

**Agenda**  
**Hailey Planning and Zoning Commission**  
**Monday, December 16, 2024**  
**5:30 p.m.**

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

**Join on your computer, mobile app, or room device.**

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Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

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Phone Conference ID: 602 369 677#

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**Call to Order**

- Public Comment for items not on the Agenda.

**Consent Agenda - ACTION ITEM**

- [CA 1](#) Motion to approve the meeting minutes dated December 2, 2024. **ACTION ITEM**

**Public Hearing(s) - ACTION ITEM**

- [PH 1](#) Consideration of a Design Review Application by Tanner Investments, LLC, for construction of a twenty-four-unit apartment building, consisting of eighteen (18) two-bedroom units and six (6) one-bedroom units, to be located at Block 1 of the Sweetwater PUD Subdivision within the Limited Business (LB) Zoning District. Each two-bedroom unit will be 1,104 square feet in size, and each one-bedroom unit will be 728 square feet in size. Forty-eight (48) parking spaces are proposed, as well as a communal grill/picnic and play area on site. This development is to be known as Solstice Condominiums. **ACTION ITEM**
- [PH 2](#) Consideration of a Conditional Use Permit (CUP) Application submitted by Overland West INC, represented by Jay Cone Architecture, to allow for the placement and use of a private, onsite above ground fuel tank for the mixed-use project proposed to be located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI Industrial (SCI-I) Zoning District. **ACTION ITEM**

- [PH 3](#) Consideration of a Design Review Pre-Application, submitted by Overland West INC, represented by Jay Cone Architecture, for the construction of a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit, to be located within the proposed structure. This project is located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District. **ACTION ITEM**

**Administrative Review – NO ACTION ITEM**

- [AR 1](#) Accessory Dwelling Unit (ADU) Application by Christina Gamache and Judith Fleissner for an attached 449 square foot ADU.

**Staff Reports and Discussion**

- **SR 1** Discussion: Upcoming Projects, Code Changes, Next Planning and Zoning Meeting:
  - **Monday, January 6, 2025:**
    - DR 637
    - DR Jones
    - TA Definition

**Return to Agenda**

**Meeting Minutes**  
**Hailey Planning and Zoning Commission**  
**Monday, December 2, 2024**  
**5:30 p.m.**

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**Present**

**Commission: Dan Smith, Janet Fugate, Owen Scanlon, Sage Sauerbrey, Jordan Fitzgerald**

**Staff: Robyn Davis, Ashley Dyer, Jessie Parker, Emily Rodrigue, Christian Ervin**

**5:31:06 PM Call to Order**

- Public Comment for items not on the Agenda. No comments.

**5:31:49 PM Consent Agenda - ACTION ITEM**

- **CA 1** Motion to approve the meeting minutes dated October 21, 2024. **ACTION ITEM**
- **CA 2** Motion to approve the meeting minutes dated November 13, 2024. **ACTION ITEM**
- **CA 3** Motion to approve Findings of Fact, Conclusions of Law, and Decision of a Preliminary Plat Application by Lido Equities Group – Idaho, LLC, for a plat modification to Copper Ranch 5. This plat modification would vacate the previously platted land intended for Building 17, as well as amend/relocate snow storage locations elsewhere onsite. **ACTION ITEM**

**5:32:53 PM Sauerbrey motion to approve CA 2. Fitzgerald seconded. Fugate abstained. All in Favor.**

**5:32:28 PM Scanlon motion to approve CA 1 and CA 3. Fitzgerald seconded. Smith and Sauerbrey abstained. All in Favor.**



### **Public Hearing(s) - ACTION ITEM**

- [5:33:13 PM PH 1](#) Consideration of a City-Initiated Text Amendment amending Hailey's Municipal Code, Title 17: Zoning Regulations, Chapter 17.02: Definitions, to modify, refine, remove, and/or add various definitions to the title.

[5:33:26 PM](#) Dyer introduced proposed amendments to definitions in Title 17.

[5:35:16 PM](#) Chair Fugate expressed confusion on definition of Apartment. Chair Fugate suggested wording "regardless of unit type".

[5:36:13 PM](#) Fitzgerald asked if apartment could be a dwelling within a residential dwelling or if it would be an adu. Staff and commission discussed how an apartment is part of one or more residential buildings. Chair Fugate reiterated using wording "regardless of unit type", noting how Sauerbrey stated all ADUs are apartments but not all apartments are ADUs. Fitzgerald would prefer to remove portion that states an apartment can be inside a house. Commission discussed how would remove language from definition but not eliminating ADU option.

[5:44:34 PM](#) Davis read revised definition allowed.

[5:45:33 PM](#) Fitzgerald brought up building footprint. Sauerbrey prefers second suggestion. All commissioners agreed. Commission discussed differences between suggestions one and two.

[5:48:46 PM](#) Chair Fugate opened public comment to include Tom Holland in discussion.

[5:49:00 PM](#) Thomas Holland, explained his understanding is that cantilevered sections have not been counted as part of the lot coverage.

[5:50:08 PM](#) Sauerbrey explained reasoning for amendment. Chair Fugate asked Holland his suggestion on how he thinks it could be resolved.

[5:50:45 PM](#) Scanlon added that when he did a certain project bay windows were not included. Commission continued to discuss, agreeing to add floor area to definition. Sauerbrey noted how bay windows in his mind are excluded as it does not extend from floor to ceiling. Commission moved back to discuss suggestion two of proposed definitions. All agreed with suggestion two as is for amended definition.

[5:57:12 PM](#) Sauerbrey suggested changes to enclosed. Commission continued to discuss proposed definition of enclosed. All in agreement to include four walls, and amend second sentence to includes but not limited to retractable dividers, garage doors or other physical barriers. Commission continued to discuss potential issue of if enclosed deck on three sides or breeze ways. Commission all agreed with definition as proposed with addition of "but not limited too".

[6:06:31 PM](#) Commission moved to unenclosed. All agreed to remove "full height".

[6:08:15 PM](#) Sauerbrey and Chair Fugate discussed if AMI should say medium of gross income. Commission discussed options and all agreed on aggregate medium of combined gross income of all persons living in the dwelling unit.

[6:10:27 PM](#) Smith suggested saying divided by area of the lot on which the building is situated for Floor area Ratio. Fitzgerald suggested adding a definition of gross floor area and net floor area.

[6:11:23 PM](#) Chair Fugate told Holland to raise his hand if has comments.

[6:11:38 PM](#) Davis confirmed will add gross and net floor area and that will amend floor area ratio.

[6:13:36 PM](#) Commission discussed whether to include siding or outer edge of building in perimeter definition.

[6:14:28 PM](#) Holland noted that if do that; penalize anyone who runs exterior insulation. Commission continued to discuss where to begin measurement for gross floor area – stud, exterior face of structure, etc. Commission agreed to stay outer most finished surface of the building for building perimeter and that it would be a different definition then perimeter, suggesting calling it building perimeter. Sauerbrey expressed concern of discouraging exterior insulation. Commission and staff continued to discuss. Commissioners final decision is that building perimeter will be measured from exterior face of foundation or stud, whichever is larger.

[6:25:20 PM](#) Fitzgerald went to commission definition, noted typo with extra common before and.

[6:26:13 PM](#) Fitzgerald asked if density is always per acre. Staff confirmed. Fitzgerald asked about irrigation for drought tolerant, noting definition is fine as how it is. Chair Fugate noted extra common behind season.

[6:28:02 PM](#) Chair Fugate suggested adding running water or operational sink vs. just sink. Commission all agreed to add functional sink, refrigerator and cooking facilities. Scanlon suggested removing “built in”. Commission discussed whether to remove built in or not, agreed to leave.

[6:30:56 PM](#) Fitzgerald expressed confusion on Live/Work definition, noting IBC requirements for live/work such as work space required on main floor. Commission and staff agreed to amend definition to utilize IBC definition and keep last sentence of proposed definition. Fitzgerald suggested including needs to be owner or employee of the business occupied. Staff confirmed can add as well.

[6:34:35 PM](#) Fitzgerald moved on to lot coverage – asking if decks and driveways should be included. All agreed would not include unless enclosed. Davis explained driveways and such are included in hardscape.

[6:35:52 PM](#) Fitzgerald asked the difference between lot coverage and building footprint. Chair Fugate explained the difference.

[6:36:36 PM](#) Chair Fugate suggested adding administrative before affairs in office definition. Commission all agreed.

[6:38:10 PM](#) Fitzgerald moved to outdoor storage, suggested removing word safekeeping and replacing with storage. Commission agreed and also suggested removing word street.

[6:39:09 PM](#) Chair Fugate suggested area not located on any public or private street for parking, onsite definition. Fitzgerald confirmed parking onsite would apply to single family home and asked about long term parking of extra vehicles, rvs, boats etc. Chair Fugate suggested removing transient. Commission and staff discussed parking requirements for rvs, boats, etc. Commission continued to discuss options for refining definition of parking, onsite. Commission all agreed to add “private operational vehicles” in place of private passenger vehicles and to separate out into two sentences for last portion.

[6:47:36 PM](#) Fitzgerald moved to parking area. Davis confirmed does not include public street.

[6:48:08 PM](#) Chair Fugate confirmed adding building perimeter. Davis confirmed.

[6:48:23 PM](#) Fitzgerald asked why calling street parking practice. Staff confirmed will change to area for parking a vehicle.

[6:49:13 PM](#) Chair Fugate asked if need to include definition of subordinate. All agreed no.

[6:49:33 PM](#) Fitzgerald noted start parking structure as a sentence. Davis confirmed can start definitions with an A.

[6:50:04 PM](#) Fitzgerald moved to swimming pool, asked if popup pool could be within the setbacks. Davis confirmed it could because it would be temporary. Fitzgerald asked why setbacks are only applicable to structures that require a building permit. Davis explained pop up swimming pools are not required to have building permits. Davis asked if the goal is to have swimming pools comply with underlying zoning setbacks. Fitzgerald stated with underlying zoning setbacks. Commission continued to discuss setback requirements for pools and whether should define hot tub separately. Commission agreed to include within swimming pool definition to permanent or year round swimming pools shall comply with underlying zoning setbacks.

[7:01:07 PM](#) Chair Fugate went back to unenclosed definition, all agreed to remove open ...

[7:01:49 PM](#) Fitzgerald moved to warehouse, what the difference is between warehouse and storage; that thinks need to be clear two different things. Chair Fugate asked if word distribution includes retail. Davis confirmed it does not include retail. Davis referenced storage structure definition. Fitzgerald suggested that it must be for distribution, to distinguish from storage facilities.

[7:04:43 PM](#) Ervin noted there are clear definitions within IBC and IFC for warehouse and storage facilities.

[7:05:59 PM](#) Davis confirmed will compare definitions with IBC and IFC.

[7:06:50 PM](#) Chair Fugate asked if commissioners had further comments at this time. None at this time.

[7:07:01 PM](#) Chair Fugate opened public comment. No comment. Chair Fugate closed public comment.

Commission and staff agreed to table and staff will renote project for a future meeting.

Chair Fugate noted typo on section 4, diverse and section 7.1 should also say something about projects that strive to elevate them, help raise them. Davis confirmed can amend.

### **Staff Reports and Discussion**

- **SR 1** Discussion: Upcoming Projects, Code Changes, Next Planning and Zoning Meeting:
  - **Monday, December 16, 2024:**
    - DR Sweetwater (Tanner)
    - DR PreApp & CUP:1551 Aviation

Davis confirmed may have another workshop prior to meeting with Council on latest updates for Comp Plan that staff will reach out the commission.

Davis summarized upcoming projects for December 16<sup>th</sup>.

[7:15:42 PM](#) **Smith motioned to adjourn. Scanlon seconded. All in Favor.**

**Return to Agenda**



**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of December 16, 2024**

**To:** Hailey Planning and Zoning Commission  
**From:** Emily Rodrigue, Community Development City Planner/Resilience Planner

**Overview:** Consideration of a Design Review Application by Tanner Investments, LLC, for construction of a twenty-four-unit apartment building, consisting of eighteen (18) two-bedroom units and six (6) one-bedroom units, to be located at Block 1 of the Sweetwater PUD Subdivision within the Limited Business (LB) Zoning District. Each two-bedroom unit will be 1,104 square feet in size, and each one-bedroom unit will be 728 square feet in size. Forty-eight (48) parking spaces are proposed, as well as a communal grill/picnic and play area on site. This development is to be known as Solstice Condominiums.

**Hearing:** December 16, 2024

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**Applicant:** Tanner Investments, LLC  
**Location:** Block 1, Sweetwater P.U.D. Subdivision (parcel at the corner of Countryside Boulevard and Shenandoah Drive (address TBD))  
**Zoning/Size:** Limited Business (LB); 1.15 acres (49,926 square feet)

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on November 26, 2024 and mailed to property owners within 300 feet on November 26, 2024.

**Background.** On August 7, 2006, the Commission approved 474 Club, LLC's, Design Review Application to construct 421 dwelling units within the Sweetwater Subdivision. The subject parcel, Block 1, was approved to have six (6) live/work units in a 6-unit building, one (1) additional live/work unit in a 1-unit building, two (2) 4-unit townhouse buildings, one (1) 6-unit townhouse building, and one (1) carriage house. Overall, twenty-one (21) residential units were originally proposed for this block.

In 2017, Tanner Investments, LLC, purchased the undeveloped property of Block 1, Sweetwater Subdivision, from the previous owner of Hailey Sweetwater Partners, LLC. As a result of this purchase, Hailey Sweetwater Partners, LLC, filed a Declaration of Special Covenants with Pioneer Title Company of Blaine County (Instrument #648091), which placed "certain special and limited restrictive covenants upon the Property in order to provide for the orderly development of the Sweetwater PUD as a whole".

This Declaration stated that the ownership of Block 1, Sweetwater Subdivision (currently Tanner Investments, LLC) may take full advantage of Design Review guidelines and processes specifically developed for the Sweetwater PUD. These include things like PUD-specific setbacks, increased building height, unit densities, etc. In addition, the ownership of Block 1 will no longer be a member of the Sweetwater HOA, unless express written consent is provided by said ownership. This means that the ownership of Block 1 will not be subject to Sweetwater HOA fees and procedures, but ownership/residents of Block 1 will not have access to certain PUD Amenities granted to the larger

Sweetwater HOA. Block 1 (Solstice Condominiums) ownership will form their own HOA and be managed accordingly.

Thus, the residents of any new units constructed on Block 1 will not have access to the existing 5,200 square foot amenity building, nor will they be obligated to pay HOA fees associated with the original Sweetwater public amenities. The public amenities originally provided, including the, (1) community housing contribution of land, on which the Senior Housing Units on River Street now exist; (2) Highway 75 contribution; (3) Wood River Trail connection; (4) construction of the 1.6 acre park; and (5) 1 of 2 promised transit shelters; all have been made to the benefit of, and credit to this Block 1, of the overall Sweetwater PUD. This phase of the project continues to be subject to the park in-lieu contribution requirement.

In January of 2024, Tanner Investments, LLC, submitted a Design Review Application for the construction of a twenty-four (24) unit apartment building, consisting of eighteen (18) two-bedroom units and six (6) one-bedroom units, to be located at Block 1 of the Sweetwater PUD Subdivision. A public hearing was conducted by the Hailey Planning and Zoning Commission on February 5, 2024. At this hearing, the Commission expressed concern in the incomplete nature of the submittal, specifically as it related to architectural design and renderings. Other unresolved matters affecting the project at the time of the hearing focused on Block 1's desire to separate from the Sweetwater HOA and form their own HOA, and the subsequent City processes that may or may not need to occur to facilitate that adjustment (PUD Amendment).

The City's stance remained firm in that Block 1 could only take advantage of certain benefits of the PUD (namely setbacks, density, building height, etc.) if they remain as part of the Sweetwater HOA and Block 1 residents have access to all of the amenities (building, pool, and open space) that are provided for existing Sweetwater residents (but excluding Block 2). The Applicant posited that they had no binding obligation to participate in the Sweetwater HOA and had already entered into a private agreement with the developer of Sweetwater to exit the Sweetwater HOA. At the same time, the Applicant still wished to take advantage of the aforementioned PUD bulk requirements, and they did not wish to enter into a PUD amendment process. The Commission unanimously voted to table the item until Staff had been provided with clarity and direction around the PUD amendment process and the Applicant resubmitted a corrected application package.

After consulting with the City Attorney, City Staff determined that, in fact, the Applicant would still be required to engage in a Sweetwater PUD amendment process. The Applicant subsequently submitted a PUD Amendment Application that was considered and approved by the Hailey City Council on October 28, 2024. The Fourth Amendment of the Sweetwater PUD removes Block 1 from certain obligatory requirements outlined within the existing PUD Agreement.

**Waivers Requested:** Chapter 17.10.040: Developer Benefits, allows for the request of modifications or waivers of the zoning and subdivision requirements. The Applicant is requested the following modifications and/or waivers to the existing PUD Agreement, appurtenant Block 1 only:

- waiver to construct below grade parking for the 24-unit project located on Block 1, and
- waiver to comply with LEED-ND development criteria on Block 1.

**Amenities Proposed:** Chapter 17.10.030.I: General Requirements, Amenities, requires that each Planned Unit Development Application provide two (2) or more amenities. Community Housing is listed as an eligible amenity and defined in the Hailey Municipal Code as such:

**Through a deed restriction, a dwelling unit that is restricted by size, type, and cost, and/or that is for sale or rent exclusively to individual(s) meeting income, occupancy and/or other affordable community housing criteria established in a community housing plan approved by the City of Hailey.**

Within the proposed project, to be known as Solstice Condominiums, the Applicant is providing the following amenities:

- perpetual designation of two (2) residential units, restricted as community housing units under the Locals Only (Category L) criteria.

Staff appreciate the Applicant's offer to perpetually deed restrict two (2) community housing units within the development, and further believe the proposed benefit is commensurate with the requested waivers to certain obligations, as noted herein.

**Project Overview.** The Applicant Team is proposing to construct one (1) three-story condominium building with eight (8) units per floor, for a total of twenty-four (24) units. Eighteen (18) two-bedroom and six (6) one-bedroom units are proposed. Each two-bedroom unit will be 1,088 gross square feet in size with a 212 square foot balcony, and each one-bedroom unit will be 724 gross square feet in size with a 197 square foot balcony.

Additional project amenities include:

- Forty-eight (48) on-site parking spaces, including one (1) handicap space
- Right-of-way improvements, including:
  - Six (6) striped, parallel street parking spaces along Countryside Boulevard
  - Curb bulbout and thermoplastic crosswalk striping on the corner of Countryside and Shenandoah, heading north
  - Interconnected concrete sidewalk system, providing access around both the condominium building and the parking area, as well as site perimeter access (Shenandoah and Countryside rights-of-way).
  - Extensive landscaping, to include planter beds, new trees, improved grass areas on-site, as well as the retention of existing trees and the addition of river cobble ground cover for City right-of-way areas.
- Grill/picnic area (1,435 square feet)
- Grass play area (4,775 square feet)
- Snow storage area (7,950 square feet)
- Screened trash and recycling enclosure

Regarding density, the project is permitted at a density of 23 units per acre under Limited Business (LB) Zoning District Bulk Requirements. The original Planned Unit Development (PUD) Agreement dated August 14, 2006, and Amendments to the Development Agreement dated December 18, 2009, December 27, 2010, and November 6, 2012, show twenty-one (21) residential units planned for the site.



The Applicant is proposing twenty-four (24) residential units with this Application. This density bonus of one (1) unit was unanimously approved by the Hailey City Council, via Section 17.10.040.01 B of the Hailey Municipal Code, which states:

***“Density bonuses for project amenities and benefits to the community other than those listed here may be granted by unanimous vote of the council, following a recommendation by the commission, in order to carry out the purpose and intent of this chapter and the land use policies of the city. (Ord. 1191, 2015)”.***

Staff support the proposal of two (2) deed restricted community housing units, as it meets a strong community need, and further, the benefits proposed carry out the intentions of this chapter.

**Procedural History:** The Applicant first came before the Planning and Zoning Commission at the February 6, 2023 Public Hearing with a Design Review Pre-Application for Block 1, Sweetwater Subdivision. This design included two (2) separate buildings with twelve (12) units per building. Many of the landscaping and communal space elements from the Pre-Application were retained for the Applicant’s full Design Review submittal. The Applicant then provided a full Design Review package, submitted on December 13, 2023 and certified complete on December 18, 2023. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on February 5, 2024.

Due to incomplete plan sets and uncertainty regarding the applicability of the Sweetwater PUD Agreement and Block 1 of the Sweetwater Subdivision, the Commission voted unanimously to table the item until plan sets were amended and clarity was provided by the City Attorney in regard to the PUD. It was found that a fourth PUD Agreement amendment – removing Block 1 from certain benefits and burdens of the original Sweetwater PUD – would be required for further development of the site. The Applicant submitted an Amendment to the PUD Agreement on August 2, 2024, and it was certified complete on August 6, 2024. The item was scheduled to be heard by the Hailey City Council on September 9, 2024; however, was not heard and instead, continued to September 23, 2024. After the Council voted to approve the amendment and conducted three (3) separate readings, the amendment was officially approved on October 28 2024.

Now, the Applicant is once again returning to the Hailey Planning and Zoning Commission with a revised Design Review submittal and an approved PUD Agreement Amendment. The Design Review Application was submitted on November 12, 2024 and certified complete on November 13, 2024. A public hearing will be held with the Commission on December 16, 2024, in the Hailey City Council Chambers and virtually via Microsoft Teams.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering: All infrastructure will require detailed final construction drawings to be submitted to the city and approved by the city prior to construction. All</b>

				<p>construction must conform to City of Hailey Standard Drawings, specifications, and procedures. This has been made a Condition of Approval.</p> <p><b>Life/Safety: No comments.</b></p> <p><b>Streets, Water &amp; Wastewater:</b></p> <p><i>Streets:</i></p> <ul style="list-style-type: none"> <li>The six (6) parallel parking spaces along Countryside Boulevard will be subject to standard snow removal operations for the public right-of-way. Snow will be removed from the vehicular travel lanes, but it will not be removed from the parallel parking spaces themselves. Snow removal from these spaces will be the responsibility of Solstice Condominiums ownership/property management. The applicant has been made aware of this expectation.</li> </ul> <p><i>Wastewater:</i></p> <ul style="list-style-type: none"> <li>Under Demolition Key Note D07 on civil engineering plan set sheet C0.90, the Wastewater Division Manager requests that the existing sewer service is abandoned inside the sewer manhole.</li> <li>The Applicant has been asked to confirm the 4" service size for new construction of sewer service, Utility Key Note U07 on civil engineering plan set sheet C1.10. The Wastewater Division Manager remarked on the large service size and potential for large flow rates.</li> </ul> <p><i>Water:</i></p> <ul style="list-style-type: none"> <li>No comments.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	<p><b>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</b></p>
			<i>Staff Comments</i>	<p>A sign demarcating the complex is proposed for the corner of the lot at the intersection of Countryside and Shenandoah. The size of this signage is unknown. The Applicant shall submit renderings and dimensions for all site signage for staff review prior to installation. This has been made a Condition of Approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<p><b>See Section 17.09.040 for applicable code.</b></p>
			<i>Staff Comments</i>	<p>Per the Hailey Municipal Code, Multifamily Dwellings are required to provide at least 1.5 onsite parking spaces per unit. Twenty-four (24) units are proposed, requiring a minimum of thirty-six (36) on-site parking spaces. Forty-eight (48) on-site parking spaces are proposed, in addition to six (6) street parking spaces proposed for Countryside Boulevard. Two (2) ADA-accessible parking spaces are also proposed for the northwest corner of the parking area, immediately adjacent to the building's southern entrance.</p> <p>Parking requirements for the proposed project are met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	<p><b>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</b></p>
			<i>Staff Comments</i>	<p>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p><b>17.08C.040 General Standards</b></p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <p><b>1. Overlighting;</b></p>

			<ol style="list-style-type: none"> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> <ol style="list-style-type: none"> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ol>
		<p><i>Staff Comments</i></p>	<p><i>The Applicant is proposing to install seven (7) exterior wall mounted lighting fixtures for the condominium entries/exits, in addition to four (4) parking area pole lights, 17' in height. This is the maximum allowable height for parking area lighting fixtures.</i></p> <p><i>The wall mount fixtures do not appear to be designated as dark sky compliant, either on the supplied lighting cut sheets or through Dark Sky International's compliant fixture catalogue, although they are fully shielded and downcast and utilize LED energy efficient technology.</i></p> <p><i>According to the Site Lighting Photometric Plan and Cut Sheet provided by the Applicant, the parking area lights will emit light at an intensity of 9,368 lumens. The average illumination of the parking area, as proposed, also appears to be greater than 1.5 foot-candles. This exceeds the mounting height/lamp output recommendations in Section 17.08C.040.04 and Section 17.08C.040.05 of the Hailey Municipal Code (16' at 6,000 lumens, 20' at 8,000 lumens). The Hailey Municipal Code states:</i></p> <ul style="list-style-type: none"> <li>• <b><i>Parking Lots: Parking lot lighting shall not exceed an overall average illumination of one and five-tenths (1.5) foot-candles.</i></b></li> <li>• <b><i>"The maximum lumens levels should only be exceeded if there are design constraints or other site-specific factors that would jeopardize safety. A detailed explanation for lumen amounts in excess of the guidelines shall be provided by the owner/occupant or developer".</i></b></li> </ul> <p><i>Additionally, in Section 17.08C.040.03, the Code states:</i></p> <ul style="list-style-type: none"> <li>• <b><i>Parking Area: Parking area luminaires shall be no taller than seventeen feet (17') from the ground to their tallest point. Parking area lights should be greater in number, lower in height and lower in light level, as opposed to fewer in number, higher in height and higher in light level.</i></b></li> </ul> <p><i>The proposed project will be located in a high-traffic, densely populated residential area. Staff do not believe there are design constraints or other site-specific factors that would jeopardize safety, should lower lumen-intensity lighting fixtures be installed. Staff strongly recommend that the Applicant revise the parking area lighting selection to adhere to the lumen output guidelines in Section 17.08C.040.05 of the Hailey Municipal Code. The Applicant shall provide a Photometric Plan that confirms an overall average illumination no greater than</i></p>

				1.5 foot-candles, prior to issuance of a Building Permit. This has been made a Condition of Approval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Bulk Requirements</b>	<b>Limited Business (LB) Zoning District:</b>
			<b>Staff Comments</b>	<ul style="list-style-type: none"> <li>- <b>Building Height:</b> <ul style="list-style-type: none"> <li>o Permitted Building Height: 37' (see P.U.D. below)</li> <li>o Proposed Building Height: 36' 6"</li> </ul> </li> <li>o Required Setbacks (see P.U.D. below):                             <ul style="list-style-type: none"> <li>o Front Yard: 8'</li> <li>o Side Yard: 5'</li> <li>o Rear Yard: 3'</li> </ul> </li> <li>- <b>Proposed Setbacks for 24-unit condominium building:</b> <ul style="list-style-type: none"> <li>o Front Yard (south): 24.5'</li> <li>o Side Yard (east): 17'</li> <li>o Side Yard (west): 6'</li> <li>o Rear Yard (north): 14' and 18'</li> </ul> </li> </ul> <p>The original PUD Agreement addresses the following waivers, which were granted in August 14, 2006:</p> <ul style="list-style-type: none"> <li>- <b>Building Height:</b> <ul style="list-style-type: none"> <li>o The maximum building height shall see an increase to 37 feet from 35 feet.</li> </ul> </li> <li>- <b>Setbacks:</b> <ul style="list-style-type: none"> <li>o The minimum front yard setback shall be reduced from 20 feet to eight (8) feet for residential units.</li> <li>o The minimum side yard setbacks shall be reduced from ten (10) feet to five (5) feet.</li> <li>o The minimum rear yard setback shall be reduced from ten (10) feet to three (3) feet.</li> </ul> </li> <li>- <b>Maximum Density:</b> <ul style="list-style-type: none"> <li>o Twenty-one (21) residential units originally proposed for Block 1, via August 14, 2006 PUD Agreement.</li> <li>o Twenty-four (24) residential units were approved via the November 4, 2024 Fourth Amendment to the Sweetwater Subdivision PUD Agreement (Instrument No. 709182).</li> </ul> </li> </ul> <p>All other bulk requirements have been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.070(A)1 Street Improvements Required</b>	<b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b>
			<b>Staff Comments</b>	<p>A new 5'-wide sidewalk is shown along the perimeter of the proposed project. This perimeter sidewalk will connect to interior sidewalks, providing safe access and sufficient circulation around and through the site.</p> <p>6" vertical curb and gutter is also proposed around the perimeter of the project, along with one (1) new drywell in the Countryside Boulevard right-of-way.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.070(B) Required Water System Improvements</b>	<b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between</b>

				and including the subject property and the nearest public street, as recommended by the City Engineer.
			<i>Staff Comments</i>	<i>N/A, as this project is not within the Townsite Overlay (TO) Zone District.</i>

**Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey**

**1. Site Planning: 17.06.080(A)1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p><i>Staff Comments</i></p> <p><i>The project’s singular building is oriented (long-ways) from east to west and occupies the northern half of the square-shaped lot. The southwest portion of the lot hosts a large grass play area, a grill/picnic area, and “shade sails” to provide shade and cover over said grill/picnic area. The Applicant has proposed a building design that incorporates significant fenestrations, building undulations, and private outdoor deck space for each unit. The north, south, and east building elevations each feature a grass buffer with tree plantings and significant landscaping. Walkways interior to the site (aside from approximately one hundred feet (100’) on the lot’s western edge) have been proposed away from the immediate wall planes of the building, which will allow for maximum sun exposure and discourage the build-up of ice in winter months. Right-of-way walkways have similarly been placed away from building wall planes.</i></p> <p><i>Sun exposure in exterior spaces has been maximized, and there is generous space around the building and site that will be usable by residents and promote safe building access.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 2 ½ inch caliper.</p> <p><i>Staff Comments</i></p> <p><i>A Landscaping Plan has been prepared for the project. This plan shows trees to be removed, as well as new trees and other plant materials to be planted. Five (5) trees are designated for removal. Forty-one (41) new tree plantings are proposed for the site, and five (5) existing Ash Trees in the Countryside Boulevard right-of-way will be retained.</i></p> <p><i>However, the landscape plans do not designate proposed tree caliper size, and the maximum tree species count has been exceeded for two (2) of the proposed tree species. See Section 17.06.080(A)4d for further detail.</i></p>

				<i>The Applicant shall submit a revised landscaping plan that includes the permitted maximum tree species counts and minimum required tree caliper size for planting. This plan shall be reviewed and approved administratively, prior to the issuance of a Building Permit. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<b>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</b>
			<i>Staff Comments</i>	<i>All building entrances, site amenities, and connections to right-of-way sidewalks will be serviced by an interconnected system of on-site sidewalks. The parking area also features sidewalks along its entire perimeter.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b>
			<i>Staff Comments</i>	<i>The site's dumpster and recycling area is currently proposed towards the rear of the lot and away from both the building and the Countryside/Shenandoah rights-of-way. The designated snow storage area will not be impacted by the placement of this dumpster and recycling area. This area will be screened on all sides to 6' in height by both poured-in-place concrete walls, as well as wood/steel doors.</i>  <i>The Applicant's submitted landscape plans and civil drawings depict two (2) different locations for the proposed dumpster and recycling area. Staff prefer to see the Applicant place the dumpster and recycling area in the location as depicted in the civil drawings.</i>  <i>The Applicant shall place the site's dumpster and recycling service area in the location as depicted in the civil drawings. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b>
			<i>Staff Comments</i>	<i>N/A, as no alleys exist or are planned for the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b>
			<i>Staff Comments</i>	<i>N/A, as no vending machines are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b> <b>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b> <b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b>
			<i>Staff Comments</i>	<i>Vehicular access to onsite parking is located off of Shenandoah Drive, to the rear of the proposed residential building. The Applicant has taken considerable</i>

				<i>care to screen the parking area from the street and the adjoining lot with significant landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p><b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b></p> <p><i>Staff Comments</i> The site is serviced by a single vehicular approach with separate channels for parking lot entry and exit, to be located off of Shenandoah Drive. Three (3) pedestrian access points are located off of Shenandoah Drive, and two (2) pedestrian access points are located off of Countryside Boulevard.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p><b>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b></p> <p><i>Staff Comments</i> The primary proposed snow storage area is provided in the grass area along the site's western boundary. It will be highly accessible to all types of snow removal vehicles and is suited to accommodate moderate to large amounts of snow. Additional snow storage is provided in the landscape buffer between the southern building façade and walkway, around the main pedestrian walkway on the northern façade, and along the southern property boundary's landscaped area.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p><b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b></p> <p><i>Staff Comments</i> The improved parking and vehicle and pedestrian circulation areas amount to 20,495 square feet. 7,950 square feet of snow storage has been provided (39% of snow removal area). This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p><b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b></p> <p><i>Staff Comments</i> It appears that the designated snow storage areas, as shown on the Updated Landscape Plans, comply with this standard.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1l	<p><b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b></p> <p><i>Staff Comments</i> N/A, as this project is not located in a downtown area.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p><b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b></p> <p><i>Staff Comments</i> Snow storage areas do not impede any of the stated areas/features.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p><b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b></p> <p><i>Staff Comments</i> Snow storage areas are shown in grass landscape areas, specifically with Scottish Links grass seed mix. This grass varietal is known for its low maintenance and hardiness in cooler climates, making it a suitable choice for ground cover in a snow storage area.</p>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

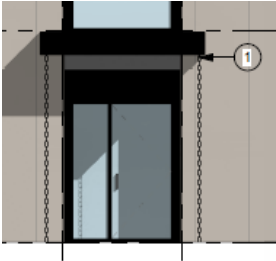
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p><b>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</b></p> <p><i>Staff Comments</i> The proposal is for a multifamily building in the Limited Business (LB) Zone District, where a variety of homes, single-family and multi-family, exist. The</p>

				<p><i>proposed building design incorporates a variety of features, such as covered deck spaces, pop-outs, parapets, and varied exterior materials. These features mirror some elements of the Sweetwater “live/work” units directly to the north of the proposed project. A flat roofline is proposed, which is distinct from surrounding buildings within the Sweetwater Development.</i></p> <p><i>The proportion, size, and overall building footprint is also similar to surrounding buildings, with the longest building plane situated east to west.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	<b>b. Standardized corporate building designs are prohibited.</b>
			Staff Comments	<i>N/A, as the project is not a corporate design.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</b>
			Staff Comments	<p><i>At the ground level, the building design features eight (8) covered deck spaces for eight (8) individual units, which emphasizes human scale. The front and rear building elevations each feature a single set of double entry doors, the location of which is highlighted by a ground-to-roof column of masonry veneer that will take the appearance of both wooden paneling and stone. This design feature will naturally draw pedestrians towards the building’s entries/exits.</i></p> <p><i>An interconnected system of on-site sidewalks will further encourage human activity and interaction, along with the robust communal outdoor space and amenities on the western edge of the property. Extensive landscaping in front of each ground-level unit will provide privacy for residents, while also softening the building’s façade and enhancing natural aesthetics across the site.</i></p> <p><i>Additionally, the Applicant has provided twenty-six (26) bike parking stalls on the ground level, including sixteen (16) spaces interior to the building in a dedicated bike storage room. Each of the second and third floors also features bike storage rooms, with twenty-two spaces provided in each room. The total bike storage capacity for this site is sixty (60) bicycles. Staff commend the Applicant for incorporating this highly desired – but not required – design feature into site planning, highlighting the applicant’s awareness of the site’s proximity to the Wood River Trail and the bike-centric character of life in Hailey.</i></p> <p><i>It should also be noted that at the February 5, 2024 public hearing for the original Design Review submittal for this project, the Commission noted various concerns with ADA accessibility. These included exterior doorways adjacent to the elevator shafts, which did not appear to be sized appropriately for wheelchairs, and that no units were called out specifically as ADA accessible. The Commission also requested that the ADA parking spots be relocated to be closer to the east entrance where the elevator is located.</i></p> <p><i>The Applicant has confirmed that all entry doors to the building will adhere to the 36” minimum width for ADA access, including unit entry doors.</i></p> <p><i>Additionally, the Applicant informed Staff of their intent to complete a condominium plat process for the units and place them for sale, rather than for rent. Due to this proposed tenancy and ownership, these condominiums will be exempt from accessibility requirements listed in 2018 International Building</i></p>



				<p><i>Code (IBC). However, all units will be designed to be easily upgraded to be fully accessible (grab bars, clearances, removable cabinetry, etc.). All common areas outside of each unit will be designed for full ADA compliance, as required by the 2018 IBC.</i></p> <p><i>Lastly, while the Applicant did explore relocating the ADA parking spaces to be closer to the east entry of the residential building, the route would significantly increase in length and would require travel on the public sidewalk, instead of limiting travel to those surfaces interior to the site. The Applicant has stated that while they are amenable to moving the ADA spaces, if required by the Commission, they believe the shorter outdoor route with longer interior building access to the elevators is preferable. At this time, Staff are in agreement with the Applicant’s proposed ADA parking space location, as depicted on the civil drawings.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p><b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building offsets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b></p> <p><i>Staff Comments</i> Twelve (12) of the twenty-four (24) units will face north, towards Countryside Boulevard. This north façade will be considered the front of the building. The other twelve (12) units will face south, towards the site’s interior parking area. The north and south building elevations mirror each other exactly in building materials and design. This design includes extensive window features, covered deck spaces, projections, changes in material and color, and variety in landscaping design and species selection. A pedestrian entrance is present on each building elevation, with primary pedestrian entrances highlighted on the north and south building elevations through columnar, masonry and mock wood veneer architectural detailing.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p><b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b></p> <p><i>Staff Comments</i> No plans for future additions or renovations are planned.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p><b>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</b></p> <p><i>Staff Comments</i> The residential building will feature a wide variety of materials and textures, primarily of the neutral color palette. Metal panels (“Granite” gray), cement board masonry veneer (“Barnwood” finish and “Powder stone” finish), Stucco (“Simply White”), and black windows and doors will present exterior walls in a mosaic fashion. Square and rectangular forms will define the building’s exterior.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p><b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b></p> <p><i>Staff Comments</i> Each individual unit will be highlighted by either the white stucco siding or the metal granite-colored wall panels and black metal window forms, which take a cubic form on both the north and south building facades. Each cubic form will feature the doorway that provides access from the interior of the unit to each unit’s covered porch area. The architecture of the proposed building is distinct for the Sweetwater Subdivision, but the building colors and materials, as proposed, create harmony between form and function for the project itself.</p>

				<p><i>The building’s more muted color palette will also provide a degree of visual relief from the existing units in the Sweetwater Subdivision, which feature bright colors across various building materials.</i></p> <p><i>A materials and color samples package has been provided with this project.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	<p><b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</b></p>
			<i>Staff Comments</i>	<i>The proposed building is three (3) stories in height and is flat-roofed. As such, it incorporates parapets and covered deck areas for each unit on every story.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p><b>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</b></p> <p><b>i) Solar Orientation.</b> If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south.</p> <p><b>ii) South facing windows with eave coverage.</b> At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</p> <p><b>iii) Double glazed windows.</b></p> <p><b>iv) Windows with Low Emissivity glazing.</b></p> <p><b>v) Earth berming against exterior walls</b></p> <p><b>vi) Alternative energy.</b> Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p><b>vii) Exterior light shelves.</b> All windows on the southernmost facing side of the building shall have external light shelves installed.</p>
			<i>Staff Comments</i>	<p><i>The proposed building design applies each of the following techniques to minimize energy consumption:</i></p> <ul style="list-style-type: none"> <li>- <i>Longer wall plane placed on the east-west access.</i></li> <li>- <i>South-facing windows with eave coverage</i></li> <li>- <i>Double-glazed windows</i></li> <li>- <i>Windows with low emissivity glazing</i></li> </ul> <p><i>Staff also strongly encourages the Applicant to explore <a href="#">Idaho Power’s new Multifamily Energy Efficiency Program</a>, which can provide multifamily project teams with direct cash payments and/or financial incentives for installing certain energy efficiency components in buildings. This would be considered an “approved alternative” to the measures listed above (Section 17.06.080(A)2i. Staff welcome the opportunity to discuss details of this program with the Applicant.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p><b>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</b></p>
			<i>Staff Comments</i>	<i>The building will be primarily accessed from pedestrian entrances on the north and south building elevations, which connect to interior staircases providing access to each floor. These north and south building entrances are designed to be recessed into the building. Each entrance also features a building projection above it, preventing snow from falling directly onto the sidewalk in the vicinity of the entrance.</i>

				<p>On the east and west building elevations, entryways will feature metal gutters and chain leaders leading into landscaped areas. See below:</p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p> <p><i>Staff Comments</i> The Applicant has confirmed that the roof will be drained internally, and no external guttering will be provided. With the flat roof design, runoff from the building will be very minimal and freezing hazards for pedestrian areas are unlikely to occur. As noted previously, east and west entryways will feature gutters and chain leaders directed to landscaped areas.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p> <p><i>Staff Comments</i> N/A, as no vehicle canopies are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p> <p><i>Staff Comments</i> A single sign for the development is proposed at the corner of Countryside and Shenandoah; therefore, a Master Sign Plan is not required at this time.</p>

**3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p> <p><i>Staff Comments</i> N/A, as no accessory structures are planned.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	<p>b. Accessory structures shall be located at the rear of the property.</p> <p><i>Staff Comments</i> N/A, as no accessory structures are planned.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	<p>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</p> <p><i>Staff Comments</i> Cedar fencing, 4.5' in height, is proposed for the entirety of the property's southern and western boundaries. In addition, painted steel privacy panels 6' in height are proposed around the east, north, and west sides of the grill/picnic area. The color and materials of these fencing/wall elements will mirror the access doors for the trash/recycling enclosure, in addition to complementing the neutral/earth tones of the building's exterior and its associated materials (steel paneling and wood-finished cement board).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	<p>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</p>

			<i>Staff Comments</i>	<i>The proposed walls and fencing are not dominating in size, scale, or color. Plantings are proposed in conjunction with all segments of walls and fencing across the site, softening the visual impact of these constructed elements.</i>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>
			<i>Staff Comments</i>	<i>Architectural renderings show roof mounted mechanical equipment on the east and west elevations, with little screening provided. Other roof mounted projections above each unit on the north and south elevations appear to be screened/shielded and are inconspicuous in nature.</i>  <i>The Applicant shall ensure that all roof mounted equipment is screened or shielded from view from the ground level of on-site parking areas, adjacent public streets, and adjacent properties. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings.</b>
			<i>Staff Comments</i>	<i>N/A, as no hardware associated with alternative energy sources is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>One (1) telephone riser currently exists on site, located at the parcel’s northeast corner. This riser will be retained, and it will be screened from view with new tree plantings/landscaping.</i>  <i>The trash/recycling receptacle area will also be screened from view via a 6’ wall and door, with all sides shielded.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	<b>i. All service lines into the subject property shall be installed underground.</b>
			<i>Staff Comments</i>	<i>All services lines will be underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	<b>j. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	<i>No appurtenances will be permitted on poles.</i>

**4. Landscaping: 17.06.080(A)4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>
			<i>Staff Comments</i>	<i>It appears that plant materials will be appropriate for the environment. However, at the February 5, 2024 Public Hearing for this project’s original Design Review submittal, the Commission suggested that the Applicant incorporate more drought-tolerant plantings and consider alternative turf material to accommodate for high pet traffic. The Applicant may wish to comment on the durability of their turf selection and the long-term water needs of their selected plant species.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<b>b. All plant species shall be hardy to the Zone 4 environment.</b>
			<i>Staff Comments</i>	<i>It appears that all proposed plant materials will be hardy to Zone 4.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b>
			<i>Staff Comments</i>	<i>The Applicant has submitted irrigation plans that include permanent coverage for approximately 17,796 square feet of area. This includes all grass areas and plant beds. Irrigation construction notes/guidelines have also been submitted with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½”). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</b>
			<i>Staff Comments</i>	<p><i>The proposed Landscaping Plan incorporates a combination of trees, shrubs and grasses. These include:</i></p> <p><i>Trees:</i></p> <ul style="list-style-type: none"> <li>- (6) Crimson King Maple of 3” caliper</li> <li>- (10) Columnar Armstrong Maple of 3” caliper</li> <li>- (3) Kentucky Coffee Tree of 3-3.5” caliper</li> <li>- (4) Gambel Oak of 2.5” caliper</li> <li>- (4) American Sentry Linden of 2.5” caliper</li> <li>- (12) Spartan Juniper of 6’-7’ in height (no caliper provided)</li> <li>- (2) Bristlecone Pine of 6’-7’ in height (no caliper provided)</li> </ul> <p><i>Shrubs:</i></p> <ul style="list-style-type: none"> <li>- (6) Saskatoon Serviceberry of 10’-12’ in height (this was counted as a tree in landscape plans, but Staff considers this species a woody shrub)</li> <li>- (3) Native Chokecherry of 10’-12’ in height (this was counted as a tree in landscape plans, but Staff considers this species a woody shrub)</li> <li>- (15) Arctic Fire Dogwood of 5 gallon size</li> <li>- (3) Dwarf Mock Orange of 5 gallon size</li> <li>- (50) Gro-Low Sumac of 5 gallon size</li> <li>- (11) Tiger-Eye Sumac of 10 gallon size</li> <li>- (27) Tor Birchleaf Spirea of 5 gallon size</li> <li>- (2) Common Snowberry of 5 gallon size</li> </ul> <p><i>Grasses:</i></p> <ul style="list-style-type: none"> <li>- (159) Karl Forester Reed Grass bunches of 1 gallon size</li> <li>- (31) Tufted Hair Grass bunches of 1 gallon size</li> <li>- (22) Northwind Switch Grass bunches of 1 gallon size</li> <li>- (78) Blaze Little Bluestem Prairie Grass bunches of 1 gallon size</li> <li>- 9,911 square feet of Scottish Links grass mix</li> <li>- 2,988 square feet of Sage Shortgrass grass mix</li> </ul>

				<p><i>While the proposed landscaping plan provides a healthy combination of grasses, shrubs, and trees, the Applicant has proposed more plantings of single tree species than permitted by Code. Forty-one (41) total tree plantings are proposed; the 20% maximum count of a single species limits the Applicant to a maximum of eight (8) plantings for any one species. The planting counts for both Columnar Armstrong Maple and Spartan Juniper exceed the permitted maximum (additionally, even if Serviceberry and Chokecherry plantings were considered trees – for a total of 50 trees -, the 20% species maximum would still not be met for Serviceberry Plantings).</i></p> <p><i>Additionally, the Applicant has not listed the required minimum tree caliper planting size on landscape plans. Due to the irregular nature of trunk growth - and subsequent difficulties in measuring caliper size - associated with Spartan Juniper and Bristlecone Pine trees, Staff are amenable to the listing of these proposed plantings in height, specifically of 6'-7' at time of planting.</i></p> <p><i>The Applicant shall submit a revised landscaping plan that includes the permitted maximum tree species counts and minimum required tree caliper size for planting. This plan shall be reviewed and approved administratively, prior to the issuance of a Building Permit. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p><b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b></p> <p><i>Staff Comments</i> N/A, as the proposed project is located within the Limited Business (LB) Zone District.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	<p><b>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</b></p> <p><i>Staff Comments</i> Proposed landscaping is varied, as shown in the Landscape Plans provided for Phase I. See Section 17.06.080(A)4d for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p><b>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</b></p> <p><i>Staff Comments</i> No landscape drywells appear to be proposed for the site. However, composted and river stone mulch mixes will be used across all planting beds. This groundcover lends itself favorably to runoff and plant moisture retention. Parking area runoff will be directed towards a central drywell. No other drywells are proposed on site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p><b>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</b></p> <p><i>Staff Comments</i> The Solstice Condominiums HOA will be responsible for maintaining plant material in a healthy condition.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	<p><b>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</b></p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed for the site.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	<p><b>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</b></p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed for the site.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	<b>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</b>
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed for the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	<b>l. Landscaping should be provided within or in front of extensive retaining walls.</b>
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed for the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	<b>m. Retaining walls over 24" high may require railings or planting buffers for safety.</b>
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed for the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	<b>n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.</b>
			<i>Staff Comments</i>	<i>N/A, as no retaining walls are proposed for the site.</i>

**Additional Design Review Requirements for Multi-Family within the City of Hailey**

**1. Site Planning: 17.06.080(D)1, items (a) thru (c)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	<b>a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.</b>
			<i>Staff Comments</i>	<i>The proposed building complements the surrounding area, open space and adjacent uses in terms of its similarly scaled building height and footprint, as compared to adjacent existing structures. Significant communal outdoor space is also proposed on the property's western edge, providing a buffer between the residential building/parking area and the Wood River Trail/bike path. Placement of this building on the lot emphasizes pedestrian connection to the main travel thoroughfare of Countryside Boulevard, while avoiding unnecessary impact to surrounding parcels and residential developments.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	<b>b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.</b>
			<i>Staff Comments</i>	<i>Interior and perimeter sidewalks are proposed to connect and reinforce pedestrian circulation within the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	<b>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</b>
			<i>Staff Comments</i>	<i>The building has been organized to maximize efficient site circulation. Site circulation has been designed to keep parking to one distinct area on site, and also limit vehicular access to a single point along Shenandoah Drive. A 5'-wide sidewalk is shown along the north and east perimeters of the project, where pedestrian traffic can safely navigate the right-of-way while having convenient access to interior site walkways and building entrances.</i>

**2. Building Design: 17.06.080(D)2, items (a) thru (b)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</p> <p><i>Staff Comments</i> Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</p> <p><i>Staff Comments</i> Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</p>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
  - 1. The project does not jeopardize the health, safety or welfare of the public.
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
  - 1. Ensure compliance with applicable standards and guidelines.
  - 2. Require conformity to approved plans and specifications.
  - 3. Require security for compliance with the terms of the approval.
  - 4. Minimize adverse impact on other development.
  - 5. Control the sequence, timing and duration of development.
  - 6. Assure that development and landscaping are maintained properly.
  - 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
  - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.



The following Conditions of Approval are suggested to be placed on approval of this Application:

- a) All conditions of the approved Planned Unit Development Agreement, including approved amendments, shall be met.
- b) All applicable Fire Department and Building Department requirements shall be met.
- c) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- d) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
  - i. Right-of-way improvements along Countryside Boulevard and Shenandoah Drive, including but not limited to typical concrete sidewalks, curb and gutter, truncated domes, typical curb transitions.
  - ii. Six (6) striped parallel parking spaces along Countryside Boulevard.
- e) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- f) A Traffic Control Plan, as needed, shall be submitted prior to issuance of a Building Permit.
- g) All sidewalks, interior and perimeter, shall be maintained year-round by the HOA.
- h) The Applicant shall ensure that all roof mounted equipment is screened or shielded from view from the ground level of on-site parking areas, adjacent public streets, and adjacent properties.
- i) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- j) The Applicant shall provide a Photometric Plan that confirms an overall average illumination no greater than 1.5 foot-candles, prior to issuance of a Building Permit
- k) The Applicant shall submit subdivision/project signage design details and renderings for Staff approval prior to installation.
- l) The Applicant shall place the site's dumpster and recycling service area in the location as depicted in the civil drawings.
- m) The Applicant shall submit a revised landscaping plan that includes the permitted maximum tree species counts and minimum required tree caliper size for planting. This plan shall be reviewed and approved administratively, prior to the issuance of a Building Permit.
- n) Upon completion of all required public landscaping and before issuance of a certificate of occupancy and/or final project approval, a licensed arborist shall certify all public tree plantings have been installed in compliance with the project approvals as to species, health, irrigation, city construction standards, project drawings, and other relevant requirements such as Hailey Tree Committee recommendations. Similarly, any public landscape not certified by the licensed arborist shall be certified by a licensed landscape architect for same or other relevant topics. The arborist or landscape architect shall also provide documentation of public tree well inspections including dimensions and material types during the placement of all subsurface items.
- o) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a

Certificate of Occupancy can be issued.

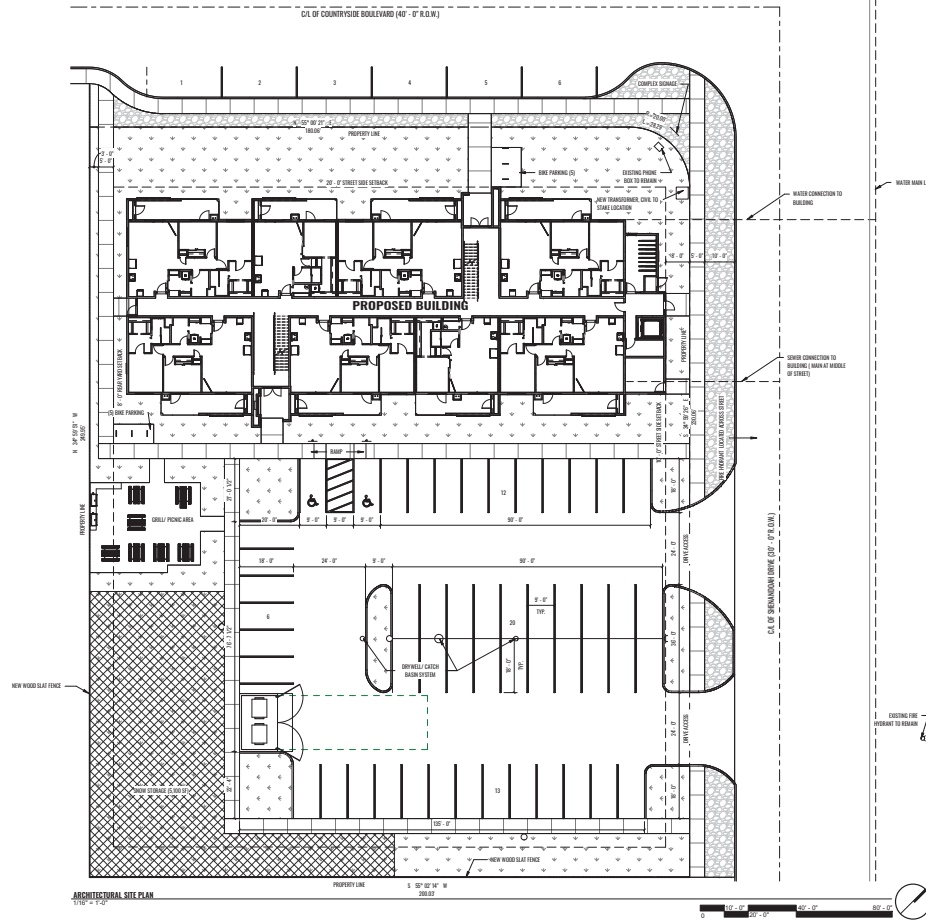
- p) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- q) The Design Review approval shall be valid for eighteen (18) months. This extension shall be effective from the day of approval.

**Motion Language**

**Approval:** Motion to approve the Design Review Application by Tanner Investments, LLC, for construction of a twenty-four (24) unit apartment building, consisting of eighteen (18) two-bedroom units and six (6) one-bedroom units, to be located at Block 1 of the Sweetwater PUD Subdivision within the Limited Business (LB) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (q) will be met.

**Denial:** Motion to deny the Design Review Application by Tanner Investments, LLC, for construction of a twenty-four (24) unit apartment building, consisting of eighteen (18) two-bedroom units and six (6) one-bedroom units, to be located at Block 1 of the Sweetwater PUD Subdivision within the Limited Business (LB) Zoning District, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [Commission should specify a date].

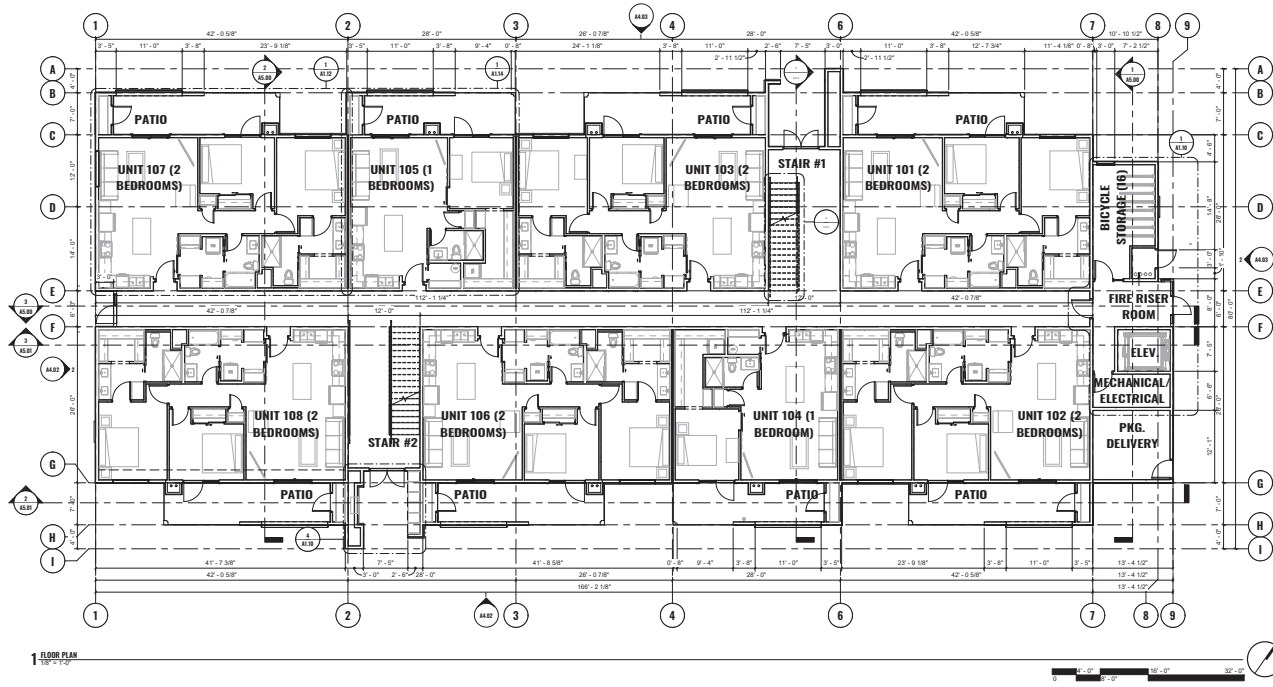


SITE ANALYSIS	
ADDRESS:	BLOCK 6, SWEETWATER SUBDIVISION
ASSESSORS PARCEL NUMBER:	PARCELS 06-0000
JURISDICTION:	CITY OF WAKEY
ZONING:	LR
LAND USE:	R-2 RESIDENTIAL
SITE AREA:	1.05 ACRES
ADJACENT SQUARE FOOTAGE:	50,000 SF
COMPONENT AREAS:	41,420 SF (17,296 SF)
LANDSCAPING:	5,000 SF
PAVING:	16,500 SF
SEWERAL / UTILITIES:	4,545 SF
UTILITIES:	
WATER:	20'
SEWER:	7'
STREET:	6'
SEWER:	10'
UNIT COUNT:	
1 BED - 0 UNITS	
2 BED - 18 UNITS	
TOTAL - 18 UNITS	
PARKING:	RECORDED
USE:	15 UNITS - 28
	50 STALLS (50% OF TOTAL) STALLS ON SITE, 6 STALLS OFF SITE
	220 CIRCULATIONS
	1.50 STALLS PER UNIT

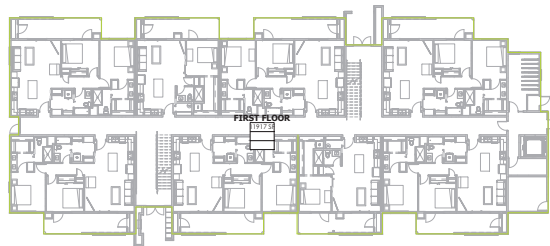
**Chrysalis**  
ARCHITECTURE

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W Chrysalis-Architecture.com

RETURN	
DATE	
DESCRIPTION	
#	
<b>SOLSTICE CONDOMINIUMS</b>	
ARCHITECTURAL SITE PLAN	
DATE	06-27-2019
PROJECT NUMBER:	
PROJECT STATUS	



**1 FLOOR PLAN**  
1/8" = 1'-0"



**FLOOR PLAN GENERAL NOTES**

- A. DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE CLARIFICATION OF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCLOSED.
- B. DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- C. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE CLEARLY INDICATED. DIMENSIONS INDICATE DIMENSION BETWEEN FINISHES.
- D. UNLESS NOTED OTHERWISE, ALL DOOR JAMBS ARE TO BE SET 4" FROM ADJACENT WALL.
- E. UNLESS NOTED OTHERWISE, BRACE ALL CEILING AND NON-LOAD BEARING WALLS.
- F. PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT WALL FINISH EQUIPMENT SUCH AS FOR BARS, RAILINGS, SHELVING, CABINETS AND ALL OTHER ACCESSORIES REQUIRING SUPPORT. VERIFY ALL LOCATIONS BEFORE INSTALLATION OF GYPSUM BOARD.

**KEYNOTE LEGEND**

MARK	DESCRIPTION
1	CONCRETE
2	WOOD STUD FRAMING
3	METAL STUD FRAMING
4	METAL STUD FRAMING INSULATED INTERIOR
5	METAL STUD FRAMING INSULATED EXTERIOR
6	WOOD STUD FRAMING INSULATED INTERIOR
7	WOOD STUD FRAMING INSULATED EXTERIOR
8	CONCRETE MASONRY UNIT
9	METAL STUD FRAMING INSULATED INTERIOR
10	METAL STUD FRAMING INSULATED EXTERIOR
11	CONCRETE MASONRY UNIT
12	METAL STUD FRAMING INSULATED INTERIOR
13	METAL STUD FRAMING INSULATED EXTERIOR
14	CONCRETE MASONRY UNIT
15	METAL STUD FRAMING INSULATED INTERIOR
16	METAL STUD FRAMING INSULATED EXTERIOR
17	CONCRETE MASONRY UNIT
18	METAL STUD FRAMING INSULATED INTERIOR
19	METAL STUD FRAMING INSULATED EXTERIOR
20	CONCRETE MASONRY UNIT

**WALL TYPE SCHEDULE**

- WALL TYPE MARK:
  - 1 = 1 HOUR RATING
  - 2 = 2 HOUR RATING
  - 3 = 3 HOUR RATING
- INSULATION TYPE:
  - A = ACoustICAL WALLS WITH ADJACENT INSULATION UNLESS NOTED OTHERWISE ALL ACoustICAL WALLS EXTENDING TO 8' ABOVE HIGHEST ADJACENT CEILING PROVIDE ACoustICAL INSULATION IN ALL ACoustICAL WALLS IN WALL CAVITY AND LAYED OVER TOP OF WALL 2" OF EACH WAY OUTSIDE LENGTH OF WALL SEAL ALONG BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO, ELECTRICAL OUTLETS, CONDUITS, HVAC DUCTS, PIPING AND CABLING.
  - T = THERMAL WALLS WITH THERMAL INSULATION UNLESS NOTED OTHERWISE ALL THERMAL WALLS AND REGULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE REFLECTIVE FOAM FACED IN 10 BATT PROVIDED IN ALL WALL CAVITIES FULL HEIGHT OF WALL. FRICtion & MECHANICALLY FASTENED TO WALL STUDS. PROVIDE CONTINUOUS RESISTANT ALONG TOP BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO, ELECTRICAL OUTLETS, CONDUITS, HVAC DUCTS, DAMPERS, PIPING AND CABLING.
- ALL WALLS: UNLESS NOTED OTHERWISE, ALL WALLS ARE TO HOOR DECK ABOVE WITH 45 DEGREE BRACING OF SAME STUD SIZE AND GAUGE AT 2' ON CENTER ALTERNATING TO DECK ABOVE.
- FIRE RATING:
  - 1 = 1 HOUR RATING
  - 2 = 2 HOUR RATING
  - 3 = 3 HOUR RATING
- INSULATION TYPE:
  - A = ACoustICAL WALLS WITH ADJACENT INSULATION UNLESS NOTED OTHERWISE ALL ACoustICAL WALLS EXTENDING TO 8' ABOVE HIGHEST ADJACENT CEILING PROVIDE ACoustICAL INSULATION IN ALL ACoustICAL WALLS IN WALL CAVITY AND LAYED OVER TOP OF WALL 2" OF EACH WAY OUTSIDE LENGTH OF WALL SEAL ALONG BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO, ELECTRICAL OUTLETS, CONDUITS, HVAC DUCTS, PIPING AND CABLING.
  - T = THERMAL WALLS WITH THERMAL INSULATION UNLESS NOTED OTHERWISE ALL THERMAL WALLS AND REGULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE REFLECTIVE FOAM FACED IN 10 BATT PROVIDED IN ALL WALL CAVITIES FULL HEIGHT OF WALL. FRICtion & MECHANICALLY FASTENED TO WALL STUDS. PROVIDE CONTINUOUS RESISTANT ALONG TOP BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO, ELECTRICAL OUTLETS, CONDUITS, HVAC DUCTS, DAMPERS, PIPING AND CABLING.

**WALL HEIGHT:**  
D = WALLS THAT EXTEND UP TO DECK ABOVE.

**WALL MATERIAL:**  
MP = METAL WALL PANEL, INSULATED, INTERIOR  
C = CONCRETE  
SF = METAL STUD FRAMING  
W = WOOD STUD FRAMING  
CMU = CONCRETE MASONRY UNIT

MARK	OVERALL WIDTH	DESCRIPTION	FIRE RATING (UL)	REMARKS



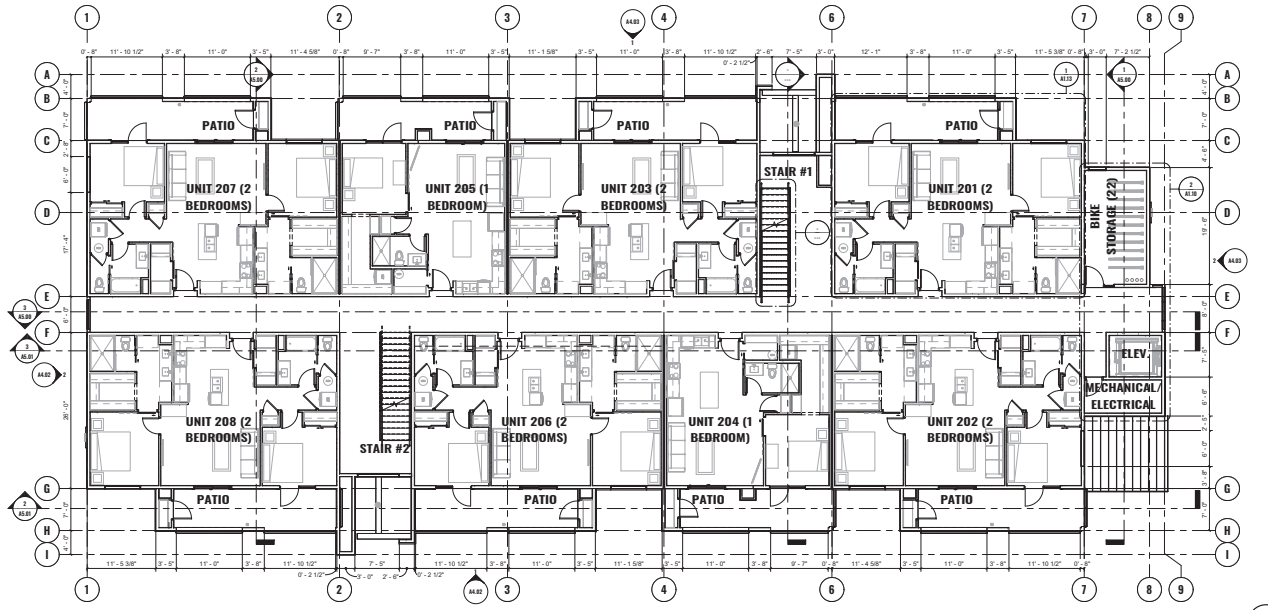
DATE	DESCRIPTION

**SOLSTICE CONDOMINIUMS**

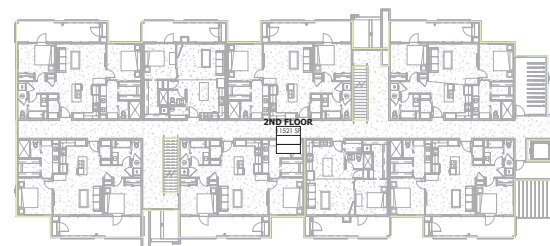
WALKY #63233  
FLOOR PLAN

DATE: 08.27.2024  
PROJECT NUMBER:  

SHEET NUMBER:



1 LEVEL 2 NEW FLOOR PLAN  
1/8" = 1'-0"



**FLOOR PLAN GENERAL NOTES**

- A. DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE CLARIFICATION OF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCLOSED.
- B. DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- C. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE CLEARLY INDICATED. DIMENSIONS INDICATE DIMENSION BETWEEN FINISHES.
- D. UNLESS NOTED OTHERWISE, ALL DOOR JAMBS ARE TO BE SET 4" FROM ADJACENT WALL.
- E. UNLESS NOTED OTHERWISE, BRACE ALL CEILING AND NON-LOAD BEARING WALLS.
- F. PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT WALL FINISH EQUIPMENT SUCH AS SHOWER BARS, BALLOONS, SHELVING, CABINETS AND ALL OTHER ACCESSORIES REQUIRING SUPPORT. VERIFY ALL LOCATIONS BEFORE INSTALLATION OF GYPSUM BOARD.

**KEYNOTE LEGEND**

MARK	DESCRIPTION
1	CONCRETE
2	WOOD STUD FRAMING
3	CONCRETE MASONRY UNIT
4	METAL WALL PANEL INSULATED INTERIOR
5	METAL STUD FRAMING
6	WOOD STUD FRAMING
7	CONCRETE MASONRY UNIT

**WALL TYPE SCHEDULE**

WALL TYPE MARK	WALL FIRE RATING	INSULATION TYPE	WALL HEIGHT
1	1 HOUR RATING	T + 4" INSULATION	10'-0" TO DECK ABOVE
2	2 HOUR RATING	T + 4" INSULATION	10'-0" TO DECK ABOVE
3	3 HOUR RATING	T + 4" INSULATION	10'-0" TO DECK ABOVE

ALL WALLS: UNLESS NOTED OTHERWISE, ALL WALLS ARE TO HAVE DECK ABOVE WITH 45 DEGREE BRACING OF SAME STUD SIZE AND GAUGE AT 2' ON CENTER ALTERNATING TO DECK ABOVE.

INSULATION TYPE: A = ADDITIONAL WALLS WITH ADDITIONAL INSULATION UNLESS NOTED OTHERWISE ALL ADDITIONAL WALLS EXTENDING TO 8' ABOVE ADDITIONAL INSULATION TO 8' ABOVE ADDITIONAL INSULATION TO ALL ADDITIONAL WALLS IN WALL CAVITY AND LAYED OVER TOP OF WALL 2" EACH WAY ON THE LENGTH OF WALL SEAL ALONG BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO, ELECTRICAL, OUTLETS, CONDUITS, HVAC DUCTS, PIPING AND CABLING.

T = THERMAL WALLS WITH THERMAL INSULATION UNLESS NOTED OTHERWISE ALL THERMAL WALLS AND REGULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE RESISTIVE FOAM FACED IN 18 BATT PROVIDED IN ALL WALL CAVITIES FULL HEIGHT OF WALL. FRICION & MECHANICALLY FASTENED TO WALL STUDS. PROVIDE CONTINUOUS SEALANT ALONG TOP, BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO, ELECTRICAL, OUTLETS, CONDUITS, HVAC DUCTS, DAMPERS, PIPING AND CABLING.

WALL HEIGHT: D = WALLS THAT EXTEND UP TO DECK ABOVE.

WALL MATERIAL:

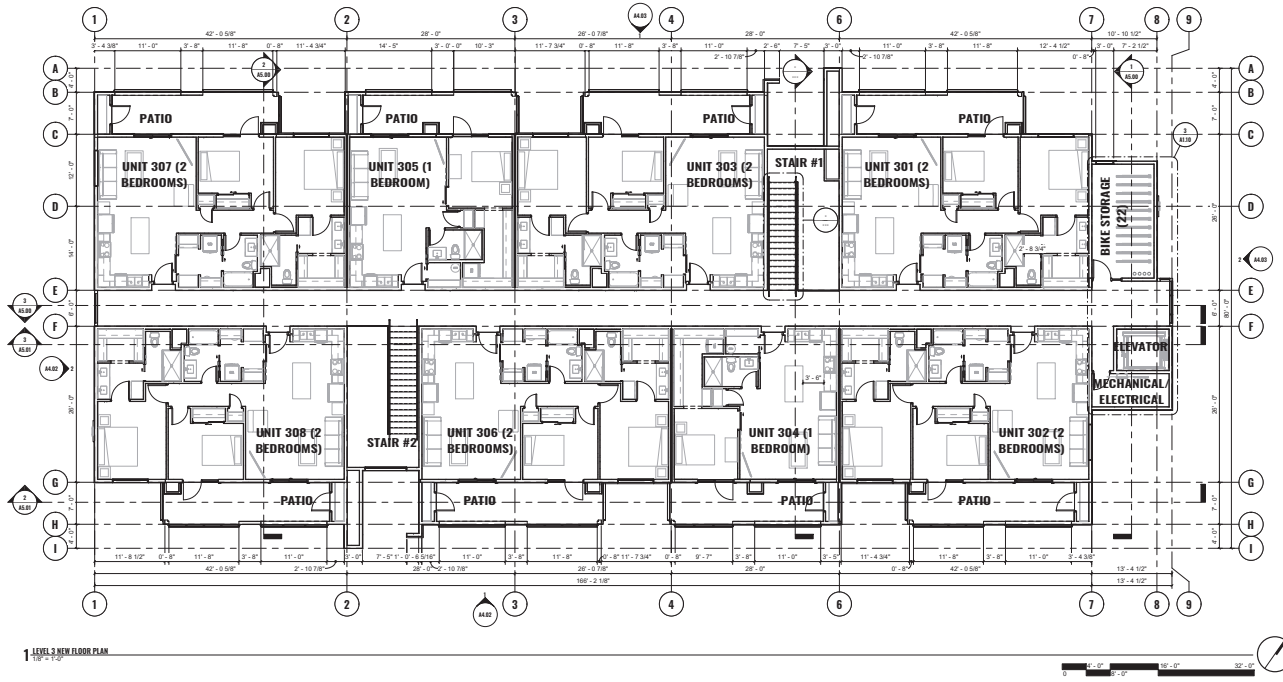
- MP = METAL WALL PANEL, INSULATED, INTERIOR
- C = CONCRETE
- WS = METAL STUD FRAMING
- W = WOOD STUD FRAMING
- CMU = CONCRETE MASONRY UNIT

MARK	OVERALL WIDTH	DESCRIPTION	FIRE RATING	UL	REMARKS

**SOLSTICE CONDOMINIUMS**

SHEET NUMBER: FLOOR PLAN

DATE: 08.27.2024  
PROJECT NUMBER: 1521.10  
PROJECT STATUS: IN PROGRESS



- FLOOR PLAN GENERAL NOTES**
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  - DO NOT SCALE DRAWINGS. IF DIMENSIONAL INFORMATION IS REQUIRED & NOT FOUND, NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION.
  - UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS INDICATE DIMENSION BETWEEN FINISHES.
  - UNLESS NOTED OTHERWISE, ALL DOOR JAMBS ARE TO BE SET 4" FROM ADJACENT WALL.
  - UNLESS NOTED OTHERWISE, BRACE ALL CEILING AND NON-LOAD BEARING WALLS.
  - PROVIDE SOLID BLOCKING AS REQUIRED TO SUPPORT WALL-MOUNTED EQUIPMENT SUCH AS SHOWER BARS, BALLOYS, SHOWER CABINETS AND ALL OTHER ACCESSORIES REQUIRING SUPPORT. VERIFY ALL LOCATIONS BEFORE INSTALLATION OF GYPSUM BOARD.

**KEYNOTE LEGEND**

MARK	DESCRIPTION
MBR	Mechanical Room
STAIR #1	Stair #1
STAIR #2	Stair #2
BKSTG	Bike Storage
ME	Mechanical/Electrical
PATIO	Patio

**WALL TYPE SCHEDULE**

WALL TYPE MARK	WALL FIRE RATING	INSULATION TYPE	WALL HEIGHT
1	1 HOUR	1"	8'-0"
2	2 HOUR	2"	8'-0"
3	3 HOUR	3"	8'-0"

**ALL WALLS:** UNLESS NOTED OTHERWISE, ALL WALLS ARE TO HAVE DECK ABOVE WITH 45 DEGREE BRACING OF SAME STUD SIZE AND GAUGE AT 2' ON CENTER ALTERNATING TO DECK ABOVE.

**FIRE RATING:**  
1 = 1 HOUR RATING  
2 = 2 HOUR RATING  
3 = 3 HOUR RATING

**INSULATION TYPE:**  
A = ADDITIONAL WALLS WITH ACoustICAL INSULATION UNLESS NOTED OTHERWISE ALL ADDITIONAL WALLS EXTENDING TO 8' ABOVE HIGHEST ADJACENT CEILING PROVIDE ACoustICAL INSULATION IN ALL ACoustICAL WALLS IN WALL CAVITY AND LAYED OVER TOP OF WALL 2" EACH WAY ENTIRE LENGTH OF WALL SEAL ALONG BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO, ELECTRICAL, OUTLETS, CONCRETE, HVAC DUCTS, PIPING AND CABLING.  
T = THERMAL WALLS WITH THERMAL INSULATION UNLESS NOTED OTHERWISE ALL THERMAL WALLS AND REGULATION ARE TO EXTEND UP TO DECK ABOVE. INSULATION TO BE REFLECTIVE FOLK FACED IN 10 SEFT HEIGHT OF WALL. FRITION & MECHANICALLY FASTENED TO WALL STUDS. PROVIDE CONTINUOUS SEALANT ALONG TOP, BOTTOM AND SIDES OF WALL AND ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO, ELECTRICAL, OUTLETS, CONCRETE, HVAC DUCTS, DAMPERS, PIPING AND CABLING.

**WALL HEIGHT:**  
D = WALLS THAT EXTEND UP TO DECK ABOVE.

**WALL MATERIAL:**  
MP = METAL WALL PANEL, INSULATED, INTERIOR  
C = CONCRETE  
SM = METAL STUD FRAMING  
W = WOOD STUD FRAMING  
CMU = CONCRETE MASONRY UNIT

**SOLSTICE CONDOMINIUMS**

OVERALL MARK	WIDTH	DESCRIPTION	FIRE RATING	UL	REMARKS

WEEKLY #83233  
FLOOR PLAN

ISSUED: 08.27.24  
PROJECT NUMBER: 2419

SHEET NUMBER: 11

PROJECT STATUS



18.27.2024  
SCHEMATIC  
SHEET 04.00

DATE: 18.27.2024  
BY: [Signature]  
CHECKED BY: [Signature]  
PROJECT: SOLSTICE CONDOMINIUMS  
SHEET: 04.00

REVISION	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	

SOLSTICE CONDOMINIUMS

WINDY HARBOR  
EXTERIOR ELEVATIONS

DATE: 18.27.2024  
BY: [Signature]  
CHECKED BY: [Signature]

PROJECT NUMBER:  
PROJECT STATUS:

SHEET NUMBER:  
A4.00

EXTERIOR ELEVATION GENERAL NOTES

- A. DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
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- C. ALL DIMENSIONS ARE TO COLUMN CENTERLINES OR TO FACE OF FRAMING. UNLESS CLEAR DIMENSIONS INDICATE DIMENSION BETWEEN FINISHES.
- D. ALL EXPOSED FOUNDATIONS AND FOOTINGS ARE TO BE FINISHED TO MATCH ADJACENT WALL FINISH OR COLOR, AS SELECTED BY OWNER. PROVIDE NECESSARY SURFACE FINISHES AS RECOMMENDED BY MANUFACTURER FOR PARTICULAR APPLICATION.
- E. PROVIDE 24 GAUGE PRE-FINISHED METAL FLASHING, DRIP EDGE, AND TRIM TO MATCH ROOFING COLOR, AS SELECTED BY OWNER.
- F. PROVIDE CONTINUOUS PRE-FINISHED 20 GAUGE METAL GUTTER TO MATCH FLASHING OR TRIM AT ALL ROOF EAVES. PROVIDE CHAIN LEASER TO 1/2" X 1/2" CONCRETE BALLAST WITH EMBEDDED EYELET OF SAME TYPE AS CHAIN LEASER.

KEYNOTE LEGEND

MARK	DESCRIPTION
1	TRIM (BLACK)
2	FLASH REVEAL METAL PANEL, SIDING (PAC-CLAD, GRANITE)
3	MASONRY VENEER (CREATIVE MINES SPLIT MODULAR STONE, POWDER)
4	STUCCO (BENJAMIN MOORE 'SIMPLY WHITE' OC117)
5	MASONRY VENEER (CREATIVE MINES CRAFT BOARD FORM, BARNWOOD)
6	PAINT (NATURAL PAINT, PAINT BLACK TO MATCH TRIM)

MATERIALS LEGEND

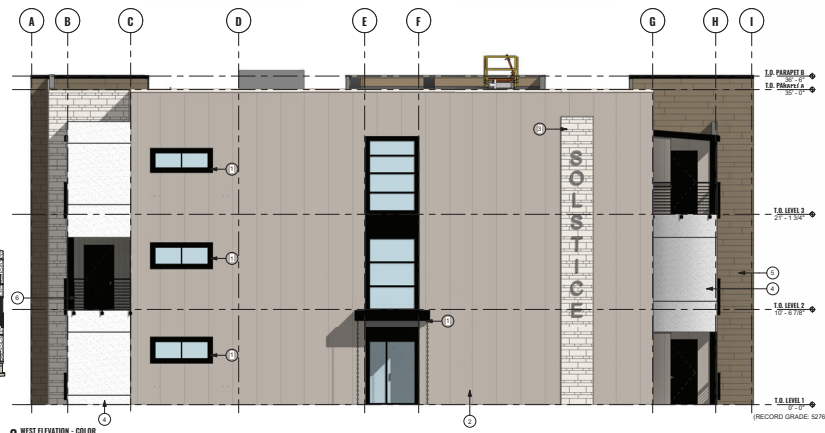
- 1. PAC-CLAD METAL FLUSH WALL PANEL, GRANITE
- 2. CREATIVE MINES SPLIT MODULAR STONE, POWDER
- 3. CREATIVE MINES CRAFT BOARD FORM, BARNWOOD
- 4. STUCCO, BENJAMIN MOORE 'SIMPLY WHITE' OC117
- 5. WINDOW FRAME/ TRIM, BLACK



1 3D View 2



4 3D View 1



2 WEST ELEVATION - COLOR  
2'0" = 1'-0"



3 SOUTH ELEVATION - COLOR  
2'0" = 1'-0"





MARK	DESCRIPTION
1	MASONRY VENEER (CREATIVE MINES CRAFT BOARD FORM, BARNWOOD)
2	MASONRY VENEER (CREATIVE MINES SPLIT MODULAR STONE, POWDER)
3	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
4	FLUSH REVEAL METAL PANEL (BRAC GLAD, GRANITE)
5	TRIM (BLACK)
6	RAILING (A PATIO) (PAINT BLACK TO MATCH TRIM)
7	STEEL CANOPY WITH CREATIVESPOOTS (PAINT TO MATCH TRIM (BLACK))

MARK	DESCRIPTION
1	MASONRY VENEER (CREATIVE MINES CRAFT BOARD FORM, BARNWOOD)
2	MASONRY VENEER (CREATIVE MINES SPLIT MODULAR STONE, POWDER)
3	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
4	FLUSH REVEAL METAL PANEL (BRAC GLAD, GRANITE)
5	TRIM (BLACK)
6	RAILING (A PATIO) (PAINT BLACK TO MATCH TRIM)
7	STEEL CANOPY WITH CREATIVESPOOTS (PAINT TO MATCH TRIM (BLACK))

MARK	DESCRIPTION
1	PAC-GLAD METAL FLUSH WALL PANEL, GRANITE
2	CREATIVE MINES SPLIT MODULAR STONE, POWDER
3	CREATIVE MINES CRAFT BOARD FORM, BARNWOOD
4	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
5	WINDOW FRAME/TRIM, BLACK

MARK	DESCRIPTION
1	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
2	CREATIVE MINES SPLIT MODULAR STONE, POWDER
3	CREATIVE MINES CRAFT BOARD FORM, BARNWOOD
4	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
5	WINDOW FRAME/TRIM, BLACK

MARK	DESCRIPTION
1	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
2	CREATIVE MINES SPLIT MODULAR STONE, POWDER
3	CREATIVE MINES CRAFT BOARD FORM, BARNWOOD
4	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
5	WINDOW FRAME/TRIM, BLACK

MARK	DESCRIPTION
1	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
2	CREATIVE MINES SPLIT MODULAR STONE, POWDER
3	CREATIVE MINES CRAFT BOARD FORM, BARNWOOD
4	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
5	WINDOW FRAME/TRIM, BLACK

MARK	DESCRIPTION
1	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
2	CREATIVE MINES SPLIT MODULAR STONE, POWDER
3	CREATIVE MINES CRAFT BOARD FORM, BARNWOOD
4	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
5	WINDOW FRAME/TRIM, BLACK

MARK	DESCRIPTION
1	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
2	CREATIVE MINES SPLIT MODULAR STONE, POWDER
3	CREATIVE MINES CRAFT BOARD FORM, BARNWOOD
4	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
5	WINDOW FRAME/TRIM, BLACK

MARK	DESCRIPTION
1	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
2	CREATIVE MINES SPLIT MODULAR STONE, POWDER
3	CREATIVE MINES CRAFT BOARD FORM, BARNWOOD
4	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
5	WINDOW FRAME/TRIM, BLACK

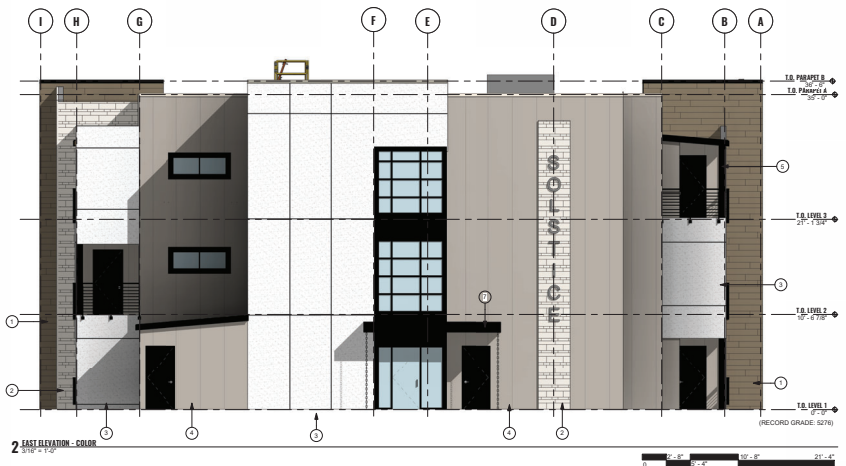
MARK	DESCRIPTION
1	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
2	CREATIVE MINES SPLIT MODULAR STONE, POWDER
3	CREATIVE MINES CRAFT BOARD FORM, BARNWOOD
4	STUCCO (BENJAMIN-MOORE SIMPLY WHITE, CC117)
5	WINDOW FRAME/TRIM, BLACK



4 3D View 4



3 3D View 2



2 EAST ELEVATION - COLOR  
SHEET # 1-2



1 NORTH ELEVATION - COLOR  
SHEET # 1-1

**SOLSTICE CONDOMINIUMS**

WEEK 08/2023

EXTERIOR ELEVATIONS

PROJECT STATUS

SHEET NUMBER:



**EXTERIOR ELEVATION GENERAL NOTES**

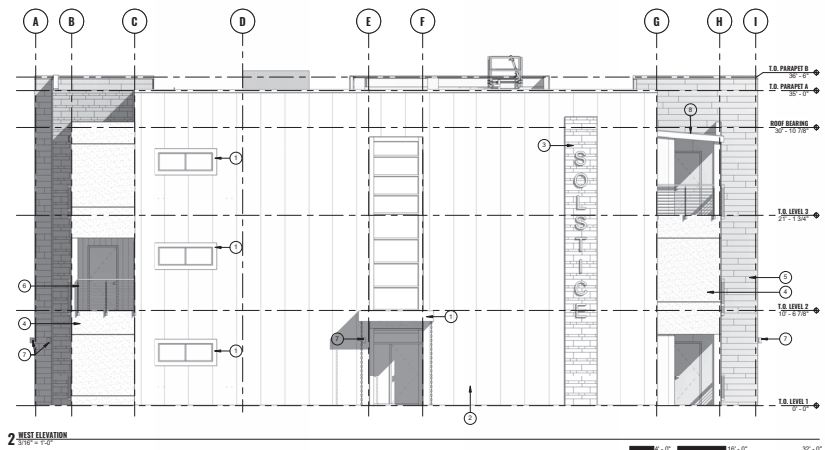
- A. DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETY, SCOPE OF WORK, NOTICING ARCHITECT IMMEDIATELY FOR CLARIFICATION OF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
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- E. PROVIDE 24 GAUGE PRE-FINISHED METAL FLASHING, DRIP EDGE, AND TRIM TO MATCH ROOFING COLOR, AS SELECTED BY OWNER.
- F. PROVIDE CONTINUOUS PRE-FINISHED 22 GAUGE METAL GUTTER TP MATCH FLASHING OR TRIM AT ALL ROOF EAVES. PROVIDE CHAIN LEADER TO 1/2"X1/4" CONCRETE BALLAST WITH EMBED EYELET OF SAME TYPE AS CHAIN LEADER.



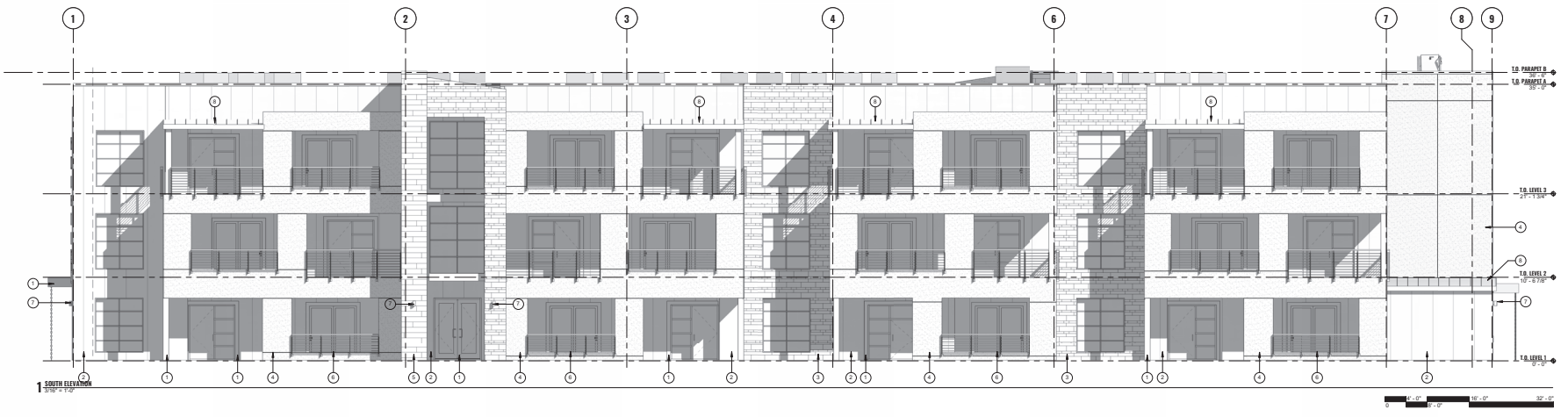
A 134 S 5th Street Suite 103  
 Chicago, IL 60605  
 Tel: 312.596.1565  
 Email: info@chrysalis-architecture.com  
 Website: www.chrysalis-architecture.com



MARK	DESCRIPTION
1	TRIM (BLACK)
2	FLUSH REVEAL METAL PANEL SOUND (PAC CLAD GRANITE)
3	MASONRY VENEER (CREATIVE MINES SPLITT MODULAR STONE POWDER)
4	STUCCO (BEJAMIN MOORE SIMPLY WHITE OC17)
5	MASONRY VENEER (CREATIVE MINES CRAFT SOUND FORM BARNWOOD)
6	PAINT AT MATCH (PAINT BLACK TO MATCH TRIM)
7	EXTERIOR LIGHTING FIXTURE. REFER TO ELECTRICAL DRAWINGS
8	STANDING BEAM METAL ROOF



**2 WEST ELEVATION**  
 3/10" = 1'-0"



**1 SOUTH ELEVATION**  
 3/10" = 1'-0"

DATE: 06.27.2024  
 SCALE: AS SHOWN  
 PROJECT: SOLSTICE CONDOMINIUMS  
 SHEET: EXTERIOR ELEVATIONS  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NUMBER: [Number]

**SOLSTICE CONDOMINIUMS**

WINDY 603233  
 EXTERIOR ELEVATIONS

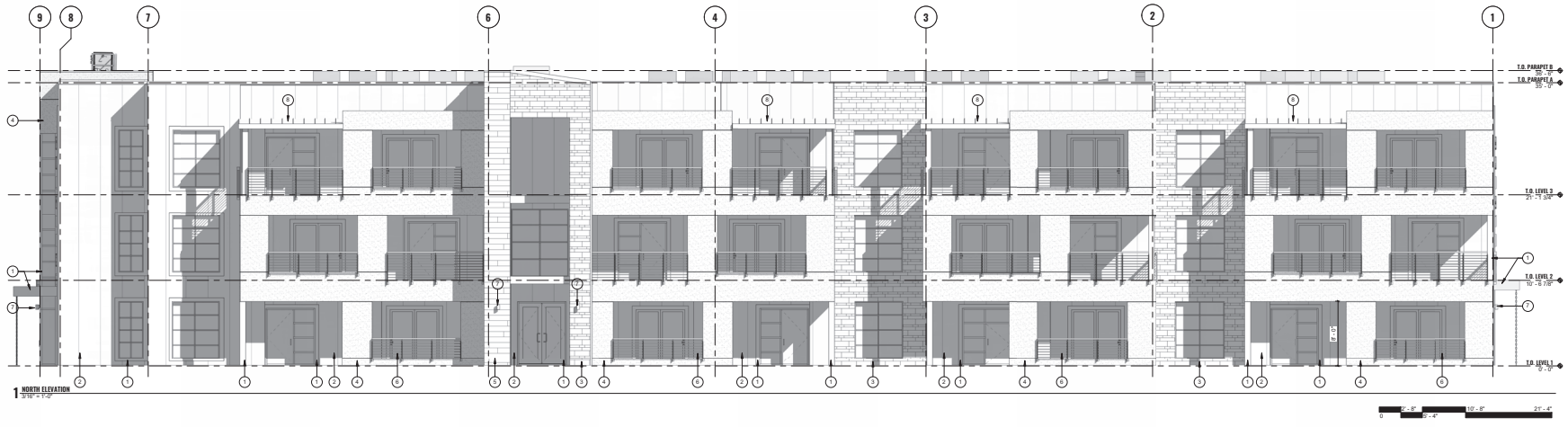
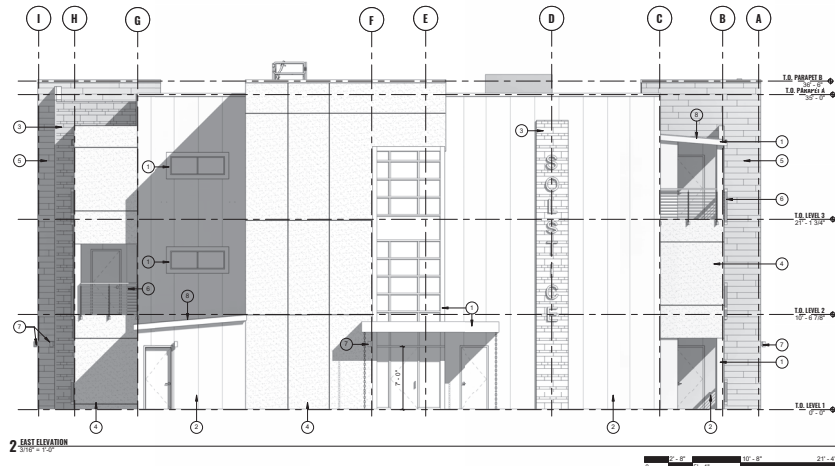
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 SCALE: AS SHOWN  
 PROJECT: SOLSTICE CONDOMINIUMS  
 SHEET: EXTERIOR ELEVATIONS  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NUMBER: [Number]



**EXTERIOR ELEVATION GENERAL NOTES**

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- E. PROVIDE 24 GAUGE PRE-FINISHED METAL FLASHING, DRIP EDGE AND TRIM TO MATCH ROOFING COLOR, AS SELECTED BY OWNER.
- F. PROVIDE CONTINUOUS PRE-FINISHED 22 GAUGE METAL, QUITTER TRIM MATCH FLASHING OR TRIM AT ALL ROOF EAVES. PROVIDE CHAIN LEADER TO 12"x12"x12" CONCRETE BALLAST WITH EMBOS EYELET OF SAME TYPE AS CHAIN LEADER.

MARK	DESCRIPTION
1	TRIM (BLACK)
2	FLASH REVEAL METAL PANEL SOUND (PAC CLAD GRANITE)
3	MASONRY VENEER (CREATIVE MINES SPLIT MODULAR STONE, POWDER)
4	STUCCO (BENJAMIN MOORE SIMPLY WHITE, OC117)
5	MASONRY VENEER (CREATIVE MINES CRAFT BOARD FORM, BARNWOOD)
6	PAINTING AT PATIO (PANT BLACK TO MATCH TRIM)
7	EXTERIOR LIGHTING FIXTURE, REFER TO ELECTRICAL DRAWINGS
8	STANDING SEAM METAL ROOF



DATE: 08.27.2024  
SCALE: AS SHOWN

REVISION	DESCRIPTION

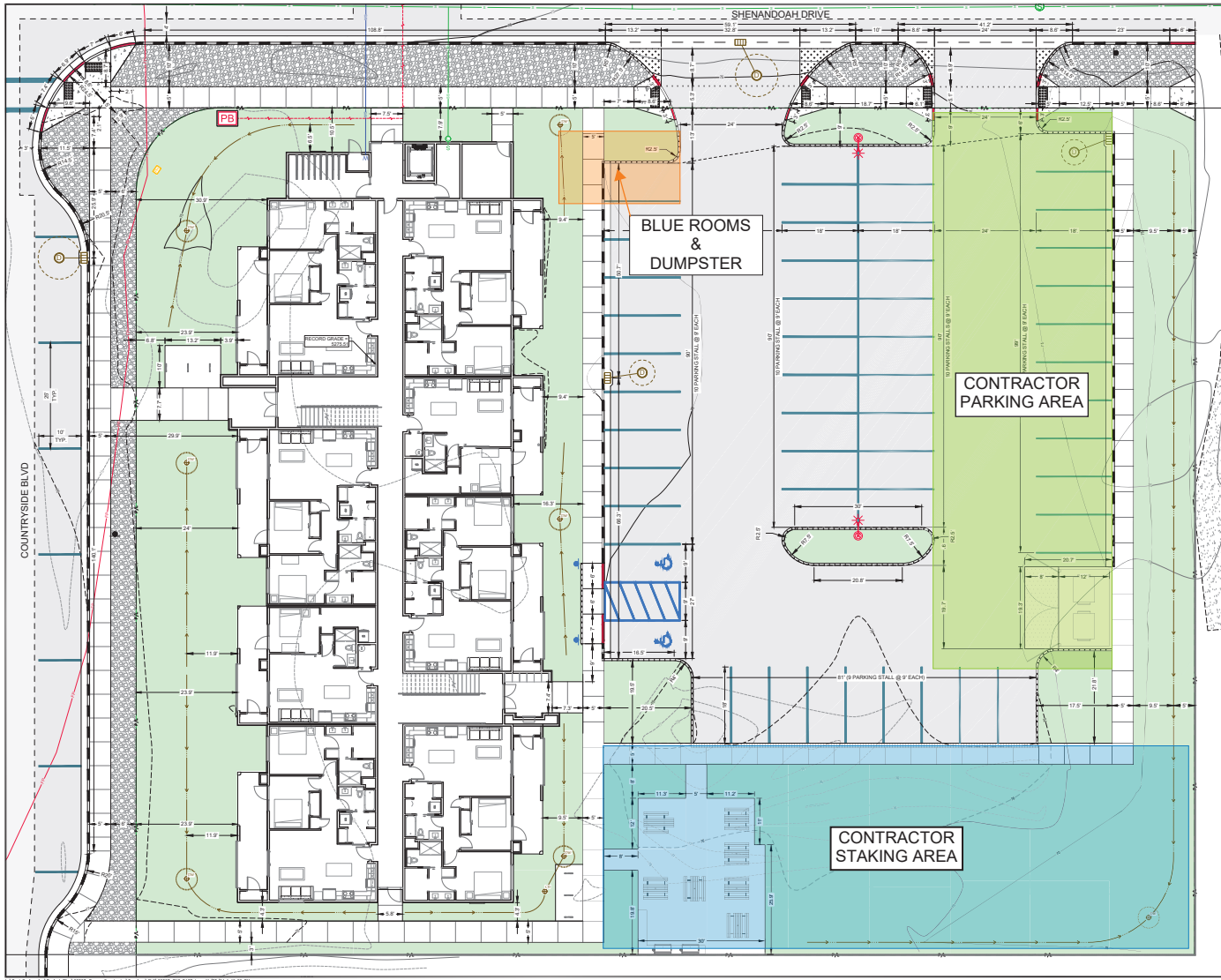
**SOLSTICE CONDOMINIUMS**

WALKY ARCHITECTS  
EXTERIOR ELEVATIONS

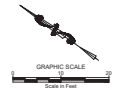
DATE: 08.27.2024

PROJECT NUMBER: 24-001

SHEET NUMBER: A4.03



**PARKING SUMMARY**  
 UNITS: 24  
 PARKING REQUIRED: 36  
 PARKING PROPOSED: 48 + 3 SEASONAL



- GENERAL NOTES:**
1. SEE SHEET CG-10 FOR CONSTRUCTION GENERAL NOTES.
  2. SEE SHEET CG-10 FOR LEGEND.
  3. SEE SHEET C1-10 FOR SITE AND UTILITY DESIGN.
  4. SEE SHEET C1-20 FOR SITE GRADING PLAN.



REVISION NO.	DATE	DESCRIPTION



**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

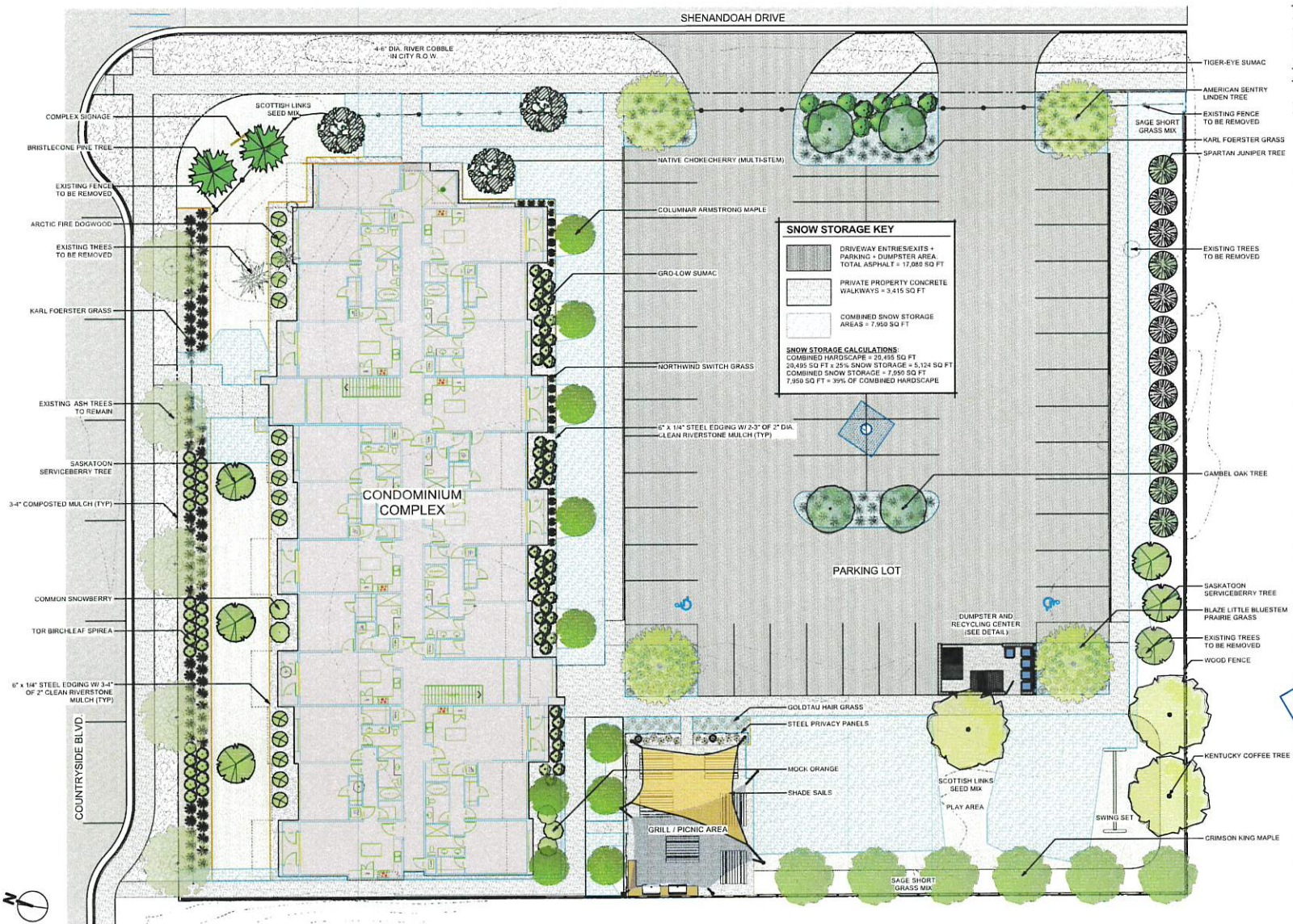
**SITE GEOMETRY AND GRADING PLAN**  
 SWEETWATER PUB SUBDIVISION, BLOCK 1 (SOLSTICE CONDOS)  
 PREPARED FOR TANNER INVESTMENTS, LLC

22023  
 C1.00

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**SNOW STORAGE KEY**

[Pattern]	DRIVEWAY ENTRIES/EXIST. + PARKING + DUMPSTER AREA TOTAL ASPHALT = 17,085 SQ FT
[Pattern]	PRIVATE PROPERTY CONCRETE WALKWAYS = 3,415 SQ FT
[Pattern]	COMBINED SNOW STORAGE AREAS = 7,950 SQ FT

**SNOW STORAGE CALCULATIONS:**  
 COMBINED HARDSCAPE = 20,495 SQ FT  
 20,495 SQ FT x 25% SNOW STORAGE = 5,124 SQ FT  
 COMBINED SNOW STORAGE = 7,950 SQ FT  
 7,950 SQ FT = 39% OF COMBINED HARDSCAPE

DATE	1.29.2024
REVISED	
PROJECT # GSD 411 23	
SCALE 1" = 10'	
<b>SOLSTICE CONDOMINIUMS</b> SHENANDOAH DRIVE, HAILEY, ID 83333 <b>SNOW STORAGE 25% PLAN</b>	
PRELIMINARY: ONLY FOR DESIGN REVIEW	
PAGE	1 OF 1
<b>garden space design</b> <small>103 EAST BULLHORN BLVD. SUITE 101          HAILEY, IDAHO          208.729.2219          gsd@gardenspaceid.com</small>	

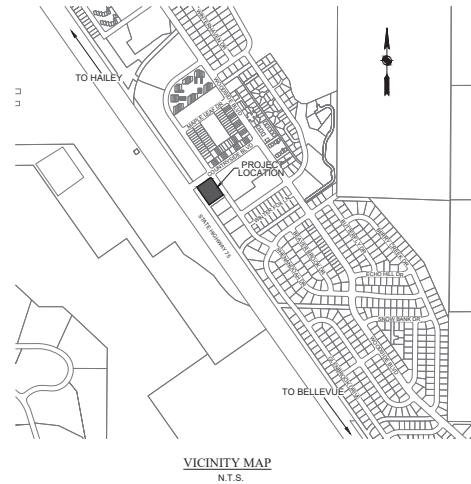
LC - 1.1

# SWEETWATER PUD SUBDIVISION, BLOCK 1 (SOLSTICE CONDOS)

HAILEY, IDAHO  
NOVEMBER 2024

## GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDaho STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWC) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWC AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- OPAL ENGINEERING, PLLC IS NOT RESPONSIBLE FOR GHAO POWER OR OTHER DRY UTILITY SERVICE REQUESTS.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS INCLUDES BUT IS NOT LIMITED TO ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARINGS & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1558. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER. AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH P75 RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITS STANDARD 703.04, 2") SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWC 802, TYPE I (ITS STANDARD 703.04, 3/4") SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1 1/2" (38MM) NOMINAL SIZE CONFORMING TO TABLE 800B IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE 1 IN ISPWC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPWC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPWC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 1, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPWC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- FOR GHAO CODE § 55-15(3), THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE. AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREIN ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING, INC., DATED 02/28/2022.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET FOR ALL CONSTRUCTION WITHIN THE PUBLIC RIGHTS-OF-WAY. TESTING LOCATION AND FREQUENCY SHALL MEET IDPW AND ADA COUNTY HIGHWAY DISTRICT (AHD) REQUIREMENTS. REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN TWO WEEKS OF TESTING.



## SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.20	DETAIL SHEET
C0.30	DETAIL SHEET
C0.40	DETAIL SHEET
C0.90	DEMOLITION PLAN
C1.00	SITE GEOMETRY PLAN
C1.10	SITE IMPROVEMENTS AND UTILITY PLAN
C1.20	SITE GRADING PLAN

**CIVIL ENGINEER**  
SAMANTHA STAHLNECKER, PE  
OPAL ENGINEERING, PLLC  
416 S. MAIN STREET SUITE 204  
PO BOX 2530  
HAILEY, IDAHO 83333

## LEGEND

EXISTING ITEMS		PROPOSED ITEMS	
PROPERTY LINE	STORM DRAIN CATCH BASIN	5' CONTOUR INTERVAL	VEGETATED LANDSCAPE AREA
ADJOINERS LOT LINE	DRIWELL	1' CONTOUR INTERVAL	WATER SERVICE
CENTERLINE	QUILVERT	ASPHALT	SEWER SERVICE AND CLEANOUT
EASIMENT	WATER MAIN	CONCRETE SIDEWALK	
5' CONTOUR INTERVAL	FIRE HYDRANT	GRAVEL LANDSCAPE AREA	
1' CONTOUR INTERVAL	WATER VALVE	8" VERTICAL CURB AND GUTTER	
FLOW LINE OF CHECKDITCH	SEWER MAN	CURB TRANSITION	
FENCE LINE	SEWER SERVICE	ZERO REVEAL CURB AND GUTTER	
ASPHALT	SEWER MANHOLE	THICKENED EDGE SIDEWALK	
CONCRETE SIDEWALK	CABLE TV BURIED	8" CURB	
GRAVEL DRIVE	BURIED TELEPHONE LINE	3" WIDE VALLEY GUTTER	
EDGE OF GRAVEL	CABLE TV RISER		
FLOOD PLAIN	TELEPHONE RISER		
SIGN	OVERHEAD POWER		
CONIFER TREE	POWER BOX		
DECIDUOUS TREE		SIGN	
AP	ANGLE POINT	DRIWELL	
EDA	EDGE OF ASPHALT	STORM DRAIN, SIZE PER PLAN	
EDC	EDGE OF CONCRETE	CATCH BASIN	
EDG	EDGE OF GRAVEL	SAWCUT LINE	
ELG	ELIGIBLE CAP	LIMITS OF DISTURBANCE	
NC	NO CAP	ROAD PAINT	
NG	NATURAL GROUND	ADA PAINT AND SYMBOL	
TA	TOP OF ASPHALT	FLOW LINE	
TOE	TOE OF SLOPE	GRADE	
TOP	TOP OF SLOPE	ELEV. DESC.	
		SPOT GRADE ELEVATION DESCRIPTION	



REVISION NO.	DATE	DESCRIPTION



PRELIMINARY  
NOT FOR  
CONSTRUCTION

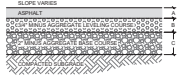
COVER SHEET AND DETAIL SHEET  
SWEETWATER PUB SUBDIVISION, BLOCK 1 (SOLSTICE CONDOS)  
PREPARED FOR: PALMER INVESTMENTS, LLC

22023

C0.10

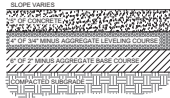


MATERIAL SECTION	A (ASPHALT)	B (3/4" MINUS LEVELING COURSE)	C (2" MINUS BASE COURSE)
RIGHT-OF-WAY	3"	4"	5"
PARKING LOT	2 1/2"	4"	6"



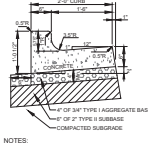
- NOTES:**
- SUBBASE CAN BE 2" TYPE I OR 2" TYPE II CRUSHED AGGREGATE BASE COURSE
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

**1 TYPICAL ASPHALT SECTION**  
N.T.S.



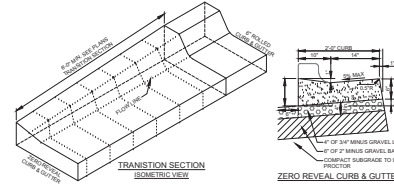
- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
  - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
  - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 1/8" WIDE, 1/4" DEPTH AND FINISHED AND EGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 42" FOR NEW SIDEWALK CONSTRUCTION.
  - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
  - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE BACK OF CURB.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

**2 TYPICAL CONCRETE SECTION**  
N.T.S.



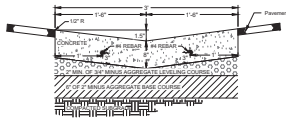
- NOTES:**
- SUBBASE CAN BE 2" TYPE I OR 2" TYPE II CRUSHED AGGREGATE BASE COURSE
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF FACE.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 15 FEET MAXIMUM SPACING (8 FEET SIDEWALK).

**3 6" CONCRETE VERTICAL CURB & GUTTER**  
N.T.S.



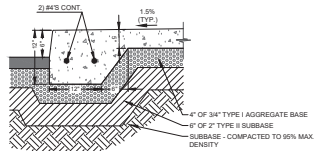
- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF FACE.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS TO MATCH SIDEWALK WITH 10 FEET MAXIMUM SPACING.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

**4 TYPICAL CURB TRANSITION DETAIL**  
N.T.S.



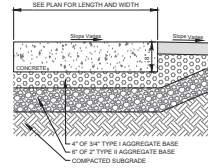
- NOTES:**
- SUBBASE CAN BE 2" TYPE I OR 2" TYPE II CRUSHED AGGREGATE BASE COURSE
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF FACE
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10 FEET MAXIMUM SPACING (8 FEET SIDEWALK)

**5 36" CONCRETE VALLEY GUTTER**  
N.T.S.



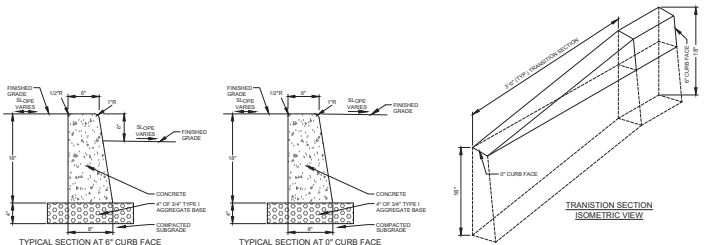
- NOTES:**
- SUBBASE CAN BE 2" TYPE I OR 2" TYPE II CRUSHED AGGREGATE BASE COURSE
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - CONCRETE SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF FACE.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10 FEET MAXIMUM SPACING (8 FEET SIDEWALK)

**6 THICKENED SIDEWALK EDGE**  
N.T.S.



- NOTES:**
- SUBBASE CAN BE 2" TYPE I OR 2" TYPE II CRUSHED AGGREGATE BASE COURSE
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF FACE
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10 FEET MAXIMUM SPACING (8 FEET SIDEWALK)

**7 CONCRETE DUMPSTER PAD**  
N.T.S.



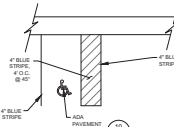
**TYPICAL SECTION AT 6" CURB FACE**  
N.T.S.

**TYPICAL SECTION AT 6" CURB FACE**  
N.T.S.

**TRANSITION SECTION ISOMETRIC VIEW**

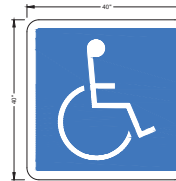
- NOTES:**
- SUBBASE CAN BE 2" TYPE I OR 2" TYPE II CRUSHED AGGREGATE BASE COURSE
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF FACE
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10 FEET MAXIMUM SPACING (8 FEET SIDEWALK)

**8 CONCRETE VERTICAL CURB**  
N.T.S.



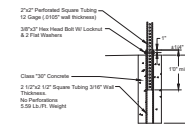
- NOTES:**
- MAXIMUM GRADE IN ANY DIRECTION IS 2.0%
  - WALKING SURFACE SHALL BE 104" THERMOPLASTIC

**9 ADA PARKING DETAIL**  
N.T.S.



- NOTES:**
- ADA SYMBOL SHALL BE WHITE ON BLUE WITH BORDERS. PREMARK HANDCAP WITH VISIBLE SOAK. THERMOPLASTIC OR APPROVED EQUAL.

**10 ADA SYMBOL**  
N.T.S.



**SIGN POST INSTALLATION DETAIL WITH ONE PIECE ANCHOR POST**  
N.T.S.

- NOTES:**
- Anchor sleeves shall be installed so that the holes will align and the top be flush with the sign and anchor.
  - All installations shall have 4" square concrete foundations or grouted into existing.

**11 SIGN POST DETAIL**  
N.T.S.



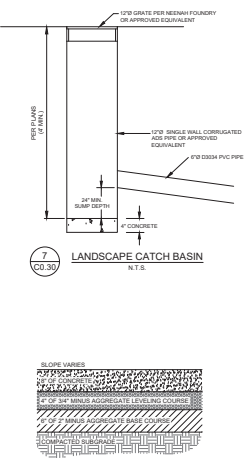
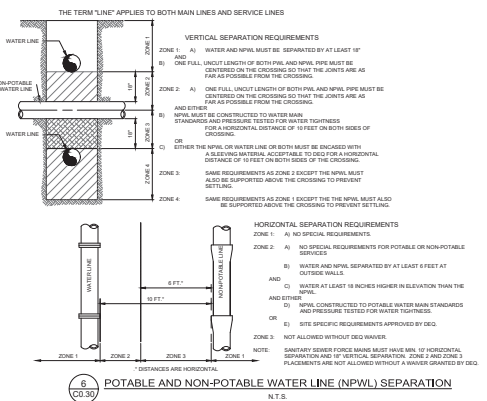
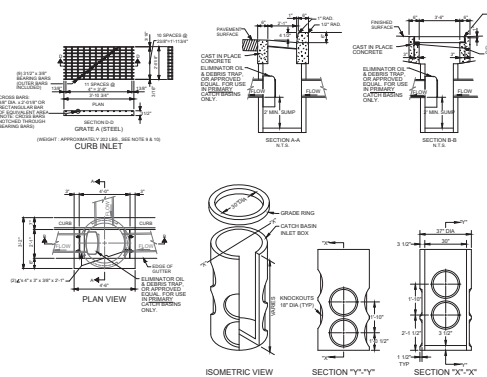
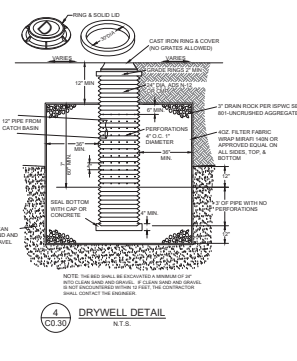
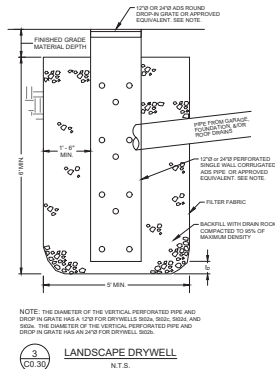
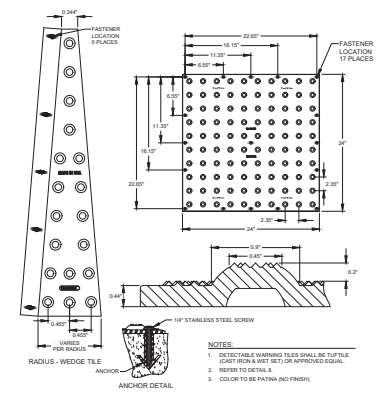
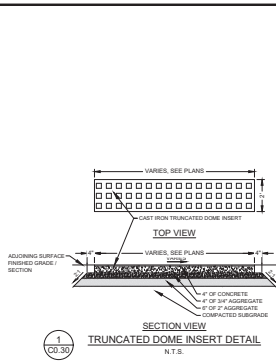
PURPOSE: ISSUE FOR DESIGN REVIEW (11/12/2024)



PRELIMINARY NOT FOR CONSTRUCTION

DETAIL SHEET  
SWEETWATER PUB SUBDIVISION, BLOCK 1 (SOLSTICE CONDOS)  
PREPARED FOR: TANNER INVESTMENTS, LLC

22023  
CO.20



**CATCH BASIN INSTALLATION NOTES:**

- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
- THE OIL DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
- A 1/2" SLOPE DRAFT IS ALLOWED FOR FORM REMOVAL.
- A 1/2" MINIMUM OF 4" OF COMPACTED BEDDING OR PREPARED SLOPEWALK AS SHOWN IN SPWV SECTION 800 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
- FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED TO LEVEL TO THE TOP OF THE BEDDING.
- PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.
- STEEL ANCHORS SHALL BE SET SO THAT EACH BEARING SIDE OF PREPARED GRATE SHALL HAVE FULL BEARING ON BOTH ENDS. THE FINISHED TOP OF CONCRETE SHALL BE EVEN WITH THE ANGLE GRATE SURFACE. THE STRUCTURAL STEEL NEED NOT BE PAINTED BUT SHALL MEET THE REQUIREMENTS OF ASTM A618.
- ALL METAL REINFORCEMENT USED SHALL BE NO. 4 BARS. THE METAL REINFORCEMENT SHALL BE SMOOTH CUT TO ACCOMMODATE PIPES.
- INLET CATCH BASIN GRATES MAY EITHER BE RESISTANCE WELDED OR ARC WELDED. IN EITHER CASE, THE GRATE SHALL BE TRUE AND FLUSH.

**VERTICAL SEPARATION REQUIREMENTS**

- ONE FULL LENGTH OF BOTH PIPE AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ONE FULL LENGTH OF BOTH PIPE AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.
  - OR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
- EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLOPEWALK MATERIAL, ACCEPTABLE TO PERFORM A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- SAME REQUIREMENTS AS ZONE 3 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- SAME REQUIREMENTS AS ZONE 1 EXCEPT THE THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

**HORIZONTAL SEPARATION REQUIREMENTS**

- NO SPECIAL REQUIREMENTS.
- NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES.
  - WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.
  - WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL.
  - NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.
  - SITE SPECIFIC REQUIREMENTS APPROVED BY GEO.
- NOT ALLOWED WITHOUT GEO REVIEW.
  - EMERGENCY CROSSING UNDER MAINS MUST HAVE MIN. 12" HORIZONTAL SEPARATION AND 12" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY GEO.

**NOTES:**

- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 3 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 15 FEET IN LONGITUDINAL DIRECTION.
- 12" TRANSVERSE PRECASTED BULB JOINTS AT THE TERMINUS POINTS FOR CURBS AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK TO FULL LENGTH.
- SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2" WIDE, 2" IN DEPTH AND FINISHED AND EGGED SMOOTH. A PREPARED EXPANSION JOINT FILLER SHALL BE PLACED EXCEPT 4" FOR NEW SIDEWALK CONSTRUCTION.
- WHEN TRANSITIONING NEW SIDEWALK TO EXISTING ALUMINUM 9" TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
- SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE BACK OF CURBS.
- MATERIALS SHALL CONFORM WITH CURRENT SPECIFICATIONS DIVISION 800 AGGREGATE AND ASPHALT.
- CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

opai

OPAI ENGINEERING, PLLC  
10000 W. HUNTERS LANE, SUITE 100  
DENVER, CO 80231  
WWW.OPAI-ENGINEERING.COM

REVISION NO.	DATE	DESCRIPTION

PURPOSE: ISSUE FOR DESIGN REVIEW (11/12/2024)

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

DETAIL SHEET

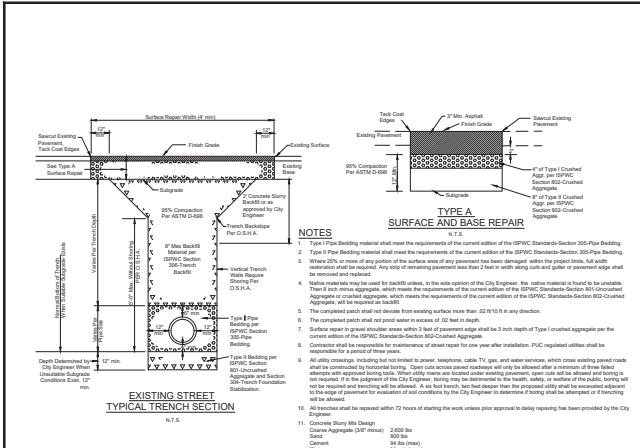
SWEETWATER PUB SUBDIVISION, BLOCK 1 (SOLSTICE CONDOS)

PREPARED FOR: TANNER INVESTMENTS, LLC

DESIGNED BY: MATHIEU STARNES, P.E. (1796) REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO. PROJECT NO. 24-0001-001. SHEET NO. 18 OF 18.

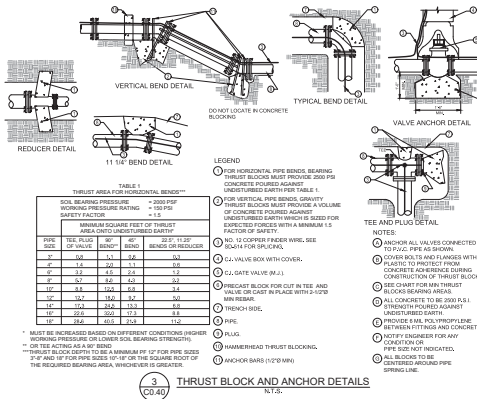
22023

CO.30



**EXISTING STREET TYPICAL TRENCH SECTION**  
N.T.S.

**1 TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)**  
N.T.S.

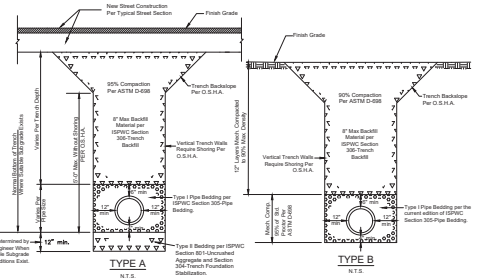


**3 THRUST BLOCK AND ANCHOR DETAILS**  
N.T.S.

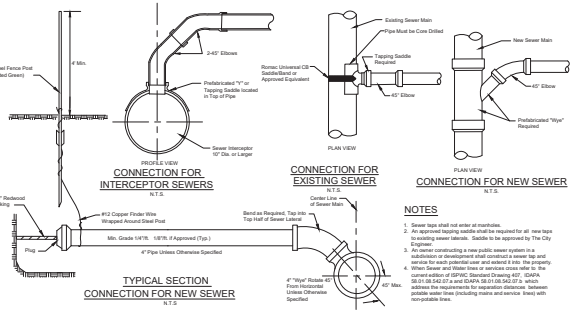
TABLE 1  
TYPICAL APPLICATIONS FOR CONCRETE BENDS

PIPE SIZE (INCH)	PIPE WEIGHT (LBS)	MIN. COVER (INCH)	MIN. BEND RADIUS (INCH)	MIN. BEND RADIUS (FEET)
12	12	18	12	1.0
15	18	24	18	1.5
18	24	30	24	2.0
21	30	36	30	2.5
24	36	42	36	3.0
27	42	48	42	3.5
30	48	54	48	4.0
36	60	66	54	4.5
42	72	78	60	5.0
48	84	90	66	5.5
54	96	102	72	6.0
60	108	114	78	6.5
66	120	126	84	7.0
72	132	138	90	7.5
78	144	150	96	8.0
84	156	162	102	8.5
90	168	174	108	9.0
96	180	186	114	9.5
102	192	198	120	10.0

NOTES:  
 \* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (DEPTH, WEIGHT, PRESSURE ON LINES, SOIL BEARING STRENGTH)  
 \*\* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (DEPTH, WEIGHT, PRESSURE ON LINES, SOIL BEARING STRENGTH)  
 \*\*\* IF AND IF FOR PIPE SIZES 18" OR OF THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WELDED STEEL BARS ARE REQUIRED.



**2 CITY OF HAILEY TRENCH NEW DEVELOPMENT TYPICAL TRENCH SECTION (18.14.010.A.2)**  
N.T.S.



**4 CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)**  
N.T.S.

**SEWER CONSTRUCTION NOTES**  
 1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "DRAINAGE STANDARDS FOR PUBLIC WORKS" PUBLISHED BY THE CITY OF HAILEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF WORKS DURING CONSTRUCTION.  
 2. ALL SERVICES SHALL COMPLY WITH DAPA 58.01 (8.542.07) AND DAPA 58.01 (8.542.07) WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES INCLUDING MAINS AND SERVICE LINES WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET 02.2). IN ADDITION, WATER SERVICES SHALL BE CONSTRUCTED WITH AT LEAST 3 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.  
 3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS AND AN APPROXIMATE WAY THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.  
 4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME RELOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.  
 5. POTABLE/NON-POTABLE CROSSINGS SHALL COMPLY WITH IPSWC STANDARD DRAWING NO. SD-407 AND DAPA SECTION 02.01 (8.542.07).  
 6. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.  
 7. SEWER SERVICE LINES SHALL BE PLACED AT A SLOPE OF 2% WITH MARKERS PER IPSWC. CLEAROUTS ARE REQUIRED AT CHANGES IN ALIGNMENT, GRADE, AND MINIMUM MIN LENGTH.  
 8. ALL PIPE SHALL BE BEDDED WITH (IPSWC) TYPE B BEDDING MATERIAL.  
 9. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 1557.  
 10. THE CONTRACTOR SHALL PRESERVE TEST ALL SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE "DRAINAGE STANDARDS FOR PUBLIC WORKS CONSTRUCTION".

**WATER CONSTRUCTION NOTES**  
 WATER SERVICE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS. NO WATER SERVICE SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.  
 2. WATER SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6'), MEASURED FROM FINISHED GRADE.  
 3. ALL 4" AND LARGER WATER LINES SHALL BE CONSTRUCTED WITH ANSII A200, CLASS 25C PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH IPSWC SECTION 401.3.3 AND THE CITY OF HAILEY STANDARDS. THRUST BLOCKS SHALL BE NO. 2 CALSUE COVER COATING. REPAIRS SHALL BE PERFORMED PER IPSWC SECTION 401.4 AND THE CITY OF HAILEY SPECIFICATIONS.  
 4. ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANSII STANDARD 6501. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (L25L34 BY RES).  
 5. ALL TEES, ELBOWS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING MECHANICAL RESTRAINTS ARE NOT ALLOWED). THRUST BLOCKS SHALL CONFORM TO IPSWC SD-403 AND THE CITY OF HAILEY SPECIFICATIONS.  
 6. ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEM "O" RING SEALS, AND TWO-CHAMBER OPERATING NUTS MEETING ANSII STANDARD PER IPSWC SECTION 402. ALL GATE VALVES LOCATED IN PAVEMENT SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER IPSWC SD-406 AND THE CITY OF HAILEY SPECIFICATIONS.  
 7. ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF ANSII C11.0 FOR 250 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS IN GENERAL ARE PROHIBITED UNDERGROUND.  
 8. FIRE HYDRANTS SHALL CONFORM WITH THE CITY OF HAILEY STANDARDS.  
 9. ALL TAPPING SADES SHALL BE CONSTRUCTED FROM T-304 STAINLESS STEEL WITH ANSII WAWA C-207 CLASS 150 RANGES. ALL WELLS SHALL CONFORM TO ASTM A-38. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT PLUG.  
 10. ALL WATER MAINS SHALL COMPLY WITH DAPA 58.01 (8.542.07) AND DAPA 58.01 (8.542.07) WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES INCLUDING MAINS AND SERVICE LINES WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET 02.2). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 3 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.  
 11. ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH IPSWC SECTION 404 AND THE CITY OF HAILEY STANDARDS. A BURIED APPROVED PRESSURE BACKFLOW ASSEMBLY (PBA) SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS INCLUDING FIRE SUPPRESSION SERVICES. IT SHALL BE ACCORDANCE WITH THE CITY OF HAILEY WATER DEPARTMENT, FIRE MARSHAL, PLUMBING BUREAU AND STATE OF IDAHO BACKFLOW PREVENTION JOURNALS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 7".  
 12. THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LIVE TO THE GREATEST EXTENT POSSIBLE. WHEN INSTALLING THE NEW WATER MAIN AND SERVICES MINIMUM DISRUPTION TO EXISTING WATER SYSTEM USERS. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND CONNECTED TO THE MAINS PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SHUT-DOWN IS 4 HOURS.  
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECT, REPAIR AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY. INCLUDING COMPLETION OF SCHEDULE OF THE JOB AND NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.  
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECT, REPAIR AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY. INCLUDING COMPLETION OF SCHEDULE OF THE JOB AND NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.  
 15. EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HERETOIN TO CONTROL ELEVATION AND AVOID UNDERGROUND CONFLICTS.

**opai**  
OPAI ENGINEERING, LLC  
1800 N. 12TH AVE. SUITE 100  
HAILEY, IDAHO 83402

**REVISIONS**

NO.	DATE	DESCRIPTION

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CONSTRUCTION**

**DETAIL SHEET**

**22023**

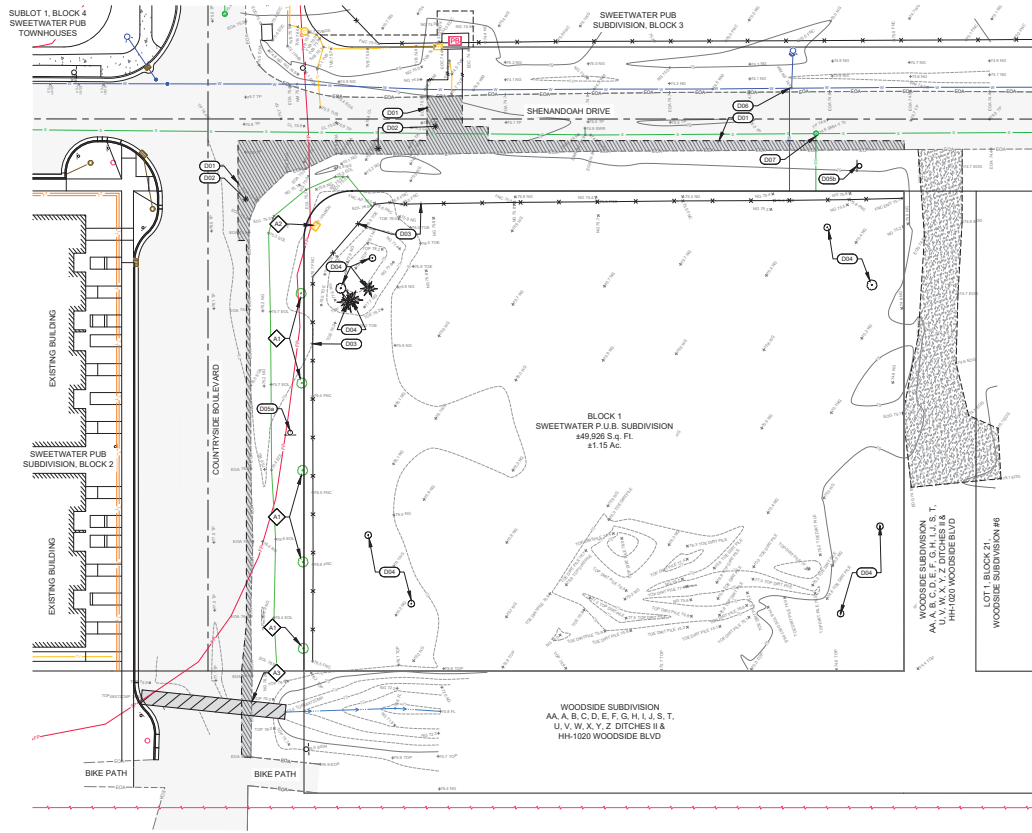
**3 SWEETWATER PUB SUBDIVISION, BLOCK 1 (SOLSTICE CONDOS)**

**CO.40**

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SUBLOT 1, BLOCK 4  
SWEETWATER PUB  
TOWNHOUSES



WOODSIDE SUBDIVISION  
AA, A, B, C, D, E, F, G, H, I, J, S, T,  
U, V, W, X, Y, Z, DITCHES H &  
HH-1020 WOODSIDE BLVD

WOODSIDE SUBDIVISION  
AA, A, B, C, D, E, F, G, H, I, J, S, T,  
U, V, W, X, Y, Z, DITCHES H &  
HH-1020 WOODSIDE BLVD

LOT 1, BLOCK 21,  
WOODSIDE SUBDIVISION #8

- DEMOLITION KEY NOTES**
- SAWCUT EXISTING ASPHALT.
  - 0201 DEMOLISH AND DISPOSE OF EXISTING ASPHALT.
  - 0202 DEMOLISH, REMOVE, AND DISPOSE OF EXISTING FENCE.
  - 0203 REMOVE EXISTING TREE.
  - 0204 REMOVE EXISTING SPEED LIMIT SIGN, RETAIN SIGN PLATE FOR REUSE (RELOCATION @ 25 MPH, REFER TO KEY NOTE ITEM 0204, SHEET C010).
  - 0205 REMOVE EXISTING WATER SERVICE AT MAIN LINE, REPAIR ROAD BASE AND SURFACE AS NECESSARY. REFER TO THE TYPE DETAIL 1, SHEET C046.
  - 0206 CUT, CAP, AND ABANDON EXISTING WATER SERVICE AT MAIN LINE, REPAIR ROAD BASE AND SURFACE AS NECESSARY. REFER TO THE TYPE A, SURFACE, AND BASE REPAIR PORTION OF DETAIL 1, SHEET C046.
  - 0207 ABANDON EXISTING SEWER SERVICE AT MAIN LINE, REPAIR ROAD BASE AND SURFACE AS NECESSARY. REFER TO THE TYPE A, SURFACE, AND BASE REPAIR PORTION OF DETAIL 1, SHEET C046.
  - RETAIN AND PROTECT:
    - 1. EXISTING TREES
    - 2. EXISTING TELEPHONE RISER
    - 3. CULVERT

**GENERAL NOTES:**  
1. SEE SHEET C01 FOR CONSTRUCTION GENERAL NOTES.  
2. SEE SHEET C010 FOR LEGEND.  
3. SEE SURVEY FOR SURVEY NOTES.



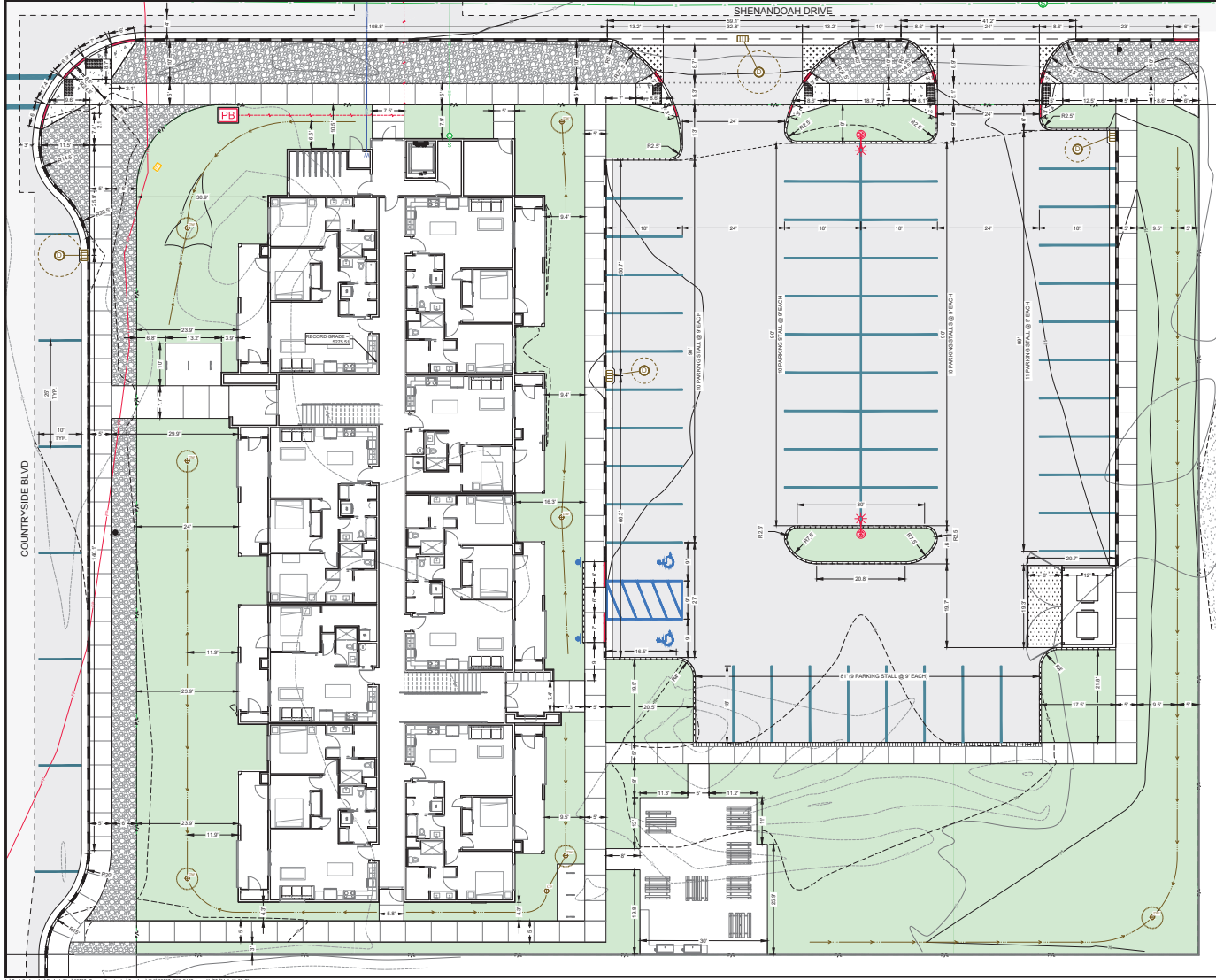
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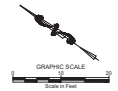
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**DEMOLITION PLAN**  
SWEETWATER PUB SUBDIVISION, BLOCK 1 (SOLSTICE CONDOS)  
PREPARED FOR: TANIER INVESTMENTS, LLC

22023  
C0.90



**PARKING SUMMARY**  
 UNITS: 24  
 PARKING REQUIRED: 36  
 PARKING PROPOSED: 48 + 3 SEASONAL



- GENERAL NOTES:**
- SEE SHEET CG-10 FOR CONSTRUCTION GENERAL NOTES.
  - SEE SHEET CG-10 FOR LEGEND.
  - SEE SHEET C1-10 FOR SITE AND UTILITY DESIGN.
  - SEE SHEET C1-20 FOR SITE GRADING PLAN.



REVISION NO.	DATE	DESCRIPTION

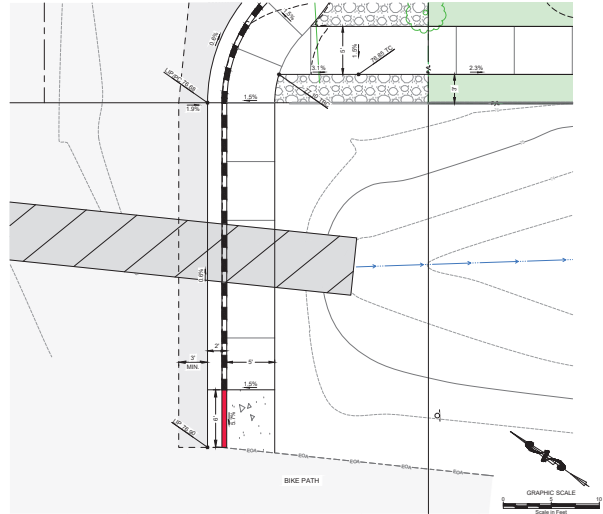
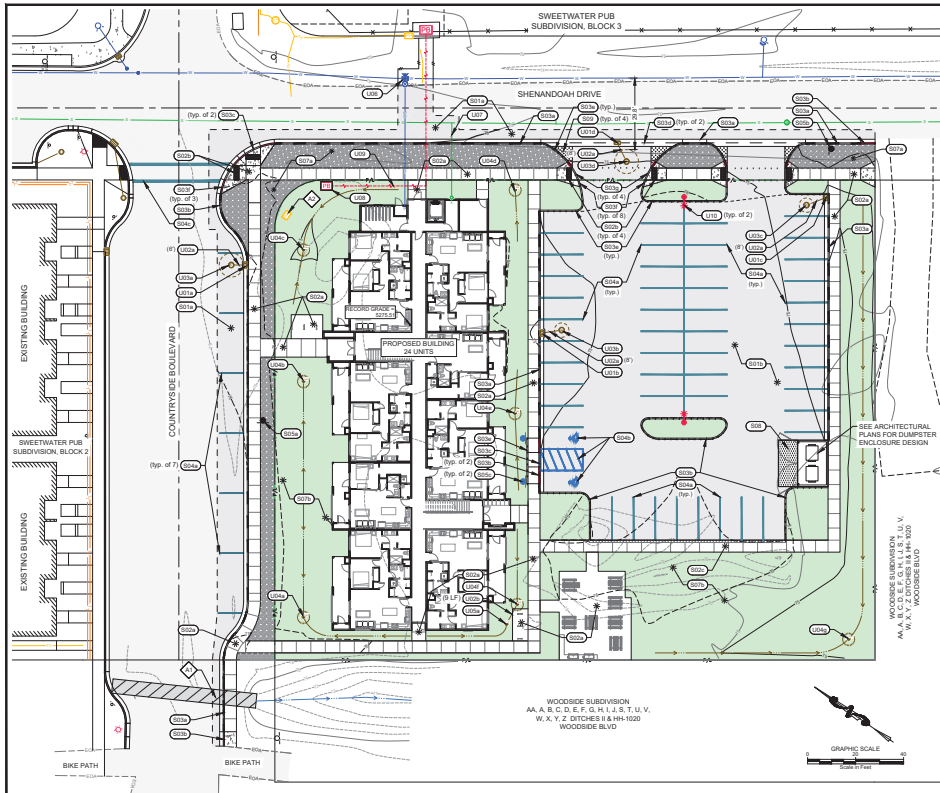


**PRELIMINARY  
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 CONSTRUCTION**

**SITE GEOMETRY AND GRADING PLAN**  
 SWEETWATER PUB SUBDIVISION, BLOCK 1 (SOLSTICE CONDOS)  
 PREPARED FOR TANNER INVESTMENTS, LLC

22023  
 C1.00

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**SITE IMPROVEMENT KEY NOTES**

- 1. ASPHALT REFER TO DETAIL 1 / C3.20.
- 2. CONSTRUCT RIGHT-OF-WAY ASPHALT REPAIR.
- 3. CONSTRUCT ASPHALT PARKING LOT.
- 4. CONSTRUCT CONCRETE SIDEWALK WIDTH AS SHOWN ON SHEET C1.10.
- 5. FLAT WORK REFER TO DETAIL 2 / C3.20.
- 6. ADA COMPLIANT RAMP WITH CAST IRON TRUNCATED DOME DETECTABLE WARNING INSET REFER TO DETAILS 2 / C3.20 AND 18.2 / C3.1.
- 7. THICKENED EDGE SIDEWALK REFER TO DETAIL 6 / C3.20.
- 8. CONSTRUCT CONCRETE ITEM CURB REFER TO DETAIL 3 / C3.20.
- 9. 6" VERTICAL CURB & GUTTER REFER TO DETAIL 4 / C3.20.
- 10. 6" VERTICAL CURB & GUTTER REFER TO DETAIL 4 / C3.20.
- 11. ZERO REVEAL CURB & GUTTER REFER TO DETAIL 4 / C3.20.
- 12. 36" WIDE CONCRETE VALLEY GUTTER REFER TO DETAIL 5 / C3.20.
- 13. CONSTRUCT CONCRETE ITEM CURB CONTIGUOUS.
- 14. 6" VERTICAL CURB REFER TO DETAIL 6 / C3.20.
- 15. 6" VERTICAL CURB TRANSITION REFER TO DETAIL 8 / C3.20.
- 16. ZERO REVEAL CURB REFER TO DETAIL 8 / C3.20.
- 17. INSTALL ROAD STRIPING (PAINT) WHITE ASPHALT PARKING STRIPING (4" WIDE) MATCH CITY PATTERNS.
- 18. 36" ADA PARKING STRIPING (4" WIDE) AND SYMBOL. SEE DETAILS 9 & 10 / C3.2.
- 19. WHITE THERMOPLASTIC CROSSWALK STRIPING, COLORS AND PATTERNS TO MATCH CITY STANDARDS.
- 20. INSTALL SIGN. SEE DETAIL 11, SHEET C3.20 FOR SIGN BASE DETAIL.
- 21. 25 MPH SPEED LIMIT SIGN. REFER TO KEY NOTE ITEM D004, SHEET C3.90.
- 22. 35 MPH SPEED LIMIT SIGN. REFER TO KEY NOTE ITEM D004, SHEET C3.90.
- 23. INSTALL ADA STANDARD "RESERVED PARKING" SIGN OVER "VA ACCESSIBLE" SIGN. SIGNS SHALL BE PLACED AT LEAST 60" ABOVE SURFACE.
- 24. INSTALL LANDSCAPE AREA. REFER TO LANDSCAPE PLANS.
- 25. GRAVEL AREA.
- 26. VEGETATED AREA.
- 27. CONSTRUCT CONCRETE DUMPSTER PAD. REFER TO DETAIL 7 / C3.20.
- 28. CONSTRUCT CONCRETE APRON MONOLITHIC FOUR (4") VALLEY GUTTER CURB AND APRON IS ACCEPTABLE. REFER TO DETAIL 8 / C3.20.

**UTILITY KEY NOTES**

- 1. INSTALL CATCH BASIN WITH RECTANGULAR CURB. REFER TO DETAIL 9 / C3.20.
  - a. RIM = 5275.62
  - b. I.E.(OUT) = 5274.62
- 2. RIM = 5274.37
- 3. RIM = 5274.29
- 4. RIM = 5274.29
- 5. RIM = 5274.52
- 6. I.E.(OUT) = 5271.52
- 7. INSTALL STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2%. SEE DETAIL 8 / C3.20 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION. DETAIL 2 / C3.40 FOR TRENCHING.
  - a. 12" C900 R42-12
  - b. 4" Ø D2034 PVC PIPE
- 8. DRYWELL. REFER TO DETAIL. SEE DETAIL 4 / C3.30.
  - a. Ø = 18"
  - b. RIM = 5275.83
  - c. I.E.(IN) = 5272.28
- 9. Ø = 6"
- 10. RIM = 5274.62
- 11. I.E.(IN) = 5271.62
- 12. Ø = 4"
- 13. RIM = 5274.55
- 14. I.E.(IN) = 5271.09
- 15. Ø = 11"
- 16. RIM = 5274.89
- 17. I.E.(IN) = 5271.09
- 18. INSTALL LANDSCAPE DRYWELL. REFER TO DETAIL 3 / C3.30.
  - a. RIM = 5275.02
  - b. RIM = 5275.02
  - c. RIM = 5274.86
  - d. RIM = 5275.17
  - e. RIM = 5275.15
  - f. RIM = 5275.15
  - g. RIM = 5275.99
  - h. RIM = 5275.16
  - i. I.E.(OUT) = 5272.10
- 19. INSTALL LANDSCAPE CATCH BASIN. REFER TO DETAIL 7 / C3.30.
  - a. RIM = 5275.16
  - b. I.E.(OUT) = 5272.10
- 20. 4" Ø PVC SEWER SERVICE PER DETAIL 4 / C3.40. NOTIFY ENGINEER OF INADEQUATE SLOPE. INSTALL TRAFFIC PATED CLEARWOT FOR SPINS 50/50/50.
- 21. POWER TRANSFORMER. REFER TO IDAHO POWER CO. PLAN FOR DETAILS.
- 22. RATED POWER. REFER TO DAHO POWER CO. PLAN FOR DETAILS.
- 23. INSTALL OWNER-SUPPLIED SOLAR POWER AREA LIGHT PER MANUFACTURER'S RECOMMENDATION. FEATURE INSTALL HEIGHT = 11'7".
- 24. RETAIN AND PROTECT:
  - 1. CULVERT
  - 2. TELEPHONE RISER

**GENERAL NOTES:**  
 1. SEE SHEET C3.10 FOR CONSTRUCTION GENERAL NOTES.  
 2. SEE SHEET C3.10 FOR LEGEND.  
 3. SEE SHEET C1.20 FOR SITE GRADING PLAN.



REVISION NO.	DATE	DESCRIPTION



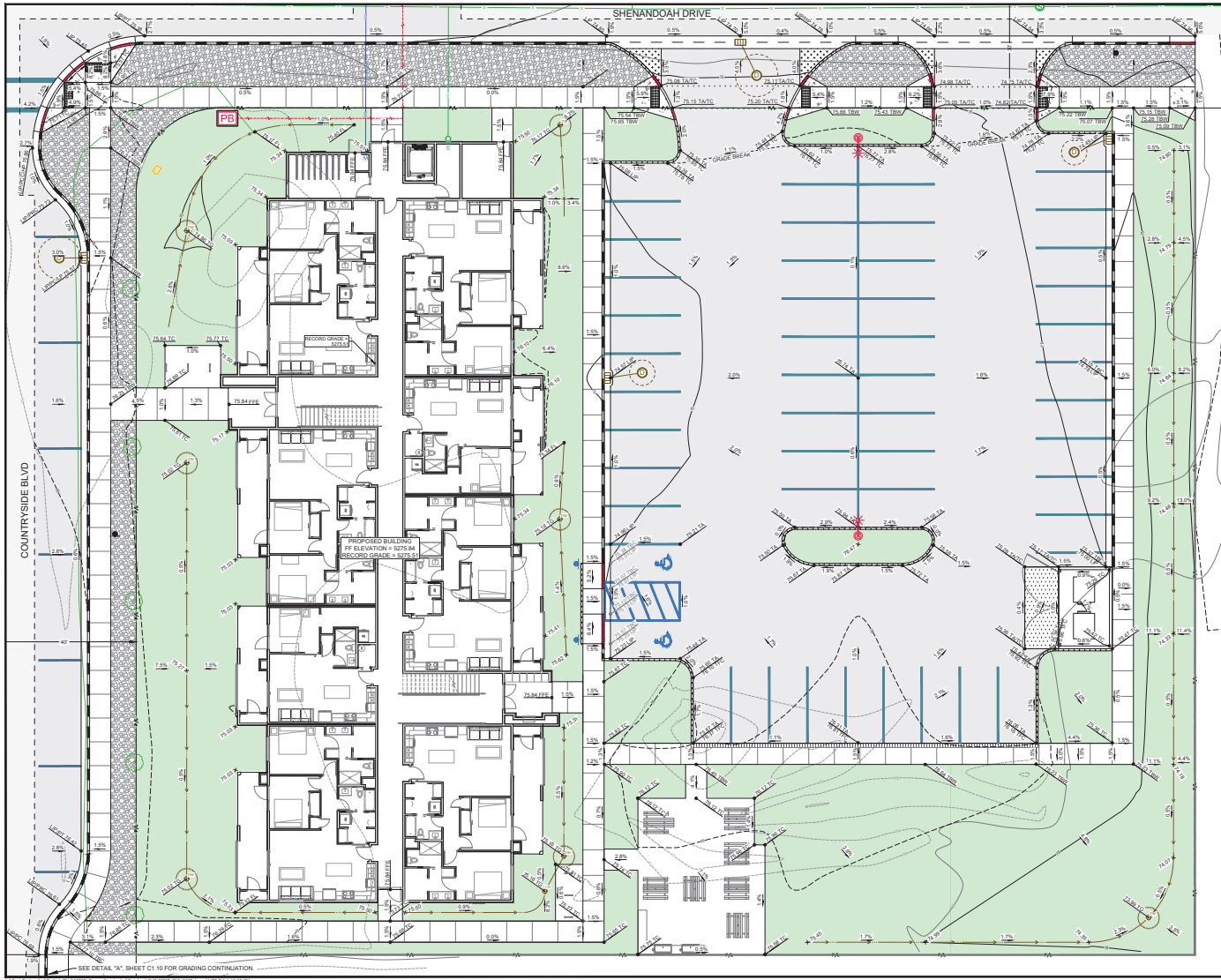
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**SITE IMPROVEMENTS AND UTILITY PLAN**  
 SWEETWATER PUB SUBDIVISION, BLOCK 1 (SOLSTICE CONDOS)

22023  
 C1.10

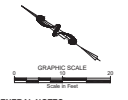
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SEE DETAIL 'A', SHEET C1.10 FOR GRADING CONTINUATION.

- ABBREVIATIONS**
- FFE = FINISHED FLOOR AT ENTRY
  - FG = FINISHED GRADE
  - FL = FLOW LINE
  - HP = HIGH POINT
  - LP = LOW POINT
  - UP = UP OF GUTTER
  - PC = POINT OF CURVE
  - PCC = POINT OF COMPOUND CURVE
  - PRC = POINT OF REVERSE CURVE
  - PT = POINT OF TANGENT
  - TA = TOP OF ASPHALT
  - TBC = TOP BACK OF CURB
  - TBW = TOP BACK OF WALK
  - TC = TOP OF CONCRETE
  - TFC = TOP FACE OF CURB
  - TG = TOP OF GRATE



- GENERAL NOTES:**
1. SEE SHEET C0.10 FOR CONSTRUCTION GENERAL NOTES.
  2. SEE SHEET C0.10 FOR LEGEND.
  3. SEE SHEET C1.10 FOR SITE AND UTILITY DESIGN.



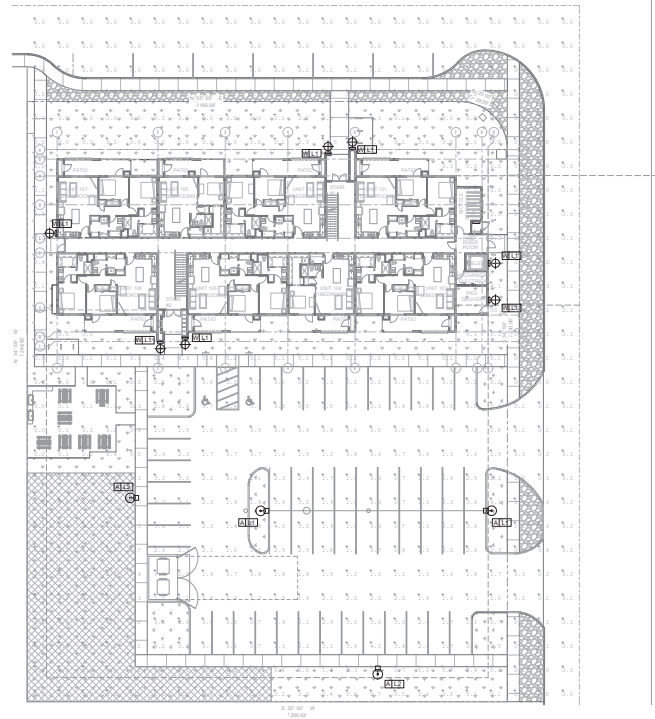
PURPOSE	ISSUE FOR DESIGN REVIEW (11/12/2024)	
REVISION NO.	DATE	DESCRIPTION



**PRELIMINARY NOT FOR CONSTRUCTION**

**SITE GRADING PLAN**  
**SWEETWATER PUB SUBDIVISION, BLOCK 1 (SOLSTICE CONDOS)**  
 PREPARED FOR: SWEETWATER INVESTMENTS, LLC  
 PREPARED BY: OPAL ENGINEERING, PLLC

22023  
 C1.20



PHOTOMETRIC SITE PLAN  
E1.1

NOT FOR CONSTRUCTION

CHRYSLIS ARCHITECTURE  
1000 W. 10th Street, Suite 100  
Bozeman, MT 59717  
Phone: 208.556.1565  
Fax: 208.556.1566  
www.chrysalis-architecture.com

REVISION	DATE
1	
2	
3	
4	

SOLSTICE CONDOMINIUMS

HALEY, ID 83833  
PHOTOMETRIC SITE PLAN

DATE: 08.20.2019  
PROJECT NUMBER: 2426  
CONSTRUCTION DRAWINGS





# D-Series Size 1 LED Area Luminaire



Catalog Number

Notes  
**WITH 15' POLE**

Type  
**AL1/AL2**

Hit the Tab key or mouse over the page to see all interactive elements.

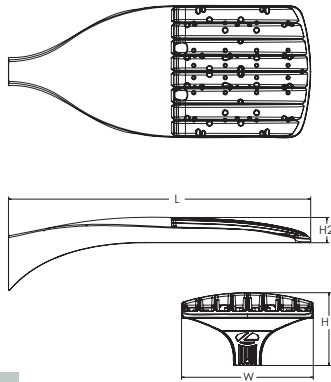
## Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

## Specifications

- EPA: 0.69 ft<sup>2</sup> (0.06 m<sup>2</sup>)
- Length: 32.71" (83.1 cm)
- Width: 14.26" (36.2 cm)
- Height H1: 7.88" (20.0 cm)
- Height H2: 2.73" (6.9 cm)
- Weight: 34 lbs (15.4 kg)



Design Select options indicated by this color background.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit [www.acuitybrands.com/designselect](http://www.acuitybrands.com/designselect). \*See ordering tree for details

## Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED	Series	LEDs	Color temperature <sup>2</sup>	Color Rendering Index <sup>2</sup>	Distribution	Voltage	Mounting	
<b>DSX1 LED</b>	<b>Forward optics</b>	(this section 70CRI only)			AFR Automotive front row	<b>T5M</b> Type V medium	<b>MVOLT</b> (120V-277V) <sup>4</sup>	<b>Shipped included</b>
	P1 P6	30K 3000K	70CRI	T1S Type I short	<b>T5LG</b> Type V low glare	<b>HVOLT</b> (347V-480V) <sup>5,6</sup>	<b>SPA</b> Square pole mounting (#8 drilling)	
	<b>P2</b> P7	40K 4000K	70CRI	<b>T2M</b> Type II medium	<b>T5W</b> Type V wide	<b>XVOLT</b> (277V - 480V) <sup>7,8</sup>	<b>RPA</b> Round pole mounting (#8 drilling)	
	P3 P8	50K 5000K	70CRI	<b>T3M</b> Type III medium	<b>BLC3</b> Type III backlight control <sup>3</sup>	120 <sup>16,26</sup>	<b>SPA5</b> Square pole mounting #5 drilling <sup>9</sup>	
	P4 P9	(this section 80CRI only, extended lead times apply)		<b>T3LG</b> Type III low glare <sup>3</sup>	<b>BLC4</b> Type IV backlight control <sup>3</sup>	208 <sup>16,26</sup>	<b>RPA5</b> Round pole mounting #5 drilling <sup>9</sup>	
	<b>Rotated optics</b>	27K 2700K	<b>80CRI</b>	<b>T4M</b> Type IV medium		240 <sup>16,26</sup>	<b>SPA8N</b> Square narrow pole mounting #8 drilling	
	P10 <sup>1</sup> P12 <sup>1</sup>	30K 3000K	80CRI	<b>T4LG</b> Type IV low glare <sup>3</sup>	<b>LCCO</b> Left corner cutoff <sup>3</sup>	277 <sup>16,26</sup>	<b>WBA</b> Wall bracket <sup>10</sup>	
	P11 <sup>1</sup> P13 <sup>1</sup>	35K 3500K	80CRI	<b>TFTM</b> Forward throw medium	<b>RCCO</b> Right corner cutoff <sup>3</sup>	347 <sup>16,26</sup>	<b>MA</b> Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)	
		40K 4000K	80CRI			480 <sup>16,26</sup>		
		50K 5000K	80CRI					

Control options	Other options	Finish (required)
<b>Shipped installed</b>	<b>Shipped installed</b>	<b>DDBXD</b> Dark Bronze
<b>NLTAIR2 PIRHN</b> nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. <sup>11, 12, 20, 21</sup>	<b>SPD20KV</b> 20KV surge protection	<b>DBLXD</b> Black
<b>PIR</b> High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. <sup>13, 20, 21</sup>	<b>HS</b> Houseside shield (black finish standard) <sup>22</sup>	<b>DNAXD</b> Natural Aluminum
<b>PER</b> NEMA twist-lock receptacle only (controls ordered separately) <sup>14</sup>	<b>L90</b> Left rotated optics <sup>1</sup>	<b>DWHXD</b> White
<b>PERS</b> Five-pin receptacle only (controls ordered separate) <sup>14, 21</sup>	<b>R90</b> Right rotated optics <sup>1</sup>	<b>DBBTXD</b> Textured dark bronze
<b>PER7</b> Seven-pin receptacle only (controls ordered separate) <sup>14, 21</sup>	<b>CCE</b> Coastal Construction <sup>23</sup>	<b>DBLTXD</b> Textured black
<b>FAO</b> Field adjustable output <sup>15, 21</sup>	<b>HA</b> 50°C ambient operation <sup>24</sup>	<b>DNATXD</b> Textured natural aluminum
<b>BL30</b> Bi-level switched dimming, 30% <sup>16, 21</sup>	<b>BAA</b> Buy America(n) Act and/or Build America Buy America Qualified	<b>DWHGXD</b> Textured white
<b>BL50</b> Bi-level switched dimming, 50% <sup>16, 21</sup>	<b>SF</b> Single fuse (120, 277, 347V) <sup>26</sup>	
<b>DMG</b> 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>17</sup>	<b>DF</b> Double fuse (208, 240, 480V) <sup>26</sup>	
<b>DS</b> Dual switching <sup>18, 19, 21</sup>	<b>Shipped separately</b>	
	<b>EGSR</b> External Glare Shield (reversible, field install required, matches housing finish)	
	<b>BSDB</b> Bird Spikes (field install required)	



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## Ordering Information

### Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>25</sup>
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>25</sup>
DLL480F 1.5 CUL IU	Photocell - SSL twist-lock (480V) <sup>25</sup>
DSHORT SBK	Shorting cap <sup>25</sup>
DSX1HS P#	House-side shield (enter package number 1-13 in place of #)
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXSPAS (FINISH)	Square pole adapter #5 drilling (specify finish)
DSXRPAS (FINISH)	Round pole adapter #5 drilling (specify finish)
DSX1EGSR (FINISH)	External glare shield (specify finish)
DSX1BSDB (FINISH)	Bird spike deterrent bracket (specify finish)

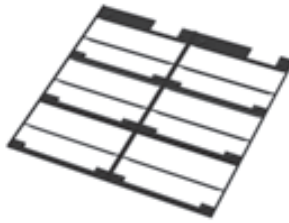
### NOTES

- Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
- 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
- T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- HVOLT not available with package P1 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
- XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
- XVOLT not available in packages P1 or P10. XVOLT not available with fusing (SF or DF).
- SPAS and RPAS for use with #5 drilling only (Not for use with #8 drilling).
- WBA cannot be combined with Type 5 distributions plus photocell (PER).
- NLTAIR2 and PIRHN must be ordered together. For more information on nLight AIR2 visit this [link](#).
- NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50, DMG and DS. NLTAIR2 PIRHN not available with P1 and P10 using HVOLT. NLTAIR2 PIRHN not available with P1 and P10 using XVOLT.
- PIR not available with NLTAIR2 PIRHN, PER, PER5, PER7, FAO BL30, BL50, DMG and DS. PIR not available with P1 and P10 using HVOLT. PIR not available with P1 and P10 using XVOLT.
- PER/PER5/PER7 not available with NLTAIR2 PIRHN, PIR, BL30, BL50, FAO, DMG and DS. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, DMG and DS.
- DMG and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO, DMG and DS. BL30 or BL50 must specify 120, 277 or 347V. Consult tech support for 208, 240 or 480V.
- DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50, FAO and DS.
- DS not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50, FAO and DMG.
- DS requires (2) separately switched circuits. DS provides 50/50 fixture operation via (2) different sets of leads using (2) drivers. DS only available with packages P8, P9, P10, P11, P12 and P13.
- Reference Motion Sensor Default Settings table on page 4 to see functionality.
- Reference Controls Options table on page 4.
- HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- CCE option not available with option BS and EGSR. Contact Technical Support for availability.
- Option HA not available with performance packages P4, P5, P7, P8, P9 and P13.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- Single fuse (SF) requires 120V, 277V, or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).

## Shield Accessories



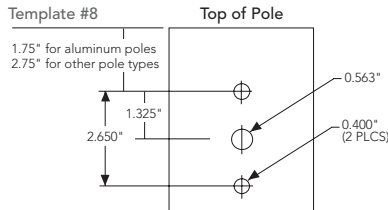
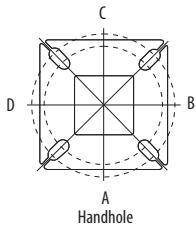
External Glare Shield (EGSR)



House Side Shield (HS)

## Drilling

### HANDHOLE ORIENTATION



### Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPAS	#5	3"	3"	3"	3"		3"
RPAS	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

### DSX1 Area Luminaire - EPA

\*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX1 with SPA	0.69	1.38	1.23	1.54	---	1.58
DSX1 with SPAS, SPA8N	0.70	1.40	1.30	1.66	---	1.68
DSX1 with RPA, RPAS	0.70	1.40	1.30	1.66	1.60	1.68
DSX1 with MA	0.83	1.66	1.50	2.09	2.09	2.09



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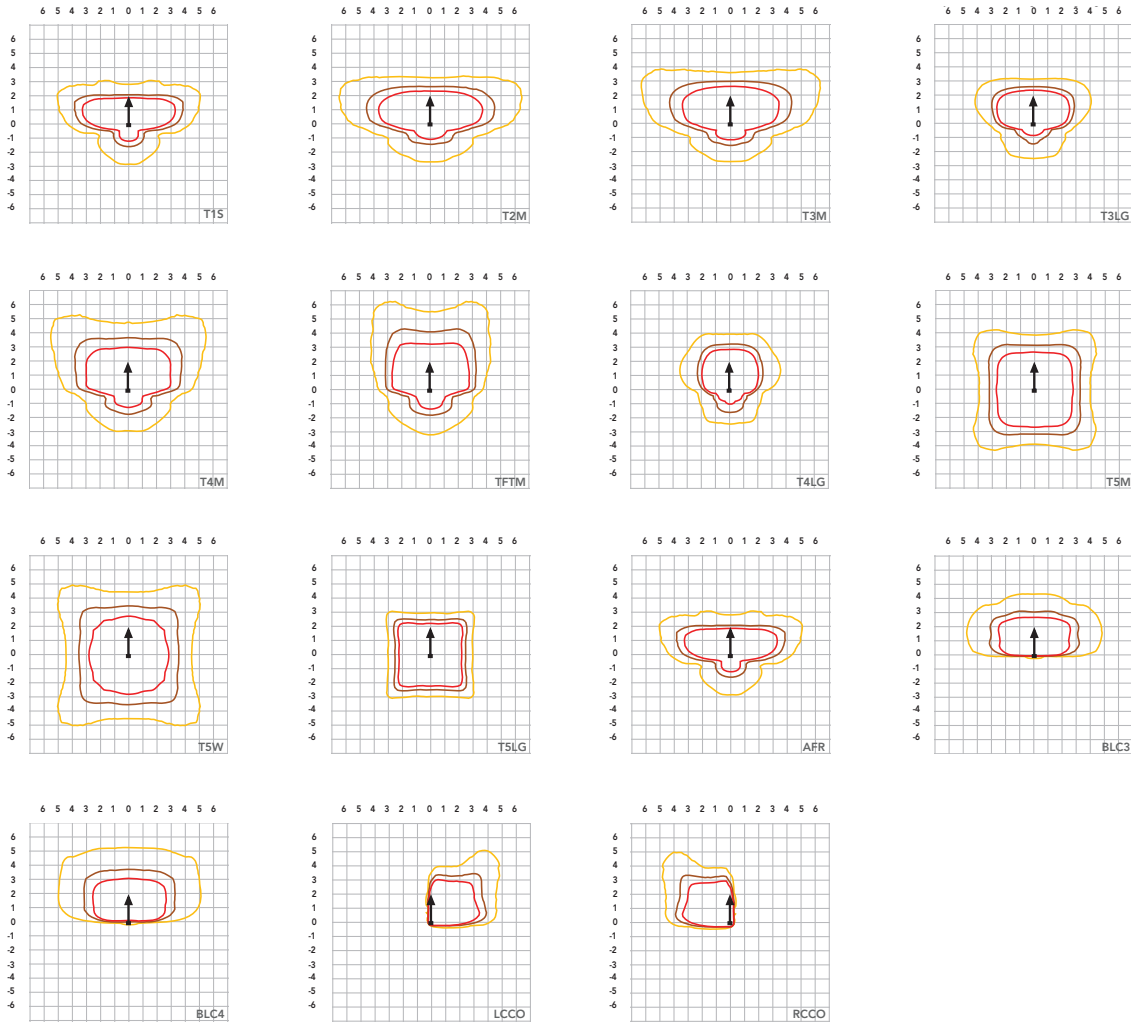
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# Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [homepage](#).

Isofootcandle plots for the DSX1 LED P9 40K 70CRI. Distances are in units of mounting height (25').

- LEGEND**
- 0.1 fc
  - 0.5 fc
  - 1.0 fc



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## Performance Data

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
<b>25°C</b>	<b>77°C</b>	<b>1.00</b>
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.95
50,000	0.90
100,000	0.81

### FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

\*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use maximum published values by package listed on specification sheet (input watts and lumens by optic type).

### Electrical Load

	Performance Package	LED Count	Drive Current (mA)	Wattage	Current (A)					
					120V	208V	240V	277V	347V	480V
Forward Optics (Non-Rotated)	P1	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
	P2	30	700	68	0.56	0.33	0.28	0.24	0.20	0.14
	P3	30	1050	104	0.85	0.49	0.43	0.37	0.29	0.21
	P4	30	1250	125	1.03	0.60	0.52	0.45	0.36	0.26
	P5	30	1400	142	1.15	0.66	0.58	0.50	0.40	0.29
	P6	40	1250	167	1.38	0.79	0.69	0.60	0.48	0.34
	P7	40	1400	188	1.54	0.89	0.77	0.67	0.53	0.38
	P8	60	1100	216	1.80	1.04	0.90	0.78	0.62	0.45
	P9	60	1400	279	2.31	1.33	1.15	1.00	0.80	0.58
Rotated Optics (Requires L90 or R90)	P10	60	530	101	0.84	0.49	0.42	0.37	0.29	0.21
	P11	60	700	135	1.12	0.65	0.56	0.49	0.39	0.28
	P12	60	1050	206	1.72	0.99	0.86	0.74	0.59	0.43
	P13	60	1400	279	2.30	1.33	1.15	1.00	0.79	0.57

### LED Color Temperature / Color Rendering Multipliers

	70 CRI		80CRI		90CRI	
	Lumen Multiplier	Availability	Lumen Multiplier	Availability	Lumen Multiplier	Availability
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

### Motion Sensor Default Settings

Option	Unoccupied Dimmed Level	High Level (when occupied)	Photocell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min

### Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V



## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K								
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P1	51W	30	530	T1S	7,776	1	0	2	153	8,104	1	0	2	159	8,262	1	0	2	162				
				T2M	7,203	1	0	3	142	7,507	2	0	3	147	7,653	2	0	3	150				
				T3M	7,287	1	0	3	143	7,594	1	0	3	149	7,742	1	0	3	152				
				T3LG	6,509	1	0	1	128	6,783	1	0	1	133	6,916	1	0	1	136				
				T4M	7,395	1	0	3	145	7,707	1	0	3	151	7,857	1	0	3	154				
				T4LG	6,726	1	0	1	132	7,010	1	0	1	138	7,146	1	0	1	140				
				TFTM	7,446	1	0	3	146	7,760	1	0	3	152	7,912	1	0	3	155				
				TSM	7,609	3	0	2	149	7,930	3	0	2	156	8,084	3	0	2	159				
				TSW	7,732	3	0	2	152	8,058	4	0	2	158	8,215	4	0	2	161				
				TSLG	7,631	3	0	1	150	7,953	3	0	1	156	8,108	3	0	1	159				
				BLC3	5,300	0	0	2	104	5,524	0	0	2	109	5,631	0	0	2	111				
				BLC4	5,474	0	0	3	108	5,705	0	0	3	112	5,816	0	0	3	114				
				RCCO	5,348	0	0	2	105	5,573	0	0	2	109	5,682	0	0	2	112				
				LCCO	5,348	0	0	2	105	5,573	0	0	2	109	5,682	0	0	2	112				
				AFR	7,776	1	0	2	153	8,104	1	0	2	159	8,262	1	0	2	162				
				P2	68W	30	700	T1S	9,997	1	0	2	147	10,418	1	0	2	154	10,621	1	0	2	157
								T2M	9,260	2	0	3	137	9,651	2	0	3	142	9,839	2	0	3	145
								T3M	9,368	2	0	3	138	9,763	2	0	3	144	9,953	2	0	3	147
T3LG	8,368	1	0					2	123	8,721	1	0	2	129	8,891	1	0	2	131				
T4M	9,507	2	0					3	140	9,909	2	0	3	146	10,102	2	0	3	149				
T4LG	8,647	1	0					2	128	9,012	1	0	2	133	9,187	1	0	2	136				
TFTM	9,573	2	0					3	141	9,977	2	0	3	147	10,172	2	0	3	150				
TSM	9,782	4	0					2	144	10,195	4	0	2	150	10,393	4	0	2	153				
TSW	9,940	4	0					2	147	10,360	4	0	2	153	10,562	4	0	2	156				
TSLG	9,810	3	0					1	145	10,224	3	0	1	151	10,423	3	0	1	154				
BLC3	6,814	0	0					2	101	7,101	0	0	2	105	7,240	0	0	2	107				
BLC4	7,038	0	0					3	104	7,334	0	0	3	108	7,477	0	0	3	110				
RCCO	6,875	1	0					2	101	7,165	1	0	2	106	7,305	1	0	2	108				
LCCO	6,875	1	0					2	101	7,165	1	0	2	106	7,305	1	0	2	108				
AFR	9,997	1	0					2	147	10,418	1	0	2	154	10,621	1	0	2	157				
P3	102W	30	1050					T1S	14,093	2	0	2	138	14,687	2	0	2	144	14,973	2	0	2	147
								T2M	13,055	2	0	3	128	13,605	2	0	3	133	13,871	2	0	3	136
								T3M	13,206	2	0	4	129	13,763	2	0	4	135	14,031	2	0	4	137
				T3LG	11,797	2	0	2	115	12,294	2	0	2	120	12,534	2	0	2	123				
				T4M	13,403	2	0	4	131	13,968	2	0	4	137	14,241	2	0	4	139				
				T4LG	12,190	2	0	2	119	12,704	2	0	2	124	12,952	2	0	2	127				
				TFTM	13,496	2	0	4	132	14,065	2	0	4	138	14,339	2	0	4	140				
				TSM	13,790	4	0	2	135	14,371	4	0	2	141	14,652	4	0	2	143				
				TSW	14,013	4	0	3	137	14,605	4	0	3	143	14,889	4	0	3	146				
				TSLG	13,830	3	0	2	135	14,413	3	0	2	141	14,694	3	0	2	144				
				BLC3	9,606	0	0	2	94	10,011	0	0	2	98	10,206	0	0	2	100				
				BLC4	9,921	0	0	3	97	10,340	0	0	3	101	10,541	0	0	3	103				
				RCCO	9,692	1	0	2	95	10,101	1	0	2	99	10,298	1	0	2	101				
				LCCO	9,692	1	0	2	95	10,101	1	0	2	99	10,298	1	0	2	101				
				AFR	14,093	2	0	2	138	14,687	2	0	2	144	14,973	2	0	2	147				



## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P4	124W	30	1250	T1S	16,416	2	0	3	132	17,109	2	0	3	138	17,442	2	0	3	141
				T2M	15,207	3	0	4	123	15,849	3	0	4	128	16,158	3	0	4	130
				T3M	15,383	2	0	4	124	16,032	2	0	4	129	16,345	2	0	4	132
				T3LG	13,742	2	0	2	111	14,321	2	0	2	116	14,600	2	0	2	118
				T4M	15,613	2	0	4	126	16,272	2	0	4	131	16,589	2	0	4	134
				T4LG	14,200	2	0	2	115	14,799	2	0	2	119	15,087	2	0	2	122
				TFTM	15,721	2	0	4	127	16,384	2	0	4	132	16,703	2	0	4	135
				TSM	16,063	4	0	2	130	16,741	4	0	2	135	17,067	4	0	2	138
				TSW	16,324	5	0	3	132	17,013	5	0	3	137	17,344	5	0	3	140
				TSLG	16,110	3	0	2	130	16,790	4	0	2	135	17,117	4	0	2	138
				BLC3	11,190	0	0	3	90	11,662	0	0	3	94	11,889	0	0	3	96
				BLC4	11,557	0	0	3	93	12,044	0	0	3	97	12,279	0	0	4	99
				RCCO	11,291	1	0	3	91	11,767	1	0	3	95	11,996	1	0	3	97
				LCCO	11,291	1	0	3	91	11,767	1	0	3	95	11,996	1	0	3	97
				AFR	16,416	2	0	3	132	17,109	2	0	3	138	17,442	2	0	3	141
				P5	138W	30	1400	T1S	18,052	2	0	3	131	18,814	2	0	3	136	19,180
T2M	16,723	3	0					4	121	17,428	3	0	4	126	17,768	3	0	4	129
T3M	16,917	3	0					4	122	17,630	3	0	4	128	17,974	3	0	4	130
T3LG	15,111	2	0					2	109	15,749	2	0	2	114	16,055	2	0	2	116
T4M	17,169	3	0					5	124	17,893	3	0	5	130	18,242	3	0	5	132
T4LG	15,615	2	0					2	113	16,274	2	0	2	118	16,591	2	0	2	120
TFTM	17,288	2	0					4	125	18,017	2	0	5	130	18,368	3	0	5	133
TSM	17,664	5	0					3	128	18,410	5	0	3	133	18,768	5	0	3	136
TSW	17,951	5	0					3	130	18,708	5	0	3	135	19,073	5	0	3	138
TSLG	17,716	4	0					2	128	18,463	4	0	2	134	18,823	4	0	2	136
BLC3	12,305	0	0					3	89	12,824	0	0	3	93	13,074	0	0	3	95
BLC4	12,709	0	0					4	92	13,245	0	0	4	96	13,503	0	0	4	98
RCCO	12,416	1	0					3	90	12,940	1	0	3	94	13,192	1	0	3	95
LCCO	12,416	1	0					3	90	12,940	1	0	3	94	13,192	1	0	3	95
AFR	18,052	2	0					3	131	18,814	2	0	3	136	19,180	2	0	3	139
P6	165W	40	1250					T1S	21,031	2	0	3	127	21,918	2	0	3	133	22,345
				T2M	19,482	3	0	4	118	20,303	3	0	4	123	20,699	3	0	4	125
				T3M	19,708	3	0	5	119	20,539	3	0	5	124	20,939	3	0	5	127
				T3LG	17,604	2	0	2	107	18,347	2	0	2	111	18,704	2	0	2	113
				T4M	20,001	3	0	5	121	20,845	3	0	5	126	21,251	3	0	5	129
				T4LG	18,191	2	0	2	110	18,959	2	0	2	115	19,328	2	0	2	117
				TFTM	20,140	3	0	5	122	20,989	3	0	5	127	21,398	3	0	5	129
				TSM	20,579	5	0	3	125	21,447	5	0	3	130	21,865	5	0	3	132
				TSW	20,912	5	0	3	127	21,795	5	0	3	132	22,219	5	0	3	134
				TSLG	20,638	4	0	2	125	21,509	4	0	2	130	21,928	4	0	2	133
				BLC3	14,335	0	0	3	87	14,940	0	0	3	90	15,231	0	0	3	92
				BLC4	14,805	0	0	4	90	15,430	0	0	4	93	15,731	0	0	4	95
				RCCO	14,464	1	0	3	88	15,074	1	0	3	91	15,368	1	0	3	93
				LCCO	14,464	1	0	3	88	15,074	1	0	3	91	15,368	1	0	3	93
				AFR	21,031	2	0	3	127	21,918	2	0	3	133	22,345	2	0	3	135



## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K								
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
P7	184W	40	1400	T1S	22,741	2	0	3	123	23,700	2	0	3	129	24,162	3	0	3	131				
				T2M	21,066	3	0	4	114	21,955	3	0	4	119	22,383	3	0	4	121				
				T3M	21,311	3	0	5	116	22,210	3	0	5	120	22,642	3	0	5	123				
				T3LG	19,036	2	0	2	103	19,839	2	0	3	108	20,226	2	0	3	110				
				T4M	21,628	3	0	5	117	22,541	3	0	5	122	22,980	3	0	5	125				
				T4LG	19,671	2	0	2	107	20,501	2	0	3	111	20,900	2	0	3	113				
				TFTM	21,778	3	0	5	118	22,697	3	0	5	123	23,139	3	0	5	125				
				TSM	22,252	5	0	3	121	23,191	5	0	3	126	23,643	5	0	3	128				
				TSW	22,613	5	0	3	123	23,567	5	0	4	128	24,027	5	0	4	130				
				TSLG	22,317	4	0	2	121	23,258	4	0	2	126	23,712	4	0	2	129				
				BLC3	15,501	0	0	3	84	16,155	0	0	4	88	16,470	0	0	4	89				
				BLC4	16,010	0	0	4	87	16,685	0	0	4	90	17,010	0	0	4	92				
				RCCO	15,641	1	0	3	85	16,301	1	0	3	89	16,619	1	0	3	90				
				LCCO	15,641	1	0	3	85	16,301	1	0	3	89	16,619	1	0	3	90				
				AFR	22,741	2	0	3	123	23,700	2	0	3	129	24,162	3	0	3	131				
				P8	216W	60	1100	T1S	28,701	3	0	3	133	29,912	3	0	4	139	30,495	3	0	4	141
								T2M	26,587	3	0	5	123	27,709	3	0	5	128	28,249	3	0	5	131
								T3M	26,895	3	0	5	125	28,030	3	0	5	130	28,576	3	0	5	132
T3LG	24,025	3	0					3	111	25,038	3	0	3	116	25,526	3	0	3	118				
T4M	27,296	3	0					5	127	28,448	3	0	5	132	29,002	3	0	5	134				
T4LG	24,826	3	0					3	115	25,873	3	0	3	120	26,378	3	0	3	122				
TFTM	27,485	3	0					5	127	28,645	3	0	5	133	29,203	3	0	5	135				
TSM	28,084	5	0					4	130	29,269	5	0	4	136	29,839	5	0	4	138				
TSW	28,539	5	0					4	132	29,743	5	0	4	138	30,323	5	0	4	141				
TSLG	28,165	4	0					2	131	29,354	4	0	2	136	29,926	4	0	2	139				
BLC3	19,563	0	0					4	91	20,388	0	0	4	94	20,786	0	0	4	96				
BLC4	20,205	0	0					5	94	21,057	0	0	5	98	21,468	0	0	5	99				
RCCO	19,740	1	0					4	91	20,572	1	0	4	95	20,973	1	0	4	97				
LCCO	19,740	1	0					4	91	20,572	1	0	4	95	20,973	1	0	4	97				
AFR	28,701	3	0					3	133	29,912	3	0	4	139	30,495	3	0	4	141				
P9	277W	60	1400					T1S	34,819	3	0	4	126	36,288	3	0	4	131	36,996	3	0	4	134
								T2M	32,255	3	0	5	116	33,616	3	0	5	121	34,271	3	0	5	124
								T3M	32,629	3	0	5	118	34,006	3	0	5	123	34,668	3	0	5	125
				T3LG	29,146	3	0	3	105	30,376	3	0	4	110	30,968	3	0	4	112				
				T4M	33,116	3	0	5	120	34,513	3	0	5	125	35,185	3	0	5	127				
				T4LG	30,119	3	0	3	109	31,389	3	0	4	113	32,001	3	0	4	116				
				TFTM	33,345	3	0	5	120	34,751	3	0	5	125	35,429	3	0	5	128				
				TSM	34,071	5	0	4	123	35,509	5	0	4	128	36,201	5	0	4	131				
				TSW	34,624	5	0	4	125	36,084	5	0	4	130	36,788	5	0	4	133				
				TSLG	34,170	5	0	3	123	35,612	5	0	3	129	36,306	5	0	3	131				
				BLC3	23,734	0	0	4	86	24,735	0	0	4	89	25,217	0	0	4	91				
				BLC4	24,513	0	0	5	88	25,547	0	0	5	92	26,045	0	0	5	94				
				RCCO	23,948	1	0	4	86	24,958	1	0	4	90	25,445	1	0	4	92				
				LCCO	23,948	1	0	4	86	24,958	1	0	4	90	25,445	1	0	4	92				
				AFR	34,819	3	0	4	126	36,288	3	0	4	131	36,996	3	0	4	134				



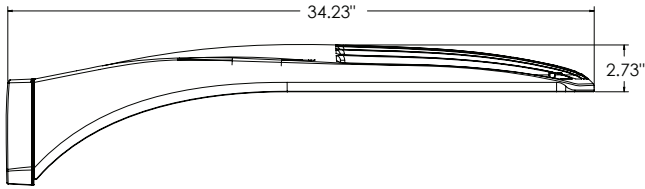
# Performance Data

## Lumen Output

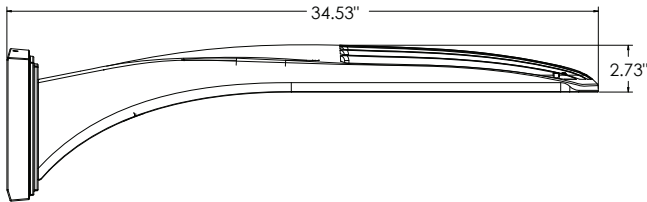
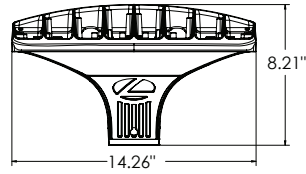
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Rotated Optics																			
Performance Package	System Watts	LED Count	Drive Current (mA)	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P10	101W	60	530	T1S	15,164	3	0	3	150	15,803	3	0	3	156	16,112	3	0	3	159
				T2M	14,047	4	0	4	139	14,640	4	0	4	145	14,925	4	0	4	147
				T3M	14,208	4	0	4	140	14,807	4	0	4	146	15,096	4	0	4	149
				T3LG	12,693	3	0	3	125	13,229	3	0	3	131	13,487	3	0	3	133
				T4M	14,420	4	0	4	142	15,028	4	0	4	148	15,321	4	0	4	151
				T4LG	13,115	3	0	3	129	13,668	3	0	3	135	13,934	3	0	3	138
				TFTM	14,522	4	0	4	143	15,134	4	0	4	149	15,429	4	0	4	152
				TSM	14,836	4	0	2	146	15,462	4	0	2	153	15,763	4	0	2	156
				TSW	15,076	4	0	3	149	15,712	5	0	3	155	16,019	5	0	3	158
				TSLG	14,879	3	0	2	147	15,507	3	0	2	153	15,809	3	0	2	156
				BLC3	10,335	3	0	3	102	10,771	4	0	4	106	10,981	4	0	4	108
				BLC4	10,674	4	0	4	105	11,124	4	0	4	110	11,341	4	0	4	112
				RCCO	10,429	1	0	2	103	10,869	1	0	2	107	11,080	1	0	2	109
				LCCO	10,429	1	0	2	103	10,869	1	0	2	107	11,080	1	0	2	109
				AFR	15,164	3	0	3	150	15,803	3	0	3	156	16,112	3	0	3	159
				T1S	19,437	4	0	4	144	20,257	4	0	4	150	20,651	4	0	4	153
				T2M	18,005	4	0	4	133	18,765	4	0	4	139	19,131	4	0	4	142
				T3M	18,211	4	0	4	135	18,980	4	0	4	141	19,350	4	0	4	143
				T3LG	16,270	3	0	3	121	16,957	3	0	3	126	17,287	4	0	4	128
				T4M	18,483	4	0	4	137	19,263	5	0	5	143	19,638	5	0	5	146
T4LG	16,810	3	0	3	125	17,519	3	0	3	130	17,861	3	0	3	132				
TFTM	18,614	4	0	4	138	19,399	4	0	4	144	19,777	5	0	5	147				
TSM	19,017	5	0	3	141	19,819	5	0	3	147	20,205	5	0	3	150				
TSW	19,325	5	0	3	143	20,140	5	0	3	149	20,533	5	0	3	152				
TSLG	19,072	4	0	2	141	19,876	4	0	2	147	20,264	4	0	2	150				
BLC3	13,247	4	0	4	98	13,806	4	0	4	102	14,075	4	0	4	104				
BLC4	13,682	4	0	4	101	14,259	4	0	4	106	14,537	4	0	4	108				
RCCO	13,367	1	0	3	99	13,931	1	0	3	103	14,203	1	0	3	105				
LCCO	13,367	1	0	3	99	13,931	1	0	3	103	14,203	1	0	3	105				
AFR	19,437	4	0	4	144	20,257	4	0	4	150	20,651	4	0	4	153				
P12	206W	60	1050	T1S	27,457	4	0	4	133	28,616	4	0	4	139	29,174	4	0	4	142
				T2M	25,436	5	0	5	124	26,509	5	0	5	129	27,025	5	0	5	131
				T3M	25,727	5	0	5	125	26,812	5	0	5	130	27,335	5	0	5	133
				T3LG	22,984	4	0	4	112	23,954	4	0	4	116	24,421	4	0	4	119
				T4M	26,110	5	0	5	127	27,212	5	0	5	132	27,742	5	0	5	135
				T4LG	23,747	4	0	4	115	24,749	4	0	4	120	25,231	4	0	4	123
				TFTM	26,295	5	0	5	128	27,404	5	0	5	133	27,938	5	0	5	136
				TSM	26,864	5	0	4	130	27,997	5	0	4	136	28,543	5	0	4	139
				TSW	27,299	5	0	4	133	28,451	5	0	4	138	29,006	5	0	4	141
				TSLG	26,942	4	0	2	131	28,078	4	0	2	136	28,626	4	0	2	139
				BLC3	18,714	4	0	4	91	19,504	4	0	4	95	19,884	4	0	4	97
				BLC4	19,327	5	0	5	94	20,143	5	0	5	98	20,535	5	0	5	100
				RCCO	18,883	1	0	4	92	19,680	1	0	4	96	20,064	1	0	4	97
				LCCO	18,883	1	0	4	92	19,680	1	0	4	96	20,064	1	0	4	97
				AFR	27,457	4	0	4	133	28,616	4	0	4	139	29,174	4	0	4	142
				T1S	34,436	5	0	5	125	35,889	5	0	5	130	36,588	5	0	5	133
				T2M	31,900	5	0	5	116	33,246	5	0	5	121	33,894	5	0	5	123
				T3M	32,265	5	0	5	117	33,626	5	0	5	122	34,282	5	0	5	124
				T3LG	28,826	4	0	4	105	30,042	4	0	4	109	30,628	4	0	4	111
				T4M	32,746	5	0	5	119	34,128	5	0	5	124	34,793	5	0	5	126
T4LG	29,782	4	0	4	108	31,039	4	0	4	113	31,644	5	0	4	115				
TFTM	32,978	5	0	5	120	34,369	5	0	5	125	35,039	5	0	5	127				
TSM	33,692	5	0	4	122	35,113	5	0	4	127	35,797	5	0	4	130				
TSW	34,238	5	0	4	124	35,682	5	0	4	129	36,378	5	0	4	132				
TSLG	33,789	5	0	3	122	35,215	5	0	3	128	35,901	5	0	3	130				
BLC3	23,471	5	0	5	85	24,461	5	0	5	89	24,937	5	0	5	90				
BLC4	24,240	5	0	5	88	25,262	5	0	5	92	25,755	5	0	5	93				
RCCO	23,683	1	0	4	86	24,682	1	0	4	89	25,163	1	0	4	91				
LCCO	23,683	1	0	4	86	24,682	1	0	4	89	25,163	1	0	4	91				
AFR	34,436	5	0	5	125	35,889	5	0	5	130	36,588	5	0	5	133				

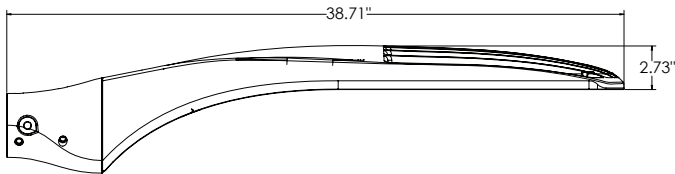
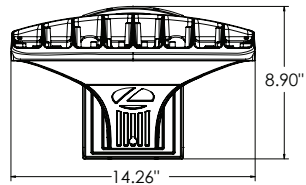
## Dimensions



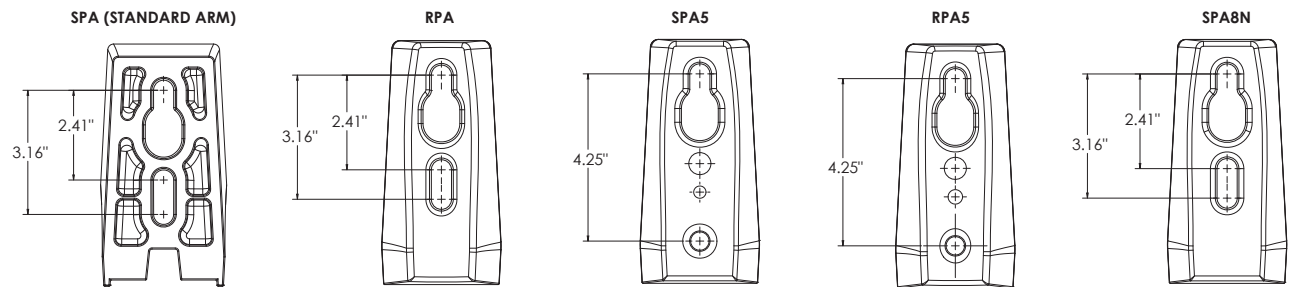
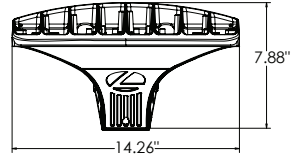
DSX1 with RPA, RPA5, SPA5, SPA8N mount  
Weight: 36 lbs



DSX1 with WBA mount  
Weight: 38 lbs



DSX1 with MA mount  
Weight: 39 lbs



COMMERCIAL OUTDOOR

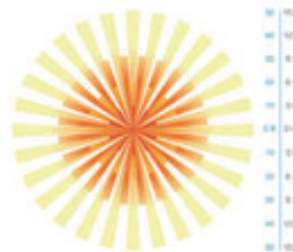
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DSX1-LED  
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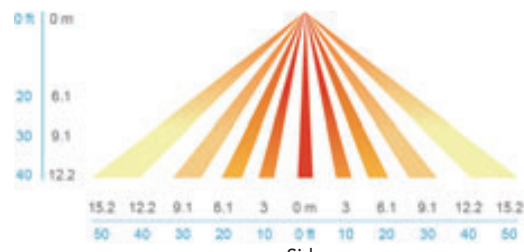
## nLight Control - Sensor Coverage and Settings

### nLight Sensor Coverage Pattern

NLTAIR2 PIRHN



Top



Side

## FEATURES & SPECIFICATIONS

### INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

### CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 3G for SPA and MA. 1.5G for mountings RPA, RPA5, SPA5 and SPA8N. Low EPA (0.69 ft<sup>2</sup>) for optimized pole wind loading.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

### Coastal Construction (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

### OPTICS

Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L81/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

### STANDARD CONTROLS

The DSX1 LED area luminaire has a number of control options. DSX Size 1, comes standard with 0-10V dimming drivers. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensor with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

### nLIGHT AIR CONTROLS

The DSX1 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found here.

### INSTALLATION

Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

### LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

### GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations.

BABA – Build America Buy America: Product with the BAA option also qualifies as produced in the United States under the definitions of the Build America, Buy America Act.

Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/support/warranty/terms-and-conditions](http://www.acuitybrands.com/support/warranty/terms-and-conditions)

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
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DSX1-LED  
Rev. 10/16/24  
Page 10 of 10

## ENVIRONMENTALLY FRIENDLY, ENERGY EFFICIENT

- Lumen packages suitable for ceiling heights ranging from 8' to over 50'
- Efficiencies up to 124 lm/w
- Superior-quality white LED light output using Chip on Board technology
- Patented Hyperbolic Reflector (U.S. Patent No. 10,670,227 B2)
- **Low UGR:** UGR of zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg per CIE 117-1995 Discomfort Glare in Interior Lighting.

## PRODUCT SPECIFICATIONS

**Atrius™ - Ready Product:** Select models of the L-series product line deliver valuable data and connectivity to the Atrius IoT location based platform services. For more information, please refer to [www.acuitybrands.com/Atrius](http://www.acuitybrands.com/Atrius).

### OPTICS

**Hyperbolic Reflector:** Patented hyperbolic shape (U.S. Patent No. 10,670,227 B2) optimized for small, directional LED source, maximizes fixture efficiency while reducing lamp image and aperture brightness • Geometry of hyperbolic curve provides unique aperture appearance and smoother light distribution

**Parabolic Cone/Lens:** Computer-optimized parabolic cone with frosted convex lens regressed into cone provides uniform distribution with no striations

**Baffle:** White or black painted deep multi-groove aluminum baffle insert with integral white painted flange and frosted convex glass lens

**Wallwash Cone/Lens:** Computer-optimized trim with integral wall wash kicker and frosted convex lens regressed into cone provides uniform distribution with no striations

### ELECTRICAL

**LED Light Engine:** Compact light source delivers uniform illumination without pixilation, enabling excellent beam control • 2SDCM (5000K within 3SDCM) • 80, 90 & 97 CRI

**Passive Cooling:** Cast aluminum heat sink integrated directly with housing provides superior thermal management to ensure the long life of LED

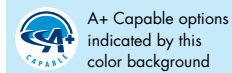
**LED Driver:** Power factor >0.9

**Dimming:** Dimmable via 0-10V protocol standard • Optional drivers available for use with eldoLED, Lutron EcoSystem, 2-wire dimmers, DMX, or DALI • For a list of compatible dimmers, see [LED-DIM](#).

**Life:** Rated for 60,000 hours at 70% lumen maintenance

**Emergency Battery Pack (Optional) output:** Provides a minimum of 600 (BR), or 1000 (HBR) lumens for a minimum duration of 90 minutes • Remote mounted, field installed

- BR option is CEC Title 20 compliant



SURFACE MOUNT



PENDANT MOUNT



WALL MOUNT



CABLE MOUNT

## ORDERING INFORMATION Complete Catalog# Example Includes (Rough-In, option, reflector, accessory) Ordering Example: LC6P 08LM 27K MVOLT B G4 80CRI ZT HW CS PF

### ROUGH-IN

Series	Mounting Options	Light Engine	Color Temperature	Voltage	Cylinder Color	Generation	CRI	Driver	Rough-In Options
LC6 6" L-Series Cylinder	S	08LM	27K 2700K	120	B Black	G4	80CRI	EDAB <sup>6</sup>	F <sup>2,4</sup> Fuse and Fuse Holder BR <sup>2,11</sup> 600 Lumen Emergency Battery Pack w/Remote Test Switch (CEC Title 20 Compliant) HBR <sup>2,5</sup> 1000 Lumen Emergency Battery Pack w/Remote Test Switch NL <sup>10</sup> nLight® Dimming Pack Controls NLER <sup>10</sup> nLight® dimming pack controls. nLER controls fixtures on emergency circuit NLTAIR <sup>2,10,16</sup> nLight® AIR Dimming Pack Wireless Controls NLTAIRER <sup>2,10,16</sup> nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit AE2CD <sup>15,16</sup> Atrius™ - Ready, VLC Commissioning, Radio (BT Positioning) AE2BN <sup>15,16</sup> Atrius Enabled, BT3, BLE only, Power supply only
	Surface	13LM	30K 3000K	277	W White		90CRI	EDXB <sup>2,5,9</sup>	
	P	15LM	35K 3500K	347 <sup>6</sup>	S Silver		97CRI <sup>1</sup>	EZ10 <sup>6</sup>	
	Pendant	17LM	40K 4000K	MVOLT (120-277)				EZ1 <sup>6</sup>	
	W	23LM	50K 5000K					EZB <sup>6</sup>	
	Wall	28LM						FD <sup>3,8</sup>	
	C	33LM						ECOD <sup>2,7,14</sup>	
	Cable	40LM						ZT	
		45LM						GZ1 <sup>6</sup>	
		50LM							
	55LM								



**REFLECTOR** To order reflector separately, use "L6" prefix before reflector option values. Ex: L6 HW CS PF

Trim Style				Finish				Trim Options		
<b>HM</b>	Hyperbolic Medium	<b>P</b>	Parabolic	<b>BD</b>	Black Diffuse	<b>CD</b>	Clear Diffuse	<b>PTD</b>	Pewter Diffuse	<b>PF</b> <sup>13</sup> White Flange
<b>HW</b>	Hyperbolic Wide	<b>WPR</b> <sup>17</sup>	Parabolic Wide	<b>BS</b>	Black Specular	<b>CS</b>	Clear Specular	<b>PTS</b>	Pewter Specular	
<b>HWS</b>	Hyperbolic Single Wall Wash	<b>WC</b>	Corner Wall Wash			<b>CSS</b>	Clear Semi-Specular	<b>WH</b>	White, White Flange	
		<b>WD</b>	Double Wall Wash			<b>GD</b>	Gold Diffuse	<b>WTD</b>	Wheat Diffuse	
		<b>WS</b>	Single Wall Wash			<b>GS</b>	Gold Specular	<b>WTS</b>	Wheat Specular	

**MOUNTING HARDWARE** Add mounting hardware to the end of the complete catalog #. Mounting hardware option **must** match fixture option.  
 EX: LC6P 08LM MVOLT B G4 80CRI **BR** ZT HW CS PF PSTEM 18IN BLPEN **PBR**

Pendant Mount	Length	Color	Options
<b>PSTEM</b> Pendant Stem for use with LC6P only	<b>18IN</b> 18"	<b>WPEN</b> White	<b>PBR</b> Battery Pack
	<b>24IN</b> 24"	<b>BLPEN</b> Black	<b>PHBR</b> High Lumen Battery Pack
	<b>36IN</b> 36"	<b>SPEN</b> Silver	<b>PDMXR</b> DMX/RDM Driver
	<b>48IN</b> 48"		<b>PAE2CD</b> Atrius™ - Ready, VLC Commissioning, Radio (BT Positioning)

Cable Mount	Length	Color
<b>CSTEM</b> Cable Stem for use with LC6C only	<b>18IN</b> 18"	<b>WCAB</b> White with White Cord
	<b>48IN</b> 48"	<b>BLCAB</b> Black with Black Cord
	<b>120IN</b> 120"	<b>SCAB</b> Silver with Black Cord

**Ordering Notes**

- 1 2700K & 3000K only.
- 2 Not available with 347V.
- 3 120V only.
- 4 Specify voltage.
- 5 Not compatible with cable mount.
- 6 Not available for 45LM and up.
- 7 Not available for 33LM and up.
- 8 Not available for 55LM.
- 9 Not available for 40LM and up.
- 10 Only compatible with EZ1, GZ1, EZB, EZ10 drivers.
- 11 Can not be dimmed when used with cable mount (CSTEM).
- 12 Not compatible with BR or HBR.
- 13 PF not available with WH finish. When specifying WH finish, flange is always painted white.
- 14 Not compatible with BR, or HBR.
- 15 See AE2CD/AE2BN notes in following table for compatibility with other options.
- 16 NLTAIR2, NLTAIRER2, AE2CD, AE2BN not recommended for metal ceiling installations.
- 17 WPR available with CS, CSS, CD, WH finishes only.

**AE2CD Notes**

Not available with LC6C/CSTEM (Cable mount).  
 Not available with 45LM, 50LM, or 55LM.  
 Only compatible with EZ1 driver.  
 BR, HBR, NL, NLER, NLTAIR2, NLTAIRER2 not compatible with AE2CD.  
 Recommended ceiling height of 30' and under; not intended for use on ceilings greater than 40' or metal ceiling installations.

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**AE2BN Notes**

Only available with LC6C/CSTEM (Cable Mount)  
 Not available with 45LM, 50LM, or 55LM  
 Only compatible with EZ1 driver.  
 BR, HBR, NL, NLER, NLTAIR2, NLTAIRER2 not compatible with AE2BN  
 Recommended ceiling height of 30' and under, not intended for use on ceiling greater than 40' or metal Ceiling installations.

**Return to Agenda**



**Staff Report**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of December 16, 2024**

**To:** Hailey Planning & Zoning Commission  
**From:** Ashley Dyer Community Development City Planner

**Overview:** Consideration of a Conditional Use Permit (CUP) Application submitted by Overland West INC, represented by Jay Cone Architecture, to allow for the placement and use of a private, onsite above ground fuel tank for the mixed-use project proposed to be located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI Industrial (SCI-I) Zoning District.

**Hearing:** December 16, 2024

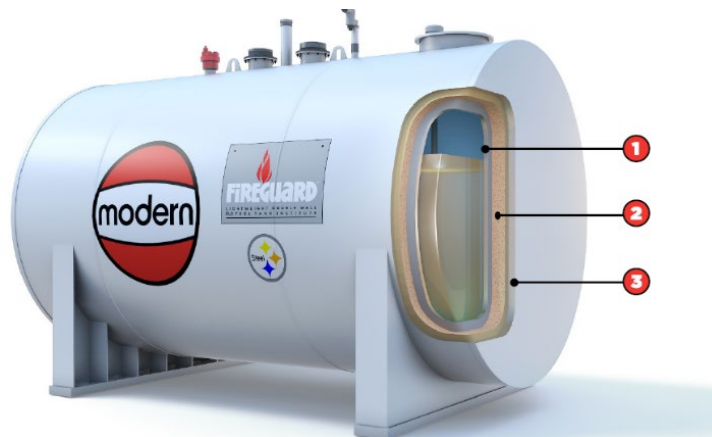
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**Applicant:** Overland West INC, Jay Cone Architecture  
**Location:** 1551 Aviation Drive (Lot 3A, Block 34 Airport West Subdivision #2)  
**Zoning:** SCI Industrial (SCI-I)

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on November 27, 2024, and mailed to adjoining property owners on November 26, 2024. The onsite notice was posted to the property on December 6, 2024.

**Application:** The Applicant is proposing to install a private, above ground fuel dispensing and storage tank onsite, intended to be utilized for the bulk storage of petroleum fuel products within the industrial district of SCI-I. The Applicant is proposing to store fuel for their automotive maintenance and repair business, so as to increase operational efficiency by having readily available fuel onsite. By doing so, the Applicant can eliminate the need to frequently travel to gas stations to refuel vehicles and equipment, thus saving time and money while maintaining better control over fuel quality and usage.

The permanently affixed fuel tank will be positioned in the northeastern portion of the lot on a concrete slab and will be shielded from all sides with a six foot (6') tall perimeter fence. The Applicant is also proposing various landscaping plantings to include two (2) new 3-4" Crabapple trees and two (2) new 3-4" Amur Maple trees as a buffer around the fuel tank. The proposed fuel tank is approximately 6.8 feet in height and is separated from the residential neighborhood to the west by Parcel A and Broadford Road. The proposed use is a conditionally permitted, compatible use in the SCI-I Zoning District.




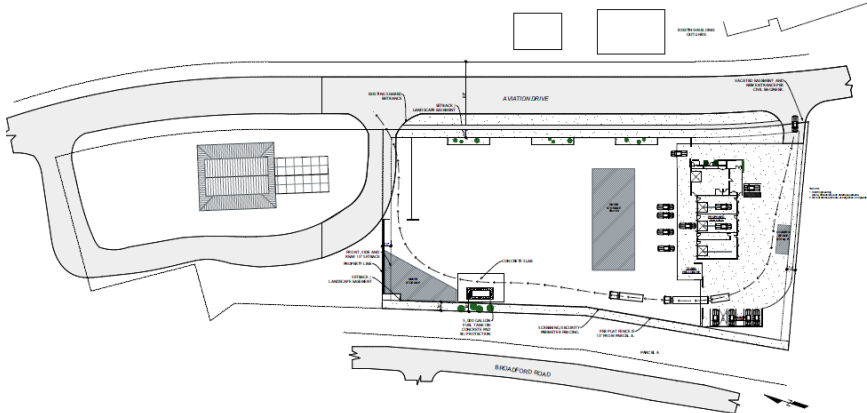
The effects of the proposed use on adjoining properties in terms of noise, vehicular odor, and associated fumes will be minimal, as the proposed use correlates with the existing industrial uses of the district. The above ground fuel tank will have little visual impact or emit excessive fumes or odor, nor will it create noise and vibration. The tank is a double wall steel tank with a layer of concrete in between the steel layers. Dispensing will be from a single handheld spout.

**Procedural History:** The Conditional Use Permit Application was submitted on November 21, 2024, and certified complete on November 25, 2024. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on December 16, 2024, in the Hailey City Council Chambers and virtually via Microsoft Teams.

### General Requirements for all Conditional Use Permits

Compliant			Standards and Commission Findings	
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.020	<p><b>Complete Application:</b>                      17.11.020 The application shall include at least the following information:</p> <ol style="list-style-type: none"> <li>a. Name, address, and phone number of the applicant.</li> <li>b. Proof of interest in the subject property by the applicant, such as a deed, contract of sale, option to purchase, or lease agreement.</li> <li>c. Legal description of the subject property, including street address.</li> <li>d. Description of existing use.</li> <li>e. Zoning district of subject property.</li> <li>f. Description of proposed conditional use.</li> <li>g. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, traffic access and traffic circulation, open spaces, easements, existing and proposed grade, energy efficiency considerations, landscaping, exterior lighting plan as required by Article VIII B of this Ordinance, refuse and service areas, utilities, signs, property lines, north arrow, and rendering of building exteriors, where applicable.</li> <li>h. A narrative statement evaluating the effects on adjoining property, the effect of such elements as noise, glare, odor, fumes, and vibration on adjoining property.</li> <li>i. A narrative statement identifying surrounding land uses and discussing the general compatibility of the proposed use with adjacent and other properties in the district.</li> <li>j. A narrative discussion of the relationship of the proposed use to the Comprehensive Plan.</li> <li>k. A list of the names and addresses of all property owners and residents within three hundred (300) feet of the external boundaries of the land being considered.</li> <li>l. Any other information as requested by the Administrator to determine if the proposed conditional use meets the intent and requirements of this Article.</li> <li>m. A fee established in a separate ordinance approved by the Council.</li> </ol>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Water and Sewer:
				Building: <i>No comments</i>
				Streets: <i>No comments</i>
				Parks: <i>No comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	<p><b>17.08A Signs:</b> The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p>
			<i>Staff Comments</i>	<i>N/A. No signage is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p><b>17.08C.040 General Standards</b></p> <ol style="list-style-type: none"> <li>e. All exterior lighting shall be designed, located and lamped in order to prevent:                             <ol style="list-style-type: none"> <li>a. Overlighting;</li> <li>b. Energy waste;</li> </ol> </li> </ol>

				<p>c. Glare;                  d. Light Trespass;                  e. Skyglow.</p> <p>f. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>g. Idaho Power shall not install any luminaires after the effective date hereof that lights the public right of way without first receiving approval for any such application by the lighting administrator.</p> <p>h. All exterior lighting shall be full cutoff luminaires with the light source downcast and fully shielded, unless exceptions are specified in subsection 17.08C.040.02, Type of Luminaires, of this Chapter.</p>																																
			<p><b>Staff Comments</b></p>	<p>The Applicant is proposing dark bronze ground mounted light fixtures for onsite exterior lighting. The ground fixtures are 42" high and 6 1/4" wide. Each light has a built-in dimmable switch. The ground mounted fixtures are 14 Watt, 3000K LED = 1000 Lumens. Per Hailey's Municipal Code, the proposed mounting height and output standards have been met as shown below.</p> <div style="display: flex; align-items: flex-start;">  <div style="margin-top: 10px;"> <p><b>Product Details</b></p> <ul style="list-style-type: none"> <li>42" High x 6 1/4" wide. Weighs 12 lbs.</li> <li>Built-in dimmable switchable 14/19/24 watt LED module: switchable 1700/2300/3000 lumen light output, comparable to a 100/150 watt incandescent.</li> <li>3000K/4000K/5000K tunable color temperature. 80 CRI.</li> </ul> <table border="1" style="margin-top: 10px; border-collapse: collapse; width: 100%;"> <tr> <td style="padding: 2px;">Height</td> <td style="padding: 2px;">42.50 inches</td> </tr> <tr> <td style="padding: 2px;">Depth</td> <td style="padding: 2px;">42.50 inches</td> </tr> <tr> <td style="padding: 2px;">Manufacturer Number</td> <td style="padding: 2px;">C205BC-L245-BZ</td> </tr> </table> </div> </div> <p style="margin-top: 20px;"><b>1</b> Ground Mounted Light</p> <div style="margin-top: 10px;"> <p style="font-size: small;">F-2 Ground mounted fixture:                  14 Watt, 3000K LED = 1000 Lumens                  Waterproof with lens.                  Dark Bronze                  Verify w/ Architect downcast only</p> </div> <table border="1" style="margin-top: 20px; width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2" style="text-align: center; font-size: small;">MOUNTING HEIGHT/LAMP OUTPUT RECOMMENDATIONS</th> </tr> <tr> <th style="font-size: small;">Mounting Height (Feet)</th> <th style="font-size: small;">Max Lumens</th> </tr> </thead> <tbody> <tr><td style="text-align: center;">6</td><td style="text-align: center;">1,000</td></tr> <tr><td style="text-align: center;">8</td><td style="text-align: center;">1,600</td></tr> <tr><td style="text-align: center;">10</td><td style="text-align: center;">2,000</td></tr> <tr><td style="text-align: center;">12</td><td style="text-align: center;">2,400</td></tr> <tr><td style="text-align: center;">16</td><td style="text-align: center;">6,000</td></tr> <tr><td style="text-align: center;">20</td><td style="text-align: center;">8,000</td></tr> <tr><td style="text-align: center;">24</td><td style="text-align: center;">9,000</td></tr> <tr><td style="text-align: center;">28</td><td style="text-align: center;">12,000</td></tr> <tr><td style="text-align: center;">32</td><td style="text-align: center;">24,000</td></tr> <tr><td style="text-align: center;">36</td><td style="text-align: center;">28,000</td></tr> <tr><td style="text-align: center;">40 or more</td><td style="text-align: center;">32,000</td></tr> </tbody> </table>	Height	42.50 inches	Depth	42.50 inches	Manufacturer Number	C205BC-L245-BZ	MOUNTING HEIGHT/LAMP OUTPUT RECOMMENDATIONS		Mounting Height (Feet)	Max Lumens	6	1,000	8	1,600	10	2,000	12	2,400	16	6,000	20	8,000	24	9,000	28	12,000	32	24,000	36	28,000	40 or more	32,000
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24	9,000																																			
28	12,000																																			
32	24,000																																			
36	28,000																																			
40 or more	32,000																																			
☒	☐	☐	<p><b>17.09.040 On-site Parking Req.</b></p>	<p>See Section 17.09.040 for applicable code.</p> <p><b>Staff Comments</b> While this application does not require onsite parking, the Applicant has submitted a Design Review Pre-Application for a new building. The new building requires six (6) parking spaces for the commercial component and one</p>																																

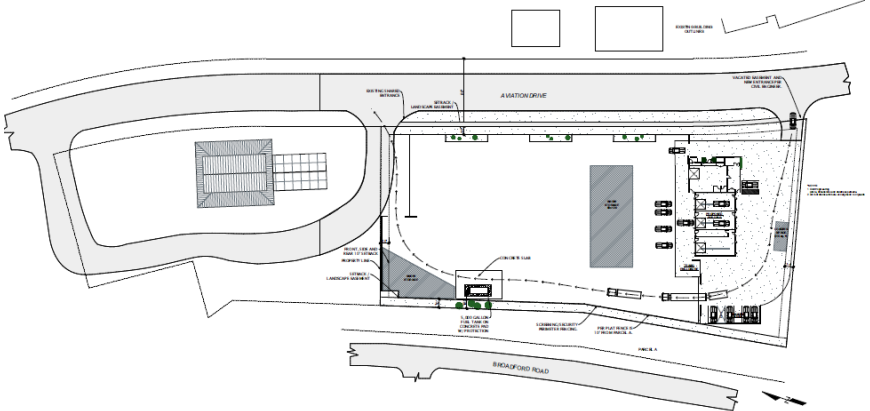


				<i>(1) onsite parking space for the proposed Accessory Dwelling Unit for a total of seven (7) onsite parking spaces. Eight (8) onsite parking spaces have been provided and discussed in more detail in the associated Pre-Application for Design Review Application.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(B)	<b>B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.</b>
			<i>Staff Comments</i>	<i>N/A, as the site is not serviced by an alley and no onsite parking is required to be provided for the placement and installation of an above-ground fuel tank.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.08(C)	<b>C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b>
			<i>Staff Comments</i>	<i>The proposed site access to the fuel tank is from Aviation Drive, through a new ingress entrance and an existing shared egress exit, as shown below.</i>
				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.08(D)	<b>D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.</b>
			<i>Staff Comments</i>	<p><i>No onsite parking or loading spaces are required by this Conditional Use Application; however, one (1) onsite loading space/area is required for the newly proposed mixed-use development onsite. This has been further discussed in the concurrent Design Review Pre-Application submittal.</i></p> <p><i>All ingress to the site is proposed from the new entrance off Aviation Drive and all egress is proposed from the existing shared access toward the northeastern corner of the property, also off Aviation Drive. There is no public access to this site. There will be a sign indicating that this is a private facility for employees only.</i></p> <p><i>The Applicant is proposing a 510 square foot onsite loading space, to be utilized by tenants of the mixed-use building. All parking and loading requirements for the mixed-use development will be met through the Design Review standards.</i></p>



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.08(E)	E. Access for subdivisions shall be provided in accordance with standards set forth in Section 4 of the Subdivision Ordinance.
			<i>Staff Comments</i>	<i>N/A. No subdivision access will be impacted by this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.08(F)	F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.
			<i>Staff Comments</i>	<i>While this application does not require on-site parking, the Applicant has submitted a Design Review Pre-Application for a new building. The new building requires 6 (six) on-site parking spaces for the Commercial component and one (1) onsite parking space for the Accessory Dwelling Unit for a total of seven (7) on-site spaces, The Applicant has provided eight (8) total onsite parking spaces for the mixed-use project which have been provided with the attached Pre-Application for further detail. All parking is located onsite and designed so all vehicle movement is within the site and not within the right-of-way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.08(G)	G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus “stacking” the parking area. For non-residential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.
			<i>Staff Comments</i>	<i>While there is no required parking for this Application, the proposed project does not include any proposed stacked parking for the mixed-use building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Chapter 17.05: Bulk Requirements	<b>SCI District:</b> <ul style="list-style-type: none"> <li>● Maximum Building Height: 35 feet</li> <li>● Minimum Setbacks:                             <ul style="list-style-type: none"> <li>○ Front Setback: 10 feet</li> <li>○ Side and Rear Yard Setback: 10/side and 10/rear.</li> </ul> </li> <li>● Maximum Lot Coverage: 75</li> </ul>
			<i>Staff Comments</i>	<i>The permanently affixed fuel tank will be positioned in the northeastern portion of the lot on a concrete slab. The proposed fuel tank is set back approximately 18 feet from the property line. All lot coverage requirements will be met through the Design Review Application.</i>
<b>Chapter 17.11 Criteria for Review of Conditional Use Permits</b>				
<b>Compliant</b>			<b>Standards and Commission Findings</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Commission Findings</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.010	<b>Compliance with the Comprehensive Plan</b> <b>17.11.010: Purpose.</b> The City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.

			<p><i>Staff Comments</i></p> <p><i>The Comprehensive Plan calls for economic diversity to support a variety of projects and programs that meet the needs generated by various segments of the population. The proposed use aligns with the following Goals of Hailey' Comprehensive Plan:</i></p> <p><b>5.1 Retain a compact City comprised a central downtown with surrounding diverse neighborhoods, areas and characteristics as depicted in the Land Use Map:</b></p> <p><i>h. Light Industrial – Areas containing uses important to a variety of business sectors that focus on the production of products and services that are less compatible with, and not compete with uses in Downtown and the Community Activity Areas.</i></p> <ul style="list-style-type: none"> <li><i>Industrial uses and activities restricted to the Airport West Business Park. Uses in the SCI Zoning District and the SCI-I Subdistrict specifically allow for gasoline stations, and other similar industrial uses.</i></li> </ul> <p><b>6.1 Encourage a diversity of economic development opportunities within Hailey:</b></p> <ul style="list-style-type: none"> <li><i>The project provides a light Industrial use which benefits the proposed mixed-use development and provides employee housing.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.11.040.01(a)</b></p> <p><b>17.11.040.01 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location:</b></p> <p><b>a. Will, in fact, constitute a conditional use as established for the zoning district involved; and</b></p>
			<p><i>Staff Comments</i></p> <p><i>The City recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, use, and circulation. In order to protect public welfare, and to further ensure that there's conformance with our Comprehensive Plan, a Conditional Use Permit has been submitted.</i></p> <p><i>The property the above-ground fuel tank is located on is adjacent to the SCI-SO on the west and the SCI-I on the east, north and south. Gasoline Stations are allowed in the SCI-I Zone, which bounds the property on three sides. The tank will be shielded to views from the east with a required screening fence, and new landscaping. The use is compatible in the SCI-SO Zoning District and is not adjacent to any residential zones.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.11.040.01(b)</b></p> <p><b>b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;</b></p>
			<p><i>Staff Comments</i></p> <p><i>The property as to which the above-ground fuel tank will be located on is adjacent to the SCI-SO Zoning District on the west and the SCI-I Zoning District on the east, north and south. Gasoline Stations are allowed in the SCI-I Zoning District, which bounds the property on three sides. The proposed tank will be shielded from view with a required screening fence and new landscaping.</i></p>
			<p><b>17.11.040.01(c)</b></p> <p><b>c. Will not be hazardous or disturbing to existing or future neighboring uses;</b></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Staff Comments</i>	<i>The effects of the proposed use on adjoining properties in terms of noise, vehicular odor, and associated fumes will be minimal, as the proposed use correlates with existing industrial uses. The above ground fuel tank will have little visual impact or emit excessive fumes or odor, nor will it create noise and vibration. The tank is double wall steel with a layer of concrete in between the steel layers. Dispensing will be from a single handheld spout. The proposed tank will be shielded from all sides with a 6-foot- perimeter fence as required for screening. The Applicant has also proposed landscaping to include two (2) new 3-4" Crabapple trees and Two (2) new 3-4" Amur Maple Trees as a buffer around the fuel tank.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(d)	<b>d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and</b>
			<i>Staff Comments</i>	<i>The site is currently serviced by essential public facilities and services.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(e)	<b>e. Will not create excessive additional requirements at public cost for public facilities and services; and</b>
			<i>Staff Comments</i>	<i>At this time, no additional cost will be incurred from any public agencies for the operation of the proposed above-ground fuel tank, as it is private.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(f)	<b>f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and</b>
			<i>Staff Comments</i>	<i>The above ground fuel tank will have little visual impact or emit excessive fumes or odor, nor will it create noise and vibration. The tank is double wall steel with a layer of concrete in between the steel layers. Dispensing will be from a single handheld spout. The proposed tank will be shielded from all views with a perimeter screening fence and new landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.01(g)	<b>g. Will have vehicular approaches to the property which shall be designed so as not to create an interference with traffic on surrounding public thoroughfares;</b>

			<p><i>Staff Comments</i></p>	 <p><i>Vehicular approaches to the property include the proposed ingress entrance off Aviation Drive and the existing egress exit via the shared access on Aviation Drive. There is no public access to this site. There will be a sign indicating that this is a private facility for employees only.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.11.040.01(h)</p> <p><i>Staff Comments</i></p>	<p><b>h. Will not result in the destruction, loss or damage of a natural, scenic or historic feature.</b></p> <p><i>No trees or mature landscaping, scenic or historic features will be removed from the site to accommodate for the proposed use.</i></p>  

**17.11.060 Conditions.**

The Commission or Hearing Examiner may impose any conditions which it deems necessary to secure the purpose of City regulations and give effect to the Comprehensive Plan. Conditions which may be attached include, but are not limited to those which will:

- 17.11.060(A) Require conformity to approved plans and specifications.
- 17.11.060(B) Require or restrict open spaces, buffer strips, walls, fences, signs, concealing hedges, landscaping, and lighting.
- 17.11.060(C) Restrict volume of traffic generated, require off-street parking, and restrict vehicular movements within the site and points of vehicular ingress and egress or other conditions related to traffic.

- 17.11.060(D) Require performance characteristics related to the emission of noise, vibration and other potentially dangerous or objectionable elements.**
- 17.11.060(E) Limit time of day for the conduct of specified activities.**
- 17.11.060(F) Require guarantees such as performance bonds or other security for compliance with the terms of the approval.**
- 17.11.060(G) Require dedications and public improvements on property frontages.**
- 17.11.060(H) Require irrigation ditches, laterals, and canals to be covered or fenced.**
- 17.11.060(I) Minimize adverse impact on other development.**
- 17.11.060(J) Control the sequence, timing and duration of development.**
- 17.11.060(K) Assure that development is maintained properly.**
- 17.11.060(L) Designate the exact location and nature of development.**
- 17.11.060(M) Require the provision for on-site or off-site public services.**
- 17.11.060(N) Require more restrictive standards than those generally found in this Ordinance.**
- 17.11.060(O) Mitigate foreseeable social, economic, fiscal and environmental effects.**
- 17.11.060(P) Set a limit on the duration of the permit when deemed necessary.**
- 17.11.060(Q) Allow for subsequent periodic review.**

**Summary:** Section 17.11.010 of the Hailey Zoning Ordinance states that “the City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.”

Conditional Use Permits are subject to review and revocation pursuant to Section 17.11.090 of the Hailey Municipal Code. This statement will be included in the Findings of Fact, Conclusions of Law, and Decision for any Conditional Use Permit approved by the Commission.

By ordinance, the Commission is required to decide to approve, conditionally approve, or deny the application within forty-five (45) days after conclusion of the public hearing and issue its decision together with the reasons, therefore. The Commission is required to review the application, all supporting documents and plans, and Section 17.11 of the Hailey Municipal Code, in making their decision.

The Commission should make Findings of Fact related to the criteria of Section 17.11, (a) through (d).

**Suggested Conditions:** The following conditions are suggested to be placed on approval of this application:

- a) All Fire Department and Building Department requirements shall be met in regard to all maintenance, administrative, and other functions of the proposed project.
- b) Construction staging and storage shall not be in the City Right-of-Way, or impact existing vehicular parking, nor vehicular and pedestrian circulation. All construction impacts shall occur within the property boundary.
- c) Building Permit, and all associated permits, shall be acquired prior to placement and/or construction of the above-ground fuel tank, as well as the mixed-use development project.
- d) A Flammable & Combustible Storage Tank permit is required from the Hailey Fire Department.

**Motion Language**

**Approval:** Motion to approve the Conditional Use Permit Application submitted by Overland West INC, represented by Jay Cone Architecture, to allow for the placement of an onsite above ground fuel tank for the mixed-use project in Airport Way (located on Lot 3A, Block 4 Airport West Subdivision #2) , within the SCI Zoning District, finding that the application meets each of the Criteria for Review, (a) through (h) cited in the Hailey Municipal Code, that the Conditional Use Permit complies with the Comprehensive Plan, and that Conditions (a) through (d) will be met.

**Denial:** Motion to deny the Conditional Use Permit Application submitted by Overland West INC, represented by Jay Cone Architecture, to allow for the placement of an onsite private above ground fuel tank for their mixed-use project in Airport Way (located on Lot 3A, Block 4 Airport West Subdivision #2), within the SCI Zoning District, finding that \_\_\_\_\_[the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_[the Commission should specify a date].

**Return to Agenda**





**Staff Report**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of December 16, 2024**

**To:** Planning and Zoning Commission  
**From:** Ashley Dyer, Community Development City Planner

**Proposal:** Consideration of a Design Review Pre-Application, submitted by Overland West INC, represented by Jay Cone Architecture, for the construction of a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit, to be located within the proposed structure. This project is located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District.

**Hearing:** Decvember 16, 2024

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**Applicant:** Overland West INC, represented by Jay Cone Architecture  
**Location:** 1551 Aviation Drive (Lot 3A, Block 34- Airport West Subdivision #2)  
**Zoning & Lot Size:** SCI-Industrial (SCI-I); Lot size 113,090.70 square feet

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on November 27, 2024, and mailed to adjoining property owners on November 26, 2024.

**Background and Project Overview.** The Applicant is proposing a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit (ADU), to be located within the proposed structure at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2). The mixed-use building is proposed for the maintenance and repair of automobiles with no sales or rentals of vehicles to be conducted onsite. The service provides upscale automobile maintenance for commercial and leisure vehicles, intended for the maintenance and cleaning of vehicles which will be delivered by freight or imported by employees only. There is no public access to the site or business.

The proposed site plan entails a two-story building with 5,657 gross square feet of commercial floor space, which includes cleaning bays, storage, and an office/multipurpose room on the first floor, as well as a 997 square foot ADU, located on the second floor. Various site and right-of-way improvements are also proposed and include:

- **Proposed Commercial Use:**
  - o 5,657 square feet of commercial space to include cleaning bays, storage and an office/multipurpose room.
  - o New site landscaping to include a variety of drought tolerant species and hardy to Zone 4 environment. Goldflame Spiriea, Potentillas, Redtwig Dogwoods, Canada Chokecherry trees, Crabapple trees, and Amur Maple trees are proposed.

- A temporary irrigation system that fully operates for at least two (2) complete growing seasons will be installed to establish drought tolerant plant species. Irrigation features that minimize water use, such as moisture sensors, will also be installed.
  - Bark beds will be installed around all shrubs, fixed planters will be planted each season with annuals and/or maintained perennials. A variety of colors will be used. Planted areas and planters will be professionally maintained.
  - The existing plantings within the snow storage and landscape easement will be pruned and maintained so as not interfere with snow storage.
  - Trash enclosure
  - A six (6) foot tall perimeter fence with powder coated steel posts and brown corrugated bondarized steel panels is proposed to screen the property.
- **Proposed Accessory Dwelling Unit:**
- 997 square feet in size
  - Two bedrooms, two bathrooms, closets and storage spaces
  - Kitchen and living area
  - Outdoor deck space
  - One onsite parking space provided

**SCI Industrial (SCI-SI):**

The purpose of the industrial subdistrict of the SCI district is to provide a location for the production, sales and storage of bulky goods and associated wholesale and retail sales, offices and parking. The subdistrict is also to provide a location for light manufacturing and other light industrial types of uses. The intent of the district is to provide a location for those uses that dedicate a substantial portion of their area (more than 50 percent) to exterior storage and/or staging areas, and relatively little area to interior showrooms, offices or retail space. The district is intended to include those uses that, by reason of their impact or perceived impact on neighboring uses, are not appropriate in the central business district. This article assumes that the following list of uses is not exhaustive and that other like uses may be permitted upon administrative review pursuant to subsection [17.01.050B](#) of this title, as amended. (Ord. 1191, 2015)

The proposed mixed-use development project aligns with the purpose and intent of the SCI-I Zoning District, as the building design, exterior features, and use characteristics support automotive repair and maintenance, parking, office space, light manufacturing and other light industrial types of uses, while thoughtfully integrating an employee or employer-owned housing component as a subordinate use.

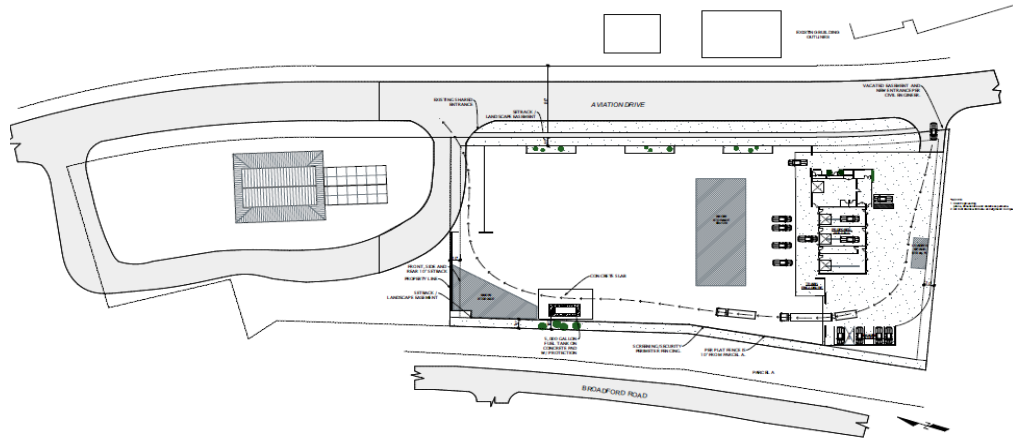
**Chapter 17.06: Design Review. Section 17.06.050: Application:**

**C. Design Review Pre-Application:**

- 1. Required: An application for Preapplication Design Review shall follow the procedures and be subject to the requirements established by section [17.03.070](#) of this title, and shall be made by at least one holder of any interest in the real property for which the Preapplication Design Review is proposed.**
- 2. Information Required: The following information is required with an Application for Preapplication Design Review:**

- a. **The Design Review Application form, including project name and location, and Applicant and representative names and contact information.**
- b. **One (1) eleven inch by seventeen inch (11" x 17") and one electronic copy showing at a minimum the following:**
  - i. **Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: A vicinity map must show the location of adjacent buildings and structures.**
  - ii. **Site plan, to scale, showing proposed parking, loading and general circulation.**
  - iii. **One color rendering of at least one side of the proposed building(s).**
  - iv. **General location of public utilities (survey not required). (Ord. 1226, 2017; Ord. 1191, 2015)**

1. **Accessory Dwelling Units:** ADUs are allowed within the SCI-I Zoning District provided that there shall not be more than one (1) ADU per unit within a principal building. Furthermore, the ADU shall be occupied by an owner or employee of a business which occupies the principal building. ADUs are allowed in the SCI Zones, if permitted in conjunction with commercial buildings. Per Hailey's Municipal Code, the maximum floor area for an ADU with a lot size of 113,090 square feet is 1,000 square feet.
  - The Applicant is proposing to position the ADU within the primary building, and accessory to the primary use (commercial).
  - The Applicant is proposing a 997 square feet ADU, which complies with the maximum size allowance.
2. **Parking:** A site developed with an ADU shall provide a minimum of one (1) onsite space.
  - One (1) parking space is proposed for the ADU.
  - All commercial, professional, service, recreation and entertainment uses shall provide improved parking in the amount of one (1) parking space for every, one thousand (1,000) square feet of gross building area.
    - The commercial space, totaling 5,657 gross square feet, is required to provide six (6) onsite parking spaces. The Applicant has provided 7 parking spaces for this use.
  - In total, eight (8) onsite parking spaces are proposed for the multi-use building.
3. **Site Access:** An existing shared access and a vacated Public Utility Easement (PUE), with a newly proposed entrance, are intended to service the parcel. Access to the site will be from the existing public street, Aviation Drive. There is no public access to this site. There will be a sign indicating that this is a private facility for employees only.



4. **New Outdoor/Open Space:** Per Hailey’s Municipal Code, all ADUs shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineated by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than fifty (50) square feet in size.
  - The Applicant is proposing a 14’-9”x 30’ (44.9) square foot deck for the mixed-use building. The code requires a minimum of 50 square feet of open space. The Applicant will need to provide the minimum 50 square feet of outdoor space for the final Design Review.
  - A detailed Landscaping plan will be required for the full Design Review. This plan will depict outdoor space to be utilized by the tenant(s) of the ADU.
  
5. **Building Design, Materials, and Colors:** The overall building design and materials are proposed to have a combination of textured surfaces that resembles natural stone as well as vertical siding. Undulation and visual interest are further enhanced by the various-sized windows, bay doors, and other exterior elements such as the proposed deck and steel guardrail for the ADU. The exterior of the building is proposed to be a combination of Split Faced Block in Golden Brown, as well as vertical siding in Dark Bronze, with Dark Bronze trim, windows and doors.





6. **Water, Sewer, and Fire:** This is a Preapplication Design Review. Final drawings that illustrate connection details & drainage will be required for full Design Review (to be determined), and no comments have been made by Staff at this time.
7. **ROW Improvements:** This is a Preapplication Design Review. Staff will work internally with the Streets and Public Works Departments to ensure all improvements will comply with Hailey’s Municipal Design Guidelines. Analysis will be provided at full Design Review for improvements to, and/or development of Landscaping, irrigation and sidewalk connectivity.
8. **Easements:** The lot is approximately 113,090 square feet in size. There is an existing ten foot (10’) wide Landscaping Easement along the western property line as well as a vacated Public Utility Easement along Aviation Drive.

**Action:** No formal action is required at this time, as this is a Preapplication Design Review. The Commission should give feedback on the above items, and any others that may arise, so that the Applicant can incorporate said feedback into their Design Review submittal.

# 1551 AVIATION DRIVE

Date: 11/20/2024

Seal:  
LICENSING ARCHITECTURE NUMBER  
Nov. 15, 2024  
JAY CONE

1551 AVIATION DRIVE


Issue:  
DESIGN REVIEW

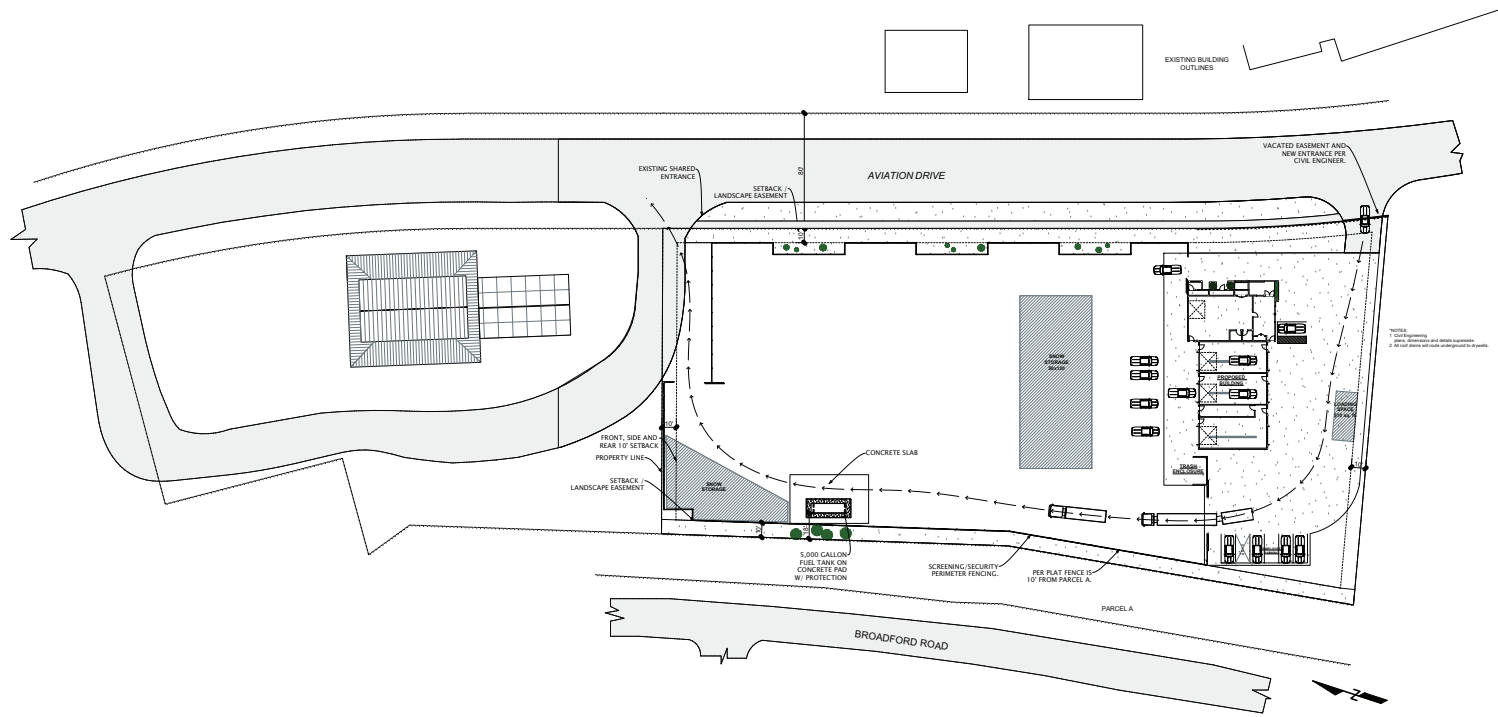
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF HAILEY PLANNING DEPARTMENT'S DESIGN REVIEW PROCESS. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE CITY OF HAILEY PLANNING DEPARTMENT. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE CITY OF HAILEY PLANNING DEPARTMENT.

Scale: AS NOTED  
Drawn:  
Job: 2024-18

G-001

\*DESIGN REVIEW ONLY\*

VICINITY MAP	BUILDING DATA	CONSULTANTS	SELECT ORDINANCE PROVISIONS	SHEET INDEX
	<p><b>LEGAL DESCRIPTION:</b> Lot 3A Block 4 Airport West Sub. #2 Hailey, Idaho</p> <p><b>ADDRESS:</b> 1551 Aviation Drive</p> <p><b>PARCEL NUMBER:</b> RPH040000403AO</p> <p><b>ZONING:</b> SCHI</p> <p><b>PERMITTED USES:</b> Transportation Automotive Maintenance Private Fuel Storage and Dispensing as a Conditional Use</p> <p><b>OCC. GROUPS:</b> First Floor S-1 Cleaning Bays First Floor S-2 Storage Room First Floor B Multi-Purpose Room Second Floor R-3 ADU</p> <p><b>CONST. TYPE:</b> VB</p> <p><b>LOT AREA:</b> 113,090.70 sq. ft. Allowable Lot Coverage 70%</p> <p><b>MAXIMUM FLOOR AREA:</b> Gross for grouped retail / wholesale + 25,000 sq. ft.</p> <p><b>SQUARE FOOTAGE:</b> First Floor 5,657 sq. ft. Second Floor (ADU) 997 sq. ft. TOTAL 6,654 sq. ft.</p> <p><b>MAX. HT.</b> 35' Allowed</p> <p><b>SETBACKS:</b> 10' Front 10' Side 10' rear</p> <p><b>SNOW STORAGE:</b> 25% of all hard parking and pedestrian surfaces. 21,800 paved x .25 = 5,450 sq. ft. Req. 9,000 sq. ft. Shown</p> <p><b>REQUIRED PARKING:</b> Dwelling Units &lt;1,000 sq. ft. = 1 space Industrial Uses = 1/1,000 sq. ft. 7 Required. 8 Provided. 510 sq. ft. Loading Space Provided</p> <p><b>CLIMATE ZONE:</b> IECC 6 per 2018 IECC</p> <p><b>BLDG. CODE:</b> 2018 IBC 2018 IECC 2018 IFC 2024 NFPA 30 2024 NFPA 30A</p> <p><b>JURISDICTION:</b> City of Hailey Idaho Design Review Required</p>	<p><b>ARCHITECT:</b> Jay Cone Architecture PC Jay Cone AIA 651 El Dorado Lane Hailey, Idaho 83333 208-578-5226</p> <p><b>STRUCTURAL ENGINEER:</b> Kore Four Markell Bateman P.E. 1020 Lincoln Road Idaho Falls, Idaho 83401 208-227-8404</p> <p><b>SURVEYING:</b> Orion Surveying PLLC Steve Schwarz PLS PO Box 695 Bellevue, Idaho 83313 208-721-3849</p> <p><b>CIVIL ENGINEERING:</b> Opal Engineering PLLC Samantha Stahlnecmer P.E. 416 S. Main Street Suite 204 Hailey, Idaho 83333 208-720-9608</p> <p><b>SURVEYING / PLAT AMEND.</b> Alpine Enterprises Inc. Bruce Smith PLS 660 Bell Dr. Unit #1 Ketchum, Idaho 83340 208-727-1988</p> <p><b>ENERGY EVALUATION:</b> Greenworks John Reuter 102 S. 4th Ave. Hailey, Idaho 83333 208-721-2922</p> <p><b>WASH SYSTEM:</b> Royce Industries L.C. 511 East Bower Street Meridian, Idaho 83642 208-377-8292</p> <p><b>FIRE PROTECTION DESIGNER:</b> Mountain Fire Sprinkler Bill Gooding 1120 Broadford Road #115 Hailey, Idaho 83333 208-726-5722</p> <p><b>GENERAL CONTRACTOR:</b> Tormey Construction Inc. John Tormey PO Box 4810 Ketchum, Idaho 83340 208-726-2328</p>	<p><b>SERVICE COMMERCIAL INDUSTRIAL DISTRICT SCI</b></p> <p><b>DISTRICT WIDE REGULATIONS</b> B. Landscape screening and buffering shall be provided and maintained by the owner in all front yards and adjacent to arterial roads. D. Design Review required.</p> <p><b>INDUSTRIAL SUBDISTRICT SCH</b></p> <p><b>ACCESSORY USES</b> D. Accessory dwelling units (ADU), provided the following criteria are met: 1. There shall not be more than one ADU per unit within a principal building. 2. ADU entrances shall connect to sidewalks and/or designated pedestrian circulation areas that lead to and from the primary sidewalk system and away from work zone alleys. 3. Each ADU shall have designated ground floor storage space for the occupant's use. The storage shall be secure, covered and screened. 4. An ADU shall be occupied by an owner or employee of a business which occupies the principal building. 5. An ADU shall not be sold as a condominium or a separate legal parcel from the principal building.</p> <p><b>BULK REQUIREMENTS</b> B. No parking shall be placed within setback areas. C. All materials stored shall be screened from sight by a wall or fence 4' min., 8' max.</p> <p><b>DISTRICT USE MATRIX</b></p> <p><b>PERMITTED USES</b> Uses include; ADUs, warehouses, transportation, towing, auto repair.</p> <p><b>ACCESSORY DWELLING UNIT DEFINITION</b> A structure subordinate to the principal use on the same lot or premises having kitchen facilities and at least one bathroom, to be occupied as a residence, which is incidental to the use of the principal building.</p> <p><b>ACCESSORY DWELLING UNITS</b> A. Accessory dwelling units may be located within, or attached to, a principal building or may be located within a detached accessory building. C. In SCI zones accessory dwelling units are permitted in conjunction with commercial buildings.</p> <p><b>REGISTRATION REQUIRED</b> A. All Accessory dwelling units created after January 25, 2021 shall be issued an accessory dwelling unit compliance certificate.</p> <p><b>SUBORDINATE SCALE AND SIZE</b> A 1. Scale: The floor area of an accessory dwelling unit (ADU) is limited to no more than sixty-six percent (66%) of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less. A 2. Maximum floor area: Lot Size greater than 8,001 sq. ft. = 1,000 sq. ft. max ADU size. A 2.1. Gross square footage calculations for Accessory Dwelling Units does not include exterior, uncovered staircases. Interior staircases and circulation corridors are included. A 3. Number of bedrooms: Accessory dwelling units may have a maximum of two (2) bedrooms.</p> <p><b>LIVABILITY</b> A. Outdoor Access: All accessory dwelling units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineate by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than fifty (50) square feet in size. The outdoor access area shall be approved through the design review process.</p> <p><b>DESIGN STANDARDS</b> A 1 G (10) In the SCI district parking may be located at the side or rear of a building. A 1 J Show storage shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas. A 2 I All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3): (1) Solar Orientation: If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within thirty degrees (30o) of true south. (3) Double Glazed: Double glazed windows. (4) Low Emissivity Glazing: Windows with low emissivity glazing. A 4 e Seasonal plantings in planter boxes, pots and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCH-I zoning districts.</p>	<p>G-001 COVER SHEET AS-001 ARCHITECTURAL SITE PLAN AS-002 LANDSCAPE PLAN C-101 SURVEY C0.10 COVER SHEET C1.00 DETAIL SHEET C1.01 DETAIL SHEET C1.10A SITE IMPROVEMENT PLAN C1.10B SITE IMPROVEMENT PLAN A-101 FIRST FLOOR PLAN A-102 SECOND FLOOR PLAN A-104 STAGING AND PARKING PLAN A-201 EXTERIOR ELEVATIONS A-202 EXTERIOR ELEVATIONS A-801 PERSPECTIVE / LIGHT FIXTURE</p>
<p><b>PLAT MAP</b></p>  <p><b>SUBJECT PROPERTY</b></p>				
<p><b>SELECT CCR PROVISIONS</b></p> <p>7.3 The Association shall maintain and keep in good repair...all landscape areas within the dedicated right-of-way...and set aside parks...such as Parcel A. 8.1A Accessory Dwelling Units may be permitted with written approval. 8.4 No alteration shall be made without the prior written approval of the ARB.</p>				
<p><b>SELECT IFC PROVISIONS</b></p> <p>2306.2.3 Above-ground fuel tanks shall be listed and labeled in accordance with UL 2085. TABLE 2306.2.3 Protected above-ground tanks less than 6,000 gallons shall be not less than 15' from any lot line that can be built on.</p>				



1 ARCHITECTURAL SITE PLAN  
SCALE 1" = 40'

Date: 11/20/2024



# 1551 AVIATION DRIVE

Issue: DESIGN REVIEW

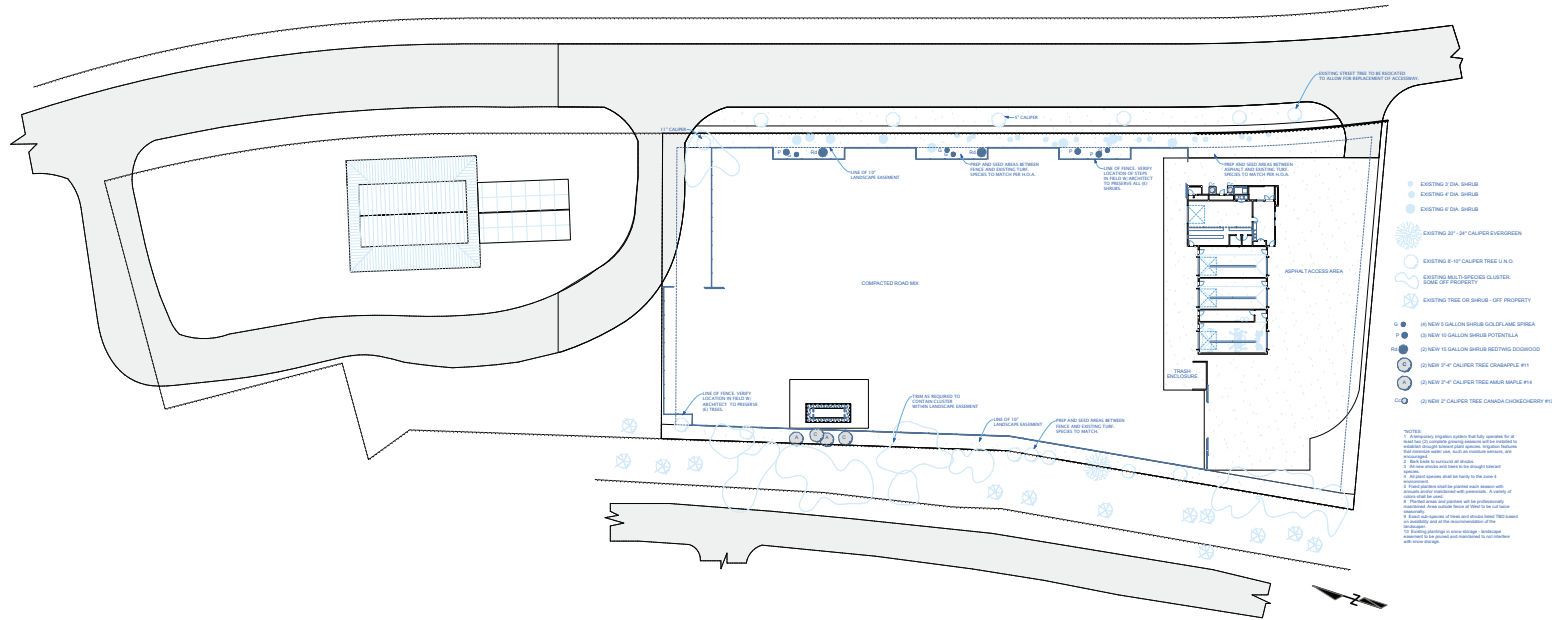
1. JAY CONE ARCHITECTURE PC AIA HAS PREPARED THESE PLANS FOR THE PROJECT AND HAS THE DUTY OF CARE AND LIABILITY TO THE CLIENT. THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF JAY CONE ARCHITECTURE PC AIA. ANY CHANGES TO THESE PLANS WILL BE MADE AT THE CLIENT'S RISK AND WITHOUT NOTICE. JAY CONE ARCHITECTURE PC AIA DOES NOT WARRANT OR GUARANTEE THE ACCURACY OF THESE PLANS. ANY CHANGES TO THESE PLANS WILL BE MADE AT THE CLIENT'S RISK AND WITHOUT NOTICE.

1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30

Scale: AS NOTED  
Drawn:  
Job: 2024-18

AS-001





- EXISTING 2" DIA. SHRUB
- EXISTING 4" DIA. SHRUB
- EXISTING 6" DIA. SHRUB
- EXISTING 30" - 36" CALIPER EVERGREEN
- EXISTING 8"-10" CALIPER TREE U.S.O.
- EXISTING MULTI-SPECIES CLUSTER, SOME OFF-PROPERTY
- EXISTING TREE OR SHRUB - OFF-PROPERTY
- (S) NEW 5 GALLON SHRUB GOLDENROD SPIREA
- (S) NEW 15 GALLON SHRUB POTENTILLA
- (S) NEW 15 GALLON SHRUB RESTING DOGWOOD
- (S) NEW 2" CALIPER TREE ORNAMENTAL #11
- (S) NEW 2" CALIPER TREE ANAKAPLE #14
- (S) NEW 2" CALIPER TREE CANADA CHERRY #15

NOTES:

1. All quantities include quality assurance and testing.
2. All quantities include quality assurance and testing.
3. All quantities include quality assurance and testing.
4. All quantities include quality assurance and testing.
5. All quantities include quality assurance and testing.
6. All quantities include quality assurance and testing.
7. All quantities include quality assurance and testing.
8. All quantities include quality assurance and testing.
9. All quantities include quality assurance and testing.
10. All quantities include quality assurance and testing.

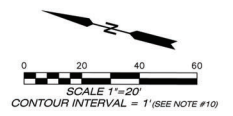


1 LANDSCAPE PLAN  
SCALE: 1" = 40'

1551 AVIATION DRIVE

<p>JAY CONE ARCHITECTURE PC LAW COPY MUST SHOW OTHER PROFESSIONAL SEALS AND SIGNS. THIS DRAWING HAS NOT BEEN RECORDED, APPROVED OR LABELED SCALE.</p>
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- LEGEND**
- PLATTED LOT BOUNDARY
  - FND. 1/2" REBAR LS 10161 UNLESS NOTED
  - 1"W.C. 1' WITNESS CORNER PER PLAT
  - RM 1' REFERENCE MONUMENT (RADIAL) PER PLAT
  - X 5000.1± SPOT ELEVATION
  - SSMH ⊕ SEWER MANHOLE
  - WV ⊕ WATER VALVE(S)
  - DI ⊕ DRAIN INLET
  - DESIGNATED APPROACH PER PLAT
  - X APPROXIMATE FENCE LOCATION
  - AREA OF CONCRETE GUTTER AND/OR SIDEWALK
  - APPROXIMATE LOCATION OF ACCESS & PUBLIC UTILITY EASEMENT DOTTED FROM SUB'D. PLAT—SEE NOTE #11.

- NOTES:**
1. THE PURPOSE OF THIS SURVEY IS TO SHOW CERTAIN TOPOGRAPHICAL FEATURES AS THEY EXISTED IN EARLY AUGUST OF 2024. CHANGES MAY HAVE OCCURRED TO THE SITE SINCE SAID DATE.
  2. THIS MAP IS AN INSTRUMENT OF SERVICE AND WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT. IT IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT BY THE SURVEYOR AND IT IS NOT TO BE USED IN REAL ESTATE TRANSACTIONS.
  3. THE ELEVATION DATUM IS ASSUMED AND ONE SHOULD USE THE BENCHMARK SHOWN.
  4. PORTIONS OF THE SOUTHERLY PART OF THE PROPERTY WERE COVERED WITH SPREAD LANDSCAPING BARK, THE DEPTH OF WHICH IS NOT KNOWN. IN ADDITION, A LARGE NUMBER OF REAR VEHICLES WERE PARKED ON THE PROPERTY AT THE TIME OF THE SURVEY. ITEMS OCCURRED BY VEHICLES ARE NOT SHOWN HEREON.
  5. A TITLE POLICY WAS PROVIDED TO THE SURVEYOR BY THE CLIENT AS COMMITMENT #200000 PREPARED BY ISSUING AGENT BLAINE COUNTY TITLE DATED 8/14/2024. CERTAIN ITEMS WITHIN SAID TITLE POLICY MAY AFFECT THE PROPERTY, BUT ARE NOT SHOWN HEREON. THE BOUNDARY AND EASEMENT SHOWN OR LISTED HEREON ARE PER THOSE SHOWN OR LISTED ON THE SUBDIVISION PLAT ONLY. REFER TO SAID PLAT, PLAT NOTES, PREVIOUS PLATS, ALL CO's AND A CURRENT TITLE POLICY FOR OTHER EASEMENTS OR ITEMS/EXCEPTIONS WHICH MAY AFFECT THE PROPERTY, BUT ARE NOT SHOWN OR LISTED HEREON.
  6. ANY DRAIN PIPES, CULVERTS, DRAINS OR UTILITIES SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY AT THE TIME OF THE SURVEY. OTHER UTILITIES MAY EXIST AND THE LOCATION OF ALL UTILITIES (ABOVE OR BELOW GROUND) AND UTILITY SERVICES SHOULD BE CONFIRMED PRIOR TO FINAL DESIGN AND CONSTRUCTION. SPRINKLER HEADS AND/OR IRRIGATION DEVICES ARE NOT SHOWN HEREON.
  7. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PROPERTY: EASEMENTS (OTHER THAN THOSE LISTED OR SHOWN ON THE SUBDIVISION PLAT), COUNTY/CITY ACCEPTED BOUNDARY/SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, AVALANCHE DANGER, EXCEPTIONS CONTAINED WITHIN A CURRENT TITLE POLICY, EXISTING WETLANDS/WETLAND CONDITIONS, ALL PERTINENT SUBDIVISION PLAT NOTES, ITEMS LISTED IN ANY CO's OF DEVELOPMENT/ANNEXATION AGREEMENT WHICH MAY AFFECT THE PROPERTY, ZONING OR ANY OTHER LAND-USE REGULATIONS.
  8. DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, USE THE BAR SCALE TO DETERMINE THE ACTUAL PRINTED SCALE OF THE MAP.
  9. THE EXACT DATE OF THE AERIAL PHOTO SHOWN IS UNKNOWN AND IT IS FOR GENERAL REFERENCE ONLY. IT SHOULD NOT BE USED TO LOCATE ITEMS DEFINITELY.
  10. CONTOURS IN DENSE VEGETATION ARE APPROXIMATE.
  11. LOCATION OF ACCESS AND UTILITY EASEMENT DOTTED OFF THE PLAT (APPROX.) FILES WILL BE TRANSMITTED.

**CURVE TABLE**

BEARING (RADIAL) OR IDENTIFYING POINT	ANGLE/TANGENT (CHORD BEARING) (DEGREE)	CHORD (FEET)	CHORD BEARING (DEGREE)
101.000/113.24	113.24	15.23	85.750/5.74

PROCESSED BY:  
**ORION SURVEYING PLLC**  
 SURVEYING AND MAPPING  
 P.O. BOX 695  
 BELLEVUE, IDAHO 83413  
 (208) 721-3649

**LOT 3A, BLOCK 4**  
**AIRPORT WEST SUB'D. PH.#2**  
 SEC. 15, T2N, R18E, B.M.  
 CITY OF HAILEY, BLAINE COUNTY, IDAHO.  
 CLIENT: OVERLAND WEST INC. - ERK PETERSON  
 JOB NO. #315    DWS BY J. SWS    SHEET 1 OF 1  
 AIRPORT WEST PH#2 LOT 3A BLK 4 PH#2 DATE: 8/18/2024



# OVERLAND WEST- CAR RENTAL WASH STATION LOT 3A, BLOCK 4, AIRPORT WEST SUBDIVISION II HAILEY, IDAHO

NOVEMBER 2024

## GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDaho STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- OPAL ENGINEERING, PLLC IS NOT RESPONSIBLE FOR IDAHO POWER OR OTHER DRY UTILITY SERVICE REQUESTS.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.  
**PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.  
 IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING; NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL, PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1619, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS PER A SURVEY BY ALPINE ENTERPRISES DATED DECEMBER 2, 2021 AND DECEMBER 18, 2023.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET FOR ALL CONSTRUCTION WITHIN THE PUBLIC RIGHTS-OF-WAY. TESTING LOCATION AND FREQUENCY SHALL MEET ISPCW AND ADA COUNTY HIGHWAY DISTRICT (ACHD) REQUIREMENTS. REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN TWO WEEKS OF TESTING.



VICINITY MAP  
N.T.S.

EXISTING ITEMS	PROPOSED ITEMS
BOUNDARY LINE	PROPERTY LINE
ADJOINER'S LOT LINE	PROPOSED VACATED LOT LINE
CENTERLINE OF RIGHT OF WAY	EASEMENT, TYPE AND WIDTH AS SHOWN
EASEMENT, TYPE AND WIDTH AS SHOWN	5' CONTOUR INTERVAL
5' CONTOUR INTERVAL	1' CONTOUR INTERVAL
1' CONTOUR INTERVAL	ASPHALT
FLOW LINE	CONCRETE SIDEWALK
SECTION LINE	GRAVEL
FENCE LINE	ADA ACCESS TRUNCATED DOME
SEWER MAIN	8" WATER MAIN
SEWER SERVICE	6" WATER SERVICE
SEWER MANHOLE	WATER METER
8" WATER MAIN	WATER VALVE
WATER SERVICE	WATER MAIN FITTINGS
WATER METER	SEWER MAIN
WATER VALVE	SEWER SERVICE
STORM DRAIN	SEWER MANHOLE
CATCH BASIN	STORM DRAIN
DRY WELL	CATCH BASIN
FIRE HYDRANT	DRYWELL
WATER MAIN FITTINGS	FLOW LINE
CULVERT	
ASPHALT	
GRAVEL	
CONCRETE SIDEWALK	
FIBER OPTIC BOX	
GAS MAIN	
CABLE TV BURIED	
CABLE TV RISER	
BURIED TELEPHONE LINE	
TELEPHONE RISER	
BURIED POWER LINE	
POWER BOX	
CONIFER TREE	
DECIDUOUS TREE	
DRIFLINE OF VEGETATION	

## SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C1.00	DETAIL SHEET
C1.01	DETAIL SHEET
C1.10A	SITE IMPROVEMENT PLAN - OPTION 1
C1.10B	SITE IMPROVEMENT PLAN - OPTION 2

**DEVELOPER**  
OVERLAND WEST INC.  
ERIK PETERSEN  
2805 WASHINGTON BLVD.  
OGDEN, UT 84401

**CIVIL ENGINEER**  
SARATHA SATHIENECKER, P.E.  
OPAL ENGINEERING, PLLC  
416 S. MAIN STREET SUITE 204  
PO BOX 2550  
HAILEY, IDAHO 83333

**LAND SURVEYOR**  
BRUCE SMITH, PLS  
ALPINE ENTERPRISES INC.  
660 BELL DR #1  
KETCHUM, ID 83340

**ARCHITECT**  
JAY CONE ARCHITECTURE, PC  
JAY CONE, AIA  
651 E. DORADO LANE  
HAILEY, IDAHO 83333



REVISION NO.	DATE	DESCRIPTION



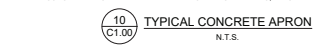
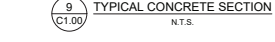
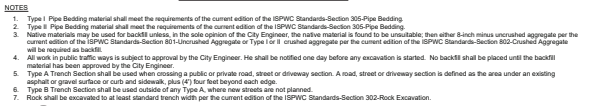
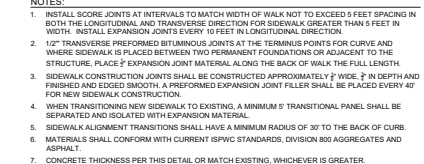
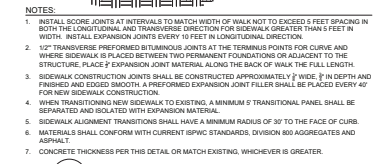
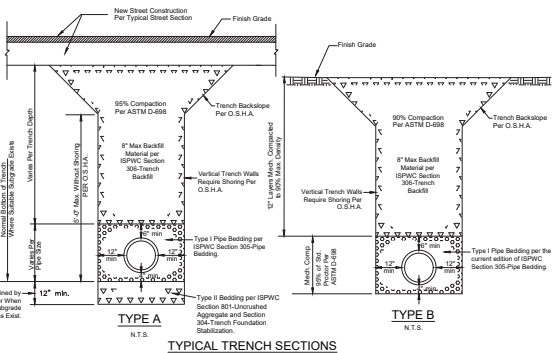
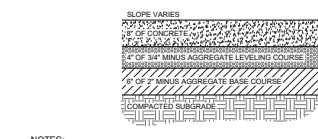
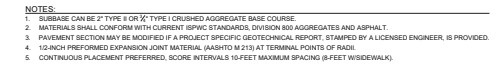
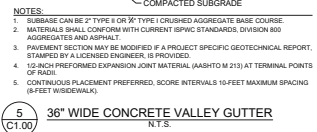
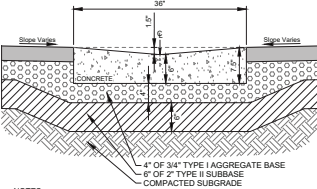
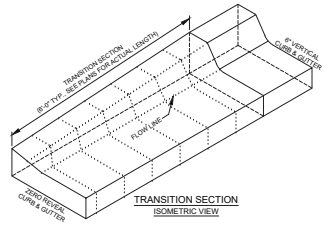
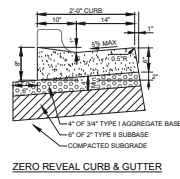
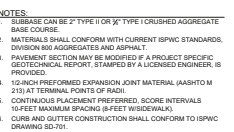
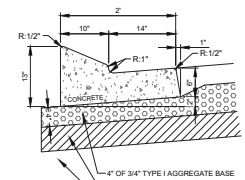
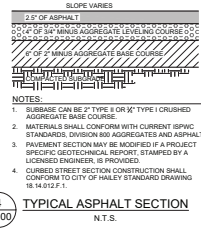
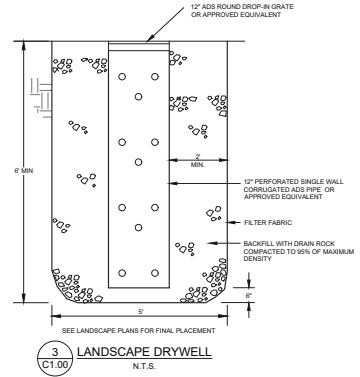
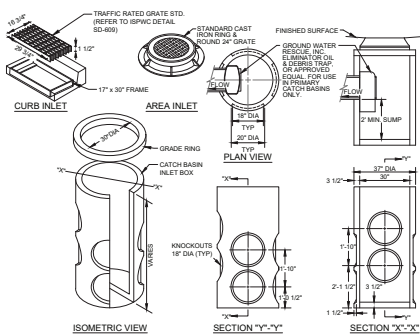
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

COVER SHEET

OVERLAND WEST- CAR RENTAL WASH STATION  
LOT 3A, BLOCK 4, AIRPORT WEST SUBDIVISION II  
PREPARED FOR: OVERLAND WEST INC. 2805 WASHINGTON BLVD. OGDEN, UT 84401  
DESIGNED BY: ERIC PETERSEN  
DATE: 11/20/24  
SCALE: AS SHOWN  
DRAWN BY: ERIC PETERSEN  
CHECKED BY: SARATHA SATHIENECKER  
DATE: 11/20/24

24011-01  
PROJECT NUMBER

C0.10



REVISION NO.	DATE	DESCRIPTION



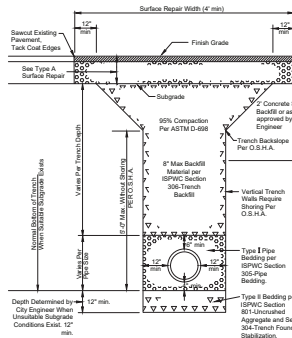
**PRELIMINARY NOT FOR CONSTRUCTION**

**DETAIL SHEET**

**OVERLAND WEST-CAR RENTAL WASH STATION LOT 34 WEST 4. AIRPORT WEST SUBDIVISION II**

24011-01

C1.00

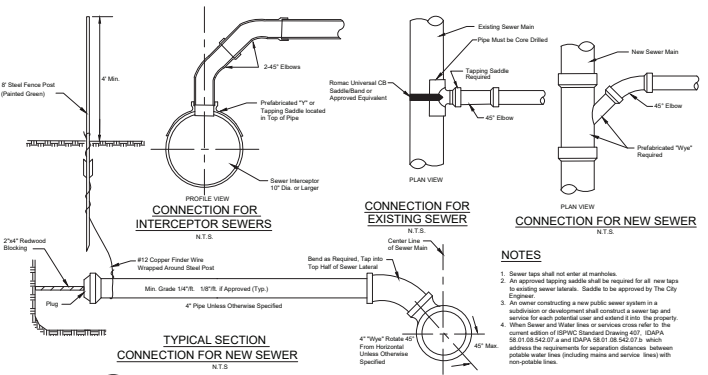


**EXISTING STREET TYPICAL TRENCH SECTION**  
N.T.S.

- NOTES**
1. Type I Pipe Bidding material shall meet the requirements of the current edition of the SPWVC Standards-Section 305-Pipe Bidding.
  2. Type II Pipe Bidding material shall meet the requirements of the current edition of the SPWVC Standards-Section 305-Pipe Bidding.
  3. Where 25% or more of any portion of the surface area of any pavement has been damaged within the project limits, full width restoration shall be required. Any strip of remaining pavement less than 2' shall be width along curb and gutter or pavement edge shall be removed and replaced.
  4. Native materials may be used for backfill unless, in the sole opinion of the City Engineer, the native material is found to be unstable. Then 8 inch minus aggregate, which meets the requirements of the current edition of the SPWVC Standards-Section 801-Unconsolidated Aggregate, will be required as backfill.
  5. The completed patch shall not deviate from existing surface more than .02 to 10 ft in any direction.
  6. The completed patch shall not pond water in excess of .02 feet in depth.
  7. Surface repair in gravel shoulder areas within 3 feet of pavement edge shall be 3 inch depth of Type I crushed aggregate per the current edition of the SPWVC Standards-Section 802-Crushed Aggregate.
  8. Contractor shall be responsible for maintenance of street repair for one year after installation. PUC registered utilities shall be responsible for a period of three years.
  9. All utility crossings, including but not limited to power, telephone, cable TV, gas, and water services, which cross existing paved roads shall be constructed by horizontal boring. Open cuts across paved roadways will only be allowed after a minimum of three failed attempts with approved boring tools. Where utility means are located under existing pavement, open cuts will be allowed and boring is not required. If in the judgment of the City Engineer, boring may be detrimental to the health, safety, or welfare of the public, boring will not be required and trenching will be allowed. A six foot trench less than deeper than the proposed utility shall be excavated adjacent to the edge of pavement for evaluation of soil conditions by the City Engineer to determine if boring shall be attempted or if trenching will be allowed.
  10. All trenches shall be required within 72 hours of starting the work unless prior approval to delay regrading has been provided by the City Engineer.
  11. Concrete Slurry Mix Design  
Concrete Aggregate (3/8" minus) 2,600 lbs  
Sand 800 lbs  
Cement 84 lbs (max)  
Water 11 gals (max)

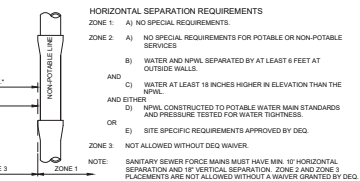
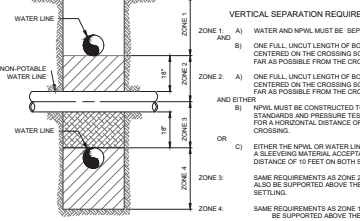
**1**  
**C1.01** TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)  
N.T.S.

**TYPE A SURFACE REPAIR AND BASE**  
N.T.S.

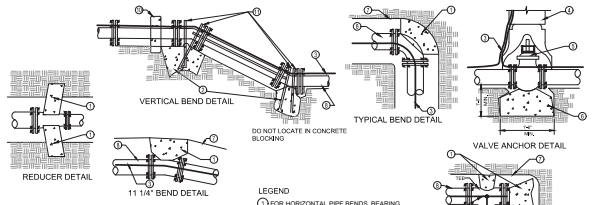


**2**  
**C1.01** CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)  
N.T.S.

**THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES**



**3**  
**C1.01** POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION  
N.T.S.



**TABLE 1**  
THRUST AREA FOR HORIZONTAL BENDS\*\*

SOIL BEARING PRESSURE = +200 PSF  
WORKING PRESSURE RATING = +150 PSF  
SAFETY FACTOR = 1.5

MINIMUM SQUARE FEET OF THRUST AREA ONTO UNDISTURBED EARTH\*

PIPE SIZE OF VALVE	90° BEND	45° BEND	22 1/2° BENDS OR REDUCER
3"	3.8	1.1	0.6
4"	4.4	2.0	0.9
6"	7.2	4.5	2.4
8"	7.7	8.0	3.2
10"	8.8	12.4	3.4
12"	12.7	18.0	5.0
14"	17.0	25.1	6.8
16"	22.8	32.1	8.8
18"	28.8	40.1	11.2

\* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH)  
OR TEE ACTING AS A 90° BEND  
\*\* THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3" AND 4" FOR PIPE SIZES 10" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

**4**  
**C1.01** THRUST BLOCK AND ANCHOR DETAILS  
N.T.S.



OPAI ENGINEERING, PLLC  
PO BOX 2425 - HAILEY, ID 83422  
WWW.OPAIENGINEERING.COM

PURPOSE: ISSUE FOR DESIGN REVIEW SUBMITTAL (11/20/2024)

REVISION NO.	DATE	DESCRIPTION



**PRELIMINARY NOT FOR CONSTRUCTION**

**DETAIL SHEET**

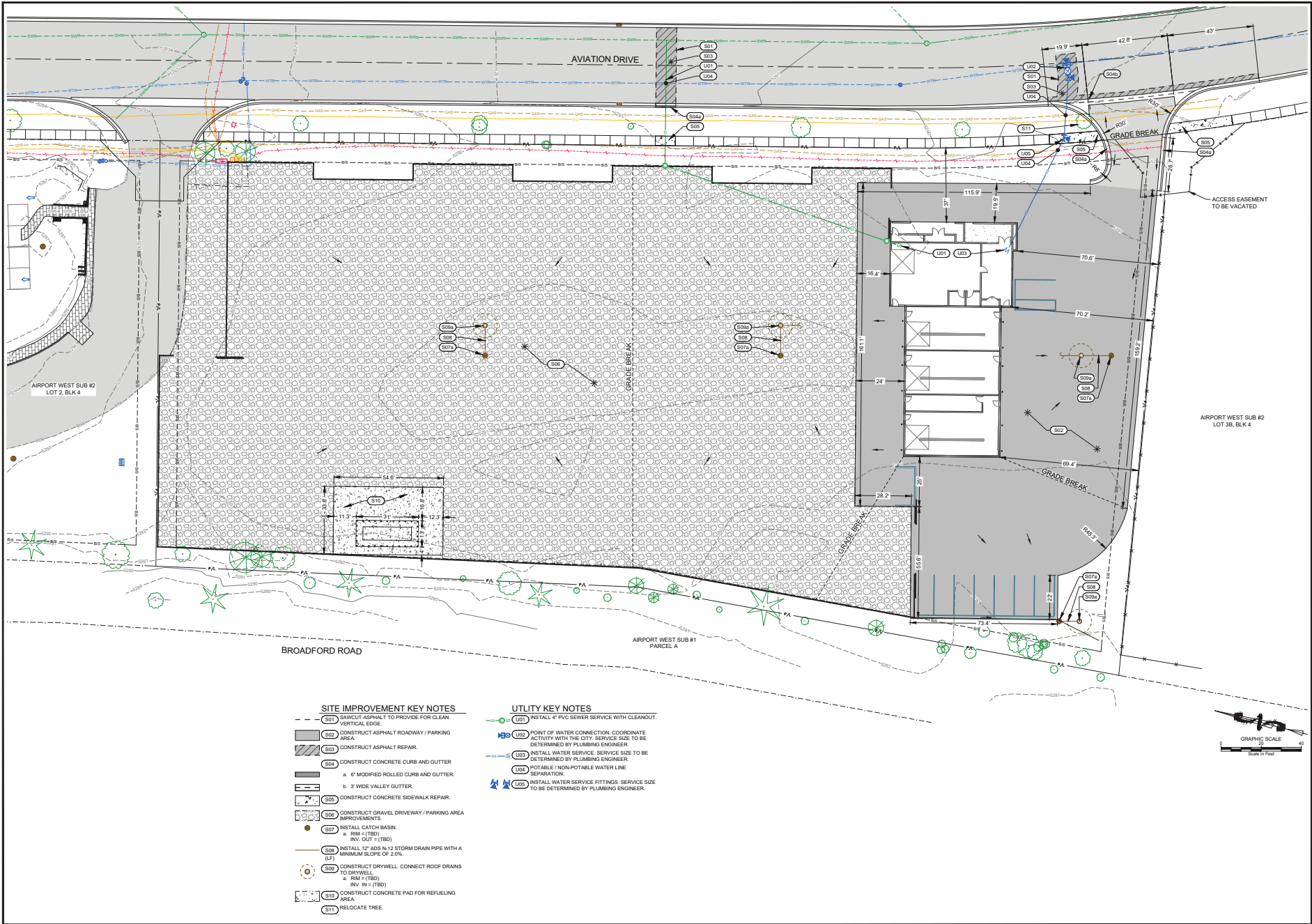
OVERLAND WEST - CAR RENTAL WASH STATION  
LOT 3A, BLOCK 4, AIRPORT WEST SUBDIVISION II

PREPARED FOR: CATER AND WESS, INC. 600 STATE STREET  
PROJECT NUMBER: 24011-01

24011-01  
PROJECT NUMBER

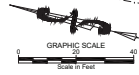
**C1.01**





- SITE IMPROVEMENT KEY NOTES**
- S01 SAWCUT ASPHALT TO PROVIDE FOR CLEAN VERTICAL EDGE.
  - S02 CONSTRUCT ASPHALT ROADWAY / PARKING AREA.
  - S03 CONSTRUCT ASPHALT REPAIR.
  - S04 CONSTRUCT CONCRETE CURB AND GUTTER.
    - a. 6" MODIFIED ROLLED CURB AND GUTTER.
    - b. 3" WIDE VALLEY GUTTER.
  - S05 CONSTRUCT CONCRETE SIDEWALK REPAIR.
  - S06 CONSTRUCT GRAVEL DRIVEWAY / PARKING AREA IMPROVEMENTS.
  - S07 INSTALL CATCH BASIN.
    - a. RIM = (TBD)
    - b. R.V. OUT = (TBD)
  - S08 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0% (LF).
  - S09 CONSTRUCT DRYWELL. CONNECT ROOF DRAINS TO DRYWELL.
    - a. RIM = (TBD)
    - b. R.V. IN = (TBD)
  - S10 CONSTRUCT CONCRETE PAD FOR REFUELING AREA.
  - S11 RELOCATE TREE.

- UTILITY KEY NOTES**
- W01 INSTALL 4" PVC SEWER SERVICE WITH CLEANOUT.
  - W02 POINT OF WATER CONNECTION. COORDINATE ACTIVITY WITH THE CITY. SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER.
  - W03 INSTALL WATER SERVICE. SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER.
  - W04 POTABLE / NON-POTABLE WATER LINE SEPARATION.
  - W05 INSTALL WATER SERVICE FITTINGS. SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER.



PURPOSE: ISSUE FOR DESIGN REVIEW SUBMITTAL (11/20/2024)

REVISION NO.	DATE	DESCRIPTION



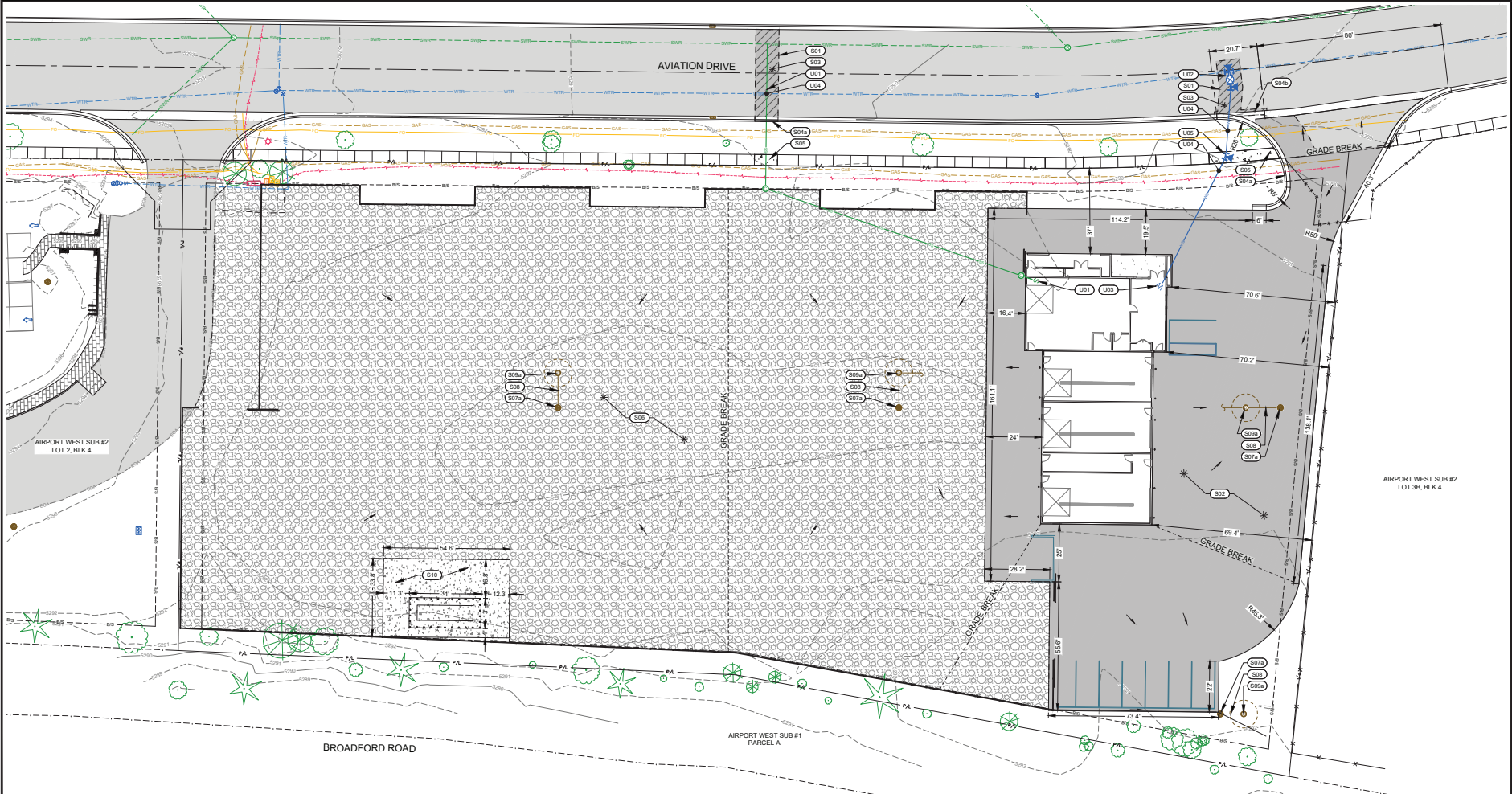
**PRELIMINARY NOT FOR CONSTRUCTION**

**SITE IMPROVEMENT PLAN  
OPTION 1**

OVERLAND WEST - CAR RENTAL WASH STATION  
LOT 3A, BLOCK 4, AIRPORT WEST SUBDIVISION II  
PREPARED BY: CARR AND WEST, INC. CONSULTING ENGINEERS

24011-01

C1.10A



- SITE IMPROVEMENT KEY NOTES**
- S100 SAWCUT ASPHALT TO PROVIDE FOR CLEAN VERTICAL EDGE.
  - S101 CONSTRUCT ASPHALT ROADWAY / PARKING AREA.
  - S102 CONSTRUCT ASPHALT REPAIR.
  - S103 CONSTRUCT CONCRETE CURB AND GUTTER.
    - a. 6" MODIFIED ROLLED CURB AND GUTTER.
    - b. 4" VALLEY GUTTER.
  - S104 CONSTRUCT CONCRETE SIDEWALK REPAIR.
  - S105 CONSTRUCT GRAVEL DRIVEWAY / PARKING AREA IMPROVEMENTS.
  - S106 INSTALL CATCH BASIN.
    - a. RIM = (TBD)
    - b. INV. OUT = (TBD)
  - S107 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0% (LF).
  - S108 CONSTRUCT DRYWELL. CONNECT ROOF DRAINS TO DRYWELL.
    - a. RIM = (TBD)
    - b. INV. IN = (TBD)
  - S109 CONSTRUCT CONCRETE PAD FOR REFUELING AREA.

- UTILITY KEY NOTES**
- U100 INSTALL 4" PVC SEWER SERVICE WITH CLEANOUT.
  - U101 POINT OF WATER CONNECTION. COORDINATE ACTIVITY WITH THE CITY. SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER.
  - U102 INSTALL WATER SERVICE. SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER.
  - U103 POTABLE / NON-POTABLE WATER LINE SEPARATION.
  - U104 INSTALL WATER SERVICE FITTINGS. SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER.



PURPOSE: ISSUE FOR DESIGN REVIEW SUBMITTAL (1/20/2024)

REVISION NO.	DATE	DESCRIPTION



**PRELIMINARY NOT FOR CONSTRUCTION**

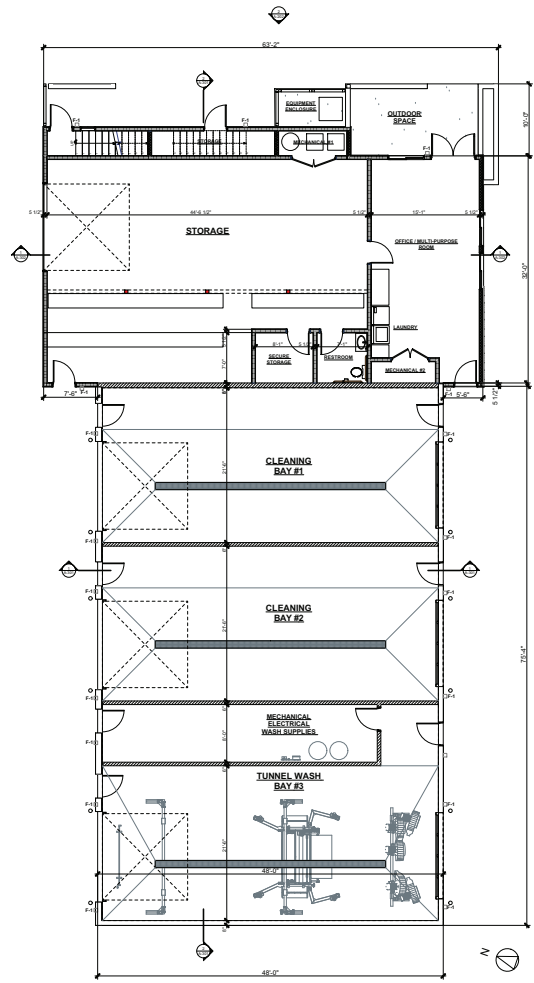
**SITE IMPROVEMENT PLAN  
OPTION 2**

OVERLAND WEST - CAR RENTAL WASH STATION  
LOT 3A, BLOCK 4, AIRPORT WEST SUBDIVISION II  
PREPARED BY: CACI AND WEST INC. CONSULTING ENGINEERS

24011-01

C1.10B





1 FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

Date:  
11/20/2024

Seal:  
  
 Nov. 15, 2024  
 Jay W. Cone  
 STATE OF OHIO

**1551 AVIATION DRIVE**

Issue:  
DESIGN REVIEW

JAY CONE ARCHITECTURE PC AIA  
 208.578.5226  
 jcone@jayconearchitecture.com  
 www.jayconearchitecture.com

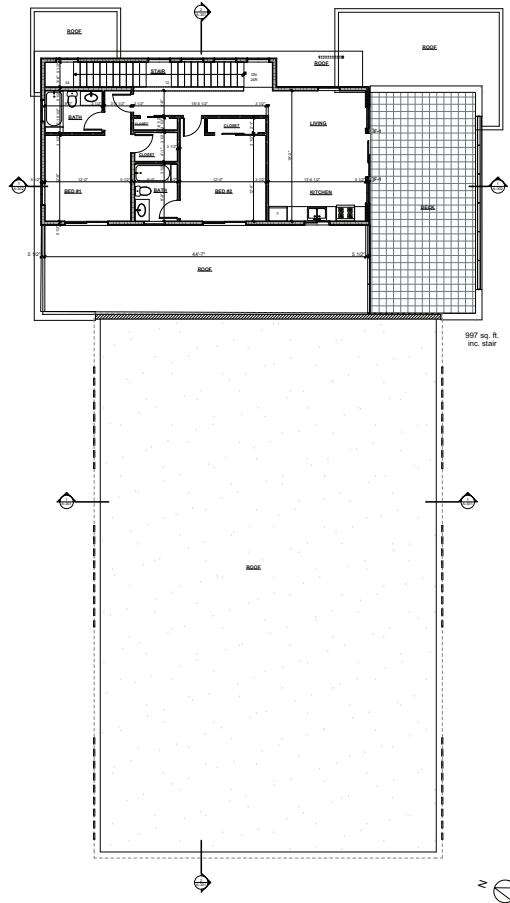
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JAY CONE ARCHITECTURE PC AIA  
 208.578.5226  
 jcone@jayconearchitecture.com  
 www.jayconearchitecture.com

Scale: AS NOTED  
 Drawn:  
 Job: 2024-18

**A-101**

\*DESIGN REVIEW ONLY\*



1 LOWER ROOF / SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

Date: 11/20/2024

Seal:



1551 AVIATION DRIVE

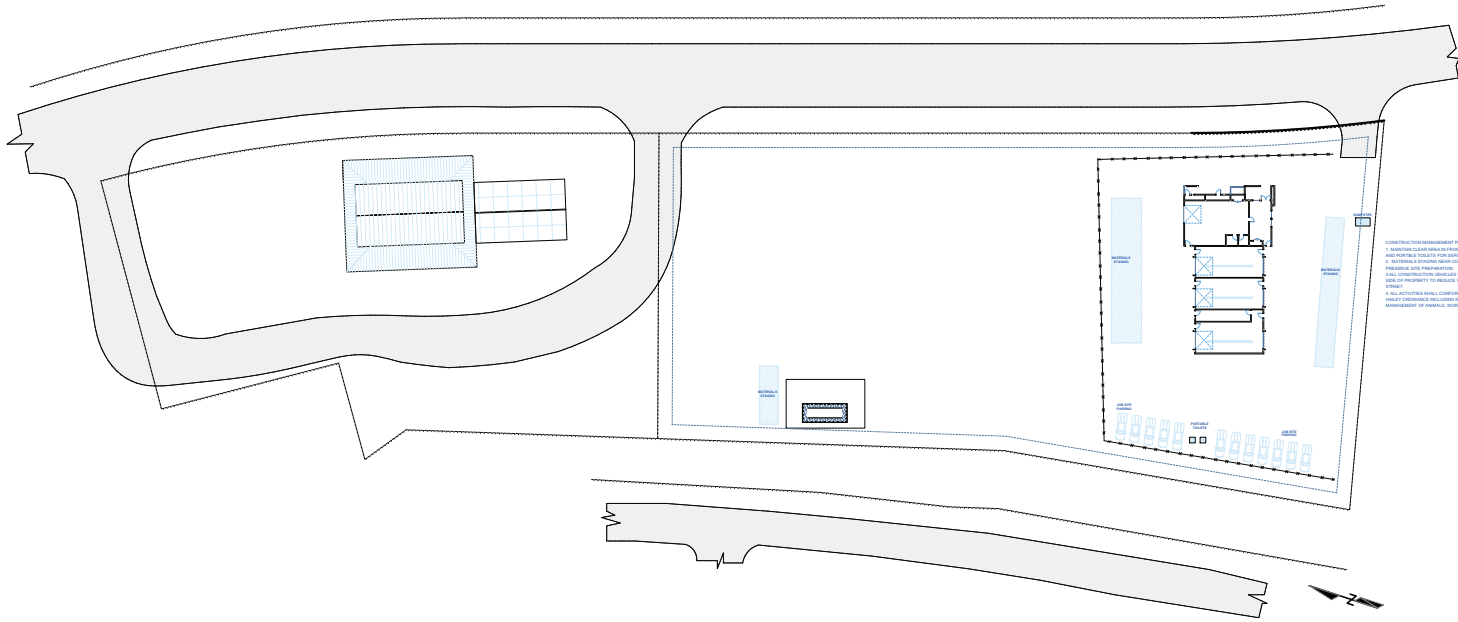
Issue: DESIGN REVIEW

JAY CONE ARCHITECTURE PC  
COMPLETE PLEASANTON PROJECT  
LAW COPY MUST SHOW  
PROFESSIONAL SEAL AND SIGNATURE  
DATE. THESE PLANS MAY NOT BE  
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WITHOUT THE WRITTEN  
CONSENT OF JAY CONE ARCHITECTURE PC.  
IF YOU HAVE COMMENTS,  
CALL OR E-MAIL US.  
THIS DRAWING HAS  
BEEN PREPARED OR  
REVISED, APPROVED AND  
DATED AS FOLLOWS:


Scale: AS NOTED  
Drawn:  
Job: 2024-18

A-102

\*DESIGN REVIEW ONLY\*



1 STAGING AND PARKING PLAN  
 SCALE: 1" = 40'

Date: 11/20/2024

Seal:  
 LICENSING ARCHITECTURE ARCHITECT  
 Nov. 15, 2024  
 Jay W. Cone  
 STATE OF MISSISSIPPI

**1551 AVIATION DRIVE**

Issue: DESIGN REVIEW

JAY CONE ARCHITECTURE PC  
 1551 AVIATION DRIVE  
 MEMPHIS, TN 38119  
 TEL: 208.578.5226  
 FAX: 208.578.5227  
 WWW.JAYCONEARCHITECTURE.COM

Scale: AS NOTED  
 Drawn:  
 Job: 2024-18

AS-104

SHEET 8 OF 21

\*DESIGN REVIEW ONLY\*



1 WEST ELEVATION  
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

Date: 11/20/2024

Seal:  


**1551 AVIATION DRIVE**

Issue: DESIGN REVIEW

JAY CONE ARCHITECTURE PC AIA  
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Scale: AS NOTED  
 Drawn:  
 Job: 2024-18

A-201

\*DESIGN REVIEW ONLY\*



1 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION  
SCALE: 3/16" = 1'-0"

Date: 11/20/2024

Seal:



1551 AVIATION DRIVE

Issue: DESIGN REVIEW

JAY CONE ARCHITECTURE PC, COMPANY LICENSE NUMBER: 1551. I AM NOT PROVIDING ANY CONTRACT DOCUMENTS TO ANY OTHER PARTY. I AM PROVIDING THESE DRAWINGS TO YOU FOR YOUR INFORMATION ONLY. YOU ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. I AM NOT PROVIDING ANY CONTRACT DOCUMENTS TO ANY OTHER PARTY. I AM PROVIDING THESE DRAWINGS TO YOU FOR YOUR INFORMATION ONLY. YOU ARE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.


Scale: AS NOTED  
Drawn:  
Job: 2024-18

A-202



1 **SOUTHWEST**  
SCALE: 1/8" = 1'-0"



**PRODUCT SPECS**

Dimensions	
Extension	3.75"
Height	18.5"
Product Height	0.50x4
Shade Height	0.13"
Shade Length	4.44"
Shade Width	4.44"
Wall Plate Dimensions	2.75" x 5.75"
Width	5"
Wire Length	6.5"

**F-1 Wall mounted fixture:**  
 15 Watt, 3000K A-19 LED = 1600 Lumens  
 Waterproof with lens.  
 Dark Bronze  
 Verity w/ Architect downcast only

2 **Exterior Wall Fixture**  
SCALE: 1/2" = 1'-0"

Date: 11/20/2024

Seal:  
 LICENSING ARCHITECTURE ARCHITECT  
 Nov. 15, 2024  
 Jay W. Cone  
 STATE OF MISSISSIPPI

**1551 AVIATION DRIVE**

Issue:  
**DESIGN REVIEW**

JAY CONE ARCHITECTURE PC  
 1551 AVIATION DRIVE  
 MEMPHIS, TN 38119  
 208.578.5226  
 jcone@jayconearchitecture.com  
 www.jayconearchitecture.com


Scale: AS NOTED  
 Drawn:  
 Job: 2024-18

**A-801**

\*DESIGN REVIEW ONLY\*



2 BIRDSEYE VIEW



1 SOUTHWEST



PRODUCT SPECS

Dimensions	
Dimension:	7.75"
Height:	38.5"
Product Weight:	8.55lb
Shade Height:	0.33"
Shade Length:	4.44"
Shade Width:	4.44"
Wall Face Dimension:	2.75" x 5.7"
Width:	5"
Wire Length:	6.5"

F-1 Wall mounted fixture:  
15 Watt, 3000K A-19 LED = 1600 Lumens  
Waterproof with lens.  
Dark Bronze  
Verify w/ Architect downcast only

3 Exterior Wall Fixture



Product Details

- 42" high x 6 1/4" wide, Weights 12 lbs.
- Built-in dimmable switchable 14/19/24 watt LED module: switchable 1700/2300/3000 lumen light output, comparable to a 100/150 watt incandescent.
- 3000K/4000K/5000K: tunable color temperature, 80 CRI

Height	42.50 inches
Depth	42.50 inches
Manufacturer Number	C205BC4-245-BZ

F-2 Ground mounted fixture:  
14 Watt, 3000K LED = 1000 Lumens  
Waterproof with lens.  
Dark Bronze  
Verify w/ Architect downcast only

4 Ground Mounted Light

Date: 12/6/2024

Seal:



1551  
AVIATION DRIVE

Issue:

DESIGN REVIEW

JAY CONE ARCHITECTURE PC  
I HEREBY CERTIFY THAT I AM THE ARCHITECT OF RECORD FOR THIS PROJECT AND THAT I AM A LICENSED ARCHITECT IN THE STATE OF IDAHO.

JAY CONE  
ARCHITECTURE PC  
1551 AVIATION DRIVE  
BOISE, IDAHO 83725


Scale: AS NOTED

Drawn:

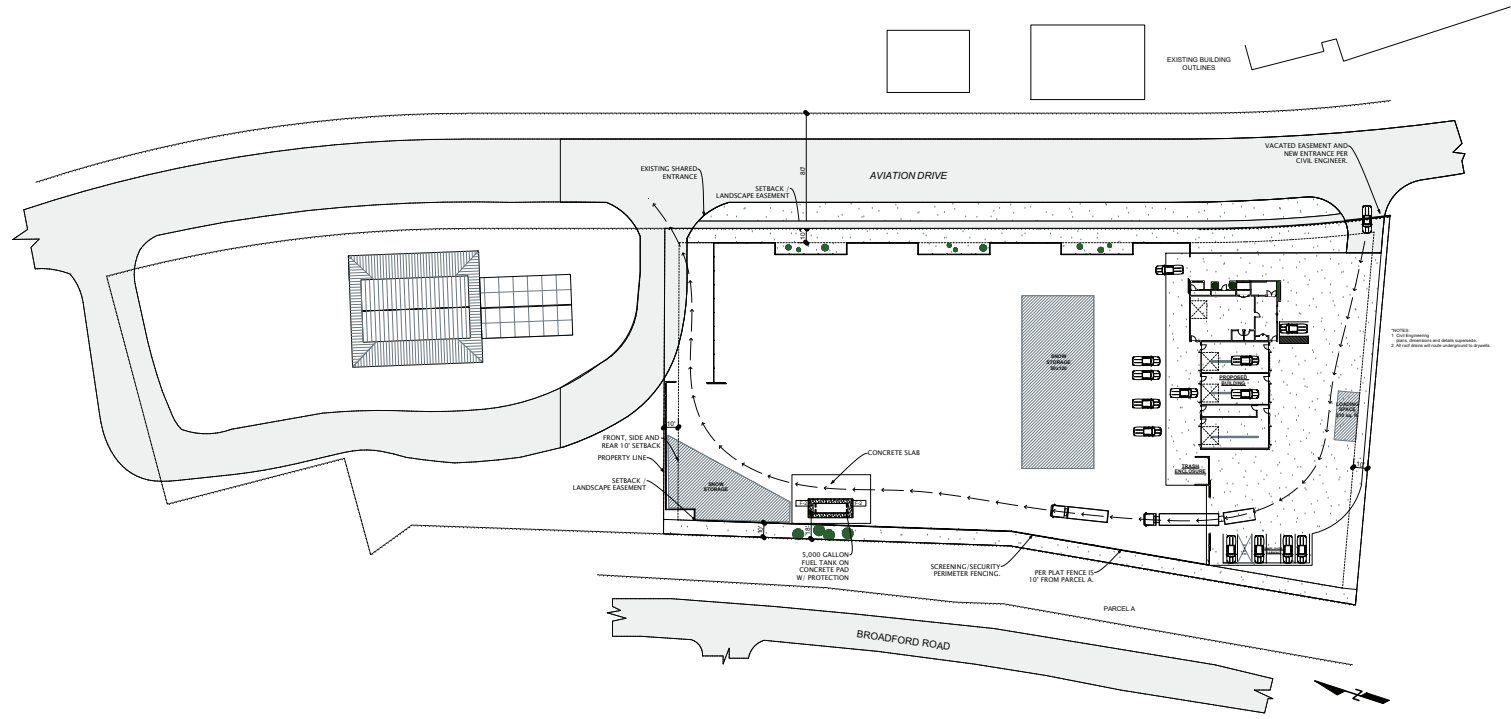
Job: 2024-18

A-801

SHEET 31 OF 31

\*DESIGN REVIEW ONLY\*

\*DESIGN REVIEW ONLY\*



1 ARCHITECTURAL SITE PLAN  
 SCALE: 1" = 40'



**Return to Agenda**

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

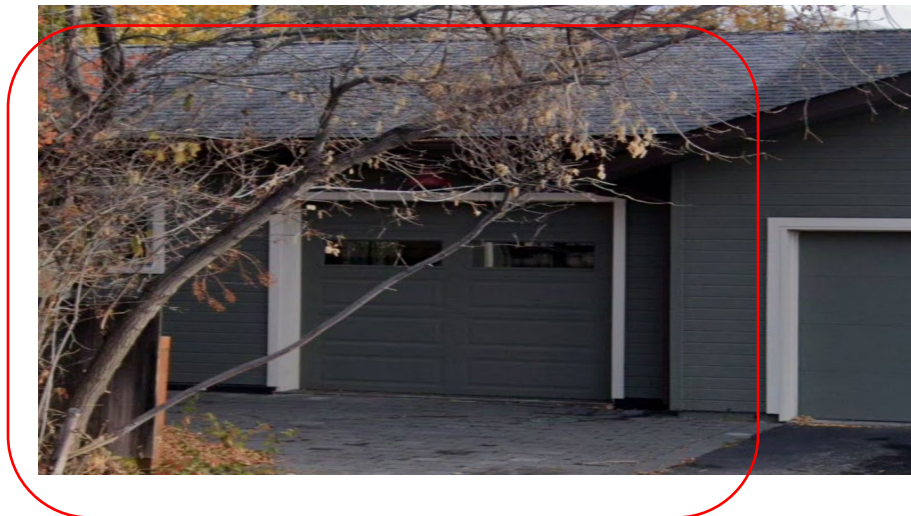
On December 16, 2024, the Planning and Zoning Chair and Administrator considered an Accessory Dwelling Unit (ADU) Application by Christina Gamache and Judith Fleissner for an attached 449 square foot ADU. This project is located at 561 Shoshone Drive (Lot 2, Block 1, Hiawatha Estates Subdivision #3).



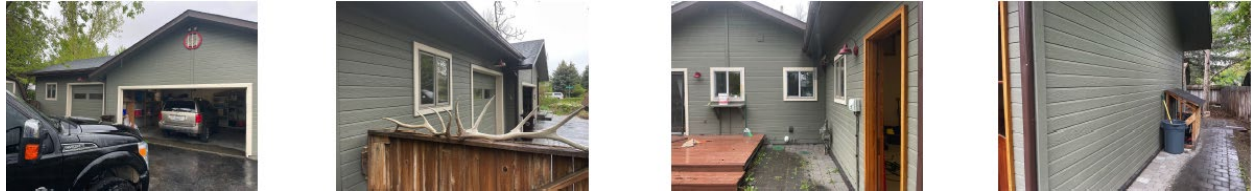
### FINDINGS OF FACT

**Notice:** Notice for the ADU Application was mailed to property owners within 300 feet on November 6, 2024. The Public Comment period was open from November 21, 2024, to December 3, 2024. Several public comments were received with concerns about short-term rental/vacancy and on-street parking.

**Application:** The Applicant is proposing to convert an existing onsite structure into a 449 square foot, attached Accessory Dwelling Unit (ADU). The Applicant is proposing to remodel the existing shop/one-car garage to create the ADU. The existing structure is attached to the single-family residence and is located toward the northern side of the property. The Owners intend to utilize the existing single-family residence as their primary residence, and the ADU as living space for a family member. Current access to the proposed ADU will be located off the primary public street, S. Sixth Avenue and Chestnut Street.



**Design Elements and Exterior Materials:** The proposed ADU is located within an existing single-family structure and all exterior materials are planned to match the primary residence. The only exterior changes for the ADU portion of the residential structure are a new wall to replace the bay/garage door, a new front door, and new windows. All new materials will match the existing.



**Procedural History:** The Accessory Dwelling Unit Application was submitted on October 31, 2024, and certified complete on November 12, 2024.

**Standards of Evaluation:** Chapter 17.06 of the Hailey Municipal Code establishes the criteria for applications for Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

**17.06.010. No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval or exemption, pursuant to this chapter, as outlined in the matrix below:**

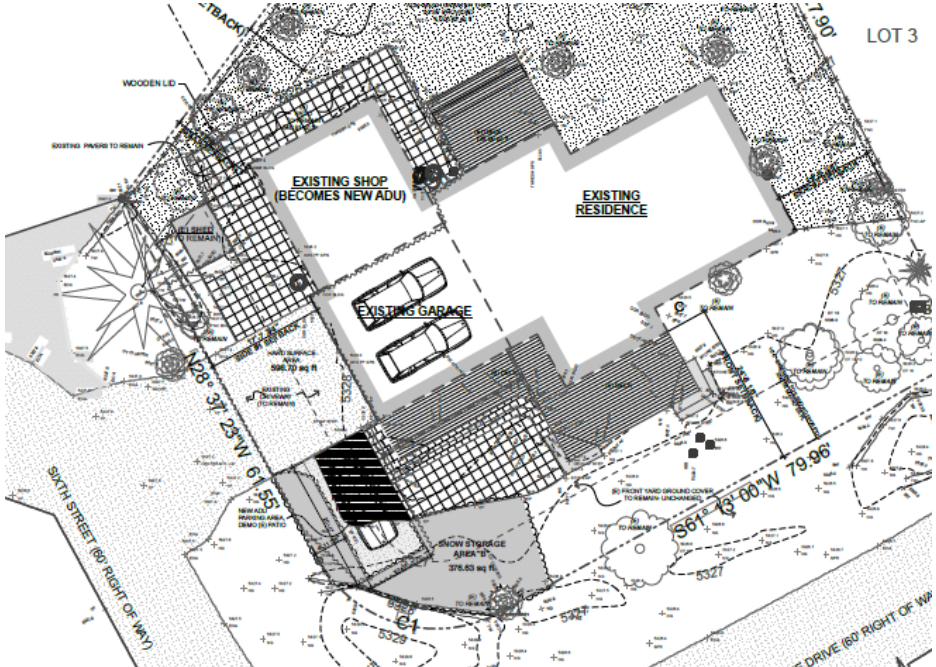
Type of Use	Exempt (PZ Chair And Administrator)	Hearings Examiner	Full PZ Review
<b>New construction:</b>			
<b>All zones: Nonresidential buildings</b>			X
<b>All zones: Residential of 3 or more units</b>			X
<b>All zones other than Townsite Overlay District: Accessory Dwelling Units</b>	X		
<b>Townsite Overlay District: New single-family or duplex</b>			X
<b>Townsite Overlay District: Accessory structures (including Accessory Dwelling Units)</b>			X

The proposed Application is to convert an existing one-car garage/shop into an Accessory Dwelling Unit (ADU), to be located at 561 Shoshone Drive (Lot 2, Block 1, Hiawatha Estates #3 Subdivision) within the Limited Residential (LR-1) Zoning District.

<b>General Requirements for Accessory Dwelling Units</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.020	<b>Applicability.</b> A. The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04D.030	<b>General Provisions.</b> A. Accessory Dwelling Units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached Accessory Dwelling Units may comprise the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising of the remaining floor area.
			<i>Staff Comments</i>	<p>The ADU is proposed to be located in the existing onsite shop/garage which is attached to the primary single-family residence. The gross square footage of the ADU is 449 square feet. The existing asphalt driveway is proposed to service both the primary residence, as well as the ADU. Parking for the ADU is provided via the existing driveway and within an onsite parking pad.</p> <p>With regard to setbacks, this parcel is located within the Limited Residential (LR-1) Zoning District. In said district, the <b>required minimum setbacks</b> are as follows:</p> <ul style="list-style-type: none"> <li>- <b>Front: 25'; Sides: 10'</b> is the base setback + from adjacent properties - one (1) additional foot for every two (2) of building height that exceeds 20' in height, or the required side setbacks for this project based on building height is 12.5'; <b>Rear: 10'.</b></li> </ul> <p>The <b>proposed setbacks for the ADU</b> are as follows:</p> <ul style="list-style-type: none"> <li>- <b>Front: 24.8' 1/6"; Side (#1-N): 17.7' 3/4"; Side (#2- S): 14.8' 3/8"; Rear: 12' 1/8".</b> The setback requirements of the zoning district have been met.</li> </ul> <p>The Applicant has designed the building to reflect other ADU building types in Hailey, where an attached ADU unit creates a secondary dwelling with onsite parking. The primary dwelling unit also includes an additional attached garage, with two (2) garage spaces to serve the single-family unit. The ADU portion of the structure is positioned towards the side/rear of the single-family residence and appears subordinate in scale and size to the primary dwelling building portion. Additionally, all bulk requirements with respect to setbacks, lot coverage, building height, and density comply with Hailey's Municipal Code.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>B. Only one (1) Accessory Dwelling Unit is permitted on a lot.</b>
			<i>Staff Comments</i>	Only one (1) ADU is proposed onsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>C. Accessory Dwelling Units are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transition and SCI zones, Accessory Dwelling Units are permitted in conjunction with commercial buildings. In Business, Limited Business and Neighborhood Business, one or more residential unit(s) are considered.</b>
			<i>Staff Comments</i>	The proposed ADU is in conjunction with an existing single-family residence, and both are located within the Limited Residential (LR-1) Zone District.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<b>D. Accessory Dwelling Units in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in Section 17.04J.020, "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.</b>


			<i>Staff Comments</i>	<i>N/A, as the proposed ADU is not located within the Special Flood Hazard Area.</i>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.040: Registration of Accessory Dwelling Units Required	A. All Accessory Dwelling Units created after February 10, 2021, shall be issued an Accessory Dwelling Unit Compliance Certificate.												
			<i>Staff Comments</i>	<i>Upon completion of construction for the proposed ADU, a Compliance Certificate will be issued.</i>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.050: Occupancy Restrictions - Short Term Occupancy	A. Where a lot contains both a primary dwelling unit and an Accessory Dwelling Unit, only one dwelling unit shall be utilized for Short-Term Occupancy;												
			<i>Staff Comments</i>	<i>At this time, the Owners intend to utilize the ADU as living quarters for a family member. The Owners further intend to reside in the primary residence. This standard shall be met and has been made a Condition of Approval.</i>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.												
			<i>Staff Comments</i>	<i>At this time, the Owners intend to utilize the ADU as living quarters for a family member. The Owners further intend to reside in the primary residence. This standard shall be met and has been made a Condition of Approval.</i>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.060: Subordinate Scale and Size	A. Scale: The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.												
			<i>Staff Comments</i>	<p><i>Pursuant Hailey's Municipal Code, <b>Gross Floor Area</b> is defined as:</i></p> <ul style="list-style-type: none"> <li>- <i>The gross area included within the surrounding exterior walls of a building or portion thereof, including all floor levels, exclusive of vent shafts, outdoor courts, attics or garages, or other enclosed automobile parking areas subject to the following restrictions:</i> <ul style="list-style-type: none"> <li>- <i>The basement of a single- or multiple-family dwelling is not included as floor area; and</i></li> <li>- <i>The basement of any other building is included as floor area.</i></li> </ul> </li> </ul> <p><i>The gross floor area, exclusive of the garage, and including the existing shop/future ADU of 449 square feet plus the principal building is approximately 1,801 square feet in size. The lot coverage is calculated to be approximately 17% of lot coverage, which meets the standard and is well below the maximum 40% of coverage allowed.</i></p> <p><i>The lot size is 10,473 square feet, which would allow for a maximum gross floor area of 1,000 square feet. That said, the Owners are proposing a maximum gross floor area, exclusive of garage, of the existing 1,352 square feet single-family residence plus the existing 449 square feet (ADU), for a total of 1,801 square feet of coverage, which complies with this standard.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>B. Maximum Floor Area:</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Lot Size (square feet)</th> <th style="text-align: center;">Minimum Gross Floor Area (square feet)<sup>1</sup></th> <th style="text-align: center;">Maximum Gross Floor Area (square feet)<sup>1</sup></th> </tr> </thead> <tbody> <tr> <td>Up to 7,000</td> <td style="text-align: center;">300</td> <td style="text-align: center;">900</td> </tr> <tr> <td>7,001 – 8,000</td> <td style="text-align: center;">300</td> <td style="text-align: center;">950</td> </tr> <tr> <td>Lots 8,001 and greater</td> <td style="text-align: center;">300</td> <td style="text-align: center;">1,000</td> </tr> </tbody> </table> <p>Gross square footage calculations for Accessory Dwelling Units do not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.</p>	Lot Size (square feet)	Minimum Gross Floor Area (square feet) <sup>1</sup>	Maximum Gross Floor Area (square feet) <sup>1</sup>	Up to 7,000	300	900	7,001 – 8,000	300	950	Lots 8,001 and greater	300	1,000
Lot Size (square feet)	Minimum Gross Floor Area (square feet) <sup>1</sup>	Maximum Gross Floor Area (square feet) <sup>1</sup>														
Up to 7,000	300	900														
7,001 – 8,000	300	950														
Lots 8,001 and greater	300	1,000														



			<b>Staff Comments</b>	<i>Please refer to Section 17.08D.060A, noted above, for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>C. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.</b>
			<b>Staff Comments</b>	<i>The proposed ADU has one (1) bedroom.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.070: Livability</b>	<b>A. Outdoor Access: All Accessory Dwelling Units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineated by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. The Outdoor Access area shall be approved through the Design Review process.</b>
			<b>Staff Comments</b>	<p><i>The Owners are proposing to utilize the existing 125 square foot deck and 540 square foot patio space of approximately 555 square feet of outdoor space for the ADU unit.</i></p> <p><i>The single-family residence also has a separate deck and patio to provide for private enjoyment of the outdoors. The shared idea warrants a successful tenant and owner relationship and is compatible for both parties.</i></p> <p><i>The overall outdoor space is proposed to be utilized by the owners and tenants of the single-family residence and ADU (see image below for further details).</i></p> 

**Chapter 17.09: Parking and Loading**

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09 020.05.B</b>	<b>Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.</b>
			<b>Staff Comments</b>	<i>The existing paved driveway will be utilized for both the primary dwelling unit and the ADU. Parking for the primary residence is located in the two-car garage while the proposed parking for the ADU is a one car onsite parking pad. The proposed onsite one car parking pad has been made a Condition of Approval.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.05.D	<p><b>Mitigation for Accessory Dwelling Unit parking spaces: Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.</b></p>
			<i>Staff Comments</i>	<p><i>The proposed ADU parking is located on an onsite parking pad that is separate but adjoining the existing two-car garage.</i></p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040.01	<p><b>Accessory Dwelling Units and all dwelling units less than 1,000 square feet require one (1) parking space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.</b></p>
			<i>Staff Comments</i>	<p><i>This standard has been met. A single-car parking pad is proposed for the ADU, in conjunction to the existing 2-car garage for the primary residence. This has been made a Condition of Approval.</i></p>

### CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Planning and Zoning Chair and Administrator make the following Conclusions of Law:

1. Adequate notice, pursuant to the Hailey Municipal Code, Title 17, Chapter 17.06, Design Review, 17.06.020(B), was given.
2. The project is in general conformance with the Hailey Municipal Code, Title 17, and the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Given the nature of this project, this constitutes a minor project, will not conflict with the Design Review Standards of this Chapter, and will not adversely impact any adjacent properties.
5. The proposed project is documented in the project file.

**Conditions of Approval.** The following Conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey’s Municipal Code at the time of the new use.
- c) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law, and Decision.
- d) The lot contains a primary dwelling and an Accessory Dwelling Unit. Only one (1) dwelling unit shall be utilized for short-term occupancy. If one (1) dwelling unit is utilized for short-term

occupancy, the other unit shall be owner-occupied or utilized as a long-term rental (31 days or longer).

- e) The Applicant shall provide a one-car parking pad onsite as proposed on the site plan for the ADU's required parking. All parking must be kept onsite.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Janet Fugate, Chair

\_\_\_\_\_  
Robyn Davis, Community Development Director



**Return to Agenda**