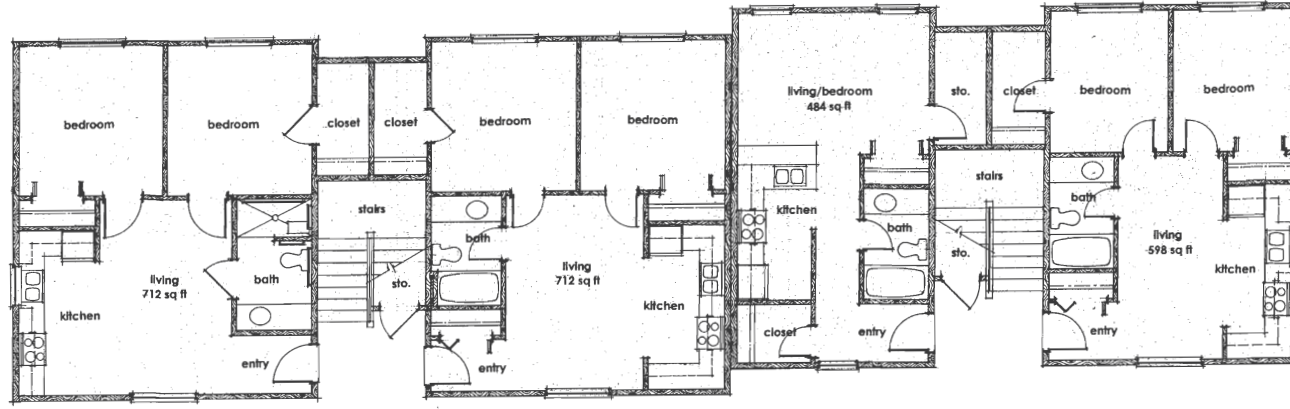
PROJECT NO.
DATE
DRAWN BY

OWEN WRIGHT SCANLON apartments at airport inn
820 4th ave s
hailey, idaho 83333



CB-1.0

3-16-21



main floor plan

building one
SCALE: 1/4" = 1'-0"

ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83333
(208) 720-2244

PROJECT NO. 88V1000200

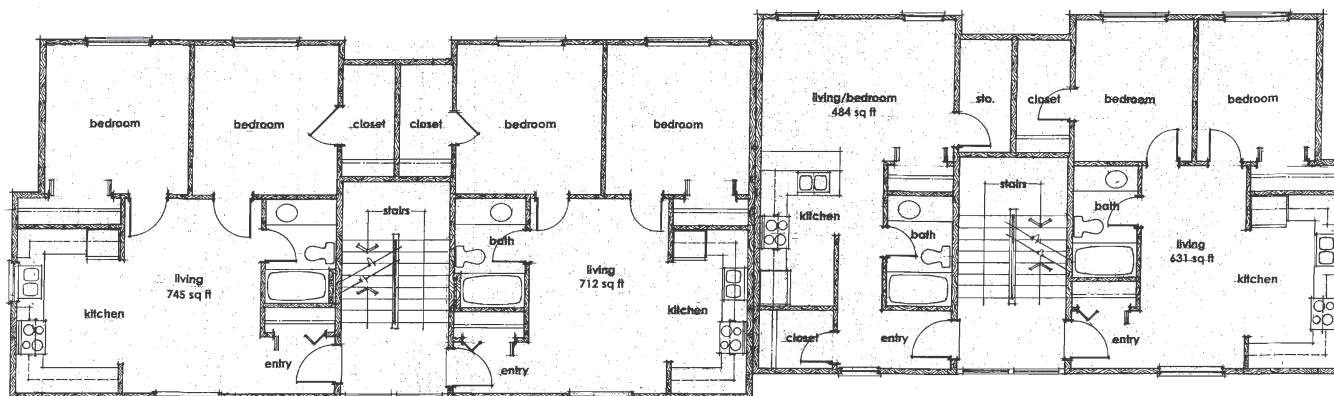
DATE

DRAWN BY

OWEN WRIGHT SCANLON

apartments at airport inn

820 4th ave s
hailey, idaho 83333



second floor plan

building one

SCALE: 1/4" = 1'-0"

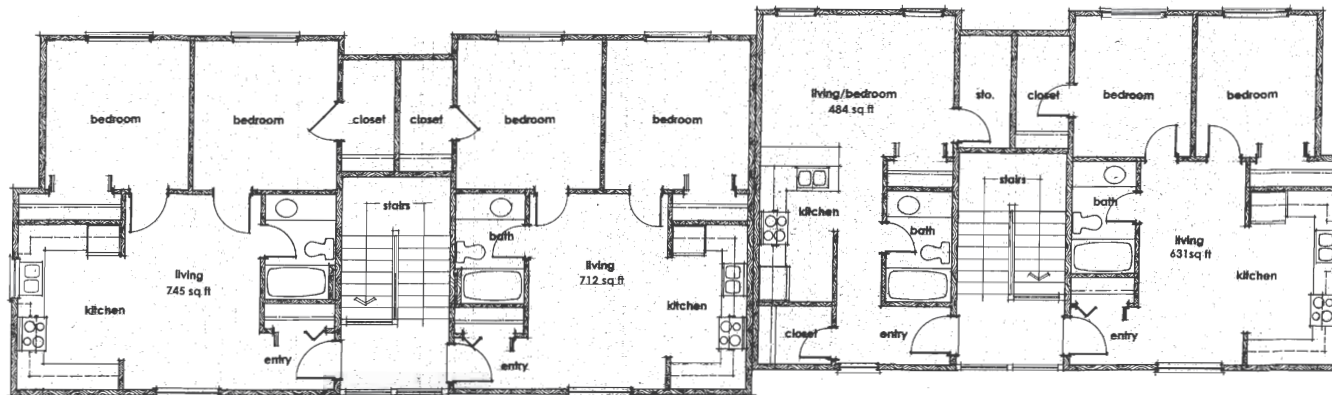
ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83333
(208) 720-2344

REVISED

PROJECT NO.
DATE
HAILEY, IDAHO 83333
DRAWN BY

820 4th ave s

OWEN WRIGHT SCANLON
HCARB



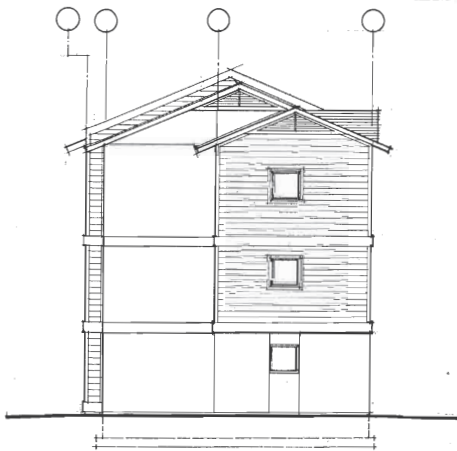
third floor plan

building one
SCALE: 1/4" = 1'-0"



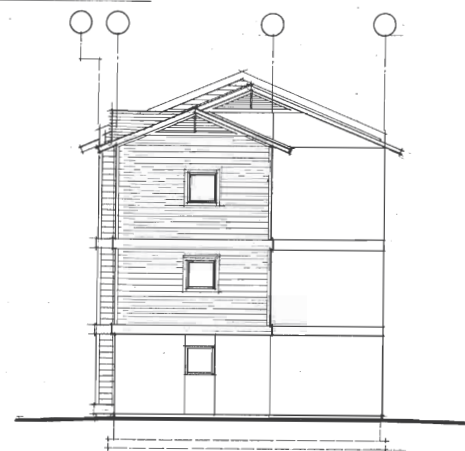
south elevation building one

SCALE 3/16" = 1'-0"



west elevation building one

SCALE 3/16" = 1'-0"

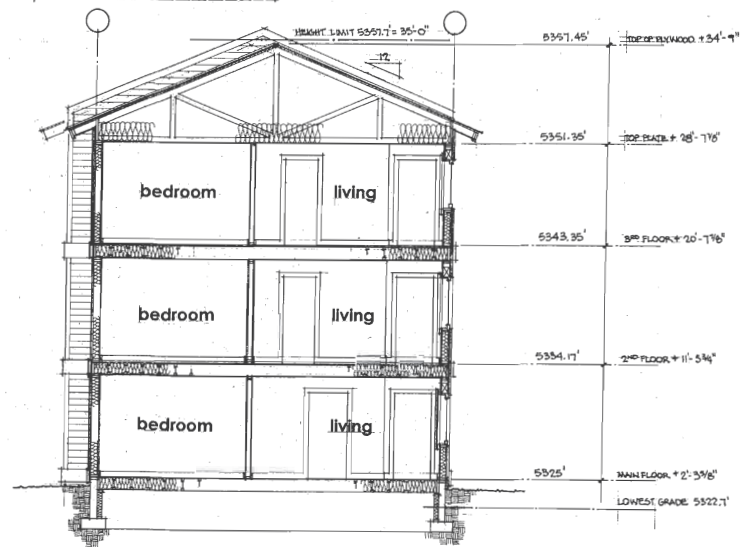


east elevation building one

SCALE 3/16" = 1'-0"



north elevation **building one**
SCALE: 3/16" = 1'-0"



cross section
SCALE: 1/4" = 1'-0"

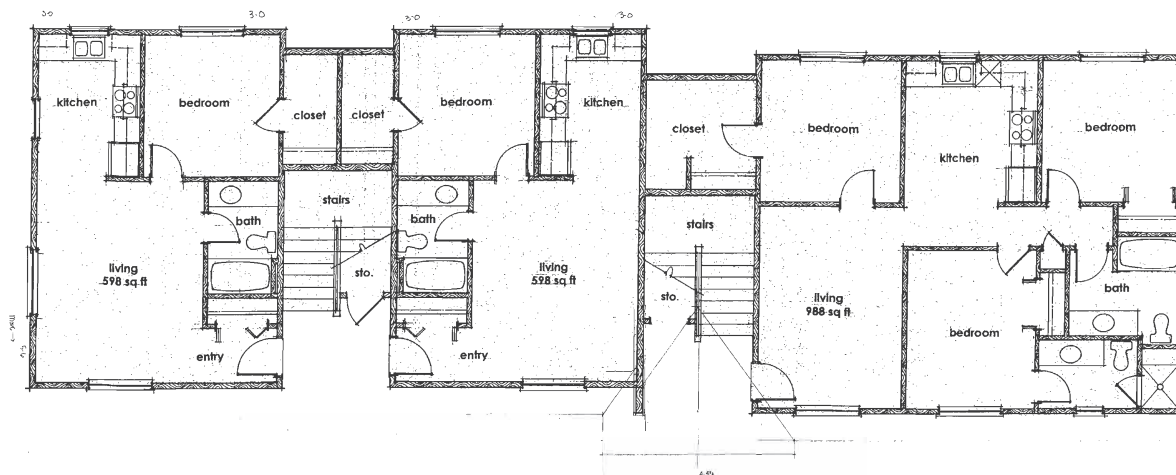
ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83333
(208) 720-2344

REV: 8/20/08

PROJECT NO.
DATE
DRAWN BY



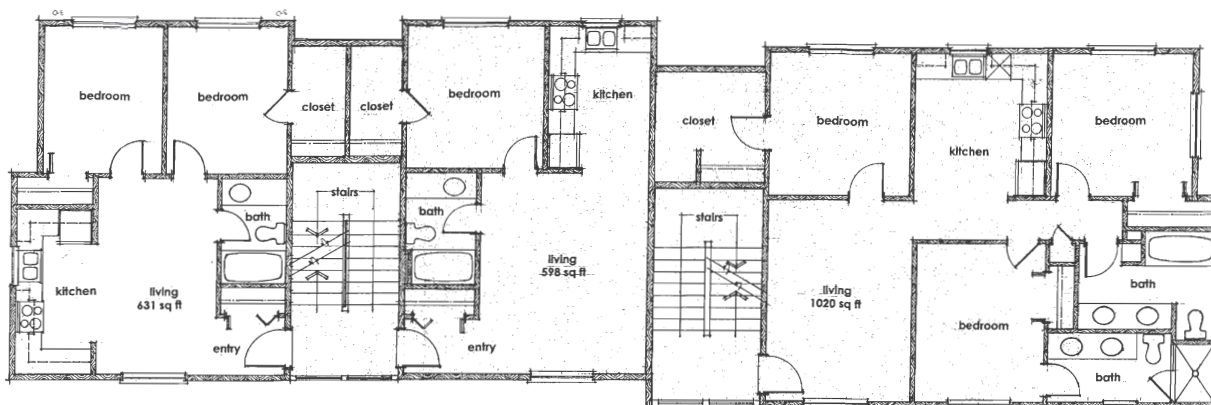
A-1.5



main floor plan

building two

SCALE 1/4" = 1'-0"



second floor plan

building two

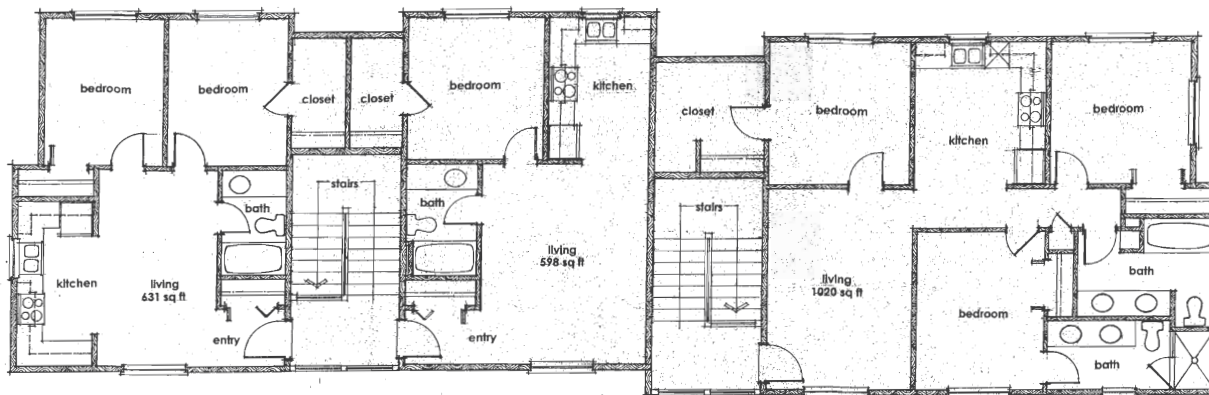
SCALE: 1/4" = 1'-0"

ARCHITECT/PLANNER
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HAILEY, ID 83333
(208) 726-2344

REVISED

PROJECT NO.
DATE
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OWEN WRIGHT SCANLON
HCARB



third floor plan

building two

SCALE: 1/4" = 1'-0"

ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83333
(208) 726-2344

REVISED

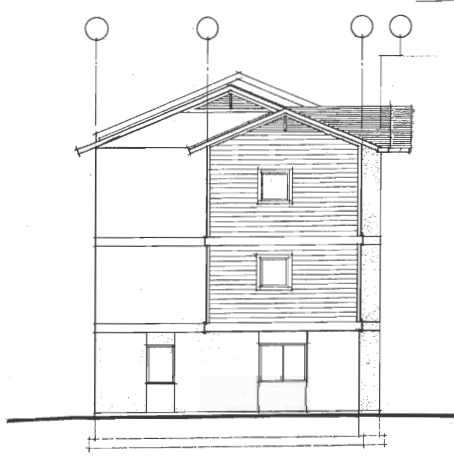
PROJECT NO.
DATE
DRAWN BY
hailey, idaho 83333

820 4th ave s

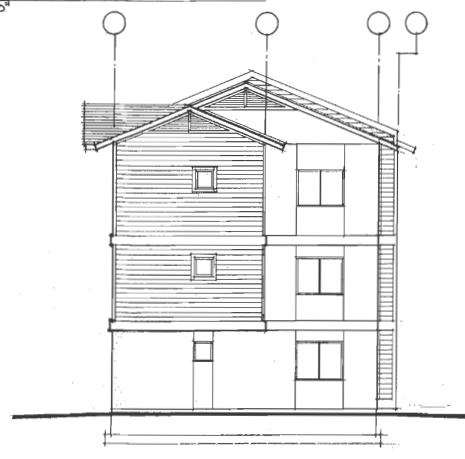




west elevation **building two**
 SCALE: 3/16" = 1'-0"



north elevation **building two**
 SCALE: 3/16" = 1'-0"

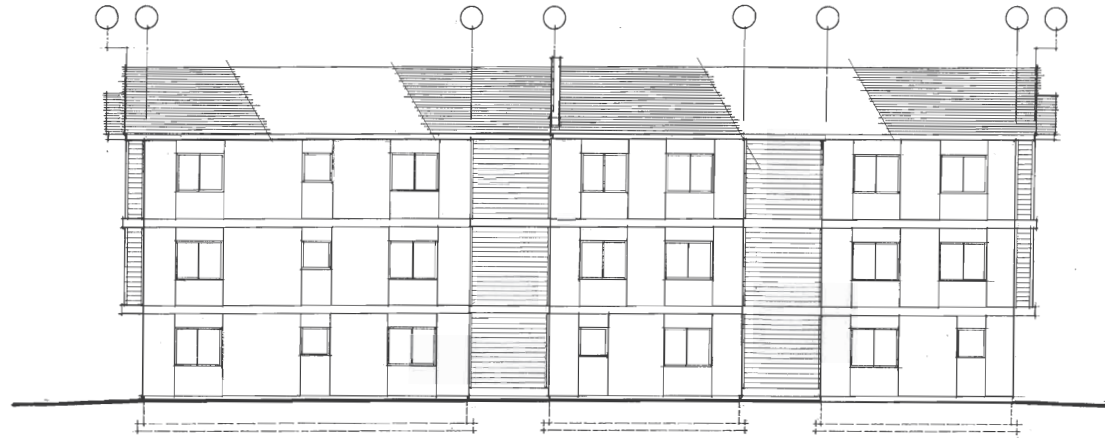


south elevation **building two**
 SCALE: 3/16" = 1'-0"

ARCHITECT/PLANNER
 110 N ANGELA DR
 HAILEY, ID 83333
 (208) 726-2344

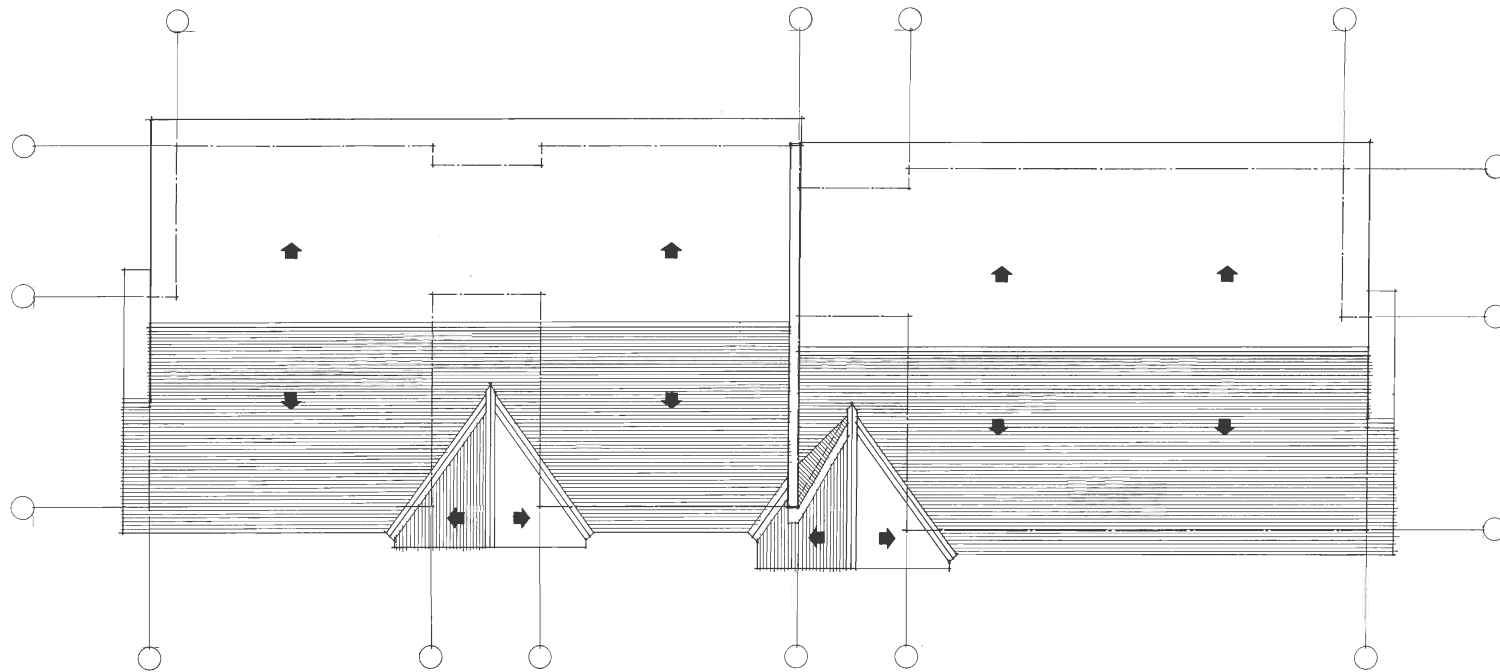
PROJECT NO.
 820 4th Ave S
 Hailey, Idaho 83333
 DRAWN BY

OWEN WRIGHT SCANLON
apartments at airport inn
HCARB



east elevation building two

SCALE 3/16" = 1'-0"



roof plan

SCALE: 1/4" = 1'-0"

building two

ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83333
(208) 726-2344

REVISIONS

PROJECT NO.
DATE
hailey, idaho 83333
DRAWN BY

apartments at airport inn
820 4th ave s



A-2.6

Project	Catalog #	Type
Prepared by	Notes	Date



Lumark

PRV / PRV-XL Prevail LED

Area / Site Luminaire

Typical Applications

Outdoor • Parking Lots • Walkways • Roadways • Building Areas

Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Configurations page 3
- Product Specifications page 3
- Energy and Performance Data page 4
- Control Options page 5

Product Certifications



Product Features

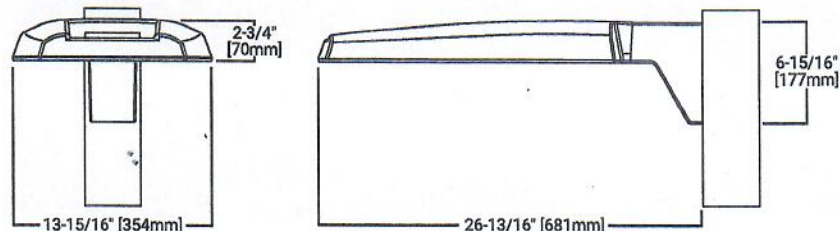


Quick Facts

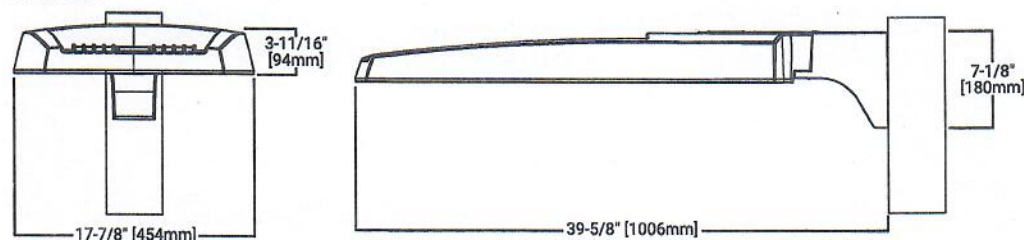
- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

Prevail



Prevail XL



DESCRIPTION

The patented Lumark Crosstour™ MAXX LED wall pack series of luminaires provides low-profile architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction, back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall/surface, inverted mount for facade/canopy illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

SPECIFICATION FEATURES

Construction

Low-profile LED design with rugged one-piece, die-cast aluminum back box and hinged removable door. Matching housing styles incorporate both a full cutoff and refractive lens design. Full cutoff and refractive lens models are available in 58W, 81W and 102W. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes four 1/2" NPT threaded conduit entry points. The back box is secured by four lag bolts (supplied by others). External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered reflector providing high-efficiency illumination. Full cutoff models integrate an impact-resistant molded refractive prism optical lens assembly meeting requirements for Dark Sky compliance. Refractive lens models incorporate a molded lens

assembly designed for maximum forward throw. Solid state LED Crosstour MAXX luminaires are thermally optimized with eight lumen packages in cool 5000K, neutral 4000K, or warm 3000K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast aluminum housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 58W, 81W and 102W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C [122°F] models available in 58W and 81W models only. Crosstour MAXX luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Four half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz, 480V 60Hz, or 347V 60Hz electrical operation. 480V is compatible for use with 480V Wye systems only.

Emergency Egress

Optional integral cold weather battery emergency egress includes emergency operation test switch (available in 58W and 81W models only), an AC-ON indicator light and a premium extended rated sealed maintenance-free nickel-metal hydride battery pack. The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

Finish

Crosstour MAXX is protected with a super TGIC carbon bronze or summit white polyester powder coat paint. Super TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

Five-year warranty.



XTOR CROSSTOUR MAXX LED

APPLICATIONS:
WALL / SURFACE
INVERTED
SITE LIGHTING



CERTIFICATION DATA

UL/cUL Wet Location Listed
Dark Sky Approved (Fixed mount, Full cutoff, and 3000K CCT only)
DesignLights Consortium® Qualified®
LM79 / LM80 Compliant
ROHS Compliant
NOM Compliant Models
3G Vibration Tested
UL924 Listed (CBP Models)
IP66 Rated

TECHNICAL DATA

40°C Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

Effective Projected Area (Sq. Ft.):
XTOR6B, XTOR8B, XTOR12B=0.54

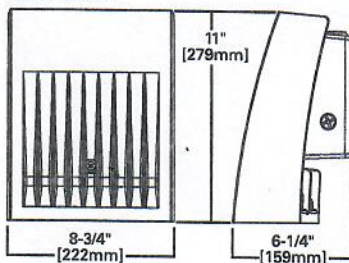
SHIPPING DATA:

Approximate Net Weight:
12-15 lbs. [5.4-6.8 kgs.]

TD514005EN

DIMENSIONS

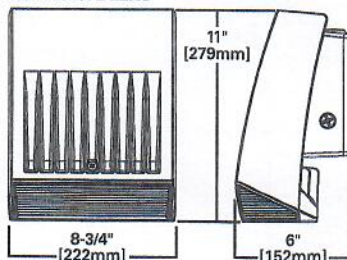
FULL CUTOFF



DEEP BACK BOX



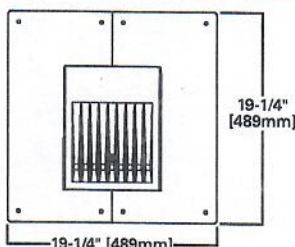
REFRACTIVE LENS



DEEP BACK BOX



ESCUTCHEON PLATES



PROJECT NAME:	
CATALOG NUMBER:	FINISH TYPE:
VOLTS/WATTAGE:	LENS/BOLLS:



BOLLARDS - 15W LED

OUTDOOR LIGHTING

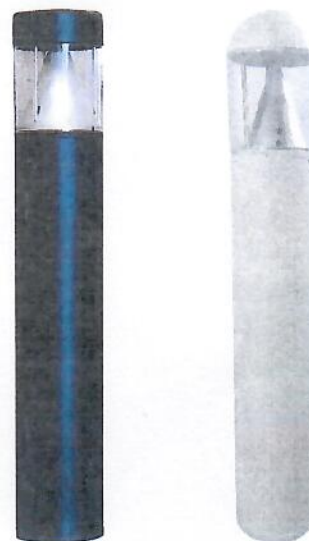


FEATURES

- Extruded Aluminum Housing with Flush Mounting Base & Vandal-Resistant Screws
- Flat Top or Dome Top Design with Aluminum Cone Reflector
- Powder Coat Finish Over a Chromate Conversion Coating, Available in White, Black, or Bronze
- Internal Ballast Tray for Easy Maintenance
- Clear Polycarbonate Lens
- Mounting Kit with 8" Anchor Bolts (Included), Additional Lengths Available
- Listed for Wet Locations
- 5 Year Warranty
- DesignLights Consortium® Qualified ⁽²⁾



**REPLACES
75W-100W MH**



LED SYSTEM

	BLFT	BLDT
Calculated L70 (TM-21)	>50K ⁽¹⁾	>50K ⁽¹⁾
Delivered Lumens	1,101 lm	1,221 lm
Total Input Watts	17.76 W	16W
Luminaire Efficacy Rating (LER)	62 lm/W	74 lm/W
Correlated Color Temperature (CCT)	4000 K	4000 K
Color Rendering Index (CRI)	> 80	> 80
Max Ambient Temp	110° F	110° F ⁽²⁾
Universal Driver	120-277 V	120-277 V

SUITABLE APPLICATIONS

- Walkways
- Boardwalks
- Parking Lots

LED System data above based on BLFT-15WLED-UNIV-4000K, BLD-15WLED-UNIV-4000K

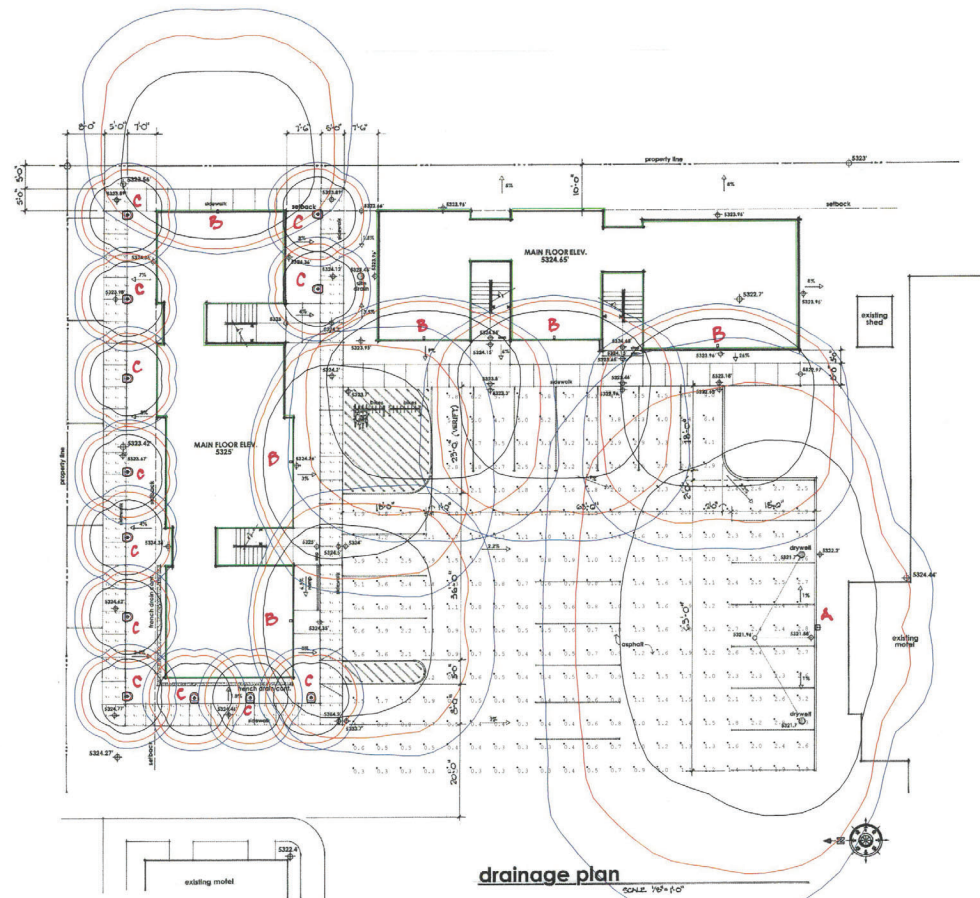
⁽¹⁾ LED Lumen Maintenance Estimates based on TM-21 projections for the light source at 25°C ambient

⁽²⁾ Specific Configurations Listed on DLC.(120V version only)



Ordering Guide

BLFT	15WLED	UNIV	4000K	eg. WHP
Series	LED	Driver	Color	Options
<input checked="" type="checkbox"/> BLFT	Flat Top Bollard	<input type="checkbox"/> 15WLED 1x88 Board	<input type="checkbox"/> UNIV 120-277 Driver	<input type="checkbox"/> 4000K
<input type="checkbox"/> BLD	Dome Top Bollard			
				<input type="checkbox"/> WHT White Paint (Std) <input type="checkbox"/> BLK Black Paint <input checked="" type="checkbox"/> BRN Bronze Paint <input type="checkbox"/> RPL Replacement Polycarbonate Lens <input type="checkbox"/> AB4 Bracket & Three (3) 4" Anchor Bolts <input type="checkbox"/> AB12 Bracket & Three (3) 12" Anchor Bolts <input type="checkbox"/> AB15 Bracket & Three (3) 15" Anchor Bolts <input type="checkbox"/> 90BS 90° Beam Spread <input type="checkbox"/> 180BS 180° Beam Spread <input type="checkbox"/> 270BS 270° Beam Spread



Luminaire Schedule						
Symbol	Qty	LF	Description	lum. Watts	lum. lumens	Mounting Height
ⓐ	1	0.900	FRV-C35-D-UVV-T4-BS	36	13140	20
ⓑ	6	0.900	ETOROB	39	6129	15
ⓒ	12	0.900	BLDT-15WLED-UVV-6000V	18.46	1209	3.5

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Parking Lot	Illuminance	Fc	2.05	9.0	0.3	6.67
Sidewalk	Illuminance	Fc	3.05	14.4	0.4	36.00

ARCHITECT/PLANNER
 OWEN WRIGHT SCANLON
 110 N ARIZONA DR
 HANLEY, MO 63033
 (636) 226-2444

PROJECT NO.
 2021-001
 DATE
 4/2/2021

PROJECT NAME
 apartments at airport inn
 110 N ARIZONA DR
 HANLEY, MO 63033

SCALE
 1/8" = 1'-0"

Drawn By: Ethan Griffiths
 Date: 4/2/2021

Project Name: Airport Inn Lighting Layout Rev 0
 Client: Platt

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of April 19, 2021

To: Planning and Zoning Commission

From: Robyn Davis, Community Development City Planner

Proposal: Consideration of a Design Review Pre-Application by Kilgore Properties, LLC, for construction of Sweetwater Condominiums to be located at Block 2, Sweetwater P.U.D. Subdivision. This project was approved by the Planning and Zoning Commission on December 2, 2019, but has been reconfigured. A total of 137 units (130 residential units and seven live/work units) are proposed.

Hearing: April 19, 2021

Applicant: Kilgore Properties, LLC

Location: Block 2, Sweetwater PUD Subdivision (parcel that runs west along Shenandoah Drive (address TBD))

Lot Size: 6.5 acres (283,140 square feet)

Zoning: Limited Business (LB) Zoning District

Notice: Notice for the public hearing was published in the Idaho Mountain Express on March 31, 2021 and mailed to property owners on March 31, 2021.

Background and Project Overview. On December 2, 2019, the Commission approved Kilgore Properties, LLC, Design Review Application to construct twelve (12), three-story townhomes (39 units in total), each unit ranging in size from approximately 1,832 square feet to 2,084 square feet; seven (7), ten-plex, three-story condominiums (70 units in total), each unit comprising of approximately 1,380 square feet; one (1) three-plex live/work building and one (1) four-plex live/work building, seven (7) units in total, and each unit comprising of approximately 2,366 square feet. A total of 116 units (109 residential units and seven live/work units) were proposed. The previous project approval consisted of the following:

- 254 Onsite Parking Spaces, which has been delineated as follows:
 - Garage: 162 spaces
 - Off-Street: 64 spaces
 - On-Street: 28 spaces
- Twelve (12), three-story townhomes (39 units in total), each comprising of:
 - A two-car garage

- Storage space
 - Three (3) bedrooms
 - Two and one-half (2 ½) bathrooms
- Seven (7), ten-plex, three-story condominiums (70 units in total), each unit comprising of:
 - Garage Space
 - Storage space
 - Three (3) bedrooms
 - Two (2) bathrooms
- One (1) three-plex and one (1) four-plex live/work units, each unit compromising of:
 - A one-car garage
 - A workspace
 - Three (3) bedrooms
 - Two and one-half (2 ½) bathrooms
- P.U.D. Amenities include:
 - 1.6-acre (69,696 square feet) Park
 - 5,200 square foot Amenity Building, which includes exercise rooms and fitness equipment, hobby and craft rooms, lounge and kitchen
 - Tot Lot
 - Wood River Trail Connection and Public Transit Facilities

New Project Proposal. After further analysis, the Applicant Team is proposing to reconfigure the site, with the exception of the three and four unit live/work buildings, to be located on the corner of Countryside Boulevard and Shenandoah Drive (Phase I). The reconfiguration of the remaining parcel would be as follows: Thirteen (13) ten-plex, three-story condominiums, each unit comprising of approximately 1,380 square feet, and one (1) three-plex live/work building and one (1) four-plex live/work building, each unit compromising of approximately 2,366 square feet. A total of 137 units (130 residential units and seven live/work units) are proposed.

Additionally, the 283,140 square foot project will consist of:

- 303 Onsite Parking Spaces, which has been delineated as follows:
 - One-Car Garage + Driveway Space (Condominiums): 230 spaces
 - Two-Car Garage (Live/Work Buildings): 14 spaces
 - Off-Street: 23 spaces
 - On-Street: 36 spaces
- Thirteen (13), ten-plex, three-story condominiums (130 units in total), each unit comprising of:
 - A one-car garage
 - Storage space
 - Three (3) bedrooms
 - Two (2) bathrooms
- One (1) three-plex live/work building and one (1) four-plex live/work building (seven units in total), each unit compromising of:
 - A one-car garage
 - A workspace
 - Three (3) bedrooms
 - Two and one-half (2 ½) bathrooms
- P.U.D. Amenities include:
 - 1.6-acre (69,696 square feet) Park

- 5,200 square foot Amenity Building, which includes exercise rooms and fitness equipment, hobby and craft rooms, lounge and kitchen
- Tot Lot
- Wood River Trail Connection and Public Transit Facilities

With regard to density, the project is permitted at a density of 24 units per acre, as outlined in the Planned Unit Development Agreement dated August 14, 2006, and Amendments to the Development Agreement dated December 18, 2009, December 27, 2010 and November 6, 2012. The approved plan proposed 17.8 units per acre. The new plan proposes 21.1 units per acre. Both options comply with the maximum density of 24 units per acre.

Quick Comparison. For a quick reference, the table below compares the two projects - the previously approved project and the proposed project.

Comparison of Approved Plan & Proposed Plan for Sweetwater Communities - Block 2		
Subject	Approved Plan	Proposed Plan
Acreage of Block 2	6.5 acres	6.5 acres
Density	17.8 units per acre	21.1 units per acre
Condominium Units	70	130
Townhouse Units	39	0
Live/Work Units	7	7
Total Units	116	137
Condo Garage Parking	70	130
Condo Driveway Parking	0	100
Townhouse Garage Parking	78	0
Townhouse Driveway Parking	0	0
Live/Work Garage Parking	14	14
Live/Work Driveway Parking	0	0
Unit Parking	162	244
Off-Street Parking	64	23
On-Street Parking	28	36
Total Parking	254	303
Parking per Unit	1.4	1.8
Guest Parking per Unit	0.8	0.4

The Applicant Team is requesting feedback from the Commission with regard to the proposed site plan, the change in buildings within the parcel, as well as the changes to density, unit number and parking spaces, as noted in the table above. Feedback from the Commission would be incorporated into a Design Review Application proposal and would return for public hearing at a later date.

Submittal. The Applicant has submitted a Site Plan, Floor Plans and Renderings, as required by the Pre-Application Design Review submittal requirements. Additionally, the Applicant has submitted a preliminary Landscape Plan the parcel.

Chapter 17.06: Design Review. Section 17.06.050: Application:

C. Design Review Pre-Application:

- 1. Required:** An application for PreApplication Design Review shall follow the procedures and be subject to the requirements established by section [17.03.070](#) of this title, and shall be made by at least one holder of any interest in the real property for which the PreApplication Design Review is proposed.
- 2. Information Required:** The following information is required with an Application for PreApplication Design Review:
 - a. The Design Review Application form, including project name and location, and Applicant and representative names and contact information.
 - b. One (1) eleven inch by seventeen inch (11" x 17") and one electronic copy showing at a minimum the following:
 - i. Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: A vicinity map must show location of adjacent buildings and structures.
 - ii. Site plan, to scale, showing proposed parking, loading and general circulation.
 - iii. One color rendering of at least one side of the proposed building(s).
 - iv. General location of public utilities (survey not required). (Ord. 1226, 2017; Ord. 1191, 2015)

Items for Discussion and/or Other Items of Note:

- 1. Building Design, Materials and Colors:** The proposed site plan shows thirteen (13) ten-plex, three-story condominium buildings and two (2) live/work buildings (previously approved). The previously approved site plan incorporated a mix of building sizes and units, and only seven (7) ten-plex, three-story condominium buildings.

The Commission may wish to discuss the overall building design, which contains long walls along Shenandoah Drive and long walls that can be seen from Highway 75. At the December 2, 2019 public hearing, the Commission shared concerns over how the development may look from Highway 75 and suggested that height variation between each housing cluster and/or buildings be considered, to provide interest, variety and break up the large mass of the building proposed.

The Applicant has designed the buildings, which incorporate a variety of features, such as porches, varied rooflines, parapets, pop-outs, upper patios, balconies, and varied exterior materials to reduce the overall mass of the long wall planes, as well as complement the design and layout of the buildings in the surrounding area (see image below for further details).

The Commission discussed and found said designs to be appropriate to further provide interest and reduce the large mass of buildings, as seen from Highway 75. That said, the Commission may wish to further discuss the visual impacts, if any, of thirteen (13) ten-plex, three-story buildings onsite versus only seven (7) ten-plex, three-story condominium buildings.



Exterior materials of the condominiums will be: aluminum fascia and soffits, shingle lap, batten and cement board siding, stone veneer, steel railings, metal garage doors, asphalt shingle roofs and engineered trusses. Building colors have been categorized into four (4) color schemes, which includes: Aged Pewter, Boothbay Blue, Countryside Red and Mountain Sage. These colors will complement those exterior colors of the existing Sweetwater Development.

2. **Water, Sewer and Fire:** This is a Pre-Application Design Review. Final drawings that show connection details will be required for Design Review (to be determined).
3. **Streets, Right-of-Ways, Sidewalks, Parking:** Planning Staff suggests that the Applicant provide irrigation to all landscaping, including street trees, and all other vegetation onsite and/or within the public right-of-way.

The Public Works Department recommends that all interior and perimeter sidewalks be maintained (i.e., snow removal, repairs, etc.) by the Applicant. Further analysis and feedback from the Public Works Department will occur at final design.

4. **Landscaping and Street Trees:** The Commission may wish to discuss the preliminary Landscape Plan and offer suggestions regarding planting type, size and location.

At the Hailey Tree Committee Meeting on November 14, 2019, the Board recommended that the Applicant Team add variation to the proposed Street Tree Plan (previously proposed to be all Maple trees). To do so, the Tree Committee recommended that no less than fifty (50%)

percent of the right-of-way Maple trees be replaced with at least three (3) of the following genus and/or species, at the same size as the proposed Maple trees, if available:

- Linden
- Swamp White Oak
- Bur Oak
- Honey Locust

Furthermore, the Applicant Team originally proposed to transplant several Green Ash trees elsewhere onsite, due to the construction of the proposed townhomes and live/work units. The Hailey Tree Committee recommended that these trees be removed altogether and replaced (with options listed above). The Applicant Team is amenable to the suggestions noted above and will augment the Landscaping Plans accordingly.

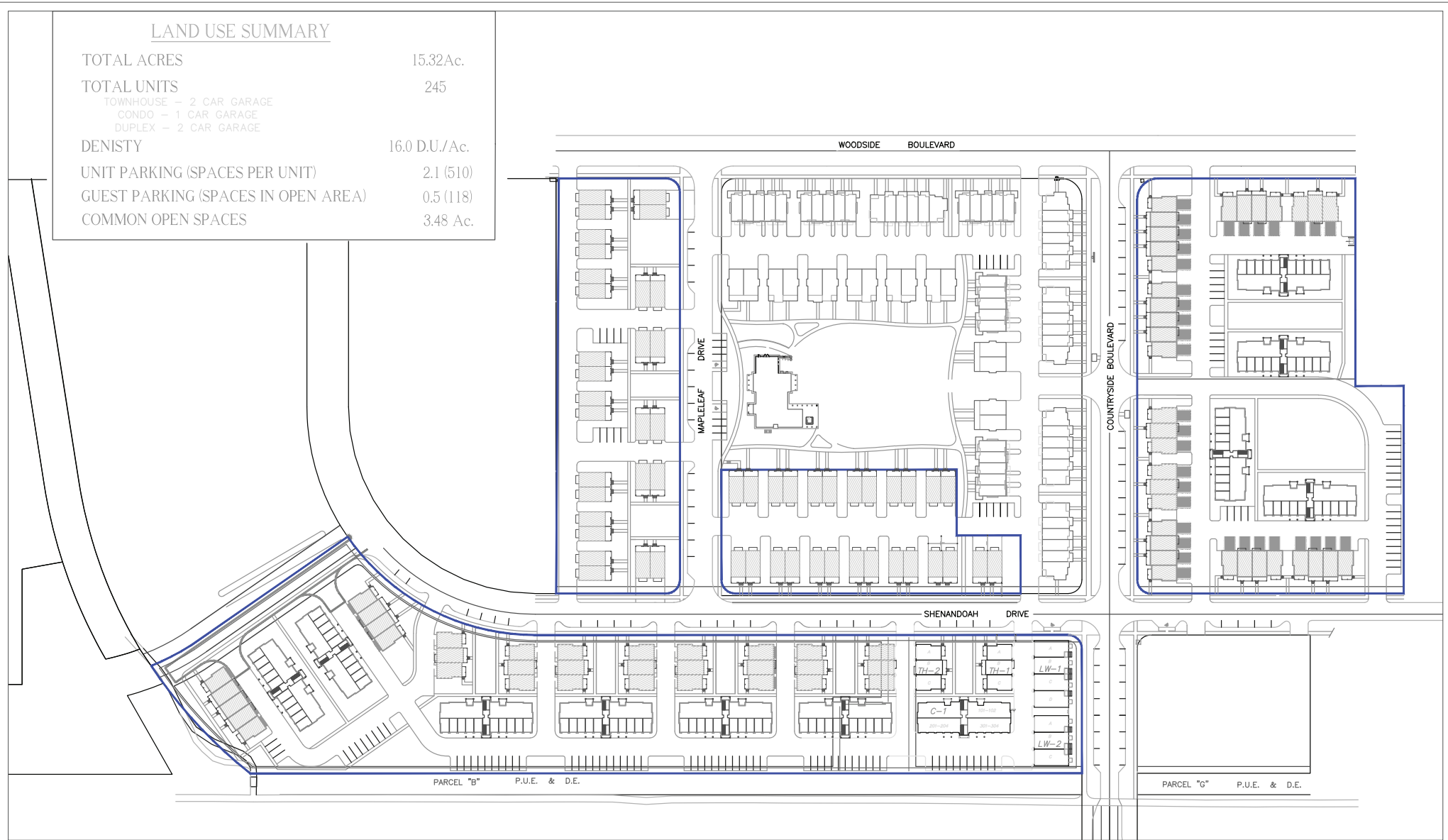
If necessary, the Hailey Tree Committee will review the proposed street tree locations, species and sizes again at the next available hearing, tentatively scheduled for May 13, 2021. Further analysis of the proposed Landscape Plan will be provided at the Design Review hearing, yet to be scheduled.

Action. No formal action is required, as this is a Pre-Application Design Review. The Commission should give feedback on the above items, and any others that may arise, so that the Applicant can incorporate said feedback into the Design Review submittal.

Previously approved drawing.

LAND USE SUMMARY

TOTAL ACRES	15.32Ac.
TOTAL UNITS	245
TOWNHOUSE - 2 CAR GARAGE	
CONDO - 1 CAR GARAGE	
DUPLEX - 2 CAR GARAGE	
DENSITY	16.0 D.U./Ac.
UNIT PARKING (SPACES PER UNIT)	2.1 (510)
GUEST PARKING (SPACES IN OPEN AREA)	0.5 (118)
COMMON OPEN SPACES	3.48 Ac.



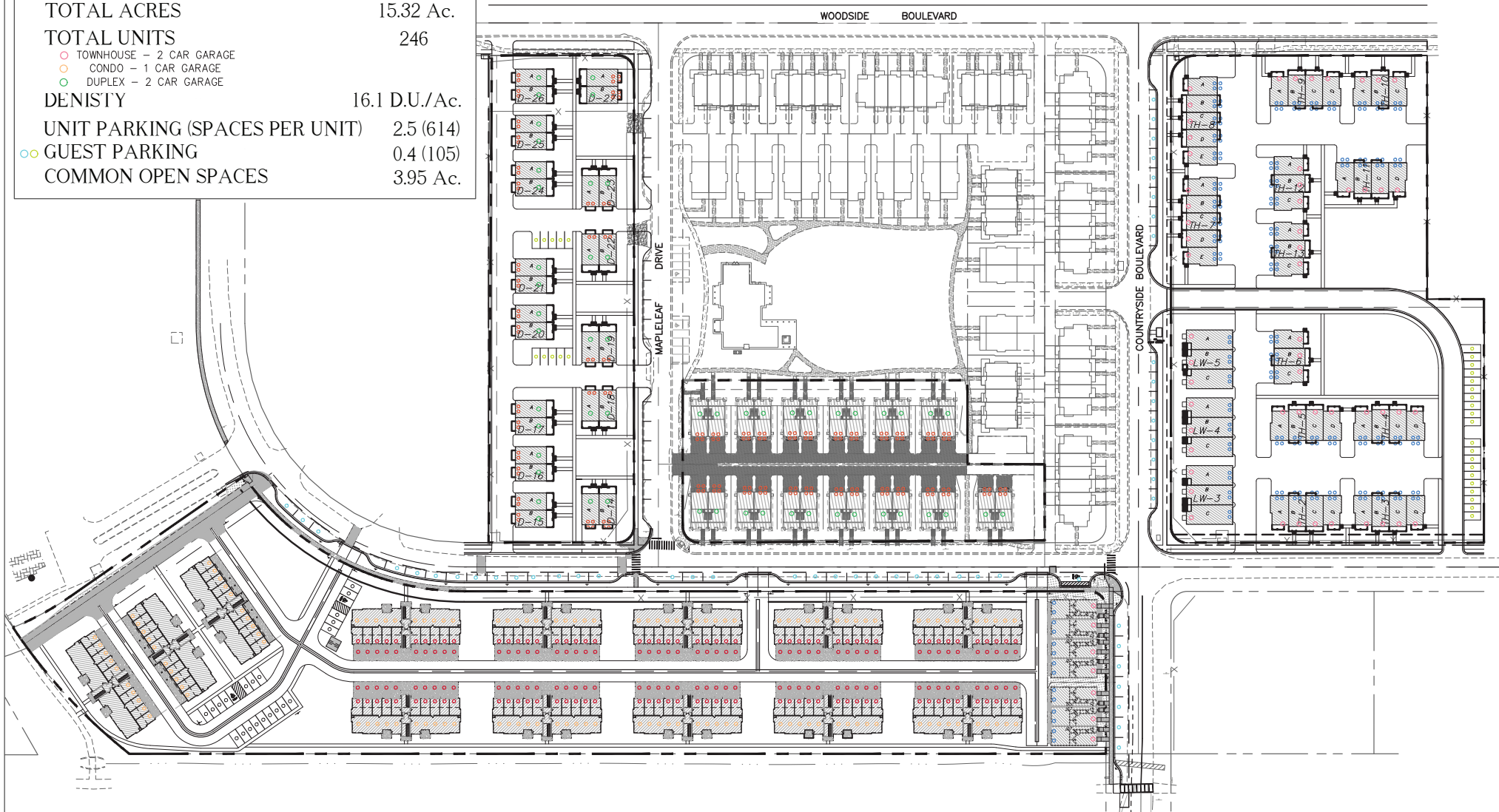
SWEETWATER
Concept Plan (11.06.18)



Proposed Drawing Set beings.

LAND USE SUMMARY

TOTAL ACRES	15.32 Ac.
TOTAL UNITS	246
○ TOWNHOUSE - 2 CAR GARAGE	
○ CONDO - 1 CAR GARAGE	
○ DUPLEX - 2 CAR GARAGE	
DENSITY	16.1 D.U./Ac.
UNIT PARKING (SPACES PER UNIT)	2.5 (614)
○ GUEST PARKING	0.4 (105)
COMMON OPEN SPACES	3.95 Ac.



SWEETWATER
SITE PLAN CONCEPT (03.01.21)



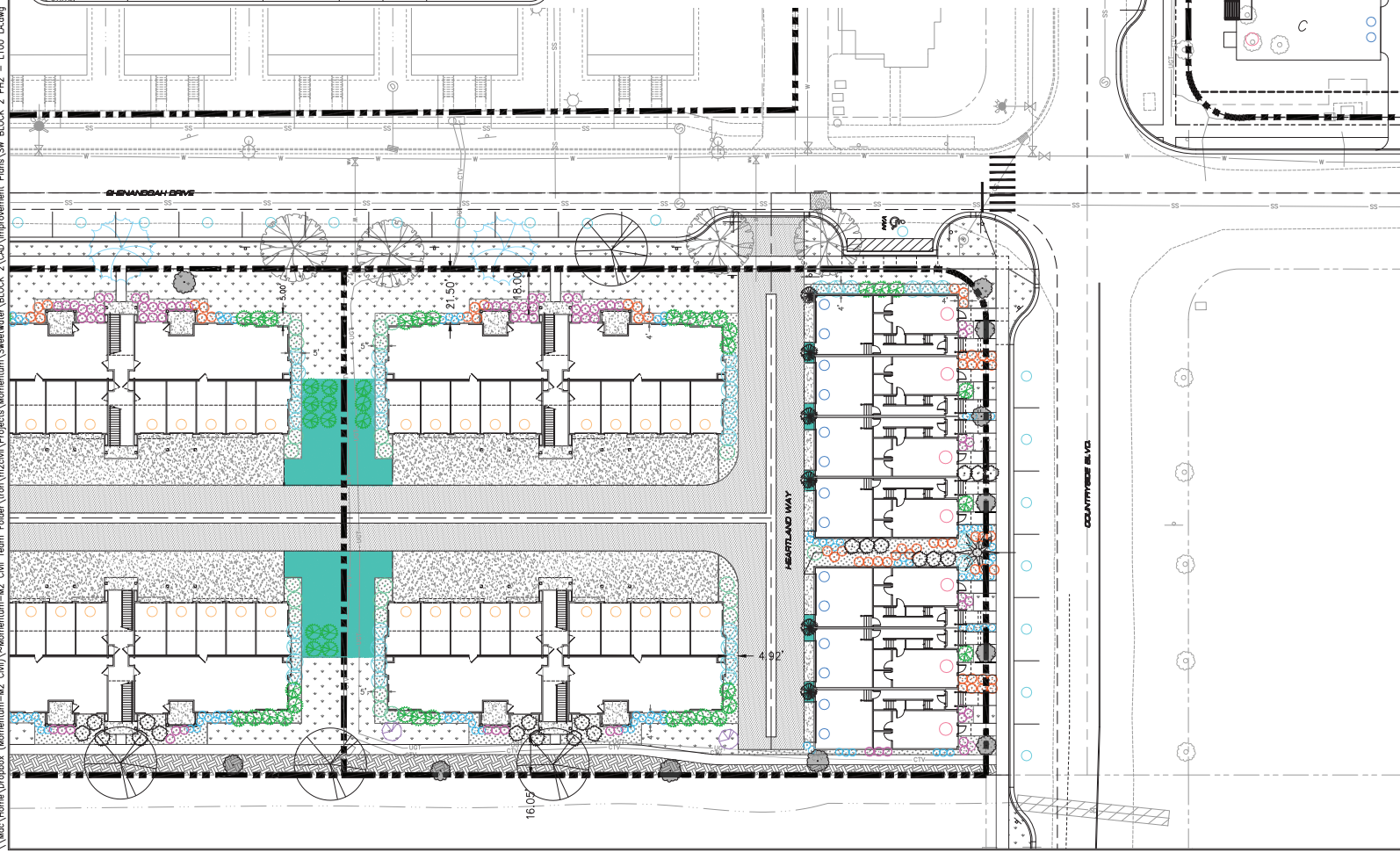
Plant Material List FOR PHASE 1

SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT SIZE	HEIGHT	SPREAD	COMMENT
Trees								
RE	2	Red Maple	<i>Acer grandidentatum</i>	25'	Cont.	2.5' cal.	6' min.	4' min. Full Canopy, Healthy, Good Form
SR	6	Sky Rocket Juniper	<i>Juniperus scopulorum 'Sky Rocket'</i>	25'	Cont.	#7	4' min.	3' min. Full Canopy, Healthy, Good Form
CH	2	Chokeberry	<i>Prunus virginiana</i>	25'	Cont.	2.5' cal.	6' min.	4' min. Full Canopy, Healthy, Good Form
LL	1	Littleleaf Linden	<i>Tilia cordata</i>	25'	Cont.	4" cal.	6' min.	4' min. Full Canopy, Healthy, Good Form
HO	3	Honeylocust	<i>Gleditsia triacanthos inermis 'Imperial'</i>	25'	Cont.	3" cal.	6' min.	4' min. Full Canopy, Healthy, Good Form
Ground Covers								
		Kentucky Blue Grass Sod			6,463 S.F.			
		Bark Mulch			5,133 S.F.			Installed in Planter Beds
		Rock Mulch			1,357 S.F.			Installed in Alley Areas, & between units along drive
		Native Grass Seeding			1,565 S.F.			Installed along southwest boundary

Plant Material List FOR PHASE 1

SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT SIZE	HEIGHT	SPREAD	COMMENT
Shrubs								
RD	16	Redtwig Dogwood	<i>Cornus alba 'Elegantissima'</i>	3'	Cont.	gal.	3' min.	3' min. Healthy, Good Form
PI	45	Pink Princess Cinqfoil	<i>Potentilla fruticosa 'Pink Princess'</i>	3'	Cont.	gal.	3' min.	3' min. Healthy, Good Form
MU	27	Mugo Pin	<i>Pinus mugo</i>	3'	Cont.	1 gal.	12" min.	12" min. Healthy, Good Form
CR	47	Creeping Mahonia	<i>Mahonia repens</i>	3'	Cont.	1 gal.	12" min.	12" min. Healthy, Good Form
IV	65	Ivory Halo® Dogwood	<i>Cornus alba 'Bailhailo'</i>	3'	Cont.	1 gal.	12" min.	12" min. Healthy, Good Form
SN	27	Common Snowberry Bush	<i>Symphoricarpos albus</i>	5'	Cont.	5 gal.	4' min.	4' min. Full Canopy, Healthy, Good Form
NE	15	Norway Spruce Pumila Dwarf	<i>Picea abies 'Pumila'</i>	5'	Cont.	gal.	3' min.	3' min. Full Canopy, Healthy, Good Form

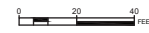
In Accordance to the Current Edition of The American Standard for Nursery Stock



IRRIGATION NOTES:
1. ALL IRRIGATION DESIGN TO BE DESIGNED BY OTHERS, AT A FUTURE DATE.

LEGEND
EXISTING TREES-PROTECTED IN PLACE

RELOCATED TREES
(REPLACE ASH TREES WITH OTHER)
NEW LOCATIONS
QUANTITY 11











SWEETWATER BLOCK 2 PROPOSED LANDSCAPING PLAN PHASE 1










SHEET NUMBER
L-101
SCALE
HORIZONTAL: 1"=20'
VERTICAL: 1"=10'
JOB NUMBER
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES
FOR CONSTRUCTION

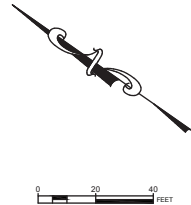
THE ENGINEER HEREBY CERTIFIES THAT HE IS A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF UTAH AND THAT HE HAS PREPARED THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTAH PROFESSIONAL ENGINEERING ACT.

SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
Trees									
	CH	1	Chokeberry <i>Prunus virginiana</i>	25'	Cont.	2.5" cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
	LL	1	Littleleaf Linden <i>Tilia cordata</i>	25'	Cont.	4" cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
	HO	2	Honeylocust <i>Gleditsia inermis</i> 'Inermis' 'Inermis'	25'	Cont.	3" cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
	RE	1	Red Maple <i>Acer grandidentatum</i>	25'	Cont.	2.5" cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
Ground Covers									
			Kentucky Blue Grass Sod			6,054 S.F.			
			Bark Mulch			2,911 S.F.			Installed in Planter Beds
			Rock Mulch			2,860 S.F.			Installed between units along drive
			Native Grass Seeding			1,538 S.F.			Installed along southwest boundary

SYM.	KEY	QTY	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
Shrubs									
	RD	14	Redwing Dogwood <i>Cornus alba 'Elegantissima'</i>	3'	Cont.	gal.	3' min.	3' min.	Healthy, Good Form
	PI	28	Pink Princess Cinquafolia <i>Potentilla fruticosa 'Pink Princess'</i>	3'	Cont.	gal.	3' min.	3' min.	Healthy, Good Form
	MU	36	Mugo Pin <i>Pinus mugo</i>	3'	Cont.	1 gal.	12" min.	12" min.	Healthy, Good Form
	CR	8	Creeping Mahonia <i>Mahonia repens</i>	3'	Cont.	1 gal.	12" min.	12" min.	Healthy, Good Form
	IV	26	Ivory Halo® Dogwood <i>Cornus alba 'Bailhator'</i>	3'	Cont.	1 gal.	12" min.	12" min.	Healthy, Good Form
	SN	20	Common Snowberry Bush <i>Symphoricarpos albus</i>	5'	Cont.	5 gal.	4' min.	4' min.	Full Canopy, Healthy, Good Form
	NE	6	Norway Spruce Pumila Dwarf <i>Picea abies 'Pumila'</i>	5'	Cont.	gal.	3' min.	3' min.	Full Canopy, Healthy, Good Form

In Accordance to the Current Edition of The American Standard for Nursery Stock

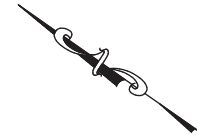
In Accordance to the Current Edition of The American Standard for Nursery Stock



1. ALL IRRIGATION DESIGN TO BE DESIGNED BY OTHERS, AT A FUTURE DATE.

EXISTING TREES-PROTECTED IN PLACE

RELOCATED TREES
(REPLACE ASH TREES WITH OTHER)
NEW LOCATIONS
QUANTITY 5



**SWEETWATER BLOCK 2 PHASE 2
PROPOSED LANDSCAPING PLAN
PHASE 2**

PREPARED FOR: SWEETWATER COMMUNITIES



MOMENTUM
DEVELOPMENT GROUP
10421 S. JORDAN GATEWAY,
SUITE 200, SOUTH JORDAN,
UTAH 84095
801-316-3216 TEL











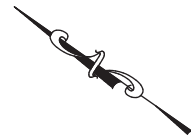
SHEET NUMBER
L-101

SCALE
HORIZONTAL: 1"=20'
VERTICAL: 1"=10'

JOB NUMBER
47-0172

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

Plant Material List FOR PHASE 3									
COMMON NAME			SCIENTIFIC NAME						
SYML	KEY	QTY.		O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
Trees									
	RE	6	Red Maple <i>Acer grandidentatum</i>	25'	Cont.	3' cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
	CH	5	Chokecherry <i>Prunus virginiana</i>	25'	Cont.	2.5' cal	6' min.	4' min.	Full Canopy, Healthy, Good Form
	LL	3	Lilballed Linden <i>Tilia cordata</i>	25'	Cont.	4' cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
	HO	6	Honeylocust <i>Gleditsia inaequalis inermis</i> Temporal	25'	Cont.	3' cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
Ground Covers									
			Kentucky Blue Grass Sod	24,516 F.					
			Bark Mulch	8,773 S.F.					Installed in Planter Beds
			Rock Mulch	5,816 S.F.					Installed between units along drive
			Native Grass Seeding	5,073 S.F.					Installed along southwest boundary



IRRIGATION NOTES:
1. ALL IRRIGATION DESIGN TO BE DESIGNED BY OTHERS, AT A FUTURE DATE.

LEGEND

EXISTING TREES—PROTECTED IN PLACE

RELOCATED TREES
(REPLACE ASH TREES WITH OTHER)

NEW LOCATIONS
QUANTITY 7

**SWEETWATER BLOCK 2
PROPOSED LANDSCAPING PLAN
PHASE 3**



SHEET NUMBER
L-103

SCALE
HORIZONTAL: 1"=20'
VERTICAL: 1"=10'

JOB NUMBER
47-0172

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.




PREPARED FOR: SWEETWATER COMMUNITIES

FOR CONSTRUCTION

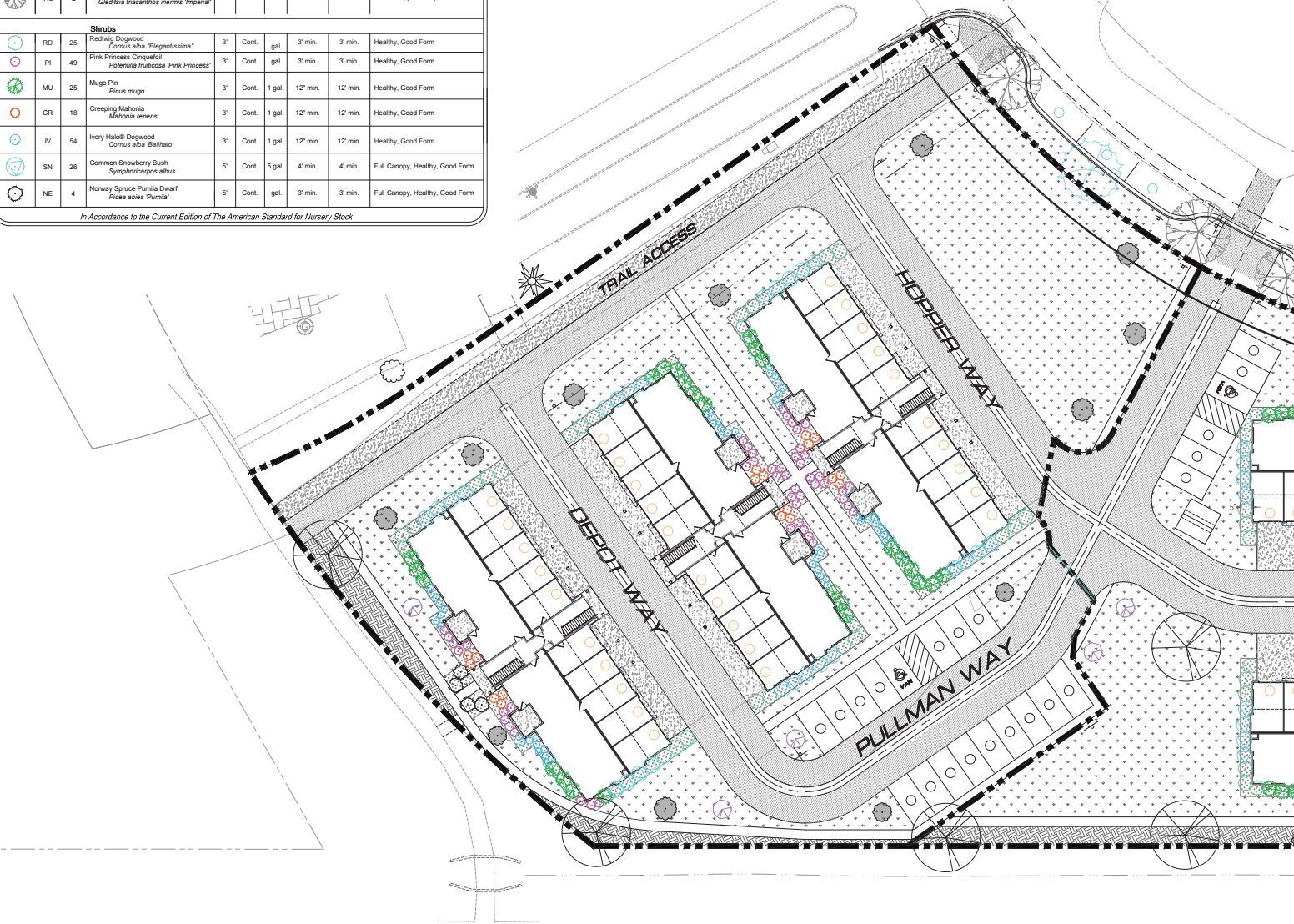
Plant Material List FOR PHASE 4

SYM.	KEY	QTY.	COMMON NAME	SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
Trees										
RE	2		Red Maple	<i>Acer grandidentatum</i>	25'	Cont.	2.5' cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
SR	3		Chokecherry	<i>Prunus virginiana</i>	25'	Cont.	2.5' cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
LL	1		Littleleaf Linden	<i>Tilia cordata</i>	25'	Cont.	4" cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
HO	2		Honeylocust	<i>Gleditsia triacanthos inermis 'Imperial'</i>	25'	Cont.	3" cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
Shrubs										
RD	25		Redtwig Dogwood	<i>Cornus alba 'Elegantissima'</i>	3'	Cont.	gal.	3' min.	3' min.	Healthy, Good Form
PI	49		Pink Princess Cinquefoil	<i>Potentilla fruticosa 'Pink Princess'</i>	3'	Cont.	gal.	3' min.	3' min.	Healthy, Good Form
MU	25		Mugo Pin	<i>Pinus mugo</i>	3'	Cont.	1 gal.	12" min.	12" min.	Healthy, Good Form
CR	18		Creeeping Mahonia	<i>Mahonia repens</i>	3'	Cont.	1 gal.	12" min.	12" min.	Healthy, Good Form
IV	54		Ivory Halo® Dogwood	<i>Cornus alba 'Haliohalo'</i>	3'	Cont.	1 gal.	12" min.	12" min.	Healthy, Good Form
SN	26		Common Snowberry Bush	<i>Symphoricarpos albus</i>	5'	Cont.	5 gal.	4' min.	4' min.	Full Canopy, Healthy, Good Form
NE	4		Norway Spruce Pumila Dwarf	<i>Picea abies 'Pumila'</i>	5'	Cont.	gal.	3' min.	3' min.	Full Canopy, Healthy, Good Form

In Accordance to the Current Edition of The American Standard for Nursery Stock

Ground Covers			
	Kentucky Blue Grass Sod	21,881 S.F.	
	Bark Mulch	4,075 S.F.	Installed in Planter Beds
	Native Grass Seeding	2,873 S.F.	Installed along southwest boundary

In Accordance to the Current Edition of The American Standard for Nursery Stock



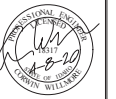
IRRIGATION NOTES:
1. ALL IRRIGATION DESIGN TO BE DESIGNED BY OTHERS, AT A FUTURE DATE.

LEGEND
EXISTING TREES-PROTECTED IN PLACE

RELOCATED TREES
(REPLACE ASH TREES WITH OTHER)
NEW LOCATIONS
QUANTITY 11



SWEETWATER BLOCK 2 PROPOSED LANDSCAPING PLAN PHASE 4



SHEET NUMBER
L-104

SCALE
HORIZONTAL: 1"=20'
VERTICAL: 1"=10'

JOB NUMBER
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES
FOR CONSTRUCTION

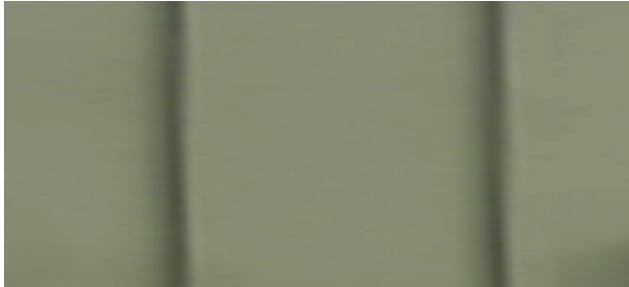
THE ENGINEER HEREBY CERTIFIES THAT HE IS A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF UTAH AND THAT HE HAS PREPARED THIS PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTAH PROFESSIONAL ENGINEERING ACT.



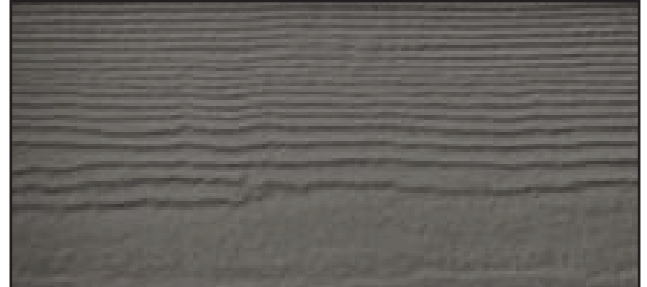
THIN STONE VENEER, CEDAR STONE SUPPLY
"MADISON MOUNTIAN"



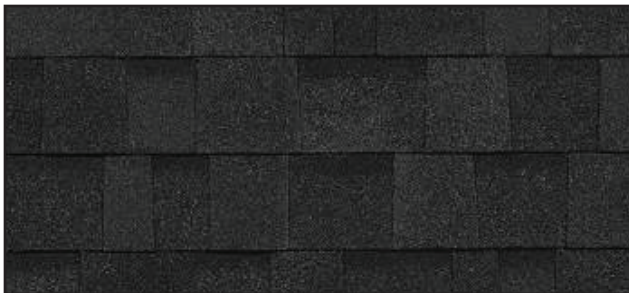
EIFS, "COBBLE STONE"



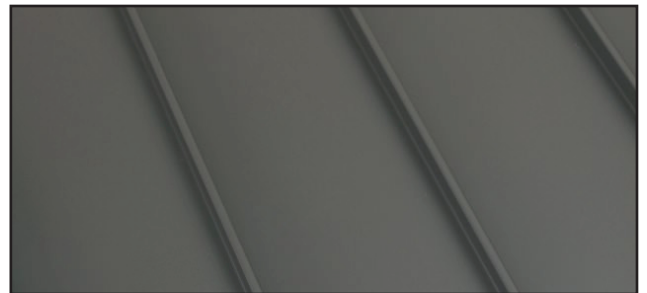
BOARD AND BATTEN SIDING, FIBER CEMENT,
"HEATHERED MOSS"



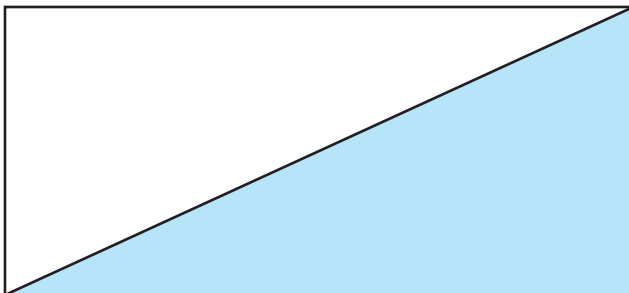
TRIM, FIBER CEMENT,
"RICH ESPRESSO"



ASPHALT SHINGLE ROOF,
BLACK



GALVANIZED STANDING SEAM METAL ROOF,
"DEEP CHARCOAL"



VINYL WINDOWS



3'-0" HIGH GALVANIZED METAL GUARDRAIL,
"JET BLACK", AND 3" x 3"
STEEL MESH INFILL

EXTERIOR FINISH MATERIALS AND COLORS

SWEETWATER LIVE/WORK 4 PLEX



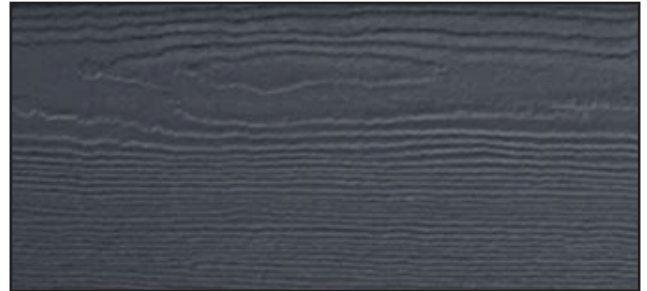
THIN STONE VENEER, CEDAR STONE SUPPLY
"MADISON MOUNTIAN"



EIFS, "WOODSTOCK BROWN"



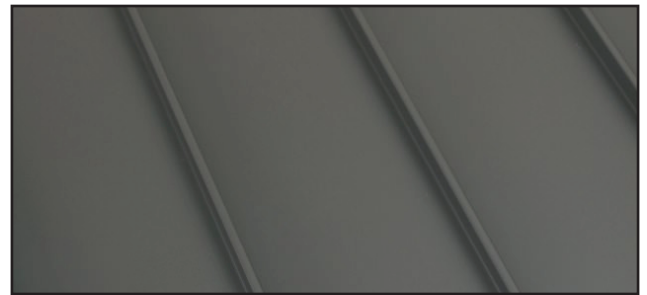
BOARD AND BATTEN SIDING, FIBER CEMENT,
"TIMBER BARK"



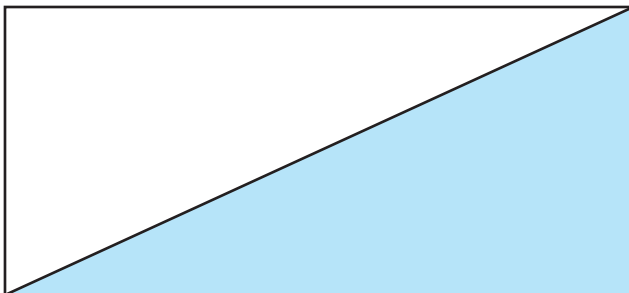
TRIM, FIBER CEMENT,
"DEEP OCEAN"



ASPHALT SHINGLE ROOF,
BLACK



GALVANIZED STANDING SEAM METAL ROOF,
"CHARCOAL GRAY"



VINYL WINDOWS



3'-0" HIGH GALVANIZED METAL GUARDRAIL,
"JET BLACK", AND 3" x 3"
STEEL MESH INFILL

EXTERIOR FINISH MATERIALS AND COLORS

SWEETWATER LIVE/WORK 4 PLEX





LEFT ELEVATION 4
1/8" = 1'-0"



RIGHT ELEVATION 3
1/8" = 1'-0"



STONE VENEER: CEDAR STONE SUPPLY
MADISON MOUNTAIN



LAP SIDING: TRUWOOD 5" COTTAGE LAP
COLOR: JORDANELLE - NAVAJO BEIGE



BATTEN BOARD SIDING: TRUWOOD
COLOR: JORDANELLE AGED PEWTER



SHAKE SIDING: TRUWOOD
16 1/2" BEVEL KING CEDAR SHAKE
COLOR: JORDANELLE AGED PEWTER



ASPHALT SHINGLE ROOF: IKD
CAMBRIDGE COLLECTION
COLOR: BLACK



FIBERGLASS DOORS: THERMA TRU - S4510
PAINT, CLEAR, LOW-E, DUAL PANE GLASS
COLOR: TBD



OVERHEAD DOOR: OVERHEAD DOOR CO.
COLOR BENJAMIN MOORE JET BLACK 2120



VINYL WINDOWS: AMSCO STUDIO SERIES
PAINT, CLEAR, LOW-E, DUAL PANE GLASS
COLOR: WHITE



STEEL GUARDRAIL: 3"x3" PAINTED STEEL MESH
COLOR BENJAMIN MOORE JET BLACK 2120



TRUSS STAIN: SEMI-TRANSPARENT
STAIN: CLASSIC BLACK

EXTERIOR FINISH MATERIALS AND COLORS



FRONT ELEVATION 2
1/8" = 1'-0"



REAR ELEVATION 1
1/8" = 1'-0"

PONTIS
ARCHITECTURAL GROUP

248 SOUTH MAIN STREET
SPRINGVILLE, UT 84663
(801) 704-9551

REVISION:	DATE:

PROJECT NAME:
IDAHO SWEETWATER
CONDOS
10 PLEX

ADDRESS:
HAILEY, ID 83333

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SEAL:



DRAWING NAME:
**COLOR
ELEVATIONS
WITH COLOR
SCHEME #4**

DRAWN BY: CP
CHECKED BY: AS
PRINT DATE:
PROJECT #: 1524

ELEV4



LEFT ELEVATION 4
1/8" = 1'-0"



RIGHT ELEVATION 3
1/8" = 1'-0"



STONE VENEER: CEDAR STONE SUPPLY
MADISON MOUNTAIN



LAP SIDING: TRUWOOD 5" COTTAGE LAP
COLOR: JORDANELLE MONTEREY TAUPE



BATTEN BOARD SIDING: TRUWOOD
COLOR: JORDANELLE BOOTHBAY BLUE



SHAKE SIDING: TRUWOOD
10 1/2" BEVEL KING CEDAR SHAKE
COLOR: JORDANELLE BOOTHBAY BLUE



ASPHALT SHINGLE ROOF: IKD
CAMBRIDGE COLLECTION
COLOR: BLACK



FIBERGLASS DOORS: THERMATU - S4510
PAINT, CLEAR, LOW-E, DUAL PANE GLASS
COLOR: TBD



OVERHEAD DOOR: OVERHEAD DOOR CO.
COLOR BENJAMIN MOORE JET BLACK 2120



VINYL WINDOWS: AMSCO STUDIO SERIES
PAINT, CLEAR, LOW-E, DUAL PANE GLASS
COLOR: WHITE



STEEL GUARDRAIL: 3"x3" PAINTED STEEL MESH
COLOR BENJAMIN MOORE JET BLACK 2120



TRUSS STAIN: SEMI-TRANSPARENT
STAIN: CLASSIC BLACK

EXTERIOR FINISH MATERIALS AND COLORS



FRONT ELEVATION 2
1/8" = 1'-0"



REAR ELEVATION 1
1/8" = 1'-0"

PONTIS
ARCHITECTURAL GROUP

248 SOUTH MAIN STREET
SPRINGVILLE, UT 84663
(801) 704-9551

REVISION:	DATE:

PROJECT NAME:
IDAHO SWEETWATER
CONDOS
10 PLEX

ADDRESS:
HAILEY, ID 83333

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ARCHITECTURAL GROUP, LLC.

SEAL:



DRAWING NAME:
COLORED
ELEVATIONS
WITH COLOR
SCHEME #4

DRAWN BY: CP
CHECKED BY: AS
PRINT DATE:
PROJECT #: 1524

ELEV4



LEFT ELEVATION 4
1/8" = 1'-0"



RIGHT ELEVATION 3
1/8" = 1'-0"

<p>STONE VENEER: CEDAR STONE SUPPLY MADISON MOUNTAIN</p>	<p>LAP SIDING: TRUWOOD 5" COTTAGE LAP COLOR: JORDANELLE - KHAKI BROWN</p>
<p>BATTEN BOARD SIDING: TRUWOOD COLOR: JORDANELLE COUNTRYLANE RED</p>	<p>SHAKE SIDING: TRUWOOD 10 1/2" BEVEL KING CEDAR SHAKE COLOR: JORDANELLE COUNTRYLANE RED</p>
<p>ASPHALT SHINGLE ROOF: IKD CAMBRIDGE COLLECTION COLOR: BLACK</p>	<p>FIBERGLASS DOORS: THERMA TRU - S4510 PAINT, CLEAR, LOW-E, DUAL PANE GLASS COLOR: TBD</p>
<p>OVERHEAD DOOR: OVERHEAD DOOR CO. COLOR BENJAMIN MOORE JET BLACK 2120</p>	<p>VINYL WINDOWS: AMSCO STUDIO SERIES PAINT, CLEAR, LOW-E, DUAL PANE GLASS COLOR: WHITE</p>
<p>STEEL GUARDRAIL: 3"x3" PAINTED STEEL MESH COLOR BENJAMIN MOORE JET BLACK 2120</p>	<p>TRUSS STAIN: SEMI-TRANSPARENT STAIN: CLASSIC BLACK</p>

EXTERIOR FINISH MATERIALS AND COLORS



FRONT ELEVATION 2
1/8" = 1'-0"



REAR ELEVATION 1
1/8" = 1'-0"

PONTIS
ARCHITECTURAL GROUP
248 SOUTH MAIN STREET
SPRINGVILLE, UT 84663
(801) 704-9551

REVISION:	DATE:

PROJECT NAME:
**IDAHO SWEETWATER
CONDOS
10 PLEX**
ADDRESS:
HAILEY, ID 83333

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SEAL:

DRAWING NAME:
**COLOR
ELEVATIONS
WITH COLOR
SCHEME #4**

DRAWN BY: CP
CHECKED BY: AS
PRINT DATE:
PROJECT #: 1524

ELEV4



LEFT ELEVATION 4
1/8" = 1'-0"



RIGHT ELEVATION 3
1/8" = 1'-0"

<p>STONE VENEER: CEDAR STONE SUPPLY MADISON MOUNTAIN</p>	<p>LAP SIDING: TRUWOOD 5" COTTAGE LAP COLOR: JORDANELLE - NAVAJO BEIGE</p>
<p>BATTEN BOARD SIDING: TRUWOOD COLOR: JORDANELLE MOUNTAIN SAGE</p>	<p>SHAKE SIDING: TRUWOOD 10 1/2" BEVEL KING CEDAR SHAKE COLOR: JORDANELLE MOUNTAIN SAGE</p>
<p>ASPHALT SHINGLE ROOF: IKD CAMBRIDGE COLLECTION COLOR: BLACK</p>	<p>FIBERGLASS DOORS: THERMA TRU - S4510 PAINT, CLEAR, LOW-E, DUAL PANE GLASS COLOR: TBD</p>
<p>OVERHEAD DOOR: OVERHEAD DOOR CO. COLOR BENJAMIN MOORE JET BLACK 2120</p>	<p>VINYL WINDOWS: AMSCO STUDIO SERIES PAINT, CLEAR, LOW-E, DUAL PANE GLASS COLOR: WHITE</p>
<p>STEEL GUARDRAIL: 3"x3" PAINTED STEEL MESH COLOR BENJAMIN MOORE JET BLACK 2120</p>	<p>TRUSS STAIN: SEMI-TRANSPARENT STAIN: CLASSIC BLACK</p>

EXTERIOR FINISH MATERIALS AND COLORS



FRONT ELEVATION 2
1/8" = 1'-0"



REAR ELEVATION 1
1/8" = 1'-0"

PONTIS
ARCHITECTURAL GROUP
248 SOUTH MAIN STREET
SPRINGVILLE, UT 84663
(801) 704-9551

REVISION:	DATE:

PROJECT NAME:
**IDAHO SWEETWATER
CONDOS
10 PLEX**
ADDRESS:
HAILEY, ID 83333

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