

**AGENDA**  
**HAILEY PLANNING & ZONING COMMISSION**  
**Monday, July 19, 2021**  
**In-Person and Virtual Meeting**  
**5:30 p.m.**

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

**Call to Order**

**Public Comment for items not on the agenda**

**Consent Agenda**

**CA 1** Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application for The Sage School at Quigley Farms, represented by Chip Maguire, for a new school consisting of a two-story barn, 8,779 square feet in size, three (3) classroom studios each 1,344 square feet and three (3) modular classroom units each 1,440 square feet, associated parking and open space, to be located at Lot 2, Block 15, Quigley Farm Subdivision, within the General Residential (GR) and Peri-Urban Agriculture Zoning Districts. **ACTION ITEM.**

**CA 2** Adoption of Meeting Minutes dated May 3, 2021. **ACTION ITEM.**

**Public Hearing**

**PH 1** Consideration of a Preliminary Plat Application by Old Cutters Inc., represented by Galena Engineering, wherein Lot 3, Block 11, Old Cutters Subdivision (1120 E. Myrtle Street) is subdivided into two (2) sublots, Sublot 1 is 7,845 square feet in size, and Sublot 2 is 7,721 square feet in size. This project is located within the General Residential (GR) Zoning District. This project is known as Starlight Serenade Subdivision. **ACTION ITEM.**

**PH 2** Consideration of a Preliminary Plat Application by Oscar Hildago, represented by Alpine Enterprises Inc., wherein Sonitalena Cottages Future Sublots is subdivided into two (2) sublots, Sublot 1 is 8,528 square feet in size, and Sublot 2 is 8,527 square feet in size. This project is located within the General Residential (GR) Zoning District. This project is known as Old Cutters Townhomes. **ACTION ITEM.**

**PH 3** Consideration of a Preliminary Plat Application by Old Cutters Inc., represented by Galena Engineering, wherein Lot 15, Block 6, Old Cutters Subdivision (611 Little Lena Dr.) is subdivided into two (2) sublots, Sublot 1 is 5,008 square feet in size, and Sublot 2 is 5,007 square feet in size. This project is located within the General Residential (GR) Zoning District. This project is known as Poco Lena Subdivision. **ACTION ITEM.**

**PH 4** Consideration of a Design Review Application by Kilgore Properties, LLC, for construction of Sweetwater Townhomes to be located at Block 5, Sweetwater P.U.D. Subdivision. This project consists of fourteen (14), three-story townhomes (28 units in total). Each unit is



1,830 square feet and the project will consist of two (2) phases of development. This property is subject to a P.U.D. Development Agreement dated January 10, 2005 and Amendments to the Development Agreement dated December 12, 2009, December 20, 2010 and November 6, 2012. **ACTION ITEM.**

#### **Staff Reports and Discussion**

**SR 1** Discussion of current building activity, upcoming projects, and zoning code changes.

**SR 2** Discussion of the next Planning and Zoning meeting: **August 2, 2021**

- DIF Comp Plan Amendment
- DR: L.L. Greens
- Rezone: 910 N Main



**Return to Agenda**



## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 21, 2021, the Hailey Planning and Zoning Commission considered and approved the Design Review Application for The Sage School at Quigley Farms, represented by Chip Maguire, for a new school consisting of a two-story barn, 8,779 square feet in size, three (3) classroom studios each 1,344 square feet and three (3) modular classroom units each 1,440 square feet, associated parking and open space, to be located at Lot 2, Block 15, Quigley Farm Subdivision, within the General Residential (GR) and Peri-Urban Agriculture (PA) Zoning Districts.

### FINDINGS OF FACT

**Notice:** Notice for the June 21, 2021 public hearing was published in the Idaho Mountain Express on June 2, 2021 and mailed to property owners within 300 feet on June 1, 2021.

**Application:** A Design Review Application to construct a new school, known as The Sage School, was submitted by Quigley Farms & Conservation Community, LLC. The Applicant requested approval to construct a new school consisting of a two-story barn, 8,779 square feet in size, three (3) classroom studios each 1,344 square feet, and three (3) modular classroom units each 1,440 square feet.

The Sage School currently resides at 1451 Aviation Drive (Lot 2, Block 4, Airport West Subdivision #2). Upon approval of the Design Review Application, the Applicant intends to construct a new school in the Quigley Farms Subdivision, where sustainable practices and community development opportunities can be maximized under the Peri-Urban Agriculture (PA) Overlay.

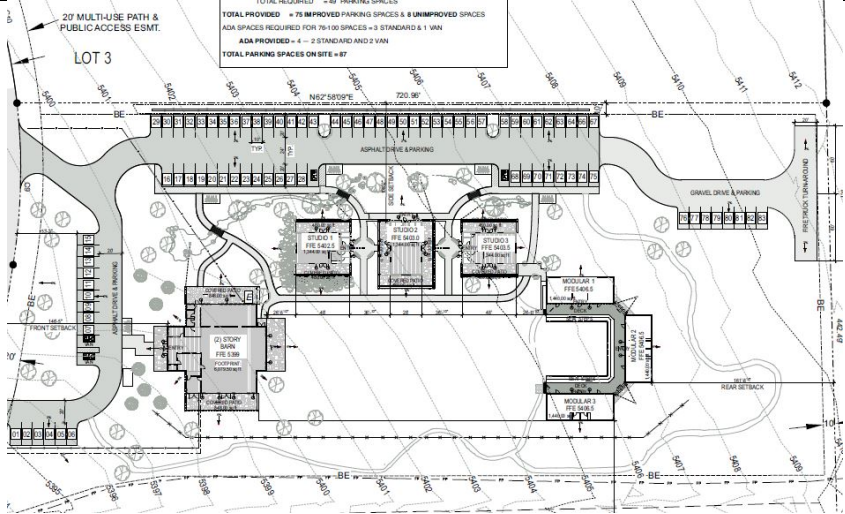
**Procedural History:** The Design Review Application was submitted on May 19, 2021 and certified complete on May 24, 2021. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on June 21, 2021, in the Hailey City Council Chambers, and virtually via GoTo Meeting.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<p><b>Engineering:</b> <i>The Public Works Department recommended the following be added and/or resolved:</i></p> <ul style="list-style-type: none"> <li>- <i>Civil Drawings, which includes grading, drainage and water and wastewater connections, will be reviewed prior to issuance of a Building Permit.</i></li> </ul>
				<b>Life/Safety:</b> <i>No comments</i>
				<p><b>Water and Sewer:</b> <i>The Water Division recommended that the following be added and/or resolved:</i></p> <ul style="list-style-type: none"> <li>- <i>Water connections and services shall be shown on the Civil drawings.</i></li> </ul> <p><i>The Wastewater Division recommended that the following be added and/or resolved:</i></p>



				<ul style="list-style-type: none"> <li>- A grease interceptor shall be installed and maintained by the school.</li> <li>- Sewer and water connections and services shall be shown on the Civil drawings.</li> </ul>
				<b>Building:</b> No comments
				<b>Landscaping:</b> No comments
				<b>Streets:</b> No comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	<b>17.08A Signs:</b> The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<b>Staff Comments</b>	Signs have not yet been submitted, but will conform to City Standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			<b>Staff Comments</b>	<p>The Hailey Municipal Code requires the following parking spaces for high schools: one (1) improved onsite space for every four (4) students and one (1) improved onsite space for each teacher and employee, or one (1) improved or unimproved onsite or offsite space for every six (6) seats (middle school) or eight (8) seats (high school) of the largest assembly area on the school site.</p> <p>The proposed Barn has an assembly space of 3,109 square feet. The Applicant has chosen to utilize the parking requirements for middle schools with assembly areas, as this ratio is more restrictive than the parking requirements for high schools with assembly areas: one (1) improved or unimproved onsite or offsite space for every six (6) seats.</p> <p>The site plan shows a total of 75 improved parking spaces and eight (8) unimproved parking spaces, each space is located onsite, off of Quigley Farm Road.</p> <ul style="list-style-type: none"> <li>- Teachers/Employees: 15</li> <li>- Assembly Area: 3,109 square feet / 15 = 207 seats</li> <li>- Seats / 6 (seats for middle school) or 207 / 6 = 34</li> <li>- Total parking spaces required: 34 + 15 = 49 parking spaces</li> </ul> <p>Additionally, pursuant the IBC 2018 ANSI A117.1, for 76-100 parking spaces, four (4) accessible spaces are required (3 standard and 1 van). The Applicant is proposing a total of four (4) accessible spaces: two (2) standard and two (2) van.</p> <p>The total number of onsite parking spaces proposed, which includes accessible spaces, is 87 spaces, which is compliant with the Hailey Municipal Code and IBC.</p>



			 <p>The site does not currently delineate any area for bus or school van parking. This should be delineated on the plans, in the event that it be added in the future. Any plans for bus use must be pull-through or otherwise be designed so that no morning bus backup is needed.</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.09.040.06: EXCESS OF PERMITTED PARKING:</b></p> <p><b>A. Approval Required:</b> No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p> <p>The parking requested above City Standard is not in excess of 200%. 87 spaces are proposed; 49 spaces are required.</p> <p>The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08C.040 Outdoor Lighting Standards</b></p> <p><b>17.08C.040 General Standards</b></p> <ol style="list-style-type: none"> <li>All exterior lighting shall be designed, located and lamped in order to prevent:                     <ol style="list-style-type: none"> <li>Overlighting;</li> <li>Energy waste;</li> <li>Glare;</li> <li>Light Trespass;</li> <li>Skyglow.</li> </ol> </li> <li>All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> </ol>



				<p><b>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</b></p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing a variety of light fixtures, which are Dark Sky compliant. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Bulk Requirements</b>	<p><b>Zoning District: General Residential and Peri-Urban Agriculture Overlay</b>  <b>Maximum Height: 35'</b>  <b>Required Setbacks:</b></p> <ul style="list-style-type: none"> <li>• <b>Front Yard: 20'</b></li> <li>• <b>Side Yards: 10'</b></li> <li>• <b>Rear Yard: 10'</b></li> </ul> <p><b>Maximum Lot Coverage: 40%</b></p>
			<i>Staff Comments</i>	<p><i>Proposed Height: 34'-7"</i></p> <p><i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> <li>• <i>Front Yard: 146'-5"</i></li> <li>• <i>Side Yard (north): 105'-2"</i></li> <li>• <i>Side Yard (south): 175'-3"</i></li> <li>• <i>Rear Yard: 161'-8 ½"</i></li> </ul> <p><i>Proposed Lot Coverage:</i></p> <ul style="list-style-type: none"> <li>• <i>14,431.5 square feet (proposed footprint) / 353,773 square feet (lot area) = 4%</i></li> </ul> <p><i>The proposed project complies with height and setback requirements of the Hailey Municipal Code. Note that a survey establishing record grade will be required at the time of Building Permit, since the proposed height is within two (2) feet of the maximum permitted building height, and in fact only allows for five inches (5") of error.</i></p> <p><i>The Commission found that this standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.070(A)1 Street Improvements Required</b>	<p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p>
			<i>Staff Comments</i>	<p><i>Vehicular traffic has been designed to circulate the perimeter of the property. By doing so, the site allows for safer pedestrian access. Sidewalks and trails come from each of the parking areas and are routed directly to the proposed buildings, as well as within the property. A six-foot (6') wide sidewalk is proposed along the southern edge of the parking area that is along the northern property line. This sidewalk connects to a six-foot (6') wide gravel trail system that meanders throughout the site.</i></p> <p><i>The multi-use path within the 20' easement adjacent to Quigley Farms Road that was required of the Quigley Farm development and related landscaping should be shown on the plans. The Commission discussed whether this path must be constructed and connected to Fox Acres Road prior to any issuance of a Certificate of Occupancy to ensure that students are able to arrive to the school on foot and by bicycle safely. The Applicant noted that the construction of the path is the responsibility of the Developer of Quigley Farms Subdivision, and not the Applicant's responsibility. The Commission suggested that the</i></p>



				<p><i>Applicant coordinate the sidewalk and/or pathway installation with the Developer, to ensure the safety of those students traveling on foot or by bicycle.</i></p> <p><i>Grading and drainage will be reviewed at final design.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			Staff Comments	<p>N/A, as this site is not in Townsite Overlay. The Commission found that this standard has been met.</p>

### Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

#### 1. Site Planning: 17.06.080(A)1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p>
			Staff Comments	<p>The proposed buildings are oriented around the south, creating a courtyard to maximize to the greatest extent possible, sun exposure in exterior spaces. The Commission found that this standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			Staff Comments	<p>N/A, as the site does not contain any existing mature landscaping. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			Staff Comments	<p>Vehicular traffic has been designed to circulate the perimeter of the property. By doing so, the site allows for safer pedestrian access. Sidewalks and trails come from each of the parking areas and are routed directly to the proposed buildings, as well as within the property. A six-foot (6') wide sidewalk is proposed along the southern edge of the parking area that is along the northern property line. This sidewalk connects to a six-foot (6') wide gravel trail system that meanders throughout the site.</p> <p>The multi-use path within the 20' easement adjacent to Quigley Farms Road that was required of the Quigley Farm development and related landscaping should be shown on the plans. The Commission discussed whether this path must be constructed and connected to Fox Acres Road prior to any issuance of a</p>



				<p><i>Certificate of Occupancy to ensure that students are able to arrive to the school on foot and by bicycle safely. The Applicant noted that the construction of the path is the responsibility of the Developer of Quigley Farms Subdivision, and not the Applicant's responsibility. The Commission suggested that the Applicant coordinate the sidewalk and/or pathway installation with the Developer, to ensure the safety of those students traveling on foot or by bicycle.</i></p> <p><i>Mountain Rides Transportation Authority (MRTA) also reviewed the plan set and noted that no additional transit stops would be needed at this time. To best facilitate safe site circulation, MRTA would utilize the drive aisle adjacent to the primary entrance to the Barn.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p><b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b></p>
			<i>Staff Comments</i>	<p><i>All building services will be accessed via the north drive and to the rear of the property. All utilities, trash and mechanical equipment will be enclosed by the same exterior materials as the proposed buildings. The Applicant shall provide a letter from Clear Creek Disposal as to the accessibility of the enclosure. This has been made a Condition of Approval. See also previous comments about bus turnaround and backup noise.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<p><b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b></p>
			<i>Staff Comments</i>	<p><i>N/A, as this block does not contain a platted alley. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1f	<p><b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b></p>
			<i>Staff Comments</i>	<p><i>No vending machines will be located on the exterior of the building. This has been added as a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p><b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b></p> <p><b>i. Parking areas located within the SCl zoning district may be located at the side or rear of the building.</b></p> <p><b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b></p>
			<i>Staff Comments</i>	<p><i>This parcel is zoned General Residential (GR) and Peri-Urban Agriculture (PA). The majority of the onsite parking is located in a large parking lot to the north and east sides of the site, and to the rear of the proposed buildings. Some parking is located at the front of the building and will be buffered by landscaping. Four (4) accessible spaces are also located onsite: two (2) are located at the front of the building and two (2) are located within the parking area to the north of the buildings.</i></p>



				<p><i>Additionally, there are two (2) access points off of Quigley Farm Road, which will allow for a fluid and continuous flow of traffic in and out of the school. This will accommodate the early morning drop offs and after school pick ups in an efficient manner.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.02	<p><b>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</b></p> <p>a. Requirements: One loading space shall be provided for any single retail, wholesale or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12'.</p>
			<i>Staff Comments</i>	<i>N/A. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.09A(3)	<p><b>Screening and Landscaping:</b></p> <p>A. Screening from Residential Property:</p> <p>3. Such a fence or wall shall not be less than four (4') feet nor more than six (6') feet in height and shall be maintained in good condition. The space between such fence or wall and the lot line of the adjoining premises in any residential district shall be landscaped with drought tolerant landscaping and maintained in good condition.</p>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.09B	<p>B. When Buffer Required: When a project is being reviewed pursuant to Chapter 17.06 of this title, and an existing onsite parking area is located adjacent to a sidewalk, a landscape buffer is required between the surface of the parking area and the sidewalk.</p>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<p>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</p>
			<i>Staff Comments</i>	<p><i>This block does not contain a platted alley. The front entrance is accessed via two (2) access points off of Quigley Farm Road, which will allow for a fluid and continuous flow of traffic in and out of the school. This will accommodate the early morning drop offs and after school pick-ups in an efficient manner.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</p>
			<i>Staff Comments</i>	<i>Snow storage is calculated as follows:</i>



				<div style="border: 1px solid black; padding: 5px;"> <p><b><u>SNOW STORAGE TABULATION:</u></b>              HAILEY ZONING ORDINANCE 532-AMENDED BY ORDINANCE 1087</p> <p><b>6A.2 DESIGN STANDARDS:</b></p> <p><b>J. SNOW STORAGE AREAS SHALL NOT BE LESS THAN 25% OF IMPROVED PARKING AND VEHICLE AND PEDESTRIAN CIRCULATION AREAS.</b></p> <p><b><u>CIRCULATION WITHIN ACCESS + PARKING + PEDESTRIAN AREAS:</u></b>              ROADWAYS &amp; PARKING (ASPHALT &amp; GRAVEL) = 43,770 SQ. FT.              PEDESTRIAN AREAS (WALKWAYS &amp; OPEN PATIOS) = 4,105 SQ. FT.              TOTAL (SURFACES REQUIRING SNOW REMOVAL) = 47,875 SQ. FT.              SNOW STORAGE REQUIRED: 47,875 SQ. FT. X 25% = 11,969 SQ. FT.              SNOW STORAGE PROVIDED: = 10,710 SQ. FT.</p> </div> <p><i>The Commission found that the snow storage areas are practical and are located in areas that appear to be accessible to all types of snow removal vehicles and methods. The Commission recommended that snow storage shall be relocated out of the area designated for the trash enclosure.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p><b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b></p> <p><i>Staff Comments</i> Please refer to the table above. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p><b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b></p> <p><i>Staff Comments</i> Snow storage areas vary in width, and they appear to meet all requirements. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<p><b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b></p> <p><i>Staff Comments</i> Snow is not proposed to be hauled. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p><b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b></p> <p><i>Staff Comments</i> Snow storage areas do not impede parking areas, nor vehicular and pedestrian circulation of the site. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p><b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b></p> <p><i>Staff Comments</i> Snow storage areas contain shrubs, native grasses and other low-lying plants. The Commission found that this standard has been met.</p>

## 2. Building Design: 17.06.080(A)2, items (a) thru (m)

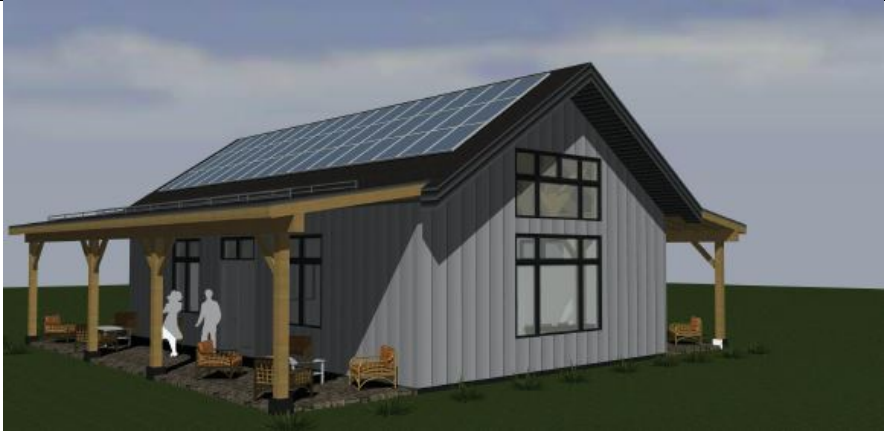

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p><b>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</b></p> <p><i>Staff Comments</i> The proposed buildings have been designed as a campus-style layout, which keeps the scale down in size and mass. By separating the building into seven (7) buildings, the mass of the school is broken up and reduced. The school better responds to the human scale. The rooflines are that of traditional farm-style</p>



				<p><i>buildings, and he shapes and slopes match that of old barns or farm outbuildings. Each building is complementary to the others.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	<p><b>b. Standardized corporate building designs are prohibited.</b></p> <p><i>Staff Comments</i> N/A, as the proposed building design is not a standardized corporate building design. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p><b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</b></p> <p><i>Staff Comments</i> The majority of the school is single-level. There are large covered porches on the buildings to allow for the areas to be utilized for meetings and outdoor classrooms. The Barn has an entry and rear patio space to help break up the mass of the building, and encourage human interaction.</p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p><b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b></p> <p><i>Staff Comments</i> The front façade and front entry of the building faces Quigley Farm Road. The front façade and form of the Barn is broken up by the two (2) different rooflines, and incorporates large sliding barn doors (non-operable) and glass front to invite pedestrians and natural light in. The combination of glass, sliding doors, and roofline emphasizes the front entrance to the school. The exterior materials and colors of the buildings are complementary to that of Hailey. The Barn utilizes natural shiplap siding, fir siding and timber frames. The studios will either see gray Board and Batt siding, or red Board and Batt siding, and timber frames.</p>





				  <p><i>The modular buildings (three in total) will be relocated from the current site on Aviation Drive to this parcel. The colors and design of the buildings will remain as is.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2e	<p><b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b></p> <p><i>Staff Comments</i> While no second phase has been submitted, Staff has been in discussions with the Applicant about the tremendous need for workforce housing. The 8-acre site can easily accommodate some staff housing. Though not required via a Condition of Approval, the Commission suggested that the Applicant consider a future commitment to housing.</p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p><b>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</b></p> <p><i>Staff Comments</i> A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p><b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b></p> <p><i>Staff Comments</i> Building colors are shown on the elevations. Colors are broken on various elements to help break up mass and interest between the buildings. Please refer</p>



				<i>to Section 17.06.080(A)2d above for further detail. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			<i>Staff Comments</i>	<i>N/A, as none of the buildings proposed to be constructed and/or relocated onsite incorporate a flat roof. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> <li>i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</li> <li>ii. South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii. Double glazed windows.</li> <li>iv. Windows with Low Emissivity glazing.</li> <li>v. Earth berming against exterior walls</li> <li>vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li>vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul>
			<i>Staff Comments</i>	<p><i>The Applicant has stated that they plan to minimize energy consumption by incorporating/utilizing the following:</i></p> <ul style="list-style-type: none"> <li>- <i>Solar Orientation: the long wall planes are oriented to the south</i></li> <li>- <i>Double Glazed Windows with a U-value under .28</i></li> <li>- <i>Low Emissivity Glazing</i></li> <li>- <i>The mechanical system will be a high-efficient heat pump and solar panels will be installed to offset the energy required to operate the school.</i></li> <li>- <i>The frame and walls of the school are timber and SIPs will be utilized. This allows for maximum R-value in the walls and eliminate thermal bridging.</i></li> </ul> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			<i>Staff Comments</i>	<i>There will be roof coverings and low-sloped asphalt pitches, along with snow clips, to mitigate the shedding of snow onto pedestrian areas. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	<i>Downspouts will be installed where necessary. More detailed drawings will be required as part of the Building Permit Application. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent



				<b>with the colors, material and architectural design used on the principal building(s).</b>
			<i>Staff Comments</i>	<i>N/A, as no drive-through canopies are proposed. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<b>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</b>
			<i>Staff Comments</i>	<i>N/A, as a Master Signage Plan is not required of a single-tenant building. The Commission found that this standard has been met.</i>

### 3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3a	<b>a. Accessory structures shall be designed to be compatible with the principal building(s).</b>
			<i>Staff Comments</i>	<i>The three (3) modular classroom units complement and support the additional buildings onsite. Each building will be positioned to the rear of the site. They are smaller in scale and lower in height, and the exterior materials used resembles the farm-like theme that the design is after. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3b	<b>b. Accessory structures shall be located at the rear of the property.</b>
			<i>Staff Comments</i>	<i>The three (3) modular classroom units will be located at the rear of the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	<b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b>
			<i>Staff Comments</i>	<i>N/A, as no walls and/or fences are proposed at this time. Fences may be needed on the east side depending on the location of any bus facility. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>
			<i>Staff Comments</i>	<i>N/A, as no walls and/or fences are proposed as this time. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>
			<i>Staff Comments</i>	<i>It appears that there will be no roof projections; however, any and all roof-mounted mechanical equipment shall be screened and not visible from the ground level onsite parking areas and adjacent streets and properties. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3f	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b>
			<i>Staff Comments</i>	<i>Solar panels are proposed to be installed on the south side of the Barn. These panels have been incorporated into the building's design and do not detract from the building/surroundings. The Commission found that this standard has been met.</i>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>Ground-mounted mechanical equipment is not anticipated for the proposed buildings. All service lines into the property shall be installed underground and no service equipment shall be placed on utility poles. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	<b>h. All service lines into the subject property shall be installed underground</b>
			<i>Staff Comments</i>	<i>All service lines shall be installed underground. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	<b>i. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	<i>N/A, as no appurtenances are proposed. The Commission found that this standard has been met.</i>

#### 4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>
			<i>Staff Comments</i>	<i>Plant materials will be appropriate for the environment, and are so noted in the notes on sheet L 2.0. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<b>b. All plant species shall be hardy to the Zone 4 environment.</b>
			<i>Staff Comments</i>	<i>The Landscape Architect for the Applicant has confirmed that all proposed plant materials will be hardy to Zone 4. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b>
			<i>Staff Comments</i>	<i>Irrigation Notes can be found on Sheet L 2.0. These notes specify the following:</i> <ul style="list-style-type: none"> <li>- All disturbed areas will be irrigated with underground automatic sprinkler system.</li> <li>- Spray and drip zones will be determined onsite by water flow and pressure, as well as vegetation requirements.</li> <li>- All turf areas to be zoned separate from natural grass areas and other vegetation types.</li> <li>- All flower containers or planter boxes will have separate zones for drip irrigation.</li> <li>- Any existing irrigation to be maintained throughout construction.</li> </ul>



				<ul style="list-style-type: none"> <li>- A new garden beds, trees and shrubs to be drip irrigated.</li> <li>- Onsite weather monitoring stations will be connected to an automated irrigation clock with an evapotranspiration module.</li> </ul> <p><i>Further review of the Irrigation Plan will take place at final design. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<p><b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</b></p>
			<i>Staff Comments</i>	<p><i>The proposed Landscaping Plan incorporates a combination of trees, shrubs and grasses. The Plant Material List for the project includes the following trees:</i></p> <ul style="list-style-type: none"> <li>- 5 Western Red Birch at 14'-16' multi-stem</li> <li>- 8 Common Hackberry at 3" caliper</li> <li>- 7 Golden Colonnade Ginkgo at 2.5" caliper</li> <li>- 5 Kentucky Coffee Tree at 4" caliper</li> <li>- 5 Autumn Treasure Hophornbeam at 3" caliper</li> <li>- 2 Common Chokecherry at 10'-12'</li> <li>- 5 Burr Oak at 3" caliper</li> <li>- 6 Cardinal Royal Mountain Ash at 3" caliper</li> <li>- 3 New Horizon Elm at 3" caliper</li> </ul> <p><i>The Plant Material List for the project includes the following groundcovers and low shrubs:</i></p> <ul style="list-style-type: none"> <li>- 15 Calgary Carpet Juniper at 5 gallons</li> <li>- 11 Oregon Grape Holly at 5 gallons</li> <li>- 12 Creeping Grape Holly at 5 gallons</li> <li>- 39 Shrubby Cinquefoil at 5 gallons</li> <li>- 36 Pawnee Buttes Creeping Cherry at 5 gallons</li> <li>- 54 Gro-Low Fragrant Sumac at 5 gallons</li> <li>- 25 Pixwell &amp; Hinnonmiaki Gooseberry at 5 gallons</li> </ul> <p><i>The Plant Material List for the project includes the following grasses and perennials:</i></p> <ul style="list-style-type: none"> <li>- 45 Pixie Fountain Hair Grass at 1 gallon</li> <li>- 53 Eilers Beauty Fescue at 1 gallon</li> <li>- 350 Miscellaneous Perennials at 1 gallon</li> <li>- 25% Indian Rice Grass</li> <li>- 10% Bottlebrush Squirrel Tail</li> <li>- 5% Idaho Fescue</li> <li>- 15% Junegrass</li> </ul>



				<p>- 45% Sandberg's Bluegrass</p> <p><i>The project is proposing a total of 46 trees. Per Section 17.06.080(4)d, all newly landscaped areas having more than ten (10) trees, a minimum of ten percent (10%) of the trees shall be at least four-inch (4") caliper, twenty percent (20%) of the trees shall be at least three-inch (3") caliper, and twenty percent (20%) of the trees shall be at least two and one-half inch (2 ½") caliper.</i></p> <p><i>The Applicant is proposing that five (5) trees be a minimum of four-inch (4") caliper, which meets the minimum requirement that ten percent (10%), or a total of four (4) trees, be at least four-inch (4") caliper.</i></p> <p><i>The Applicant is also proposing that 13 trees be a minimum of three-inch (3") caliper, which meets the minimum requirement that twenty percent (20%), or a total of nine (9) trees, be at least three-inch (3") caliper.</i></p> <p><i>Furthermore, the Applicant is proposing that 28 trees be a minimum of two-and-one-half-inch caliper (2 ½") caliper, which exceeds the minimum requirement that twenty percent (20%), or a total of nine (9) trees, be at least two-and-one-half-inch (2 ½") caliper.</i></p> <p><i>The Commission also discussed the standards noted in Section 17.11.040.03 (B). Specifically, the Commission requested that the Applicant augment the Landscape and Planting Plan to meet standards B3-B7, relative to size, spacing and species of plant type. The Applicant has revised the plans to comply with those standards, as noted in detail below. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	<p><b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b></p>
			<i>Staff Comments</i>	<p><i>Though not required, as this parcel is located within the General Residential (GR) and Peri-Urban Agriculture (PA) Zoning Districts, there will be planter boxes and seasonal plantings located around the buildings.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p><b>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</b></p>
			<i>Staff Comments</i>	<p><i>N/A, as this parcel is located within the General Residential (GR) and Peri-Urban Agriculture (PA) Zoning Districts. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p><b>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</b></p>
			<i>Staff Comments</i>	<p><i>A Drainage Plan has been submitted and storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as</i></p>



				<i>noted on the Drainage Plan. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<b>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</b>
			<i>Staff Comments</i>	<i>The Applicant shall be responsible for maintaining plant material in a healthy condition. Plants were chosen for reduced maintenance, and ability to thrive in the conditions onsite. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4i	<b>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</b>
			<i>Staff Comments</i>	<i>One area onsite will contain a boulder retaining wall. The retaining wall will be constructed of natural boulders and plantings will be incorporated within the wall. This will lower the scale of the retaining wall and give the site a natural change in material. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4j	<b>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</b>
			<i>Staff Comments</i>	<i>Natural boulders will be placed throughout the site and the proposed retaining wall has been designed to match the appearance of the natural boulders. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4k	<b>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</b>
			<i>Staff Comments</i>	<i>The proposed boulder retaining wall is shorter than four (4) feet in height. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4l	<b>l. Landscaping should be provided within or in front of extensive retaining walls.</b>
			<i>Staff Comments</i>	<i>The retaining wall will be constructed of natural boulders and plantings will be incorporated within the wall. This will lower the scale of the retaining wall and give the site a natural change in material. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	<b>m. Retaining walls over 24" high may require railings or planting buffers for safety.</b>
			<i>Staff Comments</i>	<i>N/A. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	<b>n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.</b>
			<i>Staff Comments</i>	<i>N/A. The Commission found that this standard has been met.</i>

### Additional Requirements for Schools

#### 1. Applicability: 17.11.040.03(A): Items (1) thru (4)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments




<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.11.040.03 A(1)	<b>A. Applicability: A Conditional Use Permit is required for the following:</b> <b>1. A new school;</b>
			<i>Staff Comments</i>	<i>N/A, as school are permitted within the Peri-Urban Agriculture (PA) Overlay; however, are subject to the additional requirements set forth in Section 17.11.040.03(B)3, as noted below. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.11.040.03 A(2)	<b>2. The remodel of an existing school which increased enrollment in any one year by the lesser of fifty percent (50%) or seventy-five (75) students;</b>
			<i>Staff Comments</i>	<i>N/A, as the proposal is not for a remodel, but for a new school within the Peri-Urban Agriculture (PA) Overlay. The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.11.040.03 A(3)	<b>3. The remodel of an existing school which substantially increases the intensity of an existing school (e.g., conversion of a middle school into a high school which increases parking requirements and which may affect traffic); or</b>
			<i>Staff Comments</i>	<i>N/A, as the proposal is not for a remodel, but for a new school within the Peri-Urban Agriculture (PA) Overlay. Additionally, the structure of the school will remain the same (i.e., middle school and high school). The Commission found that this standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<b>4. The remodel of an existing school which increases the "net area" of a school by ten percent (10%). For the purpose of this section, "net area" shall mean the area consistently used by students, teachers and employees for instruction, such as classrooms and assembly areas, but does not include hallways, storage areas, employee break areas, restrooms and machinery rooms.</b>
			<i>Staff Comments</i>	<i>N/A. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.03 B(3)	<b>B. Criteria for Review: The Commission shall review the particular facts and circumstances based on the standards set forth below for the entire school. Before any approval of a conditional use permit, the Commission shall find adequate evidence showing that such use at the proposed location:</b> <b>3. Will have sidewalks, bike and vehicle facilities necessary to accommodate vehicular, pedestrian and bicycle traffic on site and between the nearest collector street and the school site.</b>
			<i>Staff Comments</i>	<i>The site will have sidewalks, paths, and bike and vehicle facilities necessary to accommodate various modes of onsite traffic. Vehicular traffic has been designed to circulate the perimeter of the property. By doing so, the site allows for safer pedestrian access. Sidewalks and trails come from each of the parking areas and are routed directly to the proposed buildings, as well as within the property. A six-foot (6') wide sidewalk is proposed along the southern edge of the parking area that is along the northern property line. This sidewalk connects to a six-foot (6') wide gravel trail system that meanders throughout the site.</i>  <i>The multi-use path within the 20' easement adjacent to Quigley Farms Road is required of the Quigley Farm development. The Commission discussed whether this path be constructed and connected to Fox Acres Road prior to any issuance of a Certificate of Occupancy to ensure that students are able to arrive to the school on foot and by bicycle safely. The Applicant noted that the construction of the path is the responsibility of the Developer of Quigley Farms Subdivision, and not the Applicant's responsibility. The Commission suggested that the Applicant coordinate</i>



				<p><i>the sidewalk and/or pathway installation with the Developer, to ensure the safety of those students traveling on foot or by bicycle.</i></p> <p><i>The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.03 B(4)	<p><b>4. Will comply with the parking requirements in chapter 17.09 of this title, unless the Applicant can provide and guarantee alternative parking arrangements, such as shared parking or bussing of staff and parents.</b></p>
			<i>Staff Comments</i>	<p><i>Please refer to Section 17.09.040 for further detail. The Commission found that all parking requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.03 B(5)	<p><b>5. Will comply with the outdoor lighting requirements in chapter 17.08, article C of this title.</b></p>
			<i>Staff Comments</i>	<p><i>Please refer to Section 17.08C.040 for further detail. The Commission found that all outdoor lighting requirements have been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.11.040.03 B(6)	<p><b>6. Will construct fencing around all play areas at elementary schools adjacent to private or public streets in accordance with Section 17.08A.010 of this title.</b></p>
			<i>Staff Comments</i>	<p><i>N/A, as the Sage School is for middle and high school students only.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.11.040.03 B(7)	<p><b>7. Will comply with the following site design standards:</b></p> <ul style="list-style-type: none"> <li><b>a) Landscaping shall be restricted to trees with canopies higher than ten (10) feet and bushes less than three (3) feet high to deter hiding.</b></li> <li><b>b) A minimum of thirty-five (35) feet of space on real property owned or leased by the school shall be provided around buildings in which trees and bushes shall be separated (i.e., not clumped) and maintained, and in which no buildings are located.</b></li> <li><b>c) Sidewalks, bike and vehicle improvements shall meet the applicable standards in Title 18 of this code (Ord. 1191, 2015).</b></li> </ul>
			<i>Staff Comments</i>	<p><i>The Applicant has revised the Landscape and Planting Plans to comply with the above standards. All trees will have canopies that are higher than ten (10) feet in height. Tree species include: Western Red Birch, Common Hackberry, Golden Colonnade Ginkgo, Kentucky Coffee Tree, Autumn Treasure Hophornbeam, Common Chokecherry, Burr Oak, Cardinal Royal Mountain Ash, and New Horizon Elm.</i></p> <p><i>The Applicant has also revised the site plan to include a minimum of 35' around the buildings in which trees and bushes shall be separated (see image below for further detail).</i></p>



			 <p><i>Sidewalks, bike and vehicle improvements, as noted herein, comply with Title 18 of the Hailey Municipal Code.</i></p> <p><i>The Commission found that these standards have been met.</i></p>
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**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
  1. The project does not jeopardize the health, safety or welfare of the public.
  2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
  1. Ensure compliance with applicable standards and guidelines.
  2. Require conformity to approved plans and specifications.
  3. Require security for compliance with the terms of the approval.
  4. Minimize adverse impact on other development.
  5. Control the sequence, timing and duration of development.
  6. Assure that development and landscaping are maintained properly.
  7. Require more restrictive standards than those generally found in the Hailey Municipal Code.
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which



**security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

## **CONCLUSIONS OF LAW**

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Zoning Ordinance and City Standards.

## **DECISION**

The Design Review Application for The Sage School at Quigley Farms, represented by Chip Maguire, for a new school consisting of a two-story barn, three (3) classroom studios and three (3) modular classroom units, located in Lot 2, Block 15, Quigley Farm Subdivision, has been approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (l) are met:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure requirements include:
  - i. A safe pedestrian route to the school from the existing Fox Acres Road shall be demonstrated prior to issuance of the Certificate of Occupancy to ensure that students can arrive to the school on foot and by bicycle safely.
  - ii. A grease interceptor shall be installed and maintained by the Sage School.
  - iii. Sewer connections and services shall be shown on the Civil drawings.
  - iv. Water connections and services shall be shown on the Civil drawings.



- d) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- f) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- g) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- h) A letter from Clear Creek Disposal shall be provided stating that the location and design of the trash enclosure is adequate for dumpster and/or rolling can pick-up. If a change is made to the dumpster use, a Design Review Modification shall be submitted.
- i) Snow storage areas shall be relocated out of the dumpster area.
- j) All grade level utility boxes and transformers shall be shown on the Building Permit submittal.
- k) No vending machines shall be located on the exterior of the building.
- l) A future bus parking and loading area should be delineated on the plans, in the event that it be added in the future. Any plans for bus use must be pull-through or otherwise designed so that no morning bus backup is needed.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Janet Fugate, Planning & Zoning Commission Chair

Attest:

\_\_\_\_\_  
Jessie Parker, Community Development Assistant



**Return to Agenda**



**Meeting Minutes**  
**HAILEY PLANNING & ZONING COMMISSION**  
**Monday, May 3, 2021**  
**Virtual Meeting**  
**5:30 p.m.**

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,506287589>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

**Present**

**Commission:** Janet Fugate, Dustin Stone, Richard Pogue, Owen Scanlon

**Staff:** Lisa Horowitz, Robyn Davis, Jessica Parker

**Absent:** Dan Smith,

[5:31:08 PM](#) Chair Fugate called to order.

[5:31:11 PM](#) Public Comment for items not on the agenda. No comment.

[5:31:30 PM](#) **Consent Agenda**

**CA 1** Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application by Antony and Sarah Gray for a new 2,609 square foot single-story residence. This project is located at 121 North 3<sup>rd</sup> Avenue (Lots 1-4, Block 38, Hailey Townsite) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

**CA 2** Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review application by Hailey Airport Inn, LLC, represented by Owen Scanlon, for the addition of two (2) new three-story apartment buildings containing a total of twenty-one (21) units. This project is located at Lot 1A, Block 137, Hailey Townsite (804 South 4<sup>th</sup> Avenue) within the Limited Business (LB) Zoning District. **ACTION ITEM.**

[5:31:46 PM](#) Pogue motioned to approve CA 1. Scanlon seconded. All in Favor.

[5:32:10 PM](#) Pogue motioned to approve CA 2. Stone seconded. Scanlon abstained. All in Favor.

**Public Hearing**

**PH 1** [5:32:41 PM](#) Consideration of a Conditional Use Permit Application submitted by PA Spirits LLC, represented by Josh Hansen, for approval of an alcohol mixing and packaging space (Hybrid Production Facility), to be located at Lots 1-3, Block 42, Townsite (117 N. River Street), within the Business (B) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

[5:33:04 PM](#) Davis turned floor over to applicant. [5:33:27 PM](#) Josh Hansen, representing PA Spirits LLC. Hansen explained applying for CUP for a hybrid use to mix vodka and provide a tasting room and outdoor space to enjoy a beverage. Hansen explained no exterior changes, minimal impact to the facility.



[5:34:51 PM](#) Scanlon asked if addressing the conditional use permit or questions about the site. Davis stated can ask questions about both. Scanlon asked if garbage is going to be contained in the northwest corner. Hansen confirmed. Scanlon asked if would consider putting dumpster near the other dumpsters so could leave that corner open for street exposure. Hansen stated they would consider that and continue to work with the city. Hansen explained want to see the flow and how the outdoor seating will work, Hansen noted also considering having local food trucks onsite. Scanlon asked if affiliated with any bar or restaurant in Hailey. Hansen stated there is one that carries their product but no ownerships. Scanlon asked which areas are going to be public spaces based off their floor design. Hansen explained public area, mixing room and conference will not be open to the public. Hansen stated want to focus on the outdoor space. Scanlon asked if attended their business, there would not be a need for him to walk inside. Hansen explained that is correct, there is a door to the left next to the kitchen that would allow them to provide service to the beer garden.

[5:39:15 PM](#) Stone asked what the main goal is. Hansen explained it is for a tasting facility, that they are still a small company. Stone asked where they currently make their product. Hansen stated current location is in Rigby. Stone asked the name of the product. Hansen stated it is called Party Animal Vodka. Stone confirmed main tasting area is going to be the garden area. Hansen confirmed. Stone recommended to take into consideration indoor access due to winter season. Stone noted potential concern with noise from recycling bins.

[5:42:45 PM](#) Pogue asked where would park the food trucks. Hansen explained idea is to park it in the corner near the service area. Pogue asked the range of product offered. Hansen stated currently just a potato vodka, but the space will be able to expand with flavored vodka and ready to drink cocktails. [5:43:52 PM](#) Pogue agrees with Scanlon, hopes they can find a different location for the refuse.

[5:44:17 PM](#) Chair Fugate asked if have a liquor license. Hansen explained will not need a liquor license but a distiller permit. Chair Fugate asked what that permits them to do. Hansen explained it allows them to produce and bottle their product and provide tasting samples. Chair Fugate confirmed could not serve their alcohol. Hansen confirmed, but will be able to serve the ready to go drinks will be covered under the beer and wine license that they have not applied for yet. Chair Fugate asked if there are any odors involved with mixing of the products. Hansen confirmed no odors with exception of possibly when mixing the vodka with fresh produce.

[5:46:40 PM](#) Horowitz clarified that the applicant will not be making vodka onsite, but infusing the vodka with flavors. Chair Fugate asked about parking. [5:47:12 PM](#) Davis summarized redesign of River Street, and explained that staff would like to see a bike path along River Street and that parking be moved within the ROW. Horowitz added that when met with the property owner, that this tenant and future tenants could continue access the paved area from the side street. Horowitz explained that similar design will be taking place across the street at the brewery. Chair Fugate asked if this would allow them access to receive deliveries. Horowitz confirmed will work with applicant on where they would like the curb cut. Chair Fugate and Horowitz discussed location of proposed beer garden.

[5:51:09 PM](#) Chair Fugate confirmed will be serving the premixed cocktails and selling the liquor. Hansen confirmed only serving the premixed cocktails and selling the liquor to the liquor store. Chair Fugate asked if applicant plans on adding seasonal plantings. Hansen confirmed they would be



willing to do that. Chair Fugate confirmed all requirements met for the fire department. Hansen confirmed.

[5:55:02 PM](#) Julie Cord, landlord, thinks the applicant has done a great job. Cord stated the parking is key for this property, and that the curb cut is really important to this property. Cord asked if the commission would be willing to move the recycling center.

[5:57:00 PM](#) Scanlon asked if Christian had anything else to add.

[5:57:36 PM](#) Horowitz confirmed, will work with the consultants and Brian Yeager to confirm the curb matches – that will modify condition e to match. Chair Fugate asked to see curb cut. Horowitz explained staff drawing is not to scale and will need to circle back with Public Works.

[5:58:43 PM](#) Cord explained what was discussed is similar to the urgent car, that could park to the north and south, thinks could do tandems. Horowitz confirmed thinks it would be fine, and that it would be a future design. Cord explained trying to keep some private parking, and wouldn't take away from public parking.

[5:59:55 PM](#) Christian Ervin confirmed the letter spells out what the applicant has to meet to be in that space and do the mixing. Ervin explained while in the process of opening the business will need to do various inspections to ensure those requirements are met prior to opening to the public. Chair Fugate asked about electrical device requirements. Ervin explained there are several types of system could use in this facility, and requirements would have to meet depending on system used.

[6:02:59 PM](#) **Chair Fugate opened public comment.**

[6:03:11 PM](#) Elizabeth Jeffery, so excited to have another place on river that could enjoy outdoors. Excited for River to grow more into a social place. Curious if will have a lot of compost waste.

[6:04:29 PM](#) Kathleen Krekow seconded Elizabeth's excitement about having another place to go off of Main Street. Would also like to encourage council to look at the viability of moving the recycle bins within the park in ride. Seems to her nothing but a street on the south end. Thinks it would be great to everything could to help them support the property owner and would be an interesting thing to do.

[6:05:39 PM](#) Travis Jones, 131 W Pine St, lives about ½ block off River Street and wanted to jump on to voice his support of this project. Thinks this will be really good for the community. He has had the opportunity to work with Josh and Kate and can vouch for their professionalism. He gives his whole hearted support.

[6:06:40 PM](#) Jenn Douglas, 120 W Carbonate St. curious about operating hours, storage and snow storage.

[6:07:41 PM](#) **Chair Fugate closed public comment.**

[6:08:04 PM](#) Hansen stated will be using fresh produce, that there will be compost from that but will not be a large amount as they are a small company. Hansen stated has not finalized the operating



hours, will be within hours permitted. Hansen stated open to relocating the refuse storage, more than happy to work with the city. Hansen stated not aware of where the snow goes to but will ensure they comply with city requirements.

[6:10:22 PM](#) Scanlon thinks the applicant has worked hard with all the appropriate jurisdiction governing bodies to comply with City and State. Scanlon cannot think of anything worse than an empty building. Scanlon thinks this is an appropriate place for this use, and would welcome a new business to our community.

[6:11:48 PM](#) Stone likes idea of moving recycling over; thinks could be disruptive to that side of the business. Stone asked applicant to discuss the animal welfare. Hansen explained that currently dedicate 10% of their proceeds from all of their sales to local wild life conservation groups and local animal shelters. Hansen explained idea behind their brand name – Party Animal Spirits. Hansen explained they do it from their bottle sells, and also promotes and participates in various events.

[6:13:53 PM](#) Pogue approves of the CUP idea and likes suggestion of moving dumpster bins away from the area. Pogue thinks that would be a good idea.

[6:14:44 PM](#) Chair Fugate agrees with comments made by the other commissioners and public.

[6:15:49 PM](#) Davis stated will need to modify condition e to reflect the curb cut discussion. Davis read the proposed change to condition e.

[6:16:38 PM](#) **Stone motioned to approve the Conditional Use Permit Application request by PA Spirits, LLC, represented by Josh Hanson, for approval of an alcohol mixing and packaging space (Hybrid Production Facility), to be located at Lots 1-3, Block 42, Townsite (117 North River Street), within the Business (B) and Townsite Overlay (TO) Zoning Districts, finding that the application meets each of the Criteria for Review, (a) through (h) cited in the Hailey Municipal Code, that the Conditional Use Permit complies with the Comprehensive Plan, and that Conditions (a) through (e), as modified, are met. Pogue seconded. All in Favor.**

**PH 2** [6:17:57 PM](#) *Consideration of a Preliminary Plat Application by Quartz Properties, represented by Galena Engineering, where AM Lot 2A, Block 61, Woodside Sub #15 (2740 Winterhaven Dr.) is subdivided into six (6) sublots, ranging in size from 6,001 square feet to 18,279 square feet, with all vehicular access from Winterhaven Dr. Several lots contain shared driveways. A 18,712 square foot open space, Parcel A, is to be dedicated to the City for public access. This project is located within the Limited Business (LB) Zoning District. **ACTION ITEM.***

[6:19:09 PM](#) Davis turned floor to applicant team.

[6:19:21 PM](#) Sam Stahlnecker, Galena Engineering, representing applicant. Stahlnecker explained location of project in Woodside. Stahlnecker explained proposing 6 sublots – 5 fronting Winterhaven and 6<sup>th</sup> located towards the back. Stahlnecker stated proposing a subdivision below what is permitted per zoning for this property. Stahlnecker stated 4 of the 6 sublots will share driveways. Stahlnecker stated that there are two lots in the Hillside Overlay. Stahlnecker stated there is existing water and sewer mains and they will be installing new services for each lot, and proposing a mild swell along Winterhaven Drive. Stahlnecker confirmed will provide



calculations to address storm water concern. Stahlnecker stated Parcel A is proposed as park space – if needed applicant is willing to have HOA own and maintain the park space. Stahlnecker discussed connection to Toe of the Hill trail. [6:25:18 PM](#) Stahlnecker stated as discussed with staff, there was concern of location of park and the applicant wanted to propose a few other alternative options to the commission: 1) modified park design but will not extend connection to Toe of the Hill; 2) sidewalk along Parcel M that is owned by the City and is adjacent to this project. This alternative would eliminate Parcel A and replace it with a 7<sup>th</sup> subplot and would create a sidewalk connection. Stahlnecker explained that applicant would like to proceed tonight with commission support with either alternative.

[6:30:37 PM](#) Scanlon confirmed proposing sidewalk or mini park – not both. Stahlnecker confirmed. Scanlon asked if had a chance to discuss with staff as staff report was requesting both. Stahlnecker confirmed has spoken to staff, and provided history of project site. Stahlnecker explained from a financial point, not able to provide both sidewalk and park at this time. Scanlon asked what the difference is between dedicated vs. deeded to the city if decision is to proceed with the park. Stahlnecker does not believe there is a difference between the two, that option with park could be for it to maintained by the city or by the HOA. Scanlon asked if intention is for the HOA to maintain the park. Stahlnecker confirmed, explaining this is not a turf park. Scanlon agrees with Stahlnecker assessment regarding the connection to Toe of the Hill. Scanlon asked about 12' easement along subplot 5 to access 6' – 12' does not meet fire code. Stahlnecker stated she asked the fire department this question but will confirm with them again and could certainly provide 20' especially if create subplot 7. Scanlon confirmed no access of Serenity Lane. Stahlnecker and staff confirmed no access.

[6:37:20 PM](#) Stone asked how subplot 6 is accessed in alternative 1. Stahlnecker explained access and confirmed will submit revised drawing. Stone asked if would be enforcing hillside overlay standards in alternative 2 design. Stahlnecker confirmed, going on to explain how those would be addressed. Stone asked staff for examples of full public access but privately maintained. Horowitz stated city is not interested in taking on, Sweetwater is an example of a park with public access and privately maintained. Stone asked if the city has plans for Parcel M. Horowitz is not aware of any at this time. Stone asked if the sidewalk would be comparable value to the City as the park. Horowitz believes it will be, and if not installed with this would likely never be installed.

[6:41:32 PM](#) Pogue appreciates the proposed alternatives, less density and recommends do think about completing the sidewalk. Pogue thinks would be more productive to have that done than the park. Pogue referenced letter received from Sharon Barons regarding flooding in area, asking if those concerns will be addressed. Stahlnecker confirmed and will be going through calculations to fully understand concerns expressed by Barnes. Stahlnecker is working with the City Engineer and believes a resolution is available. Stahlnecker will be happy to provide the calculations before City Council.

[6:44:09 PM](#) Chair Fugate asked what the slope is on Parcel A in alternative 1. Stahlnecker explained less than 2%. Chair Fugate stated it seems to her that does have a park requirement, and if got the park in lieu fees if those fees could be applied to the sidewalk. Horowitz explained the way she reads the code is that that section reads parks and pathways, further discussing the code. Chair Fugate confirmed length of sidewalk area. Chair Fugate asked about turn around requested by the fire department. Davis confirmed applicant will provide a turn around. Chair Fugate thinks



1<sup>st</sup> park was impractical and thinks if it did go with a park would like to be sure it is HOA maintained. Chair Fugate would like to ensure complying with Park Ordinance if goes with sidewalk. Horowitz stated there is a memo from the Parks and Land Board that is referring to the 1<sup>st</sup> design.

**6:49:13 PM Chair Fugate opened public comment.**

6:50:12 PM Sharon Barnes, lives across the street from the development, purchased it in 2010, she appreciates that the commission read her letter and concerns, appreciates the discussion of open space, likes option one and does not think there is a need to revegetate it. Suggested if Sublot 2 could be considered as part of open space, that would seem more professional. Barnes does not think a sidewalk across the existing city property should count. Barnes explained the intent for open space is, stating this neighborhood has lost a lot of that with developments. Barnes stated would appreciate having something usable and to maintain the open feeling. Even if an additional setback on Sublots 1-5. Barnes stated the flooding is really a concern and glad calculations will be done. Barnes would like to see height restrictions as well.

6:53:38 PM Jake Libaire, applicant, thanked the commission for hearing the application and happy to answer any questions.

6:54:12 PM Elizabeth Jeffery, curious why there is just 7 units when zoned for 38/39. Are these big enough for ADUs and does LB allow for ADUs.

**Chair Fugate closed public comment.**

6:55:50 PM Davis explained no minimum and ADUs would be allowed. Horowitz suggested it may be good to review code to add a minimum.

6:56:37 PM Scanlon is wondering which is a greater asset – the park or the sidewalk. Scanlon expressed concern of violating ordinance, but if park is not needed sidewalk could be better benefit.

6:57:51 PM Horowitz provided sections of code that believes gives commission permission to choose sidewalk in place of the park. Horowitz discussed section of code referring to pathway. The portion of code reviewing is located on page 23 of the Staff Report. Discussion ensued.

7:01:06 PM Scanlon asked potential of having 7 lots instead of 6. Stahlnecker confirmed. Scanlon stated his opinion is to give 7 lots instead of 6, he would prefer to have the sidewalk and an extra lot.

7:02:06 PM Stone asked applicants reason for 7 lots. Libaire explained as a company does build high density units such as townhouses, that view this site as on the outer layers. Libaire explained envision this project fitting in nicely with existing area. Stone asked about height restrictions. Libaire explained will abide by the height restrictions of the zone. Stone asked if height limit is 28' in Hillside Overlay, Davis confirmed. Davis explained height restriction of 28' only applicable to Hillside Overlay, other lots would be subject to the zoning maximum which is 35'. Stone is ok with sidewalks based off definition in code. Stone understands concept of open space, but due to the limited density and fact it backs up to open space makes him feel ok. Stone suggested possible opportunity to include one townhome or 4-plex. Stone's opinion is that alternative 2 will fit best.



[7:07:45 PM](#) Pogue applauds the developer by meeting the standards set of the area, Pogue recommends goes with 7 lots plus sidewalk. Pogue would ask the developer to install trees in Lot M.

[7:08:45 PM](#) Chair Fugate agrees with what has been said and feels comfortable doing alternative 2. Chair Fugate discussed open space, but with 7 buildable lots it would seem more open than if the lots had 30 residences. Chair Fugate asked considering the flooding issues, if conditions have specifics on what will need to be done regarding the drainage and swell. Chair Fugate confirmed turn around is listed as a condition. Davis confirmed. Chair Fugate noted Serenity Lane is a private road and does not see traffic increasing on that road.

[7:12:20 PM](#) Stone asked commissioners and developers opinion on having one lot for 4-plex. Libaire explained planning to build ADU's on the proposed lots. Stone appreciates that, that concerned about inner mixing of those who can afford in a 4-plex and those that can afford to live on a large single-family lot. Stone stated this intermingling is important to him. [7:14:10 PM](#) Scanlon suggested a 2-plex in place of a 4-plex. Stone asked if could hear Pogue's opinion. [7:14:54 PM](#) Pogue stated will have 14 units, counting ADU on each lot and thinks that meets the character of the neighborhood better than a 4-plex. Pogue would be happier with a 2-plex with no ADU on that site, but does not think need to demand a 4-plex. [7:15:51 PM](#) Chair Fugate agrees it is good not to divide, builds a good community when intermix but for this subdivision, she would be comfortable with a 2-plex but does not know about a 4-plex. Chair Fugate respects and appreciates Stone's opinion. Stone stated if could have one lot with a duplex, would be happy. Libaire explained does not build million-dollar homes, homes they build start around \$350,000. Libaire explained view the potential ADUs as rentals, expressing not trying to address the 1% market. Libaire explained already have preliminary designs for these projects. Stahlnecker noted an ADU may provide a more affordable rental option than a duplex unit due to the maximum square footage standards. [7:19:30 PM](#) Chair Fugate thinks duplex is a good and is comfortable with homes with ADUs. Pogue is comfortable with single family home with ADU. Scanlon is also comfortable with that as well. Horowitz asked if could require ADU on each lot. Libaire stated Lots 1 and 2 may be difficult, concerned about not having enough room. Chair Fugate asked if condition could be ADU on each lot amenable to it. Libaire confirmed, Lots 3-7. Stahlnecker asked if time limit on ADUs or at time of construction of primary residence. Staff confirmed at construction of primary residence. Libaire confirmed ok with time requirement of construction of primary residence.

[7:22:19 PM](#) Davis went through conditions noting changes to 1) little one needs to include subplot 6 and 7., 9) would be condition remove discussion purposes and add applicant shall install, 11, 12 and 13 are removed, condition 14 is new condition 11) and will remain same, condition 15 (new condition 12) little 1 to be removed, new condition 14) sublots 3-7 shall contain single-family residence and accessory dwelling unit. ADU to be concurrent with new single-family residences. Davis confirmed new conditions 1-14 and now have 7 sublots.

[7:26:20 PM](#) Scanlon motioned to approve the Preliminary Plat Application by Quartz Properties, represented by Galena Engineering, where AM Lot 2A, Block 61, Woodside Subdivision #15 (2740 Winterhaven Drive) is subdivided into seven (7) sublots, finding appropriate square footages finding that the application meets all City Standards, and that Conditions (1) through (14) are met. Pogue seconded. Pogue- Yes, Scanlon – Yes, Stone – No, Chair Fugate –Yes.



**PH 3** [7:27:35 PM](#) *Consideration of a City-initiated Text Amendment to the Hailey Municipal Code to Title 17: Zoning Regulations, Chapter 17.05, Official Zoning Map and District Use Matrix, Section 17.05.040, District Use Matrix, to amend General Residential Setbacks by adding a new note, Note #23, to the Minimum Side and Rear Setbacks, which establishes new setbacks from property lines abutting private property. **ACTION ITEM.***

[7:28:09 PM](#) Chair Fugate suggested break until 7:35 PM.

[7:33:35 PM](#) Chair Fugate called meeting back to order.

[7:33:48 PM](#) Horowitz explained amendment and history of request for this amendment. Horowitz explained no changes to Old Hailey, only other areas within the GR. Horowitz explained did review standards of Old Hailey as those seem to work well. Horowitz explained concern if add this without reviewing side yard setbacks. Horowitz asked if should start looking at side yard setback which will require the project to be renoticed.

[7:36:01 PM](#) Stone asked what City Councils concern that spurred this. Horowitz explained Council wanted to allow all lots to have ADUs while protecting the open space and light. Horowitz does think the 10' side yard setback is kind of useless space that the Old Town setbacks seem to work very well. Horowitz suggested possibly 8' and as height increases so does setback. Stone does not have an issue with the wedding cake idea. Horowitz suggested another option could keep side yards as 8' and rear as 10'.

[7:38:54 PM](#) Chair Fugate confirmed that makes sense, that there would still be 16' between homes. Horowitz confirmed, referring to Old Hailey which currently only has 12' between homes. Chair Fugate stated 16' seems like plenty. Horowitz noted that at a 10' setback, it defaults to a parking space where as if go with 8' area would not be wide enough for parking. [7:40:54 PM](#) Stone believes this answers the original concern of making some lots unable.

[7:41:44 PM](#) Scanlon asked for clarification of how height of house is determined. Horowitz stated height of house is determined by record grade, lowest point. Horowitz explained the lowest point of the property and the highest point of the house can never exceed the max height permitted. Horowitz explained the wall heights determine the side yard setbacks. Scanlon clarified if design house that is 35' with the outside wall over 20'. Horowitz confirmed would be permitted. Scanlon thinks that is fair.

[7:44:51 PM](#) Pogue agrees, it appears that 8' makes sense.

Horowitz explained this would be renoticed as the 8' was not included in the notice.

[7:45:55 PM](#) **Chair Fugate opened public comment.**

[7:46:29 PM](#) Elizabeth Jefferys, asked if snow storage is being considered.

[7:46:48 PM](#) **Chair Fugate closed public comment.**

[7:46:51 PM](#) Horowitz explained if have a single-family house outside of Old Town does not have to show snow storage unless adding an ADU and would have to show the snow storage on a site plan.



Commission and staff discussed snow storage requirements – outside Old Town single family residences. Horowitz confirmed staff can review standard of 10' of snow storage. Staff confirmed will notice for next available date.

[7:51:54 PM](#) Scanlon motioned to continue this public hearing to a date uncertain, allowing City Staff to renotice it. Pogue second. All in Favor.

#### **Staff Reports and Discussion**

**SR 1** Discussion of current building activity, upcoming projects, and zoning code changes.

**SR 2** Discussion of the next Planning and Zoning meeting: **May 17, 2021**

- PP: Quigley Block 3
- PP: LL Greens
- Rezone: LL Greens

Horowitz summarized upcoming hearing, reminding commission of DIF Hearing on May 13, 2021.

[7:55:33 PM](#) Pogue motioned to adjourn. Scanlon seconded. All in Favor.



**Return to Agenda**





**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of July 19, 2021**

**To:** Hailey Planning & Zoning Commission

**From:** Robyn Davis, Community Development City Planner

**Overview:** Consideration of a Preliminary Plat Application by Old Cutters Inc., represented by Galena Engineering, wherein Lot 3, Block 11, Old Cutters Subdivision (1120 East Myrtle Street) is subdivided into two (2) sublots, Sublot 1 is 7,845 square feet in size, and Sublot 2 is 7,721 square feet in size. This project is located within the General Residential (GR) Zoning District. This project is known as Starlight Serenade Townhomes.

**Hearing:** July 19, 2021

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**Applicant:** Old Cutters Inc.

**Project:** Starlight Serenade Townhomes

**Request:** Preliminary Plat

**Location:** Lot 3, Block 11, Old Cutters Subdivision (1120 East Myrtle Street)

**Size & Zoning:** 15,566 square feet; General Residential (GR) Zoning District

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on June 30, 2021, and mailed to adjoining property owners on June 30, 2021.

**Background and Application:** Consideration of a Preliminary Plat Application by Old Cutters Inc., represented by Galena Engineering, wherein Lot 3, Block 11, Old Cutters Subdivision (1120 East Myrtle Street) is subdivided into two (2) sublots, Sublot 1 is 7,845 square feet in size, and Sublot 2 is 7,721 square feet in size. This project is located within the General Residential (GR) Zoning District. This project is known as Starlight Serenade Townhomes.

The original Old Cutters Subdivision Plat earmarked this parcel as a Duplex lot, which can be further subdivided pursuant Ordinance 821. The Applicant is now proposing to develop this as such.

The proposed development will gain access off of an access easement from Grey's Starlight Drive. Access will not be achieved from Myrtle Street. All lots have frontage on a public street.

**Procedural History:** The Application was submitted on May 27, 2021 and certified complete on May 28, 2021. A public hearing will be held on July 19, 2021, in the Council Chambers of Hailey City Hall, and virtually via GoTo Meeting.



Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b> All infrastructure will require detailed final construction drawings to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey standard drawings, specifications and procedures.
			<b>Life/Safety:</b> No comments	
			<b>Water and Wastewater:</b> The Water Division recommends that the following be resolved and/or completed prior to final design: <ul style="list-style-type: none"> <li>- Meter vaults placed in driveways shall have a metal collar and be put to grade.</li> </ul> <p>The Wastewater Division has no comments at this time.</p> <p>The recommendations above have been made Conditions of Approval.</p>	
			<b>Building:</b> No comments	
			<b>Streets:</b> The Streets Department recommends that the following be resolved and/or completed prior to final design: <ul style="list-style-type: none"> <li>i. Driveways accessing more than one (1) residential dwelling unit shall be maintained by a Homeowner's Association, or in accordance with a plat note.</li> <li>ii. Drywell and other construction details shall be provided at final design.</li> </ul> <p>The recommendations above have been made Conditions of Approval.</p>	
			<b>City Arborist:</b> No comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	<b>Applicability:</b> The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			Staff Comments	Please refer to the specific standards as noted herein.
<b>16.04.020: Streets:</b>				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.020	<b>Streets:</b> Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<b>Development Standards:</b> All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			Staff Comments	The project will connect to Myrtle Street and Gray's Starlight Drive. These streets are public streets and are 60-feet in width. These streets are



				<i>adequate to safely accommodate existing and anticipated vehicular/pedestrian traffic. For further comments or concerns noted by the Streets Division, please refer to Section 17.06.050: Streets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<b>Cul-De-Sacs; Dead-End Streets:</b> Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.
			<i>Staff Comments</i>	<i>N/A, as no cul-de-sac or dead-end street is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<b>Access:</b> More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			<i>Staff Comments</i>	<i>Access to the parcels can be achieved from Gray's Starlight Drive via an access easement, or shared driveway, to benefit Sublot 1.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<b>Design:</b> Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.
			<i>Staff Comments</i>	<i>It appears that all proposed streets intersect at 90-degree angles and that the proposed streets are separated by the recommended distances. No three or four-way intersections are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<b>Centerlines:</b> Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.
			<i>Staff Comments</i>	<i>All streets within the subdivision are existing and are public streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F.	<b>Width:</b> Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.
			<i>Staff Comments</i>	<i>The existing public streets (Myrtle Street and Gray's Starlight Drive) meet the minimum City Standards of 60' in width, which is consistent with Title 18 of the Hailey Municipal Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G.	<b>Roadways:</b> Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.



			<b>Staff Comments</b>	<i>This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>H.</b>	<b>Road Grades:</b> Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.
			<b>Staff Comments</b>	<i>The streets are existing. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>I.</b>	<b>Runoff:</b> The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			<b>Staff Comments</b>	<i>To adequately accommodate runoff, drywell and other construction details shall be provided a final design. The Applicant shall also complete an EPA NPDES General Permit for Stormwater Discharge from Construction Activity prior to the commencement of construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>J.</b>	<b>Signage:</b> The developer shall provide and install all street and traffic control signs in accordance with City Standards.
			<b>Staff Comments</b>	<i>This standard will be met and will be reviewed for compliance at final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>K.</b>	<b>Dedication; Names:</b> All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.
			<b>Staff Comments</b>	<i>The streets are existing and all have names. This standard has been met.</i>
			<b>L.</b>	<b>Private Streets:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 1.</b>	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association.
			<b>Staff Comments</b>	<i>N/A, as no private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 2.</b>	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			<b>Staff Comments</b>	<i>N/A, as no private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 3.</b>	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			<b>Staff Comments</b>	<i>N/A, as no private street are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 4.</b>	Private street names shall not end with the word "Road", "Boulevard", "Avenue", "Drive" or "Street". Private streets serving five (5) or fewer dwelling units shall not be named.



			<b>Staff Comments</b>	<i>N/A, as no private street are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 5.</b>	<b>Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.</b>
			<b>Staff Comments</b>	<i>N/A, as no private streets are proposed. A 4'-wide Public Utility Easement is proposed along the property frontage of both sublots. This easement is not combined with, or encumbers, required onsite snow storage areas.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 6.</b>	<b>Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10'x20') if angle parking, or ten feet by twenty-four feet (10'x24') if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.</b>
			<b>Staff Comments</b>	<i>N/A, as no private streets are proposed.</i>
			<b>M.</b>	<b>Driveways:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 1.</b>	<b>Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.</b>
			<b>Staff Comments</b>	<i>At this time, no driveways are shown on the plat. That said, driveways in Old Cutters are required to gain access off of the alley. If no alley exists, access to both lots could be shared via a single driveway. The plat proposes an access easement, or shared driveway, for Sublots 1 and 2.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 2.</b>	<b>Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths:  a) Accessing one residential unit: twelve feet (12')  b) Accessing two residential units: sixteen feet (16')  No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.</b>
			<b>Staff Comments</b>	<i>At this time, no driveways are shown on the plat. An access easement to benefit Sublot 1 is proposed off of Grey's Starlight Drive. Driveways will be further reviewed at final design.   Additionally, no driveway materials are proposed at this time, but shall conform to this standard. Lastly, no portion of the driveways are proposed to be utilized for parking, above-ground utility structures, dumpsters, snow storage and other obstructions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 3.</b>	<b>Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.</b>



			<b>Staff Comments</b>	<i>The Applicant is proposing a Temporary Emergency Access Hammerhead Easement on Sublot 1 until Grey's Starlight Drive has been extended and connected from the Old Cutters Subdivision to the Sunbeam Subdivision. Construction and connection of this street is currently underway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 4.</b>	<b>Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.</b>
			<b>Staff Comments</b>	<i>This is preferred by the City; however, more details are needed with regard to driveways. Details and compliance of City Standards will be reviewed during the development of construction drawings. Please refer to Section 16.04.020(M) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 5.</b>	<b>The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.020(M) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 6.</b>	<b>No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.</b>
			<b>Staff Comments</b>	<i>Driveways will not impact existing infrastructure and should be compatible with existing and planned residential units; however, further details are needed with regard to driveways. Please refer to Section 16.04.020(M) for further details.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>N.</b>	<b>Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</b>
			<b>Staff Comments</b>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>O.</b>	<b>Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</b>
			<b>Staff Comments</b>	<i>The proposed Temporary Emergency Access Hammerhead Easement complies with the regulations set forth in the IFC and other applicable codes.</i>
<b>16.04.030: Sidewalks and Drainage Improvements</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<b>Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.</b>
			<b>Staff Comments</b>	<i>All existing streets have adjacent sidewalks. The width of all sidewalks complies with the standards noted in Section 18.06.012.C: Mobility Design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B.</b>	<b>The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.030(A) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>C.</b>	<b>New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.030(A) for further details.</i>



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.
			Staff Comments	N/A. Please refer to Section 16.04.030(A) for further details and/or comments noted by City Staff.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			Staff Comments	N/A
<b>16.04.040: Alleys and Easements</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
			A.	Alleys:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			Staff Comments	N/A, as no alleys are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	The minimum width of an alley shall be twenty-six (26') feet.
			Staff Comments	N/A, as no alleys are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	All alleys shall be dedicated to the public or provide for public access.
			Staff Comments	N/A, as no alleys are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 4.	All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.
			Staff Comments	N/A, as no alleys are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 5.	Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.
			Staff Comments	N/A, as no alleys are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	Dead-end alleys shall not be allowed.
			Staff Comments	N/A, as no alleys are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			Staff Comments	N/A, as no alleys are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a



				<p><b>20-foot-wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.</b></p>
			<p><i>Staff Comments</i></p>	<p><i>Though the proposed subdivision does not border the Big Wood River, the following easements are shown on the proposed plat:</i></p> <ol style="list-style-type: none"> <li><i>1. A 10'-wide Public Utility Easement along the property frontage of both Sublot 1 and Sublot 2, and along the east property line of Sublot 2.</i></li> <li><i>2. A 4'-wide Snow Storage Easement along the property frontage of both Sublot 1 and Sublot 2, and along the east property line of Sublot 2.</i></li> <li><i>3. Proposed Access Easement to benefit Sublot 1 (shared driveway)</i></li> <li><i>4. Temporary Emergency Access Hammerhead Easement until road is extended. This Emergency Access Hammerhead Easement will be applicable until the connection of Grey's Starlight Drive from Old Cutters through Sunbeam Subdivision is complete and open for public access. Construction of this connection is currently underway.</i></li> </ol> <p><i>City Staff recommends that the following be added as a plat note to the proposed plat:</i></p> <p>10. Recorded Documents that may apply also include;          317964 – Notes, Easements and Restrictions on Plat of Drexler Ranch Subdivision          423951 – Notes, Easements and Restrictions on Plat of A Replat of Drexler Ranch Subdivision          534732 – Hailey Ordinance No. 939, Annexing          534733 – Annexation, Services, and Development Agreement          557818, 567326, 622285, &amp; 623363 – Amended Annexation, Services, and Development Agreement          546901 – Easement Agreement          546902 – Phasing Agreement          548869, 548870 – Hiawatha Canal/Old Cutters Subdivision Maintenance Agreement          549327 – Old Cutters North Entrance Agreement          553633 – Terms, provisions, covenants, conditions, restrictions, easements, charges, assessments &amp; liens          607932, 608314, 623217, 629902          553634 – Notes, Easements, Restrictions on Plat of Old Cutters Subdivision          623363 – Release of Plat note No. 22          556970 – Water Delivery System Maintenance          630142 – Water Delivery System Maintenance and Cost Sharing Agreement</p> <p><i>This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	<p><b>To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard</b></p>



				Overlay District. The riparian setback easement shall be fenced off during any construction on the property.
			Staff Comments	N/A, as no natural resource, riparian area, hazardous area or other limitation requires an easement for the proposed subdivision.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.
			Staff Comments	Snow storage easements have been delineated on the Civil Plans. The plat shows a 4'-wide Snow Storage Easement along all property frontages of the proposed sublots, and on the east property line of Sublot 2. It appears that all snow storage areas are accessible and meet the standards noted herein.
<b>16.04.050: Blocks</b>				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.050	Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.
			Staff Comments	All proposed blocks are shown on the Preliminary Plat.
<b>16.04.060: Lots</b>				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.060	Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.
			Staff Comments	The proposed sublots meet the minimum size required by the General Residential (GR) Zoning District. No sublots are more than double the minimum lot size. Furthermore, The Applicant has no intention to further subdivide the proposed sublots within the subdivision, and no sublots are proposed to be at or larger than one-half (1/2) acre.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).
			Staff Comments	N/A, as no double frontage lots are proposed.



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.
			Staff Comments	N/A, as no unbuildable lots are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.
			Staff Comments	N/A, as no flag lot is proposed at this time.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Section 16.04.020 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.
			Staff Comments	The proposed project includes two Townhouse Sublots (1 and 2), all sublots have frontage on a public street, and it appears that no frontage width will be less than the required driveway width, as noted herein.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e., lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			Staff Comments	N/A, as this project is not located within the Townsite Overlay (TO) Zoning District.

#### 16.04.070: Orderly Development

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.
			Staff Comments	N/A, as no Phasing Plan is proposed at this time.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<u>Agreement:</u> Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.
			Staff Comments	N/A, as no Phasing Plan is proposed at this time.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<u>Mitigation of Negative Effects:</u> No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following: <ul style="list-style-type: none"> <li>a) Provision of on-site or off-site street or intersection improvements.</li> <li>b) Provision of other off-site improvements.</li> <li>c) Dedications and/or public improvements on property frontages.</li> <li>d) Dedication or provision of parks or green space.</li> </ul>



				e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance.
			<i>Staff Comments</i>	a) Provision of on-site or off-site street or intersection improvements. <i>N/A</i> b) Provision of other off-site improvements. <i>N/A</i> c) Dedications and/or public improvements on property frontages. <i>N/A</i> d) Dedication or provision of parks or green space. <i>Please refer to Section 16.04.110 for further details.</i> e) Provision of public service facilities. <i>All public utilities and services proposed will be developed as part of the subdivision.</i> f) Construction of flood control canals or devices. <i>The construction and/or incorporation of roads and drywells are anticipated to improve drainage conditions onsite.</i> g) Provisions for ongoing maintenance. <i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact: <ol style="list-style-type: none"> <li>Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic.</li> <li>Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations.</li> <li>Water main lines and sewer main lines shall be designed in the most effective layout feasible.</li> <li>Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.</li> <li>Park land shall be most appropriately located on the Contiguous Parcels.</li> <li>Grading and drainage shall be appropriate to the Contiguous Parcels.</li> <li>Development shall avoid easements and hazardous or sensitive natural resource areas.</li> </ol> The commission and council may require that any or all contiguous parcels be included in the subdivision.
			<i>Staff Comments</i>	<i>Proposed Sublot 1 and Sublot 2 are owned by the Applicant and are shown on the Preliminary Plat. That said, it would not be possible to divide the parcels one more time, as the minimum lot size could not be achieved.</i>

#### 16.04.080: Perimeter Walls, Gates and Berms

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.
			<i>Staff Comments</i>	<i>N/A, as it appears no perimeter walls, gates or landscape berms are proposed within Block 11.</i>

#### 16.04.090: Cuts, Fills, Grading and Drainage

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.
			Staff Comments	No floodplain exists and the parcel is currently vacant.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.
			Staff Comments	At this time, the City Engineer has not required that a Soils Report be prepared and/or submitted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information: a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.
			Staff Comments	Preliminary grading, drainage, and street and utility improvements have been shown on the Civil Plans. City Staff has conducted an initial review and any comments and/or concerns are noted herein.
			B.	Design Standards: The proposed subdivision shall conform to the following design standards:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.
			Staff Comments	The grading has been developed for the existing streets within the subdivision. Grading for dwelling units shall meet this standard.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.
			Staff Comments	N/A, as none exist within Block 11.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.
			Staff Comments	Erosion control and re-vegetation shall be included in final design.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 4.	Where cuts, fills or other excavation are necessary, the following development standards shall apply: a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway



				<p>Transportation Officials (AASHTO) and American Society of Testing &amp; Materials (ASTM).</p> <p>c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability.</p> <p>d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope.</p> <p>e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.</p>
			<i>Staff Comments</i>	<i>Grading and drainage review shall take place during final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 5.	<p>The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.</p>
			<i>Staff Comments</i>	<i>A Storm Water Pollution Prevention Plan (SWPPP) will be necessary for any disturbances greater than one (1) acre and shall be provided at final design. Additionally, the Applicant will complete all applicable EPA permitting prior to construction.</i>

#### 16.04.100: Overlay Districts

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
			A.	Flood Hazard Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located adjacent to the Big Wood River or its tributaries.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Hillside Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 17.04N, of the Hailey Municipal Code.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 3.</b>	<b>All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.</b>
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<b>16.04.110: Parks, Pathways and Other Green Spaces</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<b>Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.</b>
			<i>Staff Comments</i>	<p><i>At the time the Old Cutters Subdivision was annexed and platted, the Applicant was required to provide at least 3.43 acres of park space. The Applicant has provided 5.08 acres of park space.</i></p> <p><i>Additionally, pathways located on the east side of the Hiawatha Canal and into BLM land to the north are existing and were existing at the time of development. Connections to the trail were required at both the north and south ends to ensure proper access to the pathway. A pedestrian easement across the northern portions of Lots 1, 2 and 3, Block 2, with signage and a soft path, were also installed/constructed.</i></p> <p><i>No additional park space and/or pathways shall be required by this Subdivision Application.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 1.</b>	<b>Parks:</b>
			<b>A. 1. a.</b>	<p><b>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</b></p> <p><b>P = x multiplied by .0277</b></p> <p><b>“P” is the Parks contribution in acres</b></p> <p><b>“x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</b></p>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 (A) above for further details. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A.1.b</b>	<b>In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.</b>
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is located in the General Residential (GR) Zoning District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 2.</b>	<b>Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</b>



			<b>Staff Comments</b>	<i>Please refer to Section 16.04.110 (A) for further details.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<p><b>Multiple Ownership:</b> Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> <li>a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or</li> <li>b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies),</li> <li>c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units.</li> <li>d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.</li> </ul>
			<b>Staff Comments</b>	<i>N/A, as these issues were covered in the full development of the Old Cutters Subdivision and does not apply specifically to the subject parcel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C.</b>	Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			<b>Staff Comments</b>	<i>N/A, as this standard was addressed in the development of the Old Cutters Subdivision.</i>
			<b>D.</b>	<b>Minimum Requirements:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D. 1.</b>	Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.
			<b>Staff Comments</b>	<i>N/A, as no private green space specifically for Block 11 is being proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D. 2.</b>	Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			<b>Staff Comments</b>	<i>N/A. Please reference Section 16.04.110 (A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>D. 3.</b>	Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park



				<p>bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.</p> <p><i>Staff Comments</i> N/A, as no mini park is proposed within Block 11 at this time.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	<p>Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.</p> <p><i>Staff Comments</i> N/A, as no park/cultural space is proposed within Block 11 at this time.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 5.	<p>Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.</p> <p><i>Staff Comments</i> Pathways were conveyed during the Preliminary and Final Plat process of the Old Cutters Subdivision. Please refer to Section 16.04.110 (A) for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<p>Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 1.	<p>Shall meet the minimum applicable requirements required by Subsection D of this section.</p> <p><i>Staff Comments</i> Please refer to Section 16.040.110 for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 2.	<p>Shall provide safe and convenient access, including ADA standards.</p> <p><i>Staff Comments</i> Please refer to Section 16.040.110 for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 3.	<p>Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.</p> <p><i>Staff Comments</i> No gates or restricted access are proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 4.	<p>Shall be configured in size, shape, topography and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.</p> <p><i>Staff Comments</i> Please refer to Section 16.040.110 for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 5.	<p>Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.</p>



			<b>Staff Comments</b>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>E. 6.</b>	<b>Shall require low maintenance or provide for maintenance or maintenance endowment.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>F.</b>	<b>Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>F. 1.</b>	<b>Shall meet the minimum applicable requirements required by Subsection D of this section.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.040.110.D for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>F. 2.</b>	<b>Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.040.110.A for further details.</i>
			<b>G.</b>	<b>Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 1.</b>	<b>Shall meet the minimum applicable requirements required by subsection D of this section.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 2.</b>	<b>Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 3.</b>	<b>The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 4.</b>	<b>The private ownership and maintenance of green space shall be adequately provided for by written agreement.</b>
			<b>Staff Comments</b>	<i>Maintenance shall be managed and funded by the Subdivision's HOA, if private space is proposed.</i>
			<b>H.</b>	<b>In-Lieu Contributions:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 1.</b>	<b>After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.</b>
			<b>Staff Comments</b>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 2.</b>	<b>The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in subsections E4 and E5 of this section. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.</b>
			<b>Staff Comments</b>	<i>N/A</i>



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 3.	Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 4.	In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.
			<i>Staff Comments</i>	N/A

#### 16.05: Improvements Required:

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.
			<i>Staff Comments</i>	<i>The Applicant intends to construct all necessary infrastructure, if the project is approved.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.
			<i>Staff Comments</i>	<i>This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.
			<i>Staff Comments</i>	<i>This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.
			<i>Staff Comments</i>	<i>This standard will be met.</i>

#### 16.05.020: Streets, Sidewalks, Lighting, Landscaping



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.020</b>	Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.
			<i>Staff Comments</i>	<i>All public infrastructure shall meet City specifications. No additional street lights are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Any and all proposed street cuts shall be per this standard and shall be approved by the Streets Division prior to construction.</i>  <i>All infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B.</b>	Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			<i>Staff Comments</i>	<i>Street names and signage are existing and meet this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C.</b>	Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A, as no street lights are shown and/or proposed.</i>
<b>16.05.030: Sewer Connections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.030</b>	Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<i>Staff Comments</i>	<i>Sewer services are shown from each subplot connecting into the sewer main. Connection details to the existing sewer system shall be approved by the Wastewater Division prior to construction. All infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i>
<b>16.05.040: Water Connections</b>				



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<p><b>Requirements:</b> The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<b>Staff Comments</b>	<p>Water services are shown from each subplot and connecting into the water main. Connection details to the existing water system shall be approved by the Water Division prior to construction. All infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</p> <p>Other recommendations and/or comments made by the Water Division include:</p> <ul style="list-style-type: none"> <li>- Meter vaults placed in driveways shall have a metal collar and be put to grade.</li> </ul> <p>The items above have been made a Conditions of Approval.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<p><b>Townsite Overlay:</b> Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<b>Staff Comments</b>	N/A, as this project is not within the Townsite Overlay (TO) District.
<b>16.05.050: Drainage</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.050</b>	<p><b>Drainage:</b> The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p>
			<b>Staff Comments</b>	Review of drainage calculations will take place during final design. Design concepts must conform to City of Hailey standard drawings, specifications and procedures.
<b>16.05.060: Utilities</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.060</b>	<p><b>Utilities:</b> The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</p>
			<b>Staff Comments</b>	Utilities will be constructed and installed underground. Additional utility company comment and engineering details will be required at final design.
<b>16.05.070: Parks, Green Space</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.070</b>	<p><b>Parks, Green Space:</b> The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.</p>
			<b>Staff Comments</b>	Please refer to Section 16.04.110 for further detail.



16.05.080: Installation to Specifications; Inspections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.
			Staff Comments	<p>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be further evaluated in greater detail at final design. The inspection process of the proposed public improvements shall include materials testing to ensure the compliance with the Hailey Municipal Code.</p> <p>The City will need to select an inspector, to be paid for by the Applicant, for all water, sewer, and roadway infrastructure during construction.</p>
16.05.090: Completion; Inspections; Acceptance				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.
			Staff Comments	This standard shall be met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)
			Staff Comments	N/A, as completion of all major infrastructure by the Developer is preferred over bonding.
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of "as-built plans and specifications" certified by the developer's engineer shall be filed with the City engineer. (Ord. 1191, 2015)
			Staff Comments	As built drawings will be required. This standard will be met.
16.08: Townhouses:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.010	Plat Procedure: The developer of the townhouse development shall submit with the preliminary plat application and all other information required herein a copy of the proposed party wall agreement and the proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities, commonly held facilities, garages, parking and/or green spaces. Prior to final plat approval, the developer shall submit to the city a final copy of the party wall agreement and any other such documents and shall record the documents prior to or at the same time of the recordation of the plat, which plat shall reflect the recording instrument numbers thereupon. (Ord. 1191, 2015)
			Staff Comments	This standard shall be met.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.020	Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific townhouse units on the townhouse plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development. (Ord. 1191, 2015)
			Staff Comments	No garages have been shown on the plat. That said, it is expected that all garages, if proposed, be located on the same subplot as the principal dwelling. This standard shall be met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.030	Storage, Parking Areas: Residential townhouse developments shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015)
			Staff Comments	Per the Hailey Municipal Code, Multifamily Dwellings are required to provide at least 1.5 onsite parking spaces. At this time, no onsite parking has been delineated. Upon further development of a site plan, this standard shall be met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.040	Construction Standards: All townhouse development construction shall be in accordance with the IBC, IRC and IFC. Each townhouse unit must have separate water, sewer and utility services, which do not pass through another building or unit. (Ord. 1191, 2015)
			Staff Comments	This standard shall be met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.050	General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse developments. (Ord. 1191, 2015)
			Staff Comments	This standard shall be met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.060	Expiration: Townhouse developments which have received final plat approval shall have a period of three (3) calendar years from the date of final plat approval by the council to obtain a building permit. Developments which have not received a building permit shall be null and void and the plats associated therewith shall be vacated by the council. If a development is to be phased, construction of the second and succeeding phases shall be contingent upon completion of the preceding phase unless the requirement is waived by the council. Further, if construction on any townhouse development or phase of any development ceases or is not diligently pursued for a period of three (3) years without the prior consent of the council, that portion of the plat pertinent to the undeveloped portion of the development shall be vacated. (Ord. 1191, 2015).
			Staff Comments	This standard will be met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.08.070	Conversion: The conversion by subdivision of existing units into townhouses shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)
			Staff Comments	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.080	Density: The maximum number of cottage townhouse units on any parcel shall be twelve (12), and not more than two (2) cottage townhouse developments shall be constructed adjacent to each other. (Ord. 1191, 2015)
			Staff Comments	The proposed parcel is zoned General Residential (GR), which allows for ten (10) units per one (1) acre. Two (2) sublots and only one (1) dwelling unit per subplot is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.11.010	Exceptions: Whenever the tract to be subdivided is, in the shape or size, or is surrounded by such development or unusual conditions that the strict application of the requirements contained herein would result in real difficulties and substantial hardships or injustices, the council may vary or modify such requirements by making findings for their decision so that the developer is allowed to develop his property in a



				reasonable manner, while ensuring that the public welfare and interests of the city and surrounding area are protected and the general intent and spirit of this title are preserved. As used in this section, the phrase “real difficulties and substantial hardships or injustices” shall apply only to situations where strict application of the requirements of this title will deny to the developer the reasonable and beneficial use of the property in question, and not in situations where the developer establishes only that exceptions will allow more financially feasible or profitable subdivision. (Ord. 1191, 2015).
			<i>Staff Comments</i>	N/A

**Summary and Suggested Conditions of Approval:** The Commission shall review the Preliminary Plat Application and continue the public hearing, approve, conditionally approve, or deny the Application. If approved, the Preliminary Plat Application will be forwarded to the Hailey City Council.

The following are suggested Conditions of Approval for the Preliminary Plat Application for Block 11 of Old Cutters Subdivision:

**General Conditions:**

- 1) All Fire Department and Building Department requirements shall be met and shall meet City Standards where required.
- 2) Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Section 16.02.080 of the Hailey Municipal Code.
- 3) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- 4) The Final Plat must be submitted within one (1) calendar year from the date of approval of the Preliminary Plat.
- 5) Any Subdivision Inspection Fees due shall be paid prior to recordation of Final Plat.
- 6) Any Application Development Fees shall be paid prior to recordation Final Plat.
- 7) Prior to construction, the Applicant shall submit the following, if deemed necessary:
  - i. A Storm Water Pollution Prevention Plan (SWPPP)
- 8) The Applicant shall add the note, as referenced in Section 16.04.040.B., as a plat note.

**Streets and Right-of-Ways:**

- 9) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards where required. Infrastructure to be completed at the Applicant’s sole expense include, but will not be limited to:
  - iii. Driveways accessing more than one (1) residential dwelling unit shall be maintained by a Homeowner’s Association, or in accordance with a plat note.
  - iv. Drywell and other construction details shall be provided at final design.

**Water and Wastewater:**

- 10) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or



adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:

- i. All meter vaults that are placed in driveways shall have metal collars and be put to grade.

**Motion Language:**

**Approval:** Motion to approve the Preliminary Plat Application by Old Cutters Inc., represented by Galena Engineering, wherein Lot 3, Block 11, Old Cutters Subdivision (1120 East Myrtle Street) is subdivided into two (2) sublots, Sublot 1 and Sublot 2, and is located within the General Residential (GR) Zoning District, finding that the application meets all City Standards, and that Conditions (1) through (10) are met.

**Denial:** Motion to deny the Preliminary Plat Application by Old Cutters Inc., represented by Galena Engineering, wherein Lot 3, Block 11, Old Cutters Subdivision (1120 East Myrtle Street) is subdivided into two (2) sublots, Sublot 1 and Sublot 2, and is located within the General Residential (GR) Zoning District, finding that \_\_\_\_\_ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [the Commission should specify a date].



Curve Table						
Curve	Length	Radius	Delta	Tangent	Chord	Chord Direction
C1	31.33'	20.00'	89° 45' 57"	19.92'	28.23'	N44° 51' 13"



**Return to Agenda**





**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of July 19, 2021**

**To:** Hailey Planning & Zoning Commission

**From:** Lisa Horowitz, Community Development Director

**Overview:** Consideration of a Preliminary Plat Application by Oscar Hildago., represented by Alpine Enterprises Inc., wherein Sonitalena Cottages Future Sublots is subdivided into two (2) sublots, Sublot 1 is 8,528 square feet in size, and Sublot 2 is 8,527 square feet in size. This project is located within the General Residential (GR) Zoning District. This project is known as Old Cutters Townhomes.

**Hearing:** July 19, 2021

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**Applicant:** Old Cutters Inc.

**Project:** Old Cutter Townhomes

**Request:** Preliminary Plat

**Location:** Sonitalena Cottages Future Sublots, Old Cutters Subdivision (CD Olena Dr, address TBD)

**Size & Zoning:** 17,055 square feet; General Residential (GR) Zoning District

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on June 30, 2021, and mailed to adjoining property owners on June 30, 2021.

**Background and Application:** Consideration of a Preliminary Plat Application by Oscar Hildago, represented by Alpine Enterprises Inc., wherein Sonitalena Cottages Future Sublots is subdivided into two (2) sublots, Sublot 1 is 8,528 square feet in size, and Sublot 2 is 8,527 square feet in size. This project is located within the General Residential (GR) Zoning District. This project is known as Old Cutters Townhomes.

The original Old Cutters Subdivision Plat earmarked this parcel as the last two lots of the 9-lot Sonitalina Cottages, of which seven (7) cottages have been developed directly to the north.

The proposed development will gain access off of an access easement from an alley platted adjacent to the Hiawatha Canal. All lots have frontage on a public street, CD Olena Drive.

**Procedural History:** The Application was submitted on May 27, 2021 and certified complete on June 2nd, 2021. A public hearing will be held on July 19, 2021, in the Council Chambers of Hailey City Hall, and virtually via GoTo Meeting.



Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b> All infrastructure will require detailed final construction drawings to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey standard drawings, specifications and procedures.
			<b>Life/Safety:</b> No comments	
			<b>Water and Wastewater:</b> The Water Division notes that the northern edge of the original Lot 2 should have had 1.5" service, but only had a ¾" services installed. When the Sonitalina Cottages were developed, the developer captured one of the two ¾" service lines meant to serve the subject property. Therefore, a second service line (¾") needs to be installed, requiring road cuts and connection to the main line. Subdivision inspection fees will be required to inspect this work.  <i>The recommendations above have been made Conditions of Approval.</i>	
			<b>Building:</b> No comments	
			<b>Streets:</b> The Streets Department has no comments.	
			<b>City Arborist:</b> No comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	<b>Applicability:</b> The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			<i>Staff Comments</i>	<i>Please refer to the specific standards as noted herein.</i>
<b>16.04.020: Streets:</b>				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.020	<b>Streets:</b> Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<b>Development Standards:</b> All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			<i>Staff Comments</i>	<i>The project will connect to CD Olena Drive. This street is public streets and is 60-feet in width. The street is adequate to safely accommodate existing and anticipated vehicular/pedestrian traffic.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<b>Cul-De-Sacs; Dead-End Streets:</b> Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and



				ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.
			<i>Staff Comments</i>	<i>N/A, as no cul-de-sac or dead-end street is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			<i>Staff Comments</i>	<i>Access to the parcels can be achieved from the platted alley on the west side of the lots.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.
			<i>Staff Comments</i>	<i>It appears that all proposed streets intersect at 90-degree angles and that the proposed streets are separated by the recommended distances. No three or four-way intersections are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.
			<i>Staff Comments</i>	<i>All streets within the subdivision are existing and are public streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F.	Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.
			<i>Staff Comments</i>	<i>The existing public street (CD Olena Drive) meets the minimum City Standards of 60' in width, which is consistent with Title 18 of the Hailey Municipal Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G.	Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.
			<i>Staff Comments</i>	<i>This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H.	Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.



			<b>Staff Comments</b>	<i>The streets are existing. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I.	<b>Runoff:</b> The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			<b>Staff Comments</b>	<i>To adequately accommodate runoff, drywell and other construction details shall be provided a final design. The Applicant shall also complete an EPA NPDES General Permit for Stormwater Discharge from Construction Activity prior to the commencement of construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	J.	<b>Signage:</b> The developer shall provide and install all street and traffic control signs in accordance with City Standards.
			<b>Staff Comments</b>	<i>This standard will be met and will be reviewed for compliance at final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	K.	<b>Dedication; Names:</b> All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.
			<b>Staff Comments</b>	<i>The streets are existing and all have names. This standard has been met.</i>
			L.	<b>Private Streets:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association.
			<b>Staff Comments</b>	<i>N/A, as no private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			<b>Staff Comments</b>	<i>N/A, as no private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			<b>Staff Comments</b>	<i>N/A, as no private street are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	Private street names shall not end with the word "Road", "Boulevard", "Avenue", "Drive" or "Street". Private streets serving five (5) or fewer dwelling units shall not be named.
			<b>Staff Comments</b>	<i>N/A, as no private street are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.



			<i>Staff Comments</i>	<i>N/A, as no private streets are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 6.	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10'x20') if angle parking, or ten feet by twenty-four feet (10'x24') if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.
			<i>Staff Comments</i>	<i>N/A, as no private streets are proposed.</i>
			M.	Driveways:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			<i>Staff Comments</i>	<i>At this time, no driveways are shown on the plat. That said, driveways in Old Cutters are required to gain access off of the alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 2.	Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths: a) Accessing one residential unit: twelve feet (12') b) Accessing two residential units: sixteen feet (16') No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.
			<i>Staff Comments</i>	<i>No driveway materials are proposed at this time, but shall conform to this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 3.	Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 4.	Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.
			<i>Staff Comments</i>	<i>This is preferred by the City; however, more details are needed with regard to driveways. Details and compliance of City Standards will be reviewed during the development of construction drawings. Please refer to Section 16.04.020(M) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 5.	The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.020(M) for further details.</i>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 6.	No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.
			Staff Comments	Driveways will not impact existing infrastructure and should be compatible with existing and planned residential units; however, further details are needed with regard to driveways. Please refer to Section 16.04.020(M) for further details.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N.	Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			Staff Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	O.	Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.
			Staff Comments	N/A
<b>16.04.030: Sidewalks and Drainage Improvements</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.
			Staff Comments	All existing streets have adjacent sidewalks. The width of all sidewalks complies with the standards noted in Section 18.06.012.C: Mobility Design.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Staff Comments	Please refer to Section 16.04.030(A) for further details.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.
			Staff Comments	Please refer to Section 16.04.030(A) for further details.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.
			Staff Comments	N/A. Please refer to Section 16.04.030(A) for further details and/or comments noted by City Staff.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			Staff Comments	N/A
<b>16.04.040: Alleys and Easements</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
			A.	Alleys:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			Staff Comments	The alley on the west side of the subject property is existing.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 2.</b>	<b>The minimum width of an alley shall be twenty-six (26') feet.</b>
			<i>Staff Comments</i>	<i>The alley on the west side of the subject property is existing and meets City standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 3.</b>	<b>All alleys shall be dedicated to the public or provide for public access.</b>
			<i>Staff Comments</i>	<i>The alley on the west side of the subject property is existing and meets City standards. Alleys in Old Cutters are private alleys with public access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 4.</b>	<b>All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.</b>
			<i>Staff Comments</i>	<i>The alley on the west side of the subject property is existing and meets City standards. Infrastructure in Old Cutters is primarily located in the street and not in alleys.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 5.</b>	<b>Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.</b>
			<i>Staff Comments</i>	<i>N/A, as the area is not commercial.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 6.</b>	<b>Dead-end alleys shall not be allowed.</b>
			<i>Staff Comments</i>	<i>The alley on the west side of the subject property is existing and meets City standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 7.</b>	<b>Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.</b>
			<i>Staff Comments</i>	<i>The alley on the west side of the subject property is existing and meets City standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B.</b>	<b>Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 1.</b>	<b>To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.</b>
			<i>Staff Comments</i>	<i>Though the proposed subdivision does not border the Big Wood River, the following easements are shown on the proposed plat:</i> <ol style="list-style-type: none"> <li><i>1. A 20' by 10' water easement to benefit Sonitalena Cottages.</i></li> <li><i>2. Staff recommends that an easement be created around the water and wastewater utilities.</i></li> <li><i>3. Staff recommends that the following plat note be added:</i></li> </ol>



				10. Recorded Documents that may apply also include; 317964 – Notes, Easements and Restrictions on Plat of Drexler Ranch Subdivision 423951 – Notes, Easements and Restrictions on Plat of A Replat of Drexler Ranch Subdivision 534732 – Hailey Ordinance No. 939, Annexing 534733 – Annexation, Services, and Development Agreement 557818, 567326, 622285, & 623363 – Amended Annexation, Services, and Development Agreement 546901 – Easement Agreement 546902 – Phasing Agreement 548869, 548870 – Hiawatha Canal/Old Cutters Subdivision Maintenance Agreement 549327 – Old Cutters North Entrance Agreement 553633 – Terms, provisions, covenants, conditions, restrictions, easements, charges, assessments & liens 607932, 608314, 623217, 629902 553634 – Notes, Easements, Restrictions on Plat of Old Cutters Subdivision 623363 – Release of Plat note No. 22 556970 – Water Delivery System Maintenance 630142 – Water Delivery System Maintenance and Cost Sharing Agreement
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.
			Staff Comments	N/A, as no natural resource, riparian area, hazardous area or other limitation requires an easement for the proposed subdivision.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.
			Staff Comments	Snow storage easements should be delineated on the plat.
<b>16.04.050: Blocks</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.050	Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.
			Staff Comments	All proposed blocks are shown on the Preliminary Plat.
<b>16.04.060: Lots</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	



Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.060	Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.
			<i>Staff Comments</i>	<i>The proposed sublots meet the minimum size required by the General Residential (GR) Zoning District. No sublots are more than double the minimum lot size. Furthermore, The Applicant has no intention to further subdivide the proposed sublots within the subdivision, and no sublots are proposed to be at or larger than one-half (1/2) acre.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).
			<i>Staff Comments</i>	<i>N/A, as no double frontage lots are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.
			<i>Staff Comments</i>	<i>N/A, as no unbuildable lots are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.
			<i>Staff Comments</i>	<i>N/A, as no flag lot is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Section 16.04.020 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.
			<i>Staff Comments</i>	<i>The proposed project includes two Townhouse Sublots (1 and 2), all sublots have frontage on a public street; driveways are required to access via the alley.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e., lots shall



				be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			<i>Staff Comments</i>	<i>N/A, as this project is not located within the Townsite Overlay (TO) Zoning District.</i>
<b>16.04.070: Orderly Development</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.
			<i>Staff Comments</i>	<i>N/A, as no Phasing Plan is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<u>Agreement:</u> Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.
			<i>Staff Comments</i>	<i>N/A, as no Phasing Plan is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p><b>Mitigation of Negative Effects:</b> No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</p> <ul style="list-style-type: none"> <li>a) Provision of on-site or off-site street or intersection improvements.</li> <li>b) Provision of other off-site improvements.</li> <li>c) Dedications and/or public improvements on property frontages.</li> <li>d) Dedication or provision of parks or green space.</li> <li>e) Provision of public service facilities.</li> <li>f) Construction of flood control canals or devices.</li> <li>g) Provisions for ongoing maintenance.</li> </ul>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>a) Provision of on-site or off-site street or intersection improvements. <i>N/A</i></li> <li>b) Provision of other off-site improvements. <i>N/A</i></li> <li>c) Dedications and/or public improvements on property frontages. <i>N/A</i></li> <li>d) Dedication or provision of parks or green space. <i>Please refer to Section 16.04.110 for further details.</i></li> <li>e) Provision of public service facilities. <i>All public utilities and services proposed will be developed as part of the subdivision.</i></li> <li>f) Construction of flood control canals or devices. <i>The construction and/or incorporation of roads and drywells are anticipated to improve drainage conditions onsite.</i></li> <li>g) Provisions for ongoing maintenance. <i>N/A</i></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ul style="list-style-type: none"> <li>1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic.</li> <li>2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green</li> </ul>



				<p>space, public lands, or other destinations.</p> <p>3. Water main lines and sewer main lines shall be designed in the most effective layout feasible.</p> <p>4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.</p> <p>5. Park land shall be most appropriately located on the Contiguous Parcels.</p> <p>6. Grading and drainage shall be appropriate to the Contiguous Parcels.</p> <p>7. Development shall avoid easements and hazardous or sensitive natural resource areas.</p> <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<i>Staff Comments</i>	<i>Proposed Sublot 1 and Sublot 2 are owned by the Applicant and are shown on the Preliminary Plat. That said, it would not be possible to divide the parcels one more time, as the minimum lot size could not be achieved.</i>
<b>16.04.080: Perimeter Walls, Gates and Berms</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.
			<i>Staff Comments</i>	<i>N/A, as it appears no perimeter walls, gates or landscape berms are proposed within Block 11.</i>
<b>16.04.090: Cuts, Fills, Grading and Drainage</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>No floodplain exists and the parcel is currently vacant.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.
			<i>Staff Comments</i>	<i>At this time, the City Engineer has not required that a Soils Report be prepared and/or submitted.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<p>A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information:</p> <ul style="list-style-type: none"> <li>a) Proposed contours at a maximum of two (2) foot contour intervals;</li> <li>b) Cut and fill banks in pad elevations;</li> <li>c) Drainage patterns;</li> <li>d) Areas where trees and/or natural vegetation will be preserved;</li> <li>e) Location of all street and utility improvements including driveways to building envelopes; and</li> <li>f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.</li> </ul>



			<b>Staff Comments</b>	<i>No Preliminary grading, drainage, and street and utility improvements have been developed.</i>
			<b>B.</b>	<b>Design Standards: The proposed subdivision shall conform to the following design standards:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 1.</b>	<b>Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</b>
			<b>Staff Comments</b>	<i>The grading has been developed for the existing streets within the subdivision. Grading for dwelling units shall meet this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 2.</b>	<b>Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.</b>
			<b>Staff Comments</b>	<i>N/A, as none exist within Block 11.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 3.</b>	<b>Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.</b>
			<b>Staff Comments</b>	<i>Erosion control and re-vegetation shall be included in final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 4.</b>	<b>Where cuts, fills or other excavation are necessary, the following development standards shall apply:</b> a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope. e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.
			<b>Staff Comments</b>	<i>Grading and drainage review shall take place during final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B. 5.</b>	<b>The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.</b>
			<b>Staff Comments</b>	<i>A Storm Water Pollution Prevention Plan (SWPPP) will be necessary for any disturbances greater than one (1) acre and shall be provided at final design.</i>



				Additionally, the Applicant will complete all applicable EPA permitting prior to construction.
<b>16.04.100: Overlay Districts</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
			<b>A.</b>	<b>Flood Hazard Overlay District:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 1.</b>	Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 2.</b>	Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. 3.</b>	Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located adjacent to the Big Wood River or its tributaries.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<b>Hillside Overlay District:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 1.</b>	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 17.04N, of the Hailey Municipal Code.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 2.</b>	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. 3.</b>	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<b>16.04.110: Parks, Pathways and Other Green Spaces</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<b>Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.</b>
			<i>Staff Comments</i>	<p><i>At the time the Old Cutters Subdivision was annexed and platted, the Applicant was required to provide at least 3.43 acres of park space. The Applicant has provided 5.08 acres of park space.</i></p> <p><i>Additionally, pathways located on the east side of the Hiawatha Canal and into BLM land to the north are existing and were existing at the time of development. Connections to the trail were required at both the north and south ends to ensure proper access to the pathway. A pedestrian easement across the northern portions of Lots 1, 2 and 3, Block 2, with signage and a soft path, were also installed/constructed.</i></p>



				<i>No additional park space and/or pathways shall be required by this Subdivision Application.</i>
			<b>A. 1.</b>	<b>Parks:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 1. a.</b>	<p>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</p> <p><math>P = x \text{ multiplied by } .0277</math></p> <p>“P” is the Parks contribution in acres</p> <p>“x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</p>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 (A) above for further details. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A.1.b</b>	In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is located in the General Residential (GR) Zoning District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 2.</b>	<p><b>Pathways:</b> The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</p>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 (A) for further details.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<p><b>Multiple Ownership:</b> Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> <li>a) By the same individual(s) or entity(is), including but not limited to corporation(s), partnership(s), limited liability company(is) or trust(s), or</li> <li>b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(is) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies),</li> <li>c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units.</li> <li>d) <b>Parks and Lands Board:</b> The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this</li> </ul>



				ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			<i>Staff Comments</i>	<i>N/A, as these issues were covered in the full development of the Old Cutters Subdivision and does not apply specifically to the subject parcel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<b>Parks and Lands Board:</b> The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			<i>Staff Comments</i>	<i>N/A, as this standard was addressed in the development of the Old Cutters Subdivision.</i>
			D.	<b>Minimum Requirements:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 1.	<b>Private Green Space:</b> Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.
			<i>Staff Comments</i>	<i>N/A, as no private green space specifically for this subdivision is being proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	<b>Neighborhood Park:</b> A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			<i>Staff Comments</i>	<i>N/A. Please reference Section 16.04.110 (A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	<b>Mini Park:</b> A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			<i>Staff Comments</i>	<i>N/A, as no mini park is proposed within this subdivision at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	<b>Park/Cultural Space:</b> A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			<i>Staff Comments</i>	<i>N/A, as no park/cultural space is proposed within this subdivision at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 5.	<b>Pathway:</b> Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not



				identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.
			<i>Staff Comments</i>	<i>Pathways were conveyed during the Preliminary and Final Plat process of the Old Cutters Subdivision. Please refer to Section 16.04.110 (A) for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 2.	Shall provide safe and convenient access, including ADA standards.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 3.	Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.
			<i>Staff Comments</i>	<i>No gates or restricted access are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 4.	Shall be configured in size, shape, topography and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 5.	Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 6.	Shall require low maintenance or provide for maintenance or maintenance endowment.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F.	Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110.D for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. 2.	Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110.A for further details.</i>



			<b>G.</b>	<b>Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 1.</b>	<b>Shall meet the minimum applicable requirements required by subsection D of this section.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 2.</b>	<b>Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 3.</b>	<b>The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 4.</b>	<b>The private ownership and maintenance of green space shall be adequately provided for by written agreement.</b>
			<i>Staff Comments</i>	<i>Maintenance shall be managed and funded by the Subdivision's HOA, if private space is proposed.</i>
			<b>H.</b>	<b>In-Lieu Contributions:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 1.</b>	<b>After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.</b>
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 2.</b>	<b>The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in subsections E4 and E5 of this section. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.</b>
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 3.</b>	<b>Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.</b>
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 4.</b>	<b>In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.</b>
			<i>Staff Comments</i>	<i>N/A</i>



16.05: Improvements Required:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	<p>Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.</p> <p><i>Staff Comments</i>  <i>The Applicant intends to construct all necessary infrastructure, if the project is approved.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.</p> <p><i>Staff Comments</i>  <i>This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.</p> <p><i>Staff Comments</i>  <i>This standard will be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.</p> <p><i>Staff Comments</i>  <i>This standard will be met.</i></p>
16.05.020: Streets, Sidewalks, Lighting, Landscaping				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.020	<p>Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.</p> <p><i>Staff Comments</i>  <i>All public infrastructure shall meet City specifications. No additional street lights are proposed at this time.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25%</p>



				of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)
			<i>Staff Comments</i>	Any and all proposed street cuts shall be per this standard and shall be approved by the Streets Division prior to construction.  All infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			<i>Staff Comments</i>	Street names and signage are existing and meet this standard.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIIIB of the Hailey Zoning Ordinance.
			<i>Staff Comments</i>	N/A, as no street lights are shown and/or proposed.
<b>16.05.030: Sewer Connections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.030	Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<i>Staff Comments</i>	Sewer services are shown from each subplot connecting into the sewer main. Connection details to the existing sewer system shall be approved by the Wastewater Division prior to construction. All infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.
<b>16.05.040: Water Connections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.



			<b>Staff Comments</b>	<p>The Water Division notes that the northern edge of the original Lot 2 should have had 1.5" service, but only had a ¾" services installed. When the Sonitalina Cottages were developed, the developer captured one of the two ¾" service lines meant to serve the subject property. Therefore, a second service line (3/4") needs to be installed, requiring road cuts and connection to the main line. Subdivision inspection fees will be required to inspect this work.</p> <p>All infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</p> <p>The items above have been made a Conditions of Approval.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<p><b>Townsite Overlay:</b> Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<b>Staff Comments</b>	N/A, as this project is not within the Townsite Overlay (TO) District.
<b>16.05.050: Drainage</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.050</b>	<p><b>Drainage:</b> The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p>
			<b>Staff Comments</b>	Review of drainage calculations will take place during final design. Design concepts must conform to City of Hailey standard drawings, specifications and procedures.
<b>16.05.060: Utilities</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.060</b>	<p><b>Utilities:</b> The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</p>
			<b>Staff Comments</b>	Utilities will be constructed and installed underground. Additional utility company comment and engineering details will be required at final design.
<b>16.05.070: Parks, Green Space</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.070</b>	<p><b>Parks, Green Space:</b> The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.</p>
			<b>Staff Comments</b>	Please refer to Section 16.04.110 for further detail.
<b>16.05.080: Installation to Specifications; Inspections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.080</b>	<p><b>Installation to Specifications; Inspections:</b> All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.</p>
			<b>Staff Comments</b>	An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be further evaluated in greater detail at final design. The inspection process of



				<p><i>the proposed public improvements shall include materials testing to ensure the compliance with the Hailey Municipal Code.</i></p> <p><i>The City will need to select an inspector, to be paid for by the Applicant, for all water, sewer, and roadway infrastructure during construction.</i></p>
<b>16.05.090: Completion; Inspections; Acceptance</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.</p>
			Staff Comments	<i>This standard shall be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)</p>
			Staff Comments	<i>N/A, as completion of all major infrastructure by the Developer is preferred over bonding.</i>
<b>16.05.100: As Built Plans and Specifications</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	<p>As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015)</p>
			Staff Comments	<i>As built drawings will be required. This standard will be met.</i>
<b>16.08: Townhouses:</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.010	<p>Plat Procedure: The developer of the townhouse development shall submit with the preliminary plat application and all other information required herein a copy of the proposed party wall agreement and the proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities, commonly held facilities, garages, parking and/or green spaces. Prior to final plat approval, the developer shall submit to the city a final copy of the party wall agreement and any other such documents and shall record the documents prior to or at the same time of the recordation of the plat, which plat shall reflect the recording instrument numbers thereupon. (Ord. 1191, 2015)</p>
			Staff Comments	<i>This standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.020	<p>Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific townhouse units on the townhouse plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development. (Ord. 1191, 2015)</p>



			<i>Staff Comments</i>	<i>No garages have been shown on the plat. That said, it is expected that all garages, if proposed, be located on the same subplot as the principal dwelling. This standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.030	<b>Storage, Parking Areas:</b> Residential townhouse developments shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>At this time, no onsite parking has been delineated. Upon further development of a site plan, this standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.040	<b>Construction Standards:</b> All townhouse development construction shall be in accordance with the IBC, IRC and IFC. Each townhouse unit must have separate water, sewer and utility services, which do not pass through another building or unit. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.050	<b>General Applicability:</b> All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse developments. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>This standard shall be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.060	<b>Expiration:</b> Townhouse developments which have received final plat approval shall have a period of three (3) calendar years from the date of final plat approval by the council to obtain a building permit. Developments which have not received a building permit shall be null and void and the plats associated therewith shall be vacated by the council. If a development is to be phased, construction of the second and succeeding phases shall be contingent upon completion of the preceding phase unless the requirement is waived by the council. Further, if construction on any townhouse development or phase of any development ceases or is not diligently pursued for a period of three (3) years without the prior consent of the council, that portion of the plat pertinent to the undeveloped portion of the development shall be vacated. (Ord. 1191, 2015).
			<i>Staff Comments</i>	<i>This standard will be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.08.070	<b>Conversion:</b> The conversion by subdivision of existing units into townhouses shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.080	<b>Density:</b> The maximum number of cottage townhouse units on any parcel shall be twelve (12), and not more than two (2) cottage townhouse developments shall be constructed adjacent to each other. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The proposed parcel is zoned General Residential (GR), which allows for ten (10) units per one (1) acre. Two (2) sublots and only one (1) dwelling unit per subplot is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.11.010	<b>Exceptions:</b> Whenever the tract to be subdivided is, in the shape or size, or is surrounded by such development or unusual conditions that the strict application of the requirements contained herein would result in real difficulties and substantial hardships or injustices, the council may vary or modify such requirements by making findings for their decision so that the developer is allowed to develop his property in a reasonable manner, while ensuring that the public welfare and interests of the city and surrounding area are protected and the general intent and spirit of this title are preserved. As used in this section, the phrase “real difficulties and substantial hardships or injustices” shall apply only to situations where strict application of the requirements of this title will deny to the developer the reasonable and beneficial use of the property in question, and not in situations where the developer establishes only



				that exceptions will allow more financially feasible or profitable subdivision. (Ord. 1191, 2015).
			<i>Staff Comments</i>	N/A

**Summary and Suggested Conditions of Approval:** The Commission shall review the Preliminary Plat Application and continue the public hearing, approve, conditionally approve, or deny the Application. If approved, the Preliminary Plat Application will be forwarded to the Hailey City Council.

The following are suggested Conditions of Approval for the Preliminary Plat Application for Block 11 of Old Cutters Subdivision:

**General Conditions:**

- 1) All Fire Department and Building Department requirements shall be met and shall meet City Standards where required.
- 2) Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Section 16.02.080 of the Hailey Municipal Code.
- 3) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- 4) The Final Plat must be submitted within one (1) calendar year from the date of approval of the Preliminary Plat.
- 5) Any Subdivision Inspection Fees due shall be paid prior to recordation of Final Plat.
- 6) Any Application Development Fees shall be paid prior to recordation Final Plat.
- 7) Prior to construction, the Applicant shall submit the following, if deemed necessary:
  - i. A Storm Water Pollution Prevention Plan (SWPPP)
- 8) A plat note shall be added as outlined in Standard 16.04.040.B.1.
- 9) A utility easement shall be created for the water and sewer utilities crossing the property frontage.
- 10) Snow storage easements shall be delineated on the plat.

**Streets and Right-of-Ways:**

- 11) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:
  - i. Driveways accessing more than one (1) residential dwelling unit shall be maintained by a Homeowner's Association, or in accordance with a plat note.
  - ii. Drywell and other construction details shall be provided at final design.

**Water and Wastewater:**

- 12) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards



where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:

- i. A  $\frac{3}{4}$ " meter shall be installed to serve the lot that currently has no meter. All meter vaults that are placed in driveways shall have metal collars and be put to grade.

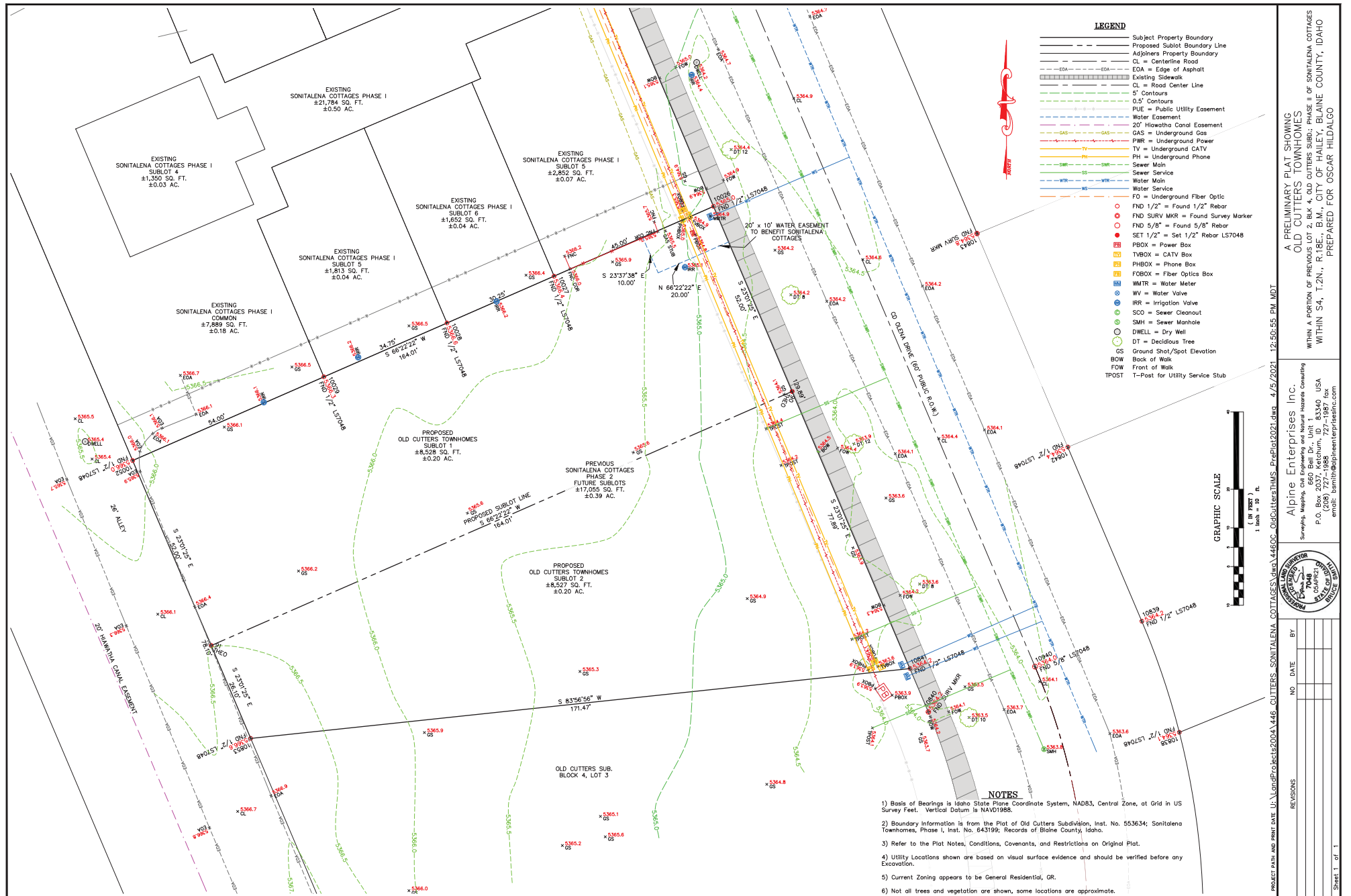
**Motion Language:**

**Approval:** Motion to approve the Preliminary Plat Application by Oscar Hildago, represented by Alpine Enterprises Inc., wherein Sonitalena Cottages Future Sublots is subdivided into two (2) sublots, Sublot 1 is 8,528 square feet in size, and Sublot 2 is 8,527 square feet in size, and is located within the General Residential (GR) Zoning District, finding that the application meets all City Standards, and that Conditions (1) through (12) are met.

**Denial:** Motion to deny the Preliminary Plat Application by Oscar Hildago, represented by Alpine Enterprises Inc., wherein Sonitalena Cottages Future Sublots is subdivided into two (2) sublots, Sublot 1 is 8,528 square feet in size, and Sublot 2 is 8,527 square feet, and is located within the General Residential (GR) Zoning District, finding that \_\_\_\_\_ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [the Commission should specify a date].







**Return to Agenda**





**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of July 19, 2021**

**To:** Hailey Planning & Zoning Commission

**From:** Robyn Davis, Community Development City Planner

**Overview:** Consideration of a Preliminary Plat Application by Old Cutters Inc., represented by Galena Engineering, wherein Lot 15, Block 6, Old Cutters Subdivision (611 Little Lena Drive) is subdivided into two (2) sublots, Sublot 1 is 5,008 square feet in size, and Sublot 2 is 5,007 square feet in size. This project is located within the General Residential (GR) Zoning District. This project is known as Poco Lena Subdivision.

**Hearing:** July 19, 2021

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**Applicant:** Old Cutters Inc.

**Project:** Poca Lena Townhomes

**Request:** Preliminary Plat

**Location:** Lot 15, Block 6, Old Cutters Subdivision (611 Little Lena Drive)

**Zoning:** General Residential (GR) Zoning District

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on June 30, 2021, and mailed to adjoining property owners on June 30, 2021.

**Background and Application:** Consideration of a Preliminary Plat Application by Old Cutters Inc., represented by Galena Engineering, wherein Lot 15, Block 6, Old Cutters Subdivision (611 Little Lena Drive) is subdivided into two (2) sublots, Sublot 1 is 5,008 square feet in size, and Sublot 2 is 5,007 square feet in size. This project is located within the General Residential (GR) Zoning District. This project is known as Poco Lena Subdivision.

The original Old Cutters Subdivision Plat earmarked this parcel as a Duplex lot, which can be further subdivided pursuant Ordinance 821. The Applicant is proposing to develop this parcel as such.

The proposed development will have frontage off of Little Lena Drive and gain access from the existing alley.

**Procedural History:** The Application was submitted on May 27, 2021 and certified complete on May 28, 2021. A public hearing will be held on July 19, 2021, in the Council Chambers of Hailey City Hall, and virtually via GoTo Meeting.



Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b> All infrastructure will require detailed final construction drawings to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey standard drawings, specifications and procedures.
			<b>Life/Safety:</b> No comments	
			<b>Water and Wastewater:</b> The Water Division recommends that the following be resolved and/or completed prior to final design: <ul style="list-style-type: none"> <li>- Meter vaults placed in driveways shall have a metal collar and be put to grade.</li> </ul> The Wastewater Division recommends that the following be resolved and/or completed prior to final design: <ul style="list-style-type: none"> <li>- Abandon existing sewer services and install new services at the center of Sublots 1 and 2. New services shall be perpendicular to the sewer main line.</li> </ul> The recommendations above have been made Conditions of Approval.	
			<b>Building:</b> No comments	
			<b>Streets:</b> The Streets Department recommends that the following be resolved and/or completed prior to final design: <ul style="list-style-type: none"> <li>- Drywell and other construction details shall be provided at final design.</li> </ul>	
			<b>City Arborist:</b> No comments	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	<b>Applicability:</b> The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			<i>Staff Comments</i>	Please refer to the specific standards as noted herein.
<b>16.04.020: Streets:</b>				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.020	<b>Streets:</b> Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<b>Development Standards:</b> All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			<i>Staff Comments</i>	The project will connect to Little Lena Drive. This street is an existing public street and is 60-feet in width. This street is adequate to safely accommodate existing and anticipated vehicular/pedestrian traffic. For further comments



				<i>or concerns noted by the Streets Division, please refer to Section 17.06.050: Streets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<b>Cul-De-Sacs; Dead-End Streets:</b> Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.
			<i>Staff Comments</i>	<i>N/A, as no cul-de-sac or dead-end street is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<b>Access:</b> More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			<i>Staff Comments</i>	<i>Access to the parcel can be achieved from the existing alley and Little Lena Drive.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<b>Design:</b> Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.
			<i>Staff Comments</i>	<i>It appears that all proposed streets intersect at 90-degree angles and that the proposed streets are separated by the recommended distances. No three or four-way intersections are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	<b>Centerlines:</b> Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.
			<i>Staff Comments</i>	<i>All streets within the subdivision are existing and are public streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F.	<b>Width:</b> Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.
			<i>Staff Comments</i>	<i>The existing public street (Little Lena Drive) meets the minimum City Standards of 60' in width, which is consistent with Title 18 of the Hailey Municipal Code.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G.	<b>Roadways:</b> Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.
			<i>Staff Comments</i>	<i>This standard has been met.</i>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H.	Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.
			Staff Comments	The streets are existing. This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I.	Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			Staff Comments	To adequately accommodate runoff, drywell and other construction details shall be provided a final design. The Applicant shall also complete an EPA NPDES General Permit for Stormwater Discharge from Construction Activity prior to the commencement of construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	J.	Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.
			Staff Comments	This standard will be met and will be reviewed for compliance at final design.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	K.	Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.
			Staff Comments	The street is existing and has a name. This standard has been met.
			L.	Private Streets:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association.
			Staff Comments	N/A, as no private streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 2.	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			Staff Comments	N/A, as no private streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 3.	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			Staff Comments	N/A, as no private street are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 4.	Private street names shall not end with the word "Road", "Boulevard", "Avenue", "Drive" or "Street". Private streets serving five (5) or fewer dwelling units shall not be named.
			Staff Comments	N/A, as no private street are proposed.



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 5.</b>	Private streets shall have adequate and unencumbered 10-foot-wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.
			<i>Staff Comments</i>	<i>N/A, as no private streets are proposed. A 10'-wide Public Utility Easement is proposed between all proposed along the property frontage of Sublot 1 and Sublot 2. A 4'-wide Snow Storage Easement also exists along the property frontage of both sublots. Additionally, a 5'-wide Snow Storage Easement exists to the rear of the parcel, along the existing 36'-wide alley.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>L. 6.</b>	Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10'x20') if angle parking, or ten feet by twenty-four feet (10'x24') if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.
			<i>Staff Comments</i>	<i>N/A, as no private streets are proposed.</i>
			<b>M.</b>	<b>Driveways:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 1.</b>	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			<i>Staff Comments</i>	<i>At this time, no driveways are shown on the plat. That said, driveways in Old Cutters are required to gain access off of the alley. This will be reviewed further at final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 2.</b>	Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths: a) Accessing one residential unit: twelve feet (12') b) Accessing two residential units: sixteen feet (16') No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.
			<i>Staff Comments</i>	<i>At this time, no driveways are shown on the plat. Driveways will be further reviewed at final design.</i>  <i>Additionally, no driveway materials are proposed at this time, but shall conform to this standard. Lastly, no portion of the driveways are proposed to be utilized for parking, above-ground utility structures, dumpsters, snow storage and other obstructions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 3.</b>	Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.



			<b>Staff Comments</b>	<i>It appears that no driveway will exceed 150' in length. More details are needed with regard to proposed driveways. Please refer to Section 16.04.020(M) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 4.</b>	<b>Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.</b>
			<b>Staff Comments</b>	<i>This is preferred by the City; however, more details are needed with regard to driveways. Details and compliance of City Standards will be reviewed during the development of construction drawings. Please refer to Section 16.04.020(M) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 5.</b>	<b>The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.020(M) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>M. 6.</b>	<b>No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.</b>
			<b>Staff Comments</b>	<i>Driveways will not impact existing infrastructure and should be compatible with existing and planned residential units; however, further details are needed with regard to driveways. Please refer to Section 16.04.020(M) for further details.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>N.</b>	<b>Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</b>
			<b>Staff Comments</b>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>O.</b>	<b>Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</b>
			<b>Staff Comments</b>	<i>N/A</i>
<b>16.04.030: Sidewalks and Drainage Improvements</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<b>Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.</b>
			<b>Staff Comments</b>	<i>The existing street, Little Lena Drive, has an adjacent sidewalk. The width of this sidewalk complies with the standards noted in Section 18.06.012.C: Mobility Design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B.</b>	<b>The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.030(A) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>C.</b>	<b>New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.030(A) for further details.</i>



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.
			Staff Comments	N/A. Please refer to Section 16.04.030(A) for further details and/or comments noted by City Staff.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.
			Staff Comments	N/A
<b>16.04.040: Alleys and Easements</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
			A.	Alleys:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	Alleys shall be provided in all Business District and Limited Business District developments where feasible.
			Staff Comments	There is an existing 26'-wide alley adjacent to the proposed sublots. All access will remain from the alley.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	The minimum width of an alley shall be twenty-six (26') feet.
			Staff Comments	The existing alley is 26'-wide and complies with this standard.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 3.	All alleys shall be dedicated to the public or provide for public access.
			Staff Comments	The alley is existing and this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 4.	All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.
			Staff Comments	The alley is existing and this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 5.	Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.
			Staff Comments	The alley is existing and this standard has been met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	Dead-end alleys shall not be allowed.
			Staff Comments	N/A, as this is not a dead-end alley and no additional alleys are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			Staff Comments	The alley is existing and this standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such



				<p>other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot-wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.</p>
			<i>Staff Comments</i>	<p><i>Though the proposed subdivision does not border the Big Wood River, the following easements are shown on the proposed plat:</i></p> <ol style="list-style-type: none"> <li>1. A 10'-wide Public Utility Easement along the property frontage of proposed Sublot 1 and Sublot 2.</li> <li>2. A 4'-wide Snow Storage Easement along the property frontage of proposed Sublot 1 and Sublot 2.</li> <li>3. A 5'-wide Snow Storage Easement along the rear property lines of proposed Sublot 1 and Sublot 2, and adjacent to the existing alley.</li> </ol> <p><i>City Staff recommends that the following be added as a plat note to the proposed plat:</i></p> <p>10. Recorded Documents that may apply also include;          317964 – Notes, Easements and Restrictions on Plat of Drexler Ranch Subdivision          423951 – Notes, Easements and Restrictions on Plat of A Replat of Drexler Ranch Subdivision          534732 – Hailey Ordinance No. 939, Annexing          534733 – Annexation, Services, and Development Agreement          557818, 567326, 622285, &amp; 623363 – Amended Annexation, Services, and Development Agreement          546901 – Easement Agreement          546902 – Phasing Agreement          548869, 548870 – Hiawatha Canal/Old Cutters Subdivision Maintenance Agreement          549327 – Old Cutters North Entrance Agreement          553633 – Terms, provisions, covenants, conditions, restrictions, easements, charges, assessments &amp; liens          607932, 608314, 623217, 629902          553634 – Notes, Easements, Restrictions on Plat of Old Cutters Subdivision          623363 – Release of Plat note No. 22          556970 – Water Delivery System Maintenance          630142 – Water Delivery System Maintenance and Cost Sharing Agreement</p> <p><i>This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	<p>To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District. The riparian setback easement shall be fenced off during any construction on the property.</p>
			<i>Staff Comments</i>	<p><i>N/A, as no natural resource, riparian area, hazardous area or other limitation requires an easement for the proposed subdivision.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	<p>To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of</p>



				parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.
			<i>Staff Comments</i>	<i>Snow storage easements have been delineated on the Civil Plans. The plat shows a 4'-wide Snow Storage Easement along all property frontages of the proposed sublots, as well as a 5'-wide Snow Storage Easement to the rear of the property and adjacent the existing alley.</i>
<b>16.04.050: Blocks</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.050	Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.
			<i>Staff Comments</i>	<i>All proposed blocks are shown on the Preliminary Plat.</i>
<b>16.04.060: Lots</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.060	Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.
			<i>Staff Comments</i>	<i>The proposed sublots meet the minimum size required by the General Residential (GR) Zoning District. No sublots are more than double the minimum lot size. Furthermore, the Applicant has no intention to further subdivide the proposed sublots within the subdivision, and no sublots are proposed to be at or larger than one-half (1/2) acre.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot-wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).
			<i>Staff Comments</i>	<i>N/A, as no double frontage lots are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as "parcels" on the plat. Green Space shall be clearly designated as such on the plat.
			<i>Staff Comments</i>	<i>N/A, as no unbuildable lots are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the "flagpole" projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private



				street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.
			<i>Staff Comments</i>	<i>N/A, as no flag lot is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Section 16.04.020 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.
			<i>Staff Comments</i>	<i>Block 6 includes two (2) Townhouse Sublots (1 and 2), all sublots have frontage on a public street, and it appears that no frontage width will be less than the required driveway width, as noted herein.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e., lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			<i>Staff Comments</i>	<i>N/A, as this project is not located within the Townsite Overlay (TO) Zoning District.</i>
<b>16.04.070: Orderly Development</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.
			<i>Staff Comments</i>	<i>N/A, as no Phasing Plan is proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<u>Agreement:</u> Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.
			<i>Staff Comments</i>	<i>N/A, as no Phasing Plan is proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<u>Mitigation of Negative Effects:</u> No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following: a) Provision of on-site or off-site street or intersection improvements. b) Provision of other off-site improvements. c) Dedications and/or public improvements on property frontages. d) Dedication or provision of parks or green space. e) Provision of public service facilities. f) Construction of flood control canals or devices. g) Provisions for ongoing maintenance.
			<i>Staff Comments</i>	a) Provision of on-site or off-site street or intersection improvements. <i>N/A</i> b) Provision of other off-site improvements. <i>N/A</i> c) Dedications and/or public improvements on property frontages. <i>N/A</i>



				<p>d) Dedication or provision of parks or green space. Please refer to Section 16.04.110 for further details.</p> <p>e) Provision of public service facilities. All public utilities and services proposed will be developed as part of the subdivision.</p> <p>f) Construction of flood control canals or devices. The construction and/or incorporation of roads and drywells are anticipated to improve drainage conditions onsite.</p> <p>g) Provisions for ongoing maintenance. N/A</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ol style="list-style-type: none"> <li>1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic.</li> <li>2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations.</li> <li>3. Water main lines and sewer main lines shall be designed in the most effective layout feasible.</li> <li>4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.</li> <li>5. Park land shall be most appropriately located on the Contiguous Parcels.</li> <li>6. Grading and drainage shall be appropriate to the Contiguous Parcels.</li> <li>7. Development shall avoid easements and hazardous or sensitive natural resource areas.</li> </ol> <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			Staff Comments	Proposed Sublot 1 and Sublot 2 are owned by the Applicant and are shown on the Preliminary Plat. That said, it would not be possible to divide the parcels one more time, as the minimum lot size could not be achieved.
<b>16.04.080: Perimeter Walls, Gates and Berms</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.
			Staff Comments	N/A, as it appears no perimeter walls, gates or landscape berms are proposed within Block 6.
<b>16.04.090: Cuts, Fills, Grading and Drainage</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.
			Staff Comments	No floodplain exists and the parcel is currently vacant.



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.
			Staff Comments	At this time, the City Engineer has not required that a Soils Report be prepared and/or submitted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information: a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.
			Staff Comments	Preliminary grading, drainage, and street and utility improvements have been shown on the Civil Plans. City Staff has conducted an initial review and any comments and/or concerns are noted herein.
			B.	Design Standards: The proposed subdivision shall conform to the following design standards:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.
			Staff Comments	The grading has been developed for the existing streets within the subdivision. Grading for dwelling units shall meet this standard.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.
			Staff Comments	N/A, as none exist within Block 6.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.
			Staff Comments	Erosion control and re-vegetation shall be included in final design.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 4.	Where cuts, fills or other excavation are necessary, the following development standards shall apply: a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope.



				e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.
			<i>Staff Comments</i>	<i>Grading and drainage review shall take place during final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 5.	The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.
			<i>Staff Comments</i>	<i>A Storm Water Pollution Prevention Plan (SWPPP) will be necessary for any disturbances greater than one (1) acre and shall be provided at final design. Additionally, the Applicant will complete all applicable EPA permitting prior to construction.</i>

#### 16.04.100: Overlay Districts

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
			A.	Flood Hazard Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 2.	Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Flood Hazard Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located adjacent to the Big Wood River or its tributaries.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Hillside Overlay District:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 17.04N, of the Hailey Municipal Code.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			<i>Staff Comments</i>	<i>N/A, as the proposed subdivision is not located within the Hillside Overlay District.</i>

#### 16.04.110: Parks, Pathways and Other Green Spaces

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<b>Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.</b>
			<b>Staff Comments</b>	<p><i>At the time the Old Cutters Subdivision was annexed and platted, the Developer was required to provide at least 3.43 acres of park space. The Developer has provided 5.08 acres of park space.</i></p> <p><i>Additionally, pathways located on the east side of the Hiawatha Canal and into BLM land to the north are existing and were existing at the time of development. Connections to the trail were required at both the north and south ends to ensure proper access to the pathway. A pedestrian easement across the northern portions of Lots 1, 2 and 3, Block 2, with signage and a soft path, were also installed/constructed.</i></p> <p><i>No additional park space and/or pathways shall be required by this Subdivision Application.</i></p>
			<b>A. 1.</b>	<b>Parks:</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 1. a.</b>	<p>The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula:</p> <p><b>P = x multiplied by .0277</b></p> <p><b>“P” is the Parks contribution in acres</b></p> <p><b>“x” is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, “x” is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.</b></p>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.110 (A) above for further details. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A.1.b</b>	<b>In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.</b>
			<b>Staff Comments</b>	<i>N/A, as the proposed subdivision is located in the General Residential (GR) Zoning District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A. 2.</b>	<b>Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</b>
			<b>Staff Comments</b>	<i>Please refer to Section 16.04.110 (A) for further details.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<p><b>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</b></p> <ul style="list-style-type: none"> <li>a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or</li> <li>b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a)</li> </ul>



				<p>such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies),</p> <p>c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units.</p> <p>d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.</p>
			<i>Staff Comments</i>	<i>N/A, as these issues were covered in the full development of the Old Cutters Subdivision and does not apply specifically to the subject parcel.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			<i>Staff Comments</i>	<i>N/A, as this standard was addressed in the full development of the Old Cutters Subdivision.</i>
			D.	Minimum Requirements:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 1.	Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.
			<i>Staff Comments</i>	<i>N/A, as no private green space, specifically for Block 6, is being proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.
			<i>Staff Comments</i>	<i>N/A. Please refer to Section 16.04.110 (A) for further detail.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			<i>Staff Comments</i>	<i>N/A, as no mini park is proposed within Block 6 at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place.



				Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			<i>Staff Comments</i>	<i>N/A, as no park/cultural space is proposed within Block 6 at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 5.	Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.
			<i>Staff Comments</i>	<i>Pathways were conveyed during the Preliminary and Final Plat process of the Old Cutters Subdivision. Please refer to Section 16.04.110 (A) for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 2.	Shall provide safe and convenient access, including ADA standards.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 3.	Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.
			<i>Staff Comments</i>	<i>No gates or restricted access are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 4.	Shall be configured in size, shape, topography and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and shall be available for the use of all the residents or employees of the proposed subdivision.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 5.	Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 6.	Shall require low maintenance or provide for maintenance or maintenance endowment.
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110 for further details.</i>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>F.</b>	<b>Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>F. 1.</b>	<b>Shall meet the minimum applicable requirements required by Subsection D of this section.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110.D for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>F. 2.</b>	<b>Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.040.110.A for further details.</i>
			<b>G.</b>	<b>Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 1.</b>	<b>Shall meet the minimum applicable requirements required by subsection D of this section.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 2.</b>	<b>Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 3.</b>	<b>The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110 for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>G. 4.</b>	<b>The private ownership and maintenance of green space shall be adequately provided for by written agreement.</b>
			<i>Staff Comments</i>	<i>Maintenance shall be managed and funded by the Subdivision's HOA, if private space is proposed.</i>
			<b>H.</b>	<b>In-Lieu Contributions:</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 1.</b>	<b>After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.</b>
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 2.</b>	<b>The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in subsections E4 and E5 of this section. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.</b>
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>H. 3.</b>	<b>Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.</b>



			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 4.	In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.
			<i>Staff Comments</i>	N/A
<b>16.05: Improvements Required:</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.
			<i>Staff Comments</i>	<i>The Applicant intends to construct all necessary infrastructure, if the project is approved.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.
			<i>Staff Comments</i>	<i>This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.
			<i>Staff Comments</i>	<i>This standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.
			<i>Staff Comments</i>	<i>This standard will be met.</i>
<b>16.05.020: Streets, Sidewalks, Lighting, Landscaping</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.020	Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.



			<b>Staff Comments</b>	<i>All public infrastructure shall meet City specifications. No additional street lights are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<b>Street Cuts:</b> Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)
			<b>Staff Comments</b>	<i>Any and all proposed street cuts shall be per this standard and shall be approved by the Streets Division prior to construction.</i>  <i>All infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>B.</b>	<b>Signage:</b> Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.
			<b>Staff Comments</b>	<i>Street names and signage are existing and meet this standard.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C.</b>	<b>Streetlights:</b> Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIII B of the Hailey Zoning Ordinance.
			<b>Staff Comments</b>	<i>N/A, as no street lights are shown and/or proposed.</i>
<b>16.05.030: Sewer Connections</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.030</b>	<b>Sewer Connections:</b> The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.
			<b>Staff Comments</b>	<i>Sewer services are shown connecting into the sewer main. The Wastewater Division recommends that the following be resolved and/or complete prior to final design:</i> <ul style="list-style-type: none"> <li>- <i>Abandon existing sewer services and install new services at the center of Sublots 1 and 2. New services shall be perpendicular to the sewer main line.</i></li> </ul> <i>Connection details to the existing sewer system shall be approved by the Wastewater Division prior to construction. All infrastructure will require detailed final construction drawings, to be submitted to the city and approved by the city prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</i>
<b>16.05.040: Water Connections</b>				



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>A.</b>	<p><b>Requirements:</b> The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<b>Staff Comments</b>	<p>Water services are shown from each subplot and connecting into the water main. Connection details to the existing water system shall be approved by the Water Division prior to construction. All infrastructure will require detailed final construction drawings, to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures. This has been made a Condition of Approval.</p> <p>Other recommendations and/or comments made by the Water Division include:</p> <ul style="list-style-type: none"> <li>- Meter vaults placed in driveways shall have a metal collar and be put to grade.</li> </ul> <p>The items above have been made a Conditions of Approval.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B.</b>	<p><b>Townsite Overlay:</b> Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<b>Staff Comments</b>	N/A, as this project is not within the Townsite Overlay (TO) District.
<b>16.05.050: Drainage</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.050</b>	<p><b>Drainage:</b> The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p>
			<b>Staff Comments</b>	Review of drainage calculations will take place during final design. Design concepts must conform to City of Hailey standard drawings, specifications and procedures.
<b>16.05.060: Utilities</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.060</b>	<p><b>Utilities:</b> The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</p>
			<b>Staff Comments</b>	Utilities will be constructed and installed underground. Additional utility company comment and engineering details will be required at final design.
<b>16.05.070: Parks, Green Space</b>				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>16.05.070</b>	<p><b>Parks, Green Space:</b> The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.</p>
			<b>Staff Comments</b>	Please refer to Section 16.04.110 for further detail.



16.05.080: Installation to Specifications; Inspections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.
			Staff Comments	<p>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be further evaluated in greater detail at final design. The inspection process of the proposed public improvements shall include materials testing to ensure the compliance with the Hailey Municipal Code.</p> <p>The City will need to select an inspector, to be paid for by the Applicant, for all water, sewer, and roadway infrastructure during construction.</p>
16.05.090: Completion; Inspections; Acceptance				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.
			Staff Comments	This standard shall be met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)
			Staff Comments	N/A, as completion of all major infrastructure by the Developer is preferred over bonding.
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of "as-built plans and specifications" certified by the developer's engineer shall be filed with the City engineer. (Ord. 1191, 2015)
			Staff Comments	As built drawings will be required. This standard will be met.
16.08: Townhouses:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.010	Plat Procedure: The developer of the townhouse development shall submit with the preliminary plat application and all other information required herein a copy of the proposed party wall agreement and the proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities, commonly held facilities, garages, parking and/or green spaces. Prior to final plat approval, the developer shall submit to the city a final copy of the party wall agreement and any other such documents and shall record the documents prior to or at the same time of the recordation of the plat, which plat shall reflect the recording instrument numbers thereupon. (Ord. 1191, 2015)
			Staff Comments	This standard shall be met.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.020	Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific townhouse units on the townhouse plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development. (Ord. 1191, 2015)
			Staff Comments	No garages have been shown on the plat. That said, it is expected that all garages, if proposed, be located on the same subplot as the principal dwelling. This standard shall be met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.030	Storage, Parking Areas: Residential townhouse developments shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015)
			Staff Comments	At this time, no onsite parking has been delineated. Upon further development of a site plan, this standard shall be met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.040	Construction Standards: All townhouse development construction shall be in accordance with the IBC, IRC and IFC. Each townhouse unit must have separate water, sewer and utility services, which do not pass through another building or unit. (Ord. 1191, 2015)
			Staff Comments	This standard shall be met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.050	General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse developments. (Ord. 1191, 2015)
			Staff Comments	This standard shall be met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.060	Expiration: Townhouse developments which have received final plat approval shall have a period of three (3) calendar years from the date of final plat approval by the council to obtain a building permit. Developments which have not received a building permit shall be null and void and the plats associated therewith shall be vacated by the council. If a development is to be phased, construction of the second and succeeding phases shall be contingent upon completion of the preceding phase unless the requirement is waived by the council. Further, if construction on any townhouse development or phase of any development ceases or is not diligently pursued for a period of three (3) years without the prior consent of the council, that portion of the plat pertinent to the undeveloped portion of the development shall be vacated. (Ord. 1191, 2015).
			Staff Comments	This standard will be met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.08.070	Conversion: The conversion by subdivision of existing units into townhouses shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)
			Staff Comments	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.080	Density: The maximum number of cottage townhouse units on any parcel shall be twelve (12), and not more than two (2) cottage townhouse developments shall be constructed adjacent to each other. (Ord. 1191, 2015)
			Staff Comments	The proposed parcel is zoned General Residential (GR), which allows for ten (10) units per one (1) acre. Two (2) sublots and only one (1) dwelling unit per subplot is proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.11.010	Exceptions: Whenever the tract to be subdivided is, in the shape or size, or is surrounded by such development or unusual conditions that the strict application of the requirements contained herein would result in real difficulties and substantial hardships or injustices, the council may vary or modify such requirements by making findings for their decision so that the developer is allowed to develop his property in a reasonable manner, while ensuring that the public welfare and interests of the city and



				surrounding area are protected and the general intent and spirit of this title are preserved. As used in this section, the phrase “real difficulties and substantial hardships or injustices” shall apply only to situations where strict application of the requirements of this title will deny to the developer the reasonable and beneficial use of the property in question, and not in situations where the developer establishes only those exceptions will allow more financially feasible or profitable subdivision. (Ord. 1191, 2015).
			<i>Staff Comments</i>	N/A

**Summary and Suggested Conditions of Approval:** The Commission shall review the Preliminary Plat Application and continue the public hearing, approve, conditionally approve, or deny the Application. If approved, the Preliminary Plat Application will be forwarded to the Hailey City Council.

The following are suggested Conditions of Approval for the Preliminary Plat Application for Block 6 of Old Cutters Subdivision:

**General Conditions:**

- 1) All Fire Department and Building Department requirements shall be met and shall meet City Standards where required.
- 2) Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Section 16.02.080 of the Hailey Municipal Code.
- 3) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- 4) The Final Plat must be submitted within one (1) calendar year from the date of approval of the Preliminary Plat.
- 5) Any Subdivision Inspection Fees due shall be paid prior to recordation of Final Plat.
- 6) Any Application Development Fees shall be paid prior to recordation Final Plat.
- 7) Prior to construction, the Applicant shall submit the following, if deemed necessary:
  - i. A Storm Water Pollution Prevention Plan (SWPPP)
- 8) The Applicant shall add the note, as referenced in Section 16.04.040.B., as a plat note.

**Streets and Right-of-Ways:**

- 9) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards where required. Infrastructure to be completed at the Applicant’s sole expense include, but will not be limited to:
  - i. Drywell and other construction details shall be provided at final design.

**Water and Wastewater:**

- 10) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards where required. Infrastructure to be completed at the Applicant’s sole expense include, but will not be limited to:



- i. Abandon existing sewer services and install new services at the center of Sublots 1 and 2. New services shall be perpendicular to the sewer main line.
- ii. All meter vaults that are placed in driveways shall have metal collars and be put to grade.

**Motion Language:**

**Approval:** Motion to approve the Preliminary Plat Application by Old Cutters Inc., represented by Galena Engineering, wherein Lot 15, Block 6, Old Cutters Subdivision (611 Little Lena Drive) is subdivided into two (2) sublots, Sublot 1 and Sublot 2, and is located within the General Residential (GR) Zoning District, finding that the application meets all City Standards, and that Conditions (1) through (10) are met.

**Denial:** Motion to deny the Preliminary Plat Application by Old Cutters Inc., represented by Galena Engineering, wherein Lot 15, Block 6, Old Cutters Subdivision (611 Little Lena Drive) is subdivided into two (2) sublots, Sublot 1 and Sublot 2, and is located within the General Residential (GR) Zoning District, finding that \_\_\_\_\_ [Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [the Commission should specify a date].

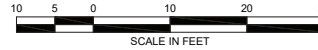


A PLAT SHOWING  
**POCO LENA TOWNHOMES**

WHEREIN LOT 15, BLOCK 6, OLD CUTTERS SUBDIVISION, IS CONVERTED INTO TOWNHOUSE SUBLOTS AS SHOWN HEREON  
LOCATED WITHIN SECTIONS 3 & 4, T.2N., R.18E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO

JUNE 2021

SCALE: 1" = 10'



**LEGEND**

- Property Line
- Proposed Sublot Line
- Adjoiner's Lot Line
- Centerline of Right of Way
- GIS Tie Line
- Edge of Asphalt
- Easement, Type & Width as Shown
- Sewer Main per City of Hailey Maps
- Sewer Service per City of Hailey Maps
- Water Main & Services per City of Hailey Maps
- Found Brass Cap, Setting as Shown
- Found 1/2" Rebar
- Set 5/8" Rebar, P.L.S. 16670
- Edge of Asphalt/Rebar
- Phone Box
- Power Box
- Deciduous Tree
- Concrete Sidewalk
- 1' Contour Interval

**SURVEY NARRATIVE & NOTES**

- The purpose of this survey is to show the monuments found during the retracement of Lot 5, Block 6, Old Cutters Subdivision and replat it to create Sublots 1 & 2, Poco Lena Townhomes. The Boundary information shown is based on found lot corner monuments, the Plat of Old Cutters Subdivision, Instrument Number 553634, records of Blaine County, Idaho. All found monuments have been accepted.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- The owner/subdivider is Old Cutters Inc., PO Box 986, Hailey, ID 83333. The surveyor/representative is Mark Phillips, Galena Engineering, Inc., 317 N. River St., Hailey, ID 83333.
- The current zoning is GR. Refer to the City of Hailey Zoning Ordinance for specific information about this zone.
- Party Wall Declaration for Starlight Serenade Townhomes is recorded in Blaine County as Instrument Number \_\_\_\_\_.
- All applicable notes from Old Cutters Subdivision, Instrument Number 553634, records of Blaine County, Idaho, shall apply.



POCO LENA TOWNHOMES

GALENA ENGINEERING, INC.  
HAILEY, IDAHO

MARK E. PHILLIPS, P.L.S. 16670

SHEET 1 OF 2  
Job No. 8132

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date \_\_\_\_\_

South Central District Health Dept., EHS



**Return to Agenda**





## STAFF REPORT

### Hailey Planning and Zoning Commission

### Regular Meeting of July 19, 2021

**To:** Hailey Planning and Zoning Commission

**From:** Robyn Davis, Community Development City Planner

**Overview:** Consideration of a Design Review Application by Kilgore Properties, LLC, for construction of Sweetwater Townhomes to be located at Block 5, Sweetwater P.U.D. Subdivision. This project consists of fourteen (14), three-story townhomes (28 units in total). Each unit is 1,830 square feet and the project will consist of two (2) phases of development.

**Hearing:** July 19, 2021

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**Applicant:** Kilgore Properties, LLC

**Request:** Design Review approval of fourteen (14), three-story townhomes, for 28 units in total

**Location:** Block 5, Sweetwater P.U.D. Subdivision (parcel that runs north along Maple Leaf Drive (address TBD))

**Zoning:** Limited Business (LB)

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express on June 30, 2021, and mailed to adjoining property owners on June 30, 2021.

**Application:** Kilgore Properties, LLC, has submitted a Design Review Application for fourteen (14), three-story townhomes (28 units in total), each unit approximately 1,832 square feet in size, to be located on the parcel that runs north along Maple Leaf Drive (Block 5, Sweetwater P.U.D. Subdivision). The project will be similar to the existing Sweetwater Development. The lot area of Block 5 is 2.46 acres and will consist of the following (for Phase I and Phase II):

- 80 Parking Spaces, which has been delineated as follows:
  - Garage: 56 spaces
  - Private Street: 10 spaces
  - On-Street: 14 spaces
- Fourteen (14), three-story townhomes (28 units in total), each comprising of:
  - A two-car garage
  - Storage space
  - Three (3) bedrooms
  - Two and one-half (2 ½) bathrooms
- P.U.D. Amenities include:
  - 1.6-acre (69,696 square feet) Park



- 5,200 square foot Amenity Building, which includes exercise rooms and fitness equipment, hobby and craft rooms, lounge and kitchen, pool and hot tub
- Tot Lot
- Wood River Trail Connection and Public Transit Facilities

Currently, the Applicant Team is requesting Design Review approval for construction of both Phase I and Phase II. Phase II builds on and is complementary to Phase I, and both are harmonious to the existing Sweetwater Development. It is anticipated that development of Block 5 within the Sweetwater P.U.D. Subdivision be completed within two (2) years, with an expected completion date of Summer 2023. As such, City Staff recommends that a six-month extension to the Design Review Application be considered. If approved, this project would have eighteen (18) months (from the date of approval) to apply for Building Permits for each phase.

This property is also subject to a P.U.D. Development Agreement dated August 14, 2006 and Amendments to the Development Agreement dated December 18, 2009, December 27, 2010 and November 6, 2012. The following report further describes any and all relevant amendments made to the original P.U.D. Development Agreement, as well as subsequent amendments thereafter.

**Procedural History:** The Application was submitted on June 10, 2021 and certified complete on June 21, 2021. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on July 19, 2021, in the Hailey City Council Chambers, and virtually via GoTo Meeting.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b> All infrastructure will require detailed final construction drawings to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey standard drawings, specifications and procedures.
				<b>Life/Safety:</b> No comments
				<b>Streets, Water &amp; Wastewater:</b> All infrastructure will require detailed final construction drawings to be submitted to the City and approved by the City prior to construction. All construction must conform to City of Hailey standard drawings, specifications and procedures.  Additionally, the Streets Department recommends that the following be resolved and/or completed prior to final design: <ul style="list-style-type: none"> <li>- 'No Parking' Signs shall be installed on Shenandoah Boulevard by Buildings 1 and 2.</li> <li>- The HOA shall be responsible for all snow removal in parking areas adjacent to roadways.</li> <li>- The HOA shall be responsible for all roadway lighting. Said lighting shall be compliant with Dark Sky Regulations.</li> </ul>



				<p><i>The above recommendations have been made Conditions of Approval.</i></p> <p><b>Building:</b> No comments</p> <p><b>City Arborist:</b> The Hailey Tree Committee will meet on July 15, 2021, to discuss this project. Any recommendations made will be brought to the Commission at a later date.</p> <p><i>Additionally, the City Arborist believes there aren't enough plantings within the proposed bark mulch space, specifically around the Mahonia. Since Mahonia are small plants, the City Arborist recommends that the Applicant plant additional plantings (grasses, shrubs or groundcover) within the bark mulch space to reduce the mass of bark. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	<p><b>17.08A Signs:</b> The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p>
			Staff Comments	<p><i>No signage is proposed at this time; however, any signage exceeding four square feet will need to be accompanied by a Sign Permit Application and be approved prior to installation.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<p><b>See Section 17.09.040 for applicable code.</b></p>
			Staff Comments	<p><i>Per the Hailey Municipal Code, Multi-Family Dwellings are required to provide at least 1.5 onsite parking spaces. Fourteen (14), three-story townhomes (28 units in total), are proposed; therefore, 42 onsite parking spaces are required. The site plan shows a total of 56 onsite parking spaces: a two (2) car garage per townhouse unit. Additionally, 10 private street parking spaces and 14 on-street parking spaces are also proposed.</i></p> <p><i>Parking requirements for the proposed project are met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	<p><b>A. Approval Required:</b> No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p>
			Staff Comments	<p><i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p><b>17.08C.040 General Standards</b></p> <ol style="list-style-type: none"> <li>All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> <li>Overlighting;</li> <li>Energy waste;</li> <li>Glare;</li> <li>Light Trespass;</li> <li>Skyglow.</li> </ol> </li> <li>All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> </ol>



				<p><b>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</b></p>
			<i>Staff Comments</i>	<p><i>The Applicant will install Dark Sky compliant, downcast and low wattage fixtures. A fixture sample has been submitted.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Bulk Requirements</b>	<p><b>Limited Business (LB) Zoning District:</b></p>
			<i>Staff Comments</i>	<ul style="list-style-type: none"> <li>- <b>Building Height:</b> <ul style="list-style-type: none"> <li>o Permitted Building Height: 37' (see P.U.D. below)</li> <li>o Proposed Building Height: 36'-11 ¾"</li> </ul> </li> <li>- <b>Required Setbacks (see P.U.D. below):</b> <ul style="list-style-type: none"> <li>o Front Yard: 8'</li> <li>o Side Yard: 5'</li> <li>o Side Yard: 5'</li> <li>o Rear Yard: 3'</li> </ul> </li> <li>- <b>Proposed Setbacks:</b> <ul style="list-style-type: none"> <li>o Front Yard (along Maple Leaf Drive): 22'</li> <li>o Side Yard (along Shenandoah Drive): 22'</li> <li>o Side Yard (along Woodside Boulevard): 24'</li> <li>o Rear Yard (along Heartland Way): 4'</li> </ul> </li> <li>- <b>Proposed Density: 11.4 units (sublots) per acre</b></li> </ul> <p><i>The original P.U.D. Agreement addresses the following waivers, which were granted in August 14, 2006:</i></p> <ul style="list-style-type: none"> <li>- <b>Building Height:</b> <ul style="list-style-type: none"> <li>o The maximum building height shall see an increase to 37 feet from 35 feet</li> </ul> </li> <li>- <b>Setbacks:</b> <ul style="list-style-type: none"> <li>o The minimum front yard setback shall be reduced from 20 feet to eight (8) feet for residential units</li> <li>o The minimum side yard setbacks shall be reduced from ten (10) feet to five (5) feet</li> <li>o The minimum rear yard setback shall be reduced from ten (10) feet to three (3) feet</li> </ul> </li> <li>- <b>Maximum Density:</b> <ul style="list-style-type: none"> <li>o Townhouse subplot density shall increase from 12 sublots per acre to 24 sublots per acre</li> </ul> </li> </ul> <p><i>All setback, building height and density requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.070(A)1 Street Improvements Required</b>	<p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p>
			<i>Staff Comments</i>	<p><i>A new 5'-wide sidewalk is shown along the perimeter of the proposed project (Shenandoah Drive and Maple Leaf Drive). This perimeter sidewalk will connect to the existing sidewalk along Woodside Boulevard and will also connect to interior sidewalks, providing safe access and sufficient circulation around and through the site.</i></p> <p><i>To safely access each unit, new 4'-wide sidewalks are also proposed.</i></p>



<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	N/A, as this project is not within the Townsite Overlay (TO) Zone District.

## Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

### 1. Site Planning: 17.06.080(A)1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p> <p>Staff Comments: Given the nature of the parcel (long and narrow) and the density of the proposed project, not all buildings are oriented north/south. That said, eight (8) of the proposed units and all of courtyards/open space are oriented north/south, which will maximize sun exposure to those exterior spaces.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p>Staff Comments: Landscaping Plans have been prepared for both phases. Said plans show trees to be relocated, new trees to be placed and existing trees to be protected. It appears that no trees will be removed that are larger than six (6) inch caliper, or mortally destroyed. Please refer to Section 17.06.080(A)4d for further details of the proposed landscaping.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p>Staff Comments: Site circulation has been designed to keep vehicular access and parking to the private roads and public streets. A 5'-wide sidewalk is shown along the perimeter of the project (Shenandoah Drive, Maple Leaf Drive and connecting to the existing sidewalk on Woodside Boulevard), where pedestrian traffic can safely navigate the site, visit neighbors and utilize development amenities. To safely access each unit, 4'-wide sidewalks are also shown.</p> <p>Additionally, in speaking with the Blaine County School District's Transportation Department, school bus stops exist at the Balmoral Office, on Shenandoah Drive and Heartland Way, and on Woodside Boulevard between Maple Leaf Drive and Countryside Boulevard. The School District does not anticipate adding or needing an additional stop within the Sweetwater Development.</p>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b>
			<i>Staff Comments</i>	<i>Trash receptacles and recycling bins will be in each units' garage and shall not interfere with snow storage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1e	<b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b>
			<i>Staff Comments</i>	<i>The private roads shall be utilized for building services. To eliminate duplicate street names, all proposed street names have been reviewed and approved by the Blaine County Assessor's Office and the City of Hailey.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b>
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b> <b>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b> <b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b>
			<i>Staff Comments</i>	<i>Onsite parking is located off of the private roads. Access to these roads can be achieved from Woodside Boulevard and Shenandoah Drive. All parking is screened from the street, buffered by buildings, landscaping and/or sidewalks.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	<b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b>
			<i>Staff Comments</i>	<i>The site is serviced by private roads and three public streets, Shenandoah Drive, Maple Leaf Drive and Woodside Boulevard. Onsite parking can be accessed from the private roads. Primary pedestrian access can be achieved from Maple Leaf Drive.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<b>i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b>
			<i>Staff Comments</i>	<i>The site plan proposes 26,800 square feet of parking, hardscape and pedestrian circulation. 25% of this is 6,700 square feet. 7,312 square feet for snow storage is provided. This is shown on the plans.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b>
			<i>Staff Comments</i>	<i>See Standard (i) above.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b>
			<i>Staff Comments</i>	<i>It appears that designated snow storage areas met this standard.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b>





			<i>Staff Comments</i>	<i>Snow may need to be hauled from the proposed private streets; however, at this time, the site and proposed snow storage areas appear to be adequate for the storing of snow.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Snow storage areas do not impede parking or pedestrian areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Snow storage areas are shown in grass landscape areas.</i>

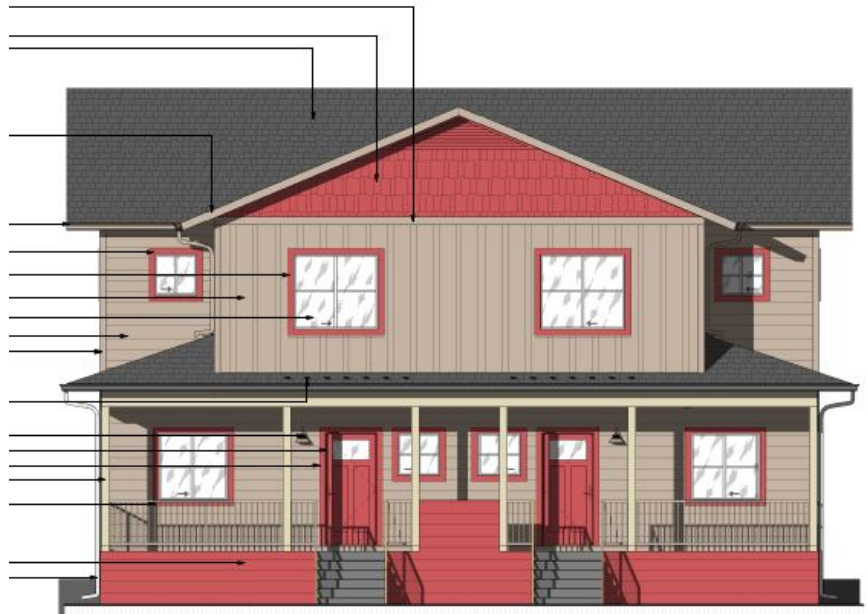
## 2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			<i>Staff Comments</i>	<i>The proposal is for multi-family buildings (townhouses) in the Limited Business (LB) Zone District, where a variety of homes, single-family and multi-family, exist. The proposed building designs incorporate a variety of features, such as porches, pop-outs, upper patios, balconies, varied exterior materials, and pitched roofs, which will complement the design and layout of the buildings in the surrounding area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	b. Standardized corporate building designs are prohibited.
			<i>Staff Comments</i>	<i>N/A, as the project is not a corporate design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			<i>Staff Comments</i>	<i>The buildings feature street-level material changes. The proposed buildings are designed with individual entryways, accompanied by a front porch, windows and fiberglass doors. The varied exterior colors help break up the mass of the buildings and the courtyards and front porches encourage human interaction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>The front façade of each unit either faces Maple Leaf Drive or a courtyard space, to be developed during construction. Porches, pop-outs, upper patios, balconies, and a variety of windows and exterior materials emphasize human scale and break up the large building surfaces. The scale and design components complement the surrounding area nicely.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>No plans for future additions or renovations are planned.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			<i>Staff Comments</i>	<i>A variety of materials will be used on the exterior of the buildings and will match that of the existing Sweetwater Development. Lap, Batten Board and Shake Siding will be utilized in various colors. Posts and trim will be wood, windows will be vinyl and doors will be fiberglass. Gutters and downspouts will be aluminum and the roof will see asphalt shingles.</i>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2g</p>	<p><b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b></p> <p><i>Staff Comments</i> Building colors for the proposed townhomes have been categorized into six (6) color schemes, which includes:</p> <p>(1) Roycroft Vellum, Peacock Plume, Renwick Beige, White, Black</p>  <p>(2) White Hyacinth, Refuge, Roycroft Vellum, Grizzle Gray, White, Black</p>  <p>(3) Roycroft Vellum, Rembrant Ruby, Renwick Beige, White, Black</p>
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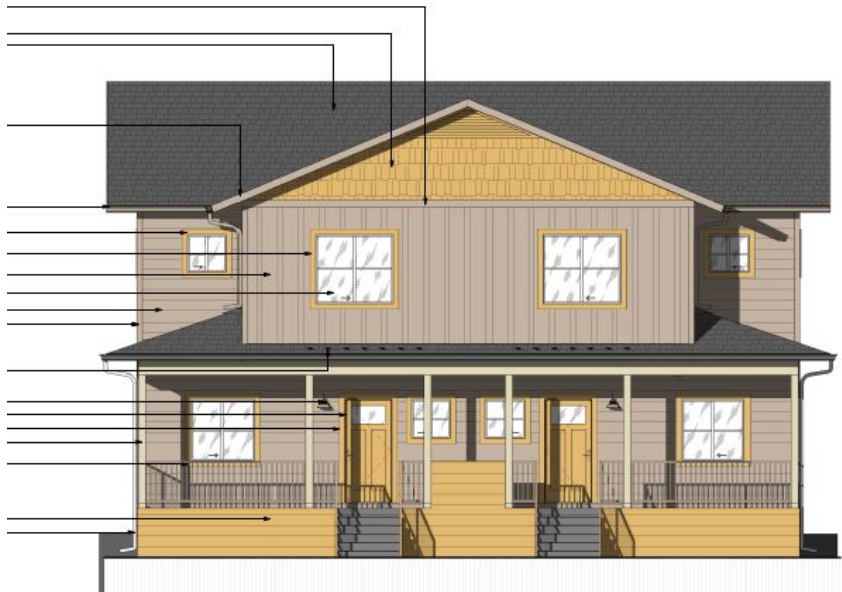
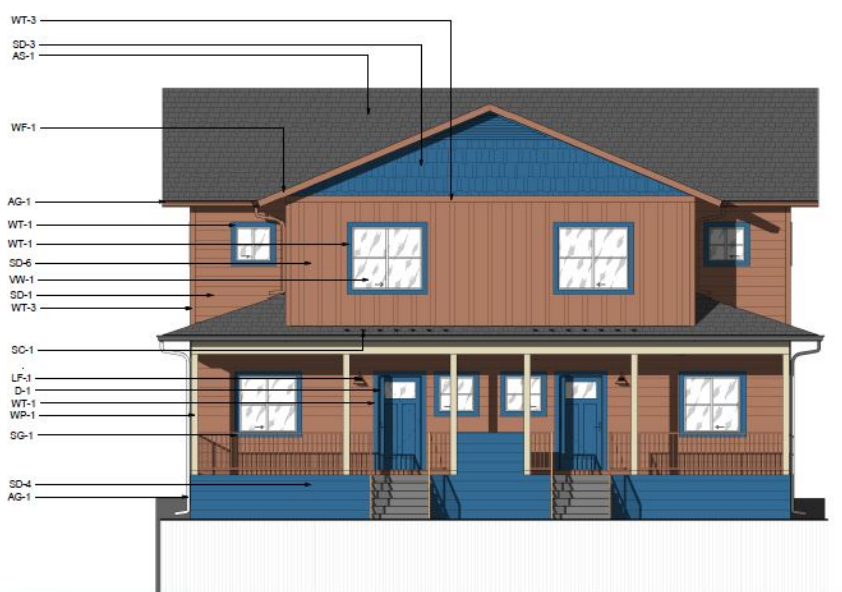


(4) Roycroft Vellum, Gallery Green, Renwick Beige, White, Black



(5) Roycroft Vellum, Eastlake Gold, Renwick Beige, White, Black



				 <p>(6) Roycroft Vellum, Inky Blue, Nuthatch, White, Black</p>  <p><i>All proposed colors and materials are broken on various elements to minimize mass and create a cohesive whole.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2h	<p><b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</b></p>
			<i>Staff Comments</i>	<i>N/A, as no flat-roofed buildings are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	<p><b>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</b></p>



				<p>i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</p> <p>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</p> <p>iii) Double glazed windows.</p> <p>iv) Windows with Low Emissivity glazing.</p> <p>v) Earth berming against exterior walls</p> <p>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</p>
			<i>Staff Comments</i>	<p>The Applicant has stated that they plan to minimize energy consumption by incorporating/utilizing the following:</p> <ul style="list-style-type: none"> <li>- Solar Orientation: the longer wall planes of the townhome buildings are placed on the east/west axis and appear to be within 30 degrees of true south.</li> <li>- Double Glazed Windows</li> <li>- Low Emissivity Glazing</li> </ul> <p>The Applicant can further describe any other methods and/or alternative energy sources utilized that minimizes energy consumption, if needed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			<i>Staff Comments</i>	Snow clips are proposed over all entries and pedestrian walkways. Downspouts and gutters have been shown and will be provided on each unit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			<i>Staff Comments</i>	Downspouts and drains will be located within landscaped areas and shall not create any pedestrian hazards.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			<i>Staff Comments</i>	N/A, as no signage is proposed at this time; therefore, a Master Sign Plan is not required at this time.

### 3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			<i>Staff Comments</i>	N/A, as no accessory structures are planned.
			17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<i>Staff Comments</i>	<i>N/A, as no accessory structures are planned. Trash receptacles and recycling bins will be stored in each unit's garage and will not interfere with snow storage.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			<i>Staff Comments</i>	<i>N/A, as walls and fencing are not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			<i>Staff Comments</i>	<i>N/A, as walls and fencing are not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			<i>Staff Comments</i>	<i>No roof projections are proposed at this time. All furnaces will be installed in the garage of each unit.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			<i>Staff Comments</i>	<i>Heating and trash/recycling will be interior. Unless separately purchased by the individual owner, AC units will not be provided. If purchased by an individual owner, AC units will be ground-mounted near the garage doors. All AC units shall be screened from view of the surrounding properties. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			<i>Staff Comments</i>	<i>All services lines will be underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			<i>Staff Comments</i>	<i>No appurtenances will be permitted on poles.</i>

#### 4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			<i>Staff Comments</i>	<i>It appears that plant materials will be appropriate for the environment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			<i>Staff Comments</i>	<i>The Applicant shall confirm that all proposed plant materials be hardy to Zone 4.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<i>An Irrigation Plan has not been submitted. The Irrigation Plan to be reviewed and approved at final design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines,



				<p>ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.</p>
			Staff Comments	<p><i>Landscaping Plans have been prepared for Phase I and Phase II. Said plans show trees to be relocated, new trees to be planted, as well as Plant Material Lists for the proposed landscaping. The Plant Material List for Phase I (see attached Landscape Plans for placement) includes:</i></p> <ul style="list-style-type: none"> <li>- 18 Sky Rocket Juniper at #7</li> <li>- 10 Chokecherry Trees at 2.5" caliper</li> <li>- 2 Honey locust Shademaster Trees at 3" caliper</li> <li>- 6 Eastern Redbud at 3" caliper</li> </ul> <p><i>Ground Covers include:</i></p> <ul style="list-style-type: none"> <li>- Kentucky Blue Grass Sod to cover 15,206 square feet</li> <li>- Bark Mulch to cover 13,744 square feet</li> </ul> <p><i>Shrubs include:</i></p> <ul style="list-style-type: none"> <li>- 15 Variegated Redtwig Dogwood</li> <li>- 150 Pink Princess Cinquefoil</li> <li>- 16 Mugo Pine Dwarf at 1 gallon</li> <li>- 47 Creeping Mahonia at 1 gallon</li> <li>- 16 Ivory Halo Dogwood at 1 gallon</li> <li>- 46 Common Snowberry Bush at 5 gallons</li> <li>- 19 Norway Spruce Pumila Dwarf</li> <li>- 43 Feather Reed Grass</li> <li>- 11 Coppertina Ninebark</li> <li>- 113 Goldmound Spirea</li> </ul> <p><i>The Plant Material List for Phase II (see attached Landscape Plans for placement) includes:</i></p> <ul style="list-style-type: none"> <li>- 9 Sky Rocket Juniper at #7</li> <li>- 7 Chokecherry Trees at 2.5" caliper</li> <li>- 2 Honey locust Shademaster Trees at 3" caliper</li> <li>- 1 Eastern Redbud at 3" caliper</li> </ul> <p><i>Ground Covers include:</i></p> <ul style="list-style-type: none"> <li>- Kentucky Blue Grass Sod to cover 9,200 square feet</li> <li>- Bark Mulch to cover 8,810 square feet</li> </ul> <p><i>Shrubs include:</i></p> <ul style="list-style-type: none"> <li>- 16 Variegated Redtwig Dogwood</li> <li>- 93 Pink Princess Cinquefoil</li> <li>- 11 Mugo Pine Dwarf at 1 gallon</li> <li>- 29 Creeping Mahonia at 1 gallon</li> <li>- 6 Ivory Halo Dogwood at 1 gallon</li> <li>- 27 Common Snowberry Bush at 5 gallons</li> <li>- 3 Norway Spruce Pumila Dwarf</li> <li>- 23 Feather Reed Grass</li> <li>- 5 Coppertina Ninebark</li> <li>- 89 Goldmound Spirea</li> </ul>



				<p><i>The project (which includes both phases) is proposing a total of 55 trees. Per Section 17.06.080(4)d, all newly landscaped areas having more than ten (10) trees, a minimum of ten percent (10%) of the trees shall be at least four-inch (4") caliper, twenty percent (20%) of the trees shall be at least three-inch (3") caliper, and twenty percent (20%) of the trees shall be at least two and one-half inch (2 ½") caliper.</i></p> <p><i>The Applicant is not proposing that any tree be a minimum of four-inch (4") caliper, which does not meet the minimum requirement that ten percent (10%), or a total of five (5) trees, be at least four-inch (4") caliper. This has been made a Condition of Approval.</i></p> <p><i>The Applicant is also proposing that 11 trees be a minimum of three-inch (3") caliper, which meets the minimum requirement that twenty percent (20%), or a total of 11 trees, be at least three-inch (3") caliper.</i></p> <p><i>Furthermore, the Applicant is proposing that 17 trees be a minimum of two-and-one-half-inch caliper (2 ½") caliper, which exceeds the minimum requirement that twenty percent (20%), or a total of 11 trees, be at least two-and-one-half-inch caliper (2 ½") caliper.</i></p> <p><i>The Hailey Tree Committee will meet on July 15, 2021, to discuss the project. Any recommendations made by the Tree Committee will be brought to the hearing.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p><b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b></p> <p><i>Staff Comments</i> N/A, as the proposed project is located within the Limited Business (LB) Zone District.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4f	<p><b>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</b></p> <p><i>Staff Comments</i> Proposed landscaping is varied, as shown in the Landscape Plans provided for both phases. See Section 17.06.080(A)1b for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p><b>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</b></p> <p><i>Staff Comments</i> A Drainage Plan has been submitted and storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Drainage Plan.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p><b>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</b></p> <p><i>Staff Comments</i> The Sweetwater HOA will be responsible for maintaining plant material in a healthy condition.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4i	<p><b>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</b></p> <p><i>Staff Comments</i> The retaining walls proposed have been designed to support, minimize their impact on and appearance of the development of the site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4j	<p><b>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</b></p>



			<i>Staff Comments</i>	<i>Retaining walls are proposed to be constructed of materials that have been utilized elsewhere within the Sweetwater Development. Said walls will be constructed out of the same block materials used in previous phases.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>Retaining walls over 24" high either have railings or planting buffers for safety.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>Retaining walls over 24" high either have railings or planting buffers for safety.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as the retaining walls proposed will not be utilized for seating.</i>

### Additional Design Review Requirements for Non-Residential Buildings Located within B, LB, or TN

#### 1. Site Planning: 17.06.080(B)1, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)1a	a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts.
			<i>Staff Comments</i>	<i>A new 5'-wide sidewalk is shown along the perimeter of the proposed project. This perimeter sidewalk will connect to interior sidewalks, providing safe access and sufficient circulation around and through the site. To safely access each unit, new 4'-wide sidewalks are also proposed.</i>  <i>Pedestrian connections are also shown within the development, encouraging safe and easy access to and from other residential units, the open space, and bulbouts along Maple Leaf Drive provide a safer connection to the amenity building across Maple Leaf Drive and to the south of the proposed development.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)1b	b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks.
			<i>Staff Comments</i>	<i>Wider sidewalks are not currently proposed along the perimeter of the project, nor was a wider sidewalk required by the P.U.D. Agreement in this area.</i>  <i>Per the original P.U.D. Agreement, sidewalks were required to be installed prior to the completion of each Phasing Plan and were to be located:</i> <ul style="list-style-type: none"> <li>- Along Maple Leaf Drive (both sides of the road)</li> <li>- On the east side of the road between Heartland Way and Maple Leaf Drive (abutting the park space and amenity building)</li> <li>- On the west side of the road between Heartland Way and Maple Leaf Drive (running parallel with Shenandoah Drive)</li> </ul> <i>Per the Second Amendment to the P.U.D. Agreement, dated December 27, 2010:</i>



			<p>- All roads, alleys and infrastructure necessary to serve a given building within the project, shall be installed prior to completion of the building, without regard to phasing or time restrictions associated with any prior Phasing Plan</p> <p>No other revisions to the sidewalks, specific to this project, were made in the subsequent amendments to the original P.U.D. Agreement.</p>
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## 2. Building Design: 17.06.080(B)2, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)2a	<p>a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.</p>
			Staff Comments	The main façade of eight (8) townhomes are oriented toward Maple Leaf Drive. The remaining buildings (6) are oriented toward a courtyard/open space; garage access off of the private streets. To better accommodate for parking and vehicular access, and to keep parking screened from view of the surrounding public streets, the private streets, divide the parcel.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)2b	<p>b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image which may often accompany large buildings.</p>
			Staff Comments	Multi-unit structures are proposed. Please refer to Design Review Standard 2. Building Design: 17.06.080(A)2, items (a) thru (m), for further details.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)2c	<p>c. Building designs shall maximize the human scale of buildings and enhance the small town “sense of place”. This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.</p>
			Staff Comments	The buildings feature street-level material changes. The proposed buildings are designed with individual entryways, accompanied by a front porch, windows and fiberglass doors, which help break up the mass of the buildings. Front porches facing the courtyards/open space encourage human interaction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)2d	<p>d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth combined with detailing of parapets, cornices, roof, and other architectural elements.</p>
			Staff Comments	From finished grade at the private roads, the proposed buildings exceed 30 feet in height. Various elements, such as front porches, back patios, pop-outs, upper patios, balconies, and a variety of windows, and exterior materials and colors break up the large building surface.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)2e	<p>e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged.</p>
			Staff Comments	Front porches, upper patios, balconies are shown to create livable outdoor spaces.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)2f	f. Fire department staging areas shall be incorporated into the design elements of the building.
			<i>Staff Comments</i>	<i>The proposed buildings are within 150' of the surrounding streets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(B)2g	g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: <ul style="list-style-type: none"> <li>i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses;</li> <li>ii. Stepping down the massing of the building along the site's edge; and</li> <li>iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns</li> </ul>
			<i>Staff Comments</i>	<i>N/A, as the proposed building is located within and surrounded by the Limited Business (LB) Zone District.</i>

### 3. Landscaping: 17.06.080(B)3

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(B)3	a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight-foot-wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature.
			<i>Staff Comments</i>	<i>The subject parcel abuts the General Residential (GR) Zone District along the north property line. Per the standard, a landscape buffer between the project and the residential property shall be provided; however, City Staff feels this buffer is unnecessary, as another multifamily project (Balmoral Apartments) exists on the abutting property and mature landscaping is existing.</i>
				



## Additional Design Review Requirements for Multi-Family within the City of Hailey

### 1. Site Planning: 17.06.080(D)1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	<p>a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.</p> <p><i>Staff Comments</i> The proposed buildings complement the surrounding area, open space and adjacent uses nicely. The surrounding area and adjacent uses are multi-family in nature and are amenable to the construction of the proposed Sweetwater Development.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	<p>b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.</p> <p><i>Staff Comments</i> Interior and perimeter sidewalks are existing and/or are proposed to connect and reinforce pedestrian circulation within the site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	<p>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</p> <p><i>Staff Comments</i> Buildings have been organized to maximize efficient site circulation. Site circulation has been designed to keep vehicular access and parking to the private roads and any public streets. A 5'-wide sidewalk is shown along the perimeter or the project, where pedestrian traffic can safely navigate the site, visit neighbors and utilize development amenities. To safely access each unit, 4'-wide sidewalks are also shown.</p>

### 2. Building Design: 17.06.080(D)2, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</p> <p><i>Staff Comments</i> Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</p> <p><i>Staff Comments</i> Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</p>

#### 17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
1. The project does not jeopardize the health, safety or welfare of the public.



- 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
- 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions are suggested to be placed on approval of this Application:

- a) All conditions of the Planned Unit Development approval shall be met.
- b) All applicable Fire Department and Building Department requirements shall be met.
- c) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- d) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.



- e) The private streets (Northern Lights Way, Camptown Lane, Angler Alley) shall be maintained by the HOA.
- f) 'No Parking' Signs shall be installed on Shenandoah Boulevard by Buildings 1 and 2.
- g) The HOA shall be responsible for all snow removal in parking areas adjacent to roadways.
- h) The HOA shall be responsible for all roadway lighting. Said lighting shall be compliant with Dark Sky Regulations.
- i) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- j) A Traffic Control Plan shall be submitted prior to issuance of a Building Permit.
- k) An Irrigation Plan shall be submitted prior to final design.
- l) The Applicant shall incorporate five (5) trees, to be at least four (4) inch caliper in size, within Phase I and Phase II of the proposed project.
- m) The Applicant shall plant additional plantings (grasses, shrubs and groundcover) within the bark mulch spaces of the proposed project.
- n) All sidewalks, interior and perimeter, shall be maintained year-round by the HOA.
- o) Any and all ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- p) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to Section 17.08C.010 of the Hailey Municipal Code.
- q) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- r) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- s) The Design Review approval shall be valid for eighteen (18) months. This extension shall be effective from the day of approval (reflected in Findings of Fact, if approved).

### **Motion Language**

**Approval:** Motion to approve the Design Review Application by Kilgore Properties, LLC, for construction of Sweetwater Townhomes to be located at Block 5, Sweetwater P.U.D. Subdivision. This project consists of fourteen (14), three-story townhomes (28 units in total), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (s) are met.

**Denial:** Motion to deny the Design Review Application by Kilgore Properties, LLC, for construction of Sweetwater Townhomes to be located at Block 5, Sweetwater P.U.D. Subdivision. This project consists of fourteen (14), three-story townhomes (28 units in total), finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].



**Continuation:** Motion to continue the public hearing to \_\_\_\_\_[Commission should specify a date].

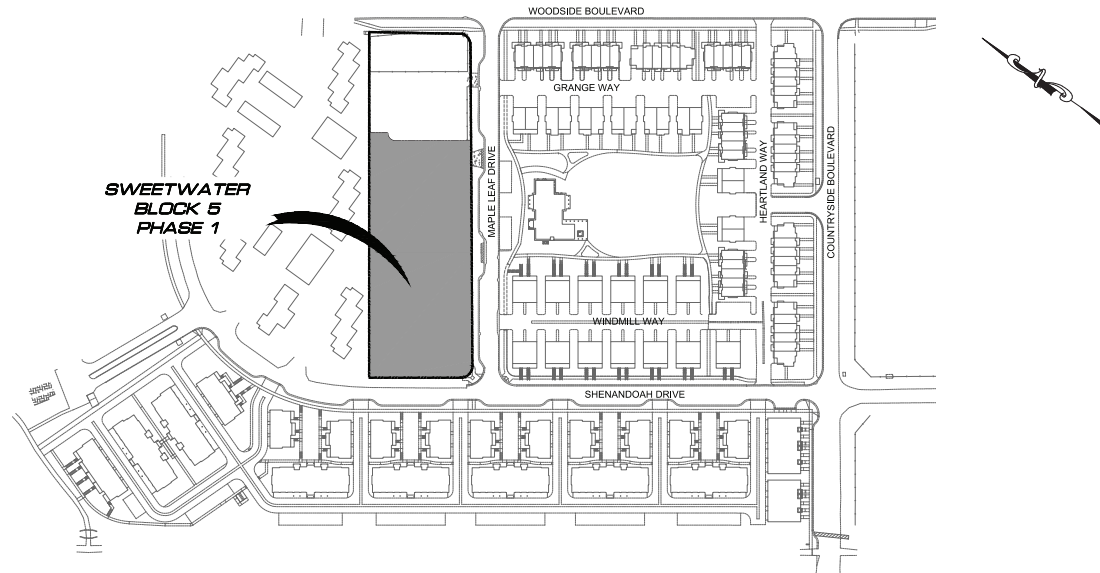


# SWEETWATER BLOCK 5

## PHASE 1

HAILEY, IDAHO

### PRELIMINARY PLANS



**LOCATION MAP**  
N.T.S.

#### INDEX OF SHEETS

##### GENERAL

SHEET	TITLE	FILE NAME
C-001	COVER SHEET	SW BLOCK 5 Ph1 - C000 CV
C-002	VICINITY MAP (1"=100')	SW BLOCK 5 Ph1 - C001 VM
C-002	GENERAL NOTES	SW BLOCK 5 Ph1 - C002 GN

##### OVERALL PLANS AND DETAILS (1"=30') OR AS SPECIFIED

SHEET	TITLE	FILE NAME
C-100	SITE PLAN	SW BLOCK 5 Ph1 - C100 SP
C-200	GRADING AND DRAINAGE PLAN	SW BLOCK 5 Ph1 - C200 GR
C-201	PRECISE GRADING - BUILDINGS 1-5 (1"=10')	SW BLOCK 5 Ph1 - C201 PG
C-202	PRECISE GRADING - BUILDINGS 6-9 (1"=10')	SW BLOCK 5 Ph1 - C202 PG
C-300	WATER PLAN	SW BLOCK 5 Ph1 - C300 WS
C-301	SEWER PLAN	SW BLOCK 5 Ph1 - C300 SS
C-400	LIGHTING PLAN	SW BLOCK 5 Ph1 - C400 LT
C-401	LIGHTING DETAILS	SW BLOCK 5 Ph1 - C400 LT
C-402	STREET LIGHTING DETAILS	SW BLOCK 5 Ph1 - C400 LT
C-500	CONSTRUCTION MANAGEMENT PLAN	SW BLOCK 5 Ph1 - C500 CM
C-600	SIGNAGE AND STRIPING PLAN	SW BLOCK 5 Ph1 - C600 ST

##### PLAN & PROFILES (1"=30') OR AS SPECIFIED

SHEET	TITLE	FILE NAME
PP-00	PLAN AND PROFILE MASTER KEY	SW BLOCK 5 Ph1 - PP00
PP-01	NORTHERN LIGHTS WAY	SW BLOCK 5 Ph1 - PP01
PP-02	CAMP TOWN LANE, ANGLER ALLEY	SW BLOCK 5 Ph1 - PP02

##### DETAILS

SHEET	TITLE	FILE NAME
C-600	DETAILS	SW BLOCK 5 Ph1 - C600 DT

##### LANDSCAPE PLANS

SHEET	TITLE	FILE NAME
L-100	EXISTING LANDSCAPE	SW BLOCK 5 Ph1 - L100 LA
L-101	PROPOSED LANDSCAPE PLAN	SW BLOCK 5 Ph1 - L100 LA

##### OWNER:

SWEETWATER COMMUNITIES, LLC  
13614 SOUTH CAROLINA HILLS CT,  
DRAPER, UTAH 84020  
801-316-3216 PHONE

##### PREPARED BY:

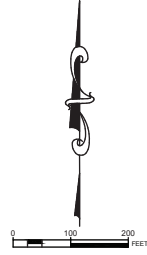


##### GEOTECHNICAL ENGINEER

FOCUS ENGINEERING  
5140 WEST CATALPA COURT  
BOISE, IDAHO  
208-395-1979 PHONE







**SWEETWATER BLOCK 5 PHASE 1  
VICINITY MAP**

PREPARED FOR: SWEETWATER COMMUNITIES

*NOT FOR CONSTRUCTION*



SHEET NUMBER  
C-001

SCALE  
HORIZONTAL: 1"=100'  
VERTICAL: 1"=N/A

JOB NUMBER  
47-0172

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.



PROJ. MGR: MW DESIGNER: AKJ  
 \\Mac\Dropbox\~Momentum-M2 Civil Team Folder\tron\m2civil\Projects\Momentum\Sweetwater\BLOCK 5\CAD\Improvement Plans\SW BLOCK 5 Ph 1 - C002 GN.dwg - May 14, 2021 - 11:00am





SITE DATA - PARCEL BLOCK 5:

PARCEL NUMBER:  
RPH04910050000

ZONING DISTRICT:  
LB – LIMITED BUSINESS

MIN. FRONT SETBACK:  
REQUIRED: 8'-0"

REQUIRED: 3'-0"  
PROVIDED: SEE PLAN

PROVIDED: SEE PLAN

MULTI-FAMILY DENSITY:  
ALLOWED: 24

UNITS/SUB-LOTS PER ACRE

INDIVIDUAL UNIT GROSS AREA:

SECOND FLOOR: 954 S.F.  
TOTAL: 2,796 S.F.

PROVIDED:	GARAGE ST
EACH UNIT	2
PUBLIC STREET	14

PER UNIT

26,800 SF X 25% = 6,700

---

## **TER BLOCK** **SITE PLAN**

PREPARED FOR: SWEETWATER COMMUNITIES



SCALE  
HORIZONTAL: 1"=30'

---





A horizontal number line is shown with tick marks at 0, 30, and 60. The word "FEET" is written at the right end. A point is marked at 15. The region between 15 and 60 is shaded.

STORM DRAIN NOTES:

- STORM DRAIN NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH HAILEY CITY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
  2. CONTRACTOR TO ENSURE FRAME AND GRATE TYPE ON ALL STORM DRAIN CATCH BASINS AND COMBINATION BOXES ARE CONSISTENT WITH CURB AND GUTTER TYPE.

**•IMPORTANT STANDARDS NOTE•**  
CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION.  
ALL WORK IS TO COMPLY WITH HAILEY CITY STANDARDS  
PER "2018 CITY OF HAILEY STANDARD DRAWINGS" AND  
HAILEY CITY "DESIGN SPECIFICATIONS". WHERE A  
STANDARD NOT SUPPLIED BY HAILEY CITY, ISPWC  
STANDARDS ARE TO BE APPLIED.

**SWEETWATER BLOCK 5 PHASE 1**  
**GRADING AND DRAINAGE PLAN**



SHEET NUMBER  
C-200

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=N/A

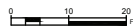
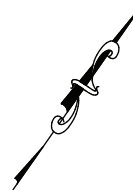
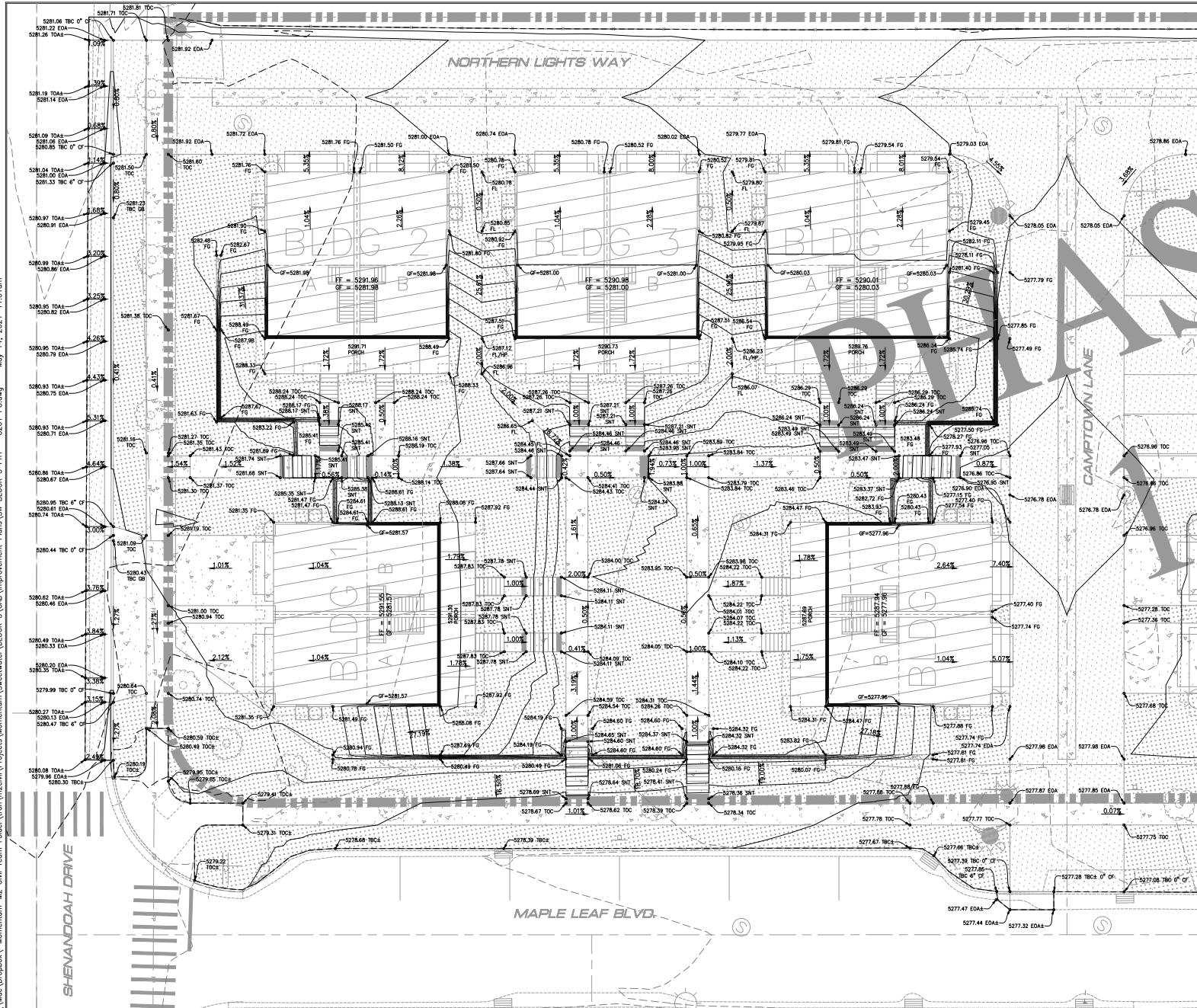
JOB NUMBER  
47-0172

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*NOT FOR CONSTRUCTION*

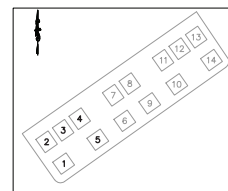
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- STORM DRAIN NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH HAILEY CITY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
  2. CONTRACTOR TO ENSURE FRAME AND GRATE TYPE ON ALL STORM DRAIN CATCH BASINS AND COMBINATION BOXES ARE CONSISTENT WITH CURB AND GUTTER TYPE.

- ELEVATION ABBREVIATIONS**
- BFF = BASEMENT FINISHED FLOOR
  - BOW = BACK OF WALK
  - CF = CURB FACE
  - DW = DRIVEWAY
  - EOA = EDGE OF ASPHALT
  - FOW = FRONT OF WALK
  - FG = FINISHED GRADE
  - FF = FINISHED FLOOR ELEVATION
  - FL = FLOWLINE
  - GB = GRADE BREAK
  - GF = GARAGE FLOOR
  - HP = HIGH POINT
  - LP = LOW POINT
  - SBT = STEP-BACK OF TREAD
  - SN1 = STEP-NOSE OF TREAD
  - TBC = TOP BACK OF CURB
  - TOA = TOP OF ASPHALT
  - TCC = TOP OF CONCRETE



**SWEETWATER BLOCK 5 PHASE 1  
PRECISE GRADING  
BUILDINGS 1-5**



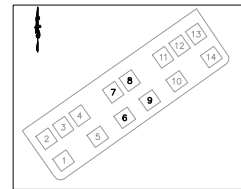
SHEET NUMBER
C-201
SCALE
HORIZONTAL: 1"=10'
VERTICAL: 1"=4'
DRAW NUMBER
47-0172

This engineer preparing these plans will be responsible for or under the supervision of a Professional Engineer. The engineer's name and license number must be in writing and must be approved by the engineer of these plans.

NOT FOR CONSTRUCTION

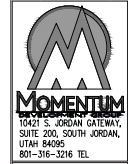
PREPARED FOR: SWEETWATER COMMUNITIES





**SWEETWATER BLOCK 5 PHASE 1  
PRECISE GRADING  
BUILDINGS 6-9**

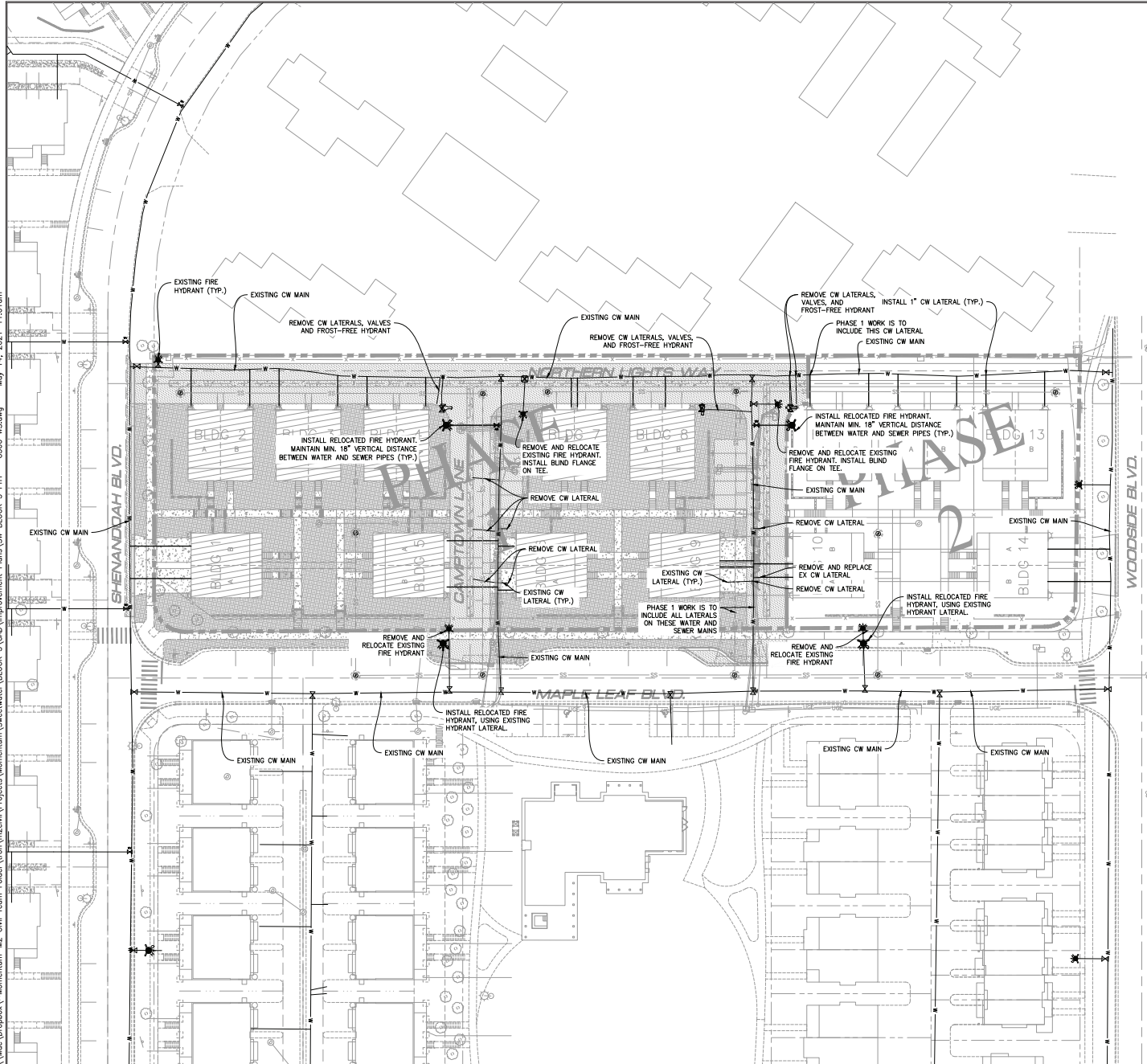
PREPARED FOR: SWEETWATER COMMUNITIES



SHEET NUMBER
C-202
SCALE
HORIZONTAL: 1"=10'
VERTICAL: 1"=N/A
JOB NUMBER
47-0172



PROJ. MGR. MW DESIGNER: AKJ  
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0 30 60  
FEET

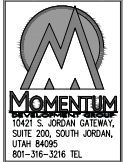
#### WATER GENERAL NOTES:

1. ANY METER VAULTS LOCATED IN DRIVEWAYS OR IN ASPHALT SHALL HAVE A HEAVY TRAFFIC RATED LID OVER THE VAULT.
2. ANY WATER SERVICES THAT ARE MOVED SHALL BE INSPECTED BY THE CITY AND SHALL BE INSTALLED PER CITY STANDARDS

#### SEWER GENERAL NOTES:

1. SEWER SERVICES SHOULD RUN PERPENDICULAR TO THE MAIN LINE TO THE CENTER OF EACH INDIVIDUAL UNIT, WITH NO SEWER SERVICES CONNECTED AT MANHOLES.
2. SEWER SERVICES SHALL CONNECT TO THE SEWER MAIN WITH A 45° ELBOW, POINTING DOWNSTREAM.

## SWEETWATER BLOCK 5 PHASE 1 WATER PLAN



10421 S. JORDAN GATEWAY,  
SUITE 200, SOUTH JORDAN,  
UTAH 84095  
801-316-3216 TEL



SHEET NUMBER  
C-300

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

SHEET NUMBER  
47-0172

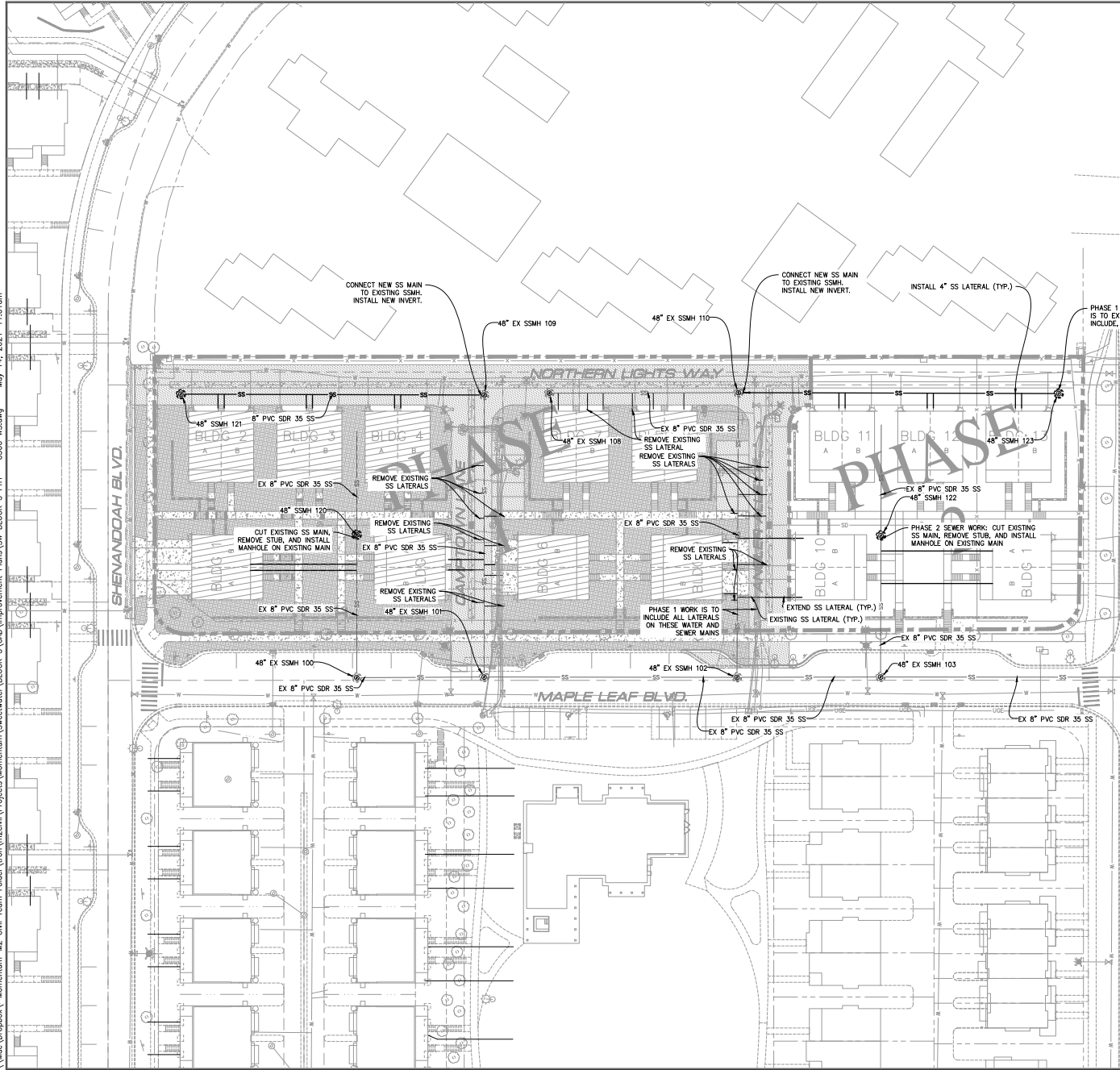
PREPARED FOR: SWEETWATER COMMUNITIES

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CAUTION  
The engineer preparing these plans will not be responsible for or liable for, any damage or injury to persons or property, or any other loss, that may result from the use of these plans, unless it is shown to be the fault of the engineer.



PROJ. MGR. MW DESIGNER: AKJ  
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**WATER GENERAL NOTES:**  
1. ANY METER VAULTS LOCATED IN DRIVEWAYS OR IN ASPHALT SHALL HAVE A HEAVY TRAFFIC RATED LID OVER THE VAULT.  
2. ANY WATER SERVICES THAT ARE MOVED SHALL BE INSPECTED BY THE CITY AND SHALL BE INSTALLED PER CITY STANDARDS

**SEWER GENERAL NOTES:**  
1. SEWER SERVICES SHOULD RUN PERPENDICULAR TO THE MAIN LINE TO THE CENTER OF EACH INDIVIDUAL UNIT, WITH NO SEWER SERVICES CONNECTED AT MANHOLES.  
2. SEWER SERVICES SHALL CONNECT TO THE SEWER MAIN WITH A 45° ELBOW, POINTING DOWNSTREAM.



0 30 60  
FEET

**SWEETWATER BLOCK 5 PHASE 1  
SEWER PLAN**



SHEET NUMBER  
**C-301**

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

SHEET NUMBER  
**47-0172**

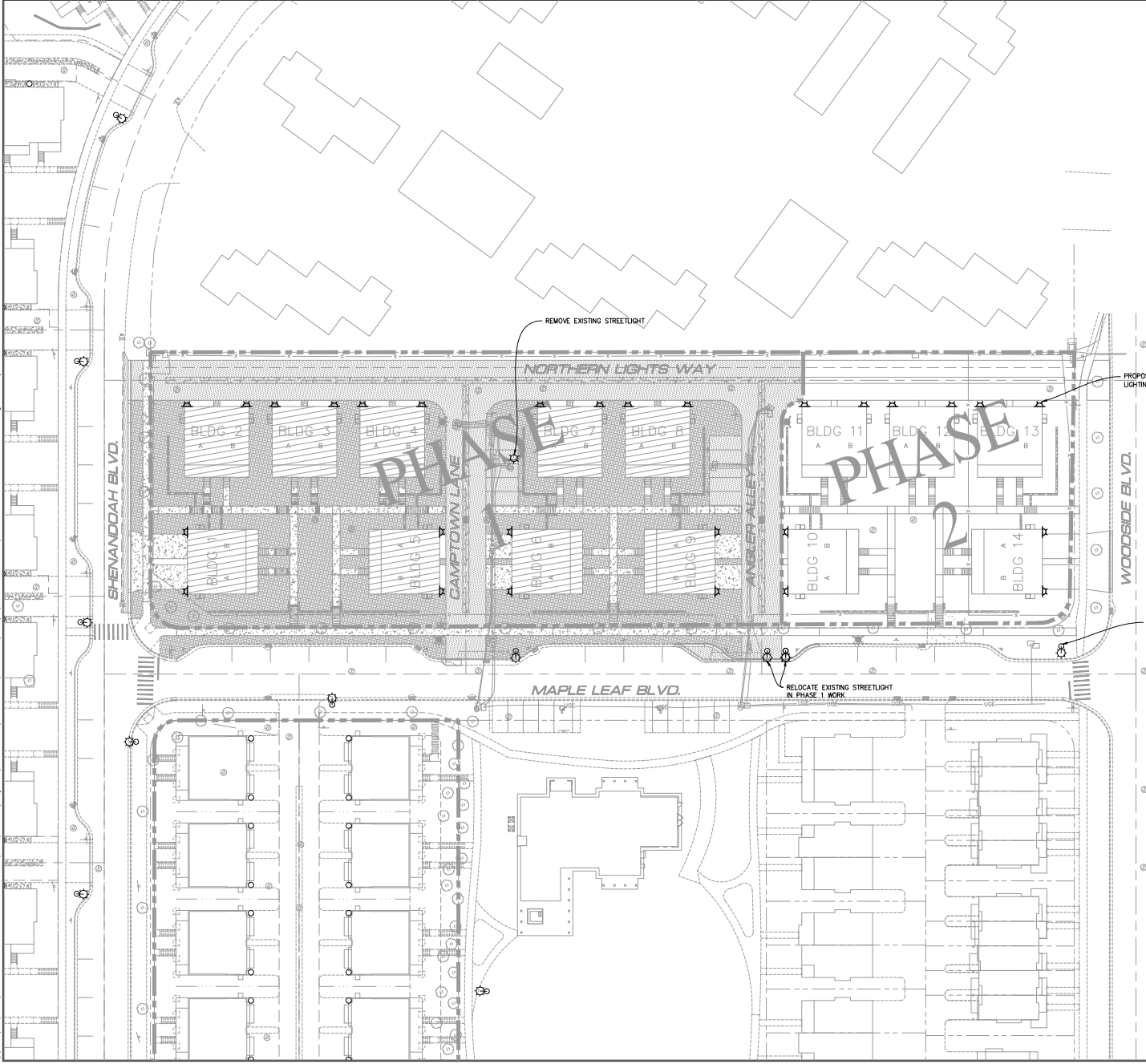
PREPARED FOR: SWEETWATER COMMUNITIES

**NOT FOR CONSTRUCTION**

THESE PLANS AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF SWEETWATER VALLEY, ID. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING AND MUST BE APPROVED BY THE PREPARED FOR THESE PLANS.



PROJ. MGR: MW DESIGNER: AKJ  
\\Mac-Drabba\momentum-42 Cit Team Folder\m2\2024\Projects\Momentum\Sweetwater\BLOCK 5 CAD\Improvement Plans\SW BLOCK 5 Ph1 - C400 LT.dwg - May 14, 2021 - 11:02am



0 30 60 FEET

- EXISTING STREET LIGHTING
- EXISTING LIGHT POLE
- PROPOSED STREET LIGHTING
- PROPOSED BUILDING MOUNTED DOWN LIGHTING AT GARAGE ENTRIES (TYP.)

**LIGHTING NOTES:**  
1. ALL NEW AND EXISTING EXTERIOR LIGHTING SHALL COMPLY WITH THE OUTDOOR LIGHTING ORDINANCE

**SWEETWATER BLOCK 5 PHASE 1  
LIGHTING PLAN**



SHEET NUMBER  
**C-400**

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

DRAW NUMBER  
**47-0172**

PREPARED FOR: SWEETWATER COMMUNITIES

**NOT FOR CONSTRUCTION**

CAUTION  
The engineer preparing these plans will not be responsible for or liable for, any errors or omissions in these plans, drawings, or specifications, or for any consequences resulting therefrom, unless it is shown that the engineer was negligent in the preparation of these plans.





**Sea Gull Lighting.**  
Life Illuminated | Since 1919

Width:	11 3/4"	Extension:	13 1/2"
Height:	15 3/4"	Wire:	6 1/2"
Weight:	5.5 lbs.	Mounting Pos:	

1 - Medium A9 100w Max, 120v - Not included

- Clear v(s) recommended for this fixture
- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 3 compliant if used with Joint Appendix (JAE) approved light bulbs listed in the California Energy Commission Appliance database.

English (HC-57)  
French (F-006)

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Filter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Diffuser	Glass	Gloss Black	1				6.00	6.14	4.17/22			

Type	Height x Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate			1	5 3/16	9 1/2	6 1/4

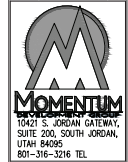
Package type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	PL Class	UPS Ship
Individual	0871-08	1	780602887192	16.75	14.5	19	2.671	10.1	250	Yes
NJ Pallet		30		48	40	72	80	303.8		No
NV Pallet		22		48	40	72	80	220		No

See Old Lighting reserves the right to revise the design of components of any product due to parts availability or change in safety listing standards without assuming any obligation or liability to notify any products previously manufactured by another design. This literature depicts the sole and exclusive property of Old Lighting. In compliance with U.S. copyright and patent requirements, notification is hereby presented in this form that this literature, or the product it depicts, is not to be copied, altered or used in any manner without the express written consent of, or contrary to the best interests of Old Lighting (L.L.C.) A Generation Brands Company.

### TYPE A BUILDING MOUNTED DOWN LIGHT



## SWEETWATER BLOCK 5 PHASE 1 LIGHTING DETAILS



SHEET NUMBER  
C-401

SCALE  
HORIZONTAL: 1"=N/A  
VERTICAL: 1"=N/A

JOB NUMBER  
47-0172

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

PREPARED FOR: SWEETWATER COMMUNITIES

**NOT FOR CONSTRUCTION**







PROJ. MGR: MW DESIGNER: AKJ  
\\Mac-Drabos\momentum-02 Cit Team Folder\on\2024\Projects\Momentum\Sweetwater\BLOCK 5 CAD\Improvement Plans\SW BLOCK 5 Ph1 - CSO CM.dwg - May 14, 2021-11:02am



- LEGEND**
- SNOW STORAGE AREA
  - TEMPORARY TOILETS
  - DUMPSTER AREA
  - CONSTRUCTION PARKING



**SWEETWATER BLOCK 5 PHASE 1  
CONSTRUCTION MANAGEMENT PLAN**



SHEET NUMBER  
**C-500**

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

SHEET NUMBER  
**47-0172**

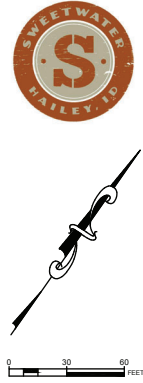
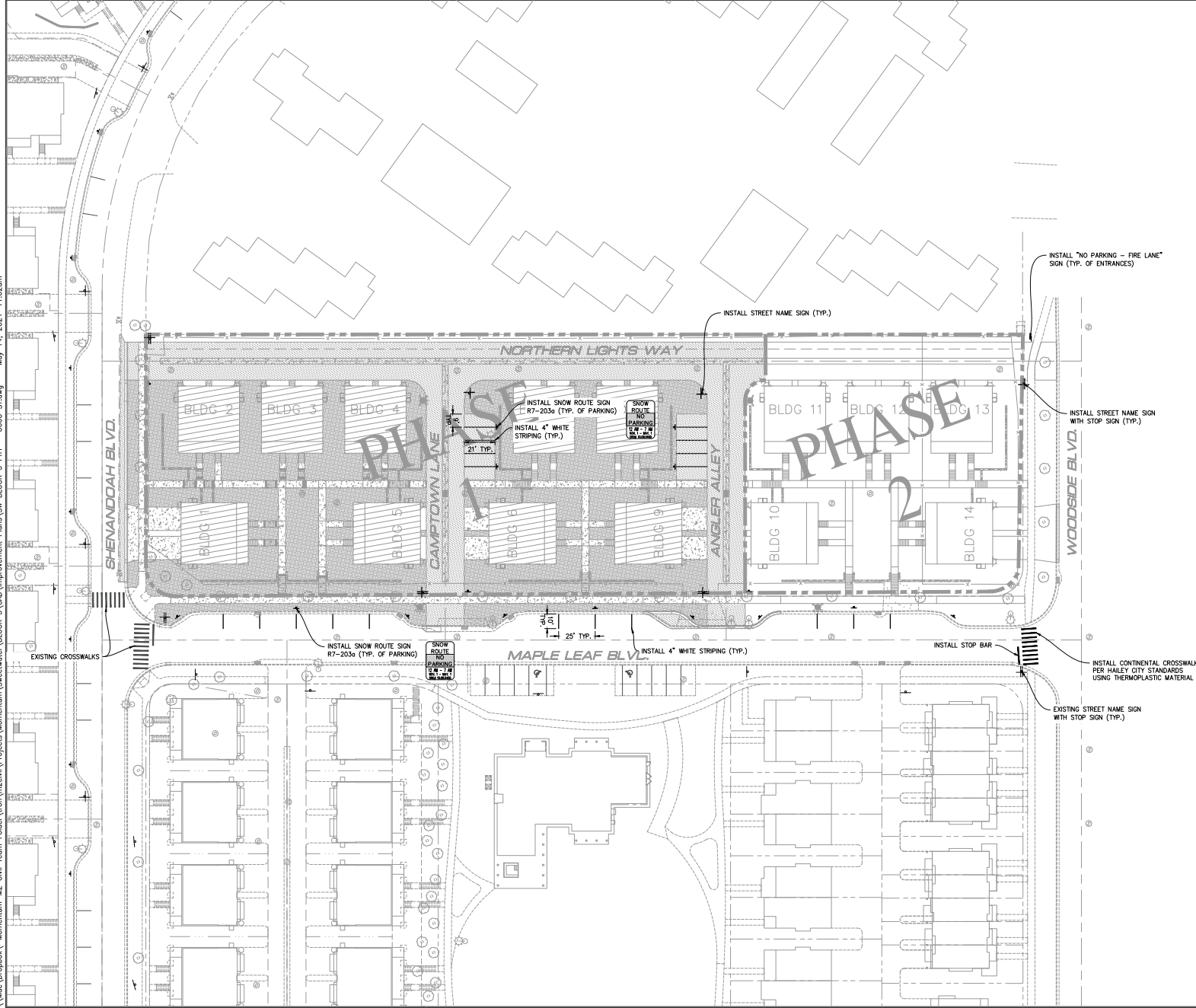
PREPARED FOR: SWEETWATER COMMUNITIES

NOT FOR CONSTRUCTION

CAUTION  
The engineer preparing these plans will not be responsible for or liable for, any damage or injury to persons or property that may result from the use of these plans without the approval of the engineer of these plans.



PROJ. MGR: MW DESIGNER: AKJ  
\\Mac\Dropbox\Momentum-M2 Civil Team Folder\on2020\Projects\Momentum\Sweetwater\BLOCK 5 CAD\Improvement Plans\SW BLOCK 5 Ph1 - C600 ST.dwg - May 14, 2021 - 11:02am



**SWEETWATER BLOCK 5 PHASE 1  
SIGNAGE AND STRIPING PLAN**



SHEET NUMBER  
**C-600**

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

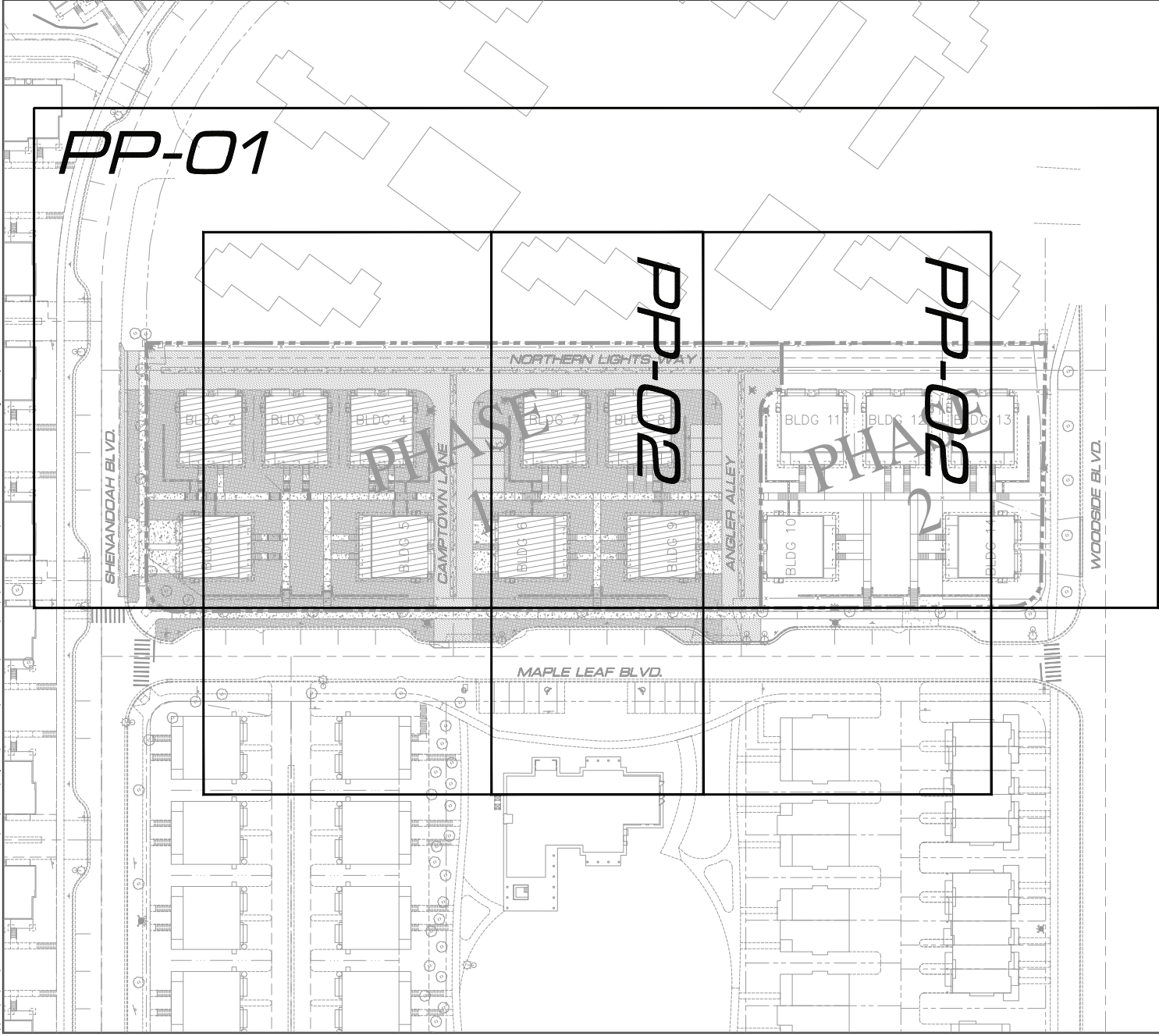
SHEET NUMBER  
**47-0172**

PREPARED FOR: SWEETWATER COMMUNITIES

**NOT FOR CONSTRUCTION**

CAUTION  
The engineer preparing these plans will not be responsible for or liable for, any errors or omissions, or for any consequences or damages, that may result from the use of these plans, unless it is shown that the engineer was negligent in the preparation of these plans.





0 30 60  
FEET

SWEETWATER BLOCK 5 PHASE 1  
PLAN AND PROFILE MASTER KEY



10421 S. JORDAN GATEWAY,  
SUITE 200, SOUTH JORDAN,  
UTAH 84095  
801-316-3216 TEL



SHEET NUMBER  
PP-00

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

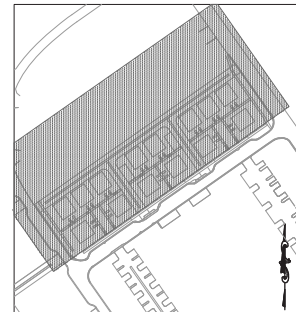
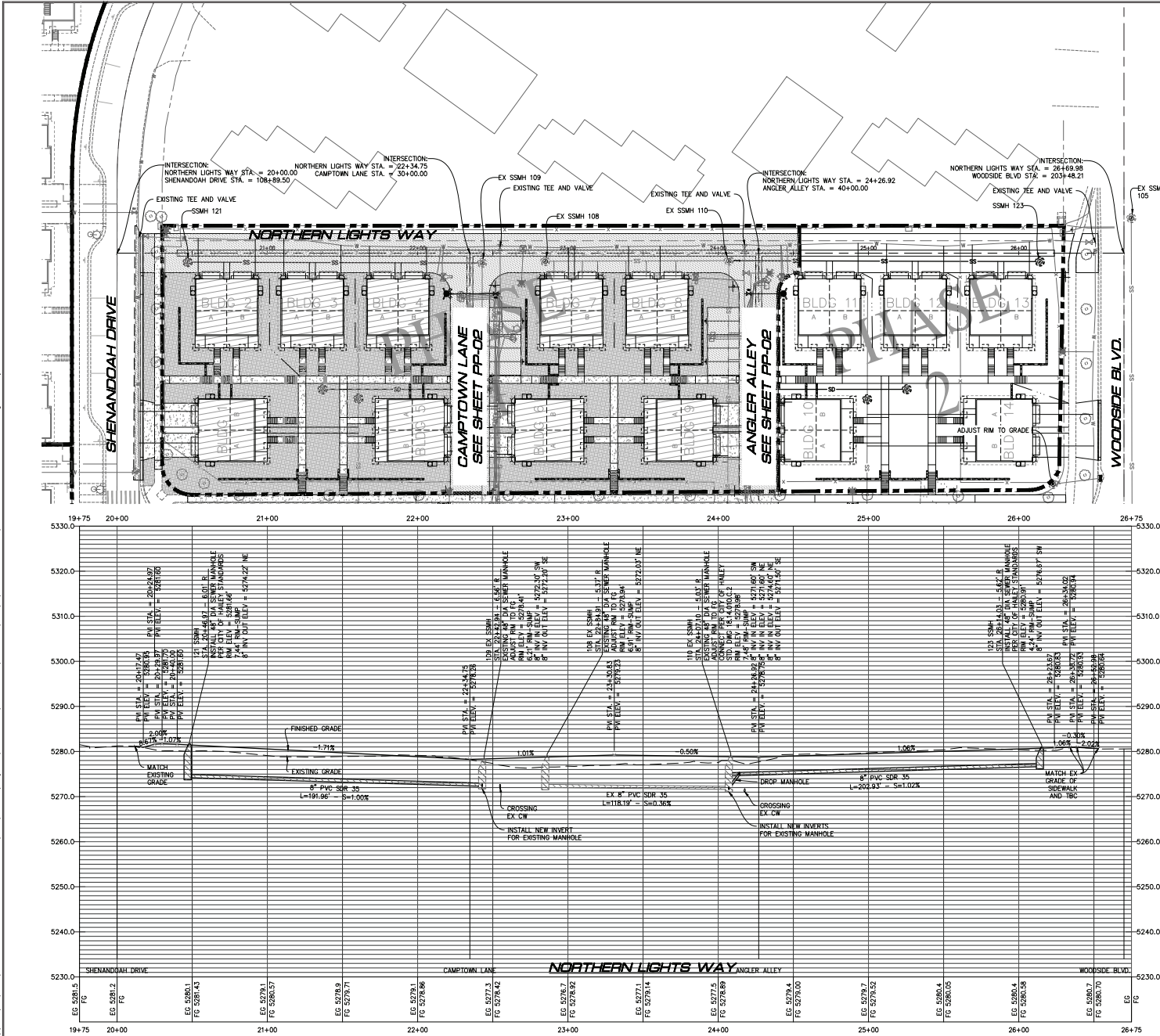
DWG NUMBER  
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES

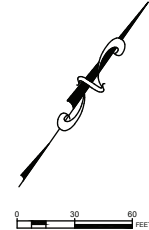
NOT FOR CONSTRUCTION

CAUTION  
The engineer preparing these plans will not be responsible for or liable for, or any other person or entity, for any errors or omissions that may result in a safety and must be approved by the engineer of these plans.





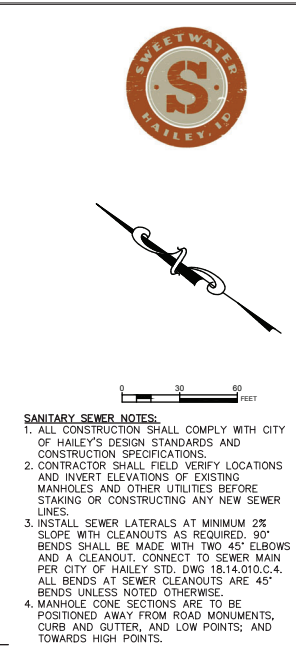
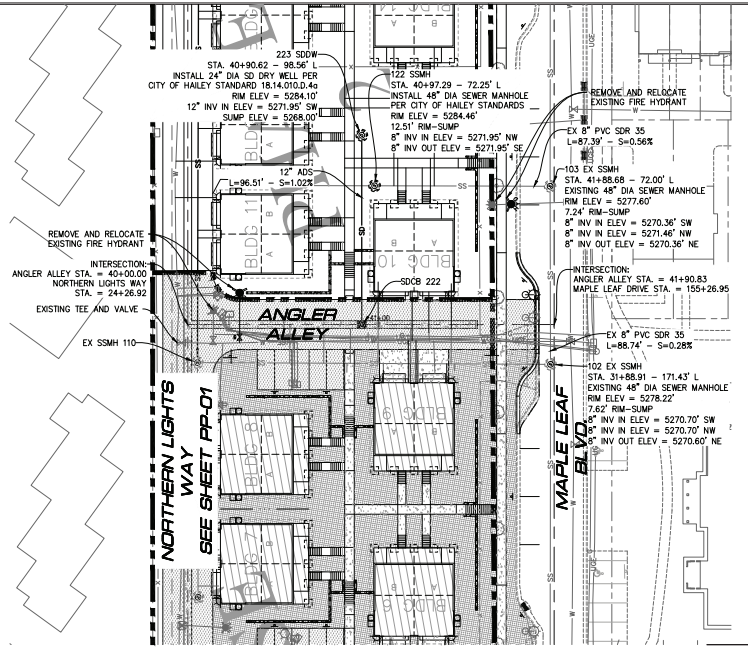
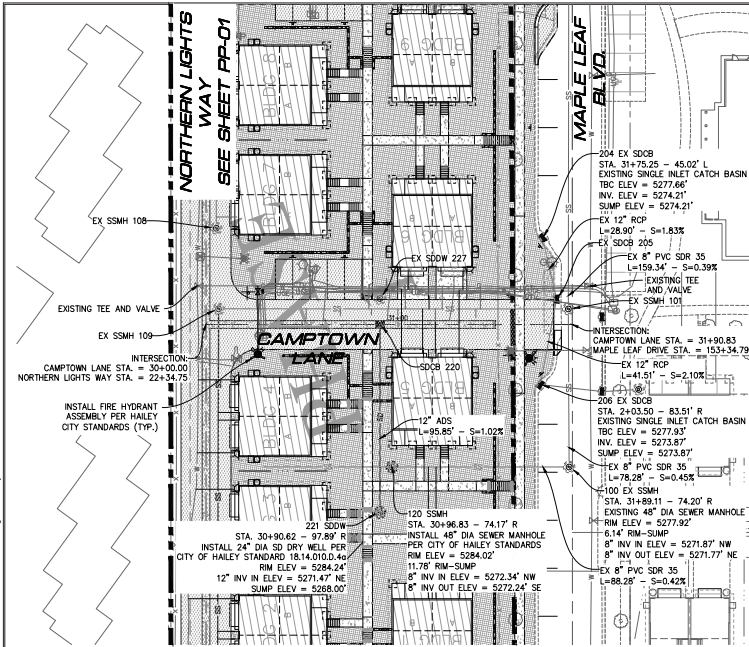
- SANITARY SEWER NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HALEY'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
  2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
  3. INSTALL SEWER LATERALS AT MINIMUM 2% SLOPE WITH CLEANOUTS AS REQUIRED. 90° BENDS SHALL BE MADE WITH TWO 45° ELBOWS AND A CLEANOUT. CONNECT TO SEWER MAIN PER CITY OF HALEY STD. DWG 18.14.010.C.4. ALL BENDS AT SEWER CLEANOUTS ARE 45° BENDS UNLESS NOTED OTHERWISE.
  4. MANHOLE CONE SECTIONS ARE TO BE POSITIONED AWAY FROM ROAD MONUMENTS, CURB AND GUTTER, AND LOW POINTS; AND TOWARDS HIGH POINTS.
- CULINARY WATER NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HALEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
  2. LOOP OR DEFLECT ALL CULINARY AS NECESSARY PER CITY OF HALEY, ISWPC, IDAPA, AND APWA DESIGN STANDARDS.
  3. INSTALL CAV VALVES AT ALL HIGH POINTS IN CULINARY WATER LINES PER CITY OF HALEY AND APWA DESIGN STANDARDS.
  4. INSTALL THRUST BLOCKS ON ALL FITTINGS PER CITY OF HALEY STD. DWG. 18.14.010.B.4.
  5. ALL WATERLINE DEFLECTIONS MUST BE APPROVED BY CITY ENGINEER.
- STORM DRAIN NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HALEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.



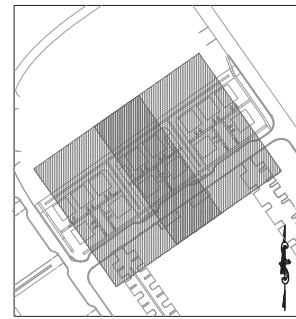
SHEET NUMBER <b>PP-01</b>	
SCALE HORIZONTAL: 1"=30' VERTICAL: 1"=10'	
SHEET NUMBER <b>47-0172</b>	
PREPARED FOR: SWEETWATER COMMUNITIES	
<b>SWEETWATER BLOCK 5 PHASE 1 NORTHERN LIGHTS WAY</b>	
NOT FOR CONSTRUCTION	

10421 S. JORDAN GATEWAY,  
SUITE 200, SOUTH JORDAN,  
UTAH 84095  
801-316-3216 TEL





- SANITARY SEWER NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HAILEY'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
  2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
  3. INSTALL SEWER LATERALS AT MINIMUM 2% SLOPE WITH CLEANOUTS AS REQUIRED. 90° BENDS SHALL BE MADE WITH TWO 45° ELBOWS AND A CLEANOUT. CONNECT TO SEWER MAIN PER CITY OF HAILEY STD. DWG 18.14.010.C.4. ALL BENDS AT SEWER CLEANOUTS ARE 45° BENDS UNLESS NOTED OTHERWISE.
  4. MANHOLE CONE SECTIONS ARE TO BE POSITIONED AWAY FROM ROAD MONUMENTS, CURB AND GUTTER, AND LOW POINTS; AND TOWARDS HIGH POINTS.
- CULINARY WATER NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HAILEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
  2. LOOP OR DEFLECT ALL CULINARY AS NECESSARY PER CITY OF HAILEY, ISFWC, IDAPA, AND APWA DESIGN STANDARDS.
  3. INSTALL CAV VALVES AT ALL HIGH POINTS IN CULINARY WATER LINES PER CITY OF HAILEY AND APWA DESIGN STANDARDS.
  4. INSTALL THRUST BLOCKS ON ALL FITTINGS PER CITY OF HAILEY STD. DWG. 18.14.010.B.4.
  5. ALL WATERLINE DEFLECTIONS MUST BE APPROVED BY CITY ENGINEER.
- STORM DRAIN NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HAILEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.



KEY MAP

**SWEETWATER BLOCK 5 PHASE 1**

**CAMPTOWN LANE, ANGLER ALLEY**

PREPARED FOR: SWEETWATER COMMUNITIES

NOT FOR CONSTRUCTION

**MOMENTUM**

10421 S. JORDAN GATEWAY,  
SUITE 200, SOUTH JORDAN,  
UTAH 84095  
801-316-3216 TEL

**PROFESSIONAL SEAL**

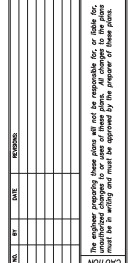
AKJ



SHEET NUMBER  
**PP-02**

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

DATE  
4-7-2021

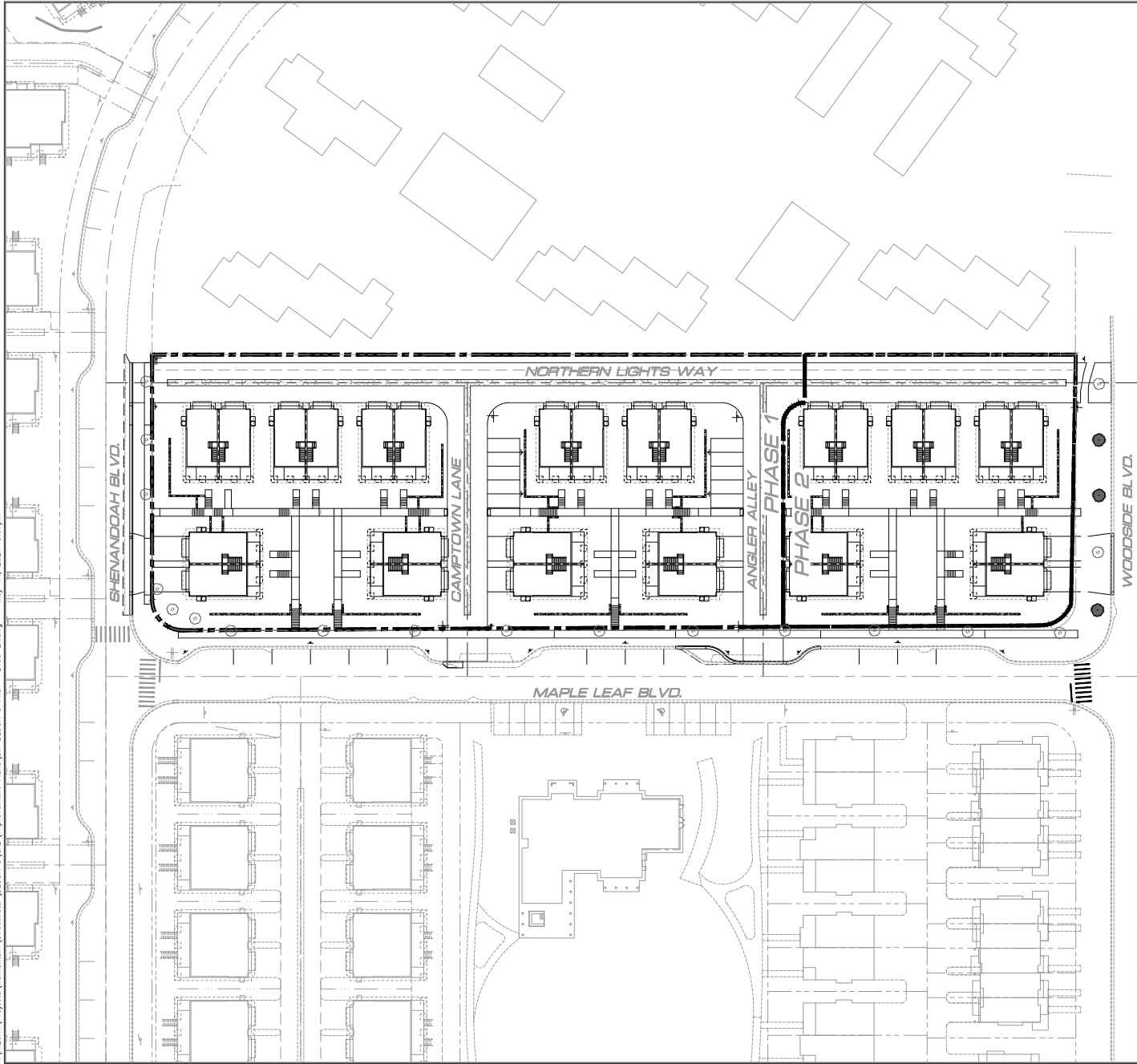




<p><b>SWEETWATER BLOCK 5 PHASE 1</b></p> <p><b>DETAILS</b></p> <p>PREPARED FOR: SWEETWATER COMMUNITIES</p>	 <p><b>MOMENTUM</b> 10421 S. JORDAN GATEWAY, SUITE 200, SOUTH JORDAN, UTAH 84095 801-316-3216 TEL</p>
	
	<p>SHEET NUMBER</p> <p><b>C-800</b></p>
	<p>SCALE</p> <p>HORIZONTAL: 1"=16'0"</p> <p>VERTICAL: 1"=8'0"</p>
	<p>DWG NUMBER</p> <p><b>47-0172</b></p>

NOT FOR CONSTRUCTION





IRRIGATION NOTES:  
1. ALL IRRIGATION DESIGN TO BE DESIGNED BY OTHERS, AT A FUTURE DATE.

- LEGEND
- EXISTING TREES-PROTECTED IN PLACE  
Total of 3 to remain (Phase 2)
  - RELOCATE TREES THAT HAVE TO BE REMOVED TO PROPOSED TREE LOCATIONS  
(SEE SHEET L-101, & L-102)  
PHASE 1: 12  
PHASE 2: 6

\*\*TOTAL QUANTITY 24\*\*

SWEETWATER BLOCK 5  
EXISTING LANDSCAPE



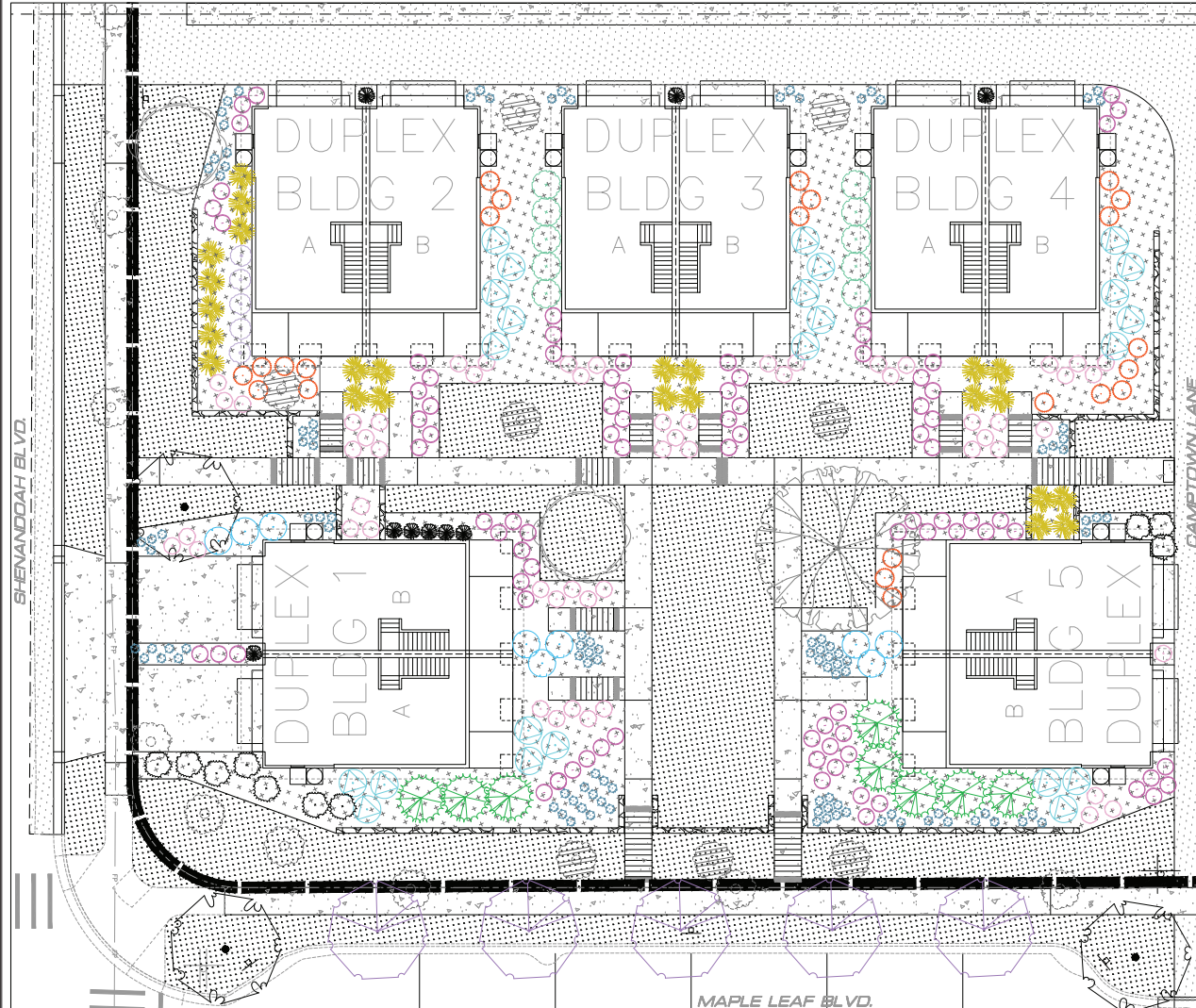
SHEET NUMBER
L-100
SCALE
HORIZONTAL: 1"=30'
VERTICAL: 1"=10'
SHEET NUMBER
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES

NOT FOR CONSTRUCTION

CAUTION  
The engineer preparing these plans will not be responsible for or liable for any damage or injury to persons or property resulting from the use of these plans unless it is shown and must be approved by the engineer of these plans.





IRRIGATION NOTES:  
1. ALL IRRIGATION DESIGN TO BE  
DESIGNED BY OTHERS, AT A FUTURE  
DATE.

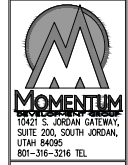
- LEGEND
- EXISTING TREES-PROTECTED IN PLACE
  - RELOCATED TREES  
NEW LOCATIONS  
\*\*QUANTITY 12\*\*

Plant Material List PHASE 1									
SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
Trees									
SR	18		Sky Rocket Juniper <i>Juniperus scopulorum 'Sky Rocket'</i>	25'	Cont.	#7	4 min.	3 min.	Full Canopy, Healthy, Good Form
CH	10		Chokecherry <i>Prunus virginiana</i>	25'	Cont.	2.5' cal.	6 min.	4' min.	Full Canopy, Healthy, Good Form
HO	2		Honeylocust 'Shademaster' <i>Gleditsia triacanthos nemris</i>	25'	Cont.	3' cal.	6 min.	4' min.	Full Canopy, Healthy, Good Form
HO	6		Eastern Redbud <i>Cercis canadensis</i>	25'	Cont.	3' cal.	6 min.	4' min.	Full Canopy, Healthy, Good Form
Ground Covers									
			Kentucky Blue Grass Sod				15,206 S.F.		As Illustrated
			Bark Mulch				13,774 S.F.		Installed in Planter Beds

Plant Material List PHASE 1									
SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
Shrubs									
RD	15		Variegated Redtwig Dogwood <i>Cornus alba 'Elegantissima'</i>	3'	Cont.	gal.	3' min.	3' min.	Healthy, Good Form
PI	150		Pink Princess Cinqfoil <i>Potentilla fruticosa 'Pink Princess'</i>	3'	Cont.	gal.	3' min.	3' min.	Healthy, Good Form
ML	18		Mugo Pine Dwarf <i>Pinus mugo 'Pumilo'</i>	5'	Cont.	1 gal.	12' min.	12' min.	Healthy, Good Form
CR	47		Creeping Mahonia <i>Mahonia repens</i>	3'	Cont.	1 gal.	12' min.	12' min.	Healthy, Good Form
IV	16		Ivory Halo Dogwood <i>Cornus alba 'Bathala'</i>	3'	Cont.	1 gal.	12' min.	12' min.	Healthy, Good Form
SN	46		Common Snowberry Bush <i>Symphoricarpos albus</i>	5'	Cont.	5 gal.	4' min.	4' min.	Full Canopy, Healthy, Good Form
NE	19		Norway Spruce Pumila Dwarf <i>Picea abies 'Pumila'</i>	5'	Cont.	gal.	3' min.	3' min.	Full Canopy, Healthy, Good Form
NE	43		Feather Reed Grass 'Karl Foerster' <i>Calamagrostis x acutiflora</i>	5'	Cont.	gal.	3' min.	3' min.	Full Canopy, Healthy, Good Form
NE	11		Coppernail Ninebark <i>Physocarpus opulifolius 'Minda'</i>	5'	Cont.	gal.	3' min.	3' min.	Full Canopy, Healthy, Good Form
NE	113		Goldmound Spirea <i>Spiraea japonica 'Goldmound'</i>	5'	Cont.	gal.	3' min.	3' min.	Full Canopy, Healthy, Good Form

In Accordance to the Current Edition of The American Standard for Nursery Stock

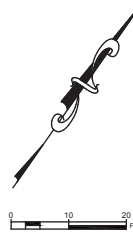
SWEETWATER BLOCK 5  
PROPOSED LANDSCAPE PLAN PHASE 1



SHEET NUMBER  
L-101  
SCALE  
HORIZONTAL: 1"=10'  
VERTICAL: 1"=4'  
JOB NUMBER  
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES  
NOT FOR CONSTRUCTION




















1. ALL IRRIGATION DESIGN TO BE DESIGNED BY OTHERS, AT A FUTURE DATE.

EXISTING

- RELOCATED TREES  
NEW LOCATIONS  
\*\*QUANTITY 12\*\*

Plant Material List PHASE 1									
SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
Trees									
	SR	18	Sky Rocket Juniper <i>Juniperus scopulorum</i> 'Sky Rocket'	25'	Cont.	#7	4' min.	3' min.	Full Canopy, Healthy, Good Form
	CH	10	Chokeberry <i>Prunus virginiana</i>	25'	Cont.	2.5" cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
	HO	2	Honeylocust 'Shademaster' <i>Gleditsia inaequalis</i> 'nervis'	25'	Cont.	3" cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
	HO	6	Eastern Redbud <i>Cercis canadensis</i>	25'	Cont.	3" cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
Ground Covers									
			Kentucky Blue Grass Sod				15,206 S.F.		As illustrated
			Bark Mulch				13,774 S.F.		Installed in Planter Beds

Plant Material List PHASE 1										
COMMON NAME			SCIENTIFIC NAME							
SYM.	KEY	QTY.			O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
Shrub										
	RD	15	Variiegated Redwing Dogwood Cornus alba 'Elegantissima'	3'	Cont.	gal.	3 min.	3 min.	Healthy	Good Form
	PI	150	Pink Princess Cinquifolia Potentilla Fruticosa 'Pink Princess'	3'	Cont.	gal.	3 min.	3 min.	Healthy	Good Form
	MU	16	Mugo Pine Dwarf Pinus mugo 'Pumilo'	6'	Cont.	1 gal.	12" min.	12" min.	Healthy	Good Form
	CR	47	Creeping Mahonia Mahonia repens	3'	Cont.	1 gal.	12" min.	12" min.	Healthy	Good Form
	IV	16	Ivory Halloo Dogwood Cornus alba 'Balthazo'	3'	Cont.	1 gal.	12" min.	12" min.	Healthy	Good Form
	SN	46	Common Snowberry Bush Symphoricarpos albus	5'	Cont.	5 gal.	4 min.	4 min.	Full Canopy	Healthy, Good Form
	NE	19	Norway Spruce Pencil Picea abies 'Pumila'	5'	Cont.	gal.	3 min.	3 min.	Full Canopy	Healthy, Good Form
	NE	43	Feather Reed Grass 'Karl Foerster' Calamagrostis x acutiflora	6'	Cont.	gal.	3 min.	3 min.	Full Canopy	Healthy, Good Form
	NE	11	Coppertina® Ninebark Physocarpus opulifolius 'Minica'	6'	Cont.	gal.	3 min.	3 min.	Full Canopy	Healthy, Good Form
	NE	113	Goldmound Spiraea Spiraea japonica 'Goldmound'	6'	Cont.	gal.	3 min.	3 min.	Full Canopy	Healthy, Good Form

In Accordance to the Current Edition of The American Standard for Nursery Stock

*In Accordance to the Current Edition of The American Standard for Nursery Stock*

**SWEETWATER BLOCK 5**  
**PROPOSED LANDSCAPE PLAN PHASE 1**

## FEETWATER COMMUNITIES



SHEET NUMBER  
L-102

SCALE  
HORIZONTAL: 1"=10'  
VERTICAL: 1"=N/A

JOB NUMBER  
47-0172

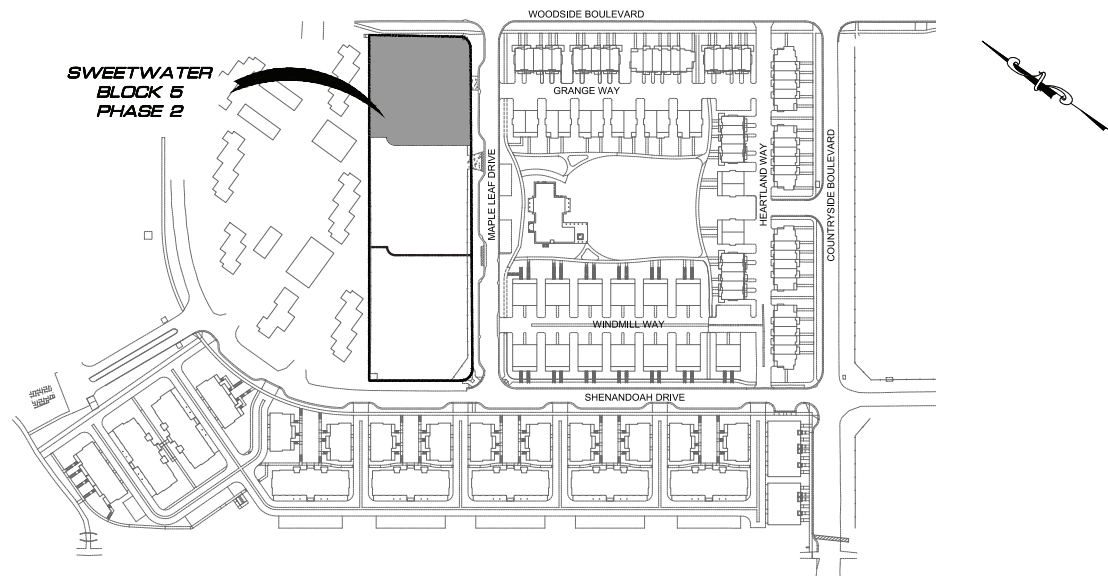


\\Mac\Dropbox\Momentum-M2 Civil Team Folder\Iron\256\Projects\Momentum\Sweetwater\BLOCK 5\CAD\Improvement Plans\SW BLOCK 5 Ph2 - 0000 CV.dwg - May 14, 2021-11:06am

# SWEETWATER BLOCK 5 PHASE 2

HAILEY, IDAHO

## PRELIMINARY PLANS



LOCATION MAP

N.T.S.

### INDEX OF SHEETS

#### GENERAL

SHEET	TITLE	FILE NAME
C-001	COVER SHEET	SW BLOCK 5 Ph2 - 0000 CV
C-001	VICINITY MAP (1"=100')	SW BLOCK 5 Ph2 - 0001 VM
C-002	GENERAL NOTES	SW BLOCK 5 Ph2 - 0002 GN

#### OVERALL PLANS AND DETAILS (1"=30') OR AS SPECIFIED

SHEET	TITLE	FILE NAME
C-100	SITE PLAN	SW BLOCK 5 Ph2 - C100 SP
C-200	GRADING AND DRAINAGE PLAN	SW BLOCK 5 Ph2 - C200 GR
C-201	PRECISE GRADING - BUILDINGS 10-14 (1"=10')	SW BLOCK 5 Ph2 - C203 PG
C-300	WATER PLAN	SW BLOCK 5 Ph2 - C300 WS
C-301	SEWER PLAN	SW BLOCK 5 Ph2 - C300 SS
C-400	LIGHTING PLAN	SW BLOCK 5 Ph2 - C400 LT
C-401	LIGHTING DETAILS	SW BLOCK 5 Ph2 - C400 LT
C-402	STREET LIGHTING DETAILS	SW BLOCK 5 Ph2 - C400 LT
C-500	CONSTRUCTION MANAGEMENT PLAN	SW BLOCK 5 Ph2 - C500 CM
C-600	SIGNAGE AND STRIPING PLAN	SW BLOCK 5 Ph2 - C600 ST

#### PLAN & PROFILES (1"=30') OR AS SPECIFIED

SHEET	TITLE	FILE NAME
PP-00	PLAN AND PROFILE MASTER KEY	SW BLOCK 5 Ph2 - PP00
PP-01	NORTHERN LIGHTS WAY	SW BLOCK 5 Ph2 - PP01
PP-02	CAMP TOWN LANE, ANGLER ALLEY	SW BLOCK 5 Ph2 - PP02

#### DETAILS

SHEET	TITLE	FILE NAME
C-600	DETAILS	SW BLOCK 5 Ph2 - C600 DT

#### LANDSCAPE PLANS

SHEET	TITLE	FILE NAME
L-100	EXISTING LANDSCAPE	SW BLOCK 5 Ph2 - L100 LA
L-101	PROPOSED LANDSCAPE PLAN	SW BLOCK 5 Ph2 - L100 LA

#### OWNER:

SWEETWATER COMMUNITIES, LLC  
13614 SOUTH CAROLINA HILLS CT,  
DRAPER, UTAH 84020  
801-316-3216 PHONE

#### PREPARED BY:



#### GEOTECHNICAL ENGINEER

FOCUS ENGINEERING  
5140 WEST CATALPA COURT  
BOISE, IDAHO  
208-395-1979 PHONE







## SWEETWATER BLOCK 5 PHASE 2 VICINITY MAP



SHEET NUMBER  
C-001

SCALE  
HORIZONTAL: 1"=100'  
VERTICAL: 1"=10'-0"

DWG NUMBER  
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES

NOT FOR CONSTRUCTION

CAUTION  
 The engineer preparing these plans will be responsible for the design, but the contractor shall be responsible for the construction. The contractor shall be responsible for the construction of these plans.



## \\Mac\Dropbox\~Momentum-M2 Civil





Age Group	Total (%)	Female (%)	Male (%)	FEI (%)
0-14	~10	~8	~12	~10
15-24	~15	~12	~18	~15
25-34	~20	~18	~22	~20
35-44	~25	~22	~28	~25
45-54	~30	~28	~32	~30
55-64	~35	~32	~38	~35
65-74	~40	~38	~42	~40
75+	~45	~42	~48	~45

SITE DATA - PARCEL BLOCK 5:

SITE LOCATION:  
NORTH SIDE OF MAPLE LEAF DRIVE, BETWEEN  
SHENANDOAH DRIVE AND WOODSIDE BLVD.  
HAILEY, IDAHO

PARCEL NUMBER:  
RPH04910050000

LEGAL DESCRIPTION:  
SWEETWATER PUD TOWNHOUSES  
BLOCK 5  
FUTURE SUB LOTS

ZONING DISTRICT:  
LB - LIMITED BUSINESS

LOT BLOCK 5 AREA:  
2.46 ACRES (107,276 S.F.)

MIN. FRONT SETBACK:  
REQUIRED: 8'-0"

MIN. REAR SETBACK:

REQUIRED: 3'-0"  
PROVIDED: SEE PLAN

MIN. SIDE SETBACKS:  
REQUIRED: 5'-0"  
PROVIDED: SEE PLAN

MAX. BUILDING HEIGHT:  
ALLOWED: 37'-0" FROM FINISH GRADE.  
PROVIDED: 37'-0" MAX. FROM  
FINISH GRADE. SEE ARCHITECTURAL

ELEVATIONS

MULTI-FAMILY DENSITY:

ALLOWED: 24  
UNITS/SUB-LOTS PER ACRE  
PROVIDED: 11.4

UNITS/SUB-LOTS PER ACRE  
INDIVIDUAL UNIT GROSS AREA:

BASEMENT FLOOR: 808 S.F.  
FIRST FLOOR: 1,034 S.F.  
SECOND FLOOR: 954 S.F.


PARKING:


REQUIRED: MIN. 1.5 SPACES PER UNIT  
PROVIDED: GARAGE ST

EACH UNIT	2	
PUBLIC STREET		14
PRIVATE STREET		10

TOTAL	56	24
PER UNIT		

### SNOW STORAGE REQUIREMENTS

 SNOW REMOVAL AREA RE  
26,800 SF X 25% = 6,70

 SNOW STORAGE PROVIDED  
7,312 SF

---

**SWEETWATER BLOCK 5 PHASE 2  
SITE PLAN**

FEEL WATER COMMUNITIES  
NOT FOR CONSTRUCTION



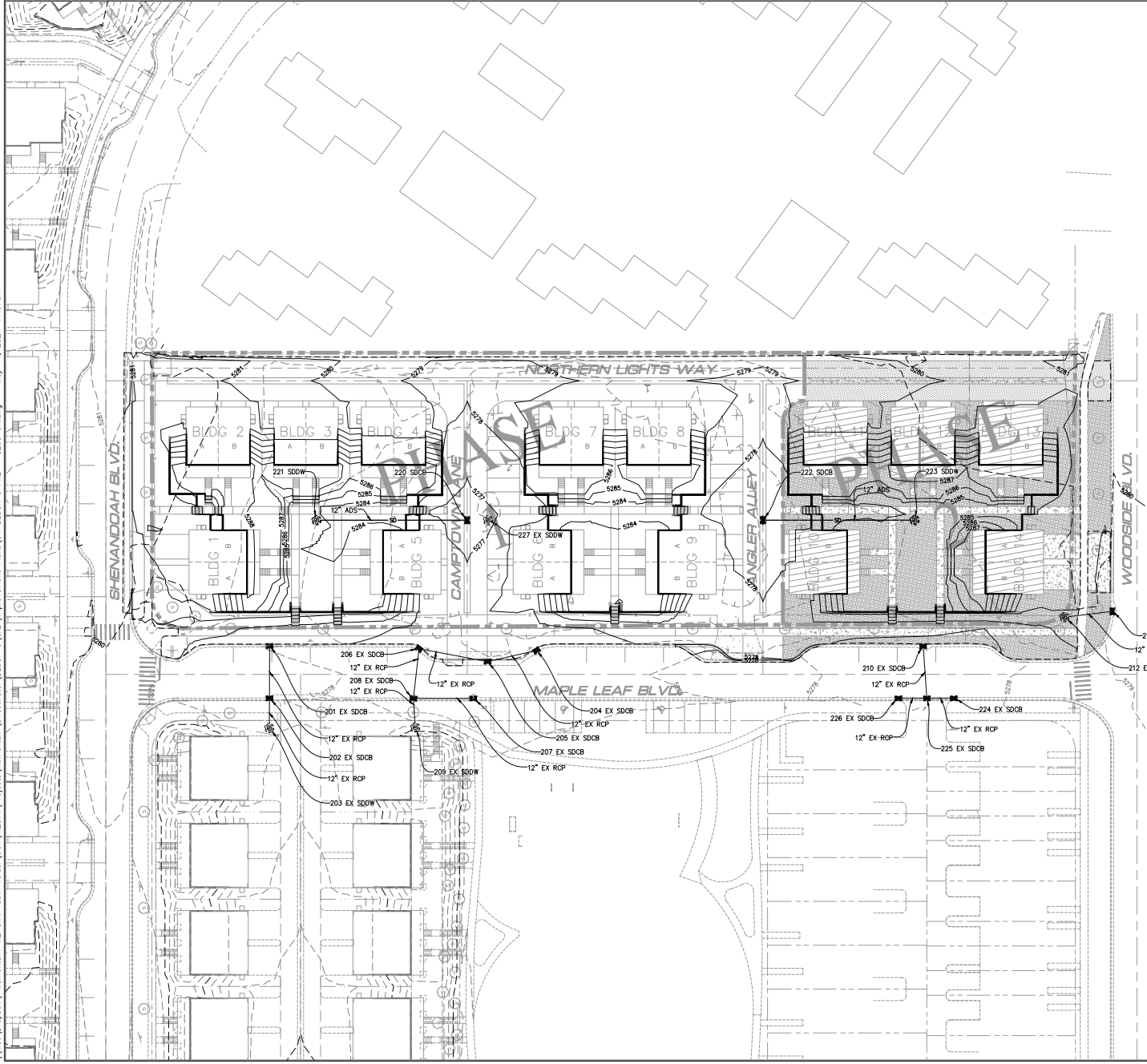
SHEET NUMBER  
C-100

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

JOB NUMBER  
47-0172



PROJ. MGR: MW DESIGNER: AKJ  
\\Mac-Drabba\momentum-42 Cit Team Folder\Iron\2020\Projects\Momentum\Sweetwater\BLOCK 5 CAD\Improvement Plans\SW BLOCK 5 Ph2 - C200 CR.dwg - May 14, 2021-11:07am



**STORM DRAIN NOTES:**  
1. ALL CONSTRUCTION SHALL COMPLY WITH HAILEY CITY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.  
2. CONTRACTOR TO ENSURE FRAME AND GRATE TYPE ON ALL STORM DRAIN CATCH BASINS AND COMBINATION BOXES ARE CONSISTENT WITH CURB AND GUTTER TYPE.

**IMPORTANT STANDARDS NOTE:**  
CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION. ALL WORK IS TO COMPLY WITH HAILEY CITY STANDARDS PER "2018 CITY OF HAILEY STANDARD DRAWINGS" AND HAILEY CITY "DESIGN SPECIFICATIONS". WHERE A STANDARD NOT SUPPLIED BY HAILEY CITY, ISPCA STANDARDS ARE TO BE APPLIED.

REVISIONS	
NO.	DATE
CAUTION	
The engineer preparing these plans will be responsible for or shall be responsible for the design of the project. The engineer shall be responsible for the design of the project. The engineer shall be responsible for the design of the project.	
<b>SWEETWATER BLOCK 5 PHASE 2 GRADING AND DRAINAGE PLAN</b>	
PREPARED FOR: SWEETWATER COMMUNITIES	
 <b>MOMENTUM</b> 10421 S. JORDAN GATEWAY, SUITE 200, SOUTH JORDAN, UTAH 84095 801-316-3216 TEL	
 <b>PRELIMINARY</b>	
SHEET NUMBER <b>C-200</b>	
SCALE HORIZONTAL: 1"=30' VERTICAL: 1"=10'	
JOB NUMBER <b>47-0172</b>	

NOT FOR CONSTRUCTION





The diagram illustrates a multi-stage staircase. It shows a series of steps and landings. Labels include:
 

- SBT** (Step Bottom Tread): Points to the bottom tread of a step.
- SNT** (Step Nosing Tread): Points to the nosing tread of a step.
- TREAD**: Points to the main tread surface of a step.
- WALKER**: Points to the vertical riser of a step.
- LANDING**: Points to the horizontal platform area.

 The diagram shows a sequence of these elements as one moves up the stairs.

## KEY MAP

The diagram illustrates a multi-stage staircase. It shows a series of steps and landings. Labels include:
 

- SBT** (Step Bottom Tread): Points to the bottom tread of a step.
- SNT** (Step Nosing Tread): Points to the nosing tread of a step.
- TREAD**: Points to the main tread surface of a step.
- WALKER**: Points to the vertical riser of a step.
- LANDING**: Points to the horizontal platform area.

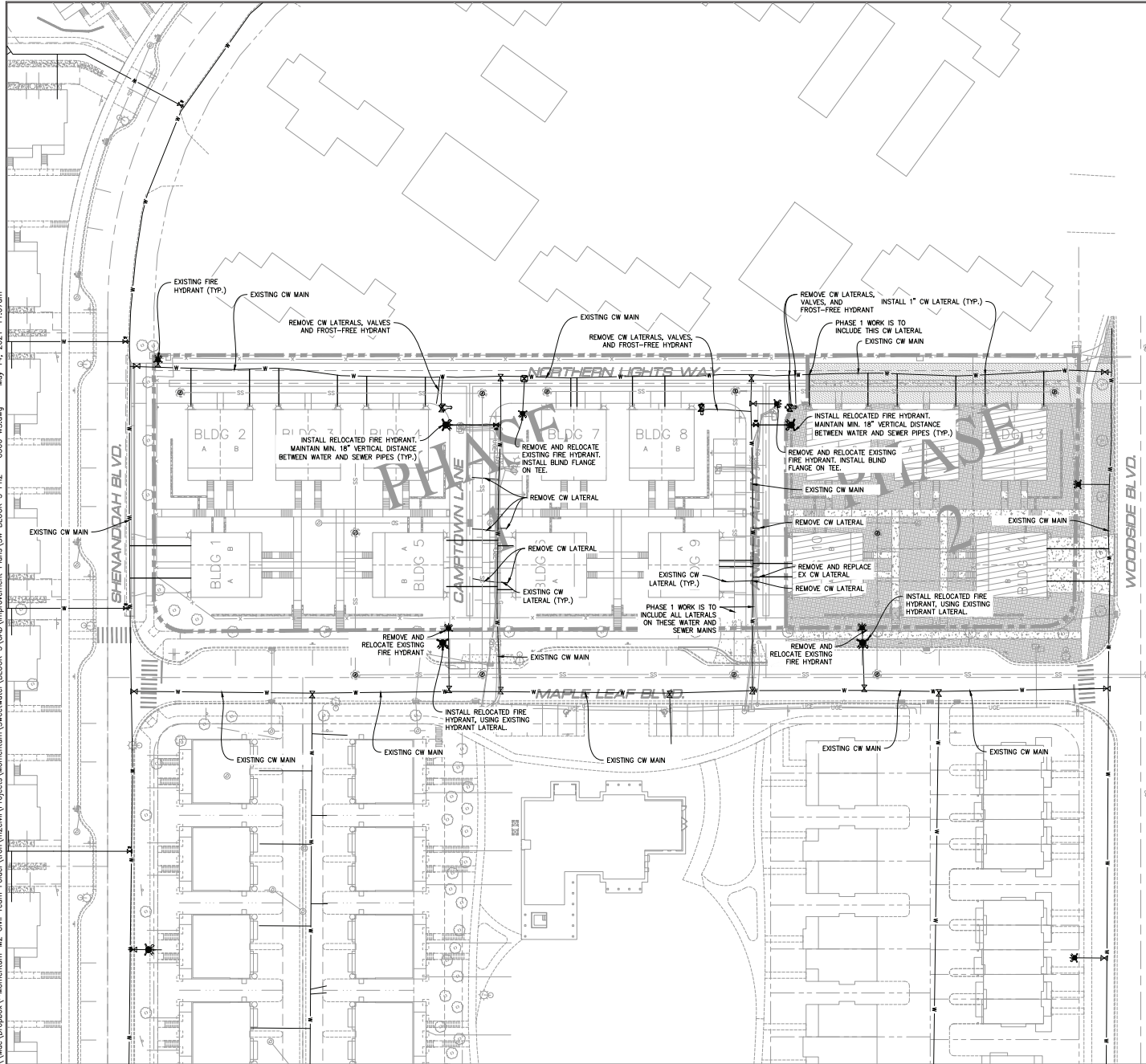
 The diagram shows a sequence of these elements as one moves up the stairs.

**CAUTION**

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.



PROJ. MGR. MW DESIGNER: JKL  
\\Mac-Drabba\mnt\2020\Projects\Momentum\Sweetwater\BLOCK 5 CAD\Improvement Plans\SW BLOCK 5 PH2 - C300 WS.dwg - May 14, 2021 - 11:07am



0 30 60  
FEET

**WATER GENERAL NOTES:**

1. ANY METER VAULTS LOCATED IN DRIVEWAYS OR IN ASPHALT SHALL HAVE A HEAVY TRAFFIC RATED LID OVER THE VAULT.
2. ANY WATER SERVICES THAT ARE MOVED SHALL BE INSPECTED BY THE CITY AND SHALL BE INSTALLED PER CITY STANDARDS

**SEWER GENERAL NOTES:**

1. SEWER SERVICES SHOULD RUN PERPENDICULAR TO THE MAIN LINE TO THE CENTER OF EACH INDIVIDUAL UNIT, WITH NO SEWER SERVICES CONNECTED AT MANHOLES.
2. SEWER SERVICES SHALL CONNECT TO THE SEWER MAIN WITH A 45° ELBOW, POINTING DOWNSTREAM.

**SWEETWATER BLOCK 5 PHASE 2  
WATER PLAN**



SHEET NUMBER  
**C-300**

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

DWG NUMBER  
**47-0172**

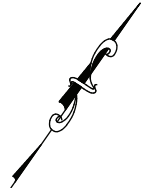
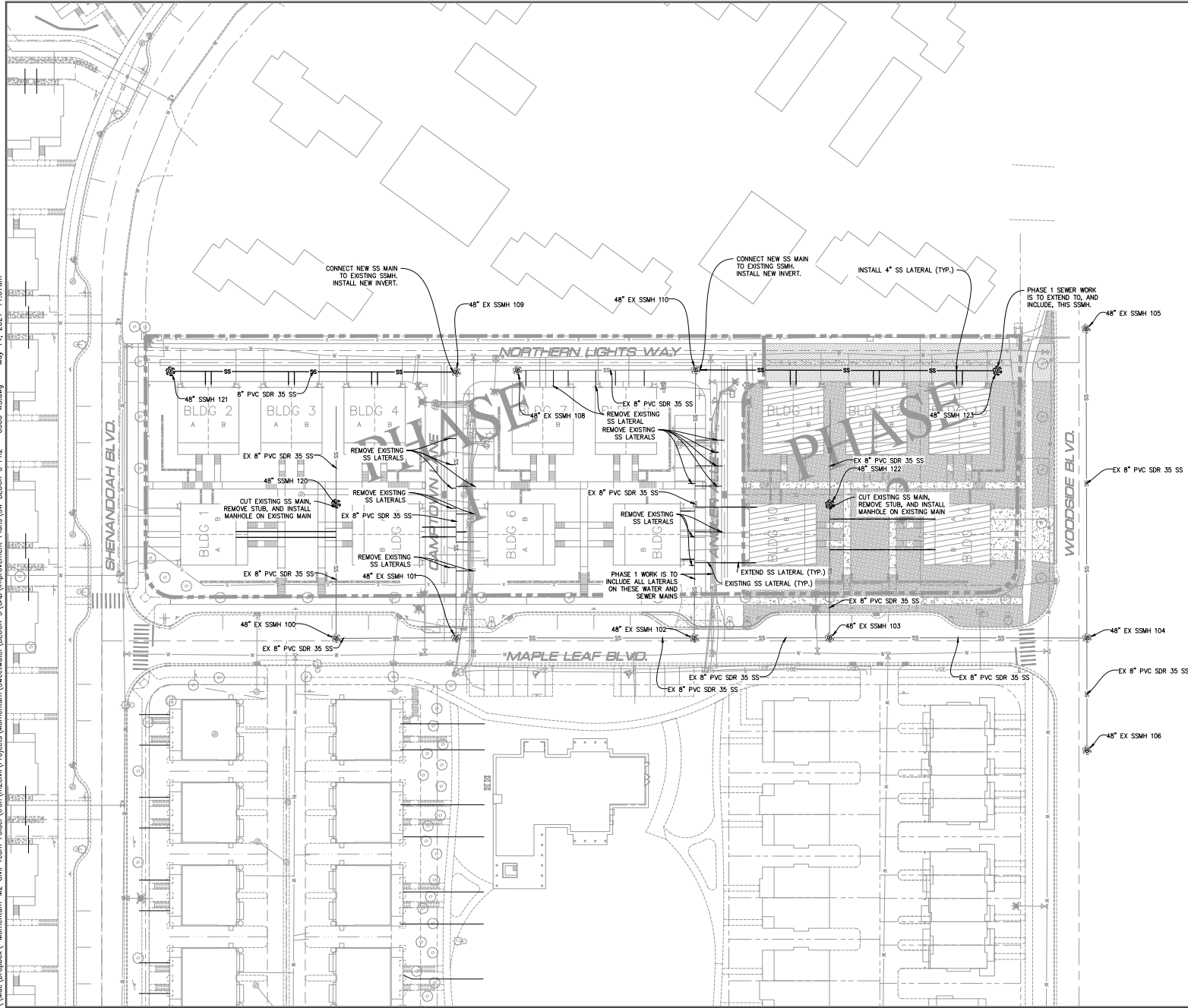
PREPARED FOR: SWEETWATER COMMUNITIES

**NOT FOR CONSTRUCTION**

CAUTION  
The engineer preparing these plans will be responsible for or shall be responsible for the design of the project. The engineer shall be responsible for the design of the project. The engineer shall be responsible for the design of the project.



PROJ. MGR. MW DESIGNER: AKJ  
\\Mac\Dropbox\Momentum-M2 Citi Team Folder\Non2\2024\Projects\Momentum\Sweetwater\BLOCK 5 CAD\Improvement Plans\SW BLOCK 5 PH2 - C300 WS.dwg - May 14, 2021 - 11:07am



0 30 60  
FEET

**WATER GENERAL NOTES:**

1. ANY METER VAULTS LOCATED IN DRIVEWAYS OR IN ASPHALT SHALL HAVE A HEAVY TRAFFIC RATED LID OVER THE VAULT.
2. ANY WATER SERVICES THAT ARE MOVED SHALL BE INSPECTED BY THE CITY AND SHALL BE INSTALLED PER CITY STANDARDS

**SEWER GENERAL NOTES:**

1. SEWER SERVICES SHOULD RUN PERPENDICULAR TO THE MAIN LINE TO THE CENTER OF EACH INDIVIDUAL UNIT, WITH NO SEWER SERVICES CONNECTED AT MANHOLES.
2. SEWER SERVICES SHALL CONNECT TO THE SEWER MAIN WITH A 45° ELBOW, POINTING DOWNSTREAM.

**SWEETWATER BLOCK 5 PHASE 2**

**SEWER PLAN**

PREPARED FOR: SWEETWATER COMMUNITIES

**NOT FOR CONSTRUCTION**



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SUITE 200, SOUTH JORDAN,  
UTAH 84095  
801-316-3216 TEL



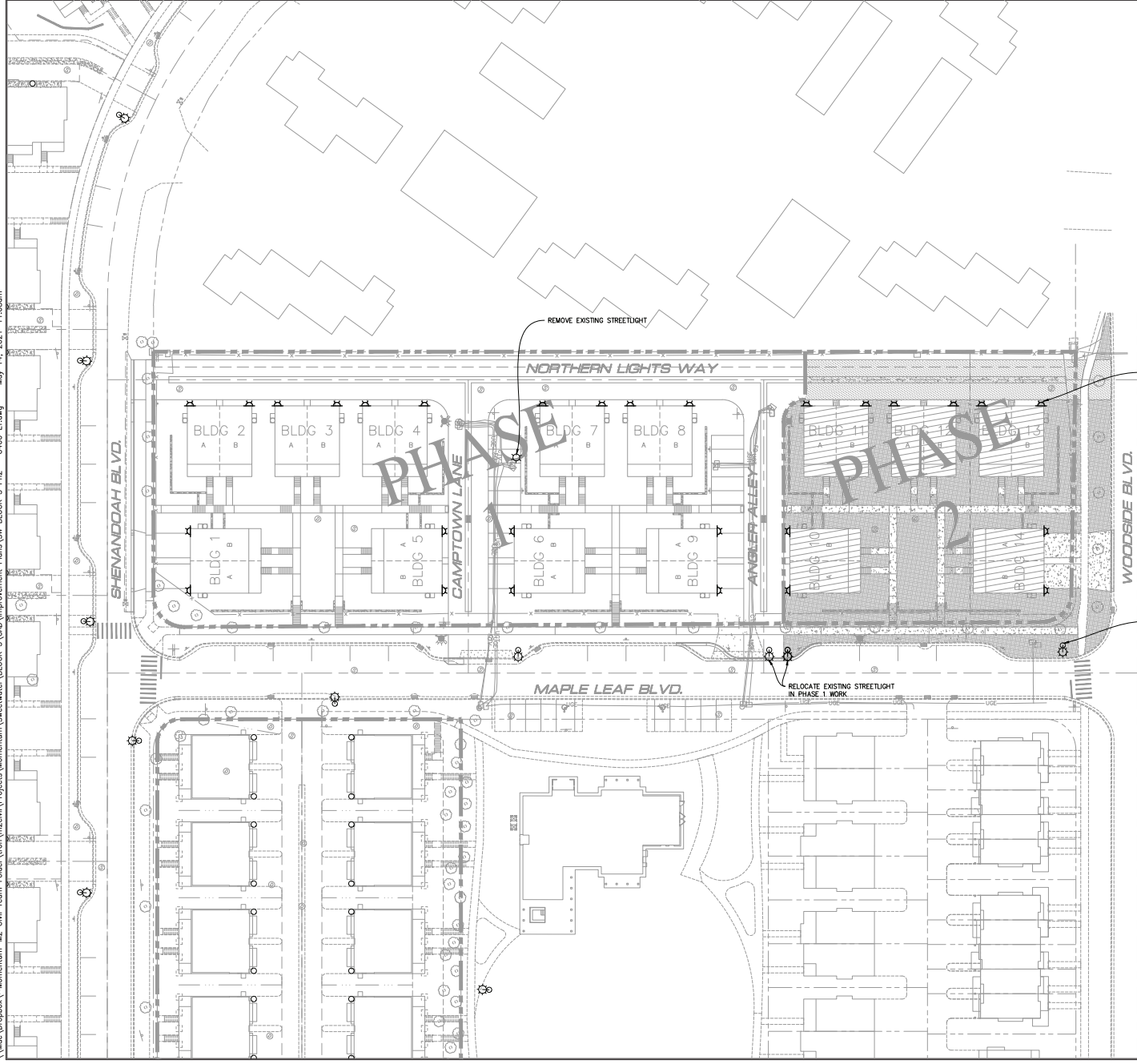
SHEET NUMBER  
**C-301**

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

SHEET NUMBER  
**47-0172**



PROJ. MGR. MW DESIGNER: AKJ  
\\Mac\Dropbox\~Momentum-M2 Citi Team Folder\Township\Projects\Momentum\Sweetwater\BLOCK 5 CAD\Improvement Plans\SW BLOCK 5 PH2 - C400 LT.dwg - May 14, 2021 - 11:08am



0 30 60  
FEET

- EXISTING STREET LIGHTING
- EXISTING LIGHT POLE
- PROPOSED STREET LIGHTING
- PROPOSED BUILDING MOUNTED DOWN LIGHTING AT GARAGE ENTRIES (TYP.)

**LIGHTING NOTES:**  
1. ALL NEW AND EXISTING EXTERIOR LIGHTING SHALL COMPLY WITH THE OUTDOOR LIGHTING ORDINANCE

## SWEETWATER BLOCK 5 PHASE 2 LIGHTING PLAN



SHEET NUMBER  
C-400

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

JOB NUMBER  
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES

NOT FOR CONSTRUCTION

CAUTION  
The engineer preparing these plans will not be responsible for or liable for, any damage or injury to persons or property that may result from the use of these plans.





**Sea Gull Lighting.**  
Life Illuminated | Since 1919

Width: 11 1/4"      Extension: 12 1/2"  
Height: 15 3/4"      Wire: 6 1/2"  
Weight: 2.5 lbs.      Mounting: Plug-In, Gap Nuts  
Connection: Mounted to E  
Bulb Appearance: Clear

1 - Medium A9 100w Max. 120v - Not included

- Clear sub(s) recommended for this fixture
- Easily converts to LED with optional replacement lamps
- Meets Title 24 energy efficiency standards
- Title 2 compliant if used with Joint Appendix (JAB) approved light bulbs listed in the California Energy Commission Appliance database.

1 Body - Aluminum - Brushed Stainless

**Safety Listed or Wet Locations**

**Instruction Sheets:**

Part	Material	Finish	Quantity	Item Number	Length	Width	Height	Diameter	Fitter Diameter	Shade Top Length	Shade Top Width	Shade Top Diameter
Diffuser	Glass	Clear Acoustic	1				0.00	0.140	4.17/22			

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate			1	5 3/16	9 1/2	6 1/4

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	0871-00	1	789552887102	16.75	14.5	19	2.671	10.1	250	Yes
N/ Pallet		30		48	40	72	80	303.0		No
NV Pallet		22		48	40	72	80	220		No

See Us Lighting reserves the right to revise the design of components of any product due to parts availability or change in safety listing standards without assuming any obligation or liability to notify any products previously manufactured and without notice. This literature depicts a product design that is the sole and exclusive property of See Us Lighting, in compliance with UL and other applicable requirements, notification is hereby presented in this form that this literature, or the product it depicts, is not to be copied, altered or used in any manner without the express written consent of, or contrary to the best interests of See Us Lighting LLC, a Generation Brands Company.

### TYPE A BUILDING MOUNTED DOWN LIGHT



## **SWEETWATER BLOCK 5 PHASE 2 LIGHTING DETAILS**



SHEET NUMBER  
C-401

SCALE  
HORIZONTAL: 1"=N/A  
VERTICAL: 1"=N/A

JOB NUMBER  
47-0172

The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

PREPARED FOR: SWEETWATER COMMUNITIES

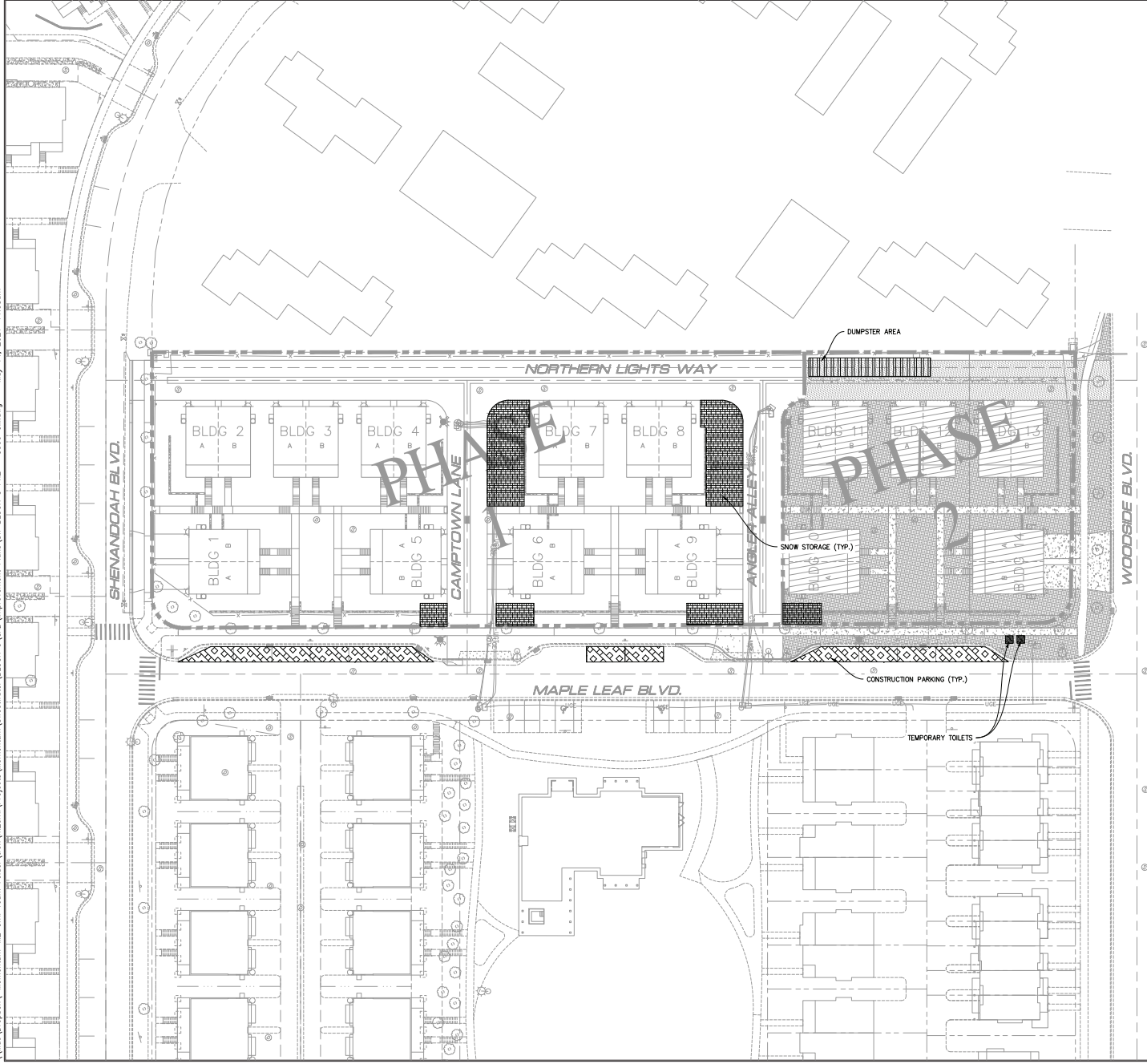
**NOT FOR CONSTRUCTION**



**NOT FOR CONSTRUCTION**



PROJ. MGR: MW DESIGNER: AKJ  
\\Mac-Drabson\momentum-42 Cit Team Folder\on\2020\Projects\Momentum\Sweetwater\BLOCK 5 CAD\Improvement Plans\SW BLOCK 5 Ph2 - C500 CM.dwg - May 14, 2021 - 11:08am

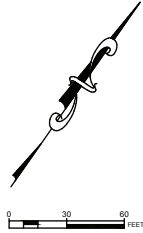
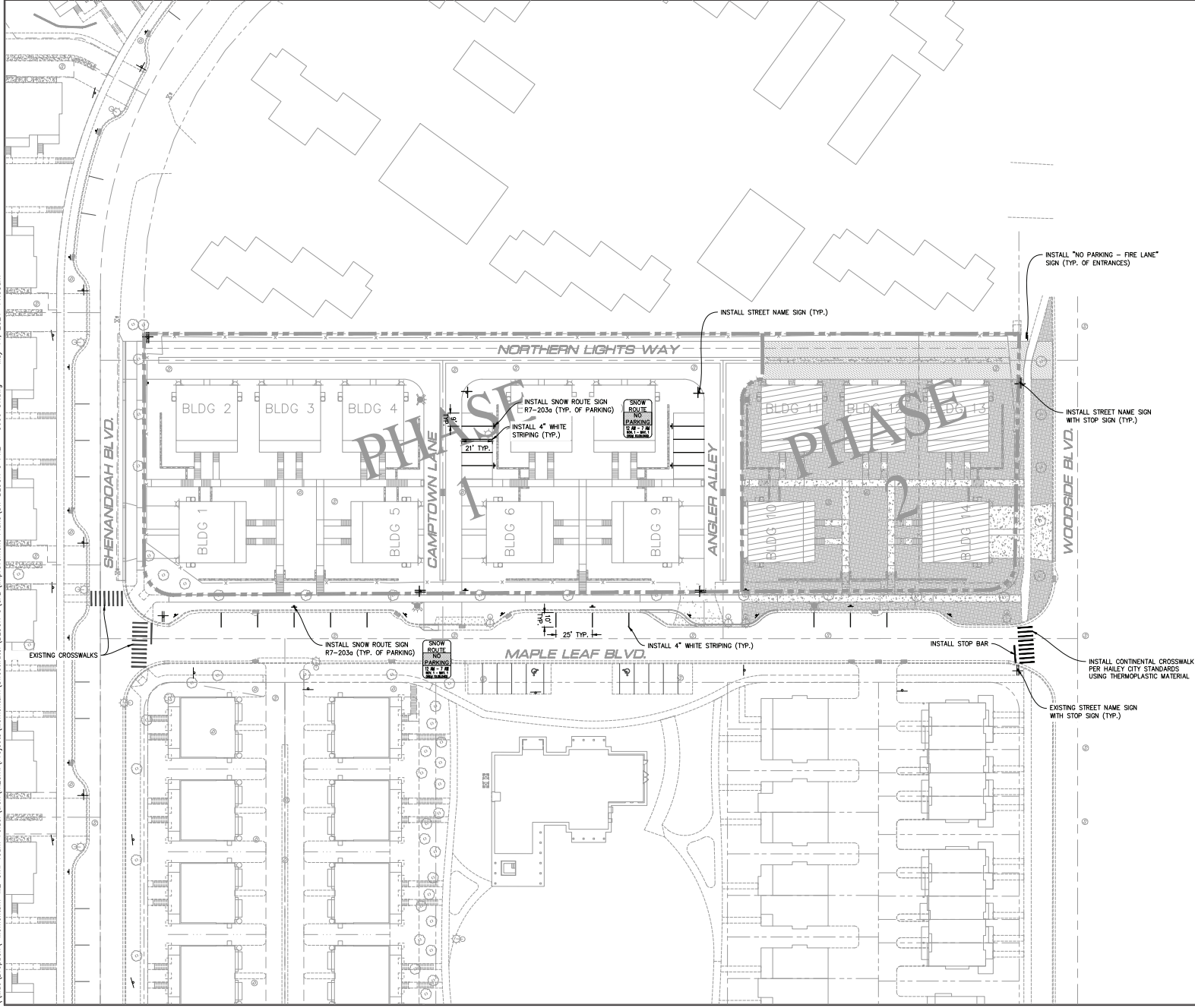


- LEGEND
- SNOW STORAGE AREA
  - TEMPORARY TOILETS
  - DUMPSTER AREA
  - CONSTRUCTION PARKING

SHEET NUMBER <b>C-500</b>	
SCALE HORIZONTAL: 1"=30' VERTICAL: 1"=100'	
JOB NUMBER <b>47-0172</b>	
PREPARED FOR: SWEETWATER COMMUNITIES	
 10421 S. JORDAN GATEWAY, SUITE 200, SOUTH JORDAN, UTAH 84095 801-316-3216 TEL	
PRELIMINARY 	
SWEETWATER BLOCK 5 PHASE 2 CONSTRUCTION MANAGEMENT PLAN	
NOT FOR CONSTRUCTION	



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SWEETWATER BLOCK 5 PHASE 2  
SIGNAGE AND STRIPING PLAN



SHEET NUMBER  
C-600

SCALE  
HORIZONTAL: 1"=30'  
VERTICAL: 1"=10'

SHEET NUMBER  
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES

NOT FOR CONSTRUCTION

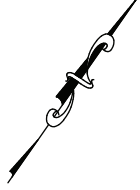
CAUTION  
The engineer preparing these plans will not be responsible for or liable for, any errors or omissions on these plans, and the user of these plans must be in writing and must be approved by the engineer of these plans.





PP-03

PP-02



SHEET NUMBER <b>PP-00</b>
SCALE HORIZONTAL: 1"=30' VERTICAL: 1"=10'
JOB NUMBER <b>47-0172</b>

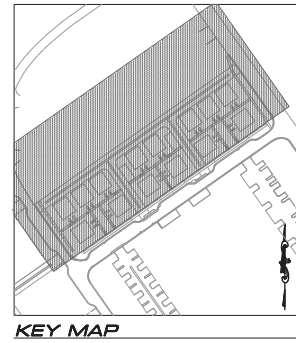
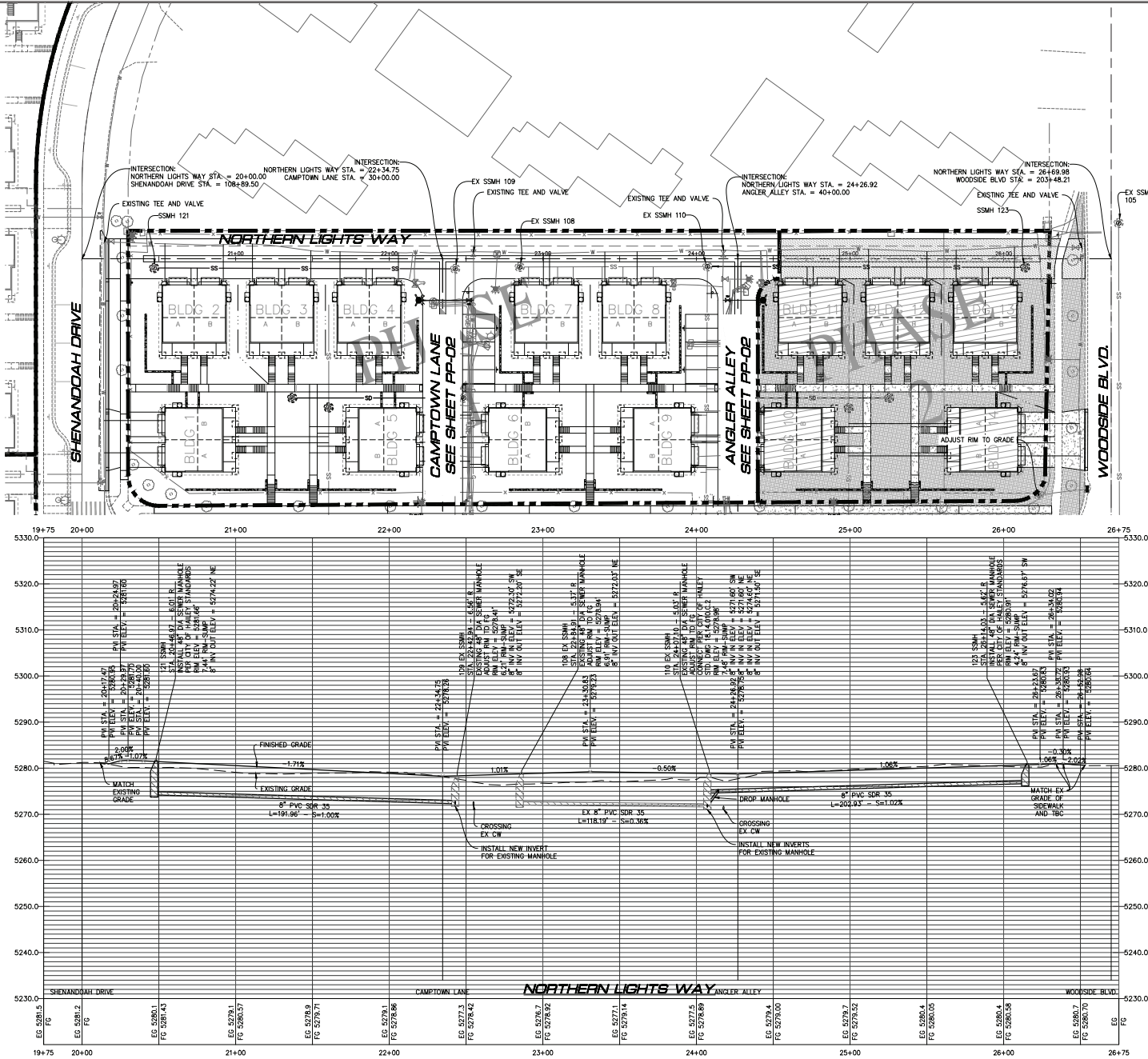
**SWEETWATER BLOCK 5 PHASE 2  
PLAN AND PROFILE MASTER KEY**

PREPARED FOR: SWEETWATER COMMUNITIES

**NOT FOR CONSTRUCTION**

The engineer preparing these plans will not be responsible for, or liable for, any unauthorized changes to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.





- SANITARY SEWER NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HALEY'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
  2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
  3. INSTALL SEWER LATERALS AT MINIMUM 2% SLOPE WITH CLEANOUTS AS REQUIRED. 90° BENDS SHALL BE MADE WITH TWO 45° ELBOWS AND A CLEANOUT. CONNECT TO SEWER MAIN PER CITY OF HALEY STD. DWG 18.14.010.C.4. ALL BENDS AT SEWER CLEANOUTS ARE 45° BENDS UNLESS NOTED OTHERWISE.
  4. MANHOLE CONE SECTIONS ARE TO BE POSITIONED AWAY FROM ROAD MONUMENTS, CURB AND GUTTER, AND LOW POINTS; AND TOWARDS HIGH POINTS.
- CULINARY WATER NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HALEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
  2. LOOP OR DEFLECT ALL CULINARY AS NECESSARY PER CITY OF HALEY, ISPMC, IDAPA, AND APWA DESIGN STANDARDS.
  3. INSTALL CAV VALVES AT ALL HIGH POINTS IN CULINARY WATER LINES PER CITY OF HALEY AND APWA DESIGN STANDARDS.
  4. INSTALL THRUST BLOCKS ON ALL FITTINGS PER CITY OF HALEY STD. DWG. 18.14.010.B.4.
  5. ALL WATERLINE DEFLECTIONS MUST BE APPROVED BY CITY ENGINEER.
- STORM DRAIN NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HALEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.



DATE

BY

CHKD

IN CH

REVISION

NO.

DATE

DESCRIPTION

**SWEETWATER BLOCK 5 PHASE 2**  
**NORTHERN LIGHTS WAY**

**10421 S. JORDAN GATEWAY,  
SUITE 200, SOUTH JORDAN,  
UTAH 84095  
801-316-3216 TEL**

**PRELIMINARY**

SHEET NUMBER  
**PP-01**

SCALE  
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VERTICAL: 1"=10'

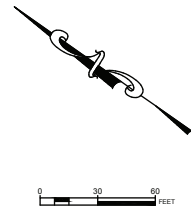
SHEET NUMBER  
**47-0172**

PREPARED FOR: SWEETWATER COMMUNITIES

NOT FOR CONSTRUCTION

The engineer preparing these plans will be responsible for or shall be responsible for the design and construction of the project. The engineer shall be responsible for the design and construction of the project. The engineer shall be responsible for the design and construction of the project.

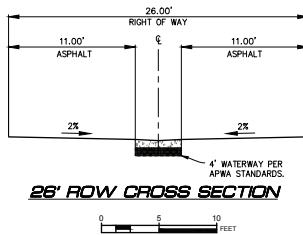




- CULINARY WATER NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HALEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
  2. LOOP OR DEFLECT ALL CULINARY AS NECESSARY PER CITY OF HALEY, ISPMW, IDAPA AND APWA DESIGN STANDARDS.
  3. INSTALL CAV VALVES AT ALL HIGH POINTS IN CULINARY WATER LINES PER CITY OF HALEY AND APWA DESIGN STANDARDS.
  4. INSTALL THRUST BLOCKS ON ALL FITTINGS PER CITY OF HALEY SPECIFICATION 01010.0.4.
  5. ALL WATERLINE DEFLECTIONS MUST BE APPROVED BY CITY ENGINEER.
- STORM DRAIN NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF HALEY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.







 <p>10421 S. JORDAN GATEWAY, SUITE 200, SOUTH JORDAN, UTAH 84095 801-316-3216 TEL</p>			
		<p><b>SHEET NUMBER</b> C-800</p>	
<p><b>SCALE</b> HORIZONTAL: 1"=100' VERTICAL: 1"=100'</p>		<p><b>JOB NUMBER</b> 47-0172</p>	

*NOT FOR CONSTRUCTION*



PROJ. MGR: MW DESIGNER: AKJ  
T:\Yinzhu\Projects\Momentum\Sweetwater\BLOCK 5\CAD\Improvement Plans\SW BLOCK 5 PH3 - L100 L.dwg - May 14, 2021-3:07pm



- IRRIGATION NOTES:**  
1. ALL IRRIGATION DESIGN TO BE DESIGNED BY OTHERS, AT A FUTURE DATE.
- LEGEND**
- EXISTING TREES-PROTECTED IN PLACE  
Total of 3 to remain (Phase 2)
  - RELOCATE TREES THAT HAVE TO BE REMOVED TO PROPOSED TREE LOCATIONS  
(SEE SHEET L-101, & L-102)  
PHASE 1: 12  
PHASE 2: 6
- \*\*TOTAL QUANTITY 24\*\***

CAUTION	
The engineer preparing these plans will not be responsible for or liable for, any damage to property or persons, or any other loss or damage, resulting from the use of these plans, unless it is shown to be the fault of the engineer.	
REVISIONS	
DATE	BY
SHEET NUMBER	
L-100	
SCALE	
HORIZONTAL: 1"=30'	
VERTICAL: 1"=10'	
JOB NUMBER	
47-0172	

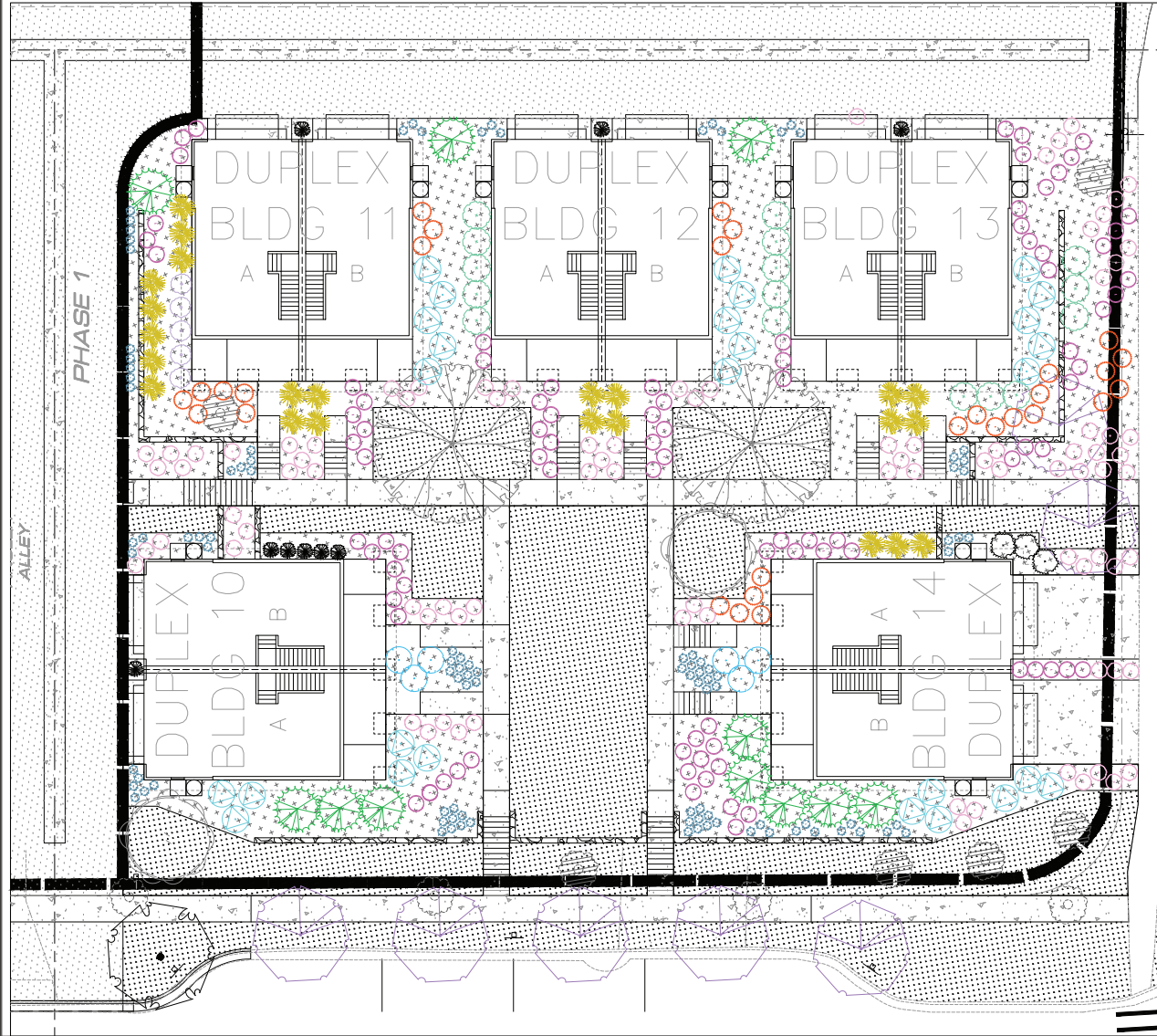
**SWEETWATER BLOCK 5  
EXISTING LANDSCAPE**

PREPARED FOR: SWEETWATER COMMUNITIES

**NOT FOR CONSTRUCTION**

**MOMENTUM**  
10421 S. JORDAN GATEWAY,  
SUITE 200, SOUTH JORDAN,  
UTAH 84095  
801-316-3216 TEL





IRRIGATION NOTES:  
1. ALL IRRIGATION DESIGN TO BE DESIGNED BY OTHERS, AT A FUTURE DATE.

LEGEND:  
● EXISTING TREES-PROTECTED IN PLACE  
● RELOCATED TREES NEW LOCATIONS  
\*\*QUANTITY 6\*\*



Plant Material List PHASE 2

SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
<b>Trees</b>									
SR	9		Sky Rocket Juniper <i>Juniperus scopulorum 'Sky Rocket'</i>	25'	Cont.	#7	4 min.	3' min.	Full Canopy, Healthy, Good Form
CH	7		Chokecherry <i>Prunus virginiana</i>	25'	Cont.	2.5' cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
HO	2		Honeylocust 'Shademaster' <i>Gleditsia triacanthos nemris</i>	25'	Cont.	3' cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
HO	1		Eastern Redbud <i>Cercis canadensis</i>	25'	Cont.	3' cal.	6' min.	4' min.	Full Canopy, Healthy, Good Form
<b>Ground Covers</b>									
			Kentucky Blue Grass Sod				9,200 S.F.		
			Bark Mulch				8,810 S.F.		Installed in Planter Beds

Plant Material List PHASE 2

SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
<b>Shrubs</b>									
RD	16		Variegated Redwing Dogwood <i>Cornus alba 'Elegantissima'</i>	3'	Cont.	gal.	3' min.	3' min.	Healthy, Good Form
PI	93		Pink Princess Crapehol <i>Potentilla fruticosa 'Pink Princess'</i>	3'	Cont.	gal.	3' min.	3' min.	Healthy, Good Form
MU	11		Mugo Pine Dwarf <i>Pinus mugo 'Pumilo'</i>	5'	Cont.	1 gal.	12" min.	12" min.	Healthy, Good Form
CR	28		Creeping Mahonia <i>Mahonia repens</i>	3'	Cont.	1 gal.	12" min.	12" min.	Healthy, Good Form
IV	6		Ivory Halo Dogwood <i>Cornus alba 'Balthaz'</i>	3'	Cont.	1 gal.	12" min.	12" min.	Healthy, Good Form
SN	27		Common Snowberry Bush <i>Symphoricarpos albus</i>	5'	Cont.	5 gal.	4' min.	4' min.	Full Canopy, Healthy, Good Form
NE	3		Norway Spruce Puma Dwarf <i>Picea abies 'Puma'</i>	5'	Cont.	gal.	3' min.	3' min.	Full Canopy, Healthy, Good Form
NE	23		Feather Reed Grass 'Karl Foerster' <i>Calamagrostis x acutiflora</i>	5'	Cont.	gal.	3' min.	3' min.	Full Canopy, Healthy, Good Form
NE	5		Coppernail Ninebark <i>Physocarpus opulifolius 'Minda'</i>	5'	Cont.	gal.	3' min.	3' min.	Full Canopy, Healthy, Good Form
NE	89		Goldmound Spirea <i>Spiraea japonica 'Goldmound'</i>	5'	Cont.	gal.	3' min.	3' min.	Full Canopy, Healthy, Good Form

In Accordance to the Current Edition of The American Standard for Nursery Stock

SWEETWATER BLOCK 5 PHASE 3  
PROPOSED LANDSCAPE PLAN PHASE 2



10421 S. JORDAN GATEWAY,  
SUITE 200, SOUTH JORDAN,  
UTAH 84095  
801-316-3216 TEL



SHEET NUMBER  
L-103

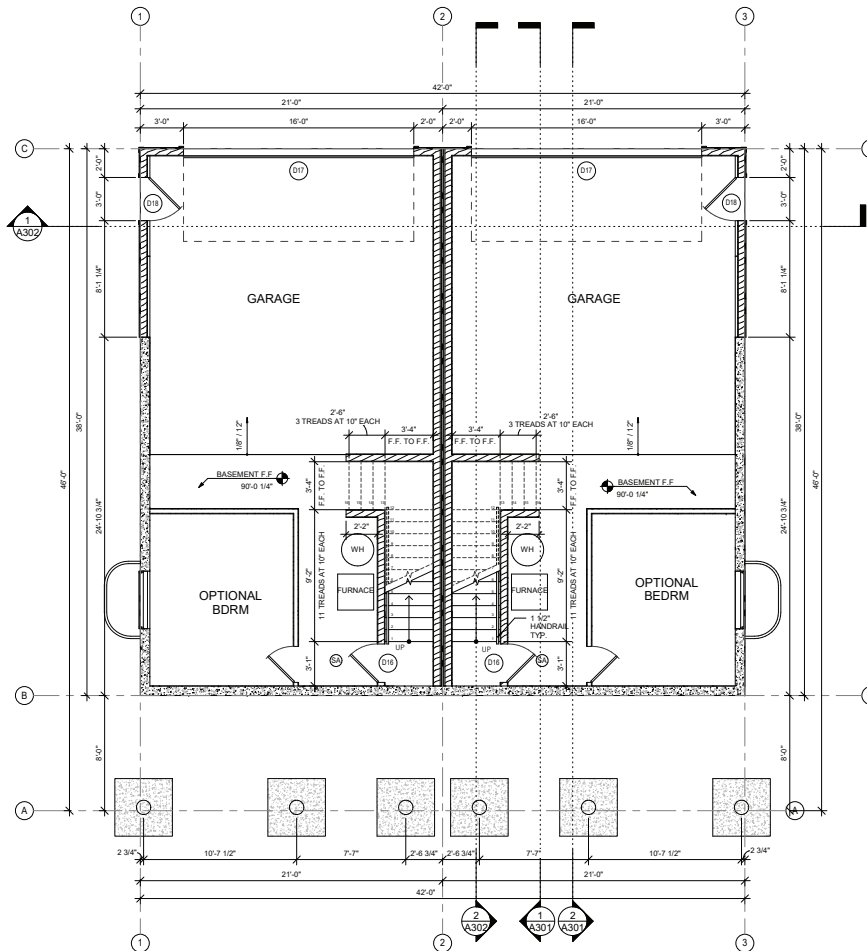
SCALE  
HORIZONTAL: 1"=10'  
VERTICAL: 1"=4'

DESIGN NUMBER  
47-0172

PREPARED FOR: SWEETWATER COMMUNITIES  
NOT FOR CONSTRUCTION

CAUTION  
The engineer preparing these plans will not be responsible for or liable for any errors or omissions on these plans unless it is shown in writing and must be approved by the engineer of these plans.





1 DUPLEX BASEMENT FLOOR  
1/8" = 1'-0"

### FLOOR PLAN GENERAL NOTES

1. LIGHTING & ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR U.N.O.
2. PLUMBING DESIGN BY PLUMBING CONTRACTOR U.N.O.
3. MECHANICAL & HVAC DESIGN BY MECHANICAL CONTRACTOR U.N.O.
4. RADON SYSTEM PER RADON CONTRACTOR.
5. CONTRACTOR CONTRACTOR TO PROVIDE & INSTALL ALL BRACING, BLOCKING, ETC. AS REQUIRED FOR INSTALLATION OF ALL FIXTURES, FURNISHINGS, & EQUIPMENT.
6. ALL DIMENSIONS ARE TO FACE OF STUD & GRID LINES U.N.O.
7. ALL INTERIOR FINISHES & SPECIFICATIONS BY GENERAL CONTRACTOR U.N.O.

### FLOOR PLAN LEGEND

- (SA) UL 217 LISTED CEILING MOUNTED SMOKE ALARM - WHITE
- (CO) UL 2034 LISTED CEILING MOUNTED CARBON MONOXIDE ALARM - WHITE

### WALL TYPES

- 2X4 INTERIOR STUD WALL AT 16" O.C. WITH 1/2" GYP. BD. BOTH SIDES
- 2X8 BEARING / STRUCTURAL STUD WALL WITH 1/2" GYP. BD. AT INTERIOR AS OCCURS
- 1-HOUR FIRE SEPARATION PARTY WALL IN ACCORDANCE WITH ASTM E 119 OR UL 263 - SEE DETAILS 1/A 210
- CONCRETE FOUNDATION WALL - SEE STRUCT.



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SWEETWATER COMMUNITIES, LLC  
SWEETWATER DUPLEXES  
BLOCK 5  
BLISS ARCHITECTURE  
ARCHITECTURE | PLANNING | INTERIOR DESIGN | CONSTRUCTION MANAGEMENT

DATE	06/09/2021
PERMIT SET	COH DESIGN REVIEW SUBMITTAL
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CHECKED BY	EB
REVISION	
APPROVED	
SHEET	DUPLEX BASEMENT FLOOR

A101

SCALE  
As indicated

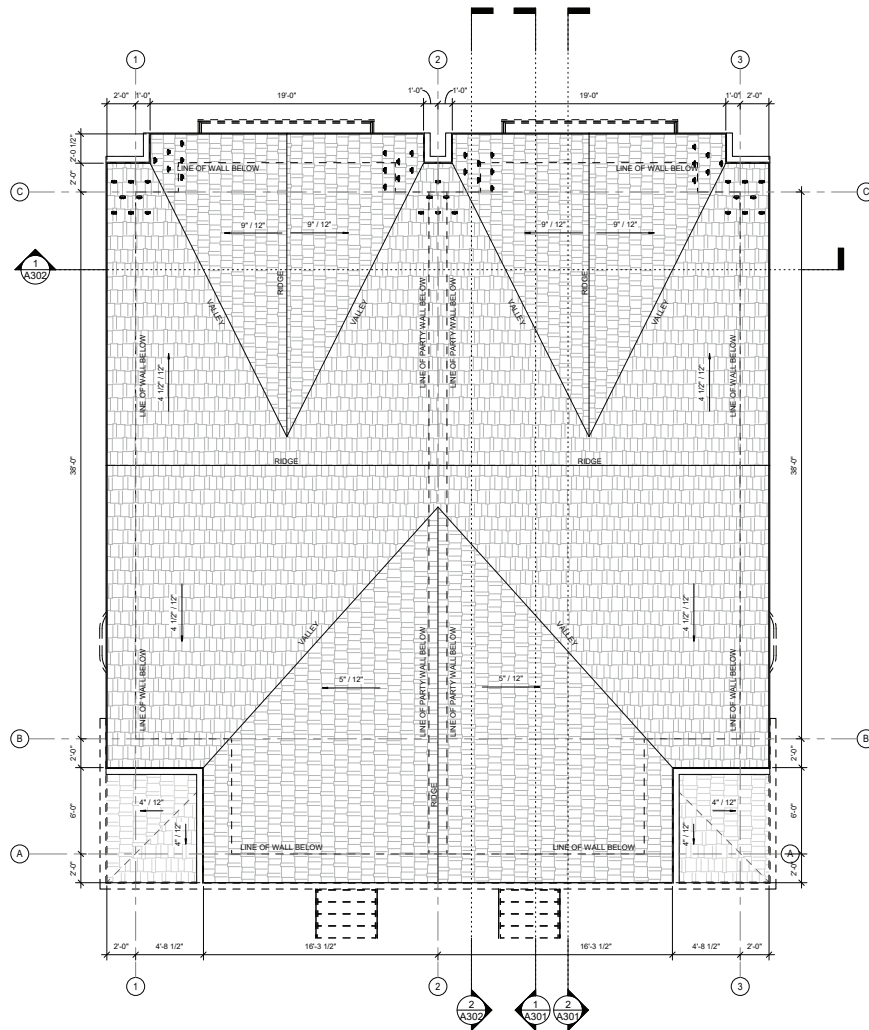












1 DUPLEX ROOF PLAN  
A104 1/4" = 1'-0"

LICENSED ARCHITECT  
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STATE OF IDAHO

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REVISION	DATE

APPROVED  
-  
SHEET  
DUPLEX ROOF PLAN

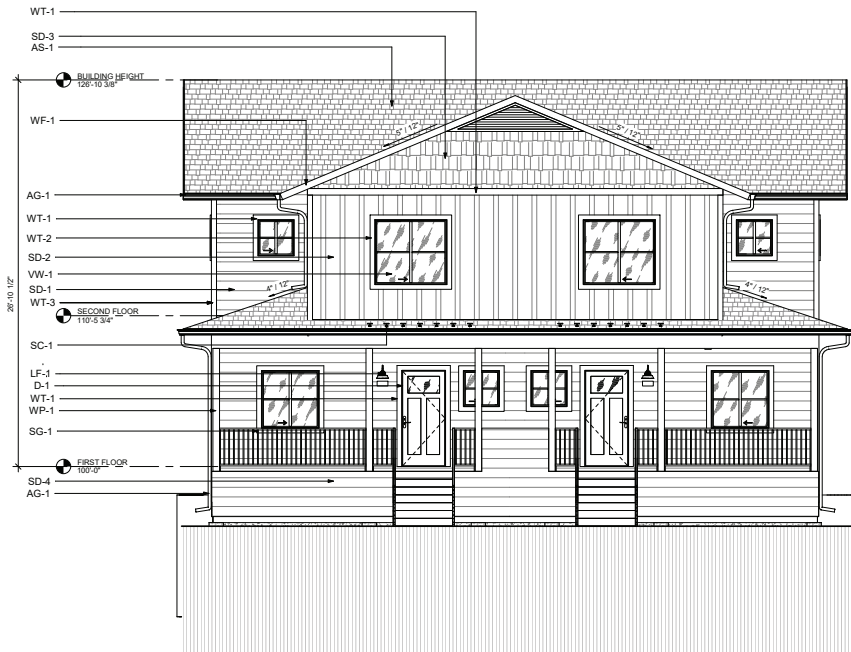
A104

SCALE  
1/4" = 1'-0"

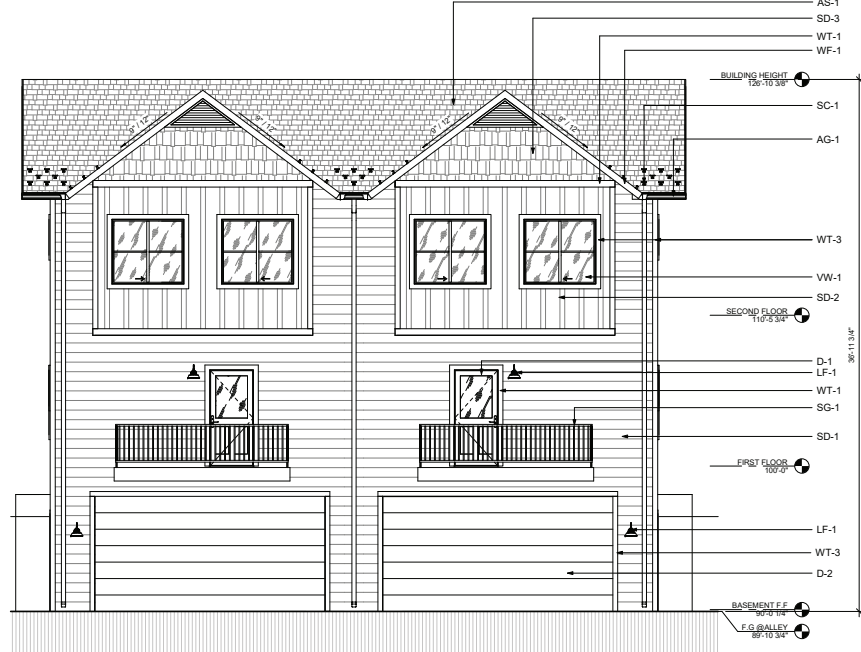


MATERIAL SCHEDULE

WP-1: WOOD POST MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-1: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-1: FIBERGLASS DOORS MANUF: THERMA TRU STYLE: -54810 COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT, CLEAR, LOW-E, DUAL PANE GLASS	SG-1: STEEL GUARDRAIL MANUF: - STYLE: 3" X 3" STEEL MESH COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT
WT-1: 1X6 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-2: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-2: OVERHEAD DOOR MANUF: OVERHEAD DOOR CO. STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: -	SC-1: SNOW CLIPS MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: LAYOUT & ATTACHMENT PER ROOFING CONTACTOR
WT-2: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-3: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	VW-1: VINYL WINDOWS MANUF: AMSCO STYLE: STUDIO SERIES COLOR: SEE COLOR SCHEME SCHED. NOTES: CLEAR, LOW-E, DUAL PANE GLASS	LF-1: LIGHT FIXTURE MANUF: SPI LIGHTING STYLE: SPI 49-01 CO COLOR: GUN METAL NOTES: WALL MOUNTED
WT-3: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: ACCENT COLOR	SD-4: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AG-1: PRE-FINISHED ALUM. GUTTERS & DOWNSPOUTS MANUF: - STYLE: - COLOR: T.B.D. COORD W/ARCHITECT. NOTES: -	
WF-1: WOOD FASCIA MANUF: - STYLE: 1X6" TRIM COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-5: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AS-1: ASPHALT SHINGLE ROOF MANUF: IKO STYLE: CAMBRIDGE COLLECTION COLOR: SEE COLOR SCHEME SCHED. NOTES: -	
	SD-6: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT		



1 DUPLEX FRONT ELEVATION  
A201 1/4" = 1'-0"



2 DUPLEX BACK ELEVATION  
A201 1/4" = 1'-0"



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REVISION	-

REVISION	DATE

APPROVED  
-  
SHEET  
DUPLEX FRONT & BACK  
ELEVATIONS

A201

SCALE  
As indicated



MATERIAL SCHEDULE

WP-1: WOOD POST MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-1: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-1: FIBERGLASS DOORS MANUF: THERMA TRU STYLE: -S4810 COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT,CLEAR, LOW-E, DUAL PANE GLASS	SG-1: STEEL GUARDRAIL MANUF: - STYLE: 3" X 3" STEEL MESH COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT
WT-1: 1X8 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-2: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-2: OVERHEAD DOOR MANUF: OVERHEAD DOOR CO. STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: -	SC-1: SNOW CLIPS MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: LAYOUT & ATTACHMENT PER ROOFING CONTACTOR
WT-2: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-3: SHAKE SIDING MANUF: TRUWOOD STYLE:10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	VW-1: VINYL WINDOWS MANUF: AMISCO STYLE: STUDIO SERIES COLOR: SEE COLOR SCHEME SCHED. NOTES: CLEAR, LOW-E, DUAL PANE GLASS	LF-1: LIGHT FIXTURE MANUF: SPI LIGHTING STYLE: SPI 49-01 CO COLOR: GUN METAL NOTES: WALL MOUNTED
WT-3: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: ACCENT COLOR	SD-4: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AG-1: PRE-FINISHED ALUM. GUTTERS & DOWNSPOUTS MANUF: - STYLE: - COLOR: T.B.D. COORD W/ARCHITECT. NOTES: -	
WF-1: WOOD FASCIA MANUF: - STYLE: 1X6" TRIM COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-5: SHAKE SIDING MANUF: TRUWOOD STYLE:10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AS-1: ASPHALT SHINGLE ROOF MANUF: IKO STYLE: CAMBRIDGE COLLECTION COLOR: SEE COLOR SCHEME SCHED. NOTES: -	
	SD-6: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT		



1 DUPLEX LEFT ELEVATION  
1/4" = 1'-0"



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APPROVED  
SHEET  
DUPLEX LEFT ELEVATION

A202  
SCALE  
As indicated



MATERIAL SCHEDULE

WP-1: WOOD POST MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-1: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-1: FIBERGLASS DOORS MANUF: THERMA TRU STYLE: S4810 COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT,CLEAR, LOW-E, DUAL PANE GLASS	SG-1: STEEL GUARDRAIL MANUF: - STYLE: 3" X 3" STEEL MESH COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT
WT-1: 1X8 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-2: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-2: OVERHEAD DOOR MANUF: OVERHEAD DOOR CO. STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: -	SC-1: SNOW CLIPS MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: LAYOUT & ATTACHMENT PER ROOFING CONTACTOR
WT-2: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-3: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	VW-1: VINYL WINDOWS MANUF: AMISCO STYLE: STUDIO SERIES COLOR: SEE COLOR SCHEME SCHED. NOTES: CLEAR, LOW-E, DUAL PANE GLASS	LF-1: LIGHT FIXTURE MANUF: SPI LIGHTING STYLE: SPI 49-01 CO COLOR: GUN METAL NOTES: WALL MOUNTED
WT-3: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: ACCENT COLOR	SD-4: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AG-1: PRE-FINISHED ALUM. GUTTERS & DOWNSPOUTS MANUF: - STYLE: - COLOR: T.B.D. COORD W/ARCHITECT. NOTES: -	
WF-1: WOOD FASCIA MANUF: - STYLE: 1X6" TRIM COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-5: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AS-1: ASPHALT SHINGLE ROOF MANUF: IKO STYLE: CAMBRIDGE COLLECTION COLOR: SEE COLOR SCHEME SCHED. NOTES: -	
	SD-6: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT		



1 DUPLEX RIGHT ELEVATION  
1/4" = 1'-0"

LICENSED ARCHITECT  
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-  
SHEET  
DUPLEX RIGHT ELEVATION

**A203**

SCALE  
As indicated

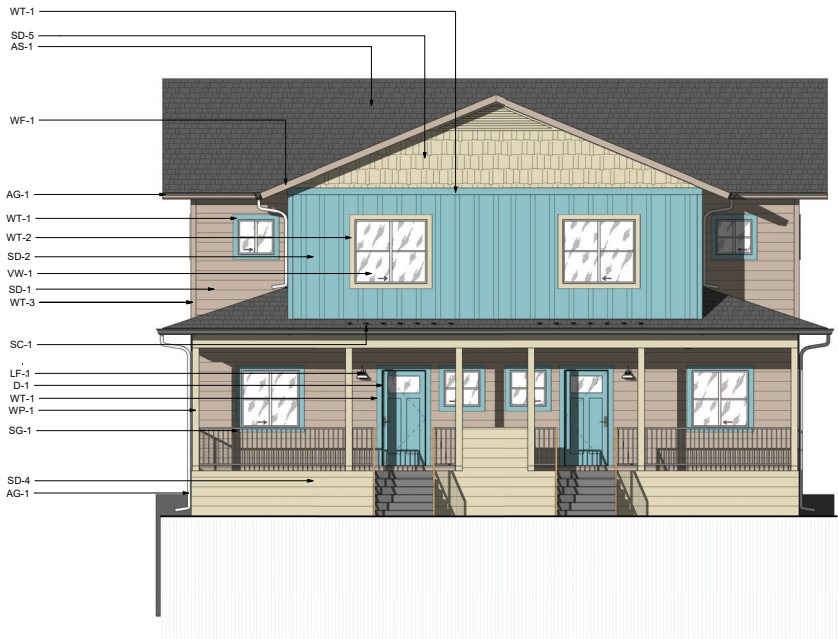


MATERIAL SCHEDULE

WP-1: WOOD POST MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-1: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-1: FIBERGLASS DOORS MANUF: THERMA TRU STYLE: -S4810 COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT, CLEAR, LOW-E, DUAL PANE GLASS	SG-1: STEEL GUARDRAIL MANUF: - STYLE: 3" X 3" STEEL MESH COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT
WT-1: 1X6 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-2: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-2: OVERHEAD DOOR MANUF: OVERHEAD DOOR CO. STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: -	SC-1: SNOW CLIPS MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: LAYOUT & ATTACHMENT PER ROOFING CONTACTOR
WT-2: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-3: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	VW-1: VINYL WINDOWS MANUF: AMSCO STYLE: STUDIO SERIES COLOR: SEE COLOR SCHEME SCHED. NOTES: CLEAR, LOW-E, DUAL PANE GLASS	LF-1: LIGHT FIXTURE MANUF: SPI LIGHTING STYLE: SPI 49-01 CO COLOR: GUN METAL NOTES: WALL MOUNTED
WT-3: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: ACCENT COLOR	SD-4: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AG-1: PRE-FINISHED ALUM. GUTTERS & DOWNSPOUTS MANUF: - STYLE: - COLOR: T.B.D. COORD W/ARCHITECT. NOTES: -	
WF-1: WOOD FASCIA MANUF: - STYLE: 1X6" TRIM COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-5: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AS-1: ASPHALT SHINGLE ROOF MANUF: IKO STYLE: CAMBRIDGE COLLECTION COLOR: SEE COLOR SCHEME SCHED. NOTES: -	
	SD-6: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT		

COLOR SCHEME SCHED

MATERIAL	COLOR SCHEME #1
WP-1	SHERWIN WILLIAMS ROYCROFT VELLUM SW 2833
WT-1	SHERWIN WILLIAMS PEACOCK PLUME SW 0020
WT-2	SHERWIN WILLIAMS ROYCROFT VELLUM SW 2833
WT-3	SHERWIN WILLIAMS RENNICK BEIGE SW 2805
WF-1	SHERWIN WILLIAMS RENNICK BEIGE SW 2805
SD-1	SHERWIN WILLIAMS RENNICK BEIGE SW 2805
SD-2	SHERWIN WILLIAMS PEACOCK PLUME SW 0020
SD-3	SHERWIN WILLIAMS PEACOCK PLUME SW 0020
SD-4	SHERWIN WILLIAMS ROYCROFT VELLUM SW 2833
SD-5	SHERWIN WILLIAMS ROYCROFT VELLUM SW 2833
SD-6	
AS-1	BLACK
D-1	SHERWIN WILLIAMS PEACOCK PLUME SW 0020
D-2	SHERWIN WILLIAMS ROYCROFT VELLUM SW 2833
VW-1	WHITE



1 DUPLEX FRONT ELEVATION COLOR SCHEME #1



2 DUPLEX BACK ELEVATION COLOR SCHEME #1



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SHEET  
COLOR SCHEME #1

A204  
SCALE  
As indicated

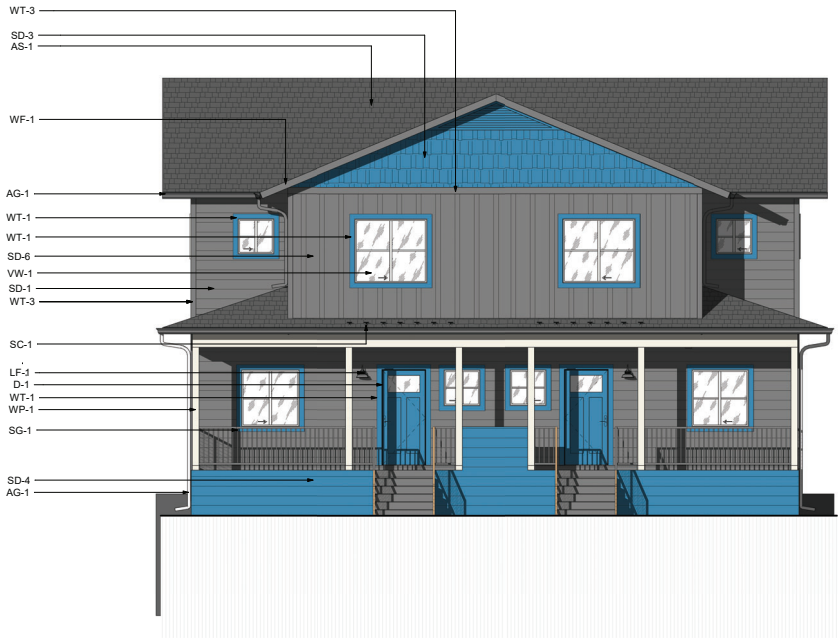


MATERIAL SCHEDULE

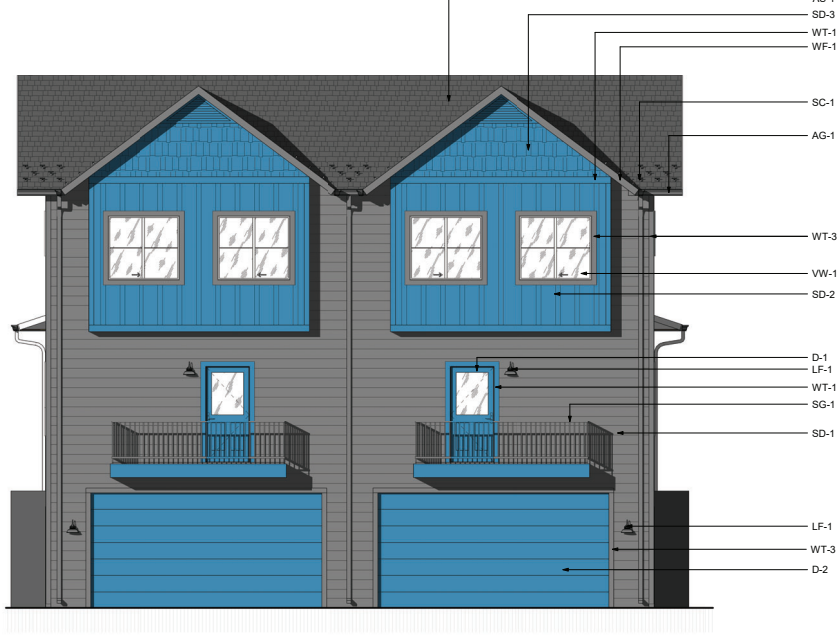
WP-1: WOOD POST MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-1: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-1: FIBERGLASS DOORS MANUF: THERMA TRU STYLE: -S4810 COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT, CLEAR, LOW-E, DUAL PANE GLASS	SG-1: STEEL GUARDRAIL MANUF: - STYLE: 3" X 3" STEEL MESH COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT
WT-1: 1X6 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-2: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-2: OVERHEAD DOOR MANUF: OVERHEAD DOOR CO. STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: -	SC-1: SNOW CLIPS MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: LAYOUT & ATTACHMENT PER ROOFING CONTACTOR
WT-2: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-3: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	VW-1: VINYL WINDOWS MANUF: AMSCO STYLE: STUDIO SERIES COLOR: SEE COLOR SCHEME SCHED. NOTES: CLEAR, LOW-E, DUAL PANE GLASS	LF-1: LIGHT FIXTURE MANUF: SPI LIGHTING STYLE: SPI 49-01 CO COLOR: GUN METAL NOTES: WALL MOUNTED
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WF-1: WOOD FASCIA MANUF: - STYLE: 1X6" TRIM COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-5: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AS-1: ASPHALT SHINGLE ROOF MANUF: IKO STYLE: CAMBRIDGE COLLECTION COLOR: SEE COLOR SCHEME SCHED. NOTES: -	
	SD-6: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT		

COLOR SCHEME SCHED

MATERIAL	COLOR SCHEME #2
WP-1	SHERWIN WILLIAMS: WHITE IVACNTH SW 0046
WT-1	SHERWIN WILLIAMS: REFUGE SW 6228
WT-2	SHERWIN WILLIAMS: ROYCROFT VELLUM SW 2833
WT-3	SHERWIN WILLIAMS: GRIZZLE GRAY SW 7068
WF-1	SHERWIN WILLIAMS: GRIZZLE GRAY SW 7068
SD-1	SHERWIN WILLIAMS: GRIZZLE GRAY SW 7068
SD-2	SHERWIN WILLIAMS: REFUGE SW 6228
SD-3	SHERWIN WILLIAMS: REFUGE SW 6228
SD-4	SHERWIN WILLIAMS: REFUGE SW 6228
SD-5	
SD-6	SHERWIN WILLIAMS: GRIZZLE GRAY SW 7068
AS-1	BLACK
D-1	SHERWIN WILLIAMS: REFUGE SW 6228
D-2	SHERWIN WILLIAMS: REFUGE SW 6228
VW-1	WHITE



1 DUPLEX FRONT ELEVATION COLOR SCHEME #2  
1/4" = 1'-0"



2 DUPLEX BACK ELEVATION COLOR SCHEME #2  
1/4" = 1'-0"



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-  
SHEET  
COLOR SCHEME #2

A205  
SCALE  
As indicated

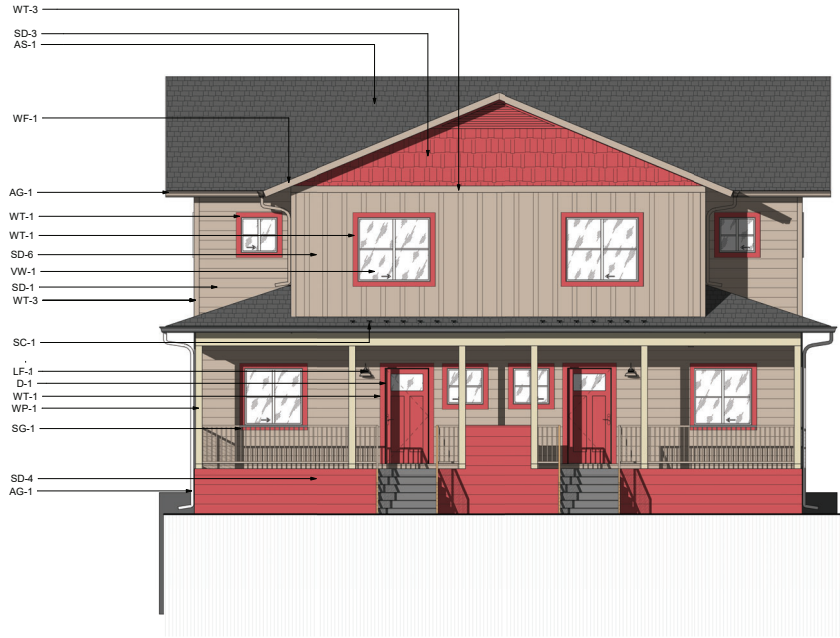


MATERIAL SCHEDULE

WP-1: WOOD POST MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-1: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-1: FIBERGLASS DOORS MANUF: THERMA TRU STYLE: -54810 COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT,CLEAR, LOW-E, DUAL PANE GLASS	SG-1: STEEL GUARDRAIL MANUF: - STYLE: 3" X 3" STEEL MESH COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT
WT-1: 1X6 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-2: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-2: OVERHEAD DOOR MANUF: OVERHEAD DOOR CO. STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: -	SC-1: SNOW CLIPS MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: LAYOUT & ATTACHMENT PER ROOFING CONTACTOR
WT-2: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-3: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	VW-1: VINYL WINDOWS MANUF: AMSCO STYLE: STUDIO SERIES COLOR: SEE COLOR SCHEME SCHED. NOTES: CLEAR, LOW-E, DUAL PANE GLASS	LF-1: LIGHT FIXTURE MANUF: SPI LIGHTING STYLE: SPI 49-01 CO COLOR: GUN METAL NOTES: WALL MOUNTED
WT-3: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: ACCENT COLOR	SD-4: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AG-1: PRE-FINISHED ALUM. GUTTERS & DOWNSPOUTS MANUF: - STYLE: - COLOR: T.B.D. COORD W/ARCHITECT. NOTES: -	
WF-1: WOOD FASCIA MANUF: - STYLE: 1X6" TRIM COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-5: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AS-1: ASPHALT SHINGLE ROOF MANUF: IKO STYLE: CAMBRIDGE COLLECTION COLOR: SEE COLOR SCHEME SCHED. NOTES: -	
	SD-6: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT		

COLOR SCHEME SCHED

MATERIAL	COLOR SCHEME #3
WP-1	SHERWIN WILLIAMS ROYCROFT VELLUM SW 2833
WT-1	SHERWIN WILLIAMS REMBRANT RUBY SW 0033
WT-2	SHERWIN WILLIAMS ROYCROFT VELLUM SW 2833
WT-3	SHERWIN WILLIAMS RENNICK BEIGE SW 2805
WF-1	SHERWIN WILLIAMS RENNICK BEIGE SW 2805
SD-1	SHERWIN WILLIAMS RENNICK BEIGE SW 2805
SD-2	SHERWIN WILLIAMS REMBRANT RUBY SW 0033
SD-3	SHERWIN WILLIAMS REMBRANT RUBY SW 0033
SD-4	SHERWIN WILLIAMS RENNICK BEIGE SW 0033
SD-5	
SD-6	SHERWIN WILLIAMS RENNICK BEIGE SW 2805
AS-1	BLACK
D-1	SHERWIN WILLIAMS REMBRANT RUBY SW 0033
D-2	SHERWIN WILLIAMS ROYCROFT VELLUM SW 2833
VW-1	WHITE



2 DUPLEX FRONT ELEVATION COLOR SCHEME #3  
A206 1/4" = 1'-0"



1 DUPLEX BACK ELEVATION COLOR SCHEME #3  
A206 1/4" = 1'-0"



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SWEETWATER COMMUNITIES, LLC  
SWEETWATER DUPLEXES  
BLOCK 5  
BLISS ARCHITECTURE  
ARCHITECTURE | PLANNING | INTERIOR DESIGN | CONSTRUCTION MANAGEMENT

DATE 06/09/2021  
PERMIT SET  
C&H DESIGN REVIEW SUBMITTAL  
DRAWN BY -  
CHECKED BY -  
REVISION  
REVISION DATE  
APPROVED  
SHEET  
COLOR SCHEME #3

A206  
SCALE  
As indicated



WP-1: WOOD POST MANUF.: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-1: LAP SIDING MANUF.: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-1: FIBERGLASS DOORS MANUF.: THERMA TRU STYLE: -S4810 COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT,CLEAR, LOW-E, DUAL PANE GLASS
WT-1: 1X6 WOOD TRIM MANUF.: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-2: BATTEN BOARD SIDING MANUF.: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-2: OVERHEAD DOOR MANUF.: OVERHEAD DOOR CO. STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: -
WT-2: 1X4 WOOD TRIM MANUF.: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-3: SHAKE SIDING MANUF.: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	WW-1: VINYL WINDOWS MANUF.: AMSCO STYLE: STUDIO SERIES COLOR: SEE COLOR SCHEME SCHED. NOTES: CLEAR, LOW-E, DUAL PANE GLASS
WT-3: 1X4 WOOD TRIM MANUF.: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: ACENT COLOR	SD-4: LAP SIDING MANUF.: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AG-1: PRE-FINISHED ALUM. GUTTERS & DOWNSPOUTS MANUF.: - STYLE: - COLOR: T.B.D. COORD W/ARCHITECT. NOTES: -
WF-1: WOOD FASCIA MANUF.: - STYLE: 1X6" TRIM COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-5: SHAKE SIDING MANUF.: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AS-1: ASPHALT SHINGLE ROOF MANUF.: IKO STYLE: CAMBRIDGE COLLECTION COLOR: SEE COLOR SCHEME SCHED. NOTES: -
	SD-6: BATTEN BOARD SIDING MANUF.: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	

MATERIAL	COLOR SCHEME #
WP-1	SHERWIN WILLIAMS: ROYCROFT VELLUM SW 2833
WT-1	SHERWIN WILLIAMS: GALLERY GREEN SW 0015
WT-2	SHERWIN WILLIAMS: ROYCROFT VELLUM SW 2833
WT-3	SHERWIN WILLIAMS: RENNICK BEIGE SW 2805
WF-1	SHERWIN WILLIAMS: RENNICK BEIGE SW 2805
SD-1	SHERWIN WILLIAMS: RENNICK BEIGE SW 2805
SD-2	SHERWIN WILLIAMS: GALLERY GREEN SW 0015
SD-3	SHERWIN WILLIAMS: GALLERY GREEN SW 0015
SD-4	SHERWIN WILLIAMS: GALLERY GREEN SW 0015
SD-5	
SD-6	SHERWIN WILLIAMS: RENNICK BEIGE SW 2805
AS-1	BLACK
D-1	SHERWIN WILLIAMS: GALLERY GREEN SW 0015
D-2	SHERWIN WILLIAMS: ROYCROFT VELLUM SW 2833
VW-1	WHITE



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SWEETWATER COMMUNITIES, LLC  
SWEETWATER DUPLEXES  
BLOCK 5

DATE	06/09/2021
PERMIT SET	CoH DESIGN REVIEW SUBMITTAL
DRAWN BY	-
CHECKED BY	-
REVISION	

REVISION	DATE

APPROVED  
-  
SHEET  
COLOR SCHEME #4

## A207

SCALE  
As indicated

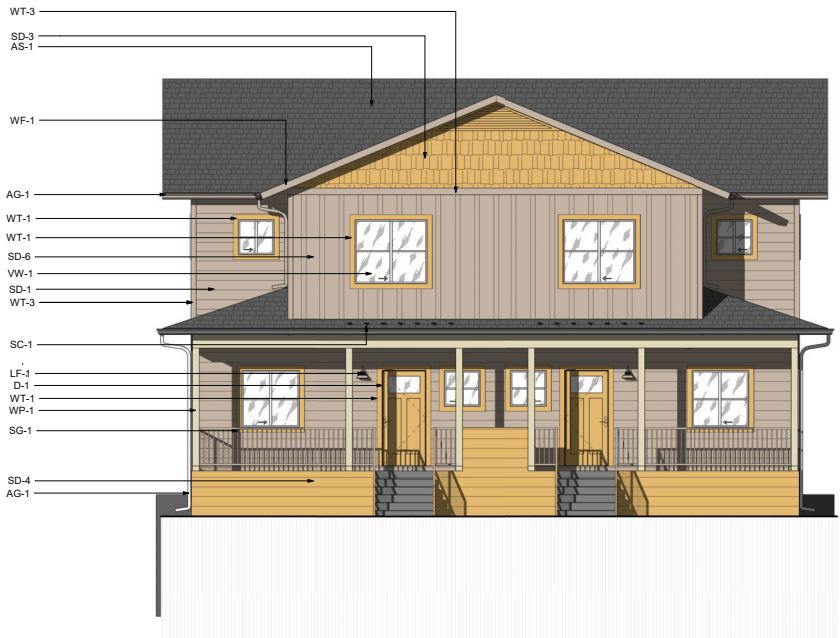


MATERIAL SCHEDULE

WP-1: WOOD POST MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-1: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-1: FIBERGLASS DOORS MANUF: THERMA TRU STYLE: -S4810 COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT,CLEAR, LOW-E, DUAL PANE GLASS	SG-1: STEEL GUARDRAIL MANUF: - STYLE: 3" X 3" STEEL MESH COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT
WT-1: 1X6 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-2: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-2: OVERHEAD DOOR MANUF: OVERHEAD DOOR CO. STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: -	SC-1: SNOW CLIPS MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: LAYOUT & ATTACHMENT PER ROOFING CONTACTOR
WT-2: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-3: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	VW-1: VINYL WINDOWS MANUF: AMSCO STYLE: STUDIO SERIES COLOR: SEE COLOR SCHEME SCHED. NOTES: CLEAR, LOW-E, DUAL PANE GLASS	LF-1: LIGHT FIXTURE MANUF: SPI LIGHTING STYLE: SPI 49-01 CO COLOR: GUN METAL NOTES: WALL MOUNTED
WT-3: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: ACCENT COLOR	SD-4: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AG-1: PRE-FINISHED ALUM. GUTTERS & DOWNSPOUTS MANUF: - STYLE: - COLOR: T.B.D. COORD W/ARCHITECT. NOTES: -	
WF-1: WOOD FASCIA MANUF: - STYLE: 1X6" TRIM COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-5: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AS-1: ASPHALT SHINGLE ROOF MANUF: IKO STYLE: CAMBRIDGE COLLECTION COLOR: SEE COLOR SCHEME SCHED. NOTES: -	
	SD-6: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT		

COLOR SCHEME SCHED

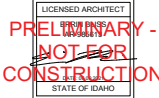
MATERIAL	COLOR SCHEME #5
WP-1	SHERWIN WILLIAMS ROYCROFT VELLUM SW 2833
WT-1	SHERWIN WILLIAMS EASTLAKE GOLD SW 0009
WT-2	SHERWIN WILLIAMS ROYCROFT VELLUM SW 2833
WT-3	SHERWIN WILLIAMS RENNICK BEIGE SW 2805
WF-1	SHERWIN WILLIAMS RENNICK BEIGE SW 2805
SD-1	SHERWIN WILLIAMS RENNICK BEIGE SW 2805
SD-2	SHERWIN WILLIAMS EASTLAKE GOLD SW 0009
SD-3	SHERWIN WILLIAMS EASTLAKE GOLD SW 0009
SD-4	SHERWIN WILLIAMS EASTLAKE GOLD SW 0009
SD-5	
SD-6	SHERWIN WILLIAMS RENNICK BEIGE SW 2805
AS-1	BLACK
D-1	SHERWIN WILLIAMS EASTLAKE GOLD SW 0009
D-2	SHERWIN WILLIAMS ROYCROFT VELLUM SW 2833
VW-1	WHITE



2 DUPLEX FRONT ELEVATION COLOR SCHEME #5



1 DUPLEX BACK ELEVATION COLOR SCHEME #5



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ARCHITECTURE | PLANNING | INTERIOR DESIGN | CONSTRUCTION MANAGEMENT

DATE	06/09/2021
PERMIT SET	COH DESIGN REVIEW SUBMITTAL
DRAWN BY	Author
CHECKED BY	Checker
REVISION	
APPROVED	Approver
SHEET	COLOR SCHEME #5

REVISION	DATE

A208

SCALE  
As indicated

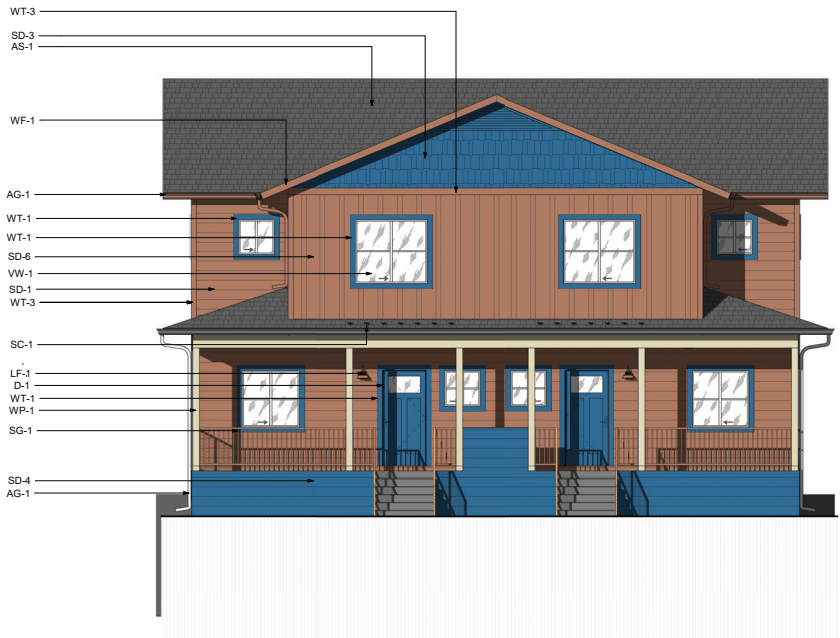


MATERIAL SCHEDULE

WP-1: WOOD POST MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-1: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-1: FIBERGLASS DOORS MANUF: THERMA TRU STYLE: -S4810 COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT,CLEAR, LOW-E, DUAL PANE GLASS	SG-1: STEEL GUARDRAIL MANUF: - STYLE: 3" X 3" STEEL MESH COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT
WT-1: 1X6 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-2: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	D-2: OVERHEAD DOOR MANUF: OVERHEAD DOOR CO. STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: -	SC-1: SNOW CLIPS MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: LAYOUT & ATTACHMENT PER ROOFING CONTACTOR
WT-2: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-3: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	VW-1: VINYL WINDOWS MANUF: AMSCO STYLE: STUDIO SERIES COLOR: SEE COLOR SCHEME SCHED. NOTES: CLEAR, LOW-E, DUAL PANE GLASS	LF-1: LIGHT FIXTURE MANUF: SPI LIGHTING STYLE: SPI 49-01 CO COLOR: GUN METAL NOTES: WALL MOUNTED
WT-3: 1X4 WOOD TRIM MANUF: - STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: ACCENT COLOR	SD-4: LAP SIDING MANUF: TRUWOOD STYLE: 5" COTTAGE LAP COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AG-1: PRE-FINISHED ALUM. GUTTERS & DOWNSPOUTS MANUF: - STYLE: - COLOR: T.B.D. COORD W/ARCHITECT. NOTES: -	
WF-1: WOOD FASCIA MANUF: - STYLE: 1X6" TRIM COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	SD-5: SHAKE SIDING MANUF: TRUWOOD STYLE: 10 1/2" BEVEL KING CEDAR SHAKE COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT	AS-1: ASPHALT SHINGLE ROOF MANUF: IKO STYLE: CAMBRIDGE COLLECTION COLOR: SEE COLOR SCHEME SCHED. NOTES: -	
	SD-6: BATTEN BOARD SIDING MANUF: TRUWOOD STYLE: - COLOR: SEE COLOR SCHEME SCHED. NOTES: PAINT		

COLOR SCHEME SCHED

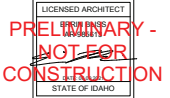
MATERIAL	COLOR SCHEME #6
WP-1	SHERWIN WILLIAMS: ROYCROFT VELLUM SW 2833
WT-1	SHERWIN WILLIAMS: INKY BLUE SW 9149
WT-2	SHERWIN WILLIAMS: ROYCROFT VELLUM SW 2833
WT-3	SHERWIN WILLIAMS: NUTTHATCH SW 6088
WF-1	SHERWIN WILLIAMS: NUTTHATCH SW 6088
SD-1	SHERWIN WILLIAMS: NUTTHATCH SW 6088
SD-2	SHERWIN WILLIAMS: INKY BLUE SW 9149
SD-3	SHERWIN WILLIAMS: INKY BLUE SW 9149
SD-4	SHERWIN WILLIAMS: INKY BLUE SW 9149
SD-5	
SD-6	SHERWIN WILLIAMS: NUTTHATCH SW 6088
AS-1	BLACK
D-1	SHERWIN WILLIAMS: INKY BLUE SW 9149
D-2	SHERWIN WILLIAMS: INKY BLUE SW 9149
VW-1	WHITE



2 DUPLEX FRONT ELEVATION COLOR SCHEME #6



1 DUPLEX BACK ELEVATION COLOR SCHEME #6



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ARCHITECTURE | PLANNING | INTERIOR DESIGN | CONSTRUCTION MANAGEMENT

DATE	06/09/2021
PERMIT SET	Designer
DRAWN BY	Author
CHECKED BY	Checker
REVISION	
APPROVED	Approver
SHEET	COLOR SCHEME #6

REVISION	DATE

SCALE  
As indicated

A209



**Return to Agenda**