

Agenda
Hailey Planning and Zoning Commission
Monday, April 7, 2025
5:00 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

[Download Teams](#) | [Join on the web](#)

Or call in (audio only)

[+1 469-206-8535,,602369677#](#) United States, Dallas

Phone Conference ID: 602 369 677#

Call to Order

- Public Comment for items not on the Agenda.

Presentation - ACTION ITEM

- Implementation of Phase 1 of the Downtown Master Plan Presentation by GGLO, LLC.

Consent Agenda - ACTION ITEM

- [CA 1](#) Motion to approve Findings of Fact, Conclusions of Law, and Decision of a City-Initiated Amendment amending various sections in and/or adding new sections to Hailey's Comprehensive Plan. The following sections are proposed to be modified: Section 5: Land Use; Section 6: Economic Development; Section 8: Housing; and Section 10: Transportation. A new section is proposed to be added and includes Section 15: Sustainability. The proposed amendments are pursuant to Title 67, Chapter 65, Local Land Use Planning. **ACTION ITEM**
- [CA 2](#) Motion to approve Findings of Fact, Conclusions of Law, and Decision of a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, by adding paragraph "J", items J.1., J.2., J.3, and J.4.; which establishes provisions and/or flexibility of maximum building height, maximum lot coverage, and the consideration of other exceptions to the bulk requirements for all development projects preserving a historic commercial or residential structure. **ACTION ITEM**
- [CA 3](#) Motion to approve meeting minutes dated March 17, 2025. **ACTION ITEM**

Public Hearing(s) 5:30PM - ACTION ITEM

- [PH 1](#) Consideration of a Preliminary Plat Application by Hailey 31, LLC represented by Galena-Benchmark Engineering, to subdivide Copper Ranch #1 Parcel A5 into 31 condominium units. **ACTION ITEM**

- [PH 2](#) Consideration of a Design Review Application by ARCH Community Housing Trust. Inc., for the construction of a duplex, consisting of two (2) attached dwelling units, with 1,670 square feet of living space each. This project is located at the addresses of 702 S 3rd Avenue, 623 S 4th Avenue, and 715 S 4th Avenue (Lots 2, 3, 4, 5, and 6, Blocks 1 and 125, Hailey Replat) in the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The subject property has been, and continues to be, commonly known as the Ellsworth Inn property. **ACTION ITEM**

Administrative Review – NO ACTION ITEM

- [AR 1](#) Consideration of a Design Review Exemption by C&R Electric (Little Wood River Properties, LLC) for a façade change to the existing 3,240 square foot commercial site.
- [AR 2](#) Consideration of a Design Review Exemption by Luke’s Pharmacy and Wellness for a façade change to the existing 3,507 square foot commercial building on site.
- [AR 3](#) Consideration of a Design Review Exemption by City of Hailey for the construction of an unenclosed event stage on City-owned property at Hop Porter Park.
- [AR 4](#) Consideration of a Design Review Modification by Piling Family Trust for an additional modification to the previously approved plans within the Sunbeam Subdivision I, Panorama Point Project, B2 House. The proposed amendment incorporates gabled rooflines for the proposed units on Sublots 1,2,4,6,7,8,9, and 10, Block 3, Sunbeam Subdivision.

Staff Reports and Discussion

- **SR 1** Discussion: Upcoming Projects, Code Changes, Next Planning and Zoning Meeting:
 - Monday, April 21, 2025:
 - DR Pre App: 1611 Aviation Drive
 - Monday, May 5, 2025:
 - DIF

Adjourn - No later than 8:00 PM - ACTION ITEM

Return to Agenda

Bullion Pathway Concept Refinement | Community Input

March 2025





Introduction

CONNECT DOWNTOWN TO PARKS & TRAILS

Create a multi-use path connecting Main Street to Hop Porter and Lions Parks.

IMPROVE SAFETY ALONG BULLION CORRIDOR

Provide a buffered path and designated crossings for cyclists and pedestrians traveling along Bullion Street.

INCREASE PLACEMAKING, BEAUTY & COMFORT

Contribute to the attractiveness, sense of place, and walkability of the corridor.

PROVIDE ENVIRONMENTAL BENEFIT

Expand roadway plantings that increase carbon sequestration, pollinator habitat, and heat island mitigation.

REDUCE DEPENDENCY ON VEHICULAR TRANSIT

Provide safe, convenient, and attractive routes for human-powered transit, making it easy to get around without a car.

DESIGN COST-EFFECTIVE SOLUTION

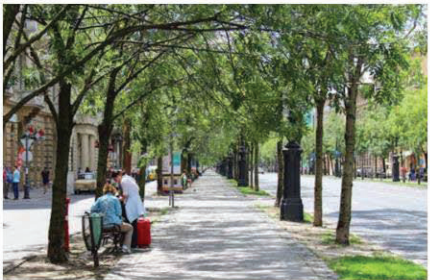
Specify a design that takes a responsible approach to the construction and maintenance costs of the streetscape.

BULLION STREET GOALS

This set of goals have been identified for the Bullion Street Enhancements project. These goals were developed from a review of public input, existing planning documents, and current conditions. The goals are not ranked in order of importance.

BULLION STREET PROMENADE CONCEPT DESIGN

The Bullion Street Promenade is envisioned as a way to improve the safety and comfort of accessing destinations along the corridor while also creating a celebrated connection between Downtown and the area's abundant parks and greenspaces. The promenade is conceived as a designated multi-use pathway separated from the roadway and buffered with plantings along its half-mile length. The project aims to increase the safety and attractiveness of traveling along Bullion Street and make it easier for residents and visitors to enjoy all Hailey has to offer.



Tree-lined Pedestrian Promenade

LEGEND

- Parcel Boundary
- Parks
- Wood River Land Trust Parcels
- Vehicular Access
- Pedestrian Access



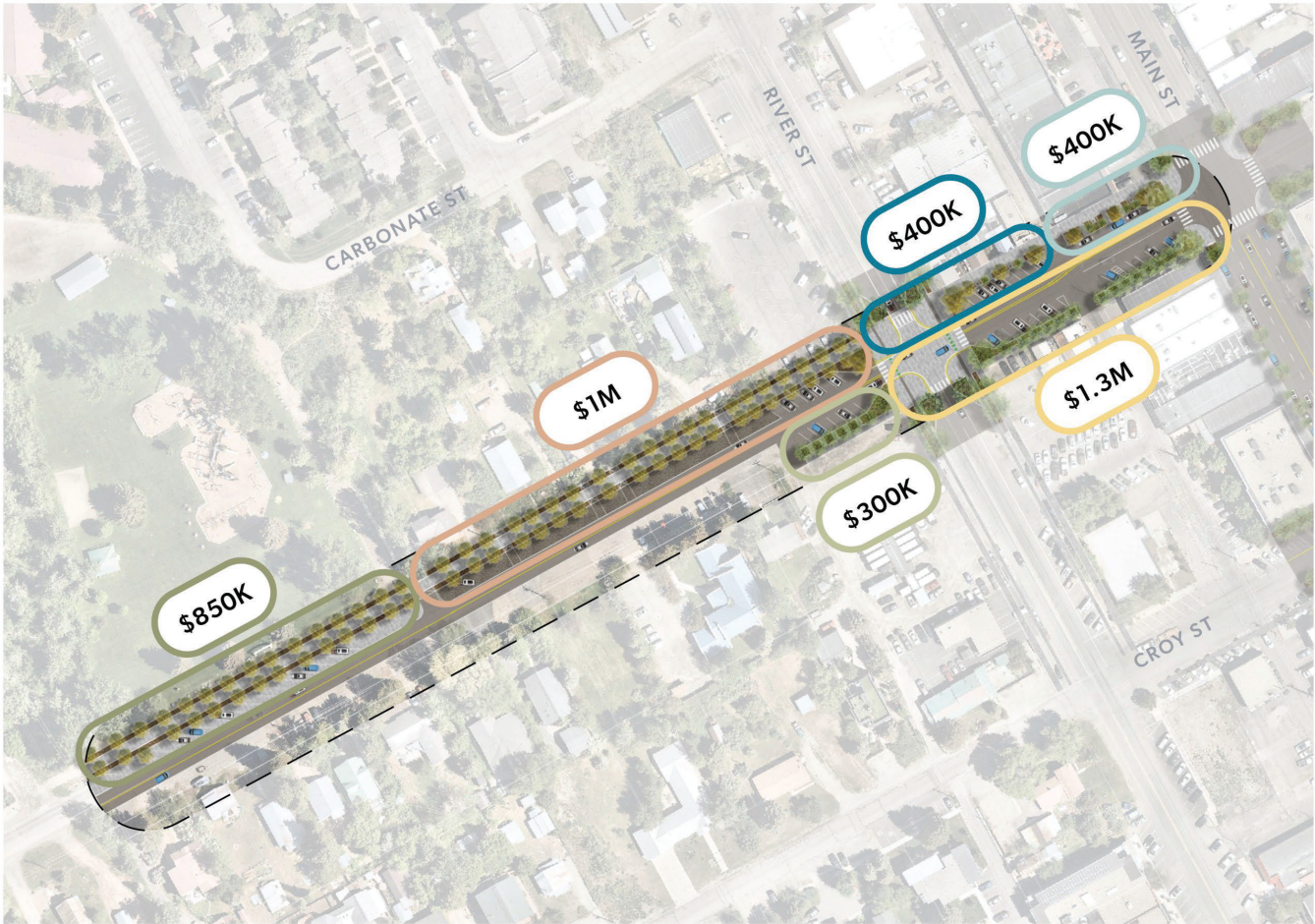


**BULLION STREET
PROMENADE**
CONCEPT SITE PLAN

PHASE 1 A & B

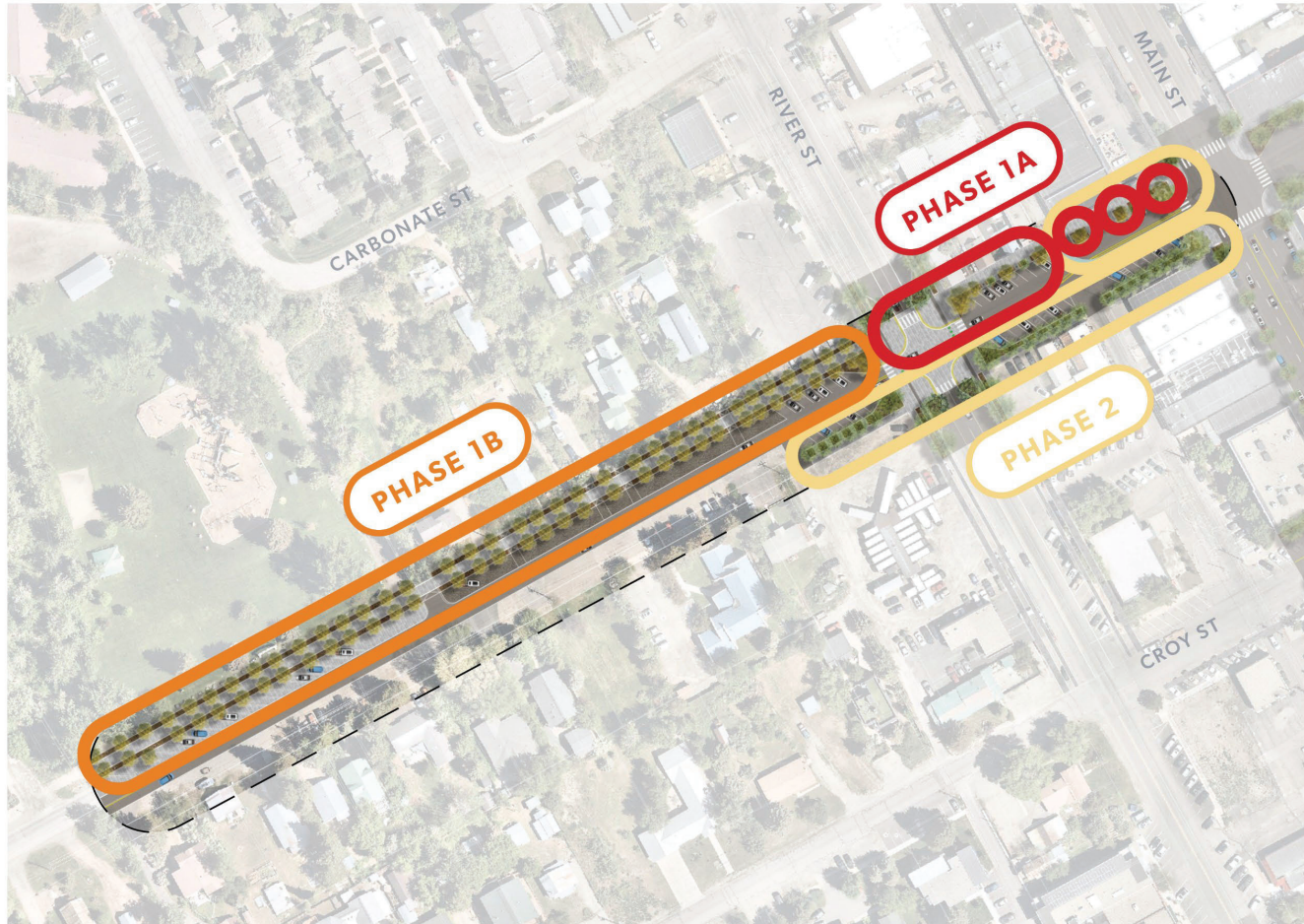
4 blocks from Main to Hop Porter Park,
north side of the street only, with only
partial improvements on the eastern half of
the block from River to Main.

Project Budget:
\$2,300,000



**BULLION STREET
PROMENADE**
CONCEPT SITE PLAN

The Bullion Street Promenade runs along the north side of Bullion Street from Main Street to Lions Park. The first phases of implementation aim to install the promenade from Main Street to Hop Porter Park, shown in the concept site plan here. The promenade takes the form of a 12'-wide, multi-use path lined on both sides with planters featuring Japanese Tree Lilacs and understory plantings. The ADA-compliant path is designed to accommodate human-powered transit of all kinds — bikers, walkers, runners, and rollers — making it easy for Hailey residents to get around without a vehicle. The promenade will also provide a useful connection to Downtown for festival and event attendees at Lions and Hop Porter Parks, encouraging visitors to wander Downtown and support local businesses. The path promises to become a signature feature of Hailey's Downtown and a critical link between Downtown and the area's natural and recreational amenities.



BULLION STREET PROMENADE CONCEPT SITE PLAN

PHASE 1A \$450K

1 block between River and Main;
Full implementation from River
Street intersection to alley, tactical
implementation from alley to Main Street.

PHASE 1B \$1.85M

3 blocks from River Street to Hop Porter
Park, north side of the street only.

PHASE 2 \$2M

1.5 blocks from Main to beyond River,
south side of street; new roadway Main to
River; complete implementation on N side
of block from Main to alley.



What we heard

Develop a process for more input to guide refinement of the plan and elements

Loosen up the layout and character – more informal, natural

Re-evaluate Tree Lilacs, consider other options, more diversity

Emphasize regionally appropriate, water wise trees and planting

Create something distinctive, welcoming and signature Hailey

TIMELINE

2025

February

March

April

May



Q3 2025 or later

2026 or later

2027 or later

Bullion Pathway Phase 1A Construction

Bullion Pathway Phase 1B Construction

Bullion Pathway Phase 2 Construction

Bullion Pathway Basics

What's it for?

A safe and enjoyable way for families to walk or bike to Hop Porter Park and out Croy Canyon

Who is it for?

Locals, shoppers, park user's, concert goers, bikers, walkers, strollers, all ages

What's it made of?

Pavers, art, lights, trees, planting, benches and pedestrian amenities

How will it be used?

Mostly for walkers to River Street, then for bikers, walkers and strollers. The pathway will be cleared of snow in the winter from Main to Hop Porter Park.

When will it be completed?

Initial phases will be completed by the end of 2026

How will it be maintained?

Maintenance of this project is very important and the pathway will be treated within the 'high priority' category for maintenance.



Guiding Vision

PLACEMAKING

The Bullion Pathway is intended to represent Hailey's culture and environment, be a destination, and a pleasant, comfortable draw for locals to walk and bike along to Hop Porter Park for events, to the Big Wood River, and out to the trails in Croy Canyon.

A guiding **Vision** or **Theme** elevates the experience of a place while providing a cohesive direction for the various project elements – including the paving, light fixtures, benches, planting, art and wayfinding.



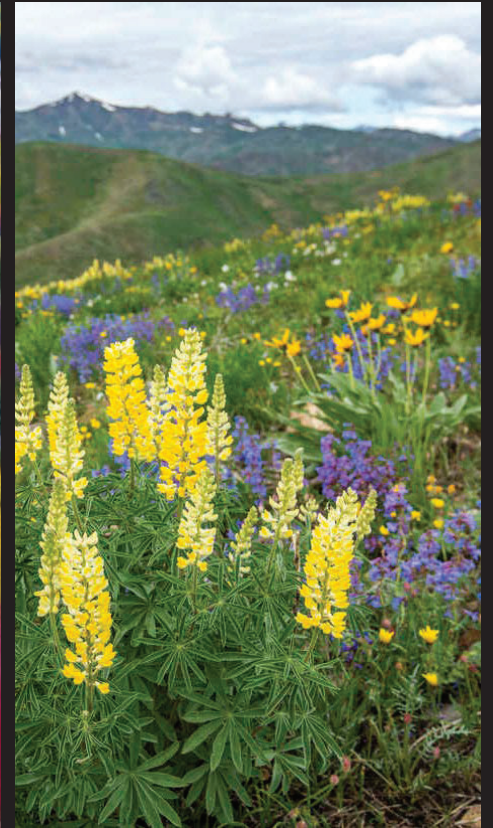
Big Wood River



Hailey's Quirky Culture



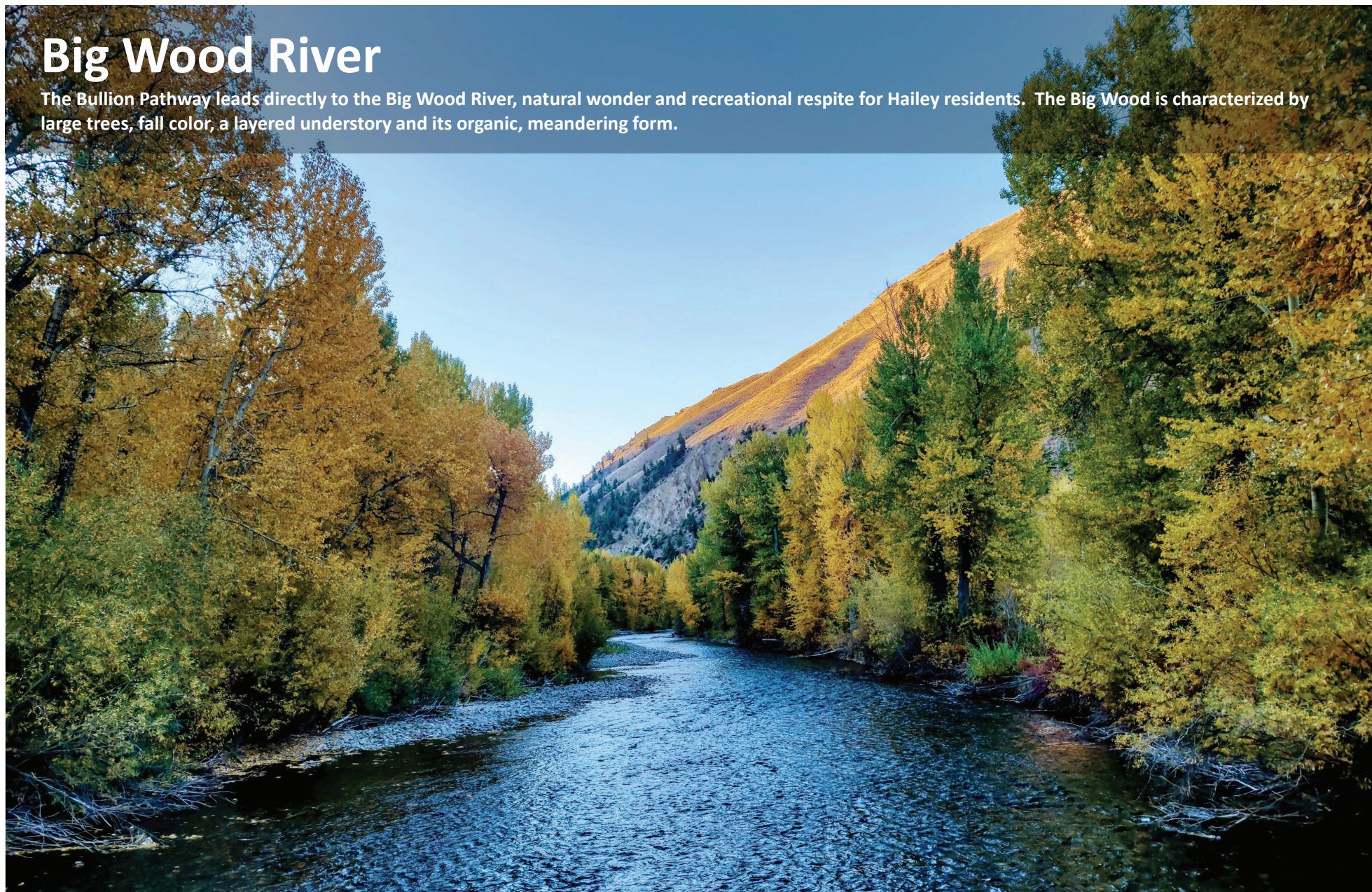
City of Trees



Carbonate Mt & Croy Canyon

Big Wood River

The Bullion Pathway leads directly to the Big Wood River, natural wonder and recreational respite for Hailey residents. The Big Wood is characterized by large trees, fall color, a layered understory and its organic, meandering form.



Big Wood River



Carbonate Mt & Croy Canyon

The Bullion Pathway connects to the Carbonate Mt. Trailhead and to mountain biking and strolling trails out Croy Canyon. The environment includes shrub steppe plant communities and unique drifts of yellow flowering lupine, among other native wildflowers, geologic features and beautiful valley views. There is a rustic charm to the experience, with old fence lines, past relics from ranching and railroad history and sagebrush.

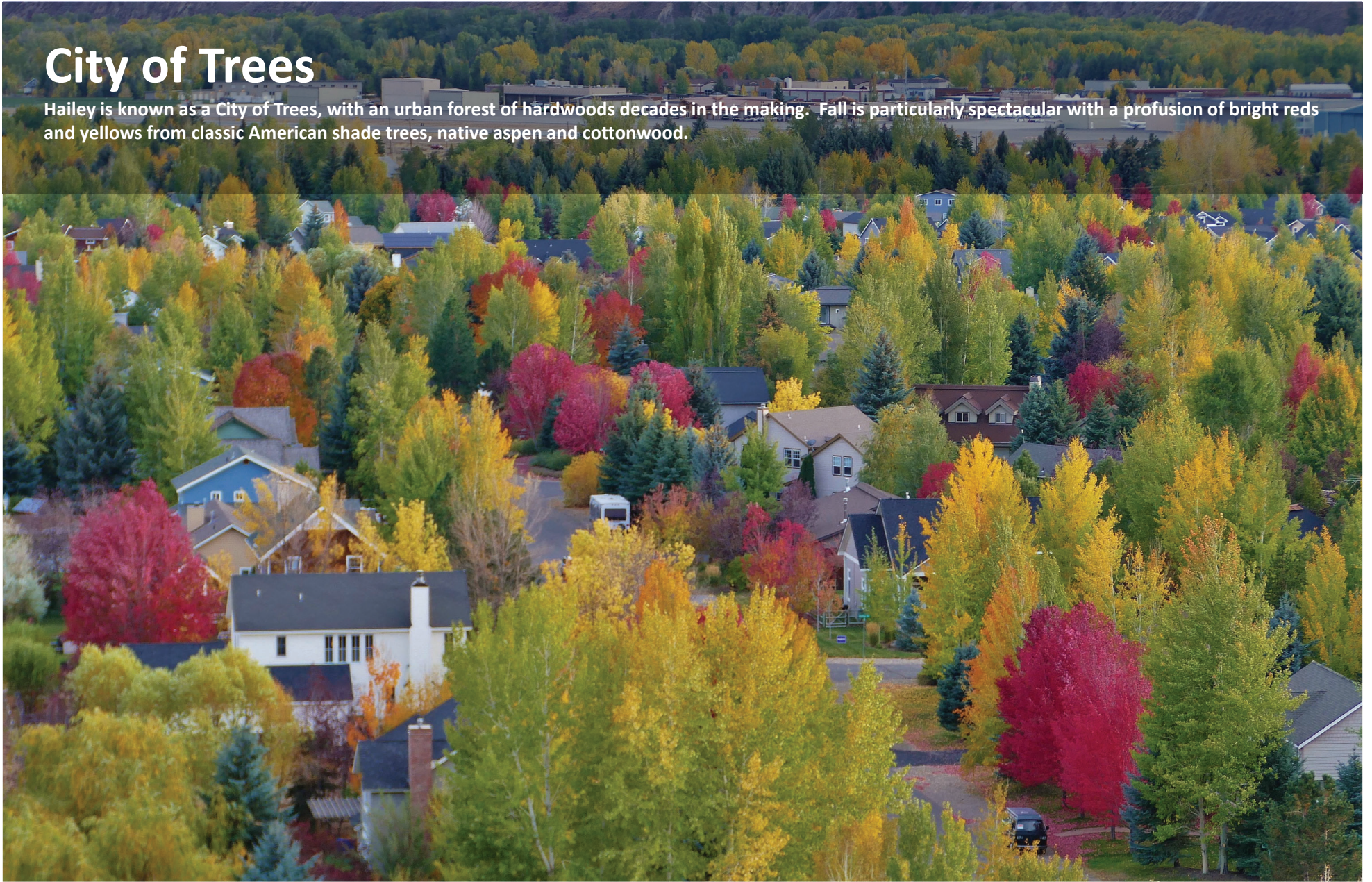


Carbonate Mt & Croy Canyon



City of Trees

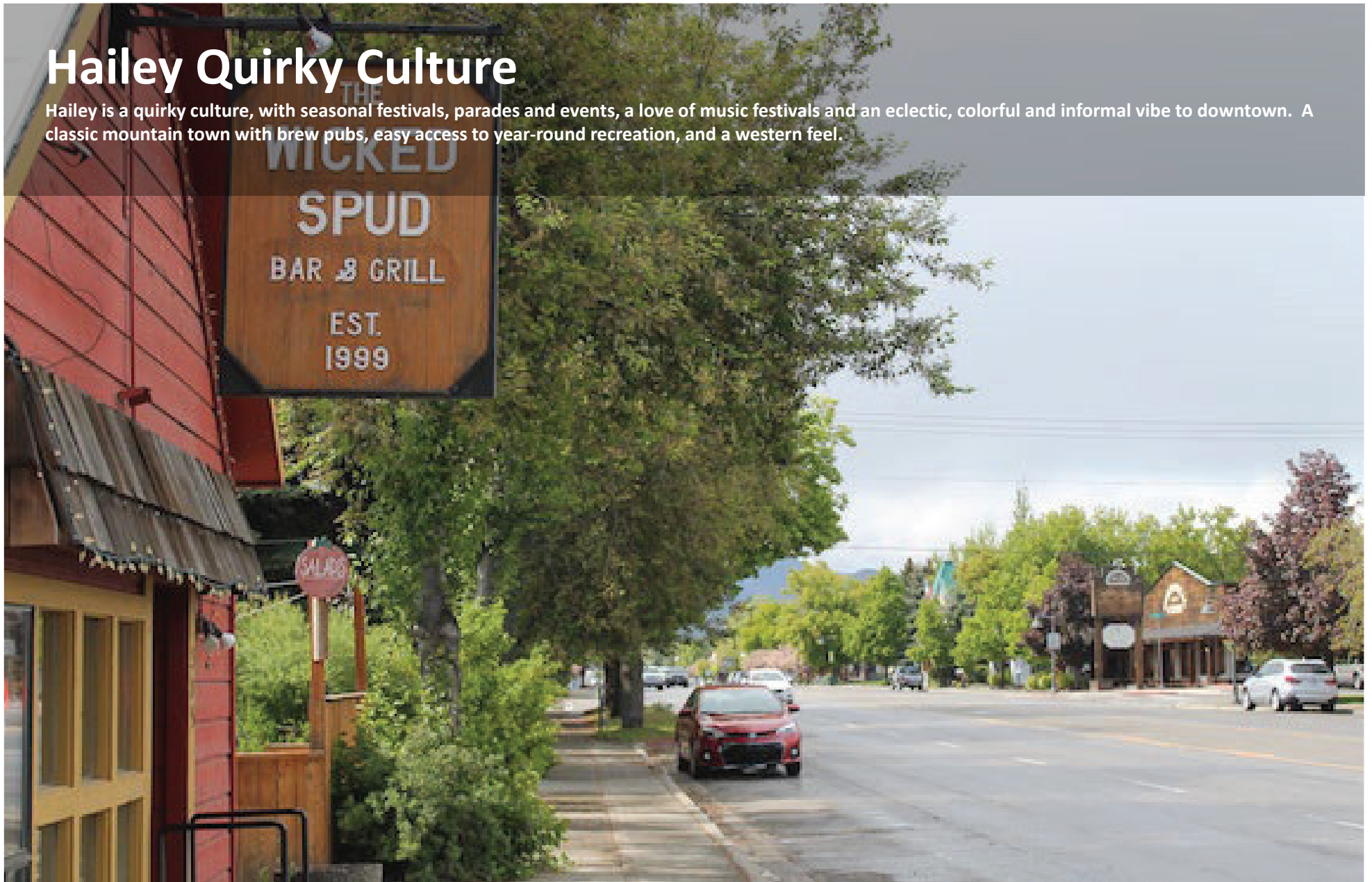
Hailey is known as a City of Trees, with an urban forest of hardwoods decades in the making. Fall is particularly spectacular with a profusion of bright reds and yellows from classic American shade trees, native aspen and cottonwood.





Hailey Quirky Culture

Hailey is a quirky culture, with seasonal festivals, parades and events, a love of music festivals and an eclectic, colorful and informal vibe to downtown. A classic mountain town with brew pubs, easy access to year-round recreation, and a western feel.



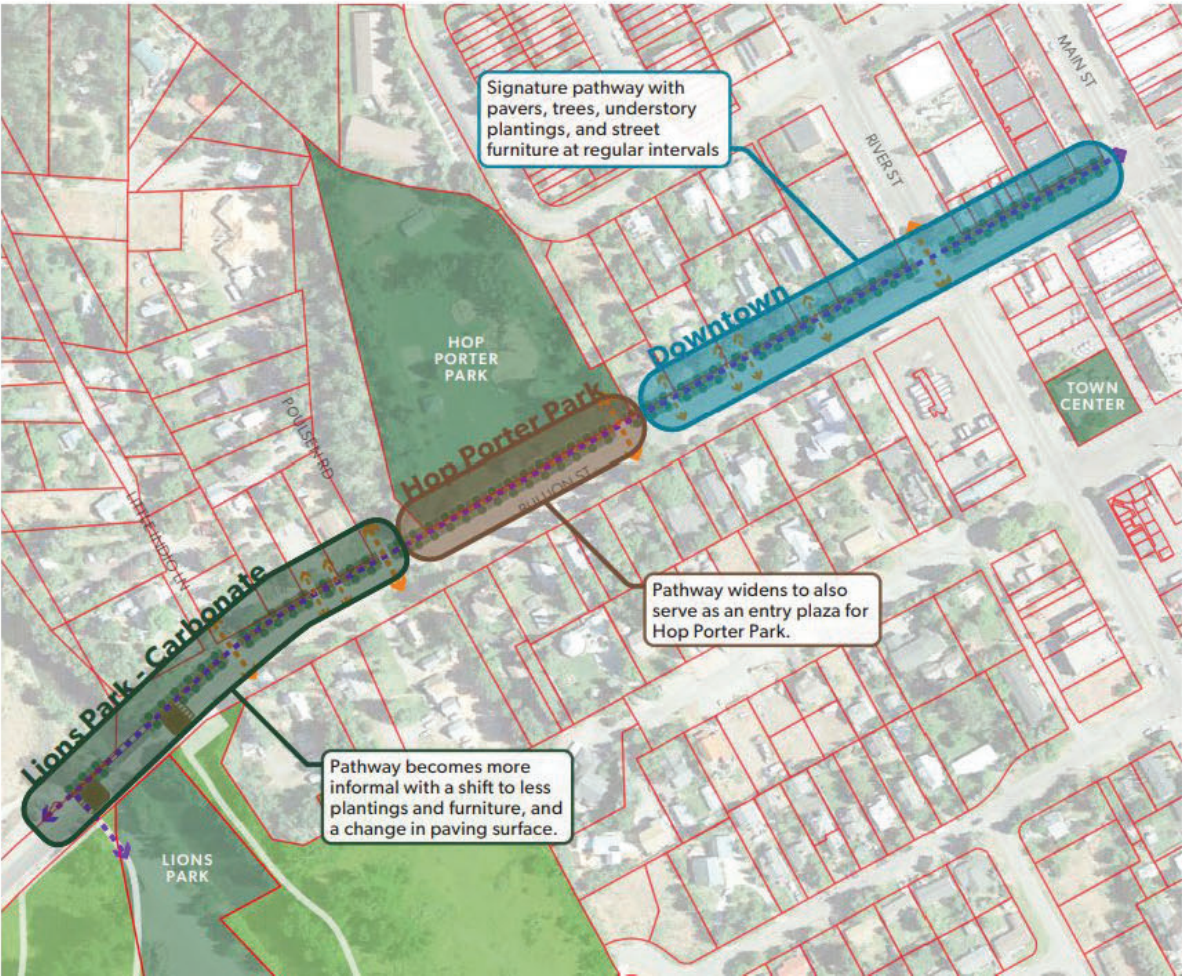
Hailey Quirky Culture



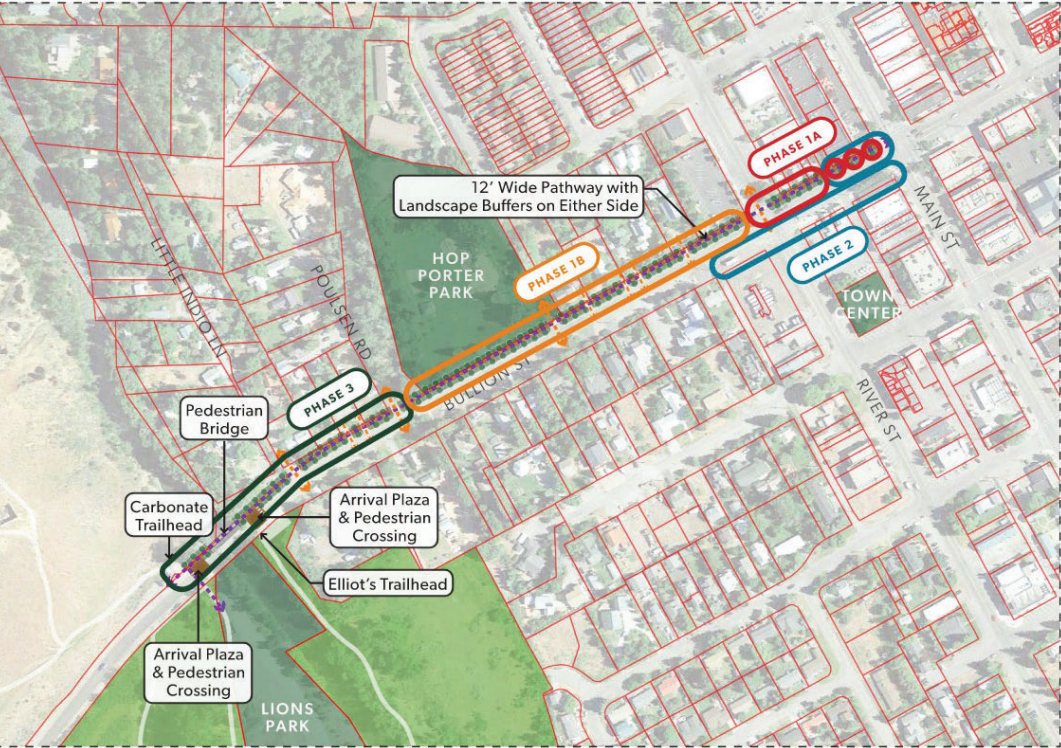


Pathway

PATHWAY TYPOLOGIES



PHASING PLAN



EXISTING CONDITION



PHASE 1A & B

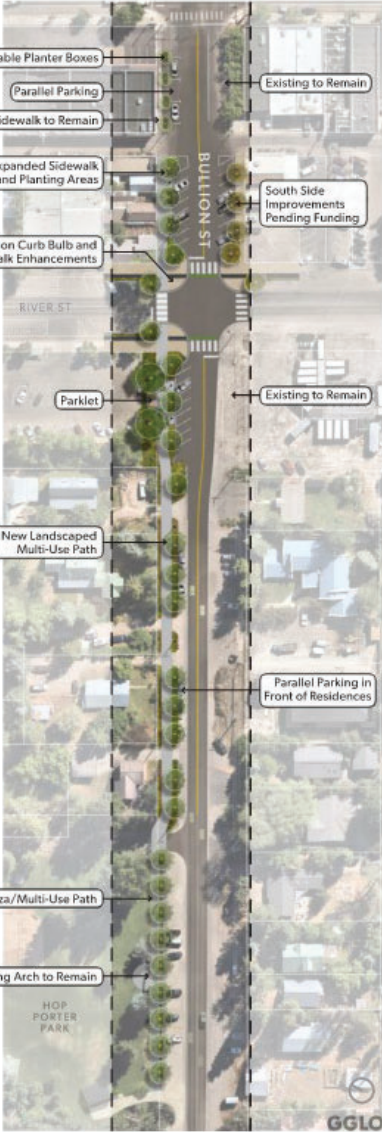


Bullion Pathway Update 3-24-25

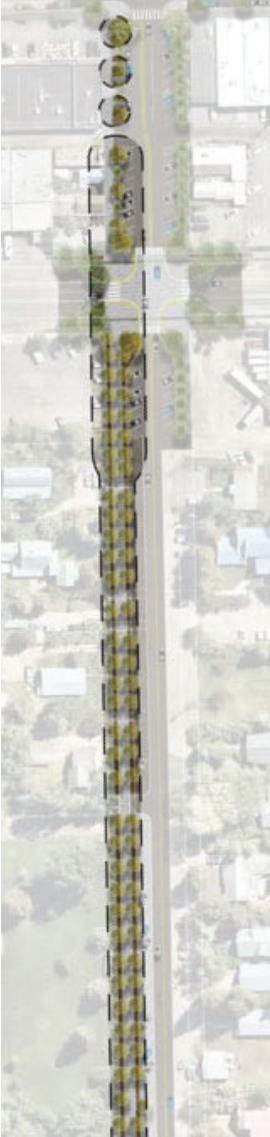
EXISTING CONDITION



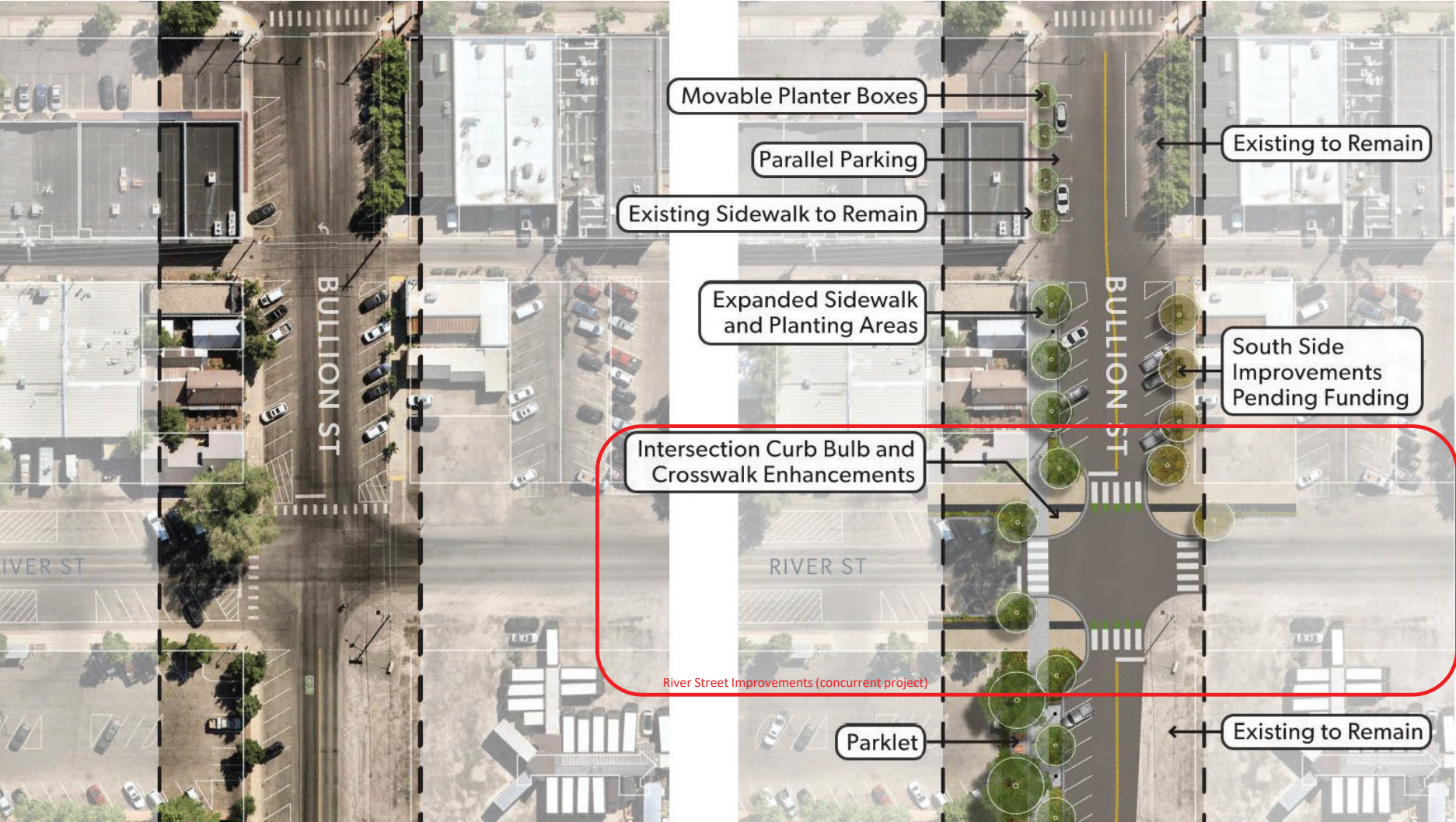
PHASE 1A & B



PRIOR PLAN



Bullion Pathway Concept Refinement | Plan Main to River Street



Bullion Pathway Concept Refinement | River Street to Hop Porter Park



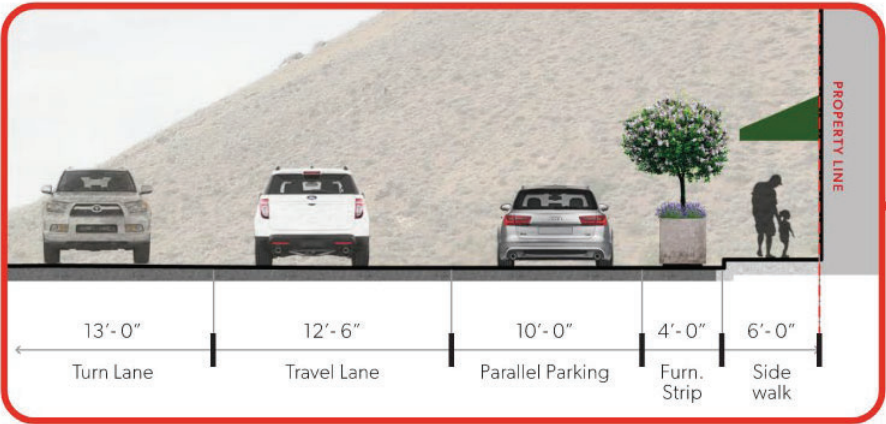
New Landscaped
Multi-Use Path

Parallel Parking in
Front of Residences

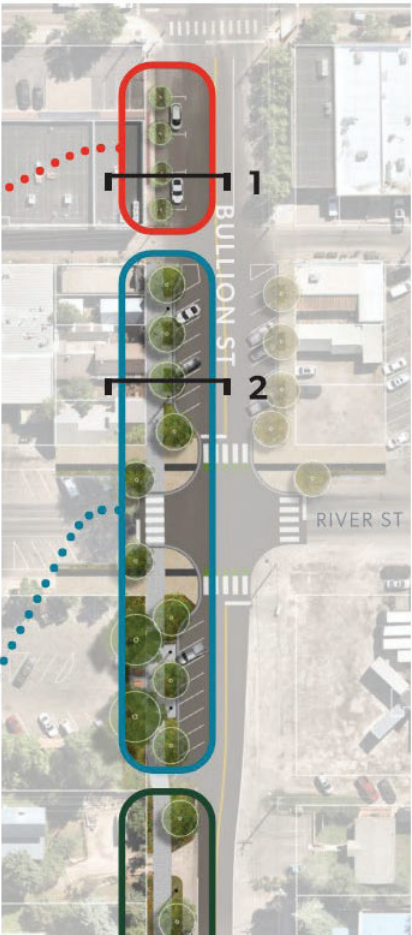
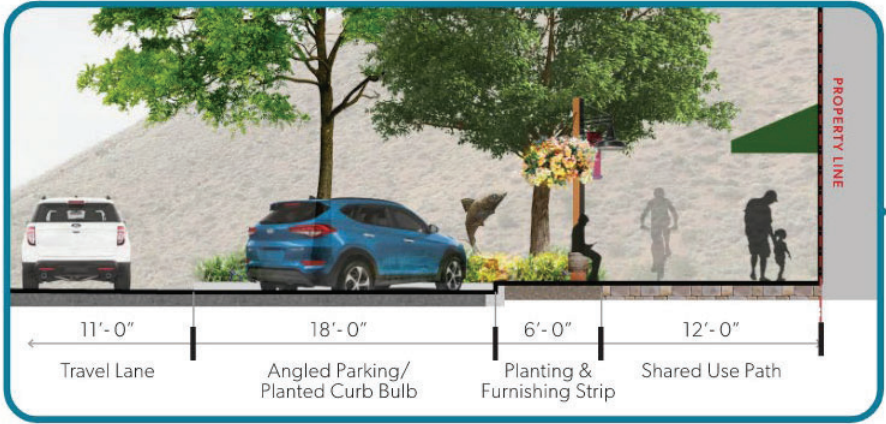
Bullion Pathway Concept Refinement | Hop Porter Park



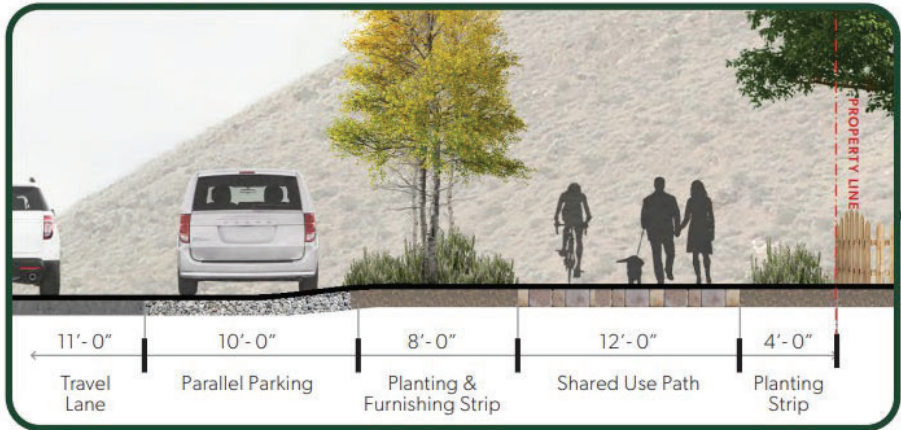
1 TACTICAL IMPROVEMENTS



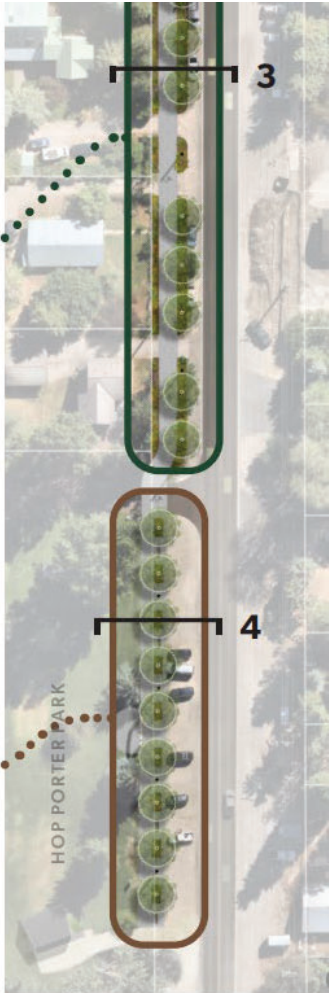
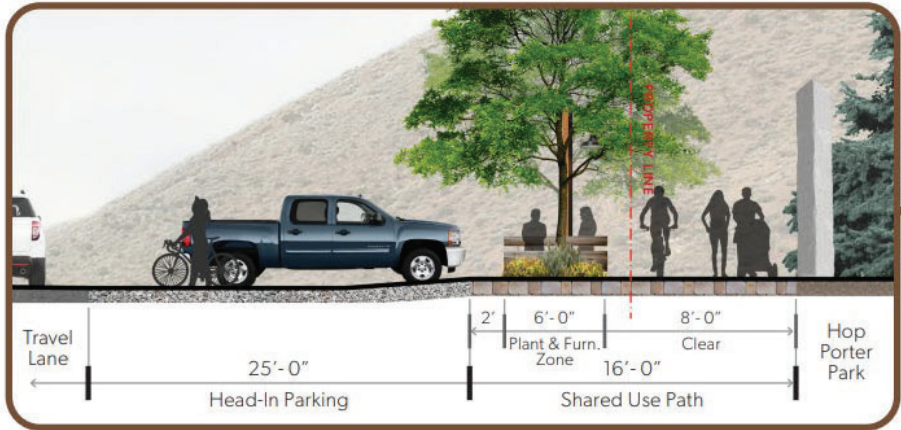
2 DOWNTOWN SECTION



3 RESIDENTIAL SECTION



4 HOP PORTER PARK SECTION





Pathway Components

Bullion Pathway Concept Refinement | Planting

FLOWERING TREES



PARK/PLAZA TREES



LARGE CANOPY TREES



Bullion Pathway Concept Refinement | Planting

FLOWERING TREES



Tree Lilac



Washington Hawthorn



Serviceberry (tree form)

PARK/PLAZA TREES



Silver Linden



Willow Oak

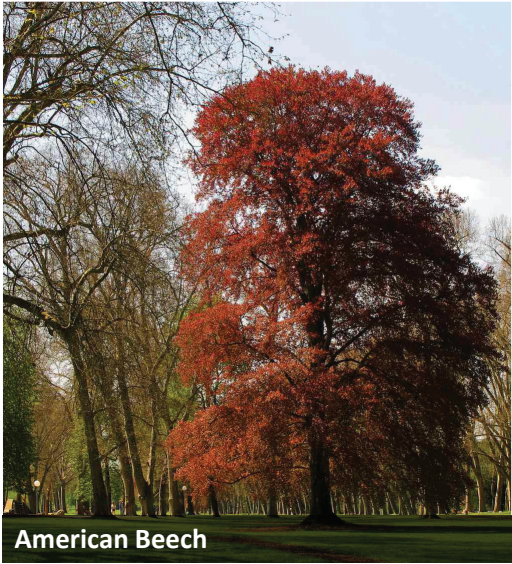
LARGE CANOPY TREES



London Plane Tree



American/Princeton Elm (disease resistant)



American Beech



White Pine (or conifers)

Bullion Pathway Concept Refinement | Planting

PLANTING



Bullion Pathway Concept Refinement | Paving & Amenities

LIGHTING



PAVING, FURNISHINGS



Bullion Pathway Concept Refinement | Art & Gateways

ART



Bullion Pathway Concept Refinement | Art & Gateways



Bullion Pathway Concept Refinement | Community Input

March 2025

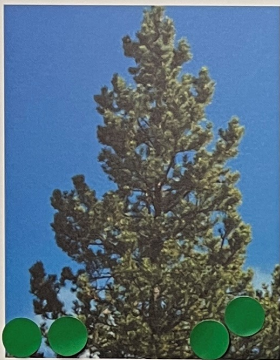
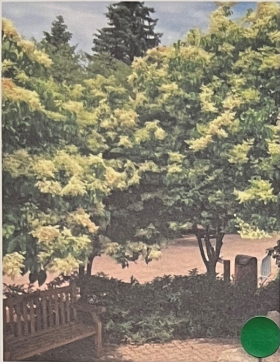


BULLION PATHWAY TREE + PLANT PALETTE

DOWNTOWN MASTER PLAN
PHASE 1 IMPLEMENTATION

HURA

Trees

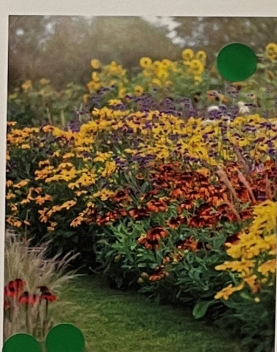
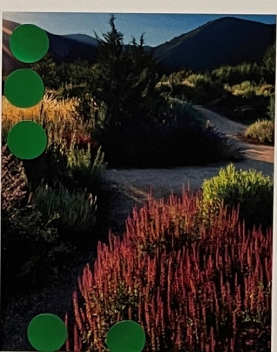
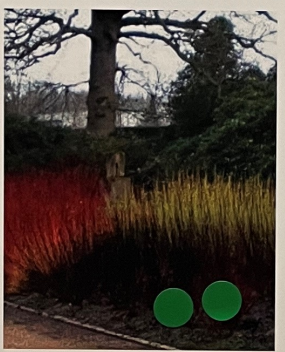
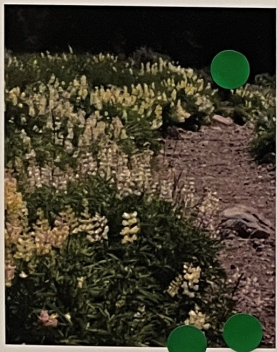
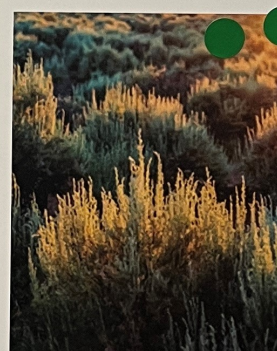
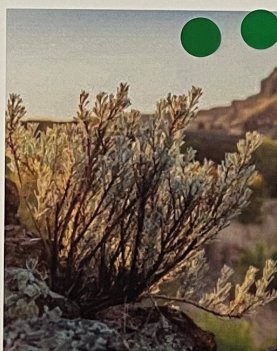
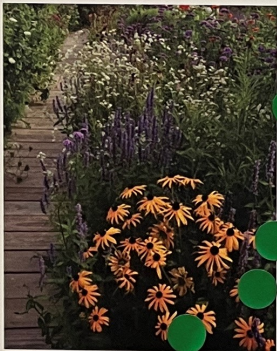


PLACE UP TO
3 DOTS ON
IMAGES
YOU LIKE

Mostly want
shade trees
that can with-
stand hot sun
- summer

Mixed variety
of trees, but
all easy to not
hit your head on
if on a bike

Understory Plantings



GGLO

Mixture of
grasses w/
pollinator
in lights

BULLION PATHWAY PLACEMAKING THEMES

DOWNTOWN MASTER PLAN
PHASE 1 IMPLEMENTATION

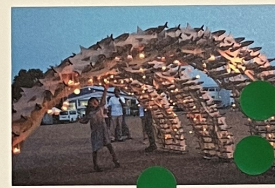
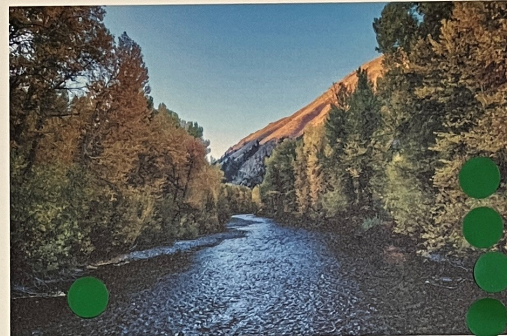
HURA

PLACE UP TO
3 DOTS ON
IMAGES
YOU LIKE

City of Trees



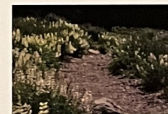
Big Wood River



Hailey's Quirky Culture



Carbonate & Croy Canyon



I'd love
wood river
w/ quirky
sculpture

GGLO

BULLION PATHWAY FURNITURE + MATERIALS

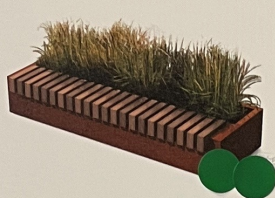
DOWNTOWN MASTER PLAN
PHASE 1 IMPLEMENTATION

HURA

crushed gravel

PLACE UP TO
6
DOTS ON
IMAGES
YOU LIKE

Benches



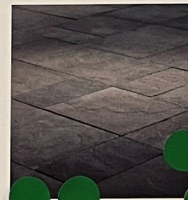
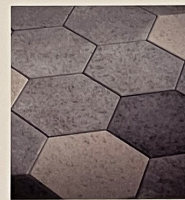
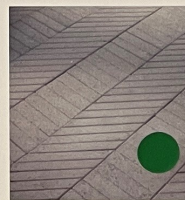
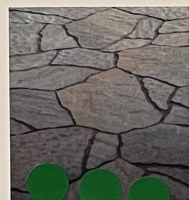
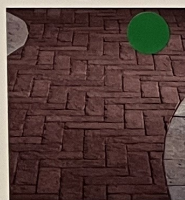
Tables



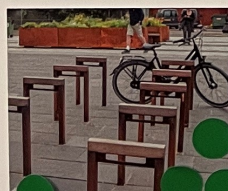
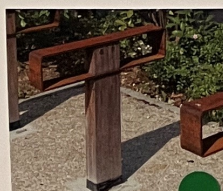
Lighting



Paving Materials



Bike Racks



GGLO

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION

On March 17, 2025, the Hailey Planning and Zoning Commission considered and recommended for approval by the Hailey City Council a City-Initiated Amendment proposing to amend various sections in and/or adding new sections to Hailey's Comprehensive Plan. The following sections are proposed to be modified: Section 5: Land Use, together with a map indicating suitable projected land uses for the jurisdiction; Section 6: Economic Development; Section 8: Housing; and Section 10: Transportation. A new section is proposed to be added and includes Section 15: Sustainability. A newly revised Land Use Map is also proposed under this amendment. The proposed amendments are pursuant to Title 67, Chapter 65, Local Land Use Planning Act.

The Commission, having been presented with all information and testimony in favor and in opposition to the proposal, hereby makes the following Findings of Fact, Conclusions of Law, and Decision.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to political subdivisions providing services within the planning jurisdiction, including school district and the manager or person in charge of the local public airport at least fifteen (15) days prior the scheduled public hearing, and has made available a notice to other papers, radio and television stations serving the jurisdiction for use as a public service announcement. The Commission continued the public hearing item to March 17, 2025. No new notice was required to be mailed; however, all information was made available via the City of Hailey's website.

Background: Community Development Staff are finalizing a draft update to the City of Hailey's Comprehensive Plan, one of the City's most important policy documents. This document is used by the City to guide long-range planning efforts, assist in the review of development proposals, and support other activities that shape the built and natural environments in the heart of the Wood River Valley. Further, it sets a community-wide vision for the future, building on past events and present characteristics while focusing on opportunities for growth and prosperity informed by a robust public process.

Furthermore, this plan is intended to serve as a guide for all other planning efforts and policy development in the city, providing a road map to shape area-wide and neighborhood-scale plans, and provide for a more detailed examination of a particular topic, goal, or vision. This plan considers the importance of the natural setting, population, housing, and economic patterns as well as the unique character and quality of life that provides a sense of place and cultural identity. It examines the ways in which communities utilize land and looks to create a place-based method of guiding future development that considers Hailey's unique character and qualities, preserving important landscapes while offering appropriate and well-scaled opportunity for growth and prosperity in the coming years.

To continue to be relevant as a community grows, changes, and evolves, it is recommended that the Plan be updated every ten (10) years to account for the dynamic changes to a community's profile, and priorities. Hailey's Comprehensive Plan was first approved in 1978. Since then, four (4) larger updates have been completed: 1982, 1998-2003, 2010, and 2012, as well as minor amendments: 2016, 2019, 2020, 2021. So much has changed in Hailey since the last substantial update (2010), and to better

understand the existing conditions and trends in Hailey today, Staff and the Council agreed that an update to the Plan was necessary.

With the Council's support, in January 2024, City Staff began the process of public outreach, education, community connection, and community-led advisory meetings to better inform the process of updating various sections of the Plan. Section updates include:

- Section 5: Land Use,
- Section 6: Economic Development,
- Section 8: Housing, and
- Section 10: Transportation.

Along with updates to each of those sections, Staff are also proposing the integration of Section 15: Sustainability, a qualitative guide that defines and supports sustainable practices and priorities in the City of Hailey well into the future. This newly created section is a first-ever dedicated chapter outlining clear goals, objectives, and policies in Hailey. Like each of the above-sections that make up the plan, this section, too, will help guide the future development of Hailey's first-ever Sustainability Action Plan, a more specific plan that accounts for our varied climatic conditions and environment, location, available resources, and community.

November 13, 2024 and March 3, 2025: The Planning and Zoning Commission first read through the updated Plan and considered its revised or newly written components on November 13, 2025, as a public workshop. The Commission discussed each section and suggested minor refinements, of which, Staff incorporated into the updated Plan prior to the March 3, 2025 public hearing. Prior to the public hearing, Staff also connected with project partners, stakeholders, key organizations and community members, and the Advisory Committee to solicit additional feedback prior to the next public hearing, scheduled for March 3, 2025. Those comments were also incorporated into the updated Plan prior to the hearing.

The Planning and Zoning Commission considered the Final Draft Plan on March 3, 2025 via a formal public hearing. During this meeting, the Commission and members of the community suggested minor edits and/or considerations to the overall plan. These suggestions, and actions taken by Staff, are described in detail below. Inclusion of suggested refinements and new policies have also been incorporated – via red text – in the updated Plan, which is attached hereto.

- **Public Parking and/or Shared Parking:** It was suggested that Staff consider incorporating curated policies that account for future public parking facilities and opportunities in downtown Hailey. This suggestion came as a proactive effort to balance future growth with parking demand by identifying policies now that could alleviate parking constraints as the City grows.
 - o **City Response:** Inclusion of new policies, Goal 3.5.2 J. and K (see pg. 24 in Update):
 - **J.** Encourage the utilization of shared parking arrangements and other creative public/private partnerships to meet future parking needs and further decrease underutilized spaces such as parking lots.
 - **K.** Pursue public parking opportunities and the development of public parking facilities, as well as improve upon the function and utilization of existing parking facilities downtown and the overall user experience associated with these facilities through the future implementation of Hailey's Parking Strategic Plan.

- **Density and Public Transit Opportunities:** It was suggested that Staff consider incorporating policies that connect higher density development/locations with ample public transit/transportation amenities to ensure comfortable, reliable, and accessible connectivity across Hailey, and the greater Wood River Valley.
 - o **City Response:** The correlation between density and public transit is an important one to thoughtfully consider via objectives, goals, or policies within a comprehensive plan, transportation plan, or another specific community plan whereby public transit and/or housing are the primary focuses. The two are directly related, as a higher population density creates a larger potential ridership for public transportation. Additionally, these amenities become more feasible for the greater community, more efficient to operate, and further encourage people to rely less on private cars, leading to reduced traffic congestion, reduce environmental impacts, and other benefits. As such, Staff have aggregated the following policies, goals, or objectives, within the Draft Plan, that represent or highlight these opportunities:
 - See page 69, Goal 3.10.2 – Build and maintain a sustainable, safe, reliable year-round multimodal road network.
 - Objective – Provide a balanced approach to mobility by offering a year-round multimodal network that improves safe and accessible routes to Downtown, businesses, activity centers, neighborhoods, places of employment, and recreational opportunities.
 - o A. Continue to implement the Transportation Master Plan.
 - o B. Implement recommendations and strategies to improve roadway safety, as presented in the 2024 Blaine County Regional Safety Action Plan.
 - o C. With new development projects, continue to encourage the design and construction of Hailey’s multimodal network to improve connectivity and safety, as well as provide for multimodal amenities such as bicycle storage, maintenance racks, and bicycle parking.
 - o D. Continue enforcement of Title 18: Mobility Design, to ensure future development provides safe multimodal facilities and infrastructure.
 - o E. Increase staffing capacity of Hailey Streets and Public Works Departments as it relates to pathway and sidewalk snow removal and year-round multimodal facility access; seek
 - o opportunities with business and property owners to further aid in this effort.
 - o F. Continue to thoroughly assess off-site traffic impacts of new developments to ensure the adequacy of existing infrastructure, or adequate funding of needed infrastructure.
 - o G. Continue to collaborate with agency and community partners to fund and implement a regionally connected and coordinated multimodal network (reference the Blaine County Community

Bicycle and Pedestrian Master Plan).

- See pages 70-71, Goal 3.10.4: Improve public transit facilities/operations and increase public transit ridership.
 - Objective – Continue to build capacity within the transportation system through service and accessibility improvements that focus on the movement of people rather than single occupancy vehicles.
 - A. Encourage improved transit facilities in conjunction with new development projects.
 - B. Expand transit services to better serve activity centers and to reduce single-occupancy vehicle trips.
 - C. Improve ‘first and last mile’ pedestrian and bicycle access to existing transit routes.
 - D. Continue to incorporate public transit funding into the City of Hailey budget.
 - E. Ensure land use and transportation policies increase accessibility to transit service.
- **Appendix C:** [Appendix C](#), a section that hosts additional content referenced during the Update to the 2010 Comprehensive Plan, was highlighted during the public comment period at the March 3, 2025 public hearing. A resident of Hailey highlighted specific components within Appendix C and questioned why the data was not included in the most recent Draft Update. Specifically, the sections below were called out as “missing” from the Final Draft Plan during the public hearing:

1997 to 2005 Goals, Policies and Implementation Table

- Land Use:
 - 5.4.5. D. Recognize that transportation uses, and traffic patterns affect adjacent land uses and vice versa. Expedite the provision of sidewalk and pedestrian safety amenities in all residential areas, prioritizing those experiencing high traffic, such as along Second Avenue.
 - 5.7. Density: To increase opportunities for alternative transportation, reduction of vehicle traffic, creation of safe and walkable neighborhoods, creation and preservation of public spaces and green spaces, and efficiency of services by promoting appropriate housing densities.
 - Goal: Promote the highest housing density within the community core and discourage sprawling residential development.
 - 5.7.1.B. Educate the general public about the potential beneficial aspects of density, i.e. efficient services, retention of green space, community integration and social interaction, increased convenience, greater amenities and lessened traffic.
- Public Facilities, Utilities, and Services
 - 9.1.1.G. Explore and implement alternative traffic calming devices.

- Transportation and Circulation:
 - 10.1.1.2. Policy: Protect residential districts by building streets that encourage pedestrians and bicycles, while allowing automobiles at slower safe speeds.
 - 1. Implementation: Consider city standards that allow traffic to flow smoothly and safely while encouraging lower traffic speeds.
 - a. Consider standards for alternatives to stop signs and traffic lights, such as vertical displacements, traffic circles or roundabouts, innovative intersection designs and other traffic calming devices.
 - b. Consider street standards for less pavement and narrower travel and turn lanes, to encourage lower vehicle speeds.
 - c. Encourage limiting the length of streets; shorter blocks keep vehicles at a slower speed.

City Response: Appendix C includes data, goals, and policies collected and/or developed between 1997 to 2005; Hailey-specific information that supported the 2010 Update to Hailey’s Comprehensive Plan. This section hosts overly specific goals and policies, and an exhaustive account of data that served as a foundational reference to the 2010 Update. The information referenced in Appendix C served a purpose during the aforementioned timeframe, and either may no longer be applicable, or may have already been accounted for in the 2024 Update.

More recent data has been collected over the last several years to inform the plan’s 2024 update. This data has been summarized in the Draft Plan through descriptions, objectives, goals and policies, and further referenced within the Appendices of the 2024 update.

That said, to confirm the cross-pollination of ideas and concepts between plans [2010 and 2024], Staff analyzed the 2024 Plan against Appendix C from 1997-2005. Complementary or like information has been highlighted and described in red text in the attached Draft Plan, as well as described herein. These connected concepts are not limited to the described, and other goals, objectives, and/or polices may be applicable.

1997 to 2005 Goals, Policies and Implementation Table

- Land Use:
 - 5.4.5. D. Recognize that transportation uses, and traffic patterns affect adjacent land uses and vice versa. Expedite the provision of sidewalk and pedestrian safety amenities in all residential areas, prioritizing those experiencing high traffic, such as along Second Avenue.
 - **City Response:** See page 24, Goal 3.5.2, of the 2024 Update: C. Adopt consistent and cohesive building, site design, and human-scale streetscape standards for Downtown/Main Street to further encourage commercial, civic, and cultural activity in Hailey.
 - G. Ensure Downtown businesses are accessible by vehicles, bicycles, and pedestrians, serving the needs of diverse residents

and visiting populations, and maintaining a safe, active, and vibrant sense of place for all.

- See page 69, Goal 3.10.2, of the 2024 Update: A. Continue to implement the Transportation Master Plan.
 - B. Implement recommendations and strategies to improve roadway safety, as presented in the 2024 Blaine County Regional Safety Action Plan.
 - F. Continue to thoroughly assess off-site traffic impacts of new developments to ensure the adequacy of existing infrastructure, or adequate funding of needed infrastructure.
- See page 70, Goal 3.10.3, of the 2024 Update: A. Building a connected street network that provides every neighborhood with safe routes into the Downtown Core.
- 5.7. Density: To increase opportunities for alternative transportation, reduction of vehicle traffic, creation of safe and walkable neighborhoods, creation and preservation of public spaces and green spaces, and efficiency of services by promoting appropriate housing densities.
 - Goal: Promote the highest housing density within the community core and discourage sprawling residential development.
 - 5.7.1.B. Educate the general public about the potential beneficial aspects of density, i.e. efficient services, retention of green space, community integration and social interaction, increased convenience, greater amenities and lessened traffic.
 - **City Response:** See page 54-55, Goal 3.8.1, of the 2024 Update: Preserve and produce a diverse housing inventory that promotes a variety of housing options and affordability ranges.
 - L. Assess Hailey's neighborhoods and identify elements that characterize the area. Use these standards to help inform the design, scale, and aesthetics of housing that should be preserved/added to the neighborhood zone.
 - M. Expand on existing design standards for housing development that balance increased densities with community character and function. The expansion and/or integration of standards could include streetscape improvements and amenities, trash and waste management strategies, additional public/semi-public community spaces, alleyway improvements, etc.
 - N. Use non-structural elements such as tree canopies, parks, natural habitat areas, sidewalks and pathways to create community character.
 - See page 55, Goal 3.8.2, of the 2024 Update: C. Create strong relations with housing providers, developers and contractors to create attainable rental and for-sale housing units that meet specific needs in Hailey.

- D. Engage in community-wide and regional housing education and engagement initiatives to highlight the importance of housing attainability and the intersectionality of housing as it relates to other community goals and opportunities including economic development, transportation funding thresholds, sustainability and resilience, and community character. Education and engagement initiatives should be tailored to reach a wide audience including the public, employers and businesses, local organizations, community leadership, and regional partners.
- See page 55, Goal 3.8.3, of the 2024 Update: A. Ensure that Hailey zoning code and ordinances are aligned to provide housing opportunities in locations where greater density is allowed.
- C. Limit development and density in, near, and around the foothills area, along the river, and in other spaces that provide natural habitat and other ecosystem services.
- D. Provide expedited and priority application and approval processes for developments that meet housing attainability goals and/pr provide deed-restricted and affordable housing.
- Public Facilities, Utilities, and Services
 - 9.1.1.G. Explore and implement alternative traffic calming devices.
 - **City Response:** This section of the 2010 Comprehensive Plan - Public Facilities, Utilities, and Services - is not proposed to be updated at this time. A future update will consider this information as applicable.
- Transportation and Circulation:
 - 10.1.1.2. Policy: Protect residential districts by building streets that encourage pedestrians and bicycles, while allowing automobiles at slower safe speeds.
 - 1. Implementation: Consider city standards that allow traffic to flow smoothly and safely while encouraging lower traffic speeds.
 - a. Consider standards for alternatives to stop signs and traffic lights, such as vertical displacements, traffic circles or roundabouts, innovative intersection designs and other traffic calming devices.
 - b. Consider street standards for less pavement and narrower travel and turn lanes, to encourage lower vehicle speeds.
 - c. Encourage limiting the length of streets; shorter blocks keep vehicles at a slower speed.
 - **City Response:** See page 69, Goal 3.10.2., of the 2024 Update: Objective – Provide a balanced approach to mobility by offering a year-round multimodal network that improves safe and accessible routes to Downtown, businesses, activity centers, neighborhoods, places of employment, and recreational

opportunities.

In summary, comprehensive plans are considered broad in nature, as they provide a wide-ranging overview of a community's current state and future goals. They guide decision-making over a long period and often translate into policies and regulations that guide future development decisions. These plans are not intended to be overly specific, but rather, outline a broad, holistic vision for the community's future. Keeping this top of mind, Staff present a Plan that is broad in nature and offers a holistic vision of and for this wonderful community – not only now, but well-into Hailey's future.

Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision ("Findings") represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

On March 17, 2025, the Commission discussed and unanimously recommended for approval by the Hailey City Council, the City-initiated Text Amendment proposing to amend various sections in and/or adding new sections to Hailey's Comprehensive Plan. The following sections were proposed to be modified: Section 5: Land Use, together with a map indicating suitable projected land uses for the jurisdiction; Section 6: Economic Development; Section 8: Housing; and Section 10: Transportation. A new section is proposed to be added and includes Section 15: Sustainability. The proposed amendments were pursuant to Title 67, Chapter 65, Local Land Use Planning Act.

Notably, the Commission discussed multimodal transportation efforts within the City and the network of transportation facilities across Hailey, as well as the integration of Light Industrial uses within and near the airport, and within the industrial district of South Woodside. The Commission suggested that Staff integrate various comments and/or refinements, such as these, prior to presenting the Draft to the Hailey City Council.

Proposal: Staff are requesting the Commission's consideration, discussion, and recommendation of the Draft Updated Plan, *Envision Hailey: Planning Today for a Resilient Tomorrow*. Thoughtfully curated section updates and the newly created Section 15: Sustainability, are attached and have been amended and/or included pursuant to the provisions of Title 67, Chapter 65, Local Land Use Planning Act. An updated Land Use Map, pursuant to Title 67, Chapter 65, Section 67-6508, is also proposed. The amended map better corresponds with the updates to each of the above-sections, and further accounts for the addition of Section 15.

Attachments:

- Draft Updated Plan – [Envision Hailey: Planning Today for a Resilient Tomorrow](#)
- [Public Engagement Summaries](#) (April 2024 and November 2024)
- Proposed Land Use Map (attached as Exhibit B in Draft Resolution)
- [Adopted Comprehensive Plan \(2010\)](#)

Standards of Evaluation: Idaho Statute Title 67, Chapter 65, Section 67-6509: Amendments to a Comprehensive Plan may only be made because of an error in the original plan or because of a substantial change in the actual conditions in the City of Hailey, which result in a material discrepancy or disparity between the conditions in the area and all or part of the Plan. The City of Hailey Planning and Zoning Commission may recommend amendments to the Plan to the Hailey City Council not more frequently than every six (6) months. This six (6) month period shall be measured from the date that the Commission submits its recommendation to the Council.

The following procedures shall be followed when amending a Comprehensive Plan:

(1) The planning or planning and zoning commission, prior to recommending the plan, amendment, or repeal of the plan to the governing board, shall conduct at least one (1) public hearing in which interested people shall have an opportunity to be heard. At least fifteen (15) days prior to the hearing, notice of the time and place and a summary of the plan to be discussed shall be published in the official newspaper or paper of general circulation within the jurisdiction. The commission shall also make available a notice to other papers, radio, and television stations serving the jurisdiction for use as a public service announcement. Notice of intent to adopt, repeal, or amend the plan shall be sent to all political subdivisions providing services within the planning jurisdiction, including school districts and the manager or person in charge of the local public airport, at least fifteen (15) days prior to the public hearing scheduled by the commission. Following the commission hearing, if the commission recommends a material change to the proposed amendment to the plan that was considered at the hearing, it shall give notice of its proposed recommendation and conduct another public hearing concerning the matter if the governing board will not conduct a subsequent public hearing concerning the proposed amendment. If the governing board conducts a subsequent public hearing, notice of the planning and zoning commission recommendation shall be included in the notice of public hearing provided by the governing board. A record of the hearings, findings made, and actions taken by the commission shall be maintained by the city or county.

Adequate notice has been given. If a material change is recommended by the Commission, subsequent notice and hearing will be conducted as outlined in Idaho Code.

Findings: Compliance. The Commission found that this standard has been met.

(2) The governing board, as provided by local ordinance, prior to adoption, amendment, or repeal of the plan, may conduct at least one (1) public hearing, in addition to the public hearing or hearings conducted by the commission, using the same notice and hearing procedures as the commission. The governing board shall not hold a public hearing, give notice of a proposed hearing, nor act upon the plan, amendments, or repeal until recommendations have been received from the commission.

Findings: Compliance. The Commission found that this standard has been met.

(3) No plan shall be effective unless adopted by resolution by the governing board. A resolution enacting or amending a plan or part of a plan may be adopted, amended, or repealed by definitive reference to the specific plan document. A copy of the adopted or amended plan shall accompany each adopting resolution and shall be kept on file with the city clerk or county clerk.

A draft Resolution is attached, and will be considered by the Hailey City Council.

Findings: Compliance. The Commission found that this standard has been met.

(4) Any person may petition the commission or, in absence of a commission, the governing board for a plan amendment at any time, unless the governing board has established by resolution a minimum interval between consideration of requests to amend, which interval shall not exceed six (6) months. The commission may recommend amendments to the comprehensive plan and to other ordinances authorized by this chapter to the governing board at any time.

Findings: Compliance. The Commission found that this standard has been met.

CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Hailey Planning and Zoning Commission recommended that the aforementioned City-initiated Text Amendment be approved by the Hailey City Council, concluding that adequate notice, pursuant to Title 17, Section 17.06.040(D), was given, and is proper. Furthermore, the Commission made the following Conclusions of Law: the proposed text amendment is in accordance with the Comprehensive Plan, essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, the proposed uses are compatible with the surrounding area, and the proposed amendment will promote the public health, safety and general welfare.

Signed this _____ day of April 2025.

Janet Fugate, Chair, Planning and Zoning Commission

Attest:

Jessica Parker, Building Coordinator & Deputy Treasurer

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 7, the Hailey Planning and Zoning Commission considered and recommended for approval by the Hailey City Council, a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, by adding paragraph “J”, items J.1., J.2., and J.3; which establishes provisions and/or flexibility of maximum building height and maximum lot coverage bulk requirements in the Townsite Overlay (TO) District, for all development projects preserving a historic commercial or residential structure.

Notice: Notice for the public hearing was published in the Idaho Mountain Express as a Display Ad on January 30, 2025 and mailed to public agencies on January 30, 2025.

Background: In December 2024, City Staff received a Design Review Application for a residential addition to a historic home in the Townsite Overlay (TO) District, built in 1942. The Applicant and their architectural representative made good-faith efforts to preserve the entirety of the existing residence, avoiding any unnecessary building material removal or augmentation (structural or exterior). They followed Code-specific guidelines for TO designs, stepping the addition back from the primary street frontage and matching form and material type with both the existing residence and surrounding neighborhood. Through this Applicant’s design, the addition would provide much-needed living and sleeping area expansion for their growing family, all occurring on a traditionally-sized Hailey Townsite lot of approximately fifty feet (50’) wide by one hundred and twenty feet (120’) long.

These narrow lots and the cottage-style homes and buildings upon them are some of the last standing monuments to Hailey’s humble beginnings as a City and as a community. Platted lots from the original Hailey Townsite host modest structures built with local materials. Many buildings were placed very close – and sometimes unknowingly, on top of – property lines, and it is not uncommon to see buildings on adjoining properties within a few yards of one another. These details may present themselves today as troublesome for placing fence lines, managing snow from roofs, or performing tree care. However, taken in the context of the era in which these narrow lots were platted and the buildings raised, we can see a time in Hailey’s history of close-knit neighborhoods made up of working families and individuals, unshy to their neighbors and creatively building the town they were proud to call home. Through the Townsite Overlay Design Review process at the City of Hailey, we continue to witness this type of community development today.

The Applicant’s design was ultimately found to fall short of the lot coverage maximum bulk requirement for their Limited Residential (LR-1)/TO-zoned property, based on discrepancies in interpretation of the building footprint and lot coverage. Outside of the TO District, LR-1 lots carry a 40% lot coverage maximum. Within the TO District, however, LR-1, General Residential (GR), and Limited Business (LB)-zoned properties may have a much lower lot coverage maximum – up to 15% of reduced allowable lot coverage, depending on the structure type and presence of a garage. The Applicant exceeded the stated lot coverage maximum for their property/structure type by 2.67% (30% maximum, 32.67% proposed). If not located within the TO District, the Applicant would have had the opportunity to build up to 40% lot coverage, although their proposed design would have still remained far below the lot coverage maximum. All other bulk requirements were proposed to be met.

The Applicant could have also approached the Planning and Zoning Commission with a proposal to demolish all existing structures on their property and construct a new residence altogether. While each bulk requirement may have been precisely met through this approach, it would have resulted in a loss of significant historical character within the TO District. Ever-rising costs of construction and the loss of historic architectural design features and institutional knowledge render the replication of the historic structure as exceptionally difficult, if not impossible. This outcome contradicts the stated purpose of the Townsite Overlay District.

The stated purpose of the Townsite Overlay District, per Hailey Municipal Code, is as follows:

“17.04M.010: PURPOSE:

The purpose of the townsite overlay district is to promote the health, safety and welfare of current and future residents of the city of Hailey; to modify the bulk requirements of certain zoning districts in order to better respond to the unique conditions and circumstances of the original Hailey townsite; to encourage infill while retaining neighborhood character; to increase the compatibility and lessen the degree of nonconformity of existing structures; to create sufficient flexibility to allow for desirable development; to conserve building resources; and to enhance neighborhoods with increased pedestrian orientation, all in accordance with the city of Hailey comprehensive plan, for the desirable future development of the city of Hailey. (Ord. 1191, 2015)”.

As is the case when creating any new district and/or zoning requirement, certain tradeoffs are considered in the context of fulfilling the new district and/or requirement’s intended purpose. Additionally, some tradeoffs, environmental factors, and unintended consequences may not present distinguishable impacts until the Code change has had sufficient opportunity to be applied and function in real-time. In the period since the Townsite Overlay District was established and adopted into Code (2002), Staff have been able to study its impact and assess the effectiveness and relevance of its parameters and stated purpose. With the help of oversight and guidance from City Staff and the Commission, the City continues to see development that complements Hailey’s historical past - be it through building size, vernacular, or orientation - as well as through building type, with traditional single-family homes on small lots. Staff have also seen the repurposing of materials from existing structures (historic or otherwise) to new structures and/or additions on the same site. Residents and/or business owners that own property in the TO have a general understanding that the District represents Hailey’s original townsite, and that the preservation of buildings, architectural character, and neighborhood “feel” of the original townsite era are important to maintain. There are several present-day examples from the TO district where, whether or not a historic structure was retained, the new building or portion thereof, tries to carry the same historic theme.

In the year 2025, Hailey is faced with a multi-faceted collection of changes and demands. Our resident population continues to gradually increase, the conversion of long-term rentals into short-term accommodations is rising with few regulatory tools available to local municipalities, and the cost of building new homes has risen to over \$400/sq ft in Hailey (for reference, cost was \$120/sq ft in 2015). Simultaneously, the Hailey community has also expressed a fervent desire to retain local character and a “small town-feel”, as demonstrated through extensive community engagement in 2024 (Hailey Comprehensive Plan Update, 2024).

Each of these factors place certain pressures on our community’s ecosystem – natural, cultural, constructed, and otherwise. The intent of the proposed Text Amendment is to respond to the full scope of these factors, finding a mutually beneficial solution for promoting infill and housing diversity,

responding to the economic pressures faced by many Hailey residents as they contemplate construction within the TO District (new or remodeled), and stewarding a collective desire to maintain Hailey's unique character and sense of place.

The proposed Text Amendment would only apply to those properties within the Townsite Overlay District, which also contain historic commercial and/or residential structures. For the purposes of this Text Amendment, a structure is deemed "historic" if it was built at least fifty (50) years ago. As stated in the draft Ordinance language, historic outbuildings and/or accessory structures do not apply to the proposed Text Amendment. Based on Staff research of peer-community's historic preservation guidelines, guidance from the Department of the Interior and the National Register of Historic Places, and communication with representatives from the Idaho State Historical Preservation Office (SHPO) and local architects, a fifty (50) year "rule of thumb" exists across the field of historic preservation. The 50-year timeline represents a guideline, generally stating that any structure 50 years of age or older may be designated as historic. However, most historic preservation guidelines and/or protocols reference flexibility in this 50-year minimum, noting that specific factors – unique to each neighborhood, community, or jurisdictional scale in question – may support the historic designation of a property that is less than 50 years old.

Applications seeking bulk requirement flexibility for historic structures within the TO District are proposed to be reviewed by the Hailey Planning and Zoning Administrator and the Planning and Zoning Commission on a case-by-case basis. Operating as such, Staff wish to limit additional case-by-case considerations for the historic designation of properties in it of themselves (those less than 50 years old), although other guidance from SHPO or the National Register of Historic Places may provide for this type of subjective review. Staff would like to provide our community with the opportunity to apply the proposed Text Amendment, followed by deliberate review of its uptake and impact on respective neighborhoods and the TO District as a whole. Further refinement of the proposed Text Amendment may be pursued in the future as well.

As of February, 2025, the following parcel counts contain residential and/or commercial structures built in or before 1975, which may qualify them for application of the proposed Text Amendment:

(next page)

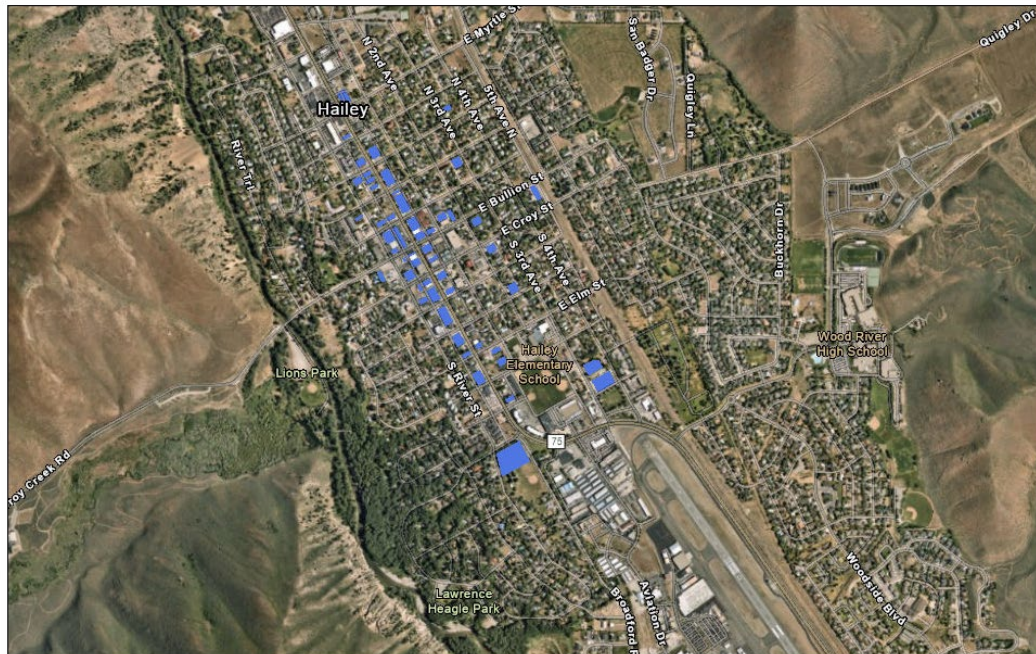
291 Residential Parcels

Historic Residential Candidates



79 Commercial Parcels

Historic Commercial Candidates



If adopted, the underlined text below would be added within Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements:

Section 17.04M.060: Bulk Requirements:

17.04M.060.J.: Preservation of Historic Structures:

1. Bulk Requirement Flexibility

The City aims to promote the historic, architectural, archaeological and cultural heritage, features and qualities of Hailey through the identification, evaluation, designation, and protection of historic structures. Where historic commercial and residential structures are preserved, flexibility in the bulk requirements of the Townsite Overlay (TO) Zoning District may be approved by the Planning and Zoning Commission on a case-by-case basis, as follows:

- A. Maximum Building Height: When any building permit application includes the retention of a historic commercial or residential structure, the maximum building height shall be subject to the maximum building height allowed by the underlying zoning designation of the parcel(s).
- B. Maximum Lot Coverage: When any building permit application includes the retention and preservation of a historic residential structure, the maximum lot coverage may be forty percent (40%), regardless of the number of stories above grade or the existence of a garage. Where a historic residential or commercial structure is retained and preserved and located within a zoning district that allows for lot coverage greater than forty percent (40%), the underlying zoning district and/or zoning overlay shall govern.

2. Specific Standards

I. Purpose

The Hailey historic preservation and bulk requirement flexibility standards provide the required design elements for the granting of bulk requirement flexibility that may accompany the preservation of a historic residential or commercial building. Bulk requirement flexibility shall only be granted to qualifying residential or commercial structures in the Townsite Overlay Zoning District.

In general, the City of Hailey considers structures that are fifty (50) years old or older to be considered “historic”. There is both inherent and instrumental value in the preservation of historic buildings in Hailey. However, all applications seeking to apply bulk requirement flexibility shall be reviewed on a case-by-case basis. Additionally, there may be instances where a structure is not at least fifty (50) years old, yet said structure possesses unique, significant, and/or context-specific value to the overall historic culture of Hailey

The specific standards contained herein ensure that all bulk requirement flexibility projects – which are reviewed on a case-by-case basis by the Planning and Zoning Commission – retain a shared set of characteristics that uphold the integrity of Hailey’s historic building stock.

In order for bulk requirement flexibility to be granted, each of the following standards must be met:

- a. The residential or commercial building is approximately fifty (50) years old or older. Qualifying structures that are less than fifty (50) years old must demonstrate an exceptional response to each of the standards listed herein.
- b. Any addition to a qualifying historic structure shall not obscure, shield, or otherwise prohibit

- viewership of the primary frontage of the existing historic structure, as seen from public street. Additions are strongly preferred at the rear of the existing historic structure. If site conditions and/or project circumstances do not allow for rear location, and the primary frontage of the existing historic structure will be obscured, the addition shall match or complement the existing historic structure with each of the following: material type, material arrangement, material color, fenestration scale and design, roof material, and roofline shape.
- c. If a project seeks to apply flexibility in maximum building height, the addition shall only be permitted behind the front wall plane, so as not to obscure viewership of existing historic structure from the primary street frontage.
 - d. Material types for new additions shall be limited to either the matching material type of the existing historic structure, or material types that are reflective of the period in which the existing historic structure was built. This may include wood (painted or natural stain), corrugated metal, stone, and brick.
 - e. Any Applicant seeking to apply bulk requirement flexibility, in exchange for the preservation of a historic structure, shall provide a written narrative statement with their Application, to be retained in the City of Hailey Public Record. Such a narrative statement shall include:
 - i. Date of original construction of all historic structures proposed for retention.
 - ii. Date and type of any renovations for all historic structures proposed for retention, to include building square footage expansions, additions of windows and/or doors, and any other construction that substantially altered the character and scope of the structure in question. Re-roof renovations are exempt.
 - iii. Statement and timeline of preserved historic structure uses (residence, office, small business, etc.), from earliest known and leading to the present.
 - iv. Identification and description of at least two (2) distinct architectural and/or design elements from the existing historical structure that will be matched, expanded upon, and/or reflected in the proposed addition. Description should include specific element names and a brief explanation of how each element is reflective of a specific historical period (i.e. mid-century modern, post World War II, settlement/territorial, etc.)

3. Other Requirements

The following requirements shall also govern and apply to all Design Review Applications seeking to preserve historic structures and qualify for bulk requirement flexibility:

- A. Existing Nonconforming Buildings: Where an existing building is nonconforming with respect to the bulk requirements of the Townsite Overlay (TO) Zoning District, provisions outlined in Section 17.04M.070: Nonconforming Buildings shall be met.
- B. Flexibility in the bulk requirements apply to historic commercial or residential structures only. Historic outbuildings and/or other accessory structures do not qualify. Historic outbuildings and/or other accessory structures shall meet the bulk requirements of the underlying zoning district and/or zoning overlay, whichever designation controls.
- C. For purposes of this section, historic shall mean any commercial or residential structure built approximately fifty (50) years ago or earlier.
- D. All other bulk requirements not expressly written herein shall be met.
- E. Applicants may only seek consideration of one (1) bulk requirement flexibility per Application,

and only one (1) bulk requirement flexibility per Application may be granted. Additional waivers and/or flexibilities may be addressed through established City processes, including Planned Unit Developments (Section 17.10) and/or Variances (Section 17.12).

Standards of Review:

Criteria for Review. Section 17.14.060(A) of the Hailey Municipal Code provides “[w]hen evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

1. The proposed amendment is in accordance with the comprehensive plan;
2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;
3. The proposed uses are compatible with the surrounding area; and
4. The proposed amendment will promote the public health, safety and general welfare.

1. The proposed amendment is in accordance with the Comprehensive Plan;

The currently adopted Comprehensive Plan (2020) articulates the merits of protecting the residential character and scale of the original Townsite, in addition to responding to growth through infill development:

Goal 3.2: “Protect the residential character and scale of the original Townsite”.

Goal 5.6: “Manage and accommodate population growth by infill development and, when appropriate, minimal expansion by annexation and/or density increases”.

Staff find that by allowing flexibility for specific bulk requirements within Hailey’s most historic Overlay District (TO District), there will be greater incentive and opportunity for historic residential and commercial buildings to be retained and expanded upon, versus demolished and rebuilt. Expansions through this historic preservation process may result in additional bedrooms, ADUs, and/or office and home occupation spaces, all of which are examples of infill development. This type of development not only deepens neighborhood connections and residents’ access to the core of Hailey, but it also carries secondary benefits of greater community walkability, efficient land use, and less potential impact from development sprawl into wildlife migration zones, intact ecosystems, and the wildland-urban fire interface (“WUI”). Each of these secondary benefits further supports the existing and drafted Comprehensive Plan Update (2024), which offers a more directed focus on sustainability and community resiliency.

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;

The proposed amendment will not create excessive additional requirements at public cost for services. The amendment is intended to support flexibility for specific bulk requirements in a historic district of Hailey, incentivizing the preservation of existing historic structures.

3. The proposed uses are compatible with the surrounding area; and

The proposed uses impacted by the proposed Text Amendment will not change; rather, the proposed Text Amendment will incentivize the retention of existing uses, architectural forms, and community character. The impacts will be limited specifically to the TO District, the purpose of which is partially stated as “increase the compatibility and less the degree of nonconformity of existing structures”. Any development that seeks to apply the bulk requirement flexibility within the proposed Text Amendment will still need to comply with bulk requirements that are not included in the Text Amendment, which includes, namely, setback requirements. Any development that occurs as a result of this proposed Text Amendment will increase the degree of existing structural conformity overall on site.

4. The proposed amendment will promote the public health, safety and general welfare.

The amendment recommended is consistent with the Hailey Comprehensive Plan, and will encourage infill and preservation of existing historic structures within the City of Hailey.

CONCLUSIONS OF LAW AND DECISION

Based on the above Findings of Fact, Conclusions of Law and Decision, the Commission, on a unanimous vote, concluded the adequate notice, pursuant Title 7, Section 17.14 was given, and is proper. The Commission made the following recommendations:

An Ordinance, Ordinance No. _____, amending the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, by adding paragraph “J”, items J.1., J.2., And J.3.; providing for flexibility of maximum building height and maximum lot coverage for all development projects preserving a historic commercial or residential structure, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Signed this _____ day of _____, 2025.

Janet Fugate, Chair

Attest:

Jessica Parker, Building Coordinator and Deputy Treasurer

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Agenda
Hailey Planning and Zoning Commission
Monday, March 17, 2025
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available.

The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

[Download Teams](#) | [Join on the web](#)

Or call in (audio only)

[+1 469-206-8535,,602369677#](#) United States, Dallas

Phone Conference ID: 602 369 677#

Commission: Dan Smith, Janet Fugate, Sage Sauerbrey, Michael Smith

Staff: Robyn Davis, Emily Rodrigue, Ashley Dyer, Jessie Parker, Chris Simms, Mike Baledge, Amanda Chase

Absent: Jordan Fitzgerald

5:30:42 PM Call to Order

- Public Comment for items not on the Agenda. No comment.

5:31:30 PM Consent Agenda - ACTION ITEM

- **CA 1** Motion to approve Findings of Fact, Conclusions of Law, and Decision of a Design Review Application by McIntosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture, for the construction of a new 6,320 square foot multifamily development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision), and within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts The development consists of two (2), three story, multifamily buildings, which includes six (6) residential dwelling units in total. **ACTION ITEM**
- **CA 2** Motion to approve meeting minutes dated March 3, 2025. **ACTION ITEM**

5:31:39 PM Sauerbrey motion to approve CA 1 and CA 2. M. Smith seconded. All in Favor.

Public Hearing(s) - ACTION ITEM

- **5:31:54 PM PH 1** Continuation of a City-Initiated Amendment amending various sections in and/or adding new sections to Hailey's Comprehensive Plan. The following sections are proposed to be modified: Section 5: Land Use; Section 6: Economic Development; Section 8: Housing; and Section 10: Transportation. A new section is proposed to be added and includes Section 15: Sustainability. The proposed amendments are pursuant to Title 67, Chapter 65, Local Land Use Planning Act. **ACTION ITEM**

5:32:22 PM Davis confirmed that the last workshop held on March 13th and noted minor edits to be done from that workshop. Davis, using power point, summarized discussion from March 3rd hearing and requests/changes made from that hearing. Power point used available in Community Development.

[5:36:48 PM](#) D. Smith suggested from and within neighbors, to help promote interior connections on page 70, Goal 3.10.03.

[5:38:22 PM](#) Davis continued summarizing changes using the power point.

[5:41:55 PM](#) Chair Fugate suggested broadening language on Land Use to not prevent civic uses such as rodeo ground. M. Smith noted future land use map does include areas like rodeo grounds.

[5:44:35 PM](#) Davis continued summarizing changes using the power point.

[5:46:57 PM](#) Chair Fugate complimented staff on work done.

[5:47:22 PM](#) D. Smith starting with 3.1.i.2 suggesting calling it a multimodal transportation network, explaining it would allow for alternative options for areas that are lacking in access. D. Smith suggested looking at developing additional LI areas, which was not given as much attention as though it may need in the future.

[5:50:53 PM](#) No comments from Sauerbrey and M. Smith.

[5:51:14 PM](#) Chair Fugate opened public comment.

[5:51:35 PM](#) Steve Daniels, 830 Broadford, requested to see page with goal 3.10.2 and suggested stronger language to be used here based off what has heard at other public hearings.

[5:53:17 PM](#) Chair Fugate closed public comment.

[5:54:01 PM](#) Sauerbrey complimented city staff on putting this together.

[5:54:40 PM](#) M. Smith motion to recommend approval to the Hailey City Council the proposed Comprehensive Plan Update, which includes amendments to Section 5: Land Use, together with a map indicating suitable projected land uses for the jurisdiction, Section 6: Economic Development, Section 8: Housing, and Section 10: Transportation, as well as the addition of Section 15: Sustainability, and attached hereto, of the Hailey Comprehensive Plan, finding that all city and state standards have been met. D. Smith seconded. All in Favor.

- [5:55:41 PM PH 2](#) Continuation of a of a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, by adding paragraph "J", items J.1., J.2., J.3, and J.4.; which establishes provisions and/or flexibility of maximum building height, maximum lot coverage, and the consideration of other exceptions to the bulk requirements for all development projects preserving a historic commercial or residential structure. **ACTION ITEM**

[5:56:19 PM](#) Rodrigue noted initial description has typo in procedural area in staff report. Rodrigue explained looking for feedback on standards that were requested at the last public hearing.

[5:57:42 PM](#) Chair Fugate stated believe main concern of how many waivers, flexibilities that can be used.

[5:57:59 PM](#) M. Smith expressed concern on wording "per application," providing suggestions for alternative language.

[5:59:36 PM](#) Sauerbrey does not believe there is any reason to open this up for a property more than once, but does like the suggestion of rolling time line suggested by M. Smith. Sauerbrey suggested a once per property, but maybe with an allowance for review every 20-30 years.

[6:03:28 PM](#) D. Smith confirmed will have a maximum of 40% lot coverage. D. Smith stated as long as it abides and adheres to the design criteria, explaining that this is a cap. D. Smith summarized that he does not have a problem with not limiting the changes as long as have lot coverage cap. D. Smith asked about 1c, that didn't think had flexibility in height and only allowing for lot coverage flexibility. Chair Fugate explained intent is that if going to raise the building it still needs to be subordinate to main structure. Staff explained max height in Townsite overlay is restricted, using GR as an example.

[6:08:31 PM](#) Chair Fugate agrees with D. Smith's comment regarding cap. Discussion ensued among commissioners.

[6:10:04 PM](#) Simms reminded the Commission that this commission would fully hold all cards noting that there are still maximums built within the proposed code. Discussion continued with staff and commission, with staff explaining this would be reviewed on a case-by-case basis.

[6:13:37 PM](#) M. Smith suggested removing word rustic from 2d.

[6:14:39 PM](#) Chair Fugate opened a public comment.

[6:14:54 PM](#) Chair Fugate closed public comment.

[6:15:23 PM](#) Sauerbrey move to recommend approval to the Hailey City Council an Ordinance amending the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, by adding paragraph "J", items J.1., J.2., And J.3.; providing for flexibility of maximum building height, maximum lot coverage, and the consideration of other exceptions to the bulk requirements for all development projects preserving a historic commercial or residential structure, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare. M. Smith seconded. All in Favor.

Staff Reports and Discussion

- **SR 1** Discussion: Upcoming Projects, Code Changes, Next Planning and Zoning Meeting:
 - **Monday, April 7, 2025:**
 - Copper Ranch – The Woods
 - Downtown Master Plan
 - ARCH Phase 2 Ellsworth Inn- Duplex and landscape plan

[6:17:25 PM](#) Davis summarized upcoming projects.

Chair Fugate will not be attending the April 21st meeting.

[6:19:09 PM](#) M. Smith motion to adjourn (no later then 8:00 PM). D. Smith seconded. All in Favor.

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Staff Report

Hailey Planning and Zoning Commission

Regular Meeting of April 7, 2025

To: Hailey Planning & Zoning Commission
From: Ashley Dyer, Community Development City Planner

Overview: Consideration of a Preliminary Plat Application by Lido Equities Group - North Idaho, LLC, represented by Galena-Benchmark Engineering, to replat Lot A5, Block 1, Phase 6 of the Copper Ranch Subdivision. The project comprises seven (7) condominium buildings, for a total of thirty-one (31) residential units within Phase 6 of the project. This project is known as The Woods at Copper Ranch, and it is located within the General Residential (GR) Zoning District.

Hearing: April 7, 2025

Applicant: Lido Equities Group (North Idaho LLC)
Project: The Woods at Copper Ranch
Location: Copper Ranch Condo #1, Parcel A5, Phase 6
Size & Zoning: 1.65 acres (71,640 sq. ft.) General Residential (GR) Zoning District

Notice: Notice for the public hearing was published in the Idaho Mountain Express on May 29, 2024, and mailed to adjoining property owners on May 29, 2024.

Application: Lido Equities Group, North Idaho LLC, represented by Galena-Benchmark Engineering, submitted a Preliminary Plat Application requesting approval to formalize the condominium subdivision of Phase 6 of the Copper Ranch Subdivision. This application proposes to condominiumize seven (7) buildings into thirty-one (31) residential units. This is the final component required to complete, in its entirety, the Copper Ranch Development.

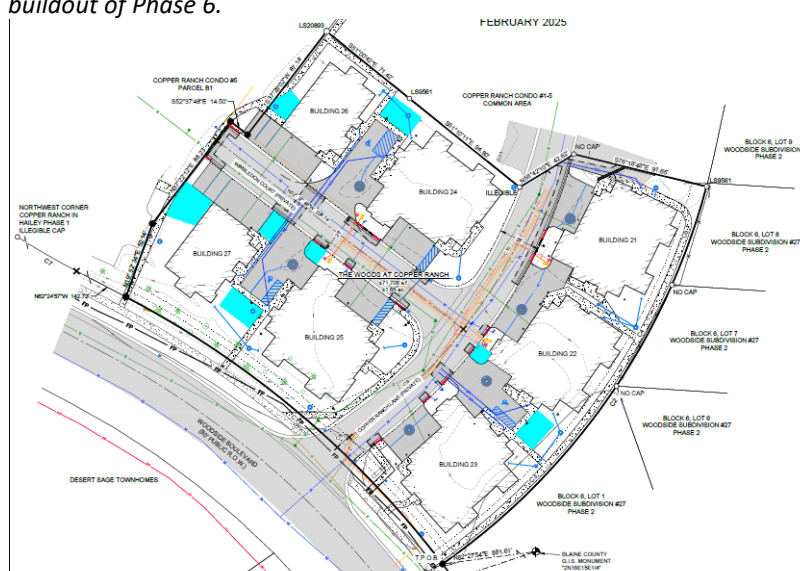
Background: On May 1, 2023, the Planning and Zoning Commission approved a Design Review Application for the buildout of Phase 6, which included seven (7) multifamily buildings, for a unit total of thirty-one (31) residential units within Phase 6, and an overall total of 128 condominium units within the Copper Ranch Development. The Applicant proposed modifications to complete the buildout of the Copper Ranch Subdivision, reducing the overall unit total by seven (7) residential units via the removal of Building. The Hailey City Council approved the Fifth Amendment to the Planned Unit Amendment reflecting these modifications – which included the removal of Building 17 and the reduction in residential unit totals, reduced setback provisions, increased public transit facilities, and the increase in the total number of onsite parking spaces on June 13, 2023.

On February 24, 2025, the Hailey City Council approved the Final Plat Application by Lido Equities Group – Idaho, LLC, represented by Galena-Benchmark Engineering, for the plat modification to Copper Ranch

Phase 6, which included the vacation of the previously platted land – specifically for Building 17 – to finalize and further accommodate for the modifications noted above.

Procedural History: The Application was submitted on February 21, 2025, and certified complete on March 24, 2025. A public hearing before the Planning and Zoning Commission will be held on April 7, 2025, in the Council Chambers of Hailey City Hall, and virtually via Microsoft Teams.

| Standards of Evaluation for a Subdivision | | | | |
|---|--------------------------|--------------------------|---------------------------------|--|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.050 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | Engineering: Private streets, no new approach |
| | | | | Life/Safety: No comments. |
| | | | | Water and Wastewater: <ul style="list-style-type: none"> - Water Division: A lot of the water meter vaults have been hit by snow removal equipment over the years, I suggest that we require them to fix them to near new condition or replace them. - The vaults need to have the correct 24" lid with metal ring. The lids that are on the vaults now are only 18" diameter and we are unable to remove the foam pads in the vaults to work on the meters. - Any meter vault that will be in pavement needs to have a heavy traffic rated 24" lid and ring. - Any of the vaults that do not have a foam pad or if the foam pad is ruined, they will need to install a new 4" thick foam pad for those vaults. - They will need to raise or lower any meter vault that is not at the correct grade. Adding a riser or cutting down the vaults to make grade is not desired. - They will need to abandon any unused service. - Wastewater Division: Needs a picture of the connection to building #25. |
| | | | | Building: No comments. |
| | | | | Streets: No comments. |
| | | | | City Arborist: No comments. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.010 Development Standards | Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan. |
| | | | Staff Comments | Please refer to the specific standards as noted herein. |
| 16.04.020: Streets: | | | | |
| Compliant | | | Standards and Staff Comments | |

| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
|-------------------------------------|--------------------------|-------------------------------------|-----------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.020 | Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. | <p>Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.</p> |
| | | | <i>Staff Comments</i> | <p>The locations of the proposed buildings were planned in an earlier phase of this development, with the integration of the existing private streets (Wimbledon Court and Copper Ranch Lane). Both public and private streets have been considered and accounted for in the design and buildout of Phase 6.</p>  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. | <p>Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.</p> |
| | | | <i>Staff Comments</i> | N/A, as no cul-de-sac or dead-end street is proposed. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C. | <p>Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.</p> |
| | | | <i>Staff Comments</i> | Access to the parcels can be achieved from Woodside Boulevard, Copper Ranch Lane, and Wimbledon Court. All access points exist and are adequate to service the proposed development. |

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| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. | Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections. |
| | | | Staff Comments | N/A. All public and private streets within the subdivision exist and are compliant with City Standards. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. | Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. |
| | | | Staff Comments | N/A. All public and private streets within the subdivision exist and are compliant with City Standards. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | F. | Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street. |
| | | | Staff Comments | The existing public street (Woodside Boulevard) is 80' in width, which meets the minimum City Standards of 60' in width, and is consistent with Title 18 of the Hailey Municipal Code. The existing private streets, Copper Ranch Lane and Wimbleton Court, are 28' in width, and comply with City Standards. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | G. | Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction. |
| | | | Staff Comments | N/A. All public and private streets within the subdivision exist and are compliant with City Standards. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | H. | Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the |

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| | | | | roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope. |
| | | | Staff Comments | <i>N/A. All public and private streets within the subdivision exist and are compliant with City Standards.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | I. | Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm water Discharge from Construction Activity" for all construction activity affecting more than one acre. |
| | | | Staff Comments | <i>N/A. All public and private streets within the subdivision exist and are compliant with City Standards.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | J. | Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards. |
| | | | Staff Comments | <i>N/A, as all street and traffic control signs exist, and are compliant with City Standards.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | K. | Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County. |
| | | | Staff Comments | <i>N/A. All public and private streets within the subdivision exist and all have been named and are compliant with City Standards.</i> |
| | | | L. | Private Streets: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | L. 1. | Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association. |
| | | | Staff Comments | <i>N/A. All private streets within the subdivision exist and are compliant with City Standards.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | L. 2. | Private streets, wherever possible, shall provide interconnection with other public streets and private streets. |
| | | | Staff Comments | <i>N/A. All private streets within the subdivision exist and are compliant with City Standards.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | L. 3. | The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat. |

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| | | | Staff Comments | <i>N/A. All private streets within the subdivision exist and are compliant with City Standards.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | L. 4. | Private street names shall not end with the word “Road”, “Boulevard”, “Avenue”, “Drive” or “Street”. Private streets serving five (5) or fewer dwelling units shall not be named. |
| | | | Staff Comments | <i>N/A. All private streets within the subdivision exist and are compliant with City Standards.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | L. 5. | Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas. |
| | | | Staff Comments | <i>The private streets exist and are 28’ width. Snow storage areas and easements have been dedicated on the plat, as per this standard. Please refer to Section 16.04.040 B.3. for a complete analysis of onsite snow storage and snow storage easements. This standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | L. 6. | Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10’x20’) if angle parking, or ten feet by twenty-four feet (10’x24’) if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage. |
| | | | Staff Comments | <p><i>Per the Design Review Code, Multifamily Dwellings are currently required to provide one (1) parking space per dwelling unit that is smaller than 1,000 square feet and one-and-a-half (1.5) parking spaces per dwelling unit that is larger than 1,000 square feet. The Applicant is proposing a total of thirty-one (31) condominium units in Phase 6— seven (7) that are smaller than 1,000 square feet and require one (1) parking space each (for a total of 7 parking spaces), plus twenty-four (24) units that are larger than 1,000 square feet and require 1.5 parking spaces each (for a total 36 parking spaces). Per the current Design Review Code, the proposed units require a total of forty-three (43) parking spaces.</i></p> <p><i>In tandem with the Design Review Code, this section of the Subdivision Code requires that all subdivisions serviced by private streets provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. Overall, Phase 6 of the Copper Ranch Subdivision is required – by the zoning and subdivision codes – to provide three to three-and-a-half (3-3.5) parking spaces per unit or 105 spaces in total.</i></p> |


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| | | | | <p><i>When Copper Ranch was subdivided and the original Design Review for twenty-nine condominium buildings was approved, Hailey's Municipal Code required 2.5 parking spaces per condominium unit. The Copper Ranch Planned Unit Development Agreement and the four subsequent amendments neither reiterate nor refer to the preexisting parking requirement; and the 2003 Design Review approval has since expired. In an attempt to reconcile the discrepancy between the parking standards that have changed over the years, as well as to adhere as best as possible to the total unit count agreed upon for the subdivision, the Applicant agreed to amend the PUD Agreement to reflect the parking requirement that was current to the 2003 Design Review Code: two-and-a-half (2.5) parking spaces per condominium unit. Staff, the Commission, and the Council supported this compromise, which has been reflected in the most recent PUD Amendment. The requirement, approved by the Council in May 2023, to provide 2.5 parking spaces per condominium unit, pertains to Phase 6, as well as to the previous and built phases.</i></p> <p><i>Based on the approval by the Council, Phase 6 includes eighty-four (84) parking spaces. Phase 6 is required to provide approximately 77 parking spaces, which the Developer has exceeded. The Commission and the Council found that this standard has been met.</i></p> |
| | | | M. | Driveways: |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | M. 1. | <p>Driveways Number of Units Served By One (1) Driveway:</p> <p>a. Single-Family Dwelling Units: Driveways may provide access to not more than two (2) single-family dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway.</p> <p>b. Townhouse And Cottage Dwelling Units: Driveways may provide access to not more than four (4) townhouses or cottage dwelling units. Where a townhouse development will have sublots fronting a street, not more than one (1) additional townhouse subplot accessed by a driveway may be created to the rear of each subplot. All driveways shall meet the applicable requirements of the fire and building codes, as adopted by the City of Hailey.</p> |
| | | | Staff Comments | <p><i>Site circulation has been designed to keep vehicular access to the private streets of Copper Ranch Lane and Wimbledon Court, which connect to the public street Woodside Boulevard and provide access to condominium driveways and parking. While driveway widths are not listed, each "parking area" leading to each multifamily building appears to be under 30' in width and are serviced via private streets</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | M. 2. | <p>Driveways shall be constructed with an all-weather surface and shall have the following maximum roadway widths:</p> <p>a. Accessing one residential unit: twenty feet (20'); b. Accessing two (2) or more residential units: thirty feet (30').</p> |

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| | | | | No portion of the required fire lane width of any driveway may be utilized for parking, aboveground utility structures, dumpsters or other service areas, snow storage or any other obstructions. |
| | | | Staff Comments | <i>Site circulation has been designed to keep vehicular access to the private streets of Copper Ranch Lane and Wimbledon Court, which connect to the public street Woodside Boulevard and provide access to condominium driveways and parking. While driveway widths are not listed, each “parking area” leading to each multifamily building appears to be under 30’ in width and are serviced via private streets. No portion of the fire lanes are proposed to be utilized for parking or driveways.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | M. 3. | Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department. |
| | | | Staff Comments | <i>N/A, as no driveways/parking areas are longer than 150 feet.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | M. 4. | Driveways accessing more than one residential dwelling unit shall be maintained by an owner’s association, or in accordance with a plat note. |
| | | | Staff Comments | <i>All private streets, access lanes, and proposed driveways/parking areas will be managed by the homeowner’s association.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | M. 5. | The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback. |
| | | | Staff Comments | <i>Please refer to Section 16.04.020(M) for further details.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | M. 6. | No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots. |
| | | | Staff Comments | <i>Each “parking area” has been planned with careful attention to existing infrastructure and tenants of the Phase 6 Copper Ranch Development. No vehicular and/or pedestrian areas will interfere with the maintenance of existing infrastructure, and as proposed, have minimal impact on the existing and proposed residential units.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | M. 7. | Driveways shall not be named. |
| | | | Staff Comments | <i>No driveways are named with Phase 6 of the Subdivision.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | N. | Parking Access Lane: Multi-family, townhouse developments of greater than four (4) dwelling units, and cottage developments may be served by a parking access lane. A parking access lane shall not be considered a |

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| | | | | street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Cottage Developments: Cottage developments shall be served by no more than one (1) parking access lane on each public street frontage. |
| | | | <i>Staff Comments</i> | N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | O. | Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. |
| | | | <i>Staff Comments</i> | Fire lanes exist and comply with City Standards. All private streets have been approved and currently operate as such. Said lanes/private streets comply with all regulations set forth in adopted fire codes. |
| 16.04.030: Sidewalks and Drainage Improvements | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein. |
| | | | <i>Staff Comments</i> | The site plan includes attractive and interconnected pedestrian sidewalks and pathways that reinforce pedestrian circulation within the site. The site circulation design keeps vehicular access and parking to the private streets and public streets. New internal pathways are proposed around the perimeter of Phase 6, between the buildings, partially along Copper Ranch Lane, and connecting to the recreational facilities at Gravity Fitness. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street. |
| | | | <i>Staff Comments</i> | The Applicant is proposing to install new 6'-wide sidewalks onsite and throughout the development of Phase 6 to provide greater connectivity to existing sidewalks along and within the development. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C. | New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site. |
| | | | <i>Staff Comments</i> | The Applicant is proposing to install new 6'-wide sidewalks onsite and throughout the development of Phase 6 to provide greater connectivity to existing sidewalks along and within the development. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. | Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections. |
| | | | <i>Staff Comments</i> | N/A. The Applicant is proposing to install new 6'-wide sidewalks onsite and throughout the development of Phase 6 to provide greater connectivity to existing sidewalks along and within the development. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. | The requirement for sidewalk and drainage improvements are not required for any lot line adjustment. |
| | | | <i>Staff Comments</i> | N/A, as no Lot Line Adjustment is included with this application. |

| 16.04.040: Alleys and Easements | | | | |
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| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| | | | A. | Alleys: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 1. | Alleys shall be provided in all Business District and Limited Business District developments where feasible. |
| | | | Staff Comments | N/A, as there is no alley proposed for Phase 6 of the Subdivision. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 2. | The minimum width of an alley shall be twenty-six (26') feet. |
| | | | Staff Comments | N/A, as there is no alley proposed for Phase 6 of the Subdivision. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 3. | All alleys shall be dedicated to the public or provide for public access. |
| | | | Staff Comments | N/A, as there is no alley proposed for Phase 6 of the Subdivision. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 4. | All infrastructures to be installed underground shall, where possible, be installed in the alleys platted. |
| | | | Staff Comments | N/A, as there is no alley proposed for Phase 6 of the Subdivision. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 5. | Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. |
| | | | Staff Comments | N/A, as there is no alley proposed for Phase 6 of the Subdivision. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 6. | Dead-end alleys shall not be allowed. |
| | | | Staff Comments | N/A, as there is no alley proposed for Phase 6 of the Subdivision |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 7. | Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities. |
| | | | Staff Comments | N/A, as there is no alley proposed for Phase 6 of the Subdivision. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes: |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. 1. | To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide |

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| | | | | <p>fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.</p> |
| | | | Staff Comments | <p><i>The following easements exist:</i></p> <ul style="list-style-type: none"> - 28'-wide Private Access and Utility Easement along Wimbledon Court. - 10'-wide Public Utility, Snow Storage, and Landscaping Easement along Woodside Boulevard as well as the southern property line. - 5' Public Power Easement along Woodside Boulevard. - Public Sewer Main Easement. - Noise and Avigation Easement and non-suit covenant <p><i>The parcel does not border the Big Wood River.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. 2. | <p>To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.</p> |
| | | | Staff Comments | <p><i>N/A, as no natural resource, riparian area, hazardous area or other limitation requires an easement for the proposed subdivision.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. 3. | <p>To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.</p> |
| | | | Staff Comments | <p><i>The proposed snow storage area for Phase 6 of the Copper Ranch Subdivision was approved on May 1, 2023, through the Design Review Application and the Fifth Amendment to the Planned Unit Development Agreement. The Phase 6 site plan proposes approximately 24,250 square feet of hardscape for parking areas and pedestrian circulation. The required snow storage area for Phase 6, twenty-five percent (25%) of the hardscape, equates to approximately 6,063 square feet. The Applicant proposes to meet this requirement using area from Phases 1-5, particularly a large area adjacent to Phase 6. Within Phase 6, 3,775</i></p> |

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| | | | | <p>square feet of area is designated for snow storage, while Phases 1-5 include an excess of 4,125 square feet of designated snow storage. Overall, the subdivision supersedes its snow storage requirement, providing 26.3% of the hardscaped area in snow storage. Furthermore, the Applicant plans to utilize snow storage across all phases of Copper Ranch to meet this storage requirement. The Hailey City Council approved the snow storage plan, in its entirety, in 2023.</p>  |
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16.04.050: Blocks

| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.050 | <p>Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.</p> |
| | | | Staff Comments | N/A, as no new blocks are proposed, and all existing blocks are shown on the Preliminary Plat. |

16.04.060: Lots

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|---|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.060 | <p>Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the district in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | <p>If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.</p> |

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| | | | Staff Comments | <i>The proposed condominium project is located within the General Residential District (GR) which conforms to the minimum standards for lots within this district.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. | Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s). |
| | | | Staff Comments | <i>N/A, as no double frontage lots are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | C. | No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat. |
| | | | Staff Comments | <i>N/A, as no unbuildable lots are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. | A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way. |
| | | | Staff Comments | <i>N/A, as no flag lot is proposed at this time.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | E. | All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Section 16.04.020 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street. |
| | | | Staff Comments | <i>All proposed lots have frontage on private streets (Copper Ranch Lane and Wimbledon Court)</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | F. | In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e., lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures. |
| | | | Staff Comments | <i>N/A, as this project is not located in the TO District.</i> |
| 16.04.070: Orderly Development | | | | |

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|---|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land. |
| | | | <i>Staff Comments</i> | <i>A Phasing Agreement was approved when the Planned Unit Development Agreement was established. Revisions to the PUD Agreement identified additional timelines for phasing, which has been reviewed and approved by the Hailey City Council (May 2023). This is the final phase of the Copper Ranch Development.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council. |
| | | | <i>Staff Comments</i> | <i>A Phasing Agreement was approved when the Planned Unit Development Agreement was established. Revisions to the PUD Agreement identified additional timelines for phasing, which has been reviewed and approved by the Hailey City Council (May 2023). This is the final phase of the Copper Ranch Development.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C. | Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following: a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance. |
| | | | <i>Staff Comments</i> | a) Provision of on-site or off-site street or intersection improvements. Existing b) Provision of other off-site improvements. Per the PUD Agreement, the Applicant shall complete and expand the transit facility amenity in the area, which is anticipated to happen this summer, 2025. c) Dedications and/or public improvements on property frontages. The dedication and/or public improvements on property frontages exist. Further connectivity of existing sidewalks and infrastructure is planned with the buildout of Phase 6. |

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| | | | | <p>d) Dedication or provision of parks or green space. <i>The public facilities and/or amenities exist and have been determined to be complete.</i></p> <p>e) Provision of public service facilities. <i>All public utilities and services exist.</i></p> <p>f) Construction of flood control canals or devices. <i>N/A.</i></p> <p>g) Provisions for ongoing maintenance. <i>Ongoing maintenance within the development will be managed by the HOA.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | D. | <p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ol style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic. 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. 5. Park land shall be most appropriately located on the Contiguous Parcels. 6. Grading and drainage shall be appropriate to the Contiguous Parcels. 7. Development shall avoid easements and hazardous or sensitive natural resource areas. <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p> |
| | | | Staff Comments | <p><i>The properties directly adjacent/contiguous to the parcel and associated with this Application, known as the Copper Ranch Subdivision, are part of a phased development and PUD Agreement. The streets and circulation of the site are existing. An Area Development Plan for the site was approved at the time of PUD approval.</i></p> |
| 16.04.080: Perimeter Walls, Gates and Berms | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.080 | <p>The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.</p> |
| | | | Staff Comments | <p><i>N/A- No perimeter gates or walls are proposed.</i></p> |
| 16.04.090: Cuts, Fills, Grading and Drainage | | | | |

| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance. |
| | | | Staff Comments | The proposed condominium units are part of a Planned Unit Development (PUD Agreement) and are compatible with previous phases of the development. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 1. | A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application. |
| | | | Staff Comments | N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. 2. | A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information: <ul style="list-style-type: none"> a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council. |
| | | | Staff Comments | <ul style="list-style-type: none"> a) Proposed contours at a maximum of two (2) foot contour intervals; Site plan shows 1' and 5' contour lines b) Cut and fill banks in pad elevations; c) Drainage patterns; All drainage is proposed to be mitigated through catch basins and drywells on the property. d) Areas where trees and/or natural vegetation will be preserved; Street trees along Woodside Boulevard will remain in place. e) Location of all street and utility improvements including driveways to building envelopes; and Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council. |
| | | | B. | Design Standards: The proposed subdivision shall conform to the following design standards: |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. 1. | Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways. |
| | | | Staff Comments | All grading shall comply with 18.12.010. This standard will be met. |

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| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. 2. | Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision. |
| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. 3. | Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion. |
| | | | <i>Staff Comments</i> | N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. 4. | Where cuts, fills or other excavation are necessary, the following development standards shall apply: <ul style="list-style-type: none"> a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope. e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures. |
| | | | <i>Staff Comments</i> | Proposed grading appears to meet standards; further review by the City Engineer and Streets Division Manager will take place during final design, as well as during and throughout project initiation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. 5. | The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre. |

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| | | | Staff Comments | <i>The Applicant shall install drainage and/or irrigation pipe and all necessary structures in conformity with the approved construction plans and in accordance with the City of Hailey standard drawings and these standard specifications and to the lines and grades established. The work shall consist of trench excavation, trench preparation, pipe installation, pipe connection, structure installation and backfill complete. This has been made a Condition of Approval.</i> |
| 16.04.100: Overlay Districts | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| | | | A. | Flood Hazard Overlay District: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 1. | Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance. |
| | | | Staff Comments | <i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 2. | Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible. |
| | | | Staff Comments | <i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 3. | Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes. |
| | | | Staff Comments | <i>N/A, the proposed subdivision is not located adjacent to the Big Wood River or its tributaries.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. | Hillside Overlay District: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. 1. | Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 17.04N, of the Hailey Municipal Code. |
| | | | Staff Comments | <i>N/A, the proposed subdivision is not located within the Hillside Overlay District.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. 2. | Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District. |
| | | | Staff Comments | <i>N/A, the proposed subdivision is not located within the Hillside Overlay District.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. 3. | All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs. |
| | | | Staff Comments | <i>N/A, the proposed subdivision is not located within the Hillside Overlay District.</i> |
| 16.04.110: Parks, Pathways and Other Green Spaces | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein. |
| | | | A. 1. | Parks: |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. 1. a. | <p>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</p> <p>$P = x \text{ multiplied by } .0277$</p> <p>"P" is the Parks contribution in acres</p> <p>"x" is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, "x" is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</p> |
| | | | Staff Comments | <p><i>Per the Planned Unit Development Agreement (PUD) and as satisfaction of this standard, the Applicant paid an in-lieu fee to the City in the amount of \$71,415 to go toward improving Woodside Central Park (Keefer Park), plus interest accruing at the rate of 6% per annum from the date of the original Agreement. Both the City and Applicant found this payment of an in-lieu fee to be fair and equitable and satisfied the provisions of this standard.</i></p> <p><i>In addition, the Applicant further agreed to construct a recreational facility, to be open to the public, after construction of said facility. Gravity Fitness, tennis and pickleball courts, and studio space exist today as amenities available to the public, and residents of the Copper Ranch Development.</i></p> <p><i>This standard has been met.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A.1.b | <p>In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a park shall be reduced by 75%, but in no event shall the area required for a park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.</p> |
| | | | Staff Comments | <p><i>N/A. Phase Six of the development is located within the General Residential Zoning District; this standard does not apply.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. 2. | <p>Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</p> |

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| | | | Staff Comments | <p><i>The site plan includes attractive and interconnected pedestrian sidewalks and pathways that reinforce pedestrian circulation within the site. The site circulation design keeps vehicular access and parking to the private streets and public streets. New internal pathways are proposed around the perimeter of Phase 6, between the buildings, partially along Copper Ranch Lane, and connecting to the recreational facilities at Gravity Fitness.</i></p> <p><i>In 2023, both the Commission and Council reviewed and approved the proposed vehicular and pedestrian circulation systems via the Design Review and PUD hearings. Any additional requirements regarding these systems have been noted as Conditions of Approval in the associated Findings of Fact.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. | <p>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units. d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance. |
| | | | Staff Comments | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | C. | <p>Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.</p> |
| | | | Staff Comments | N/A |
| | | | D. | Minimum Requirements: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. 1. | <p>Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions</p> |

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| | | | | which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council. |
| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. 2. | Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City. |
| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. 3. | Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. |
| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. 4. | Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces. |
| | | | <i>Staff Comments</i> | N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | D. 5. | Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The city may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A |

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| | | | | Developer is entitled to receive a credit against any area required for a park for every square foot of qualified dedicated Pathway right-of-way. |
| | | | Staff Comments | <i>Please refer to Section 16.04.110 A.2 for further details.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. | Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria): |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. 1. | Shall meet the minimum applicable requirements required by Subsection D of this section. |
| | | | Staff Comments | <i>N/A</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | E. 2. | Shall provide safe and convenient access, including ADA standards. |
| | | | Staff Comments | <i>This standard shall be met.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. 3. | Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development. |
| | | | Staff Comments | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. 4. | Shall be configured in size, shape, topography and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision. |
| | | | Staff Comments | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. 5. | Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses. |
| | | | Staff Comments | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. 6. | Shall require low maintenance or provide for maintenance or maintenance endowment. |
| | | | Staff Comments | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | F. | Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria): |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | F. 1. | Shall meet the minimum applicable requirements required by Subsection D of this section. |
| | | | Staff Comments | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | F. 2. | Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets. |
| | | | Staff Comments | <i>N/A</i> |

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| | | | G. | Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria): |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | G. 1. | Shall meet the minimum applicable requirements required by subsection D of this section. |
| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | G. 2. | Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space). |
| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | G. 3. | The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City. |
| | | | <i>Staff Comments</i> | N/A |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | G. 4. | The private ownership and maintenance of green space shall be adequately provided for by written agreement. |
| | | | <i>Staff Comments</i> | N/A |
| | | | H. | In-Lieu Contributions: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | H. 1. | After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements. |
| | | | <i>Staff Comments</i> | N/A |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | H. 2. | The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in subsections E4 and E5 of this section. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant. |
| | | | <i>Staff Comments</i> | Please refer to Section 16.04.110 for further details. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | H. 3. | Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements. |

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| | | | Staff Comments | <i>Please refer to Section 16.04.110 for further details.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | H. 4. | In-lieu contributions must be segregated by the city and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision. |
| | | | Staff Comments | <i>Please refer to Section 16.04.110 for further details.</i> |
| 16.05: Improvements Required: | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.010 | Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare. |
| | | | Staff Comments | <i>The Applicant intends to construct all necessary infrastructure to City Standards and procedures, if the revised plat/project is approved. This includes sidewalks, curb and gutter (where applicable), truncated domes at pedestrian crosswalks and intersections, street trees, irrigation, drywells, and catch basins, as applicable. All City Standards and Procedures, set forth in Title 18 of Hailey's Municipal Code, shall be met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon. |
| | | | Staff Comments | <i>This standard shall be met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting. |
| | | | Staff Comments | <i>This standard shall be met.</i> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C. | Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except those parks shall be guaranteed and maintained by the developer for a period of two years. |
| | | | Staff Comments | <i>This standard shall be met.</i> |
| 16.05.020: Streets, Sidewalks, Lighting, Landscaping | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.05.020 | Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction. |
| | | | Staff Comments | <i>N/A. All streets exist within the subdivision. All other improvements have either been met or will be met, as applicable, and comply with all City Standards.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. | Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015) |
| | | | Staff Comments | <i>N/A. All streets exist within the subdivision. All other improvements have either been met or will be met, as applicable, and comply with all City Standards.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City. |
| | | | Staff Comments | <i>This standard has been met.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | C. | Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIIIB of the Hailey Zoning Ordinance. |
| | | | Staff Comments | <i>N/A. Streetlights are not required improvements within this zoning district.</i> |
| 16.05.030: Sewer Connections | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.030 | Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all |

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| | | | | <p>federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p> |
| | | | Staff Comments | <p><i>Sewer services are shown from each building and connecting into an existing sewer main. Connection details to the existing sewer system have been approved by the Wastewater Division. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i></p> |
| 16.05.040: Water Connections | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. | <p>Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p> |
| | | | Staff Comments | <p><i>Water services are shown from each lot and connecting into an existing water main. Connection details to the existing water system have been approved by the Water Division. There is an existing fire hydrant on site which will remain in place. Per previous applications, Public Works Staff requests that the Applicant add the locations of manholes 05108AB, 05108BB and 05108CB to the Civil Engineering plan set.</i></p> <p><i>All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. | <p>Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p> |
| | | | Staff Comments | <p><i>N/A. The project is not located in the TO Zoning District.</i></p> |
| 16.05.050: Drainage | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.05.050 | <p>Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p> |

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| | | | Staff Comments | <i>This standard shall be met and inspected per City Standards.</i> |
| 16.05.060: Utilities | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.05.060 | Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley. |
| | | | Staff Comments | <i>All utilities will be constructed and installed underground. This has been made a Condition of Approval.</i> |
| 16.05.070: Parks, Green Space | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.070 | Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council. |
| | | | Staff Comments | <i>Please refer to Section 16.04.110 for further detail.</i> |
| 16.05.080: Installation to Specifications; Inspections | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.080 | Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the city engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent. |
| | | | Staff Comments | <i>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be further evaluated in greater detail at final design. The inspection process of the proposed public improvements shall include materials testing to ensure compliance with the Hailey Municipal Code.</i> <i>The City will need to select an inspector, to be paid for by the Applicant, for all water, sewer, and roadway infrastructure during construction.</i> |
| 16.05.090: Completion; Inspections; Acceptance | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the city prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance. |
| | | | Staff Comments | <i>This standard shall be met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | The developer may, in lieu of actual construction, provide to the city security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015) |
| | | | Staff Comments | <i>N/A, as completion of all major infrastructure by the Developer is preferred over bonding.</i> |

| 16.05.100: As Built Plans and Specifications | | | | |
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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.100 | As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015) |
| | | | <i>Staff Comments</i> | <i>As-built drawings will be required. This has been made a Condition of Approval.</i> |

Summary and Suggested Conditions of Approval: The Commission shall review the Preliminary Plat Application and continue the public hearing, approve, conditionally approve, or deny the Application. If approved, the Preliminary Plat Application will be forwarded to the Hailey City Council. The following are suggested Conditions of Approval on this Application:

General Conditions:

- A. All conditions of the Planned Unit Development and Design Review approvals shall be met.
- B. All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant’s sole expense include, but will not be limited to:
 - a. The Applicant shall install drainage and/or irrigation pipe and all necessary structures in conformity with the approved construction plans and in accordance with the City of Hailey standard drawings and these standard specifications and to the lines and grades established. The work shall consist of trench excavation, trench preparation, pipe installation, pipe connection, structure installation and backfill complete.
 - b. The locations of manholes 05108AB, 05108BB and 05108CB shall be added to the Civil Engineering plan set, reviewed and approved by the City prior to completion.
- C. All Fire Department and Building Department requirements shall be met and shall meet City Standards where required.
- D. Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Section 16.02.080 of the Hailey Municipal Code.
- E. Any and all improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- F. The Applicant shall construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code.
- G. The Final Plat must be submitted within two (2) calendar years from the date of approval of the Preliminary Plat.
- H. Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer.
- I. Any Subdivision Inspection Fees due shall be paid prior to recordation of Final Plat.

- J. Any Application Development Fees shall be paid prior to recordation Final Plat.
- K. All utilities shall be installed underground.
- L. All sidewalks located on private property, interior and perimeter, shall be maintained year-round by the HOA.

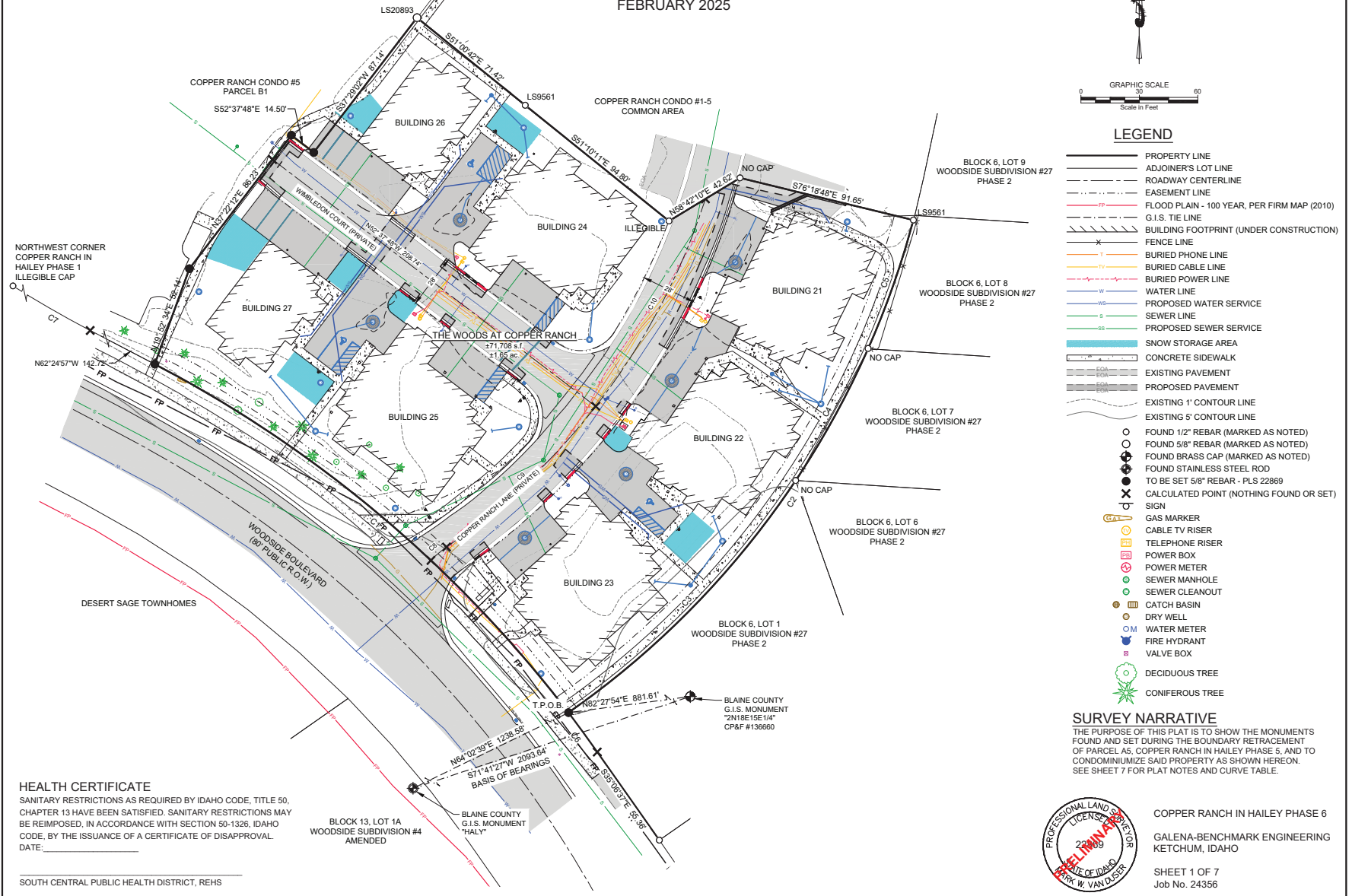
Motion Language:

Approval: Motion to recommend approval by the Hailey City Council the Preliminary Plat Application by Lido Equities Group - North Idaho, LLC, represented by Galena-Benchmark Engineering, to replat Lot A5, Block 1, Phase 6 of the Copper Ranch Subdivision, into condominium units, finding that the application meets all City Standards, and that Conditions (a) through (l) will be met.

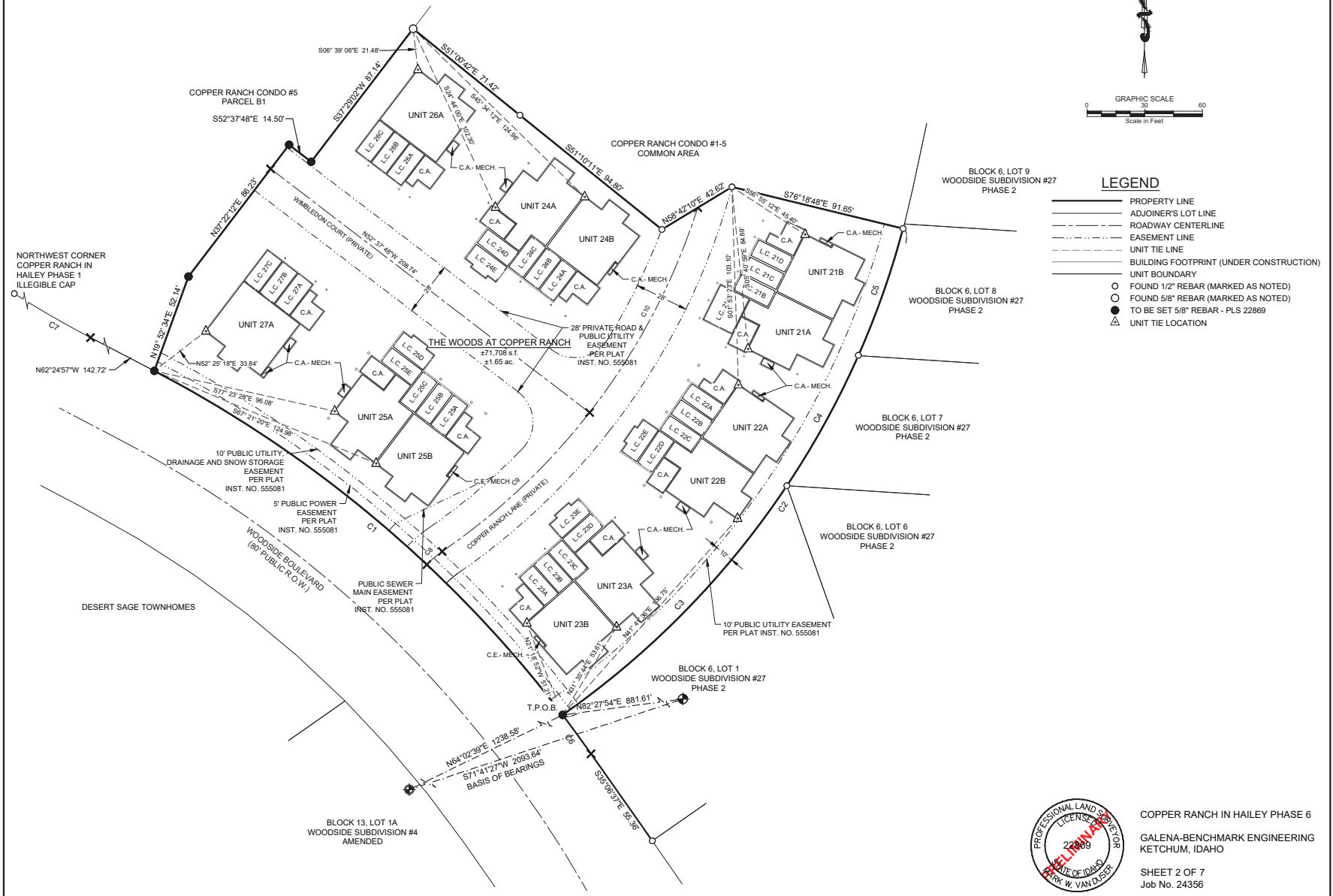
Denial: Motion to deny the Preliminary Plat Application by Lido Equities Group - North Idaho, LLC, represented by Galena-Benchmark Engineering, to replat Lot A5, Block 1, Phase 6 of the Copper Ranch Development finding that _____ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date].

A PRELIMINARY PLAT SHOWING
THE WOODS AT COPPER RANCH
LOCATED WITHIN T.2N., R.18E., SECTION 15, B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
WHEREIN PARCEL A5, BLOCK 1 IS SUBDIVIDED INTO CONDOMINIUM UNITS
FEBRUARY 2025

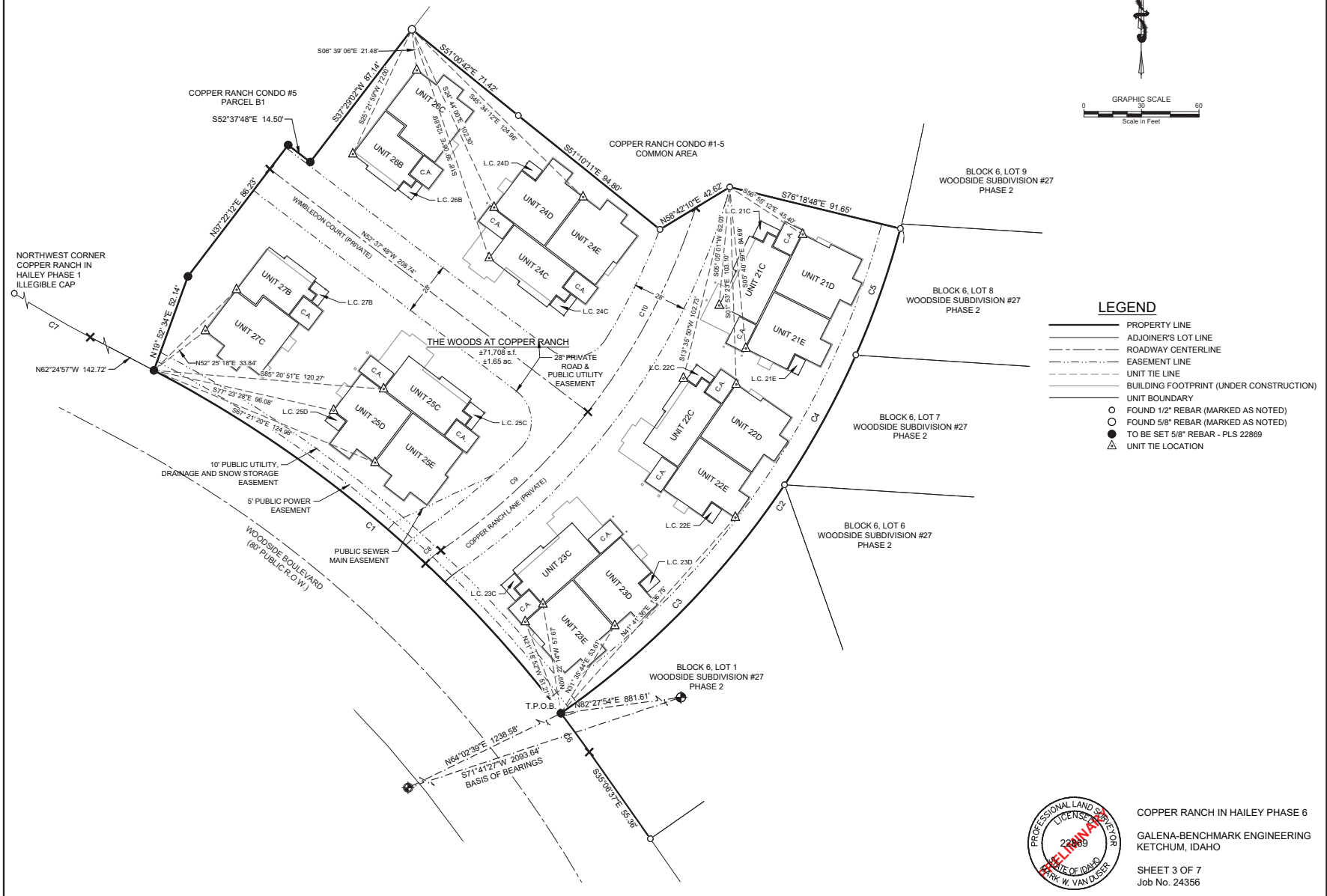


A PRELIMINARY PLAT SHOWING
THE WOODS AT COPPER RANCH
 1ST FLOOR UNIT TIES & EASEMENTS



COPPER RANCH IN HAILEY PHASE 6
 GALENA-BENCHMARK ENGINEERING
 KETCHUM, IDAHO
 SHEET 2 OF 7
 Job No. 24356

A horizontal graphic scale bar with alternating black and white segments. It is labeled with '0', '30', and '60' at the top. Below the bar, the text 'Scale in Feet' is centered.



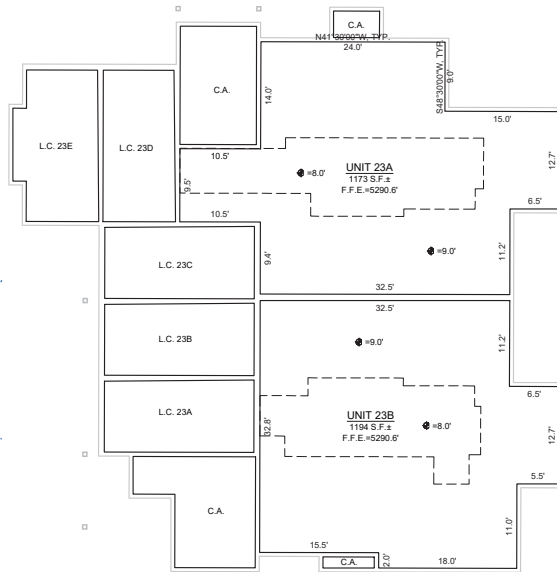
UNIT DIMENSIONS



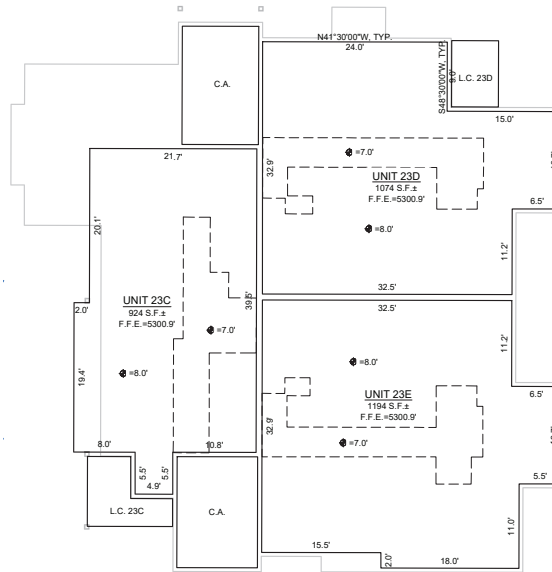
_____ BUILDING FOOTPRINT
 _____ UNIT BOUNDARY
 - - - - - CEILING HEIGHT BREAK LINE
 CEILING HEIGHT
 F.F.E. FINISHED FLOOR ELEVATION
 L.C. LIMITED COMMON AREA
 C.A. GENERAL COMMON AREA

COPPER RANCH IN HAILEY PHASE 6
GALENA-BENCHMARK ENGINEERING
KETCHUM, IDAHO
SHEET 4 OF 7
Job No. 24356

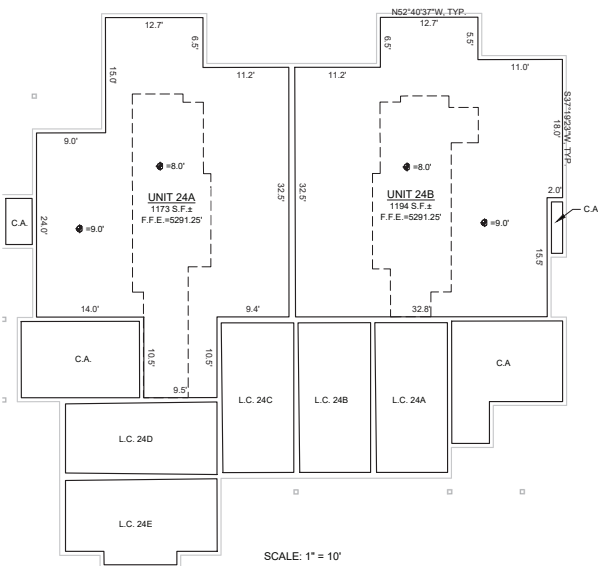
A PRELIMINARY PLAT SHOWING
THE WOODS AT COPPER RANCH
 UNIT DIMENSIONS



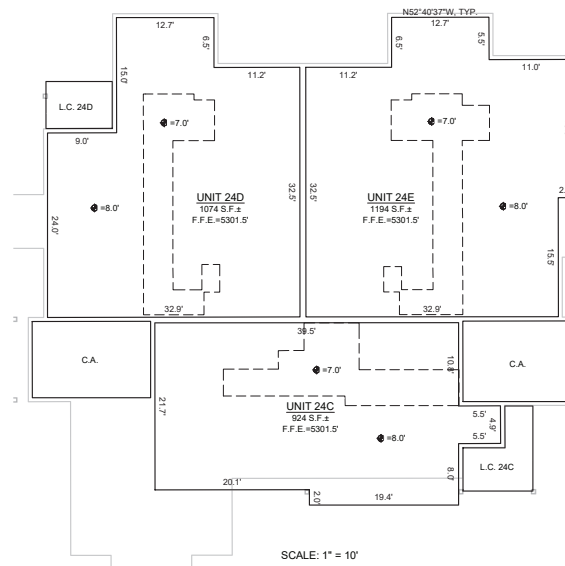
SCALE: 1" = 10'



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LEGEND

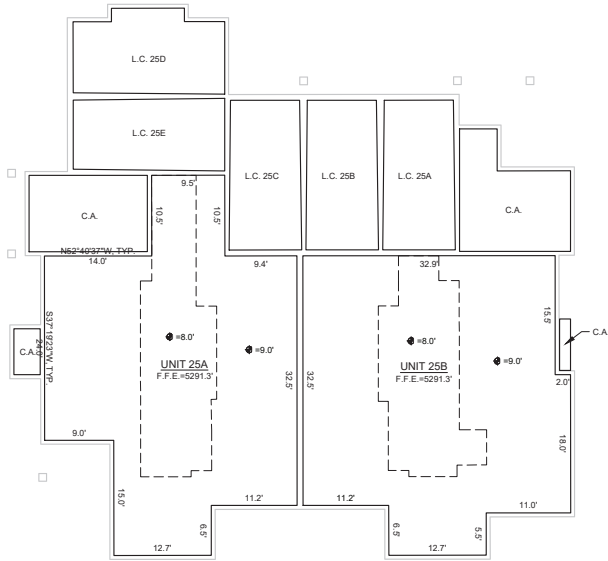
- BUILDING FOOTPRINT
- UNIT BOUNDARY
- - - CEILING HEIGHT BREAK LINE
- - - CEILING HEIGHT
- F.F.E. FINISHED FLOOR ELEVATION
- L.C. LIMITED COMMON AREA
- C.A. GENERAL COMMON AREA

NOTE: ALL UNIT WALLS ARE PARALLEL
 AND PERPENDICULAR, UNLESS NOTED
 OTHERWISE.

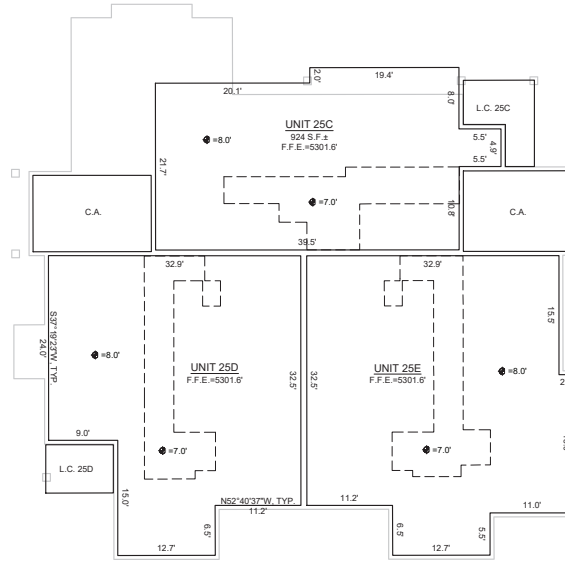


COPPER RANCH IN HAILEY PHASE 6
 GALENA-BENCHMARK ENGINEERING
 KETCHUM, IDAHO
 SHEET 5 OF 7
 Job No. 24356

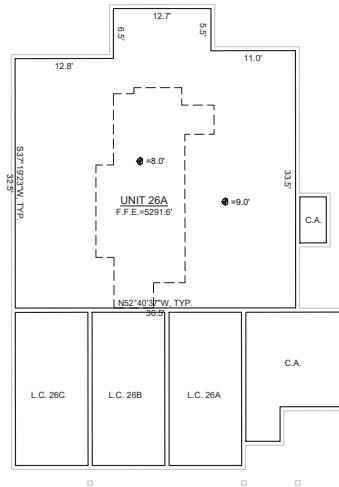
A PRELIMINARY PLAT SHOWING
THE WOODS AT COPPER RANCH
 UNIT DIMENSIONS



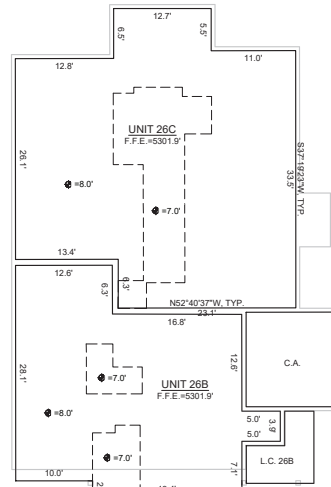
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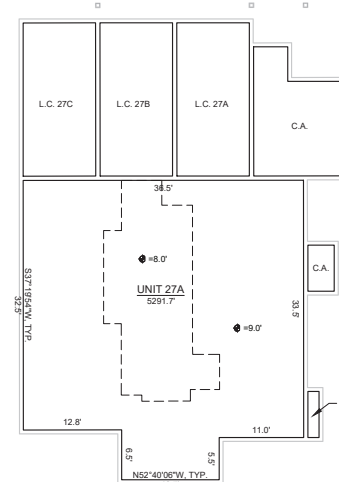
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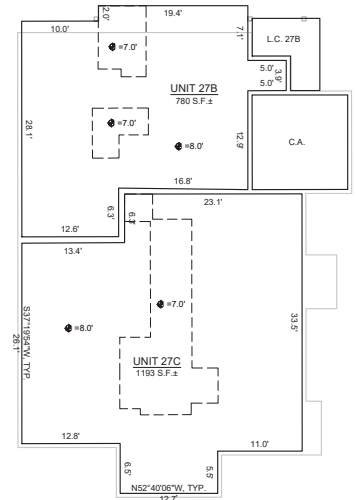
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LEGEND

- BUILDING FOOTPRINT
- - - UNIT BOUNDARY
- - - CEILING HEIGHT BREAK LINE
- CEILING HEIGHT
- F.F.E. FINISHED FLOOR ELEVATION
- L.C. LIMITED COMMON AREA
- C.A. GENERAL COMMON AREA

NOTE: ALL UNIT WALLS ARE PARALLEL AND PERPENDICULAR, UNLESS NOTED OTHERWISE.



COPPER RANCH IN HAILEY PHASE 6
 GALENA-BENCHMARK ENGINEERING
 KETCHUM, IDAHO
 SHEET 6 OF 7
 Job No. 24356

A PRELIMINARY PLAT SHOWING
THE WOODS AT COPPER RANCH
PLAT NOTES & CURVE TABLE

PLAT NOTES

- REFERENCES (RECORDS OF BLAINE COUNTY, IDAHO):
 - PLAT SHOWING COPPER RANCH IN HAILEY PHASE 5, INST. NO. 540813
 - REPLAT OF A PORTION OF COPPER RANCH IN HAILEY PHASE 5, INST. NO. 555081
 - ALTA TITLE COMMITMENT NO. 25534724, DATED JANUARY 17, 2025 BY STEWART TITLE GUARANTY COMPANY.
- THE DISTANCES SHOWN ARE MEASURED. REFER TO THE ABOVE REFERENCED DOCUMENTS FOR PREVIOUS RECORD DATA.
- IN INTERPRETING THE DECLARATION, PLAT OR PLATS, AND DEEDS, THE EXISTING PHYSICAL BOUNDARIES OF THE UNIT AS ORIGINALLY CONSTRUCTED, OR RECONSTRUCTED IN LIEU THEREOF, SHALL BE CONCLUSIVELY PRESUMED TO BE ITS BOUNDARIES RATHER THAN THE METES AND BOUNDS EXPRESSED OR DEPICTED IN THE DECLARATION, PLAT OR PLATS, AND/OR DEEDS, REGARDLESS OF SETTLING OR LATERAL MOVEMENT OF THE BUILDING AND REGARDLESS OF MINOR VARIANCES BETWEEN BOUNDARIES SHOWN IN THE DECLARATION, PLAT OR PLATS, AND/OR DEEDS, AND THE ACTUAL BOUNDARIES OF THE UNITS IN THE
- DIMENSIONS SHOWN HEREON WILL BE SUBJECT TO SLIGHT VARIATIONS, OWING TO NORMAL CONSTRUCTION TOLERANCES.
- HORIZONTAL OR SLOPING PLANES SHOWN HEREON ARE TOP OF FINISHED SUBFLOOR AND BOTTOM OF FINISHED CEILING. VERTICAL PLANES ARE FINISHED SURFACES OF INTERIOR WALLS. SOME STRUCTURAL MEMBERS EXTEND INTO UNITS, LIMITED COMMON AREAS AND PARKING SPACES.
- PROPERTY SHOWN HERE ON IS SUBJECT TO TERMS, PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, CHARGES, ASSESSMENTS AND LIENS PROVIDED BY APPLICABLE CONDOMINIUM LAW OR THE CONDOMINIUM DECLARATION RECORDED UNDER INST. NO. RECORDS OF BLAINE COUNTY, IDAHO. CONSULT THE CONDOMINIUM DECLARATIONS FOR THE DEFINITION OF COMMON ELEMENT AND LIMITED COMMON ELEMENT.
- REFER TO THE ORIGINAL PLAT AND CC&R'S FOR COPPER RANCH IN HAILEY PHASE 5, AND ANY AMENDMENTS THERETO FOR CONDITIONS, RESTRICTIONS, AND PLAT NOTES GOVERNING THIS PROPERTY.
- PROPERTY HEREON IS SUBJECT TO A PLANNED UNIT DEVELOPMENT AGREEMENT FOR COPPER RANCH AND AMENDMENTS THERETO, INST. NOS. 497752, 518967, 533501, 698281, AND 701314.
- THIS PROPERTY IS SUBJECT TO A NOISE AND AVIATION EASEMENT AND NON-SUIT COVENANT, INST. NO. 509345.
- ALL AREA OUTSIDE OF UNITS THAT IS NOT DESIGNATED AS LIMITED COMMON IS COMMON AREA. AREAS OF "COMMON" OR "LIMITED COMMON" ARE SHOWN BY DIAGRAM.
- BUILDING TIES ARE TO THE INTERIOR CORNERS OF UNIT WALLS.
- ALL UNIT WALLS ARE PARALLEL AND PERPENDICULAR, UNLESS NOTED OTHERWISE.
- UTILITY EASEMENTS NECESSARY TO ALLOW FOR ACCESS AND MAINTENANCE OF UTILITIES SERVING UNITS OTHER THAN THE UNIT THEY ARE LOCATED IN ARE HEREBY GRANTED BY THIS PLAT.
- THE CURRENT ZONING IS GENERAL RESIDENTIAL.
- SEE SHEET 1-3 FOR EXTERIOR PARCEL BOUNDARY INFORMATION.
- THE OWNER OF PARCEL A5 IS HAILEY 31 LLC, 218 N CANON DRIVE SUITE C, BEVERLY HILLS, CALIFORNIA 90210. THE SURVEYOR/REPRESENTATIVE IS MARK W. VAN DUSER, GALENA-BENCHMARK ENGINEERING, PO BOX 733, KETCHUM, IDAHO 83340.

| CURVE TABLE | | | | | |
|-------------|---------|---------|-----------|-----------------|--------------|
| CURVE # | LENGTH | RADIUS | DELTA | CHORD DIRECTION | CHORD LENGTH |
| C1 | 279.90' | 640.00' | 25°03'29" | N49° 53' 06"W | 277.68' |
| C2 | 315.15' | 450.00' | 40°07'36" | N35° 00' 04"E | 308.75' |
| C3 | 167.74' | 450.00' | 21°21'25" | N44° 23' 09"E | 166.77' |
| C4 | 77.42' | 450.00' | 9°51'27" | N28° 46' 43"E | 77.33' |
| C5 | 70.00' | 450.00' | 8°54'43" | N19° 23' 38"E | 69.92' |
| C6 | 25.06' | 640.00' | 2°14'36" | N36° 13' 56"W | 25.06' |
| C7 | 268.07' | 559.90' | 27°25'56" | N48° 41' 59"W | 265.52' |
| C8 | 10.59' | 51.00' | 11°54'05" | S49° 31' 59"W | 10.57' |
| C9 | 105.69' | 344.50' | 17°34'40" | N46° 41' 41"E | 105.27' |
| C10 | 121.12' | 344.50' | 20°08'41" | N27° 50' 30"E | 120.50' |



COPPER RANCH IN HAILEY PHASE 6
GALENA-BENCHMARK ENGINEERING
KETCHUM, IDAHO
SHEET 7 OF 7
Job No. 24356

FEBRUARY 2025



NOTES:

1. PROPERTY BOUNDARIES SHOWN HEREON ARE APPROXIMATE PER BLANK COUNTY GIS. NO BOUNDARY OR TOPOGRAPHIC SURVEY HAD BEEN CONDUCTED. A TITLE SEARCH HAS NOT BEEN CONDUCTED.
2. SNOW STORAGE (SHOWN HEREON) ARE APPROXIMATE. REFER TO THE FOLLOWING DOCUMENTS:
COPPER RANCH PHASE 1, INSTRUMENT NUMBER 20067
COPPER RANCH PHASE 2, INSTRUMENT NUMBER 20068
COPPER RANCH PHASE 3, INSTRUMENT NUMBER 20069
COPPER RANCH PHASE 4, INSTRUMENT NUMBER 20070
COPPER RANCH PHASE 5, INSTRUMENT NUMBER 20071
A RESULT OF A SHORT-TERM COPPER RANCH PHASE 5, INSTRUMENT NUMBER 20071
3. SNOW REMOVAL AND STORAGE AREAS (SHOWN HEREON) WERE DETERMINED BY COMPUTER METHOD.
4. EXISTING PROPOSED BOUNDARIES ARE NOT FOLLOWED IN THE BELOW SNOW REMOVAL AREA. SNOW STORAGE FOR EXCLUDED BOUNDARIES IS ASSUMED TO BE LOCATED CORRECTLY ADJACENT TO THE RESPECTIVE BOUNDARIES.

LEGEND

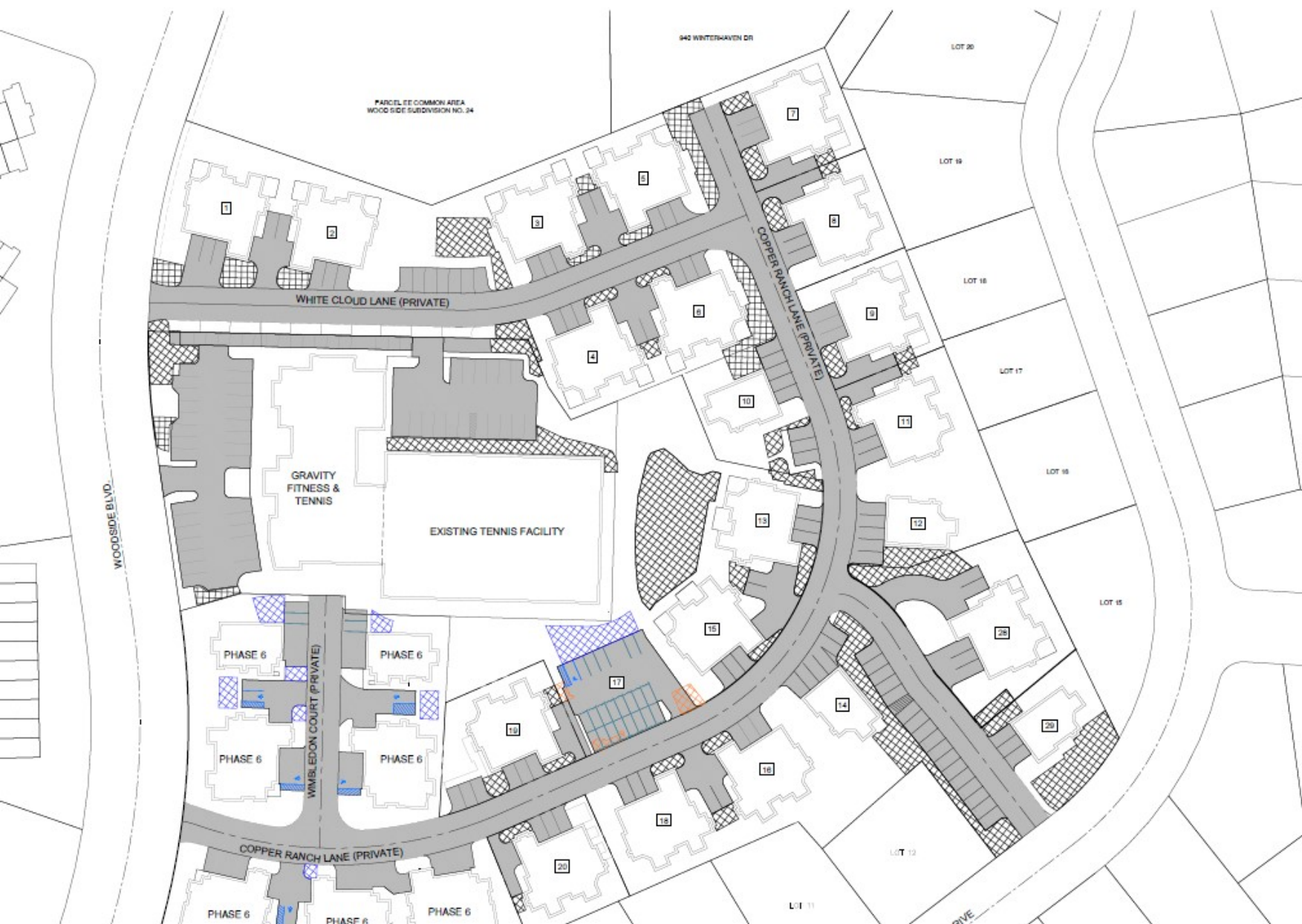
- EXISTING ITEMS**
- APPROXIMATE ADJOINING PROPERTY LINE
 - APPROXIMATE CENTERLINE OF ROAD
 - APPROXIMATE SNOW REMOVAL AREA
 - APPROXIMATE PLATTED SNOW STORAGE AREA (PHASE 1-5)
 - PROPOSED SNOW STORAGE AREA (PHASE 6)
 - APPROXIMATE PLATTED SNOW STORAGE AREA TO BE VACATED

SNOW STORAGE SUMMARY

COPPER RANCH PHASES 1-5
EXISTING SNOW REMOVAL AREA = ± 110,300 SF
EXISTING SNOW STORAGE AREA = ± 34,400 SF
EXISTING SNOW STORAGE AREA TO BE VACATED = ± 730 SF
EXISTING SNOW STORAGE AREA TO REMAIN = ± 33,700 SF

COPPER RANCH PHASE 6 (INCLUDING PROPOSED PARKING LOT)
PROPOSED SNOW REMOVAL AREA = ± 34,250 SF
PROPOSED SNOW STORAGE AREA = ± 3,715 SF

COPPER RANCH ALL PHASES
TOTAL SNOW REMOVAL AREA = ± 140,550 SF
TOTAL REQUIRED SNOW STORAGE AREA = ± 35,635 SF (25%)
TOTAL PROPOSED SNOW STORAGE AREA = ± 37,475 SF (26.3%)



Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of April 7, 2025

To: Hailey Planning and Zoning Commission
From: Emily Rodrigue, Community Development City Planner/Resilience Planner

Overview: Consideration of a Design Review Application by the City of Sun Valley c/o ARCH Community Housing Trust (“ARCH”), in partnership with the City of Hailey and represented by Opal Engineering, for the construction of one (1) residential duplex unit and site-wide landscaping improvements, across the properties of 702 S 3rd Avenue and 623 and 715 4th Avenue (Blocks 1 and 125, Lots 2, 3, 4, 5, and 6, Hailey Replat). The duplex units are proposed to be two (2) stories in height and include four (4) bedrooms, two and a half (2.5) bathrooms, and four hundred and twenty (420) square feet of attached garage space. The project is proposed for the site of the previous Ellsworth Inn, and the redevelopment will be known as Herberger Hideaway. This Design Review Application represents Phase II of a series of phases for full site redevelopment, which is proposed to also include interior renovations of the historic Ellsworth Inn building, the partial demolition and remodel of a historic caretaker residence, and the construction of ten (10) new detached single-family townhouses. The proposed project is located within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

Hearing: April 7, 2025

Applicant: City of Sun Valley c/o ARCH Community Housing Trust
Location: 702 S 3rd Avenue and 623 and 715 S 4th Avenue (Blocks 1 and 25, Lots 2, 3, 4, 5, and 6, Hailey Replat)
Zoning: General Residential (GR) and Townsite Overlay (TO); 1.92 acres (83,503 sq. ft.)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on March 19, 2025 and mailed to property owners within 300 feet on March 19, 2025.

Background and Application: The Applicant, City of Sun Valley c/o ARCH Community Housing Trust, is proposing to continue development of the former Ellsworth Inn property and construct a new two-story duplex. Ten (10) new detached single-family townhouses were initially proposed through a Design Review Application and approved by the Hailey Planning and Zoning Commission in August, 2024. Renovations to the existing inn structure onsite were also addressed through this initial Design Review process. The Applicant is now entering Phase II of redevelopment of the former Ellsworth Inn property, with both the duplex residence and site-wide landscaping included in this proposal.

The two (2) story duplex will consist of four (4) bedrooms and two and a half (2.5) bathrooms in each unit, spread across 1,350 square feet of livable building area per unit. Each unit will also feature 840 square feet of attached garage space. The duplex will be oriented north to south, with covered porches featured on the east and west duplex elevations, respectively. The duplex is proposed for the northeast

corner of the property, with vehicular access provided from S. 4th Avenue. Seven (7) surface parking stalls are also proposed to be constructed directly south of the duplex, including one (1) ADA stall.

As for site-wide landscaping, the Applicant's proposal includes approximately four hundred (400) plantings across 1.92 acres of property. This includes five (5) street trees proposed for the S. 4th Avenue right-of-way. Deciduous and evergreen trees, as well as drought-tolerant shrubs and ornamental grasses and perennials, are proposed in various groupings across the site. Some of these groupings will frame individual units, while other groupings help buffer features like power boxes and asphalt parking areas. The anchoring feature of the landscaping plan is the walkway feature, which extends across the entire site and provides branches to each individual townhouse unit. The existing caretaker residence, the proposed duplex, and the existing inn can also achieve access to the walkway through sidewalk and/or parking areas. The walkway promotes site-wide connectivity with a pedestrian lens, avoiding vehicular circulation areas and the impact of the sometimes-busy S. 3rd and 4th Avenues. Six (6) foot wide sidewalks are also proposed within the rights-of-way along S. 3rd and 4th Avenues.

For details regarding the Applicant's property purchase and entitlement background, please refer to the [Phase I Staff Report, dated July 15, 2024.](#)

Procedural History: The Applicant submitted a Design Review Application for this project phase on March 7, 2025 and it was certified complete on March 18, 2025. A Public Notice was published in the Idaho Mountain Express on March 19, 2025, and 300-foot adjoining property owners were notified in the mail on March 19, 2025. A subsequent public hearing before the Planning and Zoning Commission will be held on Monday, April 7, 2025, in the Hailey City Council Chambers and virtually via Microsoft Teams.

| General Requirements for all Design Review Applications | | | | |
|---|--------------------------|--------------------------|------------------------------|--|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.050 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | Engineering: |
| | | | | Life/Safety: No Comments. |
| | | | | Streets, Water & Wastewater: <u>Streets:</u> <i>Public Works Department recommends six-foot (6') wide sidewalks on both the 3rd and 4th Avenue frontages of the Applicant's property. On 4th Avenue, specifically, it is recommended that the Applicant refrain from aligning the new sidewalk directly with the existing sidewalk to the south, instead shifting the sidewalk alignment to the east so that there is only parallel parking available on the gravel right-of-way area between the sidewalk and the edge of asphalt.</i> <i>On 3rd Avenue, it is recommended that the existing sidewalk to the south of the Applicant's property extend north, along the extent of the Applicant's property, in the same alignment that currently exists.</i> |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------------|---|
| | | | | <p>Additionally:</p> <ul style="list-style-type: none"> • Snow removal from private drive(s) shall not be pushed into the City right-of-way. • Encroachment permits shall be required for each new curb cut, as well as any remediation work performed on existing curb cuts. <p>These have been made Conditions of Approval.</p> <p>Wastewater:</p> <ul style="list-style-type: none"> - The Applicant has confirmed that the sewer line in the existing alley adjacent to the site is not used by the Ellsworth property. However, it does provide service to the neighboring property (Hailey Replat Block 1 and 125, Lot 1, Block 1). With this confirmation, City Staff no longer request that the Applicant abandon the service. - The Applicant shall relocate the sewer manhole - either in the existing alley or the newly proposed manhole north of Unit 1 – into an asphalt area that ensures truck access for Wastewater Department Staff, referring to Hailey Standard Drawing 18.14.010.C.1, Note #8. <p>This has been made a Condition of Approval.</p> <p>Water:</p> <ul style="list-style-type: none"> - Once the Applicant abandons the meter vault, they shall return the meter vault to the City of Hailey. - The Applicant shall locate and bring the existing main line valve box, located in the alley, to grade. <p>These have been made Conditions of Approval.</p> <p>Building: No Comments.</p> <p>Parks and Greenspace: No Comments.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08A Signs | <p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p> |
| | | | Staff Comments | <p>The Applicant is aware of sign permit requirements. The Applicant shall submit a Sign Permit Application for all proposed signage that exceeds four (4) square feet in sign area, prior to issuance of Certificate of Occupancy, This has been made a Condition of Approval.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.040 On-site Parking Req. | <p>See Section 17.09.040 for applicable code.</p> |
| | | | Staff Comments | <p>Per the Hailey Municipal Code, the residential parking requirements for all dwelling units larger than 1,000 square feet in multi-family developments are a minimum of an average of 1.5 spaces per unit. With two (2) units proposed, the minimum number of parking spaces required to be provided onsite for the duplex structure is three (3) spaces.</p> <p>The Applicant is providing two (2) parking spaces within each unit's garage, plus seven (7) additional parking spaces in the proposed surface parking area in the northeast corner of the lot – including one (1) accessible space. The total number of onsite parking spaces that the duplex may benefit from is eleven (11) spaces.</p> <p>The parking requirement for the proposed phase of development has been met.</p> |

| | | | | |
|-------------------------------------|-------------------------------------|-------------------------------------|--|--|
| | | | | <i>Additionally, the Property Manager/Management Company shall ensure all parking requirements within the public right-of-way are met. This includes, but is not limited to, restrictions on winter parking within the public right-of-way. This has been made a Condition of Approval.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.09.040.06: Excess of Permitted Parking | A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review. |
| | | | <i>Staff Comments</i> | <i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08C.040 Outdoor Lighting Standards | 17.08C.040 General Standards <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located, and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator. |
| | | | <i>Staff Comments</i> | <i>The Applicant intends to install the same lighting fixtures as those which were approved for Phase I of Design Review (detached townhomes) in August, 2024. However, the Applicant has informed Staff that they will be purchasing all lighting fixtures for all portions of site redevelopment at the same time, including the previously approved townhouses and the currently proposed duplexes. Due to uncertainties in supply chains at the intended time of purpose, the Applicant is unable to guarantee specific fixture selection at this time.</i> <i>However, the Applicant has informed Staff that they will only select and install a fixture that is dark sky compliant and adheres to Hailey Municipal Code lighting standards.</i> <i>The Applicant shall submit an exterior lighting cut sheet, to be reviewed and verified by Hailey City Staff, prior to issuance of a Certificate of Occupancy. This has been made a Condition of Approval.</i> |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17.04M.060 Bulk Requirements | Business (B) and Townsite Overlay (TO) Zoning Districts: |
| | | | <i>Staff Comments</i> | <i>Building Height:</i> - Permitted Building Height: 30'. Proposed Building Heights: 25.66' <i>Building Setbacks:</i> |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|--|--|
| | | | | <ul style="list-style-type: none"> - <i>Permitted Setbacks:</i> <ul style="list-style-type: none"> o <i>Front Yard: 12'</i> o <i>Side Yards: 10'</i> o <i>Rear Yard (facing a public street): 12'</i> - <i>Proposed Setbacks</i> - <i>Front Yard; 27.5'</i> - <i>Side yard:</i> - <i>North: 10.1'</i> - <i>South: 100'+</i> - <i>Rear: 100'+</i> <p><i>General Residential (GR) District with lots larger than 4,500 square feet, and building proposed is two (2) or more stories above grade with garage:</i></p> <ul style="list-style-type: none"> o <i>Permitted Coverage: 30%</i> o <i>Proposed Coverage: 20%</i> <p><i>The total building footprint for all remaining and proposed structures is 16,728 square feet, with the full parcel size (after lot consolidation) at 83,503 square feet. Upon The proposed lot coverage will be compliant with Hailey Municipal Code for maximum lot coverage.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(A)1 Street Improvements Required <i>Staff Comments</i> | <p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> <p><i>Prior to the initial application submittal, ARCH, the City of Sun Valley, and the City of Hailey agreed upon the terms stating that the City of Hailey would act as a project partner for this development, in some capacity. While right-of-way improvements were not initially identified as a specific partner role for the City of Hailey, discussions amongst City Staff and the Applicant team have concluded that it would be appropriate for the City of Hailey to cover the cost of construction of right-of-way improvements along the property's 3rd and 4th Avenue frontages. The Applicant team, in turn, will provide the contractor and construction resources for completing the improvements, capitalizing on the fact that the construction resources (human, machinery, and other) will already be mobilized on site. This will ensure a more efficient cost structure and public infrastructure completion timeline.</i></p> <p><i>That being said, Public Works and Streets Division Managers requested that six-foot (6') wide sidewalks (no curb and gutter) be installed along 3rd and 4th Avenue project frontages, after the July, 2024 Public Hearing.</i></p> <p><i>The Applicant has submitted a complete site landscaping plan in conjunction with this duplex's Design Review Application. The landscaping plan shows six (6) foot wide sidewalks to be installed along the 3rd and 4th Avenue property frontage, including specific sidewalk placement, as outlined by the Streets Division Manager during the first phase of Design Review for this project.</i></p> <p><i>All sidewalk and drainage improvement requirements have been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(B) Required Water System Improvements | <p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar</p> |

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| | | | | material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer. |
| | | | Staff Comments | This standard will be met. |

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

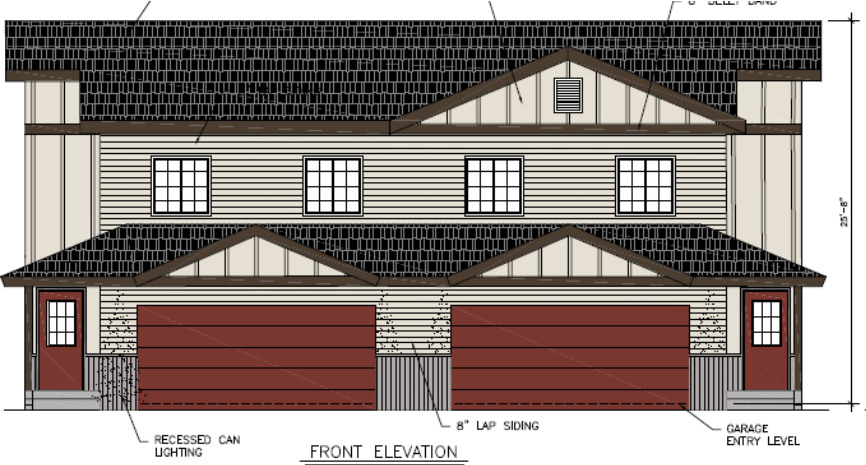
| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1a | <p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p><i>Staff Comments</i> The project site hosts an expansive, park-like setting for the collection of newly proposed residential units. The duplex structure generally carries a north-south building orientation, with exterior covered porches serving each unit on the east and west building elevations, respectively. Approximately fourteen (14) existing trees are proposed to be retained around the duplex structure. These existing trees are a mix of evergreen and deciduous trees, which will promote a variety of solar exposures throughout the year. Both vehicular and human entry will be accessed from the building's southern exposure. Snow build-up around entry points will be minimized with this building design, promoting safe access</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1b | <p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p><i>Staff Comments</i> All existing plant material has been inventoried and delineated to scale, noting preservation or removal. It appears that multiple trees of at least 6-inch caliper will be removed. Due to the historic nature of the site and its vegetation, Staff request that the Applicant submit an arborist review for all trees over 6 inch in caliper, prior to applying for a building permit. This has been made a Condition of Approval.</p> <p>Additionally, Staff would like to note their support for the Applicant retaining material from removed trees onsite, wherever possible, in forms that may be utilized and enjoyed by future occupants of the site (i.e. as log benches, artistic elements, landscaping features, etc.).</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1c | <p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> As proposed, the site will feature one (1) throughway feature between 3rd and 4th Avenue, providing garage access for Townhouse Units 6-12. This parking access lane will not be open to public traffic. Three (3) other curb cuts/access points are proposed for the development:</p> |

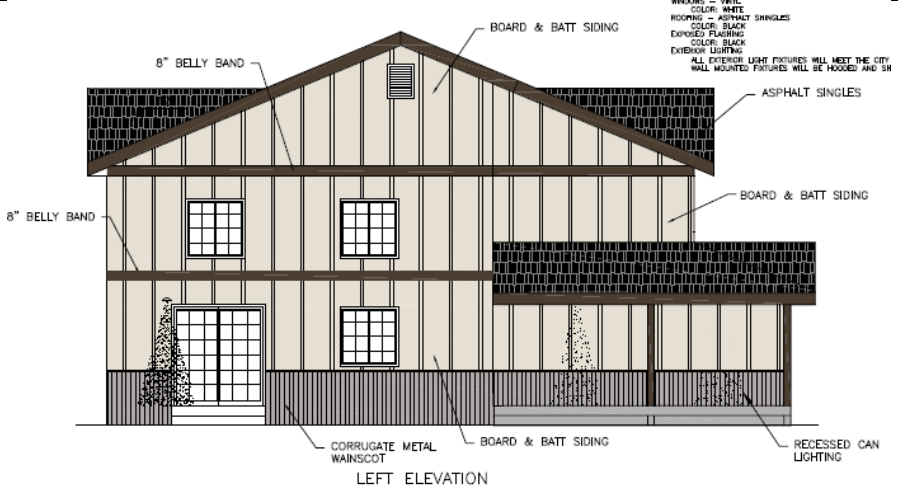
| | | | | |
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| | | | | <ul style="list-style-type: none"> - One (1) twenty-six foot (26') wide parking access lane at the northwest extent of the property, servicing garage access to Townhouse Units 1-3. - One (1) existing gravel entry circle, providing access to the existing and original Ellsworth Inn building. - One (1) twenty-six foot (26') wide parking access lane at the northeast extent of the property, servicing the proposed duplex structure and seven (7) additional onsite parking spaces and trash enclosure area. <p>As for interior site circulation – especially as it relates to the pedestrian experience – the Applicant has submitted a landscape plan that shows an attractive walkway surrounded by extensive new landscaping, and/or the preservation of existing/mature trees and vegetation. The walkway provides direct linkage to all Townhouse Units, while occupants of the duplex structure can easily access the walkway via an entry point along the southern edge of the 4th Avenue on-site parking area, which is directly adjacent to the duplexes. Pedestrians may travel the entire extent of the property between 3rd and 4th Avenues without entering vehicular travel areas and remaining within communal gathering areas. Safe access through the site and to the duplex building has been achieved.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1d | <p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>Staff Comments</i> According to the Applicant, the tenants of the duplex units will utilize roll-out trash bins that will be brought to the driveway/parking area when pickup services are occurring.. This arrangement has been approved by Clear Creek Disposal and a servicing letter has been provided.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1e | <p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p><i>Staff Comments</i> N/A. While an alley currently exists to the north of the property, Staff have determined that it is impassable at this time, and overhead utilities may create unsafe conditions for building services operators. However, Staff have expressed interest in utilizing the alley for accessing the northern portion of this parcel. The Applicant may wish to consider coordinating with the City and surrounding property owners, in order to establish alley access to the site in the future.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1f | <p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> <p><i>Staff Comments</i> N/A, as no vending machines are proposed at this time.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1g | <p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <ul style="list-style-type: none"> i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street. |

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| | | | Staff Comments | <p><i>Each of the duplex units will have two (2) on-site parking stalls within the unit's garage, which will provide screening from the street. No garage doors face any street right-of-way.</i></p> <p><i>The Applicant has provided a snow storage exhibit that shows snow storage locations adjacent to the drive aisle for Units 1-3, around the perimeter of the 3rd Avenue entry roundabout, and adjacent to the parking area next to Units 4 and 5. Parking and access obstruction due to snow accumulation is not anticipated.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1h | <p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p> |
| | | | Staff Comments | <p><i>During the initial Design Review Application review in July/August of 2024, the Applicant proposed a site plan that included numerous approaches, servicing the variety of residences on-site. The proposed density and configuration of units required more than one (1) approach to the site; however, Staff wished to see the Applicant make every effort to consolidate approaches and preserve the street frontage for pedestrian traffic.</i></p> <p><i>Upon presenting concern over the number of site approaches to the Applicant, the Applicant stated that they were amenable to eliminating the separate driveway access for the "Innkeeper" unit that remains on 4th Avenue, instead providing access to this unit via the proposed additional parking and trash enclosure area. The submitted site plans for this duplex Design Review Application show the driveway access for the Innkeeper unit as limited to the shared on-site parking and trash enclosure area.</i></p> <p><i>While alley through-access from the north was discussed in previous Design Review Application Phases, it was determined that long-term maintenance and operational challenges for alley access were insurmountable for the Applicant. Staff are amenable to the on-site parking approach presented by the Applicant this March, 2025 Design Review submittal.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1i | <p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p> |
| | | | Staff Comments | <p><i>The Applicant has provided a snow storage exhibit that shows snow storage locations adjacent to the drive aisle for Units 1-3, around the perimeter of the 3rd Avenue entry roundabout, and adjacent to the parking area next to Units 4 and 5. The proposed snow removal area totals 18,400 square feet, requiring a snow storage area of 4,600 square feet. The Applicant has provided snow storage areas totaling 5,300 square feet. No dimension of any snow storage area is less than 10 feet.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1j | <p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p> |
| | | | Staff Comments | <p><i>Please refer to Section 17.06.080(A)1i for further detail.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1k | <p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p> |
| | | | Staff Comments | <p><i>Please refer to Section 17.06.080(A)1i for further detail.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1l | <p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p> |
| | | | Staff Comments | <p><i>N/A. The Applicant has stated that all snow will be stored on-site.</i></p> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1m | m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)1i for further detail.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1n | n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)1i for further detail.</i> |

2. Building Design: 17.06.080(A)2, items (a) thru (m)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2a | a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings. |
| | | | <i>Staff Comments</i> | <p>The Applicant is proposing one (1) new duplex structure for the northeast corner of the property. This structure offers multiple rooflines at relatively gentle, traditional pitches and forms. The triangular shape of the rooflines complements the proposed triangular rooflines of the Townhouse Units that are proposed to share the site with this Duplex. Additionally, the duplex's largest roofline, running east-west, matches the orientation of the existing Inn building, which is the next closest in size and scale to the proposed duplex.</p>  |

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| | | | |  <p style="text-align: center;"><u>LEFT ELEVATION</u></p> <p><i>While the property is zoned as General Residential (GR), the site's location, and the surrounding properties, buildings, and uses speak to a somewhat transitional nature, between strictly residential, commercial, and even recreational (McKercher Park, Wertheimer Park, Hailey Elementary ball fields are all within a few blocks). Residential properties directly to the north of the site feature similar rooflines and building scales, while surrounding commercial properties feature a wide variety of building scales and styles, ranging from the institutional building style of the Hailey Police Department building (directly south) to the Hailey Fire Department (directly west) that is more industrial in nature. Seeing as the proposed site use is residential, and the current zoning as General Residential (GR), Staff are placing greater emphasis on the proposed units' compatibility with properties and buildings with like uses. As it relates to surrounding residences, the Applicant's proposed building design is largely compatible, appropriately scaled, and in keeping with the "design spirit" of the broader Townsite Overlay District.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2b | b. Standardized corporate building designs are prohibited. |
| | | | Staff Comments | N/A, as the project is not a corporate design. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2c | c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction. |
| | | | Staff Comments | At ground level, the duplex's south, east, and west elevations offer human-scaled features, such as front entry doors, covered porches, and double sliding, glass doors. The front entries of each unit face interior to the site and the majority of the other residential units on the property. Outdoor gathering areas are readily accessible from either unit, in addition to the proposed new sidewalk on 4 th Avenue. Both on-site and off-site pedestrian connectivity is supported by the building design. |
| | | | | See Section 17.16.080(A)2a for additional detail and explanation of building design. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2d | d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or |

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| | | | | similar features to create human scale and break up large building surfaces and volumes. |
| | | | <i>Staff Comments</i> | <p><i>The overall design of the front façade of each unit and its tie to the human scale is discussed in Section 17.16.080(A)2a; please refer to the Section for further detail. However, the duplex’s front façade does not face the adjacent public street. As this is generally a design review requirement for multifamily residential building design, the Commission may wish to discuss the unique site configuration, site density, and overall design intent of the redevelopment of the Ellsworth Inn site, as it relates to front façade of the proposed duplex.</i></p> <p><i>As it relates to exterior design features of the proposed duplex, the front façade features living area windows, second-story building step-backs, multiple rooflines, and changes in material type and color. The overall building massing and volume are addressed through these features.</i></p> <p><i>However, Staff recommend that the Applicant consider the addition of windows to the two (2) duplex garage doors. The garage doors currently represent one of the largest unbroken building surfaces in this proposal. Windows would not only serve to improve the design from an aesthetic standpoint, but they also would also improve the overall functionality and livability of the duplex units. There is currently no natural light availability for the garage spaces.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2e | e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole. |
| | | | <i>Staff Comments</i> | <i>N/A, as this proposal does not include the addition or renovation of an existing building.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2f | f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors. |
| | | | <i>Staff Comments</i> | <p><i>The exterior walls of the proposed duplex building showcase board and batt siding (color “Shoji White”) as the primary siding texture, with traditional horizontal lap siding (color “Shoji White”) featured on the south-facing, “front” elevation. Approximately four feet (4’) of vertical corrugated metal wainscot is proposed for all aspects of the building’s ground level. Eight inch (8”) belly bands (color “Dark Clove”) are also proposed within the exterior building material makeup. These belly bands match the porch and roof trim. The two (2) garage and two (2) human entry doors for each unit are proposed to be a rich, burgundy red color (color “Fireweed”). Windows will be white vinyl, and the roof will have black asphalt shingles. Staff believe that the exterior walls have incorporated a variety of materials, textures, and colors.</i></p> |

When comparing this approved color palette (detached townhomes) to the proposed color palette for the duplex building, strong harmony and complimentary design benefits can be seen across the overall site design.

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| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2h | h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies, or other design elements. |
| | | | <i>Staff Comments</i> | <i>N/A The proposed design does not include any flat-roofed buildings.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2i | <p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed. |
| | | | <i>Staff Comments</i> | <i>The Applicant has stated that they will be installing windows with low emissivity and double glazing, as well south-facing windows which are under eaves. The Applicant has also agreed to install pre-wiring for EV chargers in unit garages, and the units will be furnished with high efficiency appliances. Staff are amenable to the installation of listed and approved alternatives for minimizing building energy consumption.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2j | j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks. |
| | | | <i>Staff Comments</i> | <i>Each unit entry way is proposed to have a covered walkway, and the entry to the covered walkway will have a roof area with snow clips.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2k | k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards. |
| | | | <i>Staff Comments</i> | <i>N/A, as no downspouts and/or drains are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2l | l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s). |
| | | | <i>Staff Comments</i> | <i>N/A, as no vehicle canopies are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2m | m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8. |
| | | | <i>Staff Comments</i> | <i>N/A. A new entry monument sign at the site's 3rd Avenue entrance is proposed within the submitted landscape plans. The Applicant is aware that a sign permit will be required for any signage proposed for the site. No other signs are proposed at this time.</i> |
| 3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i) | | | | |
| Compliant | | Standards and Staff Comments | | |












| Yes | No | N/A | City Code | City Standards and Staff Comments |
|-------------------------------------|--------------------------|-------------------------------------|----------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3a | a. Accessory structures shall be designed to be compatible with the principal building(s). |
| | | | Staff Comments | N/A, as no accessory structures are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3b | b. Accessory structures shall be located at the rear of the property. |
| | | | Staff Comments | N/A, as no accessory structures are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3c | c. Walls and fences shall be constructed of materials compatible with other materials used on the site. |
| | | | Staff Comments | N/A. No walls or fences are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3d | d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact. |
| | | | Staff Comments | Please refer to Section 17.06.080(A)3c for further detail. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3e | e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties. |
| | | | Staff Comments | N/A. No roof projections or roof mounted equipment is proposed at this time. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3f | f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings. |
| | | | Staff Comments | N/A. No alternative energy sources are proposed at this time. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3g | g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building. |
| | | | Staff Comments | The Applicant has shown a trash receptacle area at the rear of the additional parking area, located in the northeast corner of the lot. This trash receptacle area will screen the roll out trash bins that are provided for tenants of the remodeled Ellsworth Inn. The Applicant will ensure that all ground-mounted mechanical equipment is adequately screened. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3h | i. All service lines into the subject property shall be installed underground. |
| | | | Staff Comments | All services lines will be underground. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3i | j. Additional appurtenances shall not be located on existing utility poles. |
| | | | Staff Comments | No appurtenances will be permitted on poles. |

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|---|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4a | a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative. |
| | | | Staff Comments | As part of this Design Review submittal, the Applicant has provided a landscaping plan that covers the entirety of the project site. This proposed landscaping plan was referenced in earlier iterations of Ellsworth Inn site redevelopment. |

The Applicant has proposed the following landscaping plant schedule:

PLANT LEGEND

| symbol | quan | description | planted size |
|---|------|---|--------------------------|
|  | 9 | Street Tree - Class II (Per Street Tree List) Norway Maple - <i>Acer platanoides</i> Thornless Honeylocust - <i>Gleditsia triacanthos</i> Littleleaf Linden - <i>Tilia cordata</i> | 2" Cal. |
|  | 2 | Deciduous Trees Autumn Blaze Maple - <i>Acer x freemannii</i> Crabapple - <i>Malus spp.</i> | 3" Cal. |
|  | 10 | Medium Sized Deciduous Trees Washington Hawthorn - <i>Crataegus phaenopyrum</i> Crabapple - <i>Malus spp.</i> Dancing Flame Aspen - <i>Populus tremuloides</i> 'KMN01' | 1-1/2" Cal. |
|  | 7 | Evergreen Trees Douglas Fir - <i>Pseudotsuga menziesii</i> Colorado Spruce - <i>Picea pungens</i> | 10' Height or 2" Cal. |
|  | 35 | Small Evergreen Trees Rocky Mountain Juniper - <i>Juniperus scopulorum</i> White Weeping Spruce - <i>Picea glauca</i> 'Pendula' Bristlecone Pine - <i>Pinus contorta</i> | 8' Height or 1-1/2" Cal. |
|  | 99 | Shrub Massing PekingCotoneaster - <i>Cotoneaster lucidus</i> Diablo Ninebark - <i>Physocarpus opulifolius</i> 'Diablo' Snowmound Spirea - <i>Spiraea x nipponica</i> 'Snowmound' Tor Birchleaf Spirea - <i>Spiraea betulifolia</i> 'Tor' Common Snowberry - <i>Symphoricarpos albus</i> | 5 Gal. |
|  | 188 | Ornamental Grasses & Perennials Reed Grass - <i>Calamagrostis x a.</i> 'Karl Foerster' Flame Grass - <i>Miscanthus sinensis</i> Blue Oat Grass - <i>Helictotrichon sempervirens</i> | 1 Gal. |
|  | 50 | Ornamental Grasses & Perennials Black Eye Susan - <i>Rudbeckia hirta</i> Lavendar - <i>Lavandula</i> Salvia - <i>Salvia divinorum</i> | 1 Gal. |
|  | | Decorative Rock | 3" Thick |
|  | | Maintained Grass Fescue Blend | Sod |
|  | | Low Maintenance Grass Scottish Links Blend | Hydroseed |

The proposed species list contains a mix of moderate to substantially drought-tolerant species. White Weeping Spruce requires significant water to establish itself, but can withstand drought conditions once established.

The Applicant is strongly encouraged to choose a fescue blend for the maintained grass that is appropriately matched to the general watering needs of the surrounding shrubs, ornamental grasses, and perennials. Rain sensors are also

| | | | | |
|---------------------------------------|--------------------------|-------------------------------------|-----------------------|---|
| | | | | <i>strongly encouraged for the proposed irrigation system, given the scale of the proposed planting area and the associated water demand over time.</i> |
| <input checked="" type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4b | b. All plant species shall be hardy to the Zone 4 environment. |
| | | | <i>Staff Comments</i> | <i>All species appear to be hardy to the Zone 4 environment, aside from Salvia divinorum. This species is hardy to zone 7 and above.</i> <i>The Applicant Team shall select an alternative plant species for the Salvia divinorum plantings that are hardy to the Zone 4 environment. This has been made a Condition of Approval.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4c | c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged. |
| | | | <i>Staff Comments</i> | <i>No irrigation plans are shown on submitted plan sets. The Applicant shall submit irrigation system details to City Staff, prior to issuance of a building permit for the duplexes. This has been made a Condition of Approval.</i> |
| <input checked="" type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4d | d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two-and-one-half (2 ½) inches. A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard. |
| | | | <i>Staff Comments</i> | <i>Maximum requirements for tree species counts have been achieved with the proposed landscaping plan.</i> <i>However, the Applicant is proposing “medium sized deciduous trees”, “evergreen trees”, and “small evergreen trees” with caliper sizes less than 2.5 inches. Staff acknowledge that supply chain realities do not always guarantee species availability at the specific 2.5” caliper size. However, the larger caliper planting size promotes long term tree health and provides the planting with the best opportunity for successful and healthy establishment.</i> <i>The Applicant shall submit proof of 2.5” caliper planting for all species proposed on the landscaping plan that are listed at less than 2.5” caliper. If 2.5” caliper tree plantings are not available at the time of installation, the Applicant shall provide written description of the measures they shall take to protect trees of less than 2.5” caliper. This has been made a Condition of Approval.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4e | e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts. |
| | | | <i>Staff Comments</i> | <i>N/A, as the proposed project is not located in the LI or SCI-I Zone Districts.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4f | f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets. |
| | | | <i>Staff Comments</i> | <i>N/A, as the proposed project is not located in the B, LB, TN and/or SCI-O Zone Districts</i> |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|-----------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4g | g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials. |
| | | | <i>Staff Comments</i> | <i>The majority of storm water runoff will be retained onsite and directed to drywells (landscape and other). Excluding the southern driveway area servicing Units 6-12, all impervious surfaces on site are surrounded by landscaped areas, which will retain runoff and benefit from the additional moisture provided.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4h | h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced). |
| | | | <i>Staff Comments</i> | <i>The Applicant will be responsible for maintaining plant material in a healthy condition.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4i | i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site. |
| | | | <i>Staff Comments</i> | <i>N/A. No retaining walls have been proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4j | j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)4i for further detail.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4k | k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)4i for further detail.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4l | l. Landscaping should be provided within or in front of extensive retaining walls. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)4i for further detail.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4m | m. Retaining walls over 24" high may require railings or planting buffers for safety. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)4i for further detail.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4n | n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)4i for further detail.</i> |

Additional Design Review Requirements for Multi-Family within the City of Hailey

1. Site Planning: 17.06.080(D)1, items (a) thru (c)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|---|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)1a | a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses. |
| | | | <i>Staff Comments</i> | <i>The Applicant is proposing the duplex structure for the northeast corner of the lot. As this duplex building is the next largest structure onsite, behind the remodeled Ellsworth Inn building, it is appropriate that it is proposed for a corner area, which will assist in diminishing its massing across the property. Additionally, each duplex unit is proposed to be four (4) bedrooms. This implies that each unit will have at least two (2) vehicles and more than two (2) occupants. Proposing the duplex for the corner of the property, with an adjacent overflow parking area,</i> |

| | | | | |
|-------------------------------------|-------------------------------------|--------------------------|-----------------------|---|
| | | | | <i>ensures that impacts by and toward the duplex building will be minimized and effects on the overall site population diminished.</i> |
| <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)1b | b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site. |
| | | | <i>Staff Comments</i> | <i>The Applicant has proposed a meandering gravel walkway through the bulk of the site. This walkway services Units 1-3 and 6-12 directly, and the remodeled Ellsworth Inn and duplex building indirectly. Staff are supportive of the pedestrian circulation system that the Applicant has proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)1c | c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places. |
| | | | <i>Staff Comments</i> | <i>Each individual unit on site features a front entry way that faces towards the interior of the site. The site's interior is proposed to offer significant landscaping, open areas, and a meandering gravel walkway. Pedestrians will be able to efficiently travel through and within the site, with natural gathering places occurring across the property.</i> |

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
 1. The project does not jeopardize the health, safety, or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
 1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.

2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following Conditions of Approval are suggested to be placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - i. If the total area of asphalt removed in the alley exceeds twenty-five percent (25%), the Applicant shall complete the removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one (1) year.
 - ii. Once the Applicant abandons the meter vault, they shall return the meter vault to the City of Hailey.
 - iii. The Applicant shall locate and bring the existing main line valve box, located in the alley, to grade.
 - iv. The building shall comply with IFC and IBC code requirements.
 - v. The Applicant shall install parking signage that informs and restricts parking in the right-of-way during the winter months.
 - vi. The Applicant shall abandon any existing, unused water services.
 - vii. The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees.
 - viii. The Applicant shall relocate the sewer manhole – either the manhole in the existing alley or the newly proposed manhole north of Unit 1 – into an asphalt area that ensures truck and clean-out access for Wastewater Department Staff, referring to Hailey Standard Drawing 18.14.010.C.1, Note #8.
- d) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- e) Snow removal from private drive(s) shall not be pushed into the City right-of-way.
- f) Encroachment permits shall be required for each new curb cut, as well as any remediation work performed on existing curb cuts.
- g) The Applicant shall submit a Sign Permit Application for all proposed signage that exceeds four (4) square feet in sign area, prior to issuance of Certificate of Occupancy.

- h) The Applicant shall submit an exterior lighting cut sheet, to be reviewed and verified by Hailey City Staff, prior to issuance of a Certificate of Occupancy.
- i) The Applicant shall submit an arborist review for all trees over 6-inch in caliper, prior to applying for a building permit.
- j) The Applicant Team shall select an alternative plant species for the Salvia divinorum plantings that are hardy to the Zone 4 environment.
- k) The Applicant shall submit irrigation system details to City Staff, prior to issuance of a building permit for the duplexes.
- l) Any and all ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- m) The Applicant shall ensure that all applicable landscaping requirements from Section 17.06.080(A)4 are addressed through complete plan sets, and reviewed for approval by the Commission within Phase II of Design Review.
- n) The Applicant shall submit proof of 2.5" caliper planting for all species proposed on the landscaping plan that are listed at less than 2.5" caliper. If 2.5" caliper tree plantings are not available at the time of installation, the Applicant shall provide written description of the measures they shall take to protect trees of less than 2.5" caliper.
- o) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- p) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- q) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.

Motion Language

Approval: Motion to approve the Design Review Application by the City of Sun Valley c/o ARCH Community Housing Trust ("ARCH"), in partnership with the City of Hailey and represented by Opal Engineering, for the construction of ten (10) detached residential units and associated site improvements, across the properties of 702 S 3rd Avenue and 623 and 715 4th Avenue (Blocks 1 and 125, Lots 2, 3, 4, 5, and 6, Hailey Replat), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 18, and City Standards, provided conditions (a) through (q) are met.

Denial: Motion to deny the Design Review Application by the City of Sun Valley c/o ARCH Community Housing Trust ("ARCH"), in partnership with the City of Hailey and represented by Opal Engineering, for the construction of ten (10) detached residential units and associated site improvements, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date].

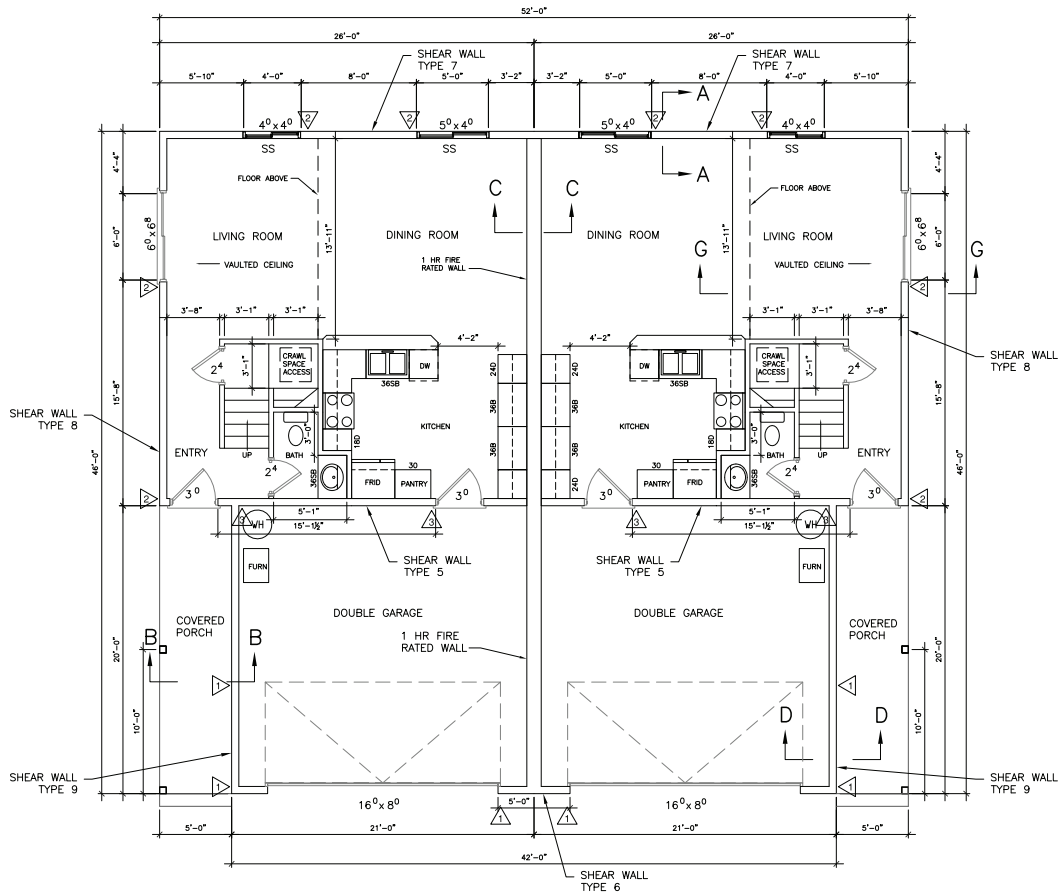
Hailey

Map showing the layout of Hailey, Idaho, including major roads (R-1, R-2, R-3), trails (Trailhead, Trail), and landmarks (Wind River Trail, Blaine County Recreation Center). The map also shows the location of the Hailey Airport, the Hailey River, and the Hailey Creek. The map is oriented with North at the top, indicated by a compass rose. A scale bar at the bottom indicates distances in miles. The map is titled 'Hailey' in large red letters at the top left. The map is credited to E.B. Phillips at the bottom right.

VICINITY MAP

SCALE NONE

| | | | | | | |
|--|----------------------|--|------------|------------|----------|---|
| ARCH Community Housing Trust PO BOX 3569, HAILEY, IDAHO, 83333 PHONE:208-726-4411 michelle@archcbc.org | HERBERGER HIDEAWAY | | DATE | 02/27/25 | REVISION | 0 |
| | TBD SOUTH 4TH STREET | | SCALE: | 1/4"=1'-0" | | |
| | HAILEY, ID 83333 | | FLOOR PLAN | | | |



1ST FLOOR

PER DUPLEX

1ST FLOOR = 676 SQFT
GARAGE = 420 SQFT

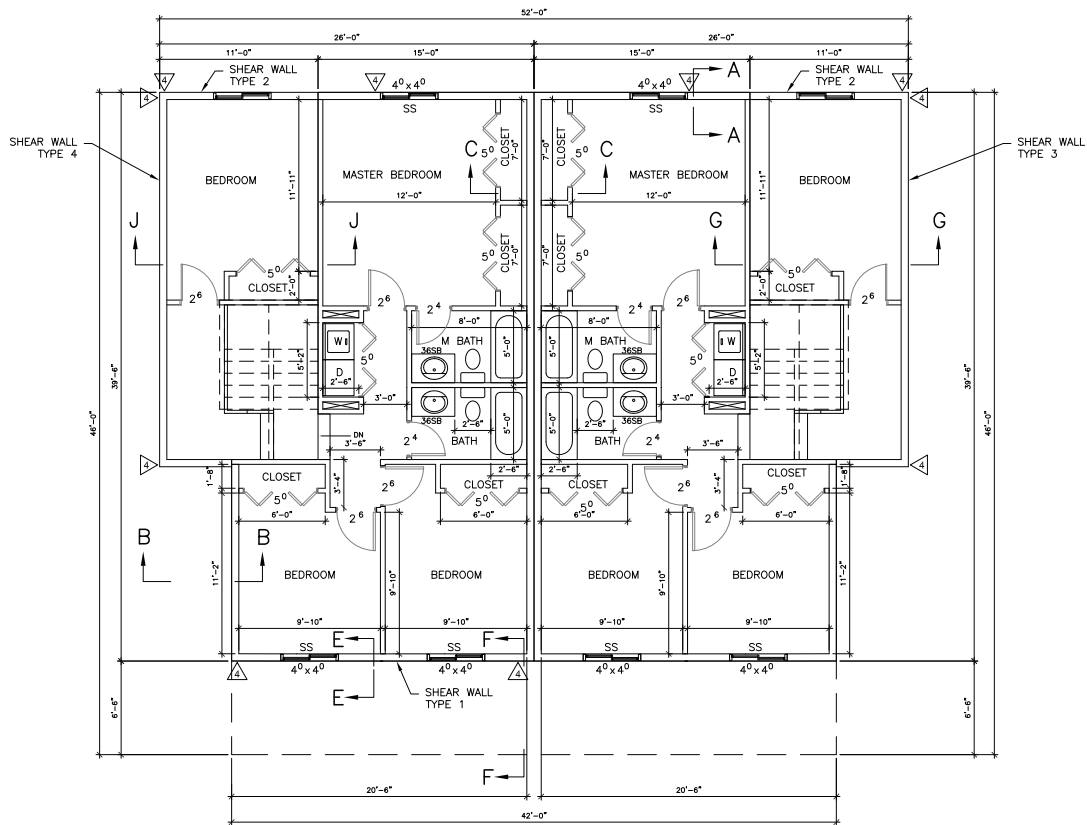
PER BUILDING

1ST FLOOR = 1252 SQFT
GARAGE = 840 SQFT

NOTES

1. EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C. WITH 5 1/8" x 9 GLB HEADERS.(U.N.O.)
2. ALL INTERIOR WALLS SHALL BE 2x4 AT 16" O.C. UNLESS OTHERWISE NOTED.
3. ALL SMOKE DETECTORS SHALL BE DIRECT-WIRED WITH BATTERY BACK-UP TYPICAL OF 8.
4. PROVIDE FROST-FREE HOSE BIBS FOR FRONT AND REAR OF EACH SIDE OF DUPLEX.
5. PROVIDE A 1 3/8" SOLID DOOR WITH SELF CLOSING HINGES BETWEEN GARAGE AND KITCHEN.
6. PROVIDE 1 HR FIRE RATED WALL BETWEEN EACH DUPLEX
7. STITCH ALL STUD BUNDLES TOGETHER WITH (2) 16d COMMON @ 16" O.C. MAX ATTACH SHEATHING TO EACH STUD W/ 8d @8" O.C.
8. TYPICAL HEADER SUPPORTS ARE (1) TRIMMER W/ KING STUD U.N.O.
9. SEE DRAWING A8 FOR NOTES.

| | | | |
|---|----------|----------------------|---|
| ARCH Community Housing Trust | | HERBERGER HIDEAWAY | |
| PO BOX 3569, HAILEY, IDAHO, 83333 | | TBD SOUTH 4TH STREET | |
| PHONE:208-726-4411 michelle@archbc.org | | HAILEY, ID 83333 | |
| DATE | 02/27/25 | REVISION | 0 |
| SCALE: 1/4"=1'-0" | | FLOOR PLAN A1 | |



UPPER FLOOR

PER DUPLEX

UPPER FLOOR = 674 SQFT

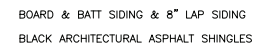
PER BUILDING

UPPER FLOOR = 1248 SQFT

NOTES

1. EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C. WITH 5 1/8"x9 GLB HEADERS.(U.N.O.)
2. ALL INTERIOR WALLS SHALL BE 2x4 AT 16" O.C. UNLESS OTHERWISE NOTED.
3. ALL SMOKE DETECTORS SHALL BE DIRECT-WIRED WITH BATTERY BACK-UP.

| | | | | |
|---|--|----------------------|--|----------|
| ARCH Community Housing Trust | | HERBERGER HIDEAWAY | | REVISION |
| PO BOX 3569, HAILEY, IDAHO, 83333 | | TBD SOUTH 4TH STREET | | 0 |
| PHONE:208-726-4411 michelle@archhc.org | | HAILEY, ID 83333 | | |
| | | SCALE: 1/4"=1'-0" | | |
| | | UPPER PLAN | | A2 |

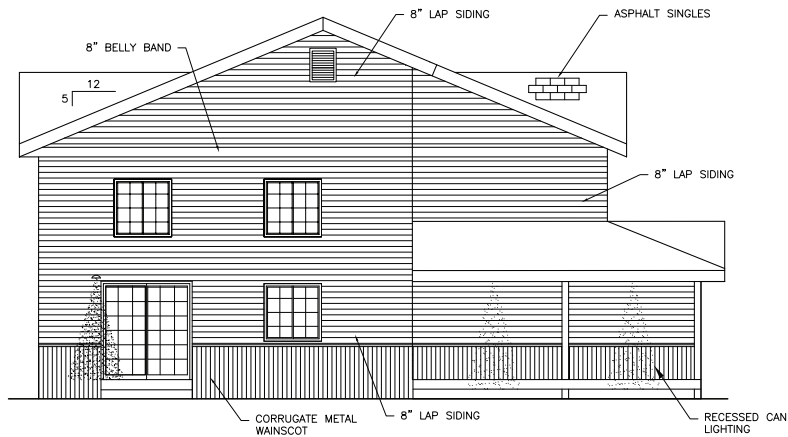


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|-------------------|----------|----------|---|
| DATE | 02/27/25 | REVISION | 0 |
| SCALE: 1/4"=1'-0" | | A3A | |
| ELEVATIONS | | | |

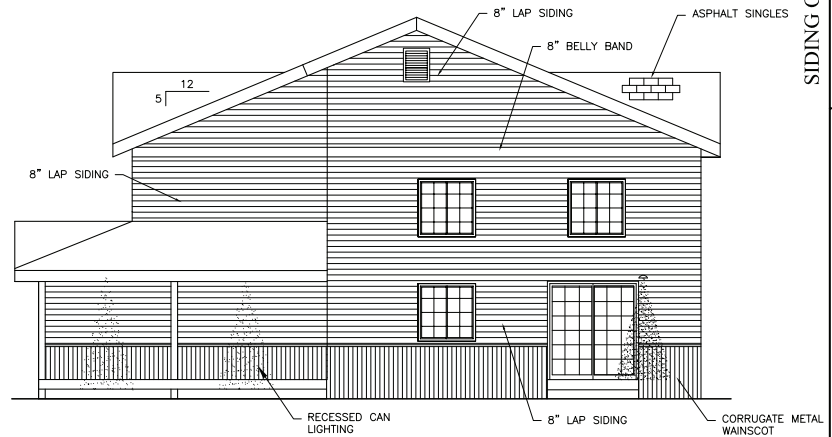
HERBERGER HIDEAWAY
TBD SOUTH 4TH STREET
HAILEY, ID 83333

ARCH Community Housing Trust
DO DOV 2470, HATEV, IDAHO 83222

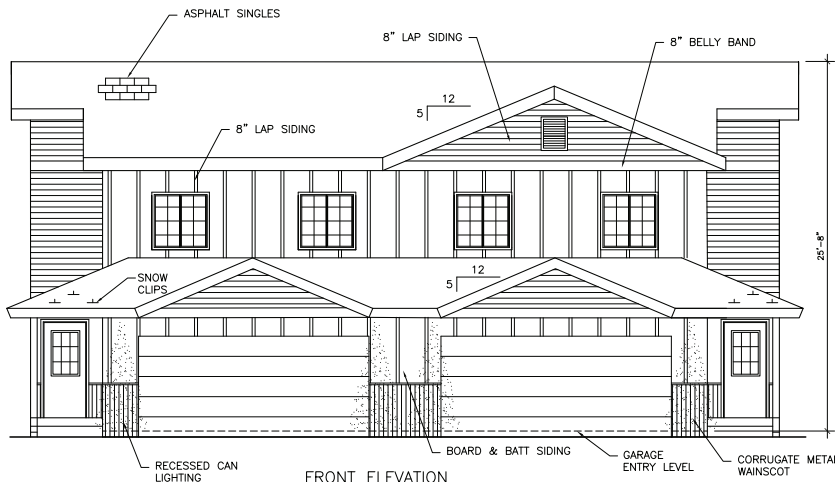
PO BOX 3569, HAILEY, IDAHO, 83333
PHONE:208-726-4411 michelle@archbc.org



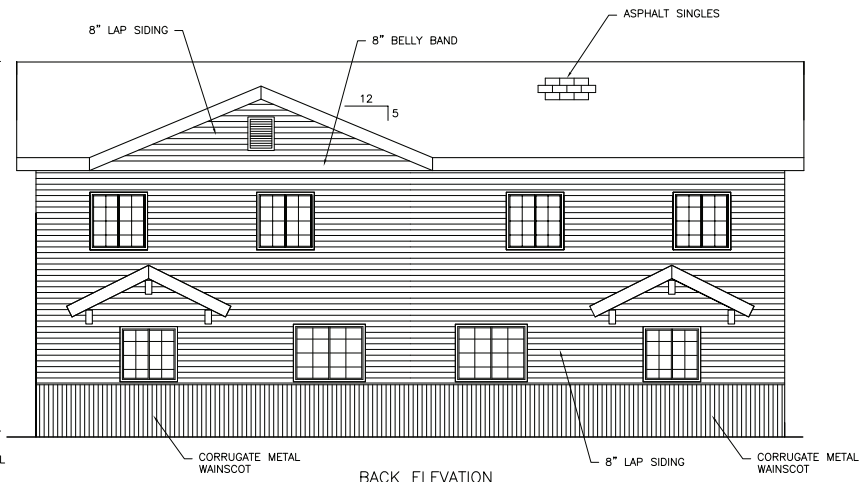
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

MATERIAL FINISHES

BOARD & BATT SIDING & 8" LAP SIDING

BLACK ARCHITECTURAL ASPHALT SHINGLES

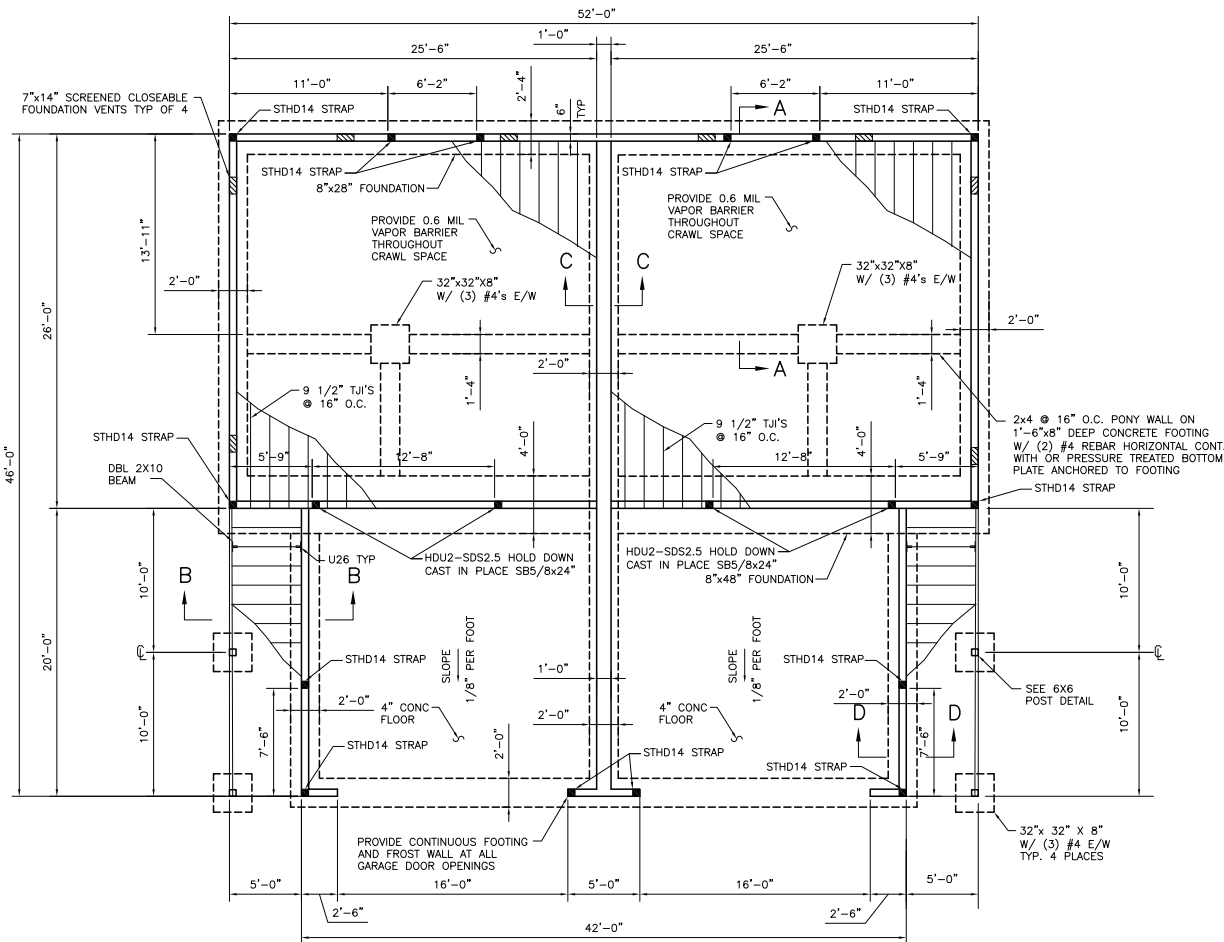
SIDING OPTION B

| DATE | REVISION | |
|-------------------|----------|-----|
| 02/27/25 | 0 | |
| SCALE: 1/4"=1'-0" | | A3B |
| ELEVATIONS | | |

HERBERGER HIDEAWAY
TBD SOUTH 4TH STREET
HAILEY, ID 83333

ARCH Community Housing Trust

PO BOX 3569 HAILEY, IDAHO 83333
PHONE: 208-726-4411 michelle@archbc.org



FOUNDATION AND FRAMING PLAN

NOTES

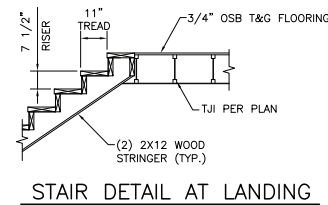
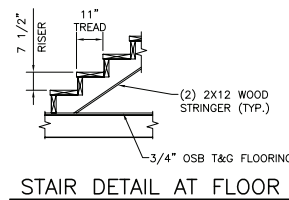
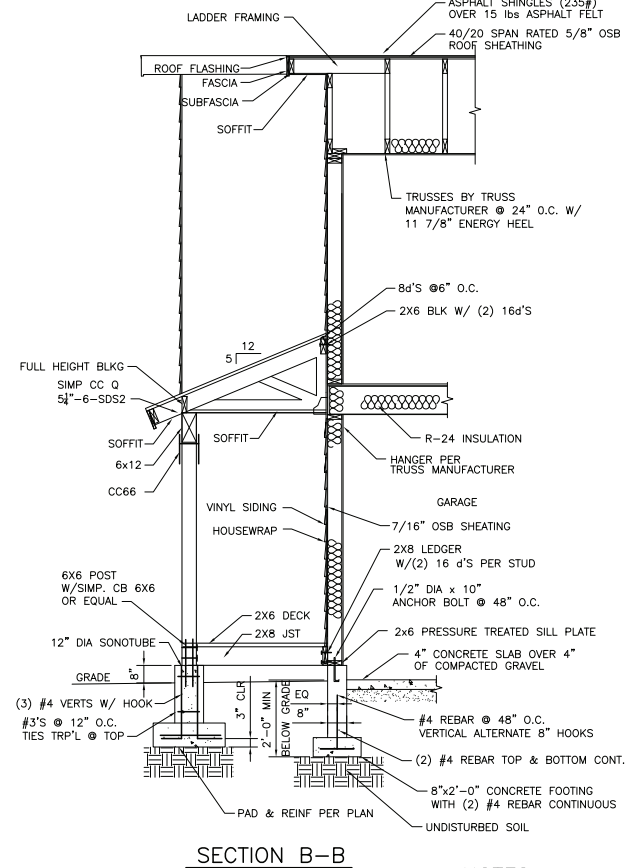
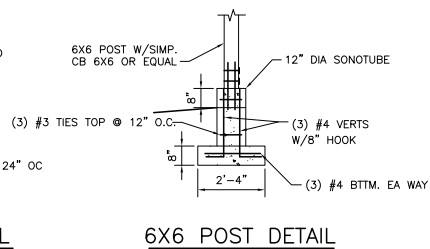
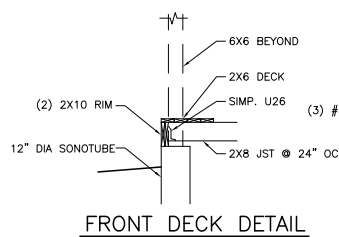
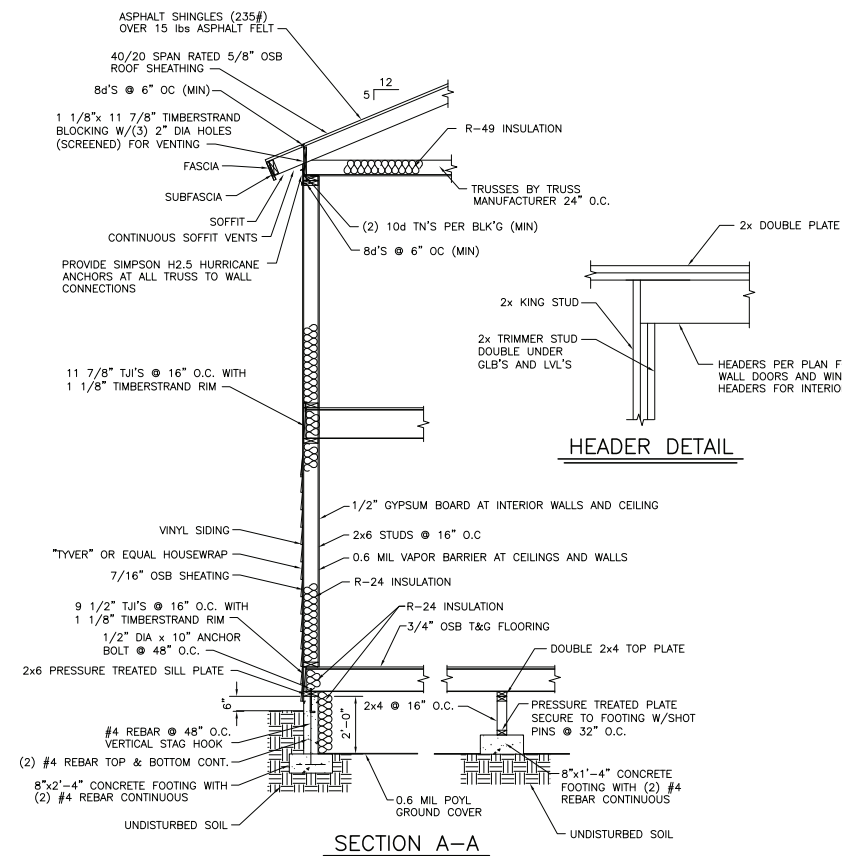
1. REBAR SHALL BE LAPPED A MINIMUM OF 18" AT ALL SPLICES.
2. ANCHOR BOLTS (1/2" DIA x 10") SHALL BE PLACED A MINIMUM SPACING OF 48" O.C. ANCHOR BOLTS TO BE INSTALLED 12" FROM ENDS.
3. ALL WOOD IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED FIR.

| REVISION | 0 |
|----------|------------|
| DATE | 02/27/25 |
| SCALE | 1/4"=1'-0" |
| FND PLAN | A4 |

HERBERGER HIDEAWAY
TBD SOUTH 4TH STREET
HAILEY, ID 83333

ARCH Community Housing Trust

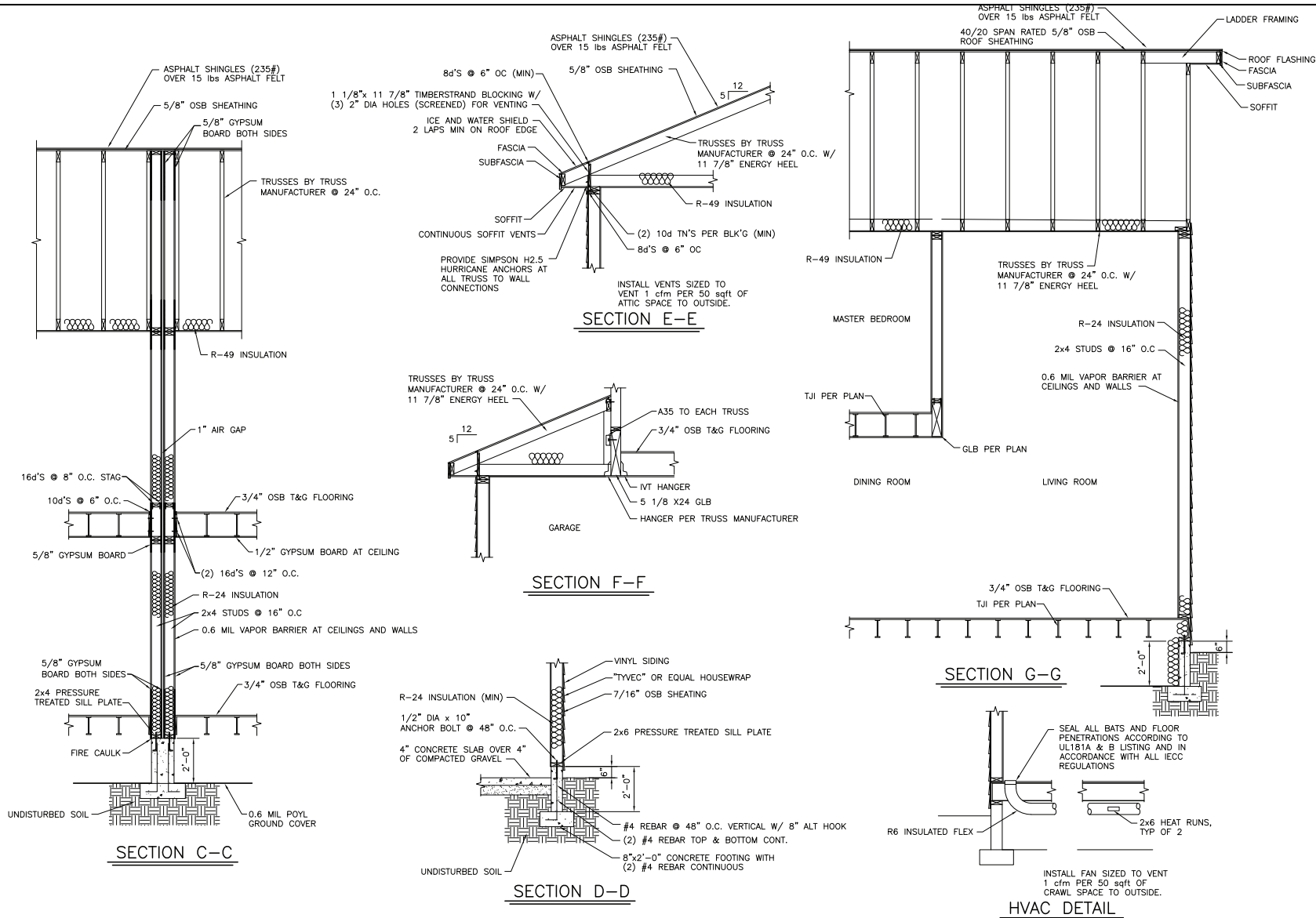
PO BOX 3569 HAILEY, IDAHO, 83333
PHONE: 208-726-4411 michelle@archbc.org



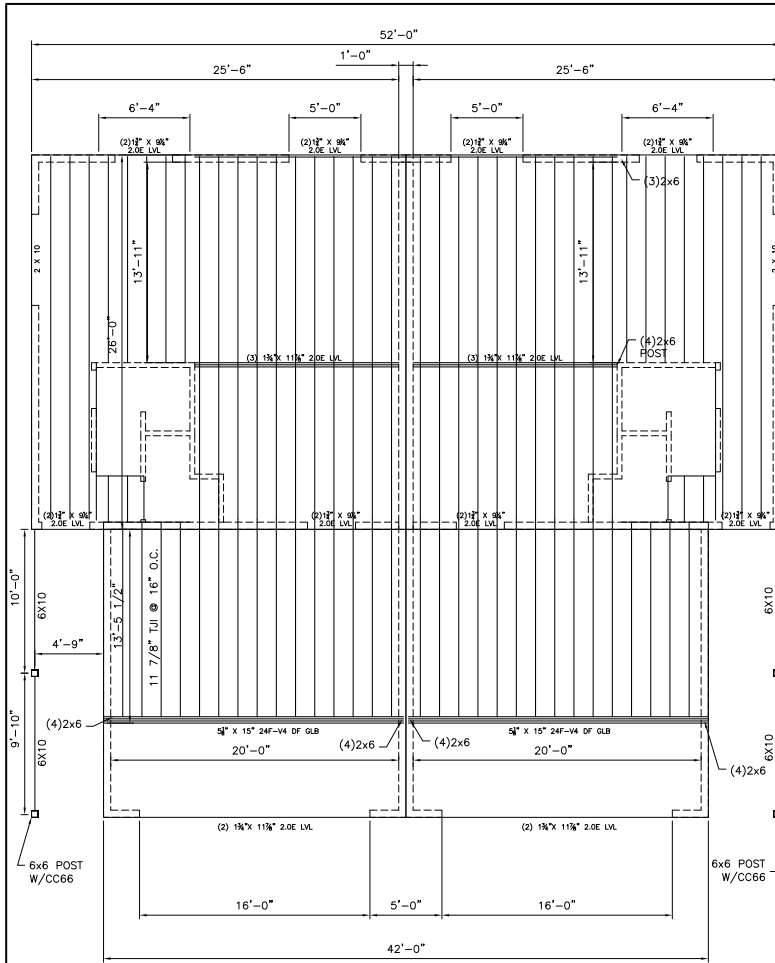
NOTES

1. BOTTOM OF ALL FOOTINGS TO
BE 24" BELOW GRADE

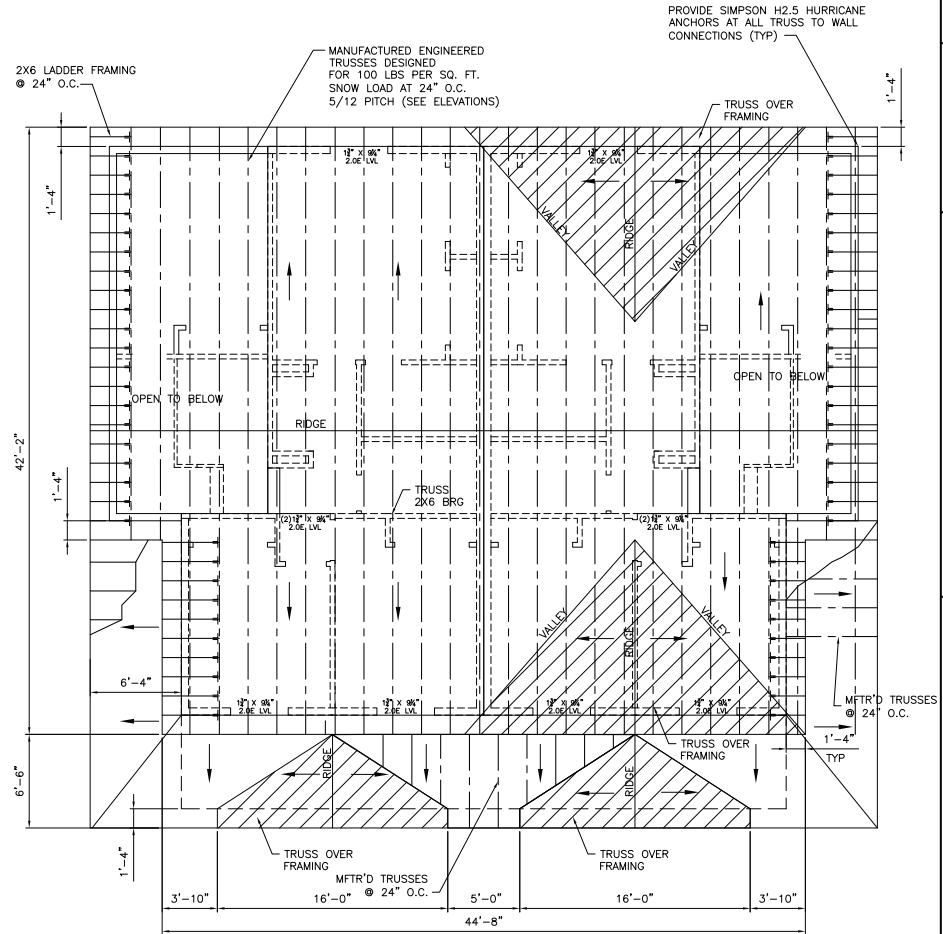
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| ARCH Community Housing Trust PO BOX 3569, HAILEY, IDAHO, 83333 PHONE:208-726-4411 michelle@archhc.org | HERBERGER HIDEAWAY TBD SOUTH 4TH STREET HAILEY, ID 83333 | | DATE | 02/27/25 | REVISION | 0 |
| | | | SCALE: | 1/2"=1'-0" | | |
| | | | SECTIONS | | A5 | |



| | | |
|---|------------|---------|
| REVISION | 0 | A6 |
| DATE | 02/27/25 | |
| SCALE | 1/2"=1'-0" | DETAILS |
| HERBERGER HIDEAWAY TBD SOUTH 4TH STREET HAILEY, ID 83333 | | |
| ARCH Community Housing Trust PO BOX 3569 HAILEY, IDAHO, 83333 PHONE:208-726-4411 michelle@archbc.org | | |



UPPER FLOOR FRAMING



ROOF FRAMING

NOTES

1. PROVIDE BLOCKING BETWEEN TRUSSES, PROVIDE FOR VENTILATION
2. PROVIDE 6'-0" (MIN 2 LAPS) OF ICE AND WATER SHIELD AT ALL ROOF EDGES
3. PROVIDE MIN. 3'-0" OF ICE AND WATER SHIELD AT ALL VALLEYS AND ROOF PENETRATIONS.
4. PROVIDE CONTINUOUS VENT W/(3) 2" DIA SCREENED HOLES IN BLK'G AT ROOF EXTERIOR WALLS.
5. PROVIDE 2" INSULATION BAFFLE AT EACH TRUSS.
6. PROVIDE GABLE END ROOF VENTS AS INDICATED ON EXTERIOR ELEVATIONS.
7. SEE HEADER DETAIL FOR INTERIOR AND EXTERIOR DETAILS

| | | | | | |
|---|--|--------|------------|--------------|----|
| ARCH Community Housing Trust PO BOX 3569 HAILEY, IDAHO, 83333 PHONE: 208-726-4411 michelle@archbc.org | HERBERGER HIDEAWAY TBD SOUTH 4TH STREET HAILEY, ID 83333 | DATE | 02/27/25 | REVISION | 0 |
| | | SCALE: | 1/4"=1'-0" | FRAMING PLAN | A7 |
| | | | | | |

GENERAL NOTES:

STRUCTURAL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS STRUCTURAL ENGINEERS STAMP IS AFFIXED TO STRUCTURAL DWGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, SPECIFICATIONS, AND NOTES SHALL BE REPORTED TO THE ENGINEER FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION. CONTRACTOR SHALL COORDINATE ALL DUCT PLACEMENT WITH ENGINEER. CONTRACTOR IS RESPONSIBLE FOR ALL BRACING AND SHORING DURING CONSTRUCTION. CONTRACTOR TO SUBMIT A REQUEST TO ENGINEER FOR ANY SUBSTITUTION OF MATERIALS OR PRODUCTS SPECIFIED ON STRUCTURAL SHEETS. THE FOLLOW APPLIES UNLESS OTHERWISE NOTED ON DRAWINGS.

BUILDING CODE:

STRUCTURAL DESIGN AND CONSTRUCTION TO CONFORM TO THE INTERNATIONAL BUILDING CODE - 2018

DESIGN ROOF LOADS:

LIVE LOAD (SNOW) 100 PSF
DEAD LOAD 25 PSF

LATERAL LOADS:

WIND 115 MPH EXPOSURE C
SEISMIC ZONE 20, I-1
W-APPLICABLE LOADS + .35 SNOW

FOUNDATION & SOILS:

ASSUMED DESIGN SOIL BEARING PRESSURE 1500 PSF

ALL FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED, DRAINED SOIL. IF SOIL IS DISTURBED, COMPACT SOIL IN 6" LIFTS TO 95% MAXIMUM DRY DENSITY PER ASTM D960. CONTRACTOR TO NOTIFY ARCHITECT/ENGINEER IF SOIL CONDITIONS ARE ENCOUNTERED WHICH MAY REQUIRE A LOWER ASSUMED SOIL BEARING PRESSURE SUCH AS CLAY, SILTS, OR ORGANICS. SEE DETAILS FOR MAXIMUM FOOTING DEPTH BELOW GRADE.

CONCRETE:

STRUCTURAL CONCRETE, INCLUDING FOOTINGS, WALLS, AND SLABS SHALL HAVE THE FOLLOWING MAX REQUIREMENTS, AND MAX AGGREGATE SIZE OF ¾"

| | | | |
|---|--|------------------------------|------------------------|
| 28 DAY COMPRESSION STRENGTH: 3000 PSI | MIN. CEMENT CONTENT 5 SACKS/CU YD. | ENTRAINED AIR 5% TO 6% | MAXIMUM SLUMP 4" |
|---|--|------------------------------|------------------------|

CONCRETE PLACEMENT:

ALL CONCRETE PLACEMENT AND REINFORCEMENT COVER SHALL CONFORM TO ACI 311. CONCRETE FORM WORK TO BE OF ADEQUATE STRENGTH AND PROPERLY BRACED TO PREVENT GAFFING OR BULGING. PROTECT ALL CONCRETE FROM FREEZING TEMPERATURES. NO FOOTING SHALL BE PLACED ON DISTURBED SOIL. REINFORCING STEEL SHALL BE CONTINUOUS THROUGH ALL COLD JOINTS.

CONCRETE REINFORCEMENT:

REINFORCEMENT SHALL BE ASTM A615, GRADE 40 FOR #1 BARS AND SMALLER, AND GRADE 60 FOR #5 BARS AND LARGER. WIRE MESH TO CONFORM TO ASTM A185-64. ALL REBAR SPLICES TO BE LAPPED 42 BAR DIAMETERS UNLESS OTHERWISE NOTED. WELDING OF REBAR TO BE APPROVED BY ENGINEER. PAD AND STEM FOOTING REINFORCEMENT TO HAVE 3" CLEAR COVER OF CONCRETE TYPICAL UNLESS OTHERWISE NOTED ON THE DRAWINGS.

CONCRETE STEM WALLS:

REFER TO DRAWINGS FOR WALL SIZE AND REINFORCEMENT, PROVIDE CORNER BARS WITH 18" LEGS AT CORNERS AND INTERSECTING WALLS AND FOOTINGS. SIZE AND PLACEMENT TO MATCH HORIZONTAL REINFORCEMENT. ANCHOR BOLTS SHALL BE ASTM A307 AND OF THE SIZE AND SPACING AS INDICATED ON THE DRAWINGS AND HAVE A 7" MINIMUM EMBEDMENT DEPTH. ANCHOR BOLTS TO BE WITHIN 1'-0" OF SILL PLATE ENDS. WITH A MINIMUM OF TWO PER WALL, AND NO CLOSE THAN 6" FROM CONCRETE WALL CORNERS.

CONCRETE SLABS:

CONCRETE SLABS, UNLESS OTHERWISE NOTED ON DRAWINGS, SHALL BE 4" THICK, ON 6" COMPACTED GRAVEL BASE WITH 5 MIL. POLYETHYLENE VAPOR BARRIER, TO BE PLACED ON UNDISTURBED SOIL. REINFORCE WITH #3 BARS AT 18" O.C. PLACED 1-1/2" CLEAR FROM TOP FACE. ALL SURFACES OF CONSTRUCTION JOINTS SHALL BE CLEANED TO REMOVED DUST, CHIPS, AND FOREIGN MATTER PRIOR TO POURING ADJACENT SLAB. CRACK CONTROL JOINTS SHALL HAVE A MAXIMUM SPACING OF 15'-0" IN

SAWN STRUCTURAL LUMBER:

STRUCTURAL LUMBER SHALL BE DOUGLAS FIR-LARCH (DF-L) No. 2 OR BETTER FOR ALL 2X'S, 3X'S, AND 4X'S. WOOD BEARING ON, OR INSTALLED WITHIN 1" OF CONCRETE OR MASONRY SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.

WELDING:

ALL WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1 LATEST REVISION BY A CERTIFIED AWS WELDER.

WOOD FRAMING:

ALL FRAMING DETAILS SHALL BE IN ACCORDANCE WITH I.B.C., SECTION 2308 UNLESS NOTED OTHERWISE ON THE DRAWINGS. FRAMING NAILING SHALL CONFORM TO I.B.C., TABLE 2304.6.1 UNLESS NOTED OTHERWISE ON DRAWINGS. PROVIDE SOLID BLOCKING BELOW ALL BEARING WALLS AND POSTS, MINIMUM HEADER TO BE 6X8 WITH (1) 2X6 BEARING STUDS PLUS KING STUD EACH END UNLESS NOTED OTHERWISE. UNLESS NOTED OTHERWISE, STACK ALL RAFTER, JOIST AND STUD FRAMING. "MODULE". PROVIDE STEEL STRAPS AT PIPES IN STUD WALLS AS REQUIRED BY THE I.B.C., SECTION 2308.3.8 OVERFRAMING, OR "CALIFORNIA FRAMING" SHALL BE DONE SUCH THAT VERTICAL LOADS ARE TRANSFERRED, TO MAIN STRUCTURE BELOW, BY DIRECT BEARING, AT SPACING NOT TO EXCEED 24" O.C.

HEADERS:

UNLESS NOTED OTHERWISE ALL HEADERS SHALL BE 6x8.

FRM'G LUMBER (MAX. MOISTURE CONTENT=19%)

| | |
|--------------------------|-------------------------------|
| STUDS/PORCH FLOOR JOISTS | BEAMS, COLUMNS, & ROOF JOISTS |
| DOUGLAS FIR No. 1, No. 2 | DOUGLAS FIR No. 1 |
| Fb=900 E=1,600,000 | Fb=1000 E=1,700,000 |

NAILS, BOLTS, LAGS, AND PRE-FABRICATED CONNECTIONS FOR WOOD:

ALL NAILS SHALL BE BOX OR GALVANIZED BOX, THE USE OF STAPLES TO BE VERIFIED BY ENGINEER. BOTH BOLTS AND LAGS SHALL CONFORM TO ASTM A307 GRADE UNLESS OTHERWISE NOTED. PROVIDE MILD STEEL PLATE WASHERS AT ALL BOLT HEADS AND NUTS BEARING AGAINST WOOD. METAL HANGERS AND CONNECTIONS SHOWN ON DRAWINGS TO BE MANUFACTURED BY THE SIMPSON COMPANY AND INSTALLED PER THEIR SPECIFICATIONS. OTHER MANUFACTURER'S MAYBE CONSIDERED WHERE LOAD CAPACITY AND DIMENSIONS ARE EQUAL OR BETTER. ALL SUBSTITUTIONS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW.

ROOF SHEATHING:

5/8" CDX MINIMUM (40/20) SPAN RATING

EXTERIOR WALL SHEATHING: 15/32" CDX (24/0) SPAN RATING UNLESS OTHERWISE NOTED. ORIENTED STRAND BOARD WITH THE SAME SPAN RATING MAY BE SUBSTITUTED.

PRE-MANUFACTURED WOOD TRUSSES:

WOOD TRUSSES SHALL BE MANUFACTURED WITH STRESS RATED MATERIALS DESIGNED TO SUPPORT LOADINGS SHOWN ON DRAWINGS. BRACE BOTTOM CHORD AND WEB MEMBERS AS REQUIRED BY MANUFACTURER. TRUSS DEFLECTION TO BE LIMITED TO L/240 OR BETTER FOR ALL LOADING CONDITIONS. TRUSS MANUFACTURER IS RESPONSIBLE FOR ALL BLOCKING CALL OUTS INCLUDING CONNECTIONS, INCLUDING SPECIFICATION OF JOIST HANGERS, OF TRUSSED ROOF AREAS, INCLUDING EAVE OVERHANGS AND OVERFRAMING. SHOP DRAWINGS, DETAILS, AND STRUCTURAL CALCULATIONS OF TRUSSED ROOF SYSTEM MUST BE STAMPED BY A PROFESSIONAL CIVIL ENGINEER LICENSED IN THE STATE IN WHICH THE PROJECT IS TO BE CONSTRUCTED AND SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION.

FOUNDATION AND ATTIC VENTILATION:

FOUNDATION CRAWL SPACE HAS AN AREA OF 625 SQ. FT. AND SHOULD BE VENTED OUTSIDE AT A RATE OF 1 CFM PER 50 SQ. FT.
ATTIC HAS AN AREA OF 959 SQ. FT. AND SHOULD BE VENTED OUTSIDE AT A RATE OF 1 CFM PER 50 SQ. FT.

PLYWOOD SHEATHING:

ALL PLYWOOD SHEATHING SHALL BE APA RATED EXPOSURE 2 PLYWOOD WITH THICKNESS, VENEER GRADES AND SPAN RATINGS AS NOTED HEREIN OR ON DRAWINGS/DETAILS. PLYWOOD AT ROOF AND FLOORS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND END JOINTS STAGGERED 4'-0" O.C. PROVIDE ¾" SPACE AT ALL PANEL EDGES. NAIL ROOF WITH 10d AT 6" O.C. EDGE NAILING (E&N) AND 12" O.C. FIELD NAILING (INTERMEDIATE) UNLESS NOTED OTHERWISE ON DRAWINGS. NAIL FLOOR WITH 8d AT 6" O.C. EDGE NAILING (E&N) AND 12" O.C. FIELD NAILING (UNCL). NAIL APA RATED WALL PANEL EDGES AND BOUNDARIES WITH 8d AT 6" O.C. EDGE NAILING, AND 12" O.C. FIELD NAILING (INTERMEDIATE) UNLESS OTHERWISE SPECIFIED ON DRAWINGS OR SHEAR WALL SCHEDULE. BLOCK AND NAIL ALL HORIZONTAL PANEL EDGES AT DESIGNATED SHEAR WALLS.

PONY WALLS (CRIPPLE WALLS)

ALL PONY WALLS WITH STUD HEIGHTS GREATER THAN 14" SHALL BE BRACED IN ACCORDANCE WITH I.B.C., SECTION 2308.5.4.

EDGE NAILING:

| CALLOUT | NAIL | SPACING | FLR LOAD |
|---------|------|---------|----------|
| E.N.1 | 10d | 6" | 320LF |
| E.N.2 | 10d | 4" | 425 LF |
| EN.3 | 10d | 3" | 620 LF |

UNCL. ALL EDGE NAILING TO BE E.N.1.

SHEAR PANEL WALL BRACING

| CALLOUT | BRACED WALL DESCRIPTION |
|-------------|--|
| WALL TYPE 1 | WALL LOAD IS 1,920 lbs AND USING FTAO METHOD. SEE DETAIL 1, DRAWING A9. USE SW2 NAILING. |
| WALL TYPE 2 | WALL LOAD IS 1,920 lbs AND USING FTAO METHOD. SEE DETAIL 3, DRAWING A9. USE SW2 NAILING. |
| WALL TYPE 3 | WALL LOAD IS 2,496 lbs AND USING SW2 NAILING. THE MINIMUM PANEL LENGTH IS 13'. USING A PANEL LENGTH OF 26' THE HOLD DOWN LOAD IS 768 lbs. |
| WALL TYPE 4 | WALL LOAD IS 2,496 lbs AND USING SW2 NAILING. THE MINIMUM PANEL LENGTH IS 13'. USING A PANEL LENGTH OF 26' THE HOLD DOWN LOAD IS 768 lbs. |
| WALL TYPE 5 | WALL LOAD IS 3,920 lbs AND USING SW2 NAILING. THE MINIMUM PANEL LENGTH IS 21'. USING (2) PANELS 15' IN LENGTH. THE HOLD DOWN LOAD IS 1,176 lbs. |
| WALL TYPE 6 | WALL LOAD IS 1,960 lbs AND USING SW1 NAILING. THE MINIMUM PANEL LENGTH IS 4.35'. USING A PANEL 5' IN LENGTH. THE HOLD DOWN LOAD IS 3,528 lbs. |
| WALL TYPE 7 | WALL LOAD IS 1,960 lbs AND USING SW1 NAILING. THE MINIMUM PANEL LENGTH IS 4.35'. USING (2) PANELS 7' IN LENGTH. THE HOLD DOWN LOAD IS 1,375 lbs. |
| WALL TYPE 8 | WALL LOAD IS 6,344 lbs AND USING FTAO METHOD. SEE DETAIL 2, DRAWING A9. USE SW3 NAILING. |
| WALL TYPE 9 | WALL LOAD IS 1,500 lbs AND USING SW2 NAILING. THE MINIMUM PANEL LENGTH OF 8.1' USING A PANEL LENGTH OF 8' THE HOLD DOWN LOAD IS 1,688 lbs. |

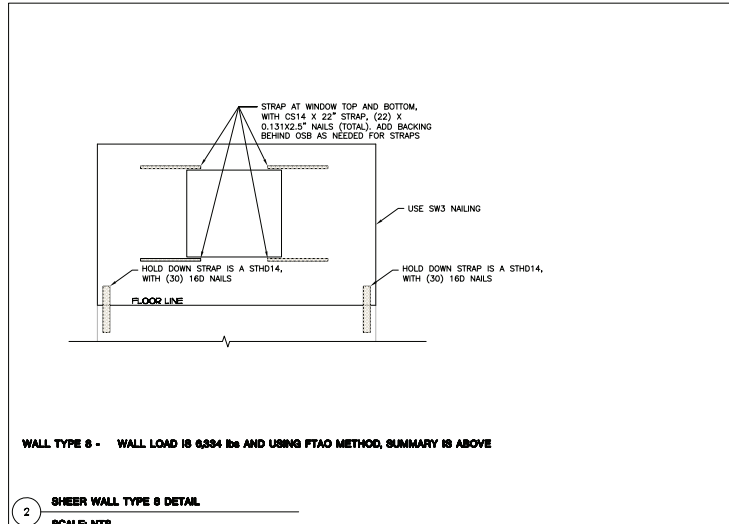
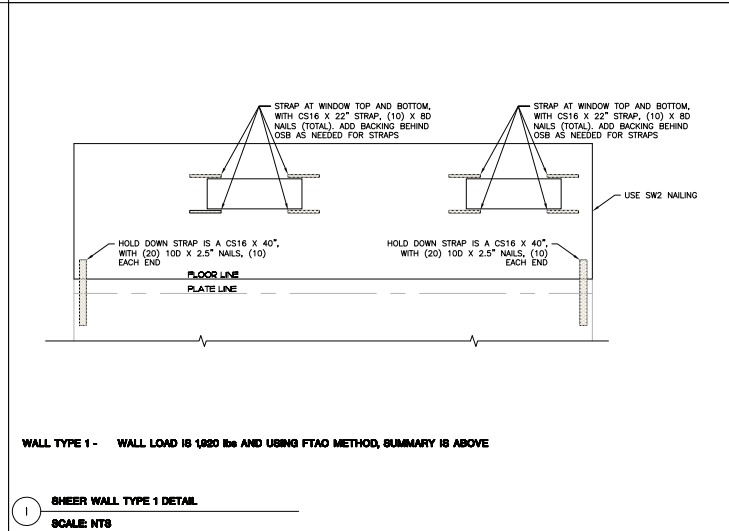
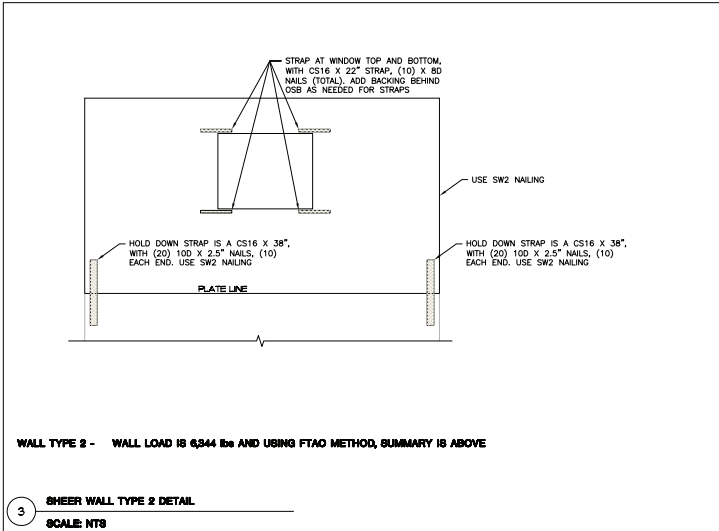
SHEAR WALL NAILING

| CALLOUT | SHEATHING | FASTENERS | EDGE NAILING | FIELD NAILING | BLOCKING | ANCHOR BOLTS |
|---------|---|-----------|--------------|---------------|-------------|-----------------------------|
| SW 1 | 7/16 APA RATED OSB (BLOCKED) 24" O.C. | 8d NAILS | 4" O.C. | 12" O.C. | PANEL EDGES | 1/2" DIA x 10 AB @ 24" O.C. |
| SW 2 | 7/16 APA RATED OSB (UNBLOCKED) 24" O.C. | 8d NAILS | 6" O.C. | 12" O.C. | N/A | 1/2" DIA x 10 AB @ 24" O.C. |
| SW 3 | 7/16 APA RATED OSB (BLOCKED) 24" O.C. | 8d NAILS | 2" O.C. | 12" O.C. | PANEL EDGES | 1/2" DIA x 10 AB @ 24" O.C. |

7/16 CROWN 16ga x 2" STAPLES 3" O.C. IF SUBSTITUTED FOR 8d NAILS & 6" O.C.

SHEAR PANEL HOLD DOWNS

- 1 HOLD DOWNS FOR THE LOWER LEVEL WILL HAVE A MAXIMUM OF 4,500 LBS AND MUST USE A STDH14 STRAP WITH (30) 16d SINKERS, IN LOCATIONS AS INDICATED.
- 2 HOLD DOWNS FOR THE LOWER LEVEL WILL HAVE A MAXIMUM OF 4,500 LBS AND MUST USE A STDH14RJ STRAP WITH (30) 16d SINKERS, IN LOCATIONS AS INDICATED.
- 3 HOLD DOWNS FOR THE LOWER LEVEL WILL HAVE A MAXIMUM OF 3,000 LBS AND MUST USE A HDJ2-SD325 HOLD DOWN WITH (6) ½"x2.5" SCREWS, SIMPSON CAST IN PLACE SBS 8"x24" ANCHORS OR EQUIVALENT TO BE USED, WITH A MINIMUM 18" EMBEDMENT.
- 4 HOLD DOWNS FOR THE UPPER LEVEL WILL HAVE A MAXIMUM OF 2,000 LBS AND MUST USE A CMSTC16 x 42" COL. STRAP WITH (11) 0.148 x 2.5" NAILS. EACH END OF STRAP. STRAP IS 36" LONG TO SPAN THE FLOOR FRAMING.



| | | | | |
|---|--|--|----------------------|-------------------|
| ARCH Community Housing Trust PO BOX 3569, HAILEY, IDAHO, 83333 PHONE:208-726-4411 michelle@archbc.org | HERBERGER HIDEAWAY TBD SOUTH 4TH STREET HAILEY, ID 83333 | | DATE 02/27/25 | REVISION 0 |
| | | | SCALE: 1/2"=1'-0" | |
| | | | STR. DETAILS | |
| | | | | A9 |

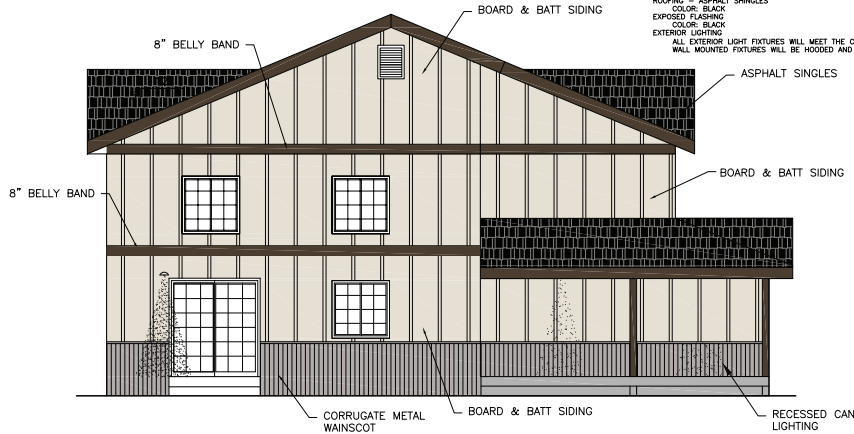
WALL MOUNTED FIXTURES WILL BE HOODED AND SHIELDED TO DIRECT LIGHT DOWNWARDS.

EXTERIOR MATERIAL FINISHES

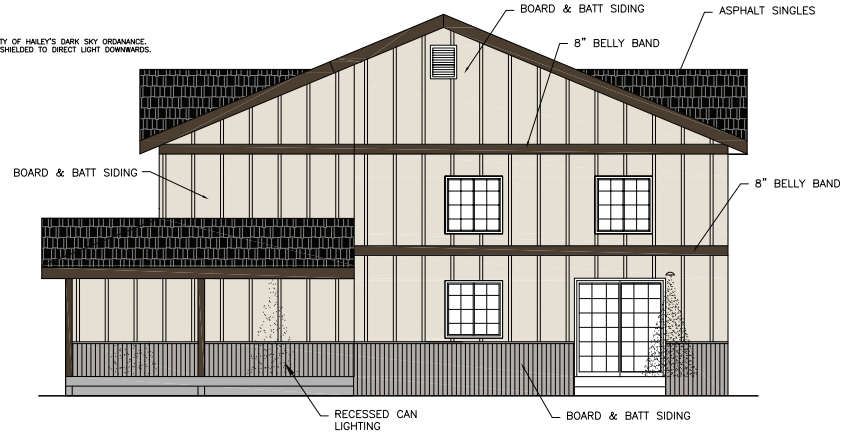
EXTERIOR SIDING - BOARD & BATT SIDING & 8" LAP SIDING
COLOR: SHERWIN WILLIAMS - SHOU WHITE (7042)
EXTERIOR TRIM (CORNER BOARDS, FASCIA)
COLOR: SHERWIN WILLIAMS - DARK CLOVE (9183)
ENTRY DOOR
COLOR: SHERWIN WILLIAMS - FIREWEED (6328)
GARAGE DOOR
COLOR: SHERWIN WILLIAMS - FIREWEED (6328)
WINDOWS - VINYL
COLOR: WHITE
ROOFING - ASPHALT SHINGLES
COLOR: BLACK
EXPOSED FLASHING
COLOR: BLACK
EXTERIOR LIGHTING
ALL EXTERIOR LIGHT FIXTURES WILL MEET THE CITY OF HAILEY'S DARK SKY ORDINANCE.
WALL MOUNTED FIXTURES WILL BE HOODED AND SHIELDED TO DIRECT LIGHT DOWNWARDS.

MATERIAL FINISHES

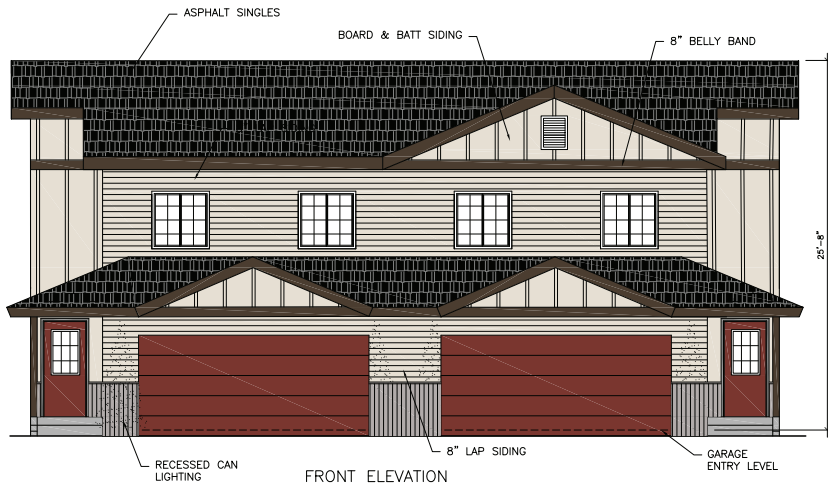
BOARD & BATT SIDING & 8" LAP SIDING
BLACK ARCHITECTURAL ASPHALT SHINGLES



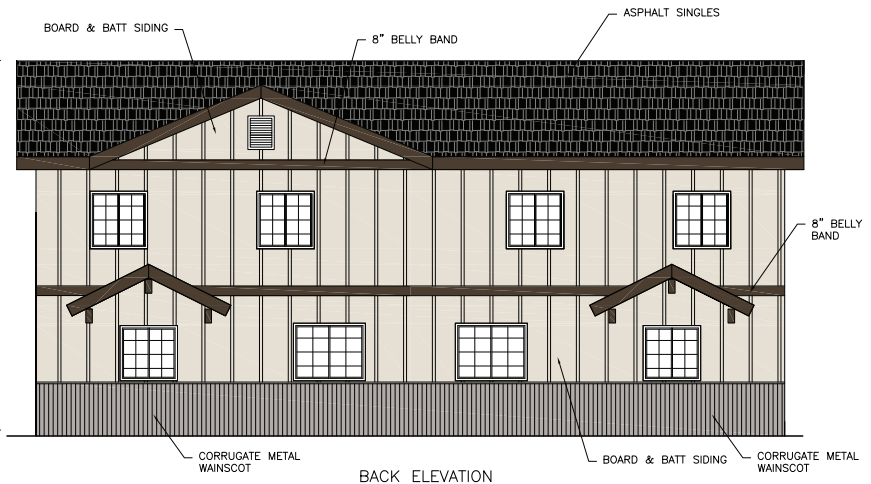
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

| REVISION | 0 | DATE | 02/27/25 |
|---|---|--------|------------|
| A3A | | SCALE: | 1/4"=1'-0" |
| ELEVATIONS | | | |
| HERBERGER HIDEAWAY TBD SOUTH 4TH STREET HAILEY, ID 83333 | | | |
| ARCH Community Housing Trust PO BOX 3569 HAILEY, IDAHO, 83333 PHONE: 208-726-4411 michelle@archbc.org | | | |



PLANT LEGEND

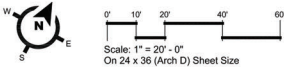
| symbol | quan | description | planted size |
|--------|------|---|--------------------------|
| | 9 | Street Tree - Class II (Per Street Tree List) Norway Maple - <i>Acer platanoides</i> Thornless Honeylocust - <i>Gleditsia triacanthos</i> Littleleaf Linden - <i>Tilia cordata</i> | 2" Cal. |
| | 2 | Deciduous Trees Autumn Blaze Maple - <i>Acer x freemanii</i> Crabapple - <i>Malus</i> spp. | 3" Cal. |
| | 10 | Medium Sized Deciduous Trees Washington Hawthorn - <i>Crataegus phaenopyrum</i> Crabapple - <i>Malus</i> spp. Dancing Flame Aspen - <i>Populus tremuloides</i> 'KERN2' | 1-1/2" Cal. |
| | 7 | Evergreen Trees Douglas Fir - <i>Pseudotsuga monstrosii</i> Colorado Spruce - <i>Picea pungens</i> | 10' Height or 2" Cal. |
| | 35 | Small Evergreen Trees Rocky Mountain Juniper - <i>Juniperus scopulorum</i> White Weeping Spruce - <i>Picea glauca</i> 'Pendula' Britton's Pine - <i>Pinus contorta</i> | 8' Height or 1-1/2" Cal. |
| | 99 | Shrub Massing Peking Quince - <i>Euscaphes japonica</i> Dixie Ninebark - <i>Physocarpus opulifolius</i> 'Dixie' Burmese Spirea - <i>Spiraea x nipponica</i> 'Burmense' Tee Birchleaf Spirea - <i>Spiraea betulifolia</i> 'Tee' Common Snowberry - <i>Symphoricarpos albus</i> | 5 Gal. |
| | 188 | Ornamental Grasses & Perennials Bent Grass - <i>Cynagrostis</i> s.s. 'Nail Feather' Flame Grass - <i>Miscanthus sinensis</i> Blue Out Grass - <i>Helictotrichon sempervirens</i> | 1 Gal. |
| | 50 | Ornamental Grasses & Perennials Black Eye Susan - <i>Rudbeckia hirta</i> Lavender - <i>Lavandula</i> Salvia - <i>Salvia divinorum</i> | 1 Gal. |
| | | Decorative Rock | 3" Thick |
| | | Maintained Grass Fescue Blend | Sod |
| | | Low Maintenance Grass Scottish Links Blend | Hydroseeded |

EXISTING TREE LEGEND

| | |
|--|---|
| | Existing Evergreen & Deciduous Trees (To Remain) |
| | Existing Evergreen & Deciduous Trees (To Be Removed) |

PLAN LEGEND

| | |
|--|-------------------------------|
| | Property Line (Per Survey) |
| | Concrete Sidewalk |
| | Walkway |
| | Asphalt Driveway |



NS
CONSULTING, PLLC

landscape architecture & drone mapping
Nathan Schutte, AIA
P: 208.320.2911
E: nathanwschutte@gmail.com



The designs and concepts shown are the sole property of NS Consulting. The drawings may not be used except with the expressed written consent of NS Consulting, PLLC.

PROJECT
HERBERGER HIDEAWAY
ARCH COMMUNITY HOUSING TRUST, INC.
Hailey, Idaho

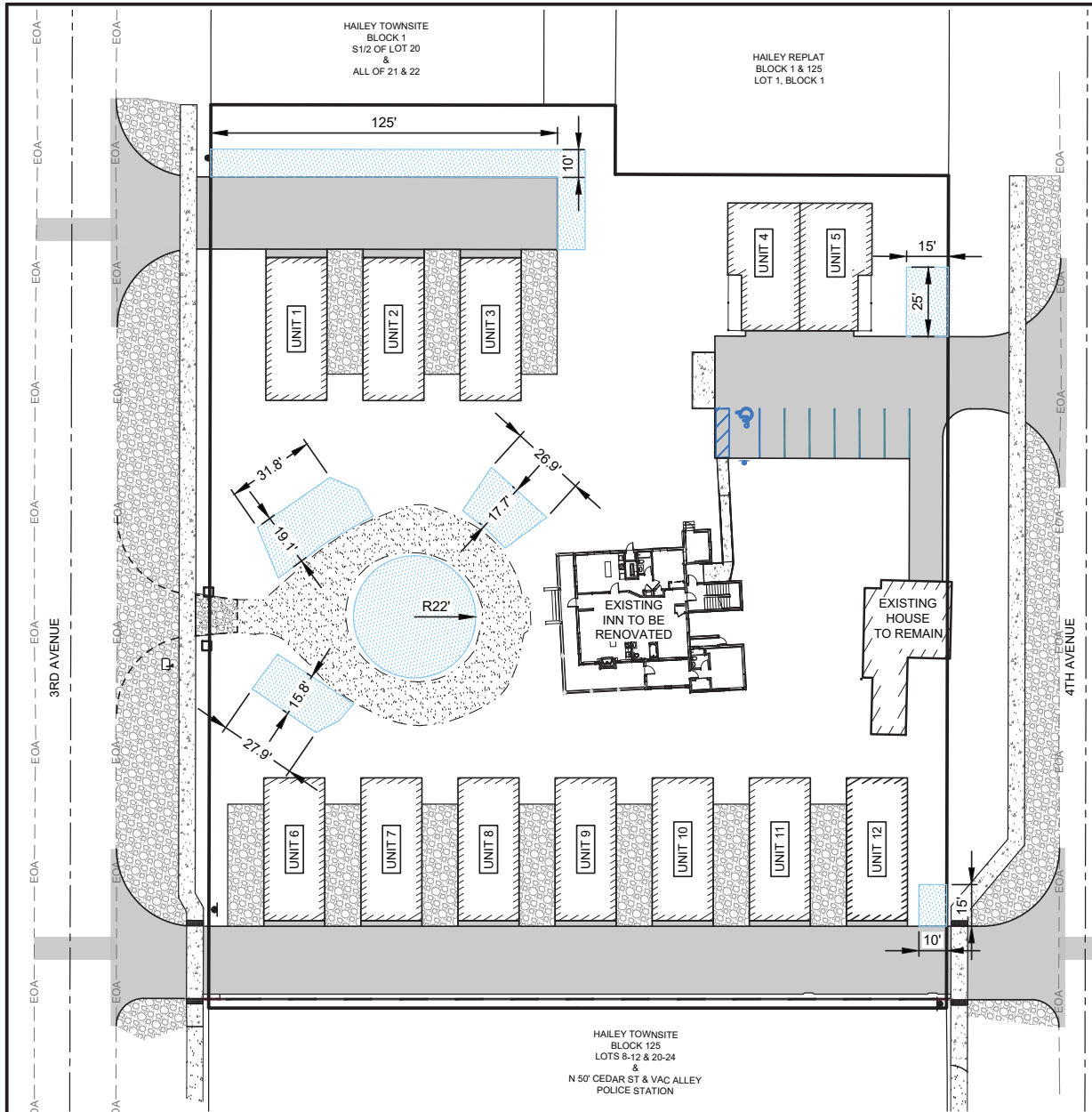
DOCUMENT DATE
February 21, 2025

DRAWN BY
Nathan Schutte

REVISION
No. Date Remark

PRELIMINARY
LANDSCAPE
PLAN

L1



SNOW STORAGE SUMMARY

PROPOSED SNOW REMOVAL AREA = $\pm 18,400$ SF
INCLUDES PARKING LOT, AND DRIVEWAYS.

REQUIRED SNOW STORAGE = $\pm 4,600$ SF (25%)

PROVIDED SNOW STORAGE = $\pm 5,300$ (28%)

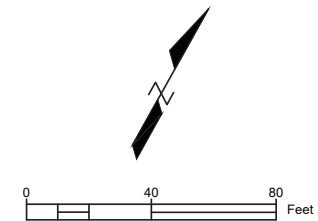


EXHIBIT ONLY

**NOT FOR
CONSTRUCTION**



OPAL ENGINEERING, PLLC
PO BOX 2530 • HAILEY, ID 83333
WWW.OPAL-ENGINEERING.COM

SNOW STORAGE EXHIBIT

HERBERGER HIDEAWAY
PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

23018
PROJECT NUMBER

EX

AUGUST 2024

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "DADO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF HALEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE CITY OF HALEY STANDARDS AND CITY OF HALEY STANDARD DRAWINGS.

2. THE LOCATION OF EXISTING UNDERUTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO LOCATE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE CITY OF HALEY OF ANY DAMAGE TO ANY EXISTING UNDERUTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.

3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.

4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).

6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 20.1.

7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 20.2. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, CORNER AND SLOPES TO MEET THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1586. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.

8. PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING CURB GRADE, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK. A MINIMUM OF TWO (2) PASSES SHALL BE REQUIRED TO BE MADE IN EACH DIRECTION. THE EXISTING SUBGRADE SHALL BE PROOF-ROLLED TO THE LINE AND CORNERS OF THE DESIRED SUBGRADE MATERIAL AREAS. AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC.

9. IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIALS TO THE SUBGRADE SURFACE WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PR1 FILL GRAVEL.

10. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802. TYPE II (ITD STANDARD 703.3.2), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 20.2. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM TO 5.9.

11. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802. TYPE II (ITD STANDARD 703.4.3, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 20.2. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY ASTM TO 5.9S OR ITD 7.1.

12. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTIONS 805, 810, AND 811 FOR CLASS I PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDING SHALL BE PG 58-28 CONFORMING TO TABLE 811A IN ISPCW SECTION 805.

13. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. ALL CURBS SHALL BE SAW CUT TO PROVIDE A CLEAN PAVEMENT EDGE. ALL CURBS, SAWCUTS, OR OVERLAY SURFACES SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.

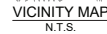
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL, PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

15. ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705 AND CITY OF HALEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703. TABLE 1 WITH A MINIMUM OF 1.5% CRYSTALLINE WATERPROOFING MEMBRANE. ALL CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE CITY OF HALEY STANDARD DRAWINGS, TYPE 2, CLASS A PER ASTM C 309/M 46, APPLYING CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE M-62, CURING, CURED AND PROTECTION PLAN (ISPCW 733.3.5), AND POST FOUR CURB SEALING CURB AND ANCHOR AND ANCHOR AND ANCHOR TO THE HALEY STANDARD DRAWINGS.

16. ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING 30-301 AND CITY OF HALEY STANDARD DRAWING 18-1010.1.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM TO 5.9.

17. PER DAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS SHALL BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, AT THE EXPENSE OF THE OWNER OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL SURVEYOR.

18. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN ON THE SURVEY SECTION ARE PER A SURVEY CONDUCTED BY GALENA-BENCHMARK ENGINEERING, RECEIVED ON APRIL 11, 2024.



| LEGEND | | EXISTING ITEMS | | ITEMS TO BE REMOVED | |
|--------|---|----------------|-----------------------|---------------------|---|
| | PROPERTY LINE | | WATER MAIN | | SAW CUT LINE |
| | ADJONER'S LOT LINE (BLAINE COUNTY GIS) | | WATER SERVICE | | ASPHALT TO BE REMOVED |
| | CENTERLINE | | FRONT FREE HYDRANT | | CONCRETE TO BE REMOVED |
| | INTERIOR LOT LINE (CALCULATED - INTERIOR LOT LINES NOT SURVEYED) | | FIBER OPTIC MARKER | | WATER LINE TO BE ABANDONED AFT PHASE 1 WATER MAIN INSTALLED |
| | UTILITY EASEMENT PER PLAT INSTRUMENT NUMBER 19866, TO BE MODIFIED | | MAILBOX | | SEWER LINE TO BE ABANDONED AFT PHASE 1 SEWER MAIN INSTALLED |
| | OVERHEAD POWER LINE | | BURIED TELEPHONE LINE | | CONFIR TREE TO BE REMOVED |
| | 5' CONTOUR INTERVAL | | TELEPHONE MANHOLE | | DECIDUOUS TREE TO BE REMOVED |
| | 1' CONTOUR INTERVAL | | | | |
| | CONCRETE SIDEWALK | | | | |
| | ASPHALT | | | | |
| | GRAVEL DRIVE | | | | |
| | DECK | | | | |
| | BUILDING | | | | |
| | CONIFER TREE | | | | |
| | DECIDUOUS TREE | | | | |
| | GAS MARKER | | | | |
| | GAS METER | | | | |
| | CABLE TV RISER | | | | |
| | POST | | | | |
| | POWER METER | | | | |
| | UTILITY POLE | | | | |
| | CUYRWIRE | | | | |
| | SEWER MAIN | | | | |
| | SEWER SERVICE | | | | |
| | SEWER CLEANOUT | | | | |

| PROPOSED ITEMS | |
|----------------|------------------------------|
| | SAW CUT LINE |
| | NEW ASPHALT |
| | CONCRETE SIDEWALK |
| | BUILDING |
| | FLOW LINE |
| | 12' STORM DRAIN |
| | CATCH BASIN |
| | DRYWELL |
| | LANDSCAPE DRYWELL |
| | ROAD PAINT |
| | ADA PAINT & SYMBOL |
| | WATER SERVICE W/ METER VAULT |
| | SEWER SERVICE W/ CLEANOUT |
| | SEWER MANHOLE |
| | SIGN |

| SHEET# | DESCRIPTION |
|---------------|---|
| C0.10 | COVER SHEET |
| C0.30 | DEMOLITION PLAN |
| C1.00 | SITE GEOMETRY PLAN AND POWER LAYOUT |
| C2.00 | UTILITY NOTES & DETAILS SHEET |
| C2.01 | UTILITY NOTES & DETAILS SHEET |
| C2.02 | STORM SYSTEM DETAILS SHEET |
| C2.10 | SITE UTILITY AND STORM PLAN AND SEWER MAIN "A" PROFILE |
| C2.20 | SITE UTILITY AND STORM PLAN AND SEWER MAIN "B" PROFILE |
| C3.00 | SITE IMPROVEMENT DETAILS SHEET |
| C3.01 | SITE IMPROVEMENT DETAILS SHEET |
| C3.10 | NORTH ACCESS DRIVEWAYS PLAN AND PROFILES |
| C3.11 | NORTH ACCESS DRIVEWAYS DETAILED GRADING PLANS "A" & "B" |
| C3.20 | SOUTH ACCESS DRIVEWAY PLAN AND PROFILE |
| C3.21 | SOUTH ACCESS DRIVEWAY DETAILED GRADING PLANS "C" & "D" |
| C3.22 | UNITS 6-12 DETAILED GRADING PLAN "E" |

LAND SURVEYOR
ROB BREIER, PLS
GALENA-BENCHMARK ENGINEERING
100 BELL DRIVE
KETCHUM, IDAHO 83340



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P.O. BOX 2530, HAILEY, ID 83433
WWW.OPAL-ENGINEERING.COM

| PURPOSE: ISSUE FOR PERMIT REVIEW (08/05/2024) | | |
|---|----------|--|
| REVISION NO. | DATE | DESCRIPTION |
| 1 | 09/21/24 | S & NW ACCESS REDESIGN, R/W SIDEWALK, SWIRNTR LAYOUT |
| 2 | 09/05/24 | Revised DWT 1mm elev. Add Electrical layout. |
| 3 | 10/15/24 | Steeper Main "2" 4th Ave. Curbwell revisions |
| 4 | 03/06/25 | Add building for Units 4 & 5 |
| | | |
| | | |
| | | |



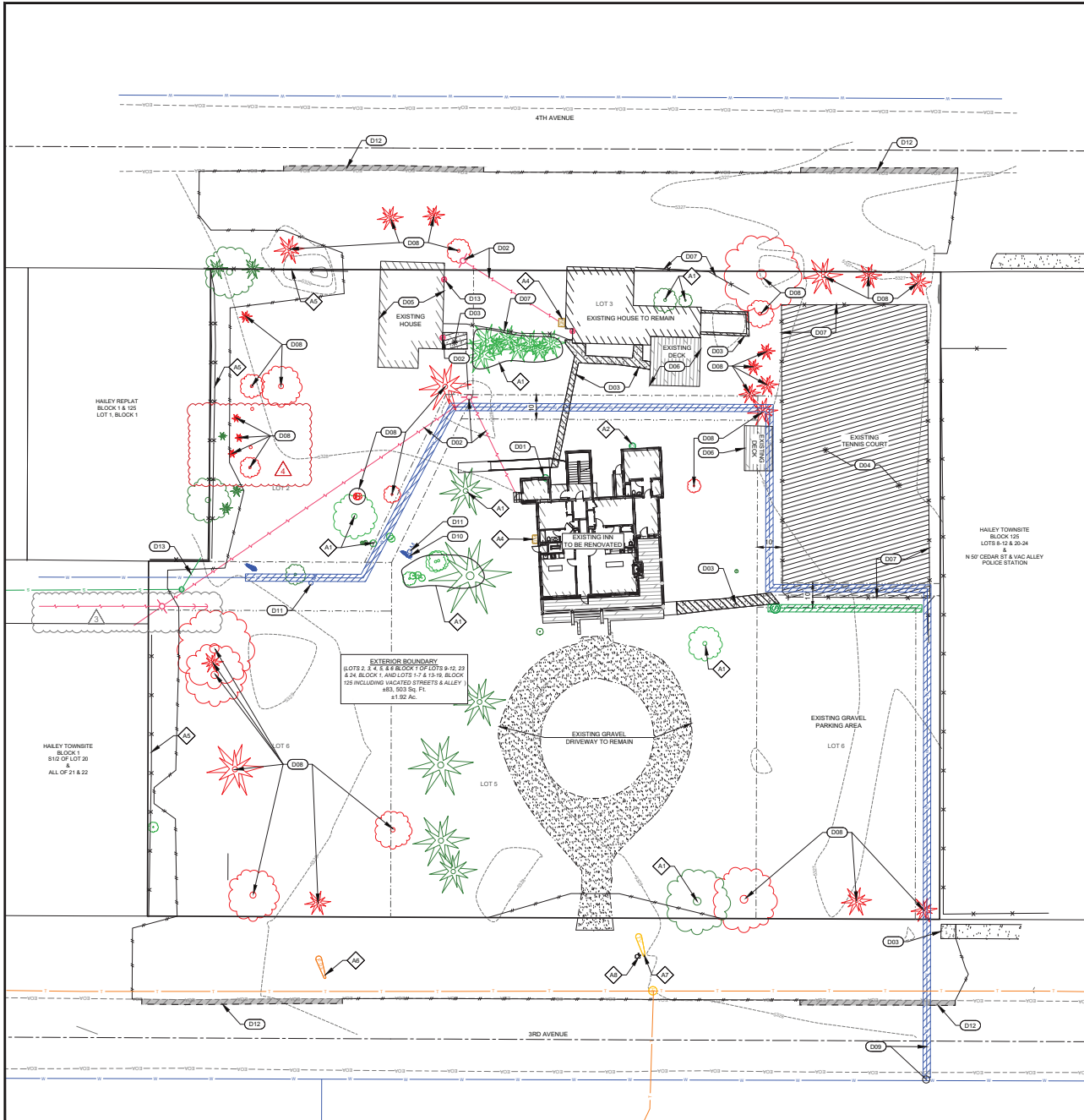
COVER SHEET

THE INN AT ELLSWORTH ESTATE
PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Qual Engineering, PLLC.

| | |
|-------|--|
| 23018 | |
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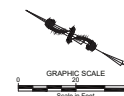
C0.10



- PROPOSED ITEMS
- D01 SAWCUT LINE
 - D02 ASPHALT TO BE REMOVED
 - D03 CONCRETE TO BE REMOVED
 - D04 WATER LINE TO BE ABANDONED AFTER PHASE 1 WATER MAIN INSTALLED
 - D05 SEWER LINE TO BE ABANDONED AFTER PHASE 1 SEWER MAIN INSTALLED

- D06 REMOVE EXISTING CLEANOUT.
- D07 REMOVE EXISTING POWER INFRASTRUCTURE. COORDINATE WITH GRAND POWER.
- D08 DEMOLISH, REMOVE, AND DISPOSE OF EXISTING CONCRETE SIDEWALK.
- D09 DEMOLISH, REMOVE, AND DISPOSE OF EXISTING TENNIS COURT.
- D10 DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF EXISTING BUILDING. SEE ARCHITECTURAL PLANS.
- D11 DEMOLISH, REMOVE, AND DISPOSE OF EXISTING FENCE.
- D12 REMOVE AND DISPOSE OF EXISTING TREE / VEGETATION.
- D13 CUT, CAP, AND ABANDON EXISTING WATER MAIN AT CONNECTION TO 3RD AVENUE WATER MAIN.
- D14 REMOVE EXISTING FROST FREE HYDRANT.
- D15 REMOVE AND DISPOSE OF EXISTING WATER METER.
- D16 SAWCUT ASPHALT. REMOVE AND DISPOSE OF ASPHALT.
- D17 THE CITY OF HALEY WILL CAMERA THIS SEWER SERVICE. IF IT IS SERVING ELLSWORTH, IT WILL NEED TO BE ABANDONED.

- RETAIN AND PROTECT:
- A01 TREE
 - A02 CLEANOUT
 - A03 GAS METER
 - A04 FENCE
 - A05 FIBER OPTICS LINE
 - A06 MAILBOX
 - A07 TV MARKER



GENERAL NOTES:
1. SEE SHEET 03.10 FOR CONSTRUCTION GENERAL NOTES AND LEGEND.



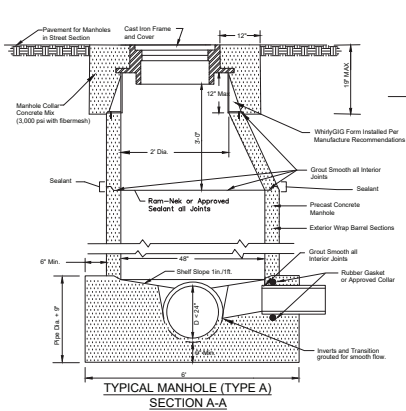
| REVISION NO. | DATE | DESCRIPTION |
|--------------|------------|---|
| 001 | 08/05/2024 | ISSUE FOR PERMIT REVIEW (08/05/2024) |
| 002 | 08/05/2024 | S.A. NW ACCESS REDESIGN, NW SIDEWALK, SWANWALK LAYOUT |
| 003 | 08/05/2024 | Revised D01 for new, ASD Electrical Proposal. |
| 004 | 08/05/2024 | Revised D02 for new, ASD Electrical Proposal. |
| 005 | 08/05/2024 | Revised D03 for new, ASD Electrical Proposal. |
| 006 | 08/05/2024 | Revised D04 for new, ASD Electrical Proposal. |
| 007 | 08/05/2024 | Revised D05 for new, ASD Electrical Proposal. |
| 008 | 08/05/2024 | Revised D06 for new, ASD Electrical Proposal. |
| 009 | 08/05/2024 | Revised D07 for new, ASD Electrical Proposal. |
| 010 | 08/05/2024 | Revised D08 for new, ASD Electrical Proposal. |
| 011 | 08/05/2024 | Revised D09 for new, ASD Electrical Proposal. |
| 012 | 08/05/2024 | Revised D10 for new, ASD Electrical Proposal. |
| 013 | 08/05/2024 | Revised D11 for new, ASD Electrical Proposal. |
| 014 | 08/05/2024 | Revised D12 for new, ASD Electrical Proposal. |
| 015 | 08/05/2024 | Revised D13 for new, ASD Electrical Proposal. |



DEMOLITION PLAN

THE INN AT ELLSWORTH ESTATE
PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

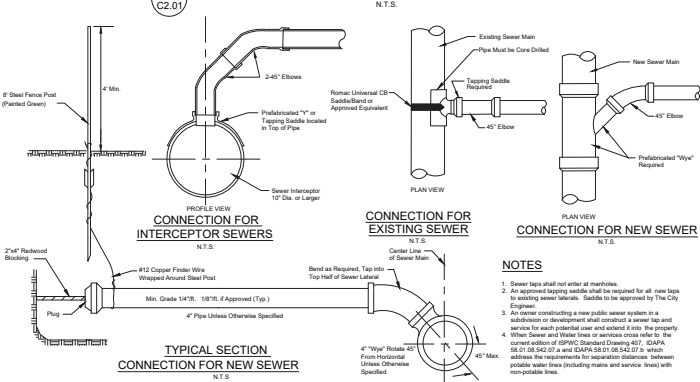
23018
PROJECT NUMBER
C0.30



NOTES

- Optional cast in place manhole base with approved pipe connections may be used if approved.
- Service lines shall not be connected to manholes.
- Manhole frame and cover:
 - See Drawing No. 18-14.010.C.3
 - Frame, cover, and concrete collar, shall be 6" to 14" below the grade of pavement.
- WhitbyGGA allowed up to 12" height.
- Where PVC is utilized, a rubber ring or gasket collar to be installed where the pipe is in contact with manhole base and/or manhole channel, in order to ensure a watertight seal.
- See drawing No. 18-14.010.C.2 for shallow manhole Type B.
- Frame and cover shall be adjusted to grade after paving. A steel plate shall cover the concrete collar extending to the frame and cover. A steel collar cut shall be made in the new pavement to install 18" grade rings, frame and concrete collar.
- Manhole shall be located so that the frame and cover are not less than 10 feet from the centerline for residential streets or per the Approved Construction Plans for other streets.
- Thorough Clean for freighting on all facilities that are not on Paved Streets.
- Exterior wrap material shall be 62-oz. Rubber or approved equal.
- Concrete collar and be provided for all manholes.
- No stops are allowed. T-joints are removed using holes with grout.
- Torque Bolt to manufacturers specifications (30 in/lb typical).

CITY OF HAILEY DETAIL SEWER MANHOLE - TYPE A (18.14.010.C.1)

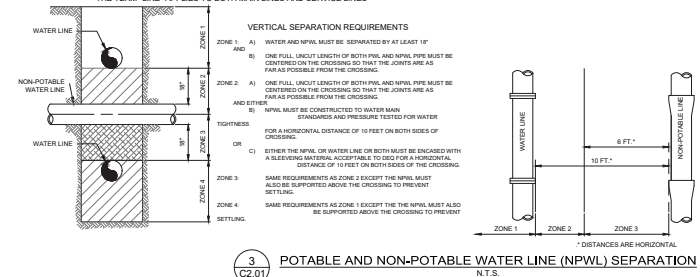


NOTES

- Sewer taps shall not enter at manholes.
- An approved tapping saddle shall be required for all new taps to existing sewer laterals. Saddle to be approved by The City Engineer.
- An owner constructing a new public sewer system in a subdivision or development shall construct a sewer tap and service for each potential user and extend it to the property.
- When Sewer and Water lines or services cross refer to the current edition of SPWC Standard Drawing 867, SDWA 58.01.08.542.07 as well as SDWA 58.01.08.542.07-a, which address the requirements for separation distances between potable water lines (including mains and service lines) with non-potable lines.

CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



HORIZONTAL SEPARATION REQUIREMENTS

- NO SPECIAL REQUIREMENTS.
- NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES.
 - WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.
 - WATER IN AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE CROSSING.
 - NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.
- NOT ALLOWED WITHOUT DEED WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 12" HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY UO.

POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION

FLUSHING AND DISINFECTION

- BEFORE CHLORINATION, FLUSH THE MAIN THOROUGHLY AFTER THE PRESSURE AND LEAKAGE TEST ARE COMPLETE.
- USE A MINIMUM FLUSHING VELOCITY IN THE MAIN OF 2.5 FEET/SECOND.
- IF NO HYDRANT IS INSTALLED AT THE END OF THE MAIN, PROVIDE A 1/4" OF THE SIZE SUFFICIENT TO PRODUCE A VELOCITY IN THE MAIN OF AT LEAST 2.5 FEET/SECOND.
- TABLE 1 SHOWS THE RATES OF FLOW REQUIRED TO PRODUCE A VELOCITY OF 2.5 FEET/SECOND IN VARIOUS SIZE PIPES.
- EXERCISE EXTREME CARE AND CONDUCT A THOROUGH INSPECTION DURING THE WATER MAIN LAYING TO PREVENT AND DETECT SMALL STONES, PIECES OF CONCRETE, PARTICLES OF MATERIAL, OR OTHER FOREIGN MATERIALS THAT MAY HAVE ENTERED THE MAINS.
- CLEAN LARGE MATERIAL BY FLUSHING AND INSPECTING ALL HYDRANTS ON THE LINES TO ENSURE THAT THE ENTIRE VALVE OPERATING MECHANISM OF EACH HYDRANT IS IN GOOD CONDITION.
- DISINFECTION OF WATER PIPES
 - GENERAL
 - COMPLY WITH ANSI/AWWA C 651: DISINFECTING WATER MAINS, THESE SPECIFICATIONS, AND ENGINEER'S DIRECTION.
 - KEEP THE INTERIOR OF ALL PIPE, FITTINGS AND APPURTENANCES FREE FROM DIRT, HEAVY AND FOREIGN PARTICLES.
 - DISINFECT ALL WATER PIPES AND APPURTENANCES PRIOR TO PLACING IN SERVICE.
 - FORM OF CHLORINE USED TO BE PRE-APPROVED BY THE ENGINEER.
 - LIQUID CHLORINE
 - FORM: LIQUID CONTAINING 100% AVAILABLE CHLORINE UNDER PRESSURE IN STEEL CONTAINERS.
 - STANDARD: ANSI/AWWA B 301.
 - EXECUTION: USED ONLY BY TRAINED PERSONNEL, WITH APPROPRIATE GAS-FLOW CHLORINATORS AND ELECTORS.
 - AUTHORIZATION: ONLY WITH WRITTEN AUTHORIZATION OF THE ENGINEER.
 - SODIUM HYPOCHLORITE
 - FORM: LIQUID CONTAINING APPROXIMATELY 5% TO 15% AVAILABLE CHLORINE.
 - STANDARD: ANSI/AWWA B 300.
 - EXECUTION: USED ONLY BY TRAINED PERSONNEL, WITH APPROPRIATE GAS-FLOW CHLORINATORS AND ELECTORS.
 - AUTHORIZATION: ONLY WITH WRITTEN AUTHORIZATION OF THE ENGINEER.
 - CALCIUM HYPOCHLORITE
 - FORM: GRANULAR OR IN 50 LBS TABLETS CONTAINING APPROXIMATELY 65% AVAILABLE CHLORINE BY WEIGHT.
 - STANDARD: ANSI/AWWA B 300.
 - EXECUTION: USED ONLY BY TRAINED PERSONNEL, WITH APPROPRIATE GAS-FLOW CHLORINATORS AND ELECTORS.
 - AUTHORIZATION: ONLY WITH WRITTEN AUTHORIZATION OF THE ENGINEER.
- METHODS OF CHLORINATION USED TO BE PRE-APPROVED BY THE ENGINEER.
 - TABLET OR GRANULE METHOD
 - SOLUTION STRENGTH: 25 MG/L MINIMUM.
 - USE: ONLY IF THE PRESS AND APPURTENANCES ARE KEPT CLEAN AND DRY DURING CONSTRUCTION. DO NOT USE SOLVENT WELDED PLASTIC OR SCREWED JOINT STEEL PIPE.
 - PLACEMENT WHEN USING GRANULES: DURING CONSTRUCTION, PLACE CALCIUM HYPOCHLORITE GRANULES AT THE UPSTREAM END OF EACH BRANCH MAIN, AND AT 500-FOOT INTERVALS.
 - GRANULAR QUANTITY: REFER TO TABLE 3.
 - PLACEMENT WHEN USING TABLETS: DURING CONSTRUCTION, PLACE 50 CALCIUM HYPOCHLORITE TABLETS IN EACH SECTION OF PIPE AND ALSO PLACE ONE TABLET IN EACH HYDRANT BRANCH AND OTHER APPURTENANCES. ATTACH THE INSIDE OF THE PIPE USING AN ADHESIVE SUCH AS PERMATEX NO. 2 OR APPROVED SUBSTITUTION. ASSURE NO ADHESIVE IS ON THE TABLET EXCEPT ON THE BROAD SIDE ATTACHED TO THE SURFACE OF THE PIPE. ATTACH ALL THE TABLETS AT THE INSIDE OF THE MAIN, WITH APPROXIMATELY EQUAL NUMBER OF TABLETS IN EACH END OF A GIVEN PIPE LENGTH. IF THE TABLES ARE ATTACHED BEFORE THE PIPE SECTION IS PLACED IN THE TRENCH, MARK THEIR POSITION ON THE SECTION SO IT CAN BE READILY DETERMINED THAT THE PIPE IS INSTALLED WITH THE TABLES AT THE TOP.
 - TABLET QUANTITY: REFER TO TABLE 3.
 - ADJUST FOR PIPE LENGTH OTHER THAN 18 FEET.
 - (BASED ON 3.25% AVAILABLE CHLORINE PER TABLET)
 - FLUSHING PROCEDURE: WHEN GRANULE OR TABLET INSTALLATION HAS BEEN COMPLETED, FILL THE MAIN WITH CLEAN WATER AT A VELOCITY NOT EXCEEDING 1 FPS. TAKE PRECAUTIONS TO ASSURE THAT AIR POCKETS ARE ELIMINATED. LEAVE THIS WATER IN THE PIPE FOR AT LEAST 24 HOURS. IF THE WATER TEMPERATURE IS LESS THAN 51°F, LEAVE THE WATER IN THE PIPE FOR AT LEAST 48 HOURS. POSITION VALVE SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED WILL NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE.
 - CONTINUOUS FEED METHOD
 - SOLUTION STRENGTH: DOSE AT 25 MG/L FOR 4 HOURS.
 - RESIDUAL: 10 MG/L AT 24 HOURS.
 - DOING METHODS
 - LIQUID CHLORINE: SOLUTION FEED VACUUM-OPERATED CHLORINATOR IN COMBINATION WITH A BOOSTER PUMP.
 - CALCIUM HYPOCHLORITE GRANULES: REFER TO PREVIOUS SECTION.
 - HYPOCHLORITE SOLUTION: CHEMICAL FEED PUMP DESIGNED FOR FEEDING CHLORINE SOLUTIONS.
 - FLUSHING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE THE CHLORINE CONCENTRATION AT REGULAR INTERVALS AND ENSURE A 25 MG/L DOSE. POSITION VALVES SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED DOES NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE. DO NOT STOP CHLORINE APPLICATION UNTIL THE ENTIRE MAIN IS FILLED WITH CHLORINATED WATER. RETAIN THE CHLORINATED WATER IN THE MAIN FOR AT LEAST 4 HOURS, OPERATING ALL VALVES AND HYDRANTS IN THE SECTION TREATED. AT THE END OF THE 24 HOUR PERIOD, VERIFY THE TREATED WATER IN ALL PORTIONS OF THE MAIN HAS RESIDUAL OF 10 MG/L FREE CHLORINE.
 - SLUG METHOD
 - SOLUTION STRENGTH: 100 MG/L.
 - DOING METHODS: PER ENGINEER'S DIRECTION.
 - FLUSHING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE CONCENTRATION AT REGULAR INTERVALS TO ENSURE 100 MG/L DOSE APPLY THE CHLORINE CONTINUOUSLY AND FOR THE TIME REQUIRED TO DEVELOP A SOLID COLUMN OR 'SLUG' OF CHLORINATED WATER THAT WILL, AS IT MOVES THROUGH THE MAIN, EXPOSE ALL INTERIOR SURFACES TO A 100 MG/L FOR AT LEAST 3 HOURS. MEASURE THE CHLORINE RESIDUAL IN THE SLUG AS IT MOVES THROUGH THE MAIN. IF AT ANY TIME IT DROPS BELOW 50 MG/L, STOP FLOW AND RELOCATE CHLORINATION EQUIPMENT AT THE HEAD OF THE SLUG, AND AS FLOW IS RESUMED, ADD CHLORINE TO RESTORE THE FREE CHLORINE IN THE SLUG TO NOT LESS THAN 100 MG/L. AS THE CHLORINATED WATER FLOWS PAST FITTINGS AND VALVES, OPERATE VALVES AND HYDRANTS TO DISINFECT APPURTENANCES AND PIPE BRANCHES.
- FINAL FLUSHING
 - AFTER THE RETENTION PERIOD, FLUSH THE CHLORINATED WATER FROM THE MAIN UNTIL CHLORINE MEASUREMENTS SHOW THAT THE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT IN THE SYSTEM, OR IS ACCEPTABLE FOR DOMESTIC USE.
 - DISPOSAL OF FLUSHING WATER TO BE DONE IN A MANNER SO THAT IT DOES NOT:
 - REACH SURFACE WATERS OR WATERS OF THE STATE
 - DAMAGE SURROUNDING PROPERTIES
 - TAKES PLACE DURING PERIODS WHEN THE AMBIENT TEMPERATURE IS ABOVE 85° WITHOUT PRIOR APPROVAL OF THE ENGINEER
 - IF WATER CAN NOT BE RETAINED ON SITE AND IF IT IS NOT ALLOWED TO ENTER THE SANITARY SEWER COLLECTION SYSTEM, WATER SHALL BE DECHLORINATED TO HAVE A MAXIMUM AVAILABLE CHLORINE CONCENTRATION OF 0.13 MG/L AND THE APPROPRIATE PRIVATE, FEDERAL AND STATE DISCHARGE AND DISPOSAL APPROVALS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF FLUSHING ACTIVITIES. SHOULD THERE BE A POTENTIAL FOR THE GROUNDWATER RULE TO BE VIOLATED AS A RESULT OF A CHLORINATED DISCHARGE THE ENGINEER SHALL COORDINATE DISPOSAL WITH REGIONAL DEED STAFF PRIOR TO FLUSHING.
- BACTERIOLOGICAL TESTS
 - AFTER FINAL FLUSHING AND BEFORE THE WATER MAIN IS PLACED IN SERVICE, TEST SAMPLES COLLECTED FROM THE MAIN(S) FOR COLIFORM BACTERIA. TAKE 2 SAMPLES FROM EACH LOCATION AT LEAST 24 HOURS APART.
 - UNLESS OTHERWISE DIRECTED BY THE ENGINEER, COLLECT SAMPLES FROM EACH 1,200 FEET ON THE NEW MAIN AND ONE FROM EACH BRANCH.
- REDISINFECTION
 - IF THE INITIAL DISINFECTION FAILS TO PRODUCE APPROVED BACTERIOLOGICAL SAMPLES, REFILL AND RESAMPLE THE MAIN.
 - IF CHECK SAMPLES SHOW BACTERIAL CONTAMINATION, RE-CHLORINATE THE MAIN UNTIL APPROVED RESULTS ARE OBTAINED.
- WARNING
 - IF CONNECTIONS ARE NOT DISINFECTED ALONG WITH THE NEWLY INSTALLED MAIN, SWAB OR SPRAY THE INTERIOR OF ALL PIPES AND FITTINGS USED IN MAKING THE CONNECTIONS WITH A 1% HYPOCHLORITE SOLUTION BEFORE INSTALLATION.

| Pipe Diam. (inches) | Flow Required to Produce 2.5 fps (gpm) | Size of Tap (inches) (1 1/2-12) | Hydrant Opening (inches) |
|---------------------------|--|---------------------------------------|--------------------------------|
| 4 | 100 | 1 | 1 |
| 6 | 220 | 1 1/2 | 1 1/2 |
| 8 | 400 | 2 | 2 |
| 10 | 600 | 2 1/2 | 2 1/2 |
| 12 | 900 | 3 | 3 |
| 14 | 1200 | 3 1/2 | 3 1/2 |
| 16 | 1600 | 4 | 4 |
| 18 | 2000 | 4 1/2 | 4 1/2 |
| 20 | 2400 | 5 | 5 |
| 24 | 3600 | 6 | 6 |

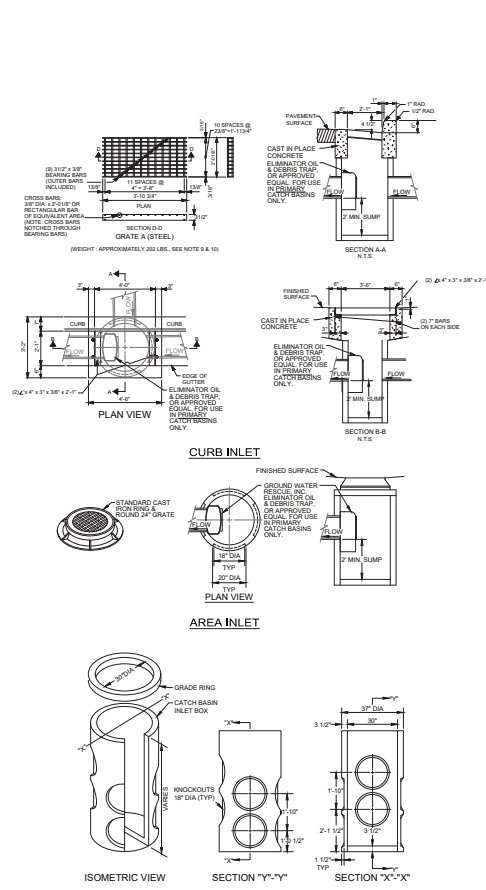
| Pipe Diameter (inches) | Amount (lb) |
|------------------------------|----------------|
| 4 | 1.2 |
| 6 | 2.5 |
| 8 | 4.5 |
| 10 | 7.5 |
| 12 | 11.5 |
| 14 | 16.5 |
| 16 | 22.5 |
| 18 | 28.5 |
| 20 | 34.5 |
| 24 | 50.5 |

| Pipe Diameter (inches) | Number of Tablets (2) |
|------------------------------|--------------------------|
| 4 | 1 |
| 6 | 1 |
| 8 | 1 |
| 10 | 1 |
| 12 | 1 |
| 14 | 1 |
| 16 | 1 |
| 18 | 1 |
| 20 | 1 |
| 24 | 1 |

| REVISION NO. | DATE | DESCRIPTION |
|--------------|----------|---|
| 1 | 08/21/24 | S.A. NW ACCESS REDUCION, NW SIDEWALK, SWIRNTWY LAYOUT |
| 2 | 08/21/24 | Revised DWT for new, ASD Electrical Proposal |
| 3 | 08/21/24 | ASD Building 124, DWT, S.S. |

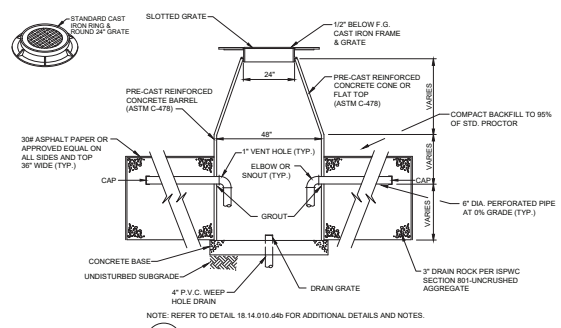


STORM SYSTEM DETAILS SHEET
THE INN AT ELLSWORTH ESTATE
PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.



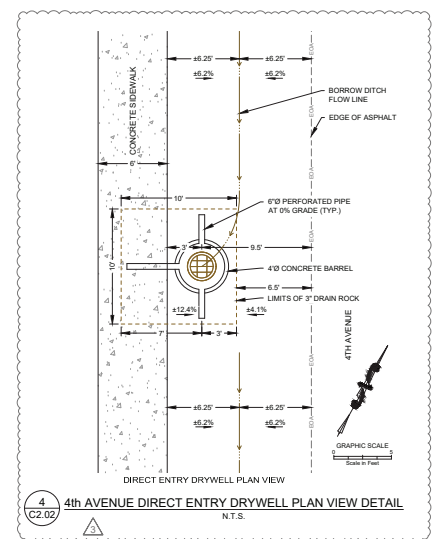
- CATCH BASIN INSTALLATION NOTES:**
1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY. NOT ON SATELLITE CATCH BASINS.
 3. A 1" SIDE GRIFT IS ALLOWED FOR FORM REMOVAL.
 4. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPCW SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 5. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 6. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.
 7. STEEL ANGLES SHALL BE SET SO THAT EACH BEARING BAR OF PREFABRICATED GRATE SHALL HAVE FULL BEARING ON BOTH ENDS. THE FINISHED TOP OF CONCRETE SHALL BE EVEN WITH THE ANGLE/GRATE SURFACE. THE STRUCTURAL STEEL NEED NOT BE PAINTED BUT SHALL MEET THE REQUIREMENTS OF ASTM A36.
 8. ALL METAL REINFORCEMENT USED SHALL BE NO. 4 BARS. THE METAL REINFORCEMENT SHALL BE SMOOTH OUT TO ACCOMMODATE PIPES.
 9. INLET/CATCH BASIN GRATES MAY EITHER BE RESISTANCE WELDED OR ARC WELDED. IN EITHER CASE, THE GRATE SHALL BE TRUE AND FLUSH.

1 PUBLIC CATCH BASIN DETAIL (18.14.010.D.1)
N.T.S.

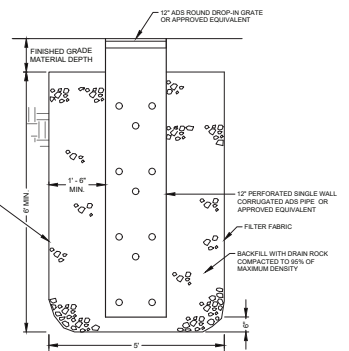


2b DIRECT ENTRY DRYWELL DETAIL
N.T.S.

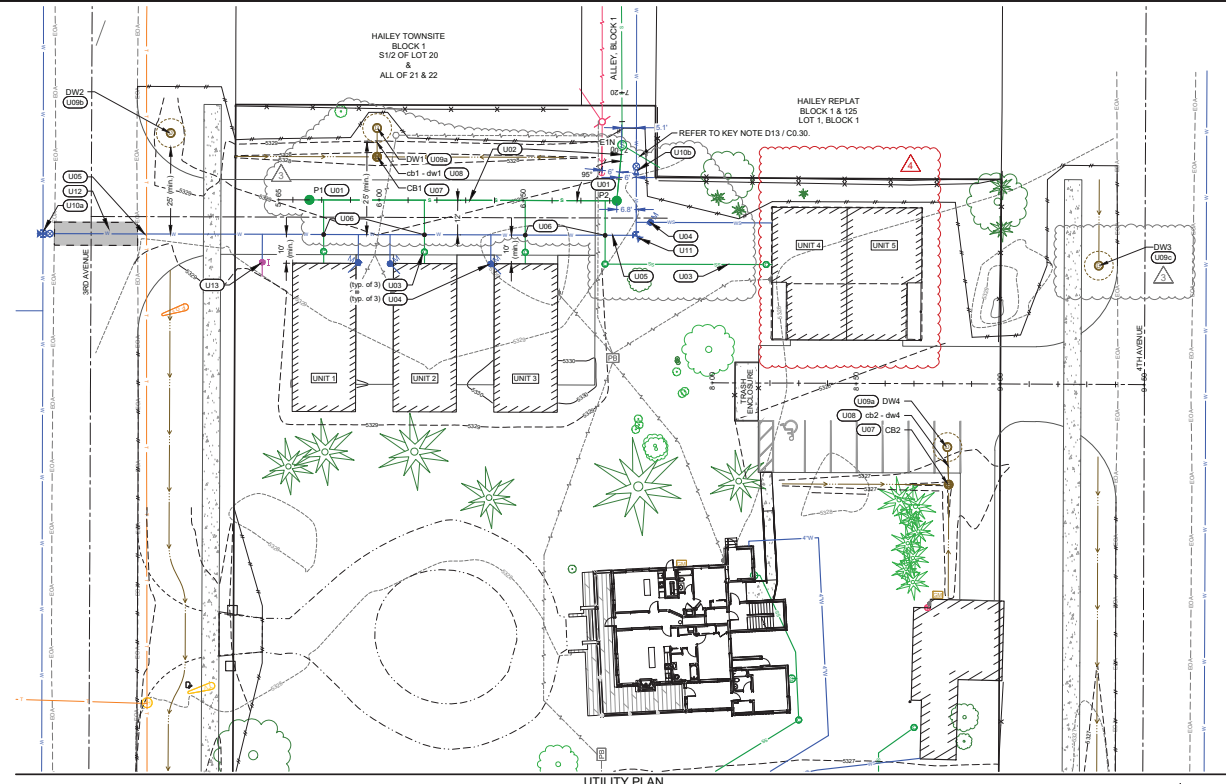
2a CITY OF HAILEY DRYWELL DETAIL (18.14.010.D.4)
N.T.S.



4 4th AVENUE DIRECT ENTRY DRYWELL PLAN VIEW DETAIL
N.T.S.



3 LANDSCAPE DRYWELL
N.T.S.



- UTILITY KEY NOTES**
- U001 INSTALL SEWER MANHOLE. REFER TO DETAIL 1 / C2.01.
 - U002 INSTALL 8" PVC SEWER MAIN. REFER TO DETAIL 1 / C2.00 FOR TRENCHING AND SURFACE REPAIR.
 - U003 INSTALL 4" PVC SEWER SERVICE AT 2.0% MINIMUM SLOPE WITH CLEANOUT(S) PER THE UNIFORM PLUMBING CODE. CLEANOUTS SHALL BE TRAFFIC RATED FOR SPIC. STANDARD DRAWING 606A. REFER TO DETAIL 1 / C2.00 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 2 / C2.01 FOR SERVICE CONNECTION.
 - U004 INSTALL 3/4" WATER SERVICE WITH TRAFFIC RATED LID. REFER TO DETAIL 1 / C2.00 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 4 / C2.00 FOR SERVICE CONNECTION, METER BOX, AND INSULATION REQUIREMENTS.
 - U005 INSTALL 8" PVC C-900 WATER MAIN. REFER TO DETAILS 1 OR 2 / C2.00 FOR TRENCHING AND SURFACE REPAIR.
 - U006 POTABLE / NON-POTABLE WATER LINE CROSSING. REFER TO DETAIL 3 / C2.01.
 - U007 INSTALL CATCH BASIN. REFER TO DETAIL 1 / C2.02. REFER TO CATCH BASIN STRUCTURE TABLE, THIS SHEET.
 - U008 INSTALL 12" ADS N-12 STORM DRAIN PIPE. SEE DETAIL 3 / C2.01 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 4 / C2.00 FOR TRENCHING. REFER TO STORM DRAIN PIPE TABLE, THIS SHEET.
 - U009 INSTALL DRYWELL. REFER TO DRYWELL STRUCTURE TABLE, THIS SHEET.
 - a. DIRECT ENTRY DRYWELL. REFER TO DETAIL 2a / C2.02.
 - b. DIRECT ENTRY DRYWELL. REFER TO DETAIL 2b / C2.02.
 - c. DIRECT ENTRY DRYWELL. REFER TO DETAIL 2c / C2.02 AND 4 / C2.02.
 - △ U010 POINT OF WATER CONNECTION. COORDINATE TAP AND INSTALLATION OF TAPPING VALVE WITH CITY. REFER TO DETAIL 3 / C2.00 FOR THRUST PROTECTION.
 - a. 12"x8" STAINLESS STEEL TAPPING SADDLE
 - b. 8"x6" D.I. REDUCER
 - c. 6"x6" D.I. REDUCER
 - ⚡ U011 INSTALL D.I. WP BEND. REFER TO DETAIL 3 / C2.00 FOR THRUST PROTECTION.
 - U012 CONSTRUCTION ROADWAY REPAIR. REFER TO DETAIL 1 / C2.00.
 - U013 INSTALL 2" IRRIGATION/FLUSHING TAP. REFER TO DETAIL 1 / C2.00 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 5 / C2.00 FOR FLUSHING DETAIL AFTER FLUSHING WATER MAIN. INSTALL 2" x 3/4" REDUCER FITTING AND INSTALL WATER METER BOX PER DETAIL 4 / C2.00.

DRYWELL STRUCTURE TABLE
(REFER TO DETAIL 5, SHEET C1.00)

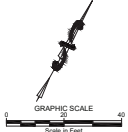
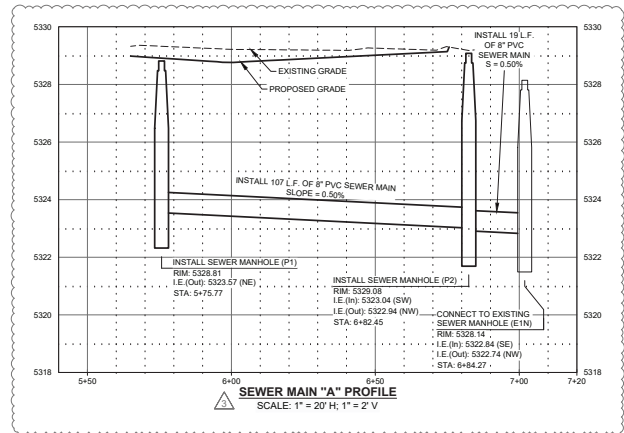
| STRUCTURE NAME | RIM ELEV. | I.E. (IN) | COORDINATES |
|----------------|-----------|---------------|------------------------------------|
| DW1 | 5329.40 | 5324.30' (SE) | N: 674.181.002 E: 1,559.386.234 |
| DW2 | 5328.57 | | N: 674.154.750 E: 1,559.384.430 |
| DW3 | 5327.23 | | N: 674.270.683 E: 1,559.628.549 |
| DW4 | 5327.09 | 5322.40' (SE) | N: 674.190.087 E: 1,559.613.108 |

CATCH BASIN STRUCTURE TABLE
(REFER TO DETAIL 4, SHEET C1.00)

| STRUCTURE NAME | TYPE & GRATE | RIM ELEV. | I.E. (OUT) | SUMP ELEV. (DEPTH) | COORDINATES |
|----------------|---------------|-----------|---------------|--------------------|------------------------------------|
| CB1 | PRIMARY ROUND | 5327.52 | 5324.50' (NW) | 5322.50' (2.00') | N: 674.182.241 E: 1,559.381.556 |
| CB2 | PRIMARY ROUND | 5325.76 | 5322.70' (NW) | 5320.70' (2.00') | N: 674.178.931 E: 1,559.619.801 |

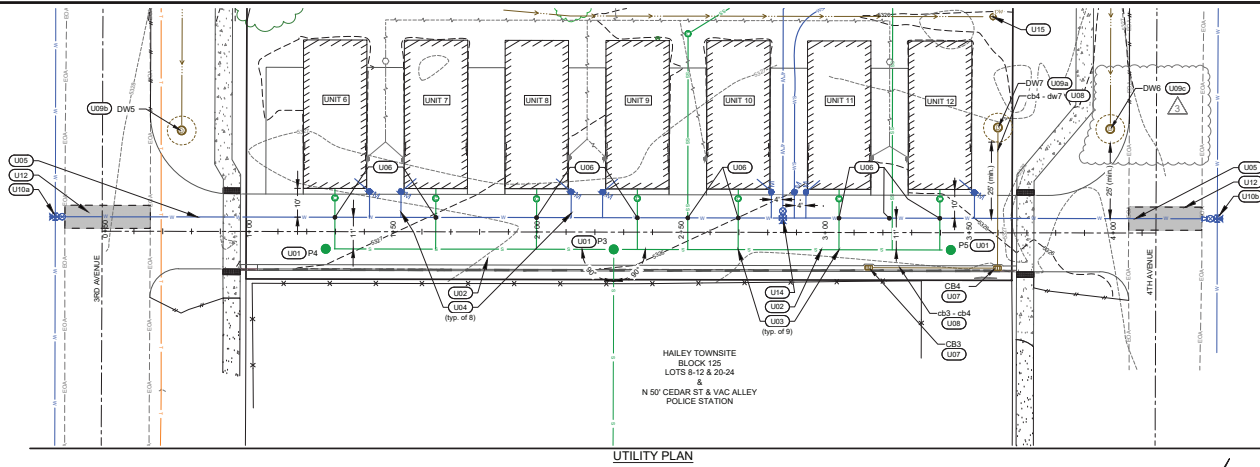
STORM DRAIN PIPE TABLE
(12" ADS N-12 OR APPROVED EQUAL)
SEE DETAIL 6, SHEET C1.00 FOR TRENCHING DETAIL

| PIPE NAME [STRUCTURE TO STRUCTURE] | LENGTH | SLOPE |
|------------------------------------|--------|-------|
| cb1 - dw1 | 10' | 2.00% |
| cb2 - dw4 | 14' | 2.31% |



GENERAL NOTES:

- SEE SHEET C0.10 FOR CONSTRUCTION GENERAL NOTES AND LEGEND.
- SEE SURVEY BY GALENA-BENCHMARK ENGINEERING FOR SURVEY NOTES.

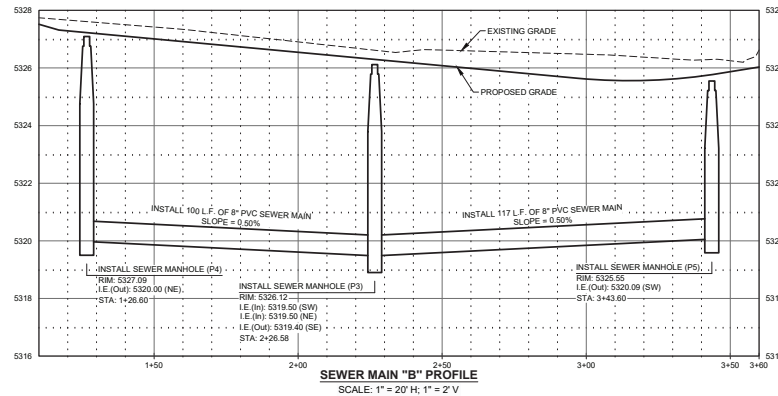


UTILITY PLAN

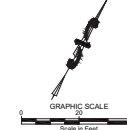
| STRUCTURE NAME | RIM ELEV. | I.E. (IN) | COORDINATES |
|----------------|-----------|--------------|------------------------------------|
| DWS | 5326.89 | | N: 673,923.241 E: 1,559,451.473 |
| DWS1 | 5326.29 | | N: 674,079.985 E: 1,559,733.202 |
| DWS2 | 5326.17 | 5320.10 (SE) | N: 674,061.307 E: 1,559,698.848 |

| STRUCTURE NAME | TYPE & GRATE | RIM ELEV. | I.E. (IN) | I.E. (OUT) | SUMP ELEV. (DEPTH) | COORDINATES |
|----------------|-----------------------|-----------|--------------|--------------|--------------------|------------------------------------|
| CB3 | SATELLITE RECTANGULAR | 5325.07 | | 5322.07 (NE) | 5320.07 (2.00') | N: 673,987.247 E: 1,559,683.191 |
| CB4 | PRIMARY RECTANGULAR | 5325.57 | 5321.18 (SW) | 5321.08 (NW) | 5319.08 (2.00') | N: 674,018.765 E: 1,559,722.374 |

| PIPE NAME [STRUCTURE TO STRUCTURE] | LENGTH | SLOPE |
|---------------------------------------|--------|-------|
| CB3 - CB4 | 40' | 2.00% |
| CB4 - DW7 | 40' | 2.00% |



SEWER MAIN "B" PROFILE
SCALE: 1" = 20' H; 1" = 2' V



UTILITY KEY NOTES

- U01 INSTALL SEWER MANHOLE. REFER TO DETAIL 1 / C2.01.
- U02 INSTALL 8" PVC SEWER MAIN. REFER TO DETAIL 1 / C2.00 FOR TRENCHING AND SURFACE REPAIR.
- U03 INSTALL 4" PVC SEWER SERVICE AT 2.0% MINIMUM SLOPE WITH CLEANOUT(S) PER THE UNIFORM PLUMBING CODE. CLEANOUT(S) SHALL BE TRAFFIC RATED FOR SPIC. STANDARD DRAWING 506A. REFER TO DETAIL 1 / C2.00 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 2 / C2.01 FOR SERVICE CONNECTION.
- U04 INSTALL 3/4" WATER SERVICE WITH TRAFFIC RATED LID. REFER TO DETAIL 1 / C2.00 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 4 / C2.00 FOR SERVICE CONNECTION, METER BOX, AND INSULATION REQUIREMENTS.
- U05 INSTALL 8" PVC C-900 WATER MAIN. REFER TO DETAILS 1 OR 2 / C2.00 FOR TRENCHING AND SURFACE REPAIR.
- U06 POTABLE / NON-POTABLE WATER LINE CROSSING. REFER TO DETAIL 3 / C2.01.
- U07 INSTALL CATCH BASIN. REFER TO DETAIL 1 / C2.02. REFER TO CATCH BASIN STRUCTURE TABLE, THIS SHEET.
- U08 INSTALL 12" ADS N-12 STORM DRAIN PIPE. SEE DETAIL 3 / C2.01 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 4 / C2.00 FOR TRENCHING. REFER TO STORM DRAIN PIPE TABLE, THIS SHEET.
- U09 INSTALL DRYWELL. REFER TO DRYWELL STRUCTURE TABLE, THIS SHEET.
 - a. TYPICAL DRYWELL. REFER TO DETAIL 2a / C2.02.
 - b. DIRECT ENTRY DRYWELL. REFER TO DETAIL 2b / C2.02.
 - c. DIRECT ENTRY DRYWELL. REFER TO DETAILS 2c / C2.02 AND 4 / C2.02.
- U10 POINT OF WATER CONNECTION. COORDINATE TAP AND INSTALLATION OF TAPPING VALVE WITH CITY. REFER TO DETAIL 3 / C2.00 FOR THRUST PROTECTION.
 - a. 12"x8" STAINLESS STEEL TAPPING SADDLE 8" GATE VALVE W/ THRUST BLOCKS
 - b. 6"x6" STAINLESS STEEL TAPPING SADDLE 6" GATE VALVE 6"x6" D.I. REDUCER W/ THRUST BLOCKS
- U12 CONSTRUCTION ROADWAY REPAIR. REFER TO DETAIL 1 / C2.00.
- U14 INSTALL 4"x4"x4" TEE. 4" GATE VALVE. W/ THRUST BLOCKS. REFER TO DETAIL 3 / C2.00 FOR THRUST PROTECTION.
- U15 INSTALL LANDSCAPE DRYWELL. REFER TO DETAIL 3 / C2.02.
 - a. RIM = 5325.50

GENERAL NOTES:

- SEE SHEET C0.10 FOR CONSTRUCTION GENERAL NOTES AND LEGEND.
- SEE SURVEY BY GALENA BENCHMARK ENGINEERING FOR SURVEY NOTES.

OPAL ENGINEERING, PLLC
PO BOX 2550 HAILEY ID 83333
WWW.OPAL-ENGINEERING.COM

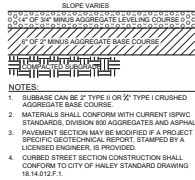
PURPOSE: ISSUE FOR PERMIT REVIEW (08/05/2024)

| REVISION NO. | DATE | DESCRIPTION |
|--------------|------------|--|
| 001/2024 | 08/05/2024 | S.A. HWY ACCESS REDESIGN, HWY SIDEWALK, SWANVILLE LAYOUT |
| 002/2024 | 08/05/2024 | Revised DWT to allow for 40' ADS Electrical Approval. |
| 003/2024 | 08/05/2024 | Revised DWT to allow for 40' ADS Electrical Approval. |
| 004/2024 | 08/05/2024 | Revised DWT to allow for 40' ADS Electrical Approval. |

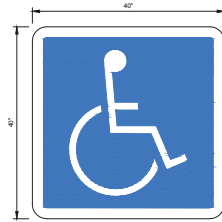
THE INN AT ELLSWORTH ESTATE
PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

23018
PROJECT NUMBER

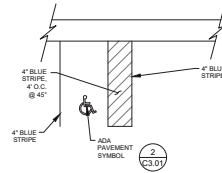
C2.20



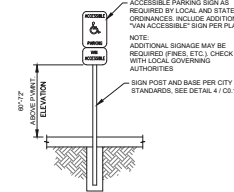
1
C3.01 TYPICAL GRAVEL SECTION
N.T.S.



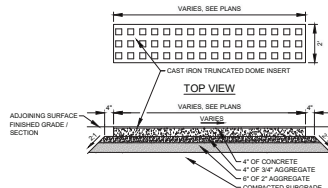
2
C3.01 ADA SYMBOL
N.T.S.



3
C3.01 ADA PARKING DETAIL
N.T.S.



4
C3.01 ACCESSIBLE PARKING SIGN
N.T.S.



5
C3.01 TRUNCATED DOME INSERT DETAIL
N.T.S.



| REVISION NO. | DATE | DESCRIPTION |
|--------------|----------|--|
| 1 | 08/21/24 | S.A. NEW ACCESS REVISION, NEW SIDEWALK, SWANVILLE LAYOUT |
| 2 | 08/21/24 | Revised CIVIL and MECHANICAL, ASSESSMENT REPORT |
| 3 | 08/21/24 | Revised CIVIL and MECHANICAL, ASSESSMENT REPORT |
| 4 | 08/21/24 | Revised CIVIL and MECHANICAL, ASSESSMENT REPORT |

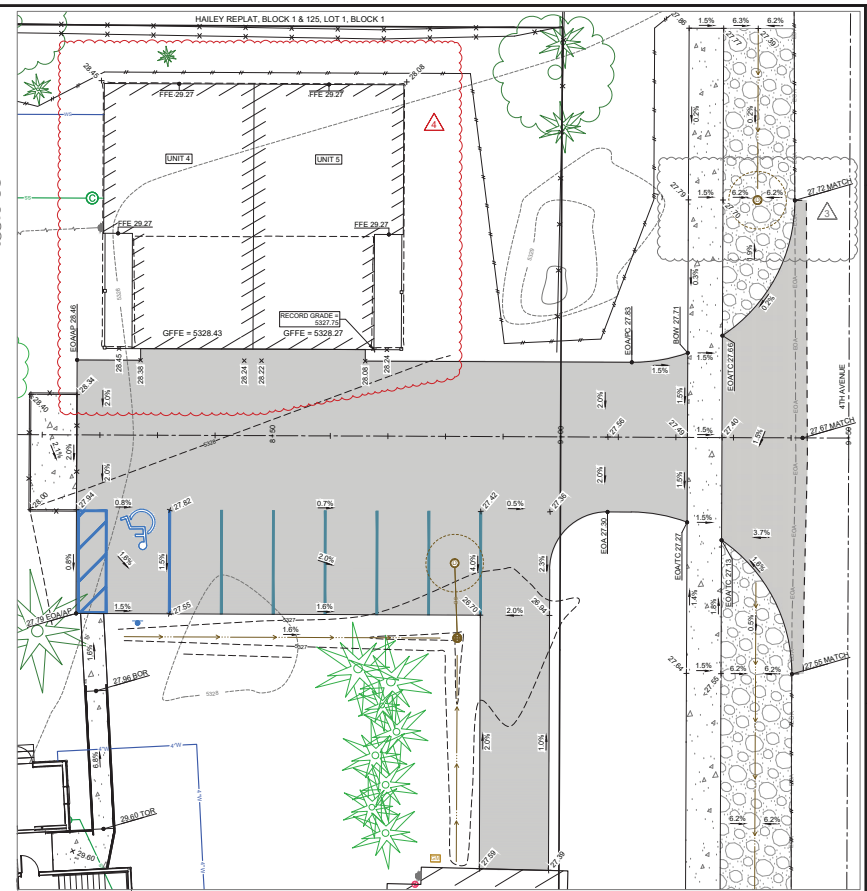


SITE IMPROVEMENT DETAILS SHEET

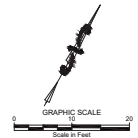
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PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

23018
PROJECT NUMBER

C3.01



DETAIL "B" (NORTHEAST ACCESS DRIVEWAY DETAILED GRADING)



2.0%
28.55 X
EQAPC 28.26

PROPOSED GRADE
PROPOSED SPOT ELEVATION
PROPOSED SPOT ELEVATION

ABBREVIATIONS
BOR = BOTTOM OF RAMP
EOA = EDGE OF ASPHALT
FFE = FINISHED FLOOR ELEVATION
GFFE = GARAGE FINISHED FLOOR ELEVATION
LIP = LIP OF GUTTER
LP = LOW POINT
PC = POINT OF CURVATURE
PT = POINT OF TANGENCY
TC = TOP OF CONCRETE
TOR = TOP OF RAMP

GENERAL NOTES:

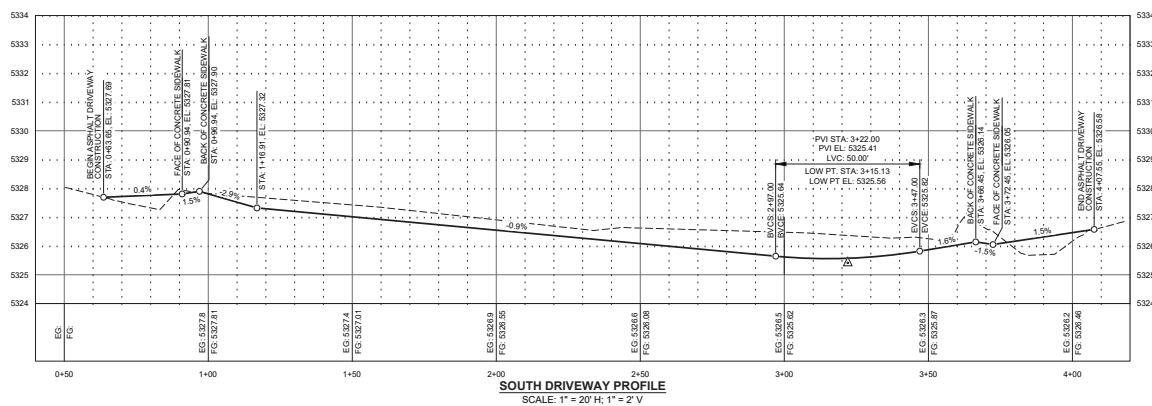
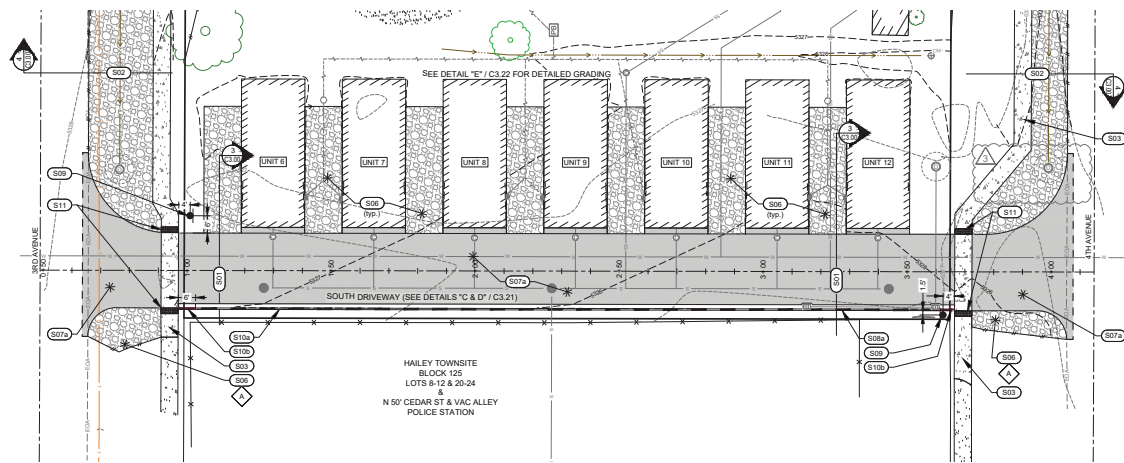
1. SEE SHEET C0.10 FOR CONSTRUCTION GENERAL NOTES AND LEGEND.
2. SEE SURVEY BY GALENA-BENCHMARK ENGINEERING FOR SURVEY NOTES.

23018
PROJECT NUMBER













C3.11



OPAL ENGINEERING, PLLC
PO BOX 2530; HAILEY, ID 83433
WWW.OPAL-ENGINEERING.COM



SITE IMPROVEMENT KEY NOTES

- | | | |
|---|-------------|---|
|  | 5001 | CONSTRUCT ASPHALT PARKING / ROADWAY. |
|  | 5002 | CONSTRUCT GRAVEL PARKING AND CONCRETE SIDEWALK SECTION. REFER TO DETAIL 4 / C3.03. |
|  | 5003 | CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN. REFER TO DETAIL 5 / C3.01 FOR TYPICAL CURB SECTION. 5 / C3.01 FOR 3' PARK AND MANHOLE. SEE DETAIL 5 / C3.01 FOR PLANS FOR AREA RAMP LAYOUT AND ADDITIONAL DETAILS. |
|  | 5004 | INSTALL ROAD STRIPING / PAINT a. 4" WIDE WHITE PARKING STRIPING. |
|  | 5005 | a. 4" WIDE ASPHALT PARKING STRIPING AND SYMBOLIC. REFER TO DETAIL 5 / C3.01, 5 / C3.02. |
|  | 5006 | INSTALL ADA PARKING SIGN. REFER TO DETAIL 4 / C3.03 FOR ADA PARKING SIGN AND DETAIL 6 / C3.00 FOR SIGN BASE. |
|  | 5007 | CONSTRUCT GRAVEL PARKING / DRIVEWAY AREA. REFER TO DETAIL 4 / C3.03. |
|  | 5008 | CONSTRUCT ASPHALT PARKING / ROADWAY. a. 3" THICK ASPHALT SECTION b. 2" THICK ASPHALT SECTION REFER TO DETAIL 5 / C3.01, 5 / C3.02. |
|  | 5009 | INSTALL STOP SIGN. REFER TO DETAIL 10 / C3.00 OR SIDE SIGN. |
|  | 5010 | CONSTRUCT CONCRETE CURBS AND GUTTER a. 6" VERTICAL. C&G PER DETAIL 8 / C3.03. b. 6" LENGTH. |
|  | 5011 | a. CURB TRANSITION PER DETAIL 9 / C3.00. INSTALL CITY APPROVED CURB AND TRANSITION. TRUCKS DOME DETECTABLE WARNING INSERT. SEE DETAIL 9 / C3.01. |
|  | 5012 | REGULATE AREA TO PROVIDE FOR A SMOOTH TRANSITION. REFER IRRIGATION AND LANDSCAPING AS NECESSARY. |

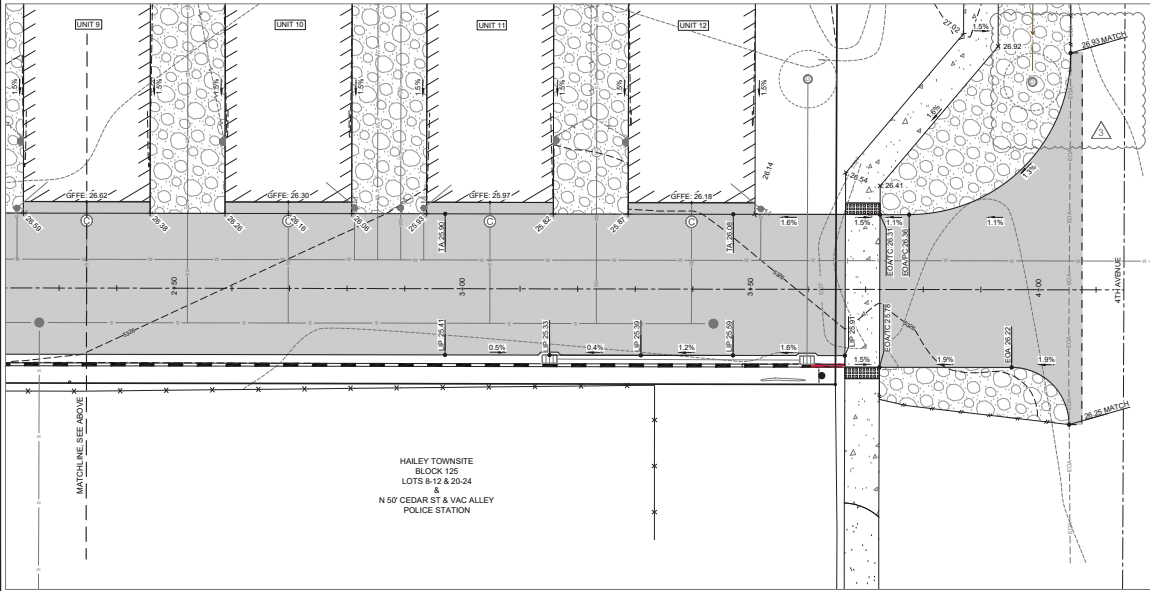
| | |
|-------------|-------------------------|
| 2.0% | PROPOSED GRADE |
| 28.55 X | PROPOSED SPOT ELEVATION |
| EOAPC 28.28 | PROPOSED SPOT ELEVATION |

ABBREVIATIONS

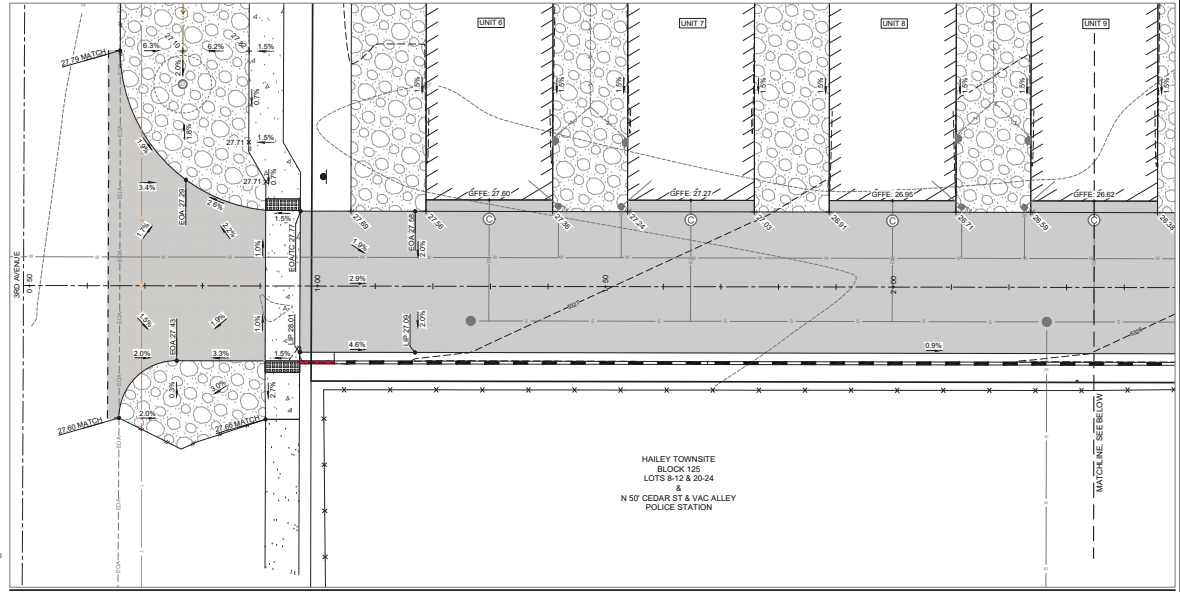
EOA = EDGE OF ASPHALT
 FFE = FINISHED FLOOR ELEVATION
 GFEE = GARAGE FINISHED FLOOR ELEVATION
 LIP = LIP OF GUTTER
 LP = LOW POINT
 PC = POINT OF CURVATURE
 PT = POINT OF TANGENCY
 TC = TOP OF CONCRETE

GENERAL NOTES:

- GENERAL NOTES:**
1. SEE SHEET C0.10 FOR CONSTRUCTION GENERAL NOTES AND LEGEND.
 2. SEE SURVEY BY GALENA-BENCHMARK ENGINEERING FOR SURVEY NOTES.



DETAIL "D" (SOUTH ACCESS DRIVEWAY DETAILED GRADING PLAN [EAST SIDE])



DETAIL "C" (SOUTH ACCESS DRIVEWAY DETAILED GRADING PLAN [WEST SIDE])

2.0%
28.55 x
● EDA/PC 28.28

PROPOSED GRADE
PROPOSED SPOT ELEVATION
PROPOSED SPOT ELEVATION

ABBREVIATIONS
EDA = EDGE OF ASPHALT
FFE = FINISHED FLOOR ELEVATION
GFFE = GARAGE FINISHED FLOOR ELEVATION
LIP = LIP OF GUTTER
LP = LOW POINT
PC = POINT OF CURVATURE
PT = POINT OF TANGENCY
TC = TOP OF CONCRETE

GENERAL NOTES:

1. SEE SHEET C0.10 FOR CONSTRUCTION GENERAL NOTES AND LEGEND.
2. SEE SURVEY BY GALENA-BENCHMARK ENGINEERING FOR SURVEY NOTES.

**SOUTH ACCESS DRIVEWAY
DETAILED GRADING PLANS "C" & "D"**
THE INN AT ELLSWORTH ESTATE
PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

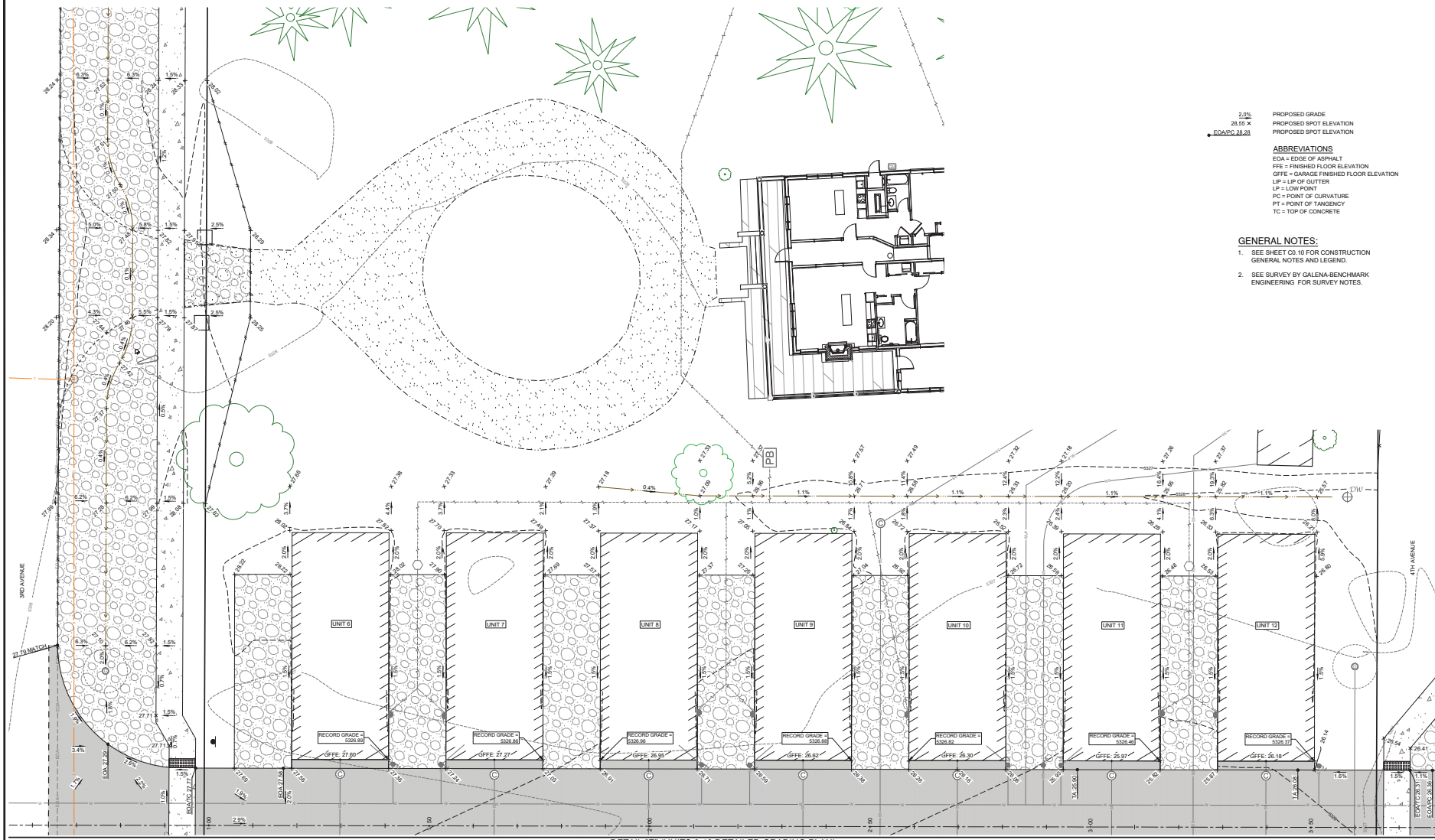
23018
PROJECT NUMBER

C3.21

PURPOSE: ISSUE FOR PERMIT REVIEW (08/05/2024)

| REVISION NO. | DATE | DESCRIPTION |
|--------------|------------|---|
| 002/024 | 08/05/2024 | S.A. NW ACCESS REDESIGN, NW SIDEWALK, SWIRNTAL LAYOUT |
| 003/024 | 08/05/2024 | Revised CIVIL for new, Add Electrical Proposal. |
| 004/024 | 08/05/2024 | Revised CIVIL for new, Add Electrical Proposal. |
| 005/024 | 08/05/2024 | Revised CIVIL for new, Add Electrical Proposal. |





DETAIL "E" (UNITS 6-12 DETAILED GRADING PLAN)

2.5%
28.50' ±
EOP/PC 28.28

PROPOSED GRADE
PROPOSED SPOT ELEVATION
PROPOSED SPOT ELEVATION

ABBREVIATIONS

EOA = EDGE OF ASPHALT
FFE = FINISHED FLOOR ELEVATION
GFPE = GARAGE FINISHED FLOOR ELEVATION
LIP = LIP OF GUTTER
LP = LOW POINT
PC = POINT OF CURVATURE
PT = POINT OF TANGENCY
TC = TOP OF CONCRETE

GENERAL NOTES:

1. SEE SHEET C0.10 FOR CONSTRUCTION GENERAL NOTES AND LEGEND.
2. SEE SURVEY BY GALENA-BENCHMARK ENGINEERING FOR SURVEY NOTES.



| REVISION NO. | DATE | DESCRIPTION |
|--------------|----------|--|
| 1 | 08/21/24 | S.A. HWY ACCESS REVISION, HWY SIDEWALK, SWANWIT LAYOUT |
| 2 | 08/21/24 | Revised CIVIL for new, ASD Electrical Proposal. |
| 3 | 08/21/24 | Revised CIVIL for new, ASD Electrical Proposal. |
| 4 | 08/21/24 | Revised CIVIL for new, ASD Electrical Proposal. |
| 5 | 08/21/24 | Revised CIVIL for new, ASD Electrical Proposal. |



UNITS 6-12 DETAILED GRADING PLAN "E"

THE INN AT ELLSWORTH ESTATE
PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

23018
PROJECT NUMBER
C3.22

1. REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used in any project or otherwise without the express written consent of the engineer of record. © 2024 Opal Engineering, P.C.

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On March 17, 2025, the Administrator and Planning and Zoning Chair considered a request by C&R Electric (Little Wood River Properties LLC), to exempt from Design Review, plans for a façade change to the existing 3,240 square foot commercial building on site. The façade change will involve new exterior siding materials, new roofing material and the addition of a roof overhang over the front entry, the addition of one (1) window on the building's front façade, and the elimination of a door and overhang on the existing building's southern elevation. This project is located at 1040 Airport Way (Lot 6, Block 2, Friedman Park Subdivision) within the Light Industrial (LI) Zoning District.

The Chair, having been presented with all the information regarding the design proposal hereby makes the following Findings of Fact, Conclusions of Law and Decision relative to the Design Review Exemption.

FINDINGS OF FACT

Background and Project Overview:

Standards of Evaluation:

Chapter 17.06 of the Hailey Municipal Code establishes the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Administrator makes the following Findings of Fact:

The Administrator has the authority to approve minor modifications to projects that have received design review approval by the commission prior to, and for the duration of a valid building permit. The Administrator shall make the determination as to what constitutes minor modifications and may include, but are not limited to, changes to approved colors and/or siding materials, changes to site plans that do not significantly increase building footprints or significantly change driveway or road alignment, changes to landscape plans that do not decrease the amount of landscaping, changes to dumpster enclosures, changes to exterior lighting fixtures and location, or changes to windows that do not significantly affect project design, appearance or function. All approved modifications must be documented in a memo to the project file and on the approved set of plans on file with the City. For modifications to design review approval that are determined by the Administrator not to be minor, the Administrator has the authority to recommend approval or denial of such modifications, subject to final decision by the commission on its consent agenda. Such recommendation for approval or denial shall be drafted in the form of findings of fact and conclusions of law. (Ord. 1191, 2015)

The modifications listed below are minor in the overall scope. The proposed modifications consist of:

- Material Changes: New exterior building materials on the west and south building elevation
- New black metal roof with snow retention devices



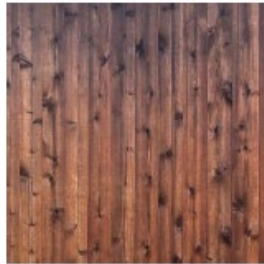
EXISTING FACADE



PROPOSED FACADE



MATTE BLACK METAL ROOF WITH SNOW RETENTION



PROPOSED SIDING- NATURAL STAIN



PROPOSED STONE- BIGHORN MOUNTAIN

- New Dark Sky compliant exterior lighting fixtures at south security gate and modified front entryway.

OSLO
LED WALL LIGHT
 15W, 120V, 1200lm, 40,000hrs, CCT: 2200K/2700K/3000K/4000K/5000K, Dimmable, IP65, Aluminum

HINKLEY

- Wattage: 15W
- Voltage: 120-277V
- Luminous flux: 1000lm
- Lifespan: 40,000hrs
- CCT: 2200K/2700K/3000K/4000K/5000K
- Dimmers: Compatible with triac dimmers
- Waterproof rating: IP65
- Housing material: Aluminum

See Less

| Specifications | |
|-------------------|--|
| Model # (MPN) | H-35685 |
| Product ID | 20191987 |
| Manufactured By | LEDVANS |
| Sold By | Houzz |
| Size/Weight | W 15.7" / D 10.4" / H 10.8" / 12.2 lb. |
| Materials | Aluminum |
| Assembly Required | No |
| Category | Outdoor Wall Lights And Scones |
| Style | Modern |
| Collection | Exterior Wall Lighting |

OLUTRON | KETRA

03 Adjustable, Round
PRODUCT DESCRIPTION
 15W, 120V, 1200lm, 40,000hrs, CCT: 2200K/2700K/3000K/4000K/5000K, Dimmable, IP65, Aluminum

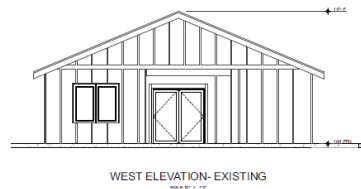
FEATURES
 15W LED module, 120V, 1200lm, 40,000hrs, CCT: 2200K/2700K/3000K/4000K/5000K, Dimmable, IP65, Aluminum

OPTIONS
 Color: Black, White, Bronze, Silver, Gold, Copper, Nickel, Stainless Steel, Powder Coat, Custom Color

PROPOSED EXTERIOR LIGHTING

Fenestration and Egress Changes:

- Addition of one (1) transom window on the building's front (west) façade
- Removal of one (1) human entry door and door overhang on the building's south façade



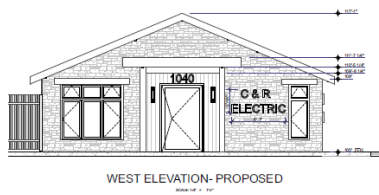
WEST ELEVATION- EXISTING



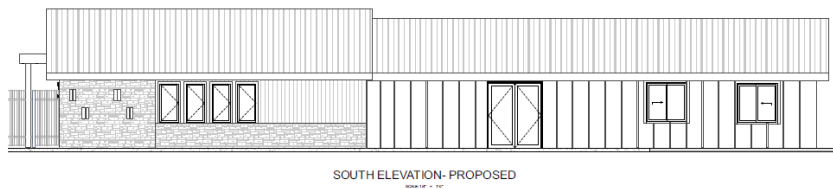
SOUTH ELEVATION-EXISTING



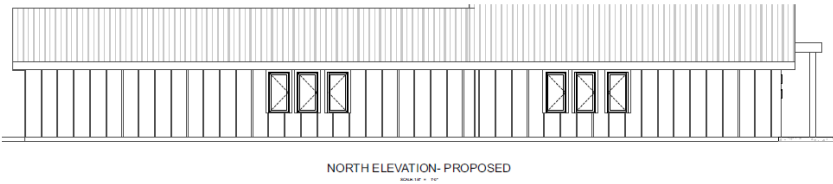
NORTH ELEVATION- EXISTING



WEST ELEVATION- PROPOSED



SOUTH ELEVATION- PROPOSED



NORTH ELEVATION- PROPOSED

CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Chair makes the following Conclusions of Law and Decision:

1. The proposed modifications are consistent with the Findings of Fact, Conclusions of Law and Decision adopted by the Commission for the aforementioned project prior to 2018 (date unknown).
2. The modifications, as approved, have been noted in a memo on file with the Community Development Department.
3. Approval of the Design Review Exemption does not in any way waive any Design Review requirements approved by the Commission. All Design Review elements must be installed, or security provided, prior to issuance of a Certificate of Occupancy.

Signed this ____ day of _____, 2025.

Janet Fugate, Planning and Zoning Chair

Attest:

Robyn Davis, Community Development Director

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 7, 2025, the Administrator and Planning and Zoning Chair considered a request by Luke's Pharmacy and Wellness, to exempt from Design Review, plans for a façade change to the existing 3,507 square foot commercial building on site. The façade change will involve new exterior paint for the whole building. This project is located at 101 S. Main Street (AM Lot 1A, Block 32, Hailey Townsite) within the Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts.

The Chair, having been presented with all the information regarding the design proposal hereby makes the following Findings of Fact, Conclusions of Law and Decision relative to the Design Review Exemption.

FINDINGS OF FACT

Background and Project Overview:

Standards of Evaluation:

Chapter 17.06 of the Hailey Municipal Code establishes the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Administrator makes the following Findings of Fact:

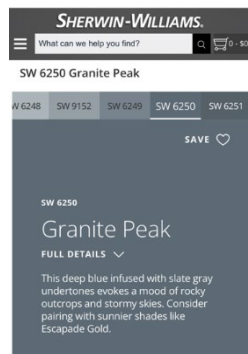
The Administrator has the authority to approve minor modifications to projects that have received design review approval by the commission prior to, and for the duration of a valid building permit. The Administrator shall make the determination as to what constitutes minor modifications and may include, but are not limited to, changes to approved colors and/or siding materials, changes to site plans that do not significantly increase building footprints or significantly change driveway or road alignment, changes to landscape plans that do not decrease the amount of landscaping, changes to dumpster enclosures, changes to exterior lighting fixtures and location, or changes to windows that do not significantly affect project design, appearance or function. All approved modifications must be documented in a memo to the project file and on the approved set of plans on file with the City. For modifications to design review approval that are determined by the Administrator not to be minor, the Administrator has the authority to recommend approval or denial of such modifications, subject to final decision by the commission on its consent agenda. Such recommendation for approval or denial shall be drafted in the form of findings of fact and conclusions of law. (Ord. 1191, 2015)

The modifications listed below are minor in the overall scope. The proposed modifications consist of:

- Material Changes: New Exterior Paint



Existing Building Color



New Color Proposed

CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Chair makes the following Conclusions of Law and Decision:

1. The proposed modifications are consistent with the Findings of Fact, Conclusions of Law and Decision adopted by the Commission for the aforementioned project prior to 2018 (date unknown).
2. The modifications, as approved, have been noted in a memo on file with the Community Development Department.
3. Approval of the Design Review Exemption does not in any way waive any Design Review requirements approved by the Commission. All Design Review elements must be installed, or security provided, prior to issuance of a Certificate of Occupancy.

Signed this ____ day of _____, 2025.

Janet Fugate, Planning and Zoning Chair

Attest:

Robyn Davis, Community Development Director

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 7, 2025, the Hailey Planning & Zoning Commission Chair and the Administrator considered a recommendation by the Administrator to exempt from Design Review an application submitted by The City of Hailey for the construction of an unenclosed event stage on City-owned property at Hop Porter Park. The stage is proposed to offer approximately 960 square feet of functional performance and operation space. It will feature two (2) sets of access stairs, placed on either side of the stage, in addition to a rear access ramp and a mass timber, single-pitch roofing structure. The Hop Porter Park parcel is 181,240.86 square feet (4.24 acres) in size, located on W Bullion Street and slightly east of the Big Wood River (Legal Description: HAILEY FR SE NW, FR NE SW TL 1259 TL 14, SEC 9 FR NWSE & NESW SEC 15 2N 18E OLD POWER PLANT/CITY PARK). The parcel is located within the Recreational Green Belt (RGB) District.

The Chair and the Administrator, having been presented with all information and testimony in favor and in opposition to the proposal, hereby make the following Findings of Fact, Conclusions of Law, and Decision.

FINDINGS OF FACT

Standards of Evaluation: Chapter 17.06 of the Hailey Zoning Ordinance establishes the criteria for applications for Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

17.06.010. No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval pursuant to this Article:

- 1. A building for a non-residential use within any zoning district.**
- 2. A building for a Public or Semi-Public Use within any zoning district.**
- 3. A Multi-Family Dwelling of three or more units within any zoning district.**
- 4. A Single-Family Dwelling, Duplex or Accessory Structure within the Townsite Overlay (TO) District.**
- 5. A Historic Structure.**

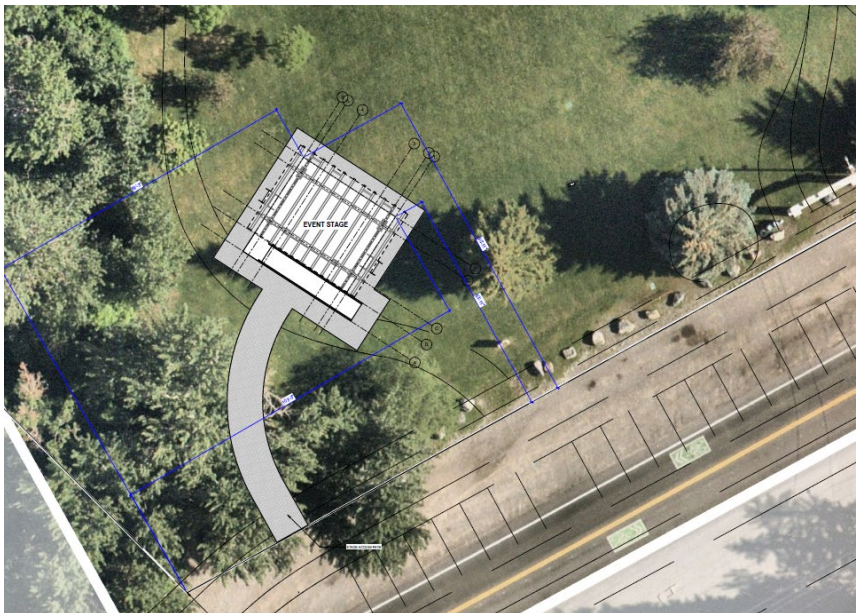
The proposed construction is for a new, public, outdoor stage and unenclosed performance area at Hop Porter Park, a City-owned park located within the Recreational Green Belt (RGB) Zoning District. No enclosed structures or buildings are proposed to be constructed or altered. Design Review approval is therefore not required.

17.06.60 (B). Exemptions: The Administrator, with concurrence from the Chair or the Chair's Designee, has the authority to exempt of certain projects from the design review requirements, upon finding; the project is minor, will not conflict with the design review standards of this Chapter and will not adversely impact any adjacent properties. Such exemptions shall be documented in writing on file with the Community Development Department prior to issuance of a building permit. Should the Administrator and Chair determine that the proposal does not meet all of the above evaluation criteria, the project

shall be subject to the provisions of this chapter prior to issuance of a building permit. Exemptions shall be included in the Commissioners packet at regular meetings for informational purposes.

The Administrator reviewed a Design Review Exemption Application submitted by The City of Hailey for the construction of an unenclosed event stage on City-owned property at Hop Porter Park. The stage is proposed to offer approximately 960 square feet of functional performance and operation space. It will feature two (2) sets of access stairs, placed on either side of the stage, in addition to a rear access ramp and a mass timber, single-pitch roofing structure. The foundation and operational surface of the stage will be cast-in-place concrete, constructed to a height approximately 2.33' above finished grade. The existing park area for construction of the stage is generally flat.

A CMU-material wall will extend approximately 17.3 feet in length at the rear of the stage performance area, rising up approximately thirteen (13) feet from the performance area surface and adjoining with the mass timber roof. A stage access path is also proposed from the W Bullion Street right-of-way to the rear of the stage. The stage will be oriented towards the center of Hop Porter Park, facing north/northeast.



ISOMETRIC VIEWS



The Administrator recommends exemption from the Design Review Requirements for the reasons stated below. After reviewing the complete application and proposal, the Administrator finds the proposed alteration:

1. will not conflict with the design review standards of this Chapter;
2. will not adversely impact any adjacent properties.

Application: The City of Hailey submitted a Design Review Exemption application for the construction of an unenclosed event stage on City-owned property at Hop Porter Park on March 18, 2025.

Procedural History: The Application was considered before the P&Z Commission Chair and Administrator on April 7, 2025, as a Design Review Exemption.

CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the P&Z Commission Chair and Administrator make the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Chapter 17.06, Design Review, 17.06.020(B), was given.
2. The project is in general conformance with Title 17 and the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Given the nature of this project, this constitutes a minor project, will not conflict with the design review standards of this Chapter, and will not adversely impact any adjacent properties.
5. The proposed construction is documented in the project file.

Signed this ____ day of _____, 2025.

Janet Fugate, Chair

Robyn Davis, Community Development Director

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On April 7, 2025, the Hailey Planning and Zoning Commission Chair considered and approved a Design Review Modification Application submitted by Pilling Family Trust, represented by Manya Yamada, for an additional modification to the previously approved plans within the Sunbeam Subdivision I, Panorama Point Project, B2 House. The proposed amendment incorporates gabled rooflines for the proposed units on Sublots 1,2,4,6,7,8,9, and 10, Block 3, Sunbeam Subdivision.

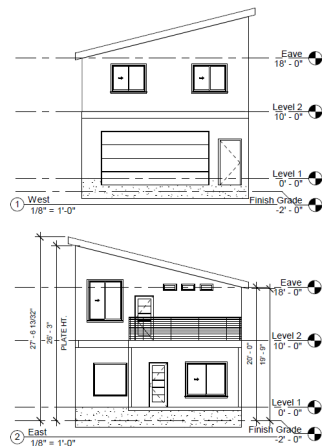
FINDINGS OF FACT

Background and Project Overview: On March 5, 2025, Pilling Family Trust, represented by Manya Yamada, submitted a Design Review Modification Application which proposes gabled rooflines for the proposed units on Sublots 1,2,4,6,7,8,9, and 10, Block 3, Sunbeam Subdivision. Prior to this Design Review Modification Application, the aforementioned units were planned to include single-pitch rooflines. According to the Applicant, the change is being proposed in order to more closely match other existing residences in the Sunbeam Subdivision while still adhering to the maximum allowable building height.

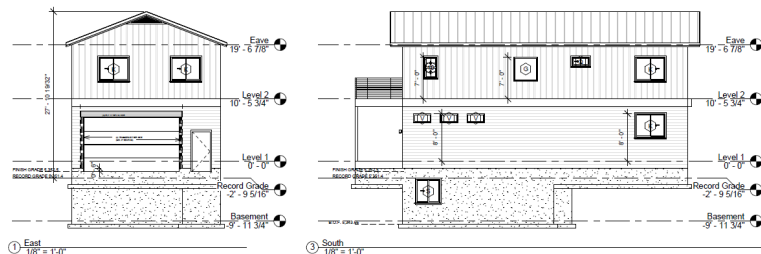
The following ancillary adjustments are also proposed, due to this adjustment in roof style:

- Minor exterior window placement adjustments across the units, due to change in roofline.
- Minor framing and building footprint (less than one (1) foot) adjustments across the units), to create symmetry between first and second stories.

Original Proposal:



Design Review Modification, April 2025:



On August 7, 2023, the Hailey Planning and Zoning Commission considered and approved a Design Review Application by Pilling Family Trust, represented by Manya Yamada, for a cottage development of ten (10) single-family units with a parking access lane and shared common space at SUNBEAM SUBDIVISION PHASE 1 LOT 41 BLK 3, SUNBEAM SUBDIVISION PHASE 1 LOT 49 BLK 3— along the public

streets of San Badger Drive, Eclipse Street, and Sunbeam Street— within the Limited Residential (LR-1) Zoning District.

The Chair, having been presented with all information regarding the proposal and having reviewed the Findings of Fact, Conclusions of Law, and Decision the original proposal, hereby makes the following Findings of Fact, Conclusions of Law and Decision relative to the Design Review Modification.

Standards of Evaluation:

Chapter 17.06 of the Hailey Municipal Code establishes the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Administrator makes the following Findings of Fact:

The Administrator has the authority to approve minor modifications to projects that have received design review approval by the commission prior to, and for the duration of a valid building permit. The Administrator shall make the determination as to what constitutes minor modifications and may include, but are not limited to, changes to approved colors and/or siding materials, changes to site plans that do not significantly increase building footprints or significantly change driveway or road alignment, changes to landscape plans that do not decrease the amount of landscaping, changes to dumpster enclosures, changes to exterior lighting fixtures and location, or changes to windows that do not significantly affect project design, appearance or function. All approved modifications must be documented in a memo to the project file and on the approved set of plans on file with the City. For modifications to design review approval that are determined by the Administrator not to be minor, the Administrator has the authority to recommend approval or denial of such modifications, subject to final decision by the commission on its consent agenda. Such recommendation for approval or denial shall be drafted in the form of findings of fact and conclusions of law. (Ord. 1191, 2015)

The modifications listed below are minor in the overall scope. The proposed modifications consist of: Amending the approved plans for Sunbeam Subdivision Phase I, Panorama Point. Specifically, units constructed on Sublots 1,2,4,6,7,8, and 9 are now proposed to feature gabled rooflines instead of single-pitch rooflines. These gabled rooflines will allow for the Panorama Point Subdivision to more closely align with the design patterns of surrounding residences and the broader Sunbeam Subdivision, while still ensuring that the maximum allowable building height is met. All proposed roofline modifications will be the same across the stated scope of development.

The images below display the original unit and roofline design, versus the modification proposal considered herein. No other modifications, additions, or renovations are proposed or planned for at this time.

Original site view from Eclipse Street (incl. anticipated landscaping at maturity)



Proposed modification to rooflines, from Eclipse Street



CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Chair makes the following Conclusions of Law and Decision:

1. The proposed modifications are consistent with the Findings of Fact, Conclusions of Law and Decision adopted by the Commission for the aforementioned project on August 7, 2023.
2. The modifications, as approved, have been noted in a memo on file with the Community Development Department.
3. Approval of the Design Review Modification does not in any way waive any Design Review requirements approved by the Commission. All Design Review elements must be installed, or security provided, prior to issuance of a Certificate of Occupancy.

Signed this ____ day of _____, 2025.

Janet Fugate, Planning and Zoning Chair

Attest:

Jessica Parker, Building Coordinator, Deputy Treasurer

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