

AGENDA

Hailey Planning and Zoning Commission

Monday, August 19, 2024

5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

Join on your computer, mobile app, or room device.

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

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Or call in (audio only)

[+1 469-206-8535](tel:+14692068535), [602369677#](tel:+14692068535) United States, Dallas

Phone Conference ID: 602 369 677#

Call to Order

- Public Comment for items not on the Agenda.

Consent Agenda

- [CA 1](#) Motion to approve the meeting minutes dated August 5, 2024. **ACTION ITEM**

Public Hearing

- [PH 1](#) Consideration of a Design Review Preapplication, submitted by Zachery Griffin, LLC, represented by architect Chad Blincoe, for the construction of a new, two-story self-storage building located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Sub) within the Light Industrial (LI) Zoning District. The Applicant has provided two (2) building options for the Commission to consider at this preapplication stage, with Option A measured at 22,152 square feet, and Option B measured at 21,571 square feet.
- [PH 2](#) Consideration of a Design Review Application, submitted by Frosty Acres, LLC, represented by Samantha Stahlnecker with Opal Engineering, for the construction of a new 23,380 square foot multifamily townhome development located at 2730 Winterhaven Drive (Lot 1A, Block 61, Woodside Subdivision #15) within the Limited Business (LB) Zoning District. The development consists of eight (8), two story, multifamily buildings, which includes fourteen (14) dwelling units in total.

Staff Reports and Discussion

- **SR 1** Discussion: Upcoming Projects, Code Changes, Next Planning and Zoning Meeting:
 - **Tuesday, September 3, 2024:**
 - PP: Sunbeam Subdivision Phase II
 - DR: Advocates

Return to Agenda

AGENDA
Hailey Planning and Zoning Commission
Monday, August 5, 2024
5:30 p.m.

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Phone Conference ID: 602 369 677#

Present

Commissioners: Owen Scanlon, Jordan Fitzgerald, Janet Fugate, Dan Smith, Sage Sauerbrey

Staff: Emily Rodrigue, Robyn Davis, Jessie Parker

5:30:57 PM Call to Order

- Public Comment for items not on the Agenda.

5:32:03 PM Consent Agenda

- **CA 1** Motion to approve the meeting minutes dated June 17, 2024. **ACTION ITEM**
- **CA 2** Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Design Review Application by Eric Cueva, represented by Matt Youdall of Youdall Architecture, for the construction of an 877 square foot detached garage addition, which includes a new 579 square foot Accessory Dwelling Unit located above the addition. This project also consists of the future construction of an office/commercial prefabricated metal building to support the owner's roofing business. This project is located at 504 S. Main Street (Lots S20' of 12 All of 13 & 14, Block 9, Hailey Townsite) within the Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**
- **CA 3** Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Design Review Application by ARCH Community Housing Trust, Inc., for the construction of a new multifamily residential development project, consisting of ten (10) detached

dwelling units, with 1,386 square feet of living space and 440 square feet of garage space per unit. This project is located at the addresses of 702 S 3rd Avenue, 623 S 4th Avenue, and 715 S 4th Avenue (Lots 2, 3, 4, 5, and 6, Blocks 1 and 125, Hailey Replat) in the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The subject property has been, and continues to be, commonly known as the Ellsworth Inn property. **ACTION ITEM**

- **CA 4** Motion to approve the Findings of Fact, Conclusions of Law, and Decision Tiny Home on Wheels (THOW) Application, submitted by Deanna and Brady Campbell. The THOW is proposed to be 272 square feet in size, located onsite, detached and positioned along the northwestern side of the existing single-family residence. The THOW is proposed to be utilized as long-term rental and is located at 810 Buckskin Drive (Lot 16, Block 7, Deerfield Subdivision #1) within the Limited Residential (LR-1) Zoning District. **ACTION ITEM**

Scanlon motioned to approve CA 1 & CA4. Smith seconded. All in Favor.

Public Hearing

- **5:32:44 PM PH 1** Consideration of a of a Design Review Pre-Application Application, submitted by Nancy and William Schlag, and represented by Jay Cone of Jay Cone Architecture, for the construction of a new, 1,554 square foot mixed-use building consisting of 943 square feet of commercial space and a 611 square foot Accessory Dwelling Unit, located within the proposed structure. This project is located at 20 Comet Lane (Lot 2E, Block 5, Airport West Subdivision #2) within the Sales and Office Subdistrict (SCI-SO) Zoning District.

5:33:42 PM Jay Cone introduced himself and applicant. Cone addressed boxy design and height proposed to allow for enough storage space. Cone summarized reason for washer and dryer in office and overall floor plan.

5:37:54 PM Scanlon expressed concern of boxy design, what would like to see. Scanlon asked if unit would be lived in fulltime. Cone stated applicants have another residence on east coast.

5:39:58 PM Fitzgerald asked what the primary use is. Cone stated it would be office with storage. Cone clarified occupancy type. Fitzgerald asked about ADU use. Cone explained ADU will be accessory to their business.

5:41:38 PM Smith suggested adding doorway to allow applicant to heat office but not storage space if the applicant does not intend to heat that area. Smith agreed with Scanlon's comments regarding boxy design, that something to help break up the building would be nice. Smith suggested addition of windows, some awnings, some wainscot, something to add visual texture. Cone confirmed applicant team is open and will come back with them.

5:44:11 PM Sauerbrey asked about height and smaller room designs. Cone explained inside is 18-19 feet tall. Cone explained applicant's request. Sauerbrey agrees with design aspect, stated would pay more attention to the east aspect and create more visual interest there. Cone stated did not bring in landscape plan, that does have landscape obligations per the HOA requirements. Cone summarized proposed and existing landscape. Sauerbrey asked how proposing to heat cool

the building. Cone does not know yet. Sauerbrey confirmed if on roof would be properly screened. Cone confirmed proper screening if on roof or ground.

[5:48:43 PM](#) Smith asked about why about 37 ft dimension on for the East West side. Cone explained reasoning for dimension.

[5:49:22 PM](#) Chair Fugate reiterated comments regarding boxy design. Chair Fugate thinks addition of color would be nice.

[5:50:20 PM](#) Chair Fugate opened public comment.

[5:51:33 PM](#) Chair Fugate closed public comment.

No further comments or questions.

- [5:51:54 PM PH 2](#) Consideration of a of a Preliminary Plat Subdivision Application for Sunbeam Subdivision (Phase II), submitted by Marathon Partners, LLC, and represented by Opal Engineering and BYLA, wherein Sunbeam Subdivision Phase I, Parcels B and C, are subdivided into 62 lots (42 lots and 20 sublots), as well as Parcel B1, which includes the remaining park dedication of 3.34 acres as contemplated in the approved Planned Unit Development Agreement.

[5:52:26 PM](#) Rodrigue turned floor to applicant team.

[5:52:44 PM](#) Samantha Stahlnecker, introduced herself and introduced presentation. Stahlnecker introduced applicant team. Stahlnecker, using presentation on file, summarized design of subdivision and history of project design. Stahlnecker summarized design of phase two and proposed roads, along with garage access for sublots. Stahlnecker explained connectivity design, street parking,

[6:04:01 PM](#) Brent Jacobsen, introduced himself, explained helping with park development. Jacobsen explained proposed connectivity, landscape elements, park design of phase 1 and 2. Jacobsen summarized attempting to complete idea of full park design. Jacobsen explained additions of connector, proposed parking expansion if needed, and pedestrian travel. Jacobsen explained addition of swings, benches, and that overtime additional programs can be added. Jacobsen summarized items to be added.

[6:11:36 PM](#) Stahlnecker provided an overview of park design and additions added.

[6:12:33 PM](#) Scanlon asked about the park and who maintains it. Stahlnecker confirmed City of Hailey owns and maintains the park. Stahlnecker clarified HOA responsibilities towards the park.

[6:13:28 PM](#) Fitzgerald asked about street parking. Stahlnecker clarified street parking on west side of Doc Bar and north side of Mica Street. Stahlnecker noted isolated area for parallel parking along Carbonate Street. Fitzgerald asked if had any feedback on Phase 1 to help guide Phase 2. Stahlnecker explained her connection to board of Sunbeam HOA and that they are very aware of comments received.

Smith will hold comments until after public comment.

[6:16:16 PM](#) Sauerbrey asked what elements are being installed by developer and what is to be done by the City. Stahlnecker clarified items to be done by the developer. Sauerbrey asked about cottage development plans. Stahlnecker confirmed that property would be held to current ordinance. Stahlnecker explained that the cottage developments would go in front of the planning and zoning commission. Stahlnecker asked if concern was that one subplot would be designed and not have a cohesive feel.

[6:20:06 PM](#) Chair Fugate asked if there are bike racks in the parks. Jacobsen stated there are a few in Phase 1 and that will have more in phase 2. Chair Fugate asked if there are cross walks planned. Stahlnecker confirmed there will be crosswalks, noting areas intended for cross walks. Davis confirmed if determined more needed in future city can install. Stahlnecker confirmed connection to pathway off Grays Starlight. Chair Fugate explained her appreciation of the park design. Chair Fugate expressed concerns of water use of dog wash. Stahlnecker clarified at pavilion would have a hose bib to allow for city to hose out the pavilion and at the restroom area would have a water fountain with a dog bowl, no dog wash.

[6:25:14 PM](#) Chair Fugate opened public comment.

[6:25:59 PM](#) Catherine Parris, thanked applicant team for park design. Has comments from others who could not make it tonight. My husband requested that really take into consideration speed along Carbonate –asked 15 MPH with a stop sign; Rob Thomas, address the bike path that it is a safety concern with increased pedestrian traffic along Carbonate Street. For El Dorado Lane, is it a dead end? That if do make it a dead end, that means even more traffic on Myrtle. Does have to wonder the equity about motorized traffic accessing Carbonate

Due to power outage meeting adjourned. Sunbeam public hearing to be renoticed.

Staff Reports and Discussion

- **SR 1** Discussion of building activity, upcoming projects, and zoning code changes.
- **SR 2** Discussion: Next Planning and Zoning Meeting:
 - August 19, 2024:
 - DR: Frosty Acres
 - DR PreApp: 1140 Storage

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of August 19, 2024

To: Planning and Zoning Commission
From: Emily Rodrigue, Community Development City Planner/Resilience Planner

Proposal: Consideration of a Design Review Preapplication, submitted by Zachery Griffin, LLC, represented by architect Chad Blincoe, for the construction of a new, two-story self-storage building located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Sub) within the Light Industrial (LI) Zoning District. The Applicant has provided two (2) building options for the Commission to consider at this pre-application stage, with Option A measured at 22,152 square feet, and Option B measured at 21,571 square feet.

Hearing: August 19, 2024

Applicant: Zachery Griffin, LLC, represented by architect Chad Blincoe
Location: 1140 Airport Way (Lot 3, Block 2, Friedman Park Sub)
Zoning & Lot Size: Light Industrial (LI); 0.75 acres (21,807 square feet)

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners on July 31, 2024.

Background and Project Overview. The Applicant is proposing to construct a new, two-story self-storage building on the property located at 1140 Airport Way. There is an existing self-storage facility currently located on the property, operating across three (3) single-story buildings with typical “drive-up” units. The Applicant plans to demolish these existing structures and proposes to construct a single new building in its place, which will include seven (7) drive-up units, accessible from the building’s western elevation and facing Airport Way. Both Option A and Option B offer the same number of drive-up units.

Option A:

- Total building area: 22,152 square feet
- Fifteen (15) onsite, surface parking spaces, seven (7) onsite, in-unit parking spaces, **twenty-two (22) parking spaces provided in total.**

Option B:

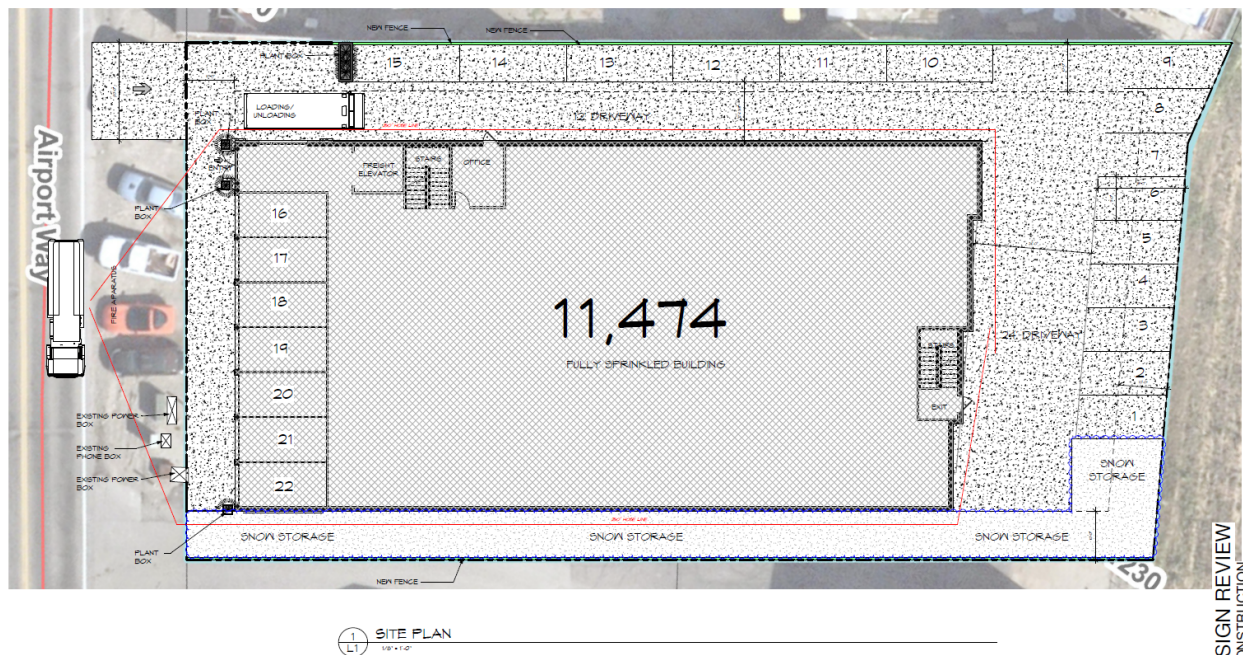
- Total building area: 21,571 square feet
- **Eleven (11) onsite, surface parking spaces provided in total.**

The interior of the building will host a number of storage units/“lockers” across the first and second levels, although slight variations in building configurations and square footage between Option A and Option B will ultimately determine the final number of units inside. As this project is currently in its pre-application phase, submitted plans do not show detailed floor plans or unit counts for the building’s interior. The Applicant may wish to provide the Commission with an estimate of the proposed interior unit count for building options A and B.

The Applicant is seeking specific feedback from the Commission on the two (2) building options/configurations they are exploring. The main differences between building Option A and Option B center around site circulation, onsite snow storage vs. hauling snow off-site, and the level of provided onsite parking. See below:

Option A:

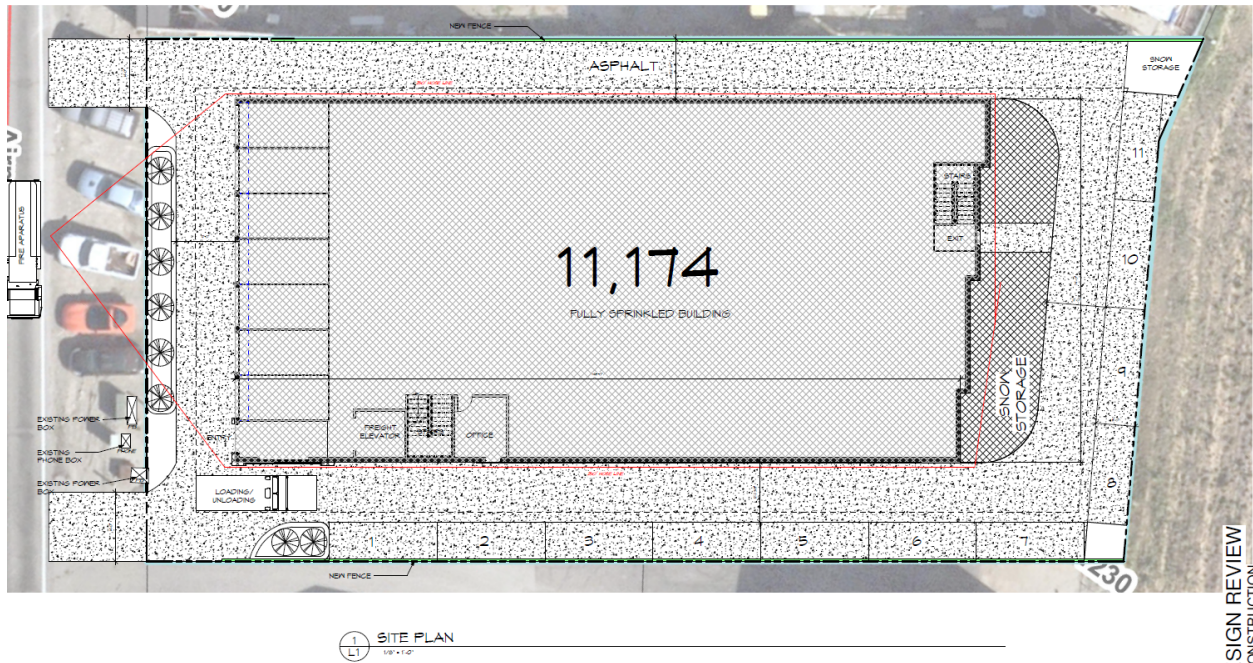
- Total building area: 22,152 square feet
- 1,988 square feet of snow storage required; 2,144 square feet of snow storage provided.
- Fifteen (15) onsite, surface parking spaces, seven (7) onsite, in-unit parking spaces, **twenty-two (22) parking spaces provided in total.**



As shown above, Option A does not offer year-round vehicular access around the proposed building, as the area to the south of the building will be used for the entirety of the site’s required onsite snow storage. However, the onsite parking requirement for the proposed commercial building (22,152 square feet of industrial storage space, 22 parking spaces therefore required) is fully met with the proposed Option A site place. Other key distinguishing features of Option A include a more limited scope of landscaping (as compared to Option B), a single primary curb cut at the northwest corner of the site for Airport Way ingress/egress, and the freight elevator, stairs, and office located on the north side of the building.

Option B:

- Total building area: 21,571 square feet
- 2,184 square feet of snow storage required; 964 square feet of snow storage provided (remaining to be hauled off-site).
- **Eleven (11) onsite, surface parking spaces provided in total.**



Building Option B offers a site plan with full, year-round site circulation, including two (2) curb cuts in both the northwest and southwest corners of the property. However, on-site parking requirements (21,571 square feet of commercial building area, requiring a minimum of 21 on-site parking spots) are not met with this building design proposal. Only eleven (11) on-site parking spots are shown. Snow storage requirements are also not met with this design, which will likely require the Applicant to haul a large portion of their snow off-site during moderate to heavy snow events. The freight elevator, stairs, and office areas are also mirrored to the southern side of the building in this Option B design, as compared to Option A. A more substantial landscaping buffer between Airport Way and the building frontage is also shown with Option B. The Applicant may wish to discuss their intentions for submitting a building design for consideration that does not meet onsite parking requirements, and if there may be an opportunity to augment Option B designs to include all presented features and minimum parking requirements.

Chapter 17.06: Design Review. Section 17.06.050: Application:

C. Design Review Pre-Application:

1. **Required: An application for Preapplication Design Review shall follow the procedures and be subject to the requirements established by section [17.03.070](#) of this title, and shall be**

made by at least one holder of any interest in the real property for which the Preapplication Design Review is proposed.

- 2. Information Required: The following information is required with an Application for Preapplication Design Review:**
 - a. The Design Review Application form, including project name and location, and Applicant and representative names and contact information.**
 - b. One (1) eleven inch by seventeen inch (11" x 17") and one electronic copy showing at a minimum the following:**
 - i. Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: A vicinity map must show the location of adjacent buildings and structures.**
 - ii. Site plan, to scale, showing proposed parking, loading and general circulation.**
 - iii. One color rendering of at least one side of the proposed building(s).**
 - iv. General location of public utilities (survey not required). (Ord. 1226, 2017; Ord. 1191, 2015)**

The Applicant is proposing to construct a new self-storage facility, which will include seven (7) drive-up storage units, accessed from the building's western/street-facing frontage, and a number of interior storage units/lockers situated across two (2) building levels. The Applicant has provided two (2) site design options for the Commission to consider at this pre-application stage. Building Option A has a proposed building area of 22,152 square feet, whereas Option B has a slightly smaller building area, proposed at 21,571 square feet.

Per Hailey Municipal Code Section 17.09.040.05: INDUSTRIAL, one (1) parking space is required for every 1,000 square feet of floor area, but not less than one (1) space per employee. With Option A proposing 22,152 square feet of building area, twenty-two (22) parking spaces are required for this building design. The Applicant meets this minimum on-site parking requirement through both surface spaces around the proposed building, and the interior areas of drive-up storage units along the building's western elevation. Option B proposes a building area of 21,571 square feet, requiring a minimum of twenty-one (21) on-site parking spaces. The Applicant has only shown eleven (11) on-site parking spaces on Option B site plans, which does not meet the parking requirements. The Commission may wish to discuss if and how they would like to consider this project Option B for a full Design Review Application in the future.

Items for Discussion and/or Other Items of Note:

- 1. Overall Land Use and Bulk Requirements:** The proposed self-storage building incorporates both drive-up storage units, as well as interior storage units/lockers situated across two (2) building levels. Storage facilities and/or storage structures are both uses that are permitted outright in the Light Industrial (LI) Zoning District. The following definition from the Hailey Municipal Code pertains to the proposed design:

STORAGE STRUCTURE: A building where goods, products, materials, supplies, or equipment are kept or stored. A storage structure may be in the form of a shipping container or other structure. No sales or service is included.

As for bulk requirements, the following standards are required to be met in the Light Industrial (LI) Zoning District, and proposed as follows:

- **Maximum building height:**
 - Required: Thirty-five feet (35')
 - Proposed: Twenty-four feet (24')
- **Minimum front set back:**
 - Required: Ten feet (10')
 - Proposed Option A: Ten feet (10')
 - Proposed Option B: Twelve feet (12')
- **Minimum side set back:**
 - Required: Ten feet (10')
 - Proposed Option A north: Twenty-two feet (22')
 - Proposed Option A south: Ten feet (10')
 - Proposed Option B north: Approx. twelve feet (12')
 - Proposed Option B south: Approx. eighteen feet (18')
- **Minimum rear set back:**
 - Required: Ten feet (10')
 - Proposed Option A: Approx. forty feet (40')
 - Proposed Option B: Approx. forty feet (40')
- **Maximum lot coverage allowed:**
 - Required: 75%
 - Proposed: 52%

At this time, all bulk requirements appear to be met.

2. **Building Design, Materials, and Colors:** The Applicant is proposing the building height at twenty-four (24) feet. The building design appears to be earthy in color, and materials appear to vary between brick, concrete, and painted corrugated metal. As illustrated in the Google Earth photos below, there is no established design pattern, color palette, or building façade style within this initial extent of Airport Way. In general, Staff support the overall building color palette, but would prefer to see more windows and exterior design elements incorporated into the building's facades, especially for the elevation facing Airport Way. Additionally, Staff would prefer to see the drive-up storage units situated on either the north or south building elevations, instead of directly facing Airport Way. More landscaping and visual buffering between the right-of-way and the building frontage is strongly encouraged.

Option A, west building elevation, as seen from Airport Way.



EXTERIOR PERSPECTIVE

Option B, west building elevation, as seen from Airport Way.



EXTERIOR PERSPECTIVE



Airport Way, looking directly south from the project site.



Airport Way, looking directly west from the project site.



Airport Way, looking directly north from the project site.

- 3. Water, Sewer, and Fire:** This is a Preapplication Design Review. Final drawings that illustrate connection details will be required for full Design Review (to be determined). The Hailey Fire Marshall has offered preliminary comments on the fire apparatus access and hose lay

length, as measured from the right-of-way, and the emergency access appears to be fully compliant with either Option A or Option B. Both building options are proposed as fully sprinkled.

- 4. Streets, Right-of-Ways, Sidewalks, Parking:** In this Preapplication Design Review submittal, the Applicant has not shown any right-of-way improvements. Prior to submittal, Staff asked that the Applicant refrain from drafting any substantial right-of-way improvements in conjunction with this Application, due to the initiation of an Airport Way Typical Section creation process in spring 2024. Similar to the River Street Typical Section (Section 18.14.012 (F)3), the City of Hailey is working toward creating a set of standard drawings that will guide future development, and/or redevelopment, of the Airport Way right-of-way. This may include features such as bike lanes/bike paths, curb and gutter, landscaping strips, streetlights, and other pedestrian-centric features that enhance the safety, function, and aesthetic value of the somewhat disjointed Airport Way right-of-way. Airport Way has been identified as an area for desired improvement in safety and function in multiple studies as well (Final Blaine County Bicycle Pedestrian Master Plan (2024); Safe Streets for All Regional Safety Action Plan (pending release 2024)). The Applicant is aware of these ongoing planning efforts. That being said, the City anticipates the Applicant's cooperation in presenting a right-of-way at 1140 Airport Way that serves both the tenants and the public effectively upon project completion. This right-of-way should also provide an opportunity for future redevelopment that is integrated, safe, aesthetically pleasing, and highly functional. The Applicant will work with Staff internally throughout the full Design Review Application process to achieve this desired outcome.
- 5. Landscaping/Useable Open/Park Space.** Option A shows very little landscaping on-site, limited to four (4) planter boxes along the building's western, street-facing façade. Option B presents six (6) tree plantings between the building frontage and the right-of-way parking area along Airport Way, along with two (2) additional plantings on the building's southern elevation. Staff prefer the overall design and intent of Option B landscaping, which utilizes natural features to buffer the highly industrial proposed building with the busy and highly industrial Airport Way. Both Option A and Option B comply with the Hailey Municipal Code's landscaping requirements for non-residential buildings in the Light Industrial (LI) Zoning District. See below:

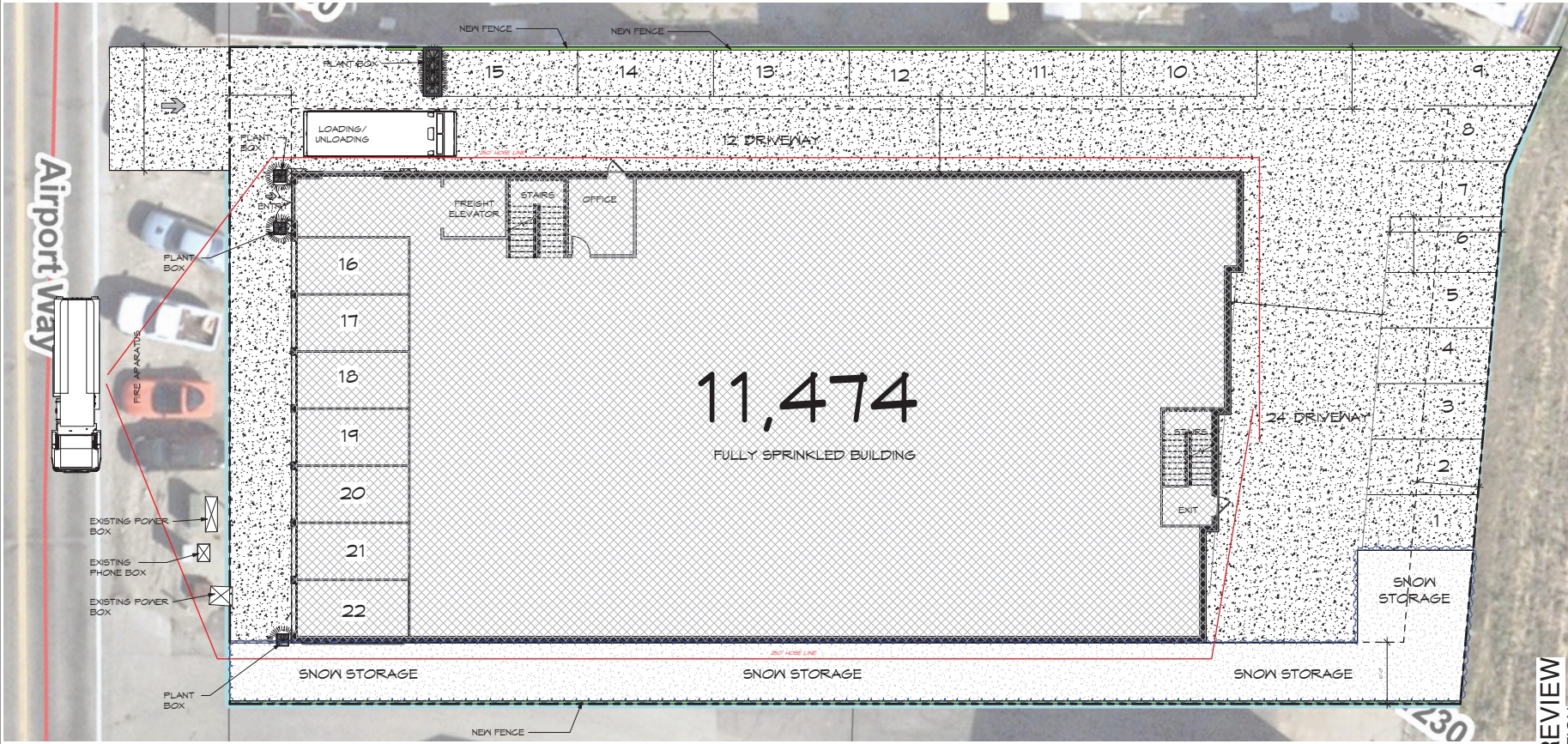
17.06.080 3(e): "Seasonal plantings in planter boxes, pots and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts".

However, Staff would like to see the Applicant prioritize landscaping and natural elements across their project in any future full Design Review submittals, to the greatest degree possible. Possible features for future inclusion could include things like river rock and drought-tolerant planting strips around the building perimeter, or "living walls"/climbing plants on building facades. Any project additions that offer ecosystem benefits like improved air quality, pollinator habitat, and/or cooling effects are always supported by Staff in the Light Industrial (LI) Zoning District.

6. **Federal Aviation Administration (FAA) Requirements:** The subject parcel is located within the Friedman Memorial Airport North Critical Zone. This critical zone allows for the proposed development, which complies with the current zoning, to continue as permitted so long as there is no expansion of uses beyond the current zoning. To ensure compliance of all FAA regulations, the Applicant shall apply for the proper permitting via the FAA, and receive approval by the FAA to construct the project as proposed.

7. **Other Considerations:** The attached plans are preliminary and at this time Staff has no further comments or considerations.

Action: No formal action is required at this time, as this is a Preapplication Design Review. The Commission should give feedback on the above items, and any others that may arise, so that the Applicant can incorporate said feedback into their Design Review submittal.



Airport Way

1 L1 SITE PLAN
1/8" = 1'-0"

PARKING SPACES CALCULATION:

TOTAL BUILDING AREA	2,2152 SQ. FT.
REQUIRED PARKING SPACES (1 PER 1000 SQ FT)	22
PARKING SPACES PROVIDED	22

SNOW TO BE HAULED OFF SITE AS NECESSARY

OPTION A

SNOW STORAGE CALCULATION:

PARKING, PEDESTRIAN AND VEHICLE CIRCULATION	7,954 SQ. FT.
25% SNOW STORAGE REQUIRED	1,988 SQ. FT.
SNOW STORAGE PROVIDED	2,144 SQ. FT.

SNOW TO BE HAULED OFF SITE AS NECESSARY

www.BlincocArchitecture.com
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 11700 E. 40th Ave.
 Greenwood Village, CO 80111
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1140 STORAGE
 1140 AIRPORT RD
 HAILEY, ID 83333

PRE-DESIGN REVIEW
NOT FOR CONSTRUCTION

JOB #:	00524
PLOT DATE:	4/1/24
DESIGN REVIEW:	
PERMIT:	
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
PRELIMINARY	4/1/24
PRE-DESIGN REVIEW	7/15/24

L1

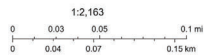
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Blaine County GIS



7/15/2024, 4:34:37 PM

Parcels
Roads



Blaine County GIS
USGS TNM / NGTOC - 3D National Hydrographic Program (3DHP) Data refreshed March 2024.

VICINITY MAP



EXTERIOR PERSPECTIVE

www.BlincoeArchitecture.com
Blincoe Architecture
 1110 E. Main St., Suite 408
 Ketchikan, Alaska
 Phone: 907.226.8340
 Fax: 907.226.1325
 info@blincoearchitecture.com



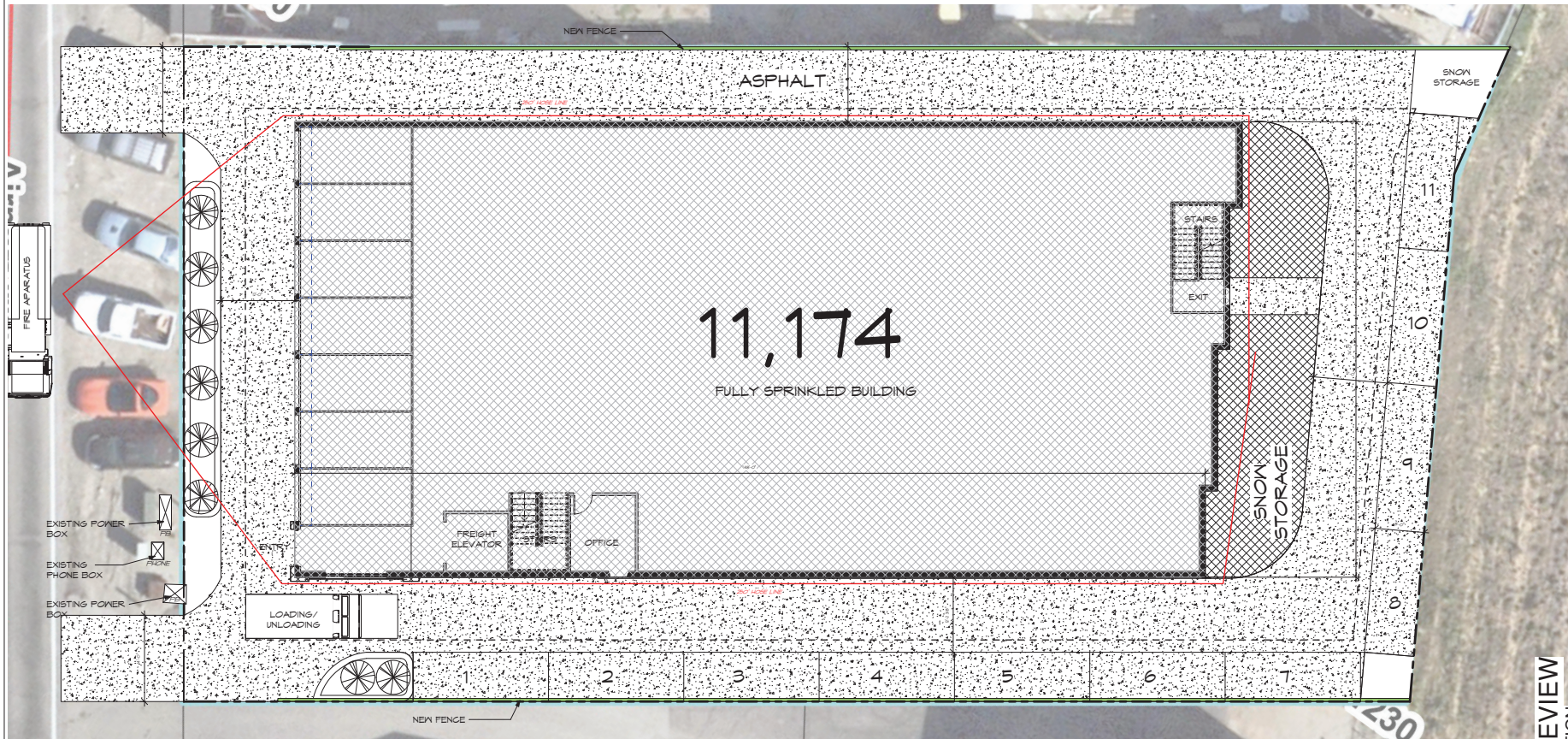
1140 STORAGE
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PRE-DESIGN REVIEW
 NOT FOR CONSTRUCTION

JOB #:	00524
PLOT DATE:	4/1/24
DESIGN REVIEW:	
PERMIT:	
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
PRELIMINARY	4/1/24
PRE-DESIGN REVIEW	7/15/24

L2

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1 SITE PLAN
L1 1/8" = 1'-0"

PARKING SPACES CALCULATION:

TOTAL BUILDING AREA	21,511 SQ. FT.
REQUIRED PARKING SPACES (1 PER 1000 SQ FT)	21
PARKING SPACES PROVIDED	11

SNOW TO BE HAULED OFF SITE AS NECESSARY

OPTION B

SNOW STORAGE CALCULATION:

PARKING, PEDESTRIAN AND VEHICLE CIRCULATION	8,730 SQ. FT.
25% SNOW STORAGE REQUIRED	2,184 SQ. FT.
SNOW STORAGE PROVIDED	964 SQ. FT.

SNOW TO BE HAULED OFF SITE AS NECESSARY

**PRE-DESIGN REVIEW
NOT FOR CONSTRUCTION**

www.BlincoeArchitecture.com
Blincoe Architecture
 11140 Airport Rd
 Hailey, ID 83333
 Tel: 887.750.1325
 info@blincoearchitecture.com



1140 STORAGE
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 PRELIMINARY 4/1/24
 PRE-DESIGN REVIEW 7/15/24

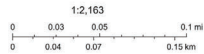
L1

Blaine County GIS



7/15/2024, 4:34:37 PM

Parcels
Roads



Blaine County GIS
USGS TNM / NGTOC - 3D National Hydrographic Program (3DHP) Data refreshed March 2024.

VICINITY MAP



EXTERIOR PERSPECTIVE

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1140 STORAGE
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 HAILEY, ID 83333

PRE-DESIGN REVIEW
 NOT FOR CONSTRUCTION

JOB #:	00524
PLOT DATE:	4/1/24
DESIGN REVIEW:	
PERMIT:	
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
	PRELIMINARY 4/1/24
	PRE-DESIGN REVIEW 7/15/24

L2

CONSENT OF DOCUMENTS: THIS DRAWING AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF Blainco Architecture, and it is to be used in whole or in part for any other project without written authorization.

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STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of August 19 2024

To: Hailey Planning and Zoning Commission
From: Ashley Dyer, Community Development Planner

Overview: Consideration of a Design Review Application submitted by Frosty Acres, LLC, represented by Samantha Stahlnecker with Opal Engineering, for the construction of a new 26,720 square foot multifamily townhome development located at 2730 Winterhaven Drive (Lot 1A, Block 61, Woodside Subdivision #15). The development consists of eight (8), two story, multifamily buildings, which includes sixteen (16) dwelling units in total.

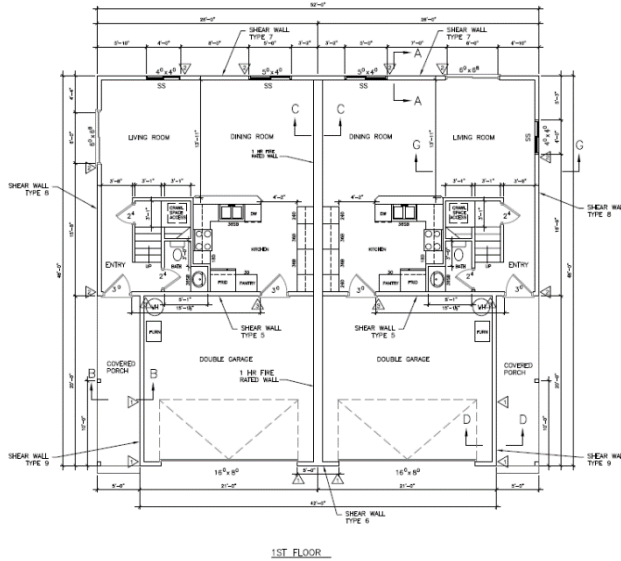
Hearing: August 19, 2024

Applicant: Frosty Acres, LLC, represented by Samantha Stahlnecker with Opal Engineering
Location: (Lot 1A, Block 61, Woodside Subdivision #15) (637 S. River Street)
Zoning/Size: Limited Business (LB); .15 acres (65,361 sq. ft.)

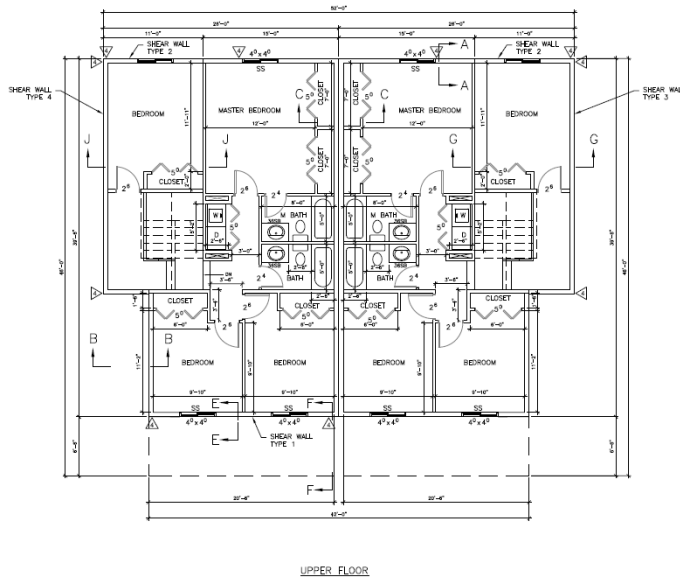
Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on July 31, 2024. No other notices were published, or mailings sent.

Application: The Applicant is proposing a new 26,720 square foot multifamily townhouse development, located at 2730 Winterhaven Drive (Lots 1A, Block 61, Woodside Subdivision #15) within the Limited Business (LB) Zoning District. This project is to be known as Rockridge Townhomes. More specifically, the proposed site plan entails eight (8), 3,340 square foot, two story multifamily buildings; each building contains two (2), 1,670 square foot residential dwelling units, for a total of sixteen (16) units within the development.

- Eight (8) townhomes
- Sixteen (16) residential dwelling units are approximately 1,670 square feet in size.
- Deck space approximately 100 square feet in size (per unit)
- 68 onsite parking spaces, located within the garages as well as the driveways, and additional parking between the buildings.
- **First Floor:**
 - Total living space: 676 square feet per unit
 - Living room, kitchen, dining room & bathroom
 - Double car garage
 - Covered porches



- **Second Floor:**
 - Total living space: 674 square feet per unit
 - 4 bedrooms, 2 bathrooms



Site access is located off the existing public street, Winterhaven Drive, via a new private drive. No parking or vehicular access is proposed from Parcel ZZ (Serenity Lane), as required and contemplated within the recorded Development Agreement.

Design Review Preapplication: On April 15, 2024, the Hailey Planning and Zoning Commission heard a Design Review Pre-Application for this project and made the following recommendations/suggestions:

1. Building Design, Materials, and Colors: Each multifamily building is proposed to be various shades of grays, Exterior materials incorporate both vertical and horizontal board and batten siding with 8” lap siding (horizontal features) along the lower portion of the garage entry. There is also an 8” horizontal belly band along the upper portion of the buildings. Undulation and visual interest are further enhanced by various sized windows and roof parapets with Black Architectural Asphalt shingles. **The Commission suggested incorporating a horizontal band feature to help break up the first and second floors, as well as the incorporation of different color schemes per duplex building to better define the units. The Commission further suggested the utilization of warmer colors, rather than just brown and grey. The Applicant provided warmer colors as suggested and noted on the plan set.**

2. Parking: Parking requirements for multifamily development projects require 1.5 spaces per unit unless the units are 1,000 square feet or less in size. As noted, there are a total of 16 residential units proposed, of which none of the units are 1,000 square feet in size or less. Each residential unit exceeds 1,000 square feet in size, thereby, the Applicant is required to provide 1.5 spaces per unit. With 16 units in total, and each required to provide 1.5 onsite parking spaces, 24 onsite parking spaces are required for the multifamily development. The Applicant has depicted a total of 32 parking spaces within the proposed garages. An additional parking space has been provided within the driveway/in front of the garages. The overall onsite parking provided exceeds the minimum requirement for onsite parking. **The Commission requested that the Applicant consider providing an additional parking area(s) adjacent to the four-bedroom units. This parking area has been provided as shown on the attached plan set.**

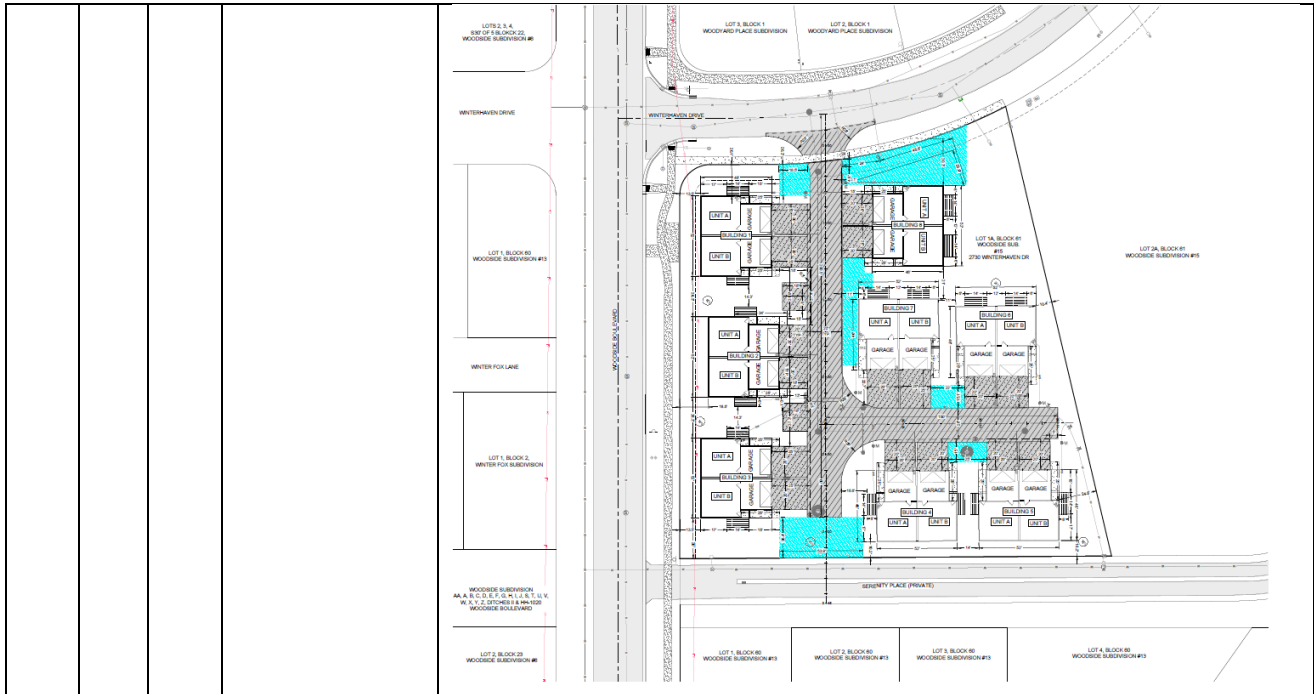
3. Usable Open and/or Park Space. Pursuant to the Development Agreement, a total of 1.14 acres of park space and improvements shall be provided, proportionately across each lot. Prior to the issuance of the first building permit for any dwelling on any lot, the Owner(s) of Lots 1A, 2A, and 3A shall provide park space for each lot as described, plus any other improvements required pursuant Hailey’s Municipal Code. For Lot 1A, the following park requirement shall be met. **Per the Development Agreement, Lot 1A shall provide forty-two hundredths (0.42) acre of park space for the subdivision, or a park in-lieu fee paid. The Applicant and Staff have agreed that a park in-lieu fee would be most appropriate. The Applicant shall provide a cost estimate for the proposed park space of forty- two hundredths (0.42) acre prior to the issuance of a Certificate of Occupancy. All estimates and fees are subject to review and approval by the City Engineer. This has been made a Condition of Approval.**

Procedural History: The Application was submitted on July 18, 2024, and certified complete on July 30, 2024. A public hearing for the project was scheduled before the Planning and Zoning Commission on August 19, 2024, in the Council Chambers and virtually via Microsoft Teams, in the Hailey City Council Chambers and virtually via GoTo Meeting.

General Requirements for all Design Review Applications	
Compliant	Standards and Staff Comments

Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>All codes (Municipal, Building, Fire, and Energy) shall be met.</i>
				Water and Sewer:
				Building: <i>No comments</i>
			Streets, Landscaping, Other: <i>Concrete specifications shall be called out on the plans for right-of-way sidewalks. City Standards for traffic and street signs shall also be met. The Applicant shall also install a winter parking restriction sign along Winterhaven Drive.</i>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: <i>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</i>
			Staff Comments	<i>N/A, no signage is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			Staff Comments	<i>The proposed project is located within the Limited Business (LB) Zoning District. The Hailey Municipal Code requires a minimum of one and a half (1.5) parking spaces per multifamily units that are larger than 1,000 sq. ft. in size. The project proposes a total of sixteen (16), 1,670 sq. ft. residential units, thereby requiring that at least twenty-four (24) onsite parking spaces be provided. The project exceeds the parking requirements by proposing a total of 32+ onsite parking spaces to be located within the garages, driveways and an extra two (2) parking pads.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		17.09.040.06: EXCESS OF PERMITTED PARKING: A. Approval Required: <i>No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</i> <i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.

				<p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing downcast, LED, square cylinder, dark sky compliant fixtures. Cut sheets are attached. The proposed fixtures are to be located at the front & rear of each townhouse building.</i></p> <div style="text-align: center;">  </div>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	<p>Zoning District: Limited Business (LB) Maximum Height: 35'</p> <ul style="list-style-type: none"> - Front Yard: 20 - Side Yards: 10 - Side Yard 10 - Rear Yard: 10 - Lot Coverage: No maximum
			<i>Staff Comments</i>	<p><i>Zoning District(s): Limited Business (LB)</i> <i>Proposed Height: 25'-8"</i> <i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> - Front: 20.1 feet - Rear: 10.2 feet - Side (East): 10.4 feet - Side (West) Corner Lot- 13.5'. Where the required front yard setback exceeds the side yard setback in the zoning district in which a lot is located, the side yard setback along the street of a normal corner lot (not reverse corner lot) shall be not less than two-thirds (2/3) the front yard setback requirement.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing to install a new five foot (5') wide sidewalk along the property frontage of Winterhaven Drive connecting to the existing sidewalk along Woodside Blvd. The sidewalk shall be installed, per City Standards, prior to issuance of a Certificate of Occupancy for the last remaining building. This has been made a Condition of Approval.</i></p>



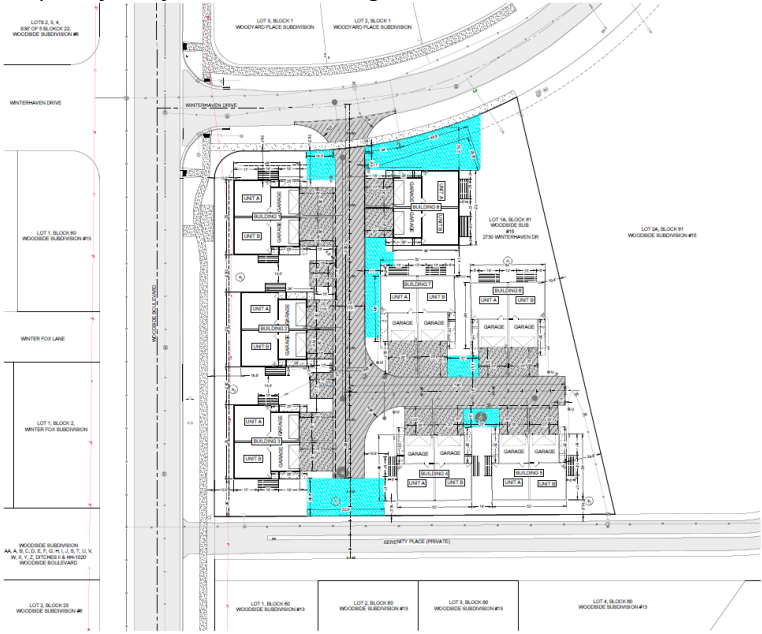
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			<i>Staff Comments</i>	<i>N/A - No alley access is proposed.</i>

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

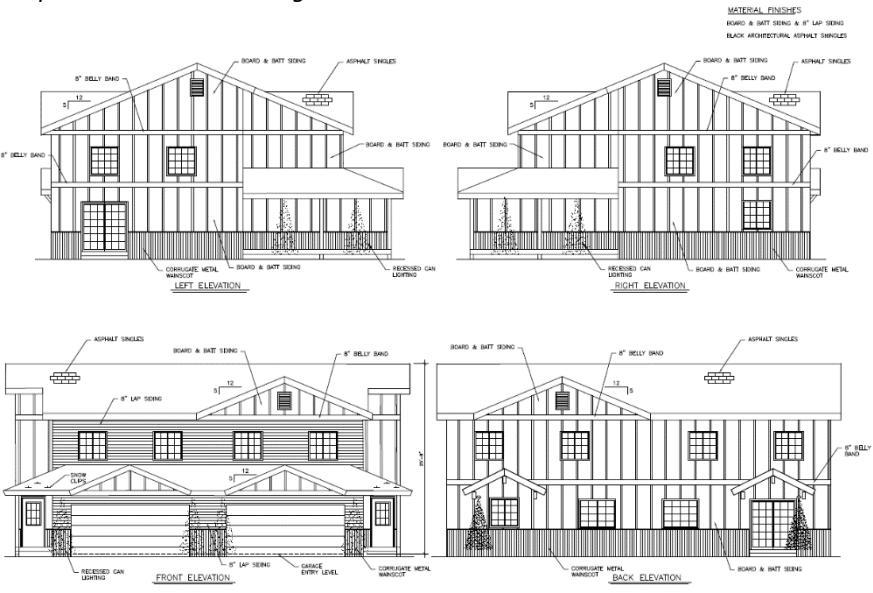
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.
			<i>Staff Comments</i>	<i>The proposed multifamily project follows the general grid pattern of the Woodside Subdivision. The townhomes are oriented both north/south and east/west on the lot. Sun exposure is created by the separation of the units as well as the proposed landscaped open space for residents.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.

			<i>Staff Comments</i>	<i>N/A, as the site does not contain any existing mature landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.
			<i>Staff Comments</i>	<i>The proposed site circulation has been designed to keep vehicular traffic access and onsite parking to the private access lane off of Winterhaven Drive. The onsite driveways and paver walkway lead to the entryways of each unit providing safe and convenient access. The proposed sidewalk along Winterhaven Drive will connect to the existing sidewalk along Woodside Blvd providing safe access and sufficient circulation to the parcel, as well as the greater surrounding area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.
			<i>Staff Comments</i>	<i>Each unit will have individual trash cans and recycle containers, which will be walked to the curb along Winterhaven Drive for weekly pickup. A letter from Clear Creek Disposal shall be provided commenting on the adequacy of the proposed use of individual trash receptacles, their locations during weekly refuse removal, and their accessibility of. This has been made Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			<i>Staff Comments</i>	<i>N/A -There is no existing alley to be utilized for building services.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	<i>N/A- No vending machines are proposed with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.) i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			<i>Staff Comments</i>	<i>All onsite parking is proposed to be located within the garages, the proposed driveways, as well as the extra parking pads and will be accessed via a private entrance located off Winterhaven Drive.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.02	Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas: a. Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12'.
			<i>Staff Comments</i>	<i>N/A, as the proposed use is residential.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p> <p><i>Staff Comments</i> N/A, there is no existing alley, nor is one proposed. The site and onsite parking area can be accessed via the private drive off Winterhaven Drive.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p>i. Snow storage areas shall be provided on-site as follows: where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p> <p><i>Staff Comments</i> Onsite snow storage areas are proposed for this parcel in the amount of 5,482 square feet, including the access aisles and driveways.</p> <p>The improved hardscape for the project is 16,062 square feet which requires 4,016 square feet of snow storage. The Applicant exceeds this requirement with 5,482 square feet of onsite snow storage.</p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p>

			Staff Comments	Any landscaped areas where snow may be stored is proposed to be landscaped with grass only.
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2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p>a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.</p> <p><i>Staff Comments</i> The proposal is for eight (8), two-story townhouse buildings, comprising of sixteen (16) residential units. A variety of homes, single family and multifamily exist nearby, and within the greater Woodside Subdivision. The layout of the individual housing units, the articulation of the rooflines, and the materials complement the surrounding area.</p> 
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	<p>b. Standardized corporate building designs are prohibited.</p> <p><i>Staff Comments</i> N/A, as the proposed building design is not a standardized corporate building design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p> <p><i>Staff Comments</i> The proposed design, layout, and separation of the units, open space areas, and various exterior materials emphasize human scale, are pedestrian oriented and encourage human activity.</p> <p>A variety of landscaping and plant material will also be utilized, which further encourages human activity and interaction. These include trees, grasses, shrubs, and ground cover to soften the visual impact. Please refer to Section 17.06.080(A)4d for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p>

			Staff Comments	<i>Various materials and a horizontal band feature have been incorporated along the back elevation, which is visible from Woodside Boulevard, to reduce building mass and large building surfaces. The front elevation wall mass is broken up by various siding materials, various sized windows, and roof parapets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			Staff Comments	<i>N/A, as no expansion is planned at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.
			Staff Comments	<i>A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			Staff Comments	<p><i>Building colors are shown on the elevations. Colors are broken up on various buildings to help break up mass and be harmonious with other neighboring buildings. Please refer to Section 17.06.080(A)2d above for further detail.</i></p> <p><i>Building 1: Vertical Board & Batten 8” Lap- Kendall Charcoal (166) with same color trim, Black windows & Black shingles, Light Gray front door & Winchester Gray Trex deck</i></p> <p><i>Building 2: Vertical Board & Batten 8” Lap- Snowbound (7004) with Light French Gray trim, White windows & Black shingles, Light French Gray front door & Winchester Gray Trex deck</i></p> <p><i>Building 3: Vertical Board & Batten 8” Lap- Kingsport Gray (HC-86) with same trim and White windows, Black shingles, Revere Pewter front door & Winchester Gray Trex deck</i></p> <p><i>Building 4: Vertical Board & Batten 8” Lap- Revere Pewter (HC-172) with same trim and Black windows & shingles, Snowbound front door & Winchester Gray Trex deck</i></p> <p><i>Building 5: Vertical Board & Batten 8” Lap- Kendall Charcoal (HC-166) with same trim and Black windows & shingles, Light French Gray front door & Winchester Gray Trex deck</i></p> <p><i>Building 6: Vertical Board & Batten 8” Lap- Light French Gray (0055) with Kendall Charcoal trim, Black windows & shingles, Kendall Charcoal front door & Winchester Gray Trex deck</i></p> <p><i>Building 7: Vertical Board & Batten 8” Lap- Kingsport Gray (HC-86) with same trim, White windows & Black shingles, Griffin (7026) front door & Winchester Gray Trex deck</i></p> <p><i>Budling 8: Vertical Board & Batten 8” Lap- Snowbound (7004) with Light French Gray trim, White windows & Black shingles, Light French Gray door & Winchester Gray Trex deck</i></p>

				<ul style="list-style-type: none"> - All windows will be double glazed - All windows will have low emissivity - Low Energy consumption of 200 amps per unit
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			<i>Staff Comments</i>	<i>The front and rear pedestrian entrances have covered porches, as well as snow clips which will retain snow and keep pedestrian access points clear.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	<i>Downspouts from the building appear to be routed underground to a drywell. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only, and not onto pedestrian and hardscape locations.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	<i>NA, as no drive-through canopies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	<i>N/A, as a Master Signage Plan is not required of a single-tenant building.</i>

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>N/A - No Accessory Structure is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>N/A - No Accessory Structure is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>N/A - No Accessory structure is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>A six foot (6') tall cedar fence is proposed on three (3) of the property lines, excluding Winterhaven Drive. Further restrictions may apply to fencing along corners. A Fence Permit shall be applied for prior to installation. Further review of fence location and height will be reviewed by Staff at the time of permit submittal. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>N/A, as no roof-mounted mechanical equipment is proposed with this project; however, if so, all roof projections shall be screened from view of onsite parking, adjacent public streets, and adjacent properties.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A, as no alternative energy sources are proposed with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>All service lines into the property shall be installed underground and no service equipment shall be placed on utility poles. All trash receptacles are proposed to be kept in the garages and taken out to the curb for pick up.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	h. All service lines into the subject property shall be installed underground
			<i>Staff Comments</i>	<i>All service lines shall be installed underground. City Staff requests that, if applicable, transformer locations be shown on the Building Permit drawings.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	i. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>N/A, as no additional appurtenances are proposed.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<p><i>Drought tolerant native compatible plant materials are proposed. The Applicant is proposing native grass and road mix along the perimeter of the lot while keeping more of the maintained grasses within the interior of the lot. The following onsite landscaping is proposed:</i></p> <p><i>Trees (45 total trees):</i></p> <ul style="list-style-type: none"> - 9 Evergreen Trees 8"-10' or 3 caliper - 5 Deciduous Washington Hawthorn at 2,5" Caliper - 15 Small Evergreen Trees- Rocky Mountain Juniper, Bristlecone Pine and Rotrata Pine - at 6' or 1.5" caliper - 16 Street Trees 2.5 Caliper <ul style="list-style-type: none"> o 6- Norway Maple Trees o 5 Thornless Honeylocust Trees o 5 Amur Chokecherry Trees <p><i>Shrubs (115 total shrubs):</i></p> <ul style="list-style-type: none"> - 30 Ashleaf Spirea, Neon Burst Dogwood at 5 Gallon - 85 Perking Contoneater, Diablo Ninebark, Snowmound Spires, Tor Birchleaf Spirea, Common Snowberry at 5 Gallon <p><i>Groundcovers, Grasses, and Perennials (186 total groundcovers and perennials, 26,000 Sq. ft. grasses): 1 Gallon</i></p> <ul style="list-style-type: none"> - Ornamental Grasses <ul style="list-style-type: none"> o Reed Grass, Flam Grass, Blue Oat Grass, Black Eye Susan, - Perennials <ul style="list-style-type: none"> o Lavendar and Salvia <p><i>While appreciative of the thoughtful and interesting plant materials proposed, the proposed 15 Small Evergreen Trees; Rocky Mountain Juniper, Bristlecone Pine</i></p>

and *Rotrata Pine* - at 1.5" caliper do not meet City requirements, as outlined 17.06.080(A)4d. The landscaping plan shall be amended to reflect the increase in caliper size. This has been made a Condition of Approval.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>Plant materials will be appropriate for the Zone 4 environment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>It appears a drip irrigation system will be installed according to City Standards. The automatically controlled system should include a smart controller and rain sensor for a water-wise system. The system is to be installed at the base of all plantings and trees. The irrigation systems shall not be placed against the pavement; they shall be positioned in a way where they will not spray water on the pavement or other hard-scape areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½"). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.
			<i>Staff Comments</i>	<i>Proposed landscaping is varied. A combination of trees, shrubs, groundcover, grasses and perennials will be utilized to soften the site, as well as create visual</i>

				<i>interest. While varied, the proposed Small Evergreen trees, Rocky Mountain Juniper, Bristlecone Pine and Rotrata Pine (15 in total) do not meet the minimum caliper size of 2.5". The Applicant shall revise the landscaping plan and illustrate compliance with City Standards. The newly revised landscaping plan shall be submitted prior to issuance of a Building Permit. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	<i>N/A, as this parcel is not located within the LI or SCI Zoning District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>N/A, as this parcel is not located in the B, LB, TN, SCI-O Zoning districts.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>Storm water runoff is located within the landscaping beds, turf area, and/or drywells, as shown on the civil plans.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>The Applicant shall be responsible for maintaining plant material in a healthy condition. Plants were chosen for reduced maintenance, drought tolerance and ability to thrive in conditions on-site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>
Additional Design Review Requirements for Multifamily Buildings within the City of Hailey				
1. Site Planning: 17.06.080 (D) 1, items (a) thru (c)				

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	<p>a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.</p> <p><i>Staff Comments</i> The proposed building complements the surrounding area and adjacent uses. The proposed residential use is within the Limited Business (LB) Zoning District.</p> <p><i>Integration of the buildings into the surrounding site and landscape is an imperative facet of the project. As such, a variety of landscaping and features provide screening for both residents and neighbors alike.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	<p>b. Site plans shall include a convenient, attractive, and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.</p> <p><i>Staff Comments</i> The Applicant is proposing to install a new five foot (5') wide sidewalk along the property frontage of Winterhaven Drive connecting to the existing sidewalk along Woodside Blvd.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	<p>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</p> <p><i>Staff Comments</i> To ensure safe pedestrian access through the site as well as site maintenance, the Applicant has proposed to pave the site. The proposed site circulation has been designed to keep vehicular traffic access and onsite parking to the private access lane off of Winterhaven Drive. The onsite driveways and paver walkway lead to the entryways of each unit, providing safe and convenient access. The proposed sidewalk will connect to the existing sidewalks providing safe access and sufficient circulation. There is a small, natural gathering space proposed for the residents of the units, the exterior open space encourages people to connect and enjoy the outdoors while reflecting on the curated surrounding land.</p>

2. Building Design: 17.06.080 (D) 2, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</p> <p><i>Staff Comments</i> The proposed building design provides a design that responds to the varying character of the city.</p> <ul style="list-style-type: none"> - The design of the building reflects the evolving style of Hailey. Importance has been placed on restrained and familiarity of the past and the warmth and nuance of contemporary design. - The proposed landscaping plan further separates the building from less intensive uses. <p><i>The proposed residential use is located within the Limited Business (LB) Zoning Districts. This multifamily project creates a natural transition from single family use to higher-density residential use.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</p> <p><i>Staff Comments</i> The buildings achieve human scale by prominent entrances, site circulation connections and various exterior materials. The landscaping also maximizes</p>

				<i>human scale with the various trees, shrubs, groundcovers, grasses, and perennials, as proposed provides screening for both residents and neighbors.</i>
3. Parks, Pathways and other Green Space: 16.04.110 (D) (G)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.110 (D)	<p>D. Minimum Requirements: Private Green Space or Common Open Space: Use and maintenance of any privately owned green or common open space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council. Common open space in a cottage development shall serve only the occupants of the development in which it is located and shall meet the requirements of subsection 16.04.110D3: Minipark, as well as subsection 17.06.080F: Design Standards, Cottage Development.</p> <p><i>Staff Comments</i> Pursuant the Development Agreement, Lot 1A shall provide forty-two hundredths (0.42) acre of park space for the subdivision, or pay a park in-lieu fee</p> <p><i>The Applicant and Staff have agreed that a park in-lieu fee would be most appropriate. The Applicant shall provide a cost estimate for the proposed park space of forty- two hundredths (0.42) acre prior to the issuance of a Certificate of Occupancy. All estimates and fees are subject to review and approval by the City Engineer. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p>G. Specific Green Space and Common Open Space Standards: If green space is required or offered as part of a subdivision, townhouse, cottage, or condominium developments, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting 1 or more of the criteria):</p> <p>1. Shall meet the minimum applicable requirements required by subsection D of this section. 2. Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent green space (both existing and potential future space).3. The use of the private green space shall be restricted to parks, pathways, trails or other recreational purposes, unless otherwise allowed by the city.4. The private ownership and maintenance of green space shall be adequately provided for by written agreement.</p> <p><i>Staff Comments</i> Per the Development Agreement, Lot 1A shall provide forty-two hundredths (0.42) acre of park space.</p> <p><i>The Applicant and Staff have agreed that a park in-lieu fee would be most appropriate. The Applicant shall provide a cost estimate for the proposed park space of forty- two hundredths (0.42) acre prior to the issuance of a Certificate of Occupancy. All estimates and fees are subject to review and approval by the City Engineer. This has been made a Condition of Approval.</i></p>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.**

- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing, and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following Conditions are placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
 - i. **Life and Safety:**
 - i. The building shall comply with IFC and IBC code requirements.
 - ii. **Water and Wastewater:**
 - i. All construction shall be to City Standards.
 - iii. **Streets:**
 - i. Final design and construction plans shall be to City Standards.
 - ii. Concrete specifications shall be called out on the plans set for right-of-way sidewalks.
 - iii. City Standards for traffic and street signs shall also be met.

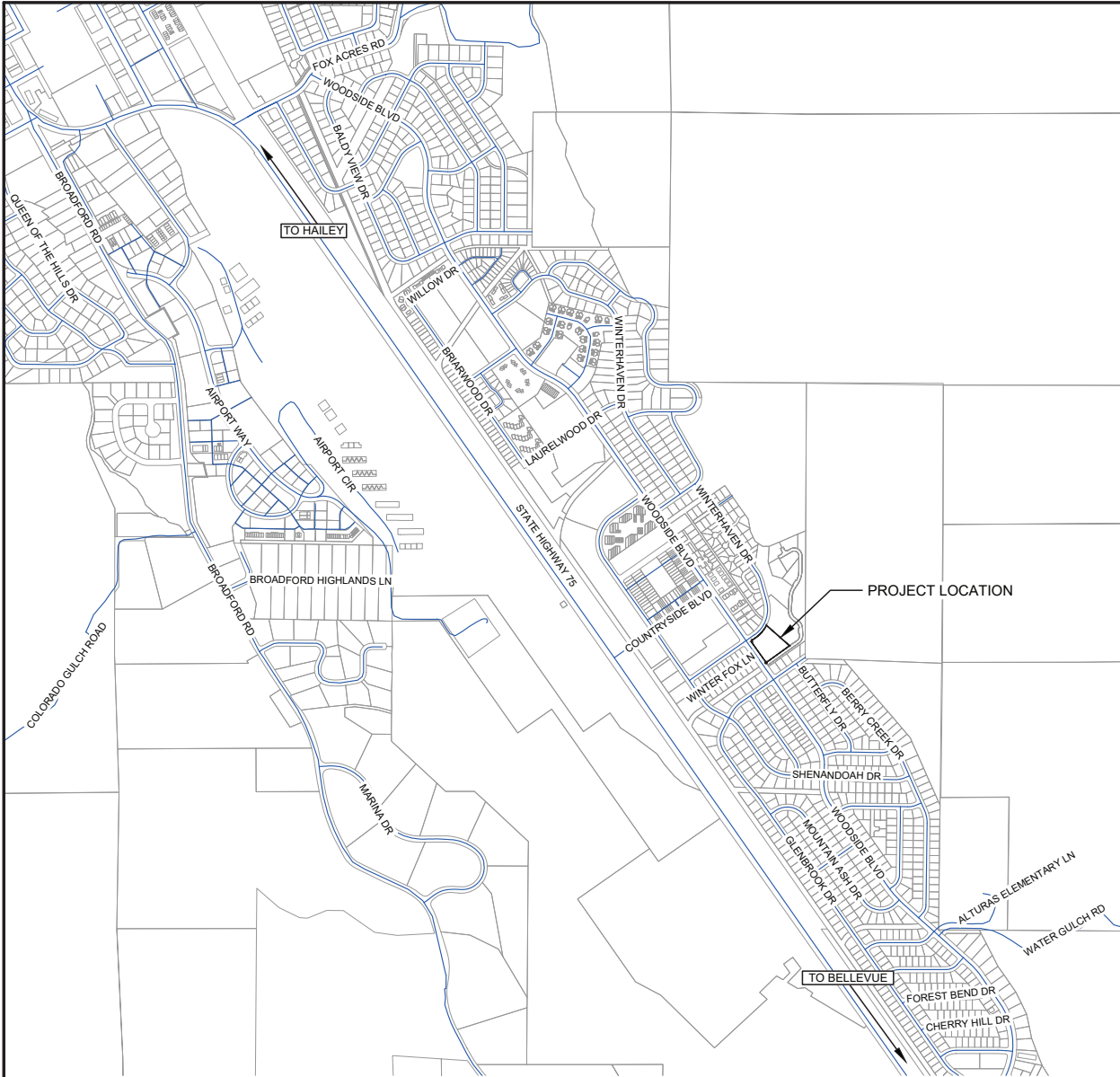
- iv. The Applicant shall install a winter parking restriction sign along Winterhaven Drive.
- d) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.
- e) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning and Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) All exterior lighting shall comply with the Outdoor Lighting Ordinance.
- i) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- j) A letter from Clear Creek Disposal shall be provided commenting on the adequacy of the proposed use of individual trash receptacles, their locations during weekly refuse removal, and their accessibility of.
- k) All ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- l) The Applicant shall amend the landscaping plan to increase the caliper size of all trees to two-and-one-half inches (2 ½”).
- m) The proposed five foot (5') wide sidewalk along the property frontage of Winterhaven Drive shall be installed prior to the issuance of a Certificate of Occupancy.
- n) The Applicant shall provide a cost estimate for the proposed 0.42 acres of required park space, and associated improvements, prior to the issuance of a Certificate of Occupancy. All estimates and fees are subject to review and approval by the City Engineer.
- o) A Fence Permit shall be applied for prior to installation. Further review of fence location and height will be reviewed by Staff at the time of permit submittal.

Motion Language:

Approval: Motion to approve the Design Review Application submitted by Frosty Acres, LLC, for the construction of a new 26,720 square foot multifamily townhome development located at 2730 Winterhaven Drive (Lot 1A, Block 61, Woodside Subdivision #15), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 18, and City Standards, provided conditions (a) through (o) are met.

Denial: Motion to deny the Design Review Application submitted by Frosty Acres, LLC, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to_____ [Commission should specify a date].



NOTE:
 PROPERTY BOUNDARIES SHOWN HEREON
 ARE APPROXIMATE PER BLAINE COUNTY GIS.

LEGEND:
 ——— PROPERTY BOUNDARY PER
 BLAINE COUNTY GIS
 ——— ADJOINING PROPERTY BOUNDARY
 PER BLAINE COUNTY GIS
 ——— ROADS PER BLAINE COUNTY GIS

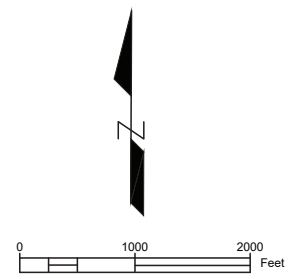


EXHIBIT ONLY
NOT FOR
CONSTRUCTION



OPAL ENGINEERING, PLLC
 PO BOX 2530, HAILEY, ID 83333
 WWW.OPAL-ENGINEERING.COM

VICINITY MAP EXHIBIT

BRADLEY WINTERHAVEN
 PREPARED FOR FROSTY ACRES, LLC

22028
 PROJECT NUMBER

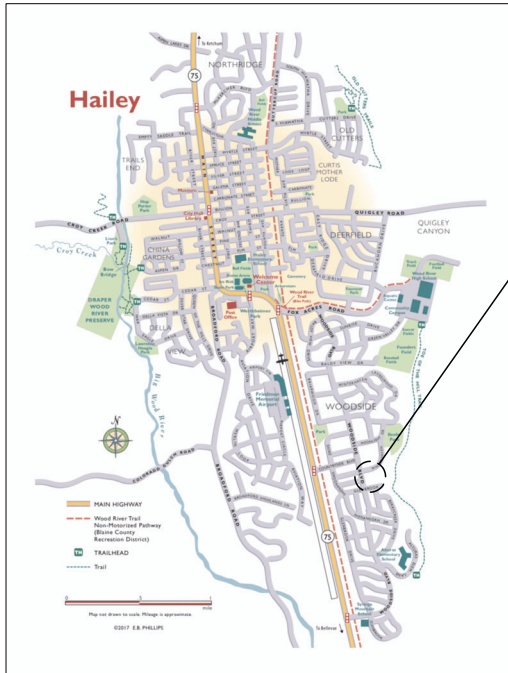
EX

ROCKRIDGE TOWNHOMES

2730 WINTERHAVEN DRIVE

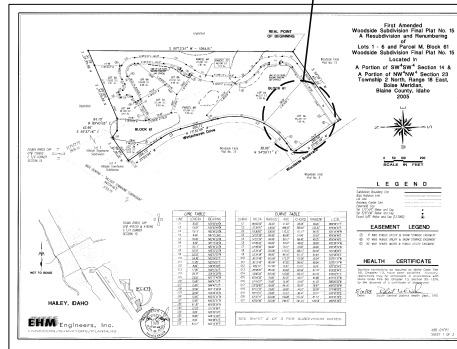
LOT 1A, BLOCK 61

WOODSIDE #15 SUBDIVISION



VICINITY MAP
SCALE: NONE

2730 Winterhaven Drive
Lot 1A, Block 61, Woodside #15 Subdivision
Hailey, Idaho



SUBDIVISION MAP
SCALE: NONE

OWNER INFORMATION

Bradley Construction North INC.
PO Box 41
Hailey, Idaho 83333
(208) 481-2209
Email: bradleyconst@cox.net

PROJECT INFORMATION

LEGAL DESCRIPTION:	
LOT AREA:	1.50 Acre 65,361 sq ft
area per unit	
GARAGE/STORAGE	420 SQ. FT.
LIVEABLE	1250 SQ. FT.
NEW DECKS	100 SQ. FT.
area per townhouse	
GARAGE/STORAGE	840 SQ. FT.
LIVEABLE	2500 SQ. FT.
NEW DECKS	200 SQ. FT.

CONSULTANTS

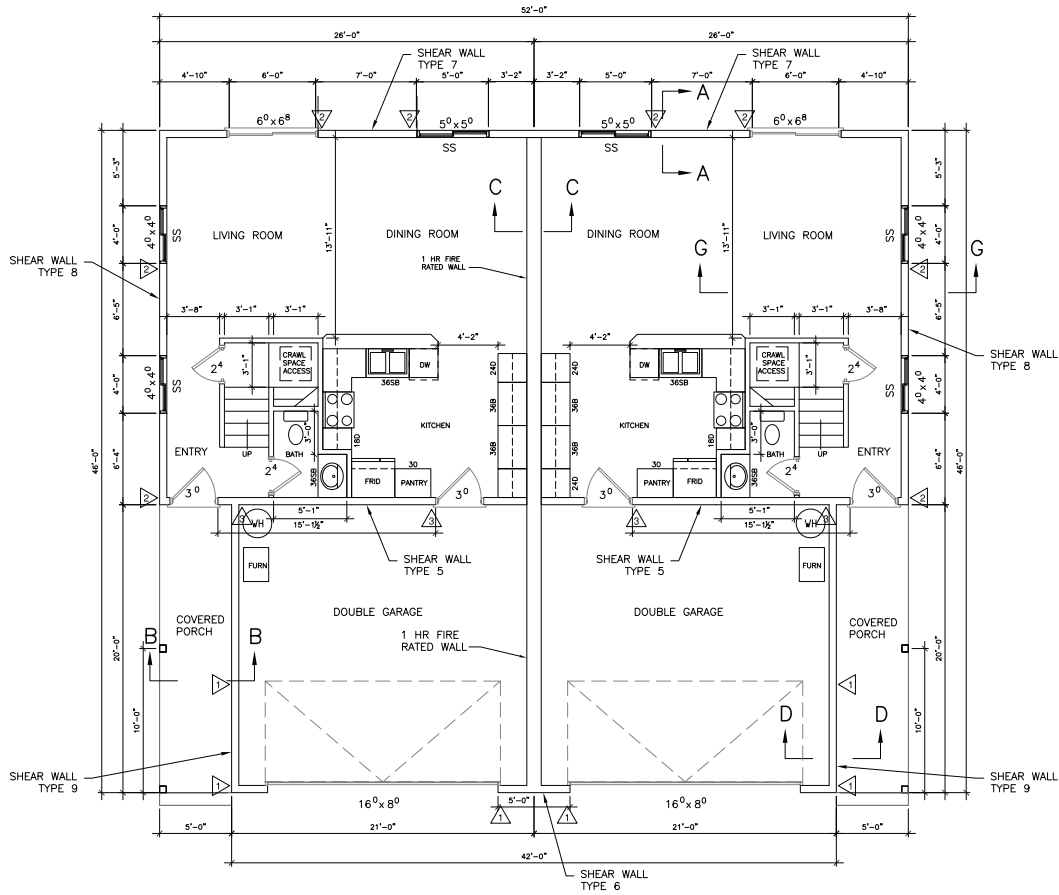
OWNER
Bradley Construction North INC.
PO Box 41
Hailey, Idaho 83333
(208) 481-2209
Email: bradleyconst@cox.net

STRUCTURAL ENGINEER:
GREG YARLOTT
SELKIRKDESIGN@GMAIL.COM

BUILDER:
Bradley Construction North INC.
PO Box 41
Hailey, Idaho 83333
(208) 481-2209
Email: bradleyconst@cox.net

NO.	DESCRIPTION
A0	COVER SHEET, PROJECT DATA, VICINITY MAP
A1	FIRST FLOOR PLAN
A2	SECOND FLOOR PLAN
A3A	ELEVATIONS
A3B	ELEVATIONS
A4	FOUNDATION PLAN
A5	SECTIONS
A6	DETAILS
A7	FRAMING PLAN
A8	NOTES
A9	STRUCTURAL DETAILS

REVISION	0	DATE	04/09/24	FLOOR PLAN	A1
SCALE: 1/4"=1'-0"			ROCKRIDGE TOWNHOMES, TYPE 1		
2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61			WOODSIDE # 15 SUBDIVISION, HAILEY, ID		
BRADLEY CONSTRUCTION					
JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333					
PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209					



1ST FLOOR

PER DUPLEX

1ST FLOOR = 676 SQFT
 GARAGE = 420 SQFT

PER BUILDING

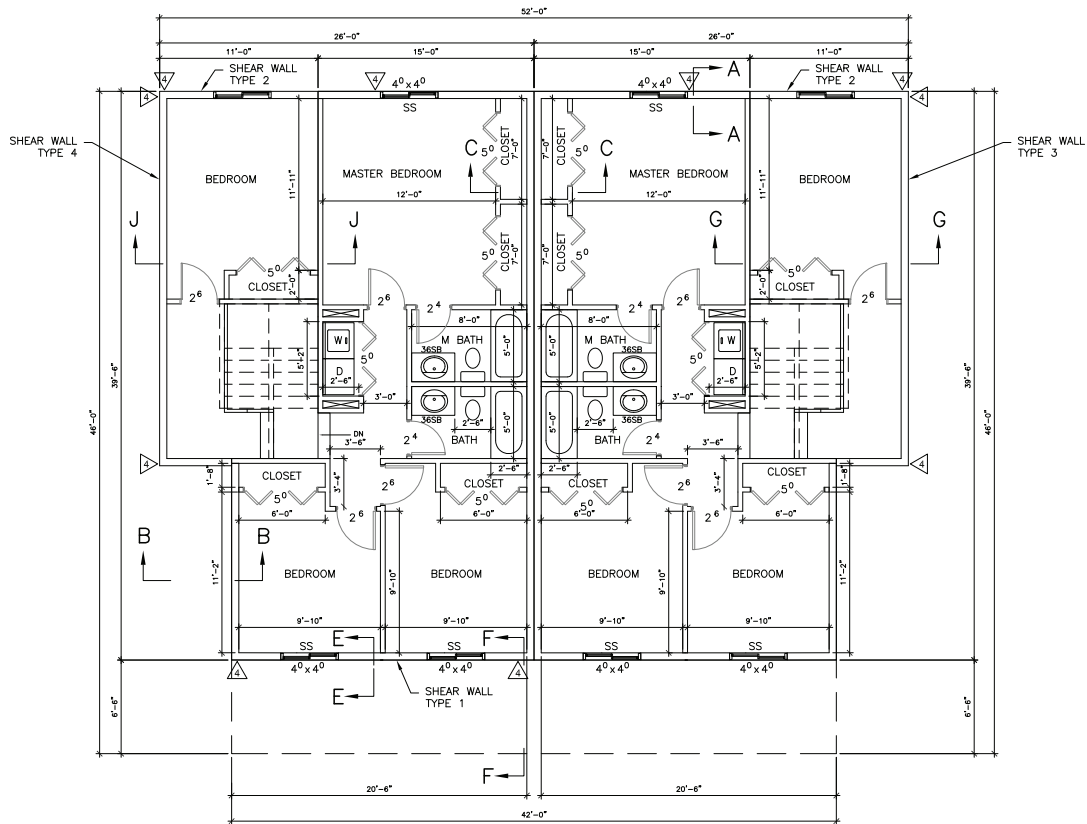
1ST FLOOR = 1252 SQFT
 GARAGE = 840 SQFT

NOTES

1. EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C. WITH 5 1/8" x9 GLB HEADERS.(U.N.O.)
2. ALL INTERIOR WALLS SHALL BE 2x4 AT 16" O.C. UNLESS OTHERWISE NOTED.
3. ALL SMOKE DETECTORS SHALL BE DIRECT-WIRED WITH BATTERY BACK-UP TYPICAL OF 8.
4. PROVIDE FROST-FREE HOSE BIBS FOR FRONT AND REAR OF EACH SIDE OF DUPLEX.
5. PROVIDE A 1 3/8" SOLID DOOR WITH SELF CLOSING HINGES BETWEEN GARAGE AND KITCHEN.
6. PROVIDE 1 HR FIRE RATED WALL BETWEEN EACH DUPLEX
7. STITCH ALL STUD BUNDLES TOGETHER WITH (2) 16d COMMON @ 16" O.C. MAX ATTACH SHEATHING TO EACH STUD W/ 8d @8" O.C.
8. TYPICAL HEADER SUPPORTS ARE (1) TRIMMER W/ KING STUD U.N.O.
9. SEE DRAWING AB FOR NOTES.



REVISION	0	DATE	04/09/24	PROJECT
FLOOR PLAN	A1	SCALE	1/4"=1'-0"	
ROCKRIDGE TOWNHOMES, TYPE 1 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61 WOODSIDE # 15 SUBDIVISION, HAILEY, ID				BRADLEY CONSTRUCTION JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333 PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209



UPPER FLOOR

PER DUPLEX

UPPER FLOOR = 674 SQFT

PER BUILDING

UPPER FLOOR = 1248 SQFT

NOTES

1. EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C. WITH 5 1/2"x9 GLB HEADERS.(U.N.O.)
2. ALL INTERIOR WALLS SHALL BE 2x4 AT 16" O.C. UNLESS OTHERWISE NOTED.
3. ALL SMOKE DETECTORS SHALL BE DIRECT-WIRED WITH BATTERY BACK-UP.



BRADLEY CONSTRUCTION

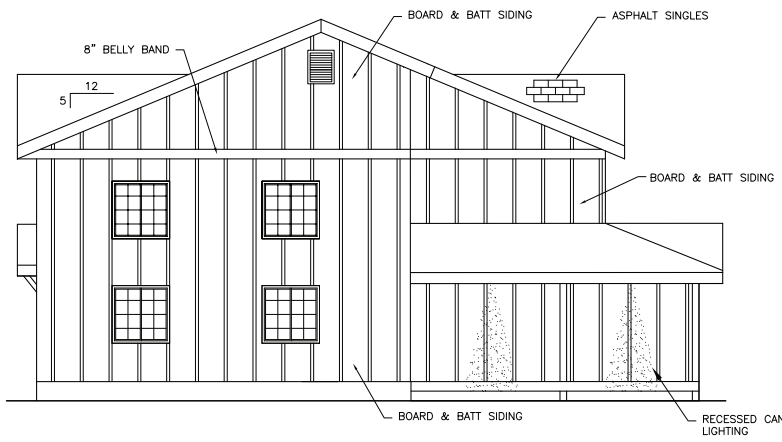
JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
 PHONE: 788-3008 FAX 788-2801 CELL: 481-2209

ROCKRIDGE TOWNHOMES, TYPE I
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HAILEY, ID

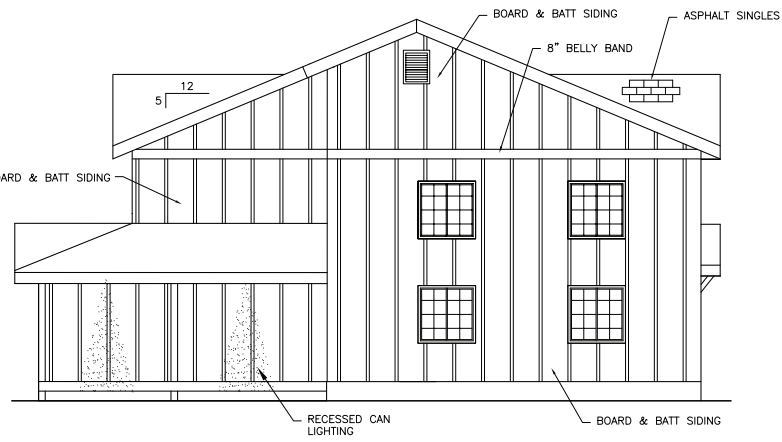
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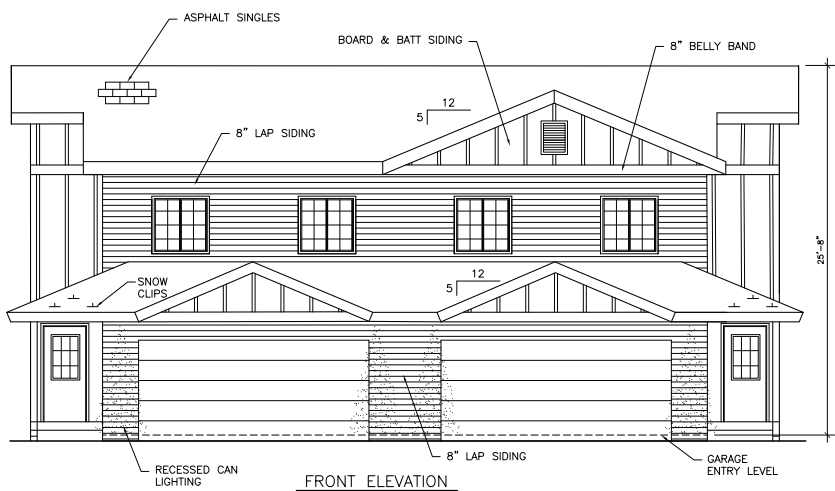
MATERIAL FINISHES
 BOARD & BATT SIDING & 8" LAP SIDING
 BLACK ARCHITECTURAL ASPHALT SHINGLES



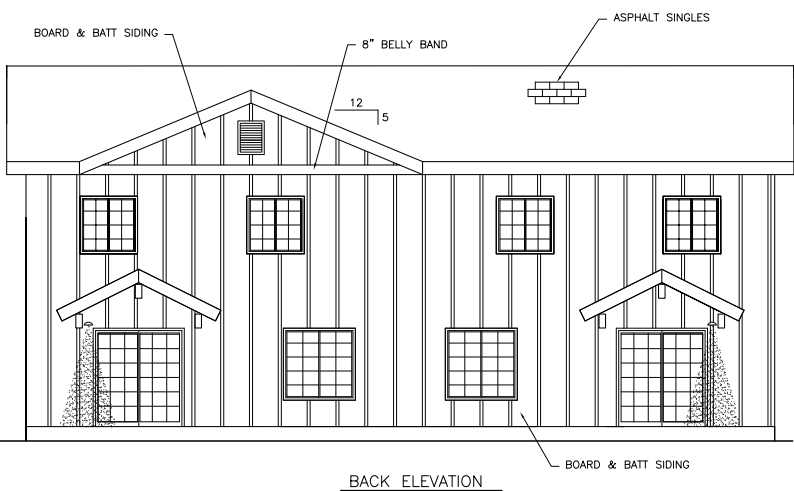
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

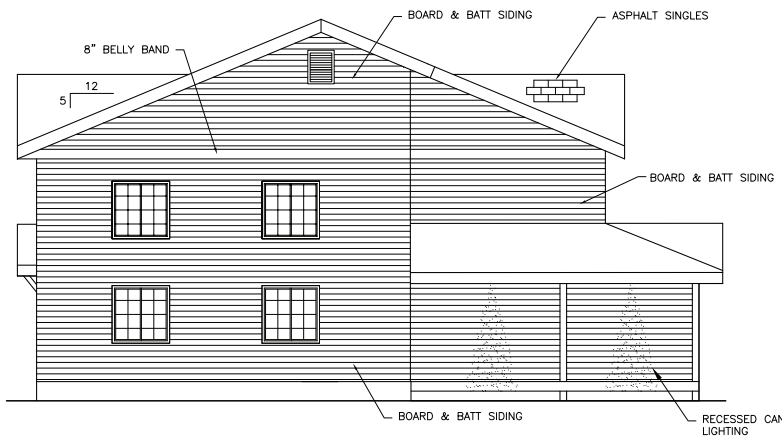
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	DATE	04/09/24
	SCALE	1/4"=1'-0"
		ELEVATIONS

ROCKRIDGE TOWNHOMES, TYPE 1
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HAILEY, ID

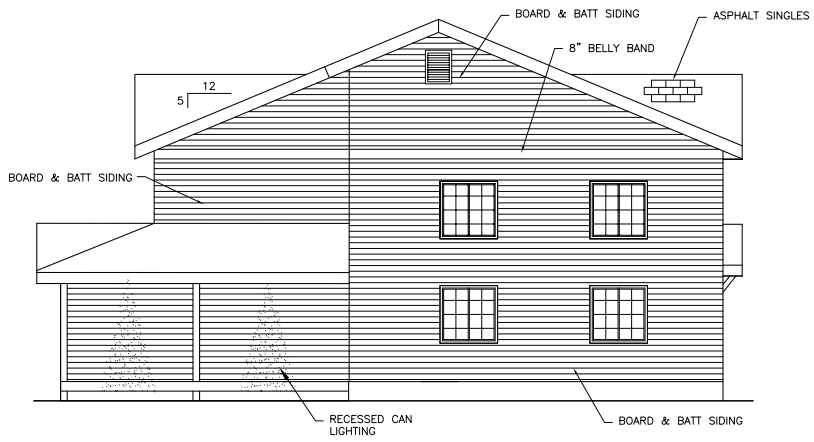
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
 PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209



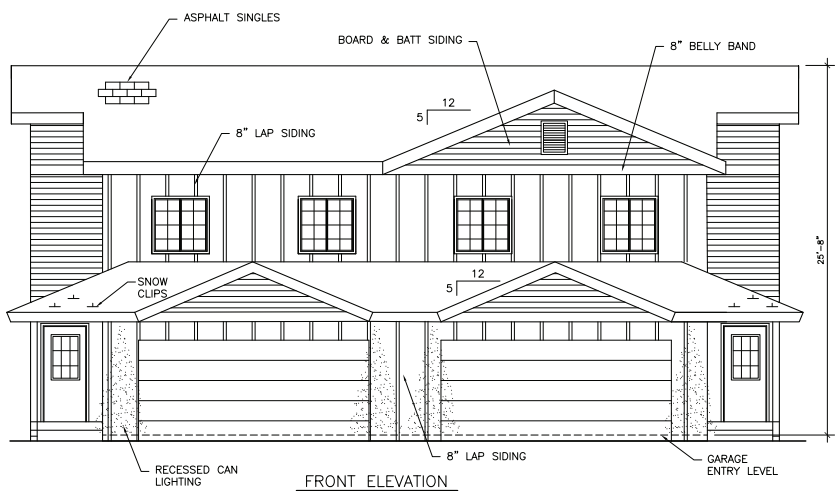
MATERIAL FINISHES
 BOARD & BATT SIDING & 8" LAP SIDING
 BLACK ARCHITECTURAL ASPHALT SHINGLES



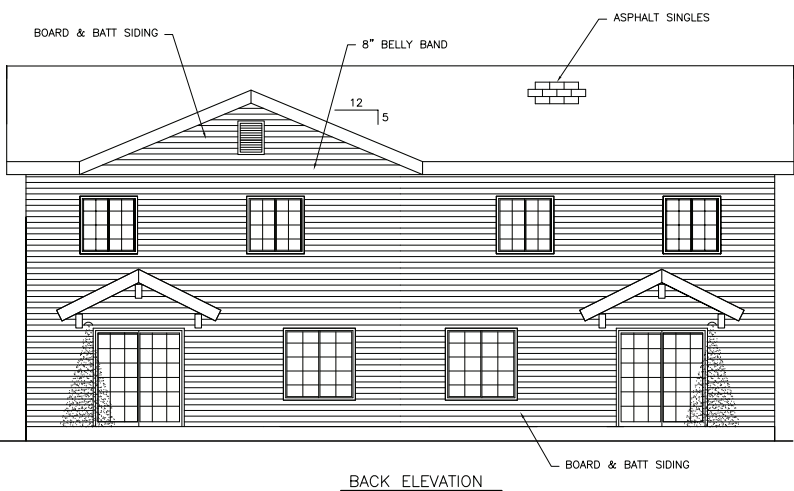
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

SIDING OPTION B

DATE	04/09/24
REVISION	0
SCALE	1/4"=1'-0"
ELEVATIONS	A3B

ROCKRIDGE TOWNHOMES, TYPE 1
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HAILEY, ID

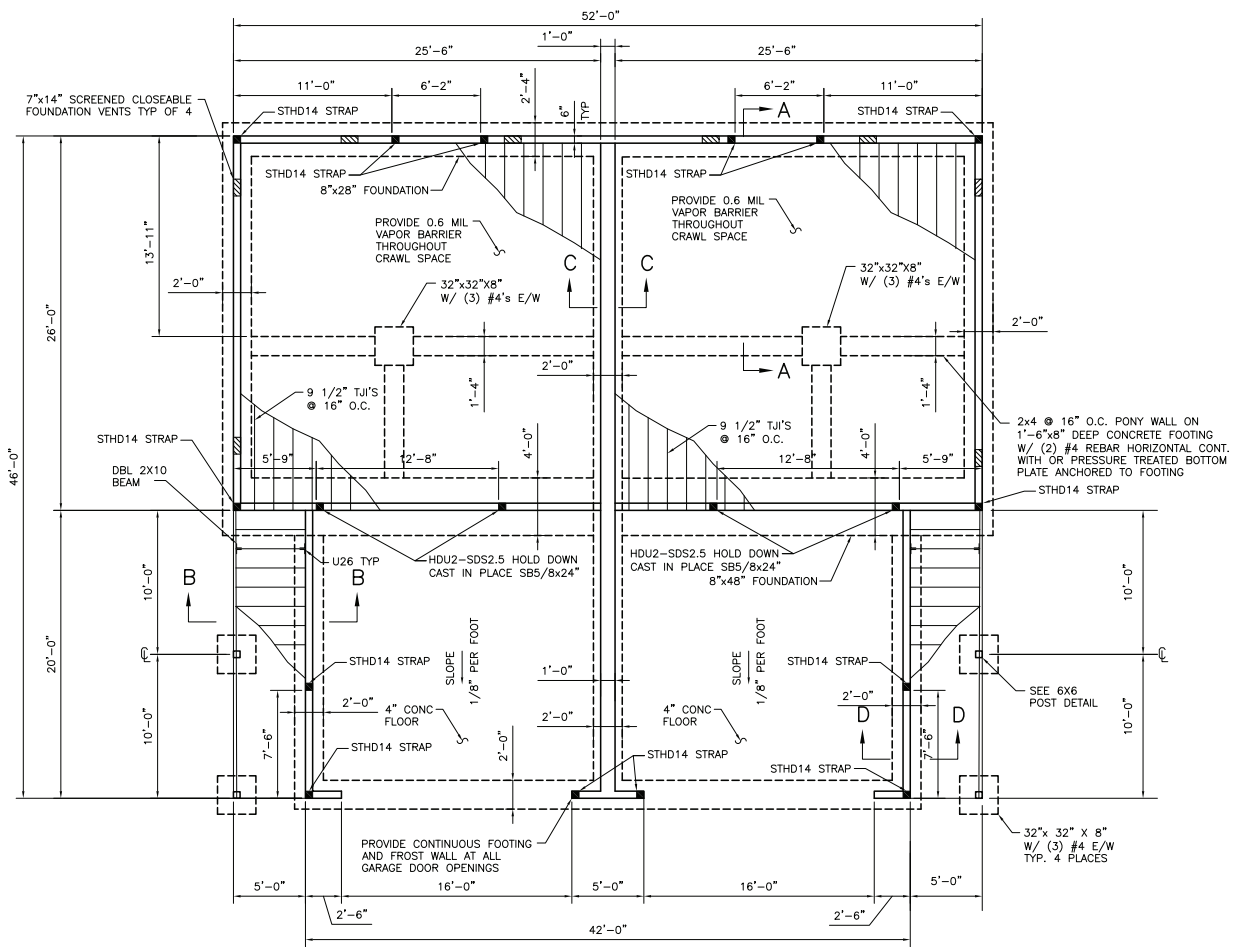
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
 PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209



REVISION	0
DATE	04/09/24
SCALE	1/4"=1'-0"
	FND PLAN
	A4

ROCKRIDGE TOWNHOMES, TYPE 1
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HAILEY, ID

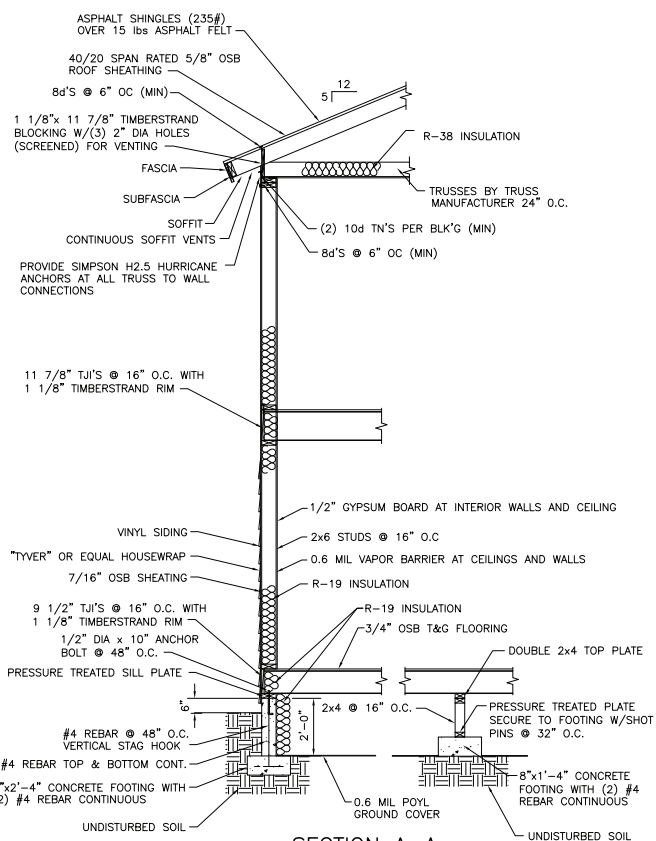
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
 PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209



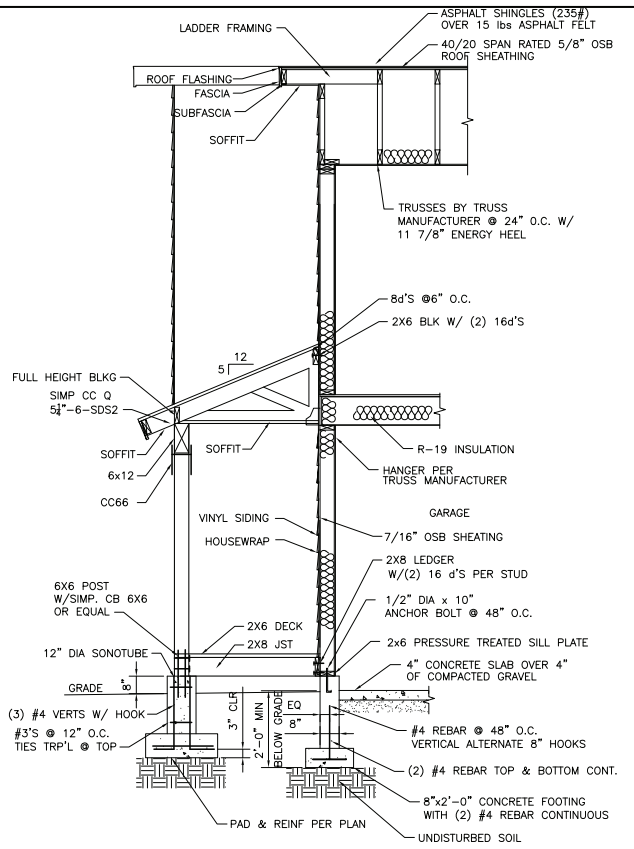
FOUNDATION AND FRAMING PLAN

NOTES

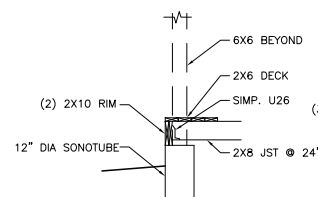
- REBAR SHALL BE LAPPED A MINIMUM OF 18" AT ALL SPLICES.
- ANCHOR BOLTS (1/2" DIA x 10") SHALL BE PLACED A MINIMUM SPACING OF 48" O.C. ANCHOR BOLTS TO BE INSTALLED 12" FROM ENDS.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED FIR.



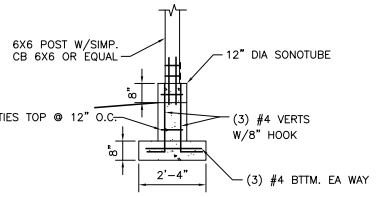
SECTION A-A



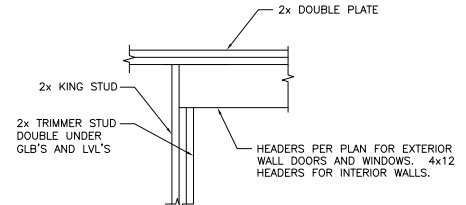
SECTION B-B



FRONT DECK DETAIL



6X6 POST DETAIL



HEADER DETAIL

NOTES

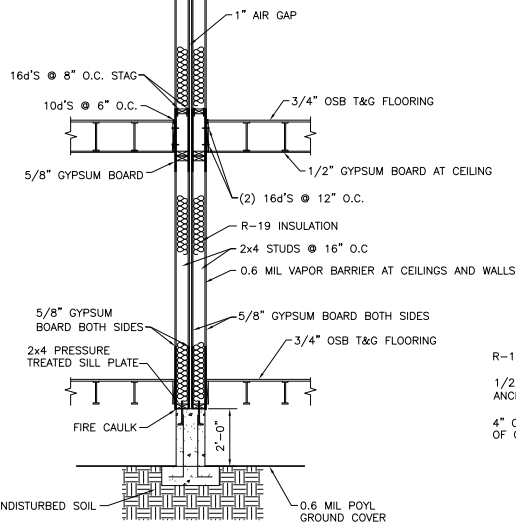
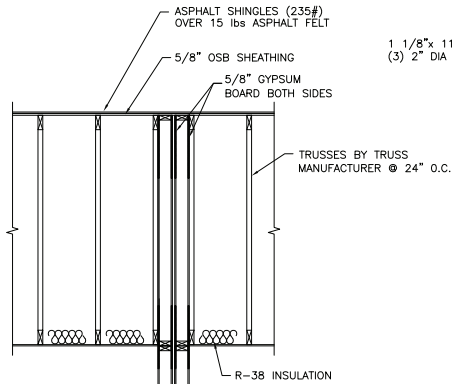
1. BOTTOM OF ALL FOOTINGS TO BE 24" BELOW GRADE



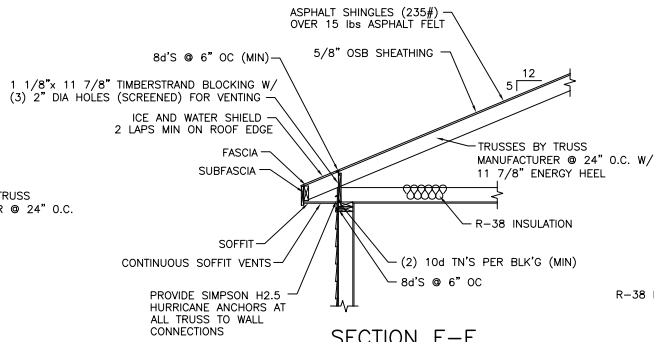
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DATE	04/09/24
SCALE	1/2"=1'-0"
SECTIONS	A5

ROCKRIDGE TOWNHOMES, TYPE 1
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HAILLEY, ID

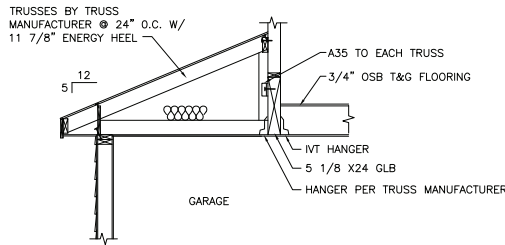
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HAILLEY, IDAHO, 83333
 PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209



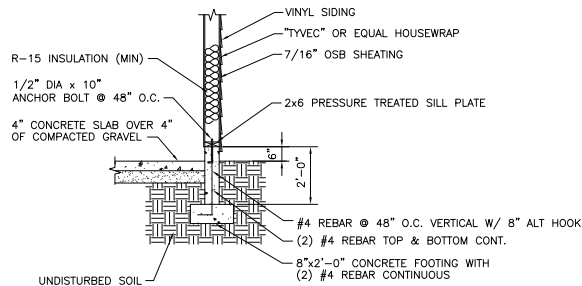
SECTION C-C



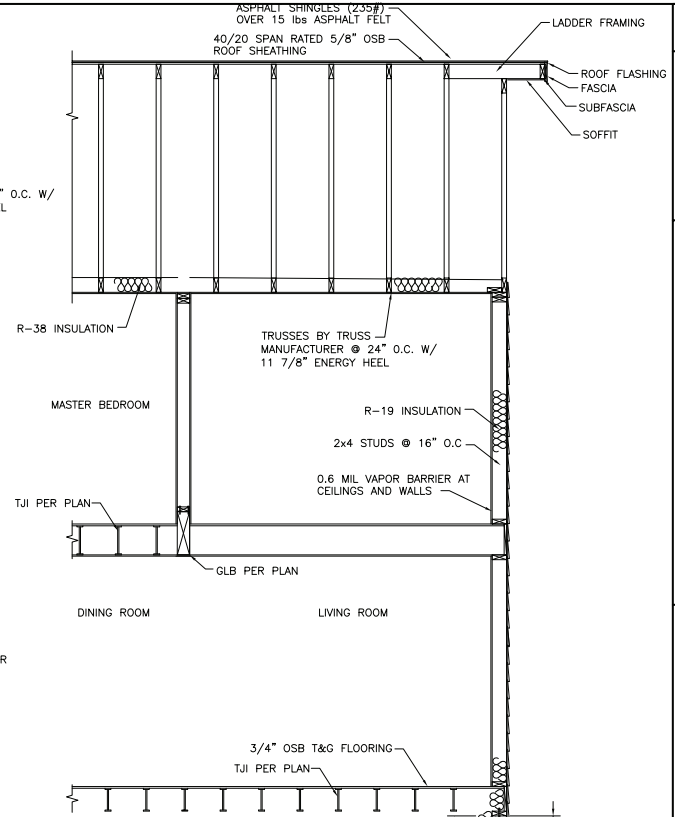
SECTION E-E



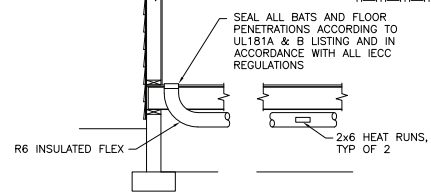
SECTION F-F



SECTION D-D



SECTION G-G



HVAC DETAIL

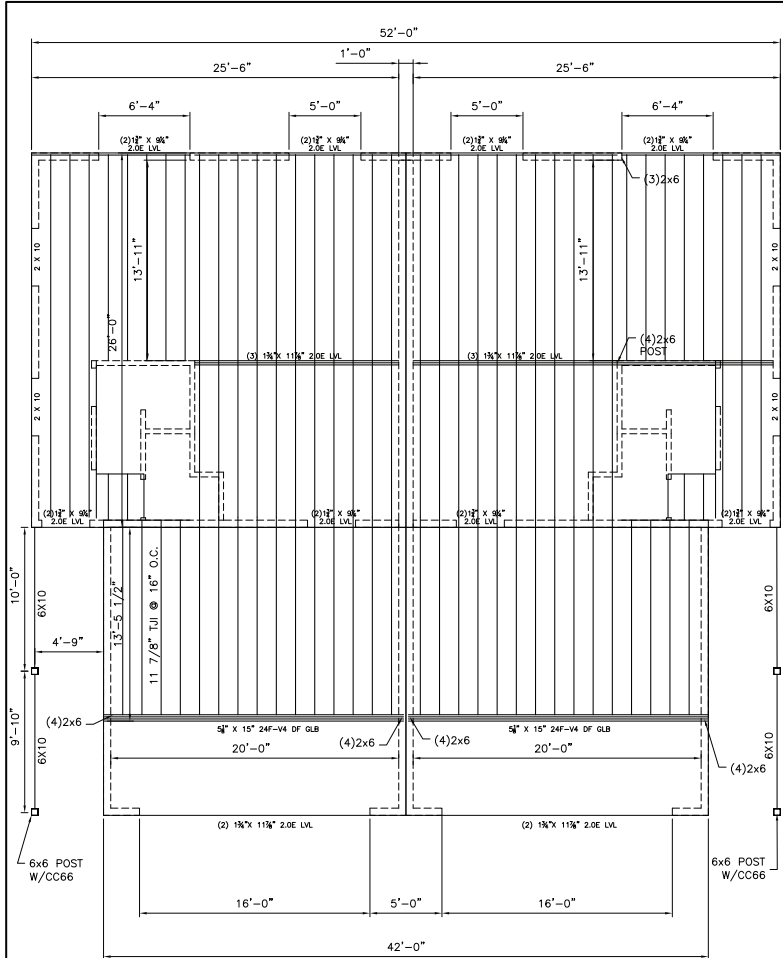
INSTALL FAN SIZED TO VENT
1 cfm PER 50 sqft OF
CRAWL SPACE TO OUTSIDE.



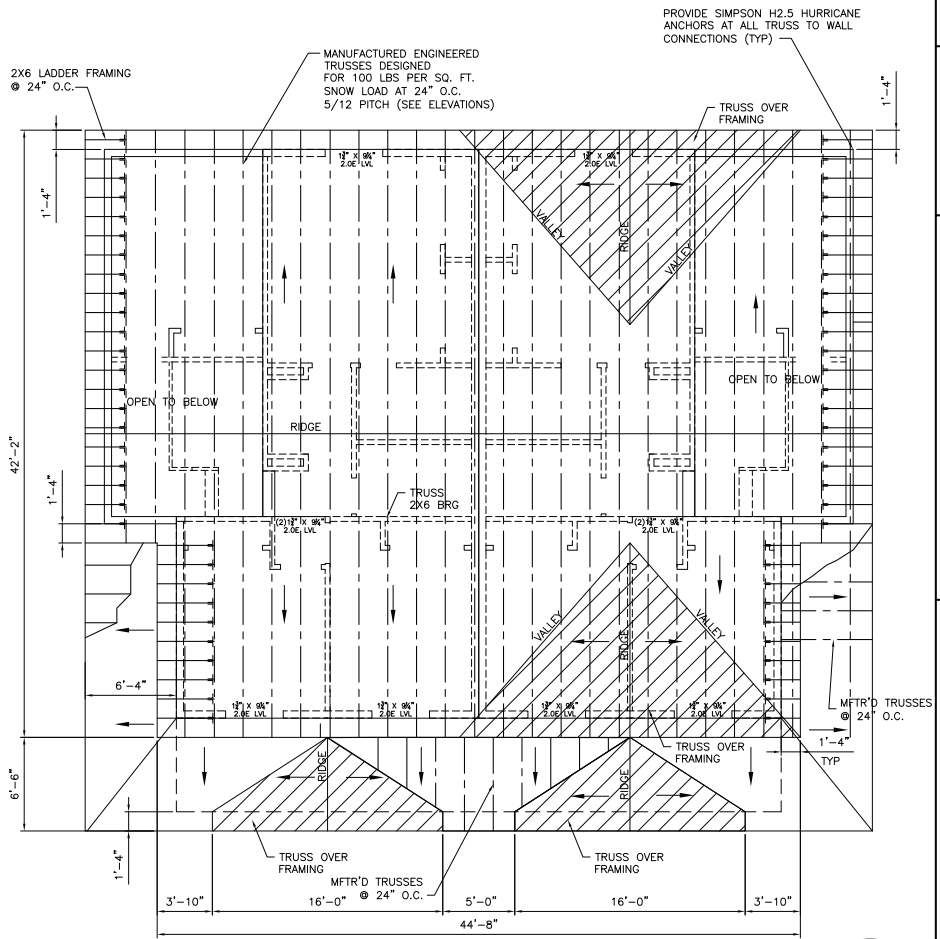
REVISION	0	A6
DATE	04/09/24	
SCALE	1/2"=1'-0"	DETAILS

ROCKRIDGE TOWNHOMES, TYPE 1
2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
WOODSIDE # 15 SUBDIVISION, HAILEY, ID

BRADLEY CONSTRUCTION
JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209



UPPER FLOOR FRAMING



ROOF FRAMING

NOTES

1. PROVIDE BLOCKING BETWEEN TRUSSES, PROVIDE FOR VENTILATION
2. PROVIDE 6'-0" (MIN 2 LAPS) OF ICE AND WATER SHIELD AT ALL ROOF EDGES
3. PROVIDE MIN. 3'-0" OF ICE AND WATER SHIELD AT ALL VALLEYS AND ROOF PENETRATIONS.
4. PROVIDE CONTINUOUS VENT W/(3) 2" DIA SCREENED HOLES IN BLK'G AT ROOF EXTERIOR WALLS.
5. PROVIDE 2" INSULATION BAFFLE AT EACH TRUSS.
6. PROVIDE GABLE END ROOF VENTS AS INDICATED ON EXTERIOR ELEVATIONS.
7. SEE HEADER DETAIL FOR INTERIOR AND EXTERIOR DETAILS



REVISION	0
DATE	04/09/24
PROJECT	ROCKRIDGE TOWNHOMES, TYPE 1 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61 WOODSIDE # 15 SUBDIVISION, HAILEY, ID
SCALE	1/4"=1'-0"
PLAN	FRAMING PLAN A7
BRADLEY CONSTRUCTION JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333 PHONE: 783-3008 FAX: 783-2801 CELL: 481-2209	

GENERAL NOTES:

STRUCTURAL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS STRUCTURAL ENGINEERS STAMP IS AFFIXED TO STRUCTURAL DWGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, SPECIFICATIONS, AND NOTES SHALL BE REPORTED TO THE ENGINEER FOR CLARIFICATION. THE CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION. CONTRACTOR SHALL COORDINATE ALL DUCT PLACEMENT WITH ENGINEER. CONTRACTOR IS RESPONSIBLE FOR ALL BRACING AND SHORING DURING CONSTRUCTION. CONTRACTOR TO SUBMIT A REQUEST TO ENGINEER FOR ANY SUBSTITUTION OF MATERIALS OR PRODUCTS SPECIFIED ON STRUCTURAL SHEETS. THE FOLLOW APPLIES UNLESS OTHERWISE NOTED ON DRAWINGS.

BUILDING CODE:

STRUCTURAL DESIGN AND CONSTRUCTION TO CONFORM TO THE INTERNATIONAL BUILDING CODE - 2018

DESIGN ROOF LOADS:
LIVE LOAD (SNOW) 100 PSF
DEAD LOAD 25 PSF

LATERAL LOADS:
WIND 115 MPH EXPOSURE C
SEISMIC ZONE 20, I-1
W-APPLICABLE LOADS + .35 SNOW

FOUNDATION & SOILS:

ASSUMED DESIGN SOIL BEARING PRESSURE 1500 PSF

ALL FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED, DRAINED SOIL. IF SOIL IS DISTURBED, COMPACT SOIL IN 6" LIFTS TO 95% MAXIMUM DRY DENSITY PER ASTM D960. CONTRACTOR TO NOTIFY ARCHITECT/ENGINEER IF SOIL CONDITIONS ARE ENCOUNTERED WHICH MAY REQUIRE A LOWER ASSUMED SOIL BEARING PRESSURE SUCH AS CLAY, SILTS, OR ORGANICS. SEE DETAILS FOR MAXIMUM FOOTING DEPTH BELOW GRADE.

CONCRETE:

STRUCTURAL CONCRETE, INCLUDING FOOTINGS, WALLS, AND SLABS SHALL HAVE THE FOLLOWING MAX REQUIREMENTS, AND MAX AGGREGATE SIZE OF 3/4"

28 DAY COMPRESSION STRENGTH:	MIN. CEMENT CONTENT	ENTRAINED AIR	MAXIMUM SLUMP
3000 PSI	5 SACKS/CU YD.	5% TO 6%	4"

CONCRETE PLACEMENT:

ALL CONCRETE PLACEMENT AND REINFORCEMENT COVER SHALL CONFORM TO ACI 318. CONCRETE FORM WORK TO BE OF ADEQUATE STRENGTH AND PROPERLY BRACED TO PREVENT GAFFING OR BULGING. PROTECT ALL CONCRETE FROM FREEZING TEMPERATURES. NO FOOTING SHALL BE PLACED ON DISTURBED SOIL. REINFORCING STEEL SHALL BE CONTINUOUS THROUGH ALL COLD JOINTS.

CONCRETE REINFORCEMENT:

REINFORCEMENT SHALL BE ASTM A615, GRADE 40 FOR #1 BARS AND SMALLER, AND GRADE 60 FOR #5 BARS AND LARGER. WIRE MESH TO CONFORM TO ASTM A185-64. ALL REBAR SPLICES TO BE LAPPED 42 BAR DIAMETERS UNLESS OTHERWISE NOTED. WELDING OF REBAR TO BE APPROVED BY ENGINEER. PAD AND STEM FOOTING REINFORCEMENT TO HAVE 3" CLEAR COVER OR CONCRETE TYPICAL UNLESS OTHERWISE NOTED ON THE DRAWINGS.

CONCRETE STEM WALLS:

REFER TO DRAWINGS FOR WALL SIZE AND REINFORCEMENT, PROVIDE CORNER BARS WITH 18" LEGS AT CORNERS AND INTERSECTING WALLS AND FOOTINGS. SIZE AND PLACEMENT TO MATCH HORIZONTAL REINFORCEMENT. ANCHOR BOLTS SHALL BE ASTM A307 AND OF THE SIZE AND SPACING AS INDICATED ON THE DRAWINGS AND HAVE A 7" MINIMUM EMBEDMENT DEPTH. ANCHOR BOLTS TO BE WITHIN 1'-0" OF SILL PLATE ENDS, WITH A MINIMUM OF TWO PER WALL, AND NO CLOSE THAN 6" FROM CONCRETE WALL CORNERS.

CONCRETE SLABS:

CONCRETE SLABS, UNLESS OTHERWISE NOTED ON DRAWINGS, SHALL BE 4" THICK, ON 6" COMPACTED GRAVEL BASE WITH 5 MIL. POLYETHYLENE VAPOR BARRIER, TO BE PLACED ON UNDISTURBED SOIL. REINFORCE WITH #3 BARS AT 18" O.C., PLACED 1-1/2" CLEAR FROM TOP FACE. ALL SURFACES OF CONSTRUCTION JOINTS SHALL BE CLEANED TO REMOVED DUST, CHIPS, AND FOREIGN MATTER PRIOR TO POURING ADJACENT SLAB. CRACK CONTROL JOINTS SHALL HAVE A MAXIMUM SPACING OF 15'-0" IN

SAWN STRUCTURAL LUMBER:

STRUCTURAL LUMBER SHALL BE DOUGLAS FIR-LARCH (DF-L) No. 2 OR BETTER FOR ALL 2X'S, 3X'S, AND 4X'S. WOOD BEARING ON, OR INSTALLED WITHIN 1" OF CONCRETE OR MASONRY SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.

WELDING:

ALL WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1 LATEST REVISION BY A CERTIFIED AWS WELDER.

WOOD FRAMING:

ALL FRAMING DETAILS SHALL BE IN ACCORDANCE WITH I.B.C. SECTION 2308 UNLESS NOTED OTHERWISE ON THE DRAWINGS. FRAMING NAILING SHALL CONFORM TO I.B.C. TABLE 2304.6.1 UNLESS NOTED OTHERWISE ON DRAWINGS. PROVIDE SOLID BLOCKING DETAIL ALL BEARING WALLS AND POSTS, MINIMUM HEADER TO BE 6X8 WITH (1) 2X6 BEARING STUDS PLUS KING STUD EACH END UNLESS NOTED OTHERWISE. UNLESS NOTED OTHERWISE, STACK ALL RAFTER, JOIST AND STUD FRAMING. "MODULE" PROVIDE STEEL STRAPS AT PIPES IN STUD WALLS AS REQUIRED BY THE I.B.C. SECTION 2308.3.8 OVERFRAMING, OR "CALIFORNIA FRAMING" SHALL BE DONE SUCH THAT VERTICAL LOADS ARE TRANSFERRED, TO MAIN STRUCTURE BELOW, BY DIRECT BEARING, AT SPACING NOT TO EXCEED 24" O.C.

HEADERS:

UNLESS NOTED OTHERWISE ALL HEADERS SHALL BE 6x8.

FRM'G LUMBER (MAX. MOISTURE CONTENT=19%)

STUDS/PORCH FLOOR JOISTS BEAMS, COLUMNS, & ROOF JOISTS
DOUGLAS FIR No. 1, No. 2 DOUGLAS FIR No. 1
Fb=900 E=1,600,000 Fb=1000 E=1,700,000

NAILS, BOLTS, LAGS, AND PRE-FABRICATED CONNECTIONS FOR WOOD:

ALL NAILS SHALL BE BOX OR GALVANIZED BOX. THE USE OF STAPLES TO BE VERIFIED BY ENGINEER. BOTH BOLTS AND LAGS SHALL CONFORM TO ASTM A307 GRADE UNLESS OTHERWISE NOTED. PROVIDE MILD STEEL PLATE WASHERS AT ALL BOLT HEADS AND NUTS BEARING AGAINST WOOD. METAL HANGERS AND CONNECTIONS SHOWN ON DRAWINGS TO BE MANUFACTURED BY THE SIMPSON COMPANY AND INSTALLED PER THEIR SPECIFICATIONS. OTHER MANUFACTURERS MAYBE CONSIDERED WHERE LOAD CAPACITY AND DIMENSIONS ARE EQUAL OR BETTER. ALL SUBSTITUTIONS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW.

ROOF SHEATHING:

5/8" CDX MINIMUM (40/20) SPAN RATING

EXTERIOR WALL SHEATHING: 15/32" CDX (24/0) SPAN RATING UNLESS OTHERWISE NOTED. ORIENTED STRAND BOARD WITH THE SAME SPAN RATING MAY BE SUBSTITUTED.

PRE-MANUFACTURED WOOD TRUSSES:

WOOD TRUSSES SHALL BE MANUFACTURED WITH STRESS RATED MATERIALS DESIGNED TO SUPPORT LOADINGS SHOWN ON DRAWINGS. BRACE BOTTOM CHORD AND WEB MEMBERS AS REQUIRED BY MANUFACTURER. TRUSS DEFLECTION TO BE LIMITED TO L/240 OR BETTER FOR ALL LOADING CONDITIONS. TRUSS MANUFACTURER IS RESPONSIBLE FOR ALL BLOCKING CALL OUTS INCLUDING CONNECTIONS. INCLUDING SPECIFICATION OF JOIST HANGERS, OF TRUSSED ROOF AREAS, INCLUDING EAVE OVERHANGS AND OVERFRAMING. SHOP DRAWINGS, DETAILS, AND STRUCTURAL CALCULATIONS OF TRUSSED ROOF SYSTEM MUST BE STAMPED BY A PROFESSIONAL CIVIL ENGINEER LICENSED IN THE STATE IN WHICH THE PROJECT IS TO BE CONSTRUCTED AND SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION.

PLYWOOD SHEATHING:

ALL PLYWOOD SHEATHING SHALL BE APA RATED EXPOSURE 2 PLYWOOD WITH THICKNESS, VENEER GRADES AND SPAN RATINGS AS NOTED HEREIN OR ON DRAWINGS/DETAILS. PLYWOOD AT ROOF AND FLOORS SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND END JOINTS STAGGERED 4'-0". PROVIDE 1/2" SPACE AT ALL PANEL EDGES. NAIL ROOF WITH 10d AT 6" O.C. EDGE NAILING (E.N.) AND 12" O.C. FIELD NAILING (INTERMEDIATE) UNLESS NOTED OTHERWISE ON DRAWINGS. NAIL FLOOR WITH 8d AT 6" O.C. EDGE NAILING (E.N.) AND 12" O.C. FIELD NAILING (I.N.). NAIL APA RATED WALL PANEL EDGES AND BOUNDARIES WITH 8d AT 6" O.C. EDGE NAILING, AND 12" O.C. FIELD NAILING (INTERMEDIATE) UNLESS OTHERWISE SPECIFIED ON DRAWINGS OR SHEAR WALL SCHEDULE. BLOCK AND NAIL ALL HORIZONTAL PANEL EDGES AT DESIGNATED SHEAR WALLS.

PONY WALLS (CRIPPLE WALLS)

ALL PONY WALLS WITH STUD HEIGHTS GREATER THAN 14" SHALL BE BRACED IN ACCORDANCE WITH I.B.C. SECTION 2308.5.4.

EDGE NAILING:

CALLOUT	NAIL	SPACING	FLR LOAD
E.N.1	10d	6"	320LF
E.N.2	10d	4"	425 LF
E.N.3	10d	3"	620 LF

I.N.O. ALL EDGE NAILING TO BE E.N.1.

SHEAR PANEL WALL BRACING

CALLOUT	BRACED WALL DESCRIPTION
WALL TYPE 1	WALL LOAD IS 1,920 lbs AND USING FTAO METHOD. SEE DETAIL 1, DRAWING A9. USE SW2 NAILING.
WALL TYPE 2	WALL LOAD IS 1,920 lbs AND USING FTAO METHOD. SEE DETAIL 3, DRAWING A9. USE SW2 NAILING.
WALL TYPE 3	WALL LOAD IS 2,496 lbs AND USING SW2 NAILING. THE MINIMUM PANEL LENGTH IS 13'. USING A PANEL LENGTH OF 26' THE HOLD DOWN LOAD IS 768 lbs.
WALL TYPE 4	WALL LOAD IS 2,496 lbs AND USING SW2 NAILING. THE MINIMUM PANEL LENGTH IS 13'. USING A PANEL LENGTH OF 26' THE HOLD DOWN LOAD IS 768 lbs.
WALL TYPE 5	WALL LOAD IS 3,920 lbs AND USING SW2 NAILING. THE MINIMUM PANEL LENGTH IS 21'. USING (2) PANELS 15' IN LENGTH. THE HOLD DOWN LOAD IS 1,176 lbs.
WALL TYPE 6	WALL LOAD IS 1,960 lbs AND USING SW1 NAILING. THE MINIMUM PANEL LENGTH IS 4.35'. USING A PANEL 5' IN LENGTH. THE HOLD DOWN LOAD IS 1,528 lbs.
WALL TYPE 7	WALL LOAD IS 1,960 lbs AND USING SW1 NAILING. THE MINIMUM PANEL LENGTH IS 4.35'. USING (2) PANELS 7' IN LENGTH. THE HOLD DOWN LOAD IS 1,375 lbs.
WALL TYPE 8	WALL LOAD IS 6,344 lbs AND USING FTAO METHOD. SEE DETAIL 2, DRAWING A9. USE SW3 NAILING.
WALL TYPE 9	WALL LOAD IS 1,500 lbs AND USING SW2 NAILING. THE MINIMUM PANEL LENGTH OF 8.1' USING A PANEL LENGTH OF 8' THE HOLD DOWN LOAD IS 1,688 lbs.

SHEAR WALL NAILING

CALLOUT	SHEATHING	FASTENERS	EDGE NAILING	FIELD NAILING	BLOCKING	ANCHOR BOLTS
SW 1	7/16 APA RATED OSB (BLOCKED) 24" O.C.	8d NAILS	4" O.C.	12" O.C.	PANEL EDGES	1 1/2" DIA x 10 AB @ 24" O.C.
SW 2	7/16 APA RATED OSB (UNBLOCKED) 24" O.C.	8d NAILS	6" O.C.	12" O.C.	N/A	1 1/2" DIA x 10 AB @ 24" O.C.
SW 3	7/16 APA RATED OSB (BLOCKED) 24" O.C.	8d NAILS	2" O.C.	12" O.C.	PANEL EDGES	1 1/2" DIA x 10 AB @ 24" O.C.

7/16 CROWN 16ga x 2" STAPLES 3" O.C. IF SUBSTITUTED FOR 8d NAILS & 6" O.C.

SHEAR PANEL HOLD DOWNS

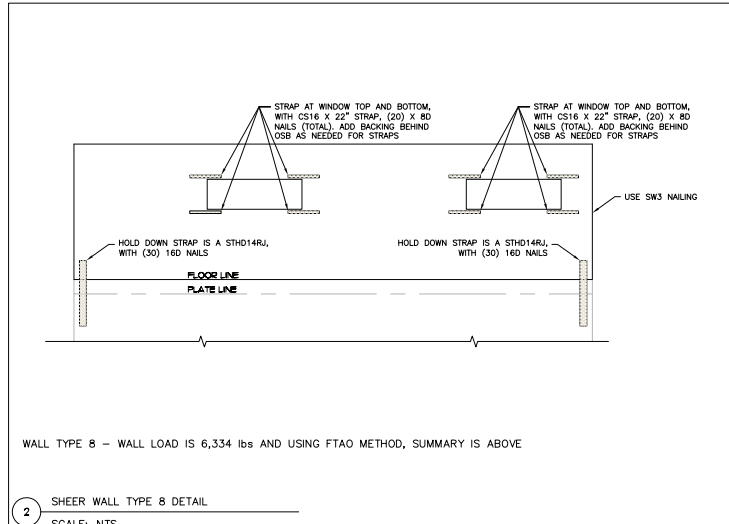
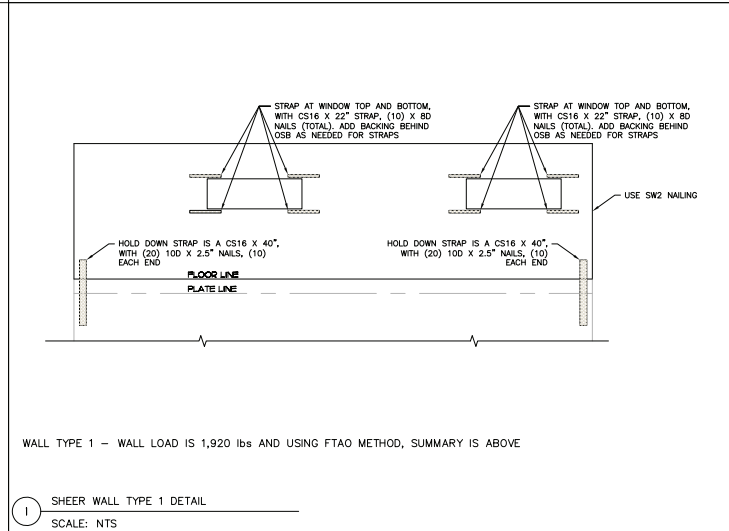
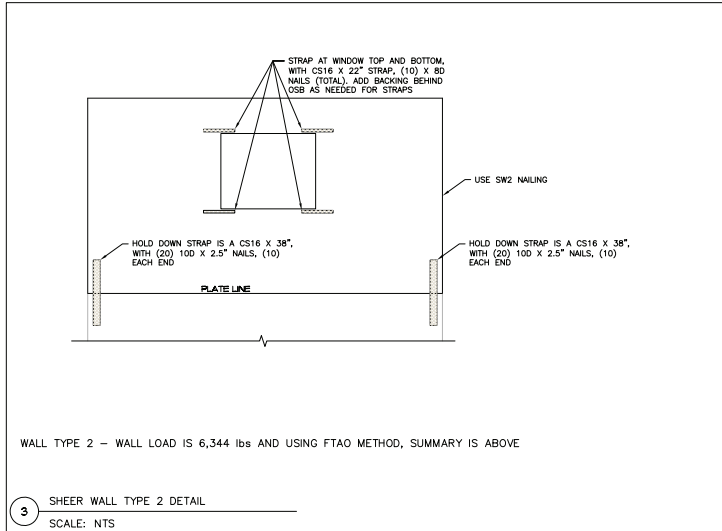
- 1. HOLD DOWNS FOR THE LOWER LEVEL WILL HAVE A MAXIMUM OF 4,500 LBS AND MUST USE A STDH14 STRAP WITH (30) 16d SINKERS. IN LOCATIONS AS INDICATED.
- 2. HOLD DOWNS FOR THE LOWER LEVEL WILL HAVE A MAXIMUM OF 4,500 LBS AND MUST USE A STDH14RU STRAP WITH (30) 16d SINKERS. IN LOCATIONS AS INDICATED.
- 3. HOLD DOWNS FOR THE LOWER LEVEL WILL HAVE A MAXIMUM OF 3,000 LBS AND MUST USE A HDUZ-SDS25 HOLD DOWN WITH (6) 1/2"x2.5" SCREWS. SIMPSON CAST IN PLACE SBS5@24" ANCHORS OR EQUIVALENT TO BE USED, WITH A MINIMUM 18" EMBEDMENT.
- 4. HOLD DOWNS FOR THE UPPER LEVEL WILL HAVE A MAXIMUM OF 2,000 LBS AND MUST USE A CMSTC16 4x2' COL. STRAP WITH (11) 0.148 x 2.5" NAILS. EACH END OF STRAP. STRAP IS 36" LONG TO SPAN THE FLOOR FRAMING.



REVISION	0
DATE	04/09/24
SCALE	NOTES
	A8

ROCKRIDGE TOWNHOMES, TYPE 1
2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
WOODSIDE # 15 SUBDIVISION, HAILEY, ID

BRADLEY CONSTRUCTION
JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209



REVISION	0	DATE	04/09/24
STR.	DETAILS	SCALE:	1/2"=1'-0"
ROCKRIDGE TOWNHOMES, TYPE 1 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61 WOODSIDE # 15 SUBDIVISION, HAILLEY, ID			
BRADLEY CONSTRUCTION JAMES BRADLEY, PO BOX 2722, HAILLEY, IDAHO, 83333 PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209			

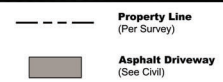




PLANT LEGEND

symbol	quan	description	planted size
	9	Evergreen Trees <i>Black Hills Spruce - Picea glauca var. densata</i>	8'-10" Height or 3" Cal.
	6	Street Tree - Class II (Per Street Tree List)	2-1/2" Cal.
	5	Norway Maple - <i>Acer platanoides</i>	
	5	Thornless Honeylocust - <i>Gleditsia triacanthos</i>	
	5	Amur Chokecherry - <i>Prunus maackii</i>	
	5	Medium Sized Deciduous Trees <i>Washington Hawthorn - Crataegus phenopyrum</i> <i>Crochopile - Malus spp.</i>	2-1/2" Cal.
	15	Small Evergreen Trees <i>Rocky Mountain Juniper - Juniperus scopulorum</i> <i>Bristlecone Pine - Pinus contorta</i> <i>Redstart Pine - Pinus strobus 'Redstart'</i>	6' Height or 1-1/2" Cal.
	30	Large Sized Shrub Massing <i>Asheleaf Spirea - Spiraea asarifolia</i> <i>Neon Burst Dogwood - Cornus alba 'Neon Burst'</i>	5 Gal.
	85	Medium Sized Shrub Massing <i>Peking Cotoneaster - Cotoneaster lucidus</i> <i>Diablo Honeysuckle - Physocarpus opulifolius 'Diablo'</i> <i>Snowmound Spirea - Spiraea x nipponica 'Snowmound'</i> <i>The Bristleleaf Spirea - Spiraea betulifolia 'Ter'</i> <i>Common Snowberry - Symphoricarpos albus</i>	5 Gal.
	186	Ornamental Grasses & Perennials <i>Reed Grass - Calamagrostis x s. 'Kent Foerster'</i> <i>Flame Grass - Miscanthus sinensis</i> <i>Blue Oat Grass - Helictotrichon sempervirens</i> <i>Black Eye Susan - Rudbeckia hirta</i> <i>Lavender - Lavandula</i> <i>Salvia - Salvia divinorum</i>	1 Gal.
	8,000	Maintained Grasses	Sod
	12,400	Low Maintenance Grasses	Hydroseed
	8,000	Native Grasses	Hydroseed

PLAN LEGEND

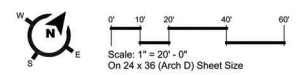


LANDSCAPE NOTES

- All disturbed areas shall be landscaped and drip irrigated with an automatic underground irrigation system.
- Native compatible plant material will be used to provide a drought tolerant, low water use, & low maintenance landscape to blend seamlessly with the surrounding landscape.
- Planting beds shall have 3" of 'soil aid' bark.

IRRIGATION NOTES

- Verify utility locations prior to starting irrigation.
- Irrigation system to be automatically controlled with smart controller and rain sensor for a water wise system.
- This is a Drip irrigation only system and shall be installed at the base of all plantings & trees.
- Irrigation supply connected to the units domestic water system. The point of connection will include an approved backflow prevention device and water meter.



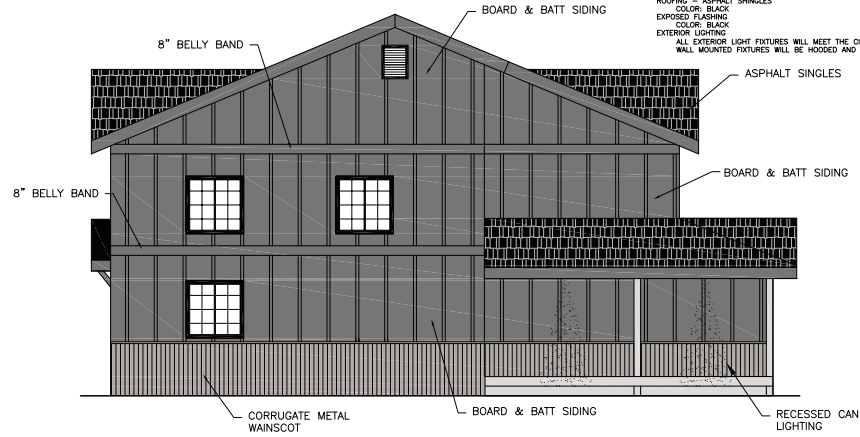
The designs and concepts shown are the sole property of NS Consulting. The drawings may not be used except with the expressed written consent of NS Consulting, PLLC.

DOCUMENT DATE
July 15, 2024
DRAWN BY
Nathan Schutte

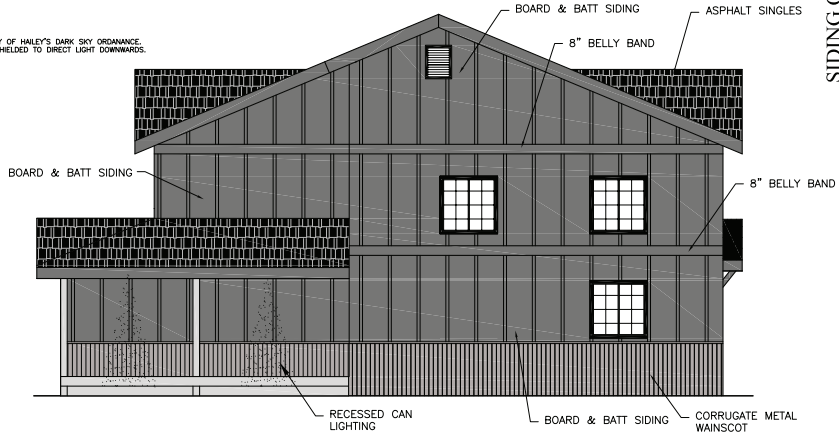
REVISION
No. Date Remark

EXTERIOR MATERIAL FINISHES — BUILDING 1

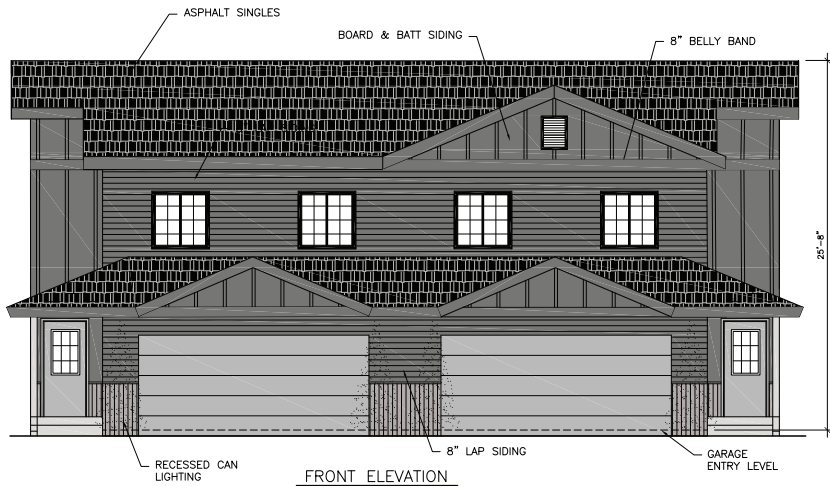
EXTERIOR SIDING — BOARD & BATT SIDING & 8" LAP SIDING
 COLOR: BENJAMIN MOORE — KENDALL CHARCOAL (HC-166)
 EXTERIOR TRIM (CORNER BOARDS, FASCIA)
 COLOR: BENJAMIN MOORE — KENDALL CHARCOAL (HC-166)
 ENTRY DOOR
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 GARAGE DOOR
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 WINDOWS — VINYL
 COLOR: BLACK
 ROOFING — ASPHALT SHINGLES
 EXPOSED FLASHING
 COLOR: BLACK
 EXTERIOR LIGHTING
 ALL EXTERIOR LIGHT FIXTURES WILL MEET THE CITY OF HALEY'S DARK SKY ORDINANCE.
 WALL MOUNTED FIXTURES WILL BE HOODED AND SHELDED TO DIRECT LIGHT DOWNWARDS.



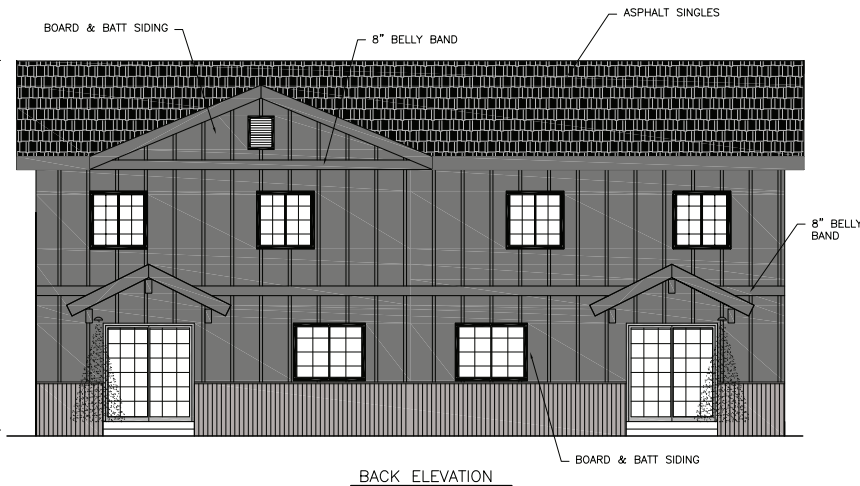
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

DATE	04/22/24
REVISION	0
SCALE	1/4"=1'-0"
COLOR ELEV	A3C

SIDING OPTION A

ROCKRIDGE TOWNHOMES, TYPE 1
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HALEY, ID

BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HALEY, IDAHO, 83333
 PHONE: 783-3008 FAX 783-2801 CELL: 481-2209

EXTERIOR MATERIAL FINISHES — BUILDING 2

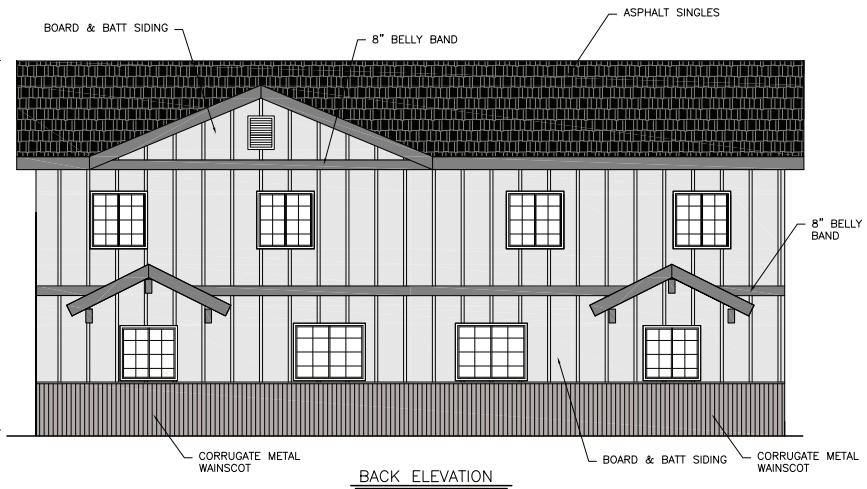
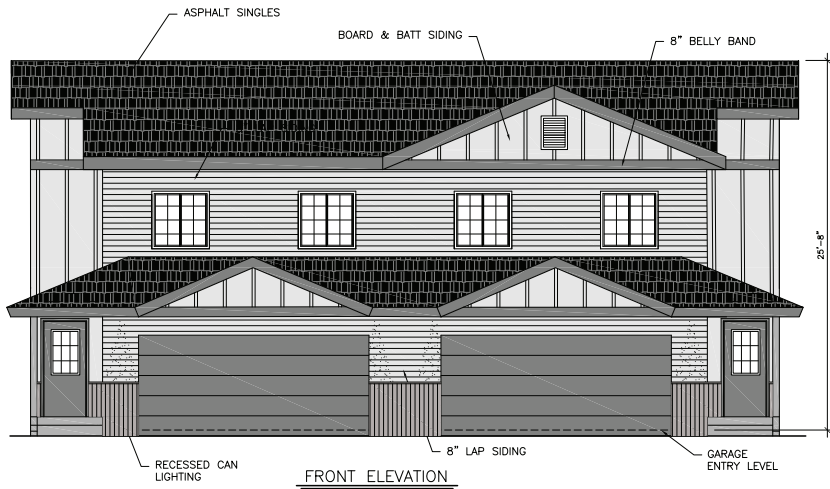
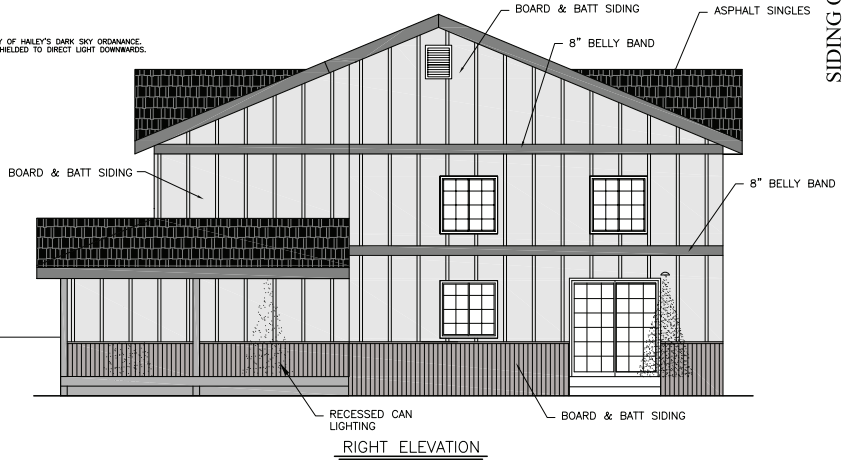
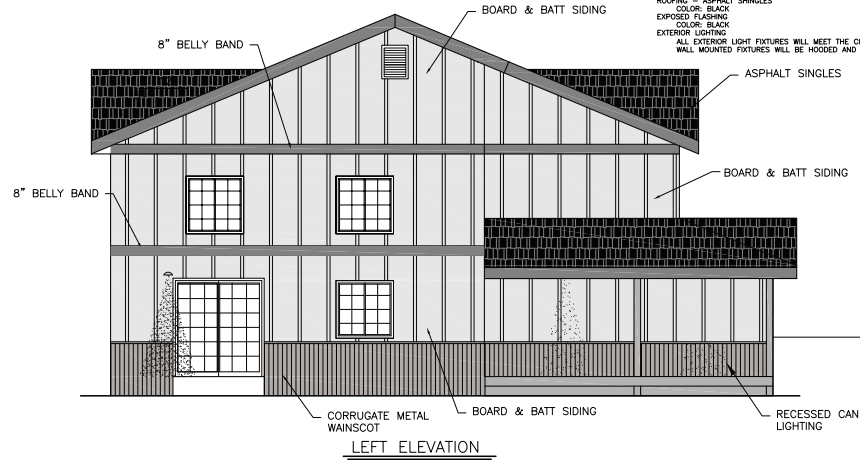
EXTERIOR SIDING — BOARD & BATT SIDING & 8" LAP SIDING
 COLOR: SHERWIN WILLIAMS — SHOWBOUND (7004)
 EXTERIOR TRIM (CORNER BOARDS, FASCIA)
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 ENTRY DOOR
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 GARAGE DOOR
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 WINDOWS — VINYL
 COLOR: BLACK
 ROOFING — ASPHALT SHINGLES
 COLOR: BLACK
 EXPOSED FLASHING
 COLOR: BLACK
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 ALL EXTERIOR LIGHT FIXTURES WILL MEET THE CITY OF HAILEY'S DARK SKY ORDINANCE.
 WALL MOUNTED FIXTURES WILL BE HOODED AND SHELDED TO DIRECT LIGHT DOWNWARDS.

MATERIAL FINISHES

BOARD & BATT SIDING & 8" LAP SIDING
 BLACK ARCHITECTURAL ASPHALT SHINGLES

SIDING OPTION A

REVISION	0
DATE	04/22/24
SCALE	1/4"=1'-0"
ELEVATIONS	A3A

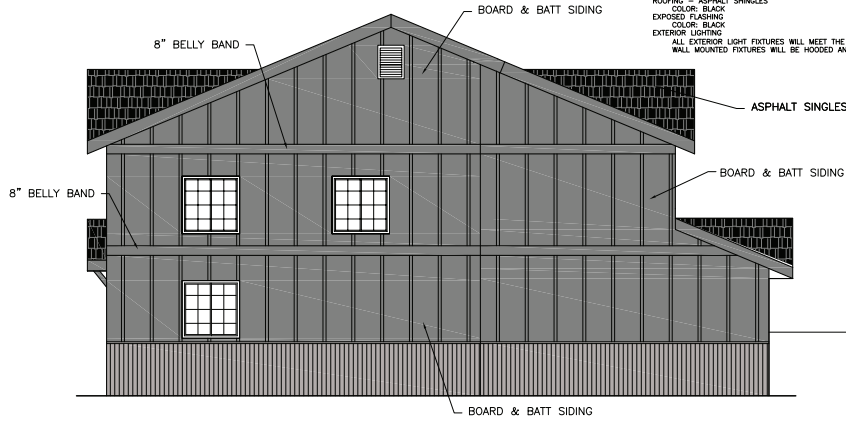


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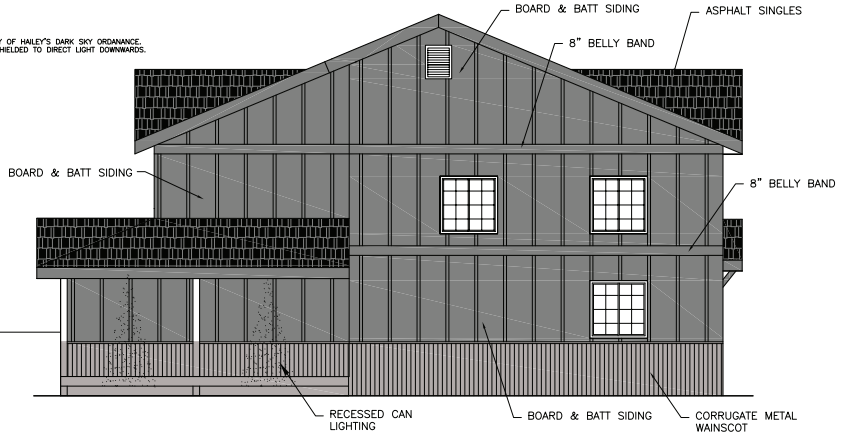
BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HAILEY, IDAHO, 83333
 PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209

EXTERIOR MATERIAL FINISHES — BUILDING 6

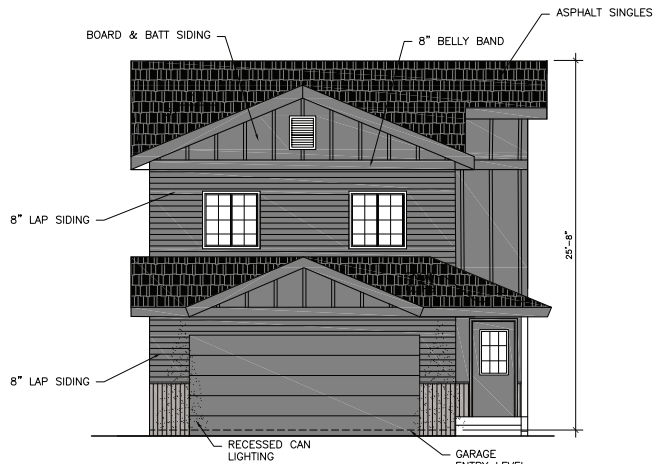
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 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0066)
 EXTERIOR TRIM (CORNER BOARDS, FASCIA)
 COLOR: BENJAMIN MOORE — KENDALL CHARCOAL (HC-164)
 ENTRY DOOR
 COLOR: BENJAMIN MOORE — KENDALL CHARCOAL (HC-164)
 GARAGE DOOR
 COLOR: BENJAMIN MOORE — KENDALL CHARCOAL (HC-164)
 WINDOWS — VINYL
 COLOR: BLACK
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 COLOR: BLACK
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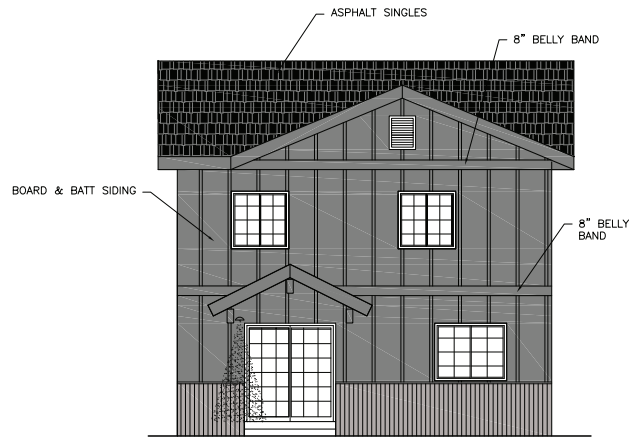
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

REVISION	0
DATE	04/22/24
SCALE	1/4"=1'-0"
ELEVATIONS	A3

ROCKRIDGE TOWNHOMES, TYPE 3
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HALEY, ID

BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HALEY, IDAHO, 83333
 PHONE: 788-3008 FAX: 788-2801 CELL: 481-2209

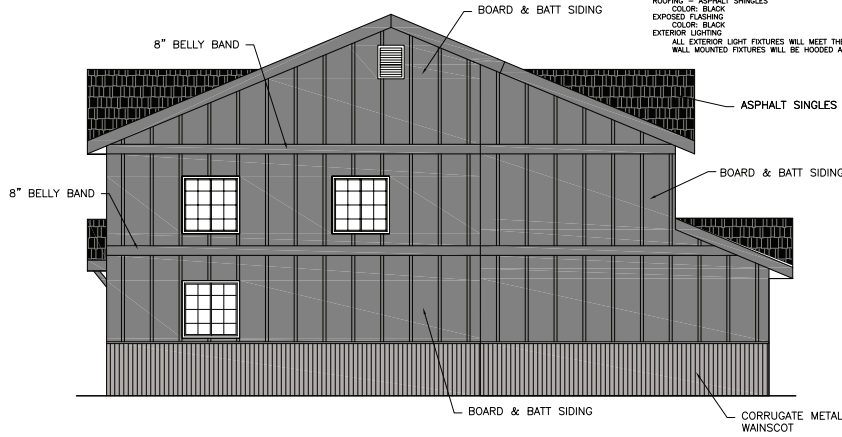
EXTERIOR MATERIAL FINISHES — BUILDING 6

EXTERIOR SIDING — BOARD & BATT SIDING & 8" LAP SIDING
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0066)
 EXTERIOR TRIM (CORNER BOARDS, FASCIA)
 COLOR: BENJAMIN MOORE — KENDALL CHARCOAL (HC-164)
 ENTRY DOOR
 COLOR: BENJAMIN MOORE — KENDALL CHARCOAL (HC-164)
 GARAGE DOOR
 COLOR: BENJAMIN MOORE — KENDALL CHARCOAL (HC-164)
 WINDOWS — VINYL
 COLOR: BLACK
 ROOFING — ASPHALT SHINGLES
 EXPOSED FLASHING
 COLOR: BLACK
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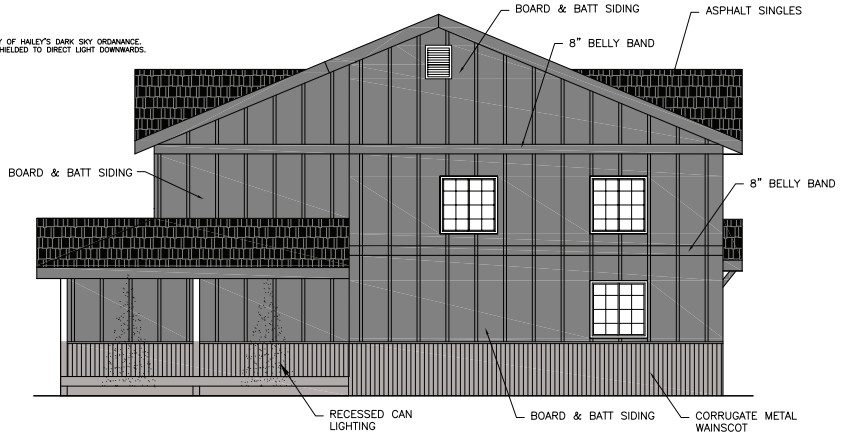
MATERIAL FINISHES

BOARD & BATT SIDING & 8" LAP SIDING
 BLACK ARCHITECTURAL ASPHALT SHINGLES

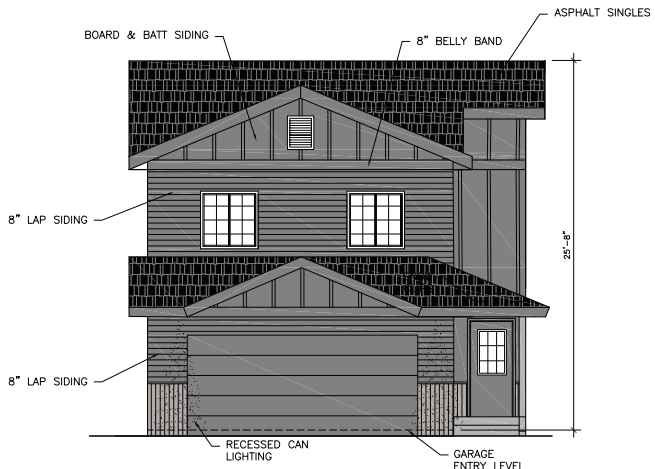
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ELEVATIONS	A3



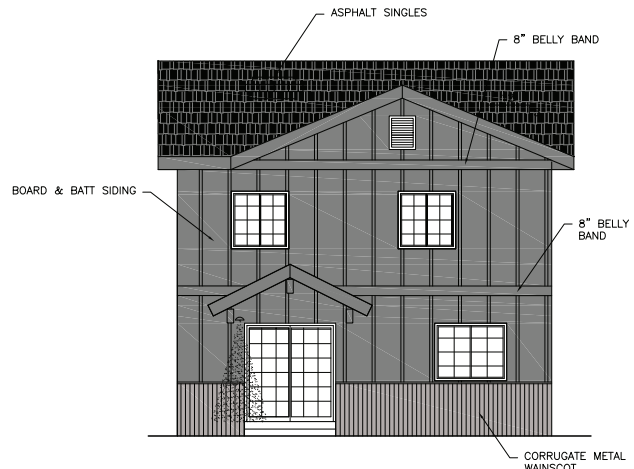
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



BACK ELEVATION

ROCKRIDGE TOWNHOMES, TYPE 4
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HALEY, ID

BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HALEY, IDAHO, 83333
 PHONE: 788-3008 FAX 788-2801 CELL: 481-2209

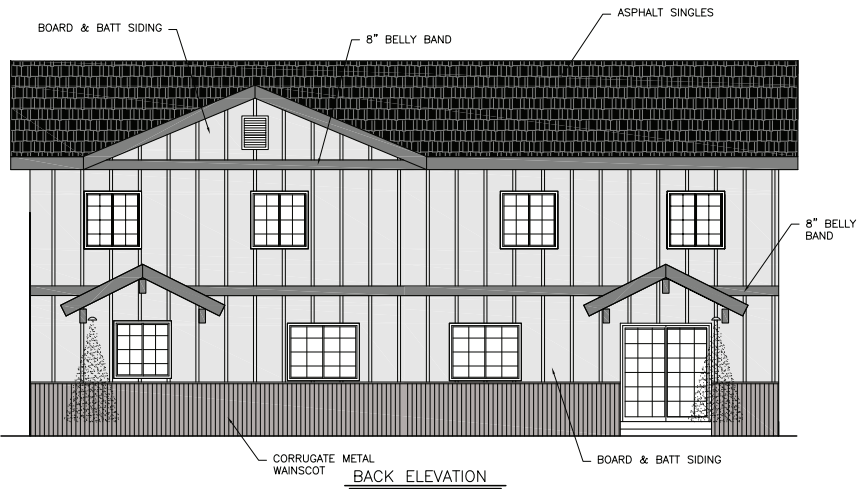
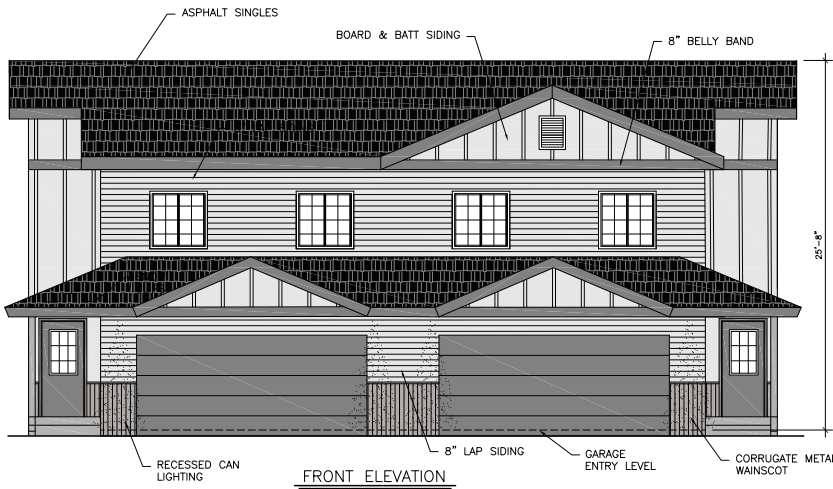
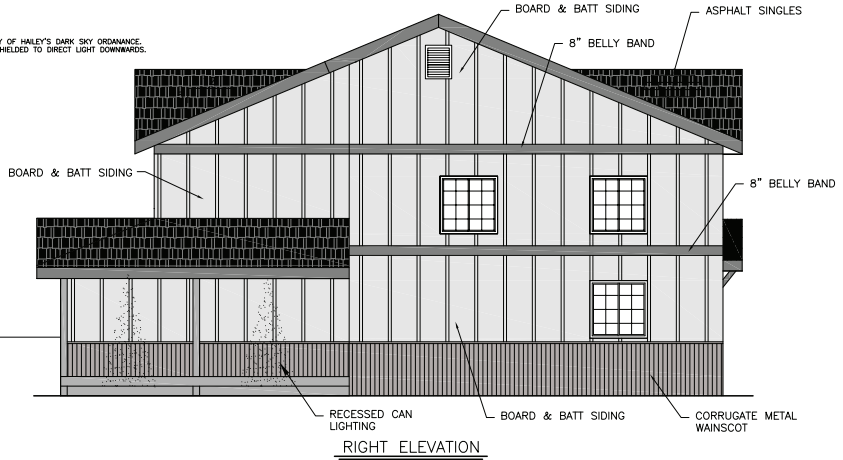
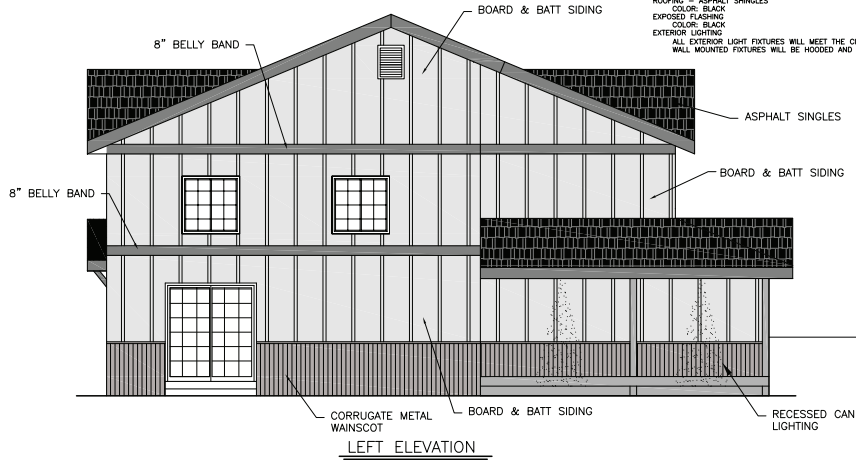
EXTERIOR MATERIAL FINISHES — BUILDING 2

EXTERIOR SIDING — BOARD & BATT SIDING & 8" LAP SIDING
 COLOR: SHERWIN WILLIAMS — SHOWBOUND (7004)
 EXTERIOR TRIM (CORNER BOARDS, FASCIA)
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 ENTRY DOOR
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 GARAGE DOOR
 COLOR: SHERWIN WILLIAMS — LIGHT FRENCH GRAY (0055)
 WINDOWS — VINYL
 COLOR: BLACK
 ROOFING — ASPHALT SHINGLES
 EXPOSED FLASHING
 COLOR: BLACK
 EXTERIOR LIGHTING
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 WALL MOUNTED FIXTURES WILL BE HOODED AND SHIELDED TO DIRECT LIGHT DOWNWARDS.

MATERIAL FINISHES

BOARD & BATT SIDING & 8" LAP SIDING
 BLACK ARCHITECTURAL ASPHALT SHINGLES

REVISION	0
DATE	04/22/24
SCALE	1/4"=1'-0"
ELEVATIONS	A3A



ROCKRIDGE TOWNHOMES, TYPE 5
 2730 WINTERHAVEN DRIVE, LOT 1A, BLOCK 61
 WOODSIDE # 15 SUBDIVISION, HALEY, ID

BRADLEY CONSTRUCTION
 JAMES BRADLEY, PO BOX 2722, HALEY, IDAHO, 83333
 PHONE: 788-3008 FAX 788-2801 CELL: 481-2209

Rockridge Townhomes Exterior materials and colors

Building	Siding	House Color	Trim	Windows	Shingles	Front Door	Trex Deck
1	Vertical Board & Batton, 8" Lap	Kendall Charcoal HC-166	Kendall Charcoal HC-166	Black	Black	Light French Gray 0055	Winchester Grey
2	Vertical Board & Batton, 8" Lap	Snowbound 7004	Light French Grey	White	Black	Light French Gray 0055	Winchester Grey
3	Vertical Board & Batton, 8" Lap	Kingsport Gray HC-86	Kingsport Grey	White	Black	Revere Pewter HC-172	Winchester Grey
4	Vertical Board & Batton, 8" Lap	Revere Pewter HC-172	Revere Pewter	Black	Black	Snowbound 7004	Winchester Grey
5	Vertical Board & Batton, 8" Lap	Kendall Charcoal HC-166	Kendall Charcoal HC-166	Black	Black	Light French Gray 0055	Winchester Grey
6	Vertical Board & Batton, 8" Lap	Light French Gray 0055	Kendall Charcoal HC-166	Black	Black	Kendall Charcoal HC-166	Winchester Grey
7	Vertical Board & Batton, 8" Lap	Kingsport Gray HC-86	Kingsport Grey	White	Black	Griffin 7026	Winchester Grey
8	Vertical Board & Batton, 8" Lap	Snowbound 7004	Light French Grey	White	Black	Light French Gray 0055	Winchester Grey

ROCKRIDGE TOWNHOMES HAILEY, IDAHO

JULY 2024

GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPOWC) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPOWC AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL (800) 462-1585 TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPOWC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPOWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL. LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPOWC 802, TYPE II (TD STANDARD 703.04, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPOWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPOWC 802, TYPE I (TD STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPOWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPOWC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (12.5MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPOWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPOWC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPOWC SECTIONS 701, 703, AND 705 AND CITY OF HAILEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4000 PSI MINIMUM, OR DAY, AS DEFINED IN ISPOWC SECTION 703, TABLE 1 WITH A MINIMUM OF 1.5 LBS/YD³ FIBER REINFORCEMENT. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-84. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPOWC 703.3.5), AND POST POUR CURE SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HAILEY PRIOR TO INSPECTIONS.
- ALL TRENCHING SHALL CONFORM TO ISPOWC STANDARD DRAWING SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.010.A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING. TOPOGRAPHIC INFORMATION WITHIN AND ADJACENT TO WOODSIDE SUB #15 LOT 24, BLOCK 61 IS AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED (05/22/19). TOPOGRAPHIC INFORMATION WITHIN AND ADJACENT TO WOODSIDE SUB #15 PARCEL M2 BLOCK 61 IS PER BLAINE COUNTY LIDAR DATED 2017.
- PROPOSED SUBLOT BOUNDARIES AND PROPOSED EASEMENTS SHOWN HEREON ARE PER A PRELIMINARY PLAT BY GALENA ENGINEERING, DATED MAY 25, 2021. ADDITIONAL TOPOGRAPHIC DATA IS PER A SURVEY BY PHILLIPS LAND SURVEYING DATED 05/14/2024.



VICINITY MAP
N.T.S.

SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C1.00	SITE GEOMETRY PLAN
C2.00	UTILITY DETAIL SHEET
C2.10	UTILITY DETAIL SHEET
C2.11	SITE UTILITY PLAN AND SEWER PROFILE SHEET
C3.00	SITE IMPROVEMENT AND STORM SYSTEM DETAIL SHEET
C3.10	OVERALL SITE AND STORM SYSTEM PLAN
C3.20	NORTH-SOUTH ACCESS DRIVE PLAN AND PROFILE SHEET
C3.30	EAST-WEST ACCESS DRIVE PLAN AND PROFILE SHEET
C3.40	DETAILED GRADING PLAN
C3.50	DETAILED GRADING PLAN

CIVIL ENGINEER
SAMANTHA STAHLMEYER PE
OPAL ENGINEERING, PLLC
416 S. MAIN STREET SUITE 204
PO BOX 2330
HAILEY, IDAHO 83333

LAND SURVEYOR
MARK PHILLIPS PE
PHILLIPS LAND SURVEYING, PLLC
931 CHERRY CREEK DRIVE
HAILEY, IDAHO 83333



REVISION NO.	DATE	DESCRIPTION

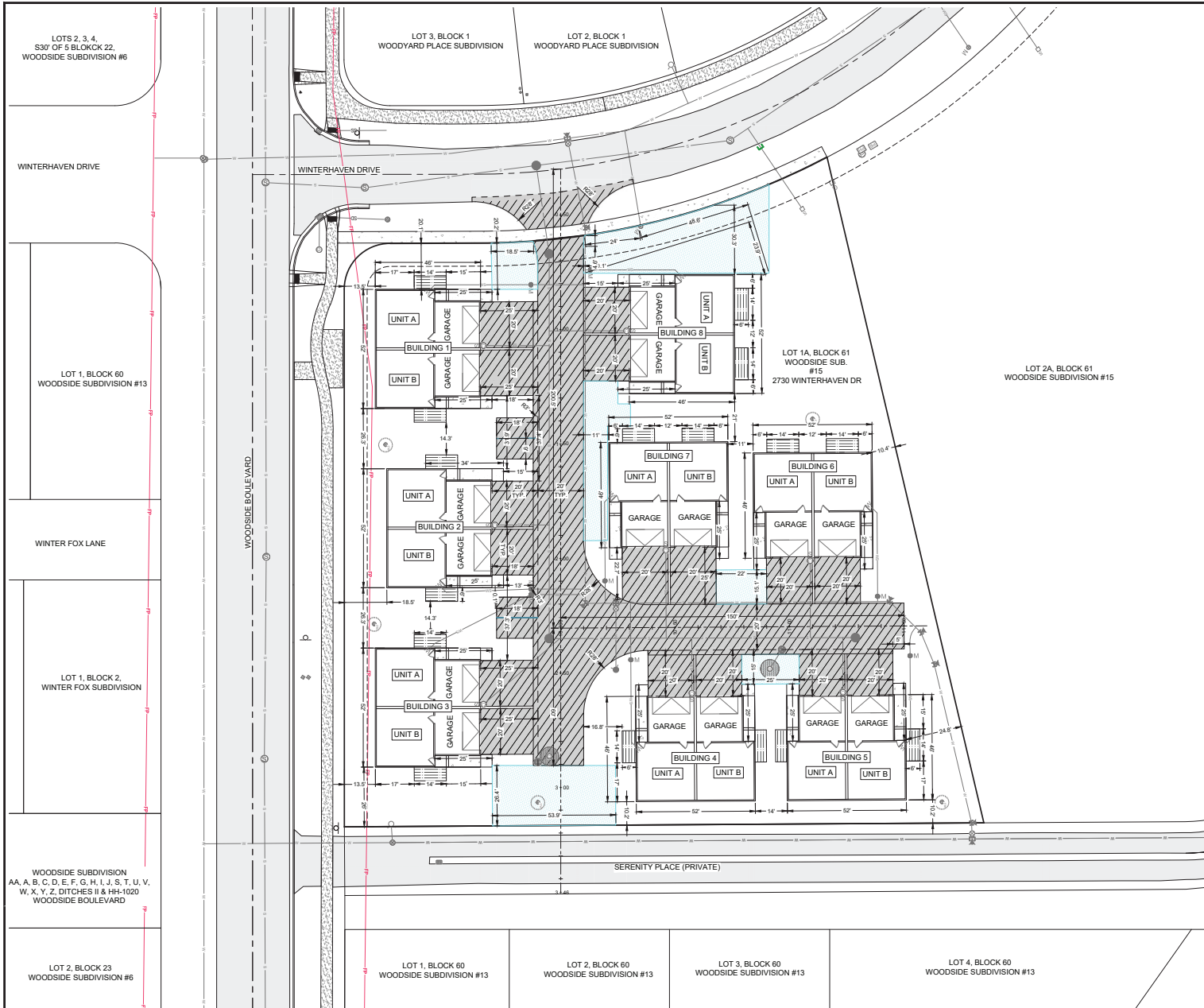


**PRELIMINARY
NOT FOR
CONSTRUCTION**

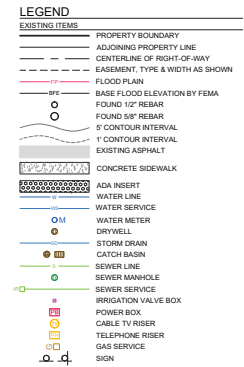
COVER SHEET
ROCKRIDGE TOWNHOMES
PREPARED FOR PROXY ACRES, LLC

22028
PROJECT NUMBER

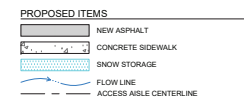
C0.10



- NOTES**
- SEE SHEET C0.10 FOR CONSTRUCTION GENERAL NOTES.
 - SEE SURVEY FOR SURVEY NOTES.



- ABBREVIATIONS**
- SBW = SACK OF SIDEWALK
 - BL = BICYCLE LANE
 - CC = CURB CUT
 - CL = CENTERLINE OF ASPHALT
 - EOA = EDGE OF ASPHALT
 - EOC = EDGE OF CONCRETE
 - LIP = LIP OF GUTTER
 - NG = NATURAL GRADE
 - PC = POINT OF CURVATURE
 - POC = POINT OF COMPOUND
 - CV = CURVATURE
 - PT = POINT OF TANGENT
 - TIRC = TOP BACK OF ROLLED CURB
 - TC = TOP OF CONCRETE
 - VG = VALLEY GUTTER



SNOW STORAGE SUMMARY

PROPOSED SNOW REMOVAL AREA = ± 16,062 SF
INCLUDES ACCESS AISLE AND DRIVEWAYS.

REQUIRED SNOW STORAGE = ± 4,016 SF (25%)

PROVIDED SNOW STORAGE = ± 4,882 SF (34.1%)



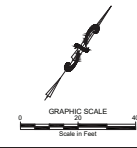
PURPOSE: ISSUE FOR DESIGN REVIEW (07/19/2024)

REVISION NO.	DATE	DESCRIPTION



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CONSTRUCTION**

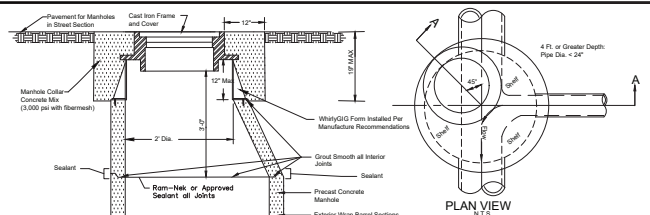
SITE GEOMETRY PLAN
ROCKRIDGE TOWNHOMES
PREPARED FOR ROCKY ACRES, LLC.



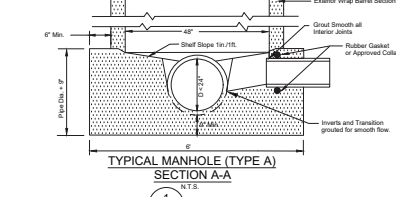
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PROJECT NUMBER
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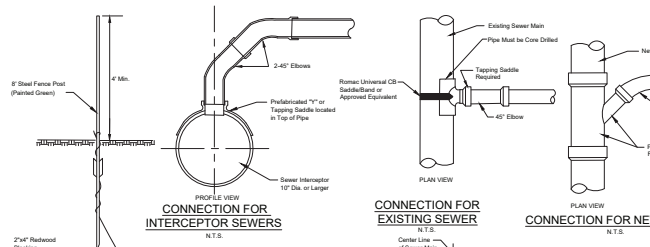
RELEASE OF DRAWINGS: These drawings, or any portion thereof, shall not be used for any project or construction without the prior written consent of Opal Engineering, PLLC.



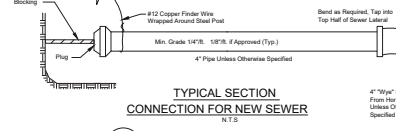
- NOTES**
- Optional cast in place manhole base with approved pipe connections may be used with city approval.
 - Service lines shall not be connected to manholes.
 - Manhole frame and cover:
 - Frame, cover, and concrete collar, shall be to 12" below the grade of pavement.
 - WhirlyGig allowed up to 12" height.
 - Where PVC is utilized, a rubber ring or gasket collar to be installed where the pipe is in contact with manhole base and/or manhole chamber, in order to insure a watertight seal.
 - See drawing No. 18.14.010.C.2 for shallow manhole Type A.
 - Frame and cover shall be adjacent to grade after paving. A steel collar shall cover the new pavement to install the grade rings, frame and concrete collar.
 - Manhole shall be set at least 6" from the frame and cover will be set 6" from the pavement for residential streets or per the Approved Construction Plans for other streets.
 - Exterior wrap material shall be EZ-strip Rubber or approved equal.
 - Exterior Collar shall be provided for all manholes.
 - No steps are allowed. If steps are removed repair holes with grout.
 - Tongue bolt - manufacturers specifications (60 lbs typical).



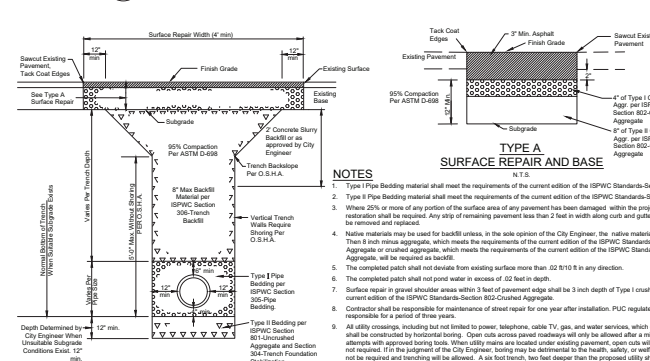
CITY OF HAILEY DETAIL SEWER MANHOLE - TYPE A (18.14.010.C.1)
N.T.S.



- NOTES**
- Sewer taps shall not enter at manholes.
 - An approved tapping saddle shall be approved for all new taps.
 - Existing service laterals. Saddle to be installed by the City Engineer.
 - Substation or development shall construct a sewer tap and service for each principal catch and extend it into the property.
 - When Sewer and Water lines or service cross refer to the correct edition of ISPCW Standard Drawing 607, IDAPA 58.01.08.042.01 and IDAPA 58.01.08.042.02 which address the requirements for separation distances between potable water lines (including mains and service lines) with nonpotable lines.



CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.2)
N.T.S.



- NOTES**
- Type I Pipe Bedding material shall meet the requirements of the current edition of the ISPCW Standards-Section 305-Pipe Bedding.
 - Type II Pipe Bedding material shall meet the requirements of the current edition of the ISPCW Standards-Section 305-Pipe Bedding.
 - Where 25% or more of any portion of the surface of any pavement has been damaged within the project limits, full width replacement shall be required. Any strip of remaining pavement less than 2 feet in width along curb and gutter or pavement edge shall be removed and replaced.
 - Native materials may be used for backfill unless, in the sole opinion of the City Engineer, the native materials are found to be unstable. There is 8 inch minus aggregate, which meets the requirements of the current edition of the ISPCW Standards-Section 802-Crushed Aggregate or crushed aggregate, which meets the requirements of the current edition of the ISPCW Standards-Section 802-Crushed Aggregate, will be required as backfill.
 - All utility coverings, including but not limited to power, telephone, cable TV, gas, and water services, which cross existing paved manholes shall be constructed by horizontal boring. Open access panel manholes will only be allowed where a minimum of three feet of bedding with approved bedding below. When bedding is required, it shall be installed to the top of the bedding. Bedding is not required. If in the judgment of the City Engineer, bedding may be determined to be health, safety, or welfare of the public, bedding will be required and bedding will be approved. A bed of bedding shall be installed below the bedding to be installed. The bedding shall be installed to the edge of pavement for evaluation of soil conditions by the City Engineer to determine if bedding shall be attempted or if trenching will be required.
 - All trenches shall be repaired within 72 hours of starting the work unless prior approval to delay repairing has been provided by the City Engineer.
 - Concrete Slurry Mix Design:

Course Aggregate (3/8" Min)	2600 lbs
Sand	800 lbs
Cement	94 lbs (max)
Water	11 gals (max)



TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)
N.T.S.

- SEWER CONSTRUCTION NOTES**
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "DADWA STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF PLANS STAMPED WITH THE DEO APPROVAL STAMP AND A COPY OF THE DEO APPROVAL LETTER ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL MAINS AND SERVICES SHALL COMPLY WITH IDAPA 58.01.08.042.07 and IDAPA 58.01.08.042.07 WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET C2.01). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME RELOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.
 - POTABLE/NON-POTABLE CROSSINGS SHALL COMPLY WITH ISPCW STANDARD DRAWING NO. SD-407 AND IDAPA SECTION 58.01.08.042.07.
 - THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
 - ALL SEWER SERVICE STUBS SHALL BE MARKED AND CAPPED WITH A GREEN PAINTED METAL FENCE POST. SEWER SERVICE LINES SHALL BE PLACED AT A SLOPE OF 2%, WITH MARKERS PER ISPCW. CLEANOUTS ARE REQUIRED AT CHANGES IN ALIGNMENT, GRADE, AND MINIMUM 150' LENGTH.
 - ALL PIPE SHALL BE BEDDED WITH (ISPCW) TYPE I BEDDING MATERIAL.
 - TRENCHES SHALL BE BACK FILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
 - THE CONTRACTOR SHALL PRESERVE ALL EXISTING MAINS AND SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE "DADWA STANDARDS FOR PUBLIC WORKS CONSTRUCTION" AND THE CITY OF HAILEY STANDARDS. NO SEWER MAIN OR SERVICE SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY AND ENGINEER. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWENTY-FOUR (24) HOURS NOTICE TO THE CITY AND ENGINEER TO TEST AND REPAIR LOCATING WIRE CODE SECTION 18.10.02.
 - ALL SEWER MAINS SHALL BE CONSTRUCTED OF PVC PIPE CONFORMING TO ASTM D3034 SDR 35. MINIMUM PIPE DIAMETER FOR GRAVITY SEWER MAINS SHALL BE 8-INCHES. MINIMUM SLOPE FOR 8-INCH SEWER MAIN SHALL BE .04%. INSTALL PIPE AT SLOPES INDICATED ON PLANS.
 - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ISPCW STANDARD DRAWING SD-401. MINIMUM DIAMETER SHALL BE 48 INCHES. AT ALL PIPE INTERSECTION, CHANGES IN ALIGNMENT, CHANGES IN GRADE, AND AT TERMINAL ENDS.

- WATER MAIN CONSTRUCTION NOTES**
- WATER MAIN AND SERVICE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS. NO WATER MAIN OR SERVICE SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY AND ENGINEER. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWENTY-FOUR (24) HOURS NOTICE TO THE CITY AND ENGINEER TO TEST AND REPAIR LOCATING WIRE CODE SECTION 18.10.02.
 - WATER MAINS LESS THAN 12" IN DIAMETER AND WATER SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6'). MEASURED FROM FINISHED GRADE. WATER MAINS GREATER THAN OR EQUAL TO 12" IN DIAMETER SHALL HAVE A MINIMUM COVER OF SEVEN FEET (7').
 - ALL 4" AND LARGER WATER MAINS SHALL BE CONSTRUCTED WITH ANHAWWA C400, CLASS 235 PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH ISPCW SECTION 401.3.6 AND THE CITY OF HAILEY STANDARDS. TRACER WIRE SHALL BE NO. 12 GAUGE COPPER LOCATING WIRE INSULATED PER ISPCW SECTION 401 AND THE CITY OF HAILEY SPECIFICATIONS.
 - SEE FLUSHING AND DISINFECTING REQUIREMENTS THIS SHEET. ALL BACTERIA TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER AND THE CITY OF HAILEY WATER AND SEWER DEPARTMENT FOR FINAL APPROVAL AND ACCEPTANCE PRIOR TO ACTIVATION OF THE WATER MAIN AND SERVICES.
 - ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANSIS/NSF STANDARD 6061. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEACH RULE (21-CPH/97 BY HEWITT).
 - ALL TEE, FLANGE, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING (MECHANICAL RESTRAINTS ARE NOT ALLOWED); THRUST BLOCKS SHALL CONFORM TO ISPCW SD-403 AND THE CITY OF HAILEY STANDARDS.
 - ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEMS, "C" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING ANHAWWA STANDARDS PER ISPCW SECTION 402. ALL GATE VALVES LOCATED IN PAVEMENT SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER ISPCW SD-406 AND THE CITY OF HAILEY SPECIFICATIONS.
 - ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF ANHAWWA C110 FOR 250 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
 - FIRE HYDRANTS SHALL CONFORM WITH THE CITY OF HAILEY STANDARDS.
 - ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM 1-304 STAINLESS STEEL WITH ANHAWWA C207 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A-308. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT PLUG.
 - ALL WATER MAINS SHALL COMPLY WITH IDAPA 58.01.08.042.07 and IDAPA 58.01.08.042.07 WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET C2.01). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
 - ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH ISPCW SECTION 404 AND THE CITY OF HAILEY STANDARDS. ALSO SEE APPROVED REVISIONS. BACKFLOW ASSEMBLY SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS (INCLUDING FIRE SUPPRESSION SERVICES, IF APPLICABLE) IN ACCORDANCE WITH THE CITY OF HAILEY WATER TREATMENT, FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAHO BACKFLOW PREVENTION REQUIREMENTS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATING LINES BY 6".
 - THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LIVE TO THE GREATEST EXTENT POSSIBLE WHILE INSTALLING THE NEW WATER MAIN AND SERVICES MINIMIZING DISRUPTION TO EXISTING WATER SYSTEM USERS. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED AND FLUSHED PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SHUTDOWN IS 4 HOURS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REMOVING AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY, INCLUDING CONNECTION OF BACKFILL OF THE PIPE ZONE, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A MANNER THAT DOES NOT IMPROPERLY.
 - EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND CONFLICTS.

- FLUSHING AND DISINFECTING**
- A. FLUSHING PRIOR TO DISINFECTING**
- USE CHLORINATED WATER TO FLUSH THE MAIN THROUGHOUT AFTER THE PRESSURE AND LEAKAGE TEST IS COMPLETE.
 - USE A MINIMUM FLUSHING VELOCITY IN THE MAIN OF 2.5 FEET/SECOND.
 - IF BACKFLOW IS INSTALLED AT THE MAIN, PROVIDE A 180° OF THE SIZE SUFFICIENT TO PRODUCE A VELOCITY IN THE MAIN OF AT LEAST 2.5 FEET/SECOND.
 - TABLE 1 SHOWS THE RATES OF FLOW REQUIRED TO PRODUCE A VELOCITY OF 2.5 FEET/SECOND IN VARIOUS SIZE PIPES.
 - EXERCISE EXTREME CARE AND CONDUCT A THOROUGH INSPECTION DURING THE WATER MAIN LAYING TO PREVENT AND DETECT SMALL STONES, PIECES OF CONCRETE, BRICKS, OR OTHER FOREIGN MATERIALS THAT MAY HAVE ENTERED THE MAINS.
 - CLEAN LARGE MATERIAL BY FLUSHING AND INSPECTING ALL HYDRANTS ON THE LINES TO ENSURE THAT THE ENTIRE VALVE OPERATING MECHANISMS OF EACH HYDRANT IS IN GOOD CONDITION.
- B. DISINFECTION OF WATER PIPES**
- GENERAL:
 - COMPLY WITH ANHAWWA C501, DISINFECTING WATER MAINS. THESE SPECIFICATIONS, AND ENGINEER'S DIRECTION.
 - KEEP THE INTERIOR OF ALL PIPE, FITTINGS AND APPURTENANCES FREE FROM DIRT, HEAVY AND FOREIGN PARTICLES.
 - DISINFECT ALL WATER PIPES AND APPURTENANCES PRIOR TO PLACING IN SERVICE.
 - FORM OF CHLORINE USED TO BE PRE-APPROVED BY THE ENGINEER:
 - LIQUID CHLORINE:
 - FORM: LIQUID CONTAINING 10% AVAILABLE CHLORINE UNDER PRESSURE IN STEEL CONTAINERS.
 - STANDARD: ANSII/AWWA B 301.
 - EXCUTION USED ONLY BY TRAINED PERSONNEL WITH APPROPRIATE GAS-FLOW CHLORINATORS AND ELECTRODS.
 - AUTHORIZATION: ONLY WITH WRITTEN AUTHORIZATION OF THE ENGINEER.
 - SODIUM HYPOCHLORITE:
 - FORM: LIQUID CONTAINING APPROXIMATELY 5% TO 15% AVAILABLE CHLORINE.
 - STANDARD: ANSII/AWWA B 300.
 - CALCIUM HYPOCHLORITE:
 - FORM: GRANULAR OR 90 TABLETS CONTAINING APPROXIMATELY 65% AVAILABLE CHLORINE BY WEIGHT.
 - STANDARD: ANSII/AWWA B 300.
 - METHODS OF CHLORINATION USED TO BE PRE-APPROVED BY THE ENGINEER:
 - TABLET OR GRANULE METHOD:
 - SOLUTION STRENGTH: 25 MG/L MINIMUM.
 - FLUSHING PROCEDURE: WHEN GRANULES OR TABLET INSTALLATION HAS BEEN COMPLETED, FILL THE MAIN WITH CLEAN WATER AT A VELOCITY NOT EXCEEDING JOINT SEAL PRESSURE.
 - PLACEMENT WHEN USING TABLETS: DURING CONSTRUCTION, PLACE CALCIUM HYPOCHLORITE GRANULES AT THE UPSTREAM END OF EACH BRANCH MAIN, AND AT 500-FOOT INTERVALS.
 - PLACEMENT WHEN USING TABLETS: DURING CONSTRUCTION, PLACE 50 CALCIUM HYPOCHLORITE TABLETS IN EACH SECTION OF PIPE AND ALSO PLACE TABLETS IN EACH MAIN AND BRANCH AND OTHER APPURTENANCES AT REGULAR INTERVALS TO ENSURE 100 MG/L DOSE APPLY THE CHLORINE CONTINUOUSLY AND FOR THE REQUIRED TO DEVELOP A SOLID COLUMN OR SLUG OF CHLORINATED WATER THAT WILL, AS IT MOVES THROUGH THE MAIN, EXPOSE ALL INTERIOR SURFACES TO A 100 MG/L FOR AT LEAST 3 HOURS. MEASURE THE CHLORINE RESIDUAL IN THE SLUG AS IT MOVES THROUGH THE MAIN. IF AT ANY TIME IT DROPS BELOW 50 MG/L, STOP FLOW AND RELOCATE CHLORINATION EQUIPMENT AT THE HEAD OF THE SLUG, AND AS FLOW IS RESUMED, ADD CHLORINE TO RESTORE THE FREE CHLORINE IN THE SLUG TO NOT LESS THAN 100 MG/L. AS THE CHLORINATED WATER FLOWS PAST FITTINGS AND VALVES, OPERATE VALVES AND HYDRANTS TO DISINFECT APPURTENANCES AND PIPE BRANCHES.
 - DOSE METHOD:
 - SOLUTION STRENGTH: 100 MG/L.
 - DOSING METHODS: PER ENGINEER'S DIRECTION.
 - FLUSHING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAD WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE CONCENTRATION AT REGULAR INTERVALS TO ENSURE 100 MG/L DOSE APPLY THE CHLORINE CONTINUOUSLY AND FOR THE REQUIRED TO DEVELOP A SOLID COLUMN OR SLUG OF CHLORINATED WATER THAT WILL, AS IT MOVES THROUGH THE MAIN, EXPOSE ALL INTERIOR SURFACES TO A 100 MG/L FOR AT LEAST 3 HOURS. MEASURE THE CHLORINE RESIDUAL IN THE SLUG AS IT MOVES THROUGH THE MAIN. IF AT ANY TIME IT DROPS BELOW 50 MG/L, STOP FLOW AND RELOCATE CHLORINATION EQUIPMENT AT THE HEAD OF THE SLUG, AND AS FLOW IS RESUMED, ADD CHLORINE TO RESTORE THE FREE CHLORINE IN THE SLUG TO NOT LESS THAN 100 MG/L. AS THE CHLORINATED WATER FLOWS PAST FITTINGS AND VALVES, OPERATE VALVES AND HYDRANTS TO DISINFECT APPURTENANCES AND PIPE BRANCHES.

- C. FINAL FLUSHING:**
- IF AFTER THE RETENTION PERIOD, FLUSH THE CHLORINATED WATER FROM THE MAIN UNTIL CHLORINE MEASUREMENTS SHOW THAT THE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT IN THE SYSTEM, OR IT IS ACCEPTABLE FOR DOMESTIC USE.
 - DISPOSAL OF FLUSHING WATER TO BE DONE IN A MANNER SO THAT IT DOES NOT:
 - REACH SURFACE WATERS OR WATERS OF THE STATE.
 - DAMAGE SURROUNDING PROPERTIES.
 - BE PLACED DURING PERIODS WHEN THE AMBIENT TEMPERATURE IS ABOVE 85° WITHOUT PRIOR APPROVAL OF THE ENGINEER.
 - IF WATER CAN NOT BE RETAINED ON SITE AND IF IT IS NOT ALLOWED TO ENTER THE SANITARY SEWER COLLECTION SYSTEM, WATER SHALL BE DECHLORINATED TO SEPARATE A MAXIMUM AVAILABLE CHLORINE CONCENTRATION OF 0.13 MG/L AND THE APPROPRIATE PRIVATE, FEDERAL AND STATE DISCHARGE AND DISPOSAL APPROVALS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF FLUSHING ACTIVITIES. SHOULD THERE BE A POTENTIAL FOR THE GROUNDWATER RULE TO BE VIOLATED AS A RESULT OF A CHLORINATED DISCHARGE THE ENGINEER SHALL COORDINATE DISPOSAL WITH REGIONAL DEW STAFF PRIOR TO FLUSHING.
- D. BACTERIOLOGICAL TESTS:**
- AFTER FINAL FLUSHING AND BEFORE THE WATER MAIN IS PLACED IN SERVICE, TEST SAMPLES COLLECTED FROM THE MAIN(S) FOR COLIFORM BACTERIA. TAKE 2 SAMPLES FROM EACH LOCATION AT NOT LESS THAN 24 HOURS APART.
 - DISPOSAL OF FLUSHING WATER TO BE DONE IN A MANNER SO THAT IT DOES NOT:
 - REACH SURFACE WATERS OR WATERS OF THE STATE.
 - DAMAGE SURROUNDING PROPERTIES.
 - BE PLACED DURING PERIODS WHEN THE AMBIENT TEMPERATURE IS ABOVE 85° WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- E. REDISINFECTING:**
- IF THE INITIAL DISINFECTING FAILS TO PRODUCE APPROVED BACTERIOLOGICAL SAMPLES, REFRESH AND RESAMPLE THE MAIN.
 - IF CHECK SAMPLES SHOW BACTERIAL CONTAMINATION, RE-CHLORINATE THE MAIN UNTIL APPROVED RESULTS ARE OBTAINED.

REQUIRED FLOW AND OPENINGS TO FLUSH PIPELINES

TABLE 1
90% RESIDUAL PRESSURE IN WATER MAIN (1)

Pipe Diameter (Nominal)	Flow Required to Produce 2.5 ft/sec		Hydrant Opening
	(1) (ft³/min)	(2) (gpm)	
4"	1.0	1	1 1/2"
6"	2.2	2	2"
8"	3.9	4	2 1/2"
10"	5.6	6	3"
12"	8.4	9	3 1/2"
14"	11.2	12	4"
16"	14.0	15	4 1/2"
18"	16.8	18	5"
20"	19.6	21	5 1/2"
24"	28.0	28	6"

TABLE 2
CONCENTRATIONS OF GRANULES

Pipe Diameter (Nominal)	Amount (lb Tablets @ 100)
4"	1
6"	2
8"	3
10"	4
12"	6
14"	8
16"	10
18"	12
20"	15
24"	20

TABLE 3
NUMBER OF TABLETS (1)

Pipe Diameter (Nominal)	Number of Tablets (1)
4"	1
6"	2
8"	3
10"	4
12"	6
14"	8
16"	10
18"	12
20"	15
24"	20

- 1)** With 4" or pipe section in the main with the hydrant being in atmosphere, a 2 1/2 inch hydrant outlet will discharge approximately 1,000 gpm and a 4-1/2 inch hydrant outlet discharge approximately 2,000 gpm.
- 2)** Number of taps on pipe section to discharge through 1/2" test of galvanized iron (GI) pipe section above.

OPAL ENGINEERING, P.L.C.
 1000 EAST 10TH AVENUE, SUITE 100
 DENVER, CO 80218

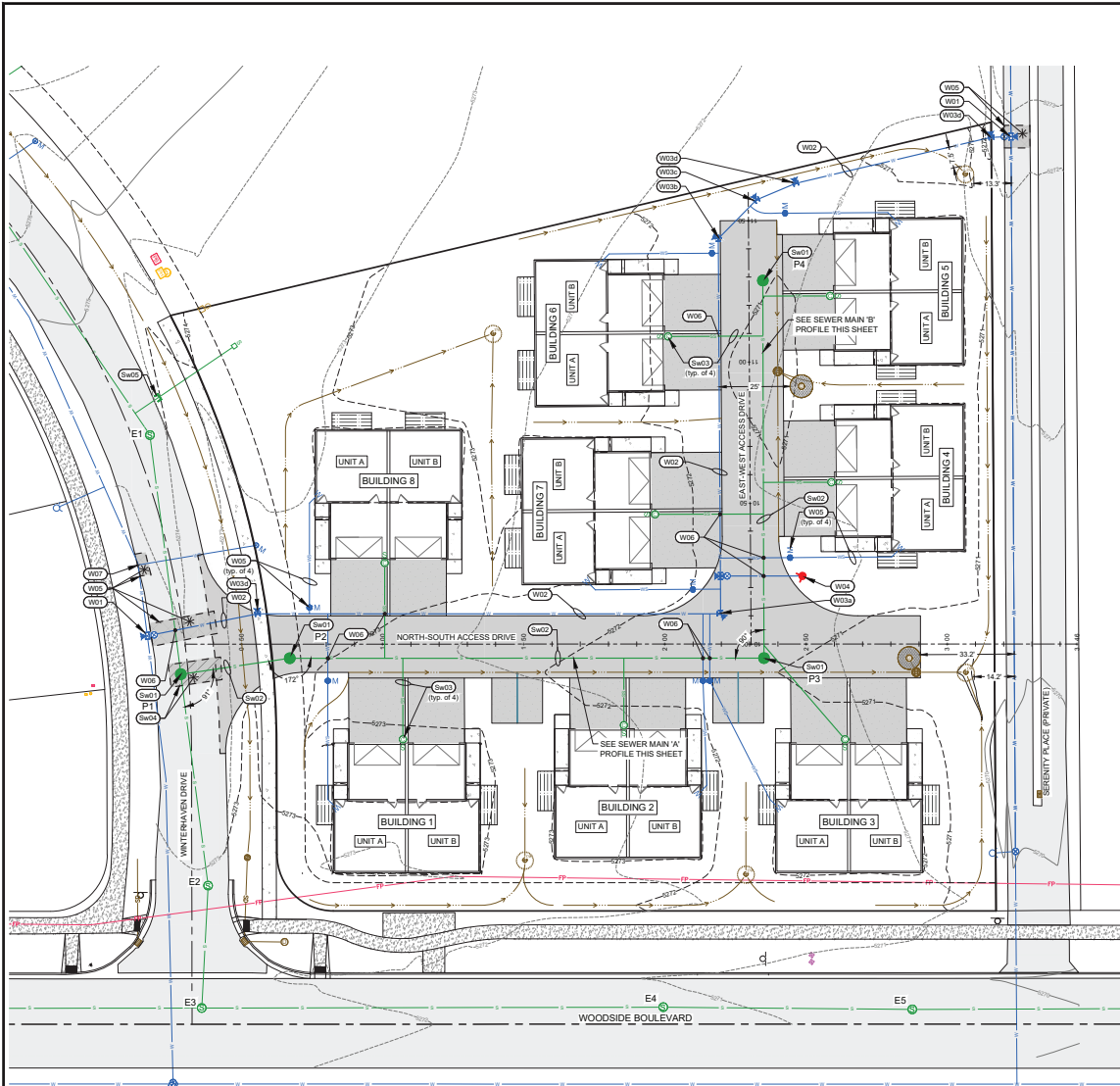
PURPOSE: ISSUE FOR DESIGN REVIEW (07/18/2024)
 REVISION NO. DATE DESCRIPTION

PRELIMINARY NOT FOR CONSTRUCTION

UTILITY DETAIL SHEET
 ROCKFORD TOWNSHIPS
 PREPARED FOR ROCKY MOUNTAIN

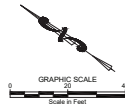
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22028
 PROJECT NUMBER
 C2.00



GENERAL NOTES:

- SEE SHEET C2.00 FOR WATER AND SEWER CONSTRUCTION NOTES.
- SEE SHEET C1.00 FOR EXISTING SITE CONDITIONS.



SEWER KEY NOTES

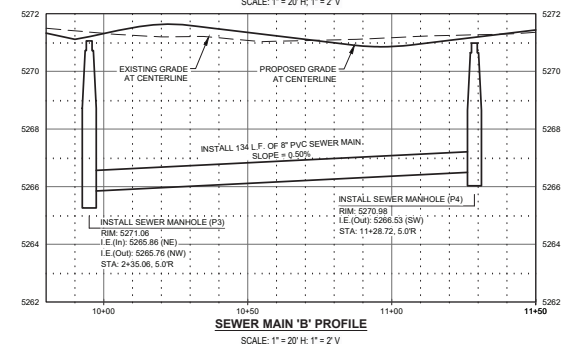
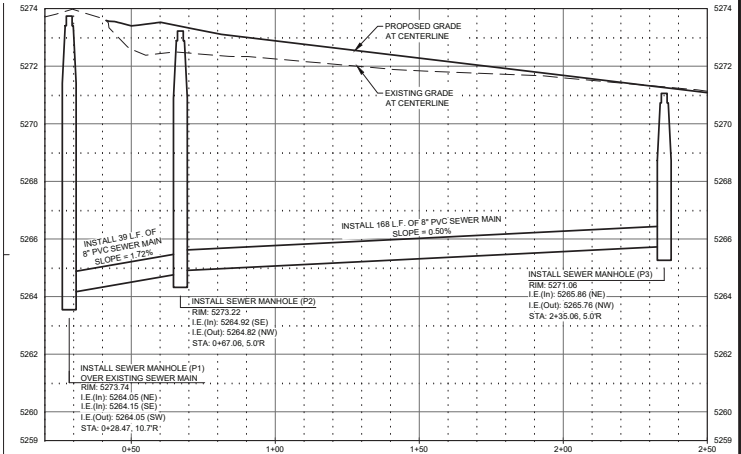
- Sw1** INSTALL SEWER MANHOLE. REFER TO DETAIL 1 / C2.00.
- Sw2** INSTALL 8" PVC SEWER MAIN. REFER TO DETAIL 3 / C2.00 FOR TRENCHING.
- Sw3** INSTALL 4" PVC SEWER SERVICE WITH CLEANOUT. REFER TO DETAIL 2 / C2.00 FOR TRENCHING AND SURFACE REPAIR.
- Sw4** SAWCUT ASPHALT AND REPAIR. REFER TO DETAIL 3 / C2.00 FOR SURFACE REPAIR.
- Sw5** LOCATE SEWER SERVICE. CUT AND PLUG SERVICE NEAR EDGE OF ASPHALT. ABANDON PIPE IN-PLACE.

ON-SITE STORM SYSTEM LEGEND

- DW1** DRYWELL
- DW2** LANDSCAPE DRYWELL
- CB1** CATCH BASIN
- CB2** LANDSCAPE CATCH BASIN
- SD1** STORM DRAIN LINE

WATER KEY NOTES

- W1** POINT OF WATER CONNECTION. COORDINATE ACTIVITY WITH THE CITY.
- W2** INSTALL 8" STAINLESS STEEL TAPPING SADDLE, 8" GATE VALVE, WITH THRUST BLOCKS. REFER TO DETAIL 1 / C2.01 FOR THRUST PROTECTION.
- W3** INSTALL 8" PVC C-900 WATER MAIN. REFER TO DETAIL 3 / C2.00 FOR TRENCHING.
- W4** INSTALL DUCTILE IRON FITTINGS WITH THRUST PROTECTION.
 - a. 8" 90° BEND
 - b. 8" 45° BEND
 - c. 8" 22 1/2° BEND
 - d. 8" 11 1/4° BEND
- W5** INSTALL FIRE HYDRANT ASSEMBLY. D.I. TEE, GATE VALVE, AND 8" PVC C-900 PIPE. REFER TO FIRE HYDRANT DETAIL 2 / C2.01.
- W6** INSTALL 1" WATER SERVICE WITH WATER METER VAULT. REFER TO DETAIL 3 / C2.01 FOR WATER SERVICE DETAIL.
- W7** SAWCUT ASPHALT AND REPAIR. REFER TO DETAIL 3 / C2.00 FOR SURFACE REPAIR.
- W8** POTABLE/ON-POTABLE CROSSING. SEE IS/SPW DETAIL 50-107 AND/OR DETAIL 4 / C2.01 FOR SEPARATION REQUIREMENTS.
- W9** CONTRACTOR TO LOCATE AND TURN-OFF CONNECTION STOP AT WATER MAIN. DISCONNECT WATER SERVICE AND ABANDON IN-PLACE. REMOVE AND DISPOSE OF METER BOX.



REVISION NO.	DATE	DESCRIPTION



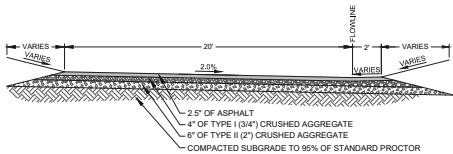
PRELIMINARY NOT FOR CONSTRUCTION

SITE UTILITY PLAN AND SEWER PROFILE SHEET
 ROCKCROFT TOWNHOMES

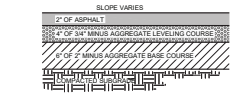
22028 PROJECT NUMBER

C2.10

OPAL ENGINEERING, PLLC
 10000 PINEBROOK DRIVE, SUITE 100
 WOODBRIDGE, VA 22191
 (703) 595-1100
 WWW.OPAL-ENGINEERING.COM
 PROJECT NUMBER: 22028-0001
 SHEET NUMBER: C2.10
 DATE: 07/16/2024
 PROJECT: ROCKCROFT TOWNHOMES
 PREPARED FOR: ROCKY ACRES, LLC.

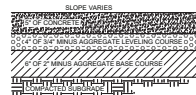


1 TYPICAL ACCESS ROAD SECTION
N.T.S.



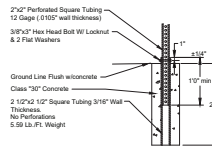
NOTES:
1. SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
2. MATERIALS SHALL CONFORM WITH CURRENT ISPWV STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

2 TYPICAL ASPHALT DRIVEWAY & PARKING SPACE SECTION
N.T.S.



NOTES:
1. INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
2. 12" TRANSVERSE PERFORMED BY JUNCTION JOINTS AT TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 'E' EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
3. SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2" WIDE, 4" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
4. WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
5. SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
6. MATERIALS SHALL CONFORM WITH CURRENT ISPWV STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
7. CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

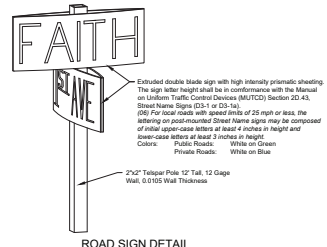
3 TYPICAL CONCRETE SECTION
N.T.S.



SIGN POST INSTALLATION DETAIL WITH ONE PIECE ANCHOR POST FOR USE IN CONCRETE SIDEWALKS
N.T.S.

NOTES:
1. Anchor sleeves shall be installed so that the holes will align and the top be flush with the sign post anchor.
2. All installations shall have 8" square concrete foundations or grouted into solid rock.

4 CITY OF HAILEY STREET SIGN DETAIL (18.14.014.D)
N.T.S.



ROAD SIGN DETAIL
N.T.S.

NOTES:
1. Street Signs shall be in accordance with the most current edition of the MUTCD.
2. Sign placement shall be approved by the City of Hailey.



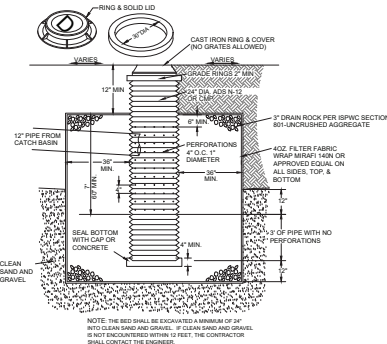
REVISION NO.	DATE	DESCRIPTION



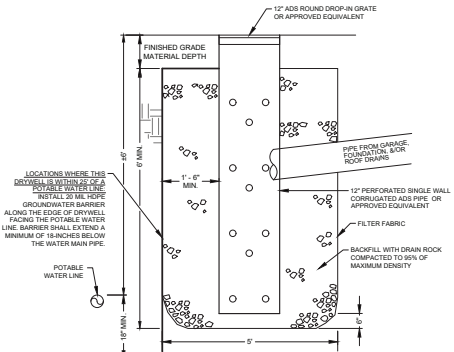
PRELIMINARY NOT FOR CONSTRUCTION

SITE IMPROVEMENT AND STORM SYSTEM DETAIL SHEET
 ROCKRIDGE TOWNHOMES

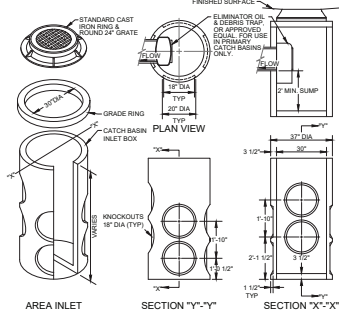
22028 PROJECT NUMBER
C3.00



5 DRYWELL DETAIL
N.T.S.

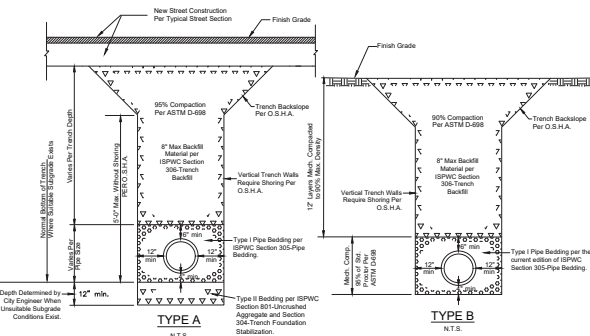


6 LANDSCAPE DRYWELL
N.T.S.



7 30" DIAMETER PRIMARY CATCH BASIN
N.T.S.

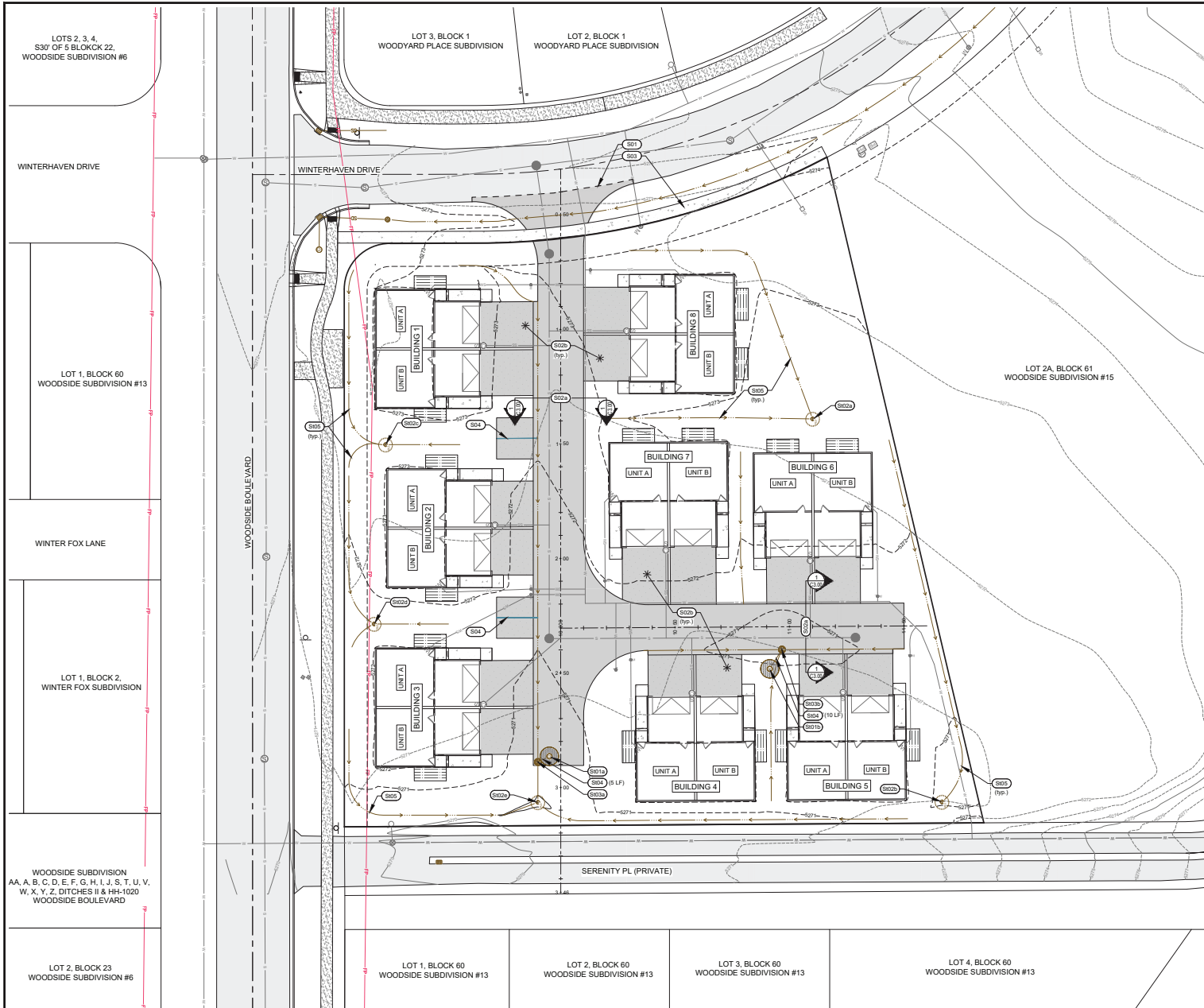
CATCH BASIN INSTALLATION NOTES:
1. PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWV SECTION 905 - PIPE BEDDING, EXTENDING BEYOND EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL, COMPACTED LEVEL TO THE TOP OF THE BEDDING.
5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.



TYPICAL TRENCH SECTIONS
N.T.S.

NOTES:
1. Type I Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
2. Type II Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
3. Native materials may be used for backfill unless, in the sole opinion of the City Engineer, the native material is found to be unsuitable; then either blanch minus uncrushed aggregate per the current edition of the ISPWV Standards-Section 805-Uncrushed Aggregate or Type I or II crushed aggregate per the current edition of the ISPWV Standards-Section 802-Crushed Aggregate will be required as backfill.
4. If work in public traffic ways is subject to approval by the City Engineer, he shall be notified one day before any excavation is started. No backfill shall be placed until the backfill material has been approved by the City Engineer.
5. Type A Trench Section shall be used when crossing a public or private road, street or driveway section. A road, street or driveway section is defined as the area under an existing asphalt or gravel surface or curb and sidewalk, plus (4') four feet beyond each edge.
6. Type B Trench Section shall be used outside of any Type A, where new streets are not planned.
7. Rock shall be excavated to at least standard trench width per the current edition of the ISPWV Standards-Section 302-Rock Excavation.

8 CITY OF HAILEY DETAIL NEW DEVELOPMENT TYPICAL TRENCH SECTION (18.14.014.A.2)
N.T.S.



- ### SITE IMPROVEMENT KEY NOTES
- S01 SAWLETT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - S02 CONSTRUCT ASPHALT ROADWAY.
 - a. MAIN ACCESS ROAD. REFER TO DETAIL 1 / C3.00.
 - b. DRIVEWAY OR PARKING SPACE. REFER TO DETAIL 2 / C3.00.
 - S03 CONSTRUCT 2' WIDE CONCRETE SIDEWALK. REFER TO DETAIL 3 / C3.00.
 - S04 INSTALL ROAD STRIPING PAINT
 - a. WHITE ASPHALT PARKING STRIPING (4' WIDE).
- ### STORM SYSTEM KEY NOTES
- S01 INSTALL DRYWELL. REFER TO DETAIL 5 / C3.00.
 - a. RIM = 5270.44
 - I.E. (in) = 5267.23
 - b. RIM = 5271.02
 - I.E. (in) = 5267.35
 - S02 INSTALL LANDSCAPE DRYWELL. REFER TO DETAIL 6 / C3.00.
 - a. RIM = 5272.16
 - b. RIM = 5270.69
 - c. RIM = 5272.00
 - d. RIM = 5271.17
 - e. RIM = 5269.81
 - S03 INSTALL CATCH BASIN. REFER TO DETAIL 7 / C3.00.
 - a. RIM = 5270.31
 - I.E. (out) = 5267.31
 - b. RIM = 5270.55
 - I.E. (out) = 5267.55
 - S04 INSTALL 12" ADS N-12, OR APPROVED EQUAL STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 8 / C3.00 FOR FRENCHING.
 - S05 CONSTRUCT SWALE. GRADE TOWARDS STORM STRUCTURE.

- ### GENERAL NOTES:
1. SEE SHEET C2.00 FOR WATER AND SEWER CONSTRUCTION NOTES.
 2. SEE SHEET C1.00 FOR EXISTING SITE CONDITIONS.



PURPOSE: ISSUE FOR DESIGN REVIEW (07/19/2024)

REVISION NO.	DATE	DESCRIPTION

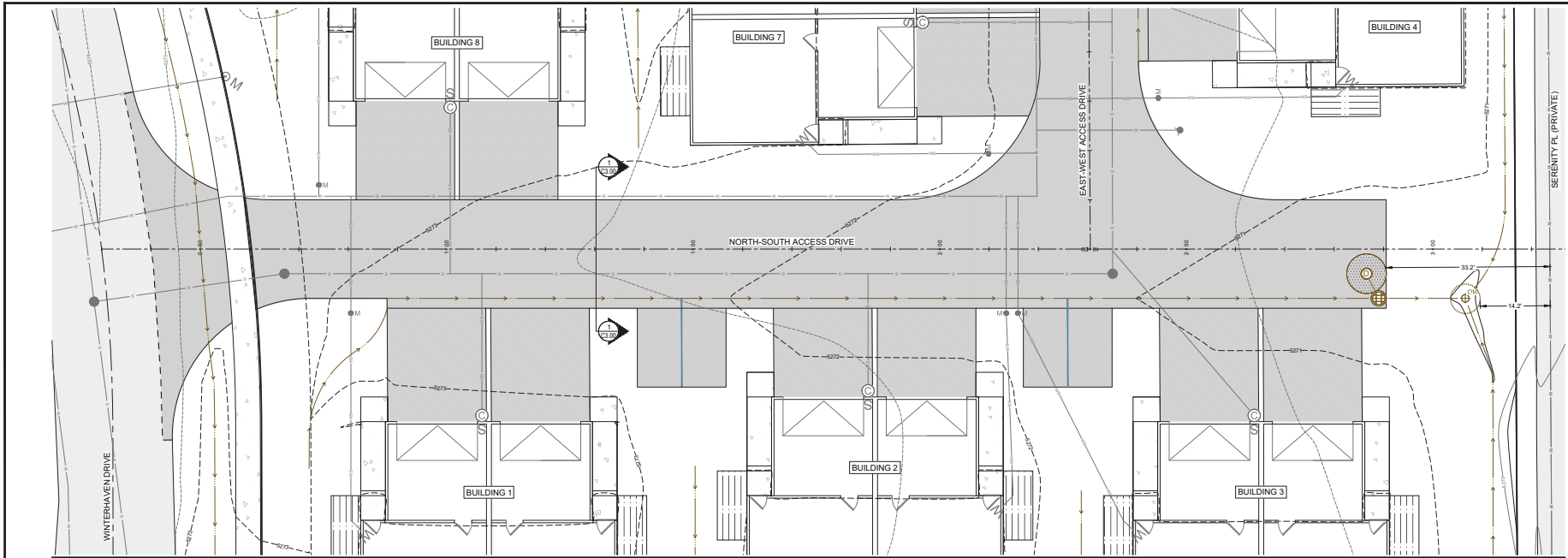


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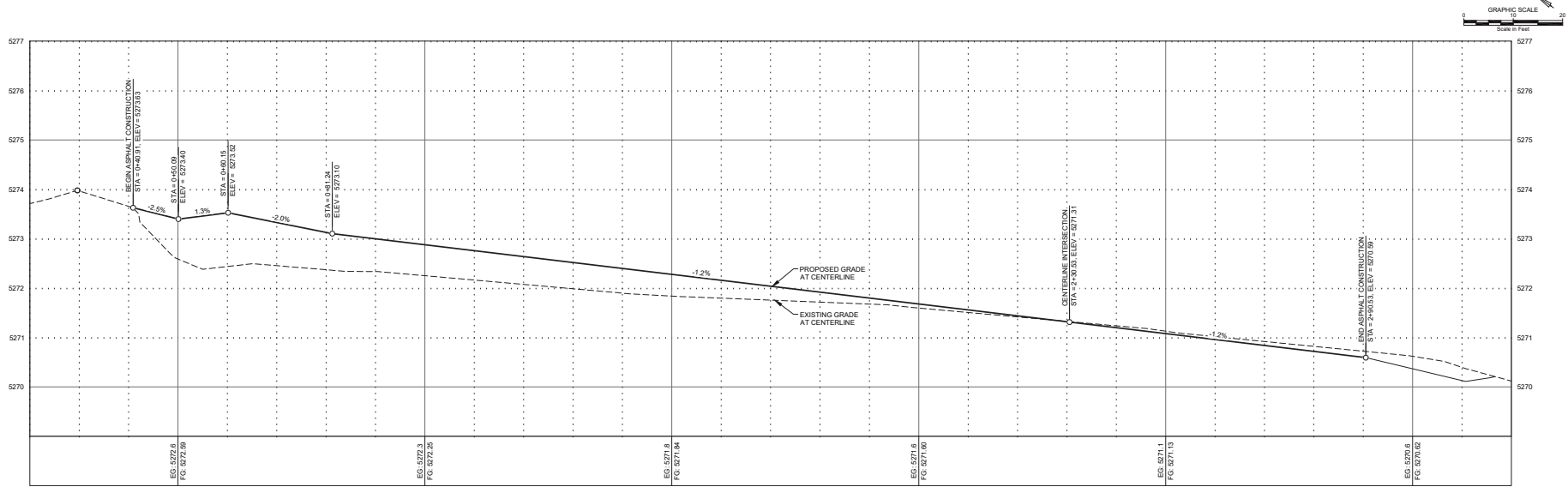
OVERALL SITE AND STORM SYSTEM PLAN
 ROCKRIDGE TOWNHOMES
 PREPARED FOR ROCKY ACRES, LLC.

22028
 PROJECT NUMBER
C3.10





NORTH-SOUTH ACCESS DRIVE PLAN VIEW



NORTH-SOUTH ACCESS DRIVE PROFILE
SCALE: 1" = 10' H; 1" = 1' V



REVISION NO.	DATE	DESCRIPTION

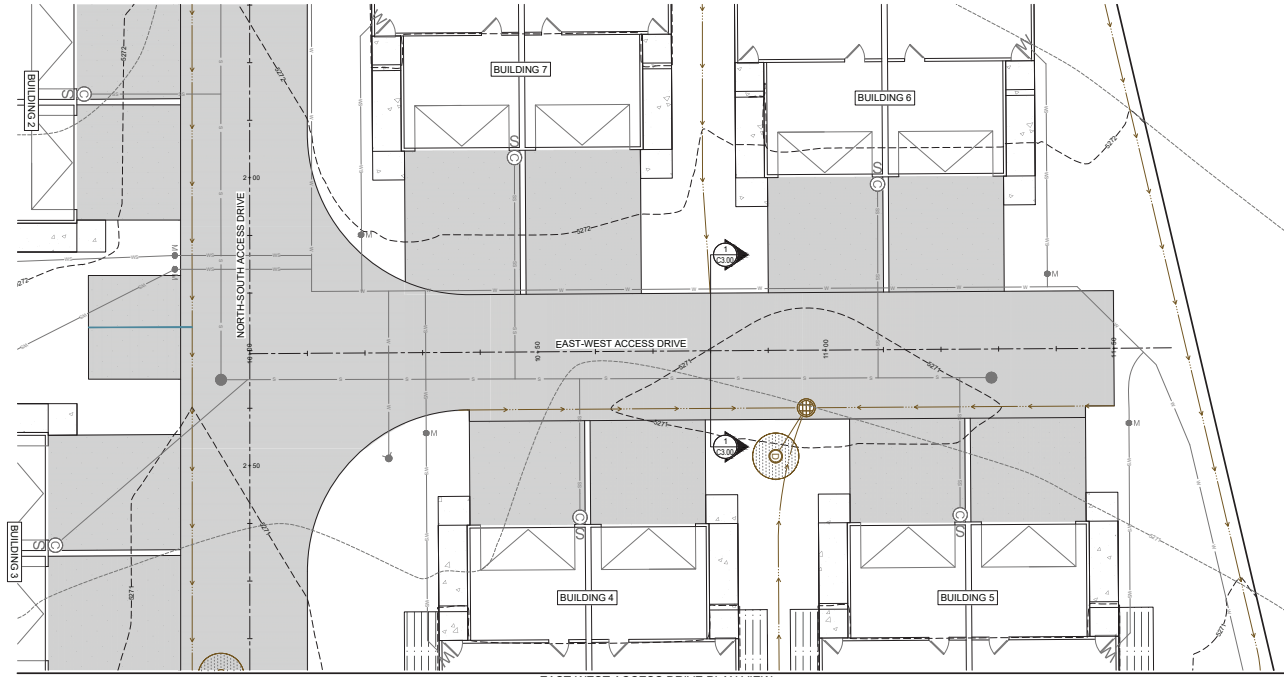


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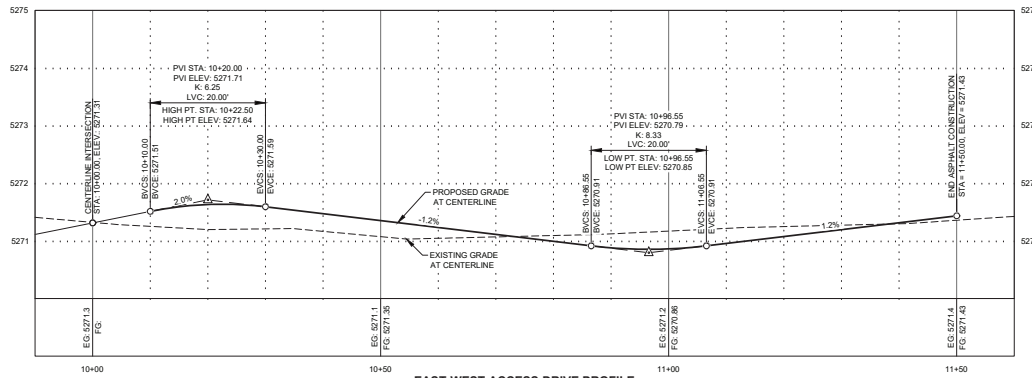
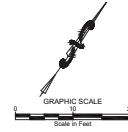
NORTH-SOUTH ACCESS DRIVE
PLAN AND PROFILE SHEET
ROCKRIDGE TOWNHOMES
PREPARED FOR ROCKY ACRES, LLC.

22028
PROJECT NUMBER
C3.20

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EAST-WEST ACCESS DRIVE PLAN VIEW



EAST-WEST ACCESS DRIVE PROFILE
SCALE: 1" = 10' H, 1" = 1' V



REVISION NO.	DATE	DESCRIPTION



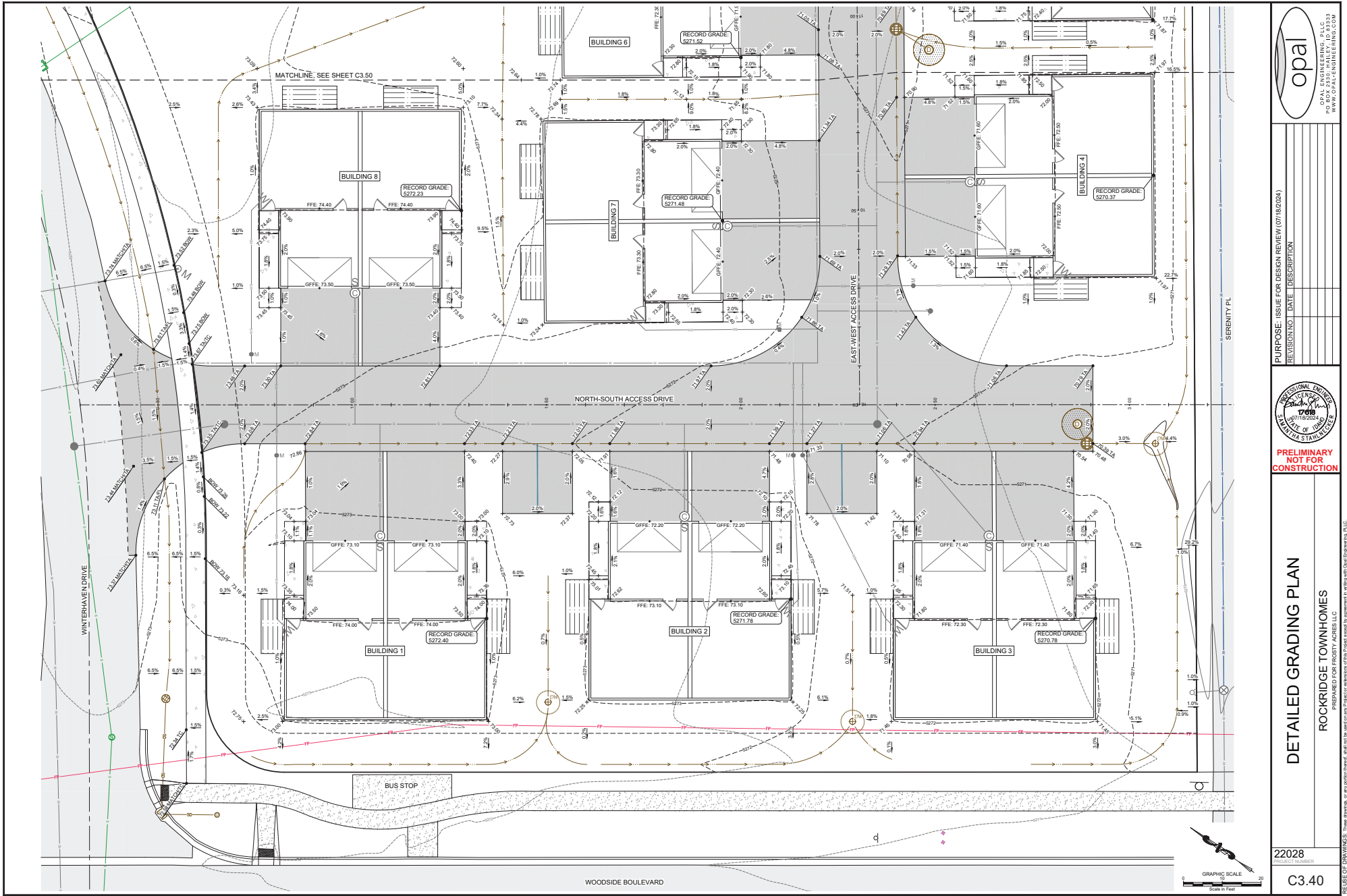
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CONSTRUCTION

EAST-WEST ACCESS DRIVE
PLAN AND PROFILE SHEET
ROCKRIDGE TOWNHOMES
PREPARED FOR PROSITY ACRES, LLC.

22028
PROJECT NUMBER

C3.30

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OPAL ENGINEERING, PLLC
 100 BOYD STREET, SUITE 100
 WASHINGTON, MISSISSIPPI 39201

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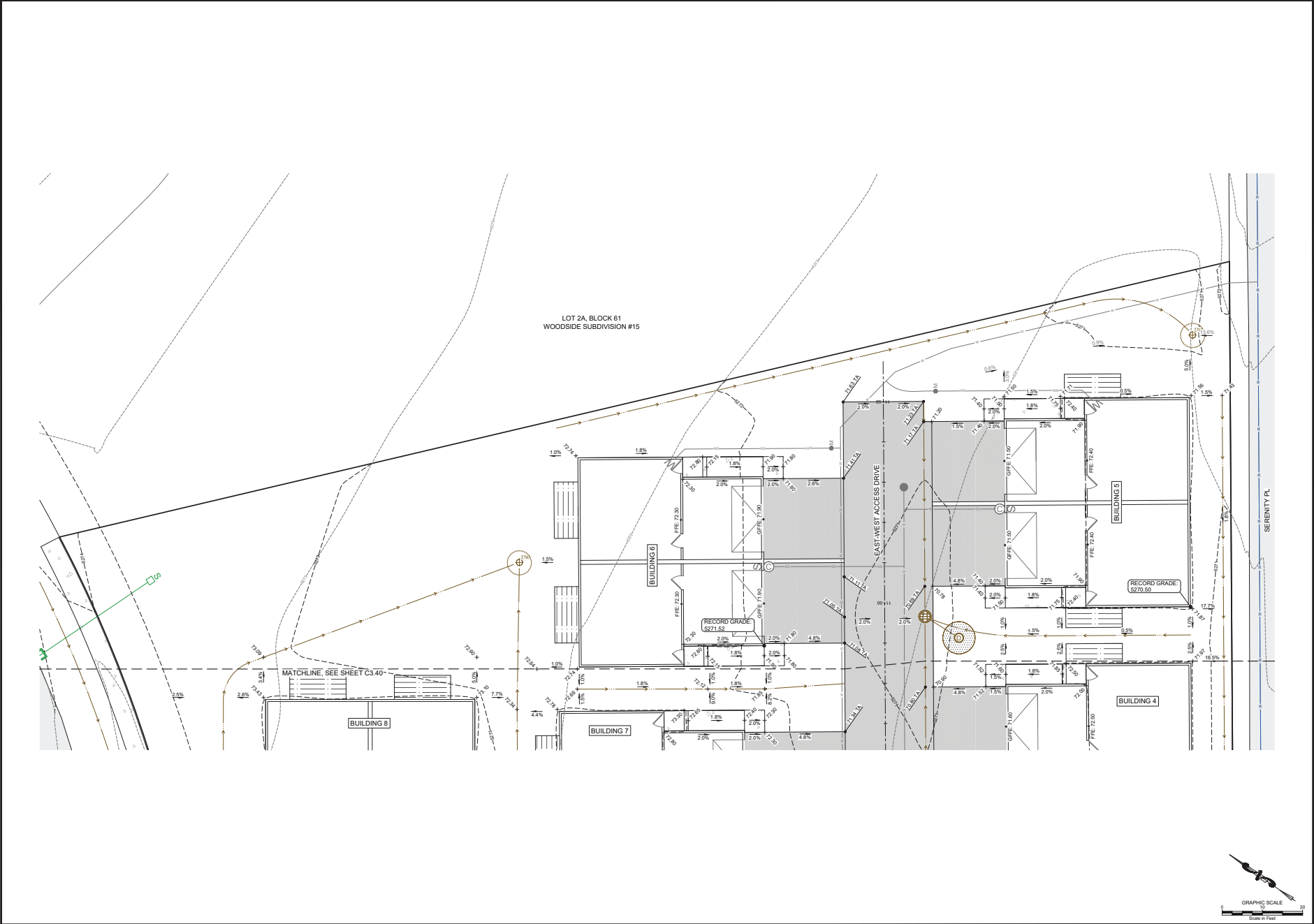


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CONSTRUCTION**

DETAILED GRADING PLAN
 ROCKRIDGE TOWNHOMES
 PREPARED FOR: BROOKY ACRES, LLC

22028
 PROJECT NUMBER
C3.40

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LOT 2A, BLOCK 61
WOODSIDE SUBDIVISION #15

MATCHLINE, SEE SHEET C3.40



OPAL ENGINEERING, PLLC
REGISTERED PROFESSIONAL ENGINEERS
NO. 80023 AND NO. 80024
STATE OF NORTH CAROLINA

REVISION NO.	DATE	DESCRIPTION



**PRELIMINARY
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CONSTRUCTION**

DETAILED GRADING PLAN
ROCKRIDGE TOWNHOMES
PREPARED FOR ROCKY ACRES, LLC.

22028
PROJECT NUMBER
C3.50

RELEASE OF DRAWINGS: These drawings, or any portion thereof, shall not be used in any project without the express written consent of Opal Engineering, PLLC.

Specifications

Dimensions

Product Depth (in.)

7.1 in

Product Height (in.)

8.2 in

Product Width (in.)

6.2 in

Details

Compatible Bulb Type

CFL,Incandescent,LED

Exterior Lighting Product Type

Outdoor Lanterns

Fixture Color/Finish

Black

Fixture Material

Metal

Glass/Lens Type

Seedy

Included

Hardware Included

Light Bulb Base Code

E26

Light Bulb Type Included

No Bulbs Included

Maximum Bulb Wattage

60 W

Maximum Wattage (watts)

0

Number of Lights

1 Light

Outdoor Lighting Features

Dimmable,Weather Resistant

Power Type

Hardwired

Product Size

Small

Product Weight (lb.)

1.68 lb

Recommended Light Bulb Shape Code

A19

Returnable

90-Day

Sconce Type

Wall Lantern

Style

Mediterranean,Rustic

Voltage Type

Line Voltage



Return to Agenda