

**Agenda**  
**Hailey Planning and Zoning Commission**  
**Tuesday, February 18, 2025**  
**5:30 p.m.**

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

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**Call to Order**

- Public Comment for items not on the Agenda.

**Consent Agenda - ACTION ITEM**

- [CA 1](#) Motion to approve Findings of Fact, Conclusions of Law, and Decision of a City-Initiated Text Amendment amending Hailey's Municipal Code, Title 16: Subdivision Regulations, Chapter 16.01 Definitions to modify, refine, remove, and/or add various definitions to the title **ACTION ITEM**
- [CA 2](#) Motion to approve meeting minutes dated January 21, 2025. **ACTION ITEM**

**Public Hearing(s) - ACTION ITEM**

- [PH 1](#) Consideration of a Design Review Application submitted by Overland West, Inc., represented by Jay Cone, for a commercial building, consisting of two (2) cleaning bays, one (1) tunnel wash bay, storage and a multi-purpose room with a two-bedroom Accessory Dwelling Unit (ADU) located on the second floor. This project is located at 1551 Aviation Drive, (Lot 3A, Block 4, Airport West Sub #2) within the SCI-Industrial (SCI-I) Zoning District. **ACTION ITEM**
- [PH 2](#) Consideration of a Design Review Application, submitted by Spud Locker, LLC, represented by Chad Blincoe, for the construction of a new 22,443 square foot storage building that would replace the existing storage units onsite. This project is located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision) within the Light Industrial (LI) Zoning District. **ACTION ITEM**

- [PH 3](#) Consideration of a City-Initiated Text Amendment amending Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.60: Bulk Requirements to allow increased flexibility to certain bulk requirements for development projects that preserve a historic commercial or residential structure within the Townsite Overlay (TO) Zoning District. **ACTION ITEM**

**Administrative Review – NO ACTION ITEM**

- [AR 1](#) Accessory Dwelling Unit (ADU) Application by Mark Cosslett for the proposed addition of an internal 463 square foot ADU. This project is located at 1050 Red Elephant Drive (Lot 6, Block 4, Della View Subdivision).

**Staff Reports and Discussion**

- **SR 1** Discussion: Upcoming Projects, Code Changes, Next Planning and Zoning Meeting:
  - **Monday, March 3, 2025 – Meeting to begin at 5:00pm:**
    - DIF – Study Prep
    - Comp Plan
    - DR 637

**Return to Agenda**

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On January 21, 2025, the Hailey Planning and Zoning Commission recommended for approval by the Hailey City Council a City-Initiated Text Amendment amending Hailey's Municipal Code, Title 16: Subdivision Regulations, Chapter 16.01 Definitions to modify, refine, remove, and/or add various definitions to the title.

### FINDINGS OF FACT

Applicant: City of Hailey  
Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to public agencies on December 23, 2024.

**Background:** The content of a municipal code should be evolving and community-affirming. A code, allowed to become stagnant, cannot serve its purpose effectively. Citizens, business owners, developers, and municipal officials need a code that is accurate, easy to understand, and enforceable. In an effort to continue to retain clarity, accurateness, and timelessness, City Staff are proposing amendments to existing definitions, or the addition of terms, to Title 16: Subdivision Regulations, Chapter 16.01.010 General Definitions, of Hailey's Municipal Code.

A "subdivision city code definition" refers to the specific regulations and standards outlined within the city's legal code that governs the process of dividing a parcel of land into smaller lots, typically for residential development, including requirements for things like lot size, street access, utilities, and infrastructure planning, all aimed at ensuring orderly development within a community.

**Reasoned Statement:** These Findings of Fact, Conclusions of Law, and Decision ("Findings") represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

The Planning and Zoning Commission held a public hearing on the item on January 21, 2025. At this meeting, the Commission discussed and refined definitions for Title 16: Subdivision Regulations, Chapter 16.01 Definitions. With very little edits, the Commission unanimously recommended approval to the City Council the proposed text amendment amending Hailey's Municipal Code, Title 16: Subdivision Regulations, Chapter 16.01 Definitions to modify, refine, remove, and/or add various definitions to the title.

#### **Title 16: Subdivision Regulations**

**Chapter 16.01: Definitions:** The definitions have been added or modified to add full transparency and clarity, while refining the chapter to align with the State Code, as applicable.

#### **16.01.010: GENERAL DEFINITIONS:**

Words and phrases used in this title, or referenced in this title, but defined in Titles 17 and/or 18, shall have the meanings set forth in this and/or those sections. All other words and phrases shall be given their common, ordinary meaning, unless the context clearly requires otherwise. The present tense



includes the future tense, the singular includes the plural, and the plural number includes the singular, unless the context clearly indicates otherwise. For the purpose of this title, certain terms or words used herein shall be interpreted as follows:

**AS BUILT DRAWINGS:** Plans and specifications, certified by the subdivider's engineer, depicting the location, type, and details of improvements installed by the subdivider. "As constructed drawings" and "as built drawings" are synonymous.

**BLOCK:** A group of lots within a defined or fixed boundary that has been legally surveyed, generally surrounded by public streets.

**BUILDING ENVELOPE** Refer to Title 17, Section 17.02, Definitions, for a detailed definition.

**COMMISSION:** Refer to Title 17, Section 17.02, Definitions, for a detailed definition.

**COMMON AREA:** A common area in a subdivision that may include interior or exterior circulation paths, rooms, spaces or elements for use by residents of the subdivision.

**COMMON AREA, LIMITED:** A common area in a subdivision that is reserved for the use of a specific unit or lot, to the exclusion of other units or lots. The area is owned by the community or homeowners' association (HOA), but the owner of the unit or lot has the exclusive right to use it.

**DWELLING UNIT:** Refer to Title 17, Section 17.02, Definitions, for a detailed definition.

**EASEMENT:** A legal property interest (less than fee simple estate) which one person or entity has in land owned by another, entitling the owner of this interest to limited use or enjoyment of the other's land, such as for a driveway, utility lines, or similar.

**IMPROVEMENTS REQUIRED:** Those subdivision improvements required to be constructed after preliminary plat approval and prior to final plat approval by the Council.

**LOT, AREA:** The area within the boundaries of a lot, exclusive of any of the area contained within a public or private street, alley, fire lane or private driveway easement.

**LOT DIMENSIONS:** Lot dimensions are the measurements of a piece of land, including its area, depth, width, and frontage.

**LOT, UNBUILDABLE:** A piece of land that is not suitable for construction, which can be due to several reasons, including zoning laws, environmental regulations, hillside and floodplain/floodway regulations, or safety concerns.

**PERFORMANCE BOND/SURETY:** Either the amount of money, or other negotiable security, deposited by the subdivider with the City Clerk, or a bond executed by a qualified surety company, which guarantees that the subdivider will perform all actions and install all required improvements/infrastructure or the surety will pay the costs and damages up to a limit of the amount of bond or security deposited.

**PHASED DEVELOPMENT:** Refer to Title 17, Section 17.02, Definitions, for a detailed definition.

**PLANNING STAFF:** Refer to Title 17, Section 17.02, Definitions, for a detailed definition.

**PLAT, FINAL:** ~~The plat which, if approved, will be submitted to the county recorder for recording.~~ A map of a subdivision, planned unit development (PUD) or dedication, prepared by a certified engineer and in conformance with the approved preliminary plat. The final plat shall be prepared in accordance with this chapter, as well as Idaho Code title 50, chapter 13, as amended or subsequently codified.

**PLAT, PRELIMINARY:** A preliminary plat, prepared by a certified engineer and in conformance with this chapter, submitted together with other documentation as required by this chapter.

**PLAT, RECORDED:** A final plat which has been accepted by the council and filed with the Blaine County Recorder.

**SETBACK:** Refer to Title 17, Section 17.02, Definitions, for a detailed definition.

**STREET, FRONTAGE:** The property line where a lot abuts a street.

#### **Standards of Review:**

Criteria for Review. Section 17.14.060(A) of the Hailey Municipal Code provides “when evaluating any proposed amendment under this chapter”, the hearing examiner or commission and council shall make findings of fact on the following criteria:

1. The proposed amendment is in accordance with the comprehensive plan.
2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.
3. The proposed uses are compatible with the surrounding area; and
4. The proposed amendment will promote public health, safety, and general welfare.

#### **1. The proposed amendment is in accordance with the comprehensive plan;**

Hailey’s Municipal Code should continue to address and promote the principles and lifestyle components that are most essential to our community’s identity. Our code is the foundation from which our municipality and citizens begin a journey forward to a vibrant and thriving future. While Hailey’s Comprehensive Plan does not go into the specificity that this code section contemplates, it is anticipated that the City will continue to update, modify, redefine, define, and/or clarify definitions to guide development, land uses, and necessary infrastructure. The following goals from the Comprehensive Plan are relevant to this text change:

#### **Section 3: Special Areas or Sites and Features**

- 3.1 Assure the protection and preservation of Special Sites, area features to maintain a strong community identity for future generations.
- 3.3 Protect the traditional Character and scale of the historic downtown and Main Street corridor.

#### **Section 4: Recreation, Parks and Lands**

- Create and maintain interconnected systems of parks, recreation facilities, trails, green spaces and natural lands in order to provide diverse recreation opportunities for Hailey residents.

#### **Section 5: Land Use, Population and Growth**

- 5.1 Retain a compact City comprised a central downtown and surrounding diverse neighborhoods, areas of characteristics as depicted in the Land Use Map.
- 5.7 Encourage development at the densities allowed in the Zoning Code.

#### **Section 6: Economic Development**

- 6.1 Encourage a diversity of economic development opportunities within Hailey.

#### **Section 7: Demographics, cultural Vitality and Social Diversity and Well-Being**

- 7.1 Encourage a variety of projects and programs that meet the needs generated by various segments of the population, especially the needs of those who risk suffering effects of discrimination or are socially or economically disadvantaged.
- 7.2 Encourage projects and programs that seek to provide opportunities for cultural, cross-cultural and educational enrichment.

#### **Section 8: Housing**

- 8.1 Encourage development that provides opportunities for home ownership and rental homes for individuals and families of all socio-economic levels.

#### **Section 9: Public Services, Facilities and Utilities**

- 9.1 Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.

#### **Section 10: Transportation**

- 10.1 Create and maintain a pedestrian and bicycle-friendly community that provides a safe, convenient and efficient multi-modal transportation system for all Hailey residents.

*Findings: Compliance. This standard has been met.*

#### **2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.**

The proposed amendments will not result in a change in allowed uses nor will they create excessive additional requirements at public cost for services.

*Findings: Compliance. This standard has been met.*

#### **3. The proposed uses are compatible with the surrounding area; and**

The proposed text amendment will not impact compatibility.

*Findings: Compliance. This standard has been met.*

#### **4. The proposed amendment will promote public health, safety, and general welfare.**

The proposed amendment will ensure overall compliance and a thorough understanding of the terms and meanings of Title 17's zoning definitions. The amendments recommended are consistent with the Hailey Comprehensive Plan, and will have no impact on public health, safety, and general welfare.

*Findings: Compliance. This standard has been met.*

## **CONCLUSIONS OF LAW AND DECISION**

Based on the above Findings of Fact, Conclusions of Law and Decision, the Commission, on a unanimous vote, concluded the adequate notice, pursuant Title 16: Subdivision Regulations, Chapter 16.01 Definitions was given, and is proper. The Commission made the following recommendations:

An ordinance, Ordinance No. \_\_\_\_\_, amending Hailey's Municipal Code, Title 16: Subdivision Regulations, Chapter 16.01 Definitions, to provide modifications and clarification, as well as add new definitions to the title, is hereby recommended for review and approval by the Hailey City Council.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Janet Fugate, Planning and Zoning Chair

Attest:

\_\_\_\_\_  
Jessica Parker, Building Coordinator, Deputy Treasurer

**Return to Agenda**

**Meeting Minutes**  
**Hailey Planning and Zoning Commission**  
**Tuesday, January 21, 2025**  
**5:30 p.m.**

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**Present**

**Commission:** Janet Fugate, Jordan Fitzgerald, Sage Sauerbrey

**Staff:** Emily Rodrigue, Ashley Dyer, Robyn Davis, Jessie Parker

**Absent:** Dan Smith

**5:30:55 PM Call to Order**

- [5:31:07 PM](#) Public Comment for items not on the Agenda.

**5:31:49 PM Consent Agenda - ACTION ITEM**

- **CA 1** Motion to approve Findings of Fact, Conclusions of Law, and Decision of a Design Review Application submitted by Tyler and Laura Jones for the construction of a 1,288 square foot residential addition with a 937 square foot garage to be located at 314 North 4<sup>th</sup> Avenue (Lots S 1' of 16, all of 17 and 18, Block 88, Townsite) within the Limited Residential (LR 1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**
- **CA 2** Motion to approve Findings of Fact, Conclusions of Law, and Decision of a City-Initiated Text Amendment amending Hailey's Municipal Code, Title 17: Zoning Regulations, Chapter 17.02 Definitions, to modify, refine, remove, and/or add various definitions to the title. **ACTION ITEM**

**5:31:56 PM Sauerbrey motion to approve CA 1 and CA 2. Fitzgerald seconded. All in Favor.**

**Public Hearing(s) - ACTION ITEM**

- [5:32:12 PM PH 1](#) Consideration of a Planned Unit Development (PUD) Application submitted by St. Charles Borromeo Catholic Church, represented by The Land Group, Inc., to consider various waivers and benefits of the zoning and subdivision codes to be able to construct a new Parish Hall, Classrooms, Administrative Offices, Worship Sanctuary, as well as repurpose the existing church building, all located at 311 South 1st Avenue (Lots 3-10, Block 21, Townsite Overlay) within the Transitional (T) and Townsite Overlay (TO) Zoning Districts. As part of the community benefit, the PUD Application proposes offsite sidewalk improvements in the vicinity of the project site. This includes improvements to South 1st Avenue and East Pine Street, as well as East Walnut Street, to South Main Street. Additional community benefits will be discussed throughout multiple Public Hearings for this PUD Application. As part of the Application, the Applicant requests the following waivers:
  1. Waiver to maximum Building Height
  2. Waiver to Setback requirements
  3. Waiver to maximum Lot Coverage
  4. Waiver to required onsite Parking requirements **ACTION ITEM**

[5:33:17 PM](#) Rodrigue introduced application, stating no decision will be made tonight and turned floor to applicant team.

[5:34:02 PM](#) Mathew Adams, Design professional team, provided a presentation that discussed the background of the application, community outreach by the applicant team, and PUD application. Adams using the provided presentation provided background and history of the church, noting it was first established two years after City of Hailey; summarized the community outreach done by the applicant and steps taken to help address concerns expressed during the community outreach – dropped down courtyard, all drop-offs. Adams moved on with the presentation discussing what the PUD process is, how the code applies, and what the applicant is requesting in waivers: building and bell tower height, lot coverage, entry gate setback for enclosed garden, and off street parking explaining how parking demands for the church are at different times from the surrounding business and how the church parking is met using right of way parking near those surrounding businesses. Adams discussed the community benefits that will be provided- benefits provided by the church, donation of the existing parish office for housing and will work with the city to make that happen, and install right of way improvements along 1<sup>st</sup> Avenue, and Walnut Street in addition to required right of way improvements in front of the project location. Adams summarized how as an applicant they are committed to being a benefit to the community.

[5:56:01 PM](#) Fitzgerald asked about building height of for main structure. Adams explained code allows max height of 30' within the zone and that the proposed height is 36'6" height.

[5:57:53 PM](#) Architect, explained reasoning of increased height and how proposed building setback is further from 1<sup>st</sup> Ave. Fitzgerald asked what the maximum lot coverage is and how much they are requesting to exceed it. Adams stated code allows 30% and that they are requesting 45%.

[6:00:26 PM](#) Kira Wise, explained that 45% includes the covered walkways whereas 40% does not account for those. Wise confirmed the covered walkways are not enclosed. Fitzgerald confirmed waiver for setbacks is only for the entry gate. Adams confirmed setback waiver is for the gate and

the low wall adjacent to the gate on both sides. Fitzgerald asked if the current structures comply with setbacks. Adams noted the existing structure to remain does not meet setbacks. Fitzgerald asked for the reasoning with not providing onsite parking and if looked at providing onsite parking. Adams explained areas improving parking. Adam stated he does not know the number for a major event, but how they calculated parking. Adams explained what they found looking at onsite parking, that it was essentially a net zero. Adams summarized existing parking conditions and how they want to improve parking.

[6:06:37 PM](#) Fitzgerald asked about comments from the last hearing regarding high volume of visitors in front of residential homes and if steps have been taken to address these.

[6:07:24 PM](#) Father Wekerle, stated very aware of their neighbors and how they have taken steps to address concerns expressed.

[6:09:07 PM](#) Sauerbrey asked about the hours of operation, peak use times for mass, typical attendance and times. Adams stated mass times 7-8pm mass on Saturday with 235-250 attending' Sunday morning 830 am-930pm with 235-250 attending. Sauerbrey asked how many seats are available in the church. Adams stated 250 seated attendees at mass on Saturday and Sunday each. Adams noted other activities that take place. Sauerbrey confirmed using the graph, the highest point on purple line is based off number of cars. Adams explained the estimate of number of cars. Sauerbrey asked typically for the average of max parking during business hours during the week. Adams explained the limits during business hours. Adams continued to summarize parking use. Sauerbrey thanked applicants for their acknowledgement of the housing issue. Sauerbrey asked if the applicant had a quote on relocating house. [6:15:59 PM](#) Ryan stated estimate was about \$100,000. Sauerbrey asked if the church happens to own any other land. Adams stated the church does not have additional land and could move the structure too. Adams noted the benefits of relocating the structure vs. demolishing it.

[6:18:19 PM](#) Chair Fugate asked staff if the city has a place where this structure could be placed. Davis stated staff has an idea. Chair Fugate asked if the building will be inspected so as to avoid potential of a burden instead of an amenity. Davis confirmed. Chair Fugate confirmed gate area is only item extending into the setback and asked the depth. Adams estimated depth, confirming it's more like an arch. Chair Fugate asked about the drop off area. Adams explained the drop off area off the alley. Chair Fugate confirmed existing bell tower is approximately 45' and surrounded by trees, asked what is going to be in front of the other bell power. Chair Fugate asked if those trees are remaining. Adams noted trees to be removed. Chair Fugate there would not be anything buffering the existing tower, noting she would like to see how the increased height would be mitigated somehow. Adams confirmed hearing scale of structure is overwhelming. Adams discussed proposed landscaping. Ryan noted design of tower is preliminary. Discussion continued with the design of proposed bell tower and limiting how impactful it would be with the additional height.

[6:29:30 PM](#) Davis noted the public right way set to be improved will remain as public, that applicant would not be able to privatize them.

[6:30:45 PM](#) Fitzgerald asked if staff has addressed definition of building height – noting as it reads now height would be measured from lowest point of structure per based off proposed lowered courtyard. Fitzgerald asked about parking calculating, that does not think it means only



counts the seats in the sanctuary. Fitzgerald asked about parking for other uses. Davis explained that they could calculate it based off the use. Fitzgerald thinks needs to refine the parking calculation.

[6:34:17 PM](#) Chair Fugate asked about parking at elementary school. Adams explained how looked at parking and that it was a thought to discuss possibly agreement with another business or the school. Chair Fugate asked if that is being pursued. Adams stated wanted to gather feedback tonight first.

[6:35:51 PM](#) Chair Fugate opened public comment.

[6:37:08 PM](#) 109 E Pine, questioned the ARCH. Does know if agree with reduction of noise with lower courtyard, that trash is constant, issues with parking. That maybe they should consider another location.

[6:38:55 PM](#) Tokareff, E Pine St, lives directly across the street, feels church needs to take responsibility of parking. Expressed issues with parking, her driveway being used be and safety concerns. Noted issues with cars running during service, honking, beeping, trash, and items left behind. Noted most cars arrive with one to two people, that she documented cars arriving for last few Sundays. That she provided a chart for the commissioners. Continued to express concerns of parking.

[6:43:27 PM](#) Mina Breswald, directly across from the church, expressed concern of additional height and change of orientation of the building. Asked why moving historic building. She expressed concern of parking, trash; that has a problem with the whole thing.

[6:45:45 PM](#) S 1<sup>st</sup> Ave, expressed concern of parking. Asked what about if there was a fire.

[6:46:28 PM](#) Sarah Dickson, S 1<sup>st</sup> St, expressed concern of parking. That is not opposed to overall design. Continued noting issues with parking.

[6:47:51 PM](#) 405 1<sup>st</sup> Ave S, expressed concern of parking and trash. His biggest concern is the city letting them have the waivers they are seeking because they are an old building. Expressed concern of small houses being bulldozed, and the big guys getting their way.

[6:49:55 PM](#) Unknown, asked about AA meetings taking place at the church. Noted many of these neighbors in area have a home without a driveway, luckily she does have one though it has been blocked.

Chair Fugate thanked Tokareff for tracking the parking. Tokareff noted she did track parking for five Sundays.

[6:52:02 PM](#) Michelle, wondering why they are not utilizing other parking areas such as the school. That it would be really neighborly if they showed them they were already doing that parking.

[6:53:16 PM](#) Mina, thinks they need to be careful about giving variances to people that do it once have to give to all of the city. Thinks have to be really careful.

[6:54:06 PM](#) Unknown, asked the church team how many of them arrived by themselves in their car.

[6:54:30 PM](#) Chair Fugate closed public comment.

[6:54:46 PM](#) Davis reminded all the purpose of the PUD Application process. Sauerbrey asked how long PUDs have been allowed. Davis does not have an exact date, but has been part of the code for years, decades.

[6:56:01 PM](#) Fitzgerald acknowledged concerns of granting waivers, summarizing process of PUD and that its just finding the balance.

[6:57:32 PM](#) Chair Fugate stated that the commission takes the public concerns very seriously, noting they also have to look at what is best for the city and that they have to find the balance.

[6:58:18 PM](#) Adams stated appreciate input tonight. Adams moved on to address comments made in public comment, that has no doubt that can work together as a community.

[7:02:28 PM](#) Chair Fugate noted items would like to see at next meeting. Chair Fugate recommended finding additional parking solutions, more detailed designs, and staff to review building height. Chair Fugate noted the right of way improvements should help alleviate some concern about streets narrowing. Chair Fugate asked about the details of relocating the building. Davis asked the commission how they felt about the amenities proposed against the waivers asked for.

[7:06:38 PM](#) Fitzgerald noted her concerns of the amenities, requesting more details on house relocation, that the sidewalk proposed does not feel sufficient.

[7:07:33 PM](#) Chair Fugate thinks something needs to be figured out about parking, needs to see what the building height waiver really looks like, and lot coverage she is good with and does not have a problem with arch.

[7:08:59 PM](#) Sauerbrey stated he believes the commission takes variances very seriously and that he can empathize with the comment made about the small guys vs. big guys. Sauerbrey stated these waivers do not set precedence, that they are case by case basis. Sauerbrey stated some of the waivers are less egregious than others to him. Sauerbrey explained his thoughts on waiver and would like to see staff determination of building height. Sauerbrey would like to see really detailed plans at next meeting. Sauerbrey stated he would like to see a parking solution that works with the neighbors. Sauerbrey does not believe the benefits proposed do not offset the waivers requested. Sauerbrey would like to see numbers on the cost to move the structure.

[7:16:34 PM](#) Chair Fugate noted previous application was to rezone the site to business which would have allowed what they are requesting. Chair Fugate asked about police in area during certain times to help enforce.

[7:18:03 PM](#) Fitzgerald stated she would have liked to see the plan for parking already implemented; that needs a lot more work on parking. Fitzgerald thinks onsite parking could be

included off the alley. Fitzgerald noted ideally would have an underground parking structure. Commission continued to discuss parking.

[7:21:36 PM](#) Fitzgerald gave her feedback on the height waiver, lot coverage, and setbacks.

[7:23:51 PM](#) Chair Fugate stated all understand what the church does and explained what the commission has to address. Chair Fugate asked the applicant if they had further questions.

No motion, staff will discuss with applicant offline and renote the project.

[7:27:26 PM](#) **Chair Fugate called for a 5-min break.**

[7:37:00 PM](#) **Chair Fugate called meeting back to order.**

- [7:37:06 PM PH 2](#) Consideration of a City-Initiated Text Amendment amending Hailey's Municipal Code, Title 16: Subdivision Regulations, Chapter 16.01 Definitions to modify, refine, remove, and/or add various definitions to the title. **ACTION ITEM**

[7:37:21 PM](#) Dyer noted approval of Title 17 Definitions, explaining this application is similar and with the intent to retain clarity.

[7:38:11 PM](#) Fitzgerald asked amendments are only to definitions. Davis confirmed that staff only included amended definition.

Common Area: Fitzgerald asked about common area. Davis stated it could clarify as resident use. Sauerbrey asked about the portion of 2 or more people. Commission agreed to amend for residences of subdivision.

[7:39:58 PM](#) Common area, limited. Chair Fugate asked for an example. Rodrigue provided examples of common area.

[7:42:42 PM](#) Davis explained reasoning for definition listed as "refer to Title 17, Section 17.02..."

[7:44:29 PM](#) Easement. Commission suggested amending proposed definition to include recorded, entity. Chair Fugate noted typo His should be this.

[7:46:08 PM](#) Lot Buildable. Commission suggested removing and just keeping unbuildable.

[7:48:58 PM](#) Street frontage. Commission and Staff discussed language for street frontage. All agreed to say street and remove public right of way.

[7:54:33 PM](#) **Fitzgerald motion to recommend approval by the Hailey City Council Ordinance No. , an Ordinance amending the Hailey Municipal Code, Title16, Definitions; 16.01, and 16.01.010: General Definitions, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare, as amended. Sauerbrey seconded. All in Favor.**

### New Business

- [7:55:18 PM NB 1](#) Nomination of Chair and Vice Chair. (*No Documents*) **ACTION ITEM**  
[7:55:50 PM](#) Sauerbrey motioned to nominate Janet Fugate as Chair and Dan Smith as Vice Chair. Fitzgerald seconded. All in Favor.

### Staff Reports and Discussion

- **SR 1** Discussion: Upcoming Projects, Code Changes, Next Planning and Zoning Meeting:
  - **Monday, February 3, 2025:**
    - Comp Plan
    - 637 DR

Davis summarized upcoming meetings.

Davis summarized the upcoming joint meeting on 1/27 and parking workshop on 2/10.

[7:59:26 PM](#) Sauerbrey motioned to adjourn. Fitzgerald seconded. All in Favor.

**Return to Agenda**



**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of February 18, 2025**

**To:** Hailey Planning and Zoning Commission  
**From:** Ashley Dyer, Community Development Planner

**Overview:** Consideration of a Design Review Application, submitted by Overland West Inc., represented by Jay Cone Architecture, for the construction of a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit, to be located within the proposed structure. This project is located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District.

**Hearing:** February 18, 2025

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**Applicant:** Overland West Inc., represented by Jay Cone Architecture  
**Location:** 1551 Aviation Drive (Lot 3A, Block 34- Airport West Subdivision #2)  
**Zoning & Lot Size:** SCI-Industrial (SCI-I); Lot size 113,090.70 square feet

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on January 30, 2025.

**Application:** The Applicant is proposing to construct a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit (ADU), to be located within the proposed structure at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2).

The mixed-use project, 1551 Aviation Drive, is proposing the following:

**Proposed Commercial Use:**

- 5,657 square feet of commercial space
- The first floor includes two (2) cleaning bays, a storage room, and a multipurpose room
- A six (6) foot tall perimeter fence with powder coated steel posts and brown corrugated bondarized steel panels is proposed to screen the property
- Proposed Fuel Tank location and alternative locations (A-C) are provided for consideration
- Seven (7) onsite parking spaces are provided, which includes one (1) accessible space located along the southern side of the building

**Proposed Accessory Dwelling Unit:**

- 997 square feet of residential space (ADU)
- The second floor includes two (2) bedrooms, two (2) bathrooms, closets and storage spaces
- Kitchen and living area
- 447 square foot outdoor usable deck space
- One (1) onsite parking space provided

**SCI Industrial (SCI-SI):**

The purpose of the industrial subdistrict of the SCI district is to provide a location for the production, sales and storage of bulky goods and associated wholesale and retail sales, offices and parking. The subdistrict is also to provide a location for light manufacturing and other light industrial types of uses. The intent of the district is to provide a location for those uses that dedicate a substantial portion of their area (more than 50 percent) to exterior storage and/or staging areas, and relatively little area to interior showrooms, offices or retail space. The district is intended to include those uses that, by reason of their impact or perceived impact on neighboring uses, are not appropriate in the central business district. This article assumes that the following list of uses is not exhaustive and that other like uses may be permitted upon administrative review pursuant to subsection [17.01.050B](#) of this title, as amended. (Ord. 1191, 2015)

The proposed mixed-use development project aligns with the purpose and intent of the SCI-I Zoning District, as the building design, exterior features, and use characteristics support automotive repair and maintenance, parking, office space, light manufacturing and other light industrial types of uses, while thoughtfully integrating an employee or employer-owned housing component as a subordinate use.

Site access is located off the existing public street, Aviation Drive via the existing Public Utility Easement (PUE), which is intended to service the parcel. There is no public access to this site. There will be a sign indicating that this is a private facility for employees only.

**Background:** On December 16, 2024, the Hailey Planning and Zoning Commission considered a Design Review Pre-Application, submitted by Overland West Inc., represented by Jay Cone Architecture, for the construction of a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit, to be located within the proposed structure. At this meeting, no decision was made; however, the Commission suggested the following:

- Building Design: Incorporate glass blocks for increased natural light into Bay #3 along the west elevation.
- Site Plan:
  - (1) Evaluate the existing location and alternative locations of the fuel tank,
  - (2) while not required by Idaho Code nor Fire Code, consider the addition of a secondary tank containment curb/wall system, and
  - (3) Quantify the use of the tank and clarify operation of nozzle and access systems.
- Security: Consider the incorporation of a motion sensor/light near or around the tank in an effort to discourage vandalism.

Per the Commission's recommendations, the Applicant's amended submittal includes:

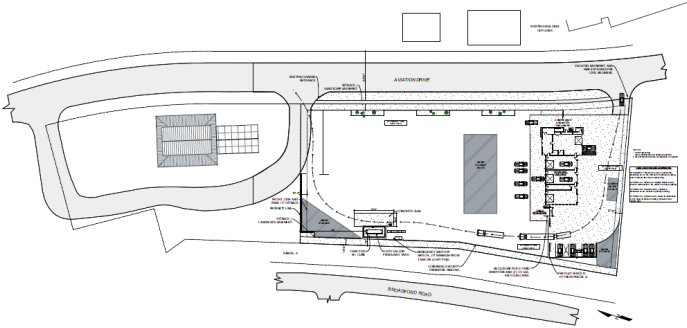
- The Applicant added glass blocks along the west elevation for increased natural light into Bay #3.
- The Applicant submitted an amended site plan that shows the proposed location for the fuel tank located at the rear of the site which is the preferred location of the Applicant. The Applicant also provided three (3) alternative locations for the fuel tank, which includes the following:
  - Alternative (A): located along the property frontage,
  - Alternative (B): located along the southern property line, and

- Alternative (C): located at the southwestern corner of the lot.
- The Applicant provided two secondary containment options for the fuel tank to be considered. Both options provide a double wall “Fireguard” tank which provides secondary containment per the IFC. No external containment safety feature is required on the storage site. The concrete curb provided around the tank pad is not a requirement of the IFC but a suggestion from the Planning and Zoning Commission.
- The Applicant quantified the use of the tank and clarified operation of nozzle and access systems, please refer to sheet A403.
- The Applicant provided motion sensor lighting for the fuel tank and is attached to the light pole nearest the tank to provide additional security to further avoid vandalism.
- Staff received letters from adjoining property owners supporting the proposed location of the fuel tank.

**Procedural History:** The Design Review Application was submitted on January 6, 2025, and certified complete on January 10, 2025. A public hearing before the Planning and Zoning Commission is scheduled for February 18, 2025, in the Hailey City Council Chambers and virtually via GoTo Meeting.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Department Comments</b>	<b>Engineering:</b>
				<b>Life/Safety:</b> <i>All codes (Municipal, Building, Fire, and Energy) shall be met. The Applicant provided two secondary containment options for the fuel tank to be considered. Both options provide a double wall “Fireguard” tank which provides secondary containment per the IFC. No external containment safety feature is required on the storage site. The concrete curb provided around the tank pad is not a requirement of the IFC but a suggestion from the Planning and Zoning Commission. Staff and the Fire Department are in agreement, per code, that no secondary system is needed.</i>
				<b>Water and Sewer:</b> <i>Any and all sewer services shall be relocated to the center of the lot.</i>
				<b>Building:</b> <i>No comments</i>
			<b>Streets, Landscaping, Other:</b>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	<b>17.08A Signs:</b> <i>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</i>
			<b>Staff Comments</b>	<i>N/A, no signage is proposed, and signage is prohibited in the GR District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<b>See Section 17.09.040 for applicable code.</b>
			<b>Staff Comments</b>	<i>The proposed project is located in the SCI- Industrial (SC-I) Zoning District. The Hailey Municipal Code requires a minimum of one (1) parking space per 1,000 square feet of commercial use. The project is approximately 6,654 square feet in size, with 5,657 square feet being commercial space. This requires the project to provide a total of six (6) onsite parking spaces to fulfill this</i>




				<p><i>standard. The project has provided seven (7) onsite spaces, as well as one (1) accessible space nearest to the proposed building, for a total of eight (8) spaces.</i></p> <p><i>The Accessory Dwelling Unit requires one (1) parking space per 1,000 square feet, the Applicant has provided one (1) parking space for the 997 square foot ADU. The Applicant has proposed a total of eight (8) onsite spaces, which includes one (1) accessible space. The Applicant exceeds this requirement, and the onsite parking requirement is met.</i></p> 
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p><b>17.09.040.06: EXCESS OF PERMITTED PARKING:</b></p> <p><b>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission.</b></p> <p><b>Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</b></p> <p><i>N/A- Site parking meets requirement.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08C.040 Outdoor Lighting Standards</b></p>	<p><b>17.08C.040 General Standards</b></p> <ul style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent:             <ul style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ul> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ul>
			<p><b>Staff Comments</b></p>	<p><i>The Applicant is proposing dark bronze ground mounted light fixtures for onsite exterior lighting. The ground fixtures are 17 feet in height. Each light has a built-in dimmable switch. The ground mounted fixtures are 14 Watt,</i></p>

4,000K LED = 6000 Lumens. Per Hailey’s Municipal Code, the proposed mounting height and output standards have been met as shown below. The Applicant is also proposing wall mounted lights in Dark Bronze for the exterior of the building and the ADU.


MOUNTING HEIGHT/LAMP OUTPUT RECOMMENDATIONS

Mounting Height (Feet)	Max Lumens
6	1,000
8	1,600
10	2,000
12	2,400
16	6,000
20	8,000
24	9,000
28	12,000
32	24,000
36	28,000
40 or more	32,000




**ARC1 LED Wall Mount**  
 Size 1 – up to 3,000 lumens  
 F2 Wall Mounted Fixture  
 L7700001ARC1-4-000K-2000 Lumens  
 Bronze  
 Mounting Height 14"

8 WALL MOUNT FIXTURE F-3



3 EXTERIOR WALL FIXTURE F-1



**D-Series Size 1**  
 LED Area Luminaire

F2 Pole Mounted Fixture  
 L7700001D-010-4-000K-6000 Lumens  
 Bronze  
 Mounting Height 17"

7 POLE MOUNTED FIXTURE F-2

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Bulk Requirements</b>
<b>Staff Comments</b>			

**Zoning District: SCI-I Industrial Zoning District.**  
**Maximum Height: 35' within the SCI District**  
**Required Setbacks:**

- **Front Yard: 10**
- **Side Yards: 10**
- **Rear Yard: 10**
- **Lot Coverage: 70%**

*Zoning District(s): SCI-I- Industrial Zoning District*  
*Proposed Height: 26.3*  
*Proposed Setbacks:*

- *Front: 10 feet*
- *Rear: 10 feet*
- *Side (north): 10 feet*
- *Side (South): 10 feet*
- *Lot coverage: 5%*

*Lot Coverage: The allowed lot coverage for this parcel is 70%. The lot size is 113,090 square feet with a total proposed building footprint of 6,654 square*

				<i>feet in size. Given this information, lot coverage equates to 5%, of proposed lot coverage, which is well below the maximum allowed coverage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	<b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b>
			<i>Staff Comments</i>	<i>The property has fully built-out street frontages that include sidewalks and plantings that have been approved by the HOA and will remain in place. No additional sidewalk and drainage improvements for this project are necessary at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	<b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b>
			<i>Staff Comments</i>	<i>N/A - No alley access is proposed.</i>

**Design Review Requirements for Non-Residential, Multifamily,  
and/or Mixed-Use Buildings within the City of Hailey**

**1. Site Planning: 17.06.080(A)1, items (a) thru (n)**


Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p><b>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</b></p> <p><i>Staff Comments</i> <i>The proposed building follows the grid pattern in Airport West, the primary walls of the proposed buildings are oriented north/south, which is consistent with the adjoining industrial properties. An open space area, usable by the residents of the ADU, is proposed which is shielded by a 6-foot fence.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	<p><b>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</b></p> <p><i>Staff Comments</i> <i>N/A, as the site does not contain any existing mature landscaping.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p><b>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</b></p> <p><i>Staff Comments</i> <i>The site is primarily proposed for private access and will not have pedestrian access moving through the site. The only site access will be for employees and residents of the ADU. Safe pedestrian access for those users is through a new paved driveway. The entrance to the ADU is located at the SE corner of the building. The ADU was placed on the east side near Aviation Drive and the sidewalk, providing clear pedestrian and vehicular pathways.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p><b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location.</b></p>

				<p><b>These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b></p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing an enclosed trash receptacle towards the rear of the building, providing plenty of space for trash services. A letter from Clear Creek Disposal commenting on the adequacy of this enclosure and location shall be provided prior to the issuance of a Building Permit. This has been made a Condition of Approval.</i></p> <p><i>The proposed enclosed meter and compressor is located at the front of the site and will be screened.</i></p> <p><i>The transformer shall be screened from view (subject to approval by Idaho Power) of the public street. This has also been made Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<p><b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b></p>
			<i>Staff Comments</i>	<i>N/A. There is no existing alley to be utilized for building services.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p><b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b></p>
			<i>Staff Comments</i>	<i>N/A. No Vending Machines are proposed with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p><b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b></p> <p style="margin-left: 40px;"><b>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b></p> <p style="margin-left: 40px;"><b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b></p>
			<i>Staff Comments</i>	<i>The proposed parking will be accessed via a new private entrance located off Aviation Drive. The onsite parking is located at the rear of the site. A six-foot tall fence is proposed and will further screen the parking area from the primary street and adjoining properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.02	<p><b>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</b></p> <p style="margin-left: 40px;"><b>a. Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12’.</b></p>
			<i>Staff Comments</i>	<i>The Applicant is proposing one (1), 510 square foot loading space along the southern lot line of the property. The loading space provided complies with the requirement of 1 space per 4,000 square feet of area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1h	<p><b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b></p>


			<i>Staff Comments</i>	<i>N/A, as there is no existing alley. The site and onsite parking area can be accessed via Aviation Drive.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	i. <b>Snow storage areas shall be provided on-site as follows: where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b>
			<i>Staff Comments</i>	<i>Onsite snow storage areas are proposed for this parcel in the amount of 9,000 square feet. The proposed snow storage areas are located in the middle of the lot and along the rear of the site within the setback areas. The improved hardscape for the project is 21,800 square feet which would require 5,450 square feet of snow storage. The Applicant exceeds this requirement with approximately 9,000 square feet of snow storage.</i>  <i>Snow Storage 50x120: 6,000 square feet Additional Snow Storage: 3,000 square feet within setback areas</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	j. <b>Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	k. <b>A designated snow storage area shall not have any dimension less than 10 feet.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	l. <b>Hauling of snow from downtown areas is permissible where other options are not practical.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	m. <b>Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1n	n. <b>Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b>
			<i>Staff Comments</i>	<i>N/A There is no proposed landscaping within the snow storage areas.</i>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	a. <b>The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.</b>
			<i>Staff Comments</i>	<i>The proposed building accommodates the surrounding industrial properties with a north/south orientation. The articulation of the rooflines, the diverse materials, and various sized windows complement the surrounding area.</i>

				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.080(A)2b</b> <i>Staff Comments</i>	<b>b. Standardized corporate building designs are prohibited.</b> <i>N/A, as the proposed building design is not a standardized corporate building design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)2c</b> <i>Staff Comments</i>	<b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction. Site planning shall include designated seating areas, picnic tables, pavilions, or other amenities that provide usable spaces for employees and pedestrians alike.</b> <i>The Applicant has integrated the building to the surrounding site and greater area. Various exterior materials and colors emphasize human scale and are pedestrian oriented to encourage human activity.</i> <i>The exterior open-deck space provided for the residents of the mixed-use building and a mixture of assorted existing and new landscaping encourages human activity and interaction. These include street trees, turf and shrubs. Please refer to Section 17.06.080(A)4d for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)2d</b> <i>Staff Comments</i>	<b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b> <i>Various materials and colors have been incorporated along all the elevations, which are visible from Aviation Drive, to reduce building mass and large building surfaces. The north and south elevation wall mass is broken up by the various siding and materials, numerous sized windows and bay doors, deck with rails and the addition of glass blocks to allow light to trespass into bay #3 on the west elevation.</i> <i>The mixed-use building is proposed to incorporate a mixture of siding in split face block in Basalite, Western States T-8 steel in Walnut and Hardie Board Facia in Dark Bronze. Dark Bronze Parapet caps along the roof are proposed as well as Dark Bronze trim bands along the lower portion of the building. Dark Brown Steel posts are proposed around the building entrances. The bay doors, doors,</i>



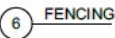
				<p>windows and trim are proposed to match the Dark Bronze.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p><b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b></p> <p><i>Staff Comments</i> N/A, as no expansion is planned at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p><b>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</b></p> <p><i>Staff Comments</i> A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p><b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b></p> <p><i>Staff Comments</i> Building colors are shown on the elevations. Colors are broken on various elements to help break up mass and be harmonious with other neighboring buildings. Please refer to Section 17.06.080(A)2d above for further detail.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	<p><b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</b></p> <p><i>Staff Comments</i>  <i>The proposed building is not over two stories in height and proposes a variety of colors, various siding, materials, to provide human scale to the building façades.</i></p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p><b>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</b></p> <ul style="list-style-type: none"> <li><b>i. Solar Orientation.</b> If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</li> <li><b>ii. South facing windows with eave coverage.</b> At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li><b>iii. Double glazed windows.</b></li> <li><b>iv. Windows with Low Emissivity glazing.</b></li> <li><b>v. Earth berming against exterior walls</b></li> <li><b>vi. Alternative energy.</b> Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li><b>vii. Exterior light shelves.</b> All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul> <p><i>Staff Comments</i>  <i>The building incorporates the following techniques that minimize its energy consumption:</i></p> <ul style="list-style-type: none"> <li>- All windows will be double glazed</li> <li>- Low E Glazing</li> <li>- The main axis of the building is within 30 degrees of Southern exposure.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p><b>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</b></p>



			<b>Staff Comments</b>	<i>The front entrances to the ADU and the multipurpose room will be covered which will retain snow. Because the roof is flat it will drain to the interior or to the gutters and drywell.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<b>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</b>
			<b>Staff Comments</b>	<i>Downspouts from the building appear to be routed underground to drywells. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only, and not onto pedestrian and hardscape locations.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<b>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</b>
			<b>Staff Comments</b>	<i>NA, as no drive-through canopies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<b>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</b>
			<b>Staff Comments</b>	<i>N/A, as a Master Signage Plan is not required of a single-tenant building.</i>

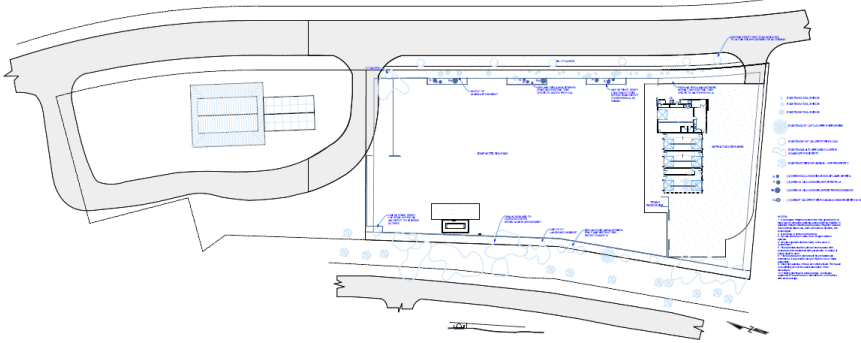
**3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<b>a. Accessory structures shall be designed to be compatible with the principal building(s).</b>
			<b>Staff Comments</b>	<i>N/A. No Accessory Structure is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	<b>b. Accessory structures shall be located at the rear of the property.</b>
			<b>Staff Comments</b>	<i>N/A - No Accessory Structure is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	<b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b>
			<b>Staff Comments</b>	<i>N/A - No Accessory structure is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>
			<b>Staff Comments</b>	<i>The Applicant is proposing a six-foot-tall perimeter fence. The fence posts are brown powder coated steel, and the panels will be corrugated bondarized steel.</i>
				
				
				

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>
			<i>Staff Comments</i>	<i>N/A - no roof-mounted mechanical equipment is proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b>
			<i>Staff Comments</i>	<i>N/A- No alternative energy sources are proposed with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>All service lines into the property shall be installed underground and no service equipment shall be placed on utility poles.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	<b>h. All service lines into the subject property shall be installed underground</b>
			<i>Staff Comments</i>	<i>All service lines shall be installed underground. City Staff requests that, if applicable, transformer locations be shown on the Building Permit drawings.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	<b>i. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	<i>N/A, as no additional appurtenances are proposed.</i>

**4. Landscaping: 17.06.080(A)4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>
			<i>Staff Comments</i>	<p><i>Drought tolerant and/or xeriscape specific plant materials are proposed. The Applicant is proposing the following landscaping onsite:</i></p> <p><i>Trees</i></p> <ul style="list-style-type: none"> <li>- One (1) new 2" caliper Canada Chokecherry</li> <li>- Existing trees along the property's frontage will remain in place</li> </ul> <p><i>Shrubs</i></p> <ul style="list-style-type: none"> <li>- Four (4) new Gold Flame Spirea at 5 gallons</li> <li>- Three (3) new Potentilla at Pinus 10 gallons</li> <li>- Two (2) new Redtwig Dogwood at 15 gallons</li> <li>- Existing shrubs along the property's frontage will remain in place.</li> </ul> <p><i>Misc. Landscaping:</i></p> <ul style="list-style-type: none"> <li>- Prep and seed areas between the fence and existing turf along the property frontage- species to match HOA.</li> <li>- A temporary irrigation system that fully operates for at least two (2) complete growing seasons will be installed to establish drought tolerant plant species. Irrigation features that minimize water use, such as moisture sensors, will also be installed.</li> <li>- Bark beds will be installed around all shrubs, fixed planters will be planted each season with annuals and/or maintained perennials. A variety of colors will be used. Planted areas and planters will be professionally maintained.</li> </ul>

				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<b>b. All plant species shall be hardy to the Zone 4 environment.</b>
			<i>Staff Comments</i>	<i>Plant materials will be appropriate for the Zone 4 environment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b>
			<i>Staff Comments</i>	<i>An automatic drip irrigation system will be installed according to City Standards. The automatically controlled system will include a smart controller and rain sensor for a water-wise system. Low water use rotator nozzles will also be installed in grass spaces. The irrigation system will not be placed against the pavement – it will be positioned in a way where it will not spray water on the pavement or other hardscape areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½”). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</b>
			<i>Staff Comments</i>	<i>Proposed landscaping varies with a combination of existing and new trees, shrubs, and turf to soften the site, as well as to create visual interest. Bark beds will be installed around all shrubs, fixed planters will be planted each season with annuals and/or maintained perennials. A variety of colors will be used. Planted areas and planters will be professionally maintained.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	<b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b>
			<i>Staff Comments</i>	<i>Bark beds will be installed around all shrubs, fixed planters will be planted each season with annuals and/or maintained perennials. A variety of colors will be used. Planted areas and planters will be professionally maintained.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<b>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</b>

			<i>Staff Comments</i>	<i>Proposed landscaping varies with a combination of existing and new trees, shrubs, and turf to soften the site, as well as to create visual interest.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<b>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</b>
			<i>Staff Comments</i>	<i>Storm water runoff is located within the landscaping beds, turf area, and/or drywells, as shown on the civil plans.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<b>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</b>
			<i>Staff Comments</i>	<i>The Applicant shall be responsible for maintaining plant material in a healthy condition. Plants were chosen for reduced maintenance, drought tolerance and ability to thrive in conditions on-site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	<b>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	<b>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	<b>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	<b>l. Landscaping should be provided within or in front of extensive retaining walls.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	<b>m. Retaining walls over 24" high may require railings or planting buffers for safety.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	<b>n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project.</i>

**Additional Design Review Requirements for Multifamily Buildings within the City of Hailey**

**1. Site Planning: 17.06.080 (D) 1, items (a) thru (c)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	<b>a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.</b>
			<i>Staff Comments</i>	<i>The proposed building complements the surrounding area and adjacent uses. The proposed mixed-use is within the SC-I Industrial (SC-I) Zoning district. Integration of the building to the surrounding site is an imperative facet of the project with a variety of landscaping and features providing screening for adjoining Industrial properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	<b>b. Site plans shall include a convenient, attractive, and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.</b>

			<b>Staff Comments</b>	<i>The property has fully built-out street frontages that include sidewalks and plantings that have been approved by the HOA and will remain in place.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(D)1c</b>	<b>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</b>
			<b>Staff Comments</b>	<p><i>To ensure safe pedestrian access through the site as well as site maintenance, the Applicant has proposed to pave the site.</i></p> <p><i>The site is primarily proposed for private access and will not have pedestrian access moving through the site. The only site access will be for employees and residents of the ADU. Safe pedestrian access for those users is through a new paved driveway. The entrance to the ADU is located at the SE corner of the building. The ADU was placed on the east side near Aviation and the sidewalk, providing clear pedestrian and vehicular pathways. The Applicant has proposed a 447 square foot deck along the second floor for the residents of the ADU's use.</i></p>

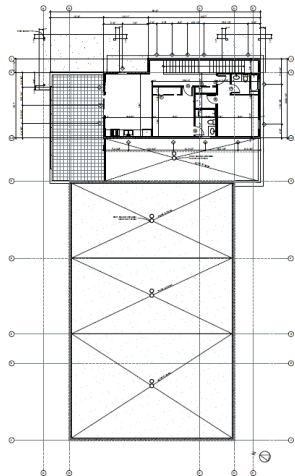
**2. Building Design: 17.06.080 (D) 2, items (a) thru (b)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p><b>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</b></p>
			<b>Staff Comments</b>	<p><i>The proposed building design provides a multi-use design that responds to the varying character of the city.</i></p> <ul style="list-style-type: none"> <li>- <i>The design of the building reflects the evolving style of Hailey. Importance has been placed on restrained and familiarity of the past and the warmth and nuance of contemporary design.</i></li> <li>- <i>The proposed design creates an employee housing option.</i></li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p><b>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</b></p>
			<b>Staff Comments</b>	<p><i>The building achieves human scale by a prominent entrance, site circulation connections and various exterior materials. The landscaping also maximizes human scale with the various existing and new trees, shrubs, and turfs provide screening for the adjoining properties and uses.</i></p>



General Requirements for Accessory Dwelling Units				
Compliant		Standards and Staff Comments		
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.020</b>	<b>Applicability.</b> A. The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.04D.030</b>	<b>General Provisions.</b> A. Accessory Dwelling Units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached Accessory Dwelling Units may comprise the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising of the remaining floor area.
			<b>Staff Comments</b>	<p><i>The ADU is proposed to be located on the second floor of the mixed-use building. The gross square footage of the ADU is 997 square feet. The new asphalt driveway is proposed to service the mixed-use building. Parking for the ADU is provided via the new driveway and within the proposed parking spaces along the rear of the site.</i></p> <p><i>With regard to setbacks, this parcel is located within the SCI-Industrial (SCI-I) Zoning District. In said district, the <b>required minimum setbacks</b> are as follows:</i></p> <ul style="list-style-type: none"> <li>- <b>Front/ Side and Rear: 10'</b></li> </ul> <p><i>The <b>proposed setbacks for the mixed-use building</b> are as follows:</i></p> <ul style="list-style-type: none"> <li>- <b>Front: 10'; Side (N): 10'; Side (S): 10'; Rear: 10'.</b></li> </ul> <p><i>The setback requirements of the zoning district have been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>B. Only one (1) Accessory Dwelling Unit is permitted on a lot.</b>
			<b>Staff Comments</b>	<i>Only one (1) ADU is proposed onsite.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>C. Accessory Dwelling Units are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transition and SCI zones, Accessory Dwelling Units are permitted in conjunction with commercial buildings.</b>

				<b>In Business, Limited Business and Neighborhood Business, one or more residential unit(s) are considered.</b>
			<b>Staff Comments</b>	<i>The proposed ADU is in conjunction with a commercial space, and both are located within the SCI - Industrial (SC-I) Zoning District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<b>D. Accessory Dwelling Units in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in Section 17.04J.020, "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.</b>
			<b>Staff Comments</b>	<i>The proposed development is not located in the SFHA.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.040: Registration of Accessory Dwelling Units Required</b>	<b>A. All Accessory Dwelling Units created after February 10, 2021, shall be issued an Accessory Dwelling Unit Compliance Certificate.</b>
			<b>Staff Comments</b>	<i>Upon completion of construction for the proposed ADU, a Compliance Certificate will be issued.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.050: Occupancy Restrictions - Short Term Occupancy</b>	<b>A. Where a lot contains both a primary dwelling unit and an Accessory Dwelling Unit, only one dwelling unit shall be utilized for Short-Term Occupancy;</b>
			<b>Staff Comments</b>	<i>Within the mixed-use development, the ADU must be owner or employee occupied, which is the intent of the Applicant- to use the space for employee housing. This standard shall be met and has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>B. When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.</b>
			<b>Staff Comments</b>	<i>Within the mixed-use development, the ADU must be owner or employee occupied, which is the intent of the Applicant- to use the space for employee housing. This standard shall be met and has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.060: Subordinate Scale and Size</b>	<b>A. Scale: The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.</b>
			<b>Staff Comments</b>	<p><i>Pursuant Hailey's Municipal Code, <b>Gross Floor Area</b> is defined as:</i></p> <ul style="list-style-type: none"> <li>- <i>The gross area included within the surrounding exterior walls of a building or portion thereof, including all floor levels, exclusive of vent shafts, outdoor courts, attics or garages, or other enclosed automobile parking areas subject to the following restrictions:</i> <ul style="list-style-type: none"> <li>- <i>The basement of a single- or multiple-family dwelling is not included as floor area; and</i></li> <li>- <i>The basement of any other building is included as floor area.</i></li> </ul> </li> </ul> <p><i>The gross floor area, for the mixed-use building, is approximately 6,654 square feet in size. The lot coverage is calculated to be approximately 5% of lot coverage, which meets the standard and is well below the maximum 70% of coverage allowed.</i></p> <p><i>The lot size is 113,090 square feet, which would allow for a maximum gross floor area of 1,000 square feet. That said, the Applicant is proposing a 997 square foot ADU which complies with this standard.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>B. Maximum Floor Area:</b>

			Lot Size (square feet)	Minimum Gross Floor Area (square feet) <sup>1</sup>	Maximum Gross Floor Area (square feet) <sup>1</sup>
			Up to 7,000	300	900
			7,001 – 8,000	300	950
			Lots 8,001 and greater	300	1,000
Gross square footage calculations for Accessory Dwelling Units do not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.					
<b>Staff Comments</b>			Please refer to Section 17.08D.060A, noted above, for further details.		
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>C. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.</b>		
<b>Staff Comments</b>			The proposed ADU has two (2) bedrooms.		
					
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.070: Livability</b>	<b>A. Outdoor Access: All Accessory Dwelling Units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineated by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. The Outdoor Access area shall be approved through the Design Review process.</b>	
<b>Staff Comments</b>			The Applicant is proposing a 447 square foot patio of outdoor space for the ADU unit.		
<b>Chapter 17.09: Parking and Loading</b>					
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09 020.05.B</b>	Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.	
<b>Staff Comments</b>			The new asphalt driveway is proposed to service the mixed-use building. Parking for the ADU is proposed in the parking spaces along the rear of the site.		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.020.05.D</b>	Mitigation for Accessory Dwelling Unit parking spaces: Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.	



			<b>Staff Comments</b>	<i>The proposed parking space for the ADU is located onsite along the rear of the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.040.01</b>	<b>Accessory Dwelling Units and all dwelling units less than 1,000 square feet require one (1) parking space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.</b>
			<b>Staff Comments</b>	<i>This standard has been met. A single-car parking space is proposed to service the ADU and is in conjunction with the required commercial parking for the mixed-use building.</i>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
  - 1. The project does not jeopardize the health, safety or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
  - 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing, and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
  - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions are placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.

- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
  - i. **Life and Safety:**
    - i. The building shall comply with IFC and IBC code requirements.
  - ii. **Water and Wastewater:**
    - i. All construction shall be to City Standards.
    - ii. The proposed sewer service location will be located at the center of the lot.
- d) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.
- e) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) All exterior lighting shall comply with the Outdoor Lighting Ordinance.
- i) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- j) Upon completion of all required public landscaping and before issuance of a certificate of occupancy and/or final project approval, a licensed arborist shall certify all public tree plantings have been installed in compliance with the project approvals as to species, health, irrigation, city construction standards, project drawings, and other relevant requirements such as Hailey Tree Committee recommendations. Similarly, any public landscape not certified by the licensed arborist shall be certified by a licensed landscape architect for same or other relevant topics. The arborist or landscape architect shall also provide documentation of public tree well inspections including dimensions and material types during the placement of all subsurface items.
- k) The residential unit shall be owner or employee occupied.
- l) The residential unit shall not be sold as a condominium or separate legal parcel from the principal building(s).
- m) The transformer shall be screened from view (subject to approval by Idaho Power) of the public street.
- n) All ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.

- o) A letter from Clear Creek Disposal commenting on the adequacy of this enclosure and location shall be provided prior to the issuance of a Building Permit.
- p) All necessary permits shall be filed, and approval received, demonstrating compliance with FAA regulations prior to issuance of a Building Permit.


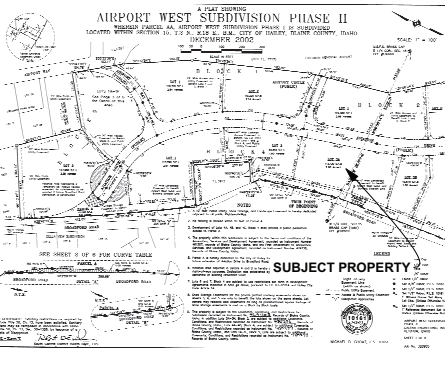
**Motion Language:**

**Approval:** Motion to approve the Design Review Application, submitted by Overland West Inc., for the construction of a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit, to be located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 17, and City Standards, provided conditions (a) through (p) are met.

**Denial:** Motion to deny the Design Review Application, submitted by Overland West Inc, for the construction of a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit, to be located within the proposed structure. This project is located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

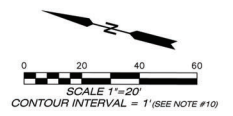
**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [Commission should specify a date].

# 1551 AVIATION DRIVE

VICINITY MAP	BUILDING DATA	CONSULTANTS	SELECT ORDINANCE PROVISIONS	SHEET INDEX
	<p><b>LEGAL DESCRIPTION:</b> Lot 3A Block 4 Airport West Sub. #2 Hailey, Idaho</p> <p><b>ADDRESS:</b> 1551 Aviation Drive</p> <p><b>PARCEL NUMBER</b> RPH040000403AO</p> <p><b>ZONING:</b> SCI-H</p> <p><b>PERMITTED USES:</b> Transportation Automotive Maintenance Private Fuel Storage and Dispensing as a Conditional Use</p> <p><b>OCC. GROUPS:</b> First Floor S-1 Cleaning Bays First Floor S-2 Storage Room First Floor B Multi-Purpose Room Second Floor R-3 ADU</p> <p><b>CONST. TYPE:</b> VB</p> <p><b>LOT AREA:</b> 113,090.70 sq. ft. Allowable Lot Coverage 70%</p> <p><b>MAXIMUM FLOOR AREA:</b> Gross for grouped retail / wholesale + 25,000 sq. ft.</p> <p><b>SQUARE FOOTAGE:</b> First Floor 5,657 sq. ft. Second Floor (ADU) 997 sq. ft. TOTAL 6,654 sq. ft.</p> <p><b>MAX. HT.</b> 35' Allowed</p> <p><b>SETBACKS:</b> 10' Front 10' Side 10' rear</p> <p><b>SNOW STORAGE:</b> 25% of all hard parking and pedestrian surfaces. 21,800 paved x .25 = 5,450 sq. ft. Req. 9,000 sq. ft. Shown</p> <p><b>REQUIRED PARKING:</b> Dwelling Units &lt;1,000 sq. ft. = 1 space Industrial Uses = 1/1,000 sq. ft. 7 Required, 8 Provided, 510 sq. ft. Loading Space Provided</p> <p><b>CLIMATE ZONE:</b> IECC 6 per 2018 IECC</p> <p><b>BLDG. CODE:</b> 2018 IBC 2018 IECC 2018 IFC 2024 NFPA 30 2024 NFPA 30A</p> <p><b>JURISDICTION:</b> City of Hailey Idaho Design Review Required</p>	<p><b>ARCHITECT:</b> Jay Cone Architecture PC Jay Cone AIA 651 El Dorado Lane Hailey, Idaho 83333 208-578-5226</p> <p><b>STRUCTURAL ENGINEER:</b> Kore Four Markell Bateman P.E. 1020 Lincoln Road Idaho Falls, Idaho 83401 208-227-8404</p> <p><b>SURVEYING:</b> Orion Surveying PLLC Steve Schwarz PLS PO Box 695 Bellevue, Idaho 83313 208-721-3849</p> <p><b>CIVIL ENGINEERING:</b> Opal Engineering PLLC Samantha Stahlnecmer P.E. 416 S. Main Street Suite 204 Hailey, Idaho 83333 208-720-9608</p> <p><b>SURVEYING / PLAT AMEND.</b> Alpine Enterprises Inc. Bruce Smith PLS 660 Bell Dr. Unit #1 Ketchum, Idaho 83340 208-727-1988</p> <p><b>ENERGY EVALUATION:</b> Greenworks John Reuter 102 S. 4th Ave. Hailey, Idaho 83333 208-721-2922</p> <p><b>WASH SYSTEM:</b> Royce Industries L.C. 511 East Bower Street Meridian, Idaho 83642 208-377-8292</p> <p><b>FIRE PROTECTION DESIGNER:</b> Mountain Fire Sprinkler Bill Gooding 1120 Broadford Road #115 Hailey, Idaho 83333 208-726-5722</p> <p><b>GENERAL CONTRACTOR:</b> Tormey Construction Inc. John Tormey PO Box 4810 Ketchum, Idaho 83340 208-726-2328</p>	<p><b>SERVICE COMMERCIAL INDUSTRIAL DISTRICT SCI</b></p> <p><b>DISTRICT WIDE REGULATIONS</b> B. Landscape screening and buffering shall be provided and maintained by the owner in all front yards and adjacent to arterial roads. D. Design Review required.</p> <p><b>INDUSTRIAL SUBDISTRICT SCI-I</b></p> <p><b>ACCESSORY USES</b> D. Accessory dwelling units (ADU), provided the following criteria are met: 1. There shall not be more than one ADU per unit within a principal building. 2. ADU entrances shall connect to sidewalks and/or designated pedestrian circulation areas that lead to and from the primary sidewalk system and away from work zone alleys. 3. Each ADU shall have designated ground floor storage space for the occupant's use. The storage shall be secure, covered and screened. 4. An ADU shall be occupied by an owner or employee of a business which occupies the principal building. 5. An ADU shall not be sold as a condominium or a separate legal parcel from the principal building.</p> <p><b>BULK REQUIREMENTS</b> B. No parking shall be placed within setback areas. C. All materials stored shall be screened from sight by a wall or fence 4' min., 8' max.</p> <p><b>DISTRICT USE MATRIX</b></p> <p><b>PERMITTED USES</b> Uses include; ADUs, warehouses, transportation, towing, auto repair.</p> <p><b>ACCESSORY DWELLING UNIT DEFINITION</b> A structure subordinate to the principal use on the same lot or premises having kitchen facilities and at least one bathroom, to be occupied as a residence, which is incidental to the use of the principal building.</p> <p><b>ACCESSORY DWELLING UNITS</b> A. Accessory dwelling units may be located within, or attached to, a principal building or may be located within a detached accessory building. C. In SCI zones accessory dwelling units are permitted in conjunction with commercial buildings.</p> <p><b>REGISTRATION REQUIRED</b> A. All Accessory dwelling units created after January 25, 2021 shall be issued an accessory dwelling unit compliance certificate.</p> <p><b>SUBORDINATE SCALE AND SIZE</b> A 1. Scale: The floor area of an accessory dwelling unit (ADU) is limited to no more than sixty-six percent (66%) of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less. A 2. Maximum floor area: Lot Size greater than 8,001 sq. ft. = 1,000 sq. ft. max ADU size. A 2 1. Gross square footage calculations for Accessory Dwelling Units does not include exterior, uncovered staircases. Interior staircases and circulation corridors are included. A 3 Number of bedrooms: Accessory dwelling units may have a maximum of two (2) bedrooms.</p> <p><b>LIVABILITY</b> A. Outdoor Access: All accessory dwelling units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineate by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than fifty (50) square feet in size. The outdoor access area shall be approved through the design review process.</p> <p><b>DESIGN STANDARDS</b> A 1 G (10) In the SCI district parking may be located at the side or rear of a building. A 1 J Snow storage shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas. A 2 I All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3): (1) Solar Orientation: If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within thirty degrees (30o) of true south. (2) Double Glazed: Double glazed windows. (3) Low Emissivity Glazing: Windows with low emissivity glazing. A 4 e Seasonal plantings in planter boxes, pots and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p>	<p><b>GENERAL DRAWINGS</b> G-001 COVER SHEET G-002 GENERAL NOTES G-003 ACCESSIBILITY DETAILS G-004 CODE COMPLIANCE PLANS G-005 CODE COMPLIANCE NOTES</p> <p><b>SITE PLANS</b> AS-001 ARCHITECTURAL SITE PLAN AS-002 LANDSCAPE PLAN AS-003 STAGING AND PARKING PLAN</p> <p><b>CIVIL DRAWINGS</b> C-101 SURVEY C-10 COVER SHEET C-100 DETAIL SHEET C-101 DETAIL SHEET C-110A SITE IMPROVEMENT PLAN</p> <p><b>FLOOR PLANS</b> A-100 FIRST FLOOR PLAN A-101 SECOND FLOOR / LOWER ROOF PLAN A-102 UPPER WINDOWS PLAN A-103 ROOF PLAN</p> <p><b>STRUCTURAL LAYOUT PLANS</b> SL-1 FOUNDATION STRUCT LAYOUT PLAN SL-2 SECOND FLOOR LOWER ROOF STRUCT LA SL-3 UPPER ROOF STRUCT LAYOUT PLAN</p> <p><b>ELEVATIONS</b> A-201 EXTERIOR ELEVATIONS A-202 EXTERIOR ELEVATIONS</p> <p><b>SECTIONS</b> A-301 BUILDING SECTIONS A-302 BUILDING SECTIONS</p> <p><b>ENLARGED PLANS</b> A-401 RESTROOM / TYPICAL BAY / LAUNDRY A-402 STAIR / ENTRY DECK A-403 FUEL STATION A-404 FUEL STATION - HEIGHT EVAL</p> <p><b>DETAILS</b> A-501 ARCHITECTURAL DETAILS A-502 ARCHITECTURAL DETAILS A-503 ARCHITECTURAL DETAILS</p> <p><b>DOORS &amp; WINDOWS</b> A-601 DOOR WINDOW SCHEDULES</p> <p><b>ELECTRICAL</b> A-701 FIRST FLOOR ELECTRICAL PLAN A-702 SECOND FLOOR ELECTRICAL PLAN</p>
<p><b>PLAT MAP</b></p> 				<p><b>PRELIMINARY DESIGN REVIEW RESPONSES</b> 1 SEE A-403 FOR ADDITION OF CURB AT SLAB AT FUEL STATION 2 SEE AS-001 FOR ADDITION OF LIGHT POLE AND MOTION SENSOR AT FUEL STATION. SEE A-801 FOR LIGHT FIXTURE SPECIFICATION. 3 TANK IS ANTICIPATED TO BE FILLED 6 TIMES PER YEAR. FILLINGS WILL BE MORE FREQUENT IN DECEMBER AND JULY. 4 SEE AS-001 FOR DISTANCE FROM TANK TO ADJACENT BUILDINGS AND AREAS. 5 SEE A-201 FOR ADDITION OF GLASS BLOCK AT WEST ELEVATION.</p>
<p><b>SELECT CCR PROVISIONS</b></p> <p>7.3 The Association shall maintain and keep in good repair...all landscape areas within the dedicated right-of-way...and set aside parks...such as Parcel A. 8.1A Accessory Dwelling Units may be permitted with written approval. 8.4 No alteration shall be made without the prior written approval of the ARB.</p>				
<p><b>SELECT IFC PROVISIONS</b></p> <p>2306.2.3 Above-ground fuel tanks shall be listed and labeled in accordance with UL 2085. TABLE 2306.2.3 Protected above-ground tanks less than 6,000 gallons shall be not less than 15' from any lot line that can be built on.</p>				







- LEGEND**
- PLATTED LOT BOUNDARY
  - FND. 1/2" REBAR LS 10161 UNLESS NOTED
  - 1"W.C. 1' WITNESS CORNER PER PLAT
  - RM 1' REFERENCE MONUMENT (RADIAL) PER PLAT
  - X 5000.1± SPOT ELEVATION
  - SSMH ⊕ SEWER MANHOLE
  - WV ⊕ WATER VALVE(S)
  - DI ⊕ DRAIN INLET
  - DESIGNATED APPROACH PER PLAT
  - X APPROXIMATE FENCE LOCATION
  - AREA OF CONCRETE GUTTER AND/OR SIDEWALK
  - APPROXIMATE LOCATION OF ACCESS & PUBLIC UTILITY EASEMENT DOTTED FROM SUB'D. PLAT—SEE NOTE #11.

- NOTES:**
1. THE PURPOSE OF THIS SURVEY IS TO SHOW CERTAIN TOPOGRAPHICAL FEATURES AS THEY EXISTED IN EARLY AUGUST OF 2024. CHANGES MAY HAVE OCCURRED TO THE SITE SINCE SAID DATE.
  2. THIS MAP IS AN INSTRUMENT OF SERVICE AND WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT. IT IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT BY THE SURVEYOR AND IT IS NOT TO BE USED IN REAL ESTATE TRANSACTIONS.
  3. THE ELEVATION DATUM IS ASSUMED AND ONE SHOULD USE THE BENCHMARK SHOWN.
  4. PORTIONS OF THE SOUTHERLY PART OF THE PROPERTY WERE COVERED WITH SPREAD LANDSCAPING BARK, THE DEPTH OF WHICH IS NOT KNOWN. IN ADDITION, A LARGE NUMBER OF RENTAL VEHICLES WERE PARKED ON THE PROPERTY AT THE TIME OF THE SURVEY. ITEMS OCCURRED BY VEHICLES ARE NOT SHOWN HEREON.
  5. A TITLE POLICY WAS PROVIDED TO THE SURVEYOR BY THE CLIENT AS COMMITMENT #260808 PREPARED BY ISSUING AGENT BLAINE COUNTY TITLE DATED 8/14/2024. CERTAIN ITEMS WITHIN SAID TITLE POLICY MAY AFFECT THE PROPERTY, BUT ARE NOT SHOWN HEREON. THE BOUNDARY AND EASEMENTS SHOWN OR LISTED HEREON ARE PER THOSE SHOWN OR LISTED ON THE SUBDIVISION PLAT ONLY. REFER TO SAID PLAT, PLAT NOTES, PREVIOUS PLATS, ALL CO'S AND A CURRENT TITLE POLICY FOR OTHER EASEMENTS OR ITEMS/EXCEPTIONS WHICH MAY AFFECT THE PROPERTY, BUT ARE NOT SHOWN OR LISTED HEREON.
  6. ANY DRAIN PIPES, CULVERTS, DRAINS OR UTILITIES SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY AT THE TIME OF THE SURVEY. OTHER UTILITIES MAY EXIST AND THE LOCATION OF ALL UTILITIES (ABOVE OR BELOW GROUND) AND UTILITY SERVICES SHOULD BE CONFIRMED PRIOR TO FINAL DESIGN AND CONSTRUCTION. SPRINKLER HEADS AND/OR IRRIGATION DEVICES ARE NOT SHOWN HEREON.
  7. EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PROPERTY: EASEMENTS (OTHER THAN THOSE LISTED OR SHOWN ON THE SUBDIVISION PLAT), COUNTY/CITY ACCEPTED BOUNDARY/SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, AVALANCHE DANGER, EXCEPTIONS CONTAINED WITHIN A CURRENT TITLE POLICY, EXISTING WETLANDS/WETLAND CONDITIONS, ALL PERTINENT SUBDIVISION PLAT NOTES, ITEMS LISTED IN ANY CO'S OF DEVELOPMENT/ANNEXATION AGREEMENT WHICH MAY AFFECT THE PROPERTY, ZONING OR ANY OTHER LAND-USE REGULATIONS.
  8. DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, USE THE BAR SCALE TO DETERMINE THE ACTUAL PRINTED SCALE OF THE MAP.
  9. THE EXACT DATE OF THE AERIAL PHOTO SHOWN IS UNKNOWN AND IT IS FOR GENERAL REFERENCE ONLY. IT SHOULD NOT BE USED TO LOCATE ITEMS DEFINITELY.
  10. CONTOURS IN DENSE VEGETATION ARE APPROXIMATE.
  11. LOCATION OF ACCESS AND UTILITY EASEMENT DOTTED OFF THE PLAT (APPROX.) FILES WILL BE TRANSMITTED.
  12. THIS DRAWING IS VOID AFTER 2 YEARS AND NO ADDITIONAL COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

**CURVE TABLE**

BEARING (RADIAL) OR IDENTIFYING ANGLE/TANGENT CHORD BEARING/CHORD LENGTH	CHORD	TANGENT	ARC LENGTH	PIECE POINT
105.00/113.24	113.24	16.31	18.75	113.74

PREPARED BY:  
**ORION SURVEYING PLLC**  
 SURVEYING AND MAPPING  
 P.O. BOX 695  
 BELLEVILLE, IDAHO 83413  
 (208) 721-3649

**LOT 3A, BLOCK 4**  
**AIRPORT WEST SUB'D. PH.#2**  
 SEC. 15, T2N, R18E, B.M.  
 CITY OF HAILEY, BLAINE COUNTY, IDAHO.  
 CLIENT: OVERLAND WEST INC. - ERK PETERSON  
 JOB NO. #315    DWS BY J. SWS    SHEET 1 OF 1  
 AIRPORT WEST PH#2 LOT 3A BLK 4 PH#2 DATE: 8/18/2024



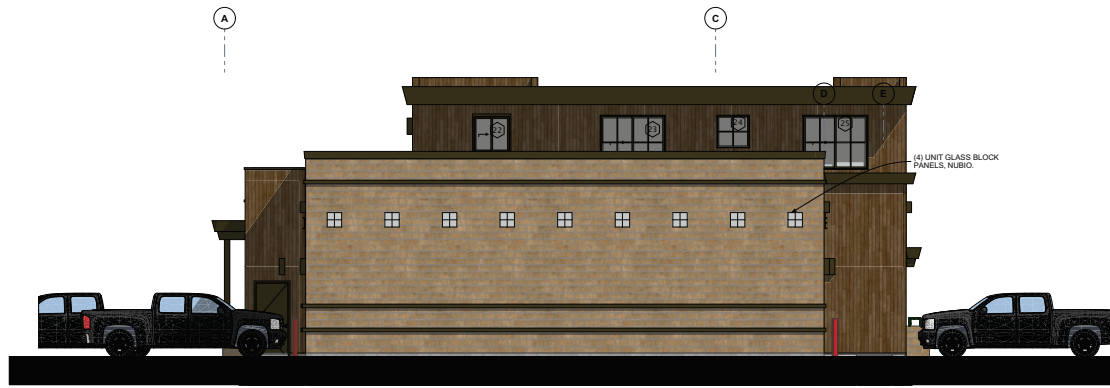




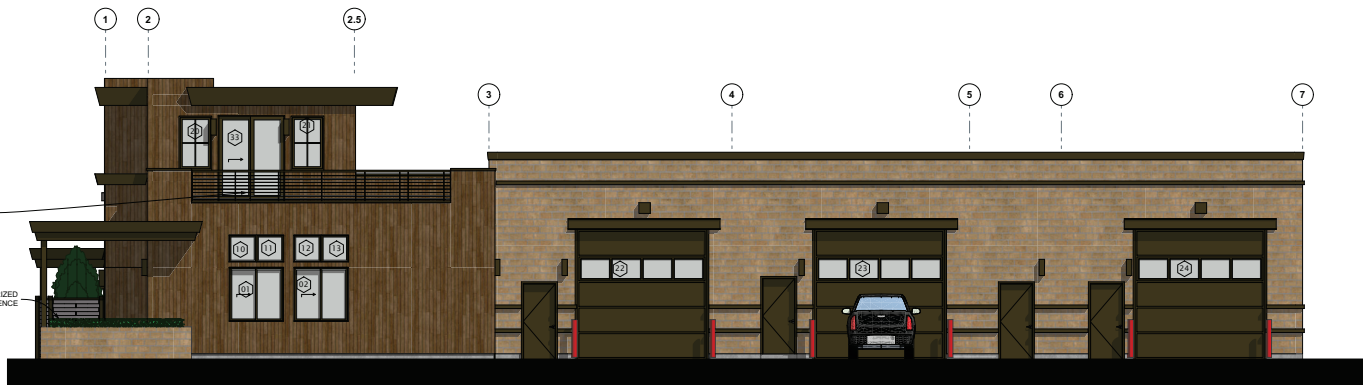








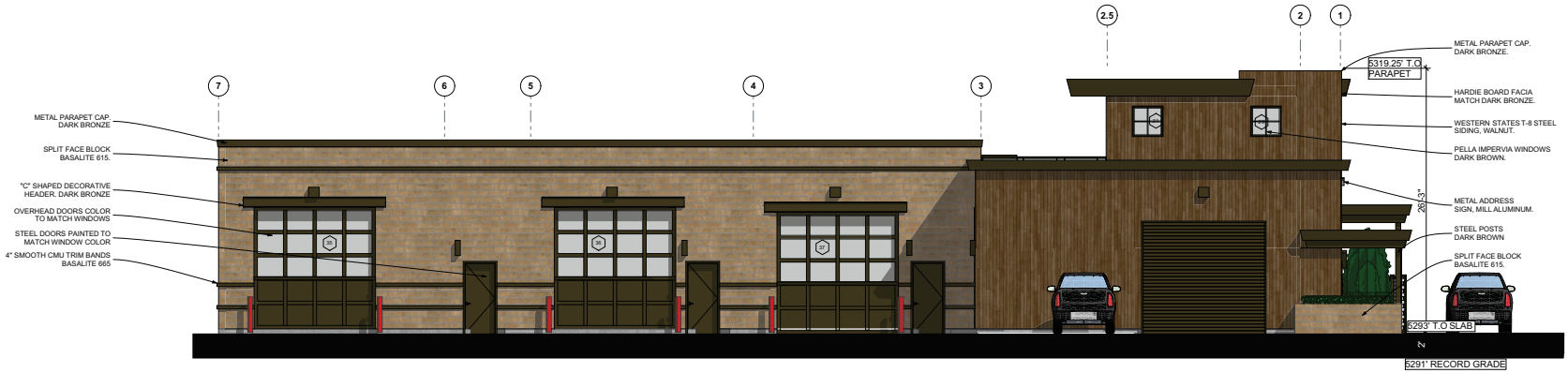
1 WEST ELEVATION  
SCALE 3/16" = 1'-0"



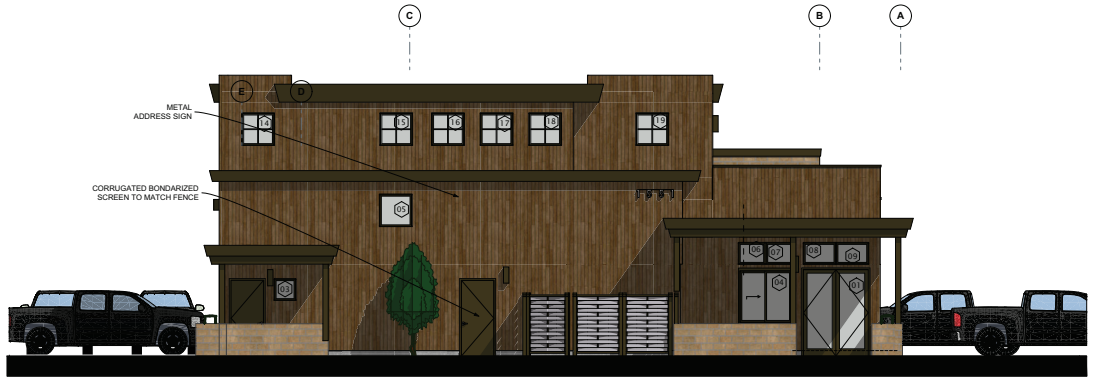
2 NORTH ELEVATION  
SCALE 3/16" = 1'-0"

JAY CONE ARCHITECTURE PC  
CONSENTS TO PROVIDE A LIMITED  
LARGE SCALE COPY OF THIS DRAWING  
FOR INFORMATIONAL PURPOSES ONLY.  
THIS DRAWING IS NOT TO BE  
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TRANSMITTED IN ANY FORM OR BY ANY  
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INCLUDING PHOTOCOPYING, RECORDING,  
OR BY ANY INFORMATION STORAGE AND  
RETRIEVAL SYSTEM, WITHOUT THE  
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Scale: AS NOTED  
Drawn:  
Job: 2024-18



1 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

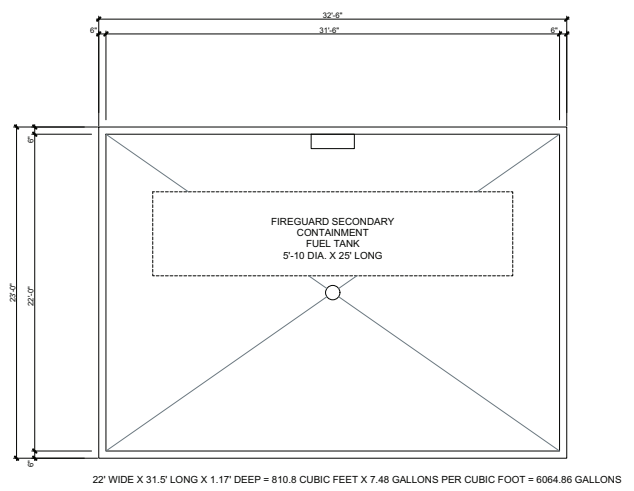


2 EAST ELEVATION  
SCALE: 3/16" = 1'-0"

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AND RETRIEVAL SYSTEM, OR  
BY ANY COMMUNICATIONS  
METHODS, WITHOUT THE  
WRITTEN PERMISSION OF  
JAY CONE ARCHITECTURE PC.

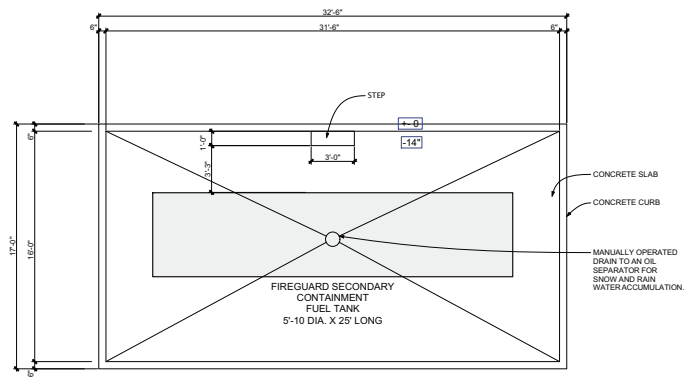

Scale: AS NOTED  
Drawn:  
Job: 2024-18

A-202



22' WIDE X 31.5' LONG X 1.17' DEEP = 810.8 CUBIC FEET X 7.48 GALLONS PER CUBIC FOOT = 6064.86 GALLONS

**OPTION**



16' WIDE X 31.5' LONG X 1.17' DEEP = 589.68 CUBIC FEET X 7.48 GALLONS PER CUBIC FOOT = 4,410.81 GALLONS

- Notes:**
- 1) See Sheet Notes for code info.
  - 2) Max. spacing on bollards 4'-0" o.c.
  - 3) Ensure "Point of Transfer" on tank is at least 10 feet from all sources of ignition.
  - 4) Note tank is off center on pad to allow access on the East side. Tank all no point should be less than 3' from bollards.
  - 5) Verify power requirements and stub-out location for light pole, motion sensor and tank equipment to comply with the IFC.
  - 6) Verify "Point of Transfer" on tank no less than 12'-0" from property line.
  - 7) Verify "Point of Transfer" on tank no less than 10' away from tank.
  - 8) All other combustibles including weeds and grass not less than 10' away from tank.
  - 9) Verify cutoff switch on pole no less than 20' away.
  - 10) Verify requirements with Leonard Petroleum Equipment.
  - 11) Signage per code to be provided.
  - 12) Access restricted by key card.
  - 13) EPA requires 110% containment for the largest single wall tank.

**INTERNATIONAL FIRE CODE – OVERVIEW OF REQUIREMENTS FOR FUEL DISPENSING**

2303.1 DISPENSING DEVICES SHALL BE LOCATED 10 OR MORE FEET FROM PROPERTY LINES AND 20 OR MORE FEET FROM FIXED SOURCES OF IGNITION.

2303.2 EMERGENCY DISCONNECT SWITCH SHALL BE PROVIDED AND LOCATED AT LEAST 20 FEET BUT NOT MORE THAN 100 FEET AWAY. SHALL BE SIGNED AS "EMERGENCY FUEL SHUTOFF". MOUNTING HEIGHT SHALL NOT BE LESS THAN 42 INCHES OR MORE THAN 48 INCHES.

2306.2.3 ABOVE-GROUND TANKS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 2085 AND CHAPTER 57.

2306.3 GUARD POSTS SHALL BE PROVIDED PER SECTION 312 UNLESS THE TANK IS LISTED AS PROTECTED AGAINST IMPACT, FROM A MOTOR VEHICLE.

2306.5 SECONDARY CONTAINMENT IS NOT REQUIRED FOR LISTED SECONDARY CONTAINMENT TANKS. ABOVE GROUND TANKS SHALL BE MONITORED VISUALLY OR AUTOMATICALLY.

\*A DOUBLE-WALL, "FIREGUARD" TANK HAS BEEN SPECIFIED. THE DOUBLE WALL PROVIDES "SECONDARY CONTAINMENT" PER THE IFC. NO EXTERNAL CONTAINMENT SAFETY FEATURE IS REQUIRED ON THE STORAGE SITE. THE CONCRETE CURB PROVIDED AROUND THE TANK PAD IS AS REQUESTED BY THE CITY OF HALEY DESIGN REVIEW COMMISSION ONLY. IT IS NOT REQUIRED TO COMPLY AS A CONTAINMENT AREA NOR IS IT DESIGNED AS SUCH\*

2306.7 FUEL DISPENSING SYSTEMS AND SUBMERSIBLE PUMPS SHALL BE LISTED.

\*ALL DISPENSING, FILLING, INSPECTING, MAINTENANCE AND NOZZLE REQUIREMENTS TO BE CONFIRMED BY SUBCONTRACTOR\*

5704.2.3.1 SIGNS SHALL BE POSTED PROHIBITING OPEN FLAMES AND SMOKING.

5704.2.3.2 TANKS SHALL BEAR A PLACARD IDENTIFYING THE MATERIAL CONTAINED IN ACCORDANCE WITH NFPA 704

5704.2.6 GRASS WEEDS AND OTHER ORGANIC COMBUSTIBLE MATERIAL SHALL NOT BE ALLOWED TO ACCUMULATE AROUND THE TANK.

5704.2.9.3 FOUNDATIONS AND ANCHORAGES SHALL BE CONSTRUCTED IN ACCORDANCE WITH NFPA 30 AND THE IBC.

5704.2.9.4 STAIRWAYS SHALL BE IN ACCORDANCE WITH THE IBC.

IBC 1011.6 THERE SHALL BE A LANDING AT THE TOP AND BOTTOM OF STAIRWAYS EQUAL TO THE WIDTH OF THE STAIR.

IBC 1011.11 WALKWAYS THAT HAVE A SINGLE CHANGE IN ELEVATION AND THE LANDING IS GREATER THAN REQUIRED DO NOT REQUIRE HANDRAILS.

5704.2.9.7.4 WHERE TANKS ARE SUBJECT TO VEHICLE IMPACT, THEY SHALL EITHER HAVE IMPACT PROTECTION BUILT-IN PER UL2085 OR MEET PROVISIONS OF SECTION 312 OR A COMBINATION OF BOTH.

5706.2.7 PORTABLE FIRE EXTINGUISHERS WITH A MINIMUM RATING OF 20-B:C AND COMPLYING WITH SECTION 906 SHALL BE PROVIDED PER THE FIRE MARSHALL.

SECTION 312.2 Guard posts shall comply with all of the following requirements:

1. Constructed of steel not less than 4 inches (102 mm) in diameter and concrete filled.
2. Spaced not more than 4 feet (1219 mm) between posts on center.
3. Set not less than 3 feet (914 mm) deep in a concrete footing of not less than a 15-inch (381 mm) diameter.
4. Set with the top of the posts not less than 3 feet (914 mm) above ground.
5. Located not less than 3 feet (914 mm) from the protected object.

312.3 Other barriers.

SECTION 312.3 Physical barriers shall be a minimum of 36 inches (914 mm) in height and shall resist a force of 12,000 pounds (53 375 N) applied 36 inches (914 mm) above the adjacent ground surface.

**1 FUEL STATION**







# OVERLAND WEST- CAR RENTAL WASH STATION LOT 3A, BLOCK 4, AIRPORT WEST SUBDIVISION II HAILEY, IDAHO

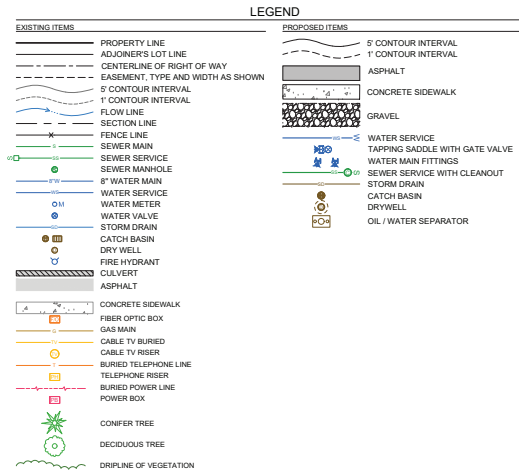
## JANUARY 2025

### GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- OPAL ENGINEERING, PLLC IS NOT RESPONSIBLE FOR IDAHO POWER OR OTHER DRY UTILITY SERVICE REQUESTS.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
  - PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
  - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2") SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B) SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1, IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1619, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS PER A SURVEY BY ALPINE ENTERPRISES DATED DECEMBER 2, 2021 AND DECEMBER 18, 2023.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET FOR ALL CONSTRUCTION WITHIN THE PUBLIC RIGHTS-OF-WAY. TESTING LOCATION AND FREQUENCY SHALL MEET ISPCW AND ADA COUNTY HIGHWAY DISTRICT (ACHD) REQUIREMENTS. REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN TWO WEEKS OF TESTING.



**VICINITY MAP**  
N.T.S.



### SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C1.00	DETAIL SHEET
C1.01	DETAIL SHEET
C1.10	SITE IMPROVEMENT PLAN
C1.20	SITE GRADING & DRAINAGE PLAN
C1.30	GRADING DETAILS

**DEVELOPER**  
OVERLAND WEST INC.  
ERIK PETERSEN  
2805 WASHINGTON BLVD.  
OGDEN, UT 84401

**CIVIL ENGINEER**  
SAMANTHA STAHLNECKER, P.E.  
OPAL ENGINEERING, PLLC  
416 S. MAIN STREET SUITE 204  
PO BOX 2530  
HAILEY, IDAHO 83333

**LAND SURVEYOR**  
BRUCE SMITH, PLS  
ALPINE ENTERPRISES INC.  
860 BELL DR #1  
KETCHUM, ID 83340

**ARCHITECT**  
JAY CONE ARCHITECTURE, PC  
JAY CONE, AIA  
651 E. DORADO LANE  
HAILEY, IDAHO 83333



REVISION NO.	DATE	DESCRIPTION



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**COVER SHEET**

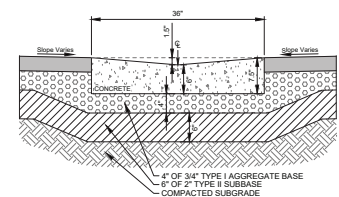
OVERLAND WEST- CAR RENTAL WASH STATION  
LOT 3A, BLOCK 4, AIRPORT WEST SUBDIVISION II

PREPARED FOR: OVERLAND WEST INC. 2805 WASHINGTON BLVD. OGDEN, UT 84401  
DATE: 01/28/25  
PROJECT NUMBER: 24011-01

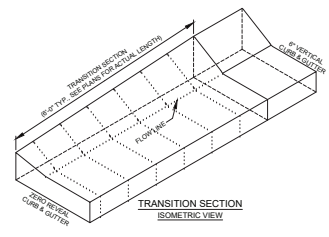
24011-01  
PROJECT NUMBER

C0.10

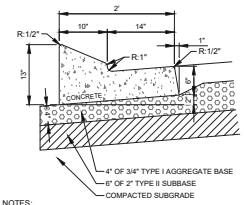




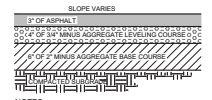
4  
 C1.00  
**36" WIDE CONCRETE VALLEY GUTTER**  
 N.T.S.



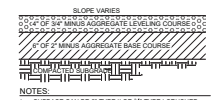
3  
 C1.00  
**TYPICAL CURB & GUTTER**  
 N.T.S.



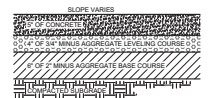
2  
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**ROLLED CURB & GUTTER TYPE 1**  
 N.T.S.



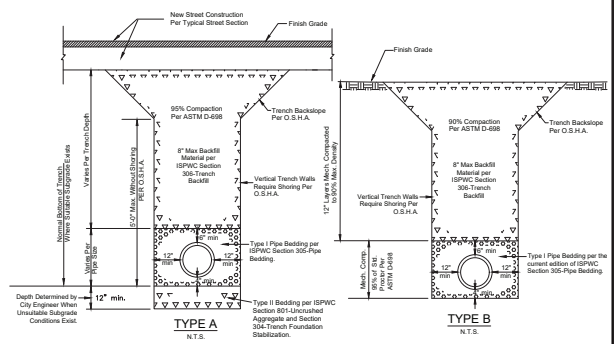
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**TYPICAL ASPHALT SECTION**  
 N.T.S.



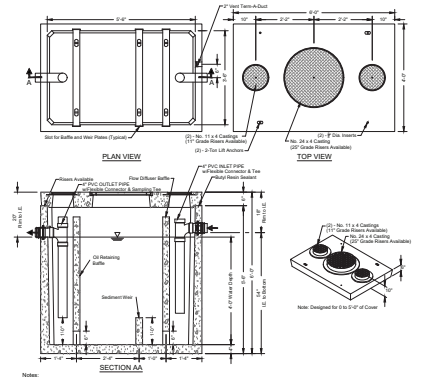
6  
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**TYPICAL GRAVEL SECTION**  
 N.T.S.



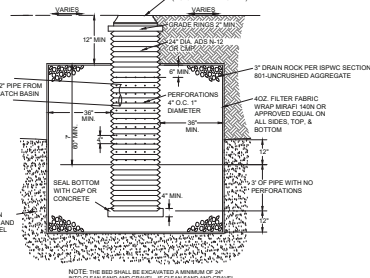
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**TYPICAL CONCRETE SIDEWALK SECTION**  
 N.T.S.



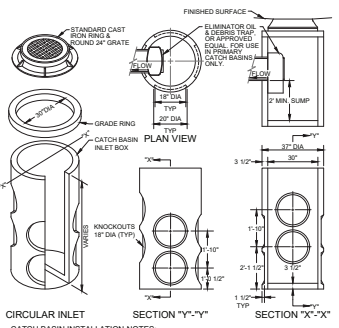
10  
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**CITY OF HAILEY DETAIL NEW DEVELOPMENT TYPICAL TRENCH SECTION**  
 N.T.S.



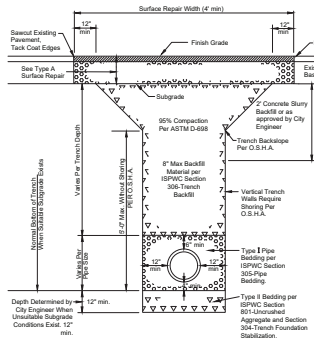
9  
 C1.00  
**550 GAL. OIL / WATER SEPARATOR DETAIL**  
 N.T.S.



8  
 C1.00  
**DRYWELL DETAIL**  
 N.T.S.



7  
 C1.00  
**30\"/>
 N.T.S.**



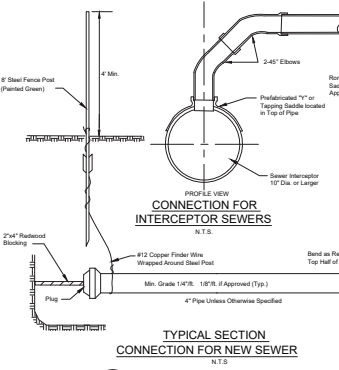
EXISTING STREET  
TYPICAL TRENCH SECTION  
N.T.S.

- NOTES**
- Type I Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
  - Type II Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
  - Where 25% or more of any portion of the surface area of any pavement has been damaged within the project limits, full width restoration shall be required. Any strip of remaining pavement less than 2 feet in width along curb and gutter or pavement edge shall be removed and replaced.
  - Native materials may be used for backfill unless, in the sole opinion of the City Engineer, the native material is found to be unstable. Then 8 inch minus aggregate, which meets the requirements of the current edition of the ISPWV Standards-Section 80-Unbound Aggregate or crushed aggregate, which meets the requirements of the current edition of the ISPWV Standards-Section 80-Crushed Aggregate, will be required as backfill.
  - The completed patch shall not deviate from existing surface more than .02 7/10 in in any direction.
  - The completed patch shall not pond water in excess of .02 feet depth.
  - Surface repair in gravel shoulder areas within 3 feet of pavement edge shall be 3 inch depth of Type I crushed aggregate per the current edition of the ISPWV Standards-Section 80-Crushed Aggregate.
  - Contractor shall be responsible for maintenance of street repair for one year after installation. PUC regulated utilities shall be responsible for a period of three years.
  - All utility coverings, including but not limited to power, telephone, cable TV, gas, and water services, which cross existing paved roads shall be constructed by horizontal boring. Open cuts across paved roadways will only be allowed after a minimum of three failed attempts with approved boring tools. Where utility mains are located under existing pavement, open cuts will be allowed and boring is not required. If in the judgment of the City Engineer, boring may be detrimental to the health, safety, or welfare of the public, boring will not be required and trenching will be allowed. A six foot trench, less feet deeper than the proposed utility shall be excavated adjacent to the edge of pavement for evaluation of soil conditions by the City Engineer to determine if boring shall be allowed if trenching will be allowed.
  - All trenches shall be required within 72 hours of starting the work unless prior approval to delay reporting has been provided by the City Engineer.
  - Concrete Slurry Mix Design
 

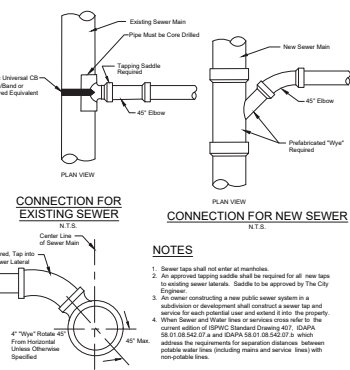
Concrete Aggregate (3/8" minus)	2,800 lbs
Sand	800 lbs
Cement	96 lbs (max)
Water	11 gals (max)

1  
C1.01 TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)  
N.T.S.

**TYPE A SURFACE REPAIR AND BASE**  
N.T.S.



TYPICAL SECTION  
CONNECTION FOR NEW SEWER  
N.T.S.

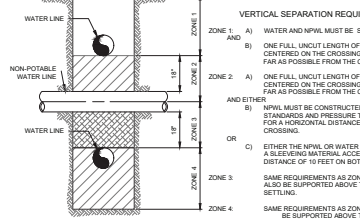


CONNECTION FOR EXISTING SEWER  
N.T.S.

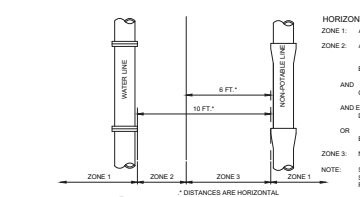
- NOTES**
- Sewer tees shall not enter at manholes.
  - An approved teeing saddle shall be required for all new tees to existing sewer mains. Saddle to be approved by The City Engineer.
  - An owner constructing a new public sewer system in a subdivision or development shall construct a sewer tap and manhole for each individual sewer and extend it into the property. When sewer and water lines or service cross each other, the current edition of ISPWV Standard Drawing 407, SDAPA 08.01.05.542.1.2 and SDAPA 08.01.05.542.1.3, which address the requirements for separation distances between potable water lines (including main and service lines) with non-potable lines.

2  
C1.01 CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)  
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES

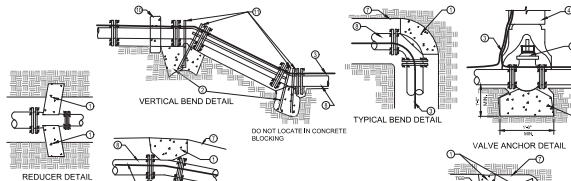


- VERTICAL SEPARATION REQUIREMENTS**
- ZONE 1. A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND
- ONE FULL UNCUPLED LENGTH OF BOTH PVL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2. A) ONE FULL UNCUPLED LENGTH OF BOTH PVL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- AND EITHER
- B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.
- OR
- C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVING MATERIAL ACCESSIBLE TO USE FOR HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3. SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4. SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.



- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1. A) NO SPECIAL REQUIREMENTS.
- ZONE 2. A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES
- B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.
- C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL.
- AND EITHER
- D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS
- OR
- E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3. NOT ALLOWED WITHOUT DEQ WAIVER.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

3  
C1.01 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION  
N.T.S.



**LEGEND**

- FOR HORIZONTAL PIPE BENDS BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE BEARING AGAINST UNDISTURBED EARTH PER TABLE 1
- FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
- NO. 12 COPPER FINER WIRE, SEE S.D. 05-114 FOR SPACING.
- C.I. VALVE BOX WITH COVER.
- C.I. GATE VALVE (W.L.)
- PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-#3B MIN REBAR.
- TRENCH SIDE.
- PIPE.
- PLUG.
- HAMMERHEAD THRUST BLOCKING.
- ANCHOR BARS (1/2" DIA.) MIN.

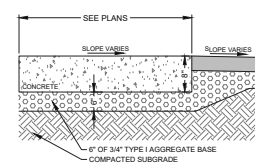
**TABLE 1**  
THRUST AREA FOR HORIZONTAL BENDS\*\*

SOL BEARING PRESSURE = 2500 PSF  
WORKING PRESSURE RATING = 150 PSI  
WATER FACTOR = 1.5

PIPE SIZE	90° BEND		45° BEND		REDUCER
	18"	24"	18"	24"	
3"	0.6	1.1	0.6	0.3	
4"	0.4	0.9	0.3	0.6	
6"	3.2	4.5	2.4	1.2	
8"	5.7	8.0	4.5	2.2	
10"	8.8	12.5	6.8	3.4	
12"	12.2	18.6	9.7	5.0	
14"	17.3	24.2	13.3	6.8	
16"	22.6	32.2	17.3	9.8	
18"	29.8	40.5	22.9	12.8	

\*\* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOL BEARING STRENGTH)  
\*\* OR TEE ACTING AS A 90° BEND  
\*\* THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3" & 4" AND 18" FOR PIPE SIZES 10" & 12" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

4  
C1.01 THRUST BLOCK AND ANCHOR DETAILS  
N.T.S.



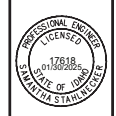
- NOTES**
- MATERIALS SHALL CONFORM WITH CURRENT ISPWV STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 10-INCH PRE-FORMED EXPANSION JOINT MATERIAL (ASHTO M 313) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WIDESPACING).

5  
C1.01 TYPICAL CONCRETE PAD SECTION  
N.T.S.



OPAI ENGINEERING, PLLC  
PO BOX 2430 HAILEY ID 83403  
PH 208-783-4444 FAX 208-783-4444

REVISION NO.	DATE	DESCRIPTION



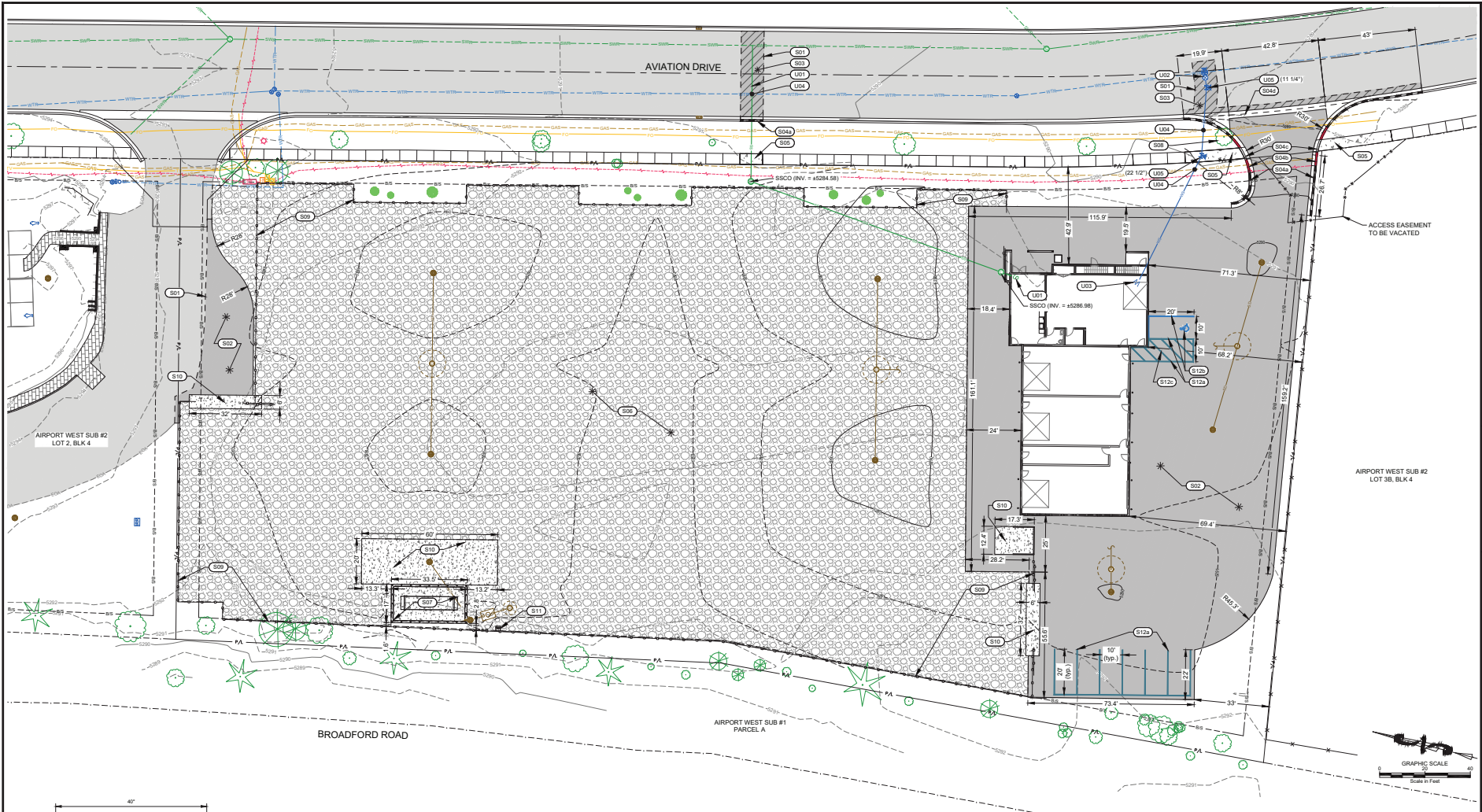
PRELIMINARY  
NOT FOR  
CONSTRUCTION

DETAIL SHEET

OTLAND WEST, CARPENTERS WASH STATION  
LOT 3A, BLOCK 4, AIRPORT WEST SUBDIVISION II

24011-01  
PROJECT NUMBER

C1.01



PURPOSE: ISSUE FOR DESIGN REVIEW SUBMITTAL (01/28/2025)

REVISION NO.	DATE	DESCRIPTION



PRELIMINARY NOT FOR CONSTRUCTION

**SITE IMPROVEMENT PLAN**  
 OVERLAND WEST, CAR RENTAL WASH STATION  
 LOT 3A, BLOCK 4, AIRPORT WEST SUBDIVISION II

24011-01  
 PROJECT NUMBER

C1.10

RELEASE OF DRAWINGS: THESE DRAWINGS OR ANY PART THEREOF SHALL BE THE PROPERTY OF OPAL ENGINEERING, PLLC. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF OPAL ENGINEERING, PLLC IS STRICTLY PROHIBITED.



NOTE: ADA SYMBOL SHALL BE WRITTEN ON BLUE WITH BORDER, PREMIUM HANDICAP WITH VISIBLE, 300M, THERMOPLASTIC OR APPROVED EQUAL.

**1 ADA SYMBOL**  
 N.T.S.

**SITE IMPROVEMENT KEY NOTES**

- S301 SAWCUT ASPHALT TO PROVIDE FOR CLEAN VERTICAL EDGE.
- S302 CONSTRUCT ASPHALT ROADWAY / PARKING AREA. REFER TO DETAIL 1 / C1.00.
- S303 CONSTRUCT ASPHALT REPAIR. REFER TO DETAIL 1 / C1.00.
- S304 CONSTRUCT CONCRETE CURB AND GUTTER.
  - a. 6" MODIFIED ROLLED CURB AND GUTTER. REFER TO DETAIL 2 / C1.00.
  - b. CURB TRANSITION. REFER TO DETAIL 3 / C1.00.
  - c. ZERO REVEAL CURB AND GUTTER. REFER TO DETAIL 3 / C1.00.
  - d. 3" WIDE VALLEY GUTTER. REFER TO DETAIL 4 / C1.00.
- S305 CONSTRUCT CONCRETE SIDEWALK AND SIDEWALK REPAIR. REFER TO DETAIL 5 / C1.00.

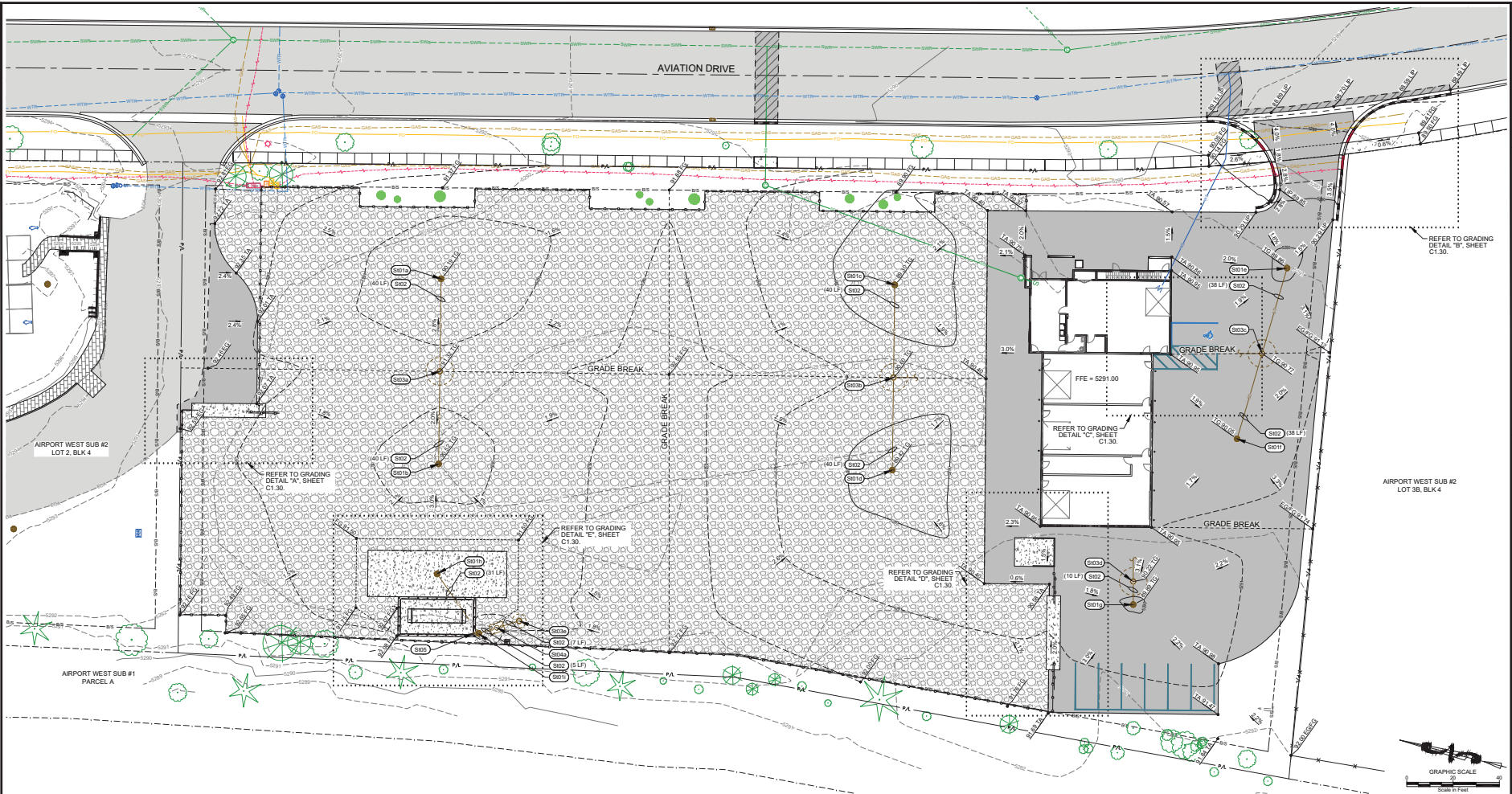
- S306 CONSTRUCT GRAVEL DRIVEWAY / PARKING AREA IMPROVEMENTS. REFER TO DETAIL 6 / C1.00.
- S307 INSTALL FUEL TANK AND CONSTRUCT FUEL TANK SECONDARY CONTAINMENT. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- S308 RELOCATE TREE. REFER TO ARCHITECTURAL PLANS.
- S309 INSTALL SCREENING / SECURITY PERIMETER FENCE AND GATES. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- S310 CONSTRUCT 8" THICK CONCRETE PAD. REFER TO DETAIL 5 / C1.01.
- S311 INSTALL EMERGENCY SHUTOFF SWITCH. REFER TO ARCHITECTURAL AND MECHANICAL PLANS FOR DETAILS AND FINAL PLACEMENT.
- S12 INSTALL PARKING AREA STRIPING / PAINT.
  - a. 4" WIDE WHITE PARKING SPACE STRIPING.
  - b. 4" WIDE BLUE ADA PARKING SPACE STRIPING AND SYMBOL. REFER TO DETAIL 1, THIS SHEET.
  - c. 4" WIDE WHITE ACCESS STRIPING, 45° ANGLE FROM PARKING SPACE STRIPING AT 4' STRIPING ON CENTER.

**UTILITY KEY NOTES**

- U01 INSTALL 4" PVC SEWER SERVICE WITH CLEANOUTS (SSCO). REFER TO DETAIL 1 / C1.01 FOR TRENCH AND SURFACE REPAIR AND DETAIL 2 / C1.01 FOR SEWER SERVICE CONNECTION.
- U02 POINT OF WATER CONNECTION. COORDINATE ACTIVITY WITH THE CITY. INSTALL TAPPING SADDLE AND GATE VALVE. REFER TO DETAIL 4 / C1.01 FOR THRUST PROTECTION. SERVICE SIZE TO BE DETERMINED BY MECHANICAL/PLUMBING ENGINEER PRIOR TO PERMITTING.
- U03 INSTALL WATER SERVICE. SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER.
- U04 POTABLE / NON-POTABLE WATER LINE REPAIR/REPLACE. REFER TO DETAIL 3 / C1.01.
- U05 INSTALL WATER SERVICE FITTINGS. SERVICE SIZE TO BE DETERMINED BY MECHANICAL/PLUMBING ENGINEER PRIOR TO PERMITTING. REFER TO DETAIL 4 / C1.01 FOR THRUST PROTECTION.

GENERAL NOTES:  
 1. SEE SHEET C0.10 FOR LEGEND AND CONSTRUCTION NOTES





**SITE GRADING & DRAINAGE PLAN**  
SCALE: 1" = 20'

**STORM SYSTEM KEY NOTES**

- (SDB)** INSTALL CATCH BASIN  
REFER TO DETAIL 7 / C1.00  
a. RIM = 5295.19  
I.E. (OUT) = 5287.19

b. RIM = 5295.52  
I.E. (OUT) = 5287.52

c. RIM = 5295.30  
I.E. (OUT) = 5286.30

d. RIM = 5289.42  
I.E. (OUT) = 5286.42

e. RIM = 5289.86  
I.E. (OUT) = 5286.86

f. RIM = 5290.05  
I.E. (OUT) = 5287.05

g. RIM = 5289.89  
I.E. (OUT) = 5286.89

h. RIM = 5291.48  
I.E. (OUT) = 5288.48

i. RIM = 5290.00  
I.E. (IN) = 5287.00  
I.E. (OUT) = 5286.90
- (SD3)** CONSTRUCT DRYWELL. REFER TO DETAIL 8 / C1.00.  
\*\*CONNECT ROOF DRAINS TO DRYWELL.

a. RIM = 5291.32  
I.E. (IN-SD76) = 5286.30  
I.E. (IN-SD76) = 5286.70

\*\* b. RIM = 5290.60  
I.E. (IN-SD76) = 5285.50  
I.E. (IN-SD76) = 5285.90

\*\* c. RIM = 5290.77  
I.E. (IN-SD76) = 5286.10  
I.E. (IN-SD76) = 5286.20

\*\* d. RIM = 5290.21  
I.E. (IN-SD76) = 5285.06

e. RIM = 5291.77  
I.E. (IN-SD76) = 5285.50
- (SDD)** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 10 / C1.00 FOR TRENCHING.

**(SDD)** INSTALL 2" STEEL PIPE SCUPPER THROUGH SECONDARY CONTAINMENT WALL. INSTALL 2" SLURRY BALL VALVE AND DRAIN INTO CATCH BASIN.  
I.E. (IN) = 5290.25  
I.E. (OUT) = 5290.25
- (SDD)** INSTALL 100 GALLON OIL/WATER SEPARATOR. REFER TO DETAIL 9 / C1.00 (OL).  
a. RIM = 5291.90  
I.E. (IN) = 5286.80  
I.E. (OUT) = 5286.70

**ABBREVIATIONS**

- EG = EXISTING GRADE
- FG = FINISHED GRADE
- FFE = FINISHED FLOOR AT ENTRY
- I.E. = INVERT ELEVATION
- LP = LIP OF GUTTER
- LP = LOW POINT
- PC = POINT OF CURVATURE
- PCC = POINT OF COMPOUND CURVE
- PI = POINT OF INTERSECTION
- POC = POINT OF CURVATURE
- PRC = POINT OF REVERSE CURVE
- PT = POINT OF TANGENCY
- TA = TOP OF ASPHALT
- TC = TOP OF CONCRETE
- TG = TOP OF GRATE

GENERAL NOTE:  
1. SEE SHEET C0.10 FOR LEGEND AND CONSTRUCTION NOTES



REVISION NO.	DATE	DESCRIPTION

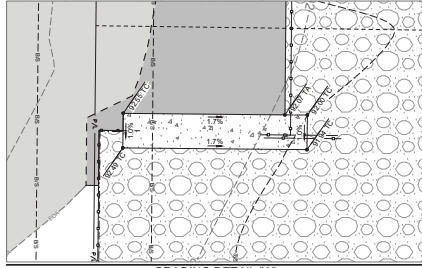


**PRELIMINARY NOT FOR CONSTRUCTION**

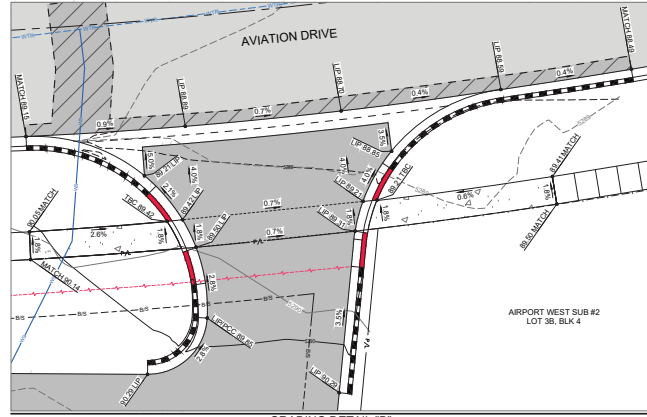
**SITE GRADING & DRAINAGE PLAN**  
OVERLAND WEST, CAR WASH STATION  
LOT 3A, BLOCK 4, AIRPORT WEST SUBDIVISION II

24011-01

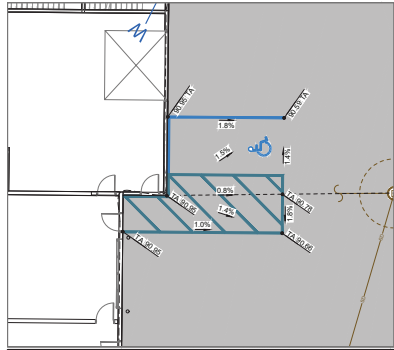
C1.20



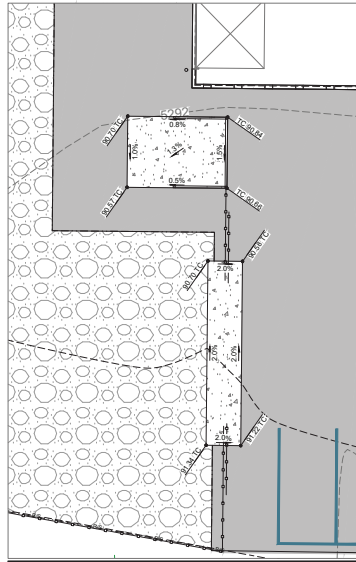
GRADING DETAIL "A"  
SCALE: 1" = 10'



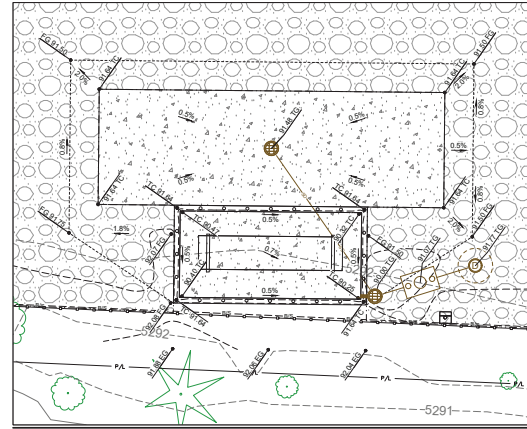
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SCALE: 1" = 10'



GRADING DETAIL "C"  
SCALE: 1" = 10'



GRADING DETAIL "D"  
SCALE: 1" = 10'



GRADING DETAIL "E"  
SCALE: 1" = 10'



OPAL ENGINEERING, PLLC  
PO BOX 2820 INGLETON, MD 21050  
WWW.OPAL-ENGINEERING.COM

REVISION NO.	DATE	DESCRIPTION



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**GRADING DETAILS**

OVERLAND WEST, CAR RENTAL WASH STATION  
LOT 3A, BLOCK 4, AIRPORT WEST SUBDIVISION II  
PREPARED FOR: OVERLAND WEST, INC. 600 EMMERSON  
AVENUE, INGLETON, MD 21050

24011-01  
PROJECT NUMBER

C1.30

GENERAL NOTE:  
1. SEE SHEET C0.10 FOR LEGEND  
AND CONSTRUCTION NOTES

**From:** [Derrick Georgiades](#)  
**To:** [Ashley Dyer](#)  
**Cc:** [Jeremy Lange](#)  
**Subject:** Overland West Project - Lot 3A Block 4  
**Date:** Wednesday, January 15, 2025 2:51:37 PM

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Ashley,

Jay Cone mentioned that there were some concerns with the fuel take location for the Overland West project in Airport West.

The Airport West Business Park Owners Associations board has approved the design with the tank on the West side of the lot with a screening fence and 10-foot buffer from parcel A with trees.

They did not have any concerns with cars hitting it in that location. A location near the East side of the lot would be closer to the traffic from Airport Drive.

Thanks

Derrick Georgiades

**ENGEL &  
ASSOCIATES, LLC**  
COMMERCIAL REAL ESTATE

101 Bullion St E, Ste 3C

Hailey, ID 83333

Office 208-578-7905

Fax 208-578-7914

Ashley Dyer, City Planner  
City of Hailey  
ashley.dyer@haileycityhall.org

Dear Ms. Dyer,

I am the current owner of Lot 3B, Block 4, Airport West Subdivision in the City of Hailey (1611 Aviation Drive) and am under contract for the sale of my property. I have seen a preliminary plan for the development of the lot located at 1551 Aviation Drive, immediately to the North of my parcel. After reviewing the site plan, I would like to voice my support for the original planned location for the fuel tank toward the Northwest Corner of the property. This location seems to make the most sense especially considering safety and circulation. I feel that the alternative placements, especially B and C locations, would have an adverse impact on my property and its potential for future development.

Thank you for your time.

Dale Johnson

January 7<sup>th</sup>, 2025

Ashley Dyer, City Planner  
City of Hailey  
[ashley.dyer@haileycityhall.org](mailto:ashley.dyer@haileycityhall.org)

Dear Ms. Dyer,

Myself and two business partners (Vince Volpe and Riley Wood) are currently under contract for the purchase of Lot 3B, Block 4, Airport West Subdivision in the City of Hailey (1611 Aviation Drive). Our intent is to develop this parcel of land to include several live/work units in accordance with the SCI-I zoning criteria. We believe that this will provide much-needed commercial and residential space that will greatly benefit the residents and potential future residents of the City of Hailey. We look forward to working with the City of Hailey this year through the design review process.

It has recently come to our attention that the City of Hailey is under Design Review for the development of the lot located at 1551 Aviation Drive (immediately to the North of our parcel). It is our understanding that the City has asked for proposed alternative locations for a fuel tank that will be located on this property. Based on our plans to have Live/Work Units (Accessory Dwelling Units) on Lot 3B, we would like to voice our support of the current planned location for this fuel tank toward the Northwest Corner of 1551 Aviation Drive, provided that it meets with all code requirements. We feel that Alternative Tank Locations B or C would place the fuel storage tank much closer to our planned structure and accessory dwelling units than the current planned location does to any existing structures or residences. Because we have not yet begun the Design Review process with the City of Hailey, we realize you would not be aware of our plans for Lot 3B, which we would like taken into consideration in your decision. Please kindly accept this letter as our support for the current planned location for the proposed fuel tank as well as our concern about proposed alternative locations B and C due to proximity to our planned Live/Work Units.

Thank you very much for your time and consideration for this letter. I very much look forward to working with you and the City of Hailey through the design review process for Lot 3B. Please feel free to contact me if you have any questions or if I can provide you with any additional information.

Thank you,

A handwritten signature in black ink, appearing to read "Jeff Leach", written in a cursive style.

Jeff Leach



**Return to Agenda**



**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of February 18, 2025**

**To:** Hailey Planning and Zoning Commission  
**From:** Emily Rodrigue, Community Development City Planner/Resilience Planner

**Overview:** Consideration of a Design Review Application, submitted by Spud Locker, LLC, represented by Blincoe Architecture, for the construction of a new 22,443 gross square foot commercial building consisting of one hundred and fifty (150) interior storage lockers, each ranging from 25 square feet to 222 square feet in size. This project is located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision) within the Light Industrial (LI) Zoning District.

**Hearing:** February 18, 2025

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**Applicant:** Spud Locker LLC, represented by Blincoe Architecture  
**Location:** 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision)  
**Zoning & Lot Size:** Light Industrial (LI); Lot size 21,748 square feet

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on January 30, 2025.

**Application:** The Applicant is proposing a new 22,443 gross square foot commercial building consisting of one hundred and fifty (150) interior storage lockers, each ranging from 25 square feet to 222 square feet in size. The building will be two (2) stories in height, primarily oriented from east to west. It will replace three (3) existing single-story storage unit buildings currently onsite, which are proposed to be demolished.

The breakdown in locker unit quantities and sizes is as follows:

**First Floor:**

- Two (2) 200 square foot units, w/ overhead door access
- Four (4) 180 square foot units, w/ overhead door access
- One (1) 209.8 square foot unit
- Eight (8) 192 square foot units
- Nine (9) 177.5 square foot units
- One (1) 155 square foot unit
- Twelve (12) 150 square foot units
- Eight (8) 120 square foot units
- One (1) 100 square foot unit
- Sixteen (16) small units, ranging from 25 to 78.5 square feet in size

**Second Floor:**

- One (1) 222 square foot unit
- Twelve (12) 192 square foot units
- One (1) 160 square foot unit
- Twenty-four (24) 100 square foot units
- Ten (10) 90 square foot units
- Thirty-eight (38) units of 88 square feet or less

**Background:** On August 19, 2024, the Hailey Planning and Zoning Commission considered a Design Review Pre-Application, submitted by Zachery Griffin, represented by Blincoe Architecture, for the construction of a new, two-story self-storage building on the property located at 1140 Airport Way. Two (2) different site renderings were proposed for pre-application consideration by the Commission. The proposed configurations of each rendering are described below:

**Option A:**

- Total building area: 22,152 square feet
- 1,988 square feet of snow storage required; 2,144 square feet of snow storage provided.
- Fifteen (15) onsite, surface parking spaces, seven (7) onsite, in-unit parking spaces, **twenty-two (22) parking spaces provided in total.**

**Option B:**

- Total building area: 21,571 square feet
- 2,184 square feet of snow storage required; 964 square feet of snow storage provided (remaining to be hauled off-site).
- **Eleven (11) onsite, surface parking spaces provided in total.**

Year-round site circulation, snow storage, and curb cut configuration along Airport Way each contributed to the Commission's feedback and recommendations as the Applicant prepared their proposal for an eventual full Design Review Application. Ultimately, Staff and the Commission instructed the Applicant that, if they should return with a full Design Review Application, they should come prepared with a proposal that includes the required twenty-two (22) parking spaces and only one (1) vehicular approach from Airport Way. Full circulation around the proposed building was not a matter of concern for the Commission.

Now, the Applicant has engaged in a full Design Review Application process and has presented Staff with a proposal that includes detailed interior storage locker layouts (including sizes and quantities), the full onsite parking requirement (22 spaces), a singular curb cut for vehicular site access, and seasonal ability for full circulation around the proposed building (although not fully paved).

The ongoing master planning process for the Airport Urban Renewal District/Airport Way Typical Section is of specific relevance to this project. As these plan details and engineering specifications are not yet fully developed, Staff are requesting that the Applicant refrain from installing any right-of-way features along their property frontage at this time, unless otherwise instructed by Staff at the time of Building Permit submittal. Staff will provide the Applicant with an in-lieu fee request that is commensurate with the anticipated design scope of the new Airport Way typical section, prior to issuance of a final invoice

for Building Permit pick-up. A general estimate of the in-lieu fee amount can be provided by Staff, at the request of the Applicant.

**Procedural History:** A Design Review Pre-Application for the project property was heard by the Commission on August 19, 2024. The full Design Review Application was submitted on December 27, 2024, with new property ownership listed but overall project scope and Application contact remaining the same. This Application was certified complete on January 6, 2025. A public hearing before the Planning and Zoning Commission is scheduled for February 18, 2025, in the Hailey City Council Chambers and virtually via Microsoft Teams.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b>
				<b>Life/Safety:</b> <i>All codes (Municipal, Building, Fire, and Energy) shall be met.</i>
				<b>Water and Sewer:</b> <i>No comments.</i>
				<b>Building:</b> <i>No comments</i>
				<b>Streets, Landscaping, Other:</b> <i>At this time, Public Works and Streets Division Staff request that the Applicant refrain from installing any right-of-way improvements along the property's frontage. As the Airport Urban Renewal District Master Planning process continues, an Airport Way typical section will eventually be finalized. Standard Drawings for this typical section are not yet available, and Staff do not wish to see the Applicant complete improvements that are not compatible with future overall designs. At this time, Staff request that the Applicant provide an in-lieu fee that is commensurate with the anticipated cost of the future Airport Way Typical Section. Once a fully realized Typical Section is available, Staff will request - from the Applicant - construction estimates via qualified contractors for the determination of an appropriate in-lieu fee amount. This in-lieu fee payment shall be made to the City prior to the issuance of a Certificate of Occupancy.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	<b>17.08A Signs:</b> <b>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</b>
			<i>Staff Comments</i>	<i>N/A, no signage is proposed, and signage is prohibited in the GR District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<b>See Section 17.09.040 for applicable code.</b>
			<i>Staff Comments</i>	<i>The proposed project is located in the Light Industrial (LI) Zoning District. The Hailey Municipal Code requires a minimum of one (1) parking space per 1,000 square feet of Industrial Use. The project is approximately 22,443 square feet, which requires the project to provide a total of twenty-two (22) onsite parking spaces. The Applicant has proposed twenty-two (22) onsite parking spaces, with six (6) of these spaces located within six (6) ground-floor storage units with overhead door access and appropriate sizing for vehicle storage. Staff are amenable to this parking arrangement.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<b>17.09.040.06: EXCESS OF PERMITTED PARKING:</b>

				<p><b>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</b></p> <p><i>N/A- Site parking meets requirement.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08C.040 Outdoor Lighting Standards</b></p>	<p><b>17.08C.040 General Standards</b></p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<p><i>Staff Comments</i></p>	<p><i>The Applicant is proposing two (2) downcast, fully-shielded wall sconces at the front entrance of the building, to be mounted at 7' in height. One (1) additional sconce will be located at the rear entrance to the building. These sconces will contain LED bulbs and are rated as Dark Sky compliant. Nineteen (19) recessed soffit lighting fixtures are also proposed around the building perimeter, also utilizing LED bulbs. All exterior lighting will be on a timer switch, so as to minimize excessive light trespass.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Bulk Requirements</b></p>	<p><b>Zoning District: Light Industrial Zoning District.</b>  <b>Maximum Height: 35' within the SCI District</b></p> <p><b>Required Setbacks:</b></p> <ul style="list-style-type: none"> <li>- Front Yard: 10'</li> <li>- Side Yards: 10'</li> <li>- Rear Yard: 10'</li> <li>- Lot Coverage: 75%</li> </ul>
			<p><i>Staff Comments</i></p>	<p><i>Proposed Height: 24'</i>  <i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> <li>- Front: 10 feet</li> <li>- Rear: Approximately 42 feet</li> <li>- Side (north): 20.4 feet</li> <li>- Side (South): 10 feet</li> <li>- Lot coverage: 53%</li> </ul> <p><i>All bulk requirements have been met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.070(A)1 Street Improvements Required</b></p> <p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p>
			<p><i>Staff Comments</i></p> <p><i>Pursuant Section 17.06.070, The City may approve and accept voluntary cash contributions in lieu of the above-described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be as follows:</i></p> <ul style="list-style-type: none"> <li><i>i. For sidewalk and drainage improvement lengths of ninety (90) linear feet or less, the Applicant may propose an in-lieu payment per the currently adopted fee schedule.</i></li> <li><i>ii. For improvement lengths greater than ninety (90) linear feet, the Applicant may propose an in-lieu payment amount based on a stamped engineering estimate for one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, and said in-lieu payment is subject to approval by the city engineer.</i></li> <li><i>iii. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy.</i></li> </ul> <p><i>The total improvement length for the project parcel is approximately one hundred and six feet (106'). Given the location of the proposed project parcel, and the City-proposed Airport Way improvements, Staff have internally discussed creative options for this part of Airport Way. Through this discussion, Staff recommend that, because the Airport Way Master Plan is not complete and the city does not know the extent of the required improvements at this time, the Applicant shall pay in-lieu fees for the property's frontage which would further include estimates for the fully realized Airport Way Typical Section (i.e., street trees, pathway, electrical and irrigation, sidewalk, curb and gutter, and design). At this time, Staff request that the Applicant provide an in-lieu fee that is commensurate with the anticipated cost of the future Airport Way Typical Section. Once a fully realized Typical Section is available, Staff will request - from the Applicant - construction estimates via qualified contractors for the determination of an appropriate in-lieu fee amount. This in-lieu fee payment shall be made to the City prior to the issuance of a Certificate of Occupancy. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>17.06.070(B) Required Water System Improvements</b></p> <p><b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b></p>
			<p><i>Staff Comments</i></p> <p><i>N/A - No alley access is proposed.</i></p>

**Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey**

**1. Site Planning: 17.06.080(A)1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p> <p><i>Staff Comments</i>            The proposed building follows the east-west grid pattern that is typical of this section of Airport Way. The largest walls of the proposed buildings are facing north/south, which is consistent with the majority of surrounding industrial properties to the north. To the south, industrial properties are oriented in a variety of ways, although most building forms are compatible with the proposed building design.</p> <p>The building's front entrance faces west, maximizing sun exposure and allowing for safe access. Snow storage will be placed along the southern side of the building and the southern property line, which will contribute to more efficient snow melt and safe access to the maximum amount of building perimeter for the greatest part of the year.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p><i>Staff Comments</i>            N/A, as the site does not contain any existing mature landscaping.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i>            Public Works and Streets Division Staff provided comment throughout the Design Review Pre-Application and full Design Review Application process, requesting that vehicular site access be limited to a singular point. The Applicant has provided a site plan that responds to this request, which supports pedestrian safety.</p> <p>A rear building entrance directly adjacent to striped on-site parking stalls further contributes to safe pedestrian access to the building and across the site. The first and second floors of the proposed storage building are also fully connected from the front to the rear of the building, which will prevent unit occupants from having to enter the vehicle circulation area unnecessarily. This further supports pedestrian safety across the site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>Staff Comments</i>            According to the Applicant, they will utilize roll-out business carts for trash services, to be stored within the building's first-floor mechanical room when not in use. Carts will only be outside of the building for a matter of hours each week, preventing any interference with other uses, such as snow storage.</p>

				Two (2) existing power boxes and one (1) existing phone box are located in the public right-of-way, directly adjacent to the southwest corner of the property. 5-gallon shrubs are proposed for planting behind the utility boxes, which will soften their visual impact from the roadway. These utility boxes will not interfere with on-site uses. Staff will coordinate with Idaho Power as to any relocation needs of the boxes, as the Airport Way Typical Section is developed and finalized.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			<i>Staff Comments</i>	<i>N/A. There is no existing alley to be utilized for building services.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	<i>N/A. No Vending Machines are proposed with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.) i. Parking areas located within the SCL zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			<i>Staff Comments</i>	<i>As the proposed project is located within the LI Zoning District, onsite parking may be located on the side of buildings, in addition to the rear of the buildings. A singular, prominent vehicle entrance is located at the northwest property corner. Parking along the north side of the proposed building is proposed to be screened from Airport Way with both a raised seasonal planting box, as well as with a partially shielding, metal security gate. Fifteen (15) of the twenty-two (22) required parking stalls are located at the rear of the building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.02	<b>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</b> a. <b>Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12'.</b>
			<i>Staff Comments</i>	<i>N/A, as the proposed use is self-storage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Staff Comments</i>	<i>No alley services this site. On-site parking access will be achieved via a singular approach from Airport Way, and all proposed on-site parking will be screened via planter boxes and/or fencing and building orientation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	i. Snow storage areas shall be provided on-site as follows: where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			<i>Staff Comments</i>	<i>The total pavement area on site is 8,410 square feet. The required snow storage area is 2,103 square feet (25%). The total proposed snow storage area is 2,325</i>




				<p><i>square feet. The Applicant intends to haul any additional needed snow removal off site.</i></p> <p><i>No storage area has a dimension of less than 10 feet, site traffic will not be adversely impacted by snow storage, and all snow storage areas will be on top of gravel, which is highly resilient to heavy snow.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p><b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b></p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p><b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b></p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<p><b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b></p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p><b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b></p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p><b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b></p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p><b>a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.</b></p> <p><i>Staff Comments</i> The proposed storage building shows a flat roof and rectangular design features, which is typical of storage unit buildings. Adjacent uses of the site include other storage facilities, as well as an automotive showroom/repair center and small office suites for a variety of light industrial/skilled trade businesses.</p> <p>While the proposed building is slightly larger in scale and footprint than the surrounding buildings, it offers a design that bridges compatibility between adjacent parcels, which have both pedestrian and highly-industrial elements. Stacked picture windows frame a prominent front pedestrian entrance, and continuous rooflines and rectangular elements evoke an industrial presence. The choice of materials and architectural detailing on the building's exterior create an elevated appearance for a building with a generally simple, uncomplicated use. These exterior design details distinguish the building amongst surrounding structures, while softening the overall massing, as compared to adjacent buildings with only one (1) exterior material type.</p>
			17.06.080(A)2b	<p><b>b. Standardized corporate building designs are prohibited.</b></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Staff Comments</i>	<i>As stated above in Section 17.06.080(A)2a, the Applicant has presented a building design that shows attention to design detail and an elevated material presence. This building is not a standard corporate design for its proposed use.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)2c</b>	<b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction. Site planning shall include designated seating areas, picnic tables, pavilions, or other amenities that provide usable spaces for employees and pedestrians alike.</b>
			<i>Staff Comments</i>	<i>The building’s pedestrian entrance is clearly distinguishable from the stacked picture glass windows at the northwest corner of the building, directly facing Airport Way. Raised concrete planter boxes and continuous seasonal plantings along the building’s Airport Way frontage invite human presence at this location on the site. These plantings and design features also indicate human presence on site, which is not often apparent at typical self-storage properties. Additionally, the Applicant is proposing a bike rack and a bench along the building’s street-facing frontage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)2d</b>	<b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b>
			<i>Staff Comments</i>	<i>Large, stacked windows, a prominent pedestrian entrance, slight roof offsetting/overhang, architectural detailing, and change in materials are all present across the front façade of the proposed building. While interior uses and security needs prevent more windows from being included on the front façade, the Applicant has taken care to create both changes in materials and changes in size and orientation of architectural detailing. The scale of this large building surface is interrupted by these design elements. Further improvements to breaking up the front façade’s building volume may include metal awnings over the composite panel blocks, changes to the composite paneling color scheme, and/or an additional corner monument feature on the southwest corner facing Airport Way.</i>  <i>However, the Commission may wish to note that the Applicant is also proposing five (5) deciduous tree plantings along the building’s western façade, facing Airport Way. As these trees mature and take up more space, the large building mass will be broken up and greatly softened by these natural features.</i>

				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b>
			<i>Staff Comments</i>	<i>N/A, as no expansion is planned at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<b>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</b>
			<i>Staff Comments</i>	<i>A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above. These include cement blocks, composite panels, corrugated metal siding, and metal trim and doors. The color palette is generally muted, but still offers variety across the building's scale.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b>
			<i>Staff Comments</i>	<i>Building colors are shown on the elevations. Colors are broken on various elements to help break up mass and be harmonious with other neighboring buildings. Neighboring building colors include chocolate brown, off white, sage green, and charcoal gray. Please refer to Section 17.06.080(A)2d and 2f above for further detail.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2h</p> <p><i>Staff Comments</i></p>	<p><b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</b></p> <p><i>The proposed building is two (2) stories in height and includes a flat roof. A continuous parapet wall is proposed for the building, which includes bonderized corrugated metal material and “midnight black” metal flashing.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2i</p>	<p><b>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</b></p> <ul style="list-style-type: none"> <li>i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south.</li> <li>ii. South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii. Double glazed windows.</li> <li>iv. Windows with Low Emissivity glazing.</li> <li>v. Earth berming against exterior walls</li> <li>vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> </ul>

				<b>vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</b>
			<i>Staff Comments</i>	<i>The Applicant's proposed building orientation and longer wall plane is placed on the east-west axis(i.), all windows are proposed to be double-glazed (iii.), and all windows will have low emissivity glazing (iv.)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<b>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</b>
			<i>Staff Comments</i>	<i>The building's flat roof pitch with direct linkage to drains and downspouts will prevent snow from sliding directly onto adjacent sidewalks and/or the building's entrances. The Commission may wish to discuss their recommendations – if any – for further snow retention features, given the infrequent pedestrian presence that will accompany the site, based on its use.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<b>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</b>
			<i>Staff Comments</i>	<i>All downspouts and drains are directed away from the primary pedestrian entrance along Airport Way, and none of the drains are in direct proximity to external access points for the storage units themselves. The drain on the building's northeast corner is next to a secondary human-entry door, but Staff do not anticipate this orientation to significantly impact pedestrian access or create hazard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<b>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</b>
			<i>Staff Comments</i>	<i>NA, as no drive-through canopies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<b>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</b>
			<i>Staff Comments</i>	<i>N/A, as a Master Signage Plan is not required of a single-tenant building.</i>

**3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<b>a. Accessory structures shall be designed to be compatible with the principal building(s).</b>
			<i>Staff Comments</i>	<i>N/A. No Accessory Structure is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	<b>b. Accessory structures shall be located at the rear of the property.</b>
			<i>Staff Comments</i>	<i>N/A - No Accessory Structure is proposed.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	<b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b>
			<i>Staff Comments</i>	<i>The Applicant is proposing chain link fencing around the site's perimeter. Per Hailey Municipal Code, chain link fencing is prohibited except for public uses or public utility facilities with an approved conditional use permit. The Applicant shall select a new fencing material to be installed, to be submitted to the Community Development Department for administrative approval, prior to issuance of a building permit. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>

			<i>Staff Comments</i>	<i>See Section 17.06.080(A)3c above for details on fencing requirements.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>
			<i>Staff Comments</i>	<i>N/A - no roof-mounted mechanical equipment is proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b>
			<i>Staff Comments</i>	<i>N/A- No alternative energy sources are proposed with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>All exterior mechanical equipment associated with the proposed building will be mounted on the roof.</i>  <i>Three (3) utility boxes are shown on site plans, within the public right-of-way and adjacent to the southwest corner of the proposed building. The Applicant is showing deciduous tree plantings behind such utility boxes, which will soften but not necessarily screen the features. Given that these features are not within the Applicant's property boundary, and the ongoing design considerations for the Airport Way Typical Section, the Commission may wish to discuss their approach to requiring screening by the Applicant at this point in time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	<b>h. All service lines into the subject property shall be installed underground</b>
			<i>Staff Comments</i>	<i>All service lines shall be installed underground.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	<b>i. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	<i>N/A, as no additional appurtenances are proposed.</i>

**4. Landscaping: 17.06.080(A)4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>
			<i>Staff Comments</i>	<i>The Applicant has not indicated any plant species within their site plans. The Applicant shall submit a complete plant species list, including appropriate planting sizes, quantities, and species hardiness, to the Community Development Department for Administrative Review, prior to issuance of a Building Permit. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<b>b. All plant species shall be hardy to the Zone 4 environment.</b>
			<i>Staff Comments</i>	<i>See Section 17.06.080(A)4a for how this requirement shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b>
			<i>Staff Comments</i>	<i>Staff encourage the Applicant to install automatic drip irrigation for the proposed planter boxes, although given controlled environment (planter boxes) in which the vegetation will be planted in, automatic drip irrigation is not required.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4d	<p><b>d.</b> Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½"). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</p>
			<i>Staff Comments</i>	<i>N/A – This project is located within the LI Zoning District. However, five (5) deciduous trees are proposed for planting along the front façade of the building, and (five) 5 deciduous trees are proposed for planting along the south façade of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	<p><b>e.</b> Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p>
			<i>Staff Comments</i>	<i>The Applicant is proposing seasonal plantings in raised planter boxes across the entirety of the building's front façade. These plantings soften the building's exterior and provide human scale to the industrial site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p><b>f.</b> Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p>
			<i>Staff Comments</i>	<i>N/A, as this parcel is not located in the B, LB, TN, SCI-O Zoning districts.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p><b>g.</b> Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p>
			<i>Staff Comments</i>	<i>Storm water runoff is directed towards two (2) drywells within the site's paved area. Additionally, partial roof drainage will be directed towards three (3) downspouts on the south side of the building. These downspouts can provide directed runoff to the five (5) proposed tree plantings along the building's south façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p><b>h.</b> A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p>
			<i>Staff Comments</i>	<i>The Applicant shall be responsible for maintaining plant material in a healthy condition.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	<p><b>i.</b> Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p>
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	<p><b>j.</b> Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p>
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	<p><b>k.</b> Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</p>
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	<p><b>l.</b> Landscaping should be provided within or in front of extensive retaining walls.</p>
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	<p><b>m.</b> Retaining walls over 24" high may require railings or planting buffers for safety.</p>

			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>

**Additional Design Review Requirements for the Light Industrial (LI) Zoning District**

**1. Additional Regulations: Section 17.04H.060(B) through 17.04H.060(D)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04H.060(B)	<p><b>Storage Of Materials:</b> All materials, with the exception of trees and plant materials stored on the premises, and all machinery and vehicles other than those for sale or display, or parked temporarily, shall be stored within a building or within a wall or fence not less than five (5) nor more than six feet (6') in height. Subject to approval of the administrator, earth berms and landscaping with sufficient height and density may be substituted for a wall or fence.</p> <p><i>Staff Comments</i> <i>The Applicant shall ensure that all onsite storage is contained within the building or screened appropriately according to Hailey Municipal Code. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04H.060(C)	<p><b>Landscaping:</b> Landscaping shall be provided and maintained on all lots. Landscaping shall include a minimum of one (1), two-and-one-half inch (2 ½") caliper tree for every two thousand (2,000) square feet of lot size. A mix of native shrubs, grasses, and/or flowers, and a ground cover of decorative mulch, bark, and/or rock shall also be integrated onsite. Turf/lawn is prohibited in the LI District. Berm-building along street frontages is encouraged.</p> <p><i>Staff Comments</i> <i>The Applicant has proposed ten (10) tree plantings along the building's western and southern facades. Gravel ground cover at tree bases and continuous plantings in planter boxes along the western façade will also be provided. With a lot size of approximately 21,700 square feet, the Applicant has met the required landscaping standard for lots within the LI District.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.04H.060(D)	<p><b>D. Screening:</b> Landscape screening shall be provided and maintained along the entirety of all LI property lines adjacent to the RGB, GR, LR, and TN zoning districts. Such landscaping shall, at a minimum, consist of:</p> <ol style="list-style-type: none"> <li>1. A hedge, solid wall or solid fence not less than five feet(5') and no more than six feet (6') in height, or a berm no more than three feet (3') in height, with a row of trees, a minimum of two-and-one-half (2 ½") caliper in size, planted adjacent to said hedge, berm, solid wall or solid fence, and interior to the lot line. Trees that have been incorporated onsite and utilized as landscape screening may be credited towards the minimum tree count requirements for the lot based on square footage.</li> <li>2. Low growing evergreen shrubs, pollinator-friendly plantings, xeriscape plantings, and/or native bunch grasses along lot lines adjacent to RGB, GR, LR, and TN Districts are also encouraged.</li> </ol> <p><i>Staff Comments</i> <i>N/A – The project is not located adjacent to RGB, GR, LR, or TN Zoning Districts.</i></p>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
  - 1. The project does not jeopardize the health, safety or welfare of the public.**



2. **The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.**
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. **Ensure compliance with applicable standards and guidelines.**
  2. **Require conformity to approved plans and specifications.**
  3. **Require security for compliance with the terms of the approval.**
  4. **Minimize adverse impact on other development.**
  5. **Control the sequence, timing, and duration of development.**
  6. **Assure that development and landscaping are maintained properly.**
  7. **Require more restrictive standards than those generally found in the Hailey Municipal Code.**
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. **If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions are placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
  - i. **Life and Safety:**
    - i. The building shall comply with IFC and IBC code requirements.
  - ii. **Water and Wastewater:**
    - i. All construction shall be to City Standards.
  - iii. **Streets:**

- i. The in-lieu payment for required street improvements shall be made prior to issuance of a Certificate of Occupancy.
- d) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.
- e) The Applicant shall select a new fencing material to be installed, to be submitted to the Community Development Department for administrative approval, prior to issuance of a building permit.
- f) The Applicant shall submit a complete plant species list, including appropriate planting sizes, quantities, and species hardiness, to the Community Development Department for Administrative Review, prior to issuance of a Building Permit.
- g) The Applicant shall ensure that all onsite storage is contained within the building or screened appropriately according to Hailey Municipal Code.
- h) The Applicant shall pay in-lieu fees equivalent to that of the Airport Way Typical Section for this property's frontage. This payment shall be made prior to issuance of a Certificate of Occupancy.
- i) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- j) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- k) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- l) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- m) A letter from Clear Creek Disposal shall be provided commenting on the adequacy of the proposed use of individual trash receptacles, their locations during weekly refuse removal, and their accessibility of.
- n) Upon completion of all required public landscaping and before issuance of a certificate of occupancy and/or final project approval, a licensed arborist shall certify all public tree plantings have been installed in compliance with the project approvals as to species, health, irrigation, city construction standards, project drawings, and other relevant requirements such as Hailey Tree Committee recommendations. Similarly, any public landscape not certified by the licensed arborist shall be certified by a licensed landscape architect for same or other relevant topics. The arborist or landscape architect shall also provide documentation of public tree well inspections including dimensions and material types during the placement of all subsurface items.
- o) The transformer shall be screened from view (subject to approval by Idaho Power) of the public street.
- p) All ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- q) All necessary permits shall be filed, and approval received, demonstrating compliance with FAA regulations prior to issuance of a Building Permit.

**Motion Language:**

**Approval:** Motion to approve the Design Review Application submitted by Spud Locker, LLC, represented by Blincoe Architecture, for the construction of a new 22,443 gross square foot commercial building consisting of one hundred and fifty (150) interior storage lockers, to be located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision) within the Light Industrial (LI) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 17, and City Standards, provided conditions (a) through (q) are met.

**Denial:** Motion to deny the Design Review Application submitted by Spud Locker, LLC, represented by Blincoe Architecture, for the construction of a new 22,443 gross square foot commercial building consisting of one hundred and fifty (150) interior storage lockers, to be located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision) within the Light Industrial (LI) Zoning District, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [Commission should specify a date].

1140 STORAGE  
 DECEMBER 27th, 2024  
 1140 AIRPORT WAY  
 HAILEY, ID 83333



EXTERIOR PERSPECTIVE

SHEET INDEX

- CS1 COVER SHEET
- CS2 CORE COMPLIANCE
- CO10 CIVIL COVER SHEET
- CO20 EXISTING CONDITIONS
- CI00 SITE GRADING, DRAINAGE & UTILITY PLAN
- CI20 DETAIL SHEET
- LI SITE PLAN
- LS CONSTRUCTION ACTIVITY PLAN
- A1 MAIN LEVEL FLOOR PLAN
- A2 UPPER LEVEL FLOOR PLAN
- A3 ROOF PLAN/BUILDING SECTION
- A4 EXTERIOR ELEVATIONS
- A5 EXTERIOR ELEVATIONS
- A6 EXISTING STRUCTURE PHOTOS
- A7 MATERIAL SHEET
- E1 EXTERIOR LIGHTING PLAN

PROJECT TEAM

ARCHITECT:

**Blincoe Architecture**

POST OFFICE BOX 4424  
 KETCHUM, ID 83340  
 (208) 742-7915

BUILDER:

**Wilson Construction LLC**

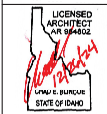
251 NORTHWOOD WAY SUITE F  
 KETCHUM, ID 83340  
 (208) 744-5716

CIVIL/SURVEYOR:

**Galena-Benchmark Engineering**

100 BELL DRIVE  
 KETCHUM, ID 83340  
 (208) 744-5952

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**Blincoe Architecture**  
 2017 AIA/CES  
 2018 AIA/CES  
 2019 AIA/CES  
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 2021 AIA/CES  
 2022 AIA/CES  
 2023 AIA/CES  
 2024 AIA/CES



**1140 STORAGE**  
 1140 AIRPORT WAY  
 HAILEY, ID 83333

JOB #: 00024  
 PLOT DATE: 12/27/24  
 DESIGN REVIEW: 12/27/24  
 PERMIT:

CONSTRUCTION:

REVISIONS:

△ PRE-DESIGN REVIEW  
 7/29/24

△ DESIGN REVIEW  
 12/27/24

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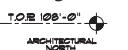







**CS1**

DESIGN REVIEW SET  
 NOT FOR CONSTRUCTION

UNLESS SHOWN OTHERWISE, THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. BLINCOE ARCHITECTURE AND WILL NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

# 1140 STORAGE

DECEMBER 27th, 2024  
1140 AIRPORT WAY  
HAILEY, ID 83333

CODE COMPLIANCE:	GENERAL NOTES:	BUILDING DATA	ENERGY REPORT						
<p>1. MECHANICAL SYSTEMS AND VENTING TO REFLECT COMPLIANCE W/ THE 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2018 INTERNATIONAL MECHANICAL CODE.</p> <p>2. PLUMBING VENTING TO REFLECT COMPLIANCE W/ 2018 INTERNATIONAL BUILDING CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>3. ALL ELECTRICAL SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>4. ALL RIGHT-OF-WAY IMPROVEMENTS MUST BE COMPLETED PRIOR TO ISSUANCE OF TEMPORARY OR FINAL CERTIFICATE OF OCCUPANCY UNLESS OTHERWISE AGREED UPON IN WRITING BY THE CITY.</p> <p><b>ROOFING:</b></p> <ul style="list-style-type: none"> <li>ALL ROOFING SHALL COMPLY WITH CHAPTER 19 OF THE 2018 INTERNATIONAL BUILDING CODE.</li> </ul> <p><b>HANDRAILS &amp; GUARDRAILS:</b></p> <ul style="list-style-type: none"> <li>ALL STAIRWAYS SHALL COMPLY WITH CHAPTER 10 OF THE 2018 INTERNATIONAL BUILDING CODE.</li> </ul> <p><b>BUILDING ENVELOPE:</b></p> <ul style="list-style-type: none"> <li>SHALL COMPLY WITH SECTION 402 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</li> </ul> <p><b>LIGHTING EQUIPMENT:</b></p> <ul style="list-style-type: none"> <li>SHALL COMPLY WITH SECTION 404.1 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</li> </ul> <p><b>ATTIC ACCESS:</b></p> <ul style="list-style-type: none"> <li>SHALL COMPLY WITH SECTION 402.3 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</li> </ul> <p><b>GLASS AND GLAZING:</b></p> <ul style="list-style-type: none"> <li>SHALL COMPLY WITH CHAPTER 24 OF THE 2018 INTERNATIONAL BUILDING CODE.</li> </ul> <p><b>DUCTS:</b></p> <ul style="list-style-type: none"> <li>SHALL COMPLY WITH SECTION 409.2 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</li> </ul> <p><b>LIVING SPACE VENTILATION:</b></p> <ul style="list-style-type: none"> <li>SHALL HAVE A RECOMMENDED AIR EXCHANGE OF 36 EXCHANGES PER HOUR. VERIFY WITH THE MECHANICAL SYSTEM.</li> </ul> <p><b>DEFENSIBLE SPACE:</b></p> <ul style="list-style-type: none"> <li>ALL MATERIALS WITHIN 18" VERTICAL OF FINISHED GRADE SHALL BE 1 HOUR RATED, NONCOMBUSTIBLE, OR COVERED WITH MINIMUM 28 GAUGE FLASHING THE AREA IS HORIZONTAL FROM THE BASE OF A WALL SHALL BE FINISHED IN A WAY TO PREVENT ANY VEGETATION GROWING AND FOR THE VEGETATIVE DEBRIS TO BE EASILY REMOVED.</li> </ul>	<p><b>NOTE:</b></p> <ol style="list-style-type: none"> <li>CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.</li> <li>ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.</li> <li>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.</li> <li>ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF TRAVING UNLESS OTHERWISE NOTED.</li> <li>ALL CONSTRUCTION MUST MEET OR EXCEED ALL LOCAL AND NATIONAL GOVERNING CODES AND ORDINANCES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING AN AUTHORIZED BUILDING PERMIT AND NOTIFYING THE CITY OF HAILEY BUILDING DEPARTMENT, STATE ELECTRICAL, MECHANICAL, AND PLUMBING INSPECTORS FOR APPROPRIATE SITE INSPECTIONS.</li> <li>THE CONTRACTOR IS TO COORDINATE WORK TO MINIMIZE CONFLICTS WITH EXISTING LANDSCAPING TO PREVENT DAMAGE.</li> <li>THE CONTRACTOR IS TO COORDINATE DISPOSAL OF EXISTING WASTE, APPLICATION MATERIAL, AND TRASH ALL MATERIAL MUST BE DISPOSED OF IN A SAFE AND PROFESSIONAL MANNER.</li> <li>THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSIDERED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR THEIR EMPLOYEES.</li> <li>THE ARCHITECT HAS NOT BEEN COMPENSATED OR RETAINED TO PROVIDE DETAILING FOR WATERPROOFING AND ENVELOPE PENETRATIONS.</li> <li>ANY DEFERRED ITEMS OR SUBMITTALS ARE THE RESPONSIBILITY OF THE OWNER &amp; GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS &amp; DOCUMENTATION NEEDED FOR CONSTRUCTION. THE DOCUMENTS PROVIDED ARE BASED ON LIMITED ARCHITECTURAL SERVICE.</li> <li>ALL HYDRAULIC HEAT TUBING AND CONCRETE MIX IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR. THE ARCHITECT IS NOT RESPONSIBLE FOR CRACKING OF CONCRETE.</li> <li>IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO MEET ALL THE FINDINGS OF FACTS &amp; APPROVED MATERIALS &amp; LIGHTING.</li> </ol>	<p><b>OCCUPANCY :</b> S-1</p> <p><b>CONSTRUCTION TYPE :</b> III WOOD FRAME</p> <p><b>SQUARE FOOTAGE :</b></p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">LOWER LEVEL</td> <td style="text-align: right;">18,641</td> </tr> <tr> <td>UPPER LEVEL</td> <td style="text-align: right;">19,979</td> </tr> <tr> <td><b>TOTAL:</b></td> <td style="text-align: right;"><b>38,620</b></td> </tr> </table> <p><b>PROPERTY AREA :</b> TOTAL LOT AREA 50 ACRE</p> <p><b>BUILDING CODE :</b> 2018 INTERNATIONAL BUILDING CODE AS ADOPTED BY CITY OF HAILEY</p> <p><b>BUILDING CODE :</b> 2018 INTERNATIONAL FIRE CODE AS ADOPTED BY CITY OF HAILEY</p> <p><b>BUILDING CODE :</b> 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY CITY OF HAILEY</p> <p><b>ZONING :</b> LI</p> <p><b>PHYSICAL ADDRESS :</b> 1140 AIRPORT WAY</p> <p><b>LEGAL DESCRIPTION :</b> FREEMAN PARK SUB LOT 3 BLK 2</p> <p><b>PARCEL NUMBER :</b> RPHM00000000</p> <p><b>CITY OF HAILEY BUILDING DEPARTMENT:</b> <b>CITY OF HAILEY FIRE DEPARTMENT:</b></p>	LOWER LEVEL	18,641	UPPER LEVEL	19,979	<b>TOTAL:</b>	<b>38,620</b>	<p style="text-align: center;"><b>ENERGY REPORT</b></p>
LOWER LEVEL	18,641								
UPPER LEVEL	19,979								
<b>TOTAL:</b>	<b>38,620</b>								
<p style="text-align: center;"><b>QUALITY ASSURANCE PROGRAM</b></p> <p><b>NOTE:</b></p> <p>A. BUILDING OFFICIAL TO PROVIDE THE ARCHITECT &amp; ENGINEER WITH ALL INSPECTION &amp; COMPLIANCE REPORTS REQUIRED UNDER THE 2018 IBC AND THIS QUALITY ASSURANCE PROGRAM.</p> <p>B. CONTRACTOR TO PROVIDE THE BUILDING OFFICIAL W/ ALL REQUIRED 3RD PARTY INSPECTION REPORTS, ENERGY COMPLIANCE CERTIFICATION, AND SURVEY CERTIFICATES.</p> <p>C. CONTRACTOR TO VERIFY COMPLIANCE WITH ALL STRUCTURAL INSPECTION REPORTS REQUIRED UNDER THE 2018 IBC &amp; STRUCTURAL SPECIFICATIONS.</p> <p>D. ALL TRUSS &amp; JOIST SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER. SHOP DRAWINGS TO BE VERIFIED BY ARCHITECT, ENGINEER, AND CONTRACTOR BEFORE FABRICATION.</p> <p>E. CONTRACTOR TO VERIFY ENERGY REQUIREMENTS AND PROVIDE CERTIFICATION COMPLIANCE TO THE ARCHITECT &amp; BUILDING OFFICIAL.</p> <p>F. FIRE SUPPRESSION SYSTEM DESIGN AND SHOP DRAWING SHALL BE SUBMITTED TO THE ARCHITECT BEFORE SUBMITTAL TO THE FIRE DEPARTMENT AND BUILDING DEPARTMENT.</p>	<p style="text-align: center;"><b>ARCHITECTURAL SYMBOLS</b></p> <p>INTERIOR ELEVATION CALL OUT: </p> <p>SECTION REFERENCE: </p> <p>DETAIL REFERENCE: </p> <p>INTERIOR ELEVATION KEY: </p> <p>ELEVATION CALL OUT: </p> <p>NORTH ARROW: </p> <p>ROOM NUMBER: </p> <p>DOOR REFERENCE: </p> <p>WINDOW REFERENCE: </p> <p>REVISION REFERENCE: </p>	<p style="text-align: center;"><b>VICINITY MAP</b></p>  <p style="text-align: center;">SITE</p>	<p style="text-align: center;"><b>NEIGHBORHOOD MAP</b></p>  <p style="text-align: center;">PROJECT LOCATION</p>						

**DESIGN REVIEW SET  
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www.blincoearchitecture.com  
**Blincoe Architecture**  
 2075 W. 10th St.  
 Boise, Idaho 83725  
 Phone: 208.333.8348  
 Fax: 208.333.8349  
 Email: info@blincoearchitecture.com

BA

LICENSED ARCHITECT  
 STATE OF IDAHO  
 No. 10000  
 State of Idaho  
 State of Idaho

## 1140 STORAGE

1140 AIRPORT WAY  
HAILEY, ID 83333

JOB #:	00834
PLOT DATE:	12/27/24
DESIGN REVIEW:	12/27/24
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
△ PRE-DESIGN REVIEW	7/29/24
△ DESIGN REVIEW	12/27/24
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CS2

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# FRIEDMAN PARK SUBDIVISION

## BLOCK 2, LOT 3

### HAILEY, IDAHO

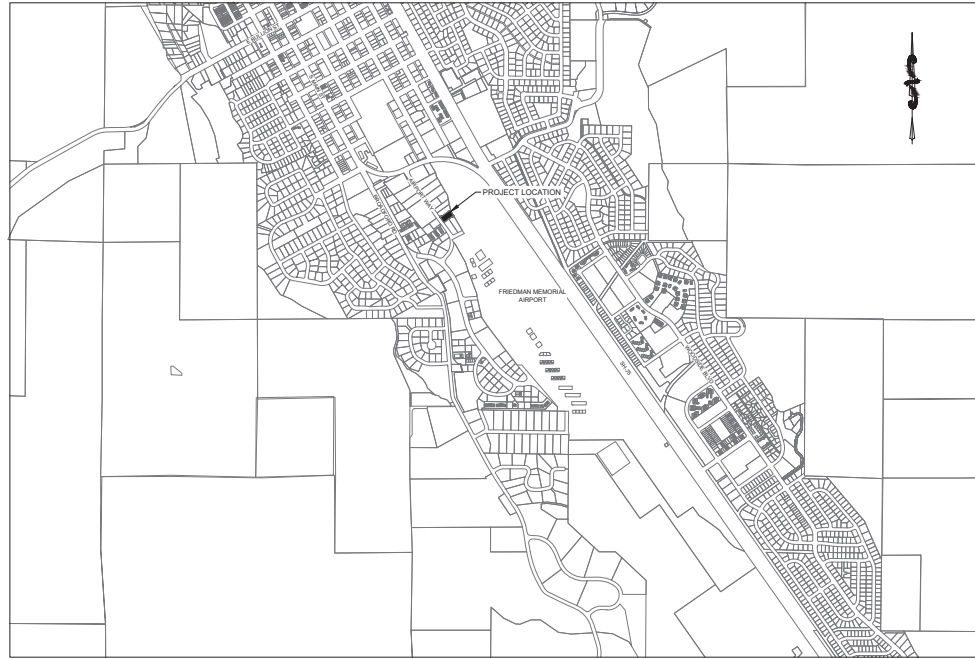
#### DECEMBER 2024

FRIEDMAN PARK SUBDIVISION, BLOCK 2, LOT 3  
COVER SHEET

LOCATED WITHIN T.2 N., R.18 E., SECTION 6 (S.W. 1/4), CITY OF HAILEY, BLAINE COUNTY, IDAHO  
PREPARED FOR: GALENA-BENCHMARK ENGINEERING

#### CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPW), AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPW ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DISLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL, TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSISF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSISF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER AND ADDITIONAL UTILITY FRANCHISES AS REQUIRED.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPW SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 10" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPW SECTION 703, TABLE 1-C.
- ALL TRENCHING SHALL CONFORM TO ISPW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA-BENCHMARK ENGINEERING, INC., 01/18/2024. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1813, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



VICINITY MAP  
N.T.S.

#### SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.20	EXISTING CONDITIONS
C1.00	SITE GRADING, DRAINAGE & UTILITY PLAN
C2.00	DETAIL SHEET

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

DESIGNED BY: MS  
DRAWN BY: ERS  
CHECKED BY: MS  
SURVEY DATE:

**GALENA-BENCHMARK  
ENGINEERING**

GALENA-BENCHMARK ENGINEERING  
100 East Drive  
Coeur d'Alene, Idaho 83814  
www.galenabenchmark.com

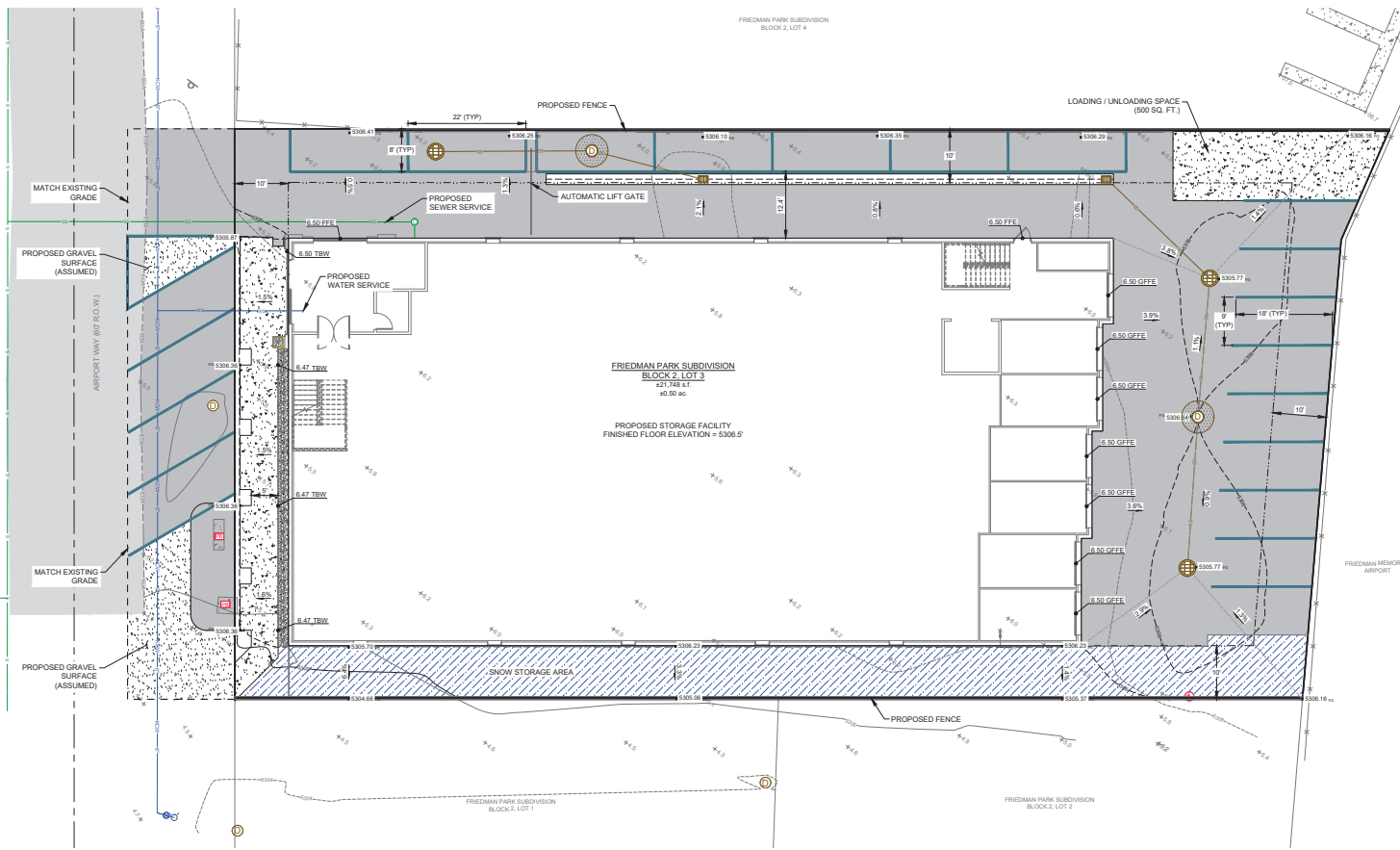
PURPOSE: ISSUE FOR REVIEW	NO.	DATE	BY	REVISIONS

C0.10





REUSE OF DRAWINGS: This drawing shall not be used for any project or purpose other than that for which it was originally prepared without the written consent of the engineer.

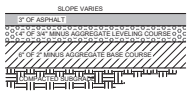


**SITE IMPROVEMENT KEY NOTES**

- CS1** CONSTRUCT ASPHALT DRIVEWAY. SEE DETAIL 1 / C2.10.
- CS2** CONSTRUCT CONCRETE VALLEY GUTTER 24" WIDE PER DETAIL 3 / C2.10.
- CS3** CONSTRUCT CONCRETE SIDEWALK WIDTH AS SHOWN HEREON. SEE DETAIL 2 / C2.10.
- CS4** INSTALL CATCH BASIN WITH MINIMUM SUMP DEPTH OF 12" 30" DIAMETER CATCH BASIN. SEE DETAIL 4 / C2.10.
  - a. RIM = 5351.68 (I.E. (OUT) = 5847.68)
  - b. RIM = 5351.00 (I.E. (OUT) = 5347.00)
- CS5** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C2.00 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 1 / C2.00 FOR TRENCHING.
- CS6** INSTALL ONSITE DRYWELL. SEE DETAIL 6 / C2.10.
  - RIM = 5351.20
  - I.E. (IN) = 5847.20
- CS7** SNOW STORAGE AREAS.
  - TOTAL PAVEMENT = 8,415 SF
  - REQUIRED SNOW STORAGE (20%) = 2,103 SF
  - PROPOSED SNOW STORAGE TOTAL = 2,325 SF
  - a. NORTHWEST SNOW STORAGE AREA = 1,175 SF
  - b. SOUTHERN SNOW STORAGE AREA = 1,151 SF

**UTILITY KEY NOTES**

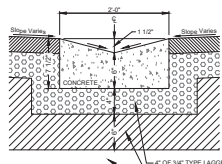
- U01** INSTALL 8" PVC WATER SERVICES. CONNECT TO EXISTING METERS AND ROUTE PER PLAN. REFERENCE DETAIL 7 / C2.10. DOW BOARD INSULATION REQUIRED UNDERNEATH ALL ROADWAYS. COORDINATE FINAL CONNECTION AT BUILDING WITH MEP PLANS.
- U02** INSTALL 8" PVC SEWER MAIN EXTENSION. REFERENCE PLAN & PROFILE FOR DETAILS.
- U03** INSTALL SANITARY SEWER SERVICES AND CLEANOUTS PER DETAIL 8 / C2.10. PLACE DOW BOARD INSULATION ABOVE PIPE WHEN IN ROADWAY.
- U04** INSTALL SEWER CLEANOUT.
- U05** COORDINATE FINAL LOCATION OF EQUIPMENT AND UNDERGROUND POWER LINES WITH OHMS POWER CO.
- U06** POTABLE / NON-POTABLE PIPE CROSSING. REFERENCE DETAIL 2 / C2.00 FOR MINIMUM CLEARANCE REQUIREMENTS.



**1**  
**C2.10** TYPICAL STREET ASPHALT SECTION  
N.T.S.



**2**  
**CT.00** TYPICAL CONCRETE SECTION  
N.T.S.



**3**  
**CT.00** 24" WIDE CONCRETE VALLEY GUTTER  
N.T.S.

- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
  - 12" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
  - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2" WIDE, 2" IN DEPTH AND FINISHED AND LOGGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 4' FOR NEW SIDEWALK CONSTRUCTION.
  - WHERE TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 9" TRANSITIONAL PANEL SHALL BE REPAIRED AND ISOLATED WITH EXPANSION MATERIAL.
  - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
  - MATERIALS SHALL CONFORM WITH CURRENT SPWV STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 2" TYPE III CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT SPWV STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED BY A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 12-INCH PREFORMED EXPANSION JOINT MATERIAL (ASBESTO M 21) AT TERMINAL POINTS OF RAILS.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-15 FEET MAXIMUM SPACING (8 FEET SIDEWALK).

**FRIEDMAN PARK SUBDIVISION, BLOCK 2, LOT 3  
GRADING, DRAINAGE & UTILITY PLAN**

PRELIMINARY  
NOT FOR  
CONSTRUCTION

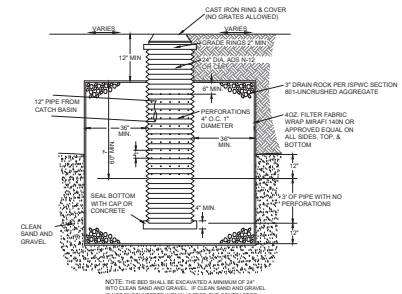
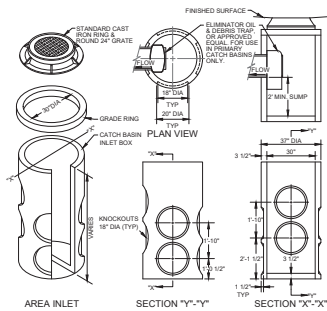
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ENGINEERING**  
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GALENA, ILLINOIS 60139-2540  
PHONE: 815.235.8800  
WWW.GALENA-BENCHMARK.COM

PURPOSE:	ISSUE FOR REVIEW	DATE	BY	REVISIONS

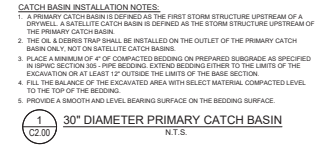
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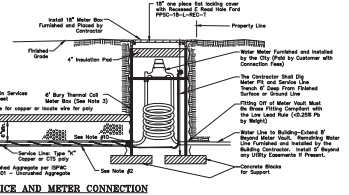
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1 C2.10 CITY OF HAILEY DRYWELL DETAIL (18.14.010.D4) N.T.S.

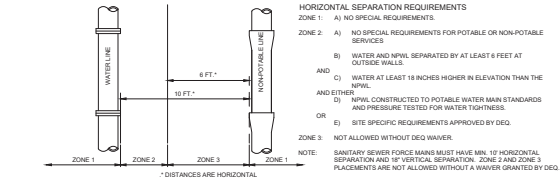
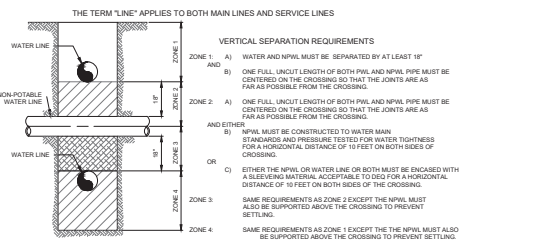


1 C2.00 30\"/>

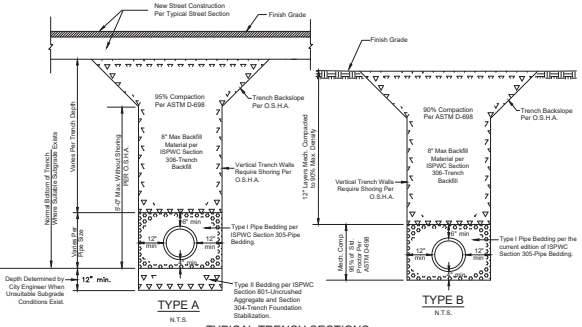


- NOTES
1. Meter service shall be installed in accordance with the current edition of the ISPPWC Section 305-Pipe Bedding.
2. Meter service line shall have a 6\"/>

1 C2.10 CITY OF HAILEY RESIDENTIAL WATER SERVICE CONNECTION DETAIL (18.14.010.B.3) N.T.S.

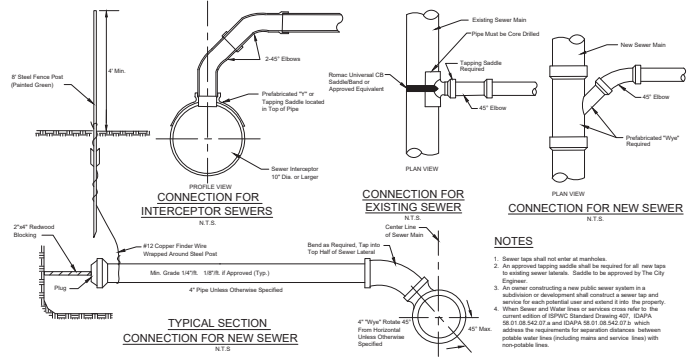


1 C2.00 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION N.T.S.



- NOTES
1. Type I Pipe Bedding material shall meet the requirements of the current edition of the ISPPWC Standards-Section 305-Pipe Bedding.
2. Type II Pipe Bedding material shall meet the requirements of the current edition of the ISPPWC Standards-Section 305-Pipe Bedding.
3. Native materials may be used for trench bedding, in the sole opinion of the City Engineer. The native material is found to be unsuitable, then either 8-inch minus uncrushed aggregate per the current edition of the ISPPWC Standards-Section 301-Uncrushed Aggregate or Type I or II crushed aggregate per the current edition of the ISPPWC Standards-Section 302-Crushed Aggregate will be required as backfill.
4. All work in public traffic ways is subject to approval by the City Engineer. He shall be notified one day before any excavation is started. No backfill shall be placed until the bedding material has been approved by the City Engineer.
5. Type A trench section shall be used for crossing a public or private road, street or driveway section. A road, street or driveway section is defined as the area under an existing right-of-way or gravel surface or curb and sidewalk, plus (4) four feet beyond each edge.
6. Type B trench section shall be used outside of any Type A, where no sidewalk or driveway is present.
7. Rock shall be situated at all least standard trench width per the current edition of the ISPPWC Standards-Section 302-Rock Excavation.

1 C2.00 CITY OF HAILEY DETAIL NEW DEVELOPMENT TYPICAL TRENCH SECTION (18.14.010.A.2) N.T.S.



1 C2.10 CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4) N.T.S.

FRIEDMAN PARK SUBDIVISION, BLOCK 2, LOT 3

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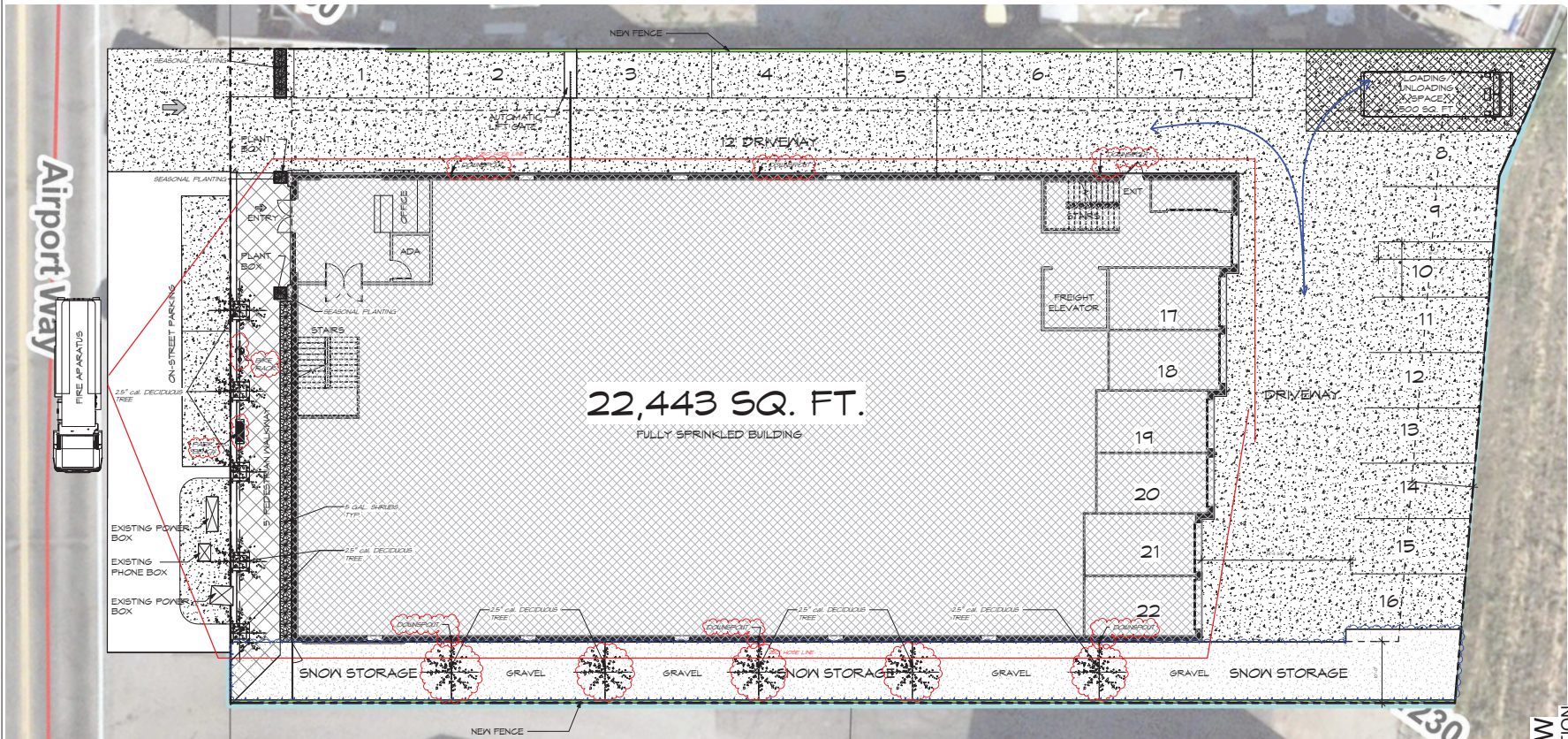
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DRAWN BY: ERS
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SURVEY DATE:
GALENA-BENCHMARK ENGINEERING

Table with 2 columns: NO. and DATE. It is used for tracking revisions.

PURPOSE: ISSUE FOR REVIEW
NO. DATE BY REVISIONS

C2.00

LOCATED WITHIN T2 N., R. 18 E., SECTION 16 8 N., CITY OF HAILEY, BLAINE COUNTY, IDAHO
PRODUCED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION
SCALE: 1\"/>



**22,443 SQ. FT.**  
FULLY SPRINKLED BUILDING

1 SITE PLAN  
L1 1/8" = 1'-0"

**PARKING SPACES CALCULATION:**

TOTAL BUILDING AREA	22,444 SQ. FT.
REQUIRED PARKING SPACES (1 PER 1000 SQ. FT.)	23
PARKING SPACES PROVIDED	23

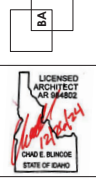
SNOW TO BE HAULED OFF SITE AS NECESSARY

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**1140 STORAGE**  
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HAILEY, ID 83333

**L1**

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Boise, ID 83725  
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info@blincoearchitecture.com

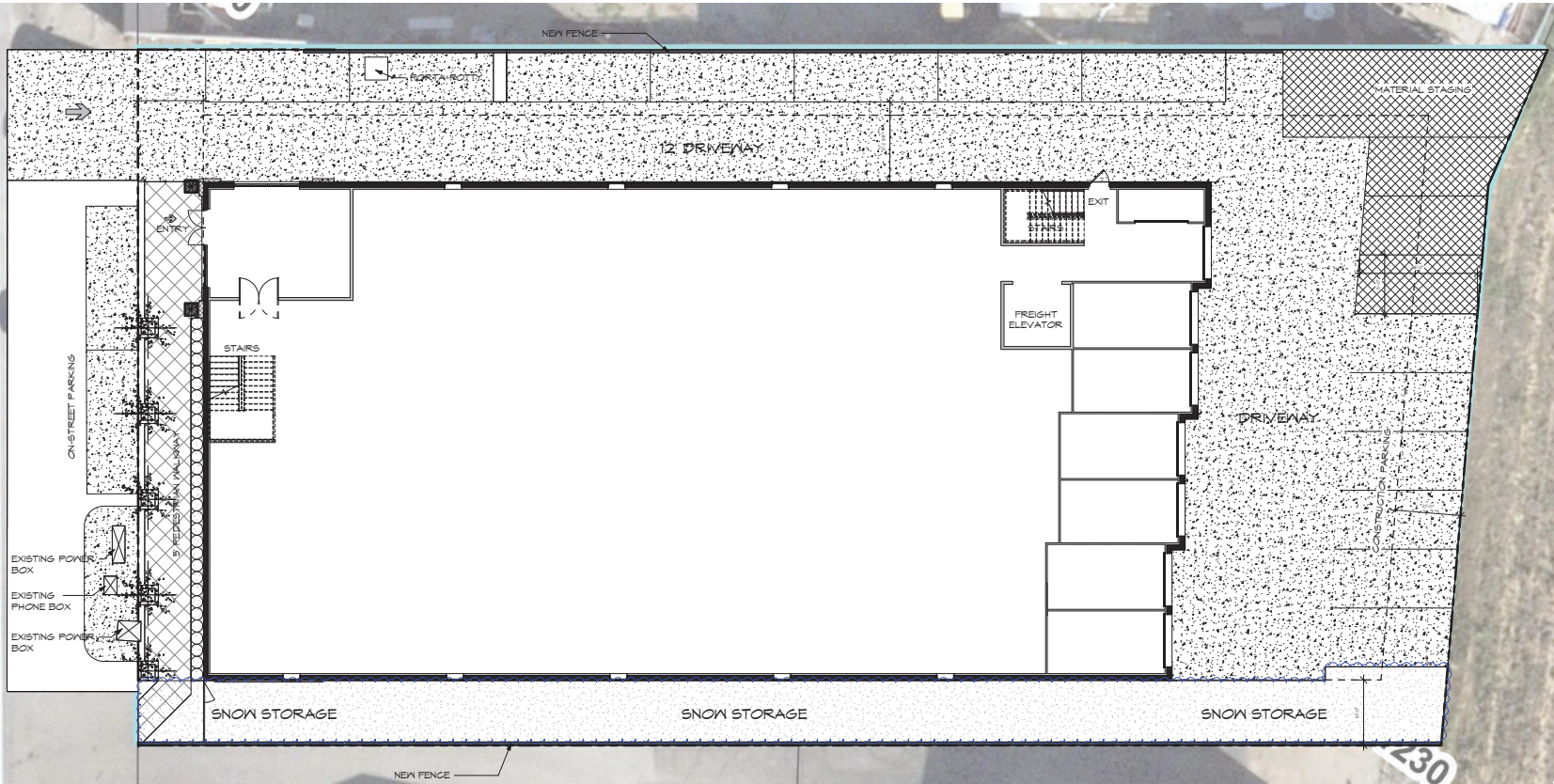


**JOB #:** 005.24  
**PLOT DATE:** 2/10/25  
**DESIGN REVIEW:** 12/27/24  
**PERMIT:**  
**CONSTRUCTION:**  
**SUBMISSIONS/REVISIONS:**  
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Airport Way



1  
L2 CONSTRUCTION ACTIVITY PLAN  
1/8" = 1'-0"

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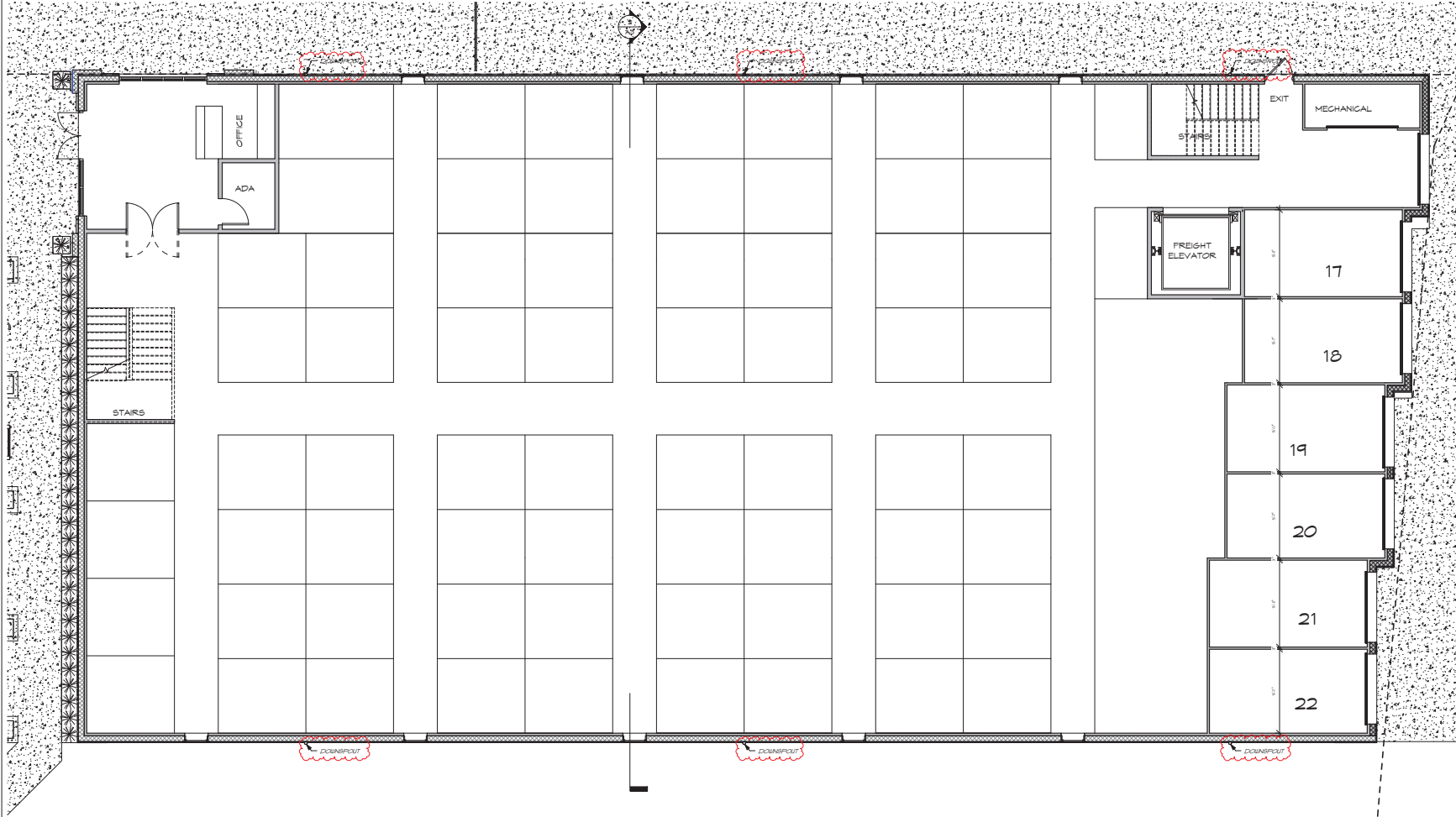
L2

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 FAX: 208.383.1335

DATE PLOTTED: 4/1/24 10:58 AM  
 PLOTTER: HP DesignJet T1100PS  
 C:\Users\chad\OneDrive\Documents\1140 Storage\1140 Storage.dwg  
 1/8" = 1'-0" 12/27/24  
 CHAD E. BLINCOE  
 STATE OF IDAHO  
 LICENSED ARCHITECT  
 ARCHITECT  
 1170 W. 4TH ST. SUITE 100  
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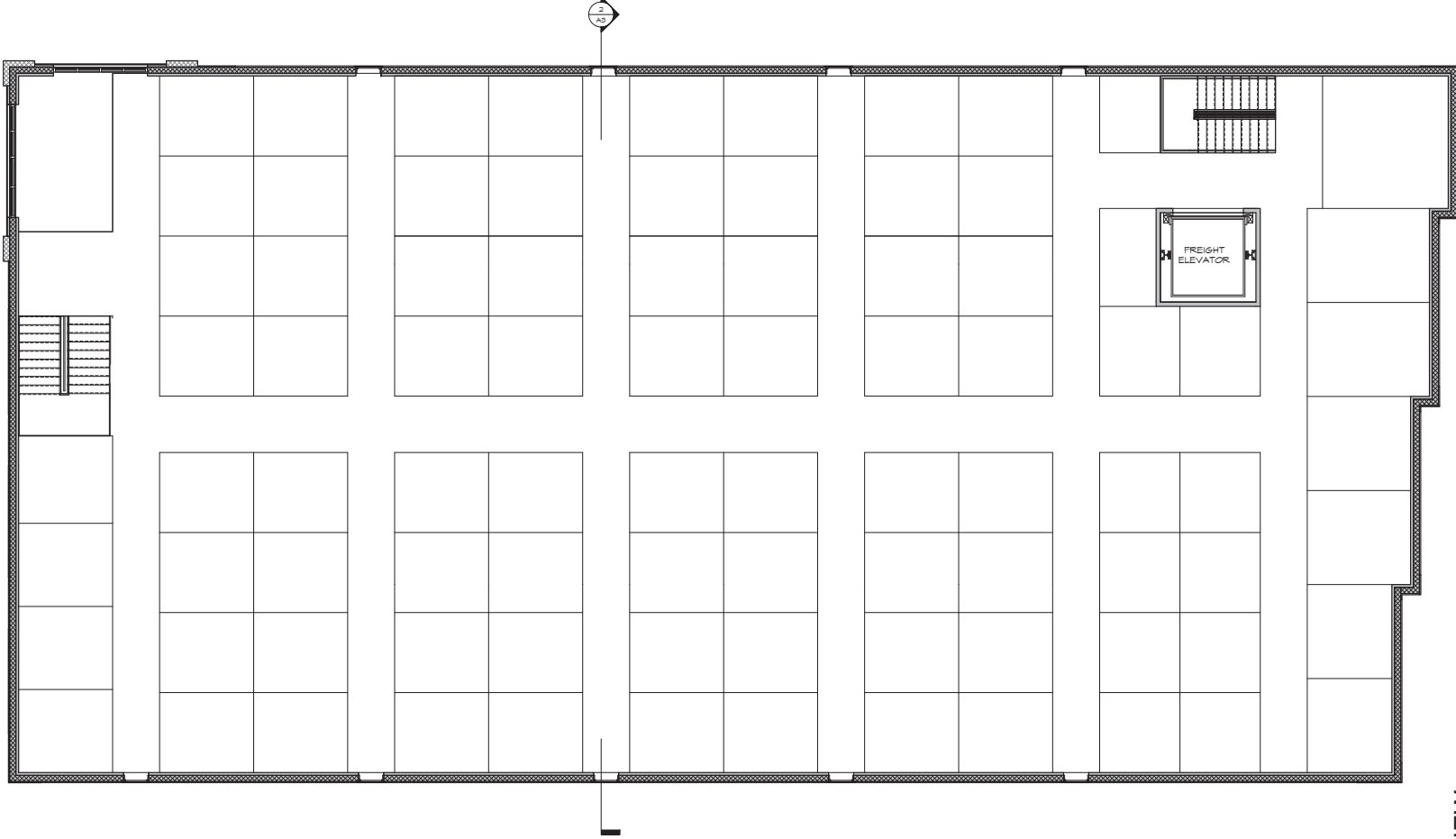


1 MAIN LEVEL FLOOR PLAN  
 A1 3/16" = 1'-0"

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1  
A2

UPPER LEVEL FLOOR PLAN

3/16" = 1'-0"

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A2

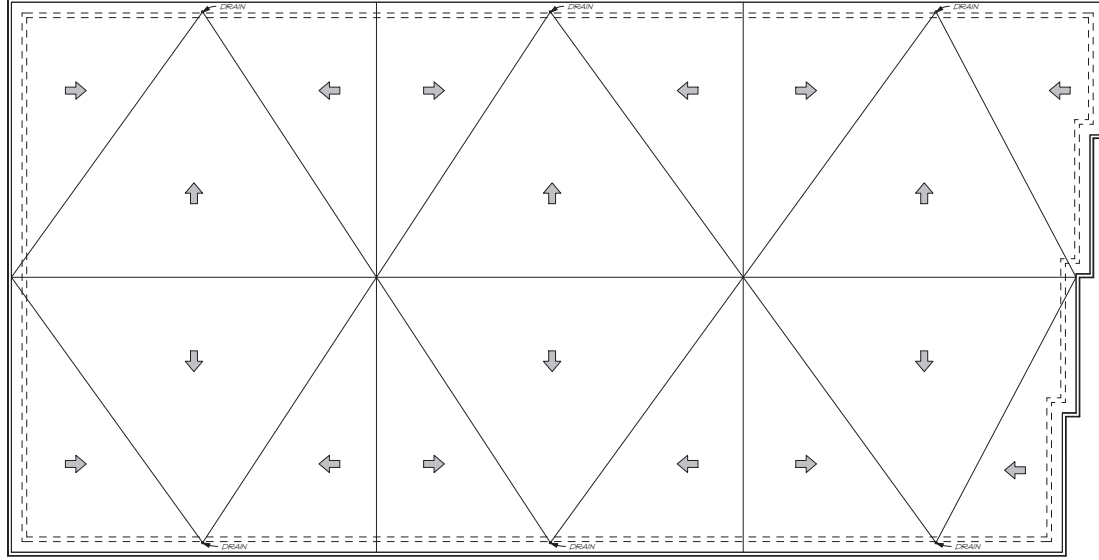
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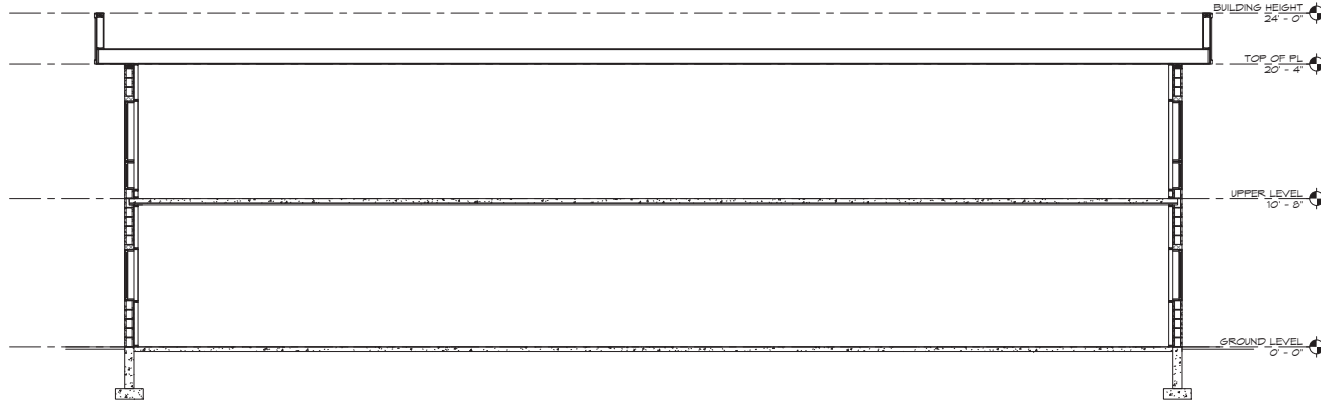


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1 ROOF PLAN  
 A3 1/8" = 1'-0"

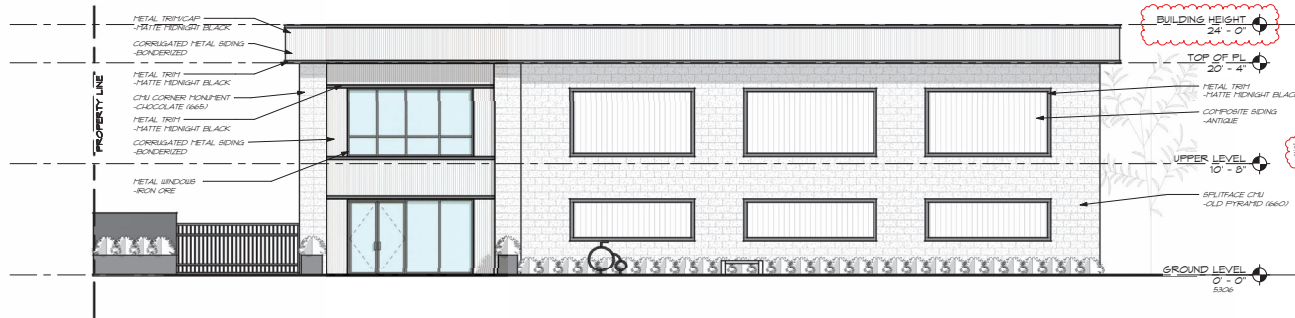


2 BUILDING SECTION  
 A3 1/4" = 1'-0"

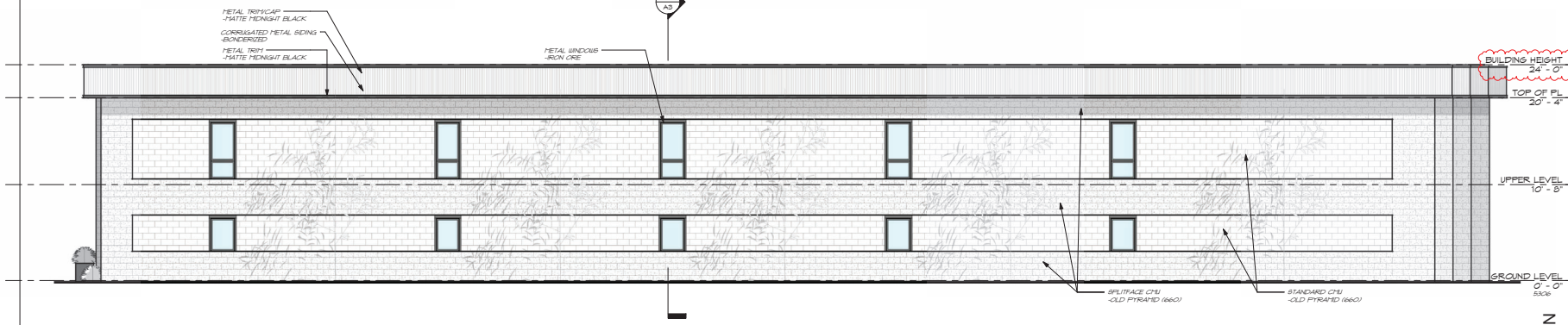
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1 FRONT ELEVATION  
A4 3/16" = 1'-0"



2 RIGHT SIDE ELEVATION  
A4 3/16" = 1'-0"

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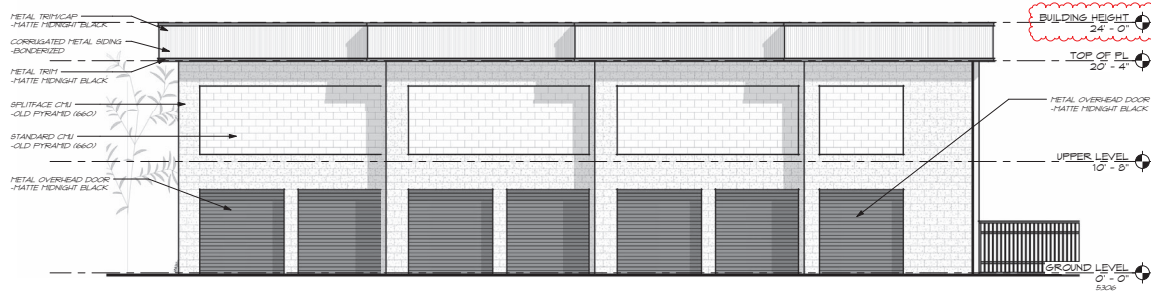
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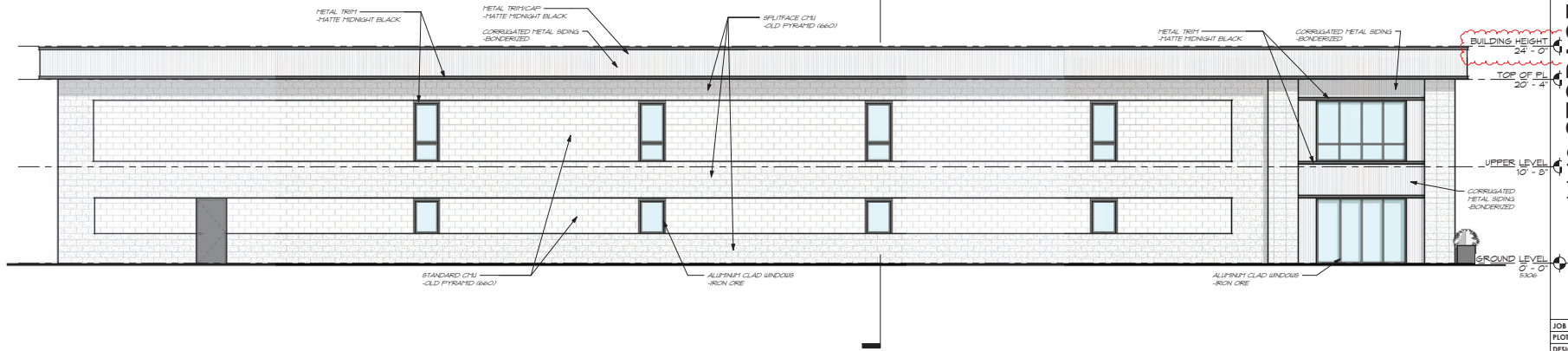
A4

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1  
A5  
REAR ELEVATION  
3/16" = 1'-0"



2  
A5  
LEFT SIDE ELEVATION  
3/16" = 1'-0"

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EXISTING SITE CONDITION AND STRUCTURES

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Designed for the control of your own energy consumption.

**Lighting Facts** For A19

Requires	400 lumens
Estimated Hourly Energy Cost (EFC)	\$0.01
Power and Energy (100W)	100 Watts/1000 Lumens
Life	Estimated 10,000 Hours
Light Appearance	Clear
Color	White
Energy Used	1 bulb

**SCONCE BULB**

A19 BULB, 450 LUMENS, 2100K



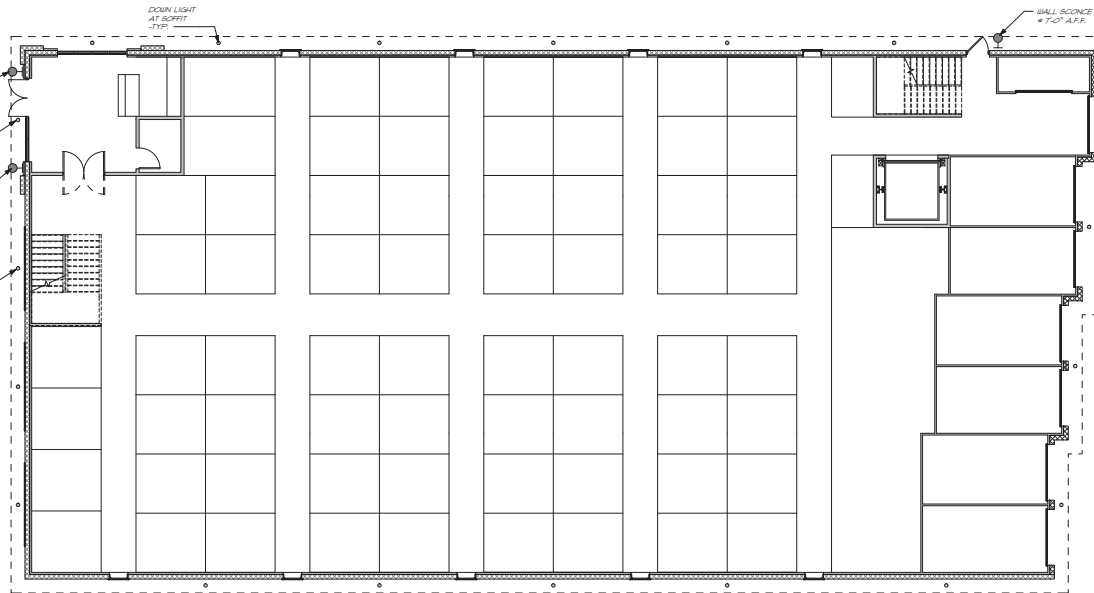
A: 7"  
B: 4-3/4"  
C: 6-1/2"

**Dimensions**

Mounting Plate Height (in.)	4.75 in
Mounting Plate Width (in.)	4.75 in
Product Depth (in.)	5.5 in
Product Height (in.)	7 in
Product Width (in.)	4.75 in

**WALL SCONCE**

3 TOTAL, NORTH AVENUE COMO ALUMINUM 1-LIGHT BLACK SQUARE



**1 EXTERIOR LIGHTING PLAN**  
1/8" = 1'-0"

NOTE:  
\* ALL EXTERIOR LIGHTING TO BE ON TIMER SWITCH  
\* 11,800 TOTAL LUMENS

**Details**

Compatible Bulb Type	Incandescent, LED
Damp/Wet Rating	Wet Rated
Durability	Weather Resistant
Exterior Lighting Product Type	Sconce
Fixture Color/Finish	Textured Black
Fixture Material	Aluminum
Included	Hardware Included, Shade(s) Included
Indoor/Outdoor	Indoor, Outdoor
Light Bulb Base Code	E26
Light Bulb Type Included	No Bulbs Included
Light Direction	Down
Max. Bulb Wattage (W)	60 W
Number of Lights	1 Light
Outdoor Lighting Features	Dark Sky
Package Quantity	1
Power Source	Hardwired
Product Size	Small
Product Weight (lb.)	1.54 lb
Recommended Light Bulb Shape Code	A19
Returnable	90-Day
Sconce Type	Cylinder
Shade Material	Metal
Shape	Rectangle
Voltage Type	Line Voltage



**Specifications**

<b>Dimensions</b>		Product Diameter (in.)		1 in
Recessed Box (in.)	2 in			
Product Height (in.)	1 in			
<b>Details</b>				
Actual Color Temperature (K)	2700, 3000, 3500, 4000, 5000	Color Rendering Index (CRI)	90	
Color Temperature	Variable (Full Circuit) or White	Color/Finish	Black	
Color/Finish Family	Black	Commercial/Residential	Commercial, Residential	
Damp/Wet Rating	Damp Rated, Dry Rated	Dimmable Capability	Dimmable	
Features	Adjustment Box Compatible, No Additional Features	IC Rating	IC Rated	
Included	Wiring Connectors	Indoor/Outdoor	Indoor	
Light Bulb Type Included	Integrated LED	Lumens	550	
Material	Aluminum	Max Construction or Recessed	Max Construction, Recessed	
Pack Size	1	Product Weight (lb.)	0.79 lb	
Returnable	90-Day	Size Style	Baffle	
Voltage (V)	120 V	Watt Equivalence	40	
Wattage (W)	9 W			

**RECESSED LIGHTING**

14 TOTAL, MAXIMUM 2 IN. ROUND RECESSED LED DOWNLIGHT

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DESIGN REVIEW:	12/27/24

**E1**

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**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of February 18, 2025**

**To:** Hailey Planning and Zoning Commission  
**From:** Emily Rodrigue, Community Development City Planner/Resilience Planner  
Robyn Davis, Community Development Director

**Overview:** Consideration of a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, by adding paragraph “J”, items J.1., J.2., J.3, and J.4.; which establishes provisions and/or flexibility of maximum building height, maximum lot coverage, and the consideration of other exceptions to the bulk requirements for all development projects preserving a historic commercial or residential structure.

**Hearing:** February 18, 2025

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**Applicant:** City Staff  
**Location:** Townsite Overlay Zoning District

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express as a Display Ad on January 30, 2025 and mailed to public agencies on January 30, 2025.

**Background:** In December 2024, City Staff received a Design Review Application for a residential addition to a historic home in the Townsite Overlay (TO) District, built in 1942. The Applicant and their architectural representative made good-faith efforts to preserve the entirety of the existing residence, avoiding any unnecessary building material removal or augmentation (structural or exterior). They followed Code-specific guidelines for TO designs, stepping the addition back from the primary street frontage and matching form and material type with both the existing residence and surrounding neighborhood. Through this Applicant’s design, the addition would provide much-needed living and sleeping area expansion for their growing family, all occurring on a traditionally-sized Hailey Townsite lot of approximately fifty feet (50’) wide by one hundred and twenty feet (120’) long.

These narrow lots and the cottage-style homes and buildings upon them are some of the last standing monuments to Hailey’s humble beginnings as a City and as a community. Platted lots from the original Hailey Townsite host modest structures built with local materials. Many buildings were placed very close – and sometimes unknowingly, on top of – property lines, and it is not uncommon to see buildings on adjoining properties within a few yards of one another. These details may present themselves today as troublesome for placing fence lines, managing snow from roofs, or performing tree care. However, taken in the context of the era in which these narrow lots were platted and the buildings raised, we can see a time in Hailey’s history of close-knit neighborhoods made up of working families and individuals, unshy to their neighbors and creatively building the town they were proud to call home. Through the Townsite Overlay Design Review process at the City of Hailey, we continue to witness this type of community development today.



The Applicant's design was ultimately found to fall short of the lot coverage maximum bulk requirement for their Limited Residential (LR-1)/TO-zoned property, based on discrepancies in interpretation of the building footprint and lot coverage. Outside of the TO District, LR-1 lots carry a 40% lot coverage maximum. Within the TO District, however, LR-1, General Residential (GR), and Limited Business (LB)-zoned properties may have a much lower lot coverage maximum – up to 15% of reduced allowable lot coverage, depending on the structure type and presence of a garage. The Applicant exceeded the stated lot coverage maximum for their property/structure type by 2.67% (30% maximum, 32.67% proposed). If not located within the TO District, the Applicant would have had the opportunity to build up to 40% lot coverage, although their proposed design would have still remained far below the lot coverage maximum. All other bulk requirements were proposed to be met.

The Applicant could have also approached the Planning and Zoning Commission with a proposal to demolish all existing structures on their property and construct a new residence altogether. While each bulk requirement may have been precisely met through this approach, it would have resulted in a loss of significant historical character within the TO District. Ever-rising costs of construction and the loss of historic architectural design features and institutional knowledge render the replication of the historic structure as exceptionally difficult, if not impossible. This outcome contradicts the stated purpose of the Townsite Overlay District.

The stated purpose of the Townsite Overlay District, per Hailey Municipal Code, is as follows:

**“17.04M.010: PURPOSE:**

**The purpose of the townsite overlay district is to promote the health, safety and welfare of current and future residents of the city of Hailey; to modify the bulk requirements of certain zoning districts in order to better respond to the unique conditions and circumstances of the original Hailey townsite; to encourage infill while retaining neighborhood character; to increase the compatibility and lessen the degree of nonconformity of existing structures; to create sufficient flexibility to allow for desirable development; to conserve building resources; and to enhance neighborhoods with increased pedestrian orientation, all in accordance with the city of Hailey comprehensive plan, for the desirable future development of the city of Hailey. (Ord. 1191, 2015)”.**

As is the case when creating any new district and/or zoning requirement, certain tradeoffs are considered in the context of fulfilling the new district and/or requirement's intended purpose. Additionally, some tradeoffs, environmental factors, and unintended consequences may not present distinguishable impacts until the Code change has had sufficient opportunity to be applied and function in real-time. In the period since the Townsite Overlay District was established and adopted into Code (2002), Staff have been able to study its impact and assess the effectiveness and relevance of its parameters and stated purpose. With the help of oversight and guidance from City Staff and the Commission, the City continues to see development that complements Hailey's historical past - be it through building size, vernacular, orientation, etc. - as well as through building type, with traditional single-family homes on small lots. Staff have also seen the repurposing of materials from existing structures (historic or otherwise) to new structures and/or additions on the same site. Residents and/or business owners that own property in the TO have a general understanding that the District represents Hailey's original townsite, and that the preservation of buildings, architectural character, and neighborhood “feel” of the original townsite era are important to maintain. There are several present-day examples from the TO district where, whether or not a historic structure was retained, the new building or portion thereof, tries to carry the same historic theme.

In the year 2025, Hailey is faced with a multi-faceted collection of changes and demands. Our resident population continues to gradually increase, the conversion of long-term rentals into short-term accommodations is rising with few regulatory tools available to local municipalities, and the cost of building new homes has risen to over \$300/sq ft in Hailey (for reference, cost was \$120/sq ft in 2015). Simultaneously, the Hailey community has also expressed a fervent desire to retain local character and a “small town-feel”, as demonstrated through extensive community engagement in 2024 (Hailey Comprehensive Plan Update, 2024).

Each of these factors place certain pressures on our community’s ecosystem – natural, cultural, constructed, and otherwise. The intent of the proposed Text Amendment is to respond to the full scope of these factors, finding a mutually beneficial solution for promoting infill and housing diversity, responding to the economic pressures faced by many Hailey residents as they contemplate construction within the TO District (new or remodeled), and stewarding a collective desire to maintain Hailey’s unique character and sense of place.

The proposed Text Amendment would only apply to those properties within the Townsite Overlay District, which also contain historic commercial and/or residential structures. For the purposes of this Text Amendment, a structure is deemed “historic” if it was built at least fifty (50) years ago.. As stated in the draft Ordinance language, historic outbuildings and/or accessory structures do not apply to the proposed Text Amendment. Based on Staff research of peer-community’s historic preservation guidelines, guidance from the Department of the Interior and the National Register of Historic Places, and communication with representatives from the Idaho State Historical Preservation Office (SHPO) and local architects, a fifty (50) year “rule of thumb” exists across the field of historic preservation. The 50-year timeline represents a guideline, generally stating that any structure 50 years of age or older may be designated as historic. However, most historic preservation guidelines and/or protocols reference flexibility in this 50-year minimum, noting that specific factors – unique to each neighborhood, community, or jurisdictional scale in question – may support the historic designation of a property that is less than 50 years old.

Applications seeking bulk requirement flexibility for historic structures within the TO District are proposed to be reviewed by the Hailey Planning and Zoning Administrator and the Planning and Zoning Commission on a case-by-case basis. Operating as such, Staff wish to limit additional case-by-case considerations for the historic designation of properties in it of themselves (those less than 50 years old), although other guidance from SHPO or the National Register of Historic Places may provide for this type of subjective review. Staff would like to provide our community with the opportunity to apply the proposed Text Amendment, followed by deliberate review of its uptake and impact on respective neighborhoods and the TO District as a whole. Further refinement of the proposed Text Amendment may be pursued in the future as well.

As of February, 2025, the following parcel counts contain residential and/or commercial structures built in or before 1975, which may qualify them for application of the proposed Text Amendment:

**(next page)**



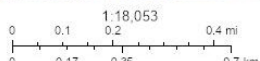
### 291 Residential Parcels

Historic Residential Candidates



2/11/2025

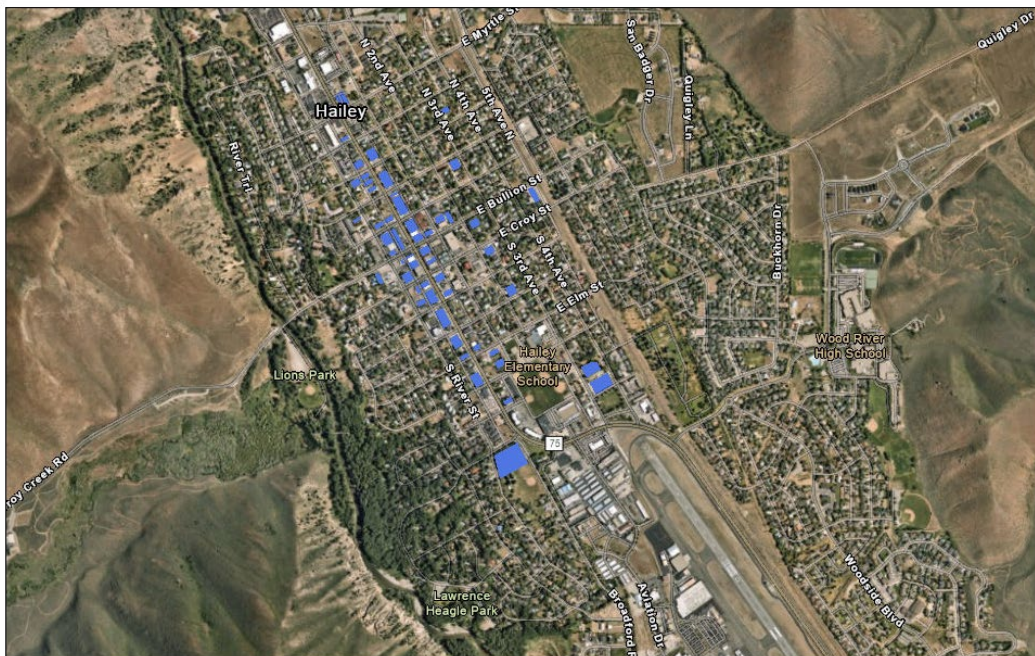
Historic Properties



Source: Esri, USDA FSA, Esri Community Maps Contributors, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of

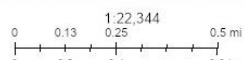
### 79 Commercial Parcels

Historic Commercial Candidates



2/11/2025

Historic Properties



Source: Esri, USDA FSA, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, Bureau of Land Management



If adopted, the underlined text below would be added within Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements:

Section 17.04M.060: Bulk Requirements:

**17.04M.060.J.: Preservation of Historic Structures:**

The City aims to promote the historic, architectural, archaeological and cultural heritage, features and qualities of Hailey through the identification, evaluation, designation, and protection of historic structures. Where historic commercial and residential structures are preserved, flexibility in the bulk requirements of the Townsite Overlay (TO) Zoning District may be approved by the Administrator and/or the Planning and Zoning Commission on a case-by-case basis, as follows:

1. Maximum Building Height: When any building permit application includes the retention of a historic commercial or residential structure, the maximum building height may be subject to the maximum building height allowed by the underlying zoning designation of the parcel(s) but shall not exceed the maximum building height of the underlying zoning designation, regardless of the requirements outlined in the Townsite Overlay Zoning District.
2. Maximum Lot Coverage: When any building permit application includes the retention and preservation of a historic residential structure, the maximum lot coverage may be forty percent (40%), regardless of the number of stories above grade or the existence of a garage. Where a historic residential or commercial structure is retained and preserved and located within a zoning district that allows for lot coverage greater than forty percent (40%), the underlying zoning district and/or zoning overlay shall govern.
3. Expedited Review: When any building permit application includes the retention and preservation of a historic residential structure, the Applicant shall be granted an expedited application review and scheduling of a Public Hearing.
4. Existing Nonconforming Buildings: Where an existing building is nonconforming with respect to the bulk requirements of the Townsite Overlay (TO) Zoning District, provisions outlined in Section 17.04M.070: Nonconforming Buildings, shall be met.
5. Flexibility in the bulk requirements apply to historic commercial or residential structures only. Historic outbuildings and/or other accessory structures do not qualify. Historic outbuildings and/or other accessory structures shall meet the bulk requirements of the underlying zoning district and/or zoning overlay, whichever designation controls.
6. For purposes of this section, historic shall mean any commercial or residential structure built fifty (50) years ago or earlier.
7. All other bulk requirements not expressly written herein shall be met.
8. Applicants may only seek consideration of one (1) bulk requirement flexibility per Application, and only one (1) bulk requirement flexibility per Application may be granted. Additional waivers and/or flexibilities may be addressed through established City processes, including Planned Unit Developments (Section 17.10) and/or Variances (Section 17.12).

The Commission may wish to discuss their recommended degree of flexibility granted through this proposed Text Amendment. This not only includes the proposed lot coverage and building height maximums, but also the ability and/or limitations of Applicants to “stack” multiple flexibilities per lot.

**Standards of Review:**

**Criteria for Review. Section 17.14.060(A) of the Hailey Municipal Code provides “[w]hen evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:**

- 1. The proposed amendment is in accordance with the comprehensive plan;**
- 2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;**
- 3. The proposed uses are compatible with the surrounding area; and**
- 4. The proposed amendment will promote the public health, safety and general welfare.**

**1. The proposed amendment is in accordance with the Comprehensive Plan;**

The currently adopted Comprehensive Plan (2020) articulates the merits of protecting the residential character and scale of the original Townsite, in addition to responding to growth through infill development:

**Goal 3.2:** “Protect the residential character and scale of the original Townsite”.

**Goal 5.6:** “Manage and accommodate population growth by infill development and, when appropriate, minimal expansion by annexation and/or density increases”.

Staff find that by allowing flexibility for specific bulk requirements within Hailey’s most historic Overlay District (TO District), there will be greater incentive and opportunity for historic residential and commercial buildings to be retained and expanded upon, versus demolished and rebuilt. Expansions through this historic preservation process may result in additional bedrooms, ADUs, and/or office and home occupation spaces, all of which are examples of infill development. This type of development not only deepens neighborhood connections and residents’ access to the core of Hailey, but it also carries secondary benefits of greater community walkability, efficient land use, and less potential impact from development sprawl into wildlife migration zones, intact ecosystems, and the wildland-urban fire interface (“WUI”). Each of these secondary benefits further supports the existing and drafted Comprehensive Plan Update (2024), which offers a more directed focus on sustainability and community resiliency.

**2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;**

The proposed amendment will not create excessive additional requirements at public cost for services. The amendment is intended to support flexibility for specific bulk requirements in a historic district of Hailey, incentivizing the preservation of existing historic structures.

**3. The proposed uses are compatible with the surrounding area; and**

The proposed uses impacted by the proposed Text Amendment will not change; rather, the proposed Text Amendment will incentivize the retention of existing uses, architectural forms, and community character. The impacts will be limited specifically to the TO District, the purpose of which is partially stated as “increase the compatibility and less the degree of nonconformity of existing structures”. Any development that seeks to apply the bulk requirement flexibility within the proposed Text Amendment will still need to comply with bulk requirements that are not included in the Text Amendment, which

includes, namely, setback requirements. Any development that occurs as a result of this proposed Text Amendment will increase the degree of existing structural conformity overall on site.

**4. The proposed amendment will promote the public health, safety and general welfare.**

The amendment recommended is consistent with the Hailey Comprehensive Plan, and will encourage infill and preservation of existing historic structures within the City of Hailey.

**Motion Language:**

**Approval:** I move to recommend approval to the Hailey City Council an Ordinance amending the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, by adding paragraph “J”, items J.1., J.2., J.3, and J.4.; providing for flexibility of maximum building height, maximum lot coverage, and the consideration of other exceptions to the bulk requirements for all development projects preserving a historic commercial or residential structure, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

**Denial:** Motion to deny recommendation of the attached revisions to Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.060: Townsite Overlay Bulk Requirements, by adding paragraph “J”, items J.1., J.2., J.3, and J.4., finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [the Commission should specify a date.

**HAILEY ORDINANCE NO. \_\_\_\_\_**

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING TITLE 17: ZONING REGULATIONS, CHAPTER 17.04: ESTABLISHMENT, PURPOSES AND USES WITHIN ZONING DISTRICTS, ARTICLE M: TOWNSITE OVERLAY (TO) ZONING DISTRICT, SECTION 17.04M.060, OF THE HAILEY MUNICIPAL CODE BY ADDING PARAGRAPH “J”, ITEMS J.1., J.2., J.3, AND J.4.; PROVIDING FOR FLEXIBILITY OF MAXIMUM BUILDING HEIGHT, MAXIMUM LOT COVERAGE, AND THE CONSIDERATION OF OTHER EXCEPTIONS TO THE BULK REQUIREMENTS FOR ALL DEVELOPMENT PROJECTS PRESERVING A HISTORIC COMMERCIAL OR RESIDENTIAL STRUCTURE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE AND PROVIDING AN EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Mayor and the City Council of the City of Hailey have adopted Chapter 17.04M, of the Hailey City Code creating the Townsite Overlay District, declaring a purpose, general application, use restrictions and bulk requirements therein; and

WHEREAS, the purposes of the Townsite Overlay District include encouraging infill while retaining neighborhood character, increasing the compatibility and lessening the degree of nonconformity of existing structures; to create sufficient flexibility to allow desirable development; to conserve building resources and to enhance neighborhoods with increased pedestrian orientation, and

WHEREAS, the Townsite Overlay Districts contains commercial and residential structures constructed from the founding of the City of Hailey through the decades representing an array of American architectural styles that reflect a diversity of historic structures that together, with other attributes, contribute to the fabric of the neighborhood character in old Hailey, and

WHEREAS, the City of Hailey, through its comprehensive plan and adoption of Chapter 2.24, expressed its policy and intention to preserve its historic commercial and residential structures, and

WHEREAS, the demolition of historic commercial or residential structures is antithesis to the character of the Townsite Overlay, and it is concluded that bulk requirement limitations should be more flexible as an incentive to preserve historic commercial and residential structures in Hailey, and

WHEREAS, the Mayor and City Council wish to clarify and amend the provisions of Chapters 17.04M.060 and

NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

**Section 1.** Section 17.04M.060 of the Hailey Municipal Code is hereby amended by the addition of the underlined language as follows:

17.04M.060.J.: Preservation of Historic Structures: The City aims to promote the historic, architectural, archaeological and cultural heritage, features and qualities of Hailey through the identification, evaluation, designation, and protection of historic structures. Where historic commercial and residential structures are preserved, flexibility in the bulk requirements of the Townsite Overlay (TO) Zoning District may be approved by the Administrator and/or the Planning and Zoning Commission on a case-by-case basis, as follows:

1. Maximum Building Height: When any building permit application includes the retention of a historic commercial or residential structure, the maximum building height may be subject to the maximum building height allowed by the underlying zoning designation of the parcel(s) but shall not exceed the maximum building height of the underlying zoning designation, regardless of the requirements outlined in the Townsite Overlay Zoning District.
2. Maximum Lot Coverage: When any building permit application includes the retention and preservation of a historic residential structure, the maximum lot coverage may be forty percent (40%), regardless of the number of stories above grade or the existence of a garage. Where a historic residential or commercial structure is retained and preserved and located within a zoning district that allows for lot coverage greater than forty percent (40%), the underlying zoning district and/or zoning overlay shall govern.
3. Expedited Review: When any building permit application includes the retention and preservation of a historic residential structure, the Applicant shall be granted an expedited application review and scheduling of a Public Hearing.
4. Existing Nonconforming Buildings: Where an existing building is nonconforming with respect to the bulk requirements of the Townsite Overlay (TO) Zoning District, provisions outlined in Section 17.04M.070: Nonconforming Buildings, shall be met.
5. Flexibility in the bulk requirements apply to historic commercial or residential structures only. Historic outbuildings and/or other accessory structures do not qualify. Historic outbuildings and/or other accessory structures shall meet the bulk requirements of the underlying zoning district and/or zoning overlay, whichever designation controls.
6. For purposes of this section, historic shall mean any commercial or residential structure built fifty (50) years ago or earlier.
7. All other bulk requirements not expressly written herein shall be met.
8. Applicants may only seek consideration of one (1) bulk requirement flexibility per Application, and only one (1) bulk requirement flexibility per Application may be granted. Additional waivers and/or flexibilities may be addressed through established City processes, including Planned Unit Developments (Section 17.10) and/or Variances (Section 17.12).

**Section 2.** If any section, paragraph, sentence or provision hereof or the application thereof to any particular circumstances shall ever be held invalid or unenforceable, such holding shall not affect the remainder hereof, which shall continue in full force and effect and applicable to all circumstances to which it may validly apply.

**Section 3.** All ordinances and parts of ordinances in conflict herewith are hereby repealed.

**Section 4.** This Ordinance shall be in full force and effect from and after its passage, approval,

and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY  
THE MAYOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
Martha Burke, Mayor

Attest:

\_\_\_\_\_  
Mary Cone, City Clerk

Publish: Idaho Mountain Express \_\_\_\_\_, 2025

**Return to Agenda**



## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On February 18, 2025, the Planning and Zoning Chair and Administrator considered an Accessory Dwelling Unit (ADU) Application by Mark Cosslett for the proposed addition of an internal 463 square foot ADU. This project is located at 1050 Red Elephant Drive (Lot 6, Block 4, Della View Subdivision).



### FINDINGS OF FACT

**Notice:** Notice for the ADU Application was mailed to property owners within 300 feet on January 13, 2025. The Public Comment period was open from January 13, 2025, to January 24, 2025. During this time one public comment was received.

**Application:** The Applicant is proposing to convert a space within the primary single-family dwelling into a 463 square foot Accessory Dwelling Unit (ADU). The ADU is proposed to be located within the existing residence and is positioned toward the northern side of the property. The Applicant intends to occupy the ADU and rent the primary residence out for short-term occupancy. Current access to the proposed ADU will be located off the primary public street, Red Elephant Drive.



**Design Elements and Exterior Materials:** The proposed ADU is located within an existing single-family structure and there are only minor exterior changes proposed, which include a new entry door for the single-family residence, proposed to match the existing door which will be utilized for the ADU.

**Procedural History:** The Accessory Dwelling Unit Application was submitted on December 18, 2024, and certified complete on January 2, 2025. There is also a Flood Hazard Development permit associated with this project which was approved on January 9, 2025.

**Standards of Evaluation:** Chapter 17.06 of the Hailey Municipal Code establishes the criteria for applications for Design Review. For each applicable standard (in bold print), the Commission makes the following Findings of Fact:

**17.06.010. No person shall build, develop, or substantially remodel or alter the exterior of the following Buildings without receiving design review approval or exemption, pursuant to this chapter, as outlined in the matrix below:**

Type of Use	Exempt (PZ Chair And Administrator)	Hearings Examiner	Full PZ Review
<b>New construction:</b>			
<b>All zones: Nonresidential buildings</b>			X
<b>All zones: Residential of 3 or more units</b>			X
<b>All zones other than Townsite Overlay District: Accessory Dwelling Units</b>	X		

<b>Townsite Overlay District: New single-family or duplex</b>			<b>X</b>
<b>Townsite Overlay District: Accessory structures (including Accessory Dwelling Units)</b>			<b>X</b>

The proposed Application is to convert a space within the existing primary residence to include an ADU, to be located at 1050 Red Elephant Drive (Lot 6, Block 4, Della View Subdivision) within the Limited Residential (LR-1) Zoning District.

<b>General Requirements for Accessory Dwelling Units</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.020	<b>Applicability.</b> A. The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04D.030	<b>General Provisions.</b> A. Accessory Dwelling Units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached Accessory Dwelling Units may comprise the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising of the remaining floor area.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Staff Comments</i>	<p><i>The ADU is proposed to be located in the existing onsite structure within the primary single-family residence. The gross square footage of the ADU is 463 square feet. The existing asphalt driveway is proposed to service both the primary residence, as well as the ADU. Parking for the ADU is provided via the existing driveway and within an onsite parking pad.</i></p> <p><i>With regard to setbacks, this parcel is located within the Limited Residential (LR-1) Zoning District. In said district, the <b>required minimum setbacks</b> are as follows:</i></p> <ul style="list-style-type: none"> <li>- <b>Front: 25' (100'- Floodplain); Sides: 10'</b> is the base setback + from adjacent properties - one (1) additional foot for every two (2) of building height that exceeds 20' in height, and <b>Rear: 10'.</b></li> </ul> <p><i>The <b>proposed setbacks for the ADU</b> are existing and are as follows:</i></p> <ul style="list-style-type: none"> <li>- <b>Front: 100'; Side (N): 16'; Side (S): 39'; Rear: 50'.</b> The setback requirements of the zoning district existing and have been met.</li> </ul> <p><i>The proposed ADU is a reflection of other ADU building types in Hailey, where an internal ADU unit creates a secondary dwelling with onsite parking. The primary dwelling unit also includes an additional attached garage, with two (2) garage spaces to serve the single-family unit.</i></p> <p><i>The ADU portion of the structure is positioned towards the northern side of the single-family residence and appears subordinate in scale and size to the primary dwelling building portion. Additionally, all bulk requirements with respect to setbacks, lot coverage, building height, and density comply with Hailey's Municipal Code.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>B. Only one (1) Accessory Dwelling Unit is permitted on a lot.</b>

			<b>Staff Comments</b>	<p><i>Only one (1) ADU is proposed onsite.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>C. Accessory Dwelling Units are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transition and SCI zones, Accessory Dwelling Units are permitted in conjunction with commercial buildings. In Business, Limited Business and Neighborhood Business, one or more residential unit(s) are considered.</b></p>
			<b>Staff Comments</b>	<p><i>The proposed ADU is in conjunction with an existing single-family residence, and both are located within the Limited Residential (LR-1) Zone District.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>D. Accessory Dwelling Units in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in Section 17.04J.020, "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.</b></p>
			<b>Staff Comments</b>	<p><i>The proposed ADU is located within the Special Flood Hazard Area with a base flood elevation of 5286.20 which meets this requirement. The Applicant applied for a Flood Hazard Development permit which was approved on January 9, 2025.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.040: Registration of Accessory Dwelling Units Required	<p><b>A. All Accessory Dwelling Units created after February 10, 2021, shall be issued an Accessory Dwelling Unit Compliance Certificate.</b></p>
			<b>Staff Comments</b>	<p><i>Upon completion of construction for the proposed ADU, a Compliance Certificate will be issued.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.050: Occupancy Restrictions - Short Term Occupancy	<p><b>A. Where a lot contains both a primary dwelling unit and an Accessory Dwelling Unit, only one dwelling unit shall be utilized for Short-Term Occupancy;</b></p>
			<b>Staff Comments</b>	<p><i>At this time, the Applicant intends to utilize the ADU as his primary living space and rent the primary residency via short term occupancy. This standard shall be met and has been made a Condition of Approval.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>B. When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.</b></p>
			<b>Staff Comments</b>	<p><i>At this time, the Applicant intends to utilize the ADU as his primary residence and rent the primary residency via short term occupancy. This standard shall be met and has been made a Condition of Approval.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.060: Subordinate Scale and Size	<p><b>A. Scale: The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.</b></p>
			<b>Staff Comments</b>	<p><i>Pursuant Hailey's Municipal Code, <b>Gross Floor Area</b> is defined as:</i></p> <ul style="list-style-type: none"> <li>- <i>The gross area included within the surrounding exterior walls of a building or portion thereof, including all floor levels, exclusive of vent shafts, outdoor courts, attics or</i></li> </ul>

garages, or other enclosed automobile parking areas subject to the following restrictions:

- The basement of a single- or multiple-family dwelling is not included as floor area; and
- The basement of any other building is included as floor area.

The gross floor area, exclusive of the garage for the principal building, is approximately 2,784 square feet in size. The lot coverage is calculated to be approximately 22% of lot coverage, which meets the standard and is well below the maximum 40% of coverage allowed. The proposed project does not change the lot coverage for this property.

The lot size is 12,329 square feet, which would allow for a maximum gross floor area of 1,000 square feet. That said, the Applicant is proposing a 463 square foot ADU which complies with this standard.

Based on the above, the Chair and Administrator found that this standard has been met.

**B. Maximum Floor Area:**

Lot Size (square feet)	Minimum Gross Floor Area (square feet) <sup>1</sup>	Maximum Gross Floor Area (square feet) <sup>1</sup>
Up to 7,000	300	900
7,001 – 8,000	300	950
Lots 8,001 and greater	300	1,000

Gross square footage calculations for Accessory Dwelling Units do not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.

*Staff Comments*

Please refer to Section 17.08D.060A, noted above, for further details.

**C. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.**

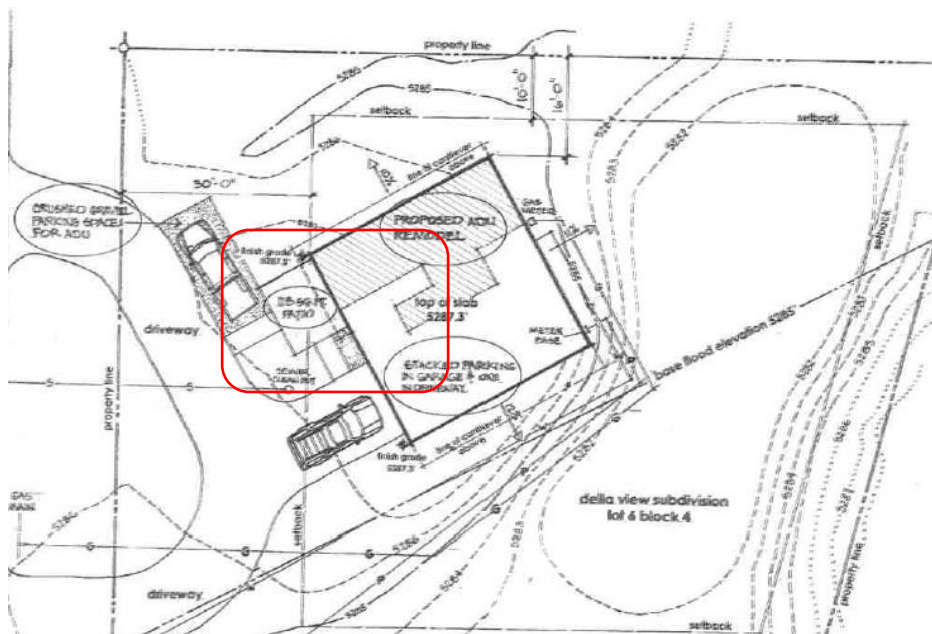
*Staff Comments*

The proposed ADU has one (1) bedroom.

**MAIN FLOOR PLAN "B"**  
 SCALE: 3/16" = 1'-0"

Based on the above, the Chair and Administrator found that this standard has been met.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.070: Livability</b>	<p><b>A. Outdoor Access:</b> All Accessory Dwelling Units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineated by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. The Outdoor Access area shall be approved through the Design Review process.</p>
			<p><i>Staff Comments</i></p>	<p><i>The Applicant is proposing a 118 square foot patio of outdoor space for the ADU unit.</i></p>  <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>

**Chapter 17.09: Parking and Loading**

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09 020.05.B</b>	<p><b>Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.</b></p>
			<p><i>Staff Comments</i></p>	<p><i>The existing paved driveway will be utilized for both the primary dwelling unit and the ADU. Parking for the primary residence is located in the two-car garage while the proposed parking for the ADU is one space, also located onsite.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.020.05.D</b>	<p><b>Mitigation for Accessory Dwelling Unit parking spaces:</b> Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.</p>
			<p><i>Staff Comments</i></p>	<p><i>The proposed parking for the ADU is located onsite and includes a parking pad that is separate from the existing two-car garage.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.040.01</b>	<p><b>Accessory Dwelling Units and all dwelling units less than 1,000 square feet require one (1) parking space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.</b></p>

			<b>Staff Comments</b>	<p><i>This standard has been met. A single-car parking pad is proposed to service the ADU and is in conjunction with the existing two-car garage to be utilized by tenants of the primary residence.</i></p> <p><i>Based on the above, the Chair and Administrator found that this standard has been met.</i></p>
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## CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Planning and Zoning Chair and Administrator make the following Conclusions of Law:

1. Adequate notice, pursuant to the Hailey Municipal Code, Title 17, Chapter 17.06, Design Review, 17.06.020(B), was given.
2. The project is in general conformance with the Hailey Municipal Code, Title 17, and the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Given the nature of this project, this constitutes a minor project, will not conflict with the Design Review Standards of this Chapter, and will not adversely impact any adjacent properties.
5. The proposed project is documented in the project file.

**Conditions of Approval.** The following Conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey’s Municipal Code at the time of the new use.
- c) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law, and Decision.
- d) The lot contains a primary dwelling and an Accessory Dwelling Unit. Only one (1) dwelling unit shall be utilized for short-term occupancy. If one (1) dwelling unit is utilized for short-term occupancy, the other unit shall be owner-occupied or utilized as a long-term rental (31 days or longer).

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
 Janet Fugate, Chair

\_\_\_\_\_  
 Robyn Davis, Community Development Director



**Return to Agenda**