

Agenda
HAILEY PLANNING & ZONING COMMISSION
Monday, July 20, 2020
Virtual Meeting
5:30 p.m.

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,,506287589#>

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Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Adoption of Findings of Fact, Conclusions of Law and Decision of a Preliminary Plat Subdivision Application (Phase 2) by Sweetwater Communities, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision, where Phase 2 of Block 2 is subdivided into 14 sublots consisting, two (2) ten-unit condominium and four (4), three-plex townhomes for a total of 32 residential units. This project is located on the corner of Shenandoah Drive and Countryside Boulevard, in Section 15, T.2 N., R.18 E., B.M., City of Hailey, Blaine County, Idaho, within the Limited Business (LB) Zoning District. **ACTION ITEM.**

CA 2 Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application by John and Paula O'Meara represented by Thomas Dabney, TND Architects, PLLC, for a 4,015 square foot single-family residence to be located at 711 South River Street (Lot 2, Block 1, Arbor Heights Subdivision) with the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

Public Hearing

PH 1 Consideration of a Design Review Application by Pioneer, LLC, represented by Andrew Bick, for Pioneer Storage Phase II, for a storage facility consisting of five (5) single-level storage buildings totaling 16,760 square feet and related parking, to be located at 1291 and 1311 Citation Way (Lots 1A and 1B, Airport West Subdivision #2) in the SCI-SO Zone District. **ACTION ITEM.**

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

SR 2 Discussion of the next Planning and Zoning meeting: August 3, 2020.

- DIF: Forest Service Warehouse Building
- Nelson Variance
- Conditional Use Permit Application: The Sage School
- Hillside Overlay Site Alteration Permit Application: Carpenter

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 29, 2020, the Planning and Zoning Commission approved a Plat Application by Sweetwater Communities, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision (located along Shenandoah Drive, in Section 15, T.2 N., R.18 E., B.M., City of Hailey, Blaine County, Idaho), where Phase 2 of Block 2 is subdivided into 14 sublots consisting of twenty (20) condominium units and twelve (12) townhouse units for a total of thirty-two (32) residential units. This project is located with the Limited Business (LB) Zoning District. This property is subject to a P.U.D. Development Agreement dated January 10, 2005 and Amendments to the Development Agreement dated December 12, 2009, December 20, 2010 and November 6, 2012. Design Review was approved for this project on December 16, 2019.

The Planning and Zoning Commission enters these Findings of Fact, Conclusions of Law and Decision.

Notice: Notice for the public hearing was published in the Idaho Mountain Express on May 27, 2020, and mailed to property owners on May 27, 2020. The project was continued on record at the June 15, 2020 public hearing to June 29, 2020.

Background: Consideration of a Preliminary Plat Application by Sweetwater Communities, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision, where Phase 2 of Block 2 is subdivided into 14 sublots consisting of twenty (20) condominium units and twelve (12) townhouse units for a total of thirty-two (32) residential units. This project is located along Shenandoah Drive, in Section 15, T.2 N., R.18 E., B.M., City of Hailey, Blaine County, Idaho, within the Limited Business (LB) Zoning District. All driveways are oriented toward internal alleys (Golden Way, Hopper Way, Hayloft Way and Herder's Way). Each townhouse unit has a two-car garage. Each condo unit has a single-car garage. In addition, there are twenty-two (22) off-street parking spaces inside the development, as well as seven (7) parallel parking spaces along Shenandoah Dr.

A 69,696 square foot park is existing and meets the park requirements of the Hailey Municipal Code. The project is located in the Limited Business (LB) Zone District.

Procedural History: The Application was submitted on April 27, 2020 and certified complete on June 10, 2020. A public hearing before the Planning and Zoning Commission was planned for June 15, 2020, in the meeting room of Hailey City Hall. The project was continued on record at the June 15, 2020 public hearing to June 29, 2020.

This property is subject to a P.U.D. Development Agreement dated January 10, 2005 and Amendments to the Development Agreement dated December 12, 2009, December 20, 2010 and November 6, 2012. Design Review for the project (Phase I through IV) was approved December 16, 2019.

Standards of Evaluation for a Subdivision				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments at this time.</i>
				Life/Safety: <i>No comments at this time.</i>

				Water and Sewer: <i>The Water and Wastewater Divisions identified missing manholes in their review, and the Applicant Team added these to a revised plat, which is attached.</i>
				Building: <i>No comments at this time.</i>
				Streets: <i>Various details such as the need for a marked pedestrian crossing at Shenandoah and Maple were made Conditions of Approval of Sweetwater Block 2 Phase 1.</i>
				Landscaping/Parks: <i>No comments at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.010 Development Standards	Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan.
			Staff Comments	<i>Please refer to the specific standards as noted herein.</i> <i>The Commission has found this standard to be met.</i>
16.04.020: Streets:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			16.04.020	Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern.
			Staff Comments	<i>The subject parcel is located along Shenandoah Drive and north of Countryside Boulevard, both existing streets. Three (3) private alleys, Golden Way, Hopper Way and Hayloft Way, are proposed to service the townhouses and condominium units. The existing private alley, Herder's Way, will also service these units.</i> <i>All driveways are oriented toward these private alleys or the existing alley, Herder's Way. Each townhouse unit has a two-car garage. Each condo unit has a single-car garage. In addition, there are twenty-two (22) off-street parking spaces inside the development, as well as seven (7) parallel parking spaces along Shenandoah Dr.</i> <i>Street alignments for Shenandoah Drive, Golden Way, Hayloft Way, Hopper Way and Herder's Way are adequate to safely accommodate existing and anticipated vehicular traffic.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Cul-De-Sacs; Dead-End Streets: Cul-de-sacs or dead-end streets shall be allowed only if connectivity is not possible due to surrounding topography or existing platted development. Where allowed, such cul-de-sacs or dead-end streets shall comply with all regulations set forth in the IFC and other applicable codes and ordinances. Street rights-of-way extended into un-platted areas shall not be considered dead end streets.

			<i>Staff Comments</i>	<i>N/A There are no cul-de-sacs or dead-end streets.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	Access: More than one access may be required based on the potential for impairment of a single access by vehicle congestion, terrain, climatic conditions or other factors that could limit access.
			<i>Staff Comments</i>	<i>Access to the site can be achieved from Shenandoah Drive. Vehicle congestion, terrain and other factors that could limit access are not anticipated.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	Design: Streets shall be laid out so as to intersect as nearly as possible at right angles and no street shall intersect any other street at less than eighty (80) degrees. Where possible, four-way intersections shall be used. A recommended distance of 500 feet, with a maximum of 750 feet, measured from the center line, shall separate any intersection. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer. Three-way intersections shall only be permitted where most appropriate or where no other configuration is possible. A minimum distance of 150 feet, measured from the center line, shall separate any 2 three-way intersections.
			<i>Staff Comments</i>	<i>The subject parcel is located along Shenandoah Drive and north of Countryside Boulevard, both existing streets. Three (3) private alleys, Golden Way, Hopper Way and Hayloft Way, are proposed to service the townhouses and condominium units. Hopper Way extends into future phases of the proposed development.</i> <i>The alleys intersect at 90-degree angles.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	Centerlines: Street centerlines which deflect more than five (5) degrees shall be connected by a curve. The radius of the curve for the center line shall not be more than 500 feet for an arterial street, 166 feet for a collector street and 89 feet for a residential street. Alternatively, traffic calming measures including but not limited to speed humps, speed tables, raised intersections, traffic circles or roundabouts, meanderings, chicanes, chokers, and/or neck-downs shall be a part of the street design. Alternate traffic calming measures may be approved with a recommendation by the City Engineer.
			<i>Staff Comments</i>	<i>N/A, as Shenandoah Drive and Countryside Boulevard are existing. Golden Way, Hopper Way and Hayloft Way, are proposed to be 26'-wide and private alleys. No traffic calming measures are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F.	Width: Street width is to be measured from property line to property line. The minimum street width, unless specifically approved otherwise by the Council, shall be as specified in City Standards for the type of street.
			<i>Staff Comments</i>	<i>The private alleys, Golden Way, Hopper Way and Hayloft Way, meet the minimum City Standard of 24' in width. The private alleys are proposed to be 26'-wide.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G.	Roadways: Roadway, for the purpose of this section, shall be defined as the area of asphalt from curb face to curb face or edge to edge. Roadway includes areas for

				<p>vehicle travel and may include parallel or angle in parking areas. The width of roadways shall be in accordance with the adopted City Standards for road construction.</p> <p><i>Staff Comments</i></p> <p>Golden Way, Hopper Way and Hayloft are proposed as private alleys. Shenandoah Drive and Countryside Boulevard are existing. Roadway travel surfaces and widths meet City Standards.</p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H.	<p>Road Grades: Road Grades shall be at least two percent (2%) and shall not generally exceed six percent (6%). Grade may exceed 6%, where necessary, by 1% (total 7%) for no more than 300 feet or 2% (total 8%) for no more than 150 feet. No excess grade shall be located within 200 feet of any other excess grade nor there any horizontal deflection in the roadway greater than 30 degrees within 300 feet of where the excess grade decreases to a 2% slope.</p> <p><i>Staff Comments</i></p> <p>The site is generally flat. Road grades appear to be at least two (2%) percent or greater, but not more than six (6%) percent.</p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I.	<p>Runoff: The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm water Discharge from Construction Activity" for all construction activity affecting more than one acre.</p> <p><i>Staff Comments</i></p> <p>The City Engineer will review all proposed storm sewers, drywells and other drainage facilities. Permits shall be obtained for installation of all drywells. This has been made a Condition of Approval.</p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	J.	<p>Signage: The developer shall provide and install all street and traffic control signs in accordance with City Standards.</p> <p><i>Staff Comments</i></p> <p>Street lights will be required and are shown to be installed and/or relocated at the corners of Golden Way and Shenandoah Drive and Hayloft Way and Shenandoah Drive. Any new signage shall be installed per City Standards, which a final review and approval of will be conducted prior to issuance of a Building Permit.</p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	K.	<p>Dedication; Names: All streets and alleys within any subdivision shall be dedicated for public use, except as provided herein. New street names (public and private) shall not be the same or similar to any other street names used in Blaine County.</p> <p><i>Staff Comments</i></p> <p>The streets within the proposed project are existing platted streets, including: Shenandoah Drive and Countryside Boulevard. The proposed internal alleys, Golden Way, Hayloft Way and Hopper Way as well as existing Herder's Way, are private alleys, which will be privately maintained.</p> <p><i>The proposed alley names will be confirmed with the Blaine County Assessor as being new alley names, not similar to other streets within Blaine County.</i></p>

				<i>The Commission has found this standard to be met.</i>
			L.	Private Streets:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. 1.	Private streets may be allowed (a) to serve a maximum of five (5) residential dwelling units, (b) within Planned Unit Developments, or (c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, and Service Commercial Industrial districts. Private streets are allowed at the sole discretion of the Council, except that no Arterial or Major Street, or Collector or Secondary Street may be private. Private streets shall have a minimum total width of 36 feet, shall be constructed to all other applicable City Standards including paving, and shall be maintained by an owner's association.
			Staff Comments	<i>N/A, as Golden Way, Hayloft Way and Hopper Way are private alleys and will be maintained by the homeowner's association. The private alleys meet the minimum total width of 26'-wide and shall be constructed to meet City Standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. 2.	Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
			Staff Comments	<i>The proposed alleys, Golden Way and Hayloft Way, connect to Shenandoah Drive, Hopper Way connects to Shenandoah Drive via Golden Way, Hayloft Way and Herder's Way. Shenandoah Drive is a public street.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. 3.	The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C below. The plat shall clearly indicate that the parcel is unbuildable except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
			Staff Comments	<i>The private alleys, Golden Way, Hayloft Way and Hopper Way, have been platted as private drives; however, no indication has been made on the plat that said parcel is an unbuildable parcel.</i> <i>Previous platting processes of the Sweetwater Subdivision imply that all private, internal alleys of the development are to be unbuildable, without requiring a plat note designating it as such. Staff recommends that the proposed private alleys be dedicated as unbuildable parcels on the plat or continue as previously done.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. 4.	Private street names shall not end with the word "Road", "Boulevard", "Avenue", "Drive" or "Street". Private streets serving five (5) or fewer dwelling units shall not be named.
			Staff Comments	<i>This standard has been met. The private alleys proposed are Golden Way, Hayloft Way and Hopper Way. These private streets serve more than five (5) dwelling units so are named.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. 5.	Private streets shall have adequate and unencumbered 10-foot wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty-five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on-site snow storage areas.

			Staff Comments	<p><i>Private alleys, Golden Way, Hayloft Way and Hopper Way, are proposed. The overall site plan (Phase I-IV) proposes 90,247 square feet of parking, hardscape and pedestrian circulation. 25% of 90,247 square feet is 22,562 square feet. 26,059 square feet for snow storage has been provided.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. 6.	<p>Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located (a) within the residential lot (e.g., between the garage and the roadway), (b) as parallel spaces within the street parcel or easement adjacent to the travel lanes, (c) in a designated guest parking area, or (d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to chapter 17.09 of this code. The dimension of guest/overflow parking spaces shall be no less than ten feet by twenty feet (10'x20') if angle parking, or ten feet by twenty-four feet (10'x24') if parallel. Guest overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or another all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.</p>
			Staff Comments	<p><i>Per the Hailey Municipal Code, Multi-Family Dwellings are required to provide at least 1.5 onsite parking spaces. Overall, the project contains, twelve (12), three-story townhomes (39 units in total), seven (7), ten-plex, three-story condominiums (70 units in total), one (1) three-plex live/work building and one (1) four-plex live/work building are proposed; therefore, 174 onsite parking spaces are required. The site plan shows a total of 254 onsite parking spaces: a two (2) car garage per townhouse unit, a one (1) car garage per condo unit, which totals 164 parking spaces. 64 off-street parking spaces and 28 on-street parking spaces are also proposed.</i></p> <p><i>For Phase 2 of the project, twenty (20) condominium units and twelve (12) townhouse units for a total of thirty-two (32) residential units are proposed; therefore, twelve (12) townhouses and twenty (20) condominiums (32 units in total); therefore, forty-eight (48) onsite parking spaces are required. The site plan shows a total of seventy-three (73) onsite parking spaces: a two (2) car garage per townhouse unit, a one (1) car garage per condo unit, which totals forty-four (44) parking spaces. Twenty-two (22) off-street parking spaces and seven (7) on-street parking spaces are also proposed.</i></p> <p><i>That said and as agreed upon in the original PUD Agreement dated August 14, 2006, below grade parking and/or parking stalls at basement levels are required. Over 70% of all parking stalls are located within the structure (two-car garage) and all driveways are oriented toward internal alleys, so as not to negatively affect the quality of the pedestrian environment.</i></p> <p><i>Due to the nature of all proposed onsite parking being below grade parking and/or parking stalls at basement level, which was determined in and comply with the original PUD Agreement, the excess parking complies with the standards set forth herein, as well as with the provisions outlined in the original PUD Agreement dated August 14, 2006.</i></p> <p><i>The Commission has found this standard to be met.</i></p>

			M.	Driveways:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 1.	Driveways may provide access to not more than two (2) residential dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. Driveways shall not be named.
			<i>Staff Comments</i>	<i>The proposed townhouses and condominium units can be accessed via Golden Way, Hayloft Way, Hopper Way and Herder's Way, the proposed and existing private alleys. All driveways are oriented toward these private alleys and onsite parking is located within the proposed structures as well as off-street and on-street parking spaces.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 2.	Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths: a) Accessing one residential unit: twelve feet (12') b) Accessing two residential units: sixteen feet (16') No portion of the required fire lane width of any driveway may be utilized for parking, above ground utility structures, dumpsters or other service areas, snow storage or any other obstructions.
			<i>Staff Comments</i>	<i>Driveways will be constructed of an all-weather surface. Each driveway constructing in Phase 2 will access one (1) residential unit, with the exception of the ten-plex condominium building. This driveway will access ten (10) residential units and is approximately 110' in length. The remaining driveways, accessing one (1) residential unit, are proposed to have a driveway width of approximately 16'.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M. 3.	Driveways longer than 150 feet must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.
			<i>Staff Comments</i>	<i>N/A, as no driveways exceed 150'.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 4.	Driveways accessing more than one residential dwelling unit shall be maintained by an owner's association, or in accordance with a plat note.
			<i>Staff Comments</i>	<i>All driveways and the proposed private alleys, Golden Way, Hayloft Way and Hopper Way, will be maintained by the homeowner's association.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 5.	The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.
			<i>Staff Comments</i>	<i>This standard has been met.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. 6.	No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.

			Staff Comments	<p>All driveways are oriented toward Golden Way, Hayloft Way and Hopper Way and Herder's Way, the private alleys. Said driveways do not appear to impact existing infrastructure and appear to be compatible with existing and planned residential units.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	N.	<p>Parking Access Lane: A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</p>
			Staff Comments	<p>The internal alleys, Golden Way, Hayloft Way and Hopper Way, will be reviewed by the Fire Chief as to its functioning as an access lane. It has been found acceptable and complies with the IFC Requirements, as well as other applicable codes and ordinances.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	O.	<p>Fire Lanes: Required fire lanes, whether in private streets, driveways or parking access lanes, shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.</p>
			Staff Comments	<p>Please refer to Section 16.04.020(N), comments noted above, for further information.</p> <p>The Commission has found this standard to be met.</p>

16.04.030: Sidewalks and Drainage Improvements

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.</p>
			Staff Comments	<p>A new 5'-wide sidewalk is shown along the perimeter of the proposed project. This perimeter sidewalk will connect to interior sidewalks, providing safe access and sufficient circulation around and through the site. To safely access each unit, 4'-wide sidewalks are also shown. The proposed sidewalks shall be constructed according to applicable City Standards.</p> <p>Drainage appears to be adequate for the site but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to issuance of a Building Permit.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</p>
			Staff Comments	<p>Please refer to Section 16.04.030(A), comments noted above, for further information.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.</p>
			Staff Comments	<p>A new five (5') foot-wide sidewalk is proposed along the perimeter of the proposed project. This sidewalk will run parallel to Shenandoah Drive,</p>

				<p>approximately 600' in length, before curving to the east and crossing Shenandoah Drive (continental crosswalk, which utilizes thermoplastic materials). This sidewalk will connect to existing pathways found near and around the park space and amenity building.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D.	<p>Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.</p> <p><i>Staff Comments</i></p> <p>Please refer to Section 16.04.030 for further information. This standard will be met.</p> <p>The Commission has found this standard to be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E.	<p>The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.</p> <p><i>Staff Comments</i></p> <p>N/A</p>
16.04.040: Alleys and Easements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Alleys:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	<p>Alleys shall be provided in all Business District and Limited Business District developments where feasible.</p> <p><i>Staff Comments</i></p> <p>The private alleys, Golden Way, Hayloft Way and Hopper Way, are proposed and shall serve the proposed townhouses, condominium units and live/work units. Said drives are proposed to function as access, as well as a public utility easement for the site.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<p>The minimum width of an alley shall be twenty-six (26') feet.</p> <p><i>Staff Comments</i></p> <p>Golden Way, Hayloft Way and Hopper Way are proposed to be twenty-six (26') feet wide.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 3.	<p>All alleys shall be dedicated to the public or provide for public access.</p> <p><i>Staff Comments</i></p> <p>The private drives, Golden Way, Hayloft Way and Hopper Way, are proposed and shall serve the proposed townhouses and condominium units. Said drives are proposed to function as access, as well as a public utility easement for the site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 4.	<p>All infrastructures to be installed underground shall, where possible, be installed in the alleys platted.</p> <p><i>Staff Comments</i></p> <p>The private drives, Golden Way, Hayloft Way and Hopper Way, are proposed and shall serve the proposed townhouses and condominium units. Said drives are proposed to function as access, as well as a public utility easement for the site.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 5.	<p>Alleys in commercial areas shall be improved with drainage as appropriate and which the design meets the approval of the City Engineer. The Developer shall provide storm sewers and/or drainage areas of adequate size and number to contain any runoff within the streets in the subdivision upon the property in conformance with</p>

				<p>the latest applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by City Staff and shall meet the approval of the City Engineer.</p>
			Staff Comments	<p>The private drives, Golden Way, Hayloft Way and Hopper Way, are proposed and shall serve the proposed townhouses and condominium units. Said drives are proposed to function as access, as well as a public utility easement for the site.</p> <p>Drainage appears to be adequate for the site but will be reviewed by City Staff and shall meet the approval of the City Engineer.</p> <p>The Commission has found this standard to be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 6.	Dead-end alleys shall not be allowed.
			Staff Comments	N/A, as no dead-end alleys are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 7.	Where alleys are not provided, easements of not less than ten (10) feet in width may be required on each side of all rear and/or side lot lines (total width = 20 feet) where necessary for wires, conduits, storm or sanitary sewers, gas and water lines. Easements of greater width may be required along lines, across lots, or along boundaries, where necessary for surface drainage or for the extension of utilities.
			Staff Comments	<p>Easements are currently shown for utilities in the twenty-six (26') foot wide private alleys, Golden Way, Hayloft Way and Hopper Way.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes:
			Staff Comments	<p>Easements are currently shown for utilities in the twenty-six (26') foot wide private alleys, Golden Way, Hayloft Way and Hopper Way.</p> <p>The Commission has found this standard to be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	To provide access through or to any property for the purpose of providing utilities, emergency services, public access, private access, recreation, deliveries or such other purpose. Any subdivision that borders on the Big Wood River shall dedicate a 20-foot wide fisherman's access easement, measured from the Mean High-Water Mark, which shall provide for non-motorized public access. Additionally, in appropriate areas, an easement providing non-motorized public access through the subdivision to the river shall be required as a sportsman's access.
			Staff Comments	N/A, as this site does not border the Big Wood River.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	To provide protection from or buffering for any natural resource, riparian area, hazardous area, or other limitation or amenity on, under, or over the land. Any subdivision that borders on the Big Wood River shall dedicate a one hundred (100) foot wide riparian setback easement, measured from the Mean High-Water Mark, upon which no permanent structure shall be built, in order to protect the natural vegetation and wildlife along the river bank and to protect structures from damage or loss due to river bank erosion. A twenty-five (25) foot wide riparian setback easement shall be dedicated adjacent to tributaries of the Big Wood River. Removal and maintenance of live or dead vegetation within the riparian setback easement is controlled by the applicable bulk requirement of the Flood Hazard Overlay District.

				The riparian setback easement shall be fenced off during any construction on the property.
			<i>Staff Comments</i>	<i>N/A, as no natural resource, riparian area, hazardous area or other limitation requires an easement, as specified above, for the proposed subdivision.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	To provide for the storage of snow, drainage areas or the conduct of irrigation waters. Snow storage areas shall be not less than twenty-five percent (25%) of parking, sidewalk and other circulation areas. No dimension of any snow storage area may be less than 10 feet. All snow storage areas shall be accessible and shall not be located over any above ground utilities, such as transformers.
			<i>Staff Comments</i>	<i>Private alleys, Golden Way, Hayloft Way and Hopper Way, are proposed. The overall site plan (Phase I-IV) proposes 90,247 square feet of parking, hardscape and pedestrian circulation. 25% of 90,247 square feet is 22,562 square feet. 26,059 square feet for snow storage has been provided.</i>
				<i>The Commission has found this standard to be met.</i>
16.04.050: Blocks				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.050	Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography.
			<i>Staff Comments</i>	<i>N/A, as no blocks are proposed.</i>
16.04.060: Lots				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.060	Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter.
			<i>Staff Comments</i>	<i>All proposed lots are sublots, ranging in size from 1,562 square feet to 21,320 square feet (ten-plex condominium building). There is a total of fourteen (14) sublots proposed in Phase 2 of the development, which is approximately 1.59 acres in size. Phase 2 thereby allows for the construction of approximately 14 sublots.</i>
				<i>The original P.U.D. Development Agreement addresses the above standard, which was granted August 14, 2006:</i> <ul style="list-style-type: none"> - <i>Maximum Density:</i> <ul style="list-style-type: none"> o <i>Townhouse subplot density shall increase from 12 sublots per acre to 24 sublots per acre.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A.	If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and

				provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	Double frontage lots shall be prohibited except where unusual topography, a more integrated street plan, or other conditions make it undesirable to meet this requirement. Double frontage lots are those created by either public or private streets, but not by driveways or alleys. Subdivisions providing a platted parcel of 25 feet or more between any street right-of-way and any single row of lots shall not be considered to have platted double frontage lots. The 25-foot wide parcel provided must be landscaped to provide a buffer between the street and the lot(s).
			<i>Staff Comments</i>	N/A, as no double frontage lots are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	No unbuildable lots shall be platted. Platted areas that are not buildable shall be noted as such and designated as “parcels” on the plat. Green Space shall be clearly designated as such on the plat.
			<i>Staff Comments</i>	N/A, as no unbuildable lots are platted.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	A single flag lot may be permitted at the sole discretion of the Hearing Examiner or Commission and Council, in which the “flagpole” projection is serving as a driveway as provided herein, providing connection to and frontage on a public or a private street. Once established, a flag lot may not be further subdivided, but a lot line adjustment of a flag lot is not considered a further subdivision. The “flagpole” portion of the lot shall be included in lot area but shall not be considered in determining minimum lot width. The “flagpole” shall be of adequate width to accommodate a driveway as required by this ordinance, fire and other applicable codes. Flag lots within the Townsite Overlay District are not allowed, except where parcels do not have street access, such as parcels adjacent to the ITD right-of-way.
			<i>Staff Comments</i>	N/A, as no flag lots are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	All lots shall have frontage on a public or private street. No frontage width shall be less than the required width of a driveway as provided under Sections 4.1.11.1 and 4.5.4 of this Ordinance. Townhouse Sub-Lots are excluded from this requirement; provided, however, that Townhouse Developments shall have frontage on a street.
			<i>Staff Comments</i>	All fourteen (14) of the sublots will have frontage on proposed courtyard/common space. The frontage width appears to be equal to the width of a driveway. The Commission has found this standard to be met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F.	In the Townsite Overlay District, original Townsite lots shall be subdivided such that the new platted lots are oriented the same as the original lots, i.e. lots shall be subdivided in such a way as to maintain frontage on both the street and alley. Exceptions may be made for corner properties with historic structures.
			<i>Staff Comments</i>	N/A, as this project is not located within the Townsite Overlay (TO) Zone District.

16.04.070: Orderly Development

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.
			<i>Staff Comments</i>	A Phasing Plan and Agreement were developed during the P.U.D. process. Per the Second Amendment to the P.U.D. Agreement, dated December 27, 2010:

				<p>- All roads, alleys and infrastructure necessary to serve a given building within the project, shall be installed prior to completion of the building, without regard to phasing or time restrictions associated with any prior Phasing Plan.</p> <p>No other revisions, specific to this project, were made in the subsequent amendments to the original P.U.D. Agreement.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Agreement: Developers requesting phased subdivisions shall enter into a phasing agreement with the City. Any phasing agreement shall be approved and executed by the Council and the Developer on or before the preliminary plat approval by the Council.</p>
			Staff Comments	<p>A Phasing Plan and Agreement were developed during the P.U.D. process. Per the Second Amendment to the P.U.D. Agreement, dated December 27, 2010:</p> <p>- All roads, alleys and infrastructure necessary to serve a given building within the project, shall be installed prior to completion of the building, without regard to phasing or time restrictions associated with any prior Phasing Plan.</p> <p>No other revisions, specific to this project, were made in the subsequent amendments to the original P.U.D. Agreement.</p> <p>The Commission has found this standard to be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>Mitigation of Negative Effects: No subdivision shall be approved which affects the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional public costs upon current residents, unless the Developer provides for the mitigation of the effects of subdivision. Such mitigation may include, but is not limited to the following:</p> <ol style="list-style-type: none"> Provision of on-site or off-site street or intersection improvements. Provision of other off-site improvements. Dedications and/or public improvements on property frontages. Dedication or provision of parks or green space. Provision of public service facilities. Construction of flood control canals or devices. Provisions for ongoing maintenance.
			Staff Comments	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D.	<p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ol style="list-style-type: none"> Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. Water main lines and sewer main lines shall be designed in the most effective layout feasible. Other utilities including power, telephone, cable, and gas shall be designed

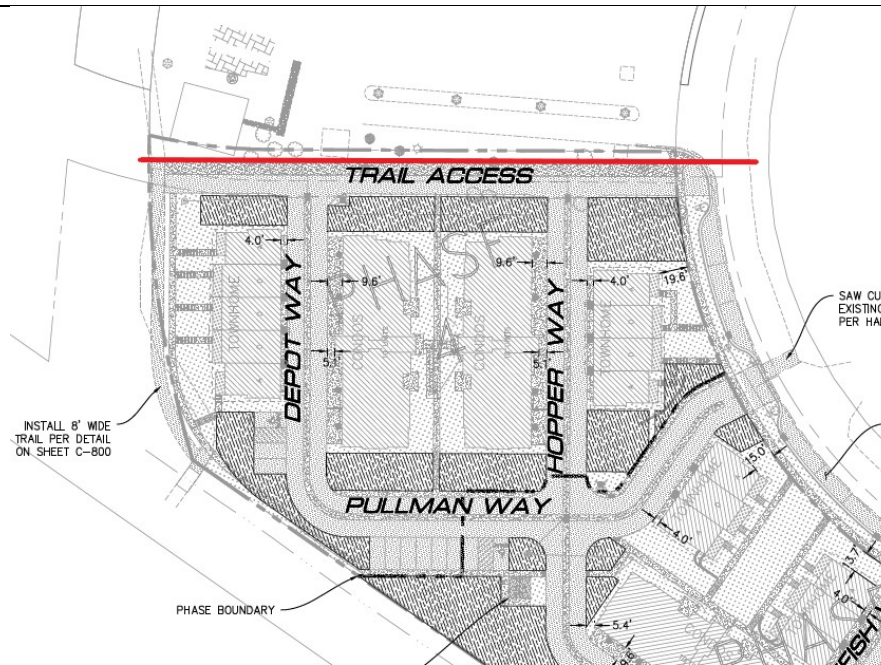
				<p>in the most effective layout feasible.</p> <p>5. Park land shall be most appropriately located on the Contiguous Parcels.</p> <p>6. Grading and drainage shall be appropriate to the Contiguous Parcels.</p> <p>7. Development shall avoid easements and hazardous or sensitive natural resource areas.</p> <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p>
			<i>Staff Comments</i>	N/A
16.04.080: Perimeter Walls, Gates and Berms				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080	<p>The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.</p>
			<i>Staff Comments</i>	N/A, as no perimeter walls, gates, retaining walls or landscape berms are proposed.
16.04.090: Cuts, Fills, Grading and Drainage				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.</p>
			<i>Staff Comments</i>	<p>The site is relatively flat and free of vegetation. A Flood Hazard Development Permit has been submitted.</p> <p>The Commission has found this standard to be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1.	<p>A preliminary soil report prepared by a qualified engineer may be required by the Hearing Examiner or Commission and/or Council as part of the preliminary plat application.</p>
			<i>Staff Comments</i>	N/A, as the City Engineer has not required a Soils Report from the Applicant. A Soils Report, prepared by Butler and Associates, was submitted in 2006, and is available for review, if so desired.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<p>A preliminary grading plan prepared by a civil engineer may be required by the Hearing Examiner or Commission and/or the Council as part of the preliminary plat application, to contain the following information:</p> <ul style="list-style-type: none"> a) Proposed contours at a maximum of two (2) foot contour intervals; b) Cut and fill banks in pad elevations; c) Drainage patterns; d) Areas where trees and/or natural vegetation will be preserved; e) Location of all street and utility improvements including driveways to building envelopes; and f) Any other information which may reasonably be required by the Administrator, Hearing Examiner, Commission and/or Council.
			<i>Staff Comments</i>	Very little grading will be necessary as the site is relatively flat. That said, a Grading Plan will be submitted and will be reviewed and approved by the City Engineer prior to issuance of a Building Permit.

				<i>The Commission has found this standard to be met.</i>
			B.	Design Standards: The proposed subdivision shall conform to the following design standards:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 1.	Grading shall be designed to blend with natural land forms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.
			Staff Comments	<i>Very little grading will be necessary as the site is relatively flat. That said, a Grading Plan will be submitted and will be reviewed and approved by the City Engineer prior to issuance of a Building Permit.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for Green Space for the benefit of future property owners within the subdivision.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the Developer for Revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction, including temporary irrigation for a sufficient period to establish perennial vegetation. Until such time as the vegetation has been installed and established, the Developer shall maintain and protect all disturbed surfaces from erosion.
			Staff Comments	<i>Erosion control and re-vegetation shall be included in final design.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 4.	Where cuts, fills or other excavation are necessary, the following development standards shall apply: <ul style="list-style-type: none"> a) Fill areas for structures or roads shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b) Fill for structures or roads shall be compacted to at least 95 percent of maximum density as determined by American Association State Highway Transportation Officials (AASHTO) and American Society of Testing & Materials (ASTM). c) Cut slopes shall be no steeper than two horizontals to one vertical. Subsurface drainage shall be provided as necessary for stability. d) Fill slopes shall be no steeper than three horizontals to one vertical. Neither cut nor fill slopes shall be located on natural slopes of three to one or steeper, or where fill slope toes out within twelve (12) feet horizontally of the top of existing or planned cut slope. e) Tops and toes of cut and fill slopes shall be set back from structures and property lines as necessary to accommodate drainage features and drainage structures.
			Staff Comments	<i>Proposed grading and drainage appear to be adequate for the site, but shall meet the approval of the City Engineer.</i> <i>A Flood Hazard Development Permit Application has been submitted and approved by the City's Floodplain Manager. This permit and supporting documentation were submitted with previous phases.</i> <i>The Commission has found this standard to be met.</i>

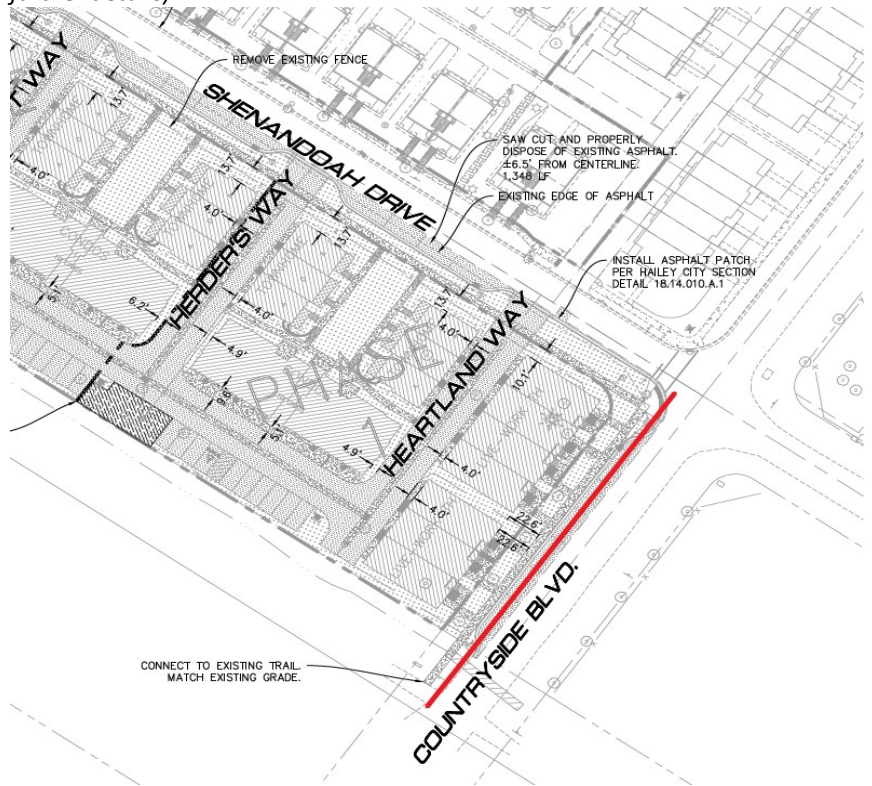
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 5.	<p>The developer shall provide storm sewers and/or drainage areas of adequate size and number to contain the runoff upon the property in conformance with the applicable Federal, State and local regulations. The developer shall provide copies of state permits for shallow injection wells (drywells). Drainage plans shall be reviewed by planning staff and shall meet the approval of the City engineer. Developer shall provide a copy of EPA's "NPDES General Permit for Storm-water Discharge from Construction Activity" for all construction activity affecting more than one acre.</p> <p><i>Staff Comments</i></p> <p>A Drainage Plan has been submitted and storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Drainage Plan. The Drainage Plan will be reviewed and approved by the City Engineer prior to issuance of a Building Permit.</p> <p>Permits shall be obtained for installation of all drywells. This has been made a Condition of Approval.</p> <p>The Commission has found this standard to be met.</p>
16.04.100: Overlay Districts				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
			A.	Flood Hazard Overlay District:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 1.	<p>Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.</p> <p><i>Staff Comments</i></p> <p>A standard plat note has been added notifying future buyers that portions of the property are within the Flood Hazard Overlay District.</p> <p>Pursuant to Section 16.04.100 of the Hailey Municipal Code, a Flood Hazard Development Permit Application shall accompany the Preliminary Plat Application for Commissioner review. The Flood Hazard Development Permit Application has been submitted and approved by the City's Floodplain Manager. This permit and supporting documentation have been attached to this report.</p> <p>The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<p>Subdivisions located partially in the Flood Hazard Overlay District shall have designated building envelopes outside the Flood Hazard Overlay District to the extent possible.</p> <p><i>Staff Comments</i></p> <p>To the extent possible, most of the proposed building envelopes are located outside of the Floodplain and Flood Hazard Overlay District.</p> <p>A Flood Hazard Development Permit Application has been submitted and has been approved by the City's Floodplain Manager.</p> <p>The Commission has found this standard to be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 3.	<p>Any platted lots adjacent to the Big Wood River or its tributaries shall have designated building envelopes.</p> <p><i>Staff Comments</i></p> <p>N/A, as the proposed subdivision is not located adjacent to the Big Wood River or its tributaries.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	Hillside Overlay District:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 1.	Subdivisions or portions of subdivisions located within the Hillside Overlay District shall comply with all provisions of Section 4.14, of the Zoning Ordinance.
			Staff Comments	N/A, as the proposed subdivision is not located within the Hillside Overlay District.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. 2.	Subdivisions located partially in the Hillside Overlay District shall have designated building envelopes outside the Hillside Overlay District.
			Staff Comments	N/A, as the proposed subdivision is not located within the Hillside Overlay District.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. 3.	All approved subdivisions shall contain a condition that a Site Alteration Permit is required before any development occurs.
			Staff Comments	The Developer shall obtain a Site Alteration Permit prior to any development occurring. This has been made a Condition of Approval. The Commission has found this standard to be met.
16.04.110: Parks, Pathways and Other Green Spaces				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.
			Staff Comments	A 1.6-acre (69,696 square feet) park/open space is existing. Said space is open to the public and is maintained by the Sweetwater Homeowner's Association. The Commission has found this standard to be met.
			A. 1.	Parks:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. 1. a.	The developer of any subdivision, or any part thereof, consisting of three (3) or more residential lots, including residential townhouse sub-lots and residential condominium units, without regard to the number of phases within the subdivision, shall set aside or acquire land area within, adjacent to or in the general vicinity of the subdivision for Parks. Parks shall be developed within the City of Hailey and set aside in accordance with the following formula: P = x multiplied by .0277 "P" is the Parks contribution in acres "x" is the number of single-family lots, residential townhouse sub-lots or residential condominium units contained within the plat. Where multi-family lots are being platted with no fixed number of units, "x" is maximum number of residential lots, sub-lots, and units possible within the subdivision based on current zoning regulations.
			Staff Comments	N/A, as Park/Open Space is existing and was developed accordingly: The prior rezone of the subject property, effective May 5, 2005, was pursuant to a Development Agreement that identified the park contribution the owner, or any subsequent owners, would be required to make upon development of the parcel. The required contribution was [a] creation of park space four-tenths (.4) of an acre in size, to be provided for the residents residing in the development, which "shall be developed as undedicated park space in conformity with Section 4.10 or 16.04.110 of the Hailey Subdivision Ordinance

				<p><i>pertaining to park standards”, and [b] a payment to the City of \$390,000 as an in-lieu parks contribution for 1.2 acres.</i></p> <p><i>A 1.6-acre Park/Open Space was constructed to benefit the residents of the development. Per the Development Agreement dated April 25, 2005, any foregoing payments and designated improvements shall be deemed final and conclusive as to the park land improvements for the development of the property. No additional park land improvements will be required by the City, other than as set forth in the Development Agreement, or agreed to, in writing.</i></p> <p><i>No revisions to this provision were made in subsequent amendments.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.1.b	<p>In the event the subdivision is located in the Business (B), Limited Business (LB), Neighborhood Business (NB), or Transitional (TN) zoning districts, the area required for a Park shall be reduced by 75%, but in no event shall the area required for a Park/Cultural Space exceed 17.5% of the area of the lot(s) being developed.</p>
			Staff Comments	<p><i>The subdivision is located in the Limited Business (LB) Zoning District. Please see Section 16.04.110 for further details.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. 2.	<p>Pathways: The developer of any subdivision, or any part thereof, shall provide pathways for all trails and paths identified in the master plan that are located on the property to be subdivided or on City property adjacent to the property to be subdivided, and sidewalks required by this ordinance.</p>
			Staff Comments	<p><i>A new five (5') foot-wide sidewalk is proposed along the perimeter of the proposed project. This sidewalk will run parallel to Shenandoah Drive, approximately 600' in length, before curving to the east and crossing Shenandoah Drive (continental crosswalk, which utilizes thermoplastic materials). This sidewalk will connect to existing pathways found near and around the park space and amenity building.</i></p> <p><i>Pedestrian connections are also shown at the northwestern end of the parcel, connecting to the Wood River Trail, and from the Wood River Trail to Shenandoah Drive (see image below for further details).</i></p>



A second connection is also proposed from the public sidewalk on the north side of Countryside Boulevard to the Wood River Trail (see image below for further details).



The Commission has found this standard to be met.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Multiple Ownership: Where a parcel of land is owned or otherwise controlled, in any manner, directly or indirectly:</p> <ul style="list-style-type: none"> a) By the same individual(s) or entity(ies), including but not limited to corporation(s), partnership(s), limited liability company(ies) or trust(s), or b) By different individuals or entities, including but not limited to corporations, partnerships, limited liability companies or trusts where a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies), or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), c) Multiple subdivisions of the parcel that cumulatively result in three (3) or more residential lots, townhouse sub-lots or condominium units, are subject to the provisions of this ordinance, and shall provide the required improvements subject to the required standards at or before the platting or development of the lots, sub-lots or units. d) Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C.	<p>Parks and Lands Board: The parks and lands board shall review and make a recommendation to the hearing examiner or commission and council regarding each application subject to the provisions of Section 4.10 of this ordinance. Such recommendation will be based on compliance with the master plan and provisions of this ordinance.</p>
			<i>Staff Comments</i>	N/A, as this application is part of an earlier P.U.D. Development Agreement. Park/Open Space was addressed at that time and is existing. No additional Park/Open Space is proposed or required at this time.
			D.	Minimum Requirements:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 1.	<p>Private Green Space: Use and maintenance of any privately-owned green space shall be controlled by recorded covenants or restrictions which run with the land in favor of the future owners of the property within the tract and which cannot be modified without the consent of the council.</p>
			<i>Staff Comments</i>	<p>Please refer to Section 16.04.110(A.1.a) for further information.</p> <p>The Commission has found this standard to be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 2.	<p>Neighborhood Park: A neighborhood park shall include finished grading and ground cover, large grassy areas, trees and shrubs, sheltered picnic table(s), trash container(s), dog station(s), bike racks, park bench(es), parking as required by ordinance, and two or more of the following: play structure, restrooms, an athletic field, trails, hard surface multiple use court (tennis or basketball courts), or gardens that demonstrate conservation principles. Neighborhood Parks shall provide an average of 15 trees per acre, of which at least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation. A neighborhood park shall be deeded to the City upon completion, unless otherwise agreed upon by the developer and City.</p>
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 3.	<p>Mini Park: A mini park shall include finished grading and ground cover, trees and shrubs, picnic table(s), trash container(s), dog station(s), bike racks and park bench(es). All mini parks shall provide an average of 15 trees per acre, of which at</p>

				least 15% shall be of 4" caliper or greater. A maximum of 20% of any single tree species may be used. Landscaping and irrigation shall integrate water conservation.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. 4.	Park/Cultural Space: A park/cultural space shall include benches, planters, trees, public art, water features and other elements that would create a gathering place. Connective elements, such as parkways or enhanced sidewalks may also qualify where such elements connect two or more parks or park/cultural spaces.
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. 5.	Pathway: Pathways shall have a minimum twenty-foot (20') right-of-way width and shall be paved or improved as recommended by the Parks and Lands Board. Construction of Pathways shall be undertaken at the same time as other public improvements are installed within the development, unless the Council otherwise allows when deemed beneficial for the project. The Developer shall be entitled to receive a Park dedication credit only if the Developer completes and constructs a Pathway identified in the Master Plan or completes and constructs a Pathway not identified in the Master Plan where the Pathway connects to existing or proposed trails identified in the Master Plan. The City may permit easements to be granted by Developers for Pathways identified in the Master Plan, thereby allowing the Developer to include the land area in the determination of setbacks and building density on the site, but in such cases, a Park dedication credit will not be given. A Developer is entitled to receive a credit against any area required for a Park for every square foot of qualified dedicated Pathway right-of-way.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110(A)2 for further details.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E.	Specific Park Standards: All Parks shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110(A.1.a) for further information.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 2.	Shall provide safe and convenient access, including ADA standards.
			<i>Staff Comments</i>	<i>This standard shall be met.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 3.	Shall not be gated so as to restrict access and shall not be configured in such a manner that will create a perception of intruding on private space. If a Park is privately owned and maintained, the use of the park shall not be exclusive to the homeowners, residents or employees of the development.
			<i>Staff Comments</i>	<i>Please refer to Section 16.04.110(A.1.a) for further information.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 4.	Shall be configured in size, shape, topography and improvements to be functional for the intended users. To be eligible for Park dedication, the land must, at a minimum, be located on slopes less than 25 degrees, and outside of drain ways, floodways and wetland areas. Mini Parks shall not be occupied by non-recreational buildings and

				shall be available for the use of all the residents or employees of the proposed subdivision.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. 5.	Shall not create undue negative impact on adjacent properties and shall be buffered from conflicting land uses.
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. 6.	Shall require low maintenance or provide for maintenance or maintenance endowment.
			<i>Staff Comments</i>	Please refer to Section 16.04.110(A.1.a) for further information. The Commission has found this standard to be met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F.	Specific Pathway Standards: All Pathways shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. 1.	Shall meet the minimum applicable requirements required by Subsection D of this section.
			<i>Staff Comments</i>	Please refer to Section 16.04.110(A.1.a) for further information. The Commission has found this standard to be met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. 2.	Shall be connected in a useful manner to other Parks, Pathways, Green Space and recreation and community assets.
			<i>Staff Comments</i>	Please refer to Section 16.04.110(A.1.a) for further information. The Commission has found this standard to be met.
			G.	Specific Green Space Standards: If green space is required or offered as part of a subdivision, townhouse or condominium development, all green space shall meet the following criteria for development, location and size (unless unusual conditions exist that prohibit meeting one or more of the criteria):
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 1.	Shall meet the minimum applicable requirements required by section 4.10.04 of this section.
			<i>Staff Comments</i>	Please refer to Section 16.04.110 for further detail. The Commission has found this standard to be met.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. 2.	Public and private green spaces on the same property or adjacent properties shall be complementary to one another. Green space within proposed developments shall be designed to be contiguous and interconnecting with any adjacent Green Space (both existing and potential future space).
			<i>Staff Comments</i>	N/A, as public and private green spaces on the same property or adjacent properties are not proposed and/or existing.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 3.	The use of the private green space shall be restricted to Parks, Pathways, trails or other recreational purposes, unless otherwise allowed by the City.
			<i>Staff Comments</i>	The standard has been met as part of the original and subsequent amendments to the P.U.D. Development Agreement dated January 10, 2005. The Commission has found this standard to be met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. 4.	The private ownership and maintenance of green space shall be adequately provided for by written agreement.
			<i>Staff Comments</i>	Maintenance of the Park/Open Space is currently managed and funded by the Sweetwater Homeowner's Association. This standard has been met.

				<i>The Commission has found this standard to be met.</i>
			H.	In-Lieu Contributions:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. 1.	After receiving a recommendation by the Parks and Lands Board, the Council may at their discretion approve and accept voluntary cash contributions in lieu of Park land dedication and Park improvements.
			<i>Staff Comments</i>	<p><i>N/A, as Park/Open Space is existing and was developed accordingly:</i></p> <p><i>The prior rezone of the subject property, effective May 5, 2005, was pursuant to a Development Agreement that identified the park contribution the owner, or any subsequent owners, would be required to make upon development of the parcel. The required contribution was [a] creation of park space four-tenths (.4) of an acre in size, to be provided for the residents residing in the development, which “shall be developed as undedicated park space in conformity with Section 4.10 or 16.04.110 of the Hailey Subdivision Ordinance pertaining to park standards”, and [b] a payment to the City of \$390,000 as an in-lieu parks contribution for 1.2 acres.</i></p> <p><i>A 1.6-acre Park/Open Space was constructed to benefit the residents of the development. Per the Development Agreement dated April 25, 2005, any foregoing payments and designated improvements shall be deemed final and conclusive as to the park land improvements for the development of the property. No additional park land improvements will be required by the City, other than as set forth in the Development Agreement, or agreed to, in writing.</i></p> <p><i>No revisions to this provision were made in subsequent amendments.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 2.	The voluntary cash contributions in lieu of Park land shall be equivalent to the area of land (e.g., square footage) required to be dedicated under this ordinance multiplied by the fair market value of the land (e.g., \$/square foot) in the development at the time of preliminary plat approval by the Council. The City shall identify the location of the property to be appraised, using the standards in Sections 4.10.5.4 and 4.10.5.5 of these ordinances. The appraisal shall be submitted by a mutually agreed upon appraiser and paid for by the applicant.
			<i>Staff Comments</i>	<p><i>Please reference Section 16.04.110 for further detail.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 3.	Except as otherwise provided, the voluntary cash contribution in lieu of Park land shall also include the cost for Park improvements, including all costs of acquisition, construction and all related costs. The cost for such improvements shall be based upon the estimated costs provided by a qualified contractor and/or vendor. In the Business (B), Limited Business (LB), Neighborhood Business (NB) and Transitional (TN) zoning districts, in-lieu contributions will not include the cost for Park improvements.
			<i>Staff Comments</i>	<p><i>Please reference Section 16.04.110 for further detail.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. 4.	In-lieu contributions must be segregated by the City and not used for any other purpose other than the acquisition of Park land and/or Park improvements, which may include upgrades and replacement of Park improvements. Such funds should be used, whenever feasible or practicable, on improvements within walking distance of the residents of the subdivision.

			Staff Comments	<p><i>Please reference Section 16.04.110 for further detail.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
16.05: Improvements Required:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.010	<p>Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.</p>
			Staff Comments	<p><i>The Applicant intends to construct all necessary infrastructure, if the project is approved.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Plans Filed, maintained: Six (6) copies of all improvement plans shall be filed with the City Engineer and made available to each department head. Upon final approval two (2) sets of revised plans shall be returned to the Developer at the pre-construction conference with the City Engineer's written approval thereon. One set of final plans shall be on-site at all times for inspection purposes and to note all field changes upon.</p>
			Staff Comments	<p><i>This standard will be met.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Preconstruction Meeting: Prior to the start of any construction, it shall be required that a pre-construction meeting be conducted with the Developer or his authorized representative/engineer, the contractor, the City Engineer and appropriate City departments. An approved set of plans shall be provided to the Developer and contractor at or shortly after this meeting.</p>
			Staff Comments	<p><i>This standard will be met.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>Term of Guarantee of Improvements: The developer shall guarantee all improvements pursuant to this Section for no less than one year from the date of approval of all improvements as complete and satisfactory by the City engineer, except that parks shall be guaranteed and maintained by the developer for a period of two years.</p>
			Staff Comments	<p><i>This standard will be met.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
16.05.020: Streets, Sidewalks, Lighting, Landscaping				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.020	<p>Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The</p>

				<p>developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.</p>
			<i>Staff Comments</i>	<p><i>A variety of issues and/or concerns were noted during the Phase I Design Review Hearing and in the Design Review Findings of Fact, dated December 16, 2019. Together, the Public Works Department and Applicant Team have worked to solidify design details of the project. A final review and approval will be conducted prior to issuance of a Building Permit.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Street Cuts: Street cuts made for the installation of services under any existing improved public street shall be repaired in a manner which shall satisfy the Street Superintendent, shall have been approved by the Hailey City Engineer or his authorized representative, and shall meet City Standards. Repair may include patching, skim coats of asphalt or, if the total area of asphalt removed exceeds 25% of the street area, the complete removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one year. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>Any and all street cuts for the installation of the water and sewer mains shall be per this standard.</i></p> <p><i>Connection details to the existing water system shall be approved by the Wastewater Division prior to construction. Street cuts shall be approved by the Streets Division prior to construction.</i></p> <p><i>All infrastructure will be approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B.	<p>Signage: Street name signs and traffic control signs shall be erected by the Developer in accordance with City Standard, and the street name signs and traffic control signs shall thereafter be maintained by the City.</p>
			<i>Staff Comments</i>	<p><i>A Street Signage and Striping Plan has been submitted. Any new signage shall be installed per City Standards, which a final review and approval of will be conducted prior to issuance of a Building Permit.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C.	<p>Streetlights: Street lights in the Recreational Green Belt, Limited Residential, General Residential, and Transitional zoning districts are not required improvements. Where proposed, street lighting in all zoning districts shall meet all requirements of Chapter VIIIB of the Hailey Zoning Ordinance.</p>
			<i>Staff Comments</i>	<p><i>Two (2) street lights are proposed within Phase 2 of the development (see image below for further details).</i></p>

				<p><i>All street lights will be maintained by the Sweetwater Homeowner's Association and all infrastructure will be approved by the City prior to construction. All construction must conform to City of Hailey Standard Drawings, Specifications and Procedures.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
16.05.030: Sewer Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.030	<p>Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<i>Staff Comments</i>	<p><i>A variety of issues and/or concerns were noted during the Design Review Hearing and in the Design Review Findings of Fact for Phase I, dated December 16, 2019. Together, the Public Works Department and Applicant Team have worked to solidify design details of the project. A final review and approval will be conducted prior to issuance of a Building Permit.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
16.05.040: Water Connections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p>
			<i>Staff Comments</i>	<p><i>A variety of issues and/or concerns were noted during the Design Review Hearing and in the Design Review Findings of Fact for Phase I, dated December 16, 2019. Together, the Public Works Department and Applicant Team have</i></p>

				<p><i>worked to solidify design details of the project. A final review and approval will be conducted prior to issuance of a Building Permit.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>Townsite Overlay: Within the Townsite Overlay District, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			Staff Comments	<p><i>N/A, as this project is not within the Townsite Overlay (TO) District.</i></p>
16.05.050: Drainage				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.050	<p>Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p>
			Staff Comments	<p><i>Drainage appears to be adequate for the site, but will be reviewed by City Staff and shall meet the approval of the City Engineer, prior to issuance of a Building Permit.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
16.05.060: Utilities				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.060	<p>Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</p>
			Staff Comments	<p><i>All utilities are shown to be installed underground. A 26'-wide Public Utility Easement beneath the private alleys, Golden Way, Hayloft Way and Hopper Way, have been dedicated for this purpose.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
16.05.070: Parks, Green Space				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.070	<p>Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.</p>
			Staff Comments	<p><i>See Section 16.04.110 for further detail.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
16.05.080: Installation to Specifications; Inspections				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.080	<p>Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.</p>
			Staff Comments	<p><i>An inspection schedule will be established for any/all components at final design. All infrastructure must meet City of Hailey specifications and will be further evaluated in greater detail at final design. The inspection process of the proposed public improvements shall include materials testing to ensure the compliance with City of Hailey code.</i></p>

				<p>The City will need to select an inspector, to be paid for by the Applicant, for all water, sewer, and roadway infrastructure during construction.</p> <p>The Commission has found this standard to be met.</p>
16.05.090: Completion; Inspections; Acceptance				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A.	<p>Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance.</p> <p><i>Staff Comments</i> This standard shall be met. The Commission has found this standard to be met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B.	<p>The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> N/A, as the completion of all major infrastructure by the Developer is preferred over bonding.</p>
16.05.100: As Built Plans and Specifications				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.05.100	<p>As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of “as-built plans and specifications” certified by the developer’s engineer shall be filed with the City engineer. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> As built drawings will be required. This standard will be met. The Commission has found this standard to be met.</p>
16.08: Townhouses:				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.010	<p>Plat Procedure: The developer of the townhouse development shall submit with the preliminary plat application and all other information required herein a copy of the proposed party wall agreement and the proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control (including billing, where applicable) and maintenance of all common utilities, commonly held facilities, garages, parking and/or green spaces. Prior to final plat approval, the developer shall submit to the city a final copy of the party wall agreement and any other such documents and shall record the documents prior to or at the same time of the recordation of the plat, which plat shall reflect the recording instrument numbers thereupon. (Ord. 1191, 2015)</p> <p><i>Staff Comments</i> This standard shall be met. The Commission has found this standard to be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.020	<p>Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific townhouse units on the townhouse plat and that the detached garage(s) may</p>

				<p>not be sold and/or owned separate from any dwelling unit(s) within the townhouse development. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>All garages are located on the same subplot as the principle dwelling and have been designated on the Preliminary Plat as such.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.030	<p>Storage, Parking Areas: Residential townhouse developments shall provide parking spaces according to the requirements of title 17, chapter 17.09 of this code. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>Per the Hailey Municipal Code, Multi-Family Dwellings are required to provide at least 1.5 onsite parking spaces. Overall, the project contains, twelve (12), three-story townhomes (39 units in total), seven (7), ten-plex, three-story condominiums (70 units in total), one (1) three-plex live/work building and one (1) four-plex live/work building are proposed; therefore, 174 onsite parking spaces are required. The site plan shows a total of 254 onsite parking spaces: a two (2) car garage per townhouse unit, a one (1) car garage per condo unit, which totals 164 parking spaces. 64 off-street parking spaces and 28 on-street parking spaces are also proposed.</i></p> <p><i>For Phase 2 of the project, twenty (20) condominium units and twelve (12) townhouse units for a total of thirty-two (32) residential units are proposed; therefore, twelve (12) townhouses and twenty (20) condominiums (32 units in total); therefore, forty-eight (48) onsite parking spaces are required. The site plan shows a total of seventy-three (73) onsite parking spaces: a two (2) car garage per townhouse unit, a one (1) car garage per condo unit, which totals forty-four (44) parking spaces. Twenty-two (22) off-street parking spaces and seven (7) on-street parking spaces are also proposed.</i></p> <p><i>That said and as agreed upon in the original PUD Agreement dated August 14, 2006, below grade parking and/or parking stalls at basement levels are required. Over 70% of all parking stalls are located within the structure (two-car garage) and all driveways are oriented toward internal alleys, so as not to negatively affect the quality of the pedestrian environment.</i></p> <p><i>Due to the nature of all proposed onsite parking being below grade parking and/or parking stalls at basement level, which was determined in and comply with the original PUD Agreement, the excess parking complies with the standards set forth herein, as well as with the provisions outlined in the original PUD Agreement dated August 14, 2006.</i></p> <p><i>The Commission has found this standard to be met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.040	<p>Construction Standards: All townhouse development construction shall be in accordance with the IBC, IRC and IFC. Each townhouse unit must have separate water, sewer and utility services, which do not pass through another building or unit. (Ord. 1191, 2015)</p>
			<i>Staff Comments</i>	<p><i>Please refer to the analysis of Title 16 above for further detail.</i></p> <p><i>The Commission has found this standard to be met.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.050	General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse developments. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>Please refer to the analysis of Title 16 above for further detail.</i> <i>The Commission has found this standard to be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.060	Expiration: Townhouse developments which have received final plat approval shall have a period of three (3) calendar years from the date of final plat approval by the council to obtain a building permit. Developments which have not received a building permit shall be null and void and the plats associated therewith shall be vacated by the council. If a development is to be phased, construction of the second and succeeding phases shall be contingent upon completion of the preceding phase unless the requirement is waived by the council. Further, if construction on any townhouse development or phase of any development ceases or is not diligently pursued for a period of three (3) years without the prior consent of the council, that portion of the plat pertinent to the undeveloped portion of the development shall be vacated. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>This standard will be met.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.08.070	Conversion: The conversion by subdivision of existing units into townhouses shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.08.080	Density: The maximum number of cottage townhouse units on any parcel shall be twelve (12), and not more than two (2) cottage townhouse developments shall be constructed adjacent to each other. (Ord. 1191, 2015)
			<i>Staff Comments</i>	<i>The proposed parcel is zoned Limited Business (LB), which allows for twenty (20) units per one (1) acre. Overall, the proposed parcel is 6.50 acres in size. The original P.U.D Development Agreement, dated August 14, 2006, granted a waiver, which allowed the townhouse sublot density to increase from 12 sublots per acre, to 24 sublots per acre. The Applicant is proposing a total of fourteen (14) sublots in Phase 2 of the development, which is approximately 1.59 acres in size. This provision allows the Applicant to construct a total of approximately 38 sublots in Phase 2; however, the Applicant has chosen to construct a total of 14 sublots, or 24 sublots less than what is currently allowed, pursuant the Planned Unit Development Agreement.</i> <i>The Commission has found this standard to be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.11.010	Exceptions: Whenever the tract to be subdivided is, in the shape or size, or is surrounded by such development or unusual conditions that the strict application of the requirements contained herein would result in real difficulties and substantial hardships or injustices, the council may vary or modify such requirements by making findings for their decision so that the developer is allowed to develop his property in a reasonable manner, while ensuring that the public welfare and interests of the city and surrounding area are protected and the general intent and spirit of this title are preserved. As used in this section, the phrase “real difficulties and substantial hardships or injustices” shall apply only to situations where strict application of the requirements of this title will deny to the developer the reasonable and beneficial use of the property in question, and not in situations where the developer establishes

				only that exceptions will allow more financially feasible or profitable subdivision. (Ord. 1191, 2015).
			<i>Staff Comments</i>	N/A

17.06.060 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.

B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

1. Ensure compliance with applicable standards and guidelines.
2. Require conformity to approved plans and specifications.
3. Require security for compliance with the terms of the approval.
4. Minimize adverse impact on other development.
5. Control the sequence, timing and duration of development.
6. Assure that development and landscaping are maintained properly.
7. Require more restrictive standards than those generally found in the Zoning Title.

C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following recommendations:

1. Adequate notice, pursuant to Title 16, Section 16.03.010, of the Hailey Subdivision Ordinance, was given for the public hearing.
2. Upon compliance with the conditions noted below, the Application substantially meets the standards of approval set forth in the Hailey Subdivision Ordinance.

The Preliminary Pat Application for Sweetwater Communities, LLC, represented by Matt Watson, located at Block 2, Sweetwater P.U.D. Subdivision (located along Shenandoah Drive, in Section 15, T.2 N., R.18 E., B.M., City of Hailey, Blaine County, Idaho), meets the standards of approval set forth in the Hailey Municipal Code, and is recommended for approval by the Hailey Planning and Zoning Commission, subject to the following conditions, (a) through (k), and noted below:

- a) All conditions of the Planned Unit Development approval shall be met.
- b) All Fire Department and Building Department requirements shall be met.
- c) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:
 - i. Permits shall be obtained for installation of all drywells.
 - ii. A Site Alteration Permit shall be obtained prior to any development occurring.
 - iii. The Applicant shall install metal collars for the meter vault lids on any and all meter vaults located in asphalt or concrete.
- d) Preliminary Plat approval is subject to the Flood Hazard Development Permit, approved on February 26, 2020.
- e) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- f) The Final Plat must be submitted within one (1) calendar year from the date of approval of the Preliminary Plat, unless otherwise allowed for within a phasing agreement.
- g) Any subdivision inspection fees due shall be paid prior to recording the Final Plat.
- h) Any application development fees shall be paid prior to recording the Final Plat.
- i) The Applicant shall submit an Erosion Control Plan prior to Final Plat.
- j) Prior to any future development in the SFHA, the property owner shall be required to obtain a Flood Hazard Development Permit from the City of Hailey for the proposed work.
- k) Alleys shall be designated as unbuildable parcels.

Signed this _____ day of _____, 2020.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On June 29, 2020, the Hailey Planning and Zoning Commission considered and approved a Design Review Application by John and Paula O'Meara, represented by Thomas Dabney, TND Architects, PLLC, for a 4,015 square foot single-family residence, which includes an attached 483 square foot garage, to be located at 711 South River Street (Lot 2, Block 1, Arbor Heights Subdivision) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express on June 10, 2020, and mailed to property owners within 300 feet on June 10, 2020.

Application: The Applicant proposed to construct a new 3,532 square foot single-family residence with an attached 483 square foot garage. The lot is currently vacant.

Current access for the proposed residence is located on River Street. No alley access exists, but a Driveway Access Easement has been recorded to benefit Lots 2 and 3 for private access into a garage.

The Commission reviewed and approved a Design Review Application for a single-family residence on the same lot in November 2016. A Building Permit was also applied for and approved; however, the Applicant never moved forward in construction.

Procedural History: The Design Review Application was submitted on June 5, 2020 and certified complete on June 22, 2020. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on June 29, 2020, in the Hailey City Council Chambers.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: No comments
				Life/Safety: No comments
				Water and Sewer: The Wastewater Department recommended that the Applicant install a small grinder pump to push sewer effluent into the pressure service. The grinder pump should allow for backflow into the sump after dosing. This has been made a Condition of Approval.
				The Water Department recommended that a metal collar be installed on the meter vault, and set to grade, if the meter vault is located in asphalt or concrete. This has been made a Condition of Approval.
				Building: No comments
				Streets: No comments

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs 17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Staff Comments</i> <i>N/A, as signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req. See Section 17.09.040 for applicable code. 17.09.040 Single-Family Dwellings: two (2) spaces minimum, six (6) spaces maximum 17.09.040.01 Accessory Dwelling Units: one (1) space per unit
			<i>Staff Comments</i> <i>The Hailey Municipal Code requires a minimum of two (2) parking spaces for each single-family residential dwelling. The proposed garage space includes a two (2) car garage. Additionally, it appears that the driveway can accommodate two (2) cars, for a total of four (4) parking spaces.</i> <i>The Commission found that parking requirements for the proposed residence have been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards 17.08C.040 General Standards <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff Comments</i> <i>The Applicant will install Dark Sky compliant fixtures, downcast and low wattage fixtures. These fixtures include LED Wall Lights. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements Zoning District: Limited Residential (LR-1) and Townsite Overlay (TO) Maximum Height: 30' Setbacks: <ul style="list-style-type: none"> • Street R.O.W. Adjacent: 12'; 20' to Garage Door • Private Property Abutment: 15% of lot width or 10', whichever is less; 6' min. • 1' for every 2.5' of building height • Alley: 6' minimum Lot Coverage: 30%
			<i>Staff Comments</i> <i>Proposed Building Height:</i> <ul style="list-style-type: none"> ○ <i>Proposed Building Height: 28'-1"</i> <i>Proposed Setbacks:</i> <ul style="list-style-type: none"> ○ <i>Front Yard (North): 52'-2"</i> ○ <i>Side Yard (East): 10'-1"</i> ○ <i>Side Yard (West): 10'-2"</i> ○ <i>Rear Yard (South): 27'-11"</i>

				<p><i>Proposed Lot Coverage:</i></p> <ul style="list-style-type: none"> ○ 2,450 square feet (Proposed Footprint) / 12,070 square foot lot = 20.30% <p><i>The Commission found that all setback, building height, and lot coverage requirements have been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			Staff Comments	<p><i>Sidewalks were installed on River Street as part of the Arbor Heights Subdivision. Planning Staff believes the requirements for sidewalk and drainage improvements, and sidewalk in-lieu fees are not needed at this time. The Commission found that this standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)</p>
			Staff Comments	<p><i>This standard shall be met.</i></p>

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)1	<p>1) Site Planning</p> <p>Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</p>
			Staff Comments	<p><i>The lot is existing and does not respect the Old Hailey Townsite grid pattern, as it was formed prior to the creation of the Townsite Overlay Regulations. That said, a Driveway Access Easement exists. The front façade and entrance to the proposed residence will face the driveway, and is visible from the access easement.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property;

				<ul style="list-style-type: none"> underground utilities for new dwelling units.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> The scale of the proposed addition is consistent with the scale and massing of buildings in the surrounding neighborhood. The lot is existing and does not respect the Old Hailey Townsite grid pattern, as it was formed prior to the creation of the Townsite Overlay Regulations. That said, a Driveway Access Easement exists. The front façade and entrance to the proposed residence will face the driveway, and is visible from the access easement. The proposed residence will span the entire lot. Ample yard and open space exist on all sides of the home. Snow storage has been identified on the site plan and is sufficient for the site. Utilities are existing. Water, sewer and gas are located underground. Any utilities for the proposed addition will be located underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p> <p><i>Staff Comments</i></p> <p>The design intent of the proposed residence was to complement that of the surrounding area, while retaining the character of Old Hailey. The proposed design takes advantage of the southern exposure: large patio, several entries and windows are located at the south elevation.</p> <p>The size and shape of the proposed windows are also in scale with the building character of Old Hailey. No solar collectors are proposed at this time. The Commission found that this standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)2	<p>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</p> <p>Guideline: The perceived mass of larger buildings shall be diminished by the design.</p> <p><i>Staff Comments</i></p> <p>The use of three (3) rectangular modules breaks up the roofline and results in a shorter, smaller looking residence. There is a single story covered porch at the front entry and a pergola at the rear entry, which provides shade and diminish the mass of the structure. There are significant horizontal and vertical undulations in the building design making the residence appear smaller in scale.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3	<p>3. Architectural Character</p>
			17.06.090(C)3a	<p>a. General</p> <p>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</p> <p><i>Staff Comments</i></p> <p>The architectural style of the proposed residence uses shed roofs and traditional exterior materials/colors to integrate into the surrounding area.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3b	<p>b. Building Orientation</p> <p>Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</p> <p><i>Staff Comments</i></p> <p>The front entry of the proposed residence is located facing the Driveway Access Easement. A covered porch along the front façade and over the front entry is proposed, which is visible and inviting from the access easement.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</p> <p><i>Staff Comments</i></p> <p>The lot is existing and does not respect the Old Hailey Townsite grid pattern, as it was formed prior to the creation of the Townsite Overlay Regulations. The Arbor</p>

				<p><i>Heights Subdivision consists of three (3) lots, all of which do not have alley access (no alley exists). A Driveway Access easement exists to access Lots 2 and 3. The front entry of the proposed residence is located facing the Driveway Access Easement. A covered porch along the front façade and over the front entry is proposed, which is visible and inviting from the access easement.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3c	<p>c. Building Form</p> <p>Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</p> <p>Staff Comments <i>The use of three (3) rectangular modules breaks up the roofline and results in a shorter, smaller looking residence. There is a single story covered porch at the front entry and a pergola at the rear entry, which provides shade and diminish the mass of the structure. There are significant horizontal and vertical undulations in the building design making the residence appear smaller in scale.</i></p> <p><i>Exterior materials of the proposed residence will complement that of the existing residence. Various windows, doors and undulations will help to reduce the perceived scale of the building. Clean lines and natural hues (cedar siding with a natural stain color and stone veneer) are proposed, which are consistent with styles and forms found in the surrounding area.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>d. Roof Form</p> <p>Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.</p> <p>Staff Comments <i>The proposed residence is setback from the front property line approximately 52'. The garage has been integrated into the two-story rectangular module. A covered front entry and vertical/horizontal undulation helps to break up the mass of the front elevation.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.</p> <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties. <p>Staff Comments <i>A metal roof will be installed in Dark Bronze. Snow retention devices and rain gutters will be installed at locations adjacent to pedestrian pathways.</i></p> <p><i>The Commission suggested that the Applicant utilize snow fences as snow retention devices, rather than snow clips, as snow fences will keep snow from shedding into pedestrian areas and reduce the total number of holes drilled into the proposed metal roof.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</p> <p>Staff Comments <i>The proposed roof forms are shed roofs with 3:12 slopes. There are three (3) distinct roof lines, which are approximately 30' to 50' in length. A metal roof will be installed in Dark Bronze. Snow retention devices and rain gutters will be installed at locations adjacent to pedestrian pathways.</i></p> <p><i>The Commission suggested that the Applicant utilize snow fences as snow retention devices, rather than snow clips, as snow fences will keep snow from shedding into pedestrian areas and reduce the total number of holes drilled into the proposed metal roof.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.
			<i>Staff Comments</i>	<i>The proposed roof pitch is 3:12. The existing adjacent residence to the south has a slightly sloping roof (essentially flat). That said, the proposed roof pitch is similar to other residences in the surrounding neighborhoods.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	e. Wall Planes
				Guideline: Primary wall planes should be parallel to the front lot line.
			<i>Staff Comments</i>	<i>The Arbor Heights Subdivision consists of three (3) lots that do not adhere to the Old Hailey grid pattern. The front wall plane of the proposed residence is parallel to the front property line.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.
			<i>Staff Comments</i>	<i>The proposed residence is proportional to the site; however, the lot does not adhere to the dimensions of the Old Hailey grid pattern. The footprint of the proposed residence appears to be wider than it is deep; however, the orientation of the three (3) rectangular modules introduces significant vertical and horizontal undulation, which reduces the perceived mass of the home.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: The use of pop-outs to break up longer wall planes is encouraged.
			<i>Staff Comments</i>	<i>The proposed side wall planes are the longest, continuous wall planes. The addition of the three (3) rectangular modules provides variety, interest and helps reduce the building's scale and mass of the longer wall planes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	f. Windows
				Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			<i>Staff Comments</i>	<i>The proposed windows are traditional in size, scale, and are appropriate for the neighborhood. The windows facing the street have vertical orientation and are multi-paned. Said windows are taller than they are wide.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			<i>Staff Comments</i>	<i>Two (2) large windows are proposed at the west elevation. That said, the neighboring residence is approximately 50' away and existing mature landscaping offers ample screening.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	g. Decks and Balconies
				Guideline: Decks and balconies shall be in scale with the building and the neighborhood.
			<i>Staff Comments</i>	<i>No decks and/or balconies are proposed on the second story. A covered front porch and patio are proposed along the front façade, and over the front entry, which are in scale and complement the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			<i>Staff Comments</i>	<i>No decks and/or balconies are proposed on the second story. A covered front porch and patio are proposed along the front façade, and over the front entry, which are in scale and complement the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	h. Building Materials and Finishes
				Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.
			<i>Staff Comments</i>	<i>The proposed residence will complement that of the surrounding neighborhood. All proposed siding is horizontal cedar siding with a natural stain color. Stone Veneer is also proposed in natural tans and light browns. A dark bronze metal roof will tie the home together (see image below for further detail).</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.
			<i>Staff Comments</i>	<i>The largest wall plane is the east elevation. This plane is broken up by an exterior staircase and posts supporting the extended roof overhang. Siding and stone veneer colors will contrast with the trim/fascia, which will help reduce mass of said wall planes (see image below for further detail).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	i. Ornamentation and Architectural Detailing
				Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.
			<i>Staff Comments</i>	<i>Simple detailing is proposed: covered front entry and porch, beams and stone veneer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	<i>The proposed residence has minimal ornamentation. Simple detailing is proposed: covered front entry and porch, beams and stone veneer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.

			Staff Comments	<i>Please refer to Section 17.06.090(C)3i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	4. Circulation and Parking
				Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			Staff Comments	<i>Adequate parking has been provided. Pedestrian access is provided with the existing sidewalk to the front entry of the residence. Snow storage areas are adjacent to the driveway, which does not restrict pedestrian access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			Staff Comments	<i>Onsite parking will be accessed from the Driveway Access Easement. Adequate parking is provided, either in the two (2) car garage or the driveway. The proposed residence and garage are not adjacent to a public street (River Street) and are screened from view by an existing residence location on Lot 1.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			Staff Comments	<i>The lot is existing and does not respect the Old Hailey Townsite grid pattern, as it was formed prior to the creation of the Townsite Overlay Regulations. The Arbor Heights Subdivision consists of three (3) lots, all of which do not have alley access (no alley exists). A Driveway Access easement exists to access Lots 2 and 3.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			Staff Comments	<i>The proposed garage is attached and will be accessed from the existing Driveway Access Easement, as no alley exists.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			Staff Comments	<i>The proposed garage will be accessed from the existing Driveway Access Easement, as no alley exists. Said driveway is not adjacent to a public street (River Street).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.
			Staff Comments	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			Staff Comments	<i>Seasonal, off-street parking for recreational vehicles could occur in the driveway; however, no parking for recreational vehicles have been delineated.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	5. Alleys
				Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			Staff Comments	<i>N/A, as no alley exists.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.
			Staff Comments	<i>Utilities are located underground via the Driveway Access Easement. No accessory building is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			Staff Comments	<i>N/A. If noxious weeds are present on the site, the Developer shall control according to State Law.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			<i>Staff Comments</i>	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)6	6. Accessory Structures
				Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			<i>Staff Comments</i>	<i>N/A, as no accessory buildings are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			<i>Staff Comments</i>	<i>N/A, as no accessory buildings are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	7. Snow Storage
				Guideline: All projects shall be required to provide 25% snow storage on the site.
			<i>Staff Comments</i>	<i>The site plan proposes approximately 634 square feet of hardscape (parking, vehicle and pedestrian areas). 25% of this (159 square feet) is required for snow storage. 725 square feet of snow storage is shown. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			<i>Staff Comments</i>	<i>Snow storage areas are adjacent to the driveway. Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible from the access easement. The Commission found that this standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	8. Existing Mature Trees and Landscaping
				Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			<i>Staff Comments</i>	<i>Existing trees are identified onsite and are proposed to be retained. No additional trees or landscaping are proposed to be removed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			<i>Staff Comments</i>	<i>No significant landscape features will be removed or appear to be impacted by the proposed residence. The proposed Landscape Plan includes three (3) ornamental flowering Crabapple Trees, small sections of turf and native fescue along the side yards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Noxious weeds shall be controlled according to State Law.
			<i>Staff Comments</i>	<i>If noxious weeds are present on the site, the Developer shall control according to State Law.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	9. Fences and Walls
				Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			<i>Staff Comments</i>	<i>N/A, as no fences and/or walls are existing and/or proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	Guideline: Retaining walls shall be in scale to the streetscape.
			<i>Staff Comments</i>	<i>N/A, as none are proposed.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	10. Historic Structures General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			<i>Staff Comments</i>	<i>N/A, as there are no existing structures on the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines: <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.
			<i>Staff Comments</i>	<i>N/A, as there are no existing structures on the site.</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.

3. **Require security for compliance with the terms of the approval.**
 4. **Minimize adverse impact on other development.**
 5. **Control the sequence, timing and duration of development.**
 6. **Assure that development and landscaping are maintained properly.**
 7. **Require more restrictive standards than those generally found in the Zoning Title.**
- C. **Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. **If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 2. **In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Zoning Ordinance and City Standards.

DECISION

The Design Review Application by John and Paula O'Meara, represented by Thomas Dabney, TND Architects, PLLC, for a 4,015 square foot single-family residence, which includes an attached 483 square foot garage, to be located at 711 South River Street (Lot 2, Block 1, Arbor Heights Subdivision) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts, has been approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Hailey Municipal Code Section 17.06: Design Review, additional application requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (i) are met:

- a) All applicable Fire Department and Building Department requirements shall be met.

- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Title at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:
 - i. The installation of a small grinder pump to push sewer effluent into the pressure service.
 - ii. The installation of a metal collar on the meter vault, and set to grade, if the meter vault is located in asphalt or concrete.
- d) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- i) All utilities shall be located underground, consistent with 17.06.080(A)3h.

Signed this ____ day of _____, 2020.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

Return to Agenda



STAFF REPORT
Hailey Planning and Zoning Commission
Regular Meeting of June 15, 2020

TO: Hailey Planning and Zoning Commission

FROM: Courtney Hamilton, Interim Community Development City Planner

OVERVIEW: Consideration of a Design Review Application by Pioneer, LLC, represented by architect Andrew Bick, for construction of Pioneer Storage Facility Phase II, to be located at Lots 1A and 1B, Block 4, Airport West Subdivision #2 (1291 and 1311 Citation Way), located in the SCI – Industrial (SCI-I) Zoning District. This project consists of five (5) self-storage buildings, ranging in size from 2,200 square feet to 4,560 square feet.

HEARING: June 15, 2020

Applicant: Pioneer, LLC, represented by architect Andrew Bick

Request: Design Review approval of three (3) self-storage buildings, ranging in size from 3,000 square feet to 5,200 square feet, for a total of 45 individual units

Location: Lot 1E, Block 4, Airport West Subdivision #2 (1351 Aviation Drive)

Zoning: SCI – Industrial (SCI-I)

Notice:

Notice for the public hearing was published in the Idaho Mountain Express on May 27, 2020 and mailed to property owners within 300 feet on May 27, 2019.

Application:

The applicant, Pioneer LLC, is proposing Phase II of the storage project along Aviation Drive, expanding their facilities to include five (5) new buildings to be used for self-storage to be located at Lots 1A and 1B, Block 4, Airport West Subdivision #2 (1291 and 1311 Citation Way), located in the Service Commercial Industrial – Industrial (SCI-I) Zoning District. The new buildings will range in size from 2,200 square feet to 4,560 square feet and are located around the corner from Phase I of the storage unit development. The project location is off of Citation Way, which is a private drive, and to the rear of the subject parcel is a landscape buffer between the parcel and Broadford Road. Total lot area for the combined lots is 44,292 square feet, or 1.01 acres.

Note that approval from the Airport West Design Review Board is needed prior to project approval.

Procedural History:

The Application was submitted on May 8, 2020 and certified complete on June 2, 2020. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on June 15, 2020, in the Hailey City Council Chambers and virtually.

General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering: <i>No comments</i>
				Life/Safety: <i>No comments</i>
				Water and Sewer: Applicant will be required to abandon any unused water services on the property.
				Building: <i>No comments</i>
				Streets: <i>Applicant will be required to submit an Idaho Department of Water Resources inventory form for each drywell and pay associated fees.</i>
				City Arborist: Proposed grasses will work well. Staff needs more information on the trees to be removed. This has been requested of the applicant.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	<i>No sidewalks are proposed at this time. Sidewalks are not required on private alleys. All grading and drainage proposed is on private property. The Public Works Department has no concerns with said proposal.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	<i>N/A, as this project is not within the Townsite Overlay (TO) Zone District.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	<i>No signage is proposed at this time; however, any signage exceeding four square feet will need to be accompanied by a Sign Permit Application and be approved prior to installation.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	17.08C.040 General Standards <ol style="list-style-type: none"> All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> Overlighting; Energy waste; Glare; Light Trespass; Skyglow. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			Staff Comments	<i>The Applicant will install Dark Sky compliant, downcast and low wattage fixtures. A fixture sample has been submitted.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			Staff Comments	<i>Per the Hailey Municipal Code, warehouse and storage facilities are required to provide at least one (1) parking space for every thousand (1,000) square feet. 16,760 square feet of storage space is proposed; therefore, 16 onsite parking spaces are required.</i> <i>The floor plans indicate that all parking is located within the larger storage units. There are 19 units that can accommodate a vehicle, which meets the parking requirement for this project. This requirement has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.
			Staff Comments	<i>N/A – excessive parking is not proposed</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040.07 Bicycle Parking	All multi-family residential and commercial or mixed use development, including new construction and additions, shall provide at least three (3) bicycle parking spaces or bicycle spaces equivalent to twenty five percent (25%) of the required number of vehicle parking spaces, whichever is greater.
				<i>Bike parking does not appear necessary for this Light Industrial use.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	SCI - Industrial (SCI-I) Zoning District:

			Staff Comments <ul style="list-style-type: none"> - Minimum Lot Size: 10,890 sq ft <ul style="list-style-type: none"> o Proposed Lot Size: 44,292 sq ft - Building Height: <ul style="list-style-type: none"> o Required Building Height: 35' o Proposed Building Height: ranging from ~10' - ~15' - Setbacks: <ul style="list-style-type: none"> o Required Setbacks: <ul style="list-style-type: none"> o Front Yard: 10' o Side Yards: 10' o Rear Yard: 10' o Proposed Setbacks: <ul style="list-style-type: none"> o Front Yard: 18' (private road – setback is 0' from access & utility easements) o Side Yard (south): 33'-8 3/8" o Side Yard (north): 10' o Rear Yard: 10' <p><i>All setback and building height requirements have been met. However, a Lot Line Amendment must be submitted and approved to shift the building envelope under Building 5#; this has been made a condition of approval.</i></p>
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Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)


Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings
			Staff Comments	<i>The proposed project is intended for storage purposes only. The longest wall planes of the proposed units are oriented east/west, increasing southern sun exposure for storage unit access. The proposed buildings are one story in height and will provide adequate sun exposure to spaces around the buildings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.
			Staff Comments	<i>Six (6) existing trees will be removed from the site as a part of the proposed project. An arborist Report is underway, and will be brought to the meeting. The only new landscaping proposed for this project is native grasses at the north side</i>

				<i>of the project to match existing grasses. However, excellent existing landscape screening exists on the north and west sides of the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.
			Staff Comments	<i>Site circulation has been designed to keep vehicular access and parking onsite. No sidewalk along the private street Citation Way is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.
			Staff Comments	<i>All loading and unloading zones will take place at individual storage units. These units will be screened from surrounding uses by the other proposed buildings onsite. Unit entrances face inward for all units, with the exception of four units, which face Citation Drive. No loading areas face the rear of the property where snow storage will be located. No onsite trash storage is proposed.</i> <i>The location of drywells are shown on sheet c1.0. No water or wastewater connections are needed. Power connection will be described in the hearing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			Staff Comments	<i>The existing private alley is used for access.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			Staff Comments	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.) i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			Staff Comments	<i>The floor plans indicate that all parking is located within each individual storage unit. There are nineteen (19) units that can accommodate a vehicle. This parking is screened from the street, buffered by buildings, landscaping and/or sidewalks. No other parking exists onsite.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.

			Staff Comments	<i>Access can be achieved from the private alley off of Citation Way, off of which, the four lanes between buildings will be used for vehicular access. See fire truck access site plan, which has been approved by the Fire chief.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			Staff Comments	<i>Snow storage areas are shown at the rear and south sides of the property within the 10' building setback.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			Staff Comments	<i>Snow storage area calculations been submitted and are shown on A1.11. The applicant calculates that 5,970 square feet of snow storage is needed. Just over 6,000 square feet is shown.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			Staff Comments	<i>The proposed snow storage area is greater than 10'-wide.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			Staff Comments	<i>N/A, as this parcel is not located downtown.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			Staff Comments	<i>Snow storage areas do not impede parking or pedestrian areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			Staff Comments	<i>Snow storage areas are not shown to be landscaped.</i>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.
			Staff Comments	<i>The proposal is for a storage facility located in the SCI – Industrial (SCI-I) Zone District, where the surrounding buildings are industrial in nature. The proposed project is also an expansion of an existing storage facility located adjacent, so will be compatible with that design.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	b. Standardized corporate building designs are prohibited.
			Staff Comments	<i>N/A, as the project is not a corporate design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
			Staff Comments	<i>The one-story buildings feature street-level material changes and are designed with individual loading spaces.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			Staff Comments	<i>The front façade of the five buildings varies, with several including garage doors for access to individual units, and with varying colors and rooflines. Access to a majority of units will face inward. Façade materials include Charcoal Gray vertical metal siding panels, Burnished Slate vertical corrugated metal siding panels, and Apple Lime Cocktail garage doors.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			Staff Comments	<i>No plans for future additions or renovations are planned.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.
			Staff Comments	<i>A variety of colors will be used on the exterior of the buildings. The storage units will see metal siding in Charcoal Gray and Burnished Slate, Burnished Slate metal roofing, and Apple Green Cocktail and Burnished Slate-colored garage door panels. A Materials Sample Board has been submitted.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			Staff Comments	<i>Colors and materials are broken on various elements to minimize mass and create a cohesive whole.</i> 
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.
			Staff Comments	<i>N/A, as the buildings proposed, though some incorporate a flat roof, are single story in height.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space: i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.

				ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.
			Staff Comments	The Applicant has stated that due to the nature of the project, being a self-storage facility, and having no windows and/or conditioned spaces, energy consumption is minimal. Should the Commission need more information, the Applicant can better describe the three techniques utilized and/or utilization of any other alternative energy sources with the proposed project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			Staff Comments	The roof slope and structure are engineered to retain snow on the roof. Snow cleats will be installed on the low eave side to prevent ice and/or snow from sliding off. Downspouts and gutters, as stated by the Applicant, will also be installed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			Staff Comments	Downspouts will be piped underground to water retention areas. The downspouts will incorporate heat tape to prevent freezing at the ground to air transition areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			Staff Comments	N/A, as no vehicle canopies or covered areas are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			Staff Comments	N/A, as no signage is proposed at this time; therefore, a Master Sign Plan is not required at this time.
3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).

			Staff Comments	<i>N/A, as no accessory structures are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			Staff Comments	<i>N/A, as no accessory structures are planned.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			Staff Comments	<i>N/A, as no walls or fences are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			Staff Comments	<i>N/A, as no walls or fences are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			Staff Comments	<i>No roof or ground mounted mechanical equipment are proposed. All utilities/services to be installed underground.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			Staff Comments	<i>N/A</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			Staff Comments	<i>No roof or ground mounted mechanical equipment are proposed. All utilities/services to be installed underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			Staff Comments	<i>All service lines will be underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			Staff Comments	<i>No appurtenances will be permitted on poles.</i>

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			Staff Comments	<i>The only new landscaping proposed is drought tolerant native grasses along the north side of building one. Mature landscape screening exists on the north and west sides of the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			Staff Comments	<i>The only new landscaping proposed is native grasses along the north side of building one.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			Staff Comments	<i>The applicant will describe the irrigation for the new grasses in the meeting.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard.
			Staff Comments	<i>While the proposed Landscaping Plan is minimal, with no new trees or proposed, existing mature screening is in place on the north and west sides of the proposed site. Some new ornamental grasses are shown.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
			Staff Comments	<i>The proposed project is located within the SCI – Industrial (SCI-I) Zone District. Seasonal plantings are not shown on the proposed plans. Seasonal plantings in planter boxes, pots and/or hanging baskets shall be provided. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			Staff Comments	<i>N/A, as the proposed project is not located within the B, LB, TN or SCI-SO Zoning Districts.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			Staff Comments	<i>Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Site Plan.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			Staff Comments	<i>The Owner will be responsible for maintaining plant material in a healthy condition.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			Staff Comments	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			Staff Comments	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			Staff Comments	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			Staff Comments	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			Staff Comments	<i>N/A, as no retaining walls are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			Staff Comments	<i>N/A, as no retaining walls are proposed.</i>

**Additional Design Review Requirements for
Non-Residential Buildings Located within LI, SCI, TI or A Zoning Districts**

1. Site Planning: 17.06.080(C)1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(C)1a	a. Adjoining parcels shall be considered when planning building configuration, vehicular circulation and access, parking, and drainage.
			Staff Comments	<i>The majority of the surrounding parcels remain undeveloped. Vehicular circulation and site planning were developed as part of the Airport West subdivision, to allow for successful development for neighboring parcels and will prevent traffic congestion.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(C)1b	b. Reciprocal vehicular ingress and egress, circulation, and parking arrangements are encouraged when the adjacent site(s) allows in

				order to facilitate the ease of vehicular movement between adjoining properties.
			Staff Comments	<i>A parking plan has been submitted showing how the parking stalls fit inside the storage units. Fire circulation is planned along with adjacent properties.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(C)2c	c. Vehicle circulation, parking and loading shall not block pedestrian access ways.
			Staff Comments	<i>A parking plan has been submitted. Required parking does not block pedestrian ways.</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**
 - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested to be placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Ordinance at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Requirements include but are not limited to:
 - Idaho Department of Water Resources inventory forms shall be submitted for each drywell and associated fees paid.
 - Any unused water services to the property shall be abandoned in conjunction with this project.
- d) Any and all ground-mounted equipment shall be screened from view of surrounding properties.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.
- h) A lot line amendment shall be approved prior to completion of the project which relocates snow storage easements and clarifies building envelopes to conform to the proposal.
- i) Design Review Approval from the Airport West HOA is required.

Motion Language

Approval:

Motion to approve the Design Review Application by Pioneer, LLC, represented by architect Andrew Bick, for construction of Pioneer Storage Facility Phase II, to be located at Lots 1A and 1B, Block 4, Airport West Subdivision #2 (1291 and 1311 Citation Way), located in the SCI – Industrial (SCI-I) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Ordinance, Title 18, and City Standards, provided conditions (a) through (i) are met.

Denial:

Motion to deny the Design Review Application by Pioneer, LLC, represented by architect Andrew Bick, for construction of Pioneer Storage Facility Phase II, to be located at Lots 1A and 1B, Block 4, Airport West Subdivision #2 (1291 and 1311 Citation Way), located in the SCI – Industrial (SCI-I) Zoning District, finding that _____[the Commission should cite

which standards are not met and provide the reason why each identified standard is not met].

Continuation:

Motion to continue the public hearing to _____[Commission should specify a date].

PIONEER STORAGE, LLC

1291 & 1311 CITATION WAY
HAILEY, IDAHO 83333

DESIGN DEVELOPMENT - April 2020

DESIGN DEVELOPMENT Print Date: Friday, May 8, 2020

PROJECT DIRECTORY:

OWNER/TENANT:

PIONEER STORAGE, LLC
PO BOX 507 SUN VALLEY IDAHO 83353
Contact: TRENT AVERY 208.720.5866

ARCHITECT:

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P.O. Box 9876
Boise, Idaho 83707
208.726.8608 phone
Contact: AKB or AKB

CIVIL:

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MECHANICAL:

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RENDERING PERSPECTIVE:



PROJECT RECAP:

BUILDING CODE DATA:
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL FIRE CODE
2009 ICC/ANSI A117.1
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL FUEL GAS CODE
2017 IDAHO STATE PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE

SITE ADDRESS:
1291 & 1311 CITATION WAY
HAILEY, IDAHO 83333

PARCELS:
RPH04000040180, 0.509 ACRES (22402.41 SQ. FT.)
LOT 1B, BLK 4, AIRPORT WEST SUB #2
RPH040000401A0, 0.53 ACRES (21,869.74 SQ. FT.)
LOT 1A, BLK 4, AIRPORT WEST SUB #2

ZONE:
SCI-SO

CONSTRUCTION TYPE:
V-8; NON-SPRINKLED

OCCUPANCY:
GROUP S-1; SELF STORAGE UNITS

SCOPE OF WORK:

SCOPE OF WORK INCLUDES, BUT IT NOT LIMITED TO, CONSTRUCTION OF (5) SINGLE LEVEL STORAGE BUILDINGS FOR A TOTAL SQUARE FOOTAGE OF 16,760 SQ. FT. ALL BUILDINGS ARE CONSTRUCTED OF SLAB ON GRADE CONCRETE FLOOR WITH FOUNDATION PERIMETER. WALL FRAMING IS TO BE LIGHT GAUGE METAL STUD AND VERTICAL METAL SIDING. ROOF FRAMING OF LIGHT GAUGE STRUCTURAL METAL COMPONENTS. METAL ROOFING SLOPED AT 1/4" PER FOOT. OCCUPANCY GROUP IS "S-1" SELF STORAGE UNITS WITH A CALCULATED CONSTRUCTION TYPE "V-8". BUILDING SCOPE TAKES INTO ACCOUNT ELECTRICAL ENGINEERING FOR THE STORAGE UNITS AND PROPERTY, PLUMBING OF WATER DRAINAGE AND GROUND WATER COLLECTION. THERE IS NOT MECHANICAL OR HEATING PROVIDED FOR THE BUILDINGS OR PROPERTY. SITE WORK CONSISTS OF CIVIL ENGINEERING FOR DRAINAGE, GROUND WATER AND ASPHALT DRIVES. LANDSCAPING IS INCLUDED TO MEET THE NEEDS OF THE CITY OF HAILEY REQUIREMENTS FOR DESIGN REVIEW.

GENERAL NOTES:

1. ALL NEW CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CITY, STATE AND NATIONAL CODES AS WELL AS ALL RULES AND REGULATIONS FROM GOVERNMENTAL AGENCIES HAVING JURISDICTION. ALL NEW CONSTRUCTION SHALL BE PER MANUFACTURER'S REQUIREMENTS, SPECIFICATIONS AND ACCEPTED GENERAL PRACTICES.
2. ALL CONSTRUCTION SHALL BE CONSTRUCTED FROM CITY APPROVED AND STAMPED CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL OBTAIN ALL BUILDING, ELECTRICAL & MECHANICAL PERMITS AND INSPECTION APPROVALS FOR SUBSTANTIAL COMPLETION.
3. WHEN CONCEALED OR UNKNOWN CONDITIONS ARE DISCOVERED AND WILL AFFECT THE FINAL DESIGN OR CHANGE THE SCOPE OF WORK, CONTACT THE ARCHITECT OR OWNER FOR RESOLUTION PRIOR TO WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCING, PROCEDURES, SHORING, BRACING SAFETY AND INSURANCE IN CONNECTION WITH THE WORK. ALL NECESSARY TEMPORARY CONSTRUCTION REQUIRED TO COMPLETE THE PROJECT SHALL BE INCLUDED IN THE BIDDING CONTRACTOR'S PRICE.
5. THE CONTRACTOR SHALL DO ALL NECESSARY CUTTING, PATCHING AND FITTING AS REQUIRED TO PERFORM THE WORK AND SHALL BE DONE WITH APPROPRIATE MATERIALS AND TOOLS TO INSURE THE HIGHEST QUALITY OF WORK.
6. ALL MATERIALS STORED ON SITE, EXISTING CONSTRUCTION AND FINISHED CONSTRUCTION SHALL BE PROTECTED FROM WEATHER, VANDALISM AND OTHER CONSTRUCTION ACTIVITIES TO PREVENT DAMAGE AND DETERIORATION UNTIL SUBSTANTIAL COMPLETION. FAILURE TO PROTECT MAY BE CAUSE FOR REJECTION OF WORK.
7. ALL WORK REQUIRED SHALL BE FURNISHED, INSTALLED COMPLETE AND IN OPERATING CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSTALLATION AND/OR CONNECTION OF EQUIPMENT FOR A COMPLETE AND OPERATIONAL FACILITY UNLESS NOTED OTHERWISE.
8. THE DRAWINGS INDICATE LOCATIONS, DIMENSIONS AND TYPICAL DETAILS OF CONSTRUCTION. WORK NOT SPECIFICALLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO THAT DETAILED.
9. REFER TO ALL DRAWING SHEETS FOR ADDITIONAL GENERAL NOTES.

VICINITY MAP:



PROJECT LOCATION
1291 & 1311 CITATION WAY

SHEET INDEX:

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A1.1.1 SITE PLAN
A2.1.2 BLD'G 1 & 2 FLOOR PLAN
A2.1.2 BLD'G 3 FLOOR PLAN
A2.1.3 BLD'G 4 & 5 FLOOR PLAN
A3.1.1 BLD'G 1 ELEVATIONS
A3.1.2 BLD'G 2 ELEVATIONS
A3.1.3 BLD'G 3 ELEVATIONS
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A3.1.5 BLD'G 5 ELEVATIONS
A4.1.1 BUILDING SECTIONS
A4.1.2 BUILDING SECTIONS
SP-1 PHOTOGRAPHIC PLAN

Revision ID	ChID	Issue Name	Date

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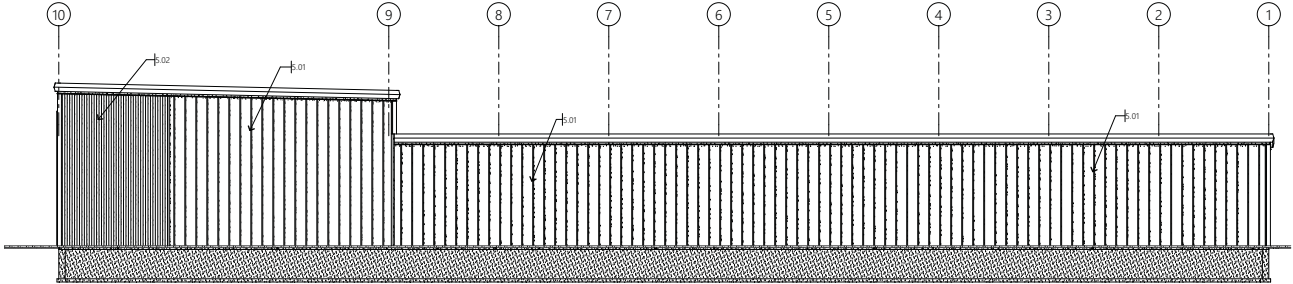
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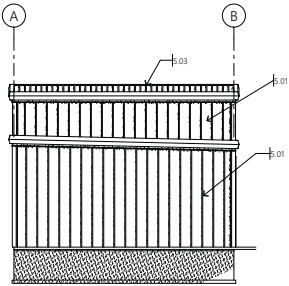
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IDAHO 83333

TITLE SHEET

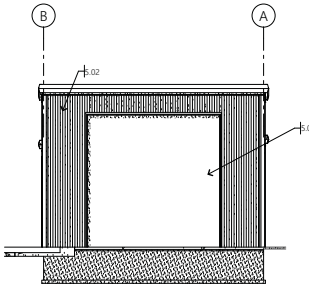
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Project No. 19-027
Sheet No. G0.01



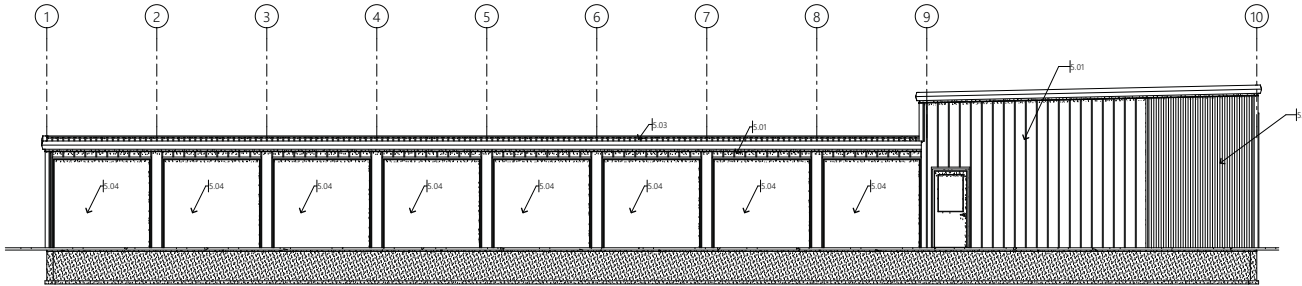
BLD'G 1 NORTH ELEVATION 1
SCALE: 3/16" = 1'-0" A3.11



BLD'G 1 WEST ELEVATION 2
SCALE: 3/16" = 1'-0" A3.11



BLD'G 1 EAST ELEVATION 3
SCALE: 3/16" = 1'-0" A3.11



BLD'G 1 SOUTH ELEVATION 4
SCALE: 3/16" = 1'-0" A3.11

GENERAL NOTES:

- REFERENCE THE WALL SECTIONS FOR ADDITIONAL ELEVATION CALLOUTS, MATERIAL CALLOUTS, MATERIAL TRANSITIONS, AND DETAILS.
- REFERENCE THE ELECTRICAL DRAWINGS FOR BACKBOX LOCATIONS AND OTHER ELECTRICAL WORK AT THE EXTERIOR BUILDING.
- REFERENCE THE CIVIL AND LANDSCAPE DRAWINGS FOR FINISH (7/02) ELEVATIONS, EXTERIOR DETAILS, DIMENSIONS, FOR EXTERIOR CONCRETE, SIDEWALKS AND OTHER SITE AND PLANTING WORK.

KEYED/REFERENCE NOTES:

- S.01 "R8" PROFILE VERTICAL METAL SIDING PANELS, CHARCOAL GRAY (VEERTY)
S.02 "R8" PROFILE VERTICAL CORRUGATED METAL SIDING PANELS, BURNISHED SLATE
S.03 "R8" PROFILE ULTI-DEK METAL ROOFING PANELS, BURNISHED SLATE
S.04 BURNISHED SLATE GARAGE DOORS
S.05 APPLE LIME COCKTAIL GARAGE DOORS

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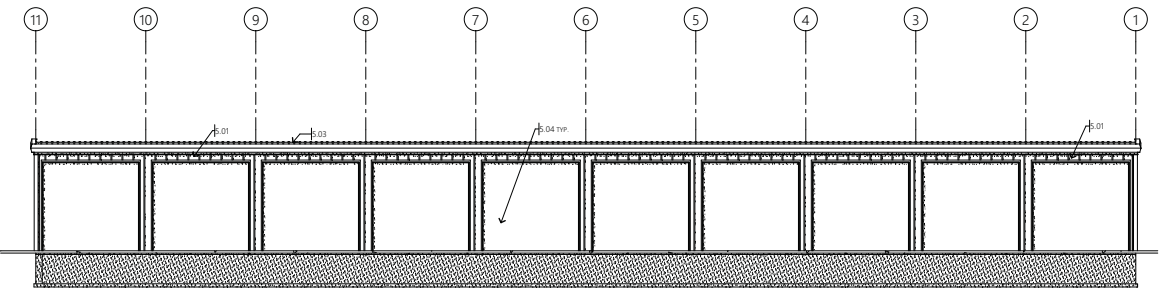
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Checked By:		AKB	
Revision	CHD	Issue Name	Date

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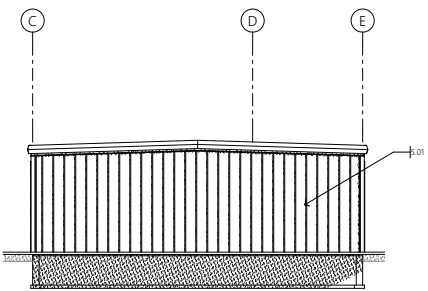
BLD'G 1 ELEVATIONS

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	19-027
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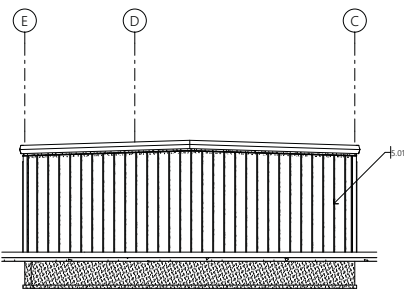


BLD'G 2 NORTH ELEVATION 1
SCALE: 3/16" = 1'-0" A3.12

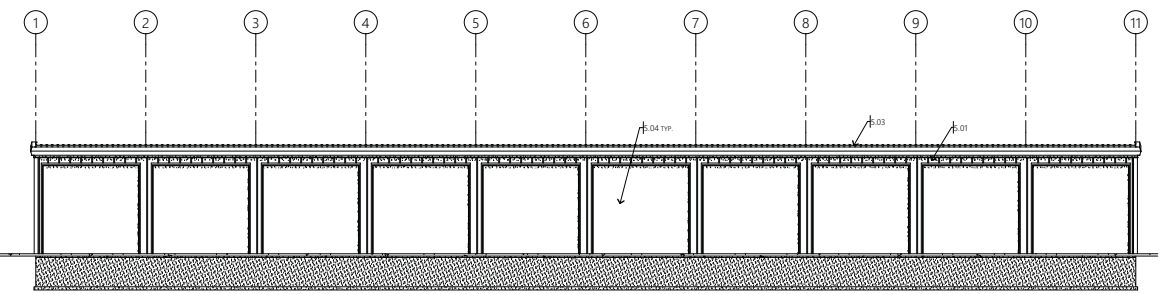
- GENERAL NOTES:**
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 - B. REFERENCE THE ELECTRICAL DRAWINGS FOR BACKBOX LOCATIONS AND OTHER ELECTRICAL WORK AT THE EXTERIOR BUILDING.
 - C. REFERENCE THE CIVIL AND LANDSCAPE DRAWINGS FOR FINISH (7.00) ELEVATIONS, EXTERIOR DETAILS, DIMENSIONS, FOR EXTERIOR CONCRETE, SIDEWALKS AND OTHER SITE AND PLANTING WORK.
- KEYED/REFERENCE NOTES:**
- S.01 "FBI" PROFILE VERTICAL METAL SIDING PANELS, CHARCOAL GRAY (PERFECT)
 - S.03 "FBI" PROFILE ULTI-DEK METAL ROOFING PANELS, BURNISHED SLATE
 - S.04 BURNISHED SLATE GARAGE DOORS



BLD'G 2 WEST ELEVATION 2
SCALE: 3/16" = 1'-0" A3.12



BLD'G 2 EAST ELEVATION 3
SCALE: 3/16" = 1'-0" A3.12



BLD'G 2 SOUTH ELEVATION 4
SCALE: 3/16" = 1'-0" A3.12

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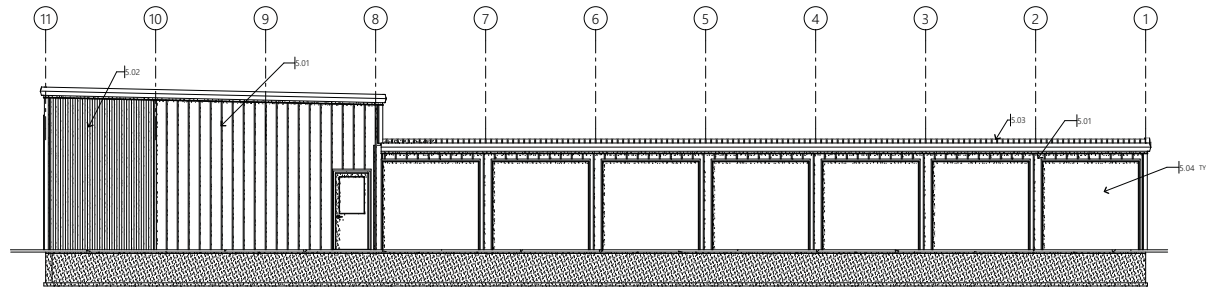
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BLD'G 2 ELEVATIONS

Stamp	Project No:
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Sheet No.	A3.12



BLD'G 3 NORTH ELEVATION

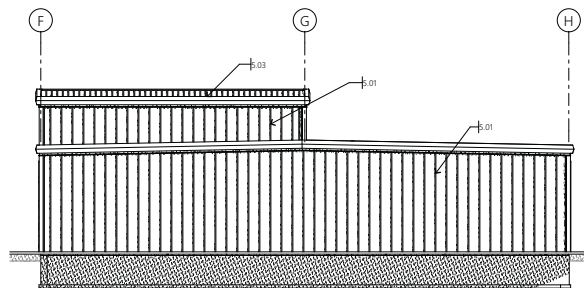
SCALE: 3/16" = 1'-0"

GENERAL NOTES:

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- C. REFERENCE THE CIVIL AND LANDSCAPE DRAWINGS FOR FINISH (T.O.C.) ELEVATIONS, EXTERIOR DETAILS, DIMENSIONS, FOR EXTERIOR CONCRETE, SIDEWALKS AND OTHER SITE AND

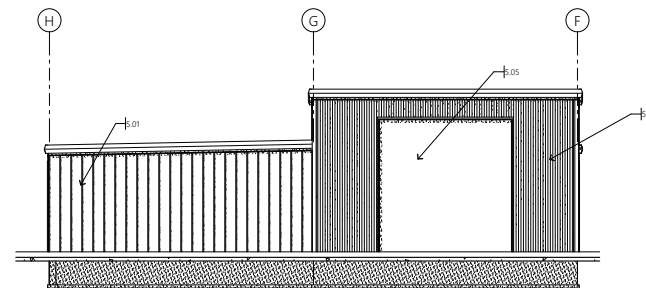
KEYED/REFERENCE NOTES:

- | | |
|------|---|
| S.01 | "PBR" PROFILE VERTICAL METAL SIDING PANELS;
CHARCOAL GRAY (VERIFY) |
| S.02 | "PBC" PROFILE VERTICAL CORRUGATED METAL SIDING
PANELS; BURNISHED SLATE |
| S.03 | "PBU" PROFILE ULTI-DEK METAL ROOFING PANELS;
BURNISHED SLATE |
| S.04 | BURNISHED SLATE GARAGE DOORS |
| S.05 | APPLE LIME COCKTAIL GARAGE DOORS |



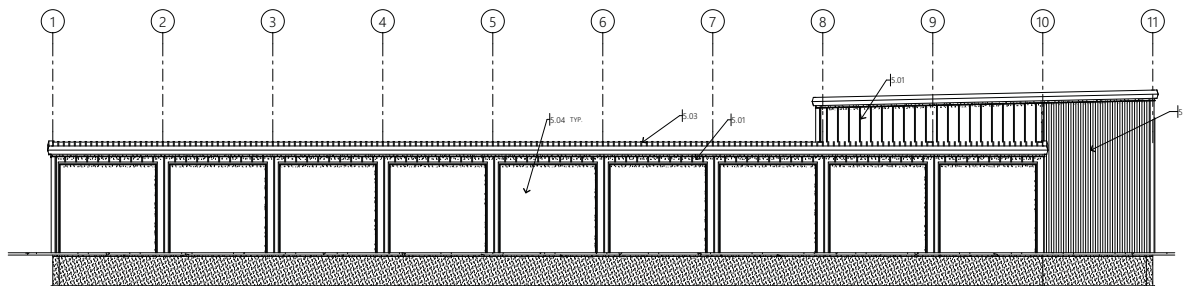
BLD'G 3 WEST ELEVATION

SCALE: 3/16" = 1'-0"



BLD'G 3 EAST ELEVATION

SCALE: 3/16" = 1'-0"



BLD'G 3 SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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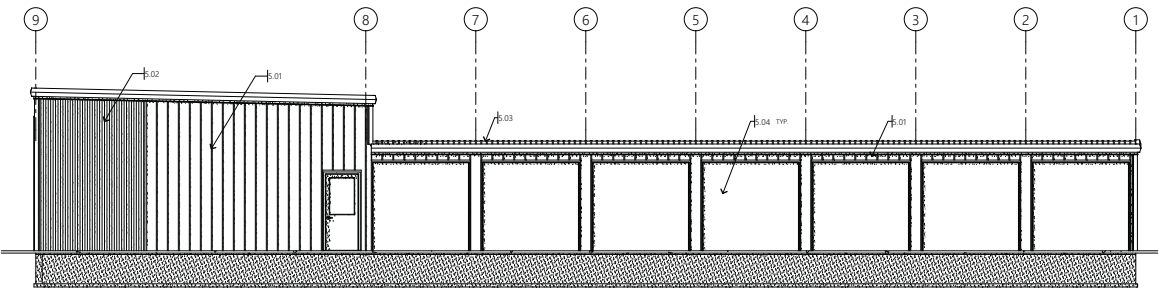
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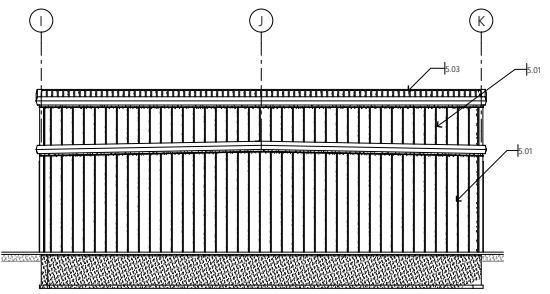
BLD'G 3 ELEVATIONS

Stamp	Project No.
	19-027
	Sheet No.

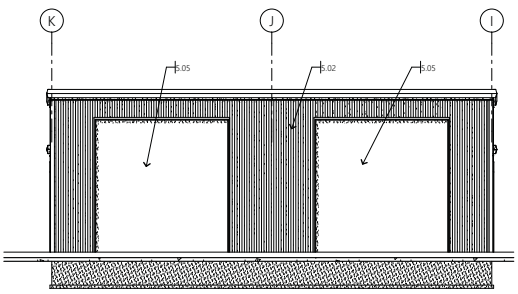
A3.13



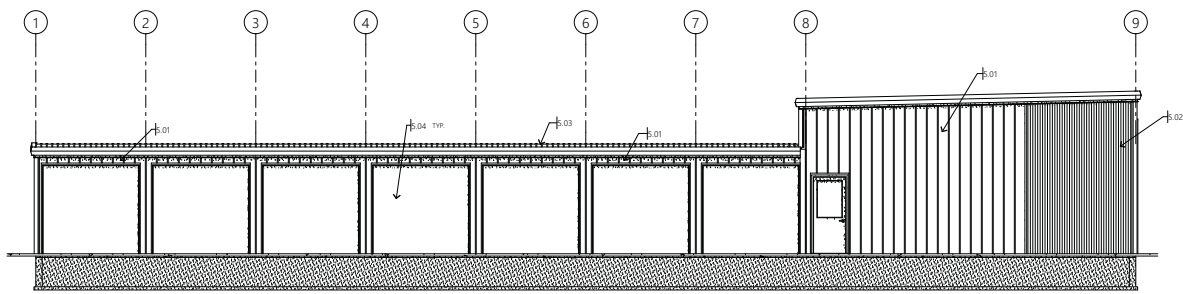
BLD'G 4 NORTH ELEVATION 1
SCALE: 3/16" = 1'-0" A3.14



BLD'G 4 WEST ELEVATION 2
SCALE: 3/16" = 1'-0" A3.14



BLD'G 4 EAST ELEVATION 3
SCALE: 3/16" = 1'-0" A3.14



BLD'G 4 SOUTH ELEVATION 4
SCALE: 3/16" = 1'-0" A3.14

GENERAL NOTES:

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KEYED/REFERENCE NOTES:

- S.01 "F80" PROFILE VERTICAL METAL SIDING PANELS, CHARCOAL GRAY (VEEVEY)
- S.02 "F80" PROFILE VERTICAL CORRUGATED METAL SIDING PANELS, BURNISHED SLATE
- S.03 "F80" PROFILE ULTI-DEK METAL ROOFING PANELS, BURNISHED SLATE
- S.04 BURNISHED SLATE GARAGE DOORS
- S.05 APPLE LIME COOKTAIL GARAGE DOORS

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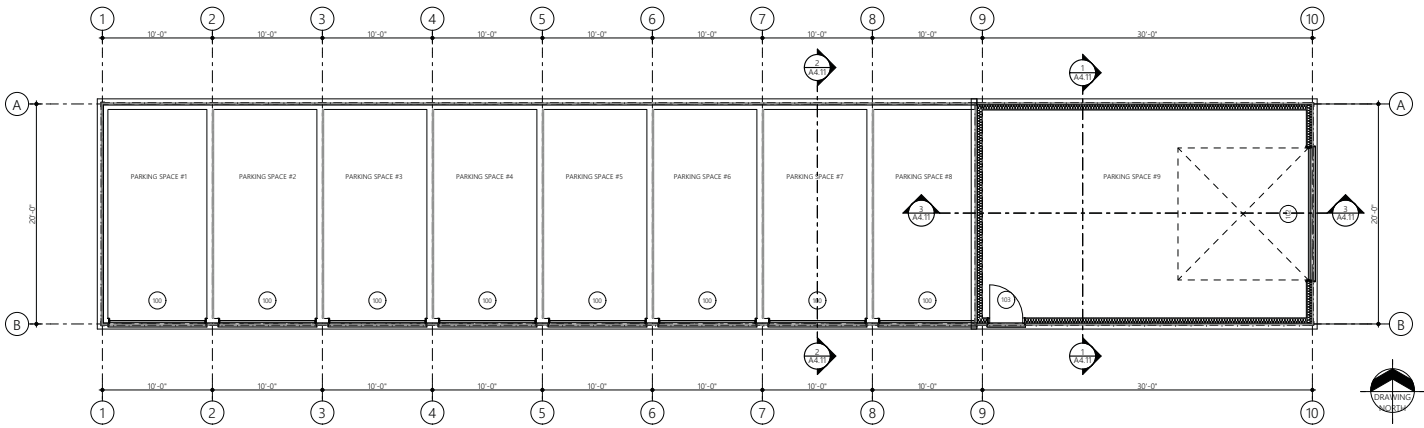
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BLD'G 4 ELEVATIONS

Stamp	Project No: 19-027
	Sheet No: A3.14



BLD'G 1 STORAGE UNIT COUNT:

(1)- 20' X 30'
(8)- 10' X 20'

TOTAL SQUARE FOOTAGE OF BLD'G 1:
2,200 SQ. FT.

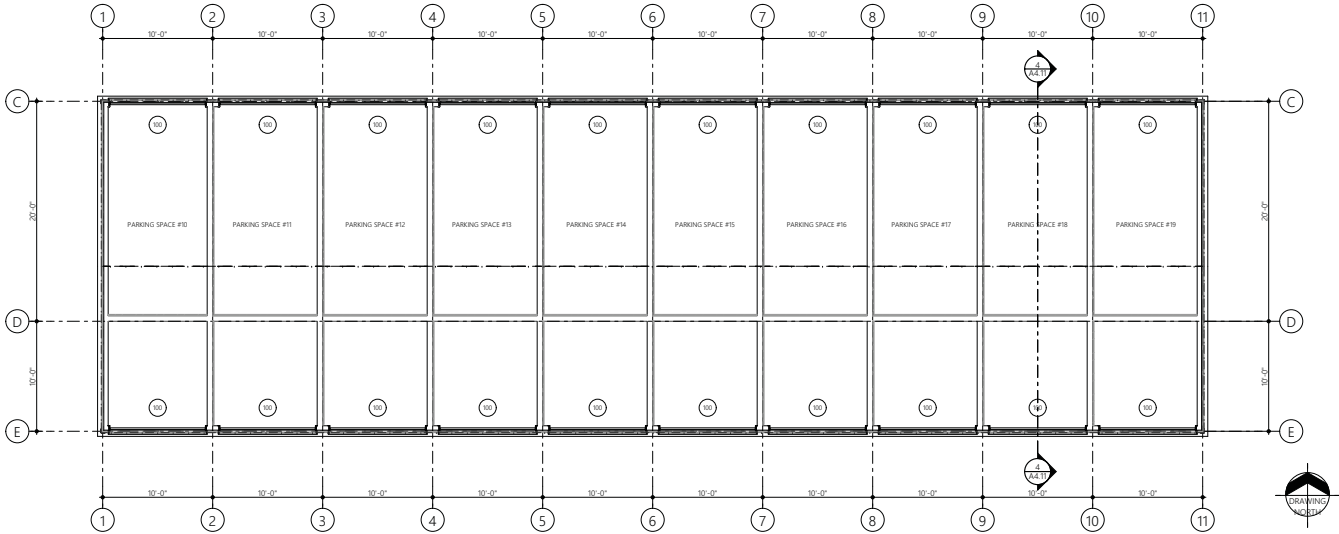
BUILDING OCCUPANCY:
GROUP S-1; SELF STORAGE UNITS

CONSTRUCTION TYPE:
TYPE V-B; NON-SPRINKLERED

BLD'G 1 FLOOR PLAN

SCALE: 3/16" = 1'-0"

1
A2.11



BLD'G 2 STORAGE UNIT COUNT:

(10)- 10' X 20'
(10)- 10' X 10'

TOTAL SQUARE FOOTAGE OF BLD'G 2:
3,000 SQ. FT.

BUILDING OCCUPANCY:
GROUP S-1; SELF STORAGE UNITS

CONSTRUCTION TYPE:
TYPE V-B; NON-SPRINKLERED

BLD'G 2 FLOOR PLAN

SCALE: 3/16" = 1'-0"

2
A2.11

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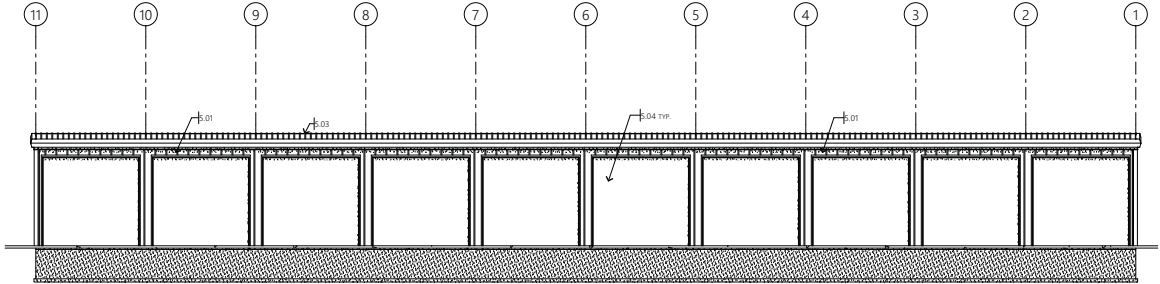
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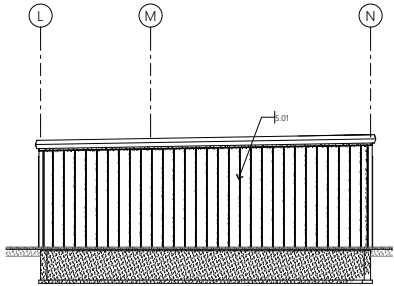
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BLD'G 1 & 2 FLOOR PLAN

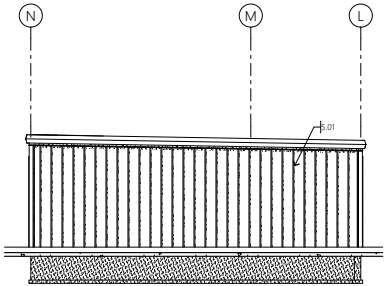
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	19-027
Sheet No.	A2.11



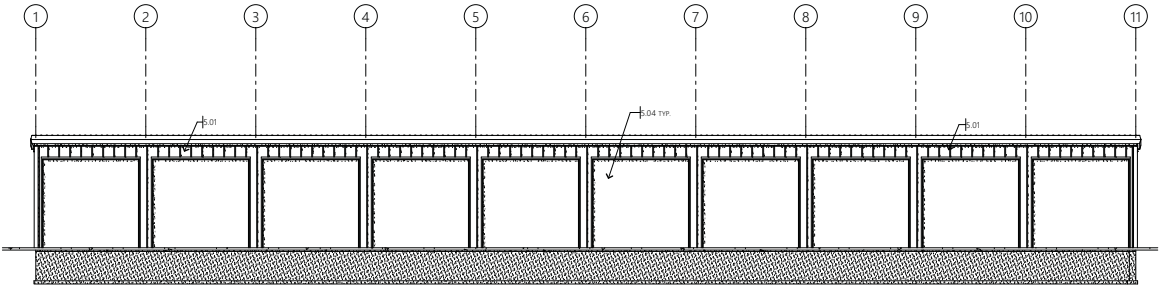
BLD'G 5 NORTH ELEVATION 1
SCALE: 3/16" = 1'-0" A3.15



BLD'G 5 WEST ELEVATION 2
SCALE: 3/16" = 1'-0" A3.15



BLD'G 5 EAST ELEVATION 3
SCALE: 3/16" = 1'-0" A3.15



BLD'G 5 SOUTH ELEVATION 4
SCALE: 3/16" = 1'-0" A3.15

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KEYED/REFERENCE NOTES:

- S.01 "FBI" PROFILE VERTICAL METAL SIDING PANELS, CHARCOAL GRAY (PERFECT)
- S.03 "FBI" PROFILE ULTI-DEK METAL ROOFING PANELS, BURNISHED SLATE
- S.04 BURNISHED SLATE GARAGE DOORS

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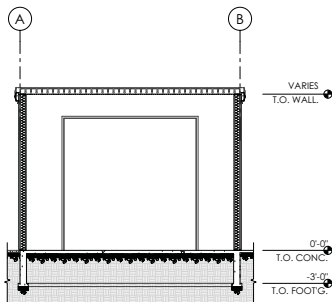
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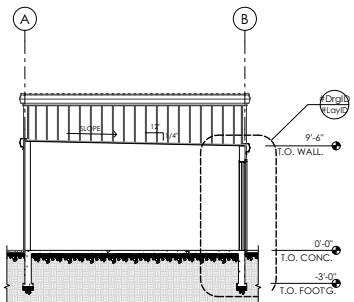
PIONEER STORAGE, LLC
PHASE II
1291 & 1311 CITATION WAY HAILEY IDAHO 83333

BLD'G 5 ELEVATIONS

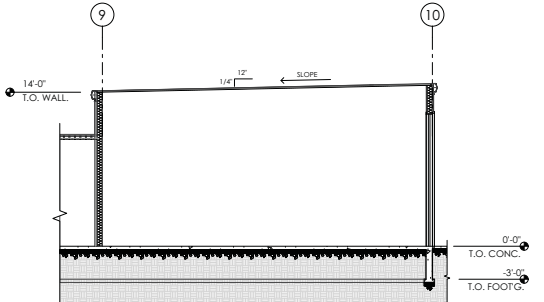
Stamp	Project No:
	19-027
	Sheet No.
	A3.15



BLD'G 1 HIGH ROOF CROSS SECTION 1
SCALE: 3/16" = 1'-0" A4.11

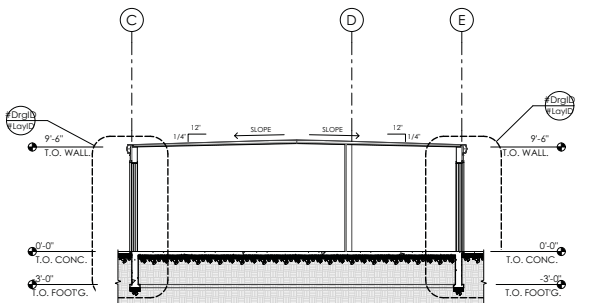


BLD'G 1 LOW ROOF CROSS SECTION 2
SCALE: 3/16" = 1'-0" A4.11

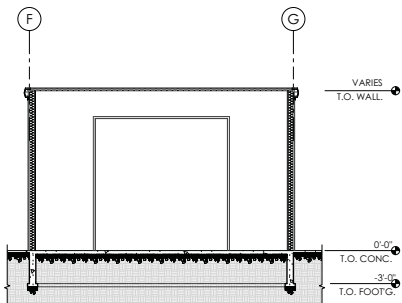


BLD'G 1 RV CROSS SECTION 3
SCALE: 3/16" = 1'-0" A4.11

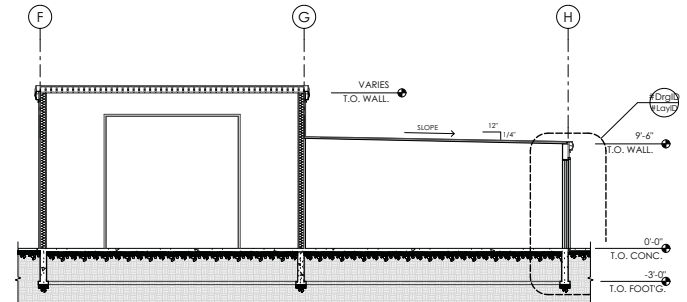
- GENERAL NOTES:**
- A. FOR SIZE AND CONNECTION DETAILS OF FRAMING COMPONENTS (BEAMS AND COLUMNS), JOISTS AND GIRDERS, DECKING AND OTHER SECTIONS, REFERENCE THE STRUCTURAL DRAWINGS.
 - B. FOR REINFORCING OF CONCRETE SLAB, FOOTINGS AND FOUNDATIONS, COORDINATE WITH THE STRUCTURAL DRAWINGS.
 - C. PROVIDE / ISOLATE DISSIMILAR MATERIALS.
 - D. FOR DOOR TYPES, COORDINATE WITH THE FLOOR PLAN SHEETS A2.11, A2.12 & A2.13.
 - F. ALL EXPOSED TO EXTERIOR VIEW STEEL TO BE PRE-PAINTED AT THE FACTORY UNLESS NOTED OTHERWISE.
 - G. REFERENCE THE FLOOR PLANS SHEETS A2.11 AND ASSEMBLY SHEET A5.01 FOR WALL TYPES.
 - H. PROVIDE UNDERSLAB VAPOR RETARDER BENEATH ALL SLAB-ON-GRADE CONCRETE FLOORS.
 - I. REFERENCE THE BUILDING ELEVATIONS FOR LOCATION OF MATERIAL COLORS AND TYPES.
 - J. REFERENCE SHEET A2.21 FOR ROOF ASSEMBLIES.
 - K. REFERENCE SHEET A5.01 FOR WALL ASSEMBLIES.



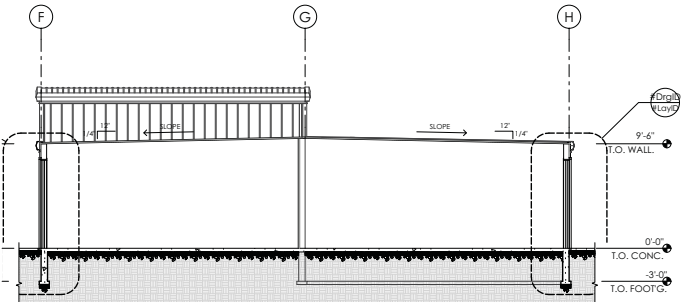
BLD'G 2 CROSS SECTION 4
SCALE: 3/16" = 1'-0" A4.11



BLD'G 3 HIGH ROOF CROSS SECTION 5
SCALE: 3/16" = 1'-0" A4.11



BLD'G 3 CROSS SECTION 6
SCALE: 3/16" = 1'-0" A4.11



BLD'G 3 LOW ROOF CROSS SECTION 7
SCALE: 3/16" = 1'-0" A4.11

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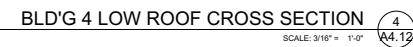
Issue Date:		Issue Date	
Drawn By:		AKB	
Checked By:		AKB	
REVISION	BY	CHD	Issue Name

PIONEER STORAGE, LLC
PHASE II
1291 & 1311 CITATION WAY HALEY
IDAHO 83333

BUILDING SECTIONS

Stamp	Project No.
	19-027
	Sheet No.
	A4.11

- A. FOR SIZE AND CONNECTION DETAILS OF FRAMING COMPONENTS (BEAMS AND COLUMNS), JOISTS AND GIRDERS, DECKING AND OTHER SECTIONS, REFERENCE THE STRUCTURAL DRAWINGS.
- B. FOR REINFORCING OF CONCRETE SLABS, FOOTINGS AND FOUNDATIONS, COORDINATE WITH THE STRUCTURAL DRAWINGS.
- C. PROTECT / ISOLATE DOWSILL MATERIALS.
- D. FOR DOOR TYPES, COORDINATE WITH THE FLOOR PLAN SHEETS A2.11, A2.12 & A2.13.
- F. ALL EXPOSED-TO-EXTERIOR VIEW STEEL TO BE PRF-PAINTED AT THE FACTORY. UNLESS NOTED OTHERWISE.
- G. REFERENCE THE FLOOR PLAN SHEETS A2.11 AND ASSEMBLIES A2.11 FOR FLOOR WALL TYPES.
- H. PROVIDE UNDERSLAB VAPOR BARRIER BENEATH ALL SLAB-ON-GRADE CONCRETE FLOORS.
- I. REFERENCE THE BUILDING ELEVATIONS FOR LOCATION OF MATERIAL, COLORS AND FINES.
- J. REFERENCE SHEET A2.01 FOR ROOF ASSEMBLIES.
- K. REFERENCE SHEET A2.01 FOR WALL ASSEMBLIES.



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[illegible]

BUILDING SECTIONS

Stamp	Project No. 19-027
	Sheet No. A4.12



CALCULATION SUMMARY					
LABEL	CALC. TYPE	UNITS	AVG	MAX	MIN
PARKING LOT	ILLUMINANCE	FC	.12	10.9	0.1

SP-1



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akbick@gmail.com
208.726.8608 phone

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Drawn By:	AKB
Checked By:	AKB
Revision:	CHD
Issue Name:	
Date:	

PIONEER STORAGE, LLC
PHASE II
1291 & 1311 CITATION WAY HAILEY IDAHO 83333

LANDSCAPE PLAN

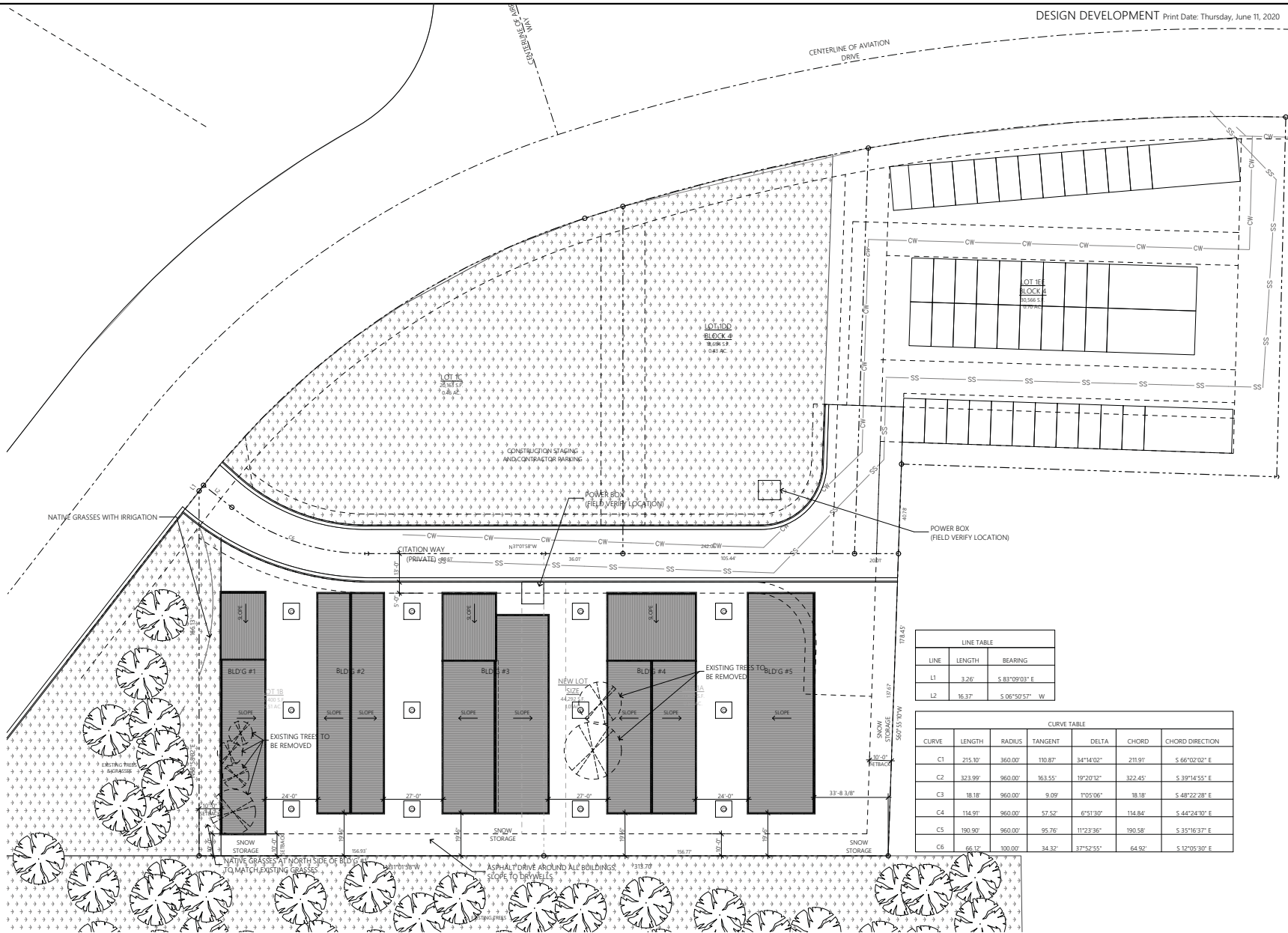
Stamp: Project No: 19-027
Sheet No:

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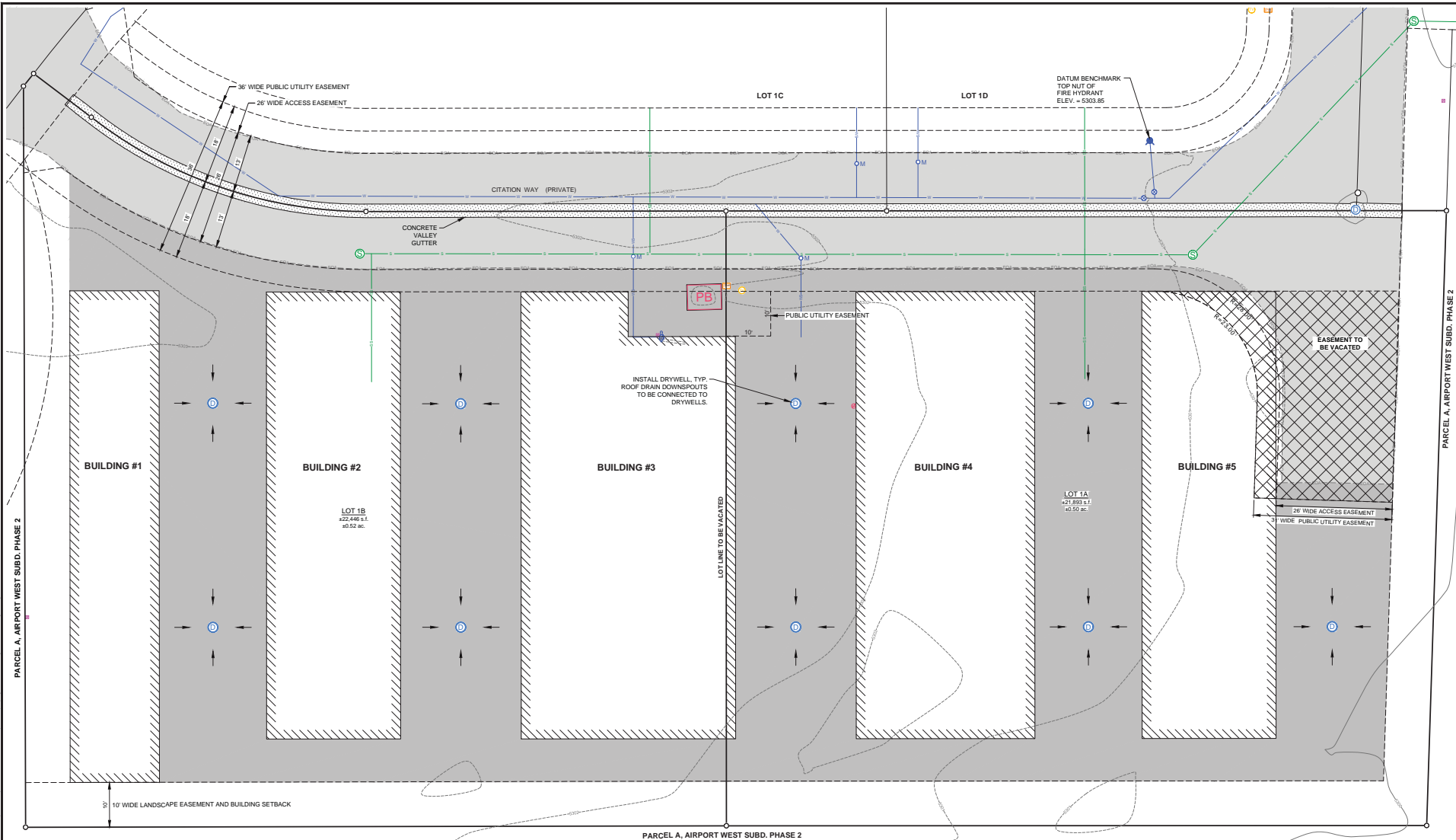
LANDSCAPE PLAN

SCALE: 1" = 20'

1
L1.0



REUSE OF DRAWINGS: These drawings are not to be used for any other project without the written consent of the engineer. The engineer is not responsible for any errors or omissions in these drawings.



LEGEND

EXISTING ITEMS	PROPOSED ITEMS
Property Line	FD 12" = Found 12" Retain
Adjoiner's Lot Line	FD 8" = Found 8" Retain
Conveyance	TVBOX = Cable Television Rise
Easement Line as Shown per Plat	PHBOX = Telephone Rise
Asphalt	PHBOX = Power Box
Concrete Sidewalk	Electrical Fuse Box
Concrete Valley Gutter	PMTR = Power Meter
1" Contour Interval	WMTR = Water Meter
5" Contour Interval	FH = Fire Hydrant
Water Main	DWELL = Driveway
Water Service	SMH = Sewer Manhole
Sewer Main	VB = Irrigation Box
Sewer Service	Sign
Flow Line	DT = Deciduous Tree
	Gate Post

NOTES

- THE ONLY UTILITY INFRASTRUCTURE TO BE REQUIRED FOR CONSTRUCTION OF THIS PROJECT ARE THE DRYWELLS SHOWN HEREON.
- EXISTING UTILITY INFRASTRUCTURE WILL BE REMOVED / RELOCATED AS NECESSARY DURING CONSTRUCTION.

PARCEL A, AIRPORT WEST SUBD. PHASE 2

10' WIDE LANDSCAPE EASEMENT AND BUILDING SETBACK

LOT 1B
±22,446 s.f.
±0.52 ac.

LOT 1C

LOT 1D

LOT 1A
±21,885 s.f.
±0.50 ac.

LOT LINE TO BE VACATED

36' WIDE PUBLIC UTILITY EASEMENT

26' WIDE ACCESS EASEMENT

CONCRETE VALLEY GUTTER

CITATION WAY (PRIVATE)

DATUM BENCHMARK
TOP NUT OF
FIRE HYDRANT
ELEV. = 5303.85

26' WIDE ACCESS EASEMENT

3' WIDE PUBLIC UTILITY EASEMENT

10' WIDE LANDSCAPE EASEMENT AND BUILDING SETBACK

PARCEL A, AIRPORT WEST SUBD. PHASE 2

DESIGNED BY
FDM

DRAWN BY
SMF

CHECKED BY

GALENA
ENGINEERING, INC.

317 N. River Street
Des Moines, IA 50313
(515) 281-7051
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR PERMIT

NO. DATE BY

REVISIONS

C1.0

A UTILITY PLAN FOR
LOTS 1A & 1B, BK 4, AIRPORT WEST SUBD. PHASE II

LOCATED WITHIN THE NW1/4 OF SECTION 15, T2 N., R18 E., BM. CITY OF HALEY BLAINE COUNTY, IDAHO

PROJECT PREPARATION
PROJECT PREPARED FOR GARDNER CONSTRUCTION
PROJECT PREPARED BY
PROJECT PREPARED DATE: 08/17/2018 10:03:07 AM

DESIGNED BY
FDM

DRAWN BY
SMF

CHECKED BY

GALENA
ENGINEERING, INC.

317 N. River Street
Des Moines, IA 50313
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email: galena@galena-engineering.com

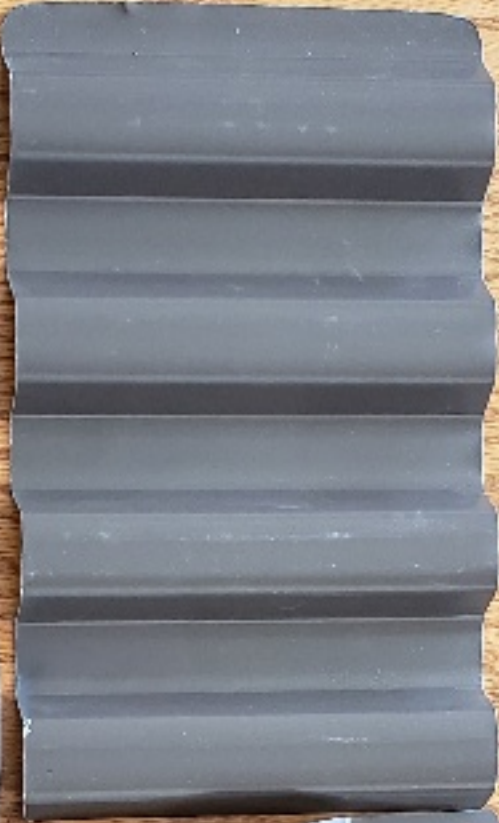
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EXHIBIT



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