

**AGENDA**  
**Hailey Planning and Zoning Commission**  
**Monday, July 15, 2024**  
**5:30 p.m.**

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

**Join on your computer, mobile app, or room device.**

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

[Download Teams](#) | [Join on the web](#)

**Or call in (audio only)**

[+1 469-206-8535,,602369677#](#) United States, Dallas

Phone Conference ID: 602 369 677#

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**Call to Order**

- Public Comment for items not on the Agenda.

**Consent Agenda**

- [CA 1](#) Motion to approve the meeting minutes dated June 17, 2024. **ACTION ITEM**

**Public Hearing**

- [PH 1](#) Continuation of a Design Review Application by Eric Cueva, represented by Matt Youdall of Youdall Architecture, for the construction of an 877 square foot detached garage addition, which includes a new 579 square foot Accessory Dwelling Unit located above the addition. This project also consists of the future construction of an office/commercial prefabricated metal building to support the owner's roofing business. This project is located at 504 S. Main Street (Lots S20' of 12 All of 13 & 14, Block 9, Hailey Townsite) within the Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**
- [PH 2](#) Consideration of a Design Review Application by ARCH Community Housing Trust, Inc., for the construction of a new multifamily residential development project, consisting of ten (10) detached dwelling units, with 1,386 square feet of living space and 440 square feet of garage space per unit. This project is located at the addresses of 702 S 3<sup>rd</sup> Avenue, 623 S 4<sup>th</sup> Avenue, and 715 S 4<sup>th</sup> Avenue (Lots 2, 3, 4, 5, and 6, Blocks 1 and 125, Hailey Replat) in the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The

subject property has been, and continues to be, commonly known as the Ellsworth Inn property. **ACTION ITEM**

- **PH 3** Consideration of a Tiny Home on Wheels (THOW) Application, submitted by Deanna and Brady Campbell. The THOW is proposed to be 272 square feet in size, located onsite, detached and positioned along the northwestern side of the existing single-family residence. The THOW is proposed to be utilized as long-term rental and is located at 810 Buckskin Drive (Lot 16, Block 7, Deerfield Subdivision #1) within the Limited Residential (LR-1) Zoning District. **ACTION ITEM**

#### **Staff Reports and Discussion**

- **SR 1** Discussion of building activity, upcoming projects, and zoning code changes.
- **SR 2** Discussion: Next Planning and Zoning Meeting:
  - August 5, 2024:
    - PP: Sunbeam Phase II
    - DR PreApp: Schlag
    - DR Pre App: Schlag

**Return to Agenda**

**Meeting Minutes**  
**Hailey Planning and Zoning Commission**  
**Monday, June 3, 2024**  
**5:30 p.m.**

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**Present**

**Commission:** Janet Fugate, Owen Scanlon, Sage Sauerbrey

**Staff:** Robyn Davis, Emily Rodrigue, Jessie Parker, Chris Simms, Christian Ervin

**Absent:** Dan Smith, Jordan Fitzgerald, Ashley Dyer

**5:30:11 PM Call to Order**

- [5:30:23 PM](#) Public Comment for items not on the Agenda.

**5:31:06 PM Consent Agenda**

- [CA 1](#) Motion to approve Meeting Minutes dated May 20, 2024. **ACTION ITEM**
- [CA 2](#) Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Design Review Application by Holly McCloud for the construction of a new 2,389 square foot single family residence to be located at 216 S. 4<sup>th</sup> Avenue (Lots 19 & 20, Block 104, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**
- [CA 3](#) Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Stream Alteration Application, submitted by the Wood River Land Trust and the City of Hailey, for Heagle Park Floodplain Restoration, adjacent to Heagle Park and located at 1151 War Eagle Dr (Della View Sub TI 4057a & TI 4057b Park & Sewer Sites Easement W/ Idaho Power Co), within the Flood Hazard (FH) Overlay. **ACTION ITEM**

- [CA 4](#) Motion to approve the Findings of Fact, Conclusions of Law, and Decision of a Design Review Application submitted by Idaho Lumber & Ace Hardware, represented by Mark Gasenica, for the construction of a new 3,090 square foot addition, to be located at 921 Airport Way (Lot 7, Block 1, Friedman Park), within the Light Industrial (LI) Zoning District. **ACTION ITEM**
- [CA 5](#) Motion to approve a Design Review Extension Request for River Lane, LLC, which extends the Design Review approval for the development project at 403 North River Street (River Lane) to December 5, 2024. **ACTION ITEM**

[5:31:13 PM](#) Scanlon noted in on CA 2, spelling type on architect last name.

[5:31:58 PM](#) Fugate asked about CA 5. Davis explained the extension request.

[5:32:18 PM](#) Sauerbrey motioned to approve CA 1-CA 5. Scanlon seconded. All in Favor.

### **Public Hearing**

- [5:32:37 PM PH 1](#) Continuation of a Design Review Application by Eric Cueva, represented by Matt Youdall of Youdall Architecture, for the construction of an 877 square foot detached garage addition, which includes a new 579 square foot Accessory Dwelling Unit located above the addition. This project also consists of the future construction of an office/commercial prefabricated metal building to support the owner’s roofing business. This project is located at 504 S. Main Street (Lots S20’ of 12 All of 13 & 14, Block 9, Hailey Townsite) within the Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**

[5:33:14 PM](#) Rodrigue summarized previous hearing discussion from May 6<sup>th</sup>. Rodrigue confirmed applicant has provided items requested from last meeting including revised site plan, materials, grading for ramp. Rodrigue turned the floor to applicant.

[5:34:56 PM](#) Matt Youdall, explained that ADU is an accessory to the commercial building which has been relocated eliminating the road cut. Youdall summarized the floor plan, business proposed will just be administrative that the materials will be stored at a different location in Bellevue. Youdall summarized changes to architecture – guardrail modified and added bellyband. Youdall noted brought grade up to retaining wall. Youdall described the commercial building and materials proposed. Youdall stated the proposed fence will be a picket fence. Youdall noted the site plan in packet is not the most recent, that have added couple landscape drywells to catch drainage in driveway.

[5:38:47 PM](#) Scanlon asked where drywells are located. Youdall referenced revised site plan dated 5/29/24. Scanlon asked what the cross slope of the three parking spaces was. Youdall estimates a 2 ft grade change, which feels minor but can work with grade to make more level.

[5:39:52 PM](#) Sauerbrey asked if looked into specific language regarding ADU being a nonconforming use. Davis explained how any addition to a single-family use based off how lot lines are would be nonconforming. Simms noted Commissioner Fitzgerald was not able to attend but submitted a letter. Sauerbrey asked staff to work completed on this site required a building permit. Davis stated has not toured inside of the building so does not know the status. Youdall noted that all work done was

cosmetic. Davis confirmed a building permit was not required for the planters. Youdall stated the intended use- front will be the office for administrative and in back will have samples. Youdall sees this more as a retail setup. Sauerbrey asked if the show room will be open to the public. Youdall confirmed. Youdall stated the day-to-day aspect of his business will be carried out from a separate facility in Bellevue.

[5:45:14 PM](#) Scanlon appreciates that fixing up the house and improve the property, but still has issue with fact admin building came late that it seems really a design review for ADU and garage. Scanlon explained that if going to use the commercial building as the crux for the design review would like to see more development. Scanlon summarized his experience in visiting a few re-roof companies. Scanlon did not see any other prefab buildings on Main St. Scanlon stated he is having an issue with how this has come together. Scanlon asked if considered turning the main house into a duplex so it can be permitted. Scanlon stated has issue with that this is going to be an industrial retail in the business district which is not allowed.

[5:48:15 PM](#) Chair Fugate thanked applicant for their response from their last meeting. Chair Fugate was not aware considering a prefab building at last hearing. Chair Fugate expressed concern of show room being used more for storage than show room. Chair Fugate expressed concern of not having design and floor plans for the building. Chair Fugate explained how do not know enough about commercial building to approve accessory use of ADU building. Youdall appreciates commission concern, pointing out that the building is very small and does not think most people would notice. Youdall explained the building is very simple, but not able to address all comments as it is not within his scope. Youdall noted the building is only 13 ft tall.

[5:51:58 PM](#) Scanlon asked how far the building is from the property line and if had the fire marshal look at it. Youdall stated they have not yet.

[5:52:27 PM](#) Sauerbrey complimented design of ADU. Sauerbrey expressed concern of prefab building argument for ADU being able to be met. Sauerbrey expressed building design. Sauerbrey asked the distance between the building and sidewalk. Youdall stated it is 5 ft and will be screened by a fence. Sauerbrey discourages fences along Main St. Sauerbrey believes this structure needs to have more design put into to comply with municipal code. Sauerbrey referenced applicable codes for design. Sauerbrey stated wished had avenue where code approve as ADU but does not make sense to approve as presented. Youdall noted the roofing material provided will be similar to material proposed for this building. Youdall explained owners desire to create a mix use building, that he is an established business owner in this community but due to financial constraints was not able to proceed with the mixed-use building. Sauerbrey understands but does not know if have enough information for the commercial building.

[5:58:31 PM](#) Chair Fugate agrees, does need more information on the commercial building. Chair Fugate summarized Fitzgerald's notes – not complete without a floor plan. Youdall believes the plan provided counts as a floor plan. [5:59:53 PM](#) Scanlon agrees plans provided not sufficient.

[6:00:19 PM](#) Chair Fugate continued with Fitzgerald notes, noting proposed commercial building does not seem to fit within old Hailey. Scanlon suggested Youdall take comments made on ADU and apply to this building. Youdall understands, but explained if goes with a stick-built structure going to increase the cost.

[6:01:44 PM](#) Davis confirmed retail use proposed is permitted. Staff also questions floor plan and that it would be nice to see more design. Davis stated Wiseguys is also a prefab building, summarizing steps they took to enhance the building so that cannot tell it is a prefab building. Davis explained codes does not prevent prefab or modular homes but have design criteria that are applicable. Davis noted signage and lighting can go a long way to enhance the visual appeal. Davis noted some notes mentioned by Fitzgerald do not apply due to code revisions.

[6:05:23 PM](#) Chair Fugate does not think can put the building through design review as is. Youdall confirmed this building is not within his scope but can provide design suggestions. Chair Fugate summarized believes people are comfortable with design of garage and ADU but that need to see more of the other building before can approve the whole application. Youdall suggested maybe it would be possible to add board and batt and overhangs. Chair Fugate confirmed there are possible options but that would need to see it.

[6:07:18 PM](#) Chair Fugate opened public comment.

[6:08:03 PM](#) Chair Fugate closed public comment.

[6:08:12 PM](#) Scanlon appreciates Youdall helping his client, hopes that have given him some guidance that helps so that they can return with a building that complies with code requirements.

[6:09:15 PM](#) Sauerbrey summarized his previous comments, restating would like the city review code. Sauerbrey thinks some added design elements, to make the building more visually appealing. Sauerbrey believes this route should follow design criteria. Scanlon noted will need ensure building complies with ADA requirements.

[6:12:36 PM](#) Chair Fugate would like to see this go through for his client and is hoping that will be able to pass concerns along to whoever's scope the building is within. Chair Fugate agrees cannot proceed with the way building has been presented. Chair Fugate summarized that not able to move forward without further adjustment to the prefab buildings. Youdall asked if could move forward in a more administrative review, that he believes application complies with code.

[6:14:24 PM](#) Simms interjected summarizing that he heard from commission that they found the building does not comply. Simms stated he heard that the commission offered option to continue or deny the project. Davis added can also table and renote for a future meeting.

[6:16:15 PM](#) Davis stated next available date would be July 15<sup>th</sup> and would need documents from applicant by June 28<sup>th</sup>.

[6:17:03 PM](#) **Scanlon motion to continue the public hearing to July 15, 2024. Sauerbrey seconded. All in Favor.**

- [6:17:36 PM PH 2](#) Discussion of various topics related to creative housing initiatives within Hailey's Light Industrial, TI, SCI-I, and SCI-SO Zoning Districts, and the potential development of Tiny Homes on Wheels communities. Additional details around and further implementation strategies that support creative water conversation measures citywide will also be discussed. **ACTION ITEM**

[6:18:04 PM](#) Davis summarized bringing forward potential future text amendments by the city. Davis stated the first item is the housing and opportunity for housing in the industry districts. Davis stated currently allow ADU in only one of these districts. Davis explained staff goal would be to maintain the primary use but would like to compliment those zones with housing as an accessory use. Davis provided suggestions on how to achieve this, referring to provided staff report. Davis asked commission for their general thoughts.

[6:21:35 PM](#) Scanlon noted one issue he has seen with his clients, is limit of only one housing unit per use. Scanlon believes parameters are appropriate but feels limiting housing units is exclusionary. Scanlon stated recreational and parking is always a consideration.

[6:23:30 PM](#) Chair Fugate stated safety is the number one concern and that if there is housing there must be some sort of connectivity/ access to area other than industrial. Chair Fugate agrees with uses where its owner or employee occupied only. Davis explained with the exception of south woodside believes industrial districts are set up with sidewalks.

[6:25:54 PM](#) Sauerbrey stated thinks staff nailed it but agrees should consider more mix used assuming uses safe and meets codes. Sauerbrey suggested possible density bonuses.

[6:26:55 PM](#) chair Fugate stated if it is owner or employee occupied, determining what type of housing would be applicable for the business and would need to consider how that would work if the use changes. Sauerbrey would like to require employee housing, think it needs to be established. Staff confirmed will look into to see if can require. Sauerbrey agrees with open space requirement.

[6:29:37 PM](#) Simms noted fire safety concerns after certain heights. Scanlon suggested staff come up with a formula that a ground unit cannot exceed a determined percentage of the structure.

[6:31:28 PM](#) Chair Fugate added that it could be possible that if not room onsite, that perhaps there is an area that could be set aside for the district for outdoor space. Davis does think that incorporating that in future developed in annexations.

[6:33:28 PM](#) Davis moved on to discuss THOW communities. Davis summarized what have found during research of THOW Communities. Davis asked commissioners what their thoughts are on these communities. Davis noted that THOW communities would go through Design Review process, that it would be separate from the administrative reviews. Davis noted all bulk requirements would need to be met, that staff suggested primary residential zoning districts where these could be allowed. Davis summarized staff suggestions from the staff report provided.

[6:36:59 PM](#) Scanlon asked if the structures would be permanent once have a community. Davis stated codes classify them as temporary structures, that one could be moved, and another brought in.

[6:38:00 PM](#) Sauerbrey disclosed that he is a builder in the THOW industry, that he builds tiny homes. Sauerbrey stated it is his understanding that this does not preclude him from participating in discussion and has no vested interest. Sauerbrey confirmed skirting is required per code and confirmed insulation is installed. Sauerbrey noted he also recommends installation of heat tape and with the addition of that as far as he knows no issues in unit occupied full time.



[6:40:04 PM](#) Scanlon asked if these communities look like trailer parks. Sauerbrey thinks intentionality is something to look really closely at. Sauerbrey believes most builders put a lot time in design to avoid them looking like trailers or manufactured homes. Chair Fugate added if had criteria could resolve concern.

[6:42:39 PM](#) Chair Fugate also referenced set up but fire station up north. Chair Fugate sees these as more of a community and less like a trailer park. Sauerbrey summarized his research that it is similar to our cottage development and co-living codes. Sauerbrey noted clustered parking and open space is a huge aspect. Chair Fugate agrees parking not right next to it. Sauerbrey and Chair Fugate agrees with long term if able, both expressed concern on short term lease. Simms stated will need to look at it closely, but that thinks can find a way to achieve their goal.

[6:47:30 PM](#) Sauerbrey thinks should look at whether or not want to isolate on wheels or allow THOWs on a foundation. Sauerbrey stated will also need to consider what the process would be like if one moves out and another moves in. Davis suggested administratively. Scanlon asked if THOW has a permanent foundation if moved in or built on. Sauerbrey stated it could be either. Scanlon asked if THOW communities have storage units associated with them. All agreed should look into that. Davis confirmed can provide more clarity around accessory structures. Sauerbrey suggested while drafting this, should look at options for homeless shelter that a form of THOW have been utilized to create high density homeless shelters. Scanlon referenced one done in Salt Lake City.

[6:54:59 PM](#) Davis asked if should take public comment on housing or take it on everything. Chair Fugate stated to do it on everything.

[6:55:31 PM](#) Rodrigue introduced water conservation amendments; summarized steps already being taken by City of Hailey. Rodrigue summarized ideas considered by staff, referring to the staff report provided. Rodrigue discussed idea of using reclaimed water.

[6:58:27 PM](#) Chair Fugate asked how reclaimed water would become implemented. Rodrigue explained potential process of this would take place. Rodrigue clarified how reclaimed water would work, explaining gray water.

[7:01:25 PM](#) Chair Fugate asked where are places that have used reclaimed water and if there have been negative impacts. Scanlon asked if there are any ramifications if grow edible plants. Staff will need to do further research. Sauerbrey asked about some sort of filtration system that would be used. Rodrigue explained how that could vary, that there are a wide range of options. Simms explained his understanding referring to design approved within the Quigley subdivision. Discussion continued on how this would potentially work. Sauerbrey asked about the use of composting toilets being permitted.

[7:09:29 PM](#) Chair Fugate opened public comment.

[7:10:16 PM](#) Kathy Noble, lived in Hailey for 35 years, is a landscape architect, and finds the most egregious water users are the irrigation uses that there is equipment and technology out there that would assist. Has been trying to work with cities and county in developing training that would allow of testing and certifications. Has discussed with CSI, there is one impediment that is that Blaine County is not a member of the counties that support CSI. This is an aspect that needs to be addressed if were to work with CSI. One of the primary problems she has dealt with personally, there is a difference in

Spanish and that instructions are interpreted differently. Communication problem is a big one in this field. Some of the larger landscape companies have sent employees to trainings. Noble suggested trainings and hands on experience. Noble stated there is a big gap of really good information in this area and thinks there is a lot to be gained in terms of water saving. Really encourages the commission to not only support county with CSI and also training programs and that would entertain ideas involved that other cities have come to with their ordinances. Noble referenced Salt Lake City, Denver, Seattle, all of California have had water shortages and thinks this is something need to contemplate and consider for the future. Understand that would need to have training for about two years to really fulfill the efforts.

[7:17:43 PM](#) Cece Osborn, chimed in that land trust is gearing up to revamp the ??? program and that there could be some overlap there and that would be happy to lift up what they come up with.

[7:19:12 PM](#) Chair Fugate closed public comment.

[7:19:32 PM](#) Chair Fugate, noted that it was years after Keefer Park was built that was able to get someone to come in to help get the irrigation back on track. Chair Fugate thinks it is huge for people understand irrigation systems, likes idea of design approval for irrigation systems. Davis agrees, and also agrees with limiting what can be planted and what types of planting should be steered away from.

[7:23:21 PM](#) Sauerbrey asked what kind of outreach is occurring between CSO and companies, and if that is part of his role. Sauerbrey asked if part of his duties or cities to perform outreach to major landscaping companies and architects. Davis stated can certainly have the conversation on who can take it on.

[7:26:56 PM](#) Chair Fugate opened public comment again.

[7:27:05 PM](#) Noble, noted that there are companies growing low water use landscaping. Thinks could be helpful if Hailey established native plant area, establish some sort of demonstration garden think it could be very helpful.

[7:29:49 PM](#) Sauerbrey noted that they are looking at prohibiting planting of high water use plants and asked if want to review limiting turf maximums. Davis confirmed those requirements are embedded in the subdivisions, but moving forward could amend to require this. Staff confirmed the city would be held to same standard. Rodrigue noted these would be good steps to start with, mentioned reclaimed water would be a long-term goal. Sauerbrey asked if have any incentives to encourage homeowners to convert their yards. Rodrigue referenced old incentive, and noted other ideas seen from other jurisdictions. Davis summarized that there are grant programs that public works is looking to explore.

[7:35:12 PM](#) Scanlon stated water senses make sense to him, and that he would encourage those not to become discouraged that would need to keep the education going.

[7:36:59 PM](#) Rodrigue noted this not just Haileys responsibility to resolve, that thinks with everyone stepping up will see the change.

**No Motion.**

### **Staff Reports and Discussion**

- **SR 1** Discussion of building activity, upcoming projects, and zoning code changes.
- **SR 2** Discussion: Next Planning and Zoning Meeting:
  - June 17, 2024:
    - PP (Short Plat): Idaho Conrad, LLC
    - PP: Quigley Block 7
    - PP: Shapi Shay
  - July 1, 2024:
    - PP: Advocates Croy
    - PP: Advocates River
    - CUP: UPS
    - DR: 637 Townhomes

Davis summarized upcoming projects.

[7:38:55 PM](#) Scanlon motion to adjourn. Sauerbrey seconded. All in Favor.

**Return to Agenda**



**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of July 15, 2024**

**To:** Hailey Planning and Zoning Commission  
**From:** Emily Rodrigue, Community Development City Planner/Resilience Planner

**Overview:** Continuation of a Design Review Application by Eric Cueva, represented by Youdall Architecture, for a mixed-use development project which includes an 880 square foot retail trade commercial space, an 877 square foot detached garage addition, as well as a new 579 square foot Accessory Dwelling Unit (ADU) located above the addition. This project is located at 504 S. Main Street (Lots S20' of 12 All of 13 & 14, Block 9, Hailey Townsite) Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts.

**Hearing:** July 15, 2024

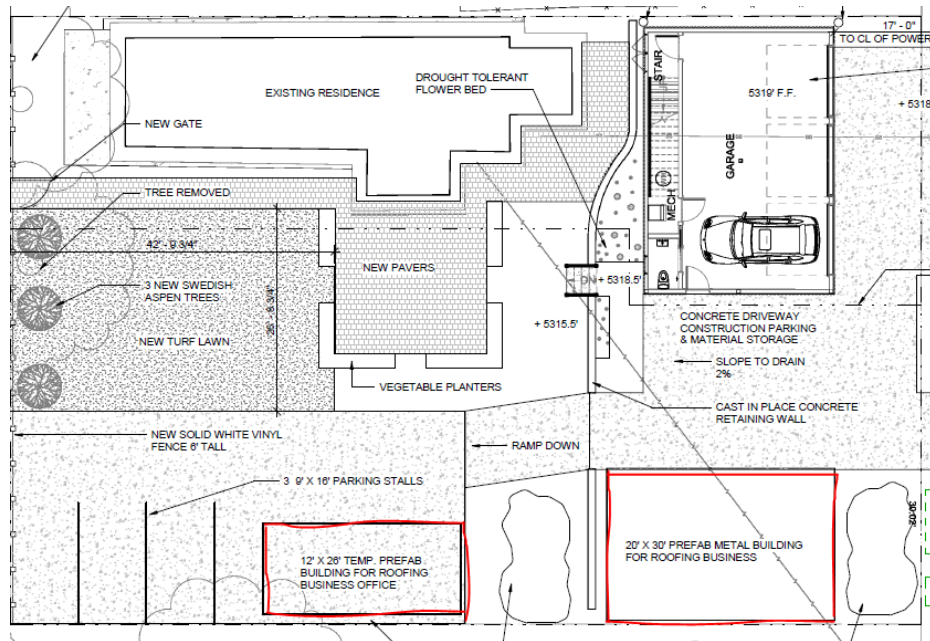
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**Applicant:** Eric Cueva  
**Location:** Lots S20' of 12 All of 13 & 14, Block 9  
**Zoning/Size:** Business (B), Residential Overlay (DRO) and Townsite Overlay (TO)  
Total Lot Area: 9,598 square feet

**Notice:** The first notice for the project's May 6, 2024, public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on April 17, 2024. The second notice for the continuation of the project to June 3, 2024 was published in the Idaho Mountain Express on May 15, 2024. No public comments were received in conjunction with the second noticing. The third notice for the continuation of the project to the July 15, 2024 Public Hearing was published in the Idaho Mountain Express on June 26, 2024 and mailed to property owners within 300 feet on June 26, 2024. No public comments were received in conjunction with the third noticing.

**Background and Application:** At the May 6, 2024 Public Hearing, the Applicant proposed the construction of an 877 square foot detached garage addition as well as a new 579 square foot Accessory Dwelling Unit (ADU) located above the garage. This garage/ADU structure would complement an existing 880 square foot, single-family residence already onsite. Upon a comprehensive review of the Hailey Municipal Code, City Staff identified the existing single-family residence as a "nonconforming use", stated in Section 17.05 "Official Zoning Map and District Use Matrix" and procedurally outlined in Section 17.13 "Nonconforming Uses and Buildings". Specifically, the existing single-family residence is not permitted in the Business (B) Zoning District, and the construction of the garage/ADU structure, in relation to the single-family residence, would be considered an "expansion of nonconforming use", which is prohibited in the Hailey Municipal Code. While this Code requirement was brought to Staff's attention after the Public Hearing had been scheduled, Staff were able to inform both the Applicant team and the Planning and Zoning Commission of the non-permitted use prior to the Public Hearing. The Hearing was conducted with the mutual understanding that there would not be an opportunity for approval of the project at that time.

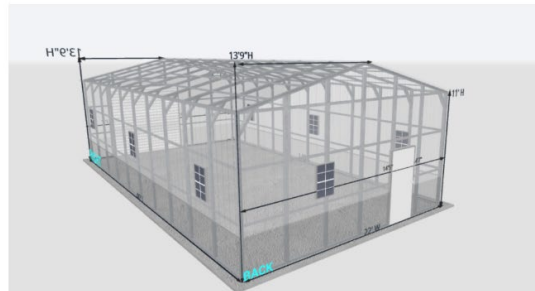
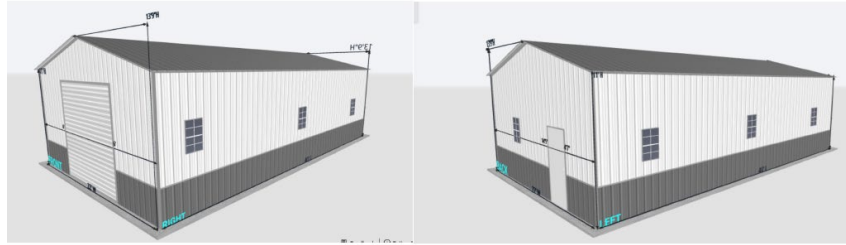
However, the Applicant also referenced new commercial structures in their original site plan submittal, to be developed in the future but not explicitly associated with the garage/ADU development. The Applicant/property owner is the owner/operator of a local roof contracting business, and this property is intended to support their business, according to the Applicant. The two (2) structures outlined in red below represent the Applicant's original site plan submittal with commercial structures.



Detailed building elevations and/or architectural renderings were not submitted in the Applicant's original design package.

At the May 6, 2024 Public Hearing, the Commission noted that irrespective of the nonconforming use, it would be difficult to approve the garage/ADU Design Review Application without more complete building/design plans, or a timeline of construction, for the commercial components referenced in their submittal package. A fully conceptualized site plan was requested by both Staff and the Commission for any continued consideration of the project. The Applicant met this request with a revised Design Review submittal, prior to the June 3, 2024 Public Hearing.

However, the building elevations and floor plans for the proposed commercial structure were significantly lacking in design considerations and details that are Design Review requirements for non-residential and/or mixed-use buildings within the City of Hailey. The initial building elevations submitted for the commercial building were as follows:



In regard to the commercial structure, specific Standards that were found to be inadequately met during previous Design Review submittals and Public Hearings included:

- *17.06.080(A)2c: At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.*
- *17.06.080(A)2d: The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.*
- *17.06.080(A)2j Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.*
- *17.06.080(A)3a Accessory structures shall be designed to be compatible with the principal building(s).*

The Applicant revised their building elevations and resubmitted plans for an additional Design Review continuation by the Commission, to be heard on July 15, 2024. The revised building elevation is as follows:



Additionally, the Applicant submitted building elevations at record grade, as well as a floor plan, per Design Review submittal requirements. Staff believe that in terms of the commercial building design, the Applicant has submitted plans that are complete and consistent with Hailey Municipal Code requirements. The Commission may wish to focus on these outstanding commercial building design requirements in this iteration of the Applicant’s Design Review Public Hearing.

**Procedural History:** The Application was submitted on March 28, 2024, and certified complete on April 1, 2024. A public hearing was held on May 6, 2024, in the Council Chambers and virtually via Microsoft Teams, at which time the Commission voted unanimously to continue the Design Review Public Hearing. A continuation of the Design Review Application was held on June 3, 2024 in the Council Chambers and virtually via Microsoft Teams. Upon review, the Commission unanimously voted to continue the Design Review Application an additional time, citing unmet design standards for the commercial structure. The additional continuation of the Design Review Application will be held on July 15, 2024 in the Council Chambers and virtually via Microsoft Teams.


<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Department Comments</b>	<b>Engineering:</b> <i>No comments</i>
				<b>Life/Safety:</b> <i>No comments</i>
				<b>Water and Sewer:</b> <i>The Wastewater Division Manager has stated that the Applicant is not allowed to make a new connection to the sewer main and must tap into their existing sewer service for the site.</i>
			<i>This has been made a Condition of Approval.</i>	



				<p><b>Building:</b> <i>It is Staff's understanding that the Applicant is completing, or has completed, various projects at the site that require a Building Permit from the City of Hailey, although no Building Permit Applications have been submitted at this time. The Applicant shall include the cost of the primary residence's deck construction, as well as the cost of the primary residence's re-roof construction, within the total construction cost for the mixed-use project, in conjunction with the mixed-use project's Building Permit Application. This has been made a Condition of Approval.</i></p> <p><b>Streets:</b> <i>The Streets Division Manager and Public Works Director have both stated that the Applicant shall remove the Main Street curb cut to the property, and that the Applicant shall install new sidewalk to match the remaining pedestrian improvements within the right-of-way.</i></p> <p><i>This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	<p><b>17.08A Signs:</b> <b>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</b></p>
			<i>Staff Comments</i>	<i>N/A, No sign is associated with the garage &amp; ADU addition.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<p><b>See Section 17.09.040 for applicable code.</b></p> <p><b>17.09.040 Accessory Dwelling Units and all dwellings less than 1,000 square feet: Minimum 1 space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces.</b></p>
			<i>Staff Comments</i>	<p><i>The Hailey Municipal Code requires a minimum of two (2) onsite parking spaces for a site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit. Additionally, single-family dwellings must provide a minimum of two (2) parking spaces, with six (6) spaces per dwelling maximum.</i></p> <p><i>The mixed-use/commercial component of the project requires one (1) parking space for every 1,000 square feet of gross building area. The commercial retail trade building is 880 square feet in size, requiring a maximum of one (1) parking space.</i></p> <p><i>A minimum of five (5) onsite parking spaces are required. The proposed onsite parking for the ADU is located in the proposed three-car garage, constructed below the ADU. The remaining two (2) spaces within the garage meet the minimum code requirement for single-family dwellings. The Applicant is also proposing an additional three (3) parking spaces in the southeast corner of the site, which will service the commercial parking requirement. The total number of onsite parking spaces is six (6). The vehicular parking requirements for this project have been met.</i></p> <p><i>Lastly, per Hailey Municipal Code Section 17.09.040.07, all mixed-use developments shall provide at least three (3) bicycle parking spaces or bicycle spaces equivalent to twenty five percent (25%) of the required number of</i></p>

				<p>vehicle parking spaces, whichever is greater. The Applicant has not shown any bicycle parking spaces on submitted plans. The Applicant shall ensure that at least three (3) bicycle parking spaces (in racks) are installed, prior to issuance of a Certificate of Occupancy. This has been made a Condition of Approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08C.040 Outdoor Lighting Standards</b></p>	<p><b>17.08C.040 General Standards</b></p> <ul style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent:           <ul style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ul> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ul>
			<p><i>Staff Comments</i></p>	<p>The Applicant will install Dark Sky compliant fixtures, downcast and low wattage fixtures.</p> <ul style="list-style-type: none"> <li>- Four (4) recessed lighting fixtures are proposed for the covered porch area.</li> <li>- Four (4) fully shielded, downcast wall sconces are proposed around the garage bay doors as well as one (1) by the ADU entrance door.</li> <li>- One (1) dark sky compliant lighting fixture is proposed for the commercial building's front façade.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Bulk Requirements</b></p>	<p><b>Zoning District: Business (B) Townsite Overlay (TO) and Downtown Residential Overlay (DRO) Zoning Districts:</b></p> <ul style="list-style-type: none"> <li>- Maximum Building Height: 40 feet</li> <li>- Front Yard Setback: 0 feet*</li> <li>- Side Yard Setbacks: 0 feet*</li> <li>- Rear Yard Setback: 0 feet*</li> <li>- Alley setback: 0 feet*</li> <li>- Lot Coverage: No maximum</li> </ul> <p><b>* No townhouse units are proposed with this project.</b></p>
			<p><i>Staff Comments</i></p>	<p>Setbacks and bulk requirements proposed by the Applicant are as follows, and comply with the zoning districts:</p> <p><u>Garage/ADU</u></p> <ul style="list-style-type: none"> <li>- Maximum Building Height: 23'-10"</li> <li>- Front Yard Setback: +75'</li> </ul>

				<ul style="list-style-type: none"> <li>- Side Yard Setbacks: Approximately 2' (north); Approximately 50' (south)</li> <li>- Rear/ alley Setback: 17'</li> </ul> <p><u>Retail Trade Building</u></p> <ul style="list-style-type: none"> <li>- Maximum Building Height: 13' 9"</li> <li>- Front Yard Setback: 4' 9.25"</li> <li>- Side Yard Setbacks: 1'7" (south); 70'+ (north)</li> <li>- Rear/Alley Setback: 60'+</li> <li>- Lot Coverage: 27% = 2,637 square feet</li> </ul> <p>All setback, building height, and lot coverage requirements have been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	<p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p> <p><i>Staff Comments</i></p> <p>The Streets Division Manager and Public Works Director have both stated that the Applicant shall remove the Main Street curb cut to the property, and that the Applicant shall install new sidewalk to match the remaining pedestrian improvements within the right-of-way.</p> <p>This has been made a Condition of Approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p><b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)</b></p> <p><i>Staff Comments</i></p> <p>The Applicant is proposing the construction of a new garage and ADU off the alleyway. Insulating the water service line and main line has been made a Condition of Approval.</p>
<b>Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)1	<p><b>1) Site Planning</b></p> <p><b>Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</b></p> <p><i>Staff Comments</i></p> <p>The proposed garage/ADU respects the existing Old Hailey grid. The structure is situated on the alley side of the lot in a rectangular fashion that preserves the open space at the front of the lot.</p> <p>A Lot Line Adjustment to remove the interior, southern-most lot lines of Lots South 20' of Lot 12 and Lot 13 shall be submitted. This will maintain the pattern of the Old Hailey town grid while creating a new lot that is</p>

				<p><i>appropriately sized for modern building scales and code requirements. Approval of the Lot Line Adjustment has been made a Condition of Approval for this Design Review.</i></p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>Guideline: Site planning for new development and redevelopment shall address the following:</b></p> <ul style="list-style-type: none"> <li>• <b>scale and massing of new buildings consistent with the surrounding neighborhood;</b></li> <li>• <b>building orientation that respects the established grid pattern of Old Hailey;</b></li> <li>• <b>clearly visible front entrances;</b></li> <li>• <b>use of alleys as the preferred access for secondary uses and automobile access;</b></li> <li>• <b>adequate storage for recreational vehicles;</b></li> <li>• <b>yards and open spaces;</b></li> <li>• <b>solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines;</b></li> <li>• <b>snow storage appropriate for the property;</b></li> <li>• <b>Underground utilities for new dwelling units.</b></li> </ul>
			<p><i>Staff Comments</i></p>	<ul style="list-style-type: none"> <li>• <i>The scale of the proposed garage/ADU is consistent with the scale and massing of buildings in the surrounding neighborhood. The new building footprint is approximately 100 square feet smaller than the site's existing single-family residence, and the Applicant is proposing a new structure that is approximately 16' feet below the maximum permitted building height for the site and Zoning District.</i></li> <li>• <i>The rectangular massing and required lot line adjustment will respect the existing grid pattern of Old Hailey.</i></li> <li>• <i>The original house has a clearly visible entrance from Main Street and the ADU proposes a pedestrian entrance facing south, interior to the lot, and a vehicular entrance facing the alley to the east.</i></li> <li>• <i>The proposed garage/ADU will be accessed from the alley.</i></li> <li>• <i>The proposed lot coverage is 27%, with no permitted lot coverage maximum for the site's Zoning District. Ample lot space remains</i></li> </ul>

				<p><i>onsite, should the property owner need recreational vehicle storage.</i></p> <ul style="list-style-type: none"> <li>• <i>1,125.64 square feet of turf lawn will be retained/offered by this project. A new patio paver area (approximately 144 square feet), as well as 164 square feet of outdoor deck space for the ADU will provide further yard and open space benefits to the project.</i></li> <li>• <i>The proposed ADU is on the north and east side of the lot, preserving solar access from the south and west.</i></li> <li>• <i>Snow storage has been identified on the site plan and appears sufficient for the site.</i></li> <li>• <i>Utilities are existing; the Applicant is required to utilize existing water/wastewater utilities on site, and the current aboveground electricity lines servicing the site will be required to be placed underground with site development.</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</b></p>
			<i>Staff Comments</i>	<p><i>The energy-conserving strategy for this project, according to the Applicant team, is to utilize southern exposure for solar gain for the primary living area of the ADU. The building's south elevation includes sliding glass doors with full shielding from the roof overhang. This will allow for natural lighting of the ADU, minimizing direct glare and overheating from south-aspect sunlight. The Applicant has also indicated the following energy conservation measures, included in final project design:</i></p> <ul style="list-style-type: none"> <li>• <i>Minimum 40% glazing of south facing fenestrations, with roof overhangs.</i></li> <li>• <i>Double pane insulated glazing.</i></li> <li>• <i>Low emissivity-coated glazing.</i></li> </ul> <p><i>As with any new construction, Staff encourages the Applicant to consider energy-conserving measures such as pre-wiring/"rough-in" components for future installation of solar PV panels, high-efficiency HVAC equipment (heat-pumps/mini-splits), above-Code insulation for walls, roofs, and windows, and/or installation of EV-ready electrical infrastructure for charging.</i></p> <p><i>Staff are available to discuss these measures with the Applicant, in addition to available financial assistance and incentive programs that support implementation.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)2	<p><b>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</b></p>
				<p><b>Guideline: The perceived mass of larger buildings shall be diminished by the design.</b></p>
			<i>Staff Comments</i>	<p><i>The proposed garage/ADU design meets all Hailey Municipal Code bulk requirements.</i></p> <p><i>The structure is proposed for the northeast corner of the lot, directly adjacent from the alley. According to the Applicant, the garage/ADU will feature a 2:12 pitch shed roof. This low roof pitch, combined with the roof's slope angled interior to the property and the building's tallest wall plane</i></p>


				<i>facing the alley, creates a perceived mass that is smaller in nature and appropriate for the property's surrounding context.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3	<b>3. Architectural Character</b>
			17.06.090(C)3a	<b>a. General</b>
				<b>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</b>
			<i>Staff Comments</i>	<i>While the proposed ADU incorporates a shed roof, the materials and roof overhangs are consistent with traditional Old Hailey vernacular. The wood post and beams, wood soffits and detailing, corrugated metal wainscoting, and color palette of the exterior cladding blends well with the surrounding context of the Hailey Townsite Overlay. Steel cable railings around the second-level exterior deck provide a modern material and design element that captures the era in which the structure will be built, without detracting from the historical styles and charm of Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3b	<b>b. Building Orientation</b>
				<b>Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</b>
			<i>Staff Comments</i>	<i>The original house orients to the street in a similar manner to the surrounding residences. The proposed garage/ADU will be accessed from the alley, as is typical in Old Hailey. No change to the front entry of the primary structure is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</b>
			<i>Staff Comments</i>	<i>The existing residence orients to the street in a similar manner to the surrounding residences, with the building's shorter wall plane facing Main Street. The proposed garage/ADU will be accessed from the alley, as is typical in Old Hailey, and it will be positioned in line with the existing residence on the property's northern boundary, to the greatest degree possible given existing utilities and site conditions. The existing grid pattern in Old Hailey will not be impacted by the proposed building placement and design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3c	<b>c. Building Form</b>
				<b>Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</b>
			<i>Staff Comments</i>	<i>The garage/ADU is constructed of rectangular forms, with the longer side facing the existing building and Main Street and the shorter side facing interior lot lines. These forms are traditionally found in Old Hailey.</i>  <i>The proposed garage/ADU is rectangular in shape, and it incorporates a small footprint, relative to the lot's total size. As previously mentioned in this Staff Report, the structure will feature a low-pitch roof, with the shortest wall plane facing west/towards Main Street. This roof form will reduce the perceived scale of the garage/ADU from established front of the property.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<b>d. Roof Form</b>
			<b>Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.</b>	
			<i>Staff Comments</i>	<i>The structure will feature a low-pitch roof, with the shortest wall plane facing west/towards Main Street. This roof form will reduce the perceived scale of the garage/ADU from established front of the property (Main Street). The three (3) garage bay entrances will face the alley, diminishing these entrances to all surrounding traffic and uses, aside from activity in the alley itself.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<b>Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.</b> <ul style="list-style-type: none"> <li>• Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas.</li> <li>• Designs should avoid locating drip lines over key pedestrian routes.</li> <li>• Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.</li> </ul>
			<i>Staff Comments</i>	<i>The proposed garage/ADU will utilize snow retention bars to store the roof snow on the roof. The building proposes a single roof pitch (2:12/low angle) that angles toward the interior of the property, ensuring that snow will not shed onto adjacent properties and that all drip lines will route to a proposed drought-tolerant flower bed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<b>Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</b>
			<i>Staff Comments</i>	<i>The Applicant has proposed a shed roof form of 2:12 pitch, which represents design elements that are similar to or match those traditionally found in the Townsite Overlay District. The standing seam metal roofing material is used widely across the Townsite Overlay District as well, which the Applicant is proposing to use for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<b>Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</b>
			<i>Staff Comments</i>	<i>See Section 17.06.090(C)3d.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	<b>e. Wall Planes</b>
			<b>Guideline: Primary wall planes should be parallel to the front lot line.</b>	
			<i>Staff Comments</i>	<i>The garage/ADU's longest wall plane is parallel to the front lot line, although residential access to the structure will be achieved via the shorter, south-facing wall plane.</i>  <i>While the Applicant originally intended for the residential access and exterior covered deck to face west towards Main Street, utility setbacks required by existing Idaho Power infrastructure in the alley has resulted in amended site plans to be submitted by the Applicant. These amendments now represent the finalized site plans, including a 90-degree, counterclockwise rotation of the proposed garage/ADU. This amendment achieves Idaho Power clearance requirements for their equipment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	<b>Guideline: Wall planes shall be proportional to the site and shall respect the scale of the surrounding neighborhood.</b>

			<b>Staff Comments</b>	<i>The wall planes of the proposed structure are similar or subservient in size to neighboring residences and/or buildings. The Applicant is proposing a structure that is 23' 10" tall at its highest point, while the maximum permitted building height for the Zoning District (Business, Townsite Overlay, Downtown Residential Overlay) is 35'.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.090(C)3e</b>	<b>Guideline: The use of pop-outs to break up longer wall planes is encouraged.</b>
			<b>Staff Comments</b>	<p><i>The southern wall plane features a covered deck space with a steel cable railing, which helps to significantly break up this wall plane. With the original garage/ADU Design Review submittal, Staff commented that the north and west wall planes presented a large massing that was not fully conducive of the design guidelines for residential buildings in the Townsite Overlay. The west elevation, in particular, presented the largest uninterrupted area of wall plane for the project. The primary material and color for the garage/ADU will be off white, vertical wood siding. While appropriate materials and colors for the building and its surrounding context in the Townsite Overlay District, the presentation of scale and massing with the materials and colors on the north and west elevations did not offer adequate visual interest and may serve to dominate the site and the existing primary residence.</i></p> <p><i>At the May 6, 2024 Public Hearing, the Commission discussed possible design enhancements to the large, unbroken wall planes of the Applicant's design proposal. Specifically, the Commission commented on their appreciation of the Applicant's wood accent material selection, suggesting that this material may be used to a greater degree across the building design. Specific features suggested by Staff and the Commission included belly band siding of an alternate color, more wood accenting, suspended awnings, or a wrap-around extension of the covered porch.</i></p> <p><i>The Applicant submitted revised building elevations that included a yellow cedar belly band between the first and second stories of the garage/ADU, wrapping around the entirety of the structure. The Commission acknowledged this adjustment at the June 3, 2024 Public Hearing and did not present any further requests addressing the unbroken, larger wall plane.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.090(C)3f</b>	<b>f. Windows</b>
				<b>Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.</b>
			<b>Staff Comments</b>	<p><i>While Staff originally suggested additional first-floor windows on the west, street-facing building elevation of the garage/ADU structure, the Commission did not express concern with the west-facing building elevations – and its amount and orientation of windows – at the June 3, 2024 Public Hearing. Please refer to Staff Reports dated May 6, 2024 and June 3, 2024 for a more detailed discussion of this Standard and its application for this project.</i></p> <p><i>Upon multiple Design Review Public Hearings, this standard is considered to be met.</i></p>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	<b>Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.</b>
			<i>Staff Comments</i>	<p><i>The proposed windows on the side lot lines adjacent to other buildings respect the privacy of neighbors. Only two clerestory (2) windows on the north elevation are proposed, and the southern elevation features the covered deck space. This recesses the windows and sliding glass doors by nature of the building’s design, further protecting the privacy of neighbors.</i></p> <p><i>It should also be noted that the remaining lots to the south, completing the Chestnut to Elm Street block, are currently vacant.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	<b>g. Decks and Balconies</b>
				<b>Guideline: Decks and balconies shall be in scale with the building and the neighborhood.</b>
			<i>Staff Comments</i>	<p><i>The second floor covered deck is setback from the first-floor façade and sheltered by the main roof. The proposed size of 164 square feet is in scale with the surrounding neighborhood. The Commission may recall the Benson Dental project reviewed in 2023, located on the corner of Elm and 1<sup>st</sup> Avenue and directly across from this project’s existing alley. The Benson Dental project also featured a second level ADU with covered exterior deck space, approximately 125 square feet in size.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	<b>Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.</b>
			<i>Staff Comments</i>	<p><i>The proposed second floor deck space faces south, interior to the property. The deck is not oriented to immediately adjoin an adjacent property line. The remaining lots to the south of the Applicant’s property, completing the Chestnut to Elm Street block, are currently vacant. No adverse impact to the privacy of neighbors is anticipated.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	<b>h. Building Materials and Finishes</b>
				<b>Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.</b>
			<i>Staff Comments</i>	<p><i>The proposed garage/ADU will complement that of the surrounding neighborhood, as well as the site’s existing primary residence.</i></p> <p><i>According to the Applicant, a corrugated metal siding is proposed at the ground floor level to minimize moisture damage from snow against the building. This ground floor material will also provide variety in texture and appearance when compared to the rest of the exterior materials of the building, which is primarily vertical wood siding in an off-white color scheme.</i></p> <p><i>Yellow cedar wood trim around human entry and garage doors and architectural grade plywood soffit material adds further texture and detailing that reduce some of the perceived scale of large walls. The siding changes and first and second stories are separated by yellow cedar belly</i></p>

			<p><i>bands that match the existing house. The color palette consists of brown tones with enough contrast to emphasize the different siding treatments.</i></p> <p><i>At the May 6, 2023 Public Hearing, the Commission noted their concern over the large, unbroken wall planes of the garage/ADU, specifically on the north and east elevations. Upon continuation of the Application, the Applicant submitted revised building elevations that included a yellow cedar belly band between the first and second stories of the garage/ADU, wrapping around the entirety of the structure. The Commission acknowledged this adjustment at the June 3, 2024 Public Hearing and did not present any further requests addressing the unbroken, larger wall plane.</i></p>
			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.090(C)3h</b></p> <p><b>Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</b></p>
			<p><i>Staff Comments</i></p> <p><i>Please see Section 17.06.090(C)3h for discussion on how this Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.090(C)3i</b></p> <p><b>i. Ornamentation and Architectural Detailing</b></p>
			<p><b>Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.</b></p>
			<p><i>Staff Comments</i></p> <p><i>The Applicant’s property hosts an existing single-family residence with its entrance facing west, towards Main Street. The proposed garage/ADU will off pedestrian access on its south elevation, and garage/vehicular access from the alley and facing east. The pedestrian entrance elevation (south-facing) offers substantial architectural detailing, including changes in materials and colors, a single-pitch shed roof, steel cable railings with wood capping for the second-floor outdoor deck space, and wooden post and beam features.</i></p>

				<i>The garage/ADU's Main Street (west)-facing elevation also features architectural detailing, including changes in color and materials, such as a cedar belly band.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	<b>Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</b>
			<i>Staff Comments</i>	<i>The exterior deck space, wood door trim, wood soffits, corrugated metal wainscot, and wood post and beam features each provide ornamentation that is reminiscent of the historic nature of Old Hailey.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	<b>Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</b>
			<i>Staff Comments</i>	<i>Please refer to Sections 17.06.090(C)3h and 17.06.090(C)3i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<b>4. Circulation and Parking</b>
				<b>Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.</b>
			<i>Staff Comments</i>	<i>Pedestrian access for the garage/ADU will be achieved via the building's south elevation. Pedestrians may access the site and south elevation through the alley, or from Main Street and the new paver walkway the Applicant intends to install to the south of the existing residence on site. Parking for the ADU will be provided via the proposed three (3) car garage, which also includes an interior staircase.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<b>Guideline: The visual impacts of on-site parking visible from the street shall be minimized.</b>
			<i>Staff Comments</i>	<i>The proposed garage area will be accessed via the alley to the east of the site, with little to no visual impact on surrounding streets. A six foot (6') tall, white picket fence is proposed along the entirety of the property's Main Street frontage, which will shield the front of the site from the street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<b>Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.</b>
			<i>Staff Comments</i>	<i>The Applicant is proposing all future vehicular access through the alley.  The Applicant shall remove the Main Street curb cut to the property and install new sidewalk to match the remaining pedestrian improvements within the right-of-way.  This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	<b>Guideline: Detached garages accessed from alleys are strongly encouraged.</b>
			<i>Staff Comments</i>	<i>The detached garage is proposed to be accessed off the alleyway.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	<b>Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.</b>
			<i>Staff Comments</i>	<i>N/A, as the garage will have access from the existing alley.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	<b>Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.</b>
			<i>Staff Comments</i>	<i>N/A, as the garage will have access from the existing alley.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	<b>Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.</b>
			<i>Staff Comments</i>	<i>N/A, as there is no seasonal, off-street parking for recreational vehicles being proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<b>5. Alleys</b>
				<b>Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.</b>
			<i>Staff Comments</i>	<i>The alley is existing and will be utilized for access to onsite parking. No alley access will be eliminated.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<b>Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.</b>
			<i>Staff Comments</i>	<i>All wet utilities will be underground within the existing alley. Existing overhead power lines are also located in the alley, and the Applicant has coordinated with Idaho Power to ensure that utility line clearances will be met. New underground power service for the existing primary residence on-site will also be provided, according to site plans. Vehicular access to the garage/ADU will also be achieved via the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<b>Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the city alley should be managed for noxious weed control, particularly after construction activity.</b>
			<i>Staff Comments</i>	<i>The parcel is located within the Business (B) Zoning District, and the driving surface of the alley is paved.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	<b>Guideline: Landscaping and other design elements adjacent to alleys should be kept simple and respect the functional nature of the area and the pedestrian activity that occurs.</b>
			<i>Staff Comments</i>	<i>No landscaping is proposed adjacent to the alley. Concrete paving is proposed for the driveway area adjacent to the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)6	<b>6. Accessory Structures</b>
				<b>Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.</b>
			<i>Staff Comments</i>	<i>A detached garage/ADU is proposed to be subordinate to the primary residence. The proposed garage/ADU is located at the rear of the property, and its footprint is smaller than that of the existing primary residence.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)6	<b>Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.</b>

			<i>Staff Comments</i>	<i>The proposed garage/ADU building will be located at the rear of the lot and located behind the existing primary residence. It will be accessed off of the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	<b>7. Snow Storage</b>
				<b>Guideline: All projects shall be required to provide 25% snow storage on the site.</b>
			<i>Staff Comments</i>	<i>With the revised site plan and retail trade building, the Applicant has now stated that the site contains 2,520 square feet of hardscape surface, which would require at least 630 square feet of snow storage. The Applicant has stated that the snow storage area equals 640 square feet.</i>  <i>Original plan submittals indicated that the minimum snow storage-to-hardscape ratio would not be met. The new site plan and snow storage calculation now show that the snow storage requirement has been met. The Conditions of Approval have been updated to reflect this change.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	<b>Guideline: A snow storage plan shall be developed for every project showing:</b> <ul style="list-style-type: none"> <li>• Where snow is stored, key pedestrian routes and clear vision triangles.</li> <li>• Consideration given to the impacts on adjacent properties when planning snow storage areas.</li> </ul>
			<i>Staff Comments</i>	<i>The snow storage area is proposed for the central, southern lot line. No impacts to pedestrian routes, vision triangles, or adjacent properties are anticipated with the proposed snow storage plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	<b>8. Existing Mature Trees and Landscaping</b>
				<b>Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.</b>
			<i>Staff Comments</i>	<i>There is one (1) existing tree identified onsite that is proposed to be retained, as well as one (1) existing tree identified onsite that is proposed to be removed. Three (3) new Swedish Aspen trees are proposed to be planted along the property's western boundary, directly adjacent to Main Street and the proposed six foot (6') white picket fence.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)8	<b>Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.</b>
			<i>Staff Comments</i>	<i>N/A, as no significant landscape features are presently onsite. However, the Applicant intends to install approximately 1,144 square feet of new turf lawn, a drought tolerant flower bed, and a series of vegetable planters.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	<b>Guideline: Noxious weeds shall be controlled according to State Law.</b>
			<i>Staff Comments</i>	<i>If noxious weeds are present on the site, the Developer shall control according to State Law.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)9	<b>9. Fences and Walls</b>
				<b>Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.</b>

			<i>Staff Comments</i>	<i>The Applicant has proposed a “white picket fence 6’ tall” along the entirety of the property’s Main Street frontage. A new gate and walkway are also proposed, providing pedestrian access from Main Street to the retail trade building. No rendering of the fence had been provided by the Applicant at the time of drafting this Staff Report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)9	<b>Guideline: Retaining walls shall be in scale to the streetscape.</b>
			<i>Staff Comments</i>	<i>With the revised plan submittal for the June 3, 2024 Public Hearing, the Applicant proposed to use the existing site grade, from the alley down to the new retail trade building, to create a gentle slope for retail trade building access (as opposed to the ramp feature originally proposed). In doing so, according to the Applicant, the scope of the retaining wall as originally proposed has been greatly reduced, allowing a level building pad to be created for the new garage/ADU structure as well. Staff do not anticipate this retaining wall to impact the streetscape in any fashion, based on other proposed site additions along the property’s Main Street frontage (fencing and landscaping).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	<b>10. Historic Structures</b>
				<b>General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines:</b> <ul style="list-style-type: none"> <li>• The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance.</li> <li>• The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.</li> </ul>
			<i>Staff Comments</i>	<i>N/A, as no historic structures are proposed to be altered with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	<b>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</b> <ul style="list-style-type: none"> <li>• The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure.</li> <li>• New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> <li>~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade;</li> <li>~ Exterior materials that are compatible with the original building materials should be selected;</li> <li>~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building;</li> <li>~ The visual impact of the addition should be minimized from the street;</li> <li>~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building;</li> </ul> </li> </ul>

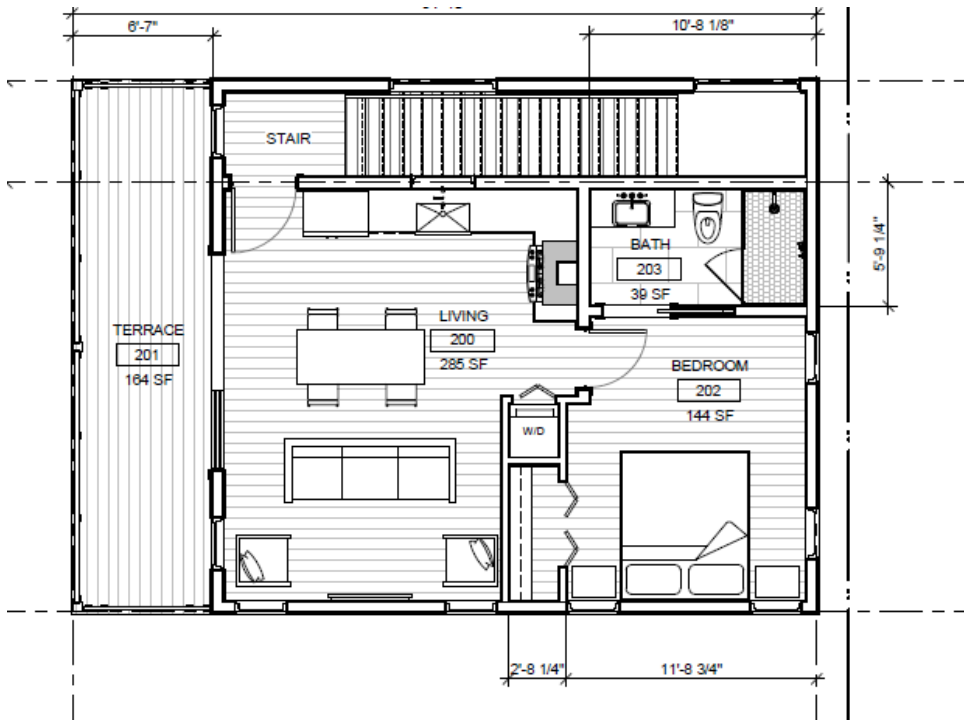
				~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.
			<i>Staff Comments</i>	<i>N/A, as no historic structures are proposed to be altered with this project.</i>

## General Requirements for Accessory Dwelling Units

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.020	<b><u>Applicability.</u></b> The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04D.030	<b><u>General Provisions.</u></b> A. Accessory Dwelling Units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached Accessory Dwelling Units may comprise the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising of the remaining floor area.
			<i>Staff Comments</i>	<i>The proposed ADU is detached from the primary residence and is approximately 579 square feet in size. The ADU will also feature 164 square feet of exterior covered deck space.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>B Only one (1) Accessory Dwelling Unit is permitted on a lot.</b>
			<i>Staff Comments</i>	<i>Only one (1) ADU is proposed onsite.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>C Accessory Dwelling Units are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transition and SCI zones, Accessory Dwelling Units are permitted in conjunction with commercial buildings. In Business, Limited Business and Neighborhood Business, one or more residential unit(s) are considered.</b>
			<i>Staff Comments</i>	<i>The proposed ADU is in conjunction with an existing single-family residence, and both are located within the Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p><b>A. Accessory Dwelling Units in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in Section 17.04J.020, "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.</b></p> <p><i>Staff Comments</i>                  N/A – The proposed ADU is not located within the Special Flood Hazard Area.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08D.040: Registration of Accessory Dwelling Units Required</b></p> <p><i>Staff Comments</i></p>	<p><b>All Accessory Dwelling Units created after February 10, 2021, shall be issued an Accessory Dwelling Unit Compliance Certificate.</b></p> <p><i>Upon completion of construction for the proposed ADU, a Compliance Certificate will be issued.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08D.050: Occupancy Restrictions - Short Term Occupancy</b></p> <p><i>Staff Comments</i></p>	<p><b>1. Where a lot contains both a primary dwelling unit and an Accessory Dwelling Unit, only one dwelling unit shall be utilized for Short-Term Occupancy;</b></p> <p><i>The owners intend to utilize the ADU as housing for an employee of their roofing business, which will occupy the garage space below the ADU. The Applicant meets this standard, and in addition, this standard has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p><b>2. When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.</b></p> <p><i>N/A, as neither dwelling unit onsite is intended to be utilized for short-term occupancy.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08D.060: Subordinate Scale and Size</b></p> <p><i>Staff Comments</i></p>	<p><b>Scale: The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.</b></p> <p><i>The gross floor area of the principal building is 879 square feet in size, with 66% of its size equaling 580.8 square feet. Staff consider that the Applicant has met this standard, as the proposed ADU is 579 square feet in size.</i></p>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p style="text-align: center;"><b>B. Maximum Floor Area:</b></p> <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th style="width: 33%;">Lot Size (square feet)</th> <th style="width: 33%;">Minimum Gross Floor Area (square feet)<sup>1</sup></th> <th style="width: 33%;">Maximum Gross Floor Area (square feet)<sup>1</sup></th> </tr> </thead> <tbody> <tr> <td>Up to 7,000</td> <td>300</td> <td>900</td> </tr> <tr> <td>7,001 – 8,000</td> <td>300</td> <td>950</td> </tr> <tr> <td>Lots 8,001 and greater</td> <td>300</td> <td>1,000</td> </tr> </tbody> </table> <p style="text-align: center;"><b>Gross square footage calculations for Accessory Dwelling Units does not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.</b></p>	Lot Size (square feet)	Minimum Gross Floor Area (square feet) <sup>1</sup>	Maximum Gross Floor Area (square feet) <sup>1</sup>	Up to 7,000	300	900	7,001 – 8,000	300	950	Lots 8,001 and greater	300	1,000
Lot Size (square feet)	Minimum Gross Floor Area (square feet) <sup>1</sup>	Maximum Gross Floor Area (square feet) <sup>1</sup>														
Up to 7,000	300	900														
7,001 – 8,000	300	950														
Lots 8,001 and greater	300	1,000														
			<p><i>Staff Comments</i></p>	<p><i>The Applicant meets this standard—the lot size is approximately 9,598 square feet, and the proposed ADU is larger than 300 square feet but less than 1,000 square feet. Specifically, the lot is 9,598 square feet in size and the proposed ADU is 579 square feet in size.</i></p> 												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p style="text-align: center;"><b>C. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.</b></p>												
			<p><i>Staff Comments</i></p>	<p><i>The proposed ADU has only one (1) bedroom.</i></p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08D.070: Livability</b></p>	<p style="text-align: center;"><b>A. Outdoor Access: All Accessory Dwelling Units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineate by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. The Outdoor Access area shall be approved through the Design Review process.</b></p>												
			<p><i>Staff Comments</i></p>	<p><i>The Applicant is providing 164 square feet of covered, outdoor deck space on the second floor of the new structure, immediately accessible to the ADU.</i></p>												

<b>Chapter 17.09: Parking and Loading</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09 020.05.B</b>	<b>Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.</b>
			<i>Staff Comments</i>	<i>The proposed garage will provide covered parking for three (3) cars off the alley, with the driveway area being improved with concrete.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.020.05.D</b>	<b>Mitigation for Accessory Dwelling Unit parking spaces: Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.</b>
			<i>Staff Comments</i>	<i>The following elements of the proposed site plan mitigate light trespass from the proposed ADU parking:</i> <ul style="list-style-type: none"> <li>- Parking is provided inside the covered garage with overhead doors.</li> <li>- Parking directionality is positioned east/west; headlights will either be facing interior to the site, or into the alley if the ADU resident backs into the garage bay. The property directly across the alley, with respect to the Applicant's property, includes mature landscaping and a shed along the property's alley-side property boundary. The presence of these site features will further mitigate any potential light trespass from ADU parking on the Applicant's property.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.040.01</b>	<b>Accessory Dwelling Units and all dwelling units less than 1,000 square feet require one (1) parking space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.</b>
			<i>Staff Comments</i>	<i>The proposed garage will provide covered parking for three cars off the alley, including the ADU and the existing primary dwelling.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.040.07</b>	<b>All multi-family residential and commercial or mixed use development, including new construction and additions, shall provide at least three (3) bicycle parking spaces or bicycle spaces equivalent to twenty five percent (25%) of the required number of vehicle parking spaces, whichever is greater. (Ord. 1191, 2015)</b>
			<i>Staff Comments</i>	<i>The Applicant has not shown any bicycle parking spaces on submitted plans. The Applicant shall ensure that at least three (3) bicycle parking spaces (in racks) are installed, prior to issuance of a Certificate of Occupancy. This has been made a Condition of Approval.</i>

### Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

**1. Site Planning: 17.06.080(A)1, items (a) thru (n)**

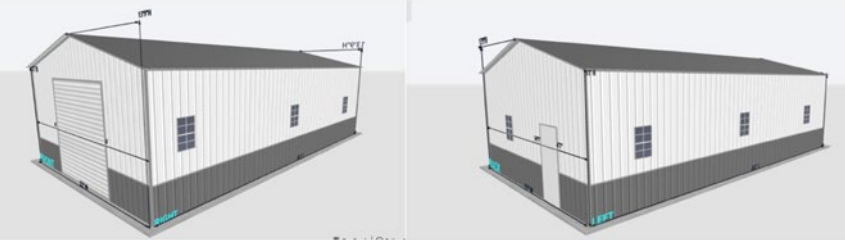
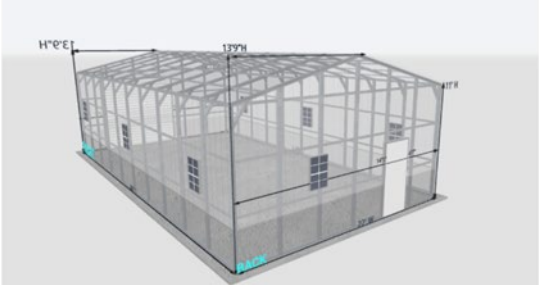
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments


<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p><b>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</b></p>
			<i>Staff Comments</i>	<p><i>The location and orientation of the proposed retail trade building maximizes southern solar exposure on the building's longer wall plane. The concrete 60' x 28' concrete pad beneath the proposed retail trade building is situated in such a manner that both human and overhead doors will benefit from either southern or western sun exposure, ensuring that these spaces will see a minimal amount of snow/ice buildup in the winter month, if at all. Safe access to the building and usable exterior spaces are upheld through the proposed location, orientation, and surface of the building.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p><b>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</b></p>
			<i>Staff Comments</i>	<p><i>Existing plant material has been inventoried on the site plan. The Applicant has already removed the large tree on the western, central lot line that is indicated for removal, prior to commencement of the Design Review Application process. Three (3) new Swedish Aspen trees are proposed for the western lot line, which are approved species found in the most recent (2013) Wood River Valley Tree Guide.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p><b>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</b></p>
			<i>Staff Comments</i>	<p><i>Pedestrian site access for the retail trade building may be achieved via a pedestrian walkway connected to the Main Street/HWY 75 right-of-way, or from the alley-adjacent parking area, which provides gravel and concrete surfaces that lead to the retail trade building's pedestrian and overhead door entrances. Pedestrian access for the garage/ADU may be achieved via the same site features, or via the internal stairwell leading from the ADU parking area within the three (3) bay garage. All onsite parking will be accessed via the alley way, directly to the east of the property.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p><b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b></p>
			<i>Staff Comments</i>	<p><i>The Applicant has stated that all structures proposed for the site will utilize roll-out trash receptacles, serviced via the alley. Roll-out bins will not be visible from Main Street, and they will be stored either inside garage space or behind the commercial building when not in use.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1e	<p><b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b></p>
			<i>Staff Comments</i>	<p><i>See Section 17.06.080(A) 1d.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p><b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b></p>
			<i>Staff Comments</i>	<p><i>N/A, as no vending machines are proposed.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p><b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b></p>
			i.	<p><b>Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b></p>

				<p>ii. <b>Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b></p>
			<i>Staff Comments</i>	<p><i>As previously mentioned in this Staff Report, the Applicant has responded to Staff and Commission comments at the project's initial Public Hearing on May 6, 2024, highlighting the proposed parking placement as not adhering to the stated Code requirement for placement of parking at the rear of buildings.</i></p> <p><i>However, the Applicant amended and resubmitted site plans that now show the three (3) parking spaces, dedicated to the new retail trade building, as situated at the rear of the site and behind the retail trade building itself. While snow storage is located directly adjacent to these parking spaces, Staff do not anticipate a negative impact to on-site parking. The number of parking spaces provided is already in excess of that which is required for the use and size of the proposed building.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p><b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b></p>
			<i>Staff Comments</i>	<p><i>All access to on-site parking will be achieved from the alley directly to the east of the property.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p><b>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b></p>
			<i>Staff Comments</i>	<p><i>The Applicant is providing 640 square feet of on-site snow storage, centrally located and along the property's southern boundary, which adjoins to a lot that is currently vacant. Snow storage location is acceptable for the site.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p><b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b></p>
			<i>Staff Comments</i>	<p><i>As indicated by the Applicant on site plans, 2,520 square feet of hardscape are proposed for the site, amounting to 630 square feet of required snow storage. The Applicant is proposing 640 square feet of snow storage, meeting this Standard.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p><b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b></p>
			<i>Staff Comments</i>	<p><i>The designated snow storage complies with requirements, there is no proposed snow storage area that is under 10 feet on site.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1l	<p><b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b></p>
			<i>Staff Comments</i>	<p><i>N/A, as the Applicant is proposing to store snow on-site.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p><b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b></p>
			<i>Staff Comments</i>	<p><i>It appears that the snow storage area will not impede parking spaces, or vehicular and pedestrian circulation of the site.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p><b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b></p>
			<i>Staff Comments</i>	<p><i>The proposed snow storage area will be located on a gravel ground surface.</i></p>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)2a</b></p> <p><i>Staff Comments</i></p>	<p><b>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</b></p> <p><i>The proposed retail trade building features a simple gabled roofline and is only 13' 9" in height, which is substantially lower than surrounding buildings. The shape of the proposed building and roofline mirrors that of other non-residential structures in Old Hailey, with longer building and roof planes running parallel to longer property lines.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)2b</b></p> <p><i>Staff Comments</i></p>	<p><b>b. Standardized corporate building designs are prohibited.</b></p> <p><i>The proposed building design does not incorporate a standardized corporate design.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)2c</b></p> <p><i>Staff Comments</i></p>	<p><b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</b></p> <p><i>As originally proposed, the commercial building was simple in design and featured a pedestrian door that faced Main Street/HWY 75, connected to the right-of-way via a paver walkway. The building lacked cohesive design elements and did not appear to encourage human activity or interaction, as referenced by the Commission at the June 3, 2024 Public Hearing. See the original commercial building submittal below:</i></p> <div style="text-align: center;">  </div> <div style="text-align: center; margin-top: 20px;">  </div> <p><i>The Applicant was asked to explore building frontage improvements, specifically as it related to overall exterior design (colors, change in materials, etc.). Dark Sky compliant exterior lighting was also requested to be installed along the west elevation to further provide interest and reduce the massing of the proposed building. This was made a Condition of Approval at the June 3, 2024 Public Hearing.</i></p> <p><i>Now, the Applicant has submitted a revised building plan that includes the Staff/Commission requests from the June 3, 2024 Public Hearing:</i></p>

				
				<p>The Applicant has now included vertical wood siding, cedar wood trim, wood soffits, and a cedar wood belly band, to match that of the garage/ADU structure. The Applicant has stated that all materials and finishes will match those of the proposed garage/ADU. A dark sky compliant, “farmhouse” style light has been included over the west-facing pedestrian entrance as well. These design adjustments create a commercial building that appears more inviting, welcoming to human presence and interaction, and much more cohesive with the building designs across the site as a whole.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p>
			Staff Comments	<p>With the adjustments made to exterior building materials and finishes, as well as the addition of the lighting fixture over the door, Staff feel that this Standard has been addressed and met. Please see Section 17.06.080(A)2c for further discussion.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p>
			Staff Comments	<p>N/A. All proposed development features new, standalone structures.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p>
			Staff Comments	<p>As originally proposed, the exterior of the commercial building incorporated dark grey metal roofing, and white metal siding with dark grey banding around the building’s foundation. Additional building materials, projections, and/or design features were requested as benefits to the visual interest of the structure.</p> <p>The Applicant has now included vertical wood siding, cedar wood trim, wood soffits, and a cedar wood belly band, to match that of the garage/ADU structure. The Applicant has stated that all materials and finishes will match those of the proposed garage/ADU. A dark sky compliant, “farmhouse” style light has been included over the west-facing pedestrian entrance as well. These design adjustments create a commercial building that appears more inviting, welcoming to human presence and interaction, and much more cohesive with the building designs across the site as a whole.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p>

			<i>Staff Comments</i>	<i>Please see Sections 17.06.080(A)2c and Section 17.06.080(A)2f for discussion of how this requirement has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2h	<b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</b>
			<i>Staff Comments</i>	<i>N/A. The proposed building is only one (1) story in height.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<b>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</b> <ul style="list-style-type: none"> <li><b>i. Solar Orientation.</b> If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</li> <li><b>ii. South facing windows with eave coverage.</b> At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li><b>iii. Double glazed windows.</b></li> <li><b>iv. Windows with Low Emissivity glazing.</b></li> <li><b>v. Earth berming against exterior walls</b></li> <li><b>vi. Alternative energy.</b> Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li><b>vii. Exterior light shelves.</b> All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul>
			<i>Staff Comments</i>	<i>As mentioned previously in this Staff Report, the Applicant is proposing the following energy conservation measures:</i> <ul style="list-style-type: none"> <li>- <i>Minimum 40% of glazing for south facing fenestrations, with roof overhangs.</i></li> <li>- <i>Double pane insulated glazing.</i></li> <li>- <i>Low emissivity coated glazing.</i></li> </ul>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<b>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</b>
			<i>Staff Comments</i>	<i>The submitted building elevations for the prefabricated metal building show a low-angle roof pitch and a gabled covering over the building's pedestrian entrance, although no snow retention devices have been shown for the building's north-facing elevation, which is adjacent to a pedestrian walkway that provides connectivity to the on-site parking area.</i> <p><i>While the proposed retail trade building is prefabricated, it is Staff's understanding that after-market snow clips, gutters, and/or other snow retention devices are available for installation. The Applicant shall submit building plans that include snow retention devices, to be installed over all building walkways and entries which do not already include a snow retention mechanism, prior to issuance of a Building Permit. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<b>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</b>
			<i>Staff Comments</i>	<i>See Section 17.06.080(A) 2j. The Applicant is now proposing two (2) additional landscape drywells at the southwest portion of the site, in addition to the two (2) landscape drywells originally presented along the northern property line. These new landscape drywells will ensure that water runoff is properly managed, and freezing will not create a pedestrian hazard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<b>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</b>
			<i>Staff Comments</i>	<i>N/A. No vehicle canopies are proposed.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Chapter 17.08.
			<i>Staff Comments</i>	<i>N/A. No signage is proposed at this time.</i>
<b>17. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	<i>The Applicant has submitted revised commercial building elevations with exterior materials and finishes that match those of the proposed garage/ADU. Please see Section 17.06.080(A)2c for discussion of how this Standard has now been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			<i>Staff Comments</i>	<i>See Section 17.06.090 (C)6.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>See Section 17.06.080(A) 2g. The proposed fencing along the property's western boundary will be a white picket fence, matching color, and material (wood) used elsewhere on the site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>The proposed white picket fencing is a timeless design that will offer a balance of site/right-of-way separation and transparency, which will prevent the fence from dominating the landscape and overall site. The Applicant has already installed numerous plantings on-site, softening the visual impact of the site's development.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>N/A. No roof equipment is proposed for the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A. No alternative energy sources are proposed with this application.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>The submitted plans do not include any exterior or roof-mounted mechanical equipment, although it is highly likely that these elements will be present upon project completion. The Applicant may wish to clarify the future presence of any ground or roof-mounted mechanical equipment. The Applicant shall ensure that any exterior mechanical equipment is adequately screened from surrounding properties through a mechanism approved by City Staff and permissible with the Hailey Municipal Code. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All new service lines into the property shall be installed underground. This has been made a Condition of Approval.</i>



				<i>However, given the large scope of development for this site, Staff request that the Applicant make every effort to relocate all existing utility lines underground, in addition to new lines.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	<b>j. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	<i>N/A, none proposed.</i>
<b>4. Landscaping: 17.06.080(A)4, items (a) thru (n)</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>
			<i>Staff Comments</i>	<i>The Applicant is proposing three (3) new Swedish Aspen trees, new vegetable planters, and a new drought-tolerant flower bed for the site. All proposed plant species appear to be hardy to the zone 4 environment as well.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<b>b. All plant species shall be hardy to the Zone 4 environment.</b>
			<i>Staff Comments</i>	<i>See Section 17.06.080(A) 4a.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4c	<b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b>
			<i>Staff Comments</i>	<i>The submitted site plans do not appear to show an irrigation system, temporary or other. Site inspection performed by Staff show healthy turf and vegetation, and it is likely that irrigation exists on site.</i>  <i>The Applicant may wish to confirm the presence of an existing irrigation system. The Applicant shall ensure that an irrigation system is installed, which shall operate for at least two complete growing seasons and incorporate water conservation features. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½”). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</b>
			<i>Staff Comments</i>	<i>The Applicant has provided a site plan that incorporates a variety of plantings: deciduous trees, vegetable planters, and drought-tolerant flower beds. Only three (3) new Swedish Aspen trees are proposed for the site, which Staff believe is an appropriate scaling of tree plantings, given the site’s relatively narrow sizing and existing vegetation. In the case where the proposed number of tree plantings does not allow for a 20% threshold to be reached, Staff are amenable to the Applicant’s proposed tree planting scheme.</i>  <i>This Standard was not explicitly addressed in the June 3, 2024 Public Hearing. Staff request that the Commission discuss how they wish to see this Standard applied in the context of the Applicant’s property and development proposal.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b>
			<i>Staff Comments</i>	<i>N/A. The proposed building is located within the Business (B) Zoning District.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>See Section 17.06.080(A) 4d.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>Runoff is directed toward the landscape drywells on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>The Applicant shall be responsible for maintaining all landscaped areas in a tidy and attractive condition.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>The Applicant is proposing to use the existing site grade, from the alley down to the new retail trade building, to create a gentle slope for retail trade building access. In doing so, according to the Applicant, the scope of the retaining wall as originally proposed has been greatly reduced, allowing a level building pad to be created for the new garage/ADU structure as well.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>The Applicant is proposing a cast-in-place cement retaining wall, which mirrors site materials used for both the retail trade and garage/ADU building pads.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>The retaining wall appears to be approximately three (3) feet in height, although the Applicant may wish to confirm this height, given the removal of the ramp feature from the site plans.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>Drought-tolerant flower beds are proposed for the area between the proposed garage/ADU and retaining wall.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>See Sections 17.06.080(A) 4k and 17.06.080(A) 4l.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as the retaining wall does not appear to be capped with a surface of at least 12 to 16 inches wide, nor is it intended for seating.</i>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project**

**with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**

- 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**  
**In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. The following shall be met:
  - i. The Applicant shall not make a new connection to the sewer main and must tap into their existing sewer service for the site.
  - ii. All water main lines within the alley that are less than six (6) feet deep, shall be insulated with material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
  - iii. The Applicant shall remove the Main Street curb cut to the property and install new sidewalk to match the remaining pedestrian improvements within the right-of-way.
  - iv. All new service lines into the property shall be installed underground.

- d) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- f) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of, a valid Building Permit.
- g) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- h) All utilities shall be located underground, consistent with 17.06.080(A)3h.
- i) The Applicant shall submit building plans that include snow retention devices, to be installed over all building walkways and entries which do not already include a snow retention mechanism, prior to issuance of a Building Permit.
- j) The Applicant shall include the cost of the primary residence's deck construction, as well as the cost of the primary residence's re-roof construction, within the total construction cost for the mixed-use project, in conjunction with the mixed-use project's Building Permit Application.
- k) The Applicant shall ensure that at least three (3) bicycle parking spaces (in racks) are installed, prior to issuance of a Certificate of Occupancy.
- l) The Applicant shall ensure that any exterior mechanical equipment is adequately screened from surrounding properties through a mechanism approved by City Staff and permissible with the Hailey Municipal Code.
- m) If not already present, the Applicant shall ensure that an irrigation system is installed, which shall operate for at least two (2) complete growing seasons and incorporate water conservation features.
- n) Approval of the Design Review is contingent upon the approval of the submitted Lot Line Adjustment.
- o) When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental.
- p) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law, and Decision.

**Motion Language:**

**Approval:** Continuation of a Design Review Application by Eric Cueva, represented by Youdall Architecture, for mixed-use development project which includes an 880 square foot retail trade commercial space, an 877 square foot detached garage addition, as well as a new 579 square foot Accessory Dwelling Unit (ADU) located above the addition. This project is located at 504 S. Main Street (Lots S20' of 12 All of 13 & 14, Block 9, Hailey Townsite) Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions (a) through (p) are met.

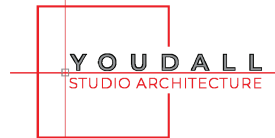
**Denial:** Continuation of a Design Review Application by Eric Cueva, represented by Youdall Architecture, for mixed-use development project which includes an 880 square foot retail trade commercial space, an 877 square foot detached garage addition, as well as a new 579 square foot Accessory Dwelling Unit

(ADU) located above the addition. This project is located at 504 S. Main Street (Lots S20' of 12 All of 13 & 14, Block 9, Hailey Townsite) Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [Commission should specify a date].

# CUEVA ADU

504 S Main, Hailey ID



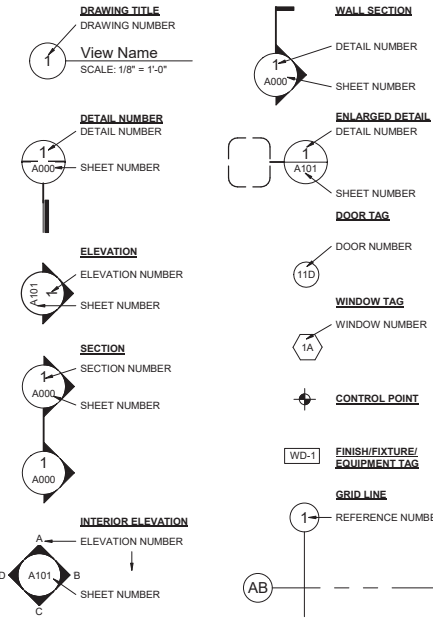
HAILEY DESIGN REVIEW

05/17/24

# ABBREVIATIONS

A	ANCHOR BOLT	LD	INSIDE DIAMETER
A.C.	AIR CONDITIONER	IN	INCH(ES)
ACT.	ACUSTIC TILE	INSUL	INSULATION
AD	AREA DRAIN/ACCESS DOOR	J	JANITOR
ADU	ADULTERABLE	JAN.	JANITORS CLOSET
A.F.F.	ABOVE FINISHED FLOOR	J.C.	JANITORS
A.F.S.	ABOVE FINISHED SLAB	LN.DIFF.	LINEAR DIFFUSER
A.G.	ABOVE GRADE	LOG.GTH	LONGLENGTH LAMINATE
A.H.U.	AIR HANDLING UNIT	LAM	LAMINATE
ALUM	ALUMINUM	LAV.	LAVATORY
ANOD	ANODIZED	LB.W	LOW POINT LIGHTING
A.P.	ACCESS PANEL	L.P.	LOW POINT LIGHTING
ARCH.	ARCHITECTURAL	LTVG	LOUVER
A.S.L.	ABOVE SEA LEVEL	LVR	LOUVER
B.O.	BASE OF BOTTOM OF BOARD	MACH.	MACHINE
BTUM	BITUMINOUS	MAX.	MAXIMUM
BLDG	BUILDING	MECH.	MECHANICAL
BLK(B)	BLOCK(BLOCK)	MEMB.	MEMBRANE
BLKHD	BULKHEAD	M.E.R.	MEZZANINE
BOT.	BOTTOM	MEZZ.	MEZZANINE
BRK	BRICK	MFR	MANUFACTURER
BSB	BOTH SIDES	MISC.	MISCELLANEOUS
BSMT	BASEMENT	M.O.	MASONRY OPENING
B.U.R.	BUILT UP ROOF	M.S.U.	MODULAR SERVICE UNIT
		MTD	MOUNTED MEETING METAL
CAB.	CENTER LINE	N	NORTH
CAB.	CABINET	N.C.	NOT IN CONTRACT NUMBER
CAP.	CAPACITY	N.M.	NOMINAL
CAT.	CATALOG	N.O.C.	NOT TO SCALE
CD.U.	CONDENSING UNIT	N.T.S.	NOT TO SCALE
CEM.	CEMENTITIOUS	O.C.	ON CENTER
CER.	CERAMIC	O.D.	OUTSIDE DIAMETER
C.F.(M)	CUBIC FEET (PER MINUTE)	OFF.	OFFICE
C.G.	CORNER GUARD	OPNG	OPENING
CLNG	CEILING	OPPOSITE	OPPOSITE
C.L.J.	CONTROL JOINT	OVHD	OVERHEAD
CLOS.	CLOSET	PERF.	PERFORATED PLATE
CLOS.	CONCRETE MASONRY UNIT	PLAS.	PLASTER
CNTR	COUNTER	PLAS.LAM.	PLASTIC LAMINATE
C.O.	CLEANOUT	PLUMB.PLUMBING	PLUMBING
CONF.	CONFERENCE	PL.WD	PLYWOOD
COIL	COLUMN	P.N.	PANEL
COMM.	COMMUNICATION	POL.	POLISHED
CONC.	CONCRETE	PR	PARTITION
CNC	CONCRETE	P.R.	PARTITION
CONST.	CONSTRUCTION	R	RISER
CONT.	CONTINUOUS/CONTINUATION	RAD.	RADIUS
CONV.	CONVECTOR	R.A.	RETURN AIR
CORR.	CORRIDOR	R.D.	ROOF DRAIN
CPT	CARPET	REF.	REFRIGERATOR
CTR	CENTER	REFR.	REFRIGERATING
DET.DTL.	DETAIL	REV.	REVISED/REVISION
D.F.	DIAMETER	REV.	REVISED/REVISION
DWG.	DRAWING	R.I.	ROOM
DWG.	DRAWING	R.O.	ROUGH OPENING
EA	EAST	S	SOUTH
EA	EAST	S.C.D.	SEE CIVIL DRAWINGS
EL.ELEV.	ELEVATION	SCHED.	SCHEDULE
ELEC.	ELECTRICAL	SCRN.	SCREEN
ELEV.	ELEVATION	SECT.	SECTION
EMER.	EMERGENCY	SECTY	SECRETARY/SECRETARIAL
ENCL.	ENCLOSURE/ENCLOSURE	S.E.D.	SEE ELECTRICAL DRAWINGS
ENGR.	ENGINEER	SHLV.	SHELF/SHELVES
ENTR.	ENTRANCE	SH	SHOWER
EQ.	EQUAL	SHT.	SHEET
EQUIP.	EQUIPMENT	SM.	SIMILAR
E.W.C.	ELECTRIC WATER COOLER	S.J.	SCORED JOINT
EXST.	EXISTING	S.L.D.	SEE LANDSCAPE DRAWINGS
EXH.	EXHAUST	S.M.D.	SEE MECHANICAL DRAWINGS
EXP.	EXPANSION	S.P.D.	SEE PLUMBING DRAWINGS
E.L.J.	EXPANSION JOINT	S.P.R.	SEE PLUMBING DRAWINGS
EXT.	EXTERIOR	SPKR.	SPEAKER
F.A.I.	FRESH AIR INTAKE	SQ.	SQUARE
F.D.	FLOOR DRAIN	S.S.	STAINLESS STEEL
FDN	FOUNDATION	S.S.D.	SEE STRUCTURAL DRAWINGS
F.E.C.(F)	FIRE EXTINGUISHER (CABINET)	SIL.	STEEL
F.F.	FIRE FIGHTING/FIRE FIGHTING	S.L.C.	STANDARD
F.F.C.	FIRE HOSE CABINET	STD.	STANDARD
F.H.C.	FIRE HOSE RACK	STRUC.	STRUCTURAL
F.H.W.S.	FLAT HEAD WOOD SCREW	SUSP.	SUSPENDED
FBRGL.	FIBERGLASS	SVC.	SERVICE
FN.	FINISH(ED)	SMM.	SYMMETRICAL/SYMMETRICAL
F.F.	FINISHED FLOOR	T	TREAD
F.G.	FINISH GRADE	T.B.D.	TO BE DETERMINED
FLR.	FLOOR	T&B	TOP AND BOTTOM
FLUR.FLUR	FLUORESCENT	TEL.	TELEPHONE
F.O.F.	FACE OF FINISH	TEMP.	TEMPORARY
FR&P.F.	FIRE PROTECTED SELF CLOSING	T&G	TONDULE AND GROOVE
F.S.C.	FIRE PROTECTED SELF CLOSING	TH	THICK
F.SP.	FIRE STRANDPINE	T.O.P.	TOP OF PLATE
FR.	FRAME	T.O.P.	TOP OF PLATE
F.R.G.	FIBERGLASS REINFORCED GYP	T.O.S.	TOP OF SLAB
F.R.T.	FIRE RETARDANT TREATED	T.O.W.	TOP OF WOOD
F.S.	FINISH SURFACE	T.O.W.	TOP OF WOOD
FT.	FOOTING	TYP.	TYPICAL
FTG.	FOOTING	V.	VENTILATION
FIX.	FIXTURE	VENT.	VENTILATION
GA.	GAUGE	VERT.	VERTICAL
GALV.	GALVANIZED	VEST.	VESTIBULE
GEN.	GENERAL CONTRACTOR	V.C.T.	VINYL COMPOSITION TILE
G.I.	GENERAL CONTRACTOR	W	WEST
GLZ.	GLAZING	W	WITH
GR.	GRADE	W/O	WITHOUT
G.S.M.	GALVANIZED SHEET METAL	W/OD	WOOD DOSET
G.I.	GROUND FAULT INTERRUPT	W/C	WOOD
G.W.B.	GYPSSUM WALL BOARD	W.D	WOOD MOLDING
		W.H	WALL HYDRANT
(HDR)	HEADER	W.M.	WOOD MOLDING
HDWD	HARDWOOD	W.P.	WATER PROOFING
HDWR.	HARDWARE	W.P.	WATER PROOFING
HORZ	HORIZONTAL	W.T	WATERWORK
H.P.	HIGH POINT	W.T	WATERWORK
HR.	HOUR	W.T	WATERWORK
H.S.	HOSE STATION	W.T	WATERWORK
HT.	HEIGHT	W.T	WATERWORK
HTGTR	HEATING HEATER		
H.V.A.C.	HEATING VENTILATION AND AIR CONDITIONING		

# SYMBOLS



# GENERAL NOTES

1. THESE DRAWINGS AND SPECIFICATIONS ("CONSTRUCTION DOCUMENTS") WERE PREPARED BY YODALL STUDIO ARCHITECTURE (L.L.C.) IN READY OR READY-DRAWN FORM FOR THE OWNER AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UNAUTHORIZED USE OF THESE DRAWINGS.
2. THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS, AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.
3. THESE DRAWINGS, TOGETHER WITH THE SPECIFICATIONS AND A GENERAL CONDITIONS DOCUMENT A-301, 2007 EDITION, REPRESENT THE ENTIRE CONTRACT DOCUMENTS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE INTENTION OF THE ARCHITECT AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4. THE PLANS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE A COMPLETE RECORD OF ALL EXISTING CONDITIONS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE INTENTION OF THE ARCHITECT AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
5. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
6. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES, AND SHALL PROVIDE ALL SUB-CONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
7. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL VERIFY THE EXISTING PRESENT AND THE NATURE OF EXISTING CONDITIONS. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED THAT COULD HAVE REASONABLY BEEN ANTICIPATED FROM SUCH EXAMINATION.
8. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE FROM DRAWINGS.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO TOP OF FINISH FLOOR IN SECTION OR ELEVATION, UNLESS OTHERWISE NOTED.
11. THE GENERAL CONTRACTOR SHALL REVIEW ALL BUILDING ORDINANCES FOR ACCURACY PRIOR TO LAYING OUT ANY BUILDINGS ON SITE, AND SHALL NOTIFY THE ARCHITECT WITHIN 14 DAYS OF ANY DISCREPANCIES OR OMISSIONS.
12. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK.
13. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK.
14. VERIFY ALL ARCHITECTURAL DETAILS WITH THE STRUCTURAL DRAWINGS BEFORE THE ORDERING OF, OR INSTALLATION OF, ANY ITEM OF WORK.
15. WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED IN THE WALL UNLESS OTHERWISE NOTED.
16. ALL DIMENSIONS OF WINDOWS AND DOORS ARE TO CENTERLINE OF DOOR OR FRAME OPENING, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
17. MATERIALS AND EQUIPMENT SHALL BE OF MANUFACTURE'S RECOMMENDATION, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
18. VERIFY ALL DIMENSIONS FOR WALLS, VENTS, CHIMNEYS, SPOFFS, FIXTURES, ETC. BEFORE ANY CONSTRUCTION. VERIFY ALL DIMENSIONS FOR WALLS, VENTS, CHIMNEYS, SPOFFS, FIXTURES, ETC. BEFORE ANY CONSTRUCTION.
19. SEALANT, CASINGS, FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE A COMPLETE RECORD OF ALL EXISTING CONDITIONS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE INTENTION OF THE ARCHITECT AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
20. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBER AND WHITE MATERIALS FROM A REGULAR BASIS OF ALL SUB-CONTRACTORS AND TRADES AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY SOOT, GROUT, DEBRIS FROM AFFECTING ANY FINISH, FINISHING OR MATERIALS TO BE APPLIED TO THE JOB SITE.
21. THE GENERAL CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR THE INSTALLATION OF ALL EQUIPMENT, CABINETS, CROWN MOULDING, ETC.
22. FOR ALL FINISHES AT FLOORS, WALLS, AND CEILING, SEE SCHEDULES AND INSTALLATIONS.

# DIRECTORY

ARCHITECT: Yodall Studio Architecture  
631 W MEADOW DR.  
IDAHO, HAILEY 83333  
Matt Youdall, AIA  
415.722.1721

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

# AREA SUMMARY

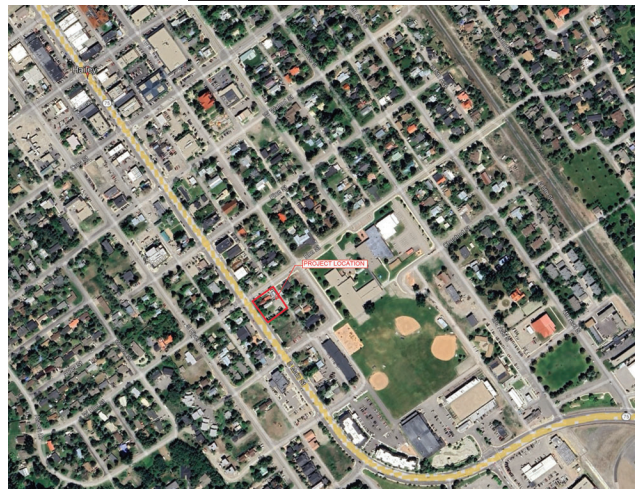
MIXED USE COMMERCIAL BUILDING: 880 SF  
NEW GARAGE LEVEL 1: 877 GROSS SF  
NEW ADU LEVEL 2: 579 GROSS SF  
ADU EXTERIOR DECK: 164 SF

880 X .66 = 580.8 SF ADU ALLOWABLE SF CALCULATION

# DRAWING INDEX

SHEET NO.	CONTENTS
01 PROJECT DATA	A1.00 HAILEY DESIGN REVIEW
	A0.01 PROJECT DATA AND GENERAL NOTES
	A0.02 SITE SURVEY
03 ARCHITECTURAL	A1.00 SITE PLAN
	A3.00 FLOOR PLAN
	A3.01 FLOOR PLAN
	A7.00 ELEVATIONS
	A7.01 PERSPECTIVE
	A12.00 MATERIAL BOARD
	A12.01 PRE-FAB METAL BUILDING

# PROJECT LOCATION



# PROJECT DATA

<b>PROPERTY ADDRESS:</b> 504 S Main, Hailey ID	<b>ZONING ANALYSIS:</b> PARCEL NUMBER: RPH0000009012B LEGAL DESCRIPTION: HAILEY LOTS S20' OF LOT 12 ALL 13 & 14 BLK 9 BUSINESS, Town Site Overlay GROSS SITE AREA: 9,602 SF @ 0.22 AC.
<b>LEGAL OWNER:</b> Eric Cueva PO Box 32 Bellevue ID 83313	<b>BUILDING HEIGHT:</b> Allowed: 30'-0" Proposed: 23'-10"
<b>GOVERNING AGENCIES:</b> Hailey Community Development 208.788.9815 Hailey Building and Safety 115 South Main St. Hailey ID 83333 M-F 8:00 - 5:00 208.788.9815	<b>CODE SUMMARY:</b> 1. APPLICABLE CODES: - 2018 INTERNATIONAL RESIDENTIAL CODE WITH IDAHO STATE AMENDMENTS - 2018 IECC INTERNATIONAL ENERGY CONSERVATION CODE 2. CONSTRUCTION TYPE: - TYPE V-B - FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS: 0 (HOURS) TABLE 601 3. OCCUPANCY TYPE: - R-3
<b>FRONT YARD SETBACK:</b> Allowed: 0'	<b>REAR YARD SETBACK:</b> Allowed: 0'
<b>SIDE YARD SETBACK:</b> Allowed: 0'	

YODALL STUDIO ARCHITECTURE  
631 W MEADOW DR. HAILEY, IDAHO, 83333  
LICENSED ARCHITECT AR 985898  
Matt H. Youdall  
EXP: 08-01-2024  
Matt Youdall

PROJECT: CUEVA ADU  
504 S MAIN HAILEY, ID

ISSUE DATE: 05/17/24  
ISSUE: HAILEY DESIGN REVIEW

REVISIONS:

NO.	DATE	ISSUE

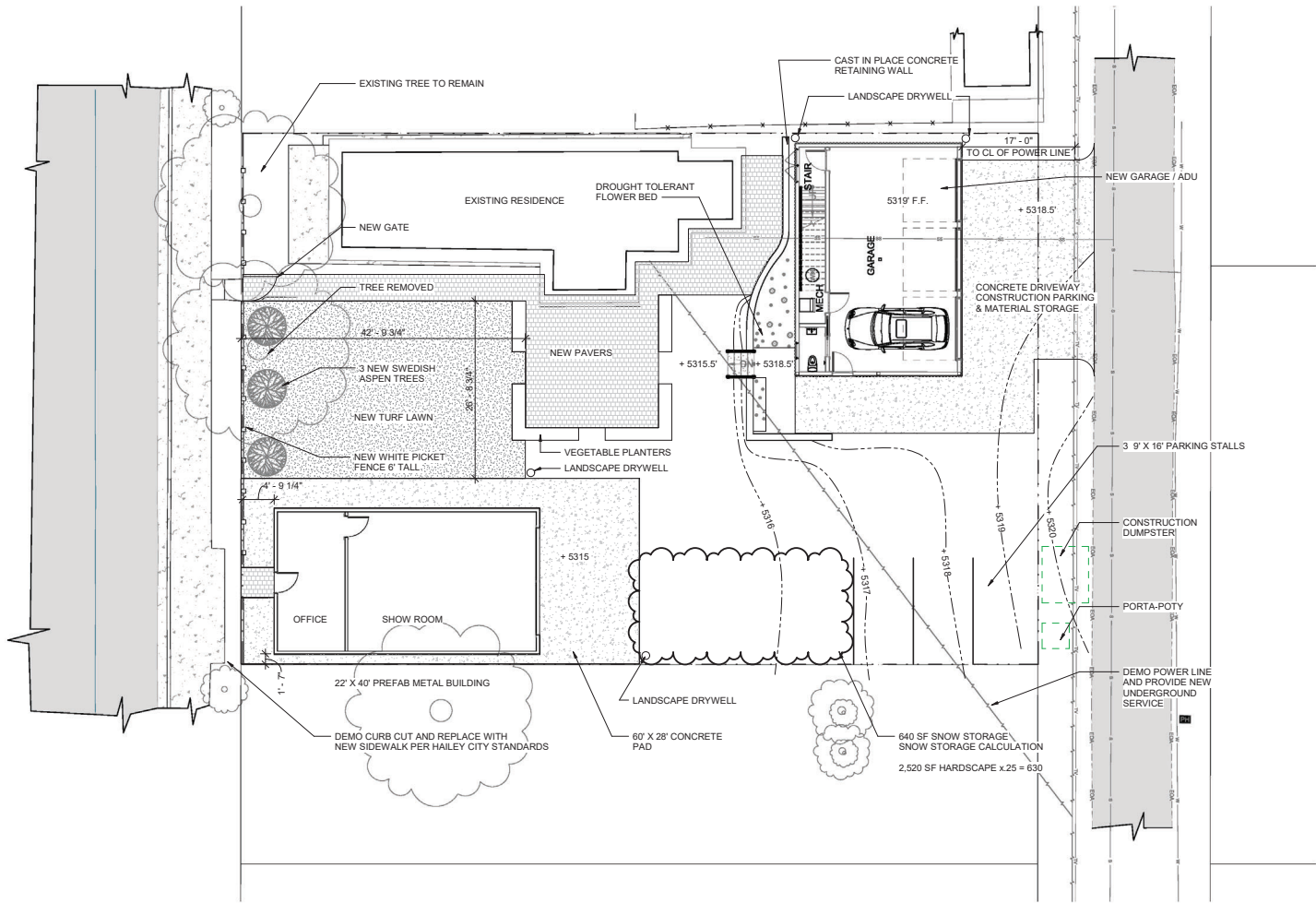
DRAWING TITLE: PROJECT DATA AND GENERAL NOTES

DRAWING NO.: 000000

CHECKED BY:

KEY PLAN:

DRAWING NO.: A0.01



631 W MEADOW DR. HAILEY IDAHO, 83333

LICENSED ARCHITECT AR 985896



Matt H. Yuddall  
EXP: 08-01-2024

PROJECT  
**CUEVA ADU**  
504 S MAIN HAILEY, ID

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DATE	ISSUE
05/17/24	HAILEY DESIGN REVIEW

REVISIONS		
NO.	DATE	ISSUE
1	XXXX/XXXX	DESCRIPTION

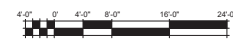
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**SITE PLAN**

PROJECT #: xx-xxxx  
DRAWN BY: Author  
CHECKED BY: Checker

KEY PLAN

DRAWING NO:  
**A1.00**

1 SITE PLAN DR  
SCALE: 1/8" = 1'-0"



C:\Users\matt.yuddall\OneDrive\Documents\A1.00\_Site Plan.dwg





631 W MEADOW DR. HAILEY IDAHO, 83333

LICENSED ARCHITECT AR 985096



EXP: 08-01-2024

Matt Yoddall

PROJECT

CUEVA ADU

504 S MAIN HAILEY, ID

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DATE	ISSUE
05/17/24	HAILEY DESIGN REVIEW

PREVIOUS:

REVISIONS

NO.	DATE	ISSUE
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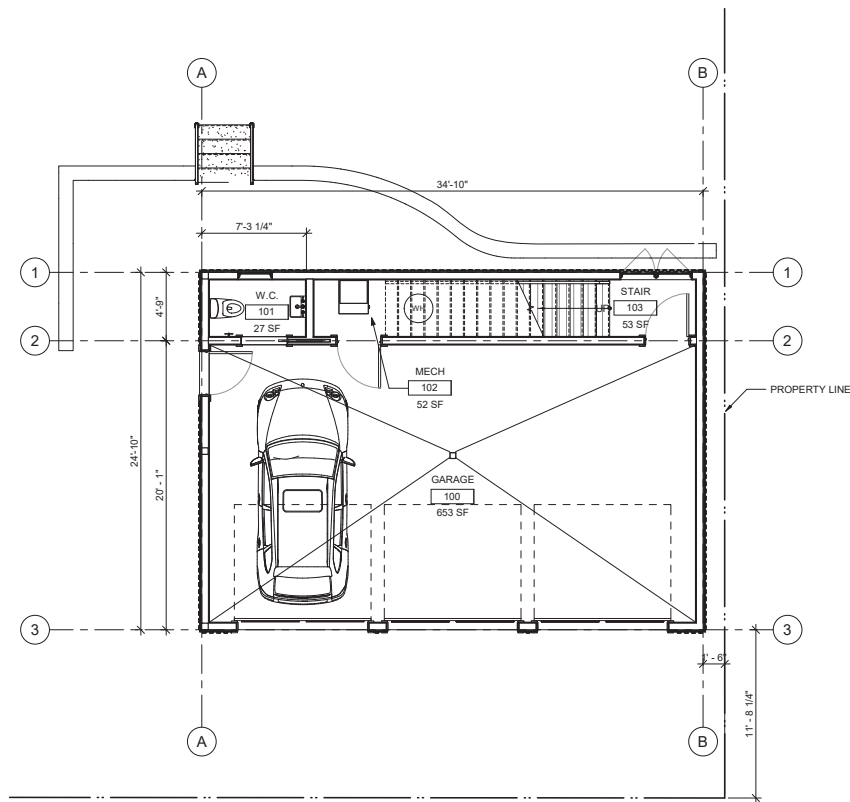
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FLOOR PLAN

PROJECT #: xx-xxx  
DRAWN BY: Author  
CHECKED BY: Checker

KEY PLAN

DRAWING NO:

A3.00



1 LOWER LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"





631 W MEADOW DR, HAILEY IDAHO, 83333

LICENSED ARCHITECT AR 985096



EXP: 08-01-2024

Matt Youdall

PROJECT

CUEVA ADU

504 S MAIN HAILEY, ID

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DATE ISSUE

CURRENT 05/17/24 HAILEY DESIGN REVIEW

PREVIOUS

REVISIONS

NO. DATE ISSUE

DRAWING TITLE  
FLOOR PLAN

PROJECT #: xx-xxx

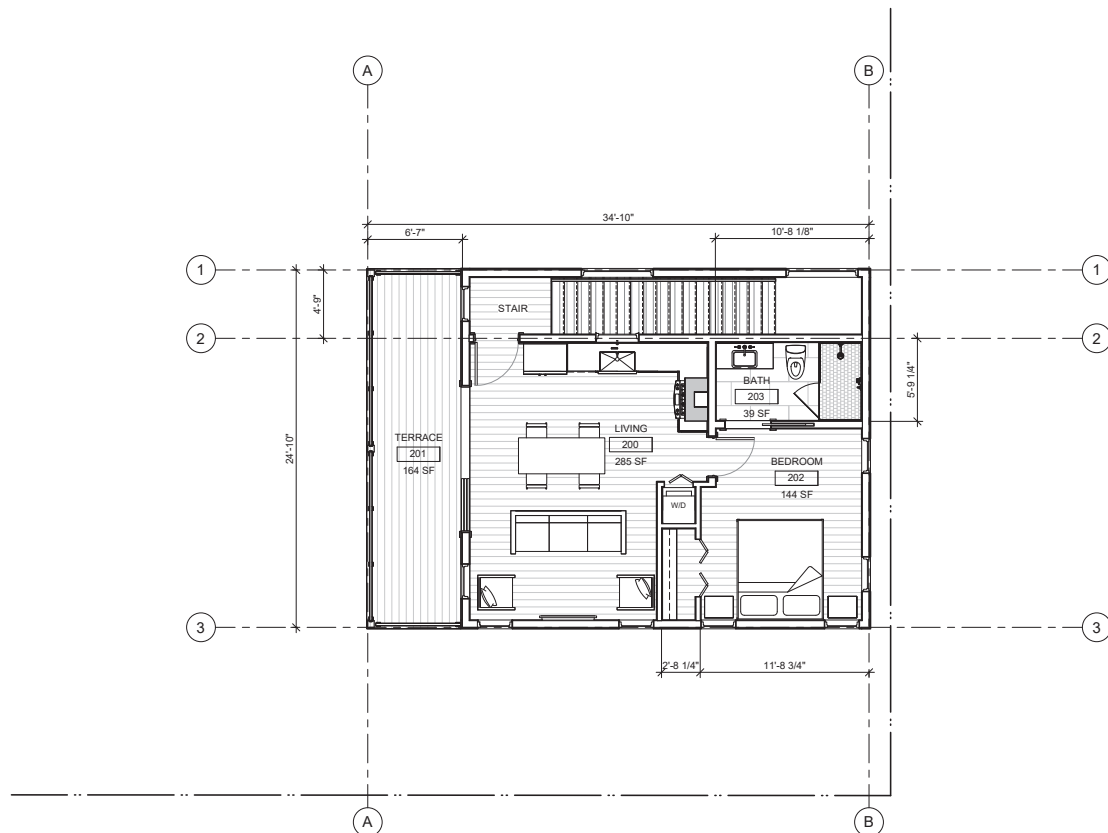
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CHECKED BY: Checker

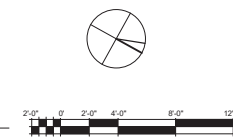
KEY PLAN

DRAWING NO:

A3.01



1 UPPER LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"



05/17/24

PROJECT  
**CUEVA ADU**  
504 S MAIN HAILEY, ID

YUDALL STUDIO ARCHITECTURE  
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CONSENT OF YUDALL STUDIO ARCHITECTURE.  
SCALE: AS NOTED  
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REMOVED FROM ITS ORIGINAL USE. SCALE IS NO CHANGE  
APPLICABLE.

DATE	ISSUE
05/17/24	HAILEY DESIGN REVIEW

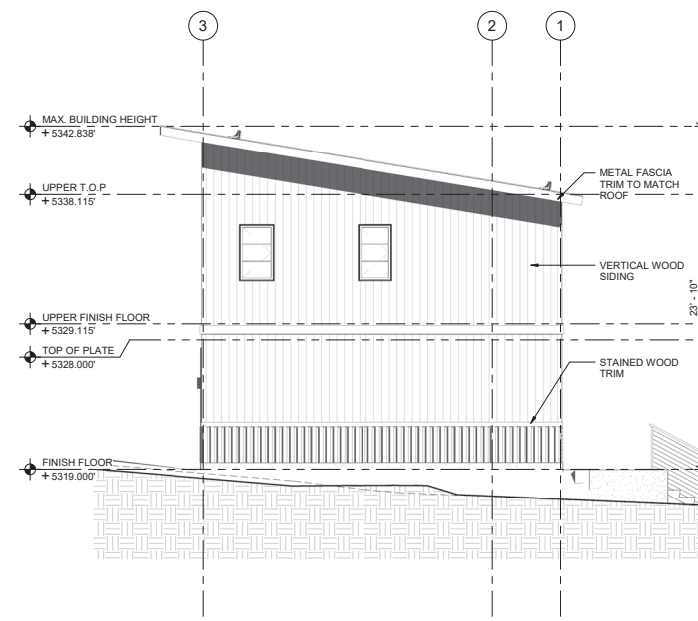
PREVIOUS:

REVISIONS		
NO.	DATE	ISSUE

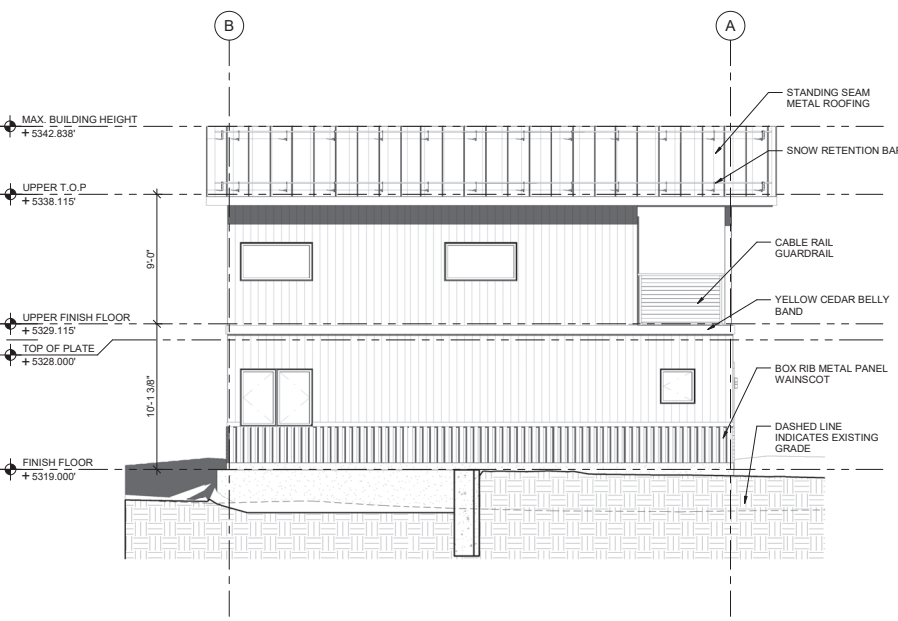
DRAWING TITLE  
**ELEVATIONS**

PROJECT #: xx-xxx  
DRAWN BY: Author  
CHECKED BY: Checker  
KEY PLAN

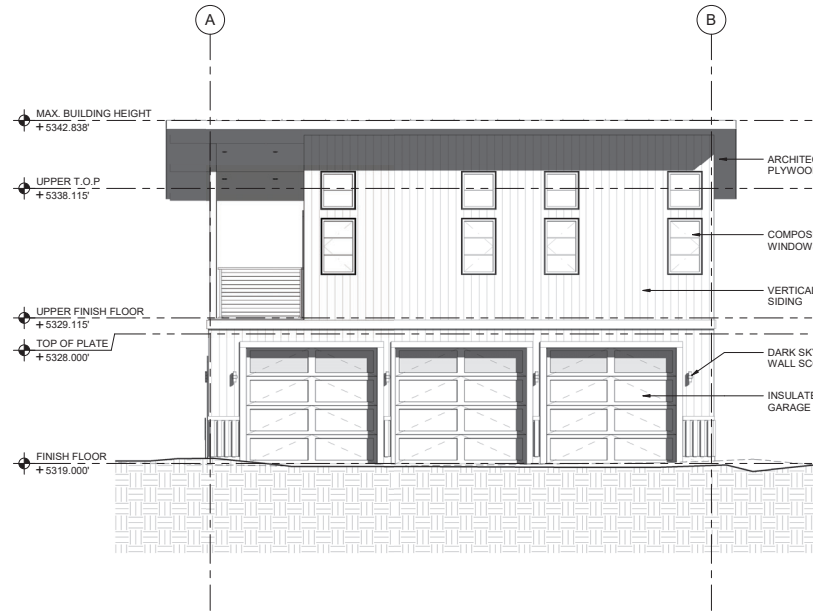
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**A7.00**



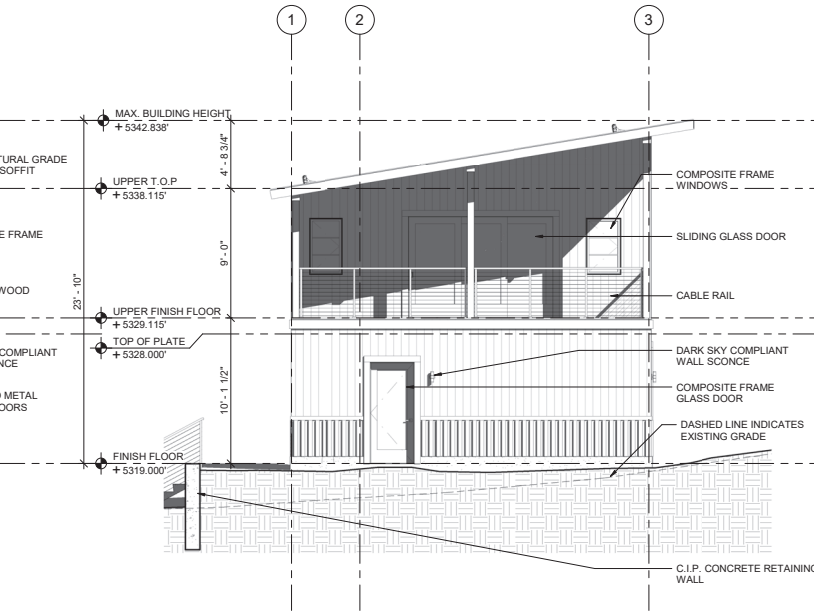
**1 NORTH ELEVATION DR**  
SCALE: 1/4" = 1'-0"



**2 WEST ELEVATION DR**  
SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION DR**  
SCALE: 1/4" = 1'-0"



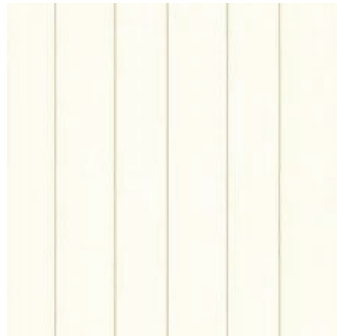
**4 SOUTH ELEVATION DR**  
SCALE: 1/4" = 1'-0"





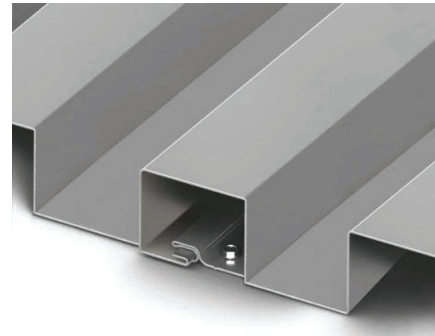
**STANDING SEAM METAL ROOFING**

COLOR: ZINC GRAY



**TAG PAINT GRADE VERTICAL WOOD SIDING**

COLOR: OFF WHITE



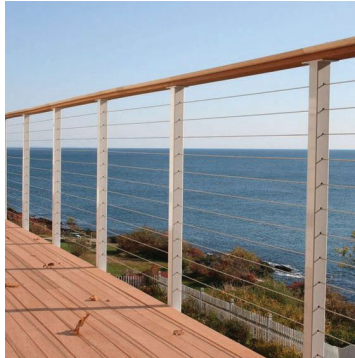
**BOX RIB METAL PANEL EXTERIOR WAINSCOT**

COLOR: LIGHT GRAY

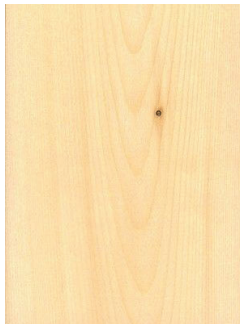


**COMPOSITE FRAME EXTERIOR WINDOWS & DOORS**

COLOR: WHITE



**STEEL CABLE RAILING WITH WOOD CAP**



**EXTERIOR ALASKAN YELLOW CEDAR WOOD TRIM**

STAIN: CLEAR

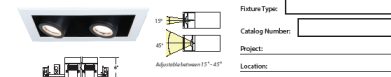


**EXTERIOR DARK SKY COMPLIANT WALL SCONCE**

LOCATION: LOWER LEVEL GARAGE AND MAN DOORS

**MT-4 - 1 Light, 2 Light, 3 Light, 4 Light**  
Silo Multiples - Trimmed

**WAC LIGHTING**  
Responsible Lighting®



**PRODUCT DESCRIPTION**  
Removable, adjustable, springless

**FEATURES**  
-Continuously adjustable beam angle between 17° and 47°  
-90° horizontal rotation and 360° vertical rotation  
-Independently adjustable and/or retractable heads  
-Accumulates dust and glass cleaner residue  
-5 year WAC Lighting product warranty

**SPECIFICATIONS**  
Construction: For cast aluminum finish with available powder coat, steel housing and trim.  
Light Source: High output LED, Rated life of 50,000 hours  
Input Voltage: 120V, 277V AC 50/60Hz  
Dimming: Electronic low voltage ELV, TRIAC, 0-10V  
Mounting Accessories: 3/8" T slot wall brackets  
Finish: Electroplated powder coated Black and White  
Standards: UL, ETL, Energy Star Listed, Title 24 (2019) Compliant, A-weight

Model	Head	Power	Color Temp.	CR	Beam	Lumen	CFR	Height	Depth	Finish (Trim/Bracket)
MT-4	1	927	2700K	90	120°	1000	1000	100	100	WTWT (Silk/White)
		928	3000K	90	120°	1000	1000	100	100	WTWT (Silk/White)
		945	4000K	90	45°	1130lm	1070lm	100	100	WTWT (Silk/Black)
MT-4	2	927	2700K	90	120°	2000	2000	200	200	WTWT (Silk/White)
		928	3000K	90	120°	2000	2000	200	200	WTWT (Silk/White)
		945	4000K	90	45°	2260lm	2140lm	200	200	WTWT (Silk/Black)
MT-4	3	927	2700K	90	120°	3000	3000	300	300	WTWT (Silk/White)
		928	3000K	90	120°	3000	3000	300	300	WTWT (Silk/White)
		945	4000K	90	45°	3390lm	3270lm	300	300	WTWT (Silk/Black)
MT-4	4	927	2700K	90	120°	4000	4000	400	400	WTWT (Silk/White)
		928	3000K	90	120°	4000	4000	400	400	WTWT (Silk/White)
		945	4000K	90	45°	4490lm	4370lm	400	400	WTWT (Silk/Black)

Example: MT-42131-930-WTWT

\*Reference output is 900C90 90 3000K at 10:30AM. Reference photometric performance on next page for other combinations.

waclighting.com | Resonance Custom Distribution Center | Central Distribution Center | Western Distribution Center  
 45100 Park Drive | 1600 Rockledge Ct. | 1700 Rockledge Avenue  
 Phoenix, AZ 85028 | Fort Washington, PA 19109 | Lake Springs, GA 31122 | Orem, UT 84058

WAC Lighting reserves the right to modify the design of our products at any time as part of the company's continuous improvement program. AUG 2019

**EXTERIOR DARK SKY CAN LIGHTS**  
LOCATION: EXTERIOR TERRACE SOFFIT

631 W MEADOW DR. HAILEY IDAHO, 83333

LICENSED ARCHITECT AR 985096

Matt H. Youdall  
STATE OF IDAHO  
EXP: 08-01-2024

*Matt Youdall*

---

PROJECT

**CUEVA ADU**

504 S MAIN HAILEY, ID

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DATE	ISSUE
05/17/24	HAILEY DESIGN REVIEW

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REVISIONS

NO.	DATE	ISSUE
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DRAWING TITLE

**MATERIAL BOARD**

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PROJECT #: xx-xxxx  
 DRAWN BY: Author  
 CHECKED BY: Checker

---

KEY PLAN

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DRAWING NO:

**A12.00**





631 W MEADOW DR. HAILEY IDAHO,  
83333



EXP: 08-01-2024  
*Matt Youdall*

PROJECT  
**CUEVA ADU**  
504 S MAIN HAILEY, ID

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APPLICABLE.

DATE	ISSUE
06/25/24	
PREVIOUS:	

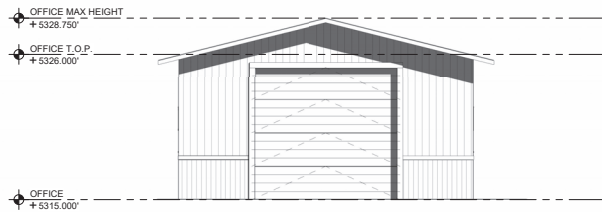
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE  
**PRE FAB METAL  
BUILDING PERSPECTIVE**

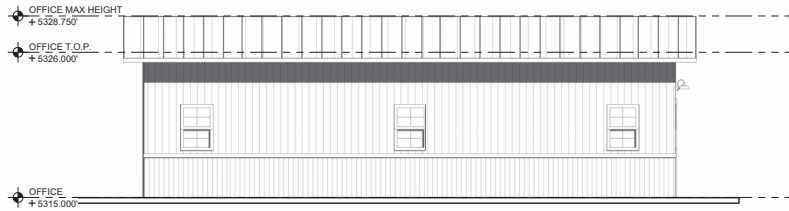
PROJECT #: xx-xxx  
DRAWN BY: Author  
CHECKED BY: Checker

KEY PLAN

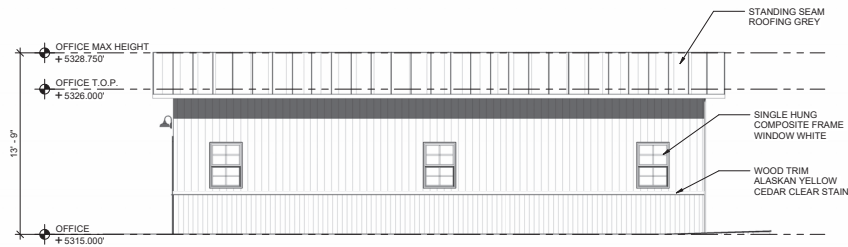
DRAWING NO:  
**A12.02**



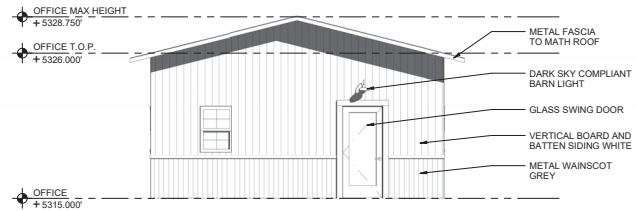
1 OFFICE EAST  
SCALE: 1/4" = 1'-0"



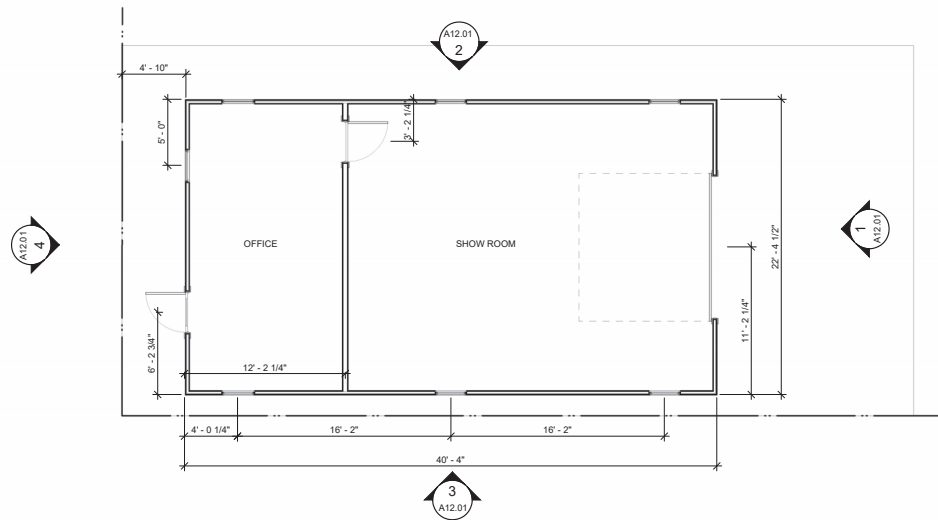
2 OFFICE NORTH  
SCALE: 1/4" = 1'-0"



3 OFFICE SOUTH  
SCALE: 1/4" = 1'-0"



4 OFFICE WEST  
SCALE: 1/4" = 1'-0"



5 OFFICE FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**YOUDALL**  
STUDIO ARCHITECTURE

631 W MEADOW DR, HAILEY IDAHO,  
83333

**LICENSED  
ARCHITECT  
#16588**

**Matt H. Youdall**  
STATE OF IDAHO  
EXP. 08-01-2024  
*Matt Youdall*

PROJECT  
**CUEVA ADU**  
504 S MAIN HAILEY, ID

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APPLICABLE.

DATE	ISSUE
06/25/24	

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE  
**PRE FAB METAL  
BUILDING**

PROJECT #: xx-xxx  
DRAWN BY: Author  
CHECKED BY: Checker

KEY PLAN

DRAWING NO:  
**A12.01**



**Return to Agenda**



## STAFF REPORT

### Hailey Planning and Zoning Commission

### Regular Meeting of July 15, 2024

**To:** Hailey Planning and Zoning Commission  
**From:** Emily Rodrigue, Community Development City Planner/Resilience Planner

**Overview:** Consideration of a Design Review Application by the City of Sun Valley c/o ARCH Community Housing Trust (“ARCH”), in partnership with the City of Hailey and represented by Opal Engineering, for the construction of ten (10) detached residential units and associated site improvements, across the properties of 702 S 3<sup>rd</sup> Avenue and 623 and 715 4<sup>th</sup> Avenue (Blocks 1 and 125, Lots 2, 3, 4, 5, and 6, Hailey Replat). Each residential unit is proposed to be two (2) stories in height and include three (3) bedrooms, two and a half (2.5) bathrooms, and four hundred and forty (440) square feet of attached garage space. The project is proposed for the site of the previous Ellsworth Inn, and the redevelopment will be known as The Inn at Ellsworth Estate. This Design Review Application represents Phase 1 of a series of phases for full site redevelopment, which is proposed to also include interior renovations of the historic Ellsworth Inn building, the demolition of a historic caretaker residence, and the construction of a new duplex building. The proposed project is located within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

**Hearing:** July 15, 2024

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**Applicant:** City of Sun Valley c/o ARCH Community Housing Trust  
**Location:** 702 S 3<sup>rd</sup> Avenue and 623 and 715 S 4<sup>th</sup> Avenue (Blocks 1 and 25, Lots 2, 3, 4, 5, and 6, Hailey Replat)  
**Zoning:** General Residential (GR) and Townsite Overlay (TO); 1.92 acres (83,503 sq. ft.)

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on June 26, 2024 and mailed to property owners within 300 feet on June 26, 2024.

**Background and Application:** The Applicant, City of Sun Valley c/o ARCH Community Housing Trust, is proposing to construct ten (10) new detached residential units across the properties of 702 S 3<sup>rd</sup> Avenue and 623 and 715 S 4<sup>th</sup> Avenue (Blocks 1 and 25, Lots 2, 3, 4, 5, and 6, Hailey Replat). Each unit will consist of 1,826 square feet of residential space, and each includes a 440 square foot garage. The first floor of each unit will consist of a kitchen, dining, and living area, a powder room, interior access to the unit’s garage, and covered porch space. The second floor of each unit will consist of three (3) bedrooms and two (2) bathrooms. One (1) parking space is provided within each unit garage, and the remaining required on-site parking (1.5 spaces per unit, 15 total on-site spaces required) is to be provided through a new onsite parking area in the northeast corner of the property, with seven (7) additional spaces, for a total of seventeen (17) parking spaces provided on site.

The City of Sun Valley purchased the property in March of 2023 from a private party, after the property and Inn were listed on the market for at least two (2) years as unsold. The purchase was followed by a

City of Sun Valley-initiated Request for Proposals (RFP) process to identify a suitable entity for development and management of the property. After receiving a singular response to the RFP, from ARCH Community Housing Trust, the City of Sun Valley motioned to approve a development agreement with ARCH in December, 2023.

The development addressed in this Design Review Application and Staff Report will be considered as the first phase of a multi-phase project that seeks to increase the local stock of community housing units, while also ensuring that the legacy of the historic Ellsworth Inn property is preserved and maintained. Full redevelopment of the site is proposed to include interior renovations of the original Ellsworth Inn building, as well as the demolition of a previous caretaker’s residence and the construction of a new duplex structure. Upon completion (anticipated in 2027), the Applicant posits that the project will provide rental housing for 48-68 local workforce residents.

The Applicant anticipates that multiple Public Hearings and Design Review iterations will be had for this project. Development requirements to be contemplated at a later date include:

- Finalized landscaping plan
- Finalized site circulation plan
- Engineered plans and formal cost-sharing agreement for right-of-way improvements (City of Hailey acting as a project partner in said agreement)
- Lot Line Adjustment Application, removing all interior lot lines and consolidating the parcels into one (1) larger lot.

**Procedural History:** The Applicant submitted a Design Review Preapplication on June 18, 2024 and it was certified complete on June 21, 2024. A Public Notice was published in the Idaho Mountain Express on June 26, 2024, and 300-foot adjoining property owners were notified in the mail on June 26, 2024. A subsequent public hearing before the Planning and Zoning Commission will be held on Monday, July 15 2024, in the Hailey City Council Chambers and virtually via Microsoft Teams.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b> <b>Life/Safety: No Comments.</b> <b>Streets, Water &amp; Wastewater:</b> <u>Streets:</u> <i>Public Works Department recommends six-foot (6') wide sidewalks on both the 3<sup>rd</sup> and 4<sup>th</sup> Avenue frontages of the Applicant's property. On 4<sup>th</sup> Avenue, specifically, it is recommended that the Applicant refrain from aligning the new sidewalk directly with the existing sidewalk to the south, instead shifting the sidewalk alignment to the east so that there is only parallel parking available on the gravel right-of-way area between the sidewalk and the edge of asphalt.</i>

			<p><i>On 3<sup>rd</sup> Avenue, it is recommended that the existing sidewalk to the south of the Applicant's property extend north, along the extent of the Applicant's property, in the same alignment that currently exists.</i></p> <p><i>Additionally:</i></p> <ul style="list-style-type: none"> <li>• <i>Snow removal from private drive(s) shall not be pushed into the City right-of-way.</i></li> <li>• <i>Encroachment permits shall be required for each new curb cut, as well as any remediation work performed on existing curb cuts.</i></li> </ul> <p><i>These have been made Conditions of Approval.</i></p> <p><u><i>Wastewater:</i></u></p> <ul style="list-style-type: none"> <li>- <i>If the sewer line in the existing alley adjacent to the site is not used by the Ellsworth property, the Applicant shall abandon the line at the nearby sewer manhole.</i></li> <li>- <i>The Applicant shall relocate the sewer manhole - either in the existing alley or the newly proposed manhole north of Unit 1 – into an asphalt area that ensures truck access for Wastewater Department Staff, referring to Hailey Standard Drawing 18.14.010.C.1, Note #8.</i></li> </ul> <p><i>These have been made Conditions of Approval.</i></p> <p><u><i>Water:</i></u></p> <ul style="list-style-type: none"> <li>- <i>Once the Applicant abandons the meter vault, they shall return the meter vault to the City of Hailey.</i></li> <li>- <i>The Applicant shall locate and bring the existing main line valve box, located in the alley, to grade.</i></li> </ul> <p><i>These have been made Conditions of Approval.</i></p> <p><b>Building: No Comments.</b></p> <p><b>Parks and Greenspace: No Comments.</b></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>17.08A Signs</b></p> <p><b>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</b></p> <p><i>Staff Comments</i></p> <p><i>N/A, as no signage is proposed as this time. Any signage exceeding four (4) square feet will need to be accompanied by a Sign Permit Application and be approved prior to installation.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.09.040 On-site Parking Req.</b></p> <p><b>See Section 17.09.040 for applicable code.</b></p> <p><i>Staff Comments</i></p> <p><i>Per the Hailey Municipal Code, the residential parking requirements for all dwelling units larger than 1,000 square feet in multi-family developments are a minimum of an average of 1.5 spaces per unit. With ten (10) units proposed, the minimum number of parking spaces required to be provided on site is fifteen (15) spaces.</i></p> <p><i>The Applicant is providing one (1) parking space within each unit's garage, plus seven (7) additional parking spaces in the proposed surface parking area in the northeast corner of the lot – including one (1) accessible space. The total number of onsite parking spaces provided is seventeen (17) spaces.</i></p> <p><i>The parking requirement for the proposed phase of development has been met.</i></p> <p><i>Additionally, the Property Manager/Management Company shall ensure all parking requirements within the public right-of-way are met. This includes, but is not limited</i></p>

				<i>to, restrictions to winter parking within the public right-of-way. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.09.040.06: Excess of Permitted Parking</b>	<b>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</b>
			<i>Staff Comments</i>	<i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08C.040 Outdoor Lighting Standards</b>	<p><b>17.08C.040 General Standards</b></p> <p>a. All exterior lighting shall be designed, located, and lamped in order to prevent:</p> <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> <p>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</p> <p>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</p> <p>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</p> <p>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</p>
			<i>Staff Comments</i>	<i>The Applicant has submitted a lighting cut sheet that includes dark sky compliant lighting fixtures, as well as the use of LED illumination. Three (3) recessed can lights are proposed for each covered porch area, and two (2) exterior lighting fixtures are proposed to frame the garage door of each unit. All lighting appears to be downcast and fully shielded.</i>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>17.04M.060 Bulk Requirements</b>	Business (B) and Townsite Overlay (TO) Zoning Districts:
			<i>Staff Comments</i>	<p><b>Building Height:</b></p> <ul style="list-style-type: none"> <li>- Permitted Building Height: 30’.</li> <li>- Proposed Building Heights: All proposed building heights appear to meet the building height maximum. At finished grade, building heights will be twenty-nine feet (29’). At record grade, the building heights are as follows:</li> <li>- Unit 1: 29.76’</li> <li>- Unit 2: 29.61’</li> <li>- Unit 3: 29.94’</li> <li>- Unit 6: 29.61’</li> <li>- Unit 7: 29.51’</li> <li>- Unit 8: 29.07’</li> <li>- Unit 9: 28.94</li> <li>- Unit 10: 28.59</li> <li>- Unit 11: 28.46</li> <li>- Unit 12: 28.22’</li> </ul>

			<p><b>Building Setbacks:</b></p> <ul style="list-style-type: none"> <li>- <b>Permitted Setbacks:</b> <ul style="list-style-type: none"> <li>o Front Yard: 12'</li> <li>o Side Yards: 12'</li> <li>o Rear Yard (facing a public street): 12'</li> </ul> </li> <li>- <b>Proposed Setbacks, Units 1-3:</b> <ul style="list-style-type: none"> <li>o Front (west):20'+</li> <li>o Side: 55' (north)), 219'+ (south)</li> <li>o Rear: 141'+'</li> </ul> </li> <li>- <b>Proposed Setbacks, Units 6-12:</b> <ul style="list-style-type: none"> <li>o Front (west): 19.8'+'</li> <li>o Side: 194''+ (north), 28.5' (south)(l)</li> <li>o Rear: 14'+</li> </ul> </li> </ul> <p><i>General Residential (GR) District with lots larger than 4,500 square feet, and building proposed is two (2) or more stories above grade with garage:</i></p> <ul style="list-style-type: none"> <li>o Permitted Coverage: 30%</li> <li>o Proposed Coverage: 20%</li> </ul> <p><i>The total building footprint for all remaining and proposed structures is 16,728 square feet, with the full parcel size (after lot consolidation) at 83,503 square feet. Upon The proposed lot coverage will be compliant with Hailey Municipal Code for maximum lot coverage.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.070(A)1 Street Improvements Required</b></p> <p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p> <p><b>Staff Comments</b></p> <p><i>Prior to application submittal, ARCH, the City of Sun Valley, and the City of Hailey agreed upon the terms stating that the City of Hailey would act as a project partner for this development, in some capacity. While right-of-way improvements were not initially identified as a specific partner role for the City of Hailey, discussions amongst City Staff and the Applicant team have concluded that it would be appropriate for the City of Hailey to cover the cost of construction of right-of-way improvements along the property's 3<sup>rd</sup> and 4<sup>th</sup> Avenue frontages. The Applicant team, in turn, will provide the contractor and construction resources for completing the improvements, capitalizing on the fact that the construction resources (human, machinery, and other) will already be mobilized on site. This will ensure a more efficient cost structure and public infrastructure completion timeline.</i></p> <p><i>That being said, Public Works and Streets Division Managers have requested that six-foot (6') wide sidewalks (no curb and gutter) be installed along 3<sup>rd</sup> and 4<sup>th</sup> Avenue project frontages. The 4<sup>th</sup> Avenue sidewalk has been requested to be shifted to the east of the existing sidewalk alignment to the south, so that only parallel parking may occur in the project's 4<sup>th</sup> Avenue right-of-way. The sidewalk along 3<sup>rd</sup> Avenue project frontage may remain in the same alignment as the existing sidewalk to the south.</i></p> <p><i>With all right-of-way improvements, City infrastructure requirements shall be met. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.070(B) Required Water</b></p> <p><b>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet</b></p>

			<b>System Improvements</b>	<b>deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</b>
			<b>Staff Comments</b>	<i>This standard will be met.</i>
<b>Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey</b>				
<b>1. Site Planning: 17.06.080(A)1, items (a) thru (n)</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p><b>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</b></p> <p><i>Staff Comments</i>                      The project site hosts an expansive, park-like setting for the collection of proposed, detached residential units. Units 6-12 line the entirety of the project’s southern property boundary, with garage doors and the parking access lane having direct southern exposure. This will ensure that snow and ice do not build up around the garage areas, ensuring safe year-round access to at least one (1) egress point of each unit. Units 1-3 feature covered deck space (110 square feet) facing the south, providing additional sun exposure and usable space for the residents of these units. In general, existing landscaping, site topography, building layout, and building scale all support sun exposure in exterior spaces and safe access to units.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p><b>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</b></p> <p><i>Staff Comments</i>                      All existing plant material has been inventoried and delineated to scale, noting preservation or removal. It appears that multiple trees of at least 6-inch caliper will be removed. Due to the historic nature of the site and its vegetation, Staff request that the Applicant submit an arborist review for all trees over 6 inch in caliper, prior to applying for a building permit. This has been made a Condition of Approval.</p> <p>Additionally, Staff would like to note their support for the Applicant retaining material from removed trees onsite, wherever possible, in forms that may be utilized and enjoyed by future occupants of the site (i.e. as log benches, artistic elements, landscaping features, etc.).</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p><b>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</b></p> <p><i>Staff Comments</i>                      As proposed, the site will feature one (1) throughway feature between 3<sup>rd</sup> and 4<sup>th</sup> Avenue, providing garage access for Units 6-12. This parking access lane will not</p>

				<p><i>be open to public traffic. Four (4) other curb cuts/access points are proposed for the development:</i></p> <ul style="list-style-type: none"> <li>- <i>One (1) twenty-six foot (26') wide parking access lane at the northwest extent of the property, servicing garage access to Units 1-3.</i></li> <li>- <i>One (1) existing gravel entry circle, providing access to the existing and original Ellsworth Inn building.</i></li> <li>- <i>One (1) twenty-six foot (26') wide parking access lane at the northeast extent of the property, servicing the seven (7) additional onsite parking spaces and trash enclosure area.</i></li> <li>- <i>One (1) twelve-foot (12') wide driveway on the eastern property boundary, servicing the existing caretaker residence.</i></li> </ul> <p><i>At this time, the Applicant has not shown specific pathway features interior to the site, supporting safe pedestrian access through the site and to various building. However, the Applicant has informed Staff that complete landscaping and site circulation plans will be submitted, and reviewed via Design Review, in Phase II of this development, prior to construction commencement. The Commission may wish to take this opportunity to provide the Applicant with recommendations for interior site pedestrian connectivity, especially as it relates to accessing the additional parking area and trash enclosure.</i></p> <p><i>The City of Hailey recognizes the importance of pedestrian safety enhancements in the vicinity of 3<sup>rd</sup> and 4<sup>th</sup> Avenue, as well as the need to provide pedestrian safety and movement resources for the future tenants of the Inn at Ellsworth Estate. As such – and previously discussed in this Staff Report – the City of Hailey will be coordinating with the Applicant team to utilize their mobilized construction resources during development to construct six-foot (6') wide sidewalks along the property's 3<sup>rd</sup> and 4<sup>th</sup> Avenue frontages, while ensuring that construction cost for these pedestrian features is covered by the City.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p><b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b></p>
			<i>Staff Comments</i>	<p><i>According to the Applicant, Units 1-3 and 6-12 will each have a roller trash bin that is moved out to the end of their driveway area and collected on servicing days. This arrangement has been approved by Clear Creek Disposal, according to the Applicant. Bins for the tenants of the Inn building itself will be located in the trash enclosure, as noted on site plans. This trash enclosure will be three (3)-sided and finished with material that mimics the exterior of Units 1-3 and 6-12.</i></p> <p><i>The Applicant shall submit a servicing confirmation letter from Clear Creek, as well as a plan detail that illustrates trash enclosure materials, dimensions, operations, etc., prior to issuance of a Building Permit. This has been made a Condition of Approval.</i></p>
			17.06.080(A)1e	<p><b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b></p>



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>Staff Comments</b>	<i>While an alley currently exists to the north of the property, Staff have determined that it is impassable at this time, and overhead utilities may create unsafe conditions for building services operators. However, Staff have expressed interest in utilizing the alley for accessing the northern portion of this parcel. The Applicant may wish to consider coordinating with the City and surrounding property owners, in order to establish alley access to the site in the future.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b>
			<b>Staff Comments</b>	<i>N/A, as no vending machines are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p><b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b></p> <p><b>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b></p> <p><b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b></p>
			<b>Staff Comments</b>	<p><i>Each unit will have one (1) on-site parking area within the unit's garage, which will provide screening from the street. No garage doors face any street right-of-way, while the front of each unit faces interior to the site.</i></p> <p><i>The Applicant has stated that a snow storage exhibit will be provided in a future phase, and be reviewed via Design Review, for this project, but that they do not anticipate any issues with storage of snow on site, due to the large and open nature of the property. With this in mind, Staff do not anticipate any obstruction of parking and access due to snow storage.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b>
			<b>Staff Comments</b>	<p><i>The Applicant has proposed a site plan that includes numerous approaches, servicing the variety of residences on-site. The proposed density and configuration of units may require more than one (1) approach to the site; however, Staff wish to see the Applicant make every effort to consolidate approaches and preserve the street frontage for pedestrian traffic.</i></p> <p><i>Upon presenting concern over the number of site approaches to the Applicant, the Applicant has stated that they are amenable to eliminating the separate driveway access for the "Innkeeper" unit that remains on 4<sup>th</sup> Avenue, instead providing access to this unit via the proposed additional parking and trash enclosure area.</i></p> <p><i>Staff recommend that the Applicant utilize the existing alley on the north property line to access Units 1-3 and eliminate the curb cut on 3<sup>rd</sup> Avenue. The Applicant has stated that they are open to a discussion of creating alley access to the northern parking/driveway access area, servicing Units 1-3, if the City of Hailey funds such alley "opening" (currently obstructed with some vegetation and miscellaneous items of personal property) and connection construction.</i></p>

				<i>The Commission should discuss site access via the alley, curb cuts, and overall approaches with the Applicant team, emphasizing the importance of minimizing approaches where possible and logical to do so.</i>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p>i. <b>Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b></p> <p><i>Staff Comments</i>  <i>The Applicant has stated that snow storage will be provided onsite. Multiple storage areas will be necessary, and the southern parking access lane may require snow to be hauled to other locations onsite, not directly adjacent, in order to properly accommodate snow storage. Staff do not anticipate snow storage capacity to be a limiting factor for this project.</i></p> <p><i>However, the Applicant has not supplied a snow storage plan at this time, stating that it will be provided in a future phase of the Design Review process for this project. The Commission may wish to provide feedback to the Applicant on future snow storage at this time.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p>j. <b>Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b></p> <p><i>Staff Comments</i>  <i>Please refer to Section 17.06.080(A)1i for further detail.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p>k. <b>A designated snow storage area shall not have any dimension less than 10 feet.</b></p> <p><i>Staff Comments</i>  <i>Please refer to Section 17.06.080(A)1i for further detail.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1l	<p>l. <b>Hauling of snow from downtown areas is permissible where other options are not practical.</b></p> <p><i>Staff Comments</i>  <i>N/A. The Applicant has stated that all snow will be stored on-site.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p>m. <b>Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b></p> <p><i>Staff Comments</i>  <i>Please refer to Section 17.06.080(A)1i for further detail.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p>n. <b>Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b></p> <p><i>Staff Comments</i>  <i>Please refer to Section 17.06.080(A)1i for further detail.</i></p>
<b>2. Building Design: 17.06.080(A)2, items (a) thru (m)</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p>a. <b>The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</b></p> <p><i>Staff Comments</i>  <i>The Applicant is proposing ten (10) new residential units, which resemble modest, two-story single-family homes. Each unit is proposed to have the same building footprint (1,243 square feet, including garage and covered porch), the same architectural design, and the same exterior finishes. These units will not be located on individual sublots.</i></p>






*The proportion, size, shape, and rooflines of the proposed units are well-suited to both the site and the surrounding buildings in the area. The front of each unit features a 12:8 gabled roof pitch, atop of a 3:12 single-pitch awning roof over the covered porch. The taller gabled roof and “stepped-down” porch roof create a front façade on each unit that is inviting, alludes to the human scale, and classic in style. Behind the interior living space of each unit is the 440 square foot garage area. This section of the unit also features a 12:8 gabled roof pitch, although it is stepped down approximately eight feet (8’). This step-down frames the living space as the primary building feature, and the garage as the secondary feature.*

*The size and scale of the original Ellsworth Inn building on-site is largely unmatched amongst other residential buildings in the Townsite Overlay District. The Applicant has proposed new units at a scale that are clearly subservient to the existing structure on-site. The existing caretaker’s building on the eastern property boundary is a single-story structure with similar gabled rooflines, with a slightly larger building footprint than that of the newly proposed units. Compatibility with buildings on-site will be achieved by the proposed building design.*

*While the property is zoned as General Residential (GR), the site’s location, and the surrounding properties, buildings, and uses speak to a somewhat transitional nature, between strictly residential, commercial, and even recreational*

				<p>(McKercher Park, Wertheimer Park, Hailey Elementary ball fields are all within a few blocks). Residential properties directly to the north of the site feature similar rooflines and building scales, while surrounding commercial properties feature a wide variety of building scales and styles, ranging from the institutional building style of the Hailey Police Department building (directly south) to the Hailey Fire Department (directly west) that is more industrial in nature. Seeing as the proposed site use is residential, and the current zoning as General Residential (GR), Staff are placing greater emphasis on the proposed units' compatibility with properties and buildings with like uses. As it relates to surrounding residences, the Applicant's proposed building design is largely compatible, appropriately scaled, and in keeping with the "design spirit" of the broader Townsite Overlay District.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	<p><b>b. Standardized corporate building designs are prohibited.</b></p> <p><i>Staff Comments</i> N/A, as the project is not a corporate design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p><b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</b></p> <p><i>Staff Comments</i> As previously stated in this Staff Report, the front façade of each unit features a ground-level covered porch and second-story roofline that frames the unit and alludes to the human scale. Future tenants of the site will benefit from the covered porch areas, allowing for interaction and opportunities to gather. Additionally, the Applicant has situated the front of each unit towards the interior of the site, which features expansive grassy areas and mature vegetation. Human activity and interaction may be centered within the covered porch area, but ample opportunities for gathering will extend beyond each unit's front façade as well.</p> <p>See Section 17.16.080(A)2a for further detail and explanation of building design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p><b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b></p> <p><i>Staff Comments</i> The overall design of the front façade of each unit and its tie to the human scale is discussed in Section 17.16.080(A)2a; please refer to the Section for further detail.</p> <p>As it relates to exterior finishes, the front façade of each unit will feature five (5) single-hung windows, a front door with an eye-level window, pine wood support beams for the covered porch, vertical board and batten siding, and single belly band (same color as siding) at the juncture of the roof overhang and the top of the second-story wall. Human scale is achieved across the front façade, and the Applicant has presented a design that breaks up large building surfaces and volumes in a classic, inviting style for residential architecture.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p><b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b></p> <p><i>Staff Comments</i> N/A, as no future additions or renovations are planned at this time.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p><b>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</b></p> <p><i>Staff Comments</i> The exterior walls of the proposed buildings are monochromatic in nature. However, vertical board and batten siding, belly bands, alternative roofing material color (dark green), and pine wood support beams provide a variety of materials and textures.</p>

				<p><i>Staff would like to see the Applicant incorporate more variety in color across the building exterior. This may be achieved through alternative trim color/material, such as wood to match the support beams on the front porch. The garage door could especially benefit from a change in color, as the rear façade of each unit currently presents as a large, unbroken building mass and volume.</i></p> <p><i>Staff would also like to highlight the unique opportunity presented to the Applicant in redevelopment of this historic property. The needs and uses of the Inn at Ellsworth Estate have evolved throughout time, and this project is a reflection of continued evolution. Staff feels that it is important to promote building designs that meet the needs of the moment (community housing), while also providing a structure that will stand the test of time, just as the original Ellsworth Inn building has done.</i></p> <p><i>The original driveway to the Ellsworth Inn is framed by two (2) entry pillars, finished in river rock that is highly similar (if not directly gathered from) to the river rock material found in the nearby Big Wood River. This design detail evokes a strong sense of place, anchoring the site within the broader landscape.</i></p>  <p><i>The Applicant may wish to support the variety in color, material, and texture of their buildings' design through a similar element, while also creating further cohesiveness across the site's overall design.                  A Materials Sample Board will be brought to the hearing.</i></p>
☒?	☐	☐	<p><b>17.06.080(A)2g</b></p> <p><b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b></p> <p><i>Staff Comments</i></p>	<p><i>In general, the exterior building colors and materials are harmonious with the architecture and scale of the proposed building design. However, as stated in Section 17.16.080(A)2f, the buildings could certainly benefit from greater variety in color. The existing Ellsworth Inn building features a dark brown finish, and the proposed building color ("Cracked Pepper"/grayish-black) carry similar tone and hue.</i></p> <p><i>However, Staff feel that is important to see some degree of variation in exterior color, not only across each building itself, but also across the full scope of units.</i></p>

				<p><i>The Commission may wish to recall the MID RVR project, also within the Townsite Overlay District, which was originally presented as an attached townhouse project with a highly monochromatic building design:</i></p>  <p><i>In an effort to break up large building scale, as well as provide for differentiation amongst units and their unique residents, it was suggested by the Commission that the Applicant augment their building design to incorporate more variety in color. The MID RVR applicant team responded to this request with an improved design that garnered full support of the Commission:</i></p>  <p><i>Staff would support the application of a similar concept with The Inn at Ellsworth Estate project, where the project's units could share a color palette, but each unit carries their own finish, distinct from the units directly adjacent to it.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2h	<p><b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies, or other design elements.</b></p>
			<i>Staff Comments</i>	<i>N/A The proposed design does not include any flat-roofed buildings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p><b>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</b></p>

				<ul style="list-style-type: none"> <li>i) <b>Solar Orientation.</b> If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south.</li> <li>ii) <b>South facing windows with eave coverage.</b> At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii) <b>Double glazed windows.</b></li> <li>iv) <b>Windows with Low Emissivity glazing.</b></li> <li>v) <b>Earth berming against exterior walls</b></li> <li>vi) <b>Alternative energy.</b> Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li>vii) <b>Exterior light shelves.</b> All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul>
			<i>Staff Comments</i>	<i>The Applicant has stated that they will be installing windows with low emissivity and double glazing, as well south-facing windows which are under eaves. The Applicant has also agreed to install pre-wiring for EV chargers in unit garages, and the units will be furnished with high efficiency appliances. Staff are amenable to the installation of listed and approved alternatives for minimizing building energy consumption.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<ul style="list-style-type: none"> <li>j. <b>Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</b></li> </ul>
			<i>Staff Comments</i>	<i>The front façade entry features a covered porch with gutters and downspouts, and the garage entry has a gabled roofline above, shedding away from the garage door. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<ul style="list-style-type: none"> <li>k. <b>Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</b></li> </ul>
			<i>Staff Comments</i>	<i>Gutter downspouts are directed towards landscaped areas and away from the stairs providing access to the covered porch. No freezing and pedestrian hazard is anticipated.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<ul style="list-style-type: none"> <li>l. <b>Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</b></li> </ul>
			<i>Staff Comments</i>	<i>N/A, as no vehicle canopies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<ul style="list-style-type: none"> <li>m. <b>A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</b></li> </ul>
			<i>Staff Comments</i>	<i>N/A. No building signage is proposed at this time.</i>

**3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<ul style="list-style-type: none"> <li>a. <b>Accessory structures shall be designed to be compatible with the principal building(s).</b></li> </ul>
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	<ul style="list-style-type: none"> <li>b. <b>Accessory structures shall be located at the rear of the property.</b></li> </ul>
			<i>Staff Comments</i>	<i>N/A, as no accessory structures are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	<ul style="list-style-type: none"> <li>c. <b>Walls and fences shall be constructed of materials compatible with other materials used on the site.</b></li> </ul>

			<i>Staff Comments</i>	<i>N/A. No walls or fences are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)3c for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>N/A. No roof projections or roof mounted equipment is proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A. No alternative energy sources are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>The Applicant has shown a trash receptacle area at the rear of the additional parking area, located in the northeast corner of the lot. No details of trash enclosure size or materials have been provided at this time.</i>  <i>The Applicant shall submit a servicing confirmation letter from Clear Creek, as well as a plan detail that illustrates trash enclosure materials, dimensions, operations, etc., prior to issuance of a Building Permit. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All services lines will be underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances will be permitted on poles.</i>

**4. Landscaping: 17.06.080(A)4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>According to the Applicant, a complete landscaping plan will be submitted in Phase II of the Design Review process, as it is anticipated that this project will require multiple Public Hearings. The Applicant shall ensure that all applicable landscaping requirements from Section 17.06.080(A)4 are addressed through complete plan sets, submitted prior to any approval of the complete Design Review process. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>See Section 17.06.080(A)4a for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.



			<i>Staff Comments</i>	<i>See Section 17.06.080(A)4a for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two-and-one-half (2 ½) inches. A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.
			<i>Staff Comments</i>	<i>See Section 17.06.080(A)4a for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			<i>Staff Comments</i>	<i>N/A, as the proposed project is not located in the LI or SCI-I Zone Districts.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>N/A, as the proposed project is not located in the B, LB, TN and/or SCI-O Zone Districts</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>A Grading Plan with has been submitted, illustrating the locations of drywells and catch basins. Storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Grading Plan.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>The Applicant will be responsible for maintaining plant material in a healthy condition.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>N/A. No retaining walls have been proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)4i for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)4i for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)4i for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)4i for further detail.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)4i for further detail.</i>

### Additional Design Review Requirements for Multi-Family within the City of Hailey

**1. Site Planning: 17.06.080(D)1, items (a) thru (c)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	<p>a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.</p> <p><i>Staff Comments</i></p> <p><i>The Applicant is proposing two (2) clusters of new residential units; seven (7) units (Units 6-12) are proposed for the southern property boundary, with a parking access lane between the units and the adjoining property boundary. Three (3) units (Units 1-3) are proposed for the northwest corner of the site, serviced by their own parking access lane. The parking access lane for Units 6-12 will extend the entire length between 3<sup>rd</sup> and 4<sup>th</sup> Avenue, providing a throughway for the site. According to the Applicant, this throughway will not be open to the public. However, no gate or other physical barrier is proposed. Adjacent uses include both the Hailey Police and Fire Departments, The Senior Connection, The Grange Hall, and two (2) other multi-family developments to the west on 4<sup>th</sup> Avenue. Hailey Elementary is also located approximately 0.25 miles away. Active, significant traffic – both vehicular and pedestrian – already occurs adjacent to the site, and this development will increase the intensity of this pattern. The Applicant may wish to speak to how they intend to control public traffic accessing the site.</i></p> <p><i>As for building layout on the site itself, residential density will be significant on the south side of the site. However, all proposed units are situated with their front façades and covered porch areas facing interior to the site, where significant open space and mature vegetation exists. This building location and orientation will lend itself to the enjoyment, well-being, and sense of community amongst the residents, as opposed to building frontages facing the street or adjacent properties.</i></p>
<input type="checkbox"/>	<input type="checkbox"/> ?	<input type="checkbox"/>	17.06.080(D)1b	<p>b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.</p> <p><i>Staff Comments</i></p> <p><i>Site plans do not currently include any interior sidewalks or paths. Given site density and the location of the additional parking and trash enclosure area, it is imperative that such pedestrian circulation features exist. The Applicant should speak to the future site planning they are proposing for a later Design Review Public Hearing, if any, and provide the Commission with as much detail as possible at this initial Public Hearing to help guide future Design Review commentary.</i></p>

<input type="checkbox"/> ?	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	<b>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</b>
			<i>Staff Comments</i>	<p><i>All buildings are adjoined to a parking access lane, which will eventually tie into six-foot (6') wide sidewalks in the right-of-ways along 3<sup>rd</sup> and 4<sup>th</sup> Avenues, supporting efficient pedestrian circulation from the streetscape to the site's interior.</i></p> <p><i>Site-interior pedestrian circulation features have not yet been proposed by the Applicant. See Section 17.06.080(D)1b for further discussion of how this necessary component will be addressed.</i></p> <p><i>As previously stated in this Staff Report, the front facades and covered porches of each unit face interior to the site, where abundant open space and mature vegetation exists. This building organization lends itself to gathering and a sense of community across the site.</i></p>

**2. Building Design: 17.06.080(D)2, items (a) thru (b)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p style="text-align: center;"><b>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</b></p> <p><i>While this project is being considered as multi-family by both the Applicant and Staff, it does not feature a traditional multi-family structure; rather, the Applicant has proposed a series of ten (10) detached single-family residential units, in full character and design of such. Collectively, the project is considered multi-family, but each unit is residential in scale by its very nature.</i></p>
			<i>Staff Comments</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p style="text-align: center;"><b>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</b></p> <p><i>Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i></p>
			<i>Staff Comments</i>	

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
  - 1. The project does not jeopardize the health, safety, or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
  - 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**

3. **Require security for compliance with the terms of the approval.**
  4. **Minimize adverse impact on other development.**
  5. **Control the sequence, timing and duration of development.**
  6. **Assure that development and landscaping are maintained properly.**
  7. **Require more restrictive standards than those generally found in the Zoning Title.**
- C. **Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. **If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions of Approval are suggested to be placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:
  - i. If the total area of asphalt removed in the alley exceeds twenty-five percent (25%), the Applicant shall complete the removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one (1) year.
  - ii. Once the Applicant abandons the meter vault, they shall return the meter vault to the City of Hailey.
  - iii. The Applicant shall locate and bring the existing main line valve box, located in the alley, to grade.
  - iv. The building shall comply with IFC and IBC code requirements.
  - v. The Applicant shall install parking signage that informs and restricts parking in the right-of-way during the winter months.

- vi. The Applicant shall abandon any existing, unused water services.
  - vii. The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees.
  - viii. If the sewer line in the existing alley adjacent to the site is not used by the Ellsworth property, the Applicant shall abandon the line at the nearby sewer manhole.
  - ix. The Applicant shall relocate the sewer manhole – either the manhole in the existing alley or the newly proposed manhole north of Unit 1 – into an asphalt area that ensures truck and clean-out access for Wastewater Department Staff, referring to Hailey Standard Drawing 18.14.010.C.1, Note #8.
- d) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
  - e) Snow removal from private drive(s) shall not be pushed into the City right-of-way.
  - f) Encroachment permits shall be required for each new curb cut, as well as any remediation work performed on existing curb cuts.
  - g) the Applicant shall submit an arborist review for all trees over 6-inch in caliper, prior to applying for a building permit.
  - h) Any and all ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
  - i) The Applicant shall submit a servicing confirmation letter from Clear Creek, as well as a plan detail that illustrates trash enclosure materials, dimensions, operations, etc., prior to issuance of a Building Permit.
  - j) The Applicant shall ensure that all applicable landscaping requirements from Section 17.06.080(A)4 are addressed through complete plan sets, and reviewed for approval by the Commission within Phase II of Design Review.
  - k) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
  - l) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
  - m) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.

### **Motion Language**

**Approval:** Motion to approve the Design Review Application by the City of Sun Valley c/o ARCH Community Housing Trust (“ARCH”), in partnership with the City of Hailey and represented by Opal Engineering, for the construction of ten (10) detached residential units and associated site improvements, across the properties of 702 S 3rd Avenue and 623 and 715 4th Avenue (Blocks 1 and 125, Lots 2, 3, 4, 5, and 6, Hailey Replat), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 18, and City Standards, provided conditions (a) through (m) are met.

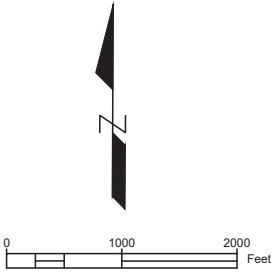
**Denial:** Motion to deny the Design Review Application by the City of Sun Valley c/o ARCH Community Housing Trust (“ARCH”), in partnership with the City of Hailey and represented by Opal Engineering, for the construction of ten (10) detached residential units and associated site improvements, finding that \_\_\_\_\_[the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_[Commission should specify a date].



**NOTES:**  
 PROPERTY BOUNDARIES SHOWN HEREON  
 ARE APPROXIMATE PER BLAINE COUNTY GIS.

**LEGEND:**  
 ——— PROPERTY BOUNDARY PER  
 BLAINE COUNTY GIS  
 ——— ADJOINING PROPERTY BOUNDARY  
 PER BLAINE COUNTY GIS  
 ——— ROADS PER BLAINE COUNTY GIS



**EXHIBIT ONLY**  
**NOT FOR  
 CONSTRUCTION**



OPAL ENGINEERING, PLLC  
 PO BOX 2530, HAILEY, ID 83333  
 WWW.OPAL-ENGINEERING.COM

**VICINITY MAP EXHIBIT**

THE INN AT ELLSWORTH ESTATE  
 PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

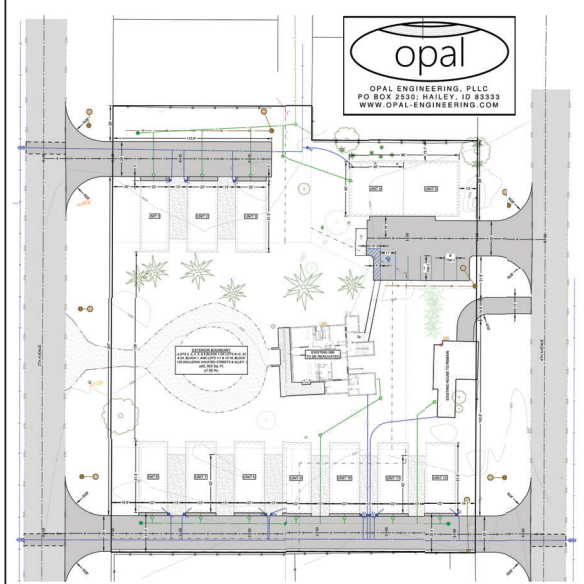
**23018**  
 PROJECT NUMBER

**EX**

### VICINITY MAP



### NEIGHBORHOOD MAP



### BUILDING DATA

PROJECT NAME: ELLSWORTH INN  
 STREET ADDRESS: TBD SOUTH 3rd, HAILEY, IDAHO  
 LEGAL DESCRIPTION: HAILEY REPLAT BLOCK 1 & 125 LOTS 2, 3, 4, 5, 6 BLK 1  
 PARCEL NUMBER: RPH00001250050 (VARIOUS/VERIFY)  
 CITY OF HAILEY ZONE: GR, TOWNSITE OVERLAY  
 BUILDING CODE: 2018 IBC, IRC, IECC  
 CONSTRUCTION TYPE: V-B, NEW CONSTRUCTION, SINGLE FAMILY DWELLING

LOT SIZE: ± 1.92 ac.; ± 83,503 sq.ft.  
 BUILDING FOOTPRINT: 1,133 sq.ft. (NOT INCL. COVERED FRONT PORCH)

BUILDING SQ.FT. DATA:  
 FIRST FLOOR: 693 sq.ft.  
 SECOND FLOOR: 693 sq.ft.  
 TOTAL LIVING: 1,386 sq.ft.

GARAGE: 440 sq.ft.  
 TOTAL SQ.FT.: 1,826 sq.ft.

BUILDING SETBACKS:  
 4th AVENUE (EAST): ± 13'-0"  
 SIDE YARD (NORTH): ± 15'-1 1/4" (13'-0" BETWEEN BUILDINGS)  
 SIDE YARD (SOUTH): ± 28'-6" (13'-0" BETWEEN BUILDINGS)  
 3rd AVENUE (WEST): ± 19'-9 1/2"

BUILDING HEIGHT: ± 29'-0"

### EXTERIOR VIEW



### PROJECT TEAM INFORMATION

OWNER	CONTRACTOR
ARCH COMMUNITY HOUSING TRUST MICHELLE GRIFFITH PO BOX 1292 KETCHUM, IDAHO 83340 208.726.4411 michelle@archbc.org	TBD
ARCHITECT	STRUCTURAL ENGINEER
TND ARCHITECTS PLLC THOMAS DABNEY 9 EAST ELM STREET HAILEY, IDAHO 83333 208.725.2255 tom@tndarch.com	STRUX ENGINEERING LLC MATT CHRISTIAN PO BOX 324 31448 DIXIE CREEK ROAD PRAIRIE CITY, OR 97869 512.676.9004 matt@struxengineering.com
CIVIL ENGINEER	GREEN BUILDING CONSULTANT
OPAL ENGINEERING, PLLC SAMANTHA STAHLNECKER, P.E. PO BOX 2530 416 S. MAIN STREET, SUITE 204 HAILEY, IDAHO 83333 208.720.9608 sam@opal-engineering.com	JOHN REUTER GREENWORKS JOHN REUTER 126 SOUTH MAIN ST., SUITE B9 HAILEY, IDAHO 83333 208.721.2922 john@idahogreenworks.com

- NOTES:  
 1. ADDRESS MARKERS W/6 INCH (MIN.) ADDRESS NUMBERS TO BE LOCATED ON A FRONT PORCH POST, CLEARLY VISIBLE FROM THE ADJACENT STREET.  
 2. WATER AND SEWER CONNECTIONS ARE TO CITY SERVICES.  
 3. EXTERIOR LIGHTING PLAN & ALL EXTERIOR LIGHT FIXTURES WILL MEET THE CITY OF HAILEY'S DARK SKY ORDINANCE.  
 5. ALL UTILITIES (POWER, GAS, CABLE ETC...) TO BE UNDERGROUND

### DRAWING INDEX

A000	TITLE PAGE; NO SCALE
A100	FIRST FLOOR PLAN; SCALE: 1/4"=1'-0"
A101	SECOND FLOOR PLAN; SCALE: 1/4"=1'-0"
A110	ROOF PLAN; SCALE: 1/4"=1'-0"
A200	EXTERIOR ELEVATIONS; SCALE: 1/4"=1'-0"
A201	EXTERIOR ELEVATIONS; SCALE: 1/4"=1'-0"
A300	BUILDING SECTIONS; SCALE: 1/4"=1'-0"
A900	EXTERIOR PERSPECTIVES; SCALE: N/A

TND ARCHITECTS PLLC  
 THOMAS DABNEY  
 ARCHITECT  
 208.725.2255  
 9 EAST ELM STREET  
 HAILEY, IDAHO 83333  
 TNDARCH.COM

ELLSWORTH INN PROPERTY - UNITS 1, 2, 3, 6, 7, 8, 9, 10, 11, 12

HAILEY REPLAT BLOCK 1 & 125 LOTS 2, 3, 4, 5, 6 BLK 1 HAILEY, IDAHO

TITLE PAGE

REVISIONS  
 06/17/2024 DESIGN DEVELOPMENT

PRINT DATE

6/18/24

DRAWING SCALE

NO SCALE

A000



Walden Collection  
Walden 1 Light LED Outdoor Wall Light in AZ AZ  
485942LED (Architectural Bronze)

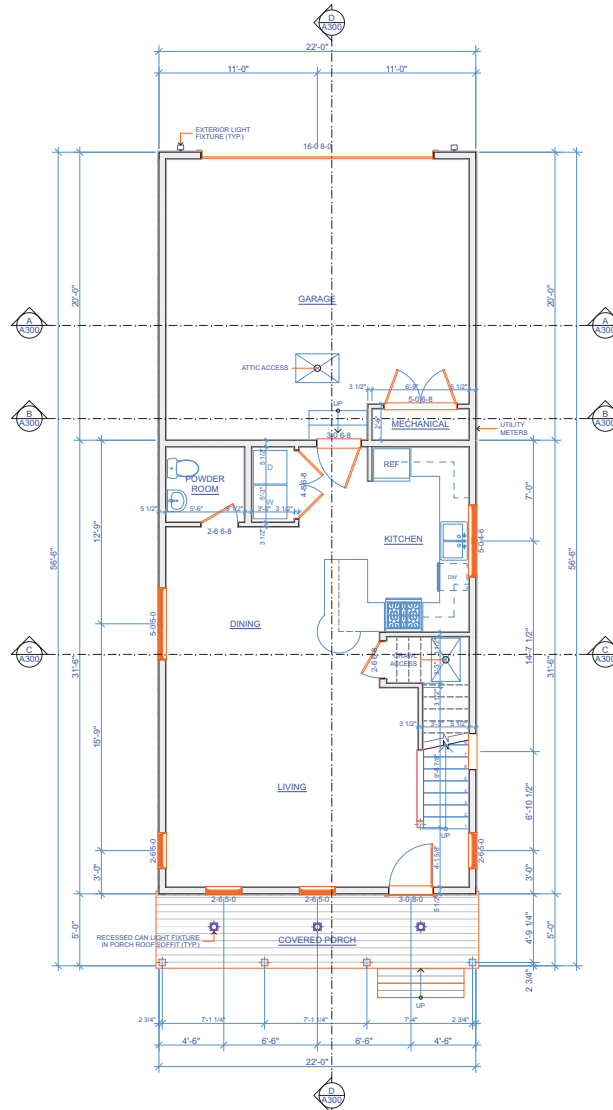


**Dimensions**  
Height: 12.0"  
Width: 6.0"  
Depth: 4.0"

<b>Project Name</b>	
<b>Client</b>	
<b>Site</b>	
<b>Contract</b>	
<b>Ordering Information</b>	
<b>Product ID</b>	485942LED
<b>Product Name</b>	Walden 1 Light LED Outdoor Wall Light in Architectural Bronze
<b>Product Code</b>	AZ AZ
<b>Product Category</b>	Outdoor Lighting
<b>Dimensions</b>	
<b>Height</b>	12.0"
<b>Width</b>	6.0"
<b>Depth</b>	4.0"
<b>Weight</b>	2.25 x 3.75
<b>Material</b>	Aluminum
<b>Finish</b>	Architectural Bronze
<b>Photometrics</b>	
<b>Beam Spread</b>	30°
<b>Color Temperature</b>	3000K
<b>Color Rendering Index</b>	90
<b>Specifications</b>	
<b>Material</b>	Aluminum
<b>Finish</b>	Architectural Bronze
<b>Electrical</b>	
<b>Voltage</b>	120V
<b>Power Rating</b>	15W
<b>Dimmable</b>	Yes
<b>Dimmer</b>	Not Dimmable
<b>Dimmer Notes</b>	This light is compatible with most dimmers. For more information, please contact your local distributor or visit our website at <a href="http://www.kichler.com">www.kichler.com</a> .
<b>Warranty</b>	5 Year
<b>Lead Time</b>	1-2 Weeks
<b>Availability</b>	In Stock
<b>Notes</b>	

**KICHLER**

EXTERIOR WALL-MOUNT LIGHT FIXTURE



**UNIT 1 BUILDING DATA**

FIRST FLOOR:	693 sq. ft.
SECOND FLOOR:	693 sq. ft.
TOTAL LIVING:	1,386 sq. ft.
GARAGE:	440 sq. ft.
TOTAL:	1,826 sq. ft.



TND ARCHITECTS PLLC  
THOMAS N. DABNEY  
ARCHITECT  
208.726.2266  
TND@TNDARCHIT.COM

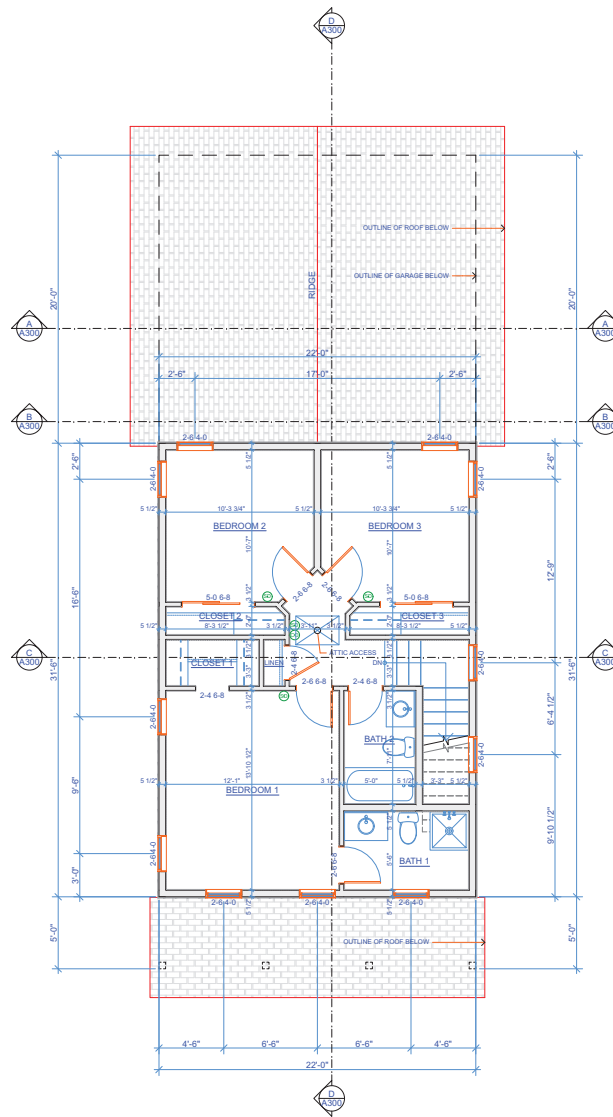
ELLSWORTH INN PROPERTY - UNITS 1, 2, 3, 6, 7, 8, 9, 10, 11, 12  
HAILEY REPLAY BLOCK 1 & 125 LOTS 2, 3, 4, 5, 6 BLK 1  
HAILEY, IDAHO  
FIRST FLOOR PLAN

**REVISIONS**

06/17/2024	DESIGN DEVELOPMENT

PRINT DATE  
6/18/24  
DRAWING SCALE  
1/4"=1'-0"

A100



**UNIT 1 BUILDING DATA**  
 FIRST FLOOR: 693 sq.ft.  
 SECOND FLOOR: 693 sq.ft.  
 TOTAL LIVING: 1,386 sq.ft.  
 GARAGE: 440 sq.ft.  
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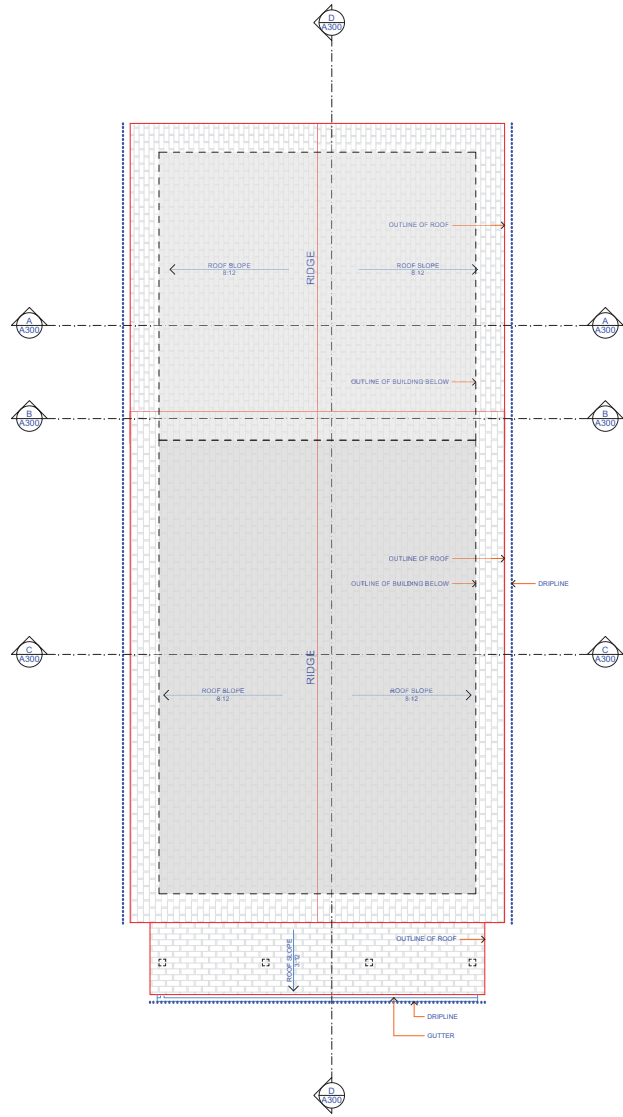
TND ARCHITECTS PLLC  
 THOMAS N. DABNEY  
 ARCHITECT  
 208.725.2255  
 HAILEY, IDAHO 83403  
 TND@TNDARCH.COM

ELLSWORTH INN PROPERTY - UNITS 1, 2, 3, 6, 7, 8, 9, 10, 11, 12  
 HAILEY REPLAT BLOCK 1 & 125 LOTS 2, 3, 4, 5, 6 BLK 1  
 HAILEY, IDAHO  
**SECOND FLOOR PLAN**

REVISIONS	
06/17/2024	DESIGN DEVELOPMENT

PRINT DATE  
 6/18/24  
 DRAWING SCALE  
 1/4"=1'-0"

A101



TND ARCHITECTS PLLC  
 THOMAS N. DABNEY  
 ARCHITECT  
 208.726.2266  
 8 EAST ELM STREET  
 HAILEY, IDAHO 83401  
 TND@TNDARCH.COM

ELLSWORTH INN PROPERTY - UNITS 1, 2, 3, 6, 7, 8, 9, 10, 11, 12  
 HAILEY REPLAT BLOCK 1 & 125 LOTS 2, 3, 4, 5, 6 BLK 1  
 HAILEY, IDAHO  
**ROOF PLAN**

REVISIONS	
06/17/2024	DESIGN DEVELOPMENT

PRINT DATE  
 6/18/24  
 DRAWING SCALE  
 1/4"=1'-0"

A110





N ELEVATION

1/4" = 1'-0"



S ELEVATION

1/4" = 1'-0"

**EXTERIOR MATERIALS INFORMATION**

- EXTERIOR SIDING:
  - MATERIAL: TRUEWOOD TEXTURED PANEL
  - COLOR: SHERWIN WILLIAMS - CRACKED PEPPER (SW9580)
- EXTERIOR TRIM (DOOR, WINDOW, CORNER BOARDS, FACIA):
  - MATERIAL: TRUEWOOD TEXTURED PANEL
  - COLOR: SHERWIN WILLIAMS - CRACKED PEPPER (SW9580)
- EXTERIOR WOOD (POSTS, BEAMS):
  - MATERIAL: D.F. PINE
  - COLOR: NATURAL STAIN
- ROOFING:
  - MATERIAL: ASPHALY COMP. SHINGLES
  - COLOR: GREEN
- WINDOW CLADDING:
  - MATERIAL: VINYL
  - COLOR: BLACK
- GARAGE DOORS:
  - MATERIAL: INSULATED STEEL
  - COLOR: SHERWIN WILLIAMS - CRACKED PEPPER (SW9580)
- EXPOSED FLASHING (DRIP EDGE ETC...):
  - MATERIAL: METAL
  - COLOR: BLACK
- EXTERIOR LIGHTING:
  - ALL EXTERIOR LIGHT FIXTURES WILL MEET THE CITY OF HAILEY'S DARK SKY ORDINANCE. WALL-MOUNTED FIXTURES WILL BE HOODED AND SHIELDED TO DIRECT LIGHT DOWNWARDS.

TND ARCHITECTS PLLC  
 THOMAS N. DABNEY  
 ARCHITECT  
 208.725.2255  
 TNDARCHIT.COM  
 8 EAST ELM STREET  
 HAILEY, IDAHO 83401-8333

ELLSWORTH INN PROPERTY - UNITS 1, 2, 3, 6, 7, 8, 9, 10, 11, 12  
 HAILEY REPLAY BLOCK 1 & 125 LOTS 2, 3, 4, 5, 6 BLK 1 HAILEY, IDAHO

**EXTERIOR ELEVATIONS**

**REVISIONS**

NO.	DATE	DESCRIPTION
06/17/2024		DESIGN DEVELOPMENT

PRINT DATE

6/18/24

DRAWING SCALE

1/4"=1'-0"

A201





W Perspective



E Perspective



S Perspective



N Perspective

TND ARCHITECTS PLLC

THOMAS N. DABNEY  
ARCHITECT  
208.726.2266  
9 EAST ELM STREET  
HAILEY, IDAHO 83403  
TNDARCHIT.COM

ELLSWORTH INN PROPERTY - UNITS 1, 2, 3, 6, 7, 8, 9, 10, 11, 12

HAILEY REPLAY BLOCK 1 & 125 LOTS 2, 3, 4, 5, 6 BLK 1 HAILEY, IDAHO

EXTERIOR PERSPECTIVES

REVISIONS

NO	DATE	DESCRIPTION
06/17/2024		DESIGN DEVELOPMENT

PRINT DATE

6/18/24

DRAWING SCALE

NO SCALE

A900

**The Inn @ Ellsworth Estates: Existing Structures**



*FIGURE 1. EXISTING INN TO BE RENOVATED*





*FIGURE 2. EXISTING HOUSE TO REMAIN*



*FIGURE 3. EXISTING TENNIS COURT TO BE DEMOLISHED*



*FIGURE 4. EXISTING STRUCTURE TO BE DEMOLISHED*

# THE INN AT ELLSWORTH ESTATE HAILEY, IDAHO

JUNE 2024

## GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D498. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH P11 RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL, SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED PRIOR TO REPLACING ASPHALT. THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705 AND CITY OF HAILEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1 WITH A MINIMUM OF 1.5 LBS/CY FIBER REINFORCEMENT. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPCW 703.1.5), AND POST FOUR CURE SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HAILEY PRIOR TO INSPECTIONS.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.010 A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA-BENCHMARK ENGINEERING, RECEIVED ON APRIL 11, 2024.



### LEGEND

#### EXISTING ITEMS

	PROPERTY LINE
	ADJOINER'S LOT LINE (BLAINE COUNTY GIS)
	CENTERLINE
	INTERIOR LOT LINE (CALCULATED - INTERIOR LOT LINES NOT SURVEYED)
	UTILITY EASEMENT PER PLAT INSTRUMENT NUMBER 19096, TO BE MODIFIED
	OVERHEAD POWER LINE
	5' CONTOUR INTERVAL
	1' CONTOUR INTERVAL
	CONCRETE SIDEWALK
	ASPHALT
	GRAVEL DRIVE
	DECK
	BUILDING
	GAS MARKER
	GAS METER
	CABLE TV RISER
	POST
	POWER METER
	UTILITY POLE
	GYWIRE
	SEWER MANHOLE
	SEWER CLEANOUT
	WATER MANHOLE
	WATER METER
	FROST FREE HYDRANT
	FIBER OPTIC MARKER
	MAIL BOX
	CONIFER TREE
	DECIDUOUS TREE

#### ITEMS TO BE REMOVED

	SAWCUT LINE
	CONCRETE TO BE REMOVED
	WATER LINE TO BE ABANDONED AFTER PHASE 1 WATER MAIN INSTALLED
	SEWER LINE TO BE ABANDONED AFTER PHASE 1 SEWER MAIN INSTALLED
	CONIFER TREE TO BE REMOVED
	DECIDUOUS TREE TO BE REMOVED

#### PROPOSED ITEMS

	SAWCUT LINE
	NEW ASPHALT
	CONCRETE SIDEWALK
	THICKENED EDGE SIDEWALK
	BUILDING
	FLOW LINE
	12" STORM DRAIN
	CATCH BASIN
	DRYWELL
	LANDSCAPE DRYWELL
	ROAD PAINT
	ADA PAINT & SYMBOL
	WATER SERVICE W/ METER VAULT
	SEWER SERVICE W/ CLEANOUT
	SEWER MANHOLE
	SIGN

## SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.30	DEMOLITION PLAN
C1.00	SITE GEOMETRY PLAN
C2.00	UTILITY NOTES & DETAILS SHEET
C2.01	UTILITY NOTES & DETAILS SHEET
C2.02	STORM SYSTEM DETAILS SHEET
C2.10	SITE UTILITY PLAN
C3.00	DETAILS SHEET
C3.01	DETAILS SHEET
C3.10	SITE IMPROVEMENT & GRADING PLAN

**CIVIL ENGINEER**  
SAMANTHA STAHLNECKER, PE  
OPAL ENGINEERING, PLLC  
416 S. MAIN STREET SUITE 204  
PO BOX 2530  
HAILEY, IDAHO 83333



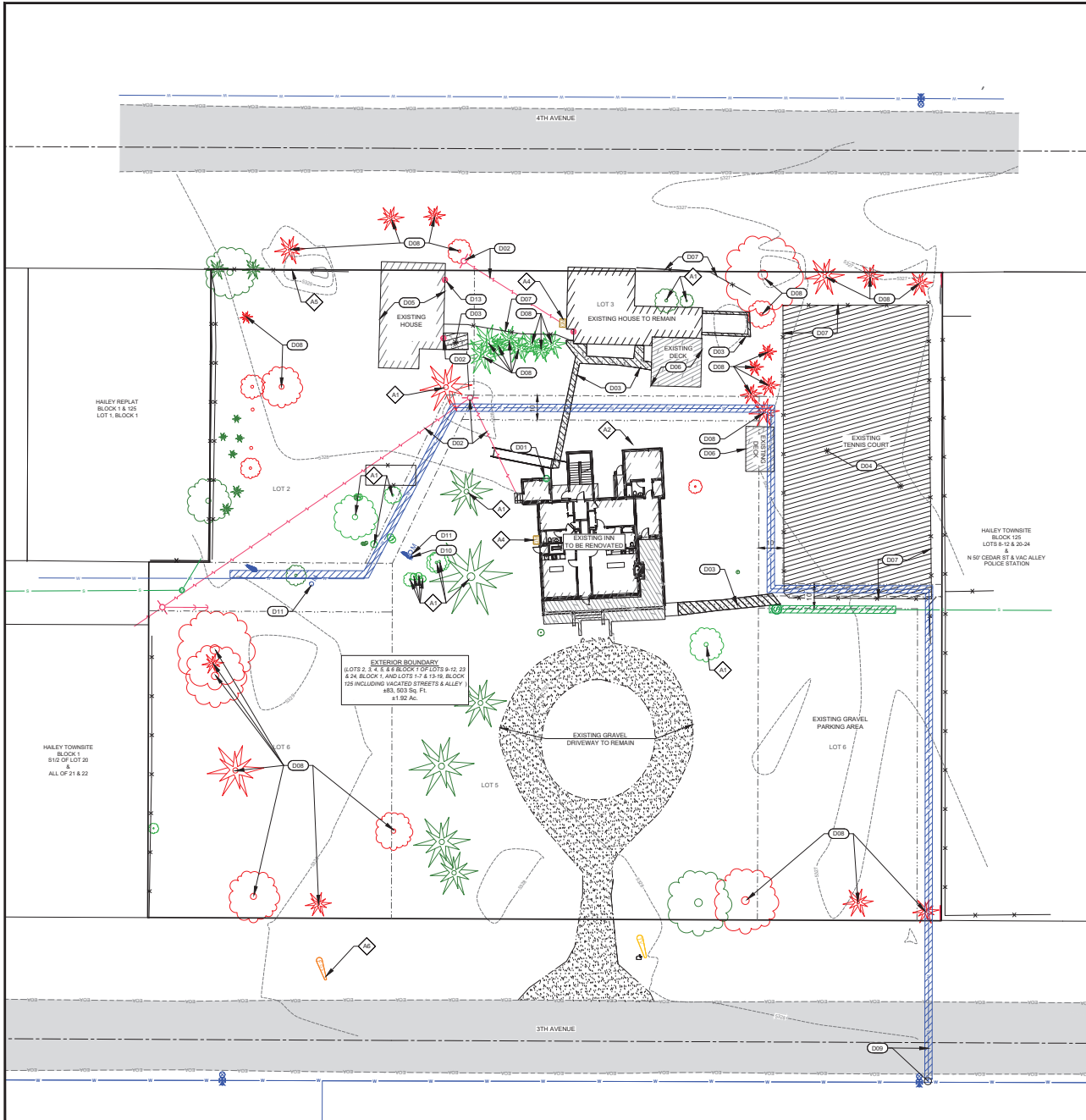
REVISION NO.	DATE	DESCRIPTION



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**COVER SHEET**  
 THE INN AT ELLSWORTH ESTATE  
 PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.  
RELEASE OF DRAWINGS: These drawings, or any portion thereof, shall not be used for any project other than the project stated on the permit or other approved engineering document.

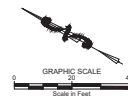
23018  
PROJECT NUMBER  
C0.10



- PROPOSED ITEMS**
- - - SAWCUT LINE
  - ▨ ASPHALT TO BE REMOVED
  - ▩ CONCRETE TO BE REMOVED
  - ▧ WATER LINE TO BE ABANDONED AFTER PHASE 1 WATER MAIN INSTALLED
  - ▦ SEWER LINE TO BE ABANDONED AFTER PHASE 1 SEWER MAIN INSTALLED

- D01 REMOVE EXISTING CLEANOUT.
- D02 REMOVE EXISTING POWER INFRASTRUCTURE, COORDINATE WITH BOND POWER.
- D03 DEMOLISH, REMOVE, AND DISPOSE OF EXISTING CONCRETE SIDEWALK.
- D04 DEMOLISH, REMOVE, AND DISPOSE OF EXISTING TENNIS COURT.
- D05 DEMOLISH, REMOVE, AND LEGALLY DISPOSE OF EXISTING BUILDING. SEE ARCHITECTURAL PLANS.
- D06 DEMOLISH, REMOVE, AND DISPOSE OF EXISTING DECK.
- D07 REMOVE AND DISPOSE OF EXISTING FENCE.
- D08 REMOVE AND DISPOSE OF EXISTING TREE / VEGETATION.
- D09 CUT, CAP, AND ABANDON EXISTING WATER MAIN AT CONNECTION TO 3RD AVENUE WATER MAIN.
- D10 REMOVE EXISTING FROST FREE HYDRANT.
- D11 REMOVE AND DISPOSE OF EXISTING WATER METER.

- ◊ RETAIN AND PROTECT:
  1. TREE
  2. CLEANOUT
  3. POST
  4. GAS METER
  5. FENCE
  6. FIBER OPTICS LINE



**GENERAL NOTES:**  
 1. SEE SHEET C01 FOR CONSTRUCTION GENERAL NOTES AND LEGEND.



REVISION NO.	DATE	DESCRIPTION

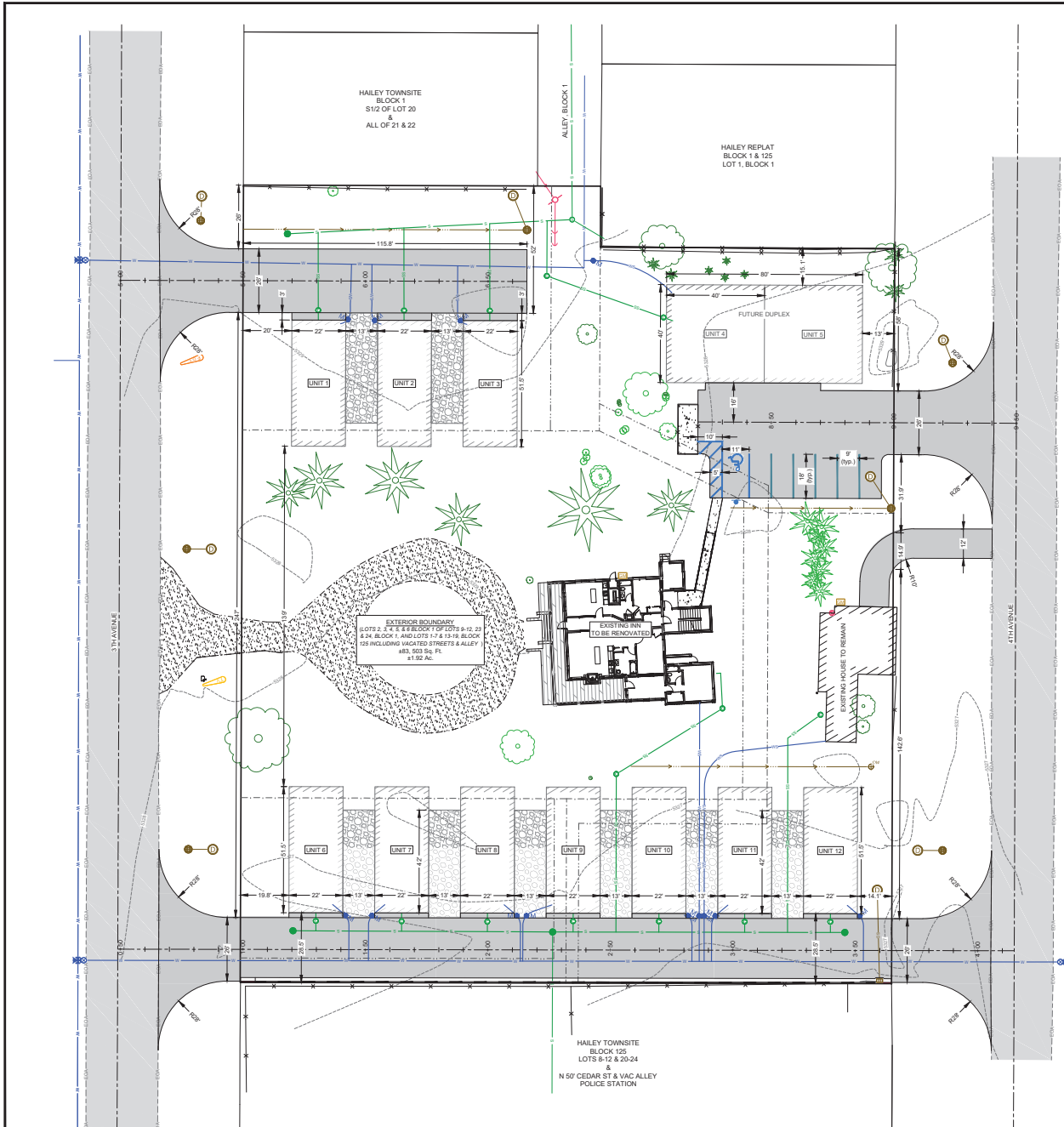


**PRELIMINARY NOT FOR CONSTRUCTION**

**DEMOLITION PLAN**  
 THE INN AT ELLSWORTH ESTATE  
 PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

23018  
 PROJECT NUMBER  
**C0.30**

RELEASE OF DRAWINGS: these drawings are prepared by the Project architect and shall not be used for any other purpose without the prior written consent of Opal Engineering, PLLC.



- GENERAL NOTES:**
- SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES AND LEGEND.
  - SEE SURVEY BY GALENA-BENCHMARK ENGINEERING FOR SURVEY NOTES.



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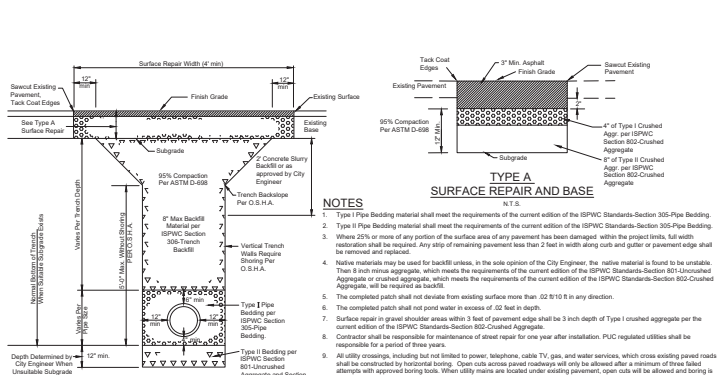


**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**SITE GEOMETRY PLAN**  
THE INN AT ELLSWORTH ESTATE  
PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

23018  
PROJECT NUMBER  
C1.00

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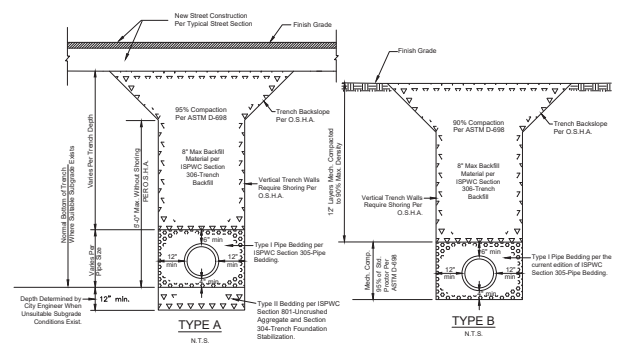


- NOTES**
- Type I Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
  - Type II Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
  - When 25% or more of any portion of the surface area of any pavement has been damaged within the project limits, full width restoration shall be required. Any strip of remaining pavement less than 2 feet in width along curb and gutter or pavement edge shall be removed and replaced.
  - Native materials may be used for backfill unless, in the sole option of the City Engineer, the native material is found to be unstable. Three 8 inch minus aggregate, which meets the requirements of the current edition of the ISPWV Standards-Section 801-Unleashed Aggregate, will be required as backfill.
  - The completed patch shall not deviate from existing surface more than .02 1/8\"/>

**EXISTING STREET TYPICAL TRENCH SECTION**  
N.T.S.

**1**  
C2.00

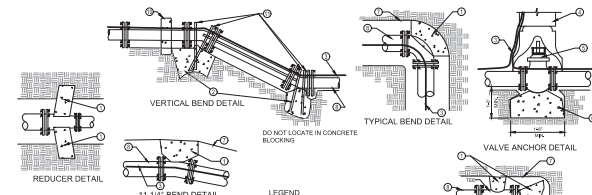
**TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)**  
N.T.S.



- NOTES**
- Type I Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
  - Type II Pipe Bedding material shall meet the requirements of the current edition of the ISPWV Standards-Section 305-Pipe Bedding.
  - Native materials may be used for backfill unless, in the sole option of the City Engineer, the native material is found to be unstable. Three 8 inch minus unleached aggregate per the current edition of the ISPWV Standards-Section 801-Unleached Aggregate or Type I or II crushed aggregate per the current edition of the ISPWV Standards-Section 802-Crushed Aggregate will be required as backfill.
  - All work in public traffic ways is subject to approval by the City Engineer. Street shall be notified one day before any excavation is started. No backfill shall be placed until the backfill material has been approved by the City Engineer.
  - Type A Trench Section shall be used when crossing a public or private road, street or driveway section. A road, street or driveway section is defined as the area under an existing sidewalk or great surface or curb and sidewalk, plus 4\"/>

**2**  
C2.00

**CITY OF HAILEY DETAIL NEW DEVELOPMENT TYPICAL TRENCH SECTION (18.14.010.A.2)**  
N.T.S.



**LEGEND**

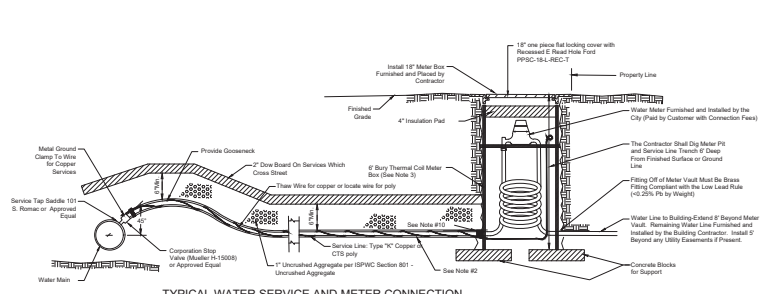
- FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
- FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1:2 FACTOR OF SAFETY.
- NO. 10 COPPER FIBER WIRE, SEE BEM-FOR PIPING.
- CL VALVE BOX WITH COVER.
- CL GATE VALVE (G.V.).
- PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2\"/>

**TABLE 1**  
THRUST AREA FOR HORIZONTAL BENDS\*\*

PIPE SIZE	18\"/>
24\"/>	
30\"/>	
36\"/>	
42\"/>	
48\"/>	
54\"/>	
60\"/>	
66\"/>	
72\"/>	

**NOTES**

- THRUST BLOC DEPTH TO BE A MINIMUM 1\"/>



- NOTES**
- Water Services shall be installed in accordance with the current edition of the ISPWV Section 404 Water Service Line and Meters.
  - Water Service Line shall have a 6\"/>

**3**  
C2.00

**THRUST BLOCK AND ANCHOR DETAILS**  
N.T.S.

**4**  
C2.00

**CITY OF HAILEY RESIDENTIAL WATER SERVICE CONNECTION DETAIL (18.14.010.B.3)**  
N.T.S.

**SEWER CONSTRUCTION NOTES**

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWV) AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF PLANS STAMPED WITH THE DEC APPROVAL STAMP AND A COPY OF THE DEC APPROVAL LETTER ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL SERVICES SHALL COMPLY WITH IDAPA 58.01.08.542.07 AND IDAPA 58.01.08.542.07 B WHICH ADDRESSES THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET C0.2). IN ADDITION, WATER SERVICES SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFLATATION TRENCHES AND DRY WELLS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME RELOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.
- POTABLE/NON-POTABLE CROSSINGS SHALL COMPLY WITH ISPWV STANDARD DRAWING NO. SD-407 AND IDAPA SECTION 58.01.08.542.07.
- THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
- SEWER SERVICES SHALL BE PLACED AT A SLOPE OF 2%, WITH MARKERS PER ISPWV. CLEANOUTS ARE REQUIRED AT CHANGES IN ALIGNMENT, GRADE, AND MINIMUM 100' LENGTH.
- ALL PIPE SHALL BE BEDDED WITH TYPE I BEDDING MATERIAL.
- TRENCHES SHALL BE BACK FILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO 159.
- THE CONTRACTOR SHALL PRESERVE TEST ALL SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION.

**WATER CONSTRUCTION NOTES**

- WATER SERVICE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS. NO WATER SERVICE SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.
- WATER SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6.0'), MEASURED FROM FINISHED GRADE.
- ALL 4\"/>



REVISION NO.	DATE	DESCRIPTION



**PRELIMINARY NOT FOR CONSTRUCTION**

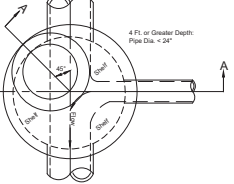
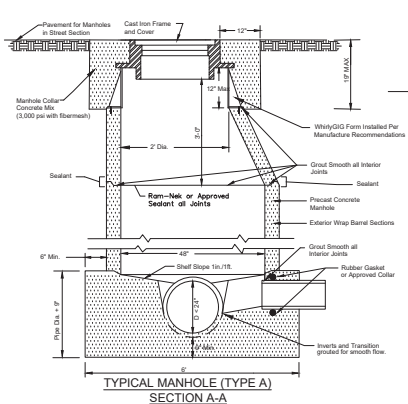
**UTILITY NOTES & DETAILS SHEET**

THE INN AT COLUMBIAN ESTATE  
PREPARED FOR ARCH CONSULTANTS INC.

23018  
PROJECT NUMBER

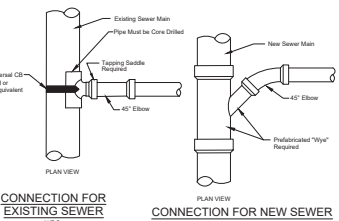
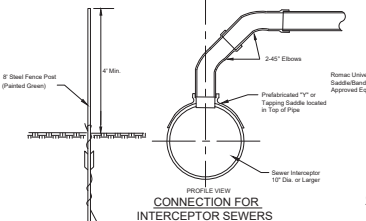
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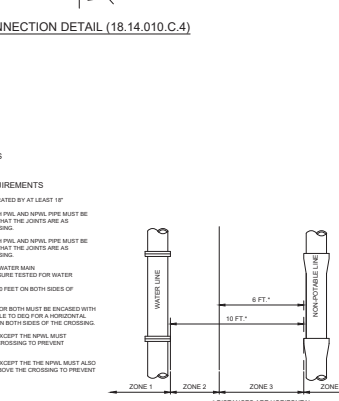
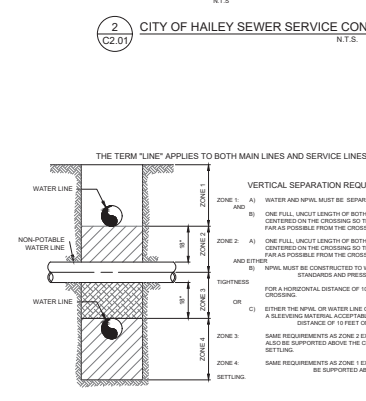
- NOTES**
- Optional cast in place manhole base with approved pipe connections may be used with approval.
  - Service lines shall not be connected to manholes.
  - Manhole frame shall cover:
    - See Drawing No. 18-14.010.C.3
    - Frame concrete and concrete collar, shall be 0" to 1/4" below the grade of pavement.
  - Whylite GFC Form allowed up to 12" height.
  - Where PVC is utilized, a rubber ring or gasket collar is to be installed where the pipe is in contact with manhole base and/or manhole channel, in order to insure a watertight seal.
  - See drawing No. 18-14.010.C.2 for shallow manhole Type B.
  - Frame and cover shall be adjusted to grade after paving. A steel plate shall cover the concrete collar to its finished grade placement. A steel collar cut shall be made in the man pavement to install 3/4" grade rings, frame and concrete collar.
  - Manhole shall be located so that the frame and cover will be 30 (30) feet from the centerline for residential streets or per the Approval Construction Plans for other streets.
  - Manhole shall be located on all manholes that are not on Paved Streets.
  - Exterior wrap material shall be E2-Wrap Rubber or approved equal.
  - Concrete collar shall be provided for all manholes.
  - No slots are allowed. (Slots are removed equal holes with grout.)
  - Torque bolts to manufacturers specifications (20 in/lb typical).

**2 CITY OF HAILEY DETAIL SEWER MANHOLE - TYPE A (18.14.010.C.1)**  
N.T.S.



- NOTES**
- Sewer taps shall not enter of manholes.
  - An approved tapping saddle shall be required for all new taps to existing sewer laterals. Lateral to be approved by The City Engineer.
  - A sewer connecting a new public sewer system to a subdivision or development shall connect to a sewer tap and service for each potential user and extend 5 feet. The property owner shall provide the tapping saddle and elbow. The property owner shall provide the tapping saddle and elbow. The property owner shall provide the tapping saddle and elbow. The property owner shall provide the tapping saddle and elbow.
  - When Sewer and Water lines or services cross refer to the current edition of SDPWC Standard Drawing 887, SDPWC 58 01 08 542 07 and IDWPA 58 01 08 542 07, which address the requirements for separation distances between potable water lines (including mains and service lines) with non-potable lines.

**2 CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)**  
N.T.S.



**3 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**  
N.T.S.

**FLUSHING AND DISINFECTION**

- A. FLUSHING PRIOR TO DISINFECTION**
- BEFORE CHLORINATION, FLUSH THE MAINS THOROUGHLY AFTER THE PRESSURE AND LEAKAGE TEST ARE COMPLETE.
  - USE A MINIMUM FLUSHING VELOCITY IN THE MAIN OF 2.5 FEET/SECOND.
  - IF HYDRANT IS INSTALLED AT THE END OF THE MAIN, PROVIDE A 1/4" OF THE SIZE SUFFICIENT TO PRODUCE A VELOCITY IN THE MAIN OF AT LEAST 2.5 FEET/SECOND.
  - TABLE 1 SHOWS THE RATES OF FLOW REQUIRED TO PRODUCE A VELOCITY OF 2.5 FEET/SECOND IN VARIOUS SIZE PIPES.
  - EXERCISE EXTREME CARE AND CONDUCT A THOROUGH INSPECTION DURING THE WATER MAIN LAYING TO PREVENT AND DETECT SMALL STONES, PIECES OF CONCRETE, PARTICLES OF MATERIAL, OR OTHER FOREIGN MATERIAL THAT MAY HAVE ENTERED THE MAINS.
  - CLEAN LARGE MATERIAL BY FLUSHING AND INSPECTING ALL HYDRANTS ON THE LINES TO ENSURE THAT THE ENTIRE VALVE OPERATING MECHANISM OF EACH HYDRANT IS IN GOOD CONDITION.
- B. DISINFECTION OF WATER PIPES**
- GENERAL
    - COMPLY WITH ANSI/AWWA C 651, DISINFECTING WATER MAINS, THESE SPECIFICATIONS, AND ENGINEERS DIRECTION.
    - KEEP THE INTERIOR OF ALL PIPES, FITTINGS AND APPURTENANCES FREE FROM DIRT, HEAVY AND FOREIGN PARTICLES.
    - DISINFECT ALL WATER PIPES AND APPURTENANCES PRIOR TO PLACING IN SERVICE.
  - FORM OF CHLORINE USED TO BE PRE-APPROVED BY THE ENGINEER.
    - LIQUID CHLORINE
      - FORM: LIQUID CONTAINING 100% AVAILABLE CHLORINE UNDER PRESSURE IN STEEL CONTAINERS.
      - STANDARD: ANSI/AWWA B 301.
      - EXECUTION: USED ONLY BY TRAINED PERSONNEL WITH APPROPRIATE GAS-FLOW CHLORINATORS AND ELECTORS.
      - AUTHORIZATION: ONLY WITH WRITTEN AUTHORIZATION OF THE ENGINEER.
    - SODIUM HYPOCHLORITE
      - FORM: GRANULAR OR IN 50 TABLETS CONTAINING APPROXIMATELY 65% AVAILABLE CHLORINE BY WEIGHT.
      - STANDARD: ANSI/AWWA B 300.
    - CALCIUM HYPOCHLORITE
      - FORM: GRANULAR OR IN 50 TABLETS CONTAINING APPROXIMATELY 65% AVAILABLE CHLORINE BY WEIGHT.
      - STANDARD: ANSI/AWWA B 300.
  - METHODS OF CHLORINATION USED TO BE PRE-APPROVED BY THE ENGINEER.
    - TABLET OR GRANULE METHOD
      - SOLUTION STRENGTH: 25 MG/L MINIMUM.
      - USE ONLY IF THE PIPES AND APPURTENANCES ARE KEPT CLEAN AND DRY DURING CONSTRUCTION. DO NOT USE SOLVENT WELDED PLASTIC OR SCREWED JOINT STEEL PIPE.
      - PLACEMENT WHEN USING GRANULES: DURING CONSTRUCTION, PLACE CALCIUM HYPOCHLORITE GRANULES AT THE UPSTREAM END OF EACH BRANCH MAIN AND AT 500-FOOT INTERVALS.
      - GRANULAR QUANTITY: REFER TO TABLE 2.
      - PLACEMENT WHEN USING TABLETS: DURING CONSTRUCTION, PLACE 50 CALCIUM HYPOCHLORITE TABLETS IN EACH SECTION OF PIPE AND ALSO PLACE ONE TABLET IN EACH HYDRANT BRANCH AND OTHER APPURTENANCES AT THE HEADS OF THE PIPES USED AS ADHESIVES SUCH AS PERMATEX NO. 2 OR APPROVED SUBSTITUTION. ASSURE NO ADHESIVE IS ON THE BROAD SIDE ATTACHED TO THE PIPE. ATTACH ALL THE TABLETS AT THE INSIDE OF THE MAIN, WITH APPROXIMATELY EQUAL NUMBERS OF TABLETS AT EACH END OF A GIVEN PIPE LENGTH. IF THE TABLES ARE ATTACHED BEFORE THE PIPE SECTION IN THE TRENCH, MARK THEIR POSITION ON THE SECTION SO IT CAN BE READILY DETERMINED THAT THE PIPE IS INSTALLED WITH THE TABLETS AT THE TOP.
      - TABLET QUANTITY: REFER TO TABLE 3.
    - ADJUST FOR PIPE LENGTH OTHER THAN 18 FEET.
      - BASED ON 3,295 AVAILABLE CHLORINE PER TABLET.
    - FLUSHING PROCEDURE: WHEN GRANULE OR TABLET INSTALLATION HAS BEEN COMPLETED, FILL THE MAIN WITH CLEAN WATER AT A VELOCITY NOT EXCEEDING 1 FPS. TAKE PRECAUTIONS TO ASSURE THAT AIR POCKETS ARE ELIMINATED. LEAVE THIS WATER IN THE PIPE FOR AT LEAST 24 HOURS. IF THE WATER TEMPERATURE IS LESS THAN 41°F, LEAVE THE WATER IN THE PIPE FOR AT LEAST 48 HOURS. POSITION VALVE SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED WILL NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE.
  - CONTINUOUS FEED METHOD.
    - SOLUTION STRENGTH: DOSE AT 25 MG/L FOR 4 HOURS.
    - RESIDUAL: 10 MG/L AT 24 HOURS.
    - DOING METHODS
      - LIQUID CHLORINE: SOLUTION FEED VACUUM OPERATED CHLORINATOR IN COMBINATION WITH A BOOSTER PUMP.
      - CALCIUM HYPOCHLORITE GRANULES: REFER TO PREVIOUS SECTION.
      - HYPOCHLORITE SOLUTION: CHEMICAL FEED PUMP DESIGNED FOR FEEDING CHLORINE SOLUTIONS.
      - CALCIUM HYPOCHLORITE GRANULES: REFER TO PREVIOUS SECTION.
    - FLUSHING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE THE CHLORINE CONCENTRATION AT REGULAR INTERVALS AND ENSURE A 25 MG/L DOSE. POSITION VALVES SO THAT THE CHLORINE SOLUTION IN THE MAIN BEING TREATED DOES NOT FLOW INTO WATER MAINS IN ACTIVE SERVICE. DO NOT STOP CHLORINE APPLICATION UNTIL THE ENTIRE MAIN IS FILLED WITH CHLORINATED WATER. RETAIN THE CHLORINATED WATER IN THE MAIN FOR AT LEAST 4 HOURS, OPERATING ALL VALVES AND HYDRANTS IN THE SECTION TREATED. AT THE END OF THE 24 HOUR PERIOD, VERIFY THE TREATED WATER IN ALL PORTIONS OF THE MAIN HAS RESIDUAL OF 10 MG/L FREE CHLORINE.
  - SLUG METHOD.
    - SOLUTION STRENGTH: 100 MG/L.
    - DOING METHODS: PER ENGINEER'S DIRECTION.
    - FLUSHING PROCEDURE: USE APPROVED SOURCE TO FLOW CLEAN WATER AT A CONSTANT, MEASURED RATE INTO THE NEWLY LAID WATER MAIN. FILL AT A POINT NOT MORE THAN 10 FEET DOWNSTREAM FROM THE BEGINNING OF THE NEW MAIN. MEASURE CONCENTRATION AT REGULAR INTERVALS TO ENSURE 100 MG/L DOSE APPLY THE CHLORINE CONTINUOUSLY AND FOR THE TIME REQUIRED TO DEVELOP A SOLID COLUMN OR 'SLUG' OF CHLORINATED WATER THAT WILL AS IT MOVES THROUGH THE MAIN, EXPOSE ALL INTERIOR SURFACES TO A 100 MG/L FOR AT LEAST 3 HOURS. MEASURE THE CHLORINE RESIDUAL IN THE SLUG AS IT MOVES THROUGH THE MAIN. IF AT ANY TIME IT DROPS BELOW 50 MG/L, STOP FLOW AND RELOCATE CHLORINATION EQUIPMENT AT THE HEAD OF THE SLUG, AND AS FLOW IS REQUIRED, ADD CHLORINE TO RESTORE THE FREE CHLORINE IN THE SLUG TO NOT LESS THAN 100 MG/L. AS THE CHLORINATED WATER FLOWS PAST FITTINGS AND VALVES, OPERATE VALVES AND HYDRANTS TO DISINFECT APPURTENANCES AND PIPE BRANCHES.
- C. FINAL FLUSHING:**
- AFTER THE RETENTION PERIOD, FLUSH THE CHLORINATED WATER FROM THE MAIN UNTIL CHLORINE MEASUREMENTS SHOW THAT THE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT IN THE SYSTEM, OR IS ACCEPTABLE FOR DOMESTIC USE.
  - DISPOSAL OF FLUSHING WATER TO BE DONE IN A MANNER SO THAT IT DOES NOT:
    - REACH SURFACE WATERS OR WATERS OF THE STATE
    - DAMAGE SURROUNDING PROPERTIES
    - TAKE PLACE DURING PERIODS WHEN THE AMBIENT TEMPERATURE IS ABOVE 85° WITHOUT PRIOR APPROVAL OF THE ENGINEER
  - IF WATER CAN NOT BE RETAINED ON SITE AND IF IT IS NOT ALLOWED TO ENTER THE SANITARY SEWER COLLECTION SYSTEM, WATER SHALL BE DECHLORINATED TO HAVE A MAXIMUM AVAILABLE CHLORINE CONCENTRATION OF 0.13 MG/L AND THE APPROPRIATE PRIVATE, FEDERAL AND STATE DISCHARGE AND DISPOSAL APPROVALS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF FLUSHING ACTIVITIES. SHOULD THERE BE A POTENTIAL FOR THE GROUNDWATER RULE TO BE VIOLATED AS A RESULT OF A CHLORINATED DISCHARGE THE ENGINEER SHALL COORDINATE DISPOSAL WITH REGIONAL DEED STAFF PRIOR TO FLUSHING.
- D. BACTERIOLOGICAL TESTS:**
- AFTER FINAL FLUSHING AND BEFORE THE WATER MAIN IS PLACED IN SERVICE, TEST SAMPLES COLLECTED FROM THE MAIN(S) FOR COLIFORM BACTERIA. TAKE 2 SAMPLES FROM EACH LOCATION AT LEAST 24 HOURS APART.
  - UNLESS OTHERWISE DIRECTED BY THE ENGINEER, COLLECT SAMPLES FROM EACH 1,200 FEET ON THE NEW MAIN AND ONE FROM EACH BRANCH.
- E. REDISINFECTION:**
- IF THE INITIAL DISINFECTION FAILS TO PRODUCE APPROVED BACTERIOLOGICAL SAMPLES, REFRESH AND RESAMPLE THE MAIN.
  - IF CHECK SAMPLES SHOW BACTERIAL CONTAMINATION, RE-CHLORINATE THE MAIN UNTIL APPROVED RESULTS ARE OBTAINED.
- F. SPRINKLING:**
- IF CONNECTIONS ARE NOT DISINFECTED ALONG WITH THE NEWLY INSTALLED MAIN, SWAB OR SPRAY THE INTERIOR OF ALL PIPES AND FITTINGS USED IN MAKING THE CONNECTIONS WITH A 1% HYPOCHLORITE SOLUTION BEFORE INSTALLATION.

TABLE 1  
REQUIRED FLOW AND OPENINGS TO FLUSH PIPELINES  
40 PSI RESIDUAL PRESSURE IN WATER MAIN (1)

Pipe Diameter (Inch)	Flow (GPM)	Size of Tap (Inch)		Hydrant Opening (Inch)
		(1)	(2)	
4	100	1	1	1
6	200	2	2	1
8	300	2	2	1
10	400	2	2	1
12	500	2	2	1
14	600	2	2	1
16	700	2	2	1
18	800	2	2	1
20	900	2	2	1
24	1200	2	2	1

TABLE 2  
OUNCES OF GRANULES

Pipe Diameter (Inch)	Amount (Ounces)
4	1.2
6	2.4
8	3.6
10	4.8
12	6.0
14	7.2
16	8.4
18	9.6
20	10.8
24	14.4

TABLE 3  
NUMBER OF TABLETS (1)

Pipe Diameter (Inch)	Number of Tablets (2)
4	1
6	2
8	3
10	4
12	5
14	6
16	7
18	8
20	9
24	12

TABLE 4  
WATER MAIN PRESSURE IN THE MAIN WITH THE HYDRANT FLOWING TO ATMOSPHERE, 2-1/2 INCH HYDRANT COLLAR WILL DISCHARGE APPROXIMATELY 1,000 GPM AND A 4-1/2 INCH HYDRANT WILL DISCHARGE APPROXIMATELY 250 GPM.

- WATER MAIN PRESSURE IN THE MAIN WITH THE HYDRANT FLOWING TO ATMOSPHERE, 2-1/2 INCH HYDRANT COLLAR WILL DISCHARGE APPROXIMATELY 1,000 GPM AND A 4-1/2 INCH HYDRANT WILL DISCHARGE APPROXIMATELY 250 GPM.
- NUMBER OF TAPS OR PIPE SIZES OR DISCHARGE THROUGH 15 FEET OF GALVANIZED IRON (GI) PIPE WITH ONE 6" ALLOW.

**HORIZONTAL SEPARATION REQUIREMENTS**

- NO SPECIAL REQUIREMENTS.
- NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES.
  - WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.
  - WATER AT LEAST 30 INCHES HIGHER IN ELEVATION THAN THE NPWL.
- WATER CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.
  - WATER CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.
- SITE SPECIFIC REQUIREMENTS APPROVED BY GEO.
- NOT ALLOWED WITHOUT GEO WAIVER.
- SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10" HORIZONTAL SEPARATION AND 10" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY GEO.



OPAL ENGINEERING, P.L.L.C.  
PO BOX 2430 HAILEY ID 83403  
PHONE 208.786.1100 FAX 208.786.1101  
WWW.OPAL-ENGINEERING.COM

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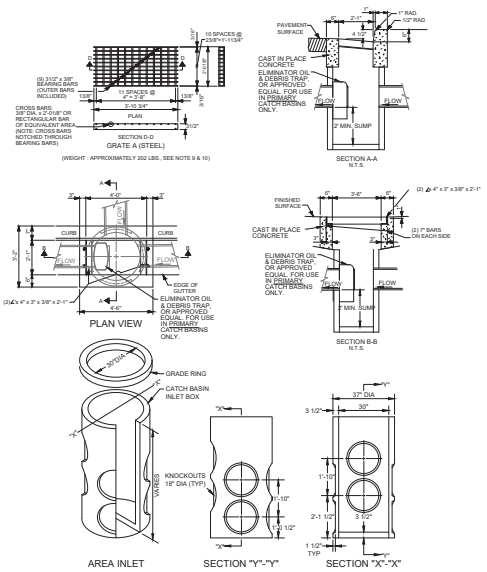
UTILITY NOTES & DETAILS SHEET  
THE INN AT ELLSWORTH ESTATE  
PREPARED FOR ARCHITECT COMMUNITY HOUSING TRUST, INC.

23018 PROJECT NUMBER

C2.01

RELEASE OF DRAWINGS: these drawings are prepared under the professional seal and signature of the engineer. It is the responsibility of the engineer to ensure that the drawings are accurate and complete. The engineer shall be held responsible for any errors or omissions in these drawings. The engineer shall be held responsible for any errors or omissions in these drawings. The engineer shall be held responsible for any errors or omissions in these drawings.

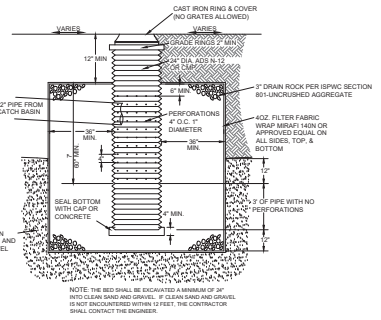




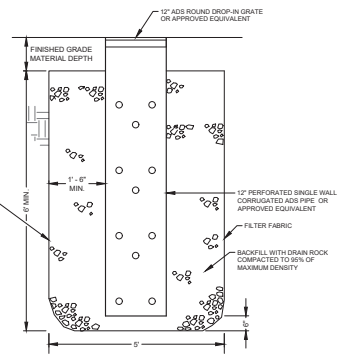
- CATCH BASIN INSTALLATION NOTES:**
1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
  2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
  3. A 1" SIDE DRAFT IS ALLOWED FOR FORM REMOVAL.
  4. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SURFACE AS SPECIFIED IN SPHC SECTION 26.1. PIPE BEDDING EXTEND BEYOND EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
  5. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL, COMPACTED LEVEL TO THE TOP OF THE BEDDING.
  6. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.
  7. STEEL ANGLES SHALL BE SET SO THAT EACH BEARING BAR OF PREFABRICATED GRATE SHALL HAVE FULL BEARING ON BOTH ENDS. THE FINISHED TOP OF CONCRETE SHALL BE EVEN WITH THE ANGLEGRATE SURFACE. THE STRUCTURAL STEEL NEED NOT BE PAINTED BUT SHALL MEET THE REQUIREMENTS OF ASTM A36.
  8. ALL METAL REINFORCEMENT USED SHALL BE NO. 4 BARS. THE METAL REINFORCEMENT SHALL BE SMOOTH CUT TO ACCOMMODATE PIPES.
  9. INLET/CATCH BASIN GRATES MAY EITHER BE RESISTANCE WELDED OR ARC WELDED. IN EITHER CASE, THE GRATE SHALL BE TRUE AND FLUSH.

**1**  
C2.02 **PUBLIC CATCH BASIN DETAIL (18.14.010.D.1)**  
N.T.S.

**2**  
C2.02 **CITY OF HAILEY DRYWELL DETAIL (18.14.010.D4)**  
N.T.S.



NOTE: THE BED SHALL BE EXCAVATED A MINIMUM OF 30" INTO CLEAN SAND AND GRAVEL. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE ENGINEER.



**3**  
C2.02 **LANDSCAPE DRYWELL**  
N.T.S.



OPAL ENGINEERING, PLLC  
PO BOX 2530 HAILEY, ID 83403  
PHONE: 208.734.1100 FAX: 208.734.1101

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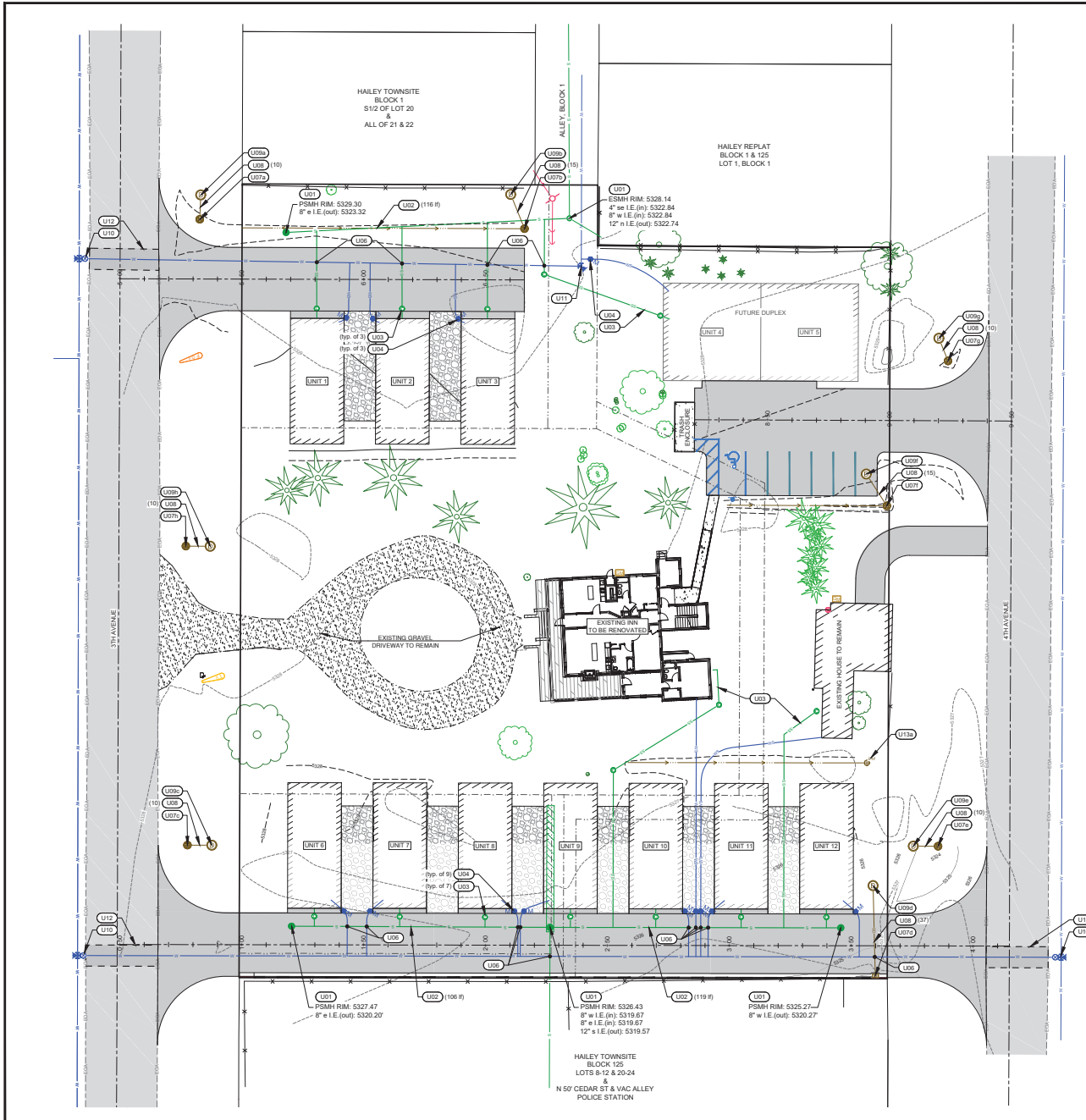
**STORM SYSTEM DETAILS SHEET**

THE INN AT ELLSWORTH ESTATE  
PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

23018  
PROJECT NUMBER

C2.02

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- UTILITY KEY NOTES**
- U001 INSTALL SEWER MANHOLE. REFER TO DETAIL 1 / C2.01.
  - U002 INSTALL 8" PVC SEWER MAIN. REFER TO DETAIL 1 / C2.00 FOR TRENCHING AND SURFACE REPAIR.
  - U003 INSTALL 4" PVC SEWER SERVICE AT 2.0% MINIMUM SLOPE WITH CLEANOUTS PER THE UNDER FLOORING CODE. CLEANOUTS SHALL BE TRAFFIC RATED PER SP-PWC STANDARD DRAWING 600A. REFER TO DETAIL 1 / C2.00 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 2 / C2.01 FOR SERVICE CONNECTION.
  - U004 INSTALL 1/4" WATER SERVICE. REFER TO DETAIL 1 / C2.00 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 4 / C2.00 FOR SERVICE CONNECTION, METER BOX, AND INSULATION REQUIREMENTS.
  - U005 INSTALL 8" PVC C-800 WATER MAIN. REFER TO DETAILS 1 OR 2 / C2.00 FOR TRENCHING AND SURFACE REPAIR.
  - U006 POTABLE / NON-POTABLE WATER LINE CROSSING. REFER TO DETAIL 3 / C2.01.
  - U007 INSTALL CATCH BASIN. REFER TO DETAIL 1 / C2.02:
    - a. RIM = 5328.45
    - b. I.E. (out) = 53 25.45
    - c. RIM = 5328.41
    - d. I.E. (out) = 5325.41
    - e. RIM = 5327.03
    - f. I.E. (out) = 5324.03
    - g. RIM = 5324.72
    - h. I.E. (out) = 5319.72
    - i. RIM = 5322.71
    - j. I.E. (out) = 5320.71
    - k. RIM = 5322.60
    - l. I.E. (out) = 5322.66
    - m. RIM = 5326.82
    - n. I.E. (out) = 5323.82
    - o. RIM = 5327.92
    - p. I.E. (out) = 5324.92
  - U008 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 3 / C2.01 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION AND DETAIL 9 / C2.00 FOR TRENCHING.
  - U009 INSTALL DRYWELL. REFER TO DETAIL 2 / C2.02:
    - a. RIM = 5329.39
    - b. I.E. (in) = 5325.25
    - c. RIM = 5329.09
    - d. I.E. (in) = 5325.11
    - e. RIM = 5327.11
    - f. I.E. (in) = 5323.83
    - g. RIM = 5325.98
    - h. I.E. (in) = 5319.98
    - i. RIM = 5325.38
    - j. I.E. (in) = 5320.51
    - k. RIM = 5327.12
    - l. I.E. (in) = 5322.96
    - m. RIM = 5327.84
    - n. I.E. (in) = 5323.62
    - o. RIM = 5328.10
    - p. I.E. (in) = 5324.30
  - U010 POINT OF WATER CONNECTION. COORDINATE PIP AND INSTALLATION OF TAPPING VALVE WITH CITY.
  - U011 INSTALL D.I. 90° BEND. REFER TO DETAIL 3 / C2.00 FOR THRUST PROTECTION.
  - U012 CONSTRUCTION ROADWAY REPAIR. REFER TO DETAIL 1 / C2.00.
  - U013 INSTALL LANDSCAPE DRYWELL. REFER TO DETAIL 3 / C2.02:
    - a. RIM = 5327.30

**GENERAL NOTES:**

- SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES AND LEGEND.
- SEE SURVEY BY GALENA-BENCHMARK ENGINEERING FOR SURVEY NOTES.



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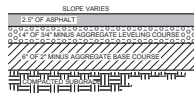
**SITE UTILITY PLAN**

**THE INN AT ELLSWORTH ESTATE**  
 PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

23018  
 PROJECT NUMBER

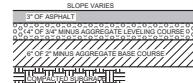
C2.10

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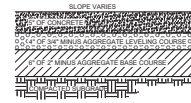
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

**1**  
C3.00 **TYPICAL PARKING LOT ASPHALT SECTION**  
N.T.S.



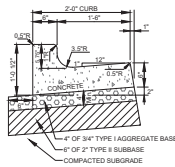
- NOTES:**
- SUBBASE CAN BE 2" TYPE I OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - CURBED STREET SECTION CONSTRUCTION SHALL CONFORM TO CITY OF HAILEY STANDARD DRAWING 18.14.012.F.1.

**2**  
C3.00 **TYPICAL ASPHALT SECTION**  
N.T.S.



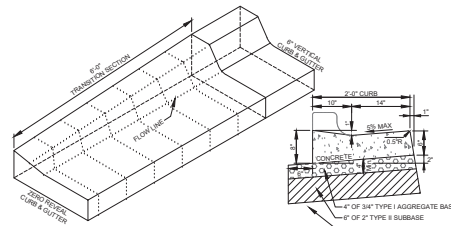
- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
  - 10" TRANSVERSE PERFORMED BITUMINOUS JOINTS AT THE TERMINAL POINTS FOR CURBS AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 3" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
  - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2" WIDE, 2" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PERFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
  - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 3" TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
  - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

**3**  
C3.00 **TYPICAL CONCRETE SECTION**  
N.T.S.



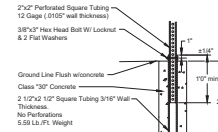
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 10-INCH PERFORMED EXPANSION JOINT MATERIAL (ASHTO M 213) AT TERMINAL POINTS OF RAIL.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10 FEET MAXIMUM SPACING (8 FEET WIDEWALK).
  - CURB AND GUTTER CONSTRUCTION SHALL CONFORM TO ISPWC DRAWING SD-701.

**4**  
C3.00 **6" CONCRETE VERTICAL CURB & GUTTER**  
N.T.S.



- NOTES:**
- SUBBASE CAN BE 2" TYPE I OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 10-INCH PERFORMED EXPANSION JOINT MATERIAL (ASHTO M 213) AT TERMINAL POINTS OF RAIL.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10 FEET MAXIMUM SPACING (8 FEET WIDEWALK).
  - CURB TRANSITION CONSTRUCTION SHALL CONFORM TO ISPWC DRAWING SD-701.

**5**  
C3.00 **TYPICAL CURB TRANSITION DETAIL**  
N.T.S.



**SIGN POST INSTALLATION DETAIL WITH ONE PIECE ANCHOR POST FOR USE IN CONCRETE SIDEWALKS**  
N.T.S.

- NOTES:**
- Anchor sleeves shall be installed so that the holes will align and the top be flush with the sign post anchor.
  - All installations shall have 8" square concrete foundations or grouted into solid rock.

**6**  
C3.00 **CITY OF HAILEY STREET SIGN DETAIL (18.14.014.D)**  
N.T.S.



**ROAD SIGN DETAIL**  
N.T.S.

- NOTES:**
- All Street Signs shall be in accordance with the most current edition of the MUTCD.
  - Sign placement shall be approved by the City of Hailey.



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**PRELIMINARY NOT FOR CONSTRUCTION**

**DETAILS SHEET**

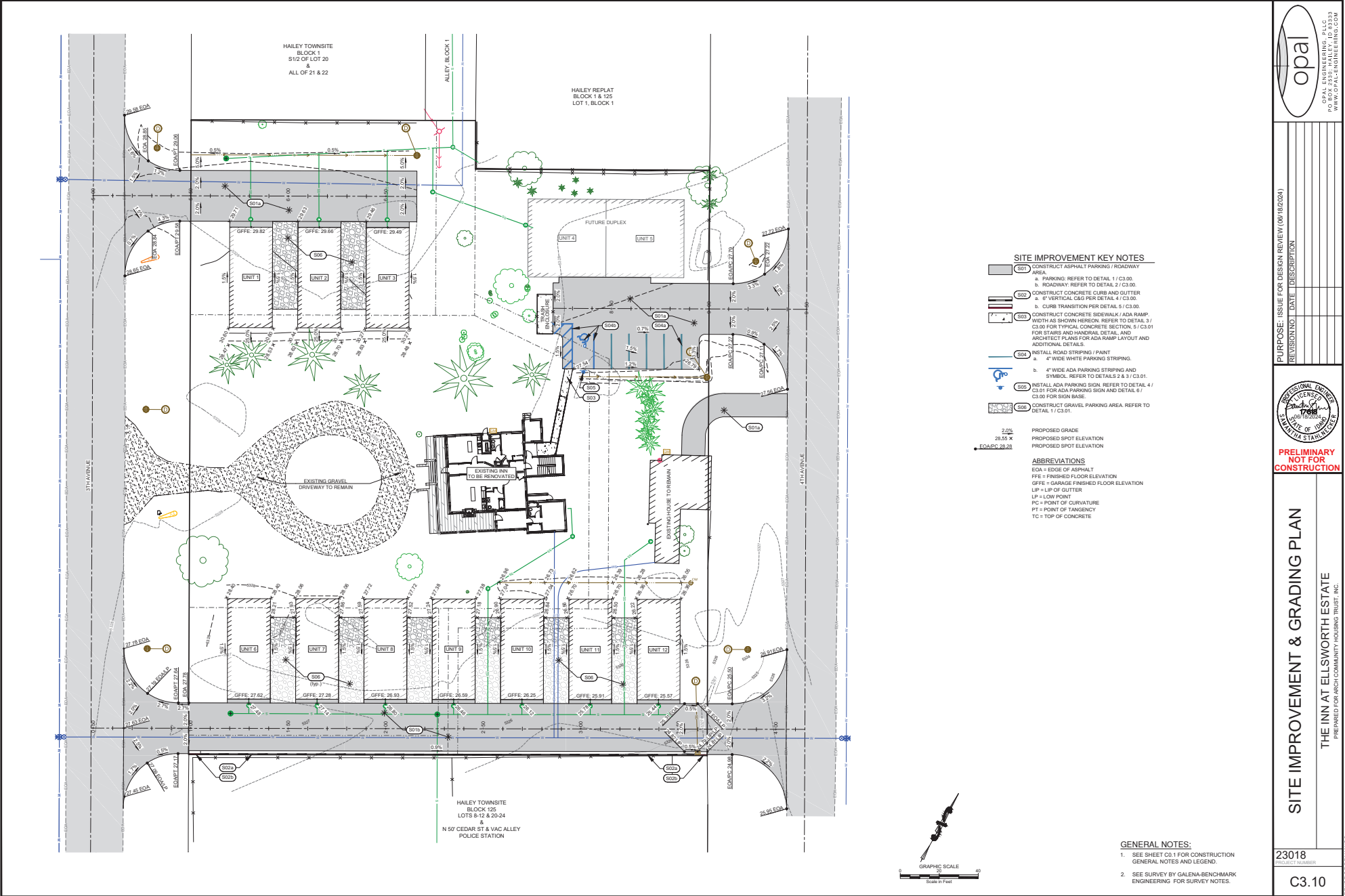
**THE INN AT ELLSWORTH ESTATE**  
PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

23018  
PROJECT NUMBER

C3.00

RELEASE OF DRAWINGS: these drawings, or any portion thereof, shall not be used in any project or otherwise without the express written consent of Opal Engineering, PLLC.





- ### SITE IMPROVEMENT KEY NOTES
- SP1** CONSTRUCT ASPHALT PARKING / ROADWAY AREA
    - a. PARKING: REFER TO DETAIL 1 / C3.00.
    - b. ROADWAY: REFER TO DETAIL 2 / C3.00.
  - SP2** CONSTRUCT CONCRETE CURB AND GUTTER
    - a. 6" VERTICAL CMG PER DETAIL 4 / C3.00.
    - b. CURB TRANSITION PER DETAIL 5 / C3.00.
  - SP3** CONSTRUCT CONCRETE SIDEWALK / ADA RAMP. WIDTH AS SHOWN HEREON. REFER TO DETAIL 3 / C3.00 FOR TYPICAL CONCRETE SECTION, 5 / C3.01 FOR STAIRS AND HANDRAIL DETAIL, AND ARCHITECT PLANS FOR ADA RAMP LAYOUT AND ADDITIONAL DETAILS.
  - SP4** INSTALL ROAD STRIPING / PAINT
    - a. 4" WIDE WHITE PARKING STRIPING.
    - b. 4" WIDE ADA PARKING STRIPING AND SYMBOL. REFER TO DETAILS 2 & 3 / C3.01.
  - SP5** INSTALL ADA PARKING SIGN. REFER TO DETAIL 4 / C3.01 FOR ADA PARKING SIGN AND DETAIL 4 / C3.00 FOR SIGN BASE.
  - SP6** CONSTRUCT GRAVEL PARKING AREA. REFER TO DETAIL 1 / C3.01.
- 2.20'** PROPOSED GRADE  
**28.55'** PROPOSED SPOT ELEVATION  
**EGAPC 28.29** PROPOSED SPOT ELEVATION

- ### ABBREVIATIONS
- EA = EDGE OF ASPHALT
  - FFE = FINISHED FLOOR ELEVATION
  - GFE = GARAGE FINISHED FLOOR ELEVATION
  - LP = LIP OF GUTTER
  - LP = LOW POINT
  - PC = POINT OF CURVATURE
  - PT = POINT OF TANGENCY
  - TC = TOP OF CONCRETE

- ### GENERAL NOTES:
1. SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES AND LEGEND.
  2. SEE SURVEY BY GALENA-BENCHMARK ENGINEERING FOR SURVEY NOTES.



PURPOSE: ISSUE FOR DESIGN REVIEW (06/19/2024)

REVISION NO.	DATE	DESCRIPTION



**PRELIMINARY NOT FOR CONSTRUCTION**

# SITE IMPROVEMENT & GRADING PLAN

THE INN AT ELLSWORTH ESTATE  
 PREPARED FOR ARCH COMMUNITY HOUSING TRUST, INC.

23018  
 PROJECT NUMBER

C3.10

RELEASE OF DRAWINGS: These drawings, or any part thereof, shall not be used in any project or otherwise without the prior express approval of Galena-Benchmark Engineering, P.L.C.

**Return to Agenda**



**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of July 15, 2024**

**To:** Hailey Planning and Zoning Commission  
**From:** Ashley Dyer, Community Development Planner

**Overview:** Consideration of a Tiny Home on Wheels (THOW) Application by Deann and Brady Campbell, represented by Sage Sauerbrey, for the construction of a new 272 square foot Tiny Home on Wheels project located at 810 Buckskin Drive (Lot 16, Block 7, Deerfield Subdivision #1) within the Limited Residential (LR-1) Zoning District.

**Hearing:** July 15, 2024

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**Applicant:** Deann and Brady Campbell, represented by Sage Sauerbrey  
**Location:** Lot 16, Block 7, Deerfield Subdivision #1- 810 Buckskin Drive  
**Zoning/Size:** Limited Residential (LR-1); (13,436 sq. ft.)

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on June 26, 2024. No other notices were published, or mailings sent.


**Application:** The Applicant is proposing the construction and placement of a new 272 square foot Tiny Home on Wheels project located at 810 Buckskin Drive (Lot 16, Block 7, Deerfield Subdivision #1) within the Limited Residential (LR-1) Zoning District.

The Owners, Deann and Brady Campbell, are proposing to place the THOW onsite as an accessory use to the existing single-family residence. The owner intends to live in the primary residence and rent the THOW, or vice versa, but only one (1) will be the primary residence, and the other utilized as a long-term rental. Vehicular access for the proposed THOW will be located off of the existing driveway, which is off Buckskin Drive.


**Background:** The Tiny Home on Wheels Application was submitted on April 12, 2024, and certified complete on May 8, 2024. The public comment period was open from May 16, 2024, to May 31, 2024. During this time, there was a significant number of public comments received and have been attached hereto. THOW Applications are typically reviewed administratively, approved by the Community Development Director, per Hailey's Municipal Code; however, due to the volume of comments from concerned neighbors, Staff felt it most appropriate to bring this Application forward for review and approval by the Planning and Zoning Commission.

**Procedural History:** The Design Review Application was submitted on May 20, 2024, and certified complete on May 31, 2024. A public hearing before the Planning and Zoning Commission is scheduled for July 1, 2024, in the Hailey City Council Chambers and virtually via GoTo Meeting.



<b>General Requirements for Accessory Dwelling Units and Tiny Homes on Wheels</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.020</b>	<b>Applicability.</b> A. The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building; and to all tiny homes on wheels established after March 13, 2023.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.04D.030</b>	<b>General Provisions.</b> A. Accessory Dwelling Units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached Accessory Dwelling Units may comprise the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising of the remaining floor area.
			<b>Staff Comments</b>	<p>The proposed THOW is detached and located along the eastern side of the existing single-family residence. The THOW will be positioned to meet all setbacks, as shown in the attached site plan. The THOW is 272 square feet in size and is proposed to be accessed via the existing driveway, located off of Buckskin Drive.</p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. Only one (1) Accessory Dwelling Unit or one (1) tiny home on wheels is permitted on a lot, as an accessory to a single-family dwelling unit.
			<b>Staff Comments</b>	<p>Only one (1) THOW is proposed onsite and is accessory to the single-family residence.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		C. Accessory Dwelling Units and tiny homes on wheels are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transition and SCI zones, Accessory Dwelling Units are permitted in conjunction with commercial buildings. In Business, Limited Business and Neighborhood Business, one or more residential unit(s) are considered.
			<b>Staff Comments</b>	<p>The proposed THOW will be positioned onsite and will be accessory to the existing single-family residence. Both are located within the Limited Residential (LR-1) Zone District.</p>



				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p><b>D. Accessory Dwelling Units and tiny homes on wheels in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in Section 17.04J.020, "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.</b></p>
			<b>Staff Comments</b>	<i>N/A, as no portion of the THOW is located in the Special Flood Hazard area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>E. Tiny homes on wheels are subject to the same standards as accessory dwelling units, including design review standards, except where specifically noted herein.</b></p>
			<b>Staff Comments</b>	<p><i>All standards noted herein are pertinent to ADUs or THOWs. Please reference the standards noted herein for compliance.</i></p> <p><i>Additionally, the THOW – like all residential dwelling unit types – is subject to Hailey Municipal Code Section 17.08C.040: Outdoor Lighting Standards, which sets forth certain provisions for outdoor lighting design, location, and impact to adjacent properties. Staff request that only low wattage exterior lighting is installed. Low illumination levels are also required. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>F. If tiny homes on wheels (THOW) are removed from Hailey’s Municipal Code as an allowable use, no THOW structure shall be considered legally non-conforming.</b></p>
			<b>Staff Comments</b>	<i>The Applicant has been notified of this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.040: Registration</b>	<p><b>Registration Required.</b></p> <p><b>A. All Accessory Dwelling Units created after February 10, 2021, and all tiny homes on wheels established after March 13, 2023 shall be issued a compliance certificate as a prerequisite for a certificate of occupancy.</b></p>
			<b>Staff Comments</b>	<i>Upon completion of construction for and placement of the proposed THOW, a Compliance Certificate will be issued.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>B. Tiny homes on wheels shall be registered or permitted annually with the Idaho Transportation Department Division of Motor Vehicles.</b></p>
			<b>Staff Comments</b>	<i>The Applicant will register the Tiny Home with the Idaho Department of Motor Vehicles. A copy of the Vehicle Registration will be submitted to the Community Development Department prior to the issuance of a Compliance Certificate. This has been made a Condition of Approval.</i>

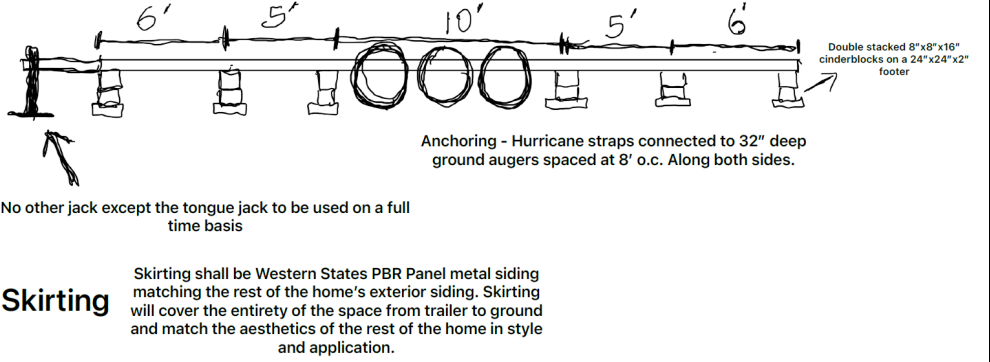

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.08D.050: Occupancy Restrictions -Short Term Occupancy</b>	<p><b>Occupancy Restrictions.</b></p> <p><b>A. Accessory Dwelling Units.</b></p> <ol style="list-style-type: none"> <li>1. Where a lot contains both a primary dwelling unit and an Accessory Dwelling Unit, only one dwelling unit shall be utilized for Short-Term Occupancy.</li> <li>2. When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.</li> </ol>												
			<b>Staff Comments</b>	<i>N/A, as these standards are pertinent to ADUs only.</i>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>B. Tiny Homes on Wheels (THOW).</b></p> <ol style="list-style-type: none"> <li>1. THOWs are restricted for long-term use (thirty-one (31) days or longer) only.</li> </ol>												
			<b>Staff Comments</b>	<i>At this time, the Owner intends to utilize the THOW as a rental property. The Owner further intends to utilize the single-family home as their primary residence, or vice versa, but only one (1) will be the primary residence. This standard shall continue to be met and has been made a Condition of Approval.</i>												
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.08D.060: Subordinate Scale and Size</b>	<p><b>Subordinate Scale and Size.</b></p> <p><b>A. Accessory Dwelling Units:</b></p> <ol style="list-style-type: none"> <li>1. Scale: The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.</li> <li>2. Maximum Floor Area:</li> </ol> <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th style="padding: 5px;">Lot Size (square feet)</th> <th style="padding: 5px;">Minimum Gross Floor Area (square feet)<sup>1</sup></th> <th style="padding: 5px;">Maximum Gross Floor Area (square feet)<sup>1</sup></th> </tr> </thead> <tbody> <tr> <td style="padding: 5px;">Up to 7,000</td> <td style="padding: 5px;">300</td> <td style="padding: 5px;">900</td> </tr> <tr> <td style="padding: 5px;">7,001 – 8,000</td> <td style="padding: 5px;">300</td> <td style="padding: 5px;">950</td> </tr> <tr> <td style="padding: 5px;">Lots 8,001 and greater</td> <td style="padding: 5px;">300</td> <td style="padding: 5px;">1,000</td> </tr> </tbody> </table> <p style="text-align: center; font-size: small;">Gross square footage calculations for Accessory Dwelling Units does not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.</p> <ol style="list-style-type: none"> <li>3. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.</li> </ol>	Lot Size (square feet)	Minimum Gross Floor Area (square feet) <sup>1</sup>	Maximum Gross Floor Area (square feet) <sup>1</sup>	Up to 7,000	300	900	7,001 – 8,000	300	950	Lots 8,001 and greater	300	1,000
Lot Size (square feet)	Minimum Gross Floor Area (square feet) <sup>1</sup>	Maximum Gross Floor Area (square feet) <sup>1</sup>														
Up to 7,000	300	900														
7,001 – 8,000	300	950														
Lots 8,001 and greater	300	1,000														
			<b>Staff Comments</b>	<i>N/A, as these standards are pertinent to ADUs only.</i>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>B. Tiny Homes on Wheels (THOWs):</b></p> <ol style="list-style-type: none"> <li>1. The footprint of tiny homes on wheels shall be limited between one hundred (100) to four hundred (400) square feet in size.</li> </ol>												
			<b>Staff Comments</b>	<i>The proposed THOW is 272 square feet in size, which complies with the required size range for THOWs.</i>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.070: Livability</b>	<p><b>A. Outdoor Access: All Accessory Dwelling Units and Tiny Homes on Wheels shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineated by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. The Outdoor Access area shall be approved through the Design Review process.</b></p>												
			<b>Staff Comments</b>	<i>The Owner is proposing approximately 200 square feet of outdoor space for utilization by the tenant of the THOW (see area in image below for further details).</i>												



**Chapter 17.08D.080: Tiny Homes on Wheels**

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08D.080 A</b></p>	<p><b>A. Building Standards:</b></p> <ol style="list-style-type: none"> <li>1. All tiny homes on wheels shall meet the NOAH+ Standards, in addition to and except where they are superseded by the requirements for Hailey's climatic conditions, listed herein.  <b>Additional Requirements for Hailey's Climactic Conditions:</b></li> <li>2. Insulation:             <ol style="list-style-type: none"> <li>a. Minimum Insulation R-Values:</li> <li>b. Walls: R-19</li> <li>c. Floors: R-20</li> <li>d. Roof/ceiling: R-28</li> </ol> </li> <li>3. Vapor retarders shall be in accordance with the International Residential Code (IRC).</li> <li>4. Windows and doors shall have a maximum 0.30 U-factor.</li> <li>5. Roof snow loads shall meet the site-specific requirements set forth in <a href="#">Chapter 15.08: Building Code, Section 15.08.020: Amendment of Codes.</a></li> </ol>
			<p><b>Staff Comments</b></p>	<p><i>The proposed THOW complies with the standards noted above. Specifically,</i></p> <ol style="list-style-type: none"> <li>1. <i>The THOW complies with the NOAH+ Standards, as exhibited by a Certificate of Compliance provided by the Owner/Builder prior to issuance of a Certificate of Occupancy.</i></li> <li>2. <i>Insulation:</i> <ol style="list-style-type: none"> <li>a) <i>Minimum Insulation R-Values:</i></li> <li>b) <i>Walls: R-21</i></li> <li>c) <i>Floors: R-28</i></li> <li>d) <i>Roof/ceiling: R-41</i></li> </ol> </li> <li>3. <i>A 3" complete spray foam envelope in the walls and ceiling and taped rigid foam vapor retarder below the subfloor meet this requirement.</i></li> <li>4. <i>All windows and sliding glass door have a U-factor less than .30</i></li> <li>5. <i>Roof snow loads exceed the site-specific requirements for Hailey (100 lbs./sf); THOW rated at 125 lbs./sf.</i></li> </ol>

				<i>The above requirements have been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.080 B</b>	<b>B. Inspections:</b> 1. Inspection of the THOW building requirements or standards- including the NOAH+ Standards <sup>ii</sup> and the requirements for Hailey's climatic conditions- shall be completed and approved by the National Organization of Alternative Housing (NOAH) or another inspection agency that is approved by the Administrator. 2. A certificate of approval from the inspector shall be submitted to the Community Development Department for further review, approval, and issuance of the Compliance Certificate.
			<b>Staff Comments</b>	<i>The Applicant will provide a Certificate of Compliance from NOAH, prior to issuance of a Compliance Certificate relating to the NOAH+ Standards, applicable to the purchased THOW. City Staff will complete a final inspection to verify that all skirting/anchoring requirements have been met, after the THOW has been delivered to the site. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.080 C.1.</b>	1. Establishing the THOW: a. Location/Placement: i. The THOW shall meet the setbacks for the Zoning Districts in which it is located. ii. The THOW shall adhere to the minimum separation distances for buildings, as articulated in Table R302.1(1) of the International Residential Code <sup>i</sup> .
			<b>Staff Comments</b>	<i>The proposed THOW complies with the standards noted above. Specifically, the THOW is located within the Limited Residential (LR-1) Zoning District. The setbacks for the LR-1 District are as follows:</i>  e) <b>Required:</b> Front yard: 25'; Side yards (normal corner lot): 10'; Rear yard: 10'; Between dwellings and accessory structures, with non-fire resistance-rated walls: 5' f) <b>Proposed:</b> Front yard: +15'), Between the Home and the proposed THOW: 10', Rear & side yard: approx. 15'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.080 C.2.</b>	2. Blocking and Anchoring: a. The tiny homes on wheels chassis shall be maintained level, supported by blocks at a minimum of eight (8) points, one (1) per corner and two (2) per wheel well, and anchored to the ground. b. Only a tongue jack shall be used on a full-time basis. No other jacks shall be used on a long-term (thirty-one (31) days or more) basis.
			<b>Staff Comments</b>	<i>The proposed THOW complies with the standards noted above. Specifically,</i> a. <i>The THOW will be maintained level and will be supported by a minimum of six (6) blocks, including one (1) per corner and two (2) surrounding the wheels, according to design and engineering specifications provided by Big Wood Tiny Homes.</i> b. <i>The Applicant is aware of tongue jack requirements and will maintain such on a full-time basis.</i>

				<p style="text-align: center;"><b>Blocking and Anchoring Plan</b></p>  <p style="text-align: center;">Anchoring - Hurricane straps connected to 32" deep ground augers spaced at 8' o.c. Along both sides.</p> <p>No other jack except the tongue jack to be used on a full time basis</p> <p><b>Skirting</b>          Skirting shall be Western States PBR Panel metal siding matching the rest of the home's exterior siding. Skirting will cover the entirety of the space from trailer to ground and match the aesthetics of the rest of the home in style and application.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08D.080 C.3.</b></p>	<p><b>3. Exterior Attachments:</b></p> <ul style="list-style-type: none"> <li>a. Exterior attachments such as porches, decks, lean-tos, or sheds are permitted; however, they must be affixed in a manner that is freestanding or removable and allows for towing where appropriate.</li> <li>b. Porches and decks shall be lower than eighteen inches (18") unless located in any flood hazard plain.</li> <li>c. Detached or attached accessory structures (e.g., sheds) shall comply with the regulations outlined in <a href="#">Chapter 17.07</a> of Hailey's Municipal Code.</li> </ul>
			<p><b>Staff Comments</b></p>	<p><i>The Applicant plans to include a freestanding deck that will be built in three sections that can easily be removed from the property. Hailey's Municipal Code allows a detached accessory structure of less than 120 sf. to be set back minimum of 3' from the side property line. All setback requirements for the deck will and have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08D.080 C.4.</b></p>	<p><b>4. Skirting:</b></p> <ul style="list-style-type: none"> <li>a. Skirting is required and shall be installed to enclose all open space between the THOW and the ground.</li> <li>b. The skirting shall screen the wheels and aesthetically complement, or continue the THOW siding, as approved through Administrative Design Review.</li> </ul>
			<p><b>Staff Comments</b></p>	<p><i>The Applicant intends to install skirting that will enclose all open space between the THOW and the ground. This skirting will also screen the wheels and be a continuation of the same siding material and design that covers the rest of the THOW (see skirting attachment). This has been made a Condition of Approval.</i></p> 

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.080 C.5.</b>	<p><b>5. Municipal Service and Utility Connections:</b></p> <p>a. All municipal and utility connections are subject to City standards, inspections, and policies.</p> <p>b. Water And Wastewater:</p> <p style="padding-left: 40px;">i. Tiny homes on wheels shall connect to municipal water and wastewater systems through the connection serving the primary residence, or via an additional, separate connection to the water or wastewater main lines.</p> <p>c. Water connections serving THOW shall remain separate from all secondary connections (e.g., irrigation lines).</p> <p>d. Insulating THOW water and wastewater connections, to prevent freezing, is the sole responsibility of the THOW owner. (Ord. 1320, 2023)</p>
			<b>Staff Comments</b>	<p><i>The new THOW will connect to municipal services, which will be made off the existing single-family residence and will be inspected by the City Water and Wastewater Departments for compliance.</i></p> <p><i>Specifically, water service will be from a ¾" line, which will come from the existing residence to the new THOW. As far as sewer connections go, a new service from the existing sewer line will be made to service the THOW. A new main connection is prohibited. Additionally, Water and Wastewater standards shall be met, and verification of compliance shall be submitted to the City prior to issuance of a Certificate of Occupancy.</i></p> <p><i>As far as utilities are concerned, the electrical service will be provided by the primary dwelling's electrical panel. The circuit will be rated at 60amps, and all electrical work will be performed by a licensed electrician. Furthermore, an Electrical Permit will be filed with the Idaho Division of Occupational and Professional Licensing (IDOPL). Electrical connections will be inspected by IDOPL and issued a Final Inspection once compliant and complete. Upon receipt of this Final Inspection, the Applicant shall submit the approved permit to the City for verification purposes. These have been made Conditions of Approval.</i></p>
<b>Chapter 17.09: Parking and Loading</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.040.01</b>	<p><b>Accessory Dwelling Units and all dwelling units less than 1,000 square feet require one (1) parking space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.</b></p>
			<b>Staff Comments</b>	<p><i>In the Limited Residential District, the minimum requirement for an Accessory ADU/THOW unit is one (1) space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of two (2) parking spaces for both dwellings. Parking for all dwelling units must be provided onsite.</i></p> <p><i>One (1) parking space is proposed for the THOW within the existing driveway, adjacent to the single-family residence. The existing driveway is large enough and intended to service the proposed THOW, as well as the existing single-family residence.</i></p> <p><i>The Applicant is proposing a 3'-wide gravel access path located off Eastridge Drive and through the City ROW to the property, which is not recommended by the Hailey Streets Division; however, Public Works Staff will review any and all encroachment activity through, over, and within the City ROW via an Encroachment Application. It is encouraged that the pathway be removed, and all site circulation be kept to the existing driveway only.</i></p>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing, and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

**Conditions of Approval.** The following Conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law, and Decision.
- d) The lot contains a primary dwelling and a Tiny Home on Wheels. The THOW, pursuant Hailey's Municipal Code, shall be owner-occupied, or utilized for a long-term rental (31 days or longer) only.

- e) The Applicant shall apply for a Water and Wastewater Permit, and shall receive Water and Wastewater connection approval, of which approvals shall be documented in writing, by the City prior to issuance of a Certificate of Occupancy.
- f) The Applicant shall receive electrical and/or utility connection approval, of which approvals shall be documented in writing, by the Idaho Department of Occupational and Professional Licensing prior to issuance of a Certificate of Occupancy.
- g) The Applicant shall install low wattage exterior lighting and keep the illumination levels low when in use.
- h) The Applicant shall submit the Certificate of Compliance for NOAH+ Standards once the THOW is complete and the final inspection passed.
- i) The Applicant shall submit the required Vehicle Registration information prior to issuance of a Certificate of Compliance.
- j) The THOW shall comply with the Blocking and Anchoring requirements, as noted herein, which will be inspected by Staff prior to issuance of a Certificate of Occupancy/Compliance/Completion.
- k) Skirting shall be installed according to City Standards, screening the wheels from the view of the public street.
- l) No parking within the City right-of-way is allowed in this area. All parking for the THOW and single-family residence shall be onsite and accessed via Buckskin Drive.
- m) Unless approved for via an Encroachment Permit, all pedestrian and vehicular access points shall remain off the existing driveway from Buckskin Drive.
- n) Due to high traffic volumes and sight distances, all proposed landscaping shall remain onsite and out of the City right-of-way.
- o) The Applicant shall comply with the minimum setback requirements to a fire hydrant along Eastridge Drive (three (3) feet behind the fire hydrant and 15 feet on the sides and in the front of the hydrant – see City Standard Drawing 18.14.010.B.1).

**Motion Language:**

**Approval:** Motion to approve the Design Review Application for a Tiny Homes on Wheels (THOW) by Deann and Brady Campbell for a new Tiny Home on Wheels (THOW), to be located onsite at 810 Buckskin Drive (Lot 16, Block 7, Deerfield Subdivision #1) within the Limited Residential (LR-1) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 17 and Title 18, and City Standards, provided conditions (a) through (o) will be met.

**Denial:** Motion to approve the Design Review Application for a Tiny Homes on Wheels (THOW) by Deann and Brady Campbell for a new Tiny Home on Wheels (THOW), to be located at 810 Buckskin Drive (Lot 16, Block 7, Deerfield Subdivision #1) within the Limited Residential (LR-1) Zoning District, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [Commission should specify a date].



BRISTLECONE,  
SKIPJACK LAUREL,  
DOGWOOD

COMPACT AMUR MAPLE

COMPACT AMUR MAPLE

SIDE SETBACK 15'

EASTRIDGE DR.

DECOMPOSED  
GRANITE  
PATHWAY

8'-0"  
GRAVEL

GRAVEL

EXISTING  
EVERGREEN  
TREES, TYP.

NATIVE GRASSES  
FLAGSTONE PAVERS

EXISTING ASPHALT

DECK  
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RAILING

LOWER DECK

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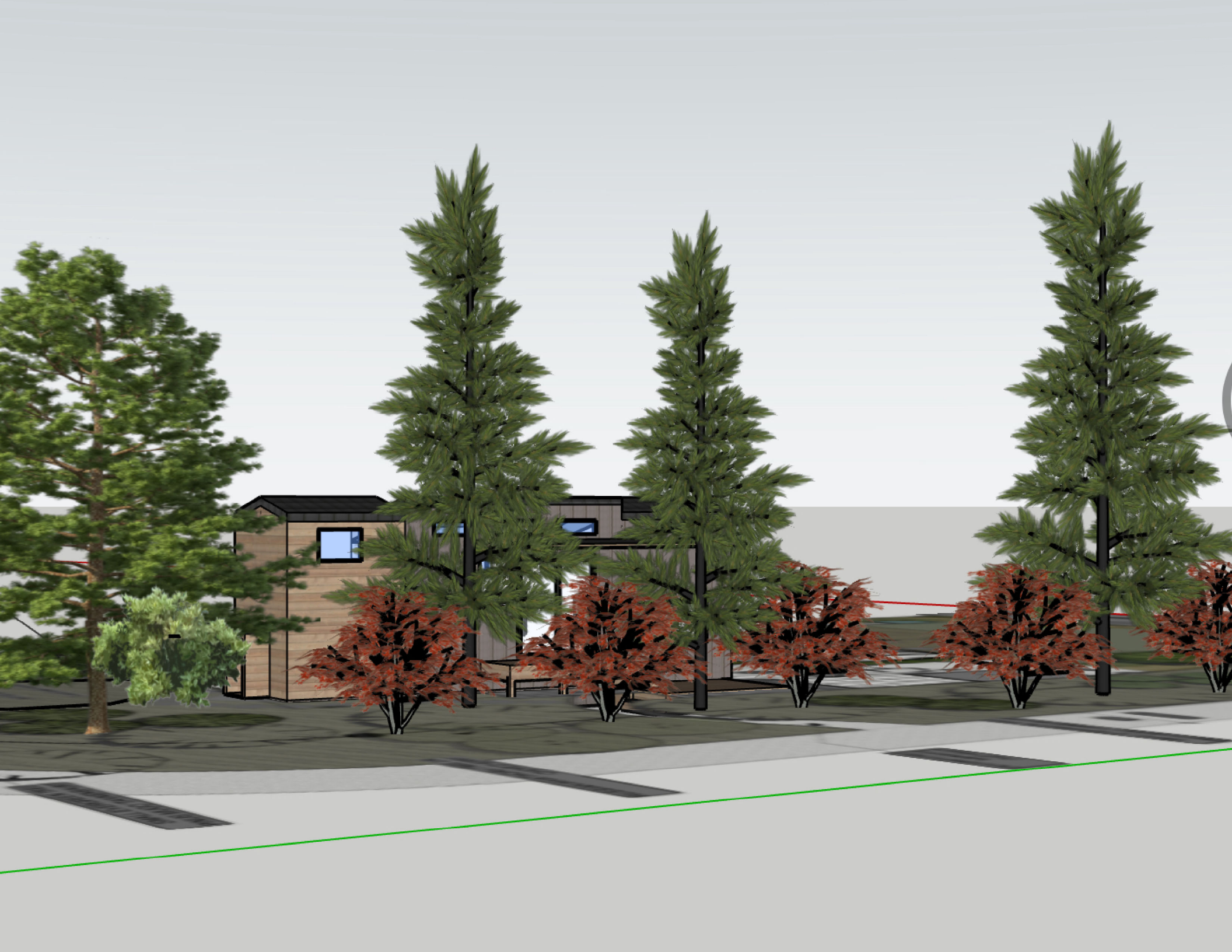
Snow Storage

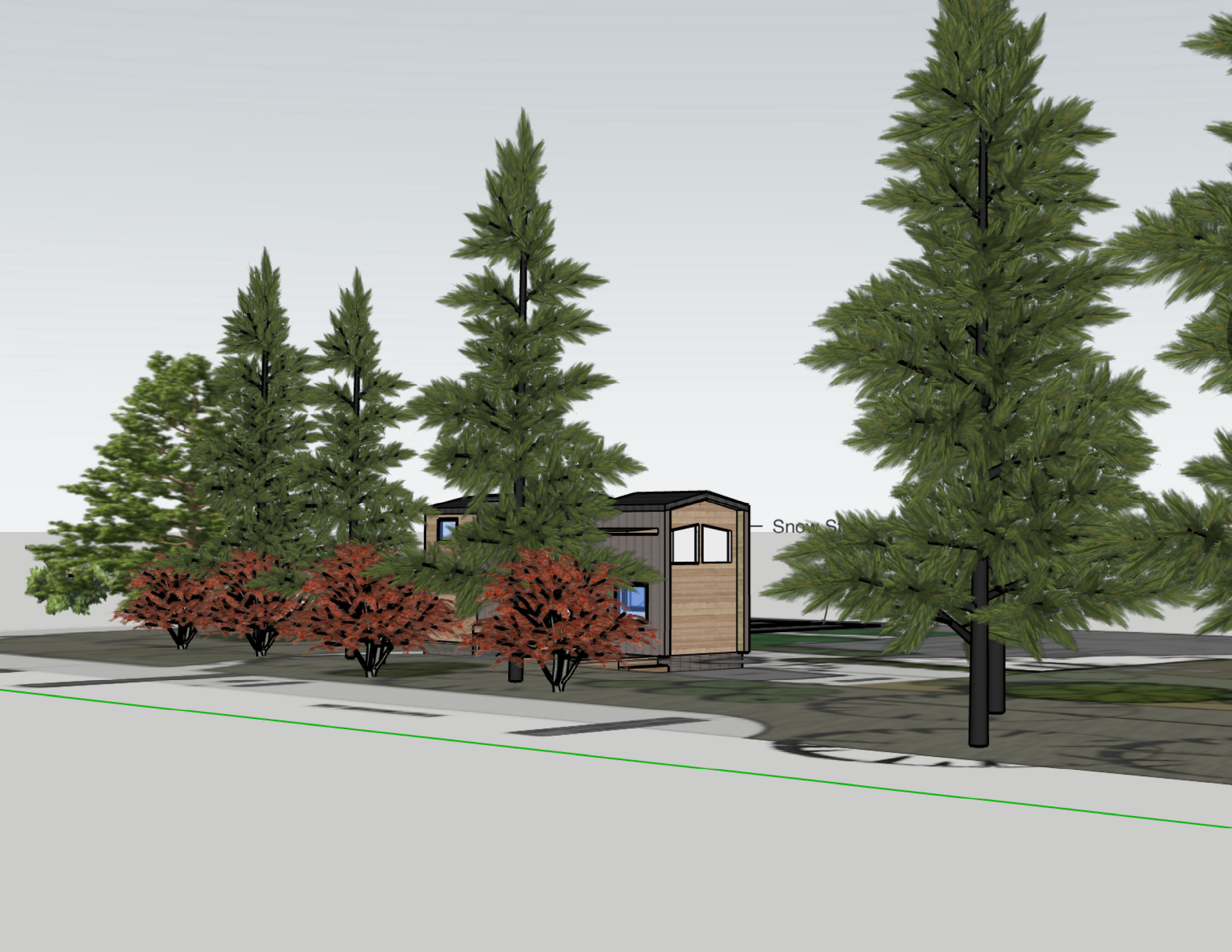
ADU Parking

FRONT SETBACK 15'

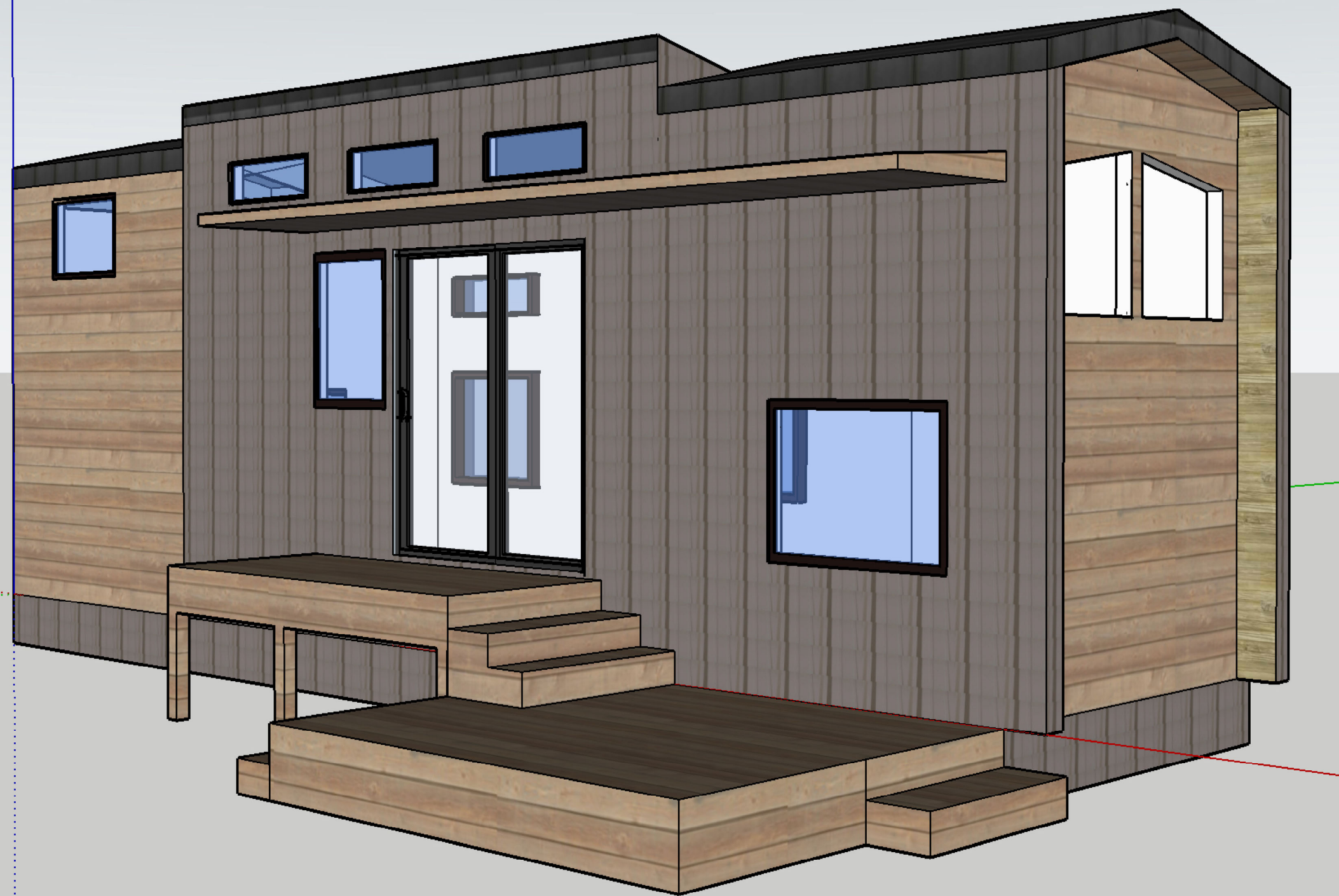
CAMPBELL RESIDENCE  
810 BUCKSKIN DR, HAILEY ID  
SCHEMATIC DESIGN- NOT FOR CONSTRUCTION

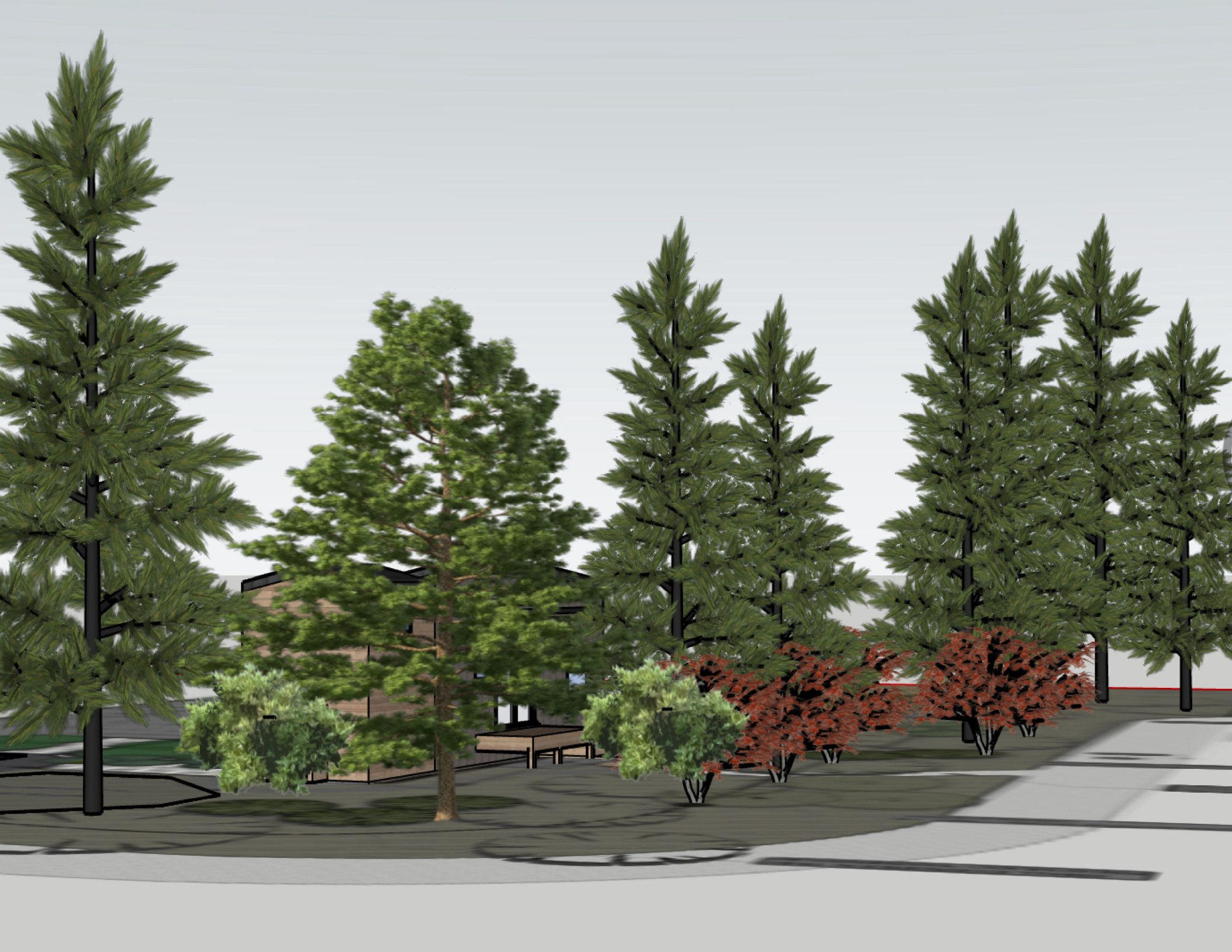






Snow St





July 2, 2024

Dear Hailey Planning & Zoning Commissioners,

Thank you for the notification about the Tiny Home on Wheels (THOW) application at 810 Buckskin Drive. I live at 440 Eastridge Drive, south of the home in question. I own Sun Country Management in Ketchum and manage a dozen Associations which includes five Design Review Committees for large subdivisions within the Wood River Valley. I understand the nuances of the design review process and the challenges of considering neighbor input in the process.

I appreciate that the City of Hailey Planning Department has updated and modified standards for Accessory Dwelling Units (ADUs) and THOWs over the past few years in response to the housing crisis our community is facing. I know many ADUs often come through the design review process as part of new construction or as an addition to a current home (such over an existing garage). In reviewing documents online, it appears the THOWs standards and process was updated last year and is consistent with the ADU process. This ensures that it “protects adjacent property owners and doesn’t change the whole feel of neighborhoods, doesn’t create trailer parks or create public safety issues” as quoted by Councilman Sam Linnet in the Idaho Mountain Express (2/24/23). This is particularly important because the home values in Deerfield, where Buckskin Drive is located, are nearing \$1 million for an average single family home. The City has the responsibility to protect those home values just as there is a responsibility to help with local housing crisis.

In reviewing the City of Hailey standards for THOWs, this application appears to be largely compliant. However, I would like to call out language in two different sections of the City code regarding Accessory Dwelling Units and Tiny Homes on Wheels:

*17.08D.010 PURPOSE AND INTENT: The City of Hailey recognizes that land use, population growth, and community character are interrelated, and that social well-being and diversity are tied to the availability of an array of housing types and sizes available for sale and for rent at various price points. Accessory dwelling units and tiny homes, when thoughtfully designed, can simultaneously complement the fabric of existing neighborhoods, increase the supply of available housing, and sustainably accommodate population growth.*

*17.08D.030: GENERAL PROVISIONS: C. Accessory dwelling units and tiny homes on wheels are only permitted **in conjunction** with single-family residences in residential zones.*

The intent of these provisions is that the ADU or THOW is thoughtfully designed so it blends with the existing residence. The proposal on Buckskin Drive does not meet these criteria. The appearance is not consistent with the existing residence and the proposed landscape plan does not adequately screen the THOW in a way that it blends in with the existing landscaping. Simply put, the proposal comes across as a structure set down in the front yard of the lot. It is in a highly visible location and will be the first thing one sees on the property. I encourage you to view the property in person if you have not already done so.

This particular property has had minimal landscape work done over the years. There appears to be no irrigation on the lot so the manicured lawn has died along with many trees on the property (the large dead aspen trees were removed last fall). The remaining spruce trees are thin and unhealthy. They provide minimal screening and there are no spruce trees in the corner where the THOW will be the most visible. The proposed landscape plan for the project calls out native grasses (which will not provide any screening) and shrubs. The native grasses will need irrigation for the first year to be established (or else they end up as a mess of weeds). The shrubs species are not identified on the plan (a fault in itself) but I presume they are deciduous and not evergreen which means they will only provide screening for about 5-6 months of the year. Again, no effective screening is proposed with this plan.

I believe the P&Z Commission should closely examine the proposed gravel parking strip along Eastridge Drive. It would be worth a conversation with the Hailey Police Department about the speeding

issues that occur on Eastridge Drive (despite the 15 mph speed limit). Adding street side parking at the top of that hill where cars will be pulling out onto the road in front of cars that may be speeding up that hill may be hazardous and could be a public safety issue.

I would also like clarification on two matters regarding this application:

- How does the City regulate the length of the rental in the THOW? It is required to be long term (more than 31 days) but how is that regulated?
- If the THOW is required to have one streetside parking spot, how is this space handled in the winter when the City prohibits streetside parking to allow for snow removal?

In conclusion, if the P&Z Commission believes the application meets the THOW standards and addresses the safety concerns about parking along Eastridge Drive, the project should only approved with conditions that ensure that it blends in with the existing home and does not negatively impact the neighborhood as a whole. These should include the following:

- 1) The THOW is painted to match the home so that it blends with the existing residence.
- 2) Additional year-round screening (evergreen) is added to the landscape plan to fully screen the THOW from the road. This screening must be maintained by the property owner so it doesn't die in a year from lack of water.

I appreciate your consideration of my comments.

Sincerely,



Laura Gvozdas  
(208) 720-5163  
[lcgvozdas@hotmail.com](mailto:lcgvozdas@hotmail.com)



## Jessica Parker

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**From:** Kristen Wright <kwlindfors@gmail.com>  
**Sent:** Saturday, May 25, 2024 5:26 PM  
**To:** planning  
**Subject:** Accessory Dwelling Unit

I am apposed to allowing an accessory dwelling Unit at Lot 16, Block7 Deerfield Subdivision. Allowing this will simply open the door for approval of accessory dwelling units throughout the East side of Hailey which would likely spread out throughout the community of Hailey. It will also increase more traffic and greatly increase population density that will affect everyone's quality of life. I live on the corner of Hailey Drive an Eastridge. Traffic has increased significantly due to the on going construction in Sun Beam, Quigly and around the nearby community along with school traffic.

Please do not start the ball rolling for increased density.

Thank you,

Kristen Wright  
721 Hailey Dr.

## Jessica Parker

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**From:** EDAN OESTREICH <acetrack@me.com>  
**Sent:** Sunday, May 26, 2024 2:34 PM  
**To:** planning  
**Cc:** Andrea Jaag  
**Subject:** 810 Buckskin Drive THOW

Hi Planning,

The purpose of this email is to comment on the proposed THOW at 810 Buckskin in Hailey. The letter we received doesn't depict the unit in its position. Can you see the wheels once installed? We can't possibly comment on this without seeing what it will look like. I have no problem with neighbors adding ADU's but we need to see what a wheeled one will look like. The pictures provided in the letter of notification offers no clue. In fact, wheels aren't even visible on the graphic depiction.

Until I am provided with an accurate picture of what this will look like fully installed I am a firm NO. This could be the ugliest, low class ADU imaginable that could drag all our values down. Or, perhaps it will look great. I have no idea so have to assume the worst until provided with a more comprehensive visual representation.

In conclusion, I'm all for adding tasteful, elegant ADU's but the submission I received offers zero idea of what it will look like or how it will impact the neighborhood visually.

Thanks for hearing me out.

Kind regards,

Edan Oestreich  
311 Eastridge Drive  
561-221-9882

Sent from my iPad

May 26, 2024

City of Hailey  
Planning & Zoning Commission  
Ms. Janet Fugate  
Ms. Ashley Dyer  
Members of the Commission  
115 Main Street  
Hailey, Idaho 83333

Dear Ms. Fugate, Ms. Dyer & Members of the Commission:

I am writing this letter in response to the Tiny Home on Wheels (THOW) application that has been submitted by Deanna & Brady Campbell for their residence at 810 Buckskin Drive, Hailey, Idaho.

My name is Michael Wilkinson and I am also writing on behalf of my wife, Barbara Wilkinson. We own & reside full time at our residence at 531 Deertrail Drive, Hailey, Idaho. Our home is adjacent to the Campbell residence at 810 Buckskin Drive.

I do not know if a site visit was conducted or will be conducted in determining this application. If there has not been a visit, I would highly recommend this take place in order to visualize some of the concerns I have.

The following are various concerns and questions I would like to have answers to:

1. Has this application already been approved? I have talked to Brady Campbell and he told me he has ordered the THOW and it is being built here in Hailey. I believe he said delivery of the unit will be in June but I cannot confirm that. I drove by the location where the home is being constructed on Buttercup Road and saw the unit. It is very tall. Over this past weekend, excavation work was being done on the property in preparation for delivering the THOW. It appears to us that the Campbells are preparing to have the THOW delivered very soon. Have they been given the approval to have the unit delivered?
2. I am very concerned about the proposed parking area on Eastridge Drive. I believe there will be a high probability of a traffic accident happening at the intersection of Eastridge Drive and Buckskin Drive due the lack of visibility of vehicle traffic traveling North on Eastridge Drive. On the site plan, there is an 8'-0" wide graveled parking area on the East side of Eastridge Drive. Buckskin Drive connects to Eastridge Drive on the North side of 810 Buckskin Drive. At the Southern property borderline of 810 Buckskin Drive, Eastridge Drive has a hill that must be navigated up until the road becomes flat along the East side of the property. Buckskin Drive has a stop sign at the intersection of Eastridge Drive and Buckskin Drive. With no cars parked on Eastridge and you are

attempting to make a left or right hand turn from Buckskin to Eastridge, the visibility for vehicles traveling North on Eastridge is limited. With vehicles parked on the West side of the property and on the East side of Eastridge Drive, visibility is very limited for vehicles traveling up the hill and they will be almost impossible to see. On Saturday, May 25, 2024, there were pick-ups and excavation equipment parked in the proposed parking area. I drove my car to the stop sign at Buckskin and Eastridge and the visibility of oncoming traffic was totally blocked. I stopped at the normal location of the stop sign and could not see vehicles coming over the hill. I slowly drove into the intersection and I was well out on Eastridge Drive before I could see oncoming traffic coming up the hill. I took several pictures of this situation and I am glad to share those pictures with you to explain my concern. Another major concern is the fact that Deertrail Drive and Buckskin Drive are used as the major traffic roads for students from Wood River High School to access downtown Hailey and back to school. During several peak driving times each day, students are traveling very fast and seldom coming to a complete stop at the intersection of Buckskin Drive and Eastridge Drive. With limited visibility of vehicles traveling up the hill, an accident will surely happen. I welcome the commission to spend an hour in my yard during lunch hour and watch the flow of traffic from the high school that goes through our neighborhood. It will scare you to see the speed and reckless driving that occurs on these streets during morning hours of the commute to school, during lunch time, and after school.

3. To further discuss the parking concern, I would like to ask why this proposed parking area is needed. With the current parking area for 810 Buckskin Drive, there is adequate space in the existing parking area for 5-6 vehicles. I have counted at least that many vehicles parked there on numerous occasions. The Campbell's do not have any children currently living at home and they only drive two (2) vehicles. Unless the THOW is going to accommodate four (4) or more people, I do not see any reason to build a new parking area.
4. I also have concerns about snow removal and where the snow will be pushed if a parking area is established on Eastridge Drive. The site plan shows new shrubs and trees being planted between the parking area and the THOW. Where will there be room to store snow? Will the proposed parking area be under the road restrictions for snow removal? I know there are several roads in town that do not allow parking during certain times in the winter for snow removal purposes. Eastridge is a major connector street and has a considerable amount of traffic. This traffic will only increase with the development of the Quigley Canyon and Sunbeam projects.
5. How many occupants will be allowed to live in the THOW? We have been told that the unit is going to be a rental unit and will be rented immediately. How many people are permitted to live in a 272 square foot home? Hopefully, there are some restrictions and there will not be 5-6 people living in a very small space

like, what we have heard, is occurring in the former Silver Creek Assisted Living property.

6. Are there restrictions on the appearance and upkeep that must be maintained on the THOW? Our concern is the unit will become another eye sore for the neighborhood. If you have visited the site, you will have seen that there is no pride of ownership on the property, the landscape has not been watered or given attention for many years, the trees have died from lack of water and care, and their hot tub was left inoperable & abandoned for several years. The lack of any resemblance of upkeep for the property has been a concern of the neighborhood for several years. It is our concern that the THOW will look exactly like the dilapidated remainder of the property in a very short time frame. I have had several people call me and ask if the property has been abandoned and if, by chance, it was under foreclosure and might be available to purchase. Will the City of Hailey have any input or recourse if the property is not maintained?
7. The site plan calls for shrubs and trees. Is there a time frame that these shrubs and trees must be planted? Are they mandated or is it just a suggestion in order to fill in the space on a site plan? Are there provisions that mandates the new shrubs and trees must be maintained?
8. Will the permitting of this THOW be a precedent setting decision and every homeowner in Hailey will have an option to locate a unit on their property with very few questions asked and restrictions given? During my visit to the City of Hailey office, it was basically said that if the setbacks are adhered to, anyone can install a portable THOW. Is it possible that a towable housing unit that is located independent of the primary dwelling unit become a permanent part of the neighborhoods of Hailey? We purchased our home in the Deerfield subdivision based on the premise it is a single-family dwelling development. With the permitting of the THOW, does the zoning change to a multi-family permitted development? Could we build a duplex or triplex on our property?
9. The rules for a THOW stipulate an aesthetically pleasing skirting must be installed between the bottom of the unit and the ground. What type of skirting must this be? Does it stipulate it must be made of aluminum or other suitable building material or could it be a tarp?
10. Will the City of Hailey monitor the condition of the THOW as far as the building blocks it will be sitting on? The ground of Hailey is known for settling and building blocks will sink in the ground and this will create a unit that is not level. If you look at many of the paver projects around town, you will see settling that occurs. That is a normal thing that happens. What will happen if the trailer sinks in a short time frame? Can a concrete footing be poured to accommodate the building blocks to help stabilize the unit? I do not think the property owner will fix anything that might break after the THOW has been installed and there is a

renter occupying the unit. This is based on being a neighbor for many years and witnessing what has happened to the property.

These are just a few of the many concerns about permitting the THOW for this property. We would like to hear explanations, alternatives, or possible options and solutions. I believe our concerns are shared by many of our neighbors and we would welcome the opportunity to meet and give input regarding our concerns.

Thank you.

Respectfully,

Barbara Wilkinson

Michael Wilkinson

351 Deertrail Drive  
Hailey, Idaho 83333

Mailing address is:  
P.O. Box 2724  
Ketchum, Idaho 83340

(208) 863-8195 – Michael’s cell phone  
(208) 869-1655 – Barbara’s cell phone

[mwilki1661@msn.com](mailto:mwilki1661@msn.com)

[mike@wilkinsonenterprise.com](mailto:mike@wilkinsonenterprise.com)

**From:** [EDAN OESTREICH](#)  
**To:** [Ashley Dyer](#)  
**Cc:** [planning](#)  
**Subject:** Re: Tiny Home on Wheels- 810 Buckskin  
**Date:** Tuesday, May 28, 2024 11:25:40 AM

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Hi Ashley,

Thanks very much for clarifying the wheel situation. We have no objection. We need affordable housing in our community.

I appreciate the notice and chance to comment.

Kind regards,

Edan and Andrea Oestreich  
Sent from my iPhone

On May 28, 2024, at 10:57, Ashley Dyer <[ashley.dyer@haileycityhall.org](mailto:ashley.dyer@haileycityhall.org)> wrote:

Good Morning,

We received your comment regarding the proposed Tiny Home on Wheels located at 8110 Buckskin Drive. Please see the attached submitted plans for the project and let me know if you have any other questions after you've had a chance to review them. I also attached the city code requirements for the Tiny Home on Wheels.

Per our code, Tiny Home on Wheels; Skirting is required and shall be installed to enclose all open space between the THOW and the ground. The skirting shall screen the wheels and aesthetically compliment or continue the THOW siding.

[https://codelibrary.amlegal.com/codes/haileyid/latest/hailey\\_id/0-0-0-15029](https://codelibrary.amlegal.com/codes/haileyid/latest/hailey_id/0-0-0-15029)

Thank you,

*Ashley Dyer*  
City Planner, Community Development  
City of Hailey Idaho  
208-788-9815 x2019  
[ashley.dyer@cityhall.org](mailto:ashley.dyer@cityhall.org)

<Campbell Tiny Home Plans.pdf>  
<Elevations.pdf>  
<Floor Plan.pdf>  
<Lighting Spec Sheet.pdf>  
<Site Plan.pdf>





**From:** [Kelsey Bates](#)  
**To:** [Robyn Davis](#); [Ashley Dyer](#)  
**Cc:** [Emily Rodrigue](#); [Jessica Parker](#)  
**Subject:** RE: Public Comment: ADU on 810 Buckskin Drive  
**Date:** Friday, May 31, 2024 9:13:41 AM

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Hi Robyn,

Thank you for your response. Not sure if this whole thread gets submitted as my public comment/response so wanted to summarize everything here:

I do not support the approval of the application for a THOW on 810 Buckskin Drive as it does not comply with Deerfield CC&Rs. While I understand P&Z does not review CC&Rs, you also clearly stated that you cannot override them.

It is strange that in no part of the application documentation are homeowners required to acknowledge that they have read their CC&Rs and are in compliance. Furthermore, I would think the city would want some type of disclaimer that an application approval does not constitute subdivision and/or HOA approval.

Thanks and have a great weekend,  
Kelsey Bates

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**From:** Robyn Davis <robyn.davis@haileycityhall.org>  
**Sent:** Wednesday, May 29, 2024 3:11 PM  
**To:** Kelsey Bates <kelsey@bates.com>; Ashley Dyer <ashley.dyer@haileycityhall.org>  
**Cc:** Emily Rodrigue <emily.rodrigue@haileycityhall.org>; Jessica Parker <jessica.parker@haileycityhall.org>  
**Subject:** RE: Public Comment: ADU on 810 Buckskin Drive

Hi Kelsey,

You are correct in that the legislation excludes THOWs. That said, Hailey's Municipal Code considers THOWs a subcategory to that of ADUs, both of which are permitted outright in our code.

We appreciate the C.C.&Rs that are in place for the Deerfield Subdivision; however, enforcement of these C.C.&Rs is outside and beyond the City's authority.

It is the property owner's responsibility to understand the C.C.Rs that are in place for the subdivision and follow accordingly.

Again, the City has no authority to override, regulate, or amend the C.C.Rs of a subdivision. All matters pertinent to the C.C.Rs are regulated by active HOA Boards, and property owners within the subdivision.

Thank you for your time, and your comments on this project. We appreciate your interest and involvement.

**Robyn Davis, M.A.**

**Community Development Director**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2015

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**From:** Kelsey Bates <[kelsey@bates.com](mailto:kelsey@bates.com)>  
**Sent:** Wednesday, May 29, 2024 12:23 PM  
**To:** Robyn Davis <[robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org)>; Ashley Dyer <[ashley.dyer@haileycityhall.org](mailto:ashley.dyer@haileycityhall.org)>  
**Cc:** Emily Rodrigue <[emily.rodrigue@haileycityhall.org](mailto:emily.rodrigue@haileycityhall.org)>; Jessica Parker <[jessica.parker@haileycityhall.org](mailto:jessica.parker@haileycityhall.org)>  
**Subject:** RE: Public Comment: ADU on 810 Buckskin Drive

Hi Robyn,  
Thank you for your response. Can you please send me planning and zoning minutes for 2024 meetings? Nothing has been posted online all year.

Furthermore, the Idaho statute you included specifically excludes a THOW. So can you tell me how this applies to this particular application where they are specifically doing a Tiny Home on Wheels.

“An internal accessory dwelling unit does not include an alternative detached structure, motor home, camper, recreational vehicle, **tiny home on wheels**, or other such similar dwellings on wheels.”

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**From:** Robyn Davis <[robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org)>  
**Sent:** Wednesday, May 29, 2024 11:43 AM  
**To:** Kelsey Bates <[kelsey@bates.com](mailto:kelsey@bates.com)>; Ashley Dyer <[ashley.dyer@haileycityhall.org](mailto:ashley.dyer@haileycityhall.org)>  
**Cc:** Emily Rodrigue <[emily.rodrigue@haileycityhall.org](mailto:emily.rodrigue@haileycityhall.org)>; Jessica Parker <[jessica.parker@haileycityhall.org](mailto:jessica.parker@haileycityhall.org)>  
**Subject:** RE: Public Comment: ADU on 810 Buckskin Drive

Good morning, Kelsey –

Thank you for your comments, and your insight regarding the Deerfield CCRs.

While I am not providing any legal advice on the matter, nor can I provide any assurances about the Deerfield HOA actions, I can speak to what the City and the Idaho Legislature currently allow. The Idaho Legislature adopted Section 55-3212 forbidding an association from prohibiting ADUs. The City of Hailey allows ADUs in all zoning districts, with some procedural process requirements in certain zoning districts, not specifically applicable to Deerfield.

TITLE 55 PROPERTY IN GENERAL CHAPTER 32 HOMEOWNER’S ASSOCIATION ACT 55-3212. INTERNAL ACCESSORY DWELLING UNITS. (1) No covenant, condition, or restriction may be added, amended, or enforced by a homeowner’s association or any other parties in such a way that strictly prohibits internal accessory dwelling units, as defined in subsection (3) of this section. The provisions of this section shall not be construed to protect more than one (1) internal accessory dwelling unit per homestead. (2) Notwithstanding the prohibitions provided in subsection (1) of this section, a homeowner’s association may

adopt reasonable rules governing the use of internal accessory dwelling units otherwise allowed by law, including but not limited to size limits, height limits, setback requirements, open space requirements, parking controls, and bedroom requirements. (3)(a) An "internal accessory dwelling unit" means a self-contained living unit that: (i) Includes its own cooking, sleeping, and sanitation facilities; (ii) Is located within a detached, owner-occupied homestead, as defined in section 63-701, Idaho Code, or such homestead's attached or detached garage; and (iii) Is used for the purpose of housing relatives of the owner of the homestead or for the purpose of renting to a residential tenant for a period exceeding thirty (30) days. (b) An internal accessory dwelling unit does not include an alternative detached structure, motor home, camper, recreational vehicle, tiny home on wheels, or other such similar dwellings on wheels. (4) Nothing in this section shall be construed to restrict a homeowner's association from adopting a less restrictive definition of accessory dwelling units. (5) The provisions of this section do not apply to any rentals defined in section 63-1803(4), Idaho Code.

Thank you again for your comments and question.  
Please reach out if you have any additional questions or concerns.

Thank you,  
Robyn

**Robyn Davis, M.A.**

**Community Development Director**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2015

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**From:** Kelsey Bates <[kelsey@bates.com](mailto:kelsey@bates.com)>  
**Sent:** Wednesday, May 29, 2024 9:49 AM  
**To:** planning <[planning@haileycityhall.org](mailto:planning@haileycityhall.org)>  
**Subject:** Public Comment: ADU on 810 Buckskin Drive

Good morning,

I am writing in response for public comment request about the application to add an ADU/Tiny Home on Wheels to the property located at 810 Buckskin Drive. While I love the idea of ADUs, I'm not sure how this could be allowed with the existing CC&Rs. Per Deerfield CC&Rs (No. 213405) Article III, Section 1 only one single family residential dwelling is permitted on any lot. Also Article III, Section 6 prohibits structures of a "temporary character" to be erected or placed upon and used on any lot and any time.

While I am not against the idea of ADUs to help with our housing problem, it needs to be done in a way that follows the CC&Rs or the city needs to create an amendment within the CC&Rs to provide clarity to all those living in the subdivision. Allowing exceptions on a one-off basis sets a dangerous precedent when it comes to maintaining the integrity of the subdivision.



**From:** [Kelsey Bates](#)  
**To:** [planning](#)  
**Subject:** Public Comment: ADU on 810 Buckskin Drive  
**Date:** Wednesday, May 29, 2024 9:48:48 AM

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Good morning,

I am writing in response for public comment request about the application to add an ADU/Tiny Home on Wheels to the property located at 810 Buckskin Drive. While I love the idea of ADUs, I'm not sure how this could be allowed with the existing CC&Rs. Per Deerfield CC&Rs (No. 213405) Article III, Section 1 only one single family residential dwelling is permitted on any lot. Also Article III, Section 6 prohibits structures of a "temporary character" to be erected or placed upon and used on any lot and any time.

While I am not against the idea of ADUs to help with our housing problem, it needs to be done in a way that follows the CC&Rs or the city needs to create an amendment within the CC&Rs to provide clarity to all those living in the subdivision. Allowing exceptions on a one-off basis sets a dangerous precedent when it comes to maintaining the integrity of the subdivision.

**From:** [Robyn Davis](#)  
**To:** [Kelsey Bates](#); [Ashley Dyer](#)  
**Cc:** [Emily Rodrigue](#); [Jessica Parker](#)  
**Subject:** RE: Public Comment: ADU on 810 Buckskin Drive  
**Date:** Wednesday, May 29, 2024 3:11:33 PM

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Hi Kelsey,

You are correct in that the legislation excludes THOWs. That said, Hailey's Municipal Code considers THOWs a subcategory to that of ADUs, both of which are permitted outright in our code.

We appreciate the C.C.&Rs that are in place for the Deerfield Subdivision; however, enforcement of these C.C.&Rs is outside and beyond the City's authority.

It is the property owner's responsibility to understand the C.C.Rs that are in place for the subdivision and follow accordingly.

Again, the City has no authority to override, regulate, or amend the C.C.Rs of a subdivision. All matters pertinent to the C.C.Rs are regulated by active HOA Boards, and property owners within the subdivision.

Thank you for your time, and your comments on this project. We appreciate your interest and involvement.

**Robyn Davis, M.A.**

**Community Development Director**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2015

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**From:** Kelsey Bates <kelsey@bates.com>  
**Sent:** Wednesday, May 29, 2024 12:23 PM  
**To:** Robyn Davis <robyn.davis@haileycityhall.org>; Ashley Dyer <ashley.dyer@haileycityhall.org>  
**Cc:** Emily Rodrigue <emily.rodrigue@haileycityhall.org>; Jessica Parker <jessica.parker@haileycityhall.org>  
**Subject:** RE: Public Comment: ADU on 810 Buckskin Drive

Hi Robyn,

Thank you for your response. Can you please send me planning and zoning minutes for 2024 meetings? Nothing has been posted online all year.

Furthermore, the Idaho statute you included specifically excludes a THOW. So can you tell me how this applies to this particular application where they are specifically doing a Tiny Home on Wheels.

"An internal accessory dwelling unit does not include an alternative detached structure, motor home, camper, recreational vehicle, **tiny home on wheels**, or other such similar dwellings on wheels."

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**From:** Robyn Davis <[robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org)>

**Sent:** Wednesday, May 29, 2024 11:43 AM

**To:** Kelsey Bates <[kelsey@bates.com](mailto:kelsey@bates.com)>; Ashley Dyer <[ashley.dyer@haileycityhall.org](mailto:ashley.dyer@haileycityhall.org)>

**Cc:** Emily Rodrigue <[emily.rodrigue@haileycityhall.org](mailto:emily.rodrigue@haileycityhall.org)>; Jessica Parker <[jessica.parker@haileycityhall.org](mailto:jessica.parker@haileycityhall.org)>

**Subject:** RE: Public Comment: ADU on 810 Buckskin Drive

Good morning, Kelsey –

Thank you for your comments, and your insight regarding the Deerfield CCRs.

While I am not providing any legal advice on the matter, nor can I provide any assurances about the Deerfield HOA actions, I can speak to what the City and the Idaho Legislature currently allow. The Idaho Legislature adopted Section 55-3212 forbidding an association from prohibiting ADUs. The City of Hailey allows ADUs in all zoning districts, with some procedural process requirements in certain zoning districts, not specifically applicable to Deerfield.

TITLE 55 PROPERTY IN GENERAL CHAPTER 32 HOMEOWNER'S ASSOCIATION ACT 55-3212. INTERNAL ACCESSORY DWELLING UNITS. (1) No covenant, condition, or restriction may be added, amended, or enforced by a homeowner's association or any other parties in such a way that strictly prohibits internal accessory dwelling units, as defined in subsection (3) of this section. The provisions of this section shall not be construed to protect more than one (1) internal accessory dwelling unit per homestead. (2) Notwithstanding the prohibitions provided in subsection (1) of this section, a homeowner's association may adopt reasonable rules governing the use of internal accessory dwelling units otherwise allowed by law, including but not limited to size limits, height limits, setback requirements, open space requirements, parking controls, and bedroom requirements. (3)(a) An "internal accessory dwelling unit" means a self-contained living unit that: (i) Includes its own cooking, sleeping, and sanitation facilities; (ii) Is located within a detached, owner-occupied homestead, as defined in section 63-701, Idaho Code, or such homestead's attached or detached garage; and (iii) Is used for the purpose of housing relatives of the owner of the homestead or for the purpose of renting to a residential tenant for a period exceeding thirty (30) days. (b) An internal accessory dwelling unit does not include an alternative detached structure, motor home, camper, recreational vehicle, tiny home on wheels, or other such similar dwellings on wheels. (4) Nothing in this section shall be construed to restrict a homeowner's association from adopting a less restrictive definition of accessory dwelling units. (5) The provisions of this section do not apply to any rentals defined in section 63-1803(4), Idaho Code.

Thank you again for your comments and question.

Please reach out if you have any additional questions or concerns.

Thank you,

Robyn

**Robyn Davis, M.A.**

**Community Development Director**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2015

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**From:** Kelsey Bates <[kelsey@bates.com](mailto:kelsey@bates.com)>  
**Sent:** Wednesday, May 29, 2024 9:49 AM  
**To:** planning <[planning@haileycityhall.org](mailto:planning@haileycityhall.org)>  
**Subject:** Public Comment: ADU on 810 Buckskin Drive

Good morning,

I am writing in response for public comment request about the application to add an ADU/Tiny Home on Wheels to the property located at 810 Buckskin Drive. While I love the idea of ADUs, I'm not sure how this could be allowed with the existing CC&Rs. Per Deerfield CC&Rs (No. 213405) Article III, Section 1 only one single family residential dwelling is permitted on any lot. Also Article III, Section 6 prohibits structures of a "temporary character" to be erected or placed upon and used on any lot and any time.

While I am not against the idea of ADUs to help with our housing problem, it needs to be done in a way that follows the CC&Rs or the city needs to create an amendment within the CC&Rs to provide clarity to all those living in the subdivision. Allowing exceptions on a one-off basis sets a dangerous precedent when it comes to maintaining the integrity of the subdivision.



Dear City of Hailey Community Development Department,

I am writing in response to the invitation to comment on the proposed Tiny Home on Wheels (the “THOW”) at 810 Buckskin Drive (the “lot”), as I have several concerns. My first concern with the THOW relates to whether the lot can accommodate a THOW and residence while adhering to Hailey City Code. Specifically, the lot is 0.31 acres and already contains a residence of at least 2,080 square feet. The THOW will be approximately 272 square feet. According to Hailey Code Section 17.08D.080, a THOW must have an outdoor access area of at least 50 square feet. As such, it is of concern that the THOW will be able to comply with Hailey Code Section 17.08D.080, given the size of the lot and the size of the residence already on the lot.

My second concern is the THOW’s compliance with the zoning code as it relates to its proximity to the roads of Eastridge Drive and Buckskin Drive. It is my understanding that the THOW will be located between the residence and these two roads. Accordingly, the THOW must comply with the setbacks of a Limited Resident (LR-1) Zoning District. In the LR-1 Zoning District, the front yard setback must be at least 25 feet. Also, the side yard setback depends on the height of the building. The height of the proposed THOW is not known so the side yard setback distance is also not known. Regardless, considering the limited space on the lot and the location of the THOW on the lot, it is concerning that the THOW will be able to comply with the setback standards for a lot located in a LR-1 Zoning District.

Lastly, there is concern that the THOW would increase the number of vehicles needing to park at 810 Buckskin Drive. It would not be ideal if the driveway or road were overflowing with cars due to the addition of a THOW at this location.

I appreciate being given the opportunity to voice my concerns regarding this matter.

Thank you for your time.

Sincerely,

Carmen Cruz

**From:** [Jayne Elgee](#)  
**To:** [planning](#)  
**Cc:** [Ashley Dyer](#)  
**Subject:** Tiny House construction in Hailey  
**Date:** Monday, June 3, 2024 3:46:46 PM

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Dear City of Hailey,

Bob and I have been residents of Deerfield in Hailey for almost 32 years. We enjoy living here and our proud of our neighborhood. We are very much opposed to allowing a tiny house to be built at 810 Buckskin Dr. It is situated at the entrance to our neighborhood. Ever since the current owner has resided in this house the yard has been neglected and not maintained. The tiny house would not only be an eyesore, but would increase density and traffic in the area not to mention create parking issues. If one tiny house is allowed to be built that opens the door for additional, density and congestion.

Sincerely,  
Bob and Jayne Elgee

To: Ashley Dyer  
City of Hailey

RE: Tiny House On Wheels @ 810 Buckskin

My name is Michael Fehrenbacher and I live directly across the street from 810 Buckskin and have concerns for the approval of this THOW.

#1 Deerfield is a very liveable neighborhood. Families take pride in their homes, keep them up, landscape is cared for and extra vehicles, trailers & "toys" are within lot boundaries. Allowing a THOW in Deerfield would set a precedent for others and would allow much more population density than the neighborhood was meant to have.

#2 Brady Cambell has lived across the street from me for 10yrs<sup>±</sup>. He has never kept up the landscape or yard and although his plans are to landscape the THOW, I do not believe that will happen to the satisfaction of the subdivision or the city.

#3 access and parking on Eastridge Dr is an issue as heavy traffic and a small hill are a potential concern for safety.

#4 a THOW would, eventually I believe, cause a decrease in property values in Deerfield.

#5 The application letter says the THOW is proposed to be a long-term rental. If used as an ABNB or short term rental, would that violate the permit?

#6 With the stress on public services, who is responsible for monitoring a THOW? Who would I express concern to if I felt something needed attention?

#7 I understand a yearly assessment is required to ~~renew~~ the permit. Does the permit for the THOW have an expiration or is it there for perpetuity? Is the permit 100 property tax?

#8 The notice from the city was dated 5/16/24 but received (5/22-23) with just a week to reply & comment on the application. Brady Cambell, however, has had the THOW built and his property prepped for it to be delivered. It seems like he has assumed it's a done deal before the neighbors were even notified or comments allowed.

Is the decision already made?

After comments, who makes the final decision?

#9 ADU's and THOW's are needed to provide affordable housing & the city eased restrictions a few years ago to allow that to happen. Was there any CAP on rents or just whatever the market will bear.

Thank You

Michael Fehrenbacher

**From:** [Jessica Parker](#)  
**To:** [Emily Rodrigue](#); [Ashley Dyer](#)  
**Subject:** FW: THOW application—buckskin drive  
**Date:** Tuesday, May 28, 2024 7:36:51 AM

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I don't recall who is doing this project, would one of you reach out to Laura to schedule a time to meet?

Thank you,

Jessie  
Jessica Parker  
Building Coordinator,  
Deputy Treasurer  
City of Hailey  
115 Main Street South | Hailey, ID 83333  
Phone: 208.788.9815 ex. 2027 | Fax: 208.788.2924  
[jessica.parker@haileycityhall.org](mailto:jessica.parker@haileycityhall.org) | [www.haileycityhall.org](http://www.haileycityhall.org)

-----Original Message-----

From: Laura Gvozdaz <[lcgvozdaz@hotmail.com](mailto:lcgvozdaz@hotmail.com)>  
Sent: Saturday, May 25, 2024 1:21 PM  
To: Jessica Parker <[jessica.parker@haileycityhall.org](mailto:jessica.parker@haileycityhall.org)>  
Subject: THOW application—buckskin drive

Dear Jessica,

I received the notice in the mail for this application. I would like to view the full site plan for this project including where it will be placed on the lot, designated parking for the structure, snow storage, landscaping plan and exterior materials. I wish to submit comments but I would like to view all materials before I do so.

Thanks!  
Laura Gvozdaz

Sent from my iPhone

**From:** [richard.knoebel](#)  
**To:** [planning](#)  
**Subject:** THOW  
**Date:** Friday, May 24, 2024 4:26:00 PM

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Knoebel @420 Deertrail: I have been asked to comment on proposed THOW proposed for 810 Buckskin. I read about this in paper months ago. The article as well as the name of program suggest wheels on unit is important. I see know wheels on the plan provided in letter, making this more permanent than I've seen discussed. Does this unit fit the protocol?



May 30, 2024

Dear Hailey Planning & Zoning Chair & Admin,

Thank you for the notification about the Tiny Home on Wheels (THOW) application at 810 Buckskin Drive. I live at 440 Eastridge Drive, south of the home in question. I own Sun Country Management in Ketchum and manage a dozen Associations which includes five Design Review Committees for large subdivisions within the Wood River Valley. I understand the nuances of the design review process and the challenges of considering neighbor input in the process.

I appreciate that the City of Hailey Planning Department has updated and modified standards for Accessory Dwelling Units (ADUs) and THOWs over the past few years in response to the housing crisis our community is facing. I know many ADUs often come through the design review process as part of new construction or as an addition to a current home (such over an existing garage). In reviewing documents online, it appears the THOWs standards and process was updated last year and is consistent with the ADU process. This ensures that it “protects adjacent property owners and doesn’t change the whole feel of neighborhoods, doesn’t create trailer parks or create public safety issues” as quoted by Councilman Sam Linnet in the Idaho Mountain Express (2/24/23). This is particularly important because the home values in Deerfield, where Buckskin Drive is located, are nearing \$1 million for an average single family home. The City has the responsibility to protect those home values just as there is a responsibility to help with local housing crisis.

In reviewing the City of Hailey standards for THOWs, this application appears to be largely compliant. However, I would like to call out language in two different sections of the City code regarding Accessory Dwelling Units and Tiny Homes on Wheels:

*17.08D.010 PURPOSE AND INTENT: The City of Hailey recognizes that land use, population growth, and community character are interrelated, and that social well-being and diversity are tied to the availability of an array of housing types and sizes available for sale and for rent at various price points. Accessory dwelling units and tiny homes, when thoughtfully designed, can simultaneously complement the fabric of existing neighborhoods, increase the supply of available housing, and sustainably accommodate population growth.*

*17.08D.030: GENERAL PROVISIONS: C. Accessory dwelling units and tiny homes on wheels are only permitted **in conjunction** with single-family residences in residential zones.*

The intent of these provisions is that the ADU or THOW is thoughtfully designed so it blends with the existing residence. The proposal on Buckskin Drive does not meet these criteria. The appearance is not consistent with the existing residence and the proposed landscape plan does not adequately screen the THOW in a way that it blends in with the existing landscaping. Simply put, the proposal comes across as a structure set down in the front yard of the lot. It is in a highly visible location and will be the first thing one sees on the property. I encourage you to view the property in person if you have not already done so.

This particular property has had minimal landscape work done over the years. There appears to be no irrigation on the lot so the manicured lawn has died along with many trees on the property (the large dead aspen trees were removed last fall). The remaining spruce trees are thin and unhealthy. They provide minimal screening and there are no spruce trees in the corner where the THOW will be the most visible. The proposed landscape plan for the project calls out native grasses (which will not provide any screening) and shrubs. The native grasses will need irrigation for the first year to be established (or else they end up as a mess of weeds). The shrubs species are not identified on the plan (a fault in itself) but I presume they are deciduous and not evergreen which means they will only provide screening for about 5-6 months of the year. Again, no effective screening is proposed with this plan.

I believe the City should closely examine the proposed gravel parking strip along Eastridge Drive. It would be worth a conversation with the Hailey Police Department about the speeding issues that occur on Eastridge Drive (despite the 15 mph speed limit). Adding street side parking at the top of that

hill where cars will be pulling out onto the road in front of cars that may be speeding up that hill may be hazardous and could be a public safety issue.

I would also like clarification from the City on two matters regarding this application:

- How does the City regulate the length of the rental in the THOW? It is required to be long term (more than 31 days) but how is that regulated?
- If the THOW is required to have one streetside parking spot, how is this space handled in the winter when the City prohibits streetside parking to allow for snow removal?

In conclusion, if the City believes the application meets the THOW standards and addresses the safety concerns about parking along Eastridge Drive, the project should only approved with conditions that ensure that it blends in with the existing home and does not negatively impact the neighborhood as a whole. These should include the following:

- 1) The THOW is painted to match the home so that it blends with the existing residence.
- 2) Additional year-round screening (evergreen) is added to the landscape plan to fully screen the THOW from the road. This screening must be maintained by the property owner so it doesn't die in a year from lack of water.

I appreciate your consideration of my comments.

Sincerely,



Laura Gvozdas  
(208) 720-5163  
[lcvozdas@hotmail.com](mailto:lcvozdas@hotmail.com)

**From:** [Susie Quinn- Fortner](#)  
**To:** [planning](#)  
**Cc:** [scott fortner](#)  
**Subject:** Buckskin THOW concerns  
**Date:** Thursday, May 30, 2024 8:00:13 AM

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We are writing to express our concerns regarding the proposed construction of the tiny home on wheels across the street from our residence at 821 Buckskin Dr.

Although construction and site prep is well underway. We only received notification of this project on May 23.

As a neighbor living directly across the street, we are deeply invested in the impact this THOW may have on our community and neighborhood.

One of our primary concerns is the parking arrangements. Having gravel parking on East Ridge at the top of the hill could pose safety hazards, and an influx of vehicles parked along the street may obstruct visibility.

Another significant concern is the longevity of the THOW. How long will it be “parked” on the location? While it is currently being presented as a temporary structure (since it is on wheels) Will it become a permanent feature on the property? Are there guidelines preventing this?

Furthermore, we have observed that the property owner has previously neglected the exterior of their property. While we are hopeful that the property owners will adhere to the landscaping plans, to prevent the tiny home from becoming an eyesore, we are concerned about the overall upkeep of the property in the long term. Who is responsible for oversight of the proposed landscaping plan to ensure that it comes to fruition?

Finally, we believe the placement of the THOW detracts from the neighborhood aesthetics and potentially lowers property values for residents in the area.

We urge you to address these questions and concerns promptly, and transparently, to ensure that the THOW aligns with the best interests of the community.

We hope that our concerns will be acknowledged and that measures will be taken to mitigate any potential negative impacts on our neighborhood.

Sincerely,  
Susan Quinn Fortner  
and  
Scott Fortner

**From:** [Robyn Davis](#)  
**To:** [plries75@gmail.com](mailto:plries75@gmail.com)  
**Cc:** [Ashley Dyer](#)  
**Subject:** RE: THOW on Buckhorn  
**Date:** Wednesday, June 26, 2024 10:44:28 AM

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Thanks for the update, Linda.

**Robyn Davis, M.A.**

**Community Development Director**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2015

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**From:** Linda Ries <[plries75@gmail.com](mailto:plries75@gmail.com)>  
**Sent:** Wednesday, June 26, 2024 9:56 AM  
**To:** Robyn Davis <[robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org)>  
**Subject:** RE: THOW on Buckhorn

Hi Robyn,

I just wanted you to know that my husband did see the Campbell watering the spruce trees with a hose. I didn't realize they had done that. I am still quite concerned for their long term survival as there is no mulch around the trees, only bare dirt on their roots. In addition with the work on their house extension, trucks of all sorts have been parked on the roots of these trees at many times since this spring.

Linda

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**From:** Robyn Davis [<mailto:robyn.davis@haileycityhall.org>]  
**Sent:** Tuesday, June 25, 2024 10:46 AM  
**To:** [plries75@gmail.com](mailto:plries75@gmail.com)  
**Cc:** Ashley Dyer  
**Subject:** RE: THOW on Buckhorn

Hi Linda – My apologies. The hearing is scheduled for July 15<sup>th</sup>, not July 1<sup>st</sup>.

Thank you for the update on the trees and landscaping. We will make note of that for the Commission to review.

**Robyn Davis, M.A.**

**Community Development Director**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2015

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**From:** Linda Ries <[plries75@gmail.com](mailto:plries75@gmail.com)>

**Sent:** Tuesday, June 25, 2024 10:37 AM  
**To:** Robyn Davis <[robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org)>  
**Subject:** RE: THOW on Buckhorn

Hi Robyn,

Thanks for the information. Really bummed we will be out of town on July 1<sup>st</sup> and can't make the meeting. I saw in some notes for Hailey P & Z that a hearing was proposed for July 15<sup>th</sup>. Is that an additional hearing? Just as a note, our neighbors, the Campbells, apparently have not been watering the remaining large spruce on their lot and I believe they are already showing stress in the crowns, especially with the high temperatures and winds of recent. If these trees die there will no significant trees left on the property for screening.

Linda

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**From:** Robyn Davis [<mailto:robyn.davis@haileycityhall.org>]  
**Sent:** Tuesday, June 25, 2024 8:54 AM  
**To:** [plries75@gmail.com](mailto:plries75@gmail.com)  
**Subject:** RE: THOW on Buckhorn

Hi Linda,

Thanks for your email. I also hope you've had a lovely summer so far.  
The THOW Application has moved forward for review by our Planning and Zoning Commission. This application will be heard by them on July 1, 2024, here at City Hall at 5:30pm.

Thanks so much!

**Robyn Davis, M.A.**

**Community Development Director**

City of Hailey - 115 South Main Street, Hailey, ID 83333  
(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2015

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**From:** Linda Ries <[plries75@gmail.com](mailto:plries75@gmail.com)>  
**Sent:** Tuesday, June 25, 2024 8:50 AM  
**To:** Robyn Davis <[robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org)>  
**Subject:** THOW on Buckhorn

Hi Robyn,

I hope you stayed cool over the weekend. It has already been pretty toasty for June!

I just was checking in to see what the status is for the THOW application by the Campbell for Buckhorn & Eastridge Dr? We were gone for a while after the comment period had closed and I had

not heard anything yet. Any information you can share would be appreciated.

Linda Ries

**From:** [Paul Ries](#)  
**To:** [planning](#)  
**Subject:** THOW at 810 Buckskin Dr  
**Date:** Thursday, May 30, 2024 11:25:05 AM

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Thank you for the opportunity to comment on the proposal to place a THOW in the front yard at 810 Buckskin Dr.

Had this proposal been presented five years ago, I would not have had any concerns. Five years ago, the area was well maintained and adequate screening was present so that the THOW could have been put in place without affecting the character of our neighborhood.

Unfortunately, things have changed significantly over the past five years. The area has not been maintained or watered. It has turned into a weedbed and a source of blowing dirt and dust for surrounding homes. At the same time, the trees and other vegetation that would have provided screening, and that are shown on the site plan, have almost entirely been removed. Some had died due to the lack of care and water, while others that were still alive and provided screening, were, for whatever reason, taken out last fall. (You can tell which ones were still alive when they were cut, by the pitch on the stumps.) As a result, plopping a THOW on the dirt in the front yard is going to be highly visible and definitely not going to compliment the fabric of the neighborhood – in fact, it will make an existing eyesore even worse.

This is going to be the first THOW to be placed in the neighborhood, and rather than serving as an example of how THOWs can seamlessly add to affordable housing, I fear it will serve as a very visible example (on one of the busiest streets in Deerfield) of how not to integrate ADUs into the fabric our community.

As a result, I urge you to deny this proposal in favor of one that will better meet the intent of the city's ordinance regarding THOWs.

If you do not feel it can be denied, an option would we to placer the unit in the back yard rather than the front. In the back yard it would be better screened from view and less visible to all concerned. If, for some reason, it had to go in the front, I would ask that placement be delayed until vegetation shown on the site plan is firmly established and maintained. This should include the establishment of the proposed “native grasses” as distinguished from the current situation with native (and non-native) weeds, and re-establishing screening vegetation shown on the site plan – not like the trees that have been planted on the site in recent years that promptly died due to a lack of care and water. This property does not have a recent history of caring for vegetation. Recent history has only seen trees and grasses die for lack of care and water.

I would also ask it be stipulated that as a condition of approval, vehicle parking must take

place in the driveway and not on the street. As ADUs are proposed, parking on the property must be a consideration. It should not default to the city ROW. Street parking would violate city code in the winter anyway.

To be direct, this property is an eyesore already and a source of frustration for neighbors. A THOW at this location as proposed, will only make that worse. This is not the example I believe the city is looking for of how we can integrate TROWs to provide affordable housing in a way that complements the fabric of existing neighborhoods. It is, in fact, just the opposite.

Paul Ries



**From:** [Robyn Davis](#)  
**To:** [Ashley Dyer](#)  
**Subject:** FW: Application Concerns  
**Date:** Friday, May 31, 2024 11:16:44 AM

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Please save as public comment. Thanks!

**Robyn Davis, M.A.**

**Community Development Director**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2015

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**From:** Ronile Robinson <roandroy@me.com>

**Sent:** Friday, May 31, 2024 10:59 AM

**To:** jrfugate@cox.net; smsdrs@hotmail.co; sage@bigwoodtinyhomes.com;  
jordanelizabeth.fitzgerald@gmail.com; owenscanlon@msn.com; Robyn Davis  
<robyn.davis@haileycityhall.org>

**Subject:** Application Concerns

**Re: Application for a Tiny Home on Wheels at Buckskin and Eastridge**

I would like to start off my comments by saying that the date on this Notice of Public Comment was dated May 16, 2024. I received it the afternoon of May 23, 2024. This was followed by a 3-day weekend which gives us a very limited time to investigate what this really is and to comment. I totally understand that the Post Office is probably the culprit here but would suggest the timeline on notices be extended to adjust for the problems at the post office.

I was able to go to City Hall on Tuesday morning 5/28. I was told to leave a message for Ashley Dyer which I did. It is now Friday, May 31 and I haven't heard back so my comments are not based on the knowledge of the application that I would have liked to have to make sure I'm discussing the proper things?? That said . . . here are my comments/questions.

1. It appears that looking at the property involved, that the Campbell family has already been assured that placing a THOW on the property is a done deal. The property is being prepared and ready to go. The notice that we received said it is being placed on the northern side of the property. In looking at the property it doesn't seem that this is possible. It would block the front of the residence if placed on the north. If the structure is going to be on the northern portion of the lot would it encroach into the 20 foot setback for the front of the property. If it is to the west or the south with 10 foot setbacks is there enough room for fire

protection? Is my information correct? Is it being placed on the northern side or the western side?

2. I have concerns about safety. Is there adequate fire separation between the existing home and the residence? Where will the driveway to get to this THOW? Will they enter from the primary residence driveway and use that for parking, or will a new driveway be created off of Eastridge? Since we are not allowed to use the city right of way as parking in the front of our homes, I assume they will enter and leave from the primary driveway. Eastridge is a public street and not meant for private permanent parking. Has the owner identified where parking would be other than on the street? Eastridge is one of the busier thoroughfares in east Hailey and I can't imagine having parking, and or, an entrance there. It appears to me that all residences in the city have to provide parking on the property and not on easements.
3. Will there be any oversight as to the landscaping? This property has been well-known in the neighborhood for not watering lawns, letting trees die, creating a bike/motorcycle jump in the city right of way on Eastridge in one of the most unsafe parts of the street: on a hill and a curve. How will the water, sewer and electricity be provided to the THOW so that the landscaping can be maintained properly?
4. I am concerned about the precedent that will be set for other THOW's throughout Deerfield and the city of Hailey. If this is not done properly it will be an eyesore and lower our property value. For those of you that know me, you know that I am completely in favor of tiny homes and creating more living space for our community. I am not a NIMBY. I am just concerned that this is not the right location for a THOW.
5. How many people will be allowed to live in this small space? It is my understanding that THOW's were allowed in order relieve the housing shortage, but not to take advantage of people that are without housing.

Thank you for reading and considering my concerns.

Ronile Robinson  
321 Eastridge/310 Apache Dr.  
Hailey

**From:** [Marshall Rule](#)  
**To:** [planning](#)  
**Subject:** PUBLIC COMMENT ON PROPOSED ADU CITY OF HAILEY 810 BUCKSKIN  
**Date:** Friday, May 31, 2024 9:13:06 AM  
**Attachments:** [Outlook-hxdtu2w2.png](#)

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I appreciate the opportunity to provide public comment on the Tiny Home on Wheels Application submitted for 810 Buckskin Drive.

As the property owner of 421 Deertrail Drive, I received a notice dated May 16th, 2024 inviting me to comment on the application for a Tiny Home on Wheels (THOW) submitted by Deanna and Brady Campbell of 810 Buckskin Drive.

**I strenuously object to the approval of this application.**

Tiny Homes on Wheels are not permitted per the Deerfield CC&Rs.

My wife and I have been in contact with the Planning and Zoning Staff (who have been excellent and professional throughout this process).

We understand that the Planning and Zoning Board does not evaluate CC&Rs when approving or denying applications. However, we were also told the following via email:

*"We appreciate the C.C.&Rs that are in place for the Deerfield Subdivision; however, enforcement of these C.C.&Rs is outside and beyond the City's authority. It is the property owner's responsibility to understand the [C.C.Rs](#) that are in place for the subdivision and follow accordingly. Again, the City has no authority to override, regulate, or amend the [C.C.Rs](#) of a subdivision. All matters pertinent to the [C.C.Rs](#) are regulated by active HOA Boards, and property owners within the subdivision."*

As the city has **"no authority to override"** CC&Rs, this application should be denied now that it is aware that the CC&Rs do not allow this.

Additionally, at no place in the application is there a note to an applicant that it is their responsibility to understand the CC&Rs that are in place for the subdivision and they should follow accordingly. I believe that is an oversight that should be rectified by the Planning and Zoning Board, as it is imperative for the City of Hailey to help applicants understand this information, which could be done with a simple line at the bottom of the initial application. The City is potentially costing applicants thousands of dollars in not advising owner-builders that they may have to comply with CC&Rs.

Not only that, but the City is pitting neighbor against neighbor to enforce CC&Rs. While I understand the City's desire to stay out of CC&Rs, I believe it is not acting in good faith to protect all homeowners and citizens.

In this particular application, the guidelines set forth in Hailey Code 17.06.090 state:

**"Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function."**

**"Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical."**

The proposed location of this particular THOW is placed in the front of the yard goes against these guidelines, as it will be blocking the view of the house and there is plenty of space elsewhere on the property for the THOW. It also does not fit with the aesthetic of the other houses in the neighborhood, nor does it match the aesthetic of the house located on the property.

For these reasons, I ask that this application be denied and changes are made to the application process.

Thank you for your time and consideration on this matter.

Marshall Rule

Partner

**MAYHEM**

DIGITAL MARKETING

208.695.4925

PO Box 4472 | Ketchum, ID 83340

**From:** [Robyn Davis](#)  
**To:** [Mike Smith](#)  
**Cc:** [Ashley Dyer](#)  
**Subject:** RE: Public Notice\_810 Buckskin Drive  
**Date:** Monday, June 3, 2024 8:15:26 AM  
**Attachments:** [image001.png](#)

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Hi Mike,

Thank you for your comments. Ashley is out today; however, we will save this to the file and be sure the Commission reads it.

Typically, THOW Applications do not move forward for review by our PZ Commission; however, this one will.

A tentative hearing date for this item is scheduled for July 1, 2024.

Also, please see my responses in red below.

Thanks so much! Have a nice day.

**Robyn Davis, M.A.**

**Community Development Director**

City of Hailey - 115 South Main Street, Hailey, ID 83333

(e) [robyn.davis@haileycityhall.org](mailto:robyn.davis@haileycityhall.org) (p) 208.788.9815 Ext. 2015

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**From:** Mike Smith <[msmith@rlb-sv.com](mailto:msmith@rlb-sv.com)>

**Sent:** Friday, May 31, 2024 12:45 PM

**To:** Ashley Dyer <[ashley.dyer@haileycityhall.org](mailto:ashley.dyer@haileycityhall.org)>; planning <[planning@haileycityhall.org](mailto:planning@haileycityhall.org)>

**Subject:** RE: Public Notice\_810 Buckskin Drive

Hi Ashley,

Please see my comments below.

1. Site Plan does not reflect the living room addition currently being constructed on the property. City Staff and plan review should verify that building separations per 2018 IRC Table 302.1(1) will be provided upon placement of the THOW and that required outdoor space is sufficient to meet City of Hailey requirements. **The addition was approved prior to the application submittal for the THOW. The THOW Application is still under review, and separation distances will be noted. As mentioned earlier in my email, this item will also be heard by our PZ Commission. They too will review these items for compliance.**
2. The mature spruce trees near the intersection (in ROW) make navigating this intersection tricky at times. Is there any opportunity for the City to review site triangle conformance and prune trees to provide better safety for pedestrians and cyclists during this process? **The Applicant has been working with the City to improve this area, both for better pedestrian and vehicular safety. We will continue to refine the ROW landscaping to meet the needs of the public.**

3. The combined area of the THOW and the living room addition currently being constructed appear to be near or exceeding the 500 SF limit for waiver of street improvements. Has this been reviewed by the City and requirements waived? The ROW improvements shown do not appear to be consistent with City of Hailey street design standards for sidewalks, landscaping and drainage. **See question #2. This will be reviewed closely by Staff and the Commission prior to an approval.**



MICHAEL SMITH, AIA  
Project Architect  
Office: 208.726.5608  
PO Box 5619 Ketchum, ID 83340  
[www.rlb-sv.com](http://www.rlb-sv.com)

---

**From:** Ashley Dyer <[ashley.dyer@haileycityhall.org](mailto:ashley.dyer@haileycityhall.org)>  
**Sent:** Tuesday, May 28, 2024 10:45 AM  
**To:** Mike Smith <[msmith@rlb-sv.com](mailto:msmith@rlb-sv.com)>; planning <[planning@haileycityhall.org](mailto:planning@haileycityhall.org)>  
**Subject:** RE: Public Notice\_810 Buckskin Drive

Hi Mike,

Please see the attached plans and documents for the proposed Tiny Home on Wheels located at 810 Buckskin Drive. I also attached our city code requirements for the Tiny Home or ADU's for your review as well. Please let me know if you have any questions once you have time to review the attached information and have a nice day.

[https://codelibrary.amlegal.com/codes/haileyid/latest/hailey\\_id/0-0-0-15029](https://codelibrary.amlegal.com/codes/haileyid/latest/hailey_id/0-0-0-15029)

Thank you,  
*Ashley Dyer*  
City Planner, Community Development  
City of Hailey Idaho  
208-788-9815 x2019  
[ashley.dyer@cityhall.org](mailto:ashley.dyer@cityhall.org)

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**From:** Mike Smith <[msmith@rlb-sv.com](mailto:msmith@rlb-sv.com)>  
**Sent:** Tuesday, May 28, 2024 8:25 AM  
**To:** planning <[planning@haileycityhall.org](mailto:planning@haileycityhall.org)>  
**Subject:** Public Notice\_810 Buckskin Drive

Hello,

I received a public notice for an ADU (THOW) at 810 Buckskin Drive.

I'd like to request a copy of the full size design review drawings submitted for this application so that I may review and provide more informed comment if needed prior to the deadline on May 31<sup>st</sup>. Please send me PDF's at your earliest convenience.

Thank you.

**MICHAEL SMITH, AIA**  
Project Architect  
Office: 208.726.5608  
PO Box 5619 Ketchum, ID 83340  
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[<image001.png>](#)

**From:** [Mike Smith](#)  
**To:** [planning](#)  
**Subject:** Public Notice\_810 Buckskin Drive  
**Date:** Tuesday, May 28, 2024 8:25:36 AM  
**Attachments:** [image001.png](#)

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[www.rlb-sv.com](http://www.rlb-sv.com)



**From:** [Mike Smith](#)  
**To:** [Ashley Dyer](#); [planning](#)  
**Subject:** RE: Public Notice\_810 Buckskin Drive  
**Date:** Friday, May 31, 2024 12:45:05 PM  
**Attachments:** [image001.png](#)

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Hi Ashley,

Please see my comments below.

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**Sent:** Tuesday, May 28, 2024 10:45 AM  
**To:** Mike Smith <[msmith@rlb-sv.com](mailto:msmith@rlb-sv.com)>; [planning](#) <[planning@haileycityhall.org](mailto:planning@haileycityhall.org)>  
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Thank you,  
*Ashley Dyer*

City Planner, Community Development  
City of Hailey Idaho  
208-788-9815 x2019  
[ashley.dyer@cityhall.org](mailto:ashley.dyer@cityhall.org)

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**From:** Mike Smith <[msmith@rlb-sv.com](mailto:msmith@rlb-sv.com)>  
**Sent:** Tuesday, May 28, 2024 8:25 AM  
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Thank you.

<[image001.png](#)>

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Project Architect  
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PO Box 5619 Ketchum, ID 83340  
[www.rlb-sv.com](http://www.rlb-sv.com)

June 17, 2024

City of Hailey Planning & Zoning Committee  
Hailey, Idaho

Dear Planning & Zoning Committee:

I have several questions concerning the THOW application submitted by Brady & Deanne Campbell for their property located at 810 Buckskin Drive, Hailey, Idaho. If we can get answers to some of these questions prior to the public meeting scheduled for July 15, 2024, I will not need to ask them during the public comment period of the meeting.

1. Is an Accessory Dwelling Unit (ADU) and a Tiny Home On Wheels (THOW) classified as the same unit? Is a THOW an ADU? In my research, they are classified as different and you list them separately in Article D of the rules and regulations for ADU and THOW. An ADU is a permanent fixture with foundations and is part of the land once it is built. A THOW is a movable unit that is on wheels and can be towed away like a travel trailer or house trailer.
2. Can the Hailey Planning & Zoning Committee modify the CCR's of the Deerfield Subdivision? Section 6 of the Deerfield CCR's stipulates no structure of temporary character, house trailer, tent or shack shall be erected, placed upon or used on any lot at any time. Can the P&Z change this Deerfield CCR rule? Does the March 13, 2021 ordinance 1320, 2023 and ordinance 1275, 2021 supersede the Deerfield CCR's?
3. There is a THOW located on Eureka Drive in Hailey and we were told to look at this THOW as an example of what would be installed on 810 Buckskin Drive. Based on the rules of Article D – Accessory Dwelling Units and Tiny Homes On Wheels, this unit is violating several of the rules such as skirting and being anchored to the ground. There is no skirting on the unit and the trailer jacks are sitting on blocks of wood and not anchored to the ground. Does the THOW located on Eureka Drive fall under the rules of this ordinance?
4. Article D stipulates that the THOW will be inspected and monitored by the National Organization Of Alternative Housing (NOAH). Where is the NOAH located and how often do they inspect the THOW? Does the City of Hailey monitor and inspect to assure that the rules of Article D are followed?
5. Is there a time frame for completing the landscape, pavers, awnings, etc. to make sure the THOW is following the Livability Section 17.08D.070 of Article D? Mr. Campbell has mentioned to me that the project will be done in stages and might take several years to complete once they begin receiving rental income.
6. Who will be enforcing the rules to make sure the project is completed and enhances the neighborhood rather than continuing to be an eyesore for our community?

7. We have been told by Mr. Campbell that Sage Sauerbrey (the manufacturer of this Tiny Home On Wheels) will be making a presentation during this meeting in support of the installation of this THOW. It is my understanding that Mr. Sauerbrey has recused himself from voting on this proposal due to a conflict of interest. Is it proper and normal for a member of the committee to make a presentation either in support or against a proposal that is placed in front of the committee for review and approval?

Thank you and I look forward to having these answers so I can make a legitimate presentation to the committee and not waste time during the public review of this proposal.

Michael Wilkinson  
351 Deertrail Drive  
Hailey, Idaho 83333  
(208) 863-8195  
[mike@wilkinsonenterprise.com](mailto:mike@wilkinsonenterprise.com)  
[mwilki1661@msn.com](mailto:mwilki1661@msn.com)

**Return to Agenda**