

Agenda
Hailey Planning and Zoning Commission
Monday, January 6, 2025
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

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Phone Conference ID: 602 369 677#

Call to Order

- Public Comment for items not on the Agenda.

Consent Agenda - ACTION ITEM

- **CA 1** Motion to approve Findings of Fact, Conclusions of Law, and Decision of a Design Review Application by Tanner Investments, LLC, for construction of a twenty-four-unit apartment building, consisting of eighteen (18) two-bedroom units and six (6) one-bedroom units, to be located at Block 1 of the Sweetwater PUD Subdivision within the Limited Business (LB) Zoning District. **ACTION ITEM**
- **CA 2** Motion to approve Findings of Fact, Conclusions of Law, and Decision of a Conditional Use Permit (CUP) Application submitted by Overland West INC, represented by Jay Cone Architecture, to allow for the placement and use of a private, onsite above ground fuel tank for the mixed-use project proposed to be located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI Industrial (SCI-I) Zoning District. **ACTION ITEM**

Public Hearing(s) - ACTION ITEM

- **PH 1** Consideration of a Design Review Application by McIntosh Holdings, LLC, represented by Errin Bliss with Bliss Architecture, for the construction of a new multifamily development project to be located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision) within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. The proposed development consists of two (2), three-story, multifamily buildings, for a total of six (6) residential dwelling units. **ACTION ITEM**

- **PH 2** Consideration of a Design Review Application submitted by Tyler and Laura Jones for the construction of a 1,288 square foot residential addition with a 937 square foot garage to be located at 314 North 4th Avenue (Lots S 1' of 16, all of 17 and 18, Block 88, Townsite) within the Limited Residential (LR 1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**

- **PH 3** Consideration of a of a City-Initiated Text Amendment amending Hailey's Municipal Code, Title 17: Zoning Regulations, Chapter 17.02 Definitions, to modify, refine, remove, and/or add various definitions to the title. **ACTION ITEM**

Staff Reports and Discussion

- **SR 1** Discussion: Upcoming Projects, Code Changes, Next Planning and Zoning Meeting:
 - **Tuesday, January 21, 2025:**
 - PUD: St Charles
 - TA: Title 16 Definitions

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On December 16, 2024, the Hailey Planning and Zoning Commission considered and approved a Design Review Application by Tanner Investments, LLC, for construction of a twenty-four (24) unit apartment building, consisting of eighteen (18) two-bedroom units and six (6) one-bedroom units, to be located at Block 1 of the Sweetwater PUD Subdivision within the Limited Business (LB) Zoning District. Each two-bedroom unit will be 1,104 square feet in size, and each one-bedroom unit will be 728 square feet in size. Forty-eight (48) parking spaces are proposed, as well as a communal grill/picnic and play area on site. This development is to be known as Solstice Condominiums.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express on November 26, 2024 and mailed to property owners within 300 feet on November 26, 2024.

Background. On August 7, 2006, the Commission approved 474 Club, LLC's, Design Review Application to construct 421 dwelling units within the Sweetwater Subdivision. The subject parcel, Block 1, was approved to have six (6) live/work units in a 6-unit building, one (1) additional live/work unit in a 1-unit building, two (2) 4-unit townhouse buildings, one (1) 6-unit townhouse building, and one (1) carriage house. Overall, twenty-one (21) residential units were originally proposed for this block.

In 2017, Tanner Investments, LLC, purchased the undeveloped property of Block 1, Sweetwater Subdivision, from the previous owner of Hailey Sweetwater Partners, LLC. As a result of this purchase, Hailey Sweetwater Partners, LLC, filed a Declaration of Special Covenants with Pioneer Title Company of Blaine County (Instrument #648091), which placed "certain special and limited restrictive covenants upon the Property in order to provide for the orderly development of the Sweetwater PUD as a whole".

This Declaration stated that the ownership of Block 1, Sweetwater Subdivision (currently Tanner Investments, LLC) may take full advantage of Design Review guidelines and processes specifically developed for the Sweetwater PUD. These include things like PUD-specific setbacks, increased building height, unit densities, etc. In addition, the ownership of Block 1 will no longer be a member of the Sweetwater HOA, unless express written consent is provided by said ownership. This means that the ownership of Block 1 will not be subject to Sweetwater HOA fees and procedures, but ownership/residents of Block 1 will not have access to certain PUD Amenities granted to the larger Sweetwater HOA. Block 1 (Solstice Condominiums) ownership will form their own HOA and be managed accordingly.

Thus, the residents of any new units constructed on Block 1 will not have access to the existing 5,200 square foot amenity building, nor will they be obligated to pay HOA fees associated with the original Sweetwater public amenities. The public amenities originally provided, including the, (1) community housing contribution of land, on which the Senior Housing Units on River Street now exist; (2) Highway 75 contribution; (3) Wood River Trail connection; (4) construction of the 1.6 acre park; and (5) 1 of 2 promised transit shelters; all have been made to the benefit of, and credit to this Block 1, of the overall Sweetwater PUD. This phase of the project continues to be subject to the park in-lieu contribution requirement.

In January of 2024, Tanner Investments, LLC, submitted their first Design Review Application for the construction of a twenty-four (24) unit apartment building, consisting of eighteen (18) two-bedroom units and six (6) one-bedroom units, to be located at Block 1 of the Sweetwater PUD Subdivision. A public hearing was conducted by the Hailey Planning and Zoning Commission on February 5, 2024. At this hearing, the Commission expressed concern in the incomplete nature of the submittal, specifically as it related to architectural design and renderings. Other unresolved matters affecting the project at the time of the hearing focused on Block 1's desire to separate from the Sweetwater HOA and form their own HOA, and the subsequent City processes that may or may not need to occur to facilitate that adjustment (PUD Amendment).

The City's stance remained firm in that Block 1 could only take advantage of certain benefits of the PUD (namely setbacks, density, building height, etc.) if they remain as part of the Sweetwater HOA and Block 1 residents have access to all of the amenities (building, pool, and open space) that are provided for existing Sweetwater residents (but excluding Block 2). The Applicant posited that they had no binding obligation to participate in the Sweetwater HOA and had already entered into a private agreement with the developer of Sweetwater to exit the Sweetwater HOA. At the same time, the Applicant still wished to take advantage of the aforementioned PUD bulk requirements, and they did not wish to enter into a PUD amendment process. The Commission unanimously voted to table the item until Staff had been provided with clarity and direction around the PUD amendment process and the Applicant resubmitted a corrected application package.

After consulting with the City Attorney, City Staff determined that, in fact, the Applicant would still be required to engage in a Sweetwater PUD amendment process. The Applicant subsequently submitted a PUD Amendment Application that was considered and approved by the Hailey City Council on October 28, 2024. The Fourth Amendment of the Sweetwater PUD removes Block 1 from certain obligatory requirements outlined within the existing PUD Agreement.

Waivers Requested: Chapter 17.10.040: Developer Benefits, allows for the request of modifications or waivers of the zoning and subdivision requirements. The Applicant is requested the following modifications and/or waivers to the existing PUD Agreement, appurtenant Block 1 only:

- waiver to construct below grade parking for the 24-unit project located on Block 1, and
- waiver to comply with LEED-ND development criteria on Block 1.

Amenities Proposed: Chapter 17.10.030.I: General Requirements, Amenities, requires that each Planned Unit Development Application provide two (2) or more amenities. Community Housing is listed as an eligible amenity and defined in the Hailey Municipal Code as such:

Through a deed restriction, a dwelling unit that is restricted by size, type, and cost, and/or that is for sale or rent exclusively to individual(s) meeting income, occupancy and/or other affordable community housing criteria established in a community housing plan approved by the City of Hailey.

Within the proposed project, to be known as Solstice Condominiums, the Applicant is providing the following amenities:

- perpetual designation of two (2) residential units, restricted as community housing units under the Locals Only (Category L) criteria.

Staff appreciate the Applicant's offer to perpetually deed restrict two (2) community housing units within the development, and further believe the proposed benefit is commensurate with the requested waivers to certain obligations, as noted herein.

At the December 16, 2024 Public Hearing, the Commission voted unanimously to approve the proposed project, while also offering the following feedback and/or suggestions:

- Consider providing on-site electric vehicle (EV) charging stations for residents.
- Consider adding additional drywells to the parking area, to mitigate pooling and/or freezing of precipitation across pedestrian circulation areas.
- Consider adding additional design features to the east and west facades of the building, achieving more visual balance across the large wall plane.
- Strongly consider switching patio guard rail orientation to vertical, instead of horizontal, to mitigate risk of children climbing rails.
- Strongly consider applying for funding through Idaho Power's Multifamily Energy Efficiency Program and integrating recommended utility and design features to maximize energy efficiency and resident comfort and cost-savings.

Project Overview. The Applicant Team is proposing to construct one (1) three-story condominium building with eight (8) units per floor, for a total of twenty-four (24) units. Eighteen (18) two-bedroom and six (6) one-bedroom units are proposed. Each two-bedroom unit will be 1,088 gross square feet in size with a 212 square foot balcony, and each one-bedroom unit will be 724 gross square feet in size with a 197 square foot balcony.

Additional project amenities include:

- Forty-eight (48) on-site parking spaces, including one (1) handicap space
- Right-of-way improvements, including:
 - Six (6) striped, parallel street parking spaces along Countryside Boulevard
 - Curb bulbout and thermoplastic crosswalk striping on the corner of Countryside and Shenandoah, heading north
 - Interconnected concrete sidewalk system, providing access around both the condominium building and the parking area, as well as site perimeter access (Shenandoah and Countryside rights-of-way).
 - Extensive landscaping, to include planter beds, new trees, improved grass areas on-site, as well as the retention of existing trees and the addition of river cobble ground cover for City right-of-way areas.
- Grill/picnic area (1,435 square feet)
- Grass play area (4,775 square feet)
- Snow storage area (7,950 square feet)
- Screened trash and recycling enclosure

Procedural History: The Applicant first came before the Planning and Zoning Commission at the February 6, 2023 Public Hearing with a Design Review Pre-Application for Block 1, Sweetwater Subdivision. This design included two (2) separate buildings with twelve (12) units per building. Many of the landscaping

and communal space elements from the Pre-Application were retained for the Applicant’s full Design Review submittal. The Applicant then provided a full Design Review package, submitted on December 13, 2023 and certified complete on December 18, 2023. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on February 5, 2024.

Due to incomplete plan sets and uncertainty regarding the applicability of the Sweetwater PUD Agreement and Block 1 of the Sweetwater Subdivision, the Commission voted unanimously to table the item until plan sets were amended and clarity was provided by the City Attorney in regard to the PUD. It was found that a fourth PUD Agreement amendment – removing Block 1 from certain benefits and burdens of the original Sweetwater PUD – would be required for further development of the site. The Applicant submitted an Amendment to the PUD Agreement on August 2, 2024, and it was certified complete on August 6, 2024. The item was scheduled to be heard by the Hailey City Council on September 9, 2024; however, was not heard and instead, continued to September 23, 2024. After the Council voted to approve the amendment and conducted three (3) separate readings, the amendment was officially approved on October 28 2024.

The Applicant then returned to the Hailey Planning and Zoning Commission with a revised Design Review submittal and an approved PUD Agreement Amendment. The Design Review Application was submitted on November 12, 2024 and certified complete on November 13, 2024. A public hearing was held with the Commission on December 16, 2024, at which time the Commission voted unanimously to approve the Application.

| General Requirements for all Design Review Applications | | | | |
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| Compliant | | | Standards and Staff Comments | |
| Ye s | N o | N /A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.0 50 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Depart ment Comm ents | Engineering: <i>All infrastructure will require detailed final construction drawings to be submitted to the city and approved by the city prior to construction. All construction must conform to City of Hailey Standard Drawings, specifications, and procedures. This has been made a Condition of Approval.</i> |
| | | | | Life/Safety: <i>No comments.</i> |
| | | | | Streets, Water & Wastewater: Streets: <ul style="list-style-type: none"> • <i>The six (6) parallel parking spaces along Countryside Boulevard will be subject to standard snow removal operations for the public right-of-way. Snow will be removed from the vehicular travel lanes, but it will not be removed from the parallel parking spaces themselves. Snow removal from these spaces will be the responsibility of Solstice Condominiums ownership/property management. The applicant has been made aware of this expectation.</i> Wastewater: |

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| | | | | <ul style="list-style-type: none"> Under Demolition Key Note D07 on civil engineering plan set sheet C0.90, the Wastewater Division Manager requests that the existing sewer service is abandoned inside the sewer manhole. The Applicant has been asked to confirm the 4" service size for new construction of sewer service, Utility Key Note U07 on civil engineering plan set sheet C1.10. The Wastewater Division Manager remarked on the large service size and potential for large flow rates. <p>Water:</p> <ul style="list-style-type: none"> No comments. <p><i>Finding: Compliance. These Standards have been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08A Signs | <p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p> <p><i>Staff Comments</i> A sign demarcating the complex is proposed for the corner of the lot at the intersection of Countryside and Shenandoah. The size of this signage is unknown. The Applicant shall submit renderings and dimensions for all site signage for staff review prior to installation. This has been made a Condition of Approval.</p> <p><i>Finding: Compliance. This Standard will be met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.040 On-site Parking Req. | <p>See Section 17.09.040 for applicable code.</p> <p><i>Staff Comments</i> Per the Hailey Municipal Code, Multifamily Dwellings are required to provide at least 1.5 onsite parking spaces per unit. Twenty-four (24) units are proposed, requiring a minimum of thirty-six (36) on-site parking spaces. Forty-seven (47) on-site parking spaces are proposed, in addition to six (6) street parking spaces proposed for Countryside Boulevard. Two (2) ADA-accessible parking spaces are also proposed for the northwest corner of the parking area, immediately adjacent to the building's southern entrance.</p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.09.040.06: Excess of Permitted Parking | <p>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p> <p><i>Staff Comments</i> N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code.</p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08C.040 Outdoor Lighting Standards | <p>17.08C.040 General Standards</p> <p>a. All exterior lighting shall be designed, located and lamped in order to prevent:</p> <ol style="list-style-type: none"> Overlighting; Energy waste; Glare; Light Trespass; Skyglow. <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor</p> |

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| | | | <p>activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p> <p><i>Staff Comments</i> The Applicant is proposing to install seven (7) exterior wall mounted lighting fixtures for the condominium entries/exits, in addition to four (4) parking area pole lights, 15' in height. Photometric plans and lighting cut sheets, provided by the Applicant, demonstrate compliance with the Hailey Municipal Code Outdoor Lighting Standards,</p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>Bulk Requirements</p> <p>Limited Business (LB) Zoning District:</p> <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> - Building Height: <ul style="list-style-type: none"> o Permitted Building Height: 37' (see P.U.D. below) o Proposed Building Height: 36' 6" o Required Setbacks (see P.U.D. below): <ul style="list-style-type: none"> o Front Yard: 8' o Side Yard: 5' o Rear Yard: 3' - Proposed Setbacks for 24-unit condominium building: <ul style="list-style-type: none"> o Front Yard (south): 24.5' o Side Yard (east): 17' o Side Yard (west): 6' o Rear Yard (north): 14' and 18' <p>The original PUD Agreement addresses the following waivers, which were granted in August 14, 2006:</p> <ul style="list-style-type: none"> - Building Height: <ul style="list-style-type: none"> o The maximum building height shall see an increase to 37 feet from 35 feet. - Setbacks: <ul style="list-style-type: none"> o The minimum front yard setback shall be reduced from 20 feet to eight (8) feet for residential units. o The minimum side yard setbacks shall be reduced from ten (10) feet to five (5) feet. o The minimum rear yard setback shall be reduced from ten (10) feet to three (3) feet. - Maximum Density: <ul style="list-style-type: none"> o Twenty-one (21) residential units originally proposed for Block 1, via August 14, 2006 PUD Agreement. o Twenty-four (24) residential units were approved via the November 4, 2024 Fourth Amendment to the Sweetwater Subdivision PUD Agreement (Instrument No. 709182). <p>All other bulk requirements have been met.</p> |

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| | | | | <i>Finding: Compliance. This Standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(A)1 Street Improvements Required | <p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> <p><i>Staff Comments</i> A new 5'-wide sidewalk is shown along the perimeter of the proposed project. This perimeter sidewalk will connect to interior sidewalks, providing safe access and sufficient circulation around and through the site.</p> <p>6" vertical curb and gutter is also proposed around the perimeter of the project, along with one (1) new drywell in the Countryside Boulevard right-of-way.</p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.070(B) Required Water System Improvements | <p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p> <p><i>Staff Comments</i> N/A, as this project is not within the Townsite Overlay (TO) Zone District.</p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1a | <p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p><i>Staff Comments</i> The project's singular building is oriented (long-ways) from east to west and occupies the northern half of the square-shaped lot. The southwest portion of the lot hosts a large grass play area, a grill/picnic area, and "shade sails" to provide shade and cover over said grill/picnic area. The Applicant has proposed a building design that incorporates significant fenestrations, building undulations, and private outdoor deck space for each unit. The north, south, and east building elevations each feature a grass buffer with tree plantings and significant landscaping. Walkways interior to the site (aside from approximately one hundred feet (100') on the lot's western edge) have been proposed away from the immediate wall planes of the building, which will</p> |

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| | | | <p>allow for maximum sun exposure and discourage the build-up of ice in winter months. Right-of-way walkways have similarly been placed away from building wall planes.</p> <p>Sun exposure in exterior spaces has been maximized, and there is generous space around the building and site that will be usable by residents and promote safe building access.</p> <p><u>Finding: Compliance. This Standard has been met.</u></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A) 1b</p> <p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 2 ½ inch caliper.</p> <p><i>Staff Comments</i> A Landscaping Plan has been prepared for the project. This plan shows trees to be removed, as well as new trees and other plant materials to be planted. Five (5) trees are designated for removal. Forty-one (41) new tree plantings are proposed for the site, and five (5) existing Ash Trees in the Countryside Boulevard right-of-way will be retained. <u>Finding: Compliance. This Standard has been met.</u></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A) 1c</p> <p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> All building entrances, site amenities, and connections to right-of-way sidewalks will be serviced by an interconnected system of on-site sidewalks. The parking area also features sidewalks along its entire perimeter. <u>Finding: Compliance. This Standard has been met.</u></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A) 1d</p> <p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>Staff Comments</i> The site's dumpster and recycling area is currently proposed towards the rear of the lot and away from both the building and the Countryside/Shenandoah rights-of-way. The designated snow storage area will not be impacted by the placement of this dumpster and recycling area. This area will be screened on all sides to 6' in height by both poured-in-place concrete walls, as well as wood/steel doors. <u>Finding: Compliance. This Standard has been met.</u></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>17.06.080(A) 1e</p> <p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p><i>Staff Comments</i> N/A, as no alleys exist or are planned for the site. <u>Finding: Compliance. This Standard has been met.</u></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>17.06.080(A) 1f</p> <p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> |

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| | | | <p>Staff Comments</p> <p><i>N/A, as no vending machines are proposed.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A) 1g</p> <p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p> <p>Staff Comments</p> <p><i>Vehicular access to onsite parking is located off of Shenandoah Drive, to the rear of the proposed residential building. The Applicant has taken considerable care to screen the parking area from the street and the adjoining lot with significant landscaping.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A) 1h</p> <p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p> <p>Staff Comments</p> <p><i>The site is serviced by a single vehicular approach with separate channels for parking lot entry and exit, to be located off of Shenandoah Drive. Three (3) pedestrian access points are located off of Shenandoah Drive, and two (2) pedestrian access points are located off of Countryside Boulevard.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A) 1i</p> <p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p> <p>Staff Comments</p> <p><i>The primary proposed snow storage area is provided in the grass area along the site's western boundary. It will be highly accessible to all types of snow removal vehicles and is suited to accommodate moderate to large amounts of snow. Additional snow storage is provided in the landscape buffer between the southern building façade and walkway, around the main pedestrian walkway on the northern façade, and along the southern property boundary's landscaped area.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A) 1j</p> <p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p> <p>Staff Comments</p> <p><i>The improved parking and vehicle and pedestrian circulation areas amount to 20,495 square feet. 7,950 square feet of snow storage has been provided (39% of snow removal area).</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A) 1k</p> <p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p> <p>Staff Comments</p> <p><i>It appears that the designated snow storage areas, as shown on the Updated Landscape Plans, comply with this standard.</i></p> |

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| | | | | <i>Finding: Compliance. This Standard has been met.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 1l | l. Hauling of snow from downtown areas is permissible where other options are not practical. |
| | | | <i>Staff Comments</i> | <i>N/A, as this project is not located in a downtown area.</i> |
| | | | | <i>Finding: Compliance. This Standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 1m | m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities. |
| | | | <i>Staff Comments</i> | <i>Snow storage areas do not impede any of the stated areas/features.</i> |
| | | | | <i>Finding: Compliance. This Standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 1n | n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow. |
| | | | <i>Staff Comments</i> | <i>Snow storage areas are shown in grass landscape areas, specifically with Scottish Links grass seed mix. This grass varietal is known for its low maintenance and hardiness in cooler climates, making it a suitable choice for ground cover in a snow storage area.</i> |
| | | | | <i>Finding: Compliance. This Standard has been met.</i> |

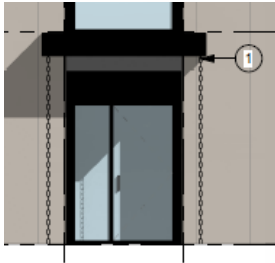
2. Building Design: 17.06.080(A)2, items (a) thru (m)

| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 2a | a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings. |
| | | | <i>Staff Comments</i> | <i>The proposal is for a multifamily building in the Limited Business (LB) Zone District, where a variety of homes, single-family and multi-family, exist. The proposed building design incorporates a variety of features, such as covered deck spaces, pop-outs, parapets, and varied exterior materials. These features mirror some elements of the Sweetwater "live/work" units directly to the north of the proposed project. A flat roofline is proposed, which is distinct from surrounding buildings within the Sweetwater Development.</i> |
| | | | | <i>The proportion, size, and overall building footprint is also similar to surrounding buildings, with the longest building plane situated east to west.</i> |
| | | | | <i>Finding: Compliance. This Standard has been met.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 2b | b. Standardized corporate building designs are prohibited. |
| | | | <i>Staff Comments</i> | <i>N/A, as the project is not a corporate design.</i> |
| | | | | <i>Finding: Compliance. This Standard has been met.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 2c | c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction. |
| | | | <i>Staff Comments</i> | <i>At the ground level, the building design features eight (8) covered deck spaces for eight (8) individual units, which emphasizes human scale. The front and rear building elevations each feature a single set of double entry doors, the location</i> |

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| | | | <p><i>of which is highlighted by a ground-to-roof column of masonry veneer that will take the appearance of both wooden paneling and stone. This design feature will naturally draw pedestrians towards the building's entries/exits.</i></p> <p><i>An interconnected system of on-site sidewalks will further encourage human activity and interaction, along with the robust communal outdoor space and amenities on the western edge of the property. Extensive landscaping in front of each ground-level unit will provide privacy for residents, while also softening the building's façade and enhancing natural aesthetics across the site.</i></p> <p><i>Additionally, the Applicant has provided twenty-six (26) bike parking stalls on the ground level, including sixteen (16) spaces interior to the building in a dedicated bike storage room. Each of the second and third floors also features bike storage rooms, with twenty-two spaces provided in each room. The total bike storage capacity for this site is sixty (60) bicycles. Staff commend the Applicant for incorporating this highly desired – but not required – design feature into site planning, highlighting the applicant's awareness of the site's proximity to the Wood River Trail and the bike-centric character of life in Hailey.</i></p> <p><i>It should also be noted that at the February 5, 2024 public hearing for the original Design Review submittal for this project, the Commission noted various concerns with ADA accessibility. These included exterior doorways adjacent to the elevator shafts, which did not appear to be sized appropriately for wheelchairs, and that no units were called out specifically as ADA accessible. The Commission also requested that the ADA parking spots be relocated to be closer to the east entrance where the elevator is located.</i></p> <p><i>The Applicant has confirmed that all entry doors to the building will adhere to the 36" minimum width for ADA access, including unit entry doors.</i></p> <p><i>Additionally, the Applicant informed Staff of their intent to complete a condominium plat process for the units and place them for sale, rather than for rent. Due to this proposed tenancy and ownership, these condominiums will be exempt from accessibility requirements listed in 2018 International Building Code (IBC). However, all units will be designed to be easily upgraded to be fully accessible (grab bars, clearances, removable cabinetry, etc.). All common areas outside of each unit will be designed for full ADA compliance, as required by the 2018 IBC.</i></p> <p><i>Lastly, while the Applicant did explore relocating the ADA parking spaces to be closer to the east entry of the residential building, the route would significantly increase in length and would require travel on the public sidewalk, instead of limiting travel to those surfaces interior to the site. The Applicant has stated that while they are amenable to moving the ADA spaces, if required by the Commission, they believe the shorter outdoor route with longer interior building access to the elevators is preferable. At this time, Staff are in agreement with the Applicant's proposed ADA parking space location, as depicted on the civil drawings.</i></p> |
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| | | | | <i>Finding: Compliance. This Standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 2d | <p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p><i>Twelve (12) of the twenty-four (24) units will face north, towards Countryside Boulevard. This north façade will be considered the front of the building. The other twelve (12) units will face south, towards the site’s interior parking area. The north and south building elevations mirror each other exactly in building materials and design. This design includes extensive window features, covered deck spaces, projections, changes in material and color, and variety in landscaping design and species selection. A pedestrian entrance is present on each building elevation, with primary pedestrian entrances highlighted on the north and south building elevations through columnar, masonry and mock wood veneer architectural detailing.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 2e | <p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>No plans for future additions or renovations are planned.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 2f | <p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p> <p><i>The residential building will feature a wide variety of materials and textures, primarily of the neutral color palette. Metal panels (“Granite” gray), cement board masonry veneer (“Barnwood” finish and “Powder stone” finish), Stucco (“Simply White”), and black windows and doors will present exterior walls in a mosaic fashion. Square and rectangular forms will define the building’s exterior.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 2g | <p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p><i>Each individual unit will be highlighted by either the white stucco siding or the metal granite-colored wall panels and black metal window forms, which take a cubic form on both the north and south building facades. Each cubic form will feature the doorway that provides access from the interior of the unit to each unit’s covered porch area. The architecture of the proposed building is distinct for the Sweetwater Subdivision, but the building colors and materials, as proposed, create harmony between form and function for the project itself.</i></p> <p><i>The building’s more muted color palette will also provide a degree of visual relief from the existing units in the Sweetwater Subdivision, which feature bright colors across various building materials.</i></p> <p><i>A materials and color samples package was provided with this project. However, at the December 16, 2024 Public Hearing, it should be noted that the Commission expressed a desire to see more architectural detailing and</i></p> |

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| | | | | <p><i>“balance” provided on the east and west-facing building facades. The large barnwood –colored building face could benefit from additional colors and materials across such a large surface, according to the Commission.</i></p> <p><i>The Applicant may consider this suggestion in their final building design, as to create a fully harmonious project and neighborhood.</i></p> <p><i><u>Finding:</u> Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 2h | <p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p> <p><i>The proposed building is three (3) stories in height and is flat-roofed. As such, it incorporates parapets and covered deck areas for each unit on every story.</i></p> <p><i><u>Finding:</u> Compliance. This Standard has been met.</i></p> |
| | | | Staff Comments | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 2i | <p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii) South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed. <p><i>The proposed building design applies each of the following techniques to minimize energy consumption:</i></p> <ul style="list-style-type: none"> - <i>Longer wall plane placed on the east-west access.</i> - <i>South-facing windows with eave coverage</i> - <i>Double-glazed windows</i> - <i>Windows with low emissivity glazing</i> <p><i>Staff also strongly encourages the Applicant to explore Idaho Power’s new Multifamily Energy Efficiency Program, which can provide multifamily project teams with direct cash payments and/or financial incentives for installing certain energy efficiency components in buildings. This would be considered an “approved alternative” to the measures listed above (Section 17.06.080(A)2i. Staff welcome the opportunity to discuss details of this program with the Applicant.</i></p> <p><i><u>Finding:</u> Compliance. This Standard has been met.</i></p> |
| | | | Staff Comments | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 2j | <p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> |

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| | | | Staff Comments | <p><i>The building will be primarily accessed from pedestrian entrances on the north and south building elevations, which connect to interior staircases providing access to each floor. These north and south building entrances are designed to be recessed into the building. Each entrance also features a building projection above it, preventing snow from falling directly onto the sidewalk in the vicinity of the entrance.</i></p> <p><i>On the east and west building elevations, entryways will feature metal gutters and chain leaders leading into landscaped areas. See below:</i></p> <div style="text-align: center;">  </div> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 2k | <p>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</p> <p>Staff Comments</p> <p><i>The Applicant has confirmed that the roof will be drained internally, and no external guttering will be provided. With the flat roof design, runoff from the building will be very minimal and freezing hazards for pedestrian areas are unlikely to occur. As noted previously, east and west entryways will feature gutters and chain leaders directed to landscaped areas.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 2l | <p>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</p> <p>Staff Comments</p> <p><i>N/A, as no vehicle canopies are proposed.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 2m | <p>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</p> <p>Staff Comments</p> <p><i>A single sign for the development is proposed at the corner of Countryside and Shenandoah; therefore, a Master Sign Plan is not required at this time.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| 3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i) | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 3a | <p>a. Accessory structures shall be designed to be compatible with the principal building(s).</p> |

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| | | | <i>Staff Comments</i> | <i>N/A, as no accessory structures are planned.</i> <i>Finding: Compliance. This Standard has been met.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 3b <i>Staff Comments</i> | b. Accessory structures shall be located at the rear of the property. <i>N/A, as no accessory structures are planned.</i> <i>Finding: Compliance. This Standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 3c <i>Staff Comments</i> | c. Walls and fences shall be constructed of materials compatible with other materials used on the site. <i>Cedar fencing, 4.5' in height, is proposed for the entirety of the property's southern and western boundaries. In addition, painted steel privacy panels 6' in height are proposed around the east, north, and west sides of the grill/picnic area. The color and materials of these fencing/wall elements will mirror the access doors for the trash/recycling enclosure, in addition to complementing the neutral/earth tones of the building's exterior and its associated materials (steel paneling and wood-finished cement board).</i> <i>Finding: Compliance. This Standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 3d <i>Staff Comments</i> | d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact. <i>The proposed walls and fencing are not dominating in size, scale, or color. Plantings are proposed in conjunction with all segments of walls and fencing across the site, softening the visual impact of these constructed elements.</i> <i>Finding: Compliance. This Standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 3e <i>Staff Comments</i> | e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties. <i>Architectural renderings show roof mounted mechanical equipment on the east and west elevations, with little screening provided. Other roof mounted projections above each unit on the north and south elevations appear to be screened/shielded and are inconspicuous in nature.</i> <i>The Applicant has confirmed that all roof mounted equipment will be screened and/or shielded from view from the ground level of on-site parking areas, adjacent public streets, and adjacent properties.</i> <i>Finding: Compliance. This Standard has been met.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 3f <i>Staff Comments</i> | f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings. <i>N/A, as no hardware associated with alternative energy sources is proposed at this time.</i> <i>Finding: Compliance. This Standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 3g | g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately |

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| | | | | screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building. |
| | | | <i>Staff Comments</i> | <p><i>One (1) telephone riser currently exists on site, located at the parcel's northeast corner. This riser will be retained, and it will be screened from view with new tree plantings/landscaping.</i></p> <p><i>The trash/recycling receptacle area will also be screened from view via a 6' wall and door, with all sides shielded.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 3h | i. All service lines into the subject property shall be installed underground. |
| | | | <i>Staff Comments</i> | <p><i>All services lines will be underground.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 3i | j. Additional appurtenances shall not be located on existing utility poles. |
| | | | <i>Staff Comments</i> | <p><i>No appurtenances will be permitted on poles.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 4a | a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative. |
| | | | <i>Staff Comments</i> | <p><i>It appears that plant materials will be appropriate for the environment. The landscape architect for the proposed development has confirmed that the majority of plantings will be drought-tolerant; any plantings requiring a moderate level of watering have been strategically proposed for the northern facade of the building, so as preserve water and shield from direct sun exposure.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 4b | b. All plant species shall be hardy to the Zone 4 environment. |
| | | | <i>Staff Comments</i> | <p><i>It appears that all proposed plant materials will be hardy to Zone 4.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 4c | c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged. |
| | | | <i>Staff Comments</i> | <p><i>The Applicant has submitted irrigation plans that include permanent coverage for approximately 17,796 square feet of area. This includes all grass areas and plant beds. Irrigation construction notes/guidelines have also been submitted with this project.</i></p> |

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| | | | | <p><i>Finding: Compliance. This Standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A) 4d</p> | <p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½"). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</p> |
| | | | <p>Staff Comments</p> | <p><i>The proposed Landscaping Plan incorporates a combination of trees, shrubs and grasses. These include:</i></p> <p><i>Trees:</i></p> <ul style="list-style-type: none"> - (6) Crimson King Maple of 3" caliper - (10) Columnar Armstrong Maple of 3" caliper - (3) Kentucky Coffee Tree of 3-3.5" caliper - (4) Gambel Oak of 2.5" caliper - (4) American Sentry Linden of 2.5" caliper - (12) Spartan Juniper of 6'-7' in height (no caliper provided) - (2) Bristlecone Pine of 6'-7' in height (no caliper provided) <p><i>Shrubs:</i></p> <ul style="list-style-type: none"> - (6) Saskatoon Serviceberry of 10'-12' in height (this was counted as a tree in landscape plans, but Staff considers this species a woody shrub) - (3) Native Chokecherry of 10'-12' in height (this was counted as a tree in landscape plans, but Staff considers this species a woody shrub) - (15) Arctic Fire Dogwood of 5 gallon size - (3) Dwarf Mock Orange of 5 gallon size - (50) Gro-Low Sumac of 5 gallon size - (11) Tiger-Eye Sumac of 10 gallon size - (27) Tor Birchleaf Spirea of 5 gallon size - (2) Common Snowberry of 5 gallon size <p><i>Grasses:</i></p> <ul style="list-style-type: none"> - (159) Karl Forester Reed Grass bunches of 1 gallon size - (31) Tufted Hair Grass bunches of 1 gallon size - (22) Northwind Switch Grass bunches of 1 gallon size - (78) Blaze Little Bluestem Prairie Grass bunches of 1 gallon size - 9,911 square feet of Scottish Links grass mix - 2,988 square feet of Sage Shortgrass grass mix <p><i>While the proposed landscaping plan provides a healthy combination of grasses, shrubs, and trees, the Applicant has proposed more plantings of single tree species than permitted by Code. Forty-one (41) total tree plantings are proposed; the 20% maximum count of a single species limits the Applicant to a maximum of eight (8) plantings for any one species. The planting counts for both Columnar Armstrong Maple and Spartan Juniper exceed the permitted maximum (additionally, even if Serviceberry and Chokecherry plantings were considered trees – for a total of 50 trees -, the 20% species maximum would still not be met for Serviceberry Plantings).</i></p> |

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| | | | | <p><i>Additionally, the Applicant has not listed the required minimum tree caliper planting size on landscape plans. Due to the irregular nature of trunk growth - and subsequent difficulties in measuring caliper size - associated with Spartan Juniper and Bristlecone Pine trees, Staff are amenable to the listing of these proposed plantings in height, specifically of 6'-7' at time of planting.</i></p> <p><i>The Applicant shall submit a revised landscaping plan that includes the permitted maximum tree species counts and minimum required tree caliper size for planting. This plan shall be reviewed and approved administratively, prior to the issuance of a Building Permit. This has been made a Condition of Approval.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 4e | <p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p> <p><i>Staff Comments</i> N/A, as the proposed project is located within the Limited Business (LB) Zone District.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 4f | <p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p> <p><i>Staff Comments</i> Proposed landscaping is varied, as shown in the Landscape Plans provided for Phase I. See Section 17.06.080(A)4d for further details.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 4g | <p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p> <p><i>Staff Comments</i> No landscape drywells appear to be proposed for the site. However, composted and river stone mulch mixes will be used across all planting beds. This groundcover lends itself favorably to runoff and plant moisture retention. Parking area runoff will be directed towards a central drywell. No other drywells are proposed on site.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A) 4h | <p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p> <p><i>Staff Comments</i> The Solstice Condominiums HOA will be responsible for maintaining plant material in a healthy condition.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 4i | <p>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed for the site.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 4j | <p>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed for the site.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 4k | <p>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed for the site.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 4l | <p>l. Landscaping should be provided within or in front of extensive retaining walls.</p> <p><i>Staff Comments</i> N/A, as no retaining walls are proposed for the site.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 4m | <p>m. Retaining walls over 24" high may require railings or planting buffers for safety.</p> |

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| | | | Staff Comments | <i>N/A, as no retaining walls are proposed for the site.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A) 4n | n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide. |
| | | | Staff Comments | <i>N/A, as no retaining walls are proposed for the site.</i> |

Additional Design Review Requirements for Multi-Family within the City of Hailey

1. Site Planning: 17.06.080(D)1, items (a) thru (c)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|---|
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D) 1a | a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses. |
| | | | Staff Comments | <i>The proposed building complements the surrounding area, open space and adjacent uses in terms of its similarly scaled building height and footprint, as compared to adjacent existing structures. Significant communal outdoor space is also proposed on the property's western edge, providing a buffer between the residential building/parking area and the Wood River Trail/bike path. Placement of this building on the lot emphasizes pedestrian connection to the main travel thoroughfare of Countryside Boulevard, while avoiding unnecessary impact to surrounding parcels and residential developments.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D) 1b | b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site. |
| | | | Staff Comments | <i>Interior and perimeter sidewalks are proposed to connect and reinforce pedestrian circulation within the site.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D) 1c | c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places. |
| | | | Staff Comments | <i>The building has been organized to maximize efficient site circulation. Site circulation has been designed to keep parking to one distinct area on site, and also limit vehicular access to a single point along Shenandoah Drive. A 5'-wide sidewalk is shown along the north and east perimeters of the project, where pedestrian traffic can safely navigate the right-of-way while having convenient access to interior site walkways and building entrances.</i> |

2. Building Design: 17.06.080(D)2, items (a) thru (b)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D) 2a | a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi- |

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| | | | | family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain. |
| | | | <i>Staff Comments</i> | <i>Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D) 2b | b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction. |
| | | | <i>Staff Comments</i> | <i>Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i> |

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
 - 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
 - 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
 - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions of Approval are suggested to be placed on approval of this Application:

- a) All conditions of the approved Planned Unit Development Agreement, including approved

amendments, shall be met.

- b) All applicable Fire Department and Building Department requirements shall be met.
- c) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- d) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
 - i. Right-of-way improvements along Countryside Boulevard and Shenandoah Drive, including but not limited to typical concrete sidewalks, curb and gutter, truncated domes, typical curb transitions.
 - ii. Six (6) striped parallel parking spaces along Countryside Boulevard.
 - iii. Snow removal for Countryside Boulevard parallel parking spaces, created in conjunction with Solstice Condominiums development, shall be the sole responsibility of the Solstice Condominiums Homeowners Association.
- e) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- f) A Traffic Control Plan, as needed, shall be submitted prior to issuance of a Building Permit.
- g) All sidewalks, interior and perimeter, shall be maintained year-round by the HOA.
- h) The Applicant shall ensure that all roof mounted equipment is screened or shielded from view from the ground level of on-site parking areas, adjacent public streets, and adjacent properties.
- i) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- j) The Applicant shall submit Form 7460-1, by Federal Law, 14 CRF Part 77, if they meet the notification criteria. Appropriate documentation shall be provided by the Applicant recognizing that the parcel is located within the Airport's Influence Area, and is subject to dust, fumes and other byproducts of airport operations. Documentation shall be provided prior to issuance of a Building Permit.
- k) The Applicant shall submit subdivision/project signage design details and renderings for Staff approval prior to installation.
- l) The Applicant shall place the site's dumpster and recycling service area in the location as depicted in the landscape drawings.
- m) The Applicant shall submit a Foundation and Grade Certificate to City Staff, prior to issuance of a Certificate of Occupancy
- n) The Applicant shall submit a servicing confirmation letter from Clear Creek, prior to issuance of a Building Permit.
- o) Upon completion of all required public landscaping and before issuance of a certificate of occupancy and/or final project approval, a licensed arborist shall certify all public tree plantings have been installed in compliance with the project approvals as to species, health, irrigation, city construction standards, project drawings, and other relevant requirements such as Hailey Tree Committee recommendations. Similarly, any public landscape not certified by the licensed arborist shall be

certified by a licensed landscape architect for same or other relevant topics. The arborist or landscape architect shall also provide documentation of public tree well inspections including dimensions and material types during the placement of all subsurface items.

- p) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- q) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- r) The Design Review approval shall be valid for eighteen (18) months. This extension shall be effective from the day of approval.

Signed this ____ day of _____, 2025.

Janet Fugate, Planning and Zoning Chair

Attest:

Jessica Parker, Building Coordinator, Deputy Treasurer

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On December 16, 2024, the Hailey Planning and Zoning Commission considered and approved a Conditional Use Permit Application submitted by Overland West Inc., represented by Jay Cone Architecture, for the installation of a private, above ground fuel tank located at 1551 Aviation Drive (Lots 3A Block 34, Airport West Subdivision #2).

FINDINGS OF FACT

Notice: Notice for the December 16, 2024 meeting was published in the Idaho Mountain Express on November 27, 2024, and mailed to adjoining property owners on November 26, 2024. The onsite notice was posted to the property on December 6, 2024.

Background and Project Overview: The Applicant proposed to install a private, above ground fuel dispensing and storage tank onsite, intended to be utilized for the bulk storage of petroleum fuel products within the industrial district of SCI-I. The Applicant further proposed to store fuel for their automotive maintenance and repair business, so as to increase operational efficiency by having readily available fuel onsite. By doing so, the Applicant can eliminate the need to frequently travel to gas stations to refuel vehicles and equipment, thus saving time and money while maintaining better control over fuel quality and usage.

Reasoned Statement: These Findings of Fact, Conclusions of Law, and Decision (“Findings”) represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

Notably, the primary issue of concern with this Application was the proposed placement of the above ground fuel tank as well as the possible environmental impacts from said tank. The Applicant assured the Commission and public that the proposed tank will comply with all requirements outlined by the State of Idaho and be inspected by each agency to further verify compliance. Furthermore, the Commission and Applicant agreed that placement of the tank will be thoroughly discussed during the full Design Review of the mixed-use building.

On December 16, 2024, the Commission unanimously approved the Conditional Use Permit Application submitted by Overland West Inc., represented by Jay Cone Architecture, for the installation of a private, above ground fuel tank located at 1551 Aviation Drive (Lots 3A Block 34, Airport West Subdivision #2).

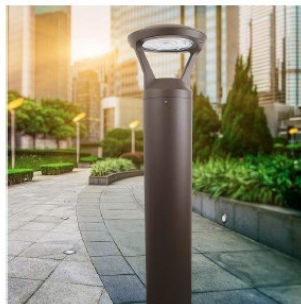
| General Requirements for all Conditional Use Permits | | | | |
|---|----|-----|--|--|
| Compliant | | | Standards and Commission Findings | |
| Yes | No | N/A | City Code | City Standards and <i>Commission Findings</i> |
| | | | | |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.11.020 | <p>Complete Application: 17.11.020 The application shall include at least the following information:</p> <ol style="list-style-type: none"> a. Name, address, and phone number of the applicant. b. Proof of interest in the subject property by the applicant, such as a deed, contract of sale, option to purchase, or lease agreement. c. Legal description of the subject property, including street address. d. Description of existing use. e. Zoning district of subject property. f. Description of proposed conditional use. g. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading areas, traffic access and traffic circulation, open spaces, easements, existing and proposed grade, energy efficiency considerations, landscaping, exterior lighting plan as required by Article VIII B of this Ordinance, refuse and service areas, utilities, signs, property lines, north arrow, and rendering of building exteriors, where applicable. h. A narrative statement evaluating the effects on adjoining property, the effect of such elements as noise, glare, odor, fumes, and vibration on adjoining property. i. A narrative statement identifying surrounding land uses and discussing the general compatibility of the proposed use with adjacent and other properties in the district. j. A narrative discussion of the relationship of the proposed use to the Comprehensive Plan. k. A list of the names and addresses of all property owners and residents within three hundred (300) feet of the external boundaries of the land being considered. l. Any other information as requested by the Administrator to determine if the proposed conditional use meets the intent and requirements of this Article. m. A fee established in a separate ordinance approved by the Council. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | <p>Engineering: <i>No comments</i></p> <p>Life/Safety: <i>No comments</i></p> <p>Water and Sewer:</p> <p>Building: <i>No comments</i></p> <p>Streets: <i>No comments</i></p> <p>Parks: <i>No comments</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.08A Signs | <p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p> |
| | | | <i>Staff Comments</i> | <p><i>N/A. No signage is proposed. Findings: Compliance. This standard is either not applicable or has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08C.040 Outdoor Lighting Standards | <p>17.08C.040 General Standards</p> <ol style="list-style-type: none"> e. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> a. Overlighting; b. Energy waste; |

- c. Glare;
- d. Light Trespass;
- e. Skyglow.
- f. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.
- g. Idaho Power shall not install any luminaires after the effective date hereof that lights the public right of way without first receiving approval for any such application by the lighting administrator.
- h. All exterior lighting shall be full cutoff luminaires with the light source downcast and fully shielded, unless exceptions are specified in subsection 17.08C.040.02, Type of Luminaires, of this Chapter.

Staff Comments

The Applicant is proposing dark bronze ground mounted light fixtures for onsite exterior lighting. The ground fixtures are 42" high and 6 1/4" wide. Each light has a built-in dimmable switch. The ground mounted fixtures are 14 Watt, 3000K LED = 1000 Lumens. Per Hailey's Municipal Code, the proposed mounting height and output standards have been met as shown below.



Product Details

- 42" high x 6 1/4" wide. Weighs 12 lbs.
- Built-in dimmable switchable 14/19/24 watt LED module: switchable 1700/2300/3000 lumen light output, comparable to a 100/150 watt incandescent.
- 3000K/4000K/5000K tunable color temperature. 80 CRI.

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| Height | 42.50 inches |
| Depth | 42.50 inches |
| Manufacturer Number | C205BC-L24S-BZ |

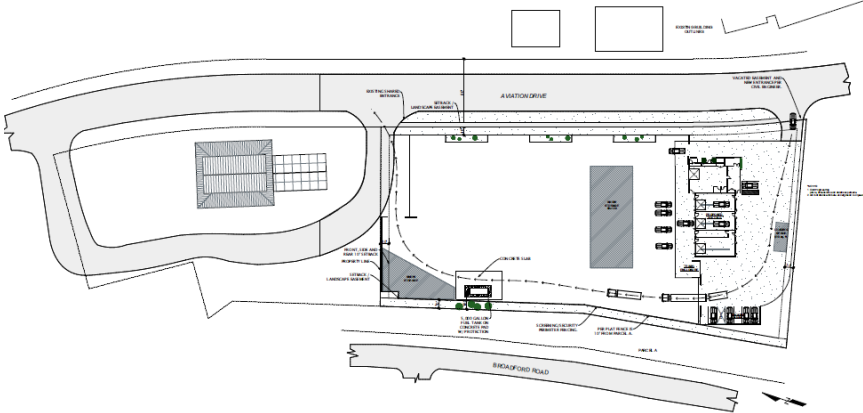
F-2 Ground mounted fixture:
 14 Watt, 3000K LED = 1000 Lumens
 Waterproof with lens.
 Dark Bronze
 Verify w/ Architect downcast only

1 Ground Mounted Light

MOUNTING HEIGHT/LAMP OUTPUT RECOMMENDATIONS

| Mounting Height (Feet) | Max Lumens |
|------------------------|------------|
| 6 | 1,000 |
| 8 | 1,600 |
| 10 | 2,000 |
| 12 | 2,400 |
| 16 | 6,000 |
| 20 | 8,000 |
| 24 | 9,000 |
| 28 | 12,000 |
| 32 | 24,000 |
| 36 | 28,000 |
| 40 or more | 32,000 |

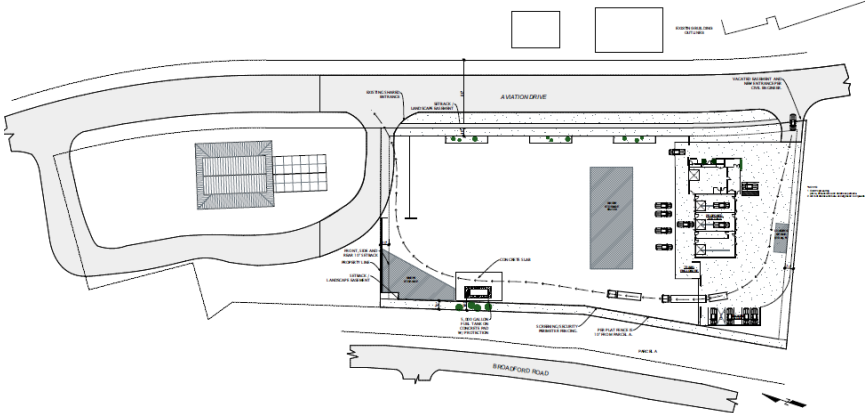
Findings: Compliance. This standard is either not applicable or has been met.

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.040 On-site Parking Req. | <p>See Section 17.09.040 for applicable code.</p> <p><i>Staff Comments</i> While this application does not require onsite parking, the Applicant has submitted a Design Review Pre-Application for a new building. The new building requires six (6) parking spaces for the commercial component and one (1) onsite parking space for the proposed Accessory Dwelling Unit for a total of seven (7) onsite parking spaces. Eight (8) onsite parking spaces have been provided and discussed in more detail in the associated Pre-Application for Design Review Application.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.09.020.08(B) | <p>B. Where alleys exist, access to on-site parking for any non-residential use or for any multifamily dwelling of three or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.</p> <p><i>Staff Comments</i> N/A, as the site is not serviced by an alley and no onsite parking is required to be provided for the placement and installation of an above-ground fuel tank.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.020.08(C) | <p>C. If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p> <p><i>Staff Comments</i> The proposed site access to the fuel tank is from Aviation Drive, through a new ingress entrance and an existing shared egress exit, as shown below.</p>  <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.020.08(D) | <p>D. Access for on-site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.</p> |

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| | | | <i>Staff Comments</i> | <p>No onsite parking or loading spaces are required by this Conditional Use Application; however, one (1) onsite loading space/area is required for the newly proposed mixed-use development onsite. This has been further discussed in the concurrent Design Review Pre-Application submittal.</p> <p>All ingress to the site is proposed from the new entrance off Aviation Drive and all egress is proposed from the existing shared access toward the northeastern corner of the property, also off Aviation Drive. There is no public access to this site. There will be a sign indicating that this is a private facility for employees only.</p> <p>The Applicant is proposing a 510 square foot onsite loading space, to be utilized by tenants of the mixed-use building. All parking and loading requirements for the mixed-use development will be met through the Design Review standards.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.09.020.08(E) | <p>E. Access for subdivisions shall be provided in accordance with standards set forth in Section 4 of the Subdivision Ordinance.</p> |
| | | | <i>Staff Comments</i> | <p>N/A. No subdivision access will be impacted by this project.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.020.08(F) | <p>F. Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI Districts may be designed to allow a vehicle to back from the parking area into the public right-of-way.</p> |
| | | | <i>Staff Comments</i> | <p>While this application does not require on-site parking, the Applicant has submitted a Design Review Pre-Application for a new building. The new building requires 6 (six) on-site parking spaces for the Commercial component and one (1) onsite parking space for the Accessory Dwelling Unit for a total of seven (7) on-site spaces, The Applicant has provided eight (8) total onsite parking spaces for the mixed-use project which have been provided with the attached Pre-Application for further detail. All parking is located onsite and designed so all vehicle movement is within the site and not within the right-of-way.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.020.08(G) | <p>G. Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus “stacking” the parking area. For non-residential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces.</p> |
| | | | <i>Staff Comments</i> | <p>While there is no required parking for this Application, the proposed project does not include any proposed stacked parking for the mixed-use building.</p> <p>Findings: Compliance. This standard is either not applicable or has been met.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Chapter 17.05: Bulk Requirements | <p>SCI District:</p> <ul style="list-style-type: none"> ● Maximum Building Height: 35 feet ● Minimum Setbacks: <ul style="list-style-type: none"> ○ Front Setback: 10 feet ○ Side and Rear Yard Setback: 10/side and 10/rear. |

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| | | | | <ul style="list-style-type: none"> Maximum Lot Coverage: 75 |
| | | | <i>Staff Comments</i> | <p>The permanently affixed fuel tank will be positioned in the northeastern portion of the lot on a concrete slab. The proposed fuel tank is set back approximately 18 feet from the property line. All lot coverage requirements will be met through the Design Review Application.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> |
| Chapter 17.11 Criteria for Review of Conditional Use Permits | | | | |
| Compliant | | | Standards and Commission Findings | |
| Yes | No | N/A | City Code | City Standards and Commission Findings |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.11.010 | <p>Compliance with the Comprehensive Plan 17.11.010: Purpose. The City of Hailey recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, circulation, and public facilities. In order to protect the public welfare and promote conformance with the Comprehensive Plan, conditional use permits are required for such uses upon review by the Commission.</p> |
| | | | <i>Staff Comments</i> | <p>The Comprehensive Plan calls for economic diversity to support a variety of projects and programs that meet the needs generated by various segments of the population. The proposed use aligns with the following Goals of Hailey' Comprehensive Plan:</p> <p>5.1 Retain a compact City comprised a central downtown with surrounding diverse neighborhoods, areas and characteristics as depicted in the Land Use Map:</p> <p style="padding-left: 20px;">h. Light Industrial – Areas containing uses important to a variety of business sectors that focus on the production of products and services that are less compatible with, and not compete with uses in Downtown and the Community Activity Areas.</p> <ul style="list-style-type: none"> Industrial uses and activities restricted to the Airport West Business Park. Uses in the SCI Zoning District and the SCI-I Subdistrict specifically allow for gasoline stations, and other similar industrial uses. <p>6.1 Encourage a diversity of economic development opportunities within Hailey:</p> <ul style="list-style-type: none"> The project provides a light Industrial use which benefits the proposed mixed-use development and provides employee housing. <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.11.040.01(a) | <p>17.11.040.01 The Commission or Hearing Examiner shall review the particular facts and circumstances of each proposed conditional use in terms of the following standards and, if approved, shall find adequate evidence showing that such use at the proposed location:</p> |

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| | | | | <p>a. Will, in fact, constitute a conditional use as established for the zoning district involved; and</p> <p><i>Staff Comments</i> The city recognizes that certain uses possess unique and special characteristics with respect to their location, design, size, method of operation, use, and circulation. In order to protect public welfare, and to further ensure that there's conformance with our Comprehensive Plan, a Conditional Use Permit has been submitted.</p> <p>The property the above-ground fuel tank is located on is adjacent to the SCI-SO on the west and the SCI-I on the east, north and south. Gasoline Stations are allowed in the SCI-I Zone, which bounds the property on three sides. The tank will be shielded to views from the east with a required screening fence, and new landscaping. The use is compatible in the SCI-SO Zoning District and is not adjacent to any residential zones.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.11.040.01(b) | <p>b. Will be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not change the essential character of the same area;</p> <p><i>Staff Comments</i> The property, as to which the above-ground fuel tank will be located on, is adjacent to the SCI-SO Zoning District on the west and the SCI-I Zoning District on the east, north and south. Gasoline Stations are allowed in the SCI-I Zoning District, which bounds the property on three sides. The proposed tank will be shielded from view with a required screening fence and new landscaping. <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.11.040.01(c) | <p>c. Will not be hazardous or disturbing to existing or future neighboring uses;</p> <p><i>Staff Comments</i> The effects of the proposed use on adjoining properties in terms of noise, vehicular odor, and associated fumes will be minimal, as the proposed use correlates with existing industrial uses. The above ground fuel tank will have little visual impact or emit excessive fumes or odor, nor will it create noise and vibration. The tank is double wall steel with a layer of concrete in between the steel layers. Dispensing will be from a single handheld spout. The proposed tank will be shielded from all sides with a 6-foot- perimeter fence as required for screening. The Applicant has also proposed landscaping to include two (2) new 3-4" Crabapple trees and Two (2) new 3-4" Amur Maple Trees as a buffer around the fuel tank.</p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.11.040.01(d) | <p>d. Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, and drainage structure. Agencies responsible for the establishment of the proposed use shall be able to provide adequately any such service; and</p> <p><i>Staff Comments</i> The site is currently serviced by essential public facilities and services. <i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> |

| | | | | |
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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.11.040.01(e) | e. Will not create excessive additional requirements at public cost for public facilities and services; and |
| | | | Staff Comments | <i>At this time, no additional cost will be incurred from any public agencies for the operation of the proposed above-ground fuel tank, as it is private. Findings: Compliance. This standard is either not applicable or has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.11.040.01(f) | f. Will not involve uses, activities, processes, materials, equipment, or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, dust, odors, vibration, water or air pollution, or safety hazards; and |
| | | | Staff Comments | <i>The above ground fuel tank will have little visual impact or emit excessive fumes or odor, nor will it create noise and vibration. The tank is double wall steel with a layer of concrete in between the steel layers. Dispensing will be from a single handheld spout. The proposed tank will be shielded from all views with a perimeter screening fence and new landscaping. Findings: Compliance. This standard is either not applicable or has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.11.040.01(g) | g. Will have vehicular approaches to the property which shall be designed so as not to create an interference with traffic on surrounding public thoroughfares; |
| | | | Staff Comments |  <p><i>Vehicular approaches to the property include the proposed ingress entrance off Aviation Drive and the existing egress exit via the shared access on Aviation Drive. There is no public access to this site. There will be a sign indicating that this is a private facility for employees only.</i></p> <p><i>Findings: Compliance. This standard is either not applicable or has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.11.040.01(h) | h. Will not result in the destruction, loss or damage of a natural, scenic or historic feature. |
| | | | Staff Comments | <i>No trees or mature landscaping, scenic or historic features will be removed from the site to accommodate for the proposed use. Findings: Compliance. This standard is either not applicable or has been met.</i> |



17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
 - 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
 - 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing, and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
 - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to**

apply the security to the completion of the improvements and complete construction of the improvements.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.11, Conditional Use Permits, other Chapters of the Hailey Municipal Code and City Standards.

DECISION

The Planning and Zoning Commission considered and approved the Conditional Use Permit (CUP) Application submitted by Overland West Inc., represented by Jay Cone Architecture, to allow for the placement and use of a private, onsite above ground fuel tank for the mixed-use project proposed to be located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI Industrial (SCI-I) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.11, Conditional Use Permits, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (f) are met:

The following Conditions are placed on approval of this Application:

- a) All Fire Department and Building Department requirements shall be met in regard to all maintenance, administrative, and other functions of the proposed project.
- b) Construction staging and storage shall not be in the City Right-of-Way, or impact existing vehicular parking, nor vehicular and pedestrian circulation. All construction impacts shall occur within the property boundary.
- c) Building Permit, and all associated permits, shall be acquired prior to placement and/or construction of the above-ground fuel tank, as well as the mixed-use development project.
- d) A Flammable & Combustible Storage Tank permit is required from the Hailey Fire Department.
- e) The Applicant shall consider providing a secondary containment - a separate wall around the tank - to contain possible spills, unless further contradicted and unsupported by the State of Idaho.
- f) The Applicant shall install a monitoring system near the tank for security purposes.

Signed this ____ day of _____, 2025.

Janet Fugate, Planning and Zoning Chair

Attest:

Jessica Parker, Building Coordinator, Deputy Treasurer

Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of January 6, 2025

To: Hailey Planning and Zoning Commission
From: Ashley Dyer, Community Development Planner

Overview: Consideration of a Design Review Application by McIntosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture, for the construction of a new 6,320 square foot multifamily development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision), and within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. The development consists of two (2), three story, multifamily buildings, which includes six (6) residential dwelling units in total.

Hearing: January 6, 2025

Applicant: McIntosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture
Location: AM Lot 2A, Block 1, Maple Subdivision, Hailey Townsite (637 S. River Street)
Zoning/Size: General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO); 0.20 acres (8,840sq. ft.)

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on December 11, 2024.

Application: The Applicant is requesting approval to construct a new 6,320 square foot multifamily development project at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision). The development consists of two (2), three story, multifamily buildings, which includes six (6) residential dwelling units in total.

This project, Six Thirty-Seven Apartments, is proposing the following:

- Six (6) residential dwelling units that are approximately 1,114 square feet in size or less. Units range in bedroom count, from one (1) bedroom units on the 1st floor to three (3) bedroom units on the 2nd and 3rd floors.
- Nine (9) onsite parking spaces are proposed, which include:
 - Four (4) onsite covered parking spaces
 - Five (5) uncovered parking spaces, which include:
 - One (1) compact parking space, and
 - One (1) accessible parking space.
- Per the DRO Zoning District, 10% of the total lot area shall be set aside for open space, which would equate to 884 sq. ft. Between the proposed courtyard space, decks and open space at the northwestern and northeastern corners of the parcel, the Applicant is proposing 960 sq. ft. of open space, or 11% of lot area.
- All multifamily residential construction shall provide at least three (3) bicycle parking spaces or equivalent to 25% of the required number of parking spaces for bike parking, which would

equate to 1.5 spaces. The Applicant has provided six (6) wall mounted bike spaces for the units.

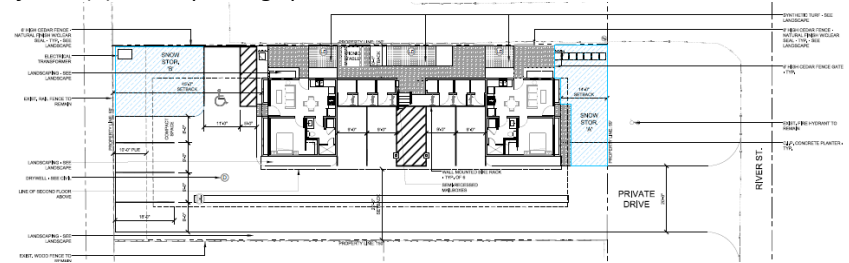


Site access is located off the existing public street, River Street, via a new private drive and a paver pathway is proposed from River Street to the front entrances of the units. Given the scope, location and width of the proposed parcel, Staff and the Applicant have internally discussed creative buildout options for this part of River Street. Through this discussion, Staff recommend that, rather than having an island of River Street Typical Section improvements within this block, the Applicant shall pay in-lieu fees equivalent to that of the River Street Typical Section for this property’s frontage. This payment shall be made prior to the issuance of a Certificate of Occupancy.

Background: At a previous hearing, the Commission requested that an internal sidewalk, from River Street to the proposed buildings, be installed for more efficient access to and through the site. The Applicant has incorporated a paver pathway from the eastern edge of the property line toward the development and connecting to onsite pedestrian infrastructure. Furthermore, the Commission suggested that the Applicant look into a shared driveway/approach with the existing development to the north. The Applicant is proposing a separate approach to the multifamily building. Lastly, the Commission shared concerns about the proposed base board heating elements in each of the units and suggested that the Applicant reconsider their heating options to lessen the burden on the residents of the units. The submitted plans call for electric heating.

Procedural History: The Design Review Application was submitted on November 26, 2024, and certified complete on December 11, 2024. A public hearing before the Planning and Zoning Commission is scheduled for January 6, 2025, in the Hailey City Council Chambers and virtually via GoTo Meeting.

| General Requirements for all Design Review Applications | | | | |
|--|--------------------------|--------------------------|-------------------------------------|---|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.050 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | Engineering: Life/Safety: <i>All codes (Municipal, Building, Fire, and Energy) shall be met.</i> Water and Sewer: <i>Any and all sewer services shall be relocated to the center of the lot.</i> |

| | | | | |
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| | | | | <p>Building: <i>No comments</i></p> <p>Streets, Landscaping, Other:</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>17.08A Signs</p> <p>Staff Comments</p> | <p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p> <p><i>N/A, no signage is proposed, and signage is prohibited in the GR District.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.09.040 On-site Parking Req.</p> <p>Staff Comments</p> | <p>See Section 17.09.040 for applicable code.</p> <p><i>The proposed project is located within the Downtown Residential Overlay (DRO). The Hailey Municipal Code requires a minimum of one (1) parking space per residential dwelling unit. The project proposes a total of six (6) residential units, thereby requiring that six (6) onsite parking spaces be provided. The project exceeds the parking requirements by proposing a total of nine (9) onsite parking spaces.</i></p>  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | <p>17.09.040.06: EXCESS OF PERMITTED PARKING:</p> <p>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p> <p><i>N/A- Site parking meets requirement.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.08C.040 Outdoor Lighting Standards</p> | <p>17.08C.040 General Standards</p> <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator. |

| | | | Staff Comments | <i>The Applicant is proposing downcast, LED, square cylinder, dark sky compliant fixtures. The proposed fixtures are to be located at the front & rear of both buildings as well as the stairways on both levels.</i> | | | | | | | | | | |
|--|-----------------------------------|--------------------------|---|--|-----------------|-----------------------------------|--|----|--|----|--|----|--|----|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Bulk Requirements | <p>Zoning District: Business Maximum Height: 30' within the General Residential (GR) Downtown Residential Overlay (DRO) and Townsite Overlay (TO) with residential unit(s)</p> <p>Required Setbacks: The setback from the adjacent property shall be one (1) foot for every two (2 ½) feet of wall height , provided, however, no side or rear yard shall be less than the base setback.</p> <ul style="list-style-type: none"> - Front Yard: 12 - Side Yards: 10 - Rear Yard: 10 - Lot Coverage: 30% - TO bulk requirements 30% with garage <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;">Building Height</th> <th style="text-align: center;">Maximum Lot Coverage (Percentage)</th> </tr> </thead> <tbody> <tr> <td>2 or more stories above grade, no garage</td> <td style="text-align: center;">25</td> </tr> <tr> <td>2 or more stories above grade, with garage</td> <td style="text-align: center;">30</td> </tr> <tr> <td>Less than 2 stories above grade, no garage</td> <td style="text-align: center;">35</td> </tr> <tr> <td>Less than 2 stories above grade, with garage</td> <td style="text-align: center;">40</td> </tr> </tbody> </table> | Building Height | Maximum Lot Coverage (Percentage) | 2 or more stories above grade, no garage | 25 | 2 or more stories above grade, with garage | 30 | Less than 2 stories above grade, no garage | 35 | Less than 2 stories above grade, with garage | 40 |
| Building Height | Maximum Lot Coverage (Percentage) | | | | | | | | | | | | | |
| 2 or more stories above grade, no garage | 25 | | | | | | | | | | | | | |
| 2 or more stories above grade, with garage | 30 | | | | | | | | | | | | | |
| Less than 2 stories above grade, no garage | 35 | | | | | | | | | | | | | |
| Less than 2 stories above grade, with garage | 40 | | | | | | | | | | | | | |
| | | | Staff Comments | <p><i>Zoning District(s): General Residential (GR), Downtown Residential (DRO) Overlay, & Townsite Overlay (TO)</i> <i>Proposed Height: 29.3</i> <i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> - <i>Front: 14 feet</i> - <i>Rear: 45.2" feet</i> - <i>Side (north): 10 feet</i> - <i>Side (South): 21.5" feet</i> - <i>Lot coverage: 30%</i> <p><i>Lot Coverage: The allowed lot coverage for this parcel is 30%. The lot size is 8,840 square feet with total proposed building footprints of 2,600 square feet in size. Given this information, lot coverage equates to 29%.</i> <i>At previous meetings, the Commission discussed the definition of garages "A building or portion thereof in which a motor vehicle is or is intended to be stored. Garages contain parking spaces" and concluded that these parking spaces would be counted as garages.</i></p> | | | | | | | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(A)1 Street Improvements Required | Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein. | | | | | | | | | | |
| | | | Staff Comments | <p><i>Pursuant Section 17.06.070, The City may approve and accept voluntary cash contributions in lieu of the above-described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be as follows:</i></p> <ul style="list-style-type: none"> <i>i. For sidewalk and drainage improvement lengths of ninety (90) linear feet or less, the Applicant may propose an in-lieu payment per the currently adopted fee schedule.</i> <i>ii. For improvement lengths greater than ninety (90) linear feet, the Applicant may propose an in-lieu payment amount based on a stamped engineering estimate for one hundred ten</i> | | | | | | | | | | |

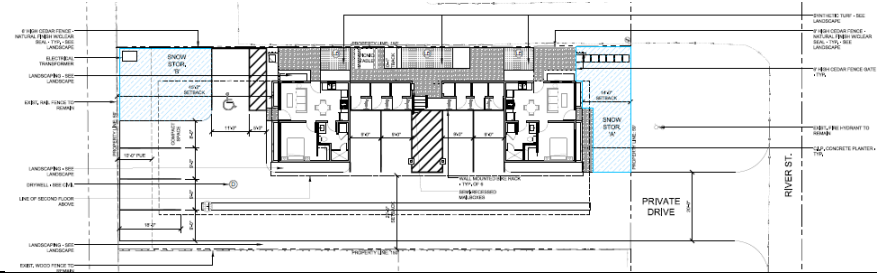
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|--------------------------|--------------------------|-------------------------------------|--|---|
| | | | | <p>percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, and said in-lieu payment is subject to approval by the city engineer.</p> <p>iii. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy.</p> <p>Given the location and width of the proposed parcel, Staff and the Applicant have internally discussed creative buildout options for this part of River Street. Through this discussion, Staff recommend that, rather than having an island of River Street Typical Section improvements within this block, the Applicant shall pay in-lieu fees equivalent to that of the River Street Typical Section for this property's frontage. This payment shall be made prior to issuance of a Certificate of Occupancy. This has been made a Condition of Approval.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.070(B) Required Water System Improvements | <p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p> |
| | | | Staff Comments | N/A - No alley access is proposed. |

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|-------------------------------------|------------------------------|---|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1a | <p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p> |
| | | | Staff Comments | The proposed buildings follow the grid pattern in downtown Hailey, the primary walls of the proposed buildings are oriented north/south due to the narrowness of the lot, which is consistent with the adjoining residential properties to the north and the south. An open space area, usable by the residents of the building, is proposed along the northern property line which is shielded by a 6-foot cedar fence. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1b | <p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> |
| | | | Staff Comments | N/A, as the site does not contain any existing mature landscaping. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1c | <p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> |
| | | | Staff Comments | To ensure safe pedestrian access through the site as well as site maintenance, the Applicant has proposed various pedestrian amenities, as well as clear vehicular entrances. |


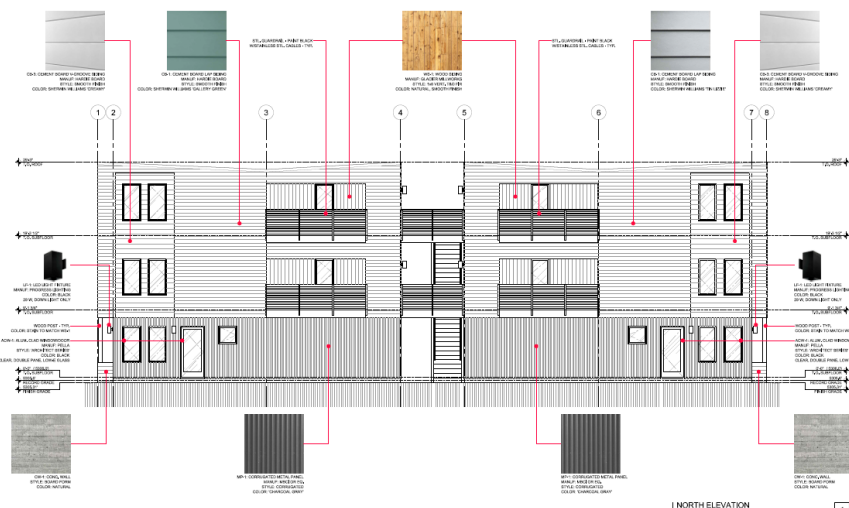
| | | | | |
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| | | | | <p><i>Pedestrian amenities include shared external courtyards which are fenced in for privacy. Access to these amenities can be achieved from the paver pathway along River Street, between the two buildings, as well as from the front doors of each of the first-floor units. The open space courtyards include concrete paver patios, exterior seating area, decks for the upper units, and various landscaping to help create an inviting, safe space.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1d | <p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>Staff Comments</i> The Applicant is proposing an enclosed trash receptacle for each unit to be located at the rear of the buildings near the bike racks. The intent is that the receptacles would be brought out to the edge of the street by the tenant for collection. The proposed use of individual trash receptacles requires a letter from Clear Creek Disposal commenting on the adequacy of said enclosures/accessibility. This has been made a Condition of Approval.</p> <p>The proposed electrical transformer is located at the rear of the site. The transformer shall be screened from view (subject to approval by Idaho Power) of the public street. This has also been made Condition of Approval.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1e | <p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p> <p><i>Staff Comments</i> N/A. There is no existing alley to be utilized for building services.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1f | <p>f. Vending machines located on the exterior of a building shall not be visible from any street.</p> <p><i>Staff Comments</i> N/A. No Vending Machines are proposed with this project.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1g | <p>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</p> <p>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</p> <p>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</p> <p><i>Staff Comments</i> The proposed parking will be accessed via a private entrance located off River Street. The parking area is buffered from adjoining properties by a six-foot (6') cedar fence on all sides of the parcel. The site parking is located at the rear of the site, while the proposed landscaping creates a buffer for the parking area from the primary street.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.09.020.02 | <p>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</p> <p>a. Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an</p> |


| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|-----------------------|--|
| | | | | additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12’. |
| | | | <i>Staff Comments</i> | <i>N/A, as the proposed use is residential.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1h | h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic. |
| | | | <i>Staff Comments</i> | <i>N/A, as there is no existing alley. The site and onsite parking area can be accessed via the private drive off River Street.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1i | i. Snow storage areas shall be provided on-site as follows: where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow. |
| | | | <i>Staff Comments</i> | <i>Onsite snow storage areas are proposed for this parcel in the amount of 1,023 square feet. The proposed snow storage areas are located along the front and rear of the site. The improved hardscape for the project is 4,030 square feet which would require 1,008 square feet of snow storage. The Applicant exceeds this requirement with 1,023 square feet of snow storage.</i> <i>Snow Storage A: 471 square feet Snow Storage B: 552 square feet</i> |
| | | | |  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1j | j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)1i for further information.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1k | k. A designated snow storage area shall not have any dimension less than 10 feet. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)1i for further information.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1l | l. Hauling of snow from downtown areas is permissible where other options are not practical. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)1i for further information.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1m | m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)1i for further information.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1n | n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow. |
| | | | <i>Staff Comments</i> | <i>Any landscaped areas where snow may be stored (front 14’ setback and rear 45.2’ setback areas) contain plants that are more resilient to snow.</i> |

2. Building Design: 17.06.080(A)2, items (a) thru (m)

| | |
|------------------|-------------------------------------|
| Compliant | Standards and Staff Comments |
|------------------|-------------------------------------|


| Yes | No | N/A | City Code | City Standards and Staff Comments |
|-------------------------------------|--------------------------|-------------------------------------|----------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2a | <p>a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.</p> <p><i>Staff Comments</i> The proposed building complements the surrounding properties with a north/south orientation. The articulation of the rooflines, the various undulations, deck features, pop outs and various sized windows complement the surrounding area.</p> <p>Although there are primarily single-family dwellings adjacent to this property, it is important to note that adjacent parcels located within the DRO could also be developed similarly, both larger and smaller. The DRO was developed to offer greater flexibility in not only parking, landscaping, and density, but building design, scale, and shape.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2b | <p>b. Standardized corporate building designs are prohibited.</p> <p><i>Staff Comments</i> N/A, as the proposed building design is not a standardized corporate building design.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2c | <p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p> <p><i>Staff Comments</i> The Applicant has integrated the building to the surrounding site and greater area. Open space areas, and various exterior materials emphasize human scale, and are pedestrian oriented to encourage human activity.</p> <p>The shared courtyards and a variety of landscaping and plant material will be utilized, which encourages human activity and interaction. These include trees, grasses, shrubs, and ground cover to soften the visual impact. Please refer to Section 17.06.080(A)4d for further details.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2d | <p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p><i>Staff Comments</i> Various materials and colors have been incorporated along the north/south elevations, which is visible from River Street, to reduce building mass and large building surfaces. The north and south elevation wall mass is broken up by the various siding, balconies, wood posts and various size windows. Proposed pathways, open space, and small patio areas create human scale and break up larger building surfaces.</p> <p>The multifamily buildings are proposed to incorporate corrugated metal siding in Charcoal Gray along the lower portion of the buildings, The North Elevation will have Cement Board lap siding in Gallery Green on part of the building and Cement Board lap siding in Tin Lizzie (Gray) on the other portion of the building with wood siding accents along the balconies, as well as cement board V-groove in "Creamy" siding accents around the windows. The south elevation will have</p> |

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|-------------------------------------|--------------------------|-------------------------------------|--|---|
| | | | | <p><i>the same colors and materials, just mirrored.</i></p>  |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>17.06.080(A)2e</p> <p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>Staff Comments</i> N/A, as no expansion is planned at this time.</p> | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A)2f</p> <p>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</p> <p><i>Staff Comments</i> A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above.</p> | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A)2g</p> <p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p><i>Staff Comments</i> Building colors are shown on the elevations. Colors are broken on various elements to help break up mass and be harmonious with other neighboring buildings. Please refer to Section 17.06.080(A)2d above for further detail.</p>  | |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A)2h</p> | <p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p> |
| | | | <p><i>Staff Comments</i></p> | <p><i>The proposed buildings are three (3) stories in height. The variety of colors utilized, various siding, materials, pop-outs and balconies provide depth, and human scale to the building façades.</i></p>  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A)2i</p> | <p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south. ii. South facing windows with eave coverage. At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii. Double glazed windows. iv. Windows with Low Emissivity glazing. v. Earth berming against exterior walls vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed. |
| | | | <p><i>Staff Comments</i></p> | <p><i>The building incorporates the following techniques that minimize its energy consumption:</i></p> <ul style="list-style-type: none"> - <i>All windows will be double glazed and incorporate low emissivity glazing properties</i> - <i>The building will be entirely electric</i> |

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|-------------------------------------|--------------------------|-------------------------------------|-----------------------|--|
| | | | | - <i>Energy Star Appliances will be utilized</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2j | j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks. |
| | | | <i>Staff Comments</i> | <i>It appears that the front pedestrian entrances will be covered by the proposed covered parking, which will retain snow, and gutters and downspouts have been provided. The upper units will be protected with the proposed gutters and snow clips on the north side to keep snow and rain from shedding onto the interior and back entrances.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2k | k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards. |
| | | | <i>Staff Comments</i> | <i>Downspouts from the building appear to be routed underground to a drywell. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only, and not onto pedestrian and hardscape locations.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2l | l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s). |
| | | | <i>Staff Comments</i> | <i>NA, as no drive-through canopies are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2m | m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8. |
| | | | <i>Staff Comments</i> | <i>N/A, as a Master Signage Plan is not required of a single-tenant building.</i> |




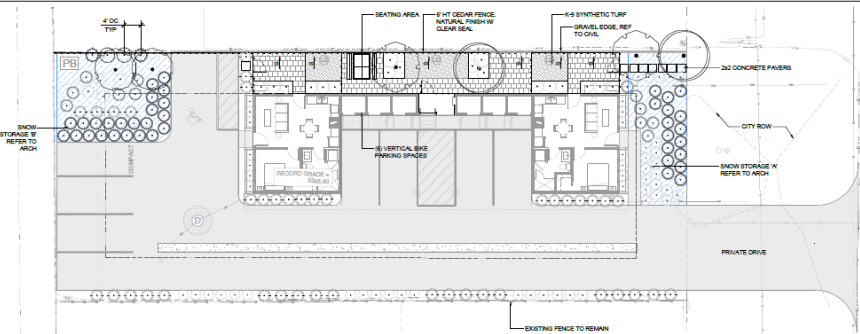
3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|-------------------------------------|------------------------------|---|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3a | a. Accessory structures shall be designed to be compatible with the principal building(s). |
| | | | <i>Staff Comments</i> | <i>N/A. No Accessory Structure is proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3b | b. Accessory structures shall be located at the rear of the property. |
| | | | <i>Staff Comments</i> | <i>N/A - No Accessory Structure is proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3c | c. Walls and fences shall be constructed of materials compatible with other materials used on the site. |
| | | | <i>Staff Comments</i> | <i>N/A - No Accessory structure is proposed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3d | d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact. |
| | | | <i>Staff Comments</i> | <i>There is an existing concrete retaining wall located on the north property line of the parcel, which is proposed to be replaced with a six-foot-tall cedar fence. An existing fence around the perimeter will remain in place.</i> |
| | | | |  <p style="text-align: center; font-size: small;">PROPOSED 6' HT WOOD FENCE DESIGN</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3e | e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind |

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|-------------------------------------|--------------------------|-------------------------------------|-----------------------|---|
| | | | | Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties. |
| | | | <i>Staff Comments</i> | <i>N/A - no roof-mounted mechanical equipment is proposed with this project.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3f | f. The hardware associated with alternative energy sources shall be incorporated into the building’s design and not detract from the building and its surroundings. |
| | | | <i>Staff Comments</i> | <i>N/A- No alternative energy sources are proposed with this project.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3g | g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building. |
| | | | <i>Staff Comments</i> | <i>All service lines into the property shall be installed underground and no service equipment shall be placed on utility poles.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3h | h. All service lines into the subject property shall be installed underground |
| | | | <i>Staff Comments</i> | <i>All service lines shall be installed underground. City Staff requests that, if applicable, transformer locations be shown on the Building Permit drawings.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3i | i. Additional appurtenances shall not be located on existing utility poles. |
| | | | <i>Staff Comments</i> | <i>N/A, as no additional appurtenances are proposed.</i> |

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4a | a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative. |
| | | | <i>Staff Comments</i> | <i>Drought tolerant and/or xeriscape specific plant materials are proposed. The Applicant is proposing the following landscaping onsite: Trees (10 total trees): - Two (2) Skyrocket Juniper Trees at 6ft. in height - Two (2) Juniperus Wichita Blue Juniper Trees at 6 ft. in height - Two (2) Royal Raindrops Crabapple Trees at 2.5” caliper - Two (2) Malus X Spring/Snow crabapples at 2.5” caliper - Two (2) Populus Tremula Erecta/ Columnar Aspen at 2.5” caliper Shrubs (50 total shrubs): - Two (2) Hydrangea at 3 gallons - Twelve (12) Pinus Slowmound Mugo Pine at 3 gallons - Fourteen (14) Saliva May Night Sage at 2 gallons - Four (4) White Frost Birchleaf Spirea at 2 gallons - Eighteen (18) Magic Carpet Japanese Spirea at 2 gallons Groundcovers, Grasses, and Perennials (117 total groundcovers, grasses, and perennials): - Forty-one (41) Karl Forester Feather Grass at 2 gallons - Thirty-nine (39) Blue Oat Grass at 1 gallon - Sixteen (16) Snow on the Mountain at 1 gallon - Twenty-one (21) Junior Walker Catmint at 4” pot</i> |

| | | | | <p>TREES</p>  <p>SHRUBS</p>  <p>PERENNIALS & GRASSES</p>  <p>LANDSCAPE SPECIFICATIONS & NOTES</p> <ol style="list-style-type: none"> SCOPE OF WORK THE LANDSCAPE AND IRRIGATION WORK IS PART OF A LARGER SITE PROJECT RESULTING IN DISBURSANCE TO THE SITE, LANDSCAPE AND IRRIGATION. AS SUCH, THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR, BOTH BEFORE ANY CONSTRUCTION BEGINS, AND DURING THE COURSE OF CONSTRUCTION. MATERIALS <ol style="list-style-type: none"> TERRAZZO: TERRAZZO SHALL BE A 3-WAY BLEND OF THE FOLLOWING PRODUCTS: SANDY TARM, TERAZZO AND ORGANIC COMPOST FROM WILSON'S COMPOST 20% BY VOLUME. MULCH: MULCH SHALL BE CRUSHED STONE, APPLIED TO A 3" COMPACTED DEPTH ON ALL BEDS WITH FILTER FABRIC UNDERNEATH. MATCH COLOR SAMPLES TO BE PROVIDED BY OWNER. PERENNIALS: APPROX. 70% GREEN MULCH (OR EQUIVALENT) SHALL BE USED IN ALL BEDDINGS. PLACE 1" FOR EACH SQUARE FOOT. 2" FOR EACH STRIP AND 4" FOR EACH TREE. THESE SHALL BE PLACED IN THE CENTER OF BEDS. APPLY 1/2" OVER AND UNDER 1" PDS. COVERING 100% OF BED SURFACE. THESE BEDS: THE BEDS SHALL BE 2" DEEP WITH A 2" TROUGH LONGITUDEWISE. DISTANCE 20" ON. SOIL PREPARATION <ol style="list-style-type: none"> BEFORE ANY LANDSCAPE WORK, CONTRACTOR SHALL REMOVE, OR HAVE REMOVED, ALL DEBRIS FROM THE OTHER BUILDING TRAILS FROM THE LANDSCAPE SURFACES. NO LANDSCAPE WORK SHALL COMMENCE UNTIL THE AREAS ARE CLEARED OF OTHER TRAIL DEBRIS. CULTIVATE THE EXISTING GROUND SURFACE TO A MINIMUM DEPTH OF 12" AND REMOVE ALL ROCKS OVER 1" IN DIAMETER AND OTHER DEBRIS. THE AREA OF THE MULCH BEDS SHALL BE PREPARED AS DESCRIBED. BEING SLOTTED TO ALLOW FOR DRAINAGE. BEFORE PLACING A MINIMUM OF 2" OF MULCH TOPSOIL ON ALL BEDS AND 12" OF MULCH TOPSOIL A MINIMUM DEPTH OF 12". REMOVE ALL ROCKS AND DEBRIS FROM THE SURFACE. FURNISH GRADE OF TOPSOIL SHALL BE 12" ABOVE EXISTING GROUND SURFACE, EXCEPT 2" FOR MULCH. THEREAFTER, FURNISH GRADE SHALL BE 12" ABOVE GROUND SURFACE. PLANTING OF TREES, SHRUBS, AND PERENNIALS/GRASSES <ol style="list-style-type: none"> CONTRACTOR RESPONSIBLE FOR PLANTING. CONTRACTOR IS TO VERIFY THAT ALL SEEDS ARE PREPARED AND READY FOR PLANTING, WITHOUT INTERFERENCE WITH OTHER TRADES. LANDSCAPE SEEDS TO BE PLANTED AND APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S FIELD, MAKING SURE THE SEEDS ARE UNCONTAMINATED TO GIVE BEST RESULTS TO THE OWNER. LANDSCAPE SEEDS TO BE PREPARED AND PLANT PER THE DETAILS. WHILE PLANTING, HAND WATER THE PLANTS INTO THE PLANT JETS THOROUGHLY SOAKING THE ROOT BALLS AND SOIL. OTHER SEEDS AS SPECIFIED. FILL PLANT JETS WITH SLOTTED TOPSOIL. TOP-DRESS FERTILIZER WHEN COMPLETED. TRANSPLANTS 12" OR SMALLER FROM PLANT SURFACES SHALL BE PLANTED WITH A 100% WATER CONTROL. ALL PLANTING DETAILS SHALL BE SUBJECT TO LOCAL CONDITIONS AND SPECIES. MAINTENANCE <ol style="list-style-type: none"> ALL PLANTING SHALL BE APPROPRIATE FOR ONE YEAR FROM FINAL ACCEPTANCE. PLANTS REQUIRING REPLACEMENT SHALL BE OF THE ORIGINAL VARIETY AND SPECIES AS DESCRIBED HEREIN. IRRIGATION <ol style="list-style-type: none"> AN IRRIGATION SYSTEM (INCLUDING THE IRRIGATION TO BE INSTALLED THROUGH THE BLOWER DESIGN PROCESS). THE IRRIGATION SYSTEM IS TO PROVIDE COMPLETE COVERAGE AND IS PROPERLY SIZED FOR EACH HYDRANT. IRRIGATION MAY BE DESIGNED TO BE TEMPORARY AND REMOVED AFTER 2 YEARS FOR PERMITS ESTABLISHMENT. CONTRACTOR TO CONFIRM LOCATION OF CONTRACTOR WITH OWNER. CONTRACTOR TO PROVIDE COVERAGE. FOR THE APPROVAL BY LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR TO PROVIDE COVERAGE. FOR THE APPROVAL BY LANDSCAPE ARCHITECT OR OWNER. <p>LANDSCAPE NOTES</p> <p>NOE FURNISHES: REQUIRED: 20% OF THE REQUIRED NUMBER OF PARKING SPACES (24/24+5) PROPOSED: 8 BEDS (8/24+5)</p> <p>OPEN SPACE REQUIREMENT REQUIRED: 1% OF TOTAL LOT AREA = 888 SF PROPOSED: 963 SF (11%)</p> <p>TREE SPECIES REQUIREMENTS REVISIONS: PLANTING TOUR ADDRESSING CITY OF HAILEY CODE 17.06.084.D BY: REEVE CONSULTANTS 20% MAX PER TREE VARIETY</p> <p>TABLE 4</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>SIZE</th> <th>SPECIES</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>12"</td> <td>ROYAL RAINDROPS CRABAPPLE</td> </tr> <tr> <td>2</td> <td>12"</td> <td>SPRING SNOW CRABAPPLE</td> </tr> <tr> <td>3</td> <td>12"</td> <td>SWEDISH ASPEN</td> </tr> <tr> <td>4</td> <td>12"</td> <td>WICHITA BLUE JUNIPER</td> </tr> <tr> <td>5</td> <td>12"</td> <td>SKYROCKET JUNIPER</td> </tr> <tr> <td>6</td> <td>12"</td> <td>SKYROCKET JUNIPER</td> </tr> </tbody> </table> <p>PLANT SCHEDULE</p> <table border="1"> <thead> <tr> <th>SYMBOL</th> <th>BOTANICAL / COMMON NAME</th> <th>COUNT</th> <th>SIZE</th> </tr> </thead> <tbody> <tr> <td>(Symbol)</td> <td>JANPERUS SCOPULORUM WICHITA BLUE / WICHITA BLUE JUNIPER</td> <td>44-87</td> <td>8-12"</td> </tr> <tr> <td>(Symbol)</td> <td>JANPERUS SCOPULORUM WICHITA BLUE / WICHITA BLUE JUNIPER</td> <td>44-87</td> <td>8-12"</td> </tr> <tr> <td>(Symbol)</td> <td>MALLUS X ROYAL RAINDROPS / ROYAL RAINDROPS CRABAPPLE</td> <td>23-CAL</td> <td>8-12"</td> </tr> <tr> <td>(Symbol)</td> <td>MALLUS X SPRING SNOW / SPRING SNOW CRABAPPLE</td> <td>23-CAL</td> <td>8-12"</td> </tr> <tr> <td>(Symbol)</td> <td>POPULUS TREMULA BRISQV / BRISQV COLUMBIAN ASPEN</td> <td>23-CAL</td> <td>8-12"</td> </tr> <tr> <td>(Symbol)</td> <td>HYDRANGEA ANNABELLE VANWALLE / ANNABELLE HYDRANGEA</td> <td>3-SAL</td> <td>3-SAL</td> </tr> <tr> <td>(Symbol)</td> <td>PRUNUS MUGO BLOOMING / BLOOMING DWARF PINE</td> <td>3-SAL</td> <td>3-SAL</td> </tr> <tr> <td>(Symbol)</td> <td>SALIX X ENGLISH WAX / ENGLISH WAX</td> <td>3-SAL</td> <td>3-SAL</td> </tr> <tr> <td>(Symbol)</td> <td>SPERMA BOLDINGII / SPERMA BOLDINGII</td> <td>3-SAL</td> <td>3-SAL</td> </tr> <tr> <td>(Symbol)</td> <td>SPERMA BOLDINGII / SPERMA BOLDINGII</td> <td>3-SAL</td> <td>3-SAL</td> </tr> <tr> <td>(Symbol)</td> <td>CHAMAECYTIS AUSTRIACA / WAX PINE</td> <td>3-SAL</td> <td>3-SAL</td> </tr> <tr> <td>(Symbol)</td> <td>HELIOPSIS SCOPULORUM / BLUE OAT GRASS</td> <td>1-SAL</td> <td>1-SAL</td> </tr> <tr> <td>(Symbol)</td> <td>ASBOPOLAM POGONIA / BEDS / BEDS (SNOW ON THE MOUNTAIN)</td> <td>1-SAL</td> <td>1-SAL</td> </tr> <tr> <td>(Symbol)</td> <td>HEPETA X PARSONS / CATMINT / ANDER WALKER / CATMINT</td> <td>1"</td> <td>1"</td> </tr> </tbody> </table> <p>LANDSCAPE PLAN</p>  | NO. | SIZE | SPECIES | 1 | 12" | ROYAL RAINDROPS CRABAPPLE | 2 | 12" | SPRING SNOW CRABAPPLE | 3 | 12" | SWEDISH ASPEN | 4 | 12" | WICHITA BLUE JUNIPER | 5 | 12" | SKYROCKET JUNIPER | 6 | 12" | SKYROCKET JUNIPER | SYMBOL | BOTANICAL / COMMON NAME | COUNT | SIZE | (Symbol) | JANPERUS SCOPULORUM WICHITA BLUE / WICHITA BLUE JUNIPER | 44-87 | 8-12" | (Symbol) | JANPERUS SCOPULORUM WICHITA BLUE / WICHITA BLUE JUNIPER | 44-87 | 8-12" | (Symbol) | MALLUS X ROYAL RAINDROPS / ROYAL RAINDROPS CRABAPPLE | 23-CAL | 8-12" | (Symbol) | MALLUS X SPRING SNOW / SPRING SNOW CRABAPPLE | 23-CAL | 8-12" | (Symbol) | POPULUS TREMULA BRISQV / BRISQV COLUMBIAN ASPEN | 23-CAL | 8-12" | (Symbol) | HYDRANGEA ANNABELLE VANWALLE / ANNABELLE HYDRANGEA | 3-SAL | 3-SAL | (Symbol) | PRUNUS MUGO BLOOMING / BLOOMING DWARF PINE | 3-SAL | 3-SAL | (Symbol) | SALIX X ENGLISH WAX / ENGLISH WAX | 3-SAL | 3-SAL | (Symbol) | SPERMA BOLDINGII / SPERMA BOLDINGII | 3-SAL | 3-SAL | (Symbol) | SPERMA BOLDINGII / SPERMA BOLDINGII | 3-SAL | 3-SAL | (Symbol) | CHAMAECYTIS AUSTRIACA / WAX PINE | 3-SAL | 3-SAL | (Symbol) | HELIOPSIS SCOPULORUM / BLUE OAT GRASS | 1-SAL | 1-SAL | (Symbol) | ASBOPOLAM POGONIA / BEDS / BEDS (SNOW ON THE MOUNTAIN) | 1-SAL | 1-SAL | (Symbol) | HEPETA X PARSONS / CATMINT / ANDER WALKER / CATMINT | 1" | 1" |
|-------------------------------------|---|---------------------------|---|--|-----|------|---------|---|-----|---------------------------|---|-----|-----------------------|---|-----|---------------|---|-----|----------------------|---|-----|-------------------|---|-----|-------------------|--------|-------------------------|-------|------|----------|---|-------|-------|----------|---|-------|-------|----------|--|--------|-------|----------|--|--------|-------|----------|---|--------|-------|----------|--|-------|-------|----------|--|-------|-------|----------|-----------------------------------|-------|-------|----------|-------------------------------------|-------|-------|----------|-------------------------------------|-------|-------|----------|----------------------------------|-------|-------|----------|---------------------------------------|-------|-------|----------|--|-------|-------|----------|---|----|----|
| NO. | SIZE | SPECIES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1 | 12" | ROYAL RAINDROPS CRABAPPLE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | 12" | SPRING SNOW CRABAPPLE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3 | 12" | SWEDISH ASPEN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4 | 12" | WICHITA BLUE JUNIPER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5 | 12" | SKYROCKET JUNIPER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6 | 12" | SKYROCKET JUNIPER | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SYMBOL | BOTANICAL / COMMON NAME | COUNT | SIZE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | JANPERUS SCOPULORUM WICHITA BLUE / WICHITA BLUE JUNIPER | 44-87 | 8-12" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | JANPERUS SCOPULORUM WICHITA BLUE / WICHITA BLUE JUNIPER | 44-87 | 8-12" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | MALLUS X ROYAL RAINDROPS / ROYAL RAINDROPS CRABAPPLE | 23-CAL | 8-12" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | MALLUS X SPRING SNOW / SPRING SNOW CRABAPPLE | 23-CAL | 8-12" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | POPULUS TREMULA BRISQV / BRISQV COLUMBIAN ASPEN | 23-CAL | 8-12" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | HYDRANGEA ANNABELLE VANWALLE / ANNABELLE HYDRANGEA | 3-SAL | 3-SAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | PRUNUS MUGO BLOOMING / BLOOMING DWARF PINE | 3-SAL | 3-SAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | SALIX X ENGLISH WAX / ENGLISH WAX | 3-SAL | 3-SAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | SPERMA BOLDINGII / SPERMA BOLDINGII | 3-SAL | 3-SAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | SPERMA BOLDINGII / SPERMA BOLDINGII | 3-SAL | 3-SAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | CHAMAECYTIS AUSTRIACA / WAX PINE | 3-SAL | 3-SAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | HELIOPSIS SCOPULORUM / BLUE OAT GRASS | 1-SAL | 1-SAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | ASBOPOLAM POGONIA / BEDS / BEDS (SNOW ON THE MOUNTAIN) | 1-SAL | 1-SAL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| (Symbol) | HEPETA X PARSONS / CATMINT / ANDER WALKER / CATMINT | 1" | 1" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A)4b Staff Comments</p> | <p>b. All plant species shall be hardy to the Zone 4 environment. Plant materials will be appropriate for the Zone 4 environment.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.080(A)4c Staff Comments</p> | <p>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | <p>Staff Comments</p> | <p>It appears an automatic drip irrigation system will be installed according to City Standards. The automatically controlled system should include a smart controller and rain sensor for a water-wise system. Low water use rotator nozzles should also be installed in grass spaces. Irrigation systems should not be placed against</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

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| | | | | <i>the pavement – they shall be positioned in a way where they will not spray water on the pavement or other hardscape areas.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4d | d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½"). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard. |
| | | | <i>Staff Comments</i> | <i>Proposed landscaping is varied with a combination of trees, shrubs, groundcover, grasses and perennials to soften the site, as well as to create visual interest. The Applicant has met the standard of including trees with no less than two and one-half inches (2 ½) caliper and no more than 20% of any single tree species being proposed to be planted onsite.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4e | e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts. |
| | | | <i>Staff Comments</i> | <i>N/A, as this parcel is not located within the LI or SCI Zoning District.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4f | f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets. |
| | | | <i>Staff Comments</i> | <i>N/A, as this parcel is not located in the B, LB, TN, SCI-O Zoning districts.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4g | g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials. |
| | | | <i>Staff Comments</i> | <i>Storm water runoff is located within the landscaping beds, turf area, and/or drywells, as shown on the civil plans.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4h | h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced). |
| | | | <i>Staff Comments</i> | <i>The Applicant shall be responsible for maintaining plant material in a healthy condition. Plants were chosen for reduced maintenance, drought tolerance and ability to thrive in conditions on-site.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4i | i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site. |
| | | | <i>Staff Comments</i> | <i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel that is proposed to be replaced with a 6-foot cedar fence.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4j | j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials. |
| | | | <i>Staff Comments</i> | <i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel that is proposed to be replaced with a 6-foot cedar fence.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4k | k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls. |
| | | | <i>Staff Comments</i> | <i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel that is proposed to be replaced with a 6-foot cedar fence.</i> |

| | | | | |
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| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4l | l. Landscaping should be provided within or in front of extensive retaining walls. |
| | | | <i>Staff Comments</i> | <i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel that is proposed to be replaced with a 6-foot cedar fence.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4m | m. Retaining walls over 24" high may require railings or planting buffers for safety. |
| | | | <i>Staff Comments</i> | <i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel that is proposed to be replaced with a 6-foot cedar fence.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4n | n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide. |
| | | | <i>Staff Comments</i> | <i>N/A, no new retaining wall is being proposed with this project, however there is an existing concrete retaining wall located along the north side of the parcel that is proposed to be replaced with a 6-foot cedar fence.</i> |

Additional Design Review Requirements for Multifamily Buildings within the City of Hailey

1. Site Planning: 17.06.080 (D) 1, items (a) thru (c)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)1a | a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses. |
| | | | <i>Staff Comments</i> | <i>The proposed building complements the surrounding area and adjacent uses. The proposed residential use is within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts.</i> <i>Integration of the building to the surrounding site and landscape is an imperative facet of the project with a variety of landscaping and features providing screening for both residents and neighbors alike.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)1b | b. Site plans shall include a convenient, attractive, and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site. |
| | | | <i>Staff Comments</i> | <i>Given the location and width of the proposed parcel, Staff and the Applicant have internally discussed creative buildout options for this part of River Street. Through this discussion, Staff recommend that, rather than having an island of River Street Typical Section improvements within this block, the Applicant shall pay in-lieu fees equivalent to that of the River Street Typical Section for this property's frontage. This payment shall be made prior to issuance of a Certificate of Occupancy. This has been made a Condition of Approval.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)1c | c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places. |
| | | | <i>Staff Comments</i> | <i>To ensure safe pedestrian access through the site as well as site maintenance, the Applicant has proposed to pave the site. Pedestrian amenities include shared external courtyards which are fenced in for privacy. Access to these amenities can be achieved from the paver pathway along River Street, between the two buildings, as well as from the front doors of</i> |

| | | | |
|--|--|--|---|
| | | | <p><i>each of the first-floor units. The open space courtyards include concrete paver patios, exterior seating area, decks for the upper units, and various landscaping to help create an inviting, safe space.</i></p> |
|--|--|--|---|

2. Building Design: 17.06.080 (D) 2, items (a) thru (b)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)2a | <p>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</p> <p><i>Staff Comments</i> The proposed building design provides a multifamily design that responds to the varying character of the city.</p> <ul style="list-style-type: none"> - The design of the building reflects the evolving style of Hailey. Importance has been placed on restrained and familiarity of the past and the warmth and nuance of contemporary design. - The proposed open space and landscaping plan further separate the building from less intensive uses. <p>The proposed residential use is located within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. This multifamily project creates a natural transition from single family use to higher-density residential use, as well as Business use, and in-turn, to less-dense residential use that is evident in nearby neighborhoods.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(D)2b | <p>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</p> <p><i>Staff Comments</i> The building achieves human scale by a prominent entrance, covered parking, open space areas, site circulation connections and various exterior materials. The landscaping also maximizes human scale with the various trees, shrubs, groundcovers, grasses, and perennials, as proposed provides screening for both residents and neighbors.</p> |

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.**

- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing, and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following Conditions are placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
 - i. **Life and Safety:**
 - i. The building shall comply with IFC and IBC code requirements.
 - ii. **Water and Wastewater:**
 - i. All construction shall be to City Standards.
 - ii. The proposed sewer service location will be located at the center of the lot.
- d) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.

- e) The Applicant shall pay in-lieu fees equivalent to that of the River Street Typical Section for this property's frontage. This payment shall be made prior to issuance of a Certificate of Occupancy.
- f) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- g) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- h) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- i) All exterior lighting shall comply with the Outdoor Lighting Ordinance.
- j) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- k) A letter from Clear Creek Disposal shall be provided commenting on the adequacy of the proposed use of individual trash receptacles, their locations during weekly refuse removal, and their accessibility of.
- l) Upon completion of all required public landscaping and before issuance of a certificate of occupancy and/or final project approval, a licensed arborist shall certify all public tree plantings have been installed in compliance with the project approvals as to species, health, irrigation, city construction standards, project drawings, and other relevant requirements such as Hailey Tree Committee recommendations. Similarly, any public landscape not certified by the licensed arborist shall be certified by a licensed landscape architect for same or other relevant topics. The arborist or landscape architect shall also provide documentation of public tree well inspections including dimensions and material types during the placement of all subsurface items.
- m) The transformer shall be screened from view (subject to approval by Idaho Power) of the public street.
- n) All ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.

Motion Language:

Approval: Motion to approve the Design Review Application submitted by McIntosh Holdings, LLC, represented by Errin Bliss with Bliss Architecture for the construction of a new 6,320 square foot multifamily development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision) finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 17, and City Standards, provided conditions (a) through (n) are met.

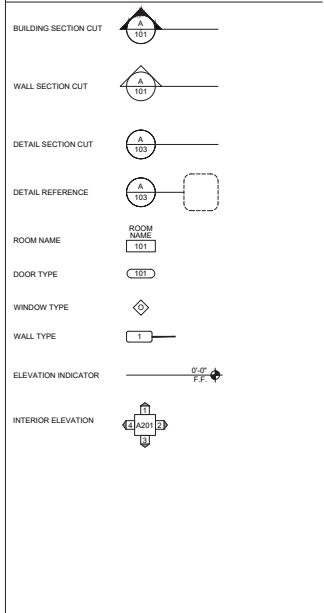
Denial: Motion to deny the Design Review Application submitted by McIntosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture, for the construction of a new 6,320 square foot multifamily development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision), finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to_____ [Commission should specify a date].

ABBREVIATIONS

| | | | |
|-------|---------------------------|-------|---------------------------|
| ⊗ | AT | LAM | LAMINATE |
| AB | ANCHOR BOLT | MAT | MATERIAL |
| ABC | AGGREGATE BASE COURSE | MAX | MAXIMUM |
| AFF | ABOVE FINISH FLOOR | MIN | MINIMUM |
| AFG | ABOVE FINISH GRADE | MISC | MISCELLANEOUS |
| ALT | ALTERNATE | MTL | METAL |
| ALUM | ALUMINUM | | |
| BD | BOARD | NIC | NOT IN CONTRACT |
| BLDG | BUILDING | NO | NUMBER |
| BO | BOTTOM OF | NOM | NOMINAL |
| BOD | BOTTOM OF DECK | N | NORTH |
| | | NTS | NOT TO SCALE |
| CA | CLEAR ANODIZED | OC | ON CENTER |
| CC | CENTER TO CENTER | OH | OVERHEAD |
| CP | CAST IN PLACE | OPP | OPPOSITE |
| CL | CENTER LINE | OSB | ORIENTED STRAND BOARD |
| CLNG | CEILING | | |
| CLR | CLEAR | PL | PLATE |
| CJ | CONTROL JOINT | PR | PAIR |
| CMU | CONCRETE MASONRY UNIT | RA | RETURN AIR |
| COL | COLUMN | RAD | RADIUS |
| CONC | CONCRETE | RCP | REFLECTED CEILING PLAN |
| CONT | CONTINUOUS | REF | REFERENCE |
| DET | DETAIL | REQD | REQUIRED |
| DM | DIMENSION | REV | REVISION |
| DN | DOWN | RO | ROUGH OPENING |
| DWG | DRAWING | ROW | RIGHT OF WAY |
| EA | EACH | SC | SOLID CORE |
| ELEC | ELECTRICAL | SCHED | SCHEDULE |
| ELEV | ELEVATION | SF | SQUARE FEET |
| EQ | EQUAL | SHT | SHEET |
| EQUIP | EQUIPMENT | SM | SIMILAR |
| EXT | EXTERIOR | STL | STEEL |
| EXIST | EXISTING | STRUC | STRUCTURAL |
| FA | FIRE ALARM | T&G | TONGUE & GROOVE |
| FACP | FIRE ALARM CONTROL PANEL | TO | TOP OF |
| FD | FLOOR DRAIN | TOB | TOP OF BEAM |
| FEC | FIRE EXTINGUISHER CABINET | TOM | TOP OF MASONRY |
| FF | FINISHED FLOOR ELEVATION | TOW | TOP OF WALL |
| FN | FINISH | TYP | TYPICAL |
| FLR | FLOOR | UL | UNDERWRITERS LABORATORIES |
| FT | FOOT OR FEET | UNO | UNLESS NOTED OTHERWISE |
| FV | FIELD VERIFY | VERT | VERTICAL |
| GA | GAUGE | | |
| GALV | GALVANIZED | WC | WATER CLOSET |
| GLB | GLUE LAMINATED BEAM | WD | WOOD |
| GSF | GROSS SQUARE FEET | W | WITH |
| GYP | GYPSPUM | W/O | WITHOUT |
| HB | HOSE BIBB | | |
| HW | HARDWARE | | |
| HR | HOUR | | |
| INSUL | INSULATION | | |
| INT | INTERIOR | | |
| JNT | JOINT | | |

DRAWING SYMBOLS



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PROJECT DESCRIPTION

PROJECT NAME:
SIX THIRTY SEVEN APARTMENTS

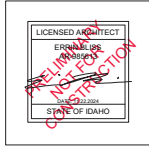
BUILDING CODE DATA
 APPLICABLE BUILDING CODES:
 2018 INTERNATIONAL BUILDING CODE WITH CITY OF HAILEY & STATE OF IDAHO AMENDMENTS
 2018 INTERNATIONAL FIRE CODE WITH CITY OF HAILEY AMENDMENTS
 2018 INTERNATIONAL ENERGY CONSERVATION CODE WITH CITY OF HAILEY & STATE OF IDAHO AMENDMENTS
 OCCUPANCY TYPE:
 RESIDENTIAL GROUP R-2
 CONSTRUCTION TYPE:
 V-B-SPRINKLERED

PROJECT SITE

VICINITY MAP
SCALE: N.T.S.

SHEET INDEX

| | |
|-------|--------------------------------|
| A000 | COVER SHEET |
| A5100 | CONTEXT SITE PLAN |
| A5101 | ARCHITECTURAL SITE PLAN |
| A5102 | STAGING & CONTRACTOR PLAN |
| A101 | FIRST FLOOR PLAN |
| A102 | SECOND FLOOR PLAN |
| A103 | THIRD FLOOR PLAN |
| A201 | BUILDING ELEVATIONS |
| A202 | BUILDING ELEVATIONS |
| A203 | BUILDING ELEVATIONS |
| A204 | BUILDING RENDERINGS |
| A205 | BUILDING RENDERINGS |
| C01 | CIVIL COVER SHEET |
| C02 | DETAIL SHEET |
| C03 | DETAIL SHEET |
| C1.0 | SITE GEOMETRY AND GRADING PLAN |
| C1.1 | SITE IMPROVEMENTS PLAN |
| L1.00 | LAYOUT PLAN |
| L1.01 | PLANTING DETAILS |
| L1.02 | PLANT IMAGES |



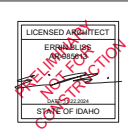
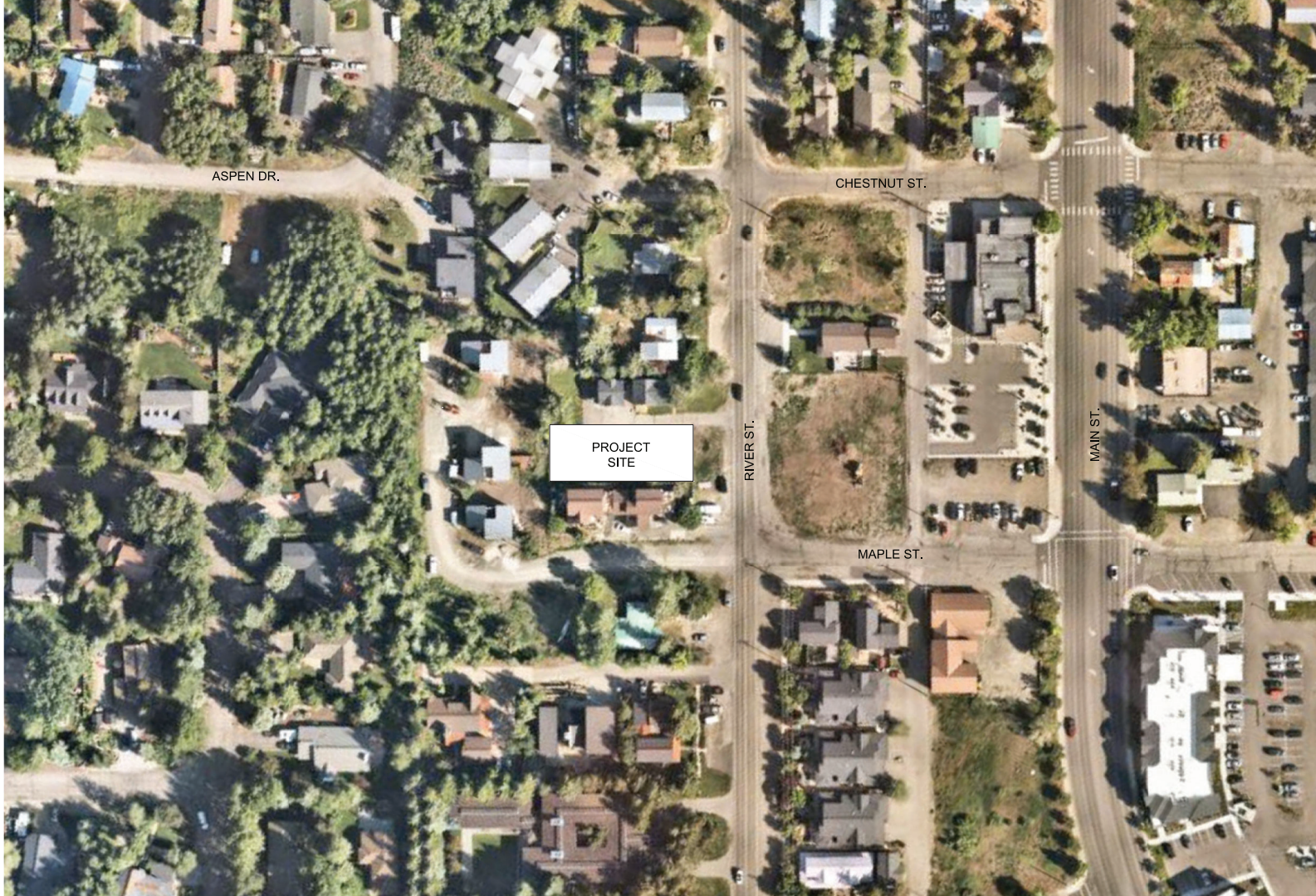
SIX THIRTY SEVEN APARTMENTS
 637 S. RIVER STREET | HAILEY | IDAHO
 BLISSARCHITECTURE | 0 | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY | IDAHO 83333
 P | 208-721-7424 | W | BLISSARCHITECTURE.COM

SIX THIRTY SEVEN APARTMENTS

HAILEY, IDAHO

| |
|--|
| PROJECT NO. 202401 |
| DRAWN BY EMB CHECKED BY EMB |
| CITY OF HAILEY DESIGN REVIEW DATE 11 22 2024 |
| COVER SHEET |
| A000 |

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PROJECT NO. | 202401

DRAWN BY | EMB
 CHECKED BY | EMB

CITY OF HAILEY
 DESIGN REVIEW
 DATE | 11 22 2024

CONTEXT
 SITE PLAN

AS100

PNV CONTEXT SITE PLAN
 SCALE: 1" = 50'-0"

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SNOW STORAGE CALCS.

TOTAL IMPROVED ON-SITE VEHICLE & PEDESTRIAN CIRCULATION AREAS NOT COVERED BY ROOFS, ROOF EAVES, & DECKS ABOVE:
4,000 S.F.

ON-SITE SNOW STOR. REQUIRED:
4,000 S.F. x 25% = 1,000 S.F.

ON-SITE SNOW STOR. PROVIDED:
ON-SITE SNOW STOR. AREA 'A': 471 S.F.
ON-SITE SNOW STOR. AREA 'B': 522 S.F.

TOTAL: 1,023 S.F.

SITE DATA

SITE ADDRESS:
637 S. RIVER STREET
HAILEY, IDAHO

LEGAL DESCRIPTION:
HAILEY LOT 2A BLK 1

PARCEL NUMBER:
RPH045200002A

ZONING DISTRICT:
GR - GENERAL RESIDENTIAL

ZONING SUBDISTRICTS:
TOWNSITE OVERLAY DISTRICT
DOWNTOWN RESIDENTIAL OVERLAY DISTRICT

LOT AREA:
TOTAL: 40.20 ACRES (16,840 S.F.)

LOT COVERAGE:
ALLOWED: 30%
PROVIDED: BUILDING FOOTPRINTS = 2,600 S.F./16,840 S.F. = 20%

MIN. OPEN SPACE:
REQUIRED: 10% OF TOTAL LOT AREA = 884 S.F.
PROVIDED: SEE LANDSCAPE DRAWINGS

MIN. FRONT YARD SETBACK AT RIVER STREET:
REQUIRED: 12'-0"
PROVIDED: SEE SITE PLAN

MIN. REAR YARD SETBACK:
REQUIRED: 1'-0" FOR EVERY 2'-0" OF WALL HEIGHT (30'-0") = 12'-0"
PROVIDED: SEE SITE PLAN

MIN. SIDE YARD SETBACK AT SOUTH PROPERTY LINE:
REQUIRED: 1'-0" FOR EVERY 2'-0" OF WALL HEIGHT (25'-0") = 10'-0"
PROVIDED:

MIN. SIDE YARD SETBACK AT NORTH PROPERTY LINE:
REQUIRED: 1'-0" FOR EVERY 2'-0" OF WALL HEIGHT (25'-0") = 10'-0"
PROVIDED: SEE SITE PLAN

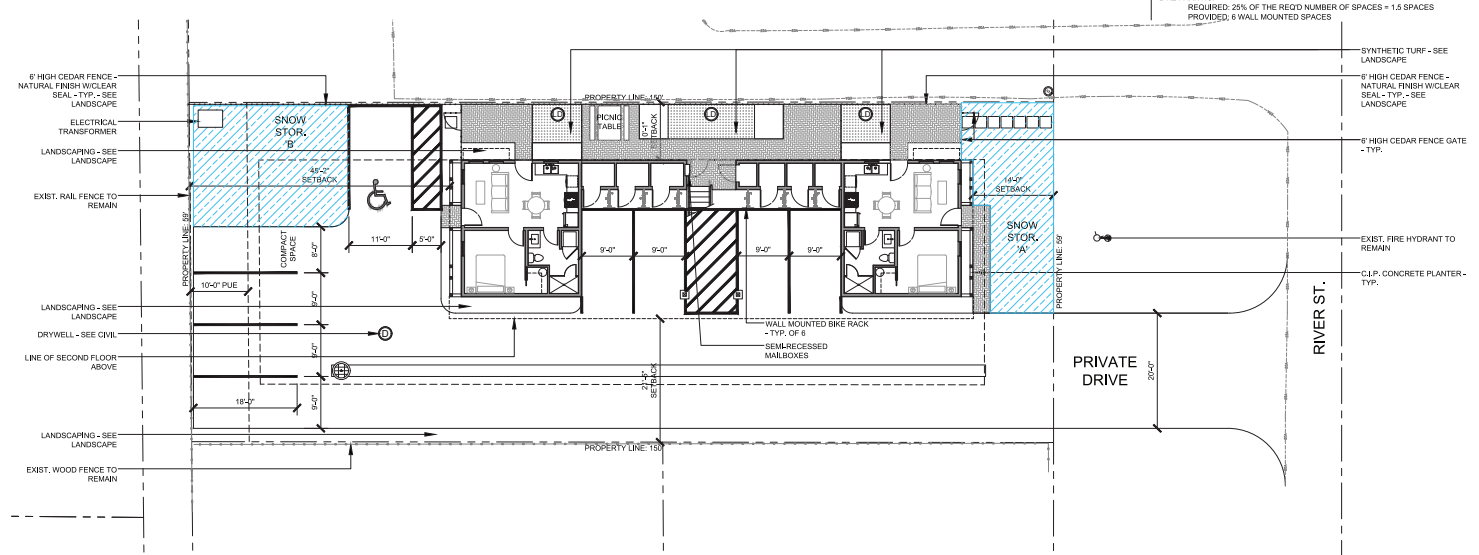
MAX. BUILDING HEIGHT:
ALLOWED: 30'-0"
PROVIDED: SEE BUILDING ELEVATIONS

APARTMENT GROSS AREA:
UNIT 1: 498 S.F.
UNIT 2: 498 S.F.
UNIT 3: 1,114 S.F.
UNIT 4: 1,114 S.F.
UNIT 5: 1,114 S.F.
UNIT 6: 1,114 S.F.

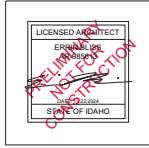
BUILDING GROSS AREA:
FIRST FLOOR: 1,162 S.F.
SECOND FLOOR: 2,699 S.F.
THIRD FLOOR: 2,538 S.F.
TOTAL: 6,399 S.F.

ON-SITE PARKING:
REQUIRED: 1 SPACE PER UNIT = 6 SPACES
PROVIDED: 1 COMPACT SPACE
1 ADA SPACE
7 REGULAR SPACES

BIKE PARKING:
REQUIRED: 25% OF THE REQ'D NUMBER OF SPACES = 1.5 SPACES
PROVIDED: 6 WALL MOUNTED SPACES



PNV ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"



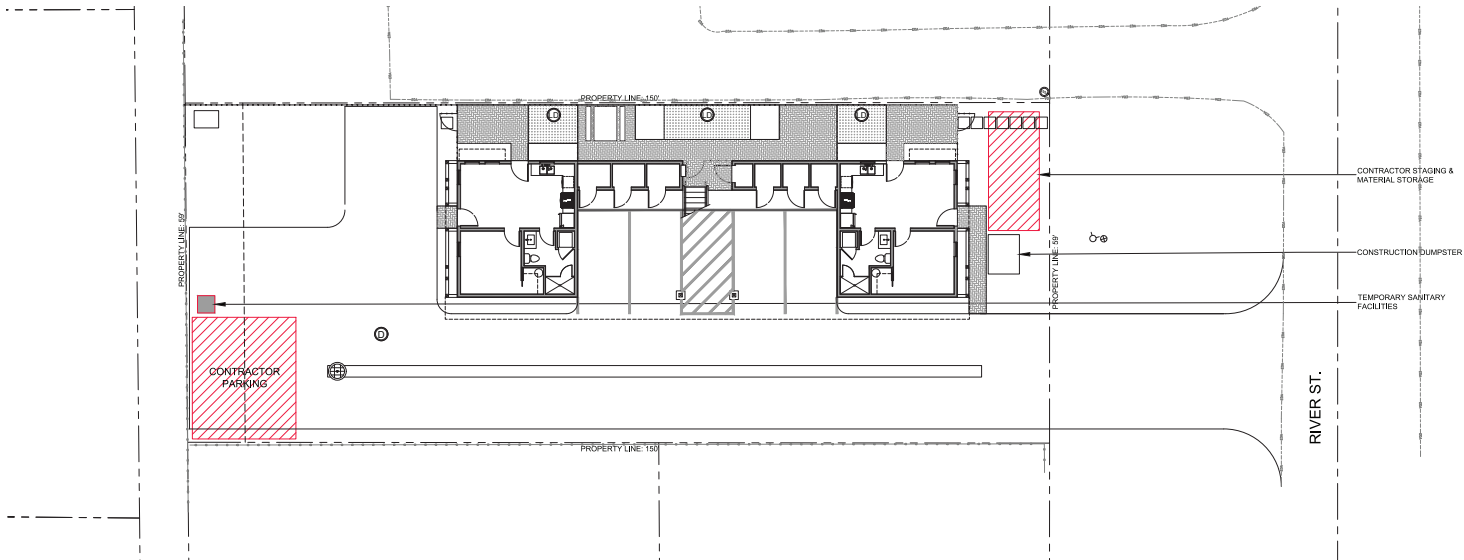
SIX THIRTY SEVEN APARTMENTS
637 S. RIVER STREET | HAILEY | IDAHO
BLISSARCHITECTURE

PROJECT NO. | 202401
DRAWN BY | EMB
CHECKED BY | EMB
CITY OF HAILEY
DESIGN REVIEW
DATE | 11 22 2024
ARCHITECTURAL
SITE PLAN

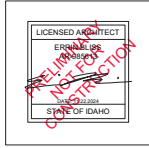
AS101

O | 126 SOUTH MAIN STREET | SUITE B.1 | HAILEY | IDAHO 83333
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PN STAGING &
CONTRACTOR PARKING PLAN
SCALE: 1" = 10'-0"



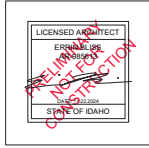
SIX THIRTY SEVEN APARTMENTS
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CITY OF HAILEY
DESIGN REVIEW
DATE | 11 22 2024
STAGING & CONTRACTOR
PARKING PLAN

AS102

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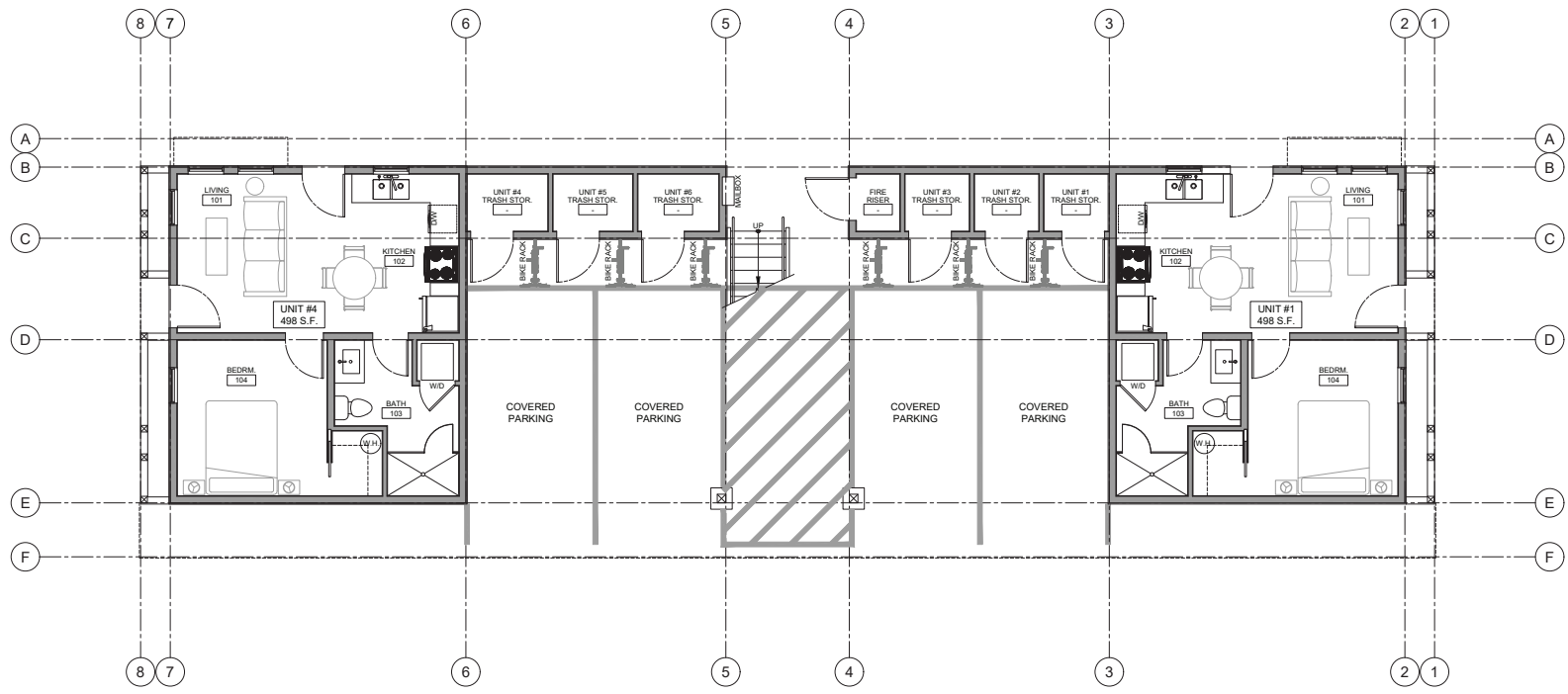


GENERAL NOTES

1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEM WALL U.N.O.
2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCCING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.

WALL TYPE LEGEND

- 2x6 STUD EXTERIOR WALL. SEE WALL SECTIONS & SEE STRUCT. FOR STUD SPACING/SHEAR WALLS.
- 2x4 STUD INTERIOR WALL. SEE PARTITION TYPES, SHEET A001.
- 2x6 STUD 1-HOUR RATED FIRE SEPARATION WALL. SEE WALL SECTIONS & SEE STRUCT. FOR STUD SPACING/SHEAR WALLS.



SIX THIRTY SEVEN APARTMENTS
637 S. RIVER STREET | HAILEY | IDAHO
BLISSARCHITECTURE

PROJECT NO. | 202401
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 CHECKED BY | EMB
 CITY OF HAILEY
 DESIGN REVIEW
 DATE | 11 22 2024
 FIRST FLOOR
 PLAN

A101

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

1

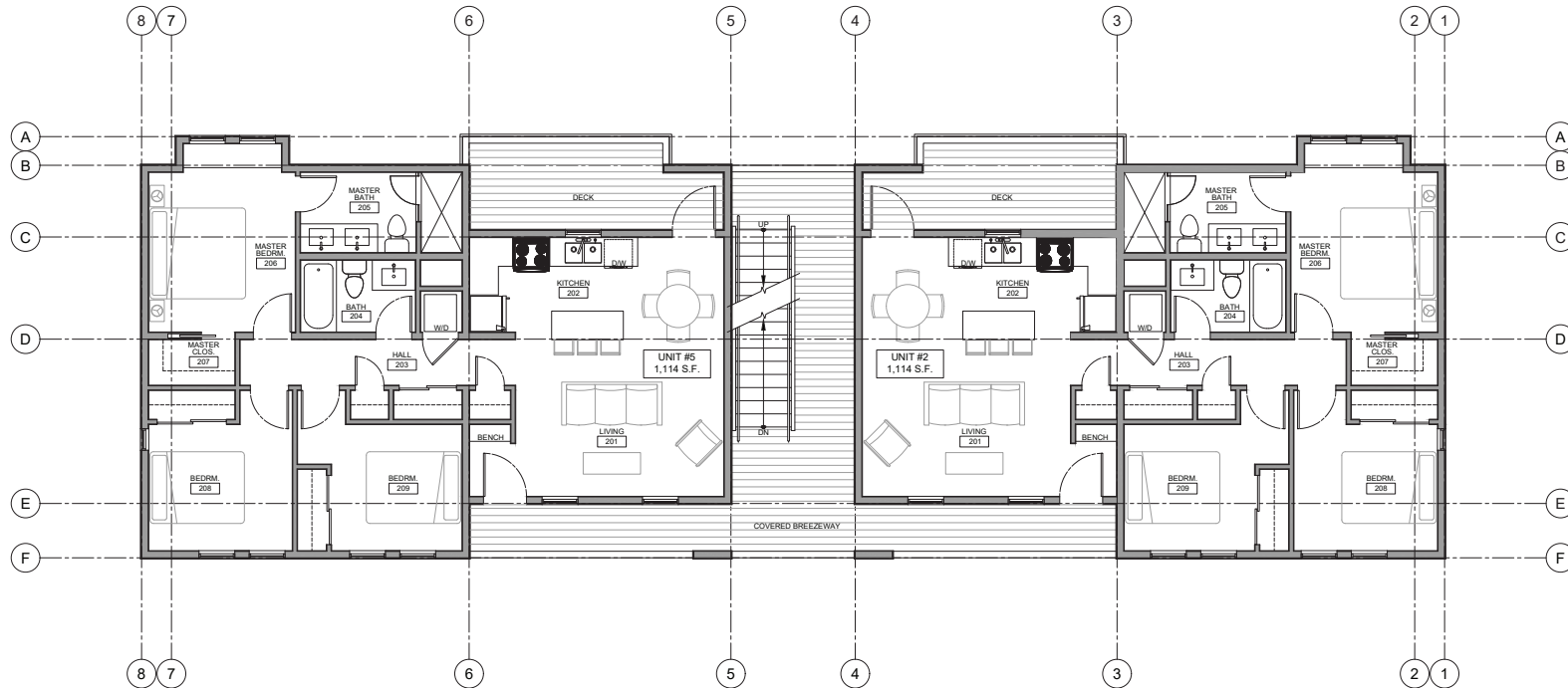
I AM AN ARCHITECT AND I AM A MEMBER OF THE ARCHITECTS' BOARD OF IDAHO. I HAVE BEEN LICENSED IN THE STATE OF IDAHO SINCE 2010. I AM A MEMBER OF THE NATIONAL ARCHITECTS ASSOCIATION AND THE AMERICAN INSTITUTE OF ARCHITECTS. I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF IDAHO. I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF IDAHO. I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF IDAHO.

GENERAL NOTES

1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEM WALL U.N.O.
2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCCING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.

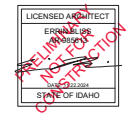
WALL TYPE LEGEND

- 2x6 STUD EXTERIOR WALL. SEE WALL SECTIONS & SEE STRUCT. FOR STUD SPACING/SHEAR WALLS.
- 2x4 STUD INTERIOR WALL. SEE PARTITION TYPES, SHEET A001.
- 2x6 STUD 1-HOUR RATED FIRE SEPARATION WALL. SEE WALL SECTIONS & SEE STRUCT. FOR STUD SPACING/SHEAR WALLS.



PNV SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

1



SIX THIRTY SEVEN APARTMENTS
637 S. RIVER STREET | HAILEY | IDAHO
BLISSARCHITECTURE

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CITY OF HAILEY
DESIGN REVIEW
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SECOND FLOOR
PLAN

A102

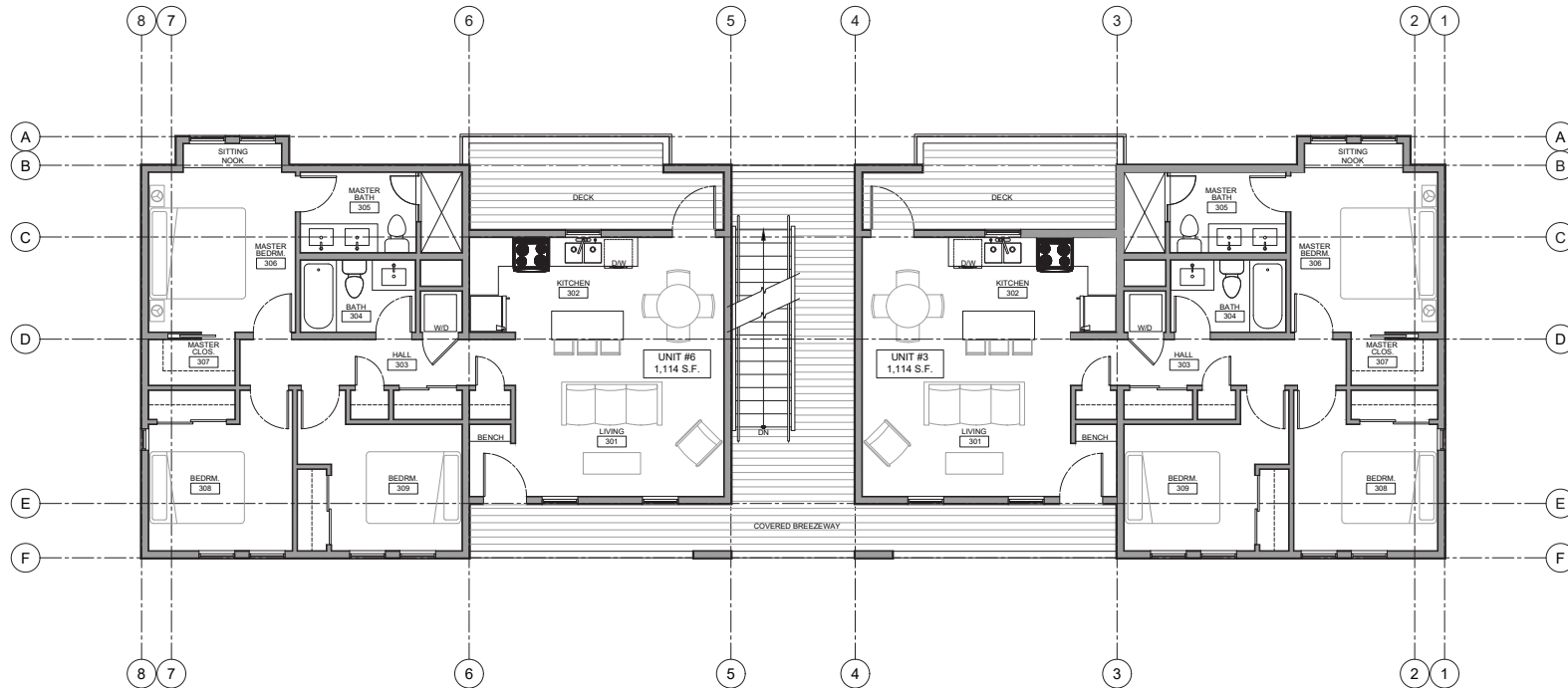
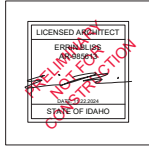
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GENERAL NOTES

1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEM WALL U.N.O.
2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCCING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.

WALL TYPE LEGEND

- 2x6 STUD EXTERIOR WALL. SEE WALL SECTIONS & SEE STRUCT. FOR STUD SPACING/SHEAR WALLS.
- 2x4 STUD INTERIOR WALL. SEE PARTITION TYPES, SHEET A001.
- 2x6 STUD 1-HOUR RATED FIRE SEPARATION WALL. SEE WALL SECTIONS & SEE STRUCT. FOR STUD SPACING/SHEAR WALLS.



SIX THIRTY SEVEN APARTMENTS
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BLISSARCHITECTURE

PROJECT NO. | 202401
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 CITY OF HAILEY
 DESIGN REVIEW
 DATE | 11 22 2024
 THIRD FLOOR
 PLAN

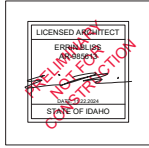
A103

PNV THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

1

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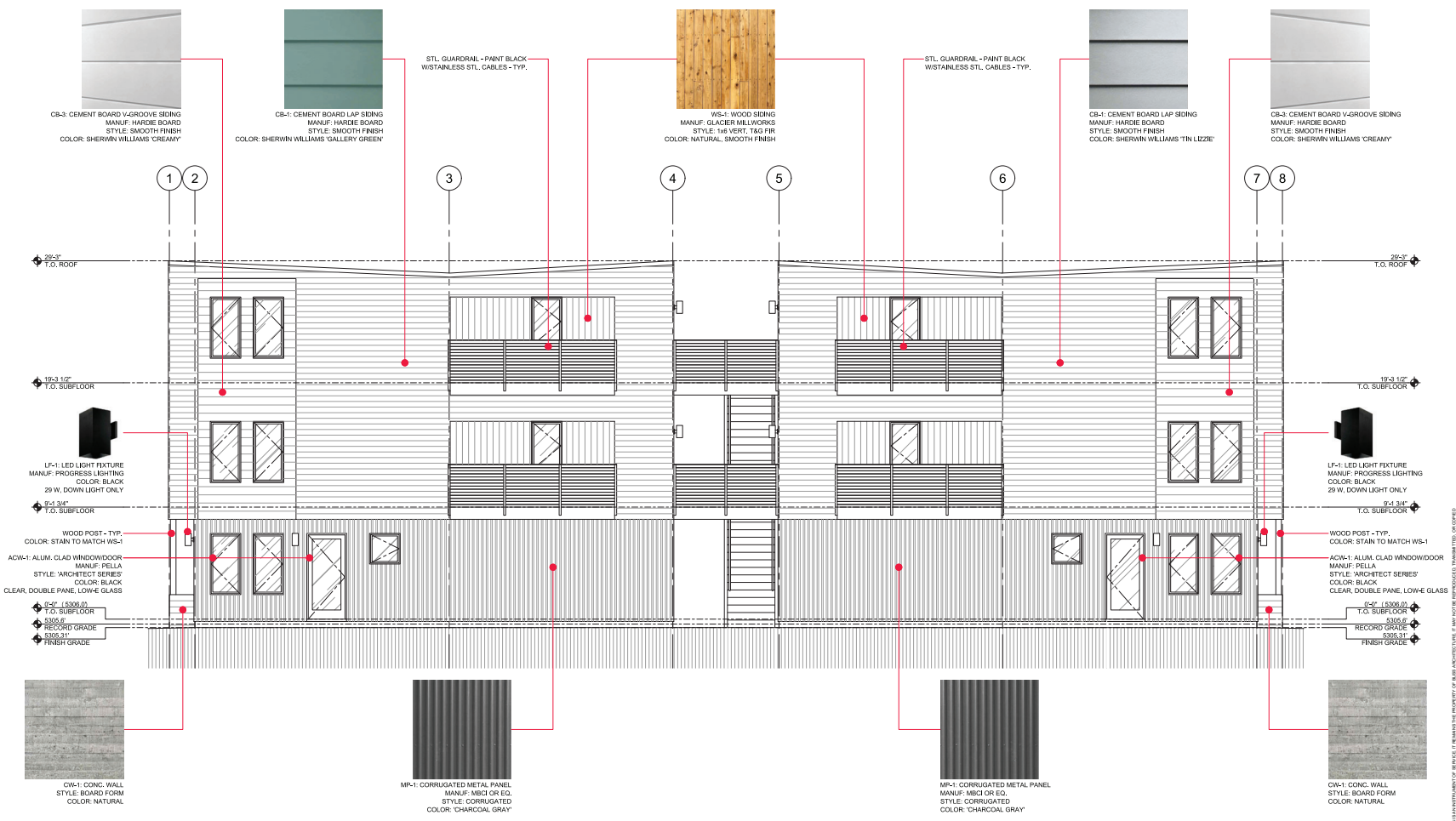
SIX THIRTY SEVEN APARTMENTS
 637 S. RIVER STREET | HAILEY | IDAHO

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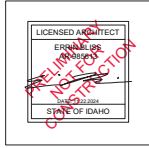
PROJECT NO. | 202401
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 DESIGN REVIEW
 DATE | 11 22 2024

BUILDING
 ELEVATIONS

A201



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SIX THIRTY SEVEN APARTMENTS
 637 S. RIVER STREET | HAILEY | IDAHO

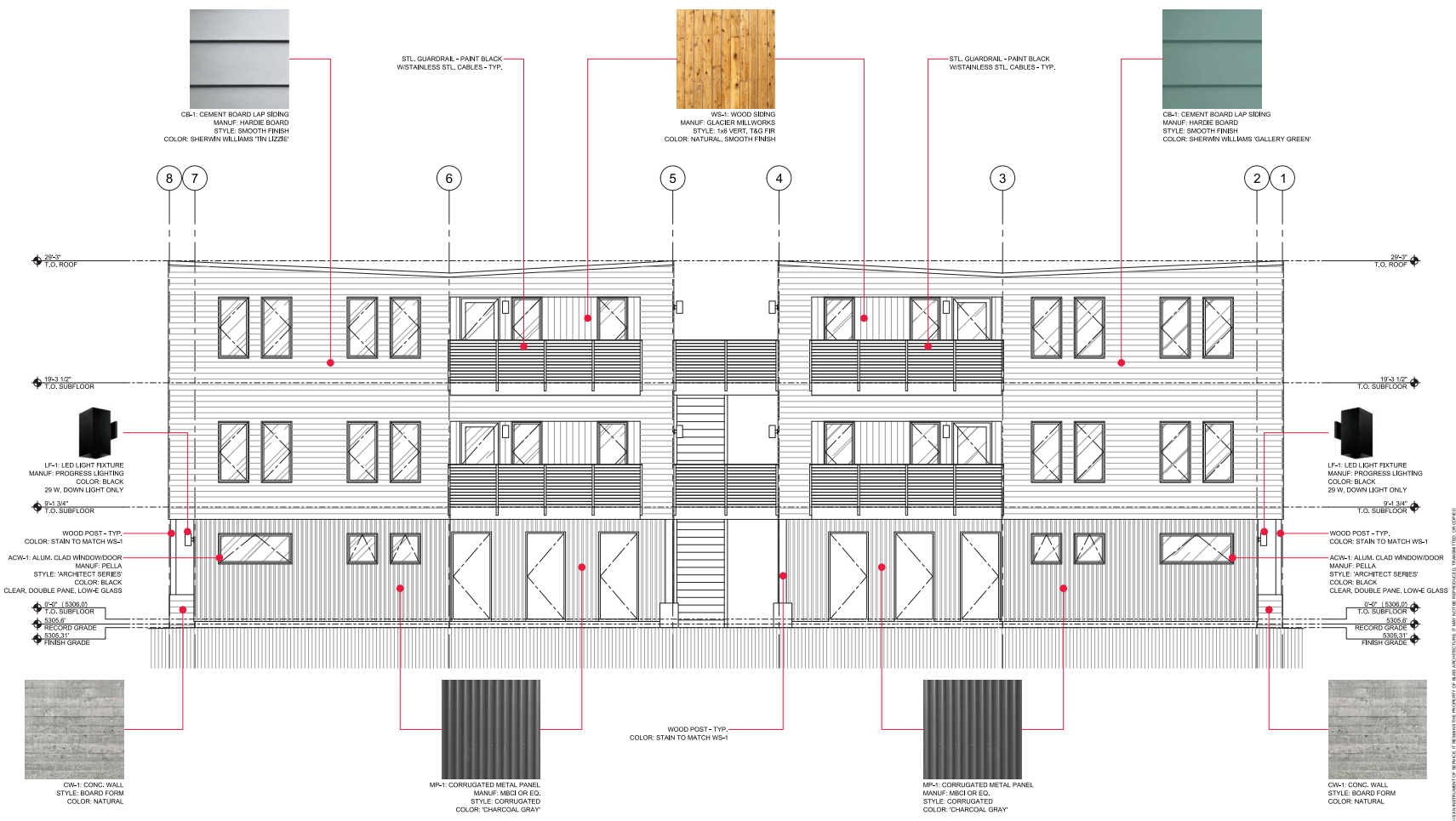
BLISSARCHITECTURE
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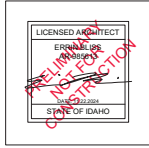
BUILDING
 ELEVATIONS

A202



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"
 1

MATERIALS AND FINISHES TO BE USED IN THIS PROJECT SHALL BE AS SHOWN IN THE DRAWINGS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.



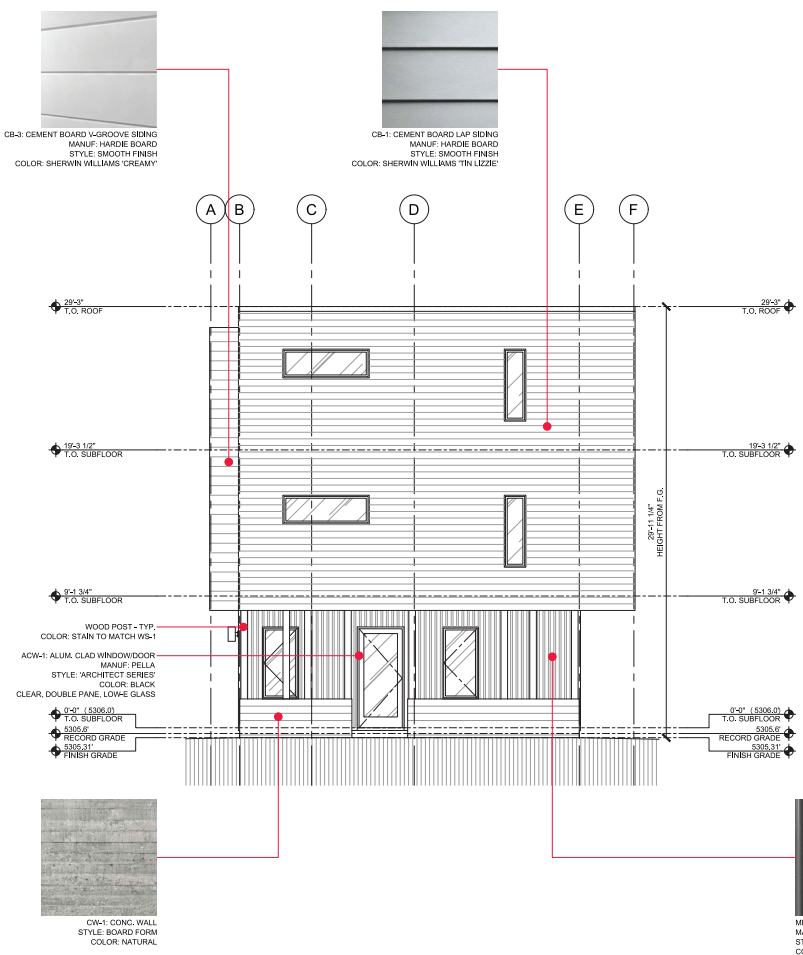
SIX THIRTY SEVEN APARTMENTS
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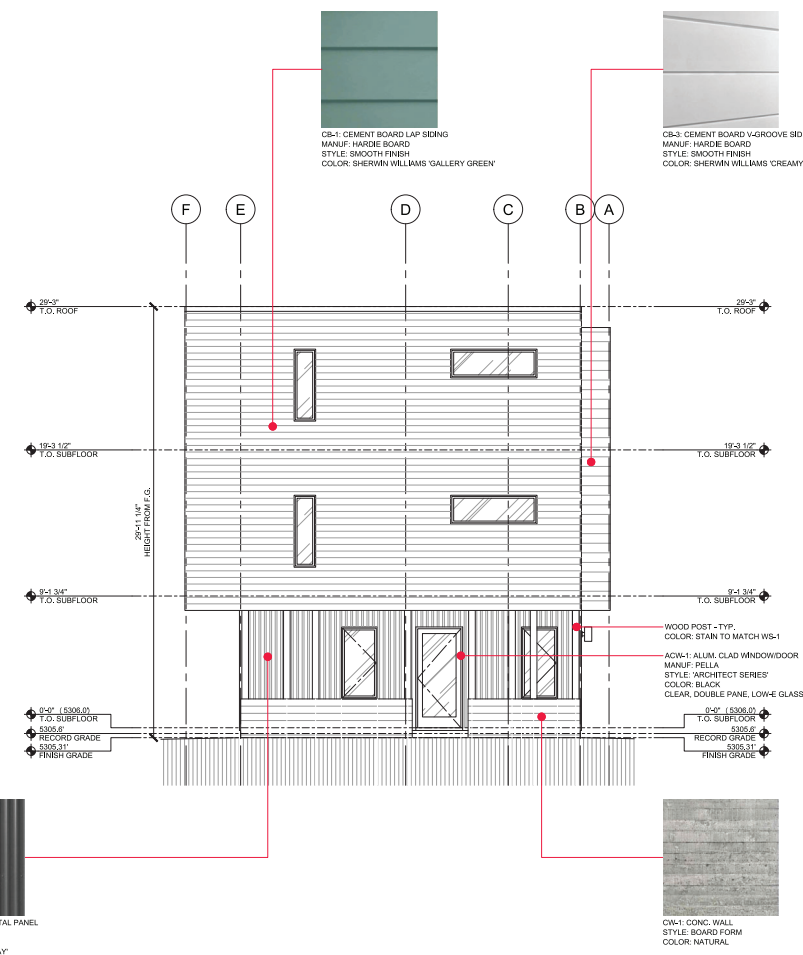
BUILDING
 ELEVATIONS

A203

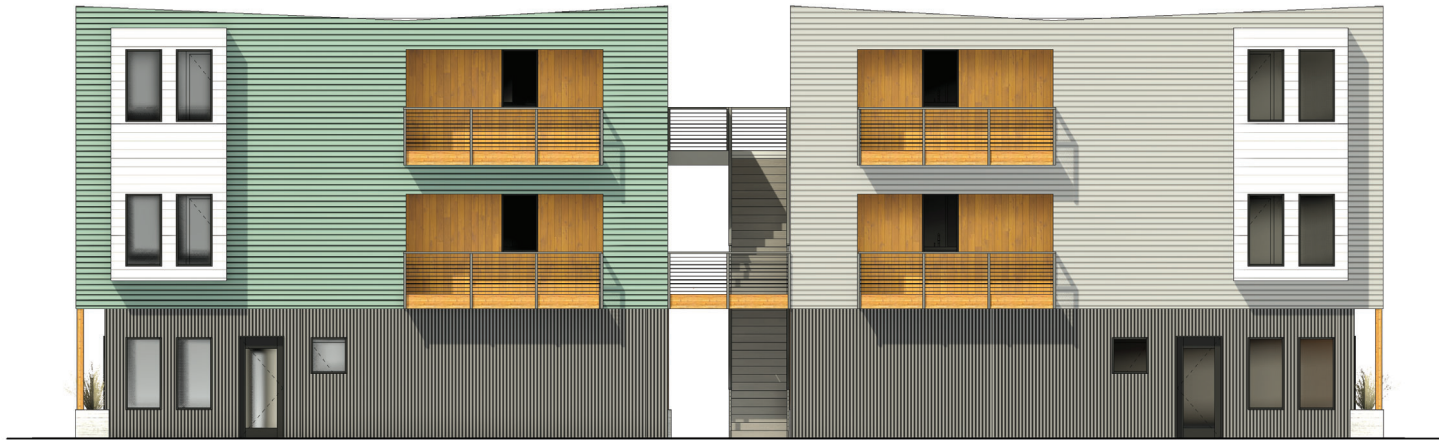
MATERIALS AND FINISHES: ALL MATERIALS AND FINISHES TO BE SUPPLIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAILEY AND THE STATE OF IDAHO.



WEST ELEVATION
 SCALE: 1/4" = 1'-0"
 2



EAST ELEVATION
 SCALE: 1/4" = 1'-0"
 1



CONCEPTUAL NORTH ELEVATION
SCALE: 1/4" = 1'-0"



CONCEPTUAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



CONCEPTUAL WEST ELEVATION
SCALE: 1/4" = 1'-0"



CONCEPTUAL EAST ELEVATION
SCALE: 1/4" = 1'-0"

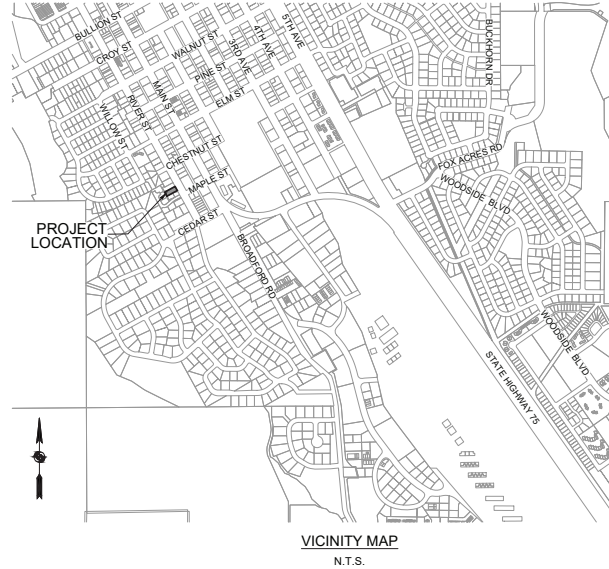
SIX THIRTY SEVEN RIVER STREET

HAILEY, IDAHO

NOVEMBER 2024

GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE. OPAL ENGINEERING, PLLC IS NOT RESPONSIBLE FOR IDAHO POWER OR OTHER DRY UTILITY SERVICE REQUEST.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D4958. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (TO STANDARD 703.04, 2") SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (TO STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 (TO T-91).
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED PRIOR TO REPLACING ASPHALT. THE UNDERLYING SURFACE INCLUDING VERTICAL SAWN CUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705 AND CITY OF HAILEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1 WITH A MINIMUM OF 1.5 LB/SYD FIBER REINFORCEMENT. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-04. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPCW 703.3.5), AND POST POUR CURE SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HAILEY PRIOR TO INSPECTIONS.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.010 A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY ALPINE ENTERPRISES INC., RECEIVED ON APRIL 19, 2024.



SHEET INDEX

| SHEET# | DESCRIPTION |
|--------|--------------------------------|
| C0.1 | COVER SHEET |
| C0.2 | DETAIL SHEET |
| C0.3 | DETAIL SHEET |
| C1.0 | SITE GEOMETRY AND GRADING PLAN |
| C1.1 | SITE IMPROVEMENTS PLAN |

CIVIL ENGINEER
SAMANTHA STAHLNECKER, PE
OPAL ENGINEERING, PLLC
416 S. MAIN STREET SUITE 204
PO BOX 2530
HAILEY, IDAHO 83333



| REVISION NO. | DATE | DESCRIPTION |
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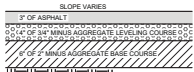
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CONSTRUCTION**

COVER SHEET

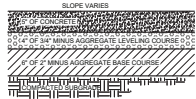
SIX THIRTY SEVEN RIVER STREET
PREPARED FOR MCINTOSH HOLDINGS, LLC.

24010
PROJECT NUMBER

C0.1

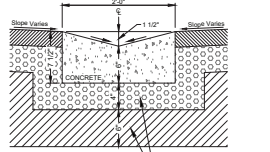


1
C0.2 **TYPICAL ASPHALT SECTION**
N.T.S.



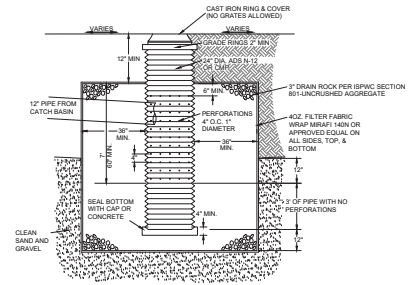
- NOTES:**
1. INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 2. TRANSVERSE PERFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 3. SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2" WIDE, 6" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 4. WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 6' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 5. SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
 6. MATERIALS SHALL CONFORM WITH CURRENT ISPEC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 7. CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

2
C0.2 **TYPICAL CONCRETE SECTION**
N.T.S.

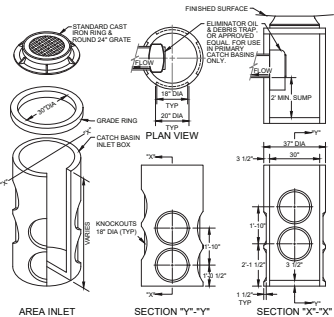


- NOTES:**
1. SUBGRADE CAN BE 2" TYPE I OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
 2. MATERIALS SHALL CONFORM WITH CURRENT ISPEC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 4. 12-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 5. CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-15 FEET MAXIMUM SPACING (8 FEET WIDELWALK).

3
C0.2 **24" WIDE CONCRETE VALLEY GUTTER**
N.T.S.

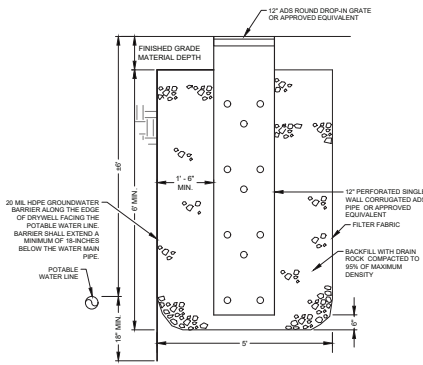


4
C0.2 **CITY OF HAILEY DRYWELL DETAIL (18.14.010.D4)**
N.T.S.

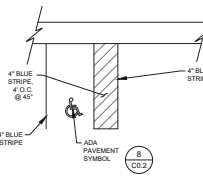


- CATCH BASIN INSTALLATION NOTES:**
1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE SECOND STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY. NOT ON SATELLITE CATCH BASINS.
 3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPEC SECTION 205 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

5
C0.2 **30" DIAMETER PRIMARY CATCH BASIN**
N.T.S.

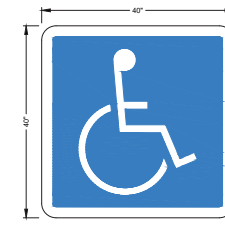


6
C0.2 **LANDSCAPE DRYWELL**
N.T.S.



- NOTES:**
1. MAXIMUM GRADE IN ANY DIRECTION IS 2.0%.
 2. ALL ROAD STRIPING SHALL BE 125mm THERMOPLASTIC.

7
C0.2 **ADA PARKING DETAIL**
N.T.S.



- NOTES:**
1. ADA SYMBOL SHALL BE WHITE ON BLUE WITH BORDER. PREMARK HANDCAP WITH VIZIGRIP, 90MIL THERMOPLASTIC OR APPROVED EQUAL.

8
C0.2 **ADA SYMBOL**
N.T.S.



PURPOSE: ISSUE FOR DESIGN REVIEW (11/22/2024)

| REVISION NO. | DATE | DESCRIPTION |
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DETAIL SHEET

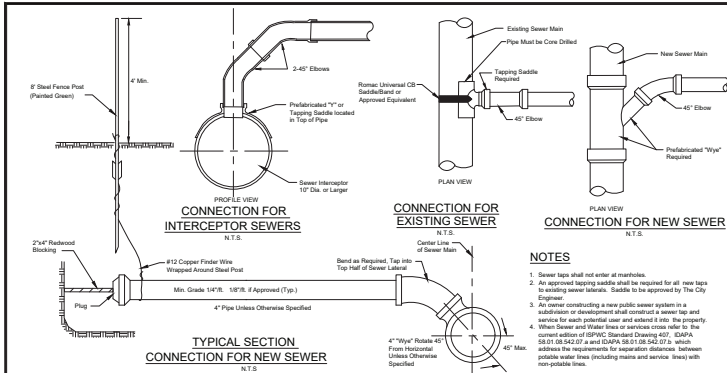
SIX THIRTY SEVEN RIVER STREET

PREPARED FOR MCLINTOSH HOLDINGS, LLC.

24010
PROJECT NUMBER

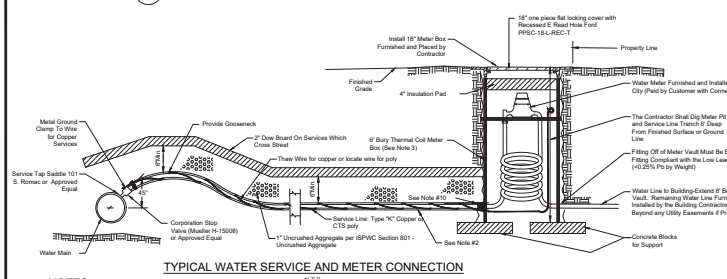
C0.2

1. REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or otherwise without the express written consent of Opal Engineering, P.L.L.C.



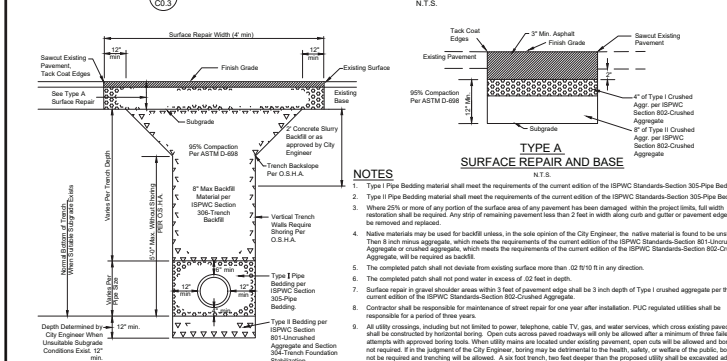
1 CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)

- NOTES**
- Sewer taps shall not enter air manholes.
 - All approved tapping saddles shall be required for all new taps to existing sewer laterals. Saddles to be approved by the City Engineer.
 - An owner constructing a new public water system in a subdivision or development shall construct a water and sewer main for each potential user and extend it into the property. When Sewer and Water Lines are installed, they shall conform to the current edition of ISPW Standards Drawing 407, IDAPA 58.01.08.542.07 and IDAPA 58.01.08.542.07a, which address the requirements for separation distance between potable water lines (including mains and service lines) with non-potable lines.



2 CITY OF HAILEY RESIDENTIAL WATER SERVICE CONNECTION DETAIL (18.14.010.B.3)

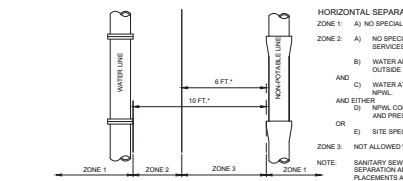
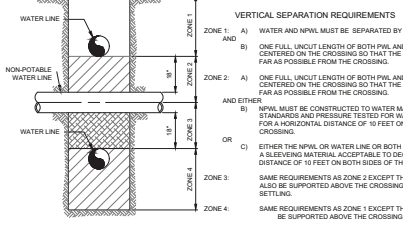
- NOTES**
- Water Services shall be installed in accordance with the current edition of the ISPW-Section 404-Water Service Line and Meters.
 - Water Service Line shall have a min. burst depth.
 - 3/4" Meter valves shall be Mueller 330C312728BN or Ford F1-28-386-18-27-1/2".
 - 1/2" Meter valves shall be Mueller 330C312728BN or Ford F1-28-386-18-27-1/2".
 - 2" Meter Valves shall be Mueller 505072728BN or equal.
 - Service line shall be 3/4" diameter Type K copper or polyethylene pressure pipe (PE) and 1/2" copper water line (CTS) unless otherwise specified. Copper service pipe shall be installed with plastic pipe sleeves running from connection one to well with both ends capped with 1/2" x 1/2" PVC 45502 2" cap type.
 - CAUTION OPEN CONNECTION VALVE BEFORE BACKFLW.
 - An owner constructing a new public water system in a subdivision or development shall construct a water and sewer main for each potential user and extend it into the property. When Sewer and Water Lines are installed, they shall conform to the current edition of ISPW Standards Drawing 407, IDAPA 58.01.08.542.07 and IDAPA 58.01.08.542.07a, which address the requirements for separation distance between potable water lines (including mains and service lines) with non-potable lines.
 - All copper service shall be wrapped with #6 gauge copper wire thermally insulated wrap every 2' in 12 AWG copper wire wrapped around at PVC pipe at a minimum of 10 foot intervals for full length of the pipe. Run wire to top of meter.
 - Water service lines which cross the street shall be installed with 2" thick by 2" wide Dow board. Installation shall be installed from the water main to the vault.
 - No service or irrigation connections within 6 feet of meter vault.
 - Separate service connections to main by a minimum of 2 feet and stagger multiple connections made on the pipe using the circumference.
 - Materials used shall be compliant with ANSI/NSF 6091.
 - All service lines shall conform to the vertical and horizontal separation requirements per DEC.
 - All parts must be brass and compliant with the lead free rule (Pb 2.5 PPM by weight).
 - All brackets and rod end numbers specified herein, an approved equal, shall be required. Approved equals shall be determined by the City.



3 TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)

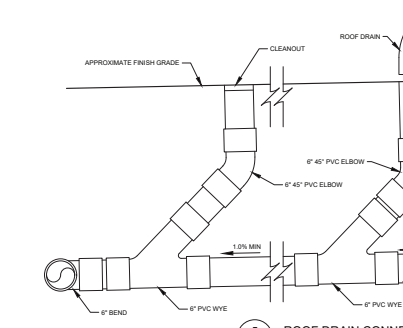
- NOTES**
- Type I Pipe Bedding material shall meet the requirements of the current edition of the ISPW Standards-Section 305-Pipe Bedding.
 - Type II Pipe Bedding material shall meet the requirements of the current edition of the ISPW Standards-Section 305-Pipe Bedding.
 - Where 25% or more of any portion of the surface area of any pavement has been damaged during the project limits, full width replacement shall be required. Any step of remaining pavement less than 1/2" with existing curb and/or pavement edge shall be removed and replaced.
 - Native materials may be used for backfill unless, at the sole option of the City Engineer, the native material is found to be unstable. Then it must be replaced with aggregate, which meets the requirements of the current edition of the ISPW Standards-Section 801-Crushed Aggregate or crushed aggregate, which meets the requirements of the current edition of the ISPW Standards-Section 802-Crushed Aggregate, will be required as backfill.
 - The completed patch shall not deviate from existing surface more than .02" to 1" in any direction.
 - The completed patch shall not pond water in excess of 1/2" in depth.
 - Surface repair in gravel shoulder areas shall be 3 feet of pavement edge shall be 3 inch depth of Type I crushed aggregate per the current edition of the ISPW Standards-Section 802-Crushed Aggregate.
 - Contractor shall be responsible for maintenance of street repair for one year after installation. PUC regulated utilities shall be responsible for a period of three years.
 - All utility coverages, including but not limited to power, telephone, cable TV, gas, and water services, which cross existing paved joints shall be constructed by horizontal boring. Open cuts across paved roadways will only be allowed after a minimum of three labor attempts with approved boring tools. When utility mains are located with an approved and boring is not required. If, in the judgment of the City Engineer, boring may be detrimental to the health, safety, or welfare of the public, boring will not be required and excavating will be allowed. A six foot trench, ten feet deeper than the proposed utility shall be excavated adjacent to the edge of pavement for evaluation of soil conditions by the City Engineer to determine if boring shall be attempted or if hand-dug will be allowed.
 - All trenches shall be repaired within 72 hours of starting the work unless prior approval to delay repairing has been provided by the City Engineer.
 - Concrete Slurry Mix Design
Coarse Aggregate (3/8" minus) 2,600 lbs
Sand 800 lbs
Cement 94 lbs (max)
11 gal (max)

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



4 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION

- VERTICAL SEPARATION REQUIREMENTS**
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE-FALL UNCLUT LENGTH OF BOTH PNL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE-FALL UNCLUT LENGTH OF BOTH PNL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- AND EITHER
- OR
- ZONE 3: EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVING MATERIAL ACCEPTABLE TO DEC FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES
- B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS
- AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL.
- AND EITHER
- OR
- ZONE 3: EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVING MATERIAL ACCEPTABLE TO DEC FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- OR
- ZONE 4: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10" HORIZONTAL SEPARATION AND 3" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEC.



5 ROOF DRAIN CONNECTION AND CLEANOUT

- NOTES**
- Thaw wire to be installed inside and throughout length of pipe from roof drain inlet or rain gutter and continuous to drywell.

- SEWER CONSTRUCTION NOTES**
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPW) AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF PLANS STAMPED WITH THE DEC APPROVAL STAMP AND A COPY OF THE DEC APPROVAL LETTER ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL SERVICES SHALL COMPLY WITH IDAPA 58.01.08.542.07 a and IDAPA 58.01.08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.3). IN ADDITION, WATER SERVICES SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME LOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.
 - POTABLE/NON-POTABLE CROSSINGS SHALL COMPLY WITH ISPW STANDARD DRAWING NO. SD-407 AND IDAPA SECTION 58.01.08.542.07.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
 - SEWER SERVICE LINES SHALL BE PLACED AT A SLOPE OF 2%, WITH MARKERS PER ISPW. CLEANOUTS ARE REQUIRED AT CHANGES IN ALIGNMENT, GRADE, AND MINIMUM 15' LENGTH.
 - ALL PIPE SHALL BE BEDDED WITH (ISPW) TYPE I BEDDING MATERIAL.
 - TRENCHES SHALL BE BACK-FILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM 1557.
 - THE CONTRACTOR SHALL PRESERVE TAP ALL SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION".

- WATER CONSTRUCTION NOTES**
- WATER SERVICE CONNECTIONS SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS. NO WATER SERVICE SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.
 - WATER SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6'-0") MEASURED FROM FINISHED GRADE.
 - ALL 4" AND LARGER WATER LINES SHALL BE CONSTRUCTED WITH AWMA C-900, CLASS 235 PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH ISPW SECTION 401.3.6 AND THE CITY OF HAILEY STANDARDS. TRACES WIRE SHALL BE NO. 12 GAUGE COPPER LOCATING WIRE INSULATED PER ISPW SECTION 401 AND THE CITY OF HAILEY SPECIFICATIONS.
 - ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANSI/NSF STANDARD 6091. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (<0.25% Pb BY WEIGHT).
 - ALL TEES, PLUGS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING (MECHANICAL RESTRAINTS ARE NOT ALLOWED). THRUST BLOCKS SHALL CONFORM TO ISPW SD-403 AND THE CITY OF HAILEY STANDARDS.
 - ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEM, 10" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING AWMA STANDARDS PER ISPW SECTION 402. ALL GATE VALVES LOCATED IN PAVEMENT SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER ISPW SD-406 AND THE CITY OF HAILEY SPECIFICATIONS.
 - ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWMA C-110 FOR 250 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
 - FIRE HYDRANTS SHALL CONFORM WITH THE CITY OF HAILEY STANDARDS.
 - ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM T-304 STAINLESS STEEL WITH ANSI/AWWA C-207 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A-380. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT FLUC.
 - ALL WATER MAINS SHALL COMPLY WITH IDAPA 58.01.08.542.07 a and IDAPA 58.01.08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.3). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
 - ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH ISPW SECTION 401 AND THE CITY OF HAILEY STANDARDS. A DEC APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS INCLUDING FIRE SUPPRESSION SERVICES. IF APPLICABLE IN ACCORDANCE WITH THE CITY OF HAILEY WATER DEPARTMENT, FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAHO BACKFLOW PREVENTION REQUIREMENTS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 6".
 - THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LINE TO THE GREATEST EXTENT POSSIBLE. WHILE INSTALLING THE NEW WATER MAIN AND SERVICES MINIMIZING DISRUPTION TO EXISTING WATER SYSTEM UTILITIES. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED AND FLUSHED PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SHUTDOWN IS 4 HOURS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REMOVING AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY, INCLUDING COMPLETION OF BACKFILL OF THE PILE ZONE. AT NO ADDITIONAL COST TO THE OWNER, THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.
 - EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND CONFLICTS.



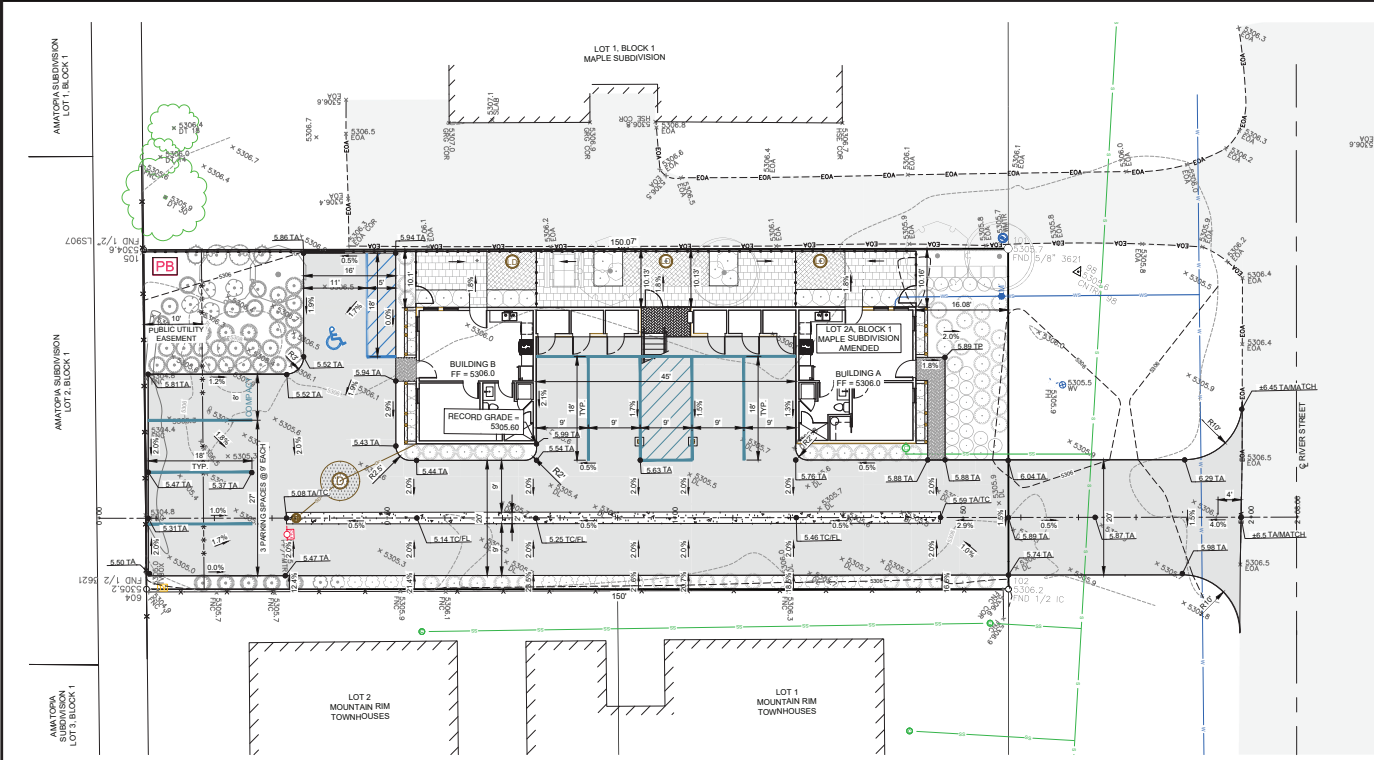
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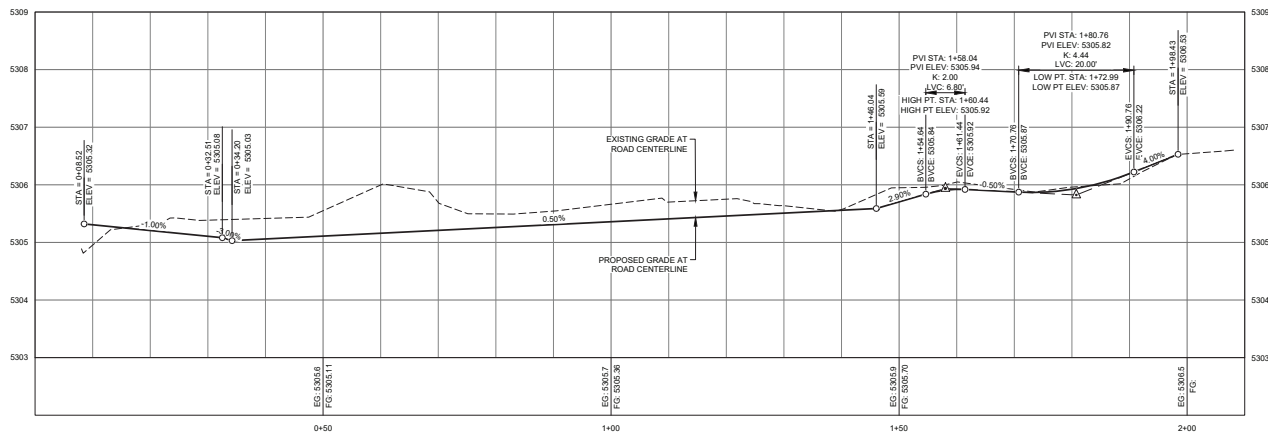
PRELIMINARY NOT FOR CONSTRUCTION

DETAIL SHEET
SIX THIRTY SEVEN RIVER STREET
PREPARED BY MICHAEL HOLDINGS, LLC.

24010
PROJECT NUMBER
C0.3



PLAN VIEW: PARKING ACCESS
SCALE: 1" = 10'



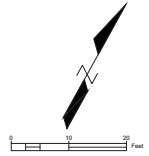
PROFILE VIEW: PARKING ACCESS
SCALE: 1" = 10' R, 1" = 1' V

NOTES

- SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES.
- SEE SHEET C0.2 FOR WATER AND SEWER CONSTRUCTION NOTES.

LEGEND

| | | | |
|--|--|--|----------------------------------|
| | PROPERTY BOUNDARY LINE | | 5' CONTOUR INTERVAL |
| | ADJOINER'S LOT LINE | | 1' CONTOUR INTERVAL |
| | CENTERLINE STREET | | NEW ASPHALT |
| | EGA = EDGE OF ASPHALT | | CONCRETE |
| | ASPHALT | | PAVERS PER LANDSCAPE PLAN |
| | FNC = EXISTING FENCE | | PAINT |
| | 5' CONTOUR INTERVAL PER ALPINE 2022 | | ADA PAINT & SYMBOL |
| | 1' CONTOUR INTERVAL PER ALPINE 2022 | | WATER SERVICE |
| | EXISTING BUILDING STRUCTURE | | SEWER SERVICE |
| | DL = DRPLINE/EDGE OF VEGETATION | | STORM DRAIN |
| | 10' PUBLIC UTILITY EASEMENT PER INSTRUMENT NUMBER 458873 | | FLOW LINE |
| | WATER MAN | | CATCHBASIN |
| | SEWER MAN | | DRYWELL |
| | UNDERGROUND PHONE LINE | | LANDSCAPE DRYWELL |
| | UNDERGROUND CABLE/ COMM LINE | | ROOF DRAIN |
| | SURVEY CONTROL | | DOWNSPOUT |
| | FOUND 1/2" REBAR AS SHOWN | | TRANSFORMER |
| | FOUND 5/8" REBAR AS SHOWN | | 2.0% GRADE |
| | WV = WATER VALVE | | SPOT GRADE ELEVATION DESCRIPTION |
| | WMTR = WATER METER | | |
| | FH = FIRE HYDRANT | | |
| | PP = POWER POLE | | |
| | PMTR = POWER METER | | |
| | TBOX = CABLE BOX | | |
| | DT = DECIDUOUS TREE | | |
| | ILEGIBLE CAP | | |
| | HOUSE CORNER | | |
| | GARAGE | | |
| | GARAGE SLAB | | |



PURPOSE: ISSUE FOR DESIGN REVIEW (11/22/2024)



PRELIMINARY NOT FOR CONSTRUCTION

SITE GEOMETRY AND GRADING PLAN
SIX THIRTY SEVEN RIVERS STREET
PREPARED FOR MOUNTAIN RIM TOWNHOUSES, LLC.

24010 PROJECT NUMBER
C1.0

1. REUSE OF DRAWINGS: these drawings, or any portion thereof, shall not be used in any Project or otherwise without the express written consent of Opal Engineering, PLLC.

| REVISION NO. | DATE | DESCRIPTION |
|--------------|------|-------------|
| | | |
| | | |
| | | |



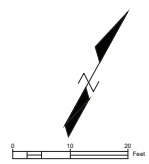
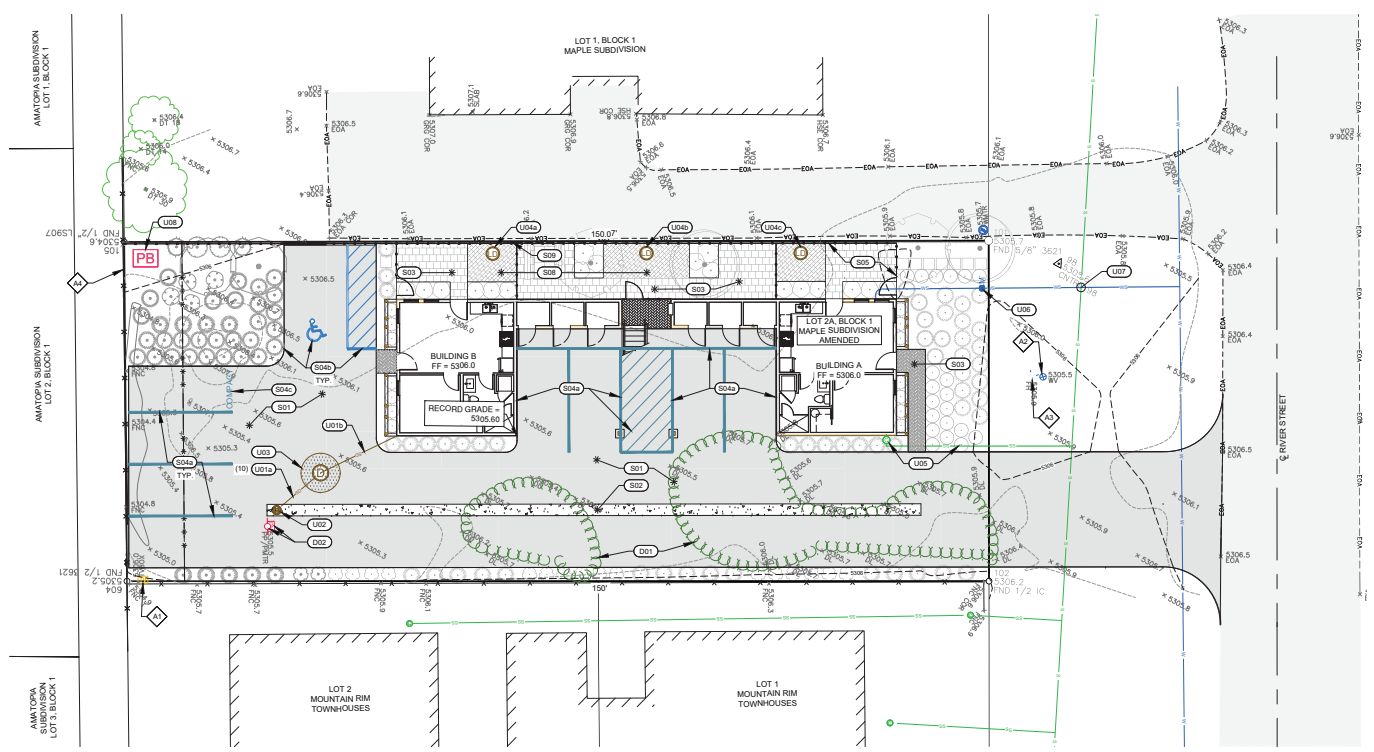
**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

SITE IMPROVEMENTS PLAN
SIX THIRTY SEVEN RIVER STREET
 PREPARED FOR MOUNTAIN RIM, LLC

24010
 PROJECT NUMBER

C1.1

DATE OF DRAWINGS: THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED FOR ANY PROJECT OR SUBMISSION UNLESS THEY ARE APPROVED BY THE ENGINEER AT 1400 W. VALLEY DRIVE, BOYD, IDAHO 83725.



NOTES
 1. SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES.
 2. SEE SHEET C0.2 FOR WATER AND SEWER CONSTRUCTION NOTES.

LEGEND

| EXISTING ITEMS | PROPOSED ITEMS |
|---|-----------------------|
| — P— PROPERTY BOUNDARY LINE | — 5' CONTOUR INTERVAL |
| — A— ADJOINER'S LOT LINE | — 1' CONTOUR INTERVAL |
| — C— CENTERLINE STREET | — NEW ASPHALT |
| — EDA— EDGE OF ASPHALT | — CONCRETE |
| — F— F— EXISTING FENCE | — PAVERS |
| — 5' CONTOUR INTERVAL PER ALPINE 2022 | — FENCE |
| — 1' CONTOUR INTERVAL PER ALPINE 2022 | — PAINT |
| — EXISTING BUILDING STRUCTURE | — ADA PAINT & SYMBOL |
| — DL— DRIP LINE EDGE OF VEGETATION | — WATER SERVICE |
| — 10' PUBLIC UTILITY EASEMENT PER INSTRUMENT NUMBER 45878 | — SEWER SERVICE |
| — W— WATER MAIN | — STORM DRAIN |
| — S— SEWER SERVICE | — CATCHBASIN |
| — U— UNDERGROUND PHONE LINE | — DRYWELL |
| — U— UNDERGROUND CABLE/COMM LINE | — LANDSCAPE DRYWELL |
| — S— SURVEY CONTROL | — ROOF DRAIN |
| — F— FOUND 1/2" REBAR AS SHOWN | — DOWNSPOUT |
| — F— FOUND 5/8" REBAR AS SHOWN | — TRANSFORMER |
| — WV— WATER VALVE | |
| — WMTR— WATER METER | |
| — FH— FIRE HYDRANT | |
| — PP— POWER POLE | |
| — PMTR— POWER METER | |
| — VB— VBOX = CABLE BOX | |
| — DT— DECIDUOUS TREE | |
| — G— GROUND SHOT / SPOT ELEVATION | |
| — IC— ILLIGIBLE CAP | |
| — HSC— HOUSE CORNER | |
| — GRG— GARAGE | |
| — SLAB— GARAGE SLAB | |

DEMOLITION KEYNOTES

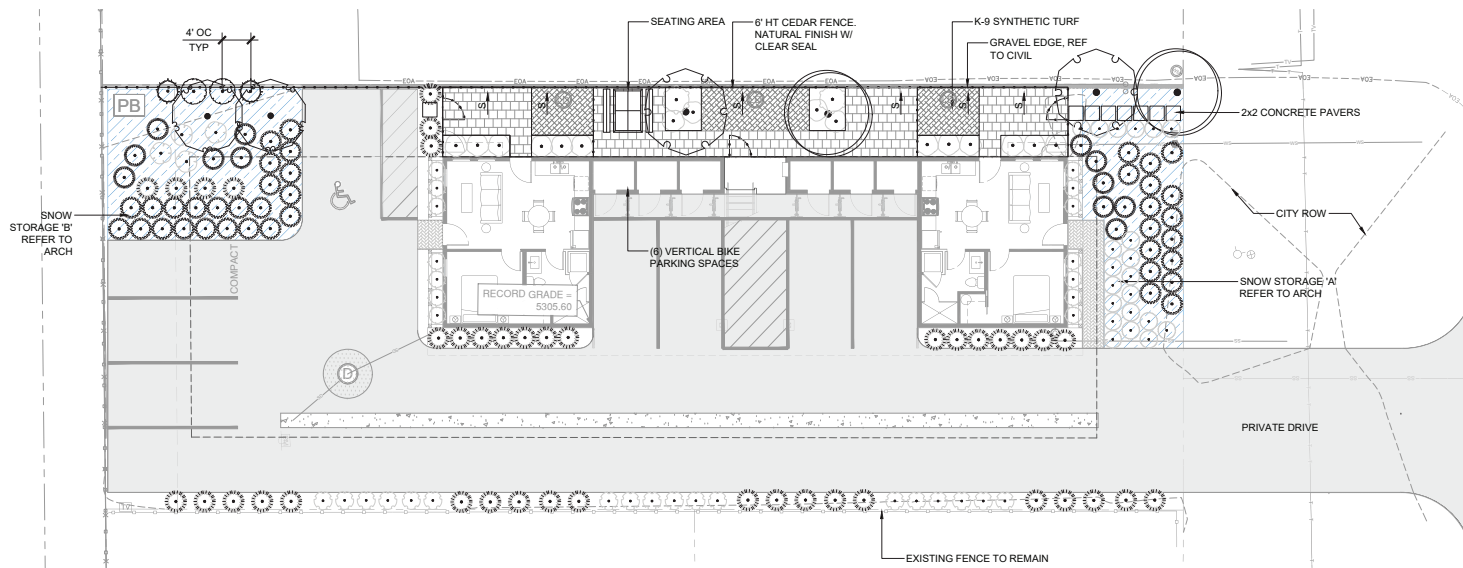
- (D1)** REMOVE AND DISPOSE OF EXISTING TREE / VEGETATION.
- (D2)** REMOVE EXISTING POWER SERVICE. COORDINATE WITH IDAHO POWER.

SITE IMPROVEMENT KEY NOTES

- (S1)** CONSTRUCT ASPHALT DRIVEWAY. SEE DETAIL 1, SHEET C0.2.
- (S2)** CONSTRUCT 2' WIDE CONCRETE VALLEY GUTTER. SEE DETAIL 3, SHEET C0.2.
- (S3)** INSTALL PAVER WALKWAY / PATIO. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS FOR PATTERNS AND MATERIALS.
- (S4)** INSTALL ROAD STRIPING / PAINT.
 - a. WHITE ASPHALT PARKING STRIPING (4" WIDE), MATCH CITY PATTERNS.
 - b. BLUE ADA PARKING STRIPING (4" WIDE) AND SYMBOLS. SEE DETAIL 7 AND 8, SHEET C0.2.
 - c. WHITE "COMPACT" LETTERS.
- (S5)** INSTALL FENCE. REFER TO LANDSCAPE PLANS.
- (S6)** INSTALL BIKE RACK. REFER TO LANDSCAPE PLANS.
- (S7)** LANDSCAPE AREA. REFER TO LANDSCAPE PLANS.
- (S8)** INSTALL SYNTHETIC TURF. PER LANDSCAPE PLANS.
- (S9)** INSTALL GRAVEL. PER LANDSCAPE ARCHITECT.

UTILITY KEY NOTES

- (U1)** INSTALL 0304 PVC STORM DRAIN PIPE. SEE DETAIL 1 / C0.3 FOR TRENCHING.
 - a. 12" @ SLOPE = 2.0% MIN.
 - b. 6" @ SLOPE = 1.0% MIN., DOWNSPOUT CONNECTION. SEE DETAIL 5, SHEET C0.2 FOR DOWNSPOUT CONNECTIONS.
 - (U2)** INSTALL CATCH BASIN. SEE DETAIL 5, SHEET C0.2. RIM ELEV. = 5304.93 INV. OUT = 5305.93
 - (U3)** INSTALL LANDSCAPE DRYWELL. SEE DETAIL 4, SHEET C0.2. RIM = 5305.29 INV. IN = 5305.0
 - (U4)** INSTALL LANDSCAPE DRYWELL. SEE DETAIL 4, SHEET C0.2.
 - a. RIM = 5305.7
 - b. RIM = 5305.7
 - c. RIM = 5305.7
 - (U5)** INSTALL 4" PVC SEWER SERVICE AT SLOPE = 2.0% MIN. PER DETAIL 1 / C0.3. SEE DETAIL 3 / C0.3 FOR TRENCHING.
 - (U6)** INSTALL 1-1/2" WATER SERVICE. SEE DETAIL 3 / C0.3 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 2 / C0.3 FOR SERVICE CONNECTION, METER BOX, AND INSULATION REQUIREMENTS.
 - (U7)** POTABLE / NON-POTABLE WATER LINE CROSSING. REFER TO DETAIL 4 / C0.3.
 - (U8)** APPROXIMATE LOCATION OF PROPOSED TRANSFORMER BY IDAHO POWER. CONTRACTOR SHALL COORDINATE WITH IDAHO POWER FOR EQUIPMENT DIMENSIONS AND REQUIRED SETBACKS / ADJACENT STRUCTURE MATERIALS.
- RETAIN AND PROTECT:
- COMMUNICATIONS PEDESTAL.
 - WATER VALVE
 - FIRE HYDRANT
 - FENCE



LANDSCAPE LEGEND

| | |
|--|--|
| | ASPHALT (REF TO CIVIL) |
| | CONCRETE PAVER PATIOS |
| | 2' x 2' PAVER STEPS |
| | SNOW STORAGE (REF TO ARCH) |
| | SYNTHETIC TURF AREA (440 SF) |
| | SLOPE OF HARD SURFACES (1/8" FT) AWAY FROM BUILDINGS |



LANDSCAPE SPECIFICATIONS & NOTES

- SCOPE OF WORK**
 - The landscaping and irrigation work is part of a larger site project resulting in disturbance to the site, landscape and irrigation. As such, the landscape contractor shall coordinate all work with the general contractor, both before any construction begins, and during the course of construction.
- MATERIALS**
 - Topsail. Topsoil shall be a 3 way blend of the following products: sandy loam, topsoil and organic compost from Winn's Compost 208-309-2525.
 - Mulch. Mulch shall be crushed stone, applied to a 3" compacted depth on all beds with filter fabric underneath. Mulch color samples to be approved by owner.
 - Fertilizer. Agraform 21-gram tablet time release fertilizer shall be used in all plantings. Place 1 for each ground cover, 2 for each shrub and 4 for each tree. They shall be placed in the plant pits as detailed. Also, top dress all plants with a suitable 'starter' fertilizer.
 - Tree Stakes. Tree stakes shall be 2" diameter x 8' length Lodgepole pine. Fasteners shall be 1" PVC Chain-Lock, placed as detailed.
- SOIL PREPARATION**
 - Prior to any landscape work, contractor shall remove, or have removed, all debris from the other building trades from the landscape surfaces. NO landscape work shall commence until the areas are cleared of other trades debris.
 - Cultivate the existing ground surface to a minimum depth of 8" and remove all rocks over 1", existing roots and other debris.
 - Finish grade the subgrade to adjoining surfaces in preparation of adding specified topsoil.
 - Beds. Place a minimum of 8" of specified topsoil on all beds and till or cultivate the topsoil a minimum depth of 12". Remove all rock and debris which may surface. Finished grade of topsoil shall be 2.5" below adjoining paved surfaces, allowing 2" for mulch. Therefore, finished grade shall be 1/2" below paved surface.
- PLANTING OF TREES, SHRUBS AND GROUNDCOVERS**
 - Contractor responsible to verify quantities.
 - Contractor is to confirm that all beds are prepared and ready for planting, without interference with other trades.
 - Layout all plants as per plan and approval by Landscape Architect or Owner's Rep, making sure the plants are orientated to give best appearance to the viewer.
 - Pit plant all plants into prepared soil and plant per the details. While planting, hand water the plants into the plant pits thoroughly soaking the root balls and soil. Place fertilizer tablets as specified, filling plant pits with specified topsoil. Top dress fertilizer when completed.
 - Trees planted 5' or less from paved surfaces shall be planted with a root barrier control.
 - All plant material shall be warranted to local conditions and zone 4.
- WARRANTY**
 - All landscaping shall be warranted for one year from FINAL ACCEPTANCE. Plants requiring replacement shall be of the original variety and size as specified herein.
- IRRIGATION**
 - An automatic irrigation system using drip irrigation to be installed through the Bidder Design process.
 - The irrigation system to provide complete coverage and is properly zoned for each hydrozone.
 - Irrigation may be designed to be temporary and removed after 2 years for plant establishment.
 - Contractor to confirm location of controller with owner.
 - Contractor to provide Coverage Test for approval by Landscape Architect or Owner.
 - Contractor to schedule controller and provide instruction manual to owner at completion.

LANDSCAPE NOTES

BIKE PARKING

REQUIRED: 25% OF THE REQUIRED NUMBER OF PARKING SPACES (6x.25=1.5)
 PROPOSED: 6 BIKE PARKING SPACES

OPEN SPACE REQUIREMENT

REQUIRED: 10% OF TOTAL LOT AREA = 884 SF
 PROPOSED: 960 SF (111%)

TREE SPECIES REQUIREMENTS

PROPOSED PLANTING PLAN ADDRESSING CITY OF HAILEY CODE 17.06.080.4.D
 10 TREES PROPOSED FOR PLANTING
 20% MAX PER TREE VARIETY

| TREE # | % | SPECIES |
|--------|------|---------------------------|
| 2 | 20% | ROYAL RAINDROPS CRABAPPLE |
| 2 | 20% | SPRING SNOW CRABAPPLE |
| 2 | 20% | SWEDISH ASPEN |
| 2 | 20% | WICHITA BLUE JUNIPER |
| 2 | 20% | SKYROCKET JUNIPER |
| 10 | 100% | |

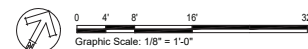
PLANT SCHEDULE

| SYMBOL | BOTANICAL / COMMON NAME | CONT | CAL | QTY |
|----------------------|---|-----------|-----|-----|
| | JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER | 4'6" HT | B&B | 2 |
| | JUNIPERUS SCOPULORUM 'WICHITA BLUE' / WICHITA BLUE JUNIPER | 4'6" HT | B&B | 2 |
| | MALUS X ROYAL RAINDROPS / ROYAL RAINDROPS CRABAPPLE | 2.5' CAL. | B&B | 2 |
| | MALUS X SPRING SNOW / SPRING SNOW CRABAPPLE | 2.5' CAL. | B&B | 2 |
| | POPULUS TREMULA 'ERECTA' / EUROPEAN COLUMNAR ASPEN | 2.5' CAL. | B&B | 2 |
| SHRUBS | | | | |
| | HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE HYDRANGEA | 3 GAL. | | 2 |
| | PNUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE | 3 GAL. | | 12 |
| | SALVIA X SYLVESTRIS 'MAY NIGHT' / MAY NIGHT SAGE | 2 GAL. | | 14 |
| | SPIRAEA BETULIFOLIA 'TOR' / WHITE FROST™ BIRCHLEAF SPIREA | 2 GAL. | | 4 |
| | SPIRAEA JAPONICA 'WALBUMA' / MAGIC CARPET JAPANESE SPIREA | 2 GAL. | | 18 |
| GRASSES | | | | |
| | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS | 2 GAL. | | 41 |
| | HELICITOTRICHON SEMPERVIRENS / BLUE OAT GRASS | 1 GAL. | | 39 |
| GROUND COVERS | | | | |
| | ACEGPODILUM PODOGRARIA / BISHOPS WEED (SNOW ON THE MOUNTAIN) | 1 GAL. | | 16 |
| | NEPETA X FAASSENII 'NOVANEJUN' / JUNIOR WALKER™ CATMINT | 4" | | 21 |

PROPOSED BIKE RACKS



PROPOSED 6' HT WOOD FENCE DESIGN



LYOON
 Landscape Architects
 2111 South C Street, Tacoma, WA 98402
 253-209-4033 | lagoon@lyoonla.com



Know what's below.
 Call before you dig.

DRAWING SET:
 DESIGN REVIEW
 SUBMITTAL

REVISIONS:
 REV 1:
 REV 2:
 REV 3:

PROJECT ADDRESS:

SIX THIRTYSEVEN APARTMENTS
 637 S. RIVER STREET
 HAILEY, IDAHO 83333

DESIGN: MAL
 DRAWN: ZA
 CHECKED: MAL

DATE: November 23, 2024
 PROJECT: 637 River St ME
 NUMBER: L1A0493.04

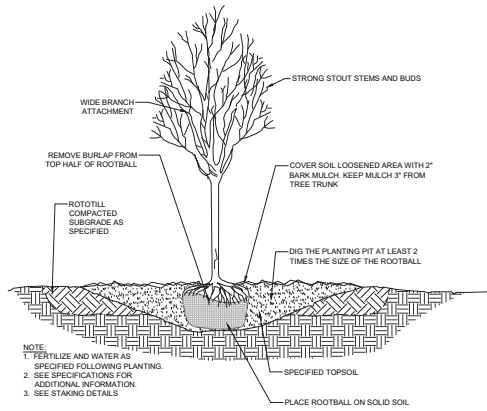
SCALE: 1/8" = 1'-0"

TITLE:

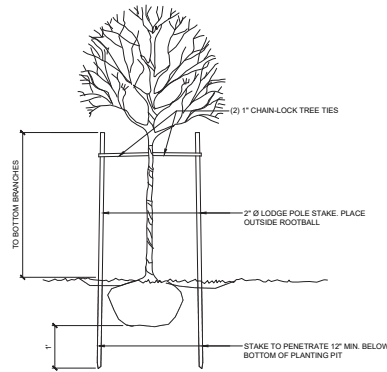
LAYOUT PLAN

SHEET:

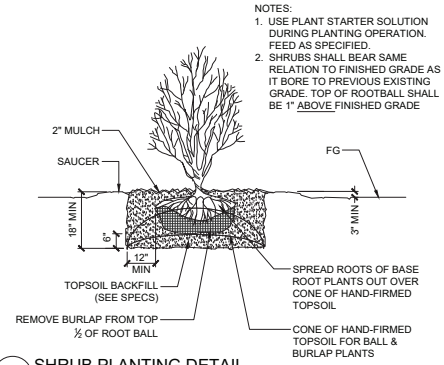
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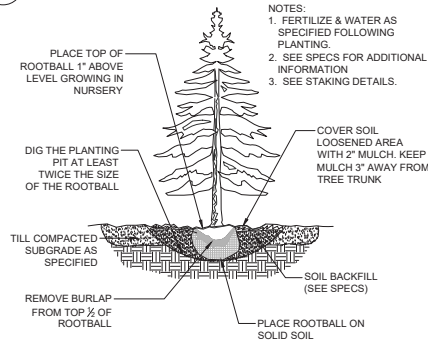
1 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS



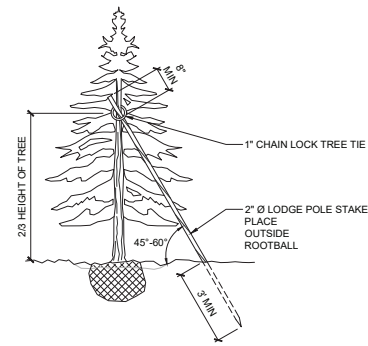
2 DECIDUOUS TREE STAKING DETAIL
SCALE: NTS



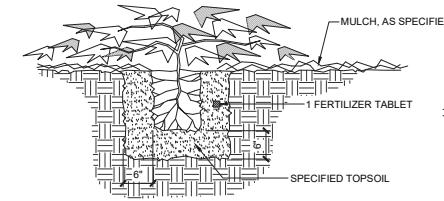
3 SHRUB PLANTING DETAIL
SCALE: NTS



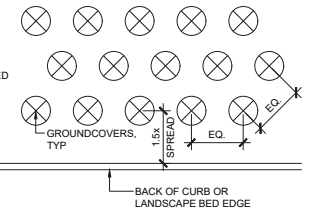
4 CONIFER PLANTING DETAIL
SCALE: NTS



5 CONIFER TREE STAKING
SCALE: NTS



6 GROUNDCOVER PLANTING DETAIL
SCALE: NTS



NOTE:
1. ALL GROUNDCOVER SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING AS PER PLAN, UNLESS SHOWN OTHERWISE
2. SET GROUNDCOVER BACK FROM CURB OR WALKWAY AT LEAST 1-1/2 TIMES THE SPREAD OF SUCH GROUNDCOVER

TREES



Skyrocket Juniper



Wichita Blue Juniper



Swedish Aspen



Royal Raindrops Crabapple



Spring Snow Crabapple

SHRUBS



Annabelle Hydrangea



Dwarf Mugo Pine



May Night Sage



White Frost Birchleaf Spirea



Magic Carpet Japanese Spirea

PERENNIALS & GRASSES



Karl Forester Grass



Walkers Low Catmint



Snow on the Mountain



Blue Oat Grass

Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of January 6, 2025

To: Hailey Planning and Zoning Commission
From: Emily Rodrigue, Community Development City Planner / Resilience Planner
Overview: Consideration of a Design Review Application by Tyler and Laura Jones, represented by Thomas Howland, for a 1,288 square foot addition to the existing residence, as well as a new 937 square foot attached garage. This project is located at 314 N 4th Avenue (Lot 17A, Block 88, Hailey Townsite) within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts. This project is also associated with a Lot Line Adjustment Application, which was considered and approved by the Hailey Planning and Zoning Commission Chair on July 25, 2024.

Hearing: January 6, 2025

Applicant: Tyler and Laura Jones
Location: Lot 17A, Block 88, Hailey Townsite (314 N 4th Avenue)
Zoning: Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts

Notice: Notice for the public hearing was published in the Idaho Mountain Express on December 17, 2024, and mailed to property owners within 300 feet on December 17, 2024. No public comments were received prior to the Public Hearing.

Application: The Applicant is proposing to construct a 1,288 square foot addition to an existing 800 square foot single-family residence. The proposed addition features 1,192 square feet of second-floor living area, containing three (3) bedrooms, two (2) bathrooms, a family room, and approximately 148 square feet of outdoor deck space. Below this second-floor addition, the Applicant is proposing 96 square feet of laundry/utility area and a 937 square foot, two-car garage. An existing 312-square-foot garage (closest to southern lot line) is proposed to be demolished/removed in conjunction with the residential addition. A small shed (less than 120 square feet) will be retained and utilized as job site storage during construction. The new garage will continue to be accessed via the alley, as was the case with the old garage proposed for demolition.

Background: The proposed project is located within the Townsite Overlay District. The purpose of the Townsite Overlay District is stated within the Hailey Municipal Code as follows:

17.04M.010: PURPOSE:

The purpose of the Townsite Overlay District is to promote the health, safety and welfare of current and future residents of the city of Hailey; to modify the bulk requirements of certain zoning districts in order to better respond to the unique conditions and circumstances of the original Hailey townsite; to encourage infill while retaining neighborhood character; to increase the compatibility and lessen the degree of nonconformity of existing structures; to create sufficient flexibility to allow for desirable development; to conserve building resources; and to enhance neighborhoods with increased pedestrian

orientation, all in accordance with the city of Hailey comprehensive plan, for the desirable future development of the city of Hailey. (Ord. 1191, 2015)

A number of components for the proposed project specifically relate to the stated purpose of the Townsite Overlay. These include:

- “unique conditions and circumstances of the original Hailey townsite”
 - As is typical for historic Townsite lots, the proposed project is located on an exceptionally narrow lot that is only 50.95’ (50’ minimum for LR-1 lots in the TO) wide. This width accounts for the previously approved Lot Line Adjustment for this property (July, 2024). The project parcel is also 6,114 square feet in size, just above the 6,000 square foot lot size minimum for LR-1 lots in the TO. Lastly, the Applicant is required to meet a 30% maximum lot coverage, per the Townsite Overlay Bulk Requirements (structure that is two or more stories above grade, with garage). LR-1 parcels outside of the TO are granted a 40% lot coverage maximum.
- “increase the compatibility and lessen the degree of nonconformity of existing structures”
 - The existing single-family residence is nonconforming, as it relates to the northern side yard setback. Nonconformity for setbacks is common throughout the Townsite Overlay District, where there is the highest concentration of historic structures and Hailey’s first platted lots. For reference, Staff have identified approximately seventeen (17) structures within a 2-block radius of the project site that appear to demonstrate lot line nonconformity.

If the Applicant desired to build above the existing structure, they would be required to move the entire building toward the interior of the site, bringing it into conformity with bulk requirements. A new foundation, rerouting of utilities, and likely an entirely new framing structure would be required, in order to bring the residence up to modern Building Codes. Essentially, a demolition and re-build would be required.

Instead, the Applicant has proposed to build an adjoining addition, which adheres to the setback requirements as required by the Limited Residential-1 and Townsite Overlay Districts. This increases compatibility/lessens the degree of nonconformity of the existing structure.

The Design Review Application by Tyler and Laura Jones presents a building design that includes a small, cantilevered portion of second floor living area, adjoined to a second-floor, unenclosed deck. Below this deck is an unenclosed, carport-like feature that leads to the two (2) car garage and utility area on the ground level. The carport feature extends beyond the cantilevered second floor, towards the interior of the structure, remaining unenclosed in its entirety. The carport provides additional parking and usable, unenclosed space on the ground level.

The Applicant’s proposed ground-level addition (garage and laundry/utility room), plus the existing historic residence, produces a lot coverage (29.9%) that is compliant with the lot coverage maximum (30%). However, the inclusion of all portions of the exterior walls of the enclosed second-story addition produces additional square footage that may be included in building footprint calculations, thus producing a footprint of 32.67%.

During the review process of this Application, Staff have identified an opportunity to address unique design considerations/challenges with bulk requirements in the Townsite Overlay, while also protecting Hailey’s historic character, promoting adaptive reuse of existing building materials and structures, and addressing new Housing/Land Use/Sustainability goals that are being established within the Hailey Comprehensive Plan Update. Staff ask that the Commission consider conditional approval for the Jones’ Design Review Application, contingent upon the approval of a Text Amendment to the Hailey Municipal Code. This Text Amendment would grant flexibility of the required bulk requirements limited to only those Applications which are within the Townsite Overlay District and that also explicitly preserve existing historic residences onsite. Applications seeking to apply this Text Amendment in the future would be reviewed by Staff and the Commission on a case-by-case basis. If the Commission concurs, Staff will prioritize the drafting and submittal of this new Text Amendment Application in early 2025.

Procedural History: The Design Review Application was submitted on December 9, 2024, and certified complete on December 13, 2024. A public hearing before the Planning and Zoning Commission will be held on January 6, 2025, in the Hailey City Council Chambers and virtually via Microsoft Teams.

| General Requirements for all Design Review Applications | | | | |
|--|--------------------------|-------------------------------------|---------------------------------------|---|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.050 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | Engineering: Life/Safety: <i>No comments</i> Water and Sewer: <i>No comments</i> Building: <i>No comments</i> Streets: <i>No comments</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.08A Signs | 17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit. <i>Staff Comments</i> <i>N/A -- Signage is prohibited in residential zones.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.040 On-site Parking Req. | See Section 17.09.040 for applicable code. 17.09.040 Single family dwelling: 2 spaces minimum, 6 spaces maximum <i>Staff Comments</i> <i>The Municipal Code requires two (2) parking spaces for each single-family residential unit. The proposed addition is not increasing the number of residential units; therefore, two (2) parking spaces remain as the required number of spaces provided. The Applicant is proposing a two-car garage in conjunction with the residential addition, meeting the stated parking requirements.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08C.040 Outdoor Lighting Standards | 17.08C.040 General Standards a. All exterior lighting shall be designed, located and lamped in order to prevent: 1. Overlighting; 2. Energy waste; 3. Glare; |

| | | | | |
|--------------------------|--------------------------|--------------------------|--------------------------|--|
| | | | | <p>4. Light Trespass; 5. Skyglow.</p> <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p> |
| | | | <i>Staff Comments</i> | <i>Applicant is proposing to install Dark Sky compliant fixtures, which are downcast, low wattage, and integrate LED components. Six (6) wall sconces are proposed across the addition, as well as twelve (12) recessed can lighting areas under overhangs that accompany circulation areas. The proposal meets this standard.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Bulk Requirements | <p>The property is zoned in the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Districts</p> <p>Maximum Building Height: 30'</p> <p>Setbacks:</p> <ul style="list-style-type: none"> • Street R.O.W. Adjacent: 12'; 20' to garage door • Private Property Abutment: 1' for every 2.5' of wall height and a minimum of 6' • Alley: 6' minimum <p>Lot Coverage: 30%</p> |
| | | | <i>Staff Comments</i> | <ul style="list-style-type: none"> - <i>Building Height:</i> <ul style="list-style-type: none"> o Existing building height: Approx. 21' o Proposed building height of addition: 29'-6" - <i>Proposed Setbacks:</i> <ul style="list-style-type: none"> o Front Yard (West): 57'-1" o Side Yard (South): 9'-5" o Side Yard (North): 11'-9.5" (wall height approx.. 20', requiring 7'-8") o Rear Yard/alley (East): 17.9" - <i>Maximum Lot coverage: 30% for GR in the Townsite Overlay District, with two stories above grade, and a garage.</i> <ul style="list-style-type: none"> o Proposed lot coverage: 32.67% <ul style="list-style-type: none"> ▪ 1,997.6 square feet (800 square foot existing building footprint + 1197.6 square foot building footprint of the residential addition) = 32.67% of 6,114 square foot lot <p><i>The proposed lot coverage is the only bulk requirement that is not met, according to specific interpretation of Hailey Municipal Code's current "Building Footprint" definition:</i></p> |

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| | | | | <p>“BUILDING FOOTPRINT (FOOTPRINT): <i>The area of the lot or parcel which is within the perimeter created by a vertical extension to the ground of the exterior walls of all enclosed portions of a building, also including attached garages, carports and porte-cocheres, enclosed decks, enclosed porches, solariums and similar enclosed extensions, attachments and accessory annexes. Not included in the footprint are unenclosed portions or extensions of buildings, including, but not limited to, unenclosed decks, porches, eaves and roof overhangs”.</i></p> <p><i>The Applicant’s proposed ground-level addition (garage and laundry/utility room), plus the existing residence, produce a lot coverage (29.9%) that is compliant with the lot coverage maximum (30%). However, the inclusion of all portions of the exterior walls of the enclosed second-story addition produces additional square footage that may be included in building footprint calculations, thus producing a footprint of 32.67%.</i></p> <p><i>Further discussion of the building footprint definition interpretation, and how it relates to the nature of this proposal, is provided in the Background section of this Staff Report. The Commission may wish to discuss this matter with the Applicant at the January 6, 2025 Public Hearing.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.070(A)1 Street Improvements Required</p> <p><i>Staff Comments</i></p> | <p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> <p><i>The project property is a mid-block parcel within the outer extent of the Townsite Overlay District. No sidewalks exist along this section of N 4th Avenue. The Streets Division Manager and Public Works Director do not desire fragmented right-of-way improvements that lack overall connectivity to the surrounding area. No sidewalk improvements will be required for the Applicant, given these circumstances.</i></p> <p><i>One (1) drywell exists on site, and it appears that two (2) new drywells are proposed for the project property.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.070(B) Required Water System Improvements</p> <p><i>Staff Comments</i></p> | <p>Water Line Improvements: In the townsite overlay district, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)</p> <p><i>The proposed garage addition will be accessed from the alley and the water main lines are existing and located in the alley. While it appears this standard has been met, the Applicant shall ensure main lines adhere to the requirements of this standard throughout the construction process. This has been made a Condition of Approval.</i></p> |

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)1 | <p>1) Site Planning</p> <p>Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</p> <p><i>Staff Comments</i> <i>The lot is existing, and the proposed addition meets all setback requirements. The addition also follows the traditional east-west building orientation that is characteristic of narrow, east-west oriented lots within the Townsite Overlay.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | <p>Guideline: Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units. <p><i>Staff Comments</i></p> <ul style="list-style-type: none"> • <i>The scale of the residence with the new addition and garage is consistent with the scale and massing of buildings in the surrounding neighborhood.</i> • <i>The building orientation will not change with the new addition; it will remain east-west.</i> • <i>The main entrance to the living area will remain on N 4th Avenue, with no changes proposed for the entrance façade. The new garage will be accessed from the adjacent alley, consistent with vehicular site access and the existing garage, proposed for demolition.</i> • <i>The proposed addition will include a new garage that maintains established alley access for vehicular traffic.</i> • <i>Recreational vehicles may be stored within the new garage, within the gravel area adjacent to the alley, or underneath the proposed second-story deck/overhang area. Ample space for recreational vehicles is provided.</i> • <i>The size of the existing lawn in the front/western portion of the lot will be maintained; the lawn in the rear/eastern portion of the property will be slightly altered, with new building footprint covering the interior lawn area, and existing building footprint (existing garage) being removed to allow for new lawn and garden area. The removal of the existing garage will eliminate a significant degree of building setback nonconformity and provide a renewed landscape buffer for the southern adjacent property owner. These adjustments will benefit both the property owner and surrounding neighbors.</i> • <i>The addition is located on the west side of the lot, facing the alley and directly in line with an adjacent parcels' garages and open areas. Significant impact to surrounding properties is not anticipated.</i> |

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| | | | | <ul style="list-style-type: none"> 991.2 square feet of snow storage is identified onsite, placed across five (5) storage locations that are conveniently accessible from snow removal areas. The snow storage locations will not impact site access, visibility, or safety. N/A - This is not a new dwelling unit. This is an addition to an existing dwelling unit. Utilities are located overhead and within the alley, with no changes to utility provisioning anticipated. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | <p>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p> <p><i>Staff Comments</i> Energy-conserving building features of the proposed addition include all LED outdoor lighting fixtures, bulk fenestrations on the southern wall plane, pre-wiring for solar on the south-facing roof area, and the inclusion of at least one (1) 240V 40A circuit installed in the garage for EV charging capability (pending Idaho Power approval).</p> <p>While not directly related to energy conservation, the Applicant has also selected compacted gravel and permeable pavers as the hardscape materials on site. These materials, when compared to concrete or asphalt, allow for greater groundwater absorption and the reduction of runoff from the site. Staff commend design features that enhance resilience of our local natural resources and utilize nature-based solutions best-practices.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)2 | <p>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</p> <p>Guideline: The perceived mass of larger buildings shall be diminished by the design.</p> <p><i>Staff Comments</i> The proposed addition incorporates varying roof lines, two (2) outdoor deck areas, a mix of horizontally and vertically-oriented windows, and a natural wood siding material, paired with black metal roofing, window trim, and fascia. The natural stain on the wood siding will allow for depth of texture to be displayed across all addition facades. The north and south-facing building elevations present the largest building masses, although these masses are balanced by continuous roofing at a 3:12 pitch; significantly gentler than the primary 7:12 pitch for the second-floor roof, but complimentary in their matching materials (black metal).</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3 | <p>3. Architectural Character</p> |
| | | | 17.06.090(C)3a | <p>a. General</p> <p>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</p> <p><i>Staff Comments</i> The project proposes an addition to an existing single-family residence built in 1940. The proposed addition is larger in scale than the existing residence, although the addition is set back from the primary access/entrance point on N 4th Avenue, located behind and slightly south of the existing structure. The new roofline matches that of the existing structure, which is traditional in pitch and style (7:12, gabled).</p> <p>The primary building material of the addition – naturally stained wood - is highly reminiscent of historical cabin styles of the past. Architectural detailing provided through the black metal roof, fascia, railings, and window/door frames illustrates modern-day trends in materials and colors that are commonly found within new developments in and around Hailey.</p> |
| | | | 17.06.090(C)3b | <p>b. Building Orientation</p> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street. |
| | | | <i>Staff Comments</i> | <i>The existing entrance is highlighted with an exterior vestibule, walkway, and overhead lighting. The project does not propose to alter the main entrance, it shall be maintained as it exists and as it is described herein.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation. |
| | | | <i>Staff Comments</i> | <i>N/A – The historic primary dwelling structure will remain oriented as it exists, with the addition featuring a secondary front entry point that also faces N 4th Avenue. The addition also supports the City’s preferred orientation by maintaining vehicle access to the rear alley and placing largest wall planes at an east-west orientation.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3c | c. Building Form |
| | | | | Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design. |
| | | | <i>Staff Comments</i> | <i>The proposed addition is broken up with varying roof lines, materials, and textures compatible with those of the existing house. A gabled roofline and familiar, rectangular building footprint are proposed for the addition, mirroring the existing building footprint.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | d. Roof Form |
| | | | | Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable. |
| | | | <i>Staff Comments</i> | <i>The front entry to the existing building is currently defined by a gabled roof over a vestibule pop-out, with the roofline of the pop-out matching that of the main roof above. As for the addition, a small outdoor deck on the second floor frames the sliding glass door entry way below. This entry provides secondary access to the residential areas of the site.</i> <i>A continuous second-floor roofline along the northern and southern building elevations breaks up perceived mass of these larger facades, while also creating additional usable outdoor space underneath. The garage addition faces the alley, diminishing its presence from street view. An additional second-floor deck area and adjoining ground-level side walls on the north/south building elevations created a partially enclosed area that resembles that of a carport, before leading directly into the garage spaces. This design style greatly diminishes the garage addition.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site. <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties. |
| | | | <i>Staff Comments</i> | <i>All of the proposed roof additions will feature snow clips, and new pedestrian walkways will be covered with new rooflines that prevent snow from falling directly upon such pedestrian areas. The south setback is slightly less than 10’ (9’ 5”), although this roofline is very gentle (3:12) and will also feature snow clips for retention.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged. |

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| | | | <i>Staff Comments</i> | <i>The proposed roof forms, ridge lengths and materials are similar to those traditionally found in the neighborhood. The proposed roof pitches over the garage and addition are similar to or will match the existing structure roof pitch.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood. |
| | | | <i>Staff Comments</i> | <i>The proposed roof pitches over the garage and addition are consistent with surrounding neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | e. Wall Planes |
| | | | | Guideline: Primary wall planes should be parallel to the front lot line. |
| | | | <i>Staff Comments</i> | <i>The proposed structure's primary (largest) wall plane is parallel to the adjacent side yard lot lines to the north and south. As the proposed addition is not altering the main entryway for the site, the primary pedestrian wall plane will remain parallel to the front lot line. However, the wall plane of the proposed addition that faces the front lot line mirrors the style and orientation of the existing structure's front lot line wall plane. Rather than proposing new wall plane orientations, the proposed addition adds depth and scale to existing primary wall plane orientations.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | Guideline: Wall planes shall be proportional to the site and shall respect the scale of the surrounding neighborhood. |
| | | | <i>Staff Comments</i> | <i>The wall planes, existing house, and proposed addition are proportional to the site. The proposed addition adds to the rectangular layout of the existing house, which is congruent with the lot. The existing and proposed structures, combined, respect the scale of the surrounding neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | Guideline: The use of pop-outs to break up longer wall planes is encouraged. |
| | | | <i>Staff Comments</i> | <i>The proposed addition's longest wall planes are located on the north and south building elevations. These building elevations incorporate pop-out rooflines that provide cover for pedestrian walkways, as well as additional outdoor gathering and/or light storage areas (e.g. gardening supplies, bicycles, etc.). The proposed design breaks up longer wall planes.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3f | f. Windows |
| | | | | Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion. |
| | | | <i>Staff Comments</i> | <i>The proposed windows are traditional in size, scale, and proportion. Inset frames further highlight traditional design elements.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3f | Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors. |
| | | | <i>Staff Comments</i> | <i>The east-facing wall plane of the existing building closely mirrors the placement and extent of the corresponding wall planes for residential structures on both the north and south-adjacent properties. With the entirety of the proposed addition to be placed behind (west of) the east-facing wall plane of the existing structure, there are no anticipated impacts to adjoining properties as a result of the proposed addition. Across the western alley, there appears to be slight overlap in line of sight from the addition's west façade and residential areas of the property backing up to the opposite side of the alley. However, most of the overlap appears to occur between the garage areas of each property, respectively. In general, privacy has been preserved for neighbors on both side and rear lot lines.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3g | g. Decks and Balconies |
| | | | | Guideline: Decks and balconies shall be in scale with the building and the neighborhood. |
| | | | <i>Staff Comments</i> | <i>The Applicant is proposing two (2) new second-floor deck areas on the east and west building elevations for the proposed addition. The east-facing deck is proposed at approximately 148 square feet, and the west-facing deck appears to</i> |

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| | | | | <i>be approximately 90 square feet. The placement of the larger deck area at the rear of the property ensures that front, street-facing deck and corresponding building scale is maintained with respect to the surrounding neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3g | Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible. |
| | | | <i>Staff Comments</i> | <i>As discussed above, the larger deck area has been proposed for the rear of the property. This will ensure maximum distances between residential areas of the surrounding properties and neighbors.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3h | h. Building Materials and Finishes |
| | | | | Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged. |
| | | | <i>Staff Comments</i> | <i>The Applicant is proposing a naturally stained, vertical wood siding material. The natural stain will highlight the grain and unique features of the wood, providing depth of texture and detail that will reduce the perceived scale of some of the larger wall areas, especially along the north and south wall planes. Changes in material and color are provided with the black metal roof pop-outs and window/door trim.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3h | Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane. |
| | | | <i>Staff Comments</i> | <i>See Section 17.06.090(C)3h as to how this guideline is met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | i. Ornamentation and Architectural Detailing |
| | | | | Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings. |
| | | | <i>Staff Comments</i> | <i>The proposed addition's front wall plane includes a sliding glass door at the ground level, significant degree of window area with respect to size of the wall plane, and an approximately 90 square foot balcony area that is supported by angled stilts to the ground level.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged. |
| | | | <i>Staff Comments</i> | <i>The proposed addition incorporates gabled rooflines, windows and trim detailing, all of which are reminiscent of Old Hailey.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood. |
| | | | <i>Staff Comments</i> | <i>As described in Sections 17.06.090(C)3d, 17.06.090(C)3e, 17.06.090(C)3h, and 17.06.090(C)3i, the proposed design incorporates naturally stained, vertical wood siding, black window and door trim, gabled rooflines, and metal roofing, all of which are all compatible with the historic existing house and Old Hailey neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | 4. Circulation and Parking |
| | | | | Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation, and snow storage issues. |
| | | | <i>Staff Comments</i> | <i>Adequate parking is proposed in the new garage and carport area with access via the rear alleyway. Pedestrian circulation and safety are maintained through paver walkways leading from the N 4th Avenue right-of-way to the existing and proposed residential structures, as well as an additional paver walkway area on the north side of the proposed addition. Snow storage is proposed at a variety of locations across the property; staff anticipate that this arrangement will prevent any one</i> |

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| | | | | <i>snow storage area from becoming inundated and conflicting with pedestrian circulation and safety.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: The visual impacts of on-site parking visible from the street shall be minimized. |
| | | | <i>Staff Comments</i> | <i>A proposed two-car garage facing the rear alley will house and screen vehicles from the street.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side. |
| | | | <i>Staff Comments</i> | <i>The proposed garage and carport are accessed from the existing alley.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: Detached garages accessed from alleys are strongly encouraged. |
| | | | <i>Staff Comments</i> | <i>The proposed addition, accessed from the alley, includes a garage that is attached to the house.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)4 | Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane. |
| | | | <i>Staff Comments</i> | <i>N/A – The proposed garage is accessed via the alley.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)4 | Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized. |
| | | | <i>Staff Comments</i> | <i>N/A – The proposed garage is accessed via the alley and does not involve curb cuts.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning. |
| | | | <i>Staff Comments</i> | <i>The proposed design maintains large outdoor spaces in the front and rear of the parcel. The proposed garage doors appear to be 8' in height. Adequate off-street parking for recreational vehicles is provided.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | 5. Alleys |
| | | | | Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties. |
| | | | <i>Staff Comments</i> | <i>The proposed design maintains and uses the public alley for vehicular access.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged. |
| | | | <i>Staff Comments</i> | <i>Utilities and vehicular access to the garage is proposed off the alley.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity. |
| | | | <i>Staff Comments</i> | <i>The proposed design in the Limited Residential 1 zone and the existing alley is gravel. The Applicant understands and shall manage the alley for noxious weed control.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs. |
| | | | <i>Staff Comments</i> | <i>The design proposes to maintain the minimal existing landscaping on the alleyway—three (3) existing, mature chokecherry trees—in addition to retaining five (5) other existing, mature trees onsite.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)6 | 6. Accessory Structures |
| | | | | Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function. |

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| | | | Staff Comments | <i>N/A. The proposed addition will be attached and integrated within the existing structure, not as a standalone accessory structure. While the addition is not subordinate in size to the existing structure, the placement of the addition behind the existing structure, with the garage addition accessed off of the alley, will deliver the overall appearance and function of a subordinate structure.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)6 | Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical. |
| | | | Staff Comments | <i>See Standard 17.06.090(C)6 above for further explanation.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)7 | 7. Snow Storage |
| | | | | Guideline: All projects shall be required to provide 25% snow storage on the site. |
| | | | Staff Comments | <i>The total square footage of all circulation areas on-site, including covered walkways, equals 1,770 square feet. The Applicant has provided 991.2 square feet of snow storage, or 56% of the total circulation area. According to the Applicant, areas available for snow storage were intentionally oversized to account for a number of factors including storage of snow from the metal roof without impacting neighbors and providing a place to clear snow from the alley to keep the driveway accessible. This standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)7 | Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas. |
| | | | Staff Comments | <i>Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible from the street.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | 8. Existing Mature Trees and Landscaping |
| | | | | Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan. |
| | | | Staff Comments | <i>Existing trees are identified onsite and are proposed to be maintained, aside from one (1) dead pine tree towards the western property boundary.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)8 | Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible. |
| | | | Staff Comments | <i>N/A. Existing trees are the only significant, existing landscape feature on site. These have been designated for retention and/or removal.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | Guideline: Noxious weeds shall be controlled according to State Law. |
| | | | Staff Comments | <i>If noxious weeds are present on the site, the Applicant shall control them according to State Law.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)9 | 9. Fences and Walls |
| | | | | Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates. |
| | | | Staff Comments | <i>N/A. No new fences and/or walls abutting public streets or sidewalks are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)9 | Guideline: Retaining walls shall be in scale to the streetscape. |
| | | | Staff Comments | <i>N/A – There are no existing or proposed retaining walls.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)10 | 10. Historic Structures |
| | | | | General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite |

| | | | | |
|--------------------------|--------------------------|-------------------------------------|-----------------------|---|
| | | | | <p>Overlay District, especially those originally constructed in the same Period of Significance.</p> <ul style="list-style-type: none"> • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure. |
| | | | <i>Staff Comments</i> | <p><i>The existing house was built in 1940 and is maintained in the proposed project. The proposed project includes a residential addition and garage, which is described in the application overview. As described in Sections 17.06.090(C), the façades of the addition and garage are congruous with the surrounding area and will provide complimentary elements to the existing residence. It contributes to the overall charm of Old Hailey and incorporates aspects of modern design, distinguishable from the historic structure.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)10 | <p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions. |
| | | | <i>Staff Comments</i> | <p><i>N/A. The proposed addition and garage do not alter the existing structure. See section 17.06.090(C) for specific examples and discussion of how each of these standards are met.</i></p> |

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
 - 1. The project does not jeopardize the health, safety, or welfare of the public.
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
 - 1. Ensure compliance with applicable standards and guidelines.

2. **Require conformity to approved plans and specifications.**
 3. **Require security for compliance with the terms of the approval.**
 4. **Minimize adverse impact on other development.**
 5. **Control the sequence, timing, and duration of development.**
 6. **Assure that development and landscaping are maintained properly.**
 7. **Require more restrictive standards than those generally found in the Zoning Title.**
- C. **Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. **If any extension of the one -year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions of Approval are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- d) An approval of this Application shall be contingent upon the consideration and approval of a future Text Amendment to the Hailey Municipal Code, which would allow for greater flexibility for the bulk requirements of the Townsite Overlay District, where historic residential structures are preserved.
- e) The project shall be constructed in accordance with the application or as modified by the Findings of Fact, Conclusions of Law, and Decision.
- f) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- g) If noxious weeds are present on the site, the Applicant shall control them according to State Law.

- h) The Sidewalk In-Lieu Fees are hereby waived, pursuant to Section 17.06.070(A).
- i) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- j) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- k) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

Motion Language:

Approval: Motion to approve a Design Review Application by Tyler and Laura Jones, represented by Thomas Howland, for an 1,288 square foot addition to the existing residence, as well as a new 937 square foot attached garage, located at 314 N 4th Avenue (Lot 17A, Block 88, Hailey Townsite) within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions (a) through (k) are met.

Denial: Motion to deny a Design Review Application by Tyler and Laura Jones, represented by Thomas Howland, for an 1,288 square foot addition to the existing residence, as well as a new 937 square foot attached garage, located at 314 N 4th Avenue (Lot 17A, Block 88, Hailey Townsite) within the Limited Residential 1 (LR-1) and Townsite Overlay (TO) Zoning Districts, finding that [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date].



PROJECT INFORMATION

DESCRIPTION: LOT 17A BLOCK 88 OLD HAILEY TOWNSITE
 ZONE: R-1
 LOT DIMENSIONS 51' X 120'
 ADDITION SETBACKS: FRONT: 57' 1" BACK: 17' 8"
 SIDE SOUTH: 9' 5" SIDE NORTH: 11' 9"
 15% OF LOT WIDTH: 7.65' MINIMUM SIDE YARD SETBACK
 ADDITION HEIGHT: 29' 6"

BUILDING CODE SUMMARY

2018 IRC
 2018 IECC
 BUILDING OCCUPANCY: SINGLE FAMILY RESIDENCE
 CONSTRUCTION TYPE: VB
 EXISTING STORIES: 1
 ADDITION STORIES: 2
 EXISTING RESIDENCE: 800 SF
 EXISTING GARAGE: 312 SF
 ADDITION 1ST FLOOR: 96 SF
 GARAGE: 937 SF
 TOTAL 1ST FLOOR AREA: 1033 SF
 ADDITION 2ND FLOOR: 1192 SF
 TOTAL CONDITIONED RESIDENTIAL SPACE OF ADDITION = 1288 SF

PROPERTY SIZE (MEASURED): 6114 SF
 CURRENT LOT COVERAGE: 1232 SF
 EXISTING LOT COVERAGE: 20.1%
 TOTAL COVERAGE (EXISTING AND PROPOSED) 1833 SF
 PROPOSED LOT COVERAGE: 29.9%
 MAXIMUM LOT COVERAGE ALLOWED: 30.0%

OFF STREET PARKING

PROJECT TEAM

OWNER: TYLER AND LAURA JONES
 TYLER JONES
 208.720.1185
 TJONESKI@GMAIL.COM

ARCHITECT: HOWLAND ARCHITECTURE STUDIO, INC
 THOMAS HOWLAND
 208.721.8246
 THOMAS@HOWLANDARCHITECTURE.COM

STRUCTURAL ENGINEER: CHAVEZ ENGINEERING
 CHANCE CHAVEZ
 208.721.7341
 CHANCE@CHAVEZENGINEERING.COM

ENERGY CONSULTANT: GREENWORKS
 JOHN REUTER
 208.721.2992
 JOHN@IDAHOGREENWORKS.COM

SHEET INDEX

General Drawings

- G-001 COVER SHEET
- G-002 SITE PLAN
- G-003 MATERIALS BOARD
- G-004 CONSTRUCTION PLAN
- G-005 SITE SURVEY

Landscape Drawings

- L-001 LANDSCAPE PLAN

Demolition Plans

- D-001 DEMOLITION PLAN

Floor Plans

- A-102 FIRST FLOOR PLAN
- A-103 SECOND FLOOR PLAN

Roof Plans

- A-104 ROOF PLAN

Elevations

- A-201 EXTERIOR ELEVATIONS
- A-202 EXTERIOR ELEVATIONS

Photographs

- P-001 EXISTING HOUSE
- P-002 EXISTING GARAGE



2 314 N 4TH
SCALE: 1:0.76



3 314 N 4TH VICINITY MAP
SCALE: 1:0.76

HAS

HOWLAND ARCHITECTURE
 STUDIO, INC
 307 E SPRUCE ST HAILEY ID 83333

CONSULTANTS

DESIGN REVIEW APPLICATION
 NOT FOR CONSTRUCTION

314 N 4TH AVENUE
 ADDITION
 HAILEY IDAHO

PROJECT NO: 2405
 MODEL FILE:
 314 N 4TH DESIGN REVIEW SET.pln
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SHEET TITLE

COVER SHEET

G-001

SHEET 14 OF 31

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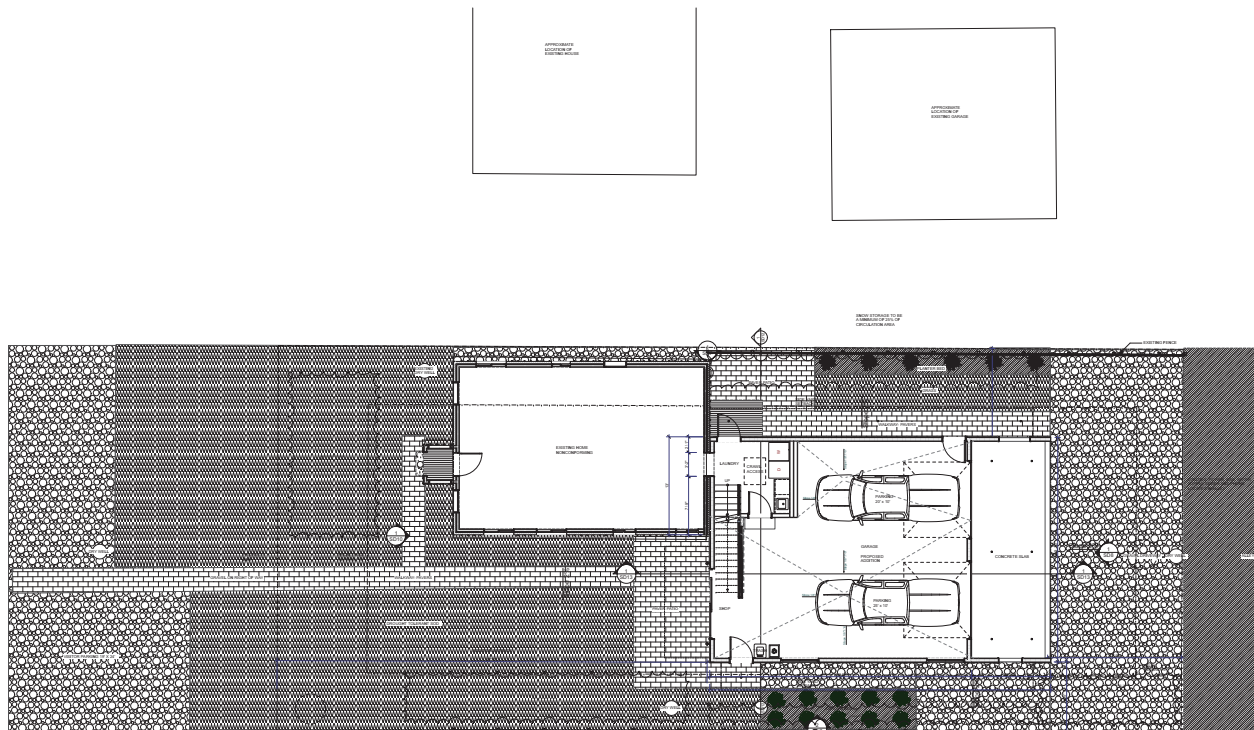
SHEET TITLE

SITE PLAN

G-002

SHEET 15

OF 31



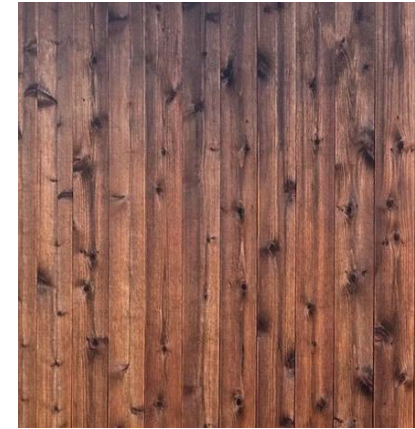
2 SITE PLAN
SCALE: 1/8" = 1'-0"



2 STREET VIEW
SCALE: 1/8" = 1'-0"



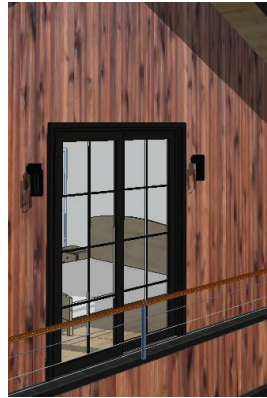
BLACK WINDOWS AND DOORS



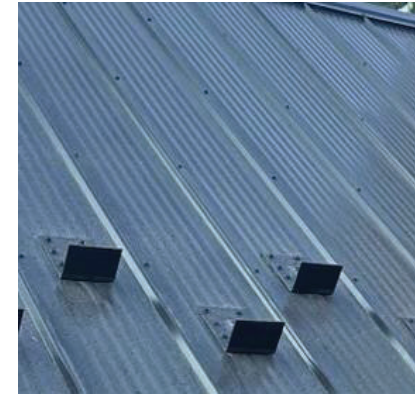
VERTICAL WOOD SIDING- NATURAL STAIN



GUARD RAIL- WOOD TOP RAIL STEEL RAILS
BLACK METAL POSTS



EXTERIOR LIGHTING- DARK SKY COMPLIANT.
SOWNIKES AT BALCONY DOORS. RECESSED LIGHTING UNDER
OVERHANGS ABOVE CIRCULATION AREAS



BLACK METAL ROOFING WITH SNOW CLIPS

HAS

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314 N 4TH AVENUE
ADDITION
HAILEY IDAHO

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SHEET TITLE

MATERIALS BOARD

G-003

SHEET 16 OF 31

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HAILEY IDAHO

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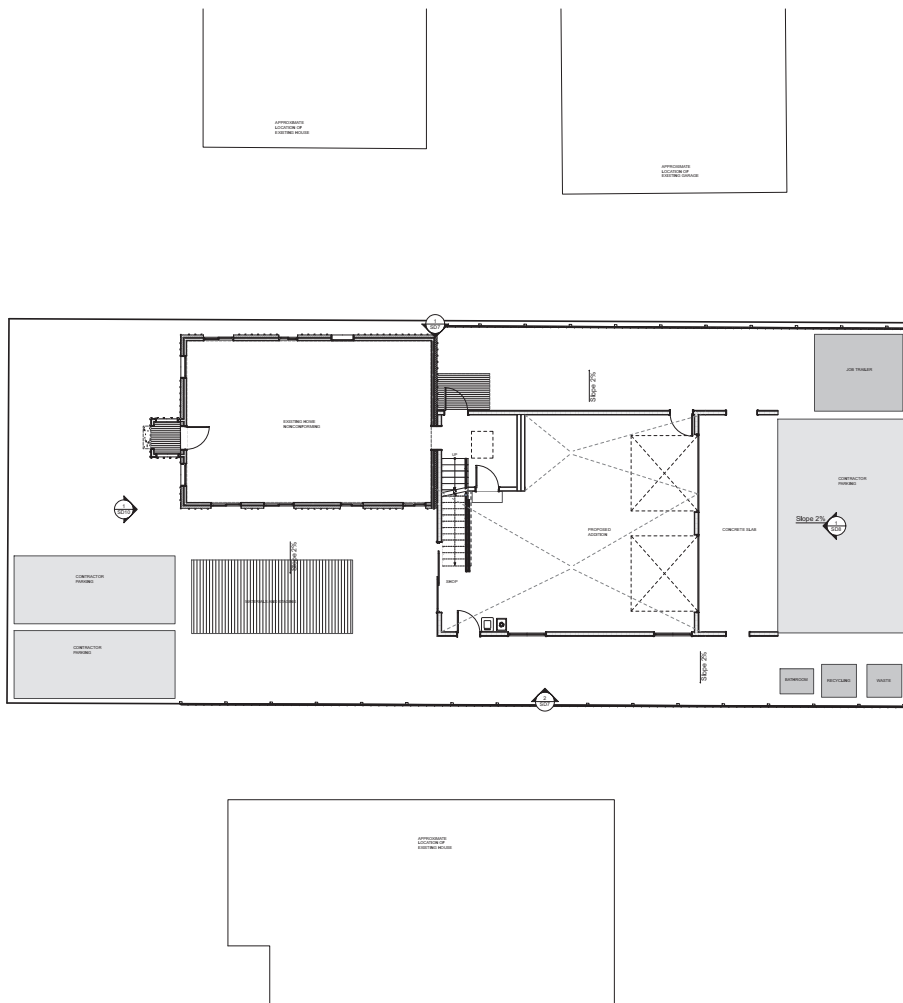
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SHEET TITLE

CONSTRUCTION PLAN

G-004

SHEET 17 OF 31



1 CONSTRUCTION STAGING AND UTILITIES
SCALE: 1/8" = 1'-0"

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ADDITION
HAILEY IDAHO

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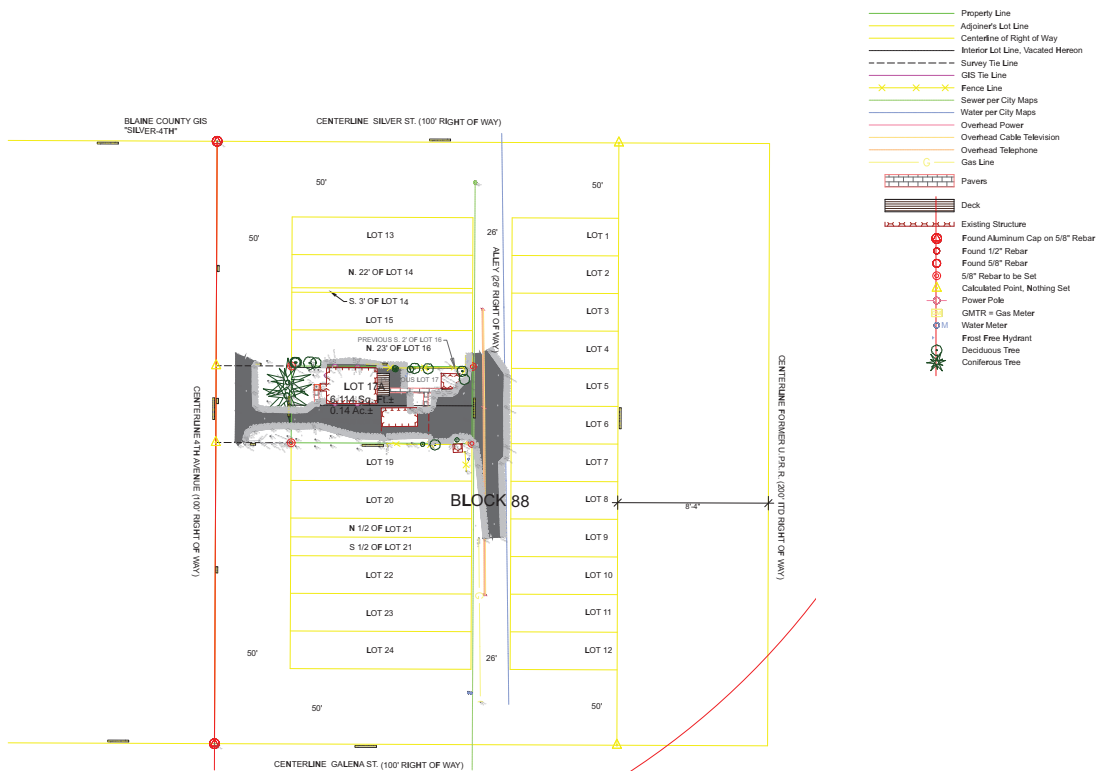
SHEET TITLE

SITE SURVEY

G-005

SHEET 18

OF 31



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314 N 4TH AVENUE
ADDITION
HAILEY IDAHO

PROJECT NO: 2405

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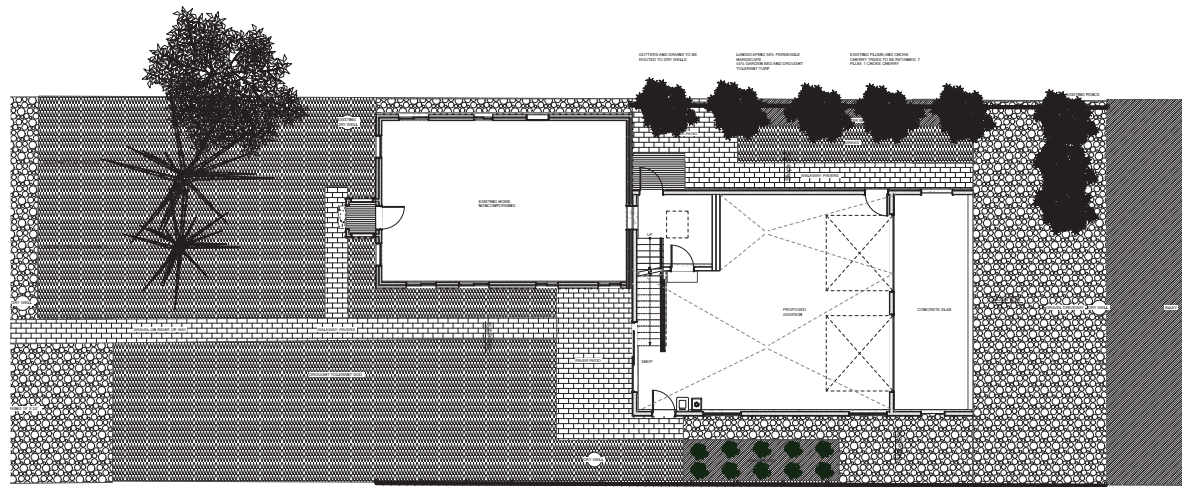
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LANDSCAPE PLAN

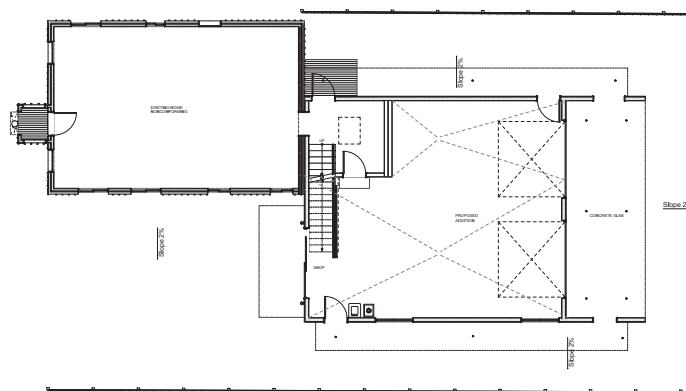
L-001

SHEET 19

OF 31



1 LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



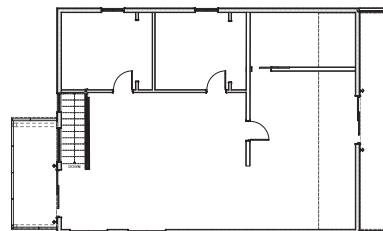
3 FIRST FLOOR EXTERIOR LIGHTING
SCALE: 1/8" = 1'-0"

ALL FIXTURES TO COMPLY WITH HAILEY CODE
17.08C.040 OUTDOOR LIGHTING STANDARDS

FIRST FLOOR:
RECESSED LIGHTING
IN ROOFS AND
BALCONIES ABOVE
CIRCULATION AREAS.
ALL LIGHTS TO BE ON
DIMMER SWITCHES
ELEVATION 10' 1"

DECORATIVE WALL
SCONCES AT FRONT
DOOR. FIXTURES TO
BE ON DIMMER
SWITCHES
ELEVATION 6"

SECOND FLOOR:
DECORATIVE WALL
SCONCES OVER
BALCONIES. FIXTURES
TO BE ON DIMMER
SWITCHES
ELEVATION 21' 8"



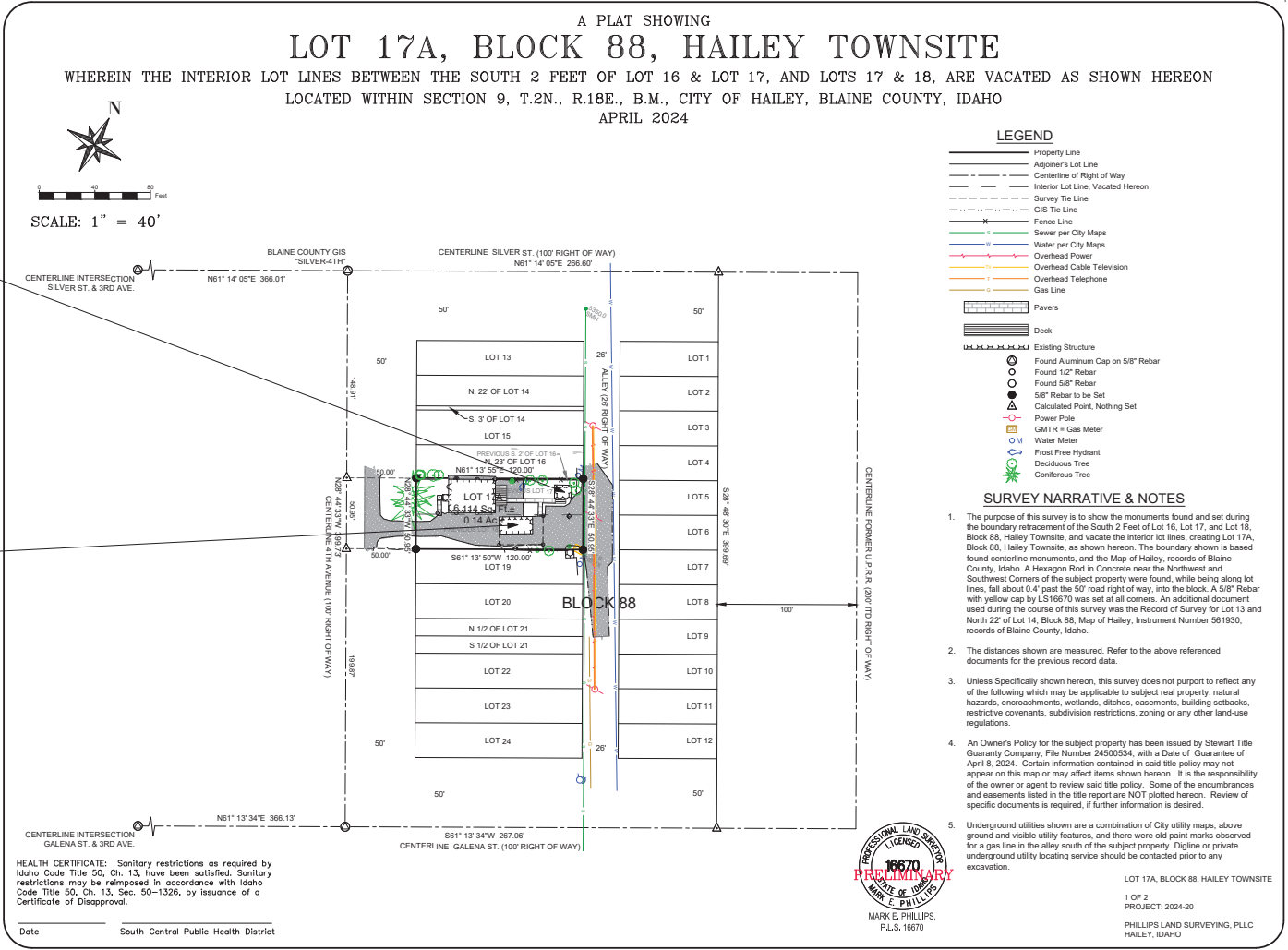
4 SECOND FLOOR EXTERIOR LIGHTING
SCALE: 1/8" = 1'-0"



EXISTING SHED TO BE SHIFTED AND USED AS JOB TRAILER



EXISTING CMU GARAGE (CURRENT OPENING ON 4TH AVE) TO BE DEMOLISHED



HAS

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314 N 4TH AVENUE
 ADDITION
 HAILEY IDAHO

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SHEET TITLE
DEMOLITION PLAN

D-001
 SHEET 20 OF 31

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ADDITION
HAILEY IDAHO

PROJECT NO: 2405

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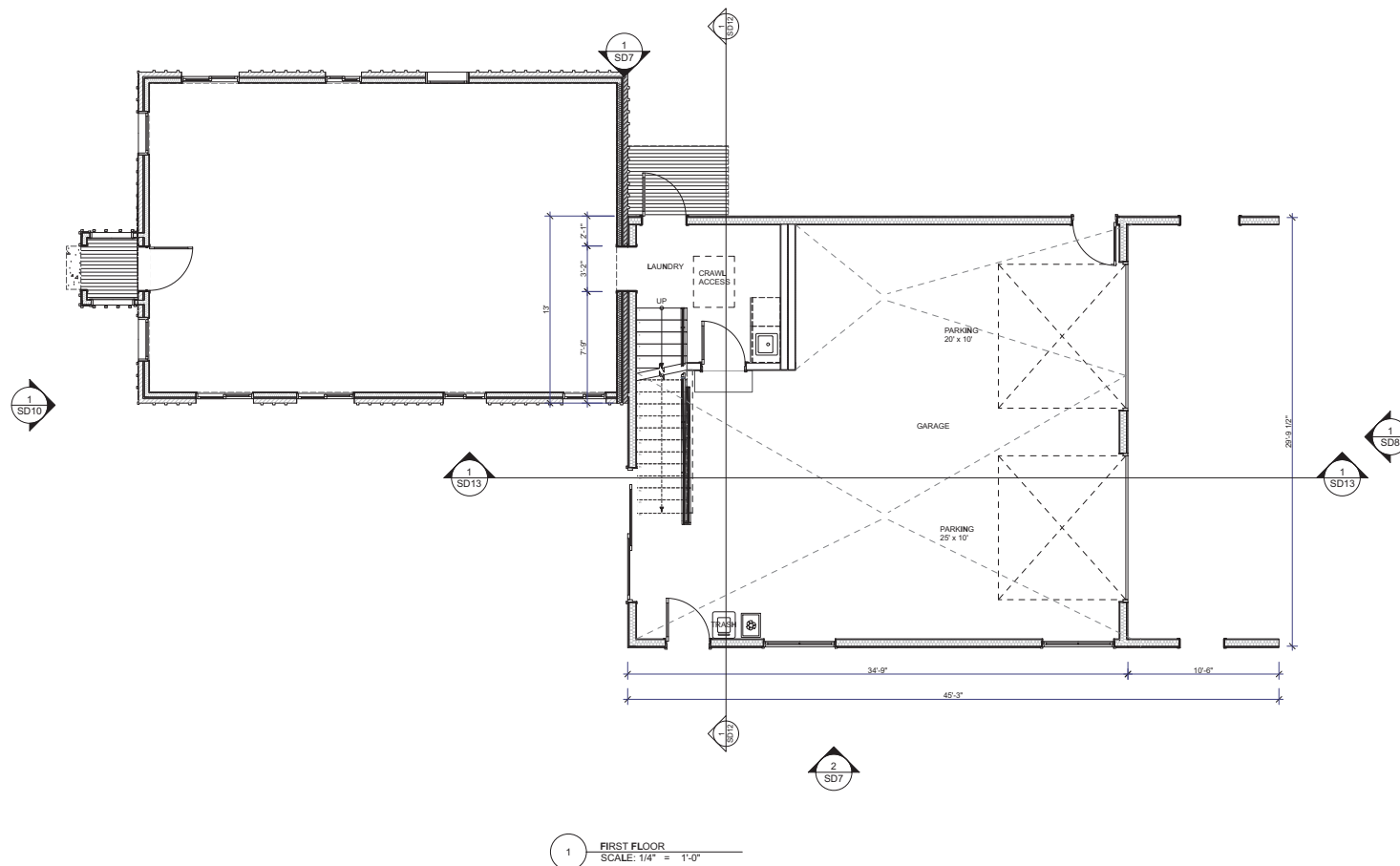
SHEET TITLE

FIRST FLOOR PLAN

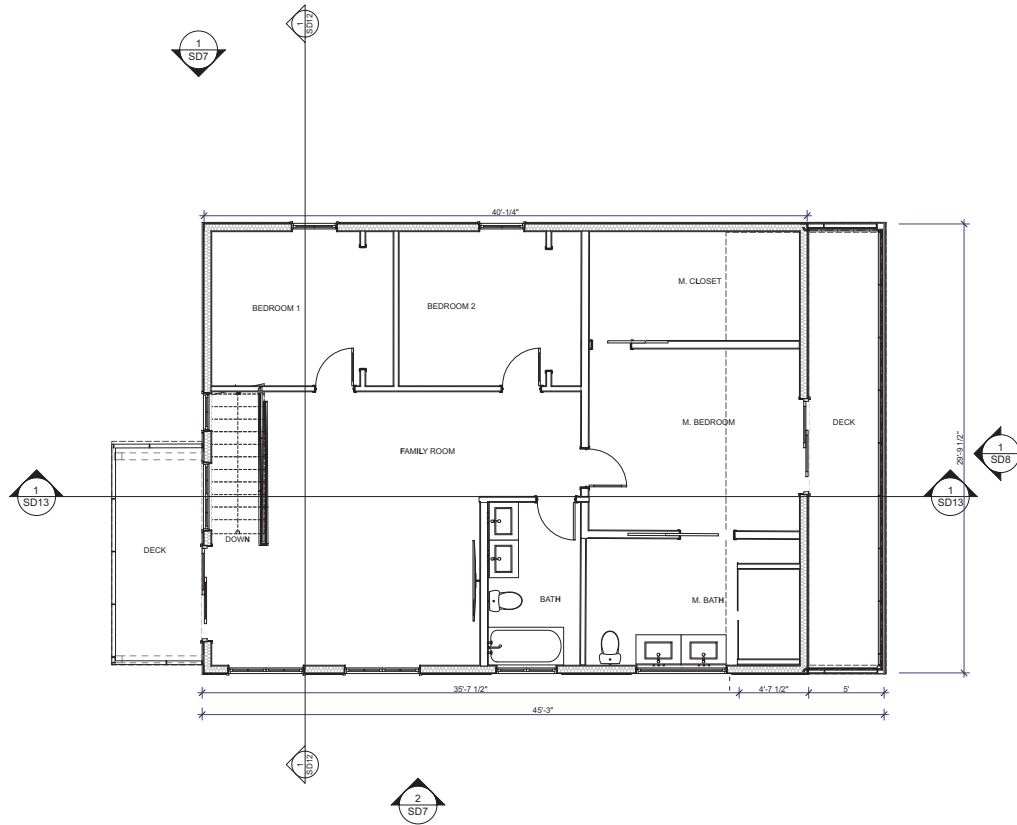
A-102

SHEET 21

OF 31



1 FIRST FLOOR
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR
SCALE: 1/4" = 1'-0"

HAS

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NOT FOR CONSTRUCTION

314 N 4TH AVENUE
ADDITION
HAILEY IDAHO

PROJECT NO: 2405

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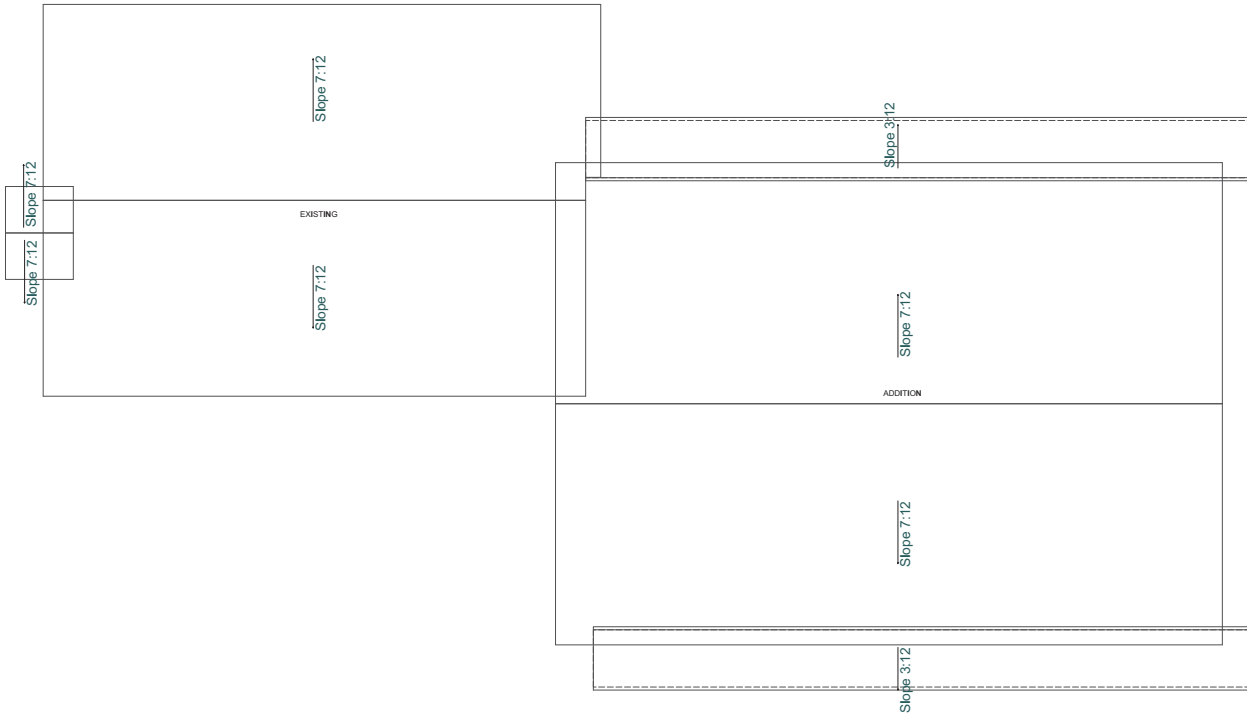
SHEET TITLE

SECOND FLOOR PLAN

A-103

SHEET 22 OF 31

1 ROOF PLAN
SCALE: 1/4" = 1'-0"



HAS

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STUDIO, INC
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NOT FOR CONSTRUCTION

314 N 4TH AVENUE
ADDITION
HAILEY IDAHO

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SHEET TITLE

ROOF PLAN

A-104

SHEET 23 OF 31

HAS

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ADDITION
HAILEY IDAHO

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SHEET TITLE

EXTERIOR
ELEVATIONS

A-201

SHEET 24 OF 31

CONTINUOUS ROOF VENT

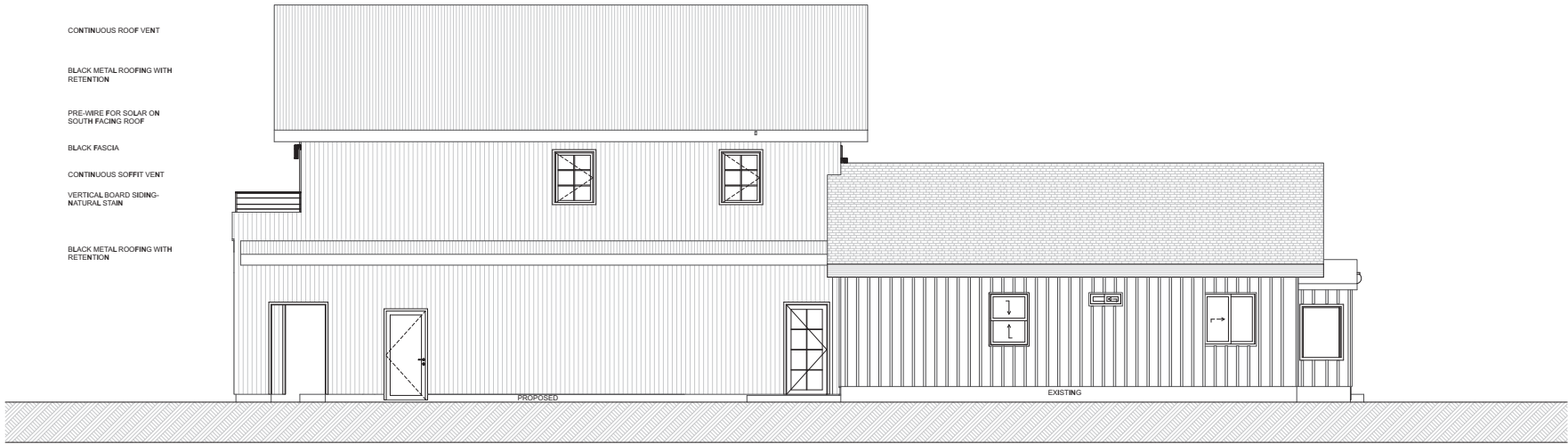
BLACK METAL ROOFING WITH
RETENTION

PRE-WIRE FOR SOLAR ON
SOUTH FACING ROOF

BLACK FASCIA

CONTINUOUS SOFFIT VENT
VERTICAL BOARD SIDING-
NATURAL STAIN

BLACK METAL ROOFING WITH
RETENTION



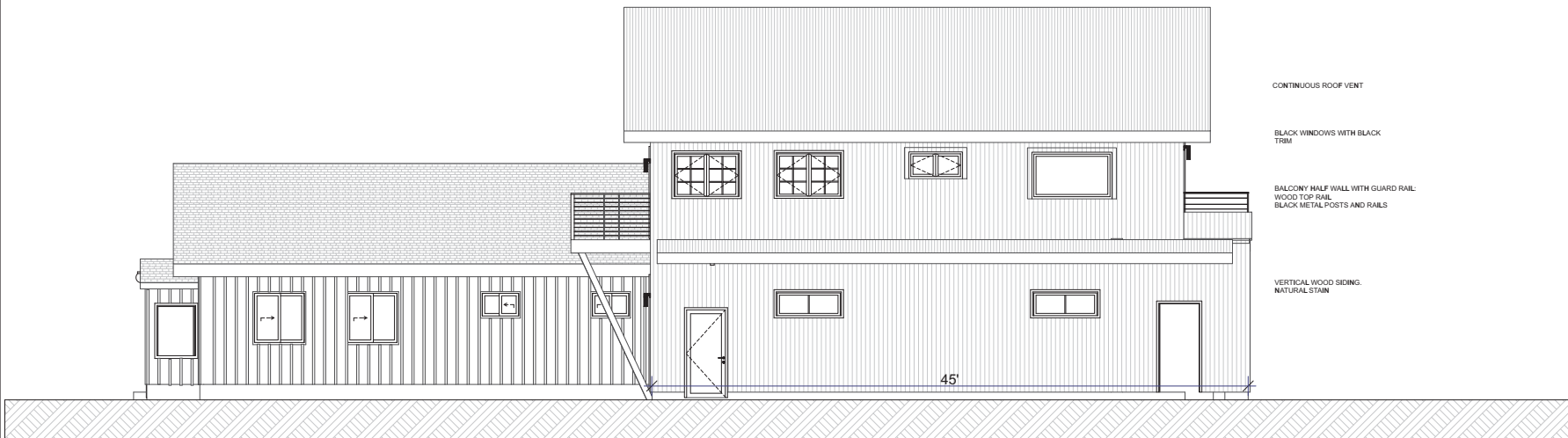
1 North Elevation
SCALE: 1/4" = 1'-0"

CONTINUOUS ROOF VENT

BLACK WINDOWS WITH BLACK
TRIM

BALCONY HALF WALL WITH GUARD RAIL
WOOD TOP RAIL
BLACK METAL POSTS AND RAILS

VERTICAL WOOD SIDING
NATURAL STAIN



2 South Elevation
SCALE: 1/4" = 1'-0"

HAS

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STUDIO, INC
307 E SPRUCE ST HAILEY ID 83333

CONSULTANTS

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314 N 4TH AVENUE
ADDITION
HAILEY IDAHO

PROJECT NO: 2405

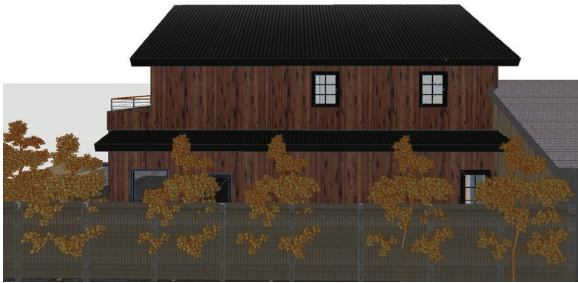
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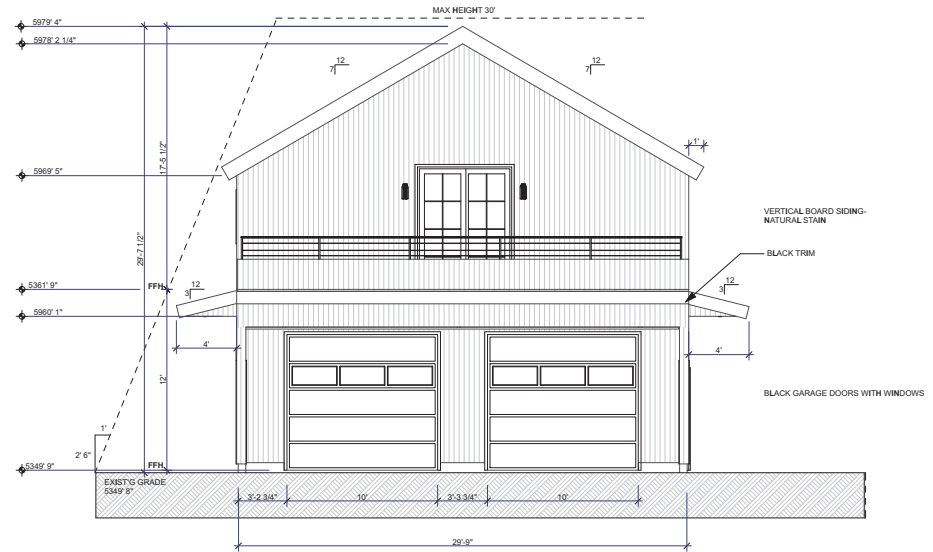
EXTERIOR
ELEVATIONS

A-202

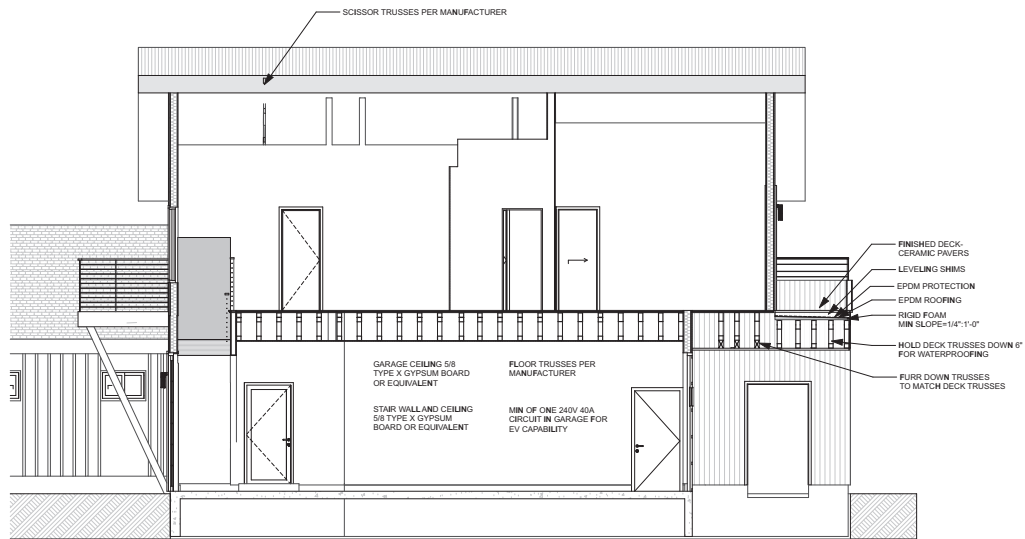
SHEET 25 OF 31



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

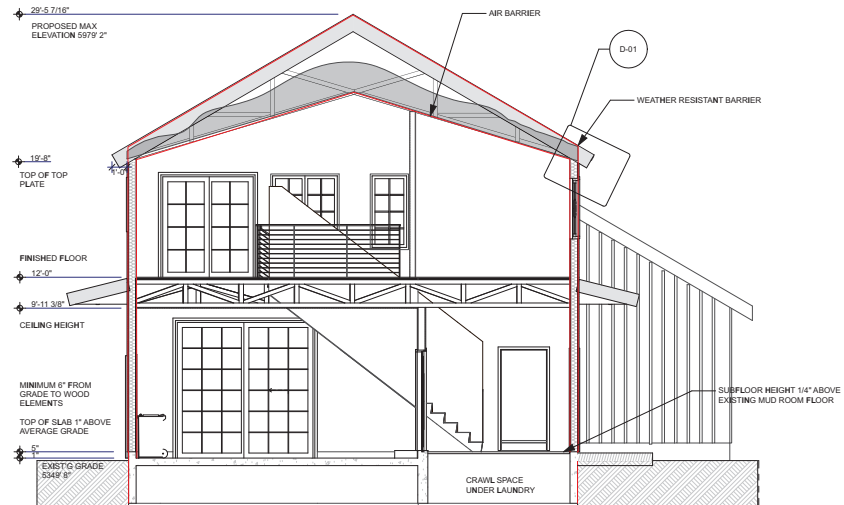


1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



SECTION 13

SCALE: 1/4" = 1'-0"



SECTION 12

SCALE: 1/4" = 1'-0"

HAS

HOWLAND ARCHITECTURE
STUDIO, INC

307 E SPRUCE ST HAILEY ID 83333

CONSULTANTS

DESIGN REVIEW APPLICATION
NOT FOR CONSTRUCTION

314 N 4TH AVENUE
ADDITION
HAILEY IDAHO

PROJECT NO: 2405

MODEL FILE:

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SHEET TITLE

BUILDING SECTIONS

A-301

SHEET 26

OF 31



FRONT VIEW OF EXISTING HOUSE- TO BE RETAINED



ALLEY VIEW OF EXISTING HOUSE- TO BE ALTERED BY ADDITION



NORTH VIEW OF EXISTING HOUSE- TO BE RETAINED



SOUTH VIEW OF EXISTING HOUSE- TO BE RETAINED



FRONT VIEW OF EXISTING GARAGE



ALLEY VIEW OF EXISTING GARAGE



NORTH VIEW OF EXISTING GARAGE



SOUTH VIEW OF EXISTING GARAGE

Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Meeting of January 6, 2025

To: Hailey Planning and Zoning Commission
From: Ashley Dyer and Emily Rodrigue, Community Development City Planners

Overview: Consideration of a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapters 17.02 Definitions, and 17.02.020: Meaning of Terms or Words, to provide modifications and clarification to the Zoning Definitions provided, as well as aligning with the Idaho State Code.

Hearing January 6, 2025

Applicant: City Staff

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to public agencies on December 11, 2024.

Background: The content of a municipal code should be evolving and community-affirming. A code, allowed to become stagnant, cannot serve its purpose effectively. Citizens, business owners, developers, and municipal officials need a code that is accurate, easy to understand, and enforceable. In an effort to continue to retain clarity, accurateness, and timelessness, City Staff are proposing amendments to existing definitions, or the addition of terms, to Title 17: Zoning Regulations, Chapter 17.02: Definitions, of Hailey's Municipal Code.

The Planning and Zoning Commission held a public hearing on December 2, 2024. At this meeting, they provided refinements, edits, and suggestions to Staff. The Commission tabled the meeting and requested that Staff return with a clean version of the Ordinance. The Commission's comments and suggestions have been included in the revised Draft Ordinance.

Specific amendments and/or additions to be considered include, but are not limited to:

Title 17: Zoning Regulations

Chapter 17.02: Definitions: The definitions have been added or modified to add full transparency and clarity, while refining the chapter to align with the State Code as applicable.

- **Definition Additions:**
- Clean Energy
- Covered Parking
- Deed Restriction
- Density
- Drought-tolerant
- Enclosed
- Floor Area Ratio
- Live/Work Units
- Lot Dimensions
- Outdoor Storage

- Parapet
- Parking Area
- Parking, Onsite
- Parking, Shared
- Parking, Street
- Parking Structure
- Perimeter
- Printing Services
- Recycling Center
- Swimming Pools
- Technological Development
- Transportation Services
- Underground Parking
- Unenclosed
- Warehouse

Definition Modifications:

- Apartment
- Area of Medium Income
- Building Footprint
- Commission
- Kitchen
- Lot Coverage
- Office

Proposed amendments from 12/2/24:

- Apartment
- Area Median Income (AMI)
- Enclosed/ Unenclosed
- Kitchen
- Live/Work Units
- Office
- Outdoor storage
- Parking, onsite
- Parking, street
- Parking, structure
- Perimeter
- Swimming pools
-

Newly Added from 12/2/24 Meeting:

- Building perimeter
- Gross Floor Area
- Net Gross Floor Area

Attachments:

- i. Draft Ordinance

Standards of Review:

Criteria for Review. Section 17.14.060(A) of the Hailey Municipal Code provides when evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

1. The proposed amendment is in accordance with the comprehensive plan;
2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;
3. The proposed uses are compatible with the surrounding area; and
4. The proposed amendment will promote the public health, safety, and general welfare.

1. The proposed amendment is in accordance with the comprehensive plan;

Hailey's Municipal Code should continue to address and promote the principles and lifestyle components that are most essential to our community's identity. Our code is the foundation from which our municipality and citizens begin a journey forward to a vibrant and thriving future. While Hailey's Comprehensive Plan does not go into the specificity that this code section contemplates, it is anticipated that the City will continue to update, modify, redefine, define, and/or clarify definitions to guide development, land uses, and necessary infrastructure. The following goals from the Comprehensive Plan are relevant to this text change:

Section 3: Special Areas or Sites and Features

3.1 Assure the protection and preservation of Special Sites, area features to maintain a strong community identity for future generations

3.3 Protect the traditional Character and scale of the historic downtown and Main Street corridor.

Section 4: Recreation, Parks and Lands

4.1 Create and maintain interconnected systems of parks, recreation facilities, trails, green spaces and natural lands in order to provide divers recreation opportunities for Hailey residents.

Section 5: Land Use, Population and Growth

5.1 Retain a compact City comprised a central downtown and surrounding diverse neighborhoods, areas of characteristics as depicted in the Land Use Map.

5.7 Encourage development at the densities allowed in the Zoning Code.

Section 6: Economic Development

6.1 Encourage a diversity of economic development opportunities within Hailey.

Section 7: Demographics, cultural Vitality and Social Diversity and Well-Being

7.1 Encourage a variety of projects and programs that meet the needs generated by various segments of the population, especially the needs of those who risk suffering effects of discrimination or are socially or economically disadvantaged.

7.2 Encourage projects and programs that seek to provide opportunities for cultural, cross-cultural and educational enrichment.

Section 8: Housing

8.1 Encourage development that provides opportunities for home ownership and rental homes for individuals and families of all socio-economic levels.

Section 9: Public Servies, Facilities and Utilities

9.1 Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.

Section 10: Transportation

10.1 Create and maintain a pedestrian and bicycle-friendly community that provides a safe, convenient and efficient multi-modal transportation system for all Hailey residents.

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services.

The proposed amendments will not result in a change in allowed uses nor will they create excessive additional requirements at public cost for services.

3. The proposed uses are compatible with the surrounding area; and

The proposed text amendment will not impact compatibility.

4. The proposed amendment will promote public health, safety, and general welfare.

The proposed amendment will ensure overall compliance and a thorough understanding of the terms and meanings of Title 17's zoning definitions. The amendments recommended are consistent with the Hailey Comprehensive Plan, and will have no impact on public health, safety, and general welfare.

Motion Language:

Approval: Motion to recommend approval by the Hailey City Council Ordinance No. _____, an Ordinance amending the Hailey Municipal Code, Title17, Definitions; 17.02, and 17.02.020: Meaning of Terms or Words, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Denial: Motion to recommend denial by the Hailey City Council Ordinance No. _____, an Ordinance amending the Hailey Municipal Code, Title17, Definitions; 17.02, and 17.02.020: Meaning of Terms or Words, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date].

HAILEY ORDINANCE NO. ____

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING TITLE 17 OF THE HAILEY MUNICIPAL CODE, INCLUDING CHAPTERS 17.02: DEFINITIONS; AND 17.02.20: MEANING OF TERMS OR WORDS TO PROVIDE MODIFICATIONS AND CLARIFICATION TO THE ZONING DEFINITIONS PROVIDED, AS WELL AS ALIGNING WITH THE IDAHO STATE CODE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the changes proposed will address supplemental design and quality of life with the intent of reinforcing the following statements and goals contained within the Comprehensive Plan:

Section 3: Special Areas or Sites and Features

3.1 Assure the protection and preservation of Special Sites, areas features to maintain a strong community identity for future generations.

3.3 Protect the traditional Character and scale of the historic downtown and Main Street corridor.

Section 4: Recreation, Parks and Lands

4.1 Create and maintain interconnected systems of parks, recreation facilities, trails, green spaces and natural lands in order to provide diverse recreation opportunities for Hailey residents.

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Section 7: Demographics, cultural Vitality and Social Diversity and Well-Being

7.1 Encourage a variety of projects and programs that meet the needs generated by various segments of the population, especially the needs of those who risk suffering effects of discrimination or are socially or economically disadvantaged, that educate, elevate and empower those at risk.

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Section 8: Housing

8.1 Encourage development that provide opportunities for home ownership and rental homes for individuals and families of all socio-economic levels.

Section 9: Public Servies, Facilities and Utilities

9.1 9.1 Plan for the long-term utilities, service and facility needs of the City while minimizing impacts to the greatest extent possible.

Section 10: Transportation

10.1 Create and maintain a pedestrian and bicycle-friendly community that provides a safe, convenient and efficient multi-modal transportation system for all Hailey residents.

WHEREAS, the changes proposed will provide citizens, business owners, developers, and municipal officials with a code that is accurate, easy to understand, and enforceable.

WHEREAS, the modification of certain zoning definitions will produce greater alignment with the Idaho State Code;

WHEREAS the text set forth in this ordinance will promote public health, safety, and general welfare by updating our definitions to ensure overall compliance and thorough understanding of the terms and meanings of the Zoning definitions.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. Chapter 17.02.20, Meaning of Terms or Words of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

APARTMENT: A residential unit that is part of one (or several) residential buildings, with its own entrance, bathroom, and kitchen. Apartments are typically one-story units within a multi-family building or development. ~~multiple family dwelling containing three (3) two (2) or more dwelling units in which all~~ Exclusive Regardless of a unit type, the unit which may be occupied by the owner, are or may be rented or leased.

AREA MEDIAN INCOME (AMI): The Aggregate Median combined gross income for all persons living in a dwelling unit as calculated by the United States Department of Housing and Urban Development annually for Blaine County.

BUILDING FOOTPRINT: ~~The area of the lot or parcel which is within the perimeter created by a vertical extension to the ground of the exterior walls of all enclosed portions of a building, also including attached garages, carports and porte cocheres, enclosed decks, enclosed porches, solariums and similar enclosed extensions, attachments and accessory annexes. Not included in the footprint are unenclosed portions or extensions of buildings, including, but not limited to, unenclosed decks, porches, eaves and roof overhangs.~~ The area of the lot which is within the perimeter created by a vertical extension to the ground of the exterior walls of all enclosed portions of a building, including all attached structures, enclosed decks and porches, and accessory structures.

CLEAN ENERGY: A form of stationary energy that is derived from sources that produce little to no greenhouse gas emissions or other harmful pollutants when generating power. Clean energy includes solar, wind, hydroelectric, geothermal, and nuclear power sources.

COMMISSION: ~~The~~ A governing body of the City of Hailey, Idaho, maintaining the power to make decisions or recommendations. Commissions for the City of Hailey, Idaho include the Hailey Arts and Historic Preservation Commission and the Hailey Planning and Zoning Commission.

COVERED PARKING: Covered parking refers to any parking space that has a roof or structure shielding it from the elements.

DEED RESTRICTION: A permanent restriction on the use, occupancy, and transfer of real property that runs with the land and is recorded against the property in the Blaine County Clerk and Recorder's office.

DENSITY: A unit of measurement; the number of dwelling units per acre of land area.

DROUGHT TOLERANT: Plants or other organic matter that can survive in conditions where there is less precipitation than expected. Drought tolerant plants can withstand long periods of dryness without deterioration, and can go several weeks, or even an entire season, between deep waterings.

ENCLOSED: An enclosed area is defined as any space between a floor and ceiling that is bounded on all sides by walls, doorways, or windows. This includes, but not limited to, retractable dividers, garage doors, or other physical barriers to light or air.

FLOOR AREA RATIO (FAR): The gross floor area of a building divided by the lot area to which the building is situated.

GROSS FLOOR AREA: The floor area within the inside perimeter of the exterior walls of the building, exclusive of vent shafts and courts, without deduction for corridors, stairways, ramps, closets, the thickness of interior walls, columns of other features. The floor area of a building, or portion thereof, not provided with surrounding exterior walls shall be the usable area under the horizontal projection of the roof or floor above. The gross floor areas shall not include shafts with no openings or interior courts.

KITCHEN: A room or area for storage, preparation and cooking food. A room or other portion of a structure intended for cooking food, which at a minimum, contains a functioning sink, refrigerator and cooking facilities to include a range or built in cooktop.

LIVE/WORK UNITS: A dwelling unit in which a significant portion of the space includes a nonresidential use that is operated by the tenant. Work/live units are held jointly in common ownership and the work and live spaces cannot be sold or platted as separate condominiums, as documented with a City-approved restrictive covenant recorded against the property.

LOT COVERAGE: The percent of the total lot area included within the footprint of all buildings. The area of a lot occupied by the primary building(s) and any accessory building(s).

LOT DIMENSIONS: Lot dimensions are the measurements of a piece of land, including its area, depth, width, and frontage.

NET GROSS FLOOR AREA: The actual occupied area of a building, not including unoccupied accessory areas such as corridors, stairways, ramps toilet rooms, mechanical rooms and closets.

OFFICE: A room or part of a building in which people conduct business and service operations, generally at desks with computers and phones. Offices, as a secondary use may be paired with medical services, personal services, skilled construction and industrial trades, and more.
A room or group of rooms used for conducting the administrative affairs of a business, profession, service, industry or government.

OUTDOOR STORAGE: An area designated on a property for the storage of items owned by the occupants of the property and screened from view of the public street by an acceptably designed landscape buffer or fence.

PARAPET: A low wall that extends above the roofline, often decorated with architectural details such as cornices.

PARKING AREA: An area provided for the parking of motor vehicles and may include aisles, parking spaces, pedestrian walkways, and ingress and egress lanes, but shall not include any part of a public street, alley, public right-of-way, or fire access lane.

PARKING, ONSITE: The area not located on any public or private street, access easement or alley to be used for the transient storage of private passenger vehicles, and of appropriate dimension according to this title for parking stall, access drives and aisles.

PARKING, SHARED: The provision that two or more uses which are within close proximity may share parking facilities to fulfill their individual parking requirements because their prime operational hours do not overlap or conflict.

PARKING, STREET: The designated area for parking a vehicle on the side of a public road or street.

PARKING STRUCTURE: A building, or portions of a building used to store or park motor vehicles and can be either above or below ground.

PERIMETER- BUILDING: The total length of the exterior walls of a building, measured at ground level. It's a horizontal line that includes all the constructed parts of a building's floor, as well as any areas covered by a roof or floor above.

PERIMETER: The outer edge of an area of land or the border around it; The total length of its boundary from the outer edge of the exterior foundation or surface of the stud or whichever is larger.

PRINTING SERVICES: Those activities relating to the work of the printing, publishing or graphic arts industries, and shall include any mechanical process whereby ink is transferred to paper or other materials.

RECYCLING CENTER: A facility designed to be a collection point where only recyclable materials are sorted and/or temporarily stored prior to delivery to a permanent disposal site, or shipment to others for reuse, and/or processing into new products. This shall not include junkyards or wrecking yards.

SWIMMING POOLS: A permanent structure, whether above or below grade level, designed to hold water more than 30 inches deep and to be used for recreational purposes, the placement shall comply with the underlying zoning requirements.

TECHNOLOGICAL DEVELOPMENT: The process of creating new technologies or improving existing ones through research and innovation. It can also refer to the systematic use of scientific, technical, economic, and commercial knowledge to meet specific business objectives.

TRANSPORTATION SERVICES: A service that transports a consumer from one place to another through the use of a provider's vehicle and driver.

UNDERGROUND PARKING: A parking area that is located entirely below ground level, typically beneath a building, offering complete protection from weather and often providing a more discreet parking option

UNENCLOSED: Refers to an area or space that is not completely surrounded by walls and is open to the surrounding environment. Examples of unenclosed features include balconies, porches, or open walkways that may have a roof but lack walls on all sides.

WAREHOUSE: A facility for the use of dry/cold storage, wholesale, and the distribution of manufactured products, supplies, and equipment, excluding storage of materials that are flammable or explosive or that present hazards or conditions commonly recognized as offensive. A warehouse is defined by building codes as a separate building or part of a building that is used for warehousing operations.

Section 2.

Severability Clause: Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

Section 3.

Repealer Clause: All City of Hailey ordinances or parts thereof, which are in conflict herewith, are hereby repealed.

Section 4.

Effective Date: This ordinance shall be in full force and effect from and after its passage, approval, and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE MAYOR THIS ___ DAY OF _____, 2025.

Martha Burke, Mayor, City of Hailey

Attest:

Mary Cone, City Clerk

Return to Agenda