

AGENDA
Hailey Planning and Zoning Commission
Tuesday, June 20, 2023
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

*****NEW*****

THIS MEETING WILL BE AVAILABLE VIRTUALLY VIA MICROSOFT TEAMS.

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Phone Conference ID: 602 369 677#

Call to Order

- Public Comment for items not on the Agenda.

Consent Agenda

- [CA 1](#) Adoption of Meeting Minutes dated June 5, 2023. **ACTION ITEM.**

Public Hearing

- [PH 1](#) Continuation of a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 16: Subdivision Regulations, Chapters 16.01, Definitions, 16.04, Development Standards and 16.08, Townhouses and Title 17: Zoning Regulations, Chapters 17.02, Definitions; 17.05, Official Zoning Map and District Use Matrix; 17.06, Design Review and 17.09 Parking and Loading Spaces to modify/create definitions and standards for detached townhouse and cottage housing development. **ACTION ITEM**
- [PH 2](#) Consideration of a Design Review Application submitted by Edward Stacy Ivie for the construction of a new garage with an upper-level, two (2) bedroom accessory dwelling unit of 894 square feet, to be located at 214 W Croy Street (Lot 7A, Block 4, Croy Addition) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts **ACTION ITEM**

Staff Reports and Discussion

- [SR 1](#) Discussion of current building activity, upcoming projects, and zoning code changes. *(To be presented as time permits)*
- [SR 2](#) Discussion of the next Planning and Zoning Meeting: **July 24, 2023 starts at 5:30 PM**
 - DR: Holt
 - DR: ARCH BCSD Croy
 - Hillside Overlay Trails

Return to Agenda

Meeting Minutes
Hailey Planning and Zoning Commission
Monday, June 5, 2023
5:30 p.m.

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From your computer, tablet, or smartphone: <https://meet.goto.com/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Present

Commission: Janet Fugate, Dan Smith, Owen Scanlon, Sage Sauerbrey, Dustin Stone

Staff: Robyn Davis, Cece Osborn, Emily Rodrigue, Jessie Parker, Christian Ervin, Chris Simms

5:30:15 PM Call to Order

- Public Comment for items not on the Agenda. No comment.

5:31:12 PM Kris Wirth, 521 Aspen Drive, notice and article for this meeting came up on the IME an 1.5 ago. In open transparency asks that meetings being noticed well in advance.

Davis explained noticing of public hearings.

5:32:41 PM Consent Agenda

- **CA 1** Adoption of Meeting Minutes dated May 15, 2023. **ACTION ITEM.**
- **CA 2** Adoption of Findings of Fact, Conclusion of Law of a Design Review Application submitted by the City of Hailey for a new 4,820 square feet mixed-use building consisting of two (2), one (1)-bedroom units above office and industrial space for the Hailey Water Division located at 4297 Glenbrook Drive (Lot 17 and 18, Parcel K, Sewer Plant, Block 42, Woodside Subdivision No. 10) within the Light Industrial (LI) Zoning District. **ACTION ITEM**

Stone abstained.

5:33:04 PM Sauerbrey motion to approve CA 1 and CA 2. Scanlon seconded. Stone abstained, remaining in favor.

Public Hearing

- [5:33:28 PM PH 1](#) Consideration of a Design Review Application submitted by the Blaine County School District and ARCH Community Housing for a new, two (2) bedroom single-family residence of 1,195 square feet, , and a one (1) bedroom accessory dwelling unit (ADU) of 573 square feet to be located at 111 East Croy Street (Lots W 45' of 9, and 10-12, Block 34, Hailey Townsite) within the Transitional (T) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM**

[5:33:55 PM](#) Rodrigue introduced and summarized project. Rodrigue turned floor over to applicant team.

[5:35:25 PM](#) Michelle Griffith, ARCH Community House Trust, introduced her applicant team. Griffith summarized that this is a continuation of their partnership with Blaine County School District. Griffith summarized funds for this project and others with BCSD. Griffith noted that they have had several conversations with adjacent neighbors. Griffith turned floor over to Sam Stahlnecker.

[5:37:36 PM](#) Sam Stahlnecker, Opal Engineering, explained project location. Stahlnecker explained that believes will complement existing neighborhood that will be honoring existing easement, addressed utilities proposed. Stahlnecker noted snow storage area. Stahlnecker confirmed will identify ADU space in building permit submittal. Stahlnecker asked for feedback from the commission.

[5:39:50 PM](#) Scanlon asked about the driveways being nonstandard. Rodrigue explained it was a comment from Streets Departments and does not have further detail. Scanlon asked what the distance is between the back external parking space and the overflow snow storage, if it will be a usable parking space. Stahlnecker stated there are only 3 spaces and that snow may need to be hauled. Scanlon asked about 900 sq ft easement being used for outdoor space for tenants. Stahlnecker explained intent for outdoor space on back of structure that they do not intend on counting on the easement. Scanlon stated that is all his questions and has comments for later on.

[5:42:48 PM](#) Stone asked for clarification on square foot lot coverage of the building. Griffith does not have dimensions for building, but that it sounds like one number is total square footage of the parcel. Smith confirmed good. Stone asked if had resolved concerns with easement. Stahlnecker confirmed working on relocating utilities. Griffith stated unclear if power will be under ground that they will ensure that power is not disrupted to the neighbors but it is unclear as Idaho Power is still designing. Davis confirmed staff would prefer underground.

[5:46:18 PM](#) No questions from Smith.

[5:46:25 PM](#) Sauerbrey asked if the lease terms are the same as the Bullion properties. Griffith confirmed. Sauerbrey asked if money fund raised is for both these projects. Griffith confirmed. Sauerbrey asked if there are additional projects. Griffith noted one additional on Mckercher that is not designed yet.

[5:47:30 PM](#) Chair Fugate asked if trash storage and pick up area has been delineated. Griffith confirmed will be curbside. Chair Fugate asked if they can walk them through the utilities and easements. Stahlnecker noted existing easement on north side of property, and existing utilities including water, sewer, and power. Stahlnecker confirmed trying to work through process that neighboring property utilities go through the easement. Stahlnecker stated working on utilities for proposed building. Fugate asked about parking. Stahlnecker noted proposed parking spaces.

[5:50:50 PM](#) Stone asked where the external recreation area that was discussed. Stahlnecker confirmed will coordinate with Michelle on outdoor space. Stone asked if they have any concern about having it only being rented by BCSD employees. Griffith explained terms are exactly the same as the Bullion property. Griffith summarized terms of agreement with BCSD and ARCH.

[5:53:20 PM](#) Jim Foudy, Super Intendent of BCSD, stated it is rare for employees to leave during the school year and why. Stone asked if have any concern in keeping these units full. Foudy stated no concerns.

[5:54:42 PM](#) Sauerbrey asked if time frame for potential empty space would be June through August. Foudy confirmed. Sauerbrey asked if short term could be reworded for short term employees. Foudy stated if find themselves where looking at empty units can look at all options.

[5:56:05 PM](#) Scanlon asked if it's just for teachers. Foudy confirmed it's for all staff, summarizing process of how tenants are selected.

[5:56:54 PM](#) Chair Fugate asked to see the elevations. Stahlnecker provided elevation plans. Chair Fugate has concerns with design in Townsite Overlay, stating it looks out of place. Griffith explained reasoning for design.

[5:58:56 PM](#) Scanlon appreciates the thought given on design. Scanlon commented on long roof slope over front door – one door gutter is not going to handle all the water, suggesting a gable to divert water to sides. Scanlon thinks there should be a window in the laundry room of the ADU. Scanlon suggested changes to the elevations and he would like to see something done to lower the scale of the building.

[6:01:18 PM](#) Chair Fugate does think it should still look more home like. Scanlon stated use of building materials used in residential building. Scanlon believes more thought could be put in to how the building functions.

[6:02:26 PM](#) Chair Fugate opened public comment.

[6:02:46 PM](#) Robert Lonning, N 3rd, just want to make sure and think its in the best interest of the district as well, realize right now cheapest option is gas but when gas is no longer available hoping these structures will at least be prewired for possible electric utilities at some time down the road. .

[6:03:38 PM](#) Matt Douglas, 115 N 2nd Ave, concern is he is in middle of the alley way and access where the alley way and sent several photos in for the commission. He commonly find himself

blocked entering/exit his house. His concern would be to ensure these residents have the ability to enter leave their house. He did make a recommendation to post no parking signs for both customers and delivery. Atkinsons has a delivery bay they need to utilize. He commonly finds himself with the inability to get in or out of his house. Which conflicts with snow parking, not allowed to park on 2nd Ave during evenings for snow removal. Other concerns have is snow removal and parking for Atkinsons employees, to ensure there is proper snow removal plans for residences and like to ensure these residents don't face complications that he has with accessing and departing their future residence. His wife is a teacher and fully supports it and understands what BCSD is going through does not want them to find them in a place trying to figure out how to get it. These future employees will need to depart and wants to ensure City understands that concern. Scanlon and Douglas discussed his parking issues that he deals with.

[6:08:10 PM](#) Laura Camplin, 123 2nd Ave S, currently an affordable option for her 80 yr old mother to live at. Camplin introduced herself and gave brief history of her family and the lot history. Camplin stated requesting a reasonable amount of time for them to sort out utilities and come to an agreement with power water and sewer. Does have concern with way roof is slanted and snow is going to go next to their garage, would like to see adjustment so all the snow does not come towards their garage. Would like to work with ARCH housing to see about removing existing tree on easement. There is other infrastructure on the easement and it's possibly an opportunity for them all to work together to clear it up. With regards to the city and parking, we also encounter with the same issues. People park, blocking their garage, if there were a medical emergency her mom or husband would not be able to get out. So asking that the city install signage. Camplin pointed out areas that people park. Last request, when the curb and gutter was pulled in can no longer park on adjacent lot.

[6:12:37 PM](#) Kris Wirth, 521 Aspen Drive, not familiar with the project but sounds like a fire lane may be appropriate in the alley.

[6:13:17 PM](#) Chair Fugate closed public comment.

[6:13:38 PM](#) Griffith addressed concerns from public comment – parking, snow storage, and invalid uses of alley. Griffith confirmed happy to installs now clips and that will not be doing heat tape. Griffith noted adding gables is the culprit causing snow damage. Griffith asked that they consider the efficiency of this design before start adding gables and changing this roof line.

[6:16:26 PM](#) Chair Fugate asked what the time frame is that they think can clarify the utilities. Griffith believes sewer and water are clear now, and that Idaho power is in the process of working through theirs now. Griffith hopes the commission does not continue this subject to hearing from Idaho Power. Chair Fugate expressed concern of neighbors having enough time. Griffith explained that they have to ensure the neighbors power is not interrupted even though their power line crosses their property. Stahlnecker noted engineering and building permit process is still needed and believes neighbor is asking for time to scope where their utilities are to ensure they are not dug up during construction. Griffith stated hoping to begin excavation this season. Griffith explained it is important to get a building permit in as it's not a quick as like. Stahlnecker believes building permit time is 4-6 weeks.

[6:21:12 PM](#) Neighbor explained needs time to discuss and understand and digest utilities, that dependent on Idaho Power. Neighbor is also concerned about gas line. Neighbor explained unsure of time that they will need as they are dependent on others time lines.

[6:22:50 PM](#) Griffith explained they are responsible for configuration with power and that Idaho Power is in charge of that design. Griffith explained they have to deliver design that Idaho Power comes up.

[6:24:16 PM](#) Chair Fugate asked Griffith if willing to remove existing tree in the easement as requested. Griffith confirmed.

[6:24:47 PM](#) Chair Fugate stated understands Lori's (neighbors) concern and explained that not able to hold this project up for this.

[6:25:20 PM](#) Lori stated all she is asking for is that they understand and come to a mutual agreement with power.

[6:26:03 PM](#) Chair Fugate asked if using gas. Griffith confirmed using gas for heating and stove and that does need electric. Chair Fugate confirmed will locate gas lines. Chair Fugate asked if pre-wiring for solar. Stahlnecker believes Griffith installs conduit. Stahlnecker noted Idaho Power also reaches out to communication companies.

[6:27:26 PM](#) Davis understands the neighbors concern. Davis explained requirements if choose to remove the tree and that if BCSD chooses they can retain the tree. Davis explained easement requirements.

[6:28:36 PM](#) Smith asked if this is an access or utilities easement. Davis confirmed both.

[6:28:54 PM](#) Chair Fugate asked Griffith if she would be willing to discuss with Atkinsons regarding alley use. Griffith confirmed she would be happy to.

[6:29:47 PM](#) Scanlon understands Griffith's concern with amending slope of roof, really encourages them to consider how people are going walk across the icy patch. Scanlon believes addition of windows in laundry room of adu and on garage side. Scanlon asked if wall sconces are dark sky compliant. Griffith confirmed. Davis confirmed and explained that staff looks at the lumen.

[6:32:10 PM](#) Stone feels like need to know more on Streets Departments comments regarding access from alley. Rodrigue confirmed this will be made clear in Findings as person who made comment is unavailable. Stahlnecker confirmed did receive and explained her understanding of the concern. Stahlnecker confirmed will work with staff to address. Stone suggested condition of approval to address this. Stone described existing structures surrounding and how feels need to adjust proposed building to be a better fit. Stone would like to see this built. Stone asked where proposed trees are going to be located. Griffith noted four in front and 2 towards the rear of the property.

[6:38:50 PM](#) Smith understands intent of building and would like to see this building built. Smith referenced sections City Ordinances in Townsite and, Design Review. Smith also noted existing iconic structures near this proposed area. Smith explained why and how he does not find how this proposed design does not fit within this area. Smith explained his concerns of the design and where believes the design lacks. Smith believes there is some tune up that needs to happen, thinks some additions of windows, fenestration, and gabling. Smith stated it would have been nice to have had a color rendition. Smith requested this on the next go. Smith understands neighbors' concerns. Smith suggested making sure neighbor has had time to locate their utilities. Smith supports the idea of housing for the school district, unfortunately given what he read and his personal believe this does not fit with the intent for what is expected for a building in this location.

[6:47:03 PM](#) Sauerbrey agrees with Smiths comments, would love to see this built. Sauerbrey appreciates that the applicants are taking charge in providing housing for employees. Sauerbrey asked if can make pre-wiring for solar a condition. Chair Fugate noted this is the plans. Sauerbrey thanked applicant for spear heading parking issues. Sauerbrey noted design aspect has been covered. Sauerbrey suggested if that go with gable design in front of property, that essentially diverting water to parking stall. Sauerbrey believes there is a way to mitigate this issue.

[6:49:54 PM](#) Chair Fugate stated when first looked at this application, it did not seem compatible and thinks need to see something different with the design that is more compatible with surrounding historic buildings. Chair Fugate understands there are budget constraints, and would like to see this built but does think it needs ot look different.

[6:52:39 PM](#) Commission discussed option of having a additional hearing so concerns can be addressed. Commission and Staff discussed dates to continue, staff recommending July 17th.

[6:55:47 PM](#) Chair Fugate confirmed Stahlnecker understood requested items.

[6:56:59 PM](#) Scanlon suggested making even feet and inches and not wasting space.

[6:57:29 PM](#) **Stone motion to continue the public hearing to July 17, 2023. Smith seconded. All in Favor.**

[6:58:00 PM](#) Chair Fugate asked Griffith in had questions on what asking. Griffith confirmed clear.

- [6:58:42 PM PH 2](#) Consideration of a Design Review Application submitted by Lyn Holt for construction of a new 1,344 square foot garage in conjunction with a two (2) bedroom accessory dwelling unit above, to be located at 519 South River Street (Lots S 23' of 9, all of 10, Block 10, 20 ft. adj. vacated Chestnut St., Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. **Continue on record to June 20, 2023 ACTION ITEM**

[6:58:46 PM](#) **Smith motion to continue to June 20, 2023. Scanlon seconded. All in Favor.**

[6:59:08 PM](#) Chair Fugate called 5-minute break.

[7:07:16 PM](#) Chair Fugate called meeting back to order.

- [7:07:19 PM PH 3](#) Consideration of a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 17: Zoning Regulations, Chapters 17.05.040 District Use Matrix, as well as Chapter 17.04.010 Articles A, F, and H, to allow for employee housing by way of Accessory Dwelling Units in the Light Industrial (LI), Technological Industry (TI), and Recreational Green Belt (RGB) Zoning Districts. **ACTION ITEM**

[7:07:51 PM](#) Osborn stated staff intends to have this continued and staff is looking for feedback. Osborn explained reasoning bring this amendment to them and introduced proposed amendment. Osborn summarized proposed criteria for the zones. Osborn explained that staff has had City Attorney review the proposed amendment and does not find it violating the Fair Housing Act. Osborn stated in works with discussing with external agencies to determine deed restriction options.

[7:12:45 PM](#) Stone asked if anyone has built in the greenbelt zone. Staff confirmed yes, but nothing residential. Stone stated it makes sense to allow ADUs in industrial areas, but can see only allowing employees potentially becoming a problem. Stone expressed concern of unit being vacant.

[7:15:25 PM](#) Chair Fugate asked what the enforcement would be. Davis noted this allowed in the SCI SO and SCI I districts and in speaking with a property manager it has been difficult to enforce.

[7:16:35 PM](#) Stone asked what if there is a person that owns a piece of land in that district with no building, can this still have an ADU. Davis stated no, only exception would be RGB.

[7:17:54 PM](#) Chair Fugate is concerned about the RGB, feels it would almost have to be a City employee. Osborn confirmed it would be an employee of the agency that owns the RGB. Chair Fugate stated it makes sense in the industrial. Chair Fugate suggested potential option for fine if it is not compliant. Davis summarized staff enforcement options.

[7:20:59 PM](#) Stone asked if really want that restriction, does not think it would be bad if even each building had one.

[7:22:01 PM](#) Sauerbrey believes employers in the valley are desperate for work force and will fill them. Sauerbrey does not believe this will always be the case, and suggested have a stipulation to address when time shift.

[7:23:25 PM](#) Chair Fugate believes all of their concern is when if times shift. Chair Fugate asked for ball park of how many ADUs could be in the industrial district. Staff will get an estimate.

[7:24:32 PM](#) Osborn suggested live work unit, restricting type of unit not occupant. Chair Fugate stated that is how businesses used to work.

[7:25:27 PM](#) Smith expressed safety concern of children living in LI district. Smith stated the idea of employees or people 18 and over in the LI district does not have a problem with that but has concern of families with children in LI district.

[7:27:25 PM](#) Chair Fugate noted park requirement for residential area for safe area for children.

[7:28:04 PM](#) Smith has concerns about opening LI up to families with young children. Smith does not have an idea of how could control or enforce. Smith wants to see housing but has concern of children in that area. Smith stated if could do something about employee only or 18 plus.

[7:29:29 PM](#) Stone does not think a child in no more danger in LI then at location facing Main Street. Stone believes safety concerns are universal and mom and dad need to address no matter where you live. Stone does think pushing people into potential hazardous and no park space zones. Chair Fugate agrees.

[7:32:32 PM](#) Scanlon discussed other residential zone requirements. Scanlon's other question is if works for company and fired does that mean he has to move out of his home. Scanlon thinks to need to consider this.

[7:33:35 PM](#) Smith noted in RGB and LI temporary structures are conditional use, reading code aloud. Osborn noted the code updates.

[7:35:31 PM](#) Commission and staff continued to discuss safety, unintended consequences, outdoor space and potential benefits of the proposed amendment.

[7:47:57 PM](#) Sauerbrey asked how long the SCI zone has allowed live work. Davis estimates 15 years and has not see children playing in those districts when she is down there. Commission continued to discuss safety. Davis summarized commission luke warm on idea in LI.

[7:50:16 PM](#) Davis stated proposing this amendment in TI as well. Commission discussed this area noting closer to residential areas, Skate Park, and church. Davis noted fairly receptive of TI.

[7:53:55 PM](#) Chair Fugate opened public comment.

[7:54:13 PM](#) Kris Wirth, 521 Aspen Drive, finds this conversation very interesting. Feels like they are trying to reinvent wheel of housing and rather than battling square wheels, destroying our parks and creating industrial ghettos maybe consider traditional trailer parks for people that need housing. Stating much more suitable for families then tiny homes on wheels.

[7:55:10 PM](#)

[7:56:02 PM](#) Chair Fugate closed public comment.

[7:56:17 PM](#) Scanlon stated obviously in LI going up is only option, and can run into issues with FAA. Scanlon stated his initial reaction is to leave the open green space as much as they can.

Chair Fugate stated that was her first reaction too. Chair Fugate stated she would talk about it more but it would need to be more specific.

[7:59:26 PM](#) Stone stated it seems a few spaces of this land is exorbitant. Stone asked if goal is for City Employees, could they look at a select space to put employees on? Osborn explained proposed language is per use. Chair Fugate noted the more people more park space is critical. Discussion continued regarding amendment to RGB and potential of using existing structures.

[8:08:16 PM](#) Osborn noted hearing clear feedback on RGB parcels with conditional use permits. Osborn verified direction commission suggesting. Commission stated if using existing building footprint not losing area and under CUP process there would be a review process and allow for public comment.

[8:12:19 PM](#) Commission and staff discussed when to continue or to table the project. All agreed to table and will renotice for a future meeting.

Staff Reports and Discussion

- [SR 1](#) Discussion of current building activity, upcoming projects, and zoning code changes. *(To be presented as time permits)*
- [SR 2](#) Discussion of the next Planning and Zoning Meeting: **June 20, 2023 starts at 5:30 PM**
 - TA: Cottage Lots
 - DR: Holt Garage/ADU
 - DR: Ivie Garage/ADU

Staff summarized upcoming projects.

[8:15:53 PM](#) **Smith motioned to adjourn. Stone seconded. All in Favor.**

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of June 20, 2023

To: Hailey Planning and Zoning Commission

From: Rebecca F. Bundy, Community Development Contract Planner

Overview: Consideration of a City-Initiated Text Amendment to amend the Hailey Municipal Code, Title 16: Subdivision Regulations; Chapters 16.01: Definitions; 16.04: Development Standards, 16.08: Townhouses, and Title 17: Zoning Regulations; Chapters 17.02, Definitions; 17.05: Official Zoning Map and District Use Matrix; 17.06: Design Review, and 17.09: Parking and Loading Spaces to modify/create definitions and standards for detached townhouse and cottage housing development.

Hearing: June 20, 2023

Applicant: City Staff

Location: General Residential (GR), Limited Residential (LR-1 and LR-2), Neighborhood Business (NB), Limited Business (LB), Business (B) and Transitional (TN) Zoning Districts

Notice: Notice for the public hearing was published in the Idaho Mountain Express and mailed to public agencies on April 26, 2023.

Background: City review of recent detached townhouse development project applications has indicated a need to clarify some regulations in Hailey Municipal Code, Chapters 16 and 17, including those pertaining to cottage development.

Cottage housing is an allowed form of detached townhouses in the existing code, but there is little guidance to distinguish cottages from multifamily developments, and larger detached townhouses. The proposed code amendment is intended to create standards for true, small-scale cottage development and clarify standards for multi-family and detached townhouse projects.

The Snohomish County, Washington Planning and Development website defines cottage housing as follows: "Cottage housing is a mildly dense, small scale housing form. Units are typically built at or below 1,200 square feet with modest dimensions. By design, cottage housing is geared toward single-family tenancy and can be constructed as either attached or detached units. The nature of cottage housing is one of community where shared space and semi-private space are favored over purely private space. Cottage housing developments are usually focused around community courtyards where housing clusters numbering four to twelve units open onto the shared space. Cottage housing can provide an affordable alternative to larger single-family homes and suit the needs of many different household types. They're especially adept at serving smaller families, single individuals, the elderly, and those with mobility challenges."

Draft Ordinance: The Planning and Zoning Commission conducted a workshop on May 15, 2023, to provide input to guide this code amendment, which has been incorporated into the attached document. The attached draft code amendment creates new standards for small scale cottage dwelling units, it clarifies when design review regulations are applicable, and it strives to ensure that the code is resulting in desired development outcomes with an efficient, predictable process by clarifying definitions and standards.

The Commission generally supported the concept of cottage housing and directed staff to continue work on a proposed ordinance. Some Commissioners expressed concern about continuation of limited parking requirements in the existing code. However, the existing parking requirements appear to be functioning well, they minimize the amount of land dedicated to automobile storage and they support the comprehensive plan goal to reduce dependence on the automobile. The draft code amendment does not modify the existing parking requirements and continues to propose the same requirements for cottage townhouse development.

The following code sections have been amended or augmented:

Title 16:

- Chapter 16.01: Definitions: A few definitions have been modified for clarity, and definitions for Cottage Development, Cottage Dwelling Unit, Multi-Family Building, Multi-Family Development, Single-Family Dwelling Unit and Detached Townhouse Development have been added.
- Chapter 16.04, Sections 16.04.020.L – N:
 - Section 16.04.020.L.6: Text is modified so that the required guest/overparking space dimensional requirements are the same as those required elsewhere in the code.
 - Section 16.04.020.M: Text is added that would allow up to four (4) detached townhouse dwelling units to be served by one (1) driveway, thus eliminating the need for as many driveway curb cuts. Other text in this section is modified to conform with the added text.
 - Section 16.04.020.N: Text is added to make clear that multi-family, townhouse, and cottage developments with detached, clustered parking (parking lots or consolidated parking in carport/garages) are subject to this code section.
- Chapter 16.08: Townhouses and Cottages: Parking and storage requirements for townhouse and cottage developments are clarified, and cottage density is modified.

Title 17:

- Chapter 17.02, Definitions: A few definitions have been modified for clarity, and definitions for Community Building, Cottage Development, Cottage Dwelling Unit, Mixed Use Development, and Multi-Family Development, and Detached Townhouse Development have been added.
- Chapter 17.05, Official Zoning Map and District Use Matrix:
 - The District Use Matrix has been modified to add Detached Townhouse Development or Dwelling Unit and Cottage Development or Dwelling Unit as Residential uses and to add Community Building as an Accessory use within the code.
 - The Commission should consider whether it would be appropriate to make a recommendation to the City Council to allow cottage development in the LR-1, LR-2 and/or NB zoning districts. The Commission may wish to also discuss whether to remove detached townhouse developments and cottage developments from the B zoning district.

- Notes have been added to the District Use Matrix to allow additional density for energy efficient cottage projects and to provide size limitations for cottage dwelling units.
- The Bulk Requirements table has been modified to distinguish between multi-family projects, detached townhouse developments, and cottage developments, and standards for cottage developments have been added.
- Section 17.06.010, Applicability: Table 1, Project Types is slightly modified for clarity on which residential projects require full PZ design review.
- Section 17.06.080, Design Standards:
 - Nonresidential, Multi-Family or Mixed-Use Buildings: This section is modified to make clear that it applies to non-residential, multi-family and mixed-use development.
 - D. Multi-family: This section is modified to make clear that it applies to multi-family development.
 - New Section E is added to create specific standards for detached townhouse development.
 - New Section F is added to create specific standards for cottage development.
- Chapter 17.09, Parking and Loading Spaces:
 - Minor amendments are proposed for clarity.
 - Section 17. 09.040.01, Residential parking requirements table: Parking requirements for multi-family developments and mix-use buildings have been modified, and townhouse and cottage development parking requirements have been added.

Attachments:

- i. Draft Ordinance

Standards of Review:

Criteria for Review. Section 17.14.060(A) of the Hailey Municipal Code provides “[w]hen evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

1. The proposed amendment is in accordance with the comprehensive plan;
2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;
3. The proposed uses are compatible with the surrounding area; and
4. The proposed amendment will promote the public health, safety, and general welfare.

1. The proposed amendment is in accordance with the comprehensive plan;

Allowing a cottage court housing type and providing more clarity on regulations for multi-family and townhouse development addresses multiple goals laid out in the Hailey Comprehensive Plan, they are listed and organized by the sections of the Comprehensive Plan below:

Section 1: Natural Resources, Energy and Air Quality

1.4 Promote energy conservation. (page 11)

- Increase: Number of smaller dwelling units, as required by the cottage townhouse development standards, which inherently use less energy than a larger home
- Increase: Energy efficiency by offering a density bonus for Energy Star Certification of an entire cottage townhouse development

Section 5: Land Use, Population and Growth Management

The Comprehensive Plan specifically identifies the need to, “...accommodate population growth through a balanced combination of two means,” with one being “‘infill’ development or redevelopment of existing land within the current City limits in accordance with existing zoning and density allowances without necessitating the use of density bonuses or waivers” and the other being, “‘expansive’ development due to the annexation of new land into the City and/or density increases relating to PUD bonuses and/or zoning amendments.” (page 20). Further goals and desired trends include:

5.1 Retain a compact City comprised a central downtown with surrounding diverse neighborhoods, areas. (page 29)

- Increase: Diversity of housing types allowed in existing higher density residential zoning districts

5.5 Lessen dependence on the automobile (page 30)

- Increase: Diversity of housing types within zoning districts close to the city center

5.6 Manage and accommodate population growth by infill development and, when appropriate, minimal expansion by annexation and/or density increases. (page 30)

- Increase: Citywide land use efficiency (U/A) by increasing the diversity of housing types allowed and allowing increased density for projects that achieve higher energy efficiency standards

5.7 Encourage development at the densities allowed in the Zoning Code. (page 30)

- Decrease: Acres of vacant land within city boundaries by allowing an additional housing type option

Section 7: Demographics, Cultural Vitality, Social Diversity & Well-Being

7.1 Encourage a variety of projects and programs that meet the needs generated by various segments of the population, especially the needs of those who risk suffering effects of discrimination or are socially or economically disadvantaged. (page 36)

- Increase: Diversity of housing types allowed in existing higher density residential zoning districts. Cottage townhouse developments are especially well suited for young families and aging demographics and encourage interaction between residents.

Section 8: Housing

8.1 Encourage development that provides opportunities for home ownership and rental homes for individuals and families of all socio-economic levels. (page 39)

- Decrease: Percent of Income for Housing Costs by offering a smaller, more affordable housing type
- Increase: Home Affordability by offering a smaller, more affordable housing type
- Decrease: Housing Costs in Relation to Income by offering a smaller, more affordable housing type

The Housing Section also elaborates on the economic, environmental, and social benefits of increasing housing options within Hailey City Limits. Diverse housing options are important for:

- “The growth potential and sustainability of local businesses”;
- lowering carbon emissions and road maintenance costs; and
- “a greater vibrancy and sense of unity” in the community (page 38).

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;

Thus far, all studies related to recently proposed and approved housing projects have affirmed that 1) infill development and increased residential densities most efficiently use public facilities and services, they do not increase excessive additional requirements at public cost; and 2) Hailey's municipal services are capable of servicing infill development and high-density projects.

As verified by City Staff from the Public Works Department, cottage townhouse development can be accommodated with existing water, wastewater, and other municipal services. The City has yet to meet its maximum densities in the Zoning Districts, especially where they are desired near public transit and activity centers.

3. The proposed uses are compatible with the surrounding area; and

The proposed uses are compatible with the surrounding area and other areas throughout Hailey: Three cottage townhouse developments already exist in the Old Cutters subdivision, and they are well integrated into the fabric of the neighborhood. The proposed regulations generally adhere to the existing underlying zoning requirements and provide added safeguards to ensure that impact from vehicular traffic and parking is minimized.

5. The proposed amendment will promote public health, safety, and general welfare.

Through years of community engagement for the Comprehensive Plan creation and updates (as recent as 2020), the Commission and Council have found that there is strong community support and rationale for increasing and diversifying housing options within Hailey City limits. Access to housing is key to supporting public health, safety, and general health. The consensus in the Wood River Valley community—including non-profit social service organizations and fellow municipalities—is that the current need for housing is an emergency. Cottage townhouse development will provide a “missing middle” housing type option for developers to consider when developing a subdivision.

Motion Language:

Approval: Motion to recommend approval to the Hailey City Council Ordinance No. _____, an Ordinance amending the Hailey Municipal Code, Title 16: Subdivision Regulations; Chapters 16.01, Definitions; 16.04, Development Standards and 16.08, Townhouses and Title 17: Zoning Regulations; Chapters 17.02, Definitions; 17.05, Official Zoning Map and District Use Matrix; 17.06, Design Review and 17.09 Parking and Loading Spaces to modify/create definitions and standards for detached townhouse and cottage housing development, finding that essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services, that the proposed uses are compatible with the surrounding area, and that the proposed amendment will promote the public health, safety and general welfare.

Denial: Motion to deny the attached revisions amending the Hailey Municipal Code, Title 16: Subdivision Regulations; Chapters 16.01, Definitions; 16.04, Development Standards and 16.08, Townhouses and Title 17: Zoning Regulations; Chapters 17.02, Definitions; 17.05, Official Zoning Map and District Use Matrix; 17.06, Design Review and 17.09 Parking and Loading Spaces to modify/create definitions and standards for detached townhouse and cottage housing development, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date].

HAILEY ORDINANCE NO. ____

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING TITLES 16 AND 17 OF THE HAILEY MUNICIPAL CODE, INCLUDING CHAPTERS 16.01, DEFINITIONS TO PROVIDE CLARITY AND ADD NEW DEFINITIONS; 16.04, DEVELOPMENT STANDARDS TO REFINE AND CLARIFY VEHICULAR ACCESS STANDARDS; 16.08, TOWNHOUSES TO CHANGE THE TITLE AND SUBSECTIONS TO INCORPORATE COTTAGES; 17.02, DEFINITIONS TO PROVIDE CLARITY AND ADD NEW DEFINITIONS; 17.05, OFFICIAL ZONING MAP AND DISTRICT USE MATRIX TO ADD AND CLARIFY LAND USE ZONING AND BULK REQUIREMENTS FOR DETACHED TOWNHOUSE AND COTTAGE DEVELOPMENT AND DWELLING UNITS; 17.06, DESIGN REVIEW TO ADD DESIGN STANDARDS FOR DETACHED TOWNHOUSE AND COTTAGE DEVELOPMENTS; AND 17.09 PARKING AND LOADING SPACES TO APPLY EXISTING STANDARDS TO DETACHED AND COTTAGE TOWNHOUSE DEVELOPMENTS; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Commission and Council have determined that municipal code changes which expand housing opportunities in Hailey are a priority;

WHEREAS, the Commission and Council have found that the existing standards for multi-family and townhouse development may not lead to desired comprehensive plan outcomes;

WHEREAS, the changes proposed will address supplemental design and quality of life with the intent of reinforcing the following statements and goals contained within the Comprehensive Plan:

1. Natural Resources, Energy and Air Quality
 - a. Promote energy conservation: The City has set goals to increase the energy efficiency of buildings within the city to 10% above current Idaho State adopted energy code.
2. Land Use, Population, and Growth Management
 - a. The City seeks to accommodate population growth through a balanced combination of two means, with one being “infill” development or redevelopment of existing land within the current City limits in accordance with existing zoning and density allowances without necessitating the use of density bonuses or waivers, and “expansive” development due to the annexation of new land into the City and/or density increases relating to PUD bonuses and/or zoning amendments.
 - b. Land Use Implications of Population Growth Scenarios: Impacts resulting from growth pressure, such as environmental degradation, inadequate social and infrastructure services, and loss of small-town character are concerns associated with unrestricted growth of the community; therefore, it is the responsibility of the city to plan for potential future population growth.
 - c. Lessen dependency on the automobile.
3. Demographics, Cultural Vitality, Social Diversity, and Well-Being
 - a. Social Diversity and Social Well-Being: Sustainable communities offer equal

opportunity, social harmony, and mutual respect for a diverse population. Diversity means an inclusive community of people with varied human characteristics, ideas, and worldviews and whose interactions both benefit and challenge each other to grow.

- b. While many factors influence both the existence and perception of discrimination and unequal treatment, income is an important element, as are education, occupational status, and life expectancy.

4. Housing

- a. Affordable employee housing is a key element in the decisions of business owners to create new enterprises or expand their businesses. If affordable housing for employees to purchase and/or rent cannot be provided, it will limit the growth potential and sustainability of local businesses. To the extent that attractive, affordable housing is available, employees can better be recruited and retained.
- b. The ongoing local spending and taxes generated because of homes being occupied by the working community are significant.
- c. Productivity of the workforce improves when commutes are shortened.
- d. Long commutes are not only costly to the workers, but to the environment as well. Carbon emissions are reduced, and air quality is improved when employees live close to work. In addition, fewer commuters will alleviate the demand for more highway lanes and asphalt.
- e. Many social benefits are realized when workers live in their own community. Quality of life and safety improve when critical care employees live within close responding distance. Children do better in school when parents are at home in the mornings and evenings. Homeowners are more active in their communities, creating a greater vibrancy and sense of unity.

WHEREAS essential public facilities and services are available to detached and cottage townhouse development without excessive public cost;

WHEREAS the proposed detached townhouse and cottage development uses are compatible with surrounding areas and Zoning Districts where townhouse and cottage development is permitted; and

WHEREAS the text set forth in this ordinance will promote the public health, safety, and general welfare by addressing ongoing and outstanding housing needs.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. Chapter 16.01, Definitions, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

COTTAGE DEVELOPMENT: A residential project of two (2) or more detached cottage units that are located on platted sublots. Cottage developments are subject to the provisions of Title 16 Subdivision Regulations and Title 17, which allow for increased density, limit lot and dwelling unit size, configure communal parking and outline other requirements. Separation between units and/or buildings shall comply with applicable building and fire code requirements and all other applicable codes and ordinances.

COTTAGE DWELLING UNIT: A detached dwelling unit characterized by its small size, aesthetic with porches, and orientation towards communal living. Cottage dwelling units shall contain independent living facilities, including provisions for sleeping, eating, cooking and sanitation. Cottage dwelling units

shall be located in a cottage development on a platted subplot and are subject to the applicable cottage requirements within this code, specifically listed in Title 16 Subdivision Regulations and Title 17 Zoning Regulations.

DWELLING UNIT: A building or separate portion thereof having a single kitchen and providing complete independent living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking and sanitation, to be occupied exclusively as a residence. Every dwelling unit shall have at least one habitable room that shall have not less than one hundred twenty (120) square feet of gross floor area, or other area as specified in the IBC or IRC.

MULTI-FAMILY BUILDING: A residential building containing two (2) or more attached dwelling units, including but not limited to apartments, condominiums, and attached townhouses.

MULTI-FAMILY DEVELOPMENT: A development containing multi-family buildings with attached dwellings units, including but not limited to apartments, condominiums, and attached townhouses.

SINGLE-FAMILY DWELLING UNIT: A detached residential building that contains independent living facilities, including provisions for sleeping, eating, cooking and sanitation; and is the principal use located on a legally platted lot of record. Single-family dwelling units may, for example, include permitted accessory structures, such as attached and detached garages, carports, and Accessory Dwelling Units.

TOWNHOUSE DEVELOPMENT: A ~~multi-family~~ residential project of two (2) or more townhouse dwelling units, where permitted under the Hailey zoning ordinance, which may be constructed as ~~either or both one or more~~ of the following:

- A. Attached townhouse development: Multi-family bBuilding(s) containing two (2) or more townhouse dwelling units erected generally in a row, with each unit being separated from the adjoining unit or units by a party wall or walls, subject to building and fire code requirements, and all other applicable codes and ordinances, and with party walls extending from the basement floor to the roof along the dividing townhouse subplot line. Each unit has its own access to the outside, and no unit is located over another unit in part or in whole.
- ~~B. "Cottages", which are buildings containing single townhouse units on individual townhouse sublots, provided the separation between units and/or buildings complies with applicable building and fire code requirements and all other applicable codes and ordinances.~~

B. Detached townhouse development: Buildings containing detached, single townhouse units on individual townhouse sublots, provided the separation between units and/or buildings complies with applicable building and fire code requirements and all other applicable codes and ordinances.

TOWNHOUSE SUBLOT: The lot resulting from platting a residential townhouse development. Townhouse sublots shall have a minimum area equal to that of the perimeter of each individual townhouse unit, and an additional area three feet (3') in width adjacent to any opening, measured at the foundation. Said sublots shall not be buildable for structures other than a "townhouse dwelling unit", as defined in this section. Platting of sublots shall follow the procedures set forth in this title and other applicable codes in effect. All other detached and/or accessory buildings shall be contained within the perimeter of the townhouse subplot, except as otherwise permitted herein.

TOWNHOUSE DWELLING UNIT: A dwelling unit ~~including a minimum of one bathroom and a single kitchen, designed for or occupied as a unit by one family for living and cooking purposes,~~ that contains

independent living facilities, including provisions for sleeping, eating, cooking, and sanitation; and is located in a townhouse development on a platted townhouse subplot.

Section 2. Chapter 16.04, Development Standards, Sections 16.04.020.L - N, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

L. Private Streets:

1. Private streets may be allowed: a) to serve a maximum of five (5) residential dwelling units; b) within planned unit developments; or c) within commercial developments in the Business, Limited Business, Neighborhood Business, Light Industrial, Technological Industry, Peri-Urban Agricultural and Service Commercial Industrial Districts. Private streets are allowed at the sole discretion of the Council, except that no arterial or major street, or collector or secondary street may be private. Private streets shall have a minimum total width of thirty six feet (36'), shall be constructed to all other applicable City standards including paving, and shall be maintained by an owners' association.
2. Private streets, wherever possible, shall provide interconnection with other public streets and private streets.
3. The area designated for private streets shall be platted as a separate parcel according to subsection 16.04.060C of this chapter. The plat shall clearly indicate that the parcel is unbuildable, except for public vehicular and public pedestrian access and ingress/egress, utilities or as otherwise specified on the plat.
4. Private street names shall not end with the word "road", "boulevard", "avenue", "drive" or "street". Private streets serving five (5) or fewer dwelling units shall not be named.
5. Private streets shall have adequate and unencumbered ten foot (10') wide snow storage easements on both sides of the street, or an accessible dedicated snow storage easement representing not less than twenty five percent (25%) of the improved area of the private street. Private street snow storage easements shall not be combined with, or encumber, required on site snow storage areas.
6. Subdivisions with private streets shall provide two (2) additional parking spaces per dwelling unit for guest and/or overflow parking. These spaces may be located: a) within the residential lot (e.g., between the garage and the roadway); b) as parallel spaces within the street parcel or easement adjacent to the travel lanes; c) in a designated guest parking area; or d) as a combination thereof. Guest/overflow parking spaces are in addition to the minimum number of parking spaces required pursuant to title 17, chapter 17.09 of this Code. The dimension of guest/overflow parking spaces shall ~~be no less than ten feet by twenty feet (10' x 20') if angle parking, or ten feet by twenty four feet (10' x 24') if parallel.~~ meet the parking standards of section 17.09.030, On Site Parking Dimension. Guest/overflow parking spaces shall be improved with asphalt, gravel, pavers, grass block, or other all-weather dustless surface. No part of any required guest/overflow parking spaces shall be utilized for snow storage.

M. Driveways:

1. Number of units served by one (1) driveway:
 - a. Single-family dwelling units: Driveways may provide access to not more than two (2) ~~residential~~ single-family dwelling units. Where a parcel to be subdivided will have one lot fronting on a street, not more than one additional single-family lot

accessed by a driveway may be created in the rear of the parcel. In such a subdivision, where feasible (e.g., no driveway already exists), both lots shall share access via a single driveway. ~~Driveways shall not be named.~~

- b. Townhouse and cottage dwelling units: Driveways may provide access to not more than four (4) townhouse dwelling units. Where a townhouse or cottage development will have sublots fronting on a street, not more than one additional townhouse subplot accessed by a driveway may be created to the rear of each subplot. In such a subdivision, where feasible (e.g., no driveway already exists), all four (4) sublots (two (2) on street and two (2) behind) may share access via a single driveway, provided all applicable requirements of the fire and building codes, as adopted by the City of Hailey, are met.

- 2. Driveways shall be constructed with an all-weather surface and shall have the following minimum roadway widths:

- a. Accessing one residential unit: Twelve feet (12');
- b. Accessing two (2) or more residential units: Sixteen feet (16').

No portion of the required fire lane width of any driveway may be utilized for parking, aboveground utility structures, dumpsters or other service areas, snow storage or any other obstructions.

- 3. Driveways longer than one hundred fifty feet (150') must have a turnaround area approved by the Fire Department. Fire lane signage must be provided as approved by the Fire Department.
- 4. Driveways accessing more than one residential dwelling unit shall be maintained by an owners' association, or in accordance with a plat note.
- 5. The area designated for a driveway serving more than one dwelling unit shall be platted as a separate unbuildable parcel, or as a dedicated driveway easement. Easements and parcels shall clearly indicate the beneficiary of the easement or parcel and that the property is unbuildable except for ingress/egress, utilities or as otherwise specified on the plat. A building envelope may be required in order to provide for adequate building setback.
- 6. No driveway shall interfere with maintenance of existing infrastructure and shall be located to have the least adverse impact on residential dwelling units, existing or to be constructed, on the lot the easement encumbers and on adjacent lots.
- 7. Driveways shall not be named.

- N. Parking Access Lane: Multi-family, townhouse, and cottage developments with detached, clustered parking may be served by a parking access lane. A parking access lane shall not be considered a street but shall comply with all regulations set forth in the IFC and other applicable codes and ordinances.

Section 3. Chapter 16.08, Townhouses and Cottages, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

16.08.010: PLAT PROCEDURE:

The developer of ~~the townhouse or cottage~~ townhouse or cottage developments shall submit with the preliminary plat application and all other information required herein a copy of the proposed party wall agreement and the proposed document(s) creating an association of owners of the proposed ~~townhouse~~ sublots, which shall adequately provide for the control (including billing, where applicable) and maintenance of all common

utilities, commonly held facilities, garages, parking and/or green spaces. Prior to final plat approval, the developer shall submit to the city a final copy of ~~the any~~ party wall agreement and any other such documents and shall record the documents prior to or at the same time of the recordation of the plat, which plat shall reflect the recording instrument numbers thereupon. (Ord. 1191, 2015,___)

16.08.020: GARAGES:

All garages shall be designated on the preliminary and final plats and on all deeds as part of the ~~particular~~ townhouse or cottage development. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific townhouse or cottage units on the ~~townhouse~~ plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the ~~townhouse~~ development. (Ord. 1191, 2015,___)

16.08.030: STORAGE, PARKING AREAS:

Residential townhouse and cottage developments shall provide parking spaces according to the requirements of title 17, [chapter 17.09](#) of this code. (Ord. 1191, 2015,___)

Cottage storage. Each cottage unit shall be provided with a dedicated detached storage unit of minimum 50 square feet in size, located in an attached shed, an accessory structure or built as part of a dedicated covered parking space.

16.08.040: CONSTRUCTION STANDARDS:

All townhouse development construction shall be in accordance with the applicable codes, including the IBC, IRC and IFC. Each townhouse and cottage unit must have separate water, sewer, and utility services, which do not pass through another building or unit. (Ord. 1191, 2015,___)

16.08.050: GENERAL APPLICABILITY:

All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse developments. (Ord. 1191, 2015)

16.08.060: EXPIRATION:

Townhouse and cottage developments which have received final plat approval shall have a period of three (3) calendar years from the date of final plat approval by the council to obtain a building permit. Developments which have not received a building permit shall be null and void and the plats associated therewith shall be vacated by the council. If a development is to be phased, construction of the second and succeeding phases shall be contingent upon completion of the preceding phase unless the requirement is waived by the council. Further, if construction on any townhouse or cottage development, or phase of any development, ceases or is not diligently pursued for a period of three (3) years without the prior consent of the council, that portion of the plat pertinent to the undeveloped portion of the development shall be vacated. (Ord. 1191, 2015,___)

16.08.070: CONVERSION:

The conversion by subdivision of existing units into townhouses or cottages shall not be subject to section [16.04.110](#) of this title. (Ord. 1191, 2015,___)

16.08.080: DENSITY & LOT SIZE:

~~The maximum number of cottage townhouse units on any parcel shall be twelve (12), and not more than two (2) cottage townhouse developments shall be constructed adjacent to each other.~~

Maximum density shall be that allowed by the section 17.05.040, District Use Matrix, Bulk Requirements table.

Cottage development: The maximum lot size for a cottage development shall be one (1) acre.

Section 4. Chapter 17.02, Definitions, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

COMMUNITY BUILDING: A small building, intended as a gathering space, to be shared by residents of a residential development and platted as part of the development's common area.

COTTAGE DEVELOPMENT: A residential project of two (2) or more detached cottage units that are located on a platted sublots. Cottage developments are subject to the provisions of Title 16 Subdivision Regulations and Title 17, which allow for increased density, limit lot and dwelling unit size, configure communal parking, and outline other requirements. Separation between units and/or buildings shall comply with applicable building and fire code requirements and all other applicable codes and ordinances.

COTTAGE DWELLING UNIT: A detached dwelling unit characterized by its small size, aesthetic with porches, and orientation towards communal living. Cottage dwelling units shall include independent living facilities, including provisions for sleeping, eating, cooking and sanitation. Cottage dwelling units shall be located in a cottage development on a platted subplot and are subject to the applicable cottage requirements within this code, specifically listed in Title 16 Subdivision Regulations and Title 17 Zoning Regulations.

DRIVEWAY: A vehicular access constructed on private property providing access per the requirements of Section 16.04.020.M, Driveways. to not more than two (2) residential dwelling units.

MIXED USE BUILDING: A building that has more than one use, usually residential units in combination with commercial/retail, office, institutional, or industrial use within the same structure.

MIXED USE DEVELOPMENT: A development with one or more buildings that allows for residential units with commercial or other permitted uses.

MULTIPLE-FAMILY BUILDING DWELLING: A residential building containing two (2) or more attached dwellings units, including but not limited to apartments, condominiums, and attached townhouses.

MULTI-FAMILY DEVELOPMENT: A development containing multi-family buildings with attached dwellings units, including but not limited to apartments, condominiums, and attached townhouses.

PUBLIC USE: An activity intended for the benefit of the general public and managed by a public entity, such as the City, school district, County, State, or any other public agency or a utility. Public uses may also be referred to as institutional uses.

SEMIPUBLIC USE: The use of land by a private or nonprofit organization to provide a public service, such as private colleges, hospitals, safe houses, and learning centers. Semi-public uses may also be referred to as institutional uses.

SINGLE-FAMILY DWELLING UNIT: A detached residential building, which may include attached or detached carports and garages, that contains independent living facilities, including provisions for sleeping, eating, cooking and sanitation for not more than one family; and is the principal use located on a

legally platted lot of record. Single-family dwelling units may, for example, include attached and detached garages, carports, and Accessory Dwelling Units.

TOWNHOUSE DEVELOPMENT: A ~~multi-family~~ residential project of two (2) or more townhouse dwelling units, where permitted under the Hailey zoning ordinance, which may be constructed as ~~either or both one or more~~ of the following:

- A. Attached townhouse development: Multi-family b~~B~~uilding(s) containing two (2) or more townhouse dwelling units erected generally in a row, with each unit being separated from the adjoining unit or units by a party wall or walls, subject to building and fire code requirements, and all other applicable codes and ordinances, and with party walls extending from the basement floor to the roof along the dividing townhouse subplot line. Each unit has its own access to the outside, and no unit is located over another unit in part or in whole.
- ~~B. "Cottages", which are buildings containing single townhouse units on individual townhouse sublots, provided the separation between units and/or buildings complies with applicable building and fire code requirements and all other applicable codes and ordinances.~~
- B. Detached townhouse development: Buildings containing detached, single townhouse units on individual townhouse sublots, provided the separation between units and/or buildings complies with applicable building and fire code requirements and all other applicable codes and ordinances.

TOWNHOUSE SUBLOT: The lot resulting from platting a residential townhouse development. Townhouse sublots shall have a minimum area equal to that of the perimeter of each individual townhouse unit, and an additional area three feet (3') in width adjacent to any opening, measured at the foundation. Said sublots shall not be buildable for structures other than a "townhouse dwelling unit", as defined in this section. Platting of sublots shall follow the procedures set forth in this title and other applicable codes in effect. All other detached and/or accessory buildings shall be contained within the perimeter of the townhouse subplot, except as otherwise permitted herein.

TOWNHOUSE DWELLING UNIT: A dwelling unit including a minimum of one bathroom and a single kitchen, designed for or occupied as a unit by one family for living and cooking purposes, that contains independent living facilities, including provisions for sleeping, eating, cooking, and sanitation; and is located in a townhouse development on a platted townhouse subplot.

Section 5. Chapter 17.05, Official Zoning Map and District Use Matrix, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

17.05.040: DISTRICT USE MATRIX:

The residential, public, and semi-public, commercial and uses, as well as the bulk requirements for the zoning districts established in chapter 17.04 of this title are designated in the district use matrix set forth herein. A "P" indicates that a use is permitted in the respective zoning district. Permitted uses must conform to the applicable requirements of this title. A "C" indicates that a use is allowed as a conditional use in the respective zoning district. Conditional uses are subject to review and approval under the provisions of chapter 17.11 of this title. An "N" indicates that a use is not allowed in the respective zoning district, except where state or federal law otherwise preempts local land use regulation.

Category	Description (Excerpt)	Zoning Districts and Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Residential:														
	Accessory dwelling units (ADU)	N	P ¹	P ¹	P ¹	P ¹	P ¹	P ¹	P ¹	N	N	N	P ¹	P ¹
	Co-living dwelling facilities	N	N	N	N	N	P	N	P	N	N	N	N	N
	<u>Cottage developments or dwelling units</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Detached townhouse developments or dwelling units</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	Manufactured homes	N	P	P	P	N	P	P	N	N	N	N	N	N
	Mixed-use buildings	N	N	N	N	P	P	P	P ²	P	P	N	P	P
	Multi-family dwellings <u>developments</u>	N	N	N	P	N	P	C	P ²	N	N	N	N	N
	Single-family dwellings	N	P	P	P	N	P <u>C</u>	P	N	N	N	N	N	N
	Tiny homes on wheels (THOW)	N	P ¹	P ¹	P ¹	P ¹	P ¹	P ¹	P ¹	N	N	N	P ¹	P ¹
Public or semipublic: <i>(no change)</i>														
Commercial: <i>(no change)</i>														

Accessory uses:															
Residential	Accessory dwelling units (ADU)	Reference the “Residential” category at the beginning of the table.													
	Tiny Home on Wheels (THOW)														
	<u>Community building</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
Storage structures, excluding shipping containers		C ^{9,11}	P ^{9,11}	P ^{9,11}	P ^{9,11}	P ^{9,11}	P ^{9,11}	P ^{9,11}	P ^{9,11}	P ^{9,11}	P ^{9,11}	P ^{9,11}	P ^{9,11}	P ^{9,11}	P ^{9,11}
Swimming pools		N	P	P	P	P	C	P	C	N	N	N	N	N	N
Temporary structures		C ^{11,13}	C ^{11,13}	C ^{11,13}	C ^{11,13}	C ^{11,13}	C ^{11,13}	C ^{11,13}	C ^{11,13}	C ^{11,13}	C ^{11,13}	C ^{11,13}	C ^{11,13}	C ^{11,13}	C ^{11,13}

BULK REQUIREMENTS

Category	Description (Excerpt)	RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Lot dimensions	Minimum lot size (square feet)	None	8,000 ^{14,15,24}	12,000 ^{15,24}	6,000 ^{14,15,24}	6,000 ^{15,24}	6,000 ^{14,15,24}	6,000 ^{14,15,24}	0 ^{14,15,24}	6,000	-	See note 4	10,890	10,890
	Minimum lot width (feet)	None	75 ^{14,15,24}	75 ^{15,24}	50 ^{14,15,16,24}	50 ¹⁶	50 ^{14,16,24}	50 ^{14,15,16,24}	0 ^{15,16,24}	60	-	See note 4	-	-
Building height	Maximum building height (feet)	35 ¹⁷	30 ^{14,17}	30 ¹⁷	35 ^{14,17}	30 ¹⁷	35 ^{14,17}	35 ¹⁴	35 ^{14,17}	35 ¹⁷	35	See note 4	35	35 ¹⁷

Category	Description (Excerpt)	RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Setbacks	Minimum front yard setback (feet)	20	25 ¹⁴	25	20 ^{14,18}	10	20 ^{14,18}	20 ^{14,18}	0 ^{14,18}	10	20	See note 4	10	10
	Minimum side yard setback (feet)	10	10 ^{14,19,20}	10 ^{19,20}	8 ^{14,18,20,21}	10 ^{14,20}	10 ^{14,18,20}	10 ^{14,18,20}	0 ^{14,18,20}	10 ^{20,22}	10 ^{20,22}	See note 4	10	10
	Minimum rear yard setback (feet)	10	10 ^{14,19,20}	10 ^{19,20}	10 ^{14,18,20}	10 ^{18,20}	10 ^{14,18,20}	10 ^{14,18,20}	0 ^{14,18,20}	10 ^{20,22}	10 ^{20,22}	See note 4	10	10
	Riparian (feet)	100 ²³	100 ²³	100 ²³	100 ²³	100 ²³	100 ²³	100 ²³	100 ²³	100 ²³	100 ²³	See note 4	100 ²³	100 ²³
Multi-family and mixed-use Density	Mixed-use residential density development: maximum dwelling units per acre	-	-	-	-	15	20	10	20 ²	-	-	See note 4	20	-
	Multi-family residential density development: maximum dwelling units per acre; including but not limited to apartments, condominiums, and attached townhouses	-	-	-	10	-	20	10	20	-	-	-	20	-
	Detached townhouse development: maximum dwelling units per acre	-	-	-	10 ²⁴	-	20 ²⁴	10 ²⁴	-	-	-	-	-	-

Category	Description (Excerpt)	RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
	<u>Cottage development: maximum dwelling units per acre</u>	-	10 ²⁴	10 ²⁴	10 ²⁴	-	20 ²⁴	10 ²⁴	-	-	-	-	-	-
Total lot coverage	Total maximum coverage by all structures (percentage)	-	40 ¹⁴	40	40 ¹⁴	-	-	30 ¹⁴	-	75	75	See note 4	70	70
Maximum floor area	Aggregate gross floor area for individual retail/wholesale trade (square feet)	-	-	-	-	-	36,000	-	36,000	25,000	25,000	See note 4	25,000	25,000
	Aggregate gross floor area for grouped retail/wholesale (square feet)	-	-	-	-	-	36,000	-	50,000	25,000	25,000	See note 4	25,000	25,000
	<u>Cottage dwelling units (square feet)</u>	-	1,200 ²⁵	1,200 ²⁵	1,200 ²⁵	-	1,200 ²⁵	1,200 ²⁵	-					

Notes:

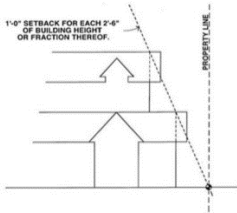
1. Accessory Dwelling Units (ADUs) and Tiny Homes on Wheels (THOW) are subject to administrative design review and supplementary regulations. See section 17.06 and subsection 17.08 D of this title.
2. Mixed-use buildings and multi-family dwellings incorporating small residential units require a Conditional Use Permit and shall comply with subsection 17.04Q of this title.
3. The installation of wireless communication facilities requires a Wireless Permit in accordance with the provisions of subsection 17.08B of this title.
4. Objects affecting navigable airspace, including solar energy systems and wireless communications facilities located within the Airport Influence Area, are subject to review of the Friedman Memorial Airport Director for compliance with FAA regulations and 14 CFR, chapter 1, subchapter E, part 77.
5. Only within terminals.
6. Only attached to hotel/motel.
7. Drive-through food service not permitted.
8. May be approved through a Conditional Use Permit if the use is in conjunction with a use that is permitted by-right.
9. Unenclosed exterior storage that is greater than fifty square feet (50 sq. ft.) and associated with retail trade, skilled construction and industrial trades, or wholesale trade is permitted in the industrial Zoning Districts only. Such unenclosed exterior storage may include but is not limited to the storage or display of bulky goods, materials, supplies, merchandise, and equipment.
10. The use permitted by this footnote must be accessory to a primary use and contained within the walls of the structure with the primary use.
11. Structures equal to or greater than 120 square feet (120 sq. ft.) in size require a building permit, per subsection 17.07.010H of this title.
12. The use of fuel tanks containing flammable or combustible liquids, as defined by the International Fire Code (IFC), requires a Flammable & Combustible Storage Tank Permit through the Hailey Fire Department.
13. Temporary structures which have an approved Conditional Use Permit may operate seasonally for multiple years, so long as the size and location of the temporary structure conforms with the approved Conditional Use Permit or conditions thereof.
14. May be subject to additional provisions per the Townsite Overlay (TO) Zoning District. See subsection 17.04M of this title.
15. ~~Townhouse sublots should have a maximum aggregate density of ten (10) lots per acre in the GR and TN Zoning Districts, fifteen (15) lots per acre in the NB Zoning District, and twenty (20) lots per acre in the LB and B Zoning Districts.~~ Townhouse and cottage sublots are exempt from minimum lot sizes and widths; however, townhouse and cottage developments shall adhere to the density requirements,

as stated in the bulk requirements table of this section, as well as the subdivision and design review requirements in subsections 16.08 and 17.06 respectively.

16. Townhouse and cottage sublots shall conform to the standards established in the IFC.
17. For a building with any portion of the building footprint within the Special Flood Hazard Area, building height shall be measured two (2) feet above the base flood elevation (BFE). For buildings located within the Special Flood Hazard Area and the LR Zoning Districts, buildings shall in no instance exceed a building height of thirty-two feet (32') from record grade. For buildings located within the Special Flood Hazard Area, and within the GR Zoning District, buildings shall in no case exceed a building height of thirty-five feet (35') from record grade.
18. In the TO Zoning Districts, townhouse units shall be allowed zero (0) setbacks, with an exception for the setbacks on the property line between two (2) townhouse units. The separation between two (2) townhouse units on separate sublots shall be no less than 6 feet or the minimum distance required by the IBC and IFC, whichever is greater. The distance between the buildings shall be measured between any wall or any projection of a building-- including, but not limited to, eaves, cornices, canopies, or other similar roof overhang features, pergolas, chimney chases, bay windows, decks, steps, wainscot, and utility meters.
19. The setback from the adjacent property shall be one (1) foot for every two (2) feet of building height for all portions of the building exceeding twenty (20) feet in height, provided, however, no side or rear yard shall be less than ten (10) feet. See the figure in subsection 17.04B.050 of this title.
20. Normal corner and reverse-corner lots are subject to subsections 17.07.010F and G of this title.
21. Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one foot (1') for every two and one-half feet (21/2') of wall height (see subsection 17.04M.090, Diagram 1, of the Hailey Municipal Code), but not less than the base setback for the GR Zoning District. This shall apply to walls on the side yards of properties but shall not apply to sublots within a development.
22. In LI and TI Zoning Districts, the side and rear yard setbacks shall be twenty-five (25) feet where the subject property is located adjacent to the following Zoning Districts: RGB, GR, or TN.
23. Riparian setback. Unless otherwise provided for herein, all permanent buildings and structures shall have a 100-foot-wide riparian setback from the mean high-water mark of the Big Wood River. Removal of live vegetation or excavation within the riparian setback is prohibited, except for any tree that has been recommended for removal by a certified arborist, in writing, because the tree has been found to potentially endanger the resident(s) of the property on which it is located or any member of the public, or has become hazardous to any street, alley or other public right-of-way or public utility, or because the removal of a tree would substantially improve the health of other trees on the property. Pruning of trees and planting of riparian trees, shrubs and ground cover within the riparian setback are allowed, provided however, that all plantings conform to the criteria for evaluation in subsection 17.04J.040B4e of this title. Where the application of the 100-foot riparian setback and other applicable setbacks will result in a building site of 1,000 square feet or less, the riparian setback may be reduced to such an extent that the building site is 1,000 square feet; provided however, the riparian setback shall not be less than fifty (50) feet.

24. Cottage development density may exceed the maximum allowed density by four (4) dwelling units per acre provided that all dwelling units in the project achieve Energy Star certification.
25. Cottage dwelling units are subject to a maximum ground floor size of eight hundred (800) square feet. Basement area, limited to the size of the ground floor and located with its finish floor a minimum six (6) feet below adjacent grade, shall not be included in size limitation.

Diagram 1



(Ord. 1275, 2021; Ord. 1250, 2019; Ord. 1243, 2019; Ord. 1242, 2018; Ord. 1232, 2018; Ord. 1221, 2017; Ord. 1220, 2017; Ord. 1211, 2017; Ord. 1208, 2016; Ord. 1207, 2016; Ord. 1191, 2015; Ord. 1291, 2021; Ord. 1325, 2023,___)

Section 6. Chapter 17.06, Design Review, Subsection 17.06.010, Applicability, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

17.06.010: APPLICABILITY:

- A. Design Review Approval Or Exemption: No person shall build, develop or substantially remodel or alter the exterior of the following buildings without receiving design review approval or exemption pursuant to this chapter, as outlined in the matrix below:

TABLE 1
PROJECT TYPES

Type Of Use	Exempt (PZ Chair And Administrator)	Hearings Examiner	Full PZ Review
New construction:			
All zones: Nonresidential buildings			X
All zones: Residential <u>development</u> of 3 or more units			X
All zones other than Townsite Overlay District: Accessory Dwelling Units	X		
Townsite Overlay District: New single-family or duplex			X
Townsite Overlay District: Accessory structures (including Accessory Dwelling Units)			X
Additions:			
Commercial: Additions under 500 square feet which are not prominently visible from a public street	X		
Townsite Overlay District: Single-family, duplex or accessory structure that adds floor area equal to or greater than 50 percent of the original structure			X
Townsite Overlay District: Additions that adds floor area less than 50 percent of the original structure and complies with section 17.06.020 of this chapter	X		
Modifications that do not add square footage:			
Minor facade changes, alterations to parking and other site elements	X		
Commercial: Major deck additions; changes to architectural elements which alter the overall style of the building; addition of window(s) or door(s) or changes to existing windows or doors that result in major stylistic changes; changes to architectural elements which alter the overall style of the building			X
Commercial: Minor deck additions; changes to siding and/or materials; changes to window(s) or door(s) that do not result in major stylistic changes; landscape and/or parking changes that do not materially alter the flow of circulation	X		

Murals and public art	X		
Temporary structures	X		
Projects which qualify under subsection 17.06.020B of this chapter	X		

B. Preapplication Design Review:

1. Preapplication review is an optional process for all new nonresidential construction and all residential developments. The Administrator may advise applicants as to the appropriateness of the preapplication design review process for each application.
2. The purpose of preapplication review is to allow the commission to exchange ideas and give direction to the applicant on the "design concept", keeping in mind the purpose of this chapter and the application of the evaluation standards.
3. Preapplication review materials shall be submitted according to the application requirements of section [17.06.050](#) of this chapter. (Ord. 1275, 2021; Ord. 1226, 2017; Ord. 1191, 2015, __)

Section 6. Section 17.06.080, Design Standards, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

17.06.080: DESIGN STANDARDS:

- A. Nonresidential, Multi-Family Or Mixed Use ~~Building Development~~: The following design standards apply to ~~any all~~ nonresidential, multi-family or mixed use ~~building development~~ located within the city of Hailey:
1. Site Planning:
 - a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible, sun exposure in exterior spaces to create spaces around buildings that are usable by the occupants and allow for safe access to buildings.
 - b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than six inch (6") caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the tree guide and shall be a minimum of four inch (4") caliper.
 - c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.
 - d. Building services, including loading areas, trash storage/pick up areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.
 - e. Where alleys exist, or are planned, they shall be utilized for building services.
 - f. Vending machines located on the exterior of a building shall not be visible from any street.

- g. Except as otherwise provided herein, on site parking areas shall be located at the rear of the building and buffered from the sidewalk adjacent to the street. Parking and access shall not be obstructed by snow accumulation.
 - 1. Parking areas located within the SCI zoning district may be located at the side or rear of the building.
 - 2. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts, provided a usable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
 - h. Access to on site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area, and preserve the street frontage for pedestrian traffic. Where possible, driveways accessed from the street shall be shared between adjacent properties per Section 16.04.020.M, Driveways.
 - i. Snow storage areas shall be provided on site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
 - j. Snow storage areas shall not be less than twenty five percent (25%) of the improved parking and vehicle and pedestrian circulation areas.
 - k. A designated snow storage area shall not have any dimension less than ten feet (10').
 - l. Hauling of snow from downtown areas is permissible where other options are not practical.
 - m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pick up areas, service areas or utilities.
 - n. Snow storage areas shall be landscaped with vegetation that is salt tolerant and resilient to heavy snow.
2. Building Design:
- a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.
 - b. Standardized corporate building designs are prohibited.
 - c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.
 - d. The front facade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building offsets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
 - e. Any addition to or renovation of an existing building shall be designed to create a cohesive whole.
 - f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.

- g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
 - h. Flat roofed buildings over two (2) stories in height shall incorporate roof elements such as parapets, upper decks, balconies, or other design elements.
 - i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:
 - (1) Solar Orientation: If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within thirty degrees (30°) of true south.
 - (2) South Facing Windows With Eave Coverage: At least forty percent (40%) of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.
 - (3) Double Glazed: Double glazed windows.
 - (4) Low Emissivity Glazing: Windows with low emissivity glazing.
 - (5) Exterior Walls: Earth berming against exterior walls.
 - (6) Alternative Energy: Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on site.
 - (7) Exterior Light Shelves: All windows on the southernmost facing side of the building shall have external light shelves installed.
 - j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
 - k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
 - l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of three to twelve (3:12) and be consistent with the colors, material and architectural design used on the principal building(s).
 - m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with section [17.08A.020](#) of this title.
3. Accessory Structures, Fences And Equipment/Utilities:
- a. Accessory structures shall be designed to be compatible with the principal building(s).
 - b. Except as otherwise provided herein, accessory structures shall be located at the rear of the property.
 - (1) Accessory structures may be considered in a location other than the rear on sites determined to have characteristics that prevent location at the rear of the site.

- c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
 - d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
 - e. Except as otherwise provided herein, all roof projections, including roof mounted mechanical equipment, such as heating and air conditioning units, shall be shielded and screened from view from the ground level of on site parking areas, adjacent public streets and adjacent properties. Wind energy systems that have received a conditional use permit and solar panels are exempt from this requirement.
 - f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
 - g. All ground mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas, shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
 - h. All service lines into the subject property shall be installed underground.
 - i. Additional appurtenances shall not be located on existing utility poles.
4. Landscaping:
- a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey landscaping manual or an approved alternative.
 - b. All plant species shall be hardy to the zone 4 environment.
 - c. At a minimum, a temporary irrigation system that fully operates for at least two (2) complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
 - d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½"). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.
 - e. Seasonal plantings in planter boxes, pots and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.
 - f. Plantings for pedestrian areas within the B, LB, TN and SCI-SO zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots and/or hanging baskets.
 - g. Stormwater runoff should be retained on the site wherever possible and used to irrigate plant materials.

- h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
 - i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
 - j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
 - k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet (4') or terraced with a three foot (3') horizontal separation of walls.
 - l. Landscaping should be provided within or in front of extensive retaining walls.
 - m. Retaining walls over twenty four inches (24") high may require railings or planting buffers for safety.
 - n. Low retaining walls may be used for seating if capped with a surface of at least twelve (12) to sixteen inches (16") wide.
- B. NONRESIDENTIAL AND MIXED USE BUILDINGS LOCATED WITHIN B, LB OR TN DISTRICTS *(no change)*
- C. NONRESIDENTIAL AND MIXED USE BUILDING LOCATED WITHIN LI, SCI, TI OR A DISTRICTS *(no change)*
- D. Multi-Family Development: In addition to the standards applicable to any nonresidential, multi-family or mixed use building development located within the city of Hailey described in subsection A of this section, the following design standards also apply to ~~any~~ multi-family building development located within the city of Hailey:
- 1. Site Planning:
 - a. The location of buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
 - b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.
 - c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.
 - 2. Building Design:
 - a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures, and colors to break up the bulk and mass of large multi-family buildings. Front doors should be individual and visible from the street. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.
 - b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction. (Ord. 1311, 2022; Ord. 1191, 2015,
2)

- E. Detached Townhouse Development: In addition to the standards applicable to all nonresidential, multi-family or mixed-use development located within the city of Hailey described in subsection A of this section, the following design standards also apply to detached townhouse development located within the city of Hailey:

Driveway Access: Garages shall be located near the rear of the primary residence and shall be located at least ten (10) feet behind the front façade of the main residence.

- F. Cottage Development: In addition to the standards applicable to all nonresidential, multi-family or mixed-use development located within the city of Hailey described in subsection A of this section, the following design standards also apply to cottage development located within the city of Hailey:

a. Common Open Space.

- (1) Common open space of at least four hundred (400) square feet per cottage, with a maximum requirement of three thousand (3,000) square feet total, shall be provided for each cottage development cluster.
- (2) Minimum dimensions of the common open space shall be twenty (20) feet.
- (3) Cottage units shall abut on at least two (2) sides of the common open space.
- (4) Cottage units shall be oriented around the common open space. The front entry porch of each cottage shall be oriented towards the common open space unless the cottage is located on a public street. If a cottage is located on a public street, its front entry porch shall be visible from the street, and the cottage shall have at least one entry porch, front or secondary, visible from the common open space.
- (5) Cottages shall be located no more than sixty (60) feet from the edge of the common open space.
- (6) The common open space shall consist of a paved plaza, landscaped greenspace, or community garden with access for all dwelling units in the cottage development.

b. Required Private Open Space. Each cottage shall have dedicated, usable private open space of at least two hundred (200) square feet located directly adjacent to the building, with no dimension less than ten (10) feet. The open space shall orient towards the common open space if possible. Private open space may be located within required setbacks.

c. Porches. Each cottage's main entry shall feature a covered porch of at least eight (80) square feet, with a minimum dimension of six (6) feet. The front entry porch of the cottage shall be oriented towards the common open space unless the cottage is located on a public street. If a cottage is located on a public street, its front entry porch shall be visible from the street, and the cottage shall have at least one entry porch, front or secondary, visible from the common open space.

d. Parking and Driveway Location and Design.

- (1) Required off street parking shall be detached from the cottage dwelling units and located in a clustered format.
- (2) Parking shall be located on the same property as the cottage units.

- (3) Parking areas shall be located to the side or rear of the cottage development. Parking is prohibited between the cottage units and any public streets, as well as in any required setbacks.
- (4) Parking and vehicular areas shall be screened from public view and from adjacent residential units by landscaping or architectural screens.
- (5) Parking shall be located in clusters of not more than seven (7) parking spaces with landscaping in between the clusters.
- (6) Parking spaces may be covered or uncovered.
- (7) No more than one (1) driveway curb cut per cottage development shall be permitted, except where the development fronts onto more than one street. When a cottage development fronts onto more than one street, each street is permitted no more than one (1) driveway curb cut per street.
- e. Storage. Each cottage unit shall be provided with a dedicated detached storage unit of minimum 50 square feet in size, located in an attached shed, an accessory structure or built as part of a dedicated covered parking space.
- f. Community Building. One accessory community building shall be allowed as an accessory use as part of the cottage development's common area. Community building size shall be limited to 800 square feet and a single story.

Section 7. Section 17.09.020.01, Location of On Site Parking Spaces, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

17.09.020.01: LOCATION OF ON SITE PARKING SPACES:

The following regulations shall govern the location of on site parking spaces and areas, except as otherwise provided below and in section [17.09.040.08](#) of this chapter:

- A. Single-Family Dwellings, Townhouse and Cottage Developments: Parking spaces for all single-family dwellings shall be located on the same ~~lot~~ property as the dwelling which they serve, except as otherwise provided in ~~section 17.09.040.01 of this chapter~~ in this Title.
- B. Multi-Family, Institutional Uses: Parking spaces for multi- family or institutional uses shall be located not more than three hundred feet (300') from the principal use and shall meet the requirements in this Title.
- C. Commercial, Industrial Uses: Parking spaces for commercial or industrial uses shall be located not more than eight hundred feet (800') from the principal use and must be located within a B, LB, SCI, or LI district.
- D. Rear Location; Exception: New on site parking areas shall be located at the rear of the building, except ~~within the SCI zoning district where parking is allowed at the side of the building as~~ allowed otherwise by this code.

Prohibited Location; Exception: On site parking areas are not permitted between the sidewalk within the public right of way and the primary frontage of a building, except where the location of an existing buildings or site conditions precludes another location for parking; such parking requires a landscape buffer, or an alternative approved by the administrator, between sidewalk and parking. (Ord. 1191, 2015,
)

Section 8. Section 17.09.020.08, Access, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

17.09.020.08: ACCESS:

- A. Design: Except as otherwise provided herein, any parking area on private property shall be designed in such a manner that any vehicle leaving or entering the parking area from or onto a public street shall be traveling in a forward motion.
- B. Through Alleys: Where alleys exist, access to on site parking for any nonresidential use or for any multi-family ~~dwelling development~~ of three (3) or more units shall be from the alley. Parking areas adjacent to alleys may be designed to allow a vehicle to back from the parking area into the alley.
- C. Alley Not Present: If the site is not serviced by an alley, access shall be from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area, and preserve the street frontage for pedestrian traffic.
- D. Visibility: Access for on site parking areas or loading spaces shall be located in such a way that any vehicle entering or leaving such area shall be clearly visible by a pedestrian or motorist approaching the access or driveway from a public or private street.
- E. Subdivisions: Access for subdivisions shall be provided in accordance with standards set forth in title 16, [chapter 16.04](#) of this code.
- F. Backing Design Permitted: Parking areas containing no more than two (2) parking spaces in any zoning district or parking areas within the LR, GR, TN, TI and LI districts may be designed to allow a vehicle to back from the parking area into the public right of way.

Stacking: Parking areas for residential uses only may be designed to allow required parking spaces for one vehicle to deny access to another vehicle, thus "stacking" the parking area. For nonresidential uses, stacked parking may be allowed only for additional spaces that may be provided in excess of the required number of parking spaces. (Ord. 1191, 2015,___)

Section 9. Section 17.09.040, On Site Parking Space Requirements, Subsections 17.09.040.01, Residential and 17.09.040.07, Bicycle Parking, of the Hailey Municipal Code is hereby amended by the addition of the underlined language and deletion of the stricken language, as follows:

17.09.040.01: RESIDENTIAL PARKING REQUIREMENTS:

Parking for all dwellings less units smaller than 1,000 square feet	Minimum of 1 space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.
<u>Parking for all dwelling units larger than 1,000 square feet in multi-family buildings, mixed-use buildings, townhouse developments, and cottage developments</u> Multiple family dwellings and dwelling units with a mixed use building	Minimum of <u>an average of 1.5 spaces per dwelling unit</u> .

Single-family dwellings	<p>2 spaces per dwelling minimum, 6 spaces per dwelling maximum.</p> <p>Parking spaces within any garage, carport or similar structure shall be credited at 1 space per 9 feet of floor width and 18 feet of floor length.</p> <p>The city will allow the use of 100-foot-wide rights of way within the Hailey original townsite for licensed passenger vehicle parking for single-family dwellings. Parking for accessory dwelling units must be provided on site.</p>
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17.09.040.07: BICYCLE PARKING:

All ~~multi-family, residential and commercial or mixed-use~~ development, including new construction and additions, shall provide at least three (3) bicycle parking spaces or bicycle spaces equivalent to twenty five percent (25%) of the required number of vehicle parking spaces, whichever is greater. (Ord. 1191, 2015,___)

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STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of June 20, 2023

To: Hailey Planning and Zoning Commission

From: Emily Rodrigue, Community Development City Planner / Resilience Planner

Overview: Consideration of an Accessory Dwelling Unit (ADU) Application by Edward Stacy Ivie for a detached 894 square foot garage, with a two-bedroom, 894 square foot ADU located above. This project is located at 214 W. Croy Street (Lot 7A, Block 4, Croy Addition) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

Hearing: June 20, 2023

Applicant: Edward Stacy Ivie

Location: Lot 7A, Block 4, Croy Addition (214 W Croy Street)

Zoning: General Residential (GR) and Townsite Overlay (TO) Zoning Districts

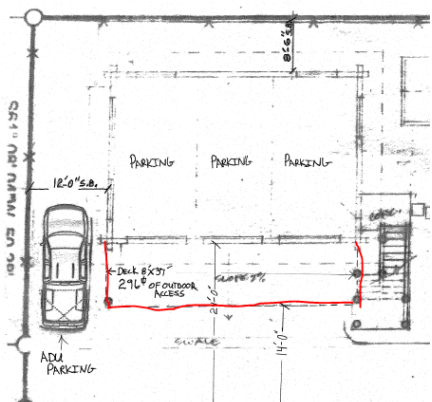

Notice: Notice for the public hearing was published in the Idaho Mountain Express on May 30, 2023 and mailed to property owners within 300 feet on May 30, 2023.

Application: The Applicant is proposing to construct a new, detached, two-story garage/ADU structure on their property, consisting of approximately 1,788 square feet of total interior floor area. The garage is proposed to have three (3) vehicle bays, five (5) windows, and one (1) human entry door. The ADU, located above the garage, is proposed at approximately 894 square feet in size. It will include two (2) bedrooms, two (2) bathrooms, in-unit laundry, and 296 square feet of second-story outdoor deck space. One (1) ADU parking space is provided on the south side of the proposed garage/ADU structure, which is located at the rear and southern-most extent of the site. Occupant entry to the ADU unit will be provided via the outdoor stairs that connect the ground level to the second-story deck.

Procedural History: The Design Review Application was submitted on March 23, 2023, with updated plans and clarifications being submitted between the dates of April 10, 2023 and May 19, 2023. Due to this project's coincidence with various ADU Design Review Text Amendment and procedural updates, which influenced required application components, select features of Mr. Ivie's Application are still in progress of being submitted. In the interest of public cooperation and the impact of evolving development standards on local developers, City Staff are amenable to presenting this Design Review application with limited outstanding components, requiring that all remaining plans be submitted, reviewed, and approved by City Staff the City Engineer prior to issuance of a Building Permit.

A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on June 20, 2023, in the Hailey City Council Chambers and virtually via GoTo Meeting

General Requirements for Accessory Dwelling Units				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.020	Applicability. A. The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04D.030	General Provisions. A. Accessory Dwelling Units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached Accessory Dwelling Units may comprise the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising of the remaining floor area.
			Staff Comments	The proposed ADU is detached from the primary residence and is approximately 894 square feet in size and located above a new 894 square foot garage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. Only one (1) Accessory Dwelling Unit is permitted on a lot.
			Staff Comments	Only one (1) ADU is proposed onsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		C. Accessory Dwelling Units are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transition and SCI zones, Accessory Dwelling Units are permitted in conjunction with commercial buildings. In Business, Limited Business and Neighborhood Business, one or more residential unit(s) are considered.
			Staff Comments	The proposed ADU is in conjunction with an existing single-family residence, and both are located within the General Residential (GR) and Townsite Overlay (TO) Zone Districts.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		D. Accessory Dwelling Units in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in Section 17.04J.020, "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.
			Staff Comments	N/A, as the proposed ADU is not located within the Special Flood Hazard Area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.040: Registration of Accessory Dwelling Units Required	A. All Accessory Dwelling Units created after February 10, 2021, shall be issued an Accessory Dwelling Unit Compliance Certificate.
			Staff Comments	Upon completion of construction for the proposed ADU, a Compliance Certificate will be issued.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.050: Occupancy Restrictions - Short Term Occupancy	A. Where a lot contains both a primary dwelling unit and an Accessory Dwelling Unit, only one dwelling unit shall be utilized for Short-Term Occupancy;
			Staff Comments	At this time, the owner intends to utilize the ADU as a long-term rental. The owner will continue to reside in the primary residence.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		B. When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.
			Staff Comments	N/A, as neither the primary nor the accessory dwelling unit are intended to be used for short-term occupancy.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.060: Subordinate Scale and Size	A. Scale: The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.												
			Staff Comments	The gross floor area of the principal building is 2,041 square feet. Sixty-six percent (66%) of this is 1,347 square feet in size. The proposed ADU of approximately 894 square feet is within the range allowance.												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		B. Maximum Floor Area: <table><tr><th>Lot Size (square feet)</th><th>Minimum Gross Floor Area (square feet)¹</th><th>Maximum Gross Floor Area (square feet)¹</th></tr><tr><td>Up to 7,000</td><td>300</td><td>900</td></tr><tr><td>7,001 – 8,000</td><td>300</td><td>950</td></tr><tr><td>Lots 8,001 and greater</td><td>300</td><td>1,000</td></tr></table> Gross square footage calculations for Accessory Dwelling Units does not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.	Lot Size (square feet)	Minimum Gross Floor Area (square feet) ¹	Maximum Gross Floor Area (square feet) ¹	Up to 7,000	300	900	7,001 – 8,000	300	950	Lots 8,001 and greater	300	1,000
Lot Size (square feet)	Minimum Gross Floor Area (square feet) ¹	Maximum Gross Floor Area (square feet) ¹														
Up to 7,000	300	900														
7,001 – 8,000	300	950														
Lots 8,001 and greater	300	1,000														
			Staff Comments	Please refer to Section 17.08D.060A, noted above, for further details.												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		C. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.												
			Staff Comments	The proposed ADU has two (2) bedrooms.												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08D.070: Livability	A. Outdoor Access: All Accessory Dwelling Units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineate by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. The Outdoor Access area shall be approved through the Design Review process.												
			Staff Comments	The ADU outdoor space is provided as an outdoor, second-story deck, located on the east side of the garage/ADU and is 296 square feet in size. (See image below for further details). <div></div>												
Chapter 17.09: Parking and Loading																
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09 020.05.B	Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.												

			Staff Comments	<i>A single-car parking space for the ADU is proposed to the south of the ADU/garage. The Applicant may wish to provide clarification on surface improvements for the newly developed parking area, as surface materials were not included in submitted plans.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.05.D	Mitigation for Accessory Dwelling Unit parking spaces: Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.
			Staff Comments	<p><i>The Applicant has stated that the following light trespass mitigation measures will be taken for the proposed ADU:</i></p> <ul style="list-style-type: none"> • <i>All exterior lighting will be downcast.</i> • <i>Interior window curtains and blinds will be included in the unit.</i> <p><i>A fence appears to be present along the southern and western property boundaries, both of which adjoin with neighboring property owners/residents and will further mitigate light trespass onto neighboring properties. The Applicant owns the adjacent east lot, and the eastern property boundary does not include fencing.</i></p> <p><i>The Applicant shall confirm if the southern and eastern boundary fencing is present and designed to mitigate light pass-through.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040.01	Accessory Dwelling Units and all dwelling units less than 1,000 square feet require one (1) parking space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.
			Staff Comments	<i>This standard has been met. A single-car parking space is proposed to service the ADU to the south of the garage/ADU and primary residence. The primary residence will utilize the garage and parking spaces in the right of way off Croy Street.</i>

General Requirements for all Design Review Applications

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
				At time of packet publication, Department Heads had not yet submitted comments for this project. The City Engineer shall review these Standards and submitted materials, prior to June 20, 2023, and their comments will be provided for Planning and Zoning Commission review at the June 20, 2023 Public Hearing.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	? Complete Application
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering:
				Life/Safety: <i>No comments.</i>
				Water and Sewer:
				Building: <i>No comments.</i>
				Streets:
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.


			<i>Staff Comments</i>	<i>N/A, as signage is prohibited in residential zones.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<p>See Section 17.09.040 for applicable code.</p> <p>17.09.040 Single-Family Dwellings: two (2) spaces minimum, six (6) spaces maximum</p> <p>17.09.040.01 Accessory Dwelling Units: one (1) space per unit</p>
			<i>Staff Comments</i>	<i>The Hailey Municipal Code requires a minimum of two (2) parking spaces for each single-family residential dwelling and one (1) parking space for an Accessory Dwelling Unit that is less than 1,000 square feet in size. A single-car parking space is proposed to the south of the ADU/garage for the ADU to utilize. The single-family residence will utilize the existing garage and parking within the right-of-way off Croy Street. Parking requirements for the proposed project are met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p>17.08C.040 General Standards</p> <ol style="list-style-type: none"> All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> Overlighting; Energy waste; Glare; Light Trespass; Skyglow. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			<i>Staff Comments</i>	<i>The Applicant intends to install Dark Sky compliant fixtures, downcast and low wattage fixtures. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Bulk Requirements	Zoning District: General Residential (GR) and Townsite Overlay (TO)
			<i>Staff Comments</i>	<p><i>Applicant is approximately 4 inches shy of meeting the base setback outline in code, or 15% of lot width (lot width 59.95 x 0.15 = 8.85 feet. Applicant is proposing a west side yard setback of 8.5 feet).</i></p> <p><i>Due to the irregularity of materials, sizes, and widths inherent in log home construction, as the Applicant has proposed, point-measured setback calculations may vary across the structure, such that in some locations upon elevations, the setback adherence varies. While the proposed west elevation setback appears noncompliant with the base setback, Townsite Overlay Bulk Requirements state that no setback shall be less than six (6) feet. With this consideration, the Applicant does comply with the Overlay District absolute minimum for private property line setbacks.</i></p> <p><i>Maximum Permitted Building Height: 30'</i></p> <p><i>Proposed Building Height (from existing grade):</i></p> <ul style="list-style-type: none"> <i>Approximately 29' 1"</i>


				<p><i>Required Setbacks:</i></p> <ul style="list-style-type: none"> ○ Front Yard (North): 12' ○ Side Yard (West): 8.85' (15% lot width) ○ Side Yard (East): 8.85' (15% lot width)' ○ Rear Yard (South): 8.85' (15% lot width) <p><i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> ○ Front Yard (North): 20+'' ○ Side Yard (West): 8.5' ○ Side Yard (East): 24' ○ Rear Yard (South): 12' <p><i>Maximum Permitted Lot Coverage: 30%</i></p> <p><i>Proposed Lot Coverage:</i></p> <ul style="list-style-type: none"> ○ 9,028 square foot lot / 2,468 square foot building footprint (existing + proposed) = 27% <p><i>All other setbacks, building height, and lot coverage requirements have been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(A)1 Street Improvements Required	Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.
			Staff Comments	Pursuant to Section 17.06.070, the requirement for sidewalk and drainage improvements may be waived if the project is a remodel and/or addition to a single-family residence. The proposed project is a detached garage/ADU and an addition to the existing single-family residence; therefore, sidewalk and drainage improvements are not required at this time.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)
			Staff Comments	This standard shall be met.

Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).



Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)1	<p>1) Site Planning</p> <p>Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</p> <p><i>Staff Comments</i> The lot is existing and respects the Old Hailey Townsite grid pattern. The proposed ADU will preserve the grid pattern, keeping visual access to Croy Street for the primary residence along with its vehicular access via parking pad located off of Croy Street, and ADU vehicular access via an existing, platted access easement leading from Croy Street and along the east edge of the property.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Guideline: Site planning for new development and redevelopment shall address the following:


				<ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units.
			<i>Staff Comments</i>	<ul style="list-style-type: none"> • The scale of the proposed addition is consistent with the scale and massing of buildings in the surrounding neighborhood. • The single-family residence is existing. The ADU orientation complements that of the existing residence. As existing, the front entry of the home faces Croy Street and the ADU/garage will be accessible via an existing, platted access easement from Croy Street. • The ADU will be tucked behind the existing residence. Sufficient yard and open space exist on all sides of the home. • The residence and proposed ADU/garage are located mid-block; impact of solar access to adjacent homes will be minimal. • Snow storage has been identified on the site plan and is sufficient for the site. • Water and sewer utilities are existing and located underground. An overhead powerline exists which services the single-family residence. It appears the proposed ADU's power will be located underground.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.
			<i>Staff Comments</i>	<p>The residence is existing. The design intent of the proposed ADU and addition was to complement that of the existing residence, while retaining the character of Old Hailey. At this time, the Applicant has not proposed any energy-conserving designs, neither compatible nor incompatible with the character of Old Hailey.</p> <p>If needed, the Applicant can describe any energy-conserving methods listed above that they do wish to incorporate, or additional requests made by the Commission.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)2	2. Bulk Requirements (Mass and Scale, Height, Setbacks)
				Guideline: The perceived mass of larger buildings shall be diminished by the design.
			<i>Staff Comments</i>	The use of a pitched roofs and a variety of windows helps reduce the mass of the proposed ADU/garage. The addition to the primary residence will incorporate gabled pitched roofs, a covered front porch, and two (2) second-story decks which will help reduce the mass of the proposed addition.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3	3. Architectural Character
			17.06.090(C)3a	a. General

				<p>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</p> <p><i>Staff Comments</i> The architectural style of the proposed ADU/garage and addition to the existing residence are consistent with the vernacular style of Old Hailey but is not an exact replica of any particular building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3b	<p>b. Building Orientation</p> <p>Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</p> <p><i>Staff Comments</i> The front entry of the proposed detached ADU/garage structure is clearly identified and includes a prominent second story deck which highlights the entrance to the living area. The second story deck covers the garage doors, which can be accessed via the existing driveway, and further diminishes the overall scale of the building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</p> <p><i>Staff Comments</i> The single-family residence is existing. The detached ADU/garage has been oriented with respect to the existing grid pattern of Hailey.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3c	<p>c. Building Form</p> <p>Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</p> <p><i>Staff Comments</i> Various windows and a prominent entryway for the ADU help reduce the perceived scale of the building. Clean lines and log construction are proposed, which are consistent with styles and forms found in Old Hailey.</p> <p>The proportion, size, and shape of the proposed ADU/garage are compatible with the surrounding neighborhood.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>d. Roof Form</p> <p>Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.</p> <p><i>Staff Comments</i> The proposed roof forms define the entry to the building and are complemented by the placement of a gable. The second-story deck area and its associated railing also helps to break up the mass of building and diminish the presence of the 3-bay garage. (See image below for details.)</p> <div data-bbox="623 1432 1435 1892">  <p>FRONT ELEVATION SCALE: 1/4" = 1'-0"</p> </div>

				<p><i>The proposed garage/ADU also incorporates gabled roof pitches. (See image below for details.)</i></p>  <p>RIGHT ELEVATION SCALE: 1/4" = 1'-0"</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site.</p> <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties.
			<i>Staff Comments</i>	<p><i>The roof pitch as proposed will aid in efficient shedding of snow, while the alternating pitch/gable over the entrance will protect the key entry/exit route for the unit. The Applicant shall speak to proposed roof materials and their impact on snow shedding.</i></p> <p><i>Due to the close proximity of the roof surface to the western-adjacent property line, the Applicant shall install snow clips or other similar snow retention measures on the westerly roof slope. This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged.</p>
			<i>Staff Comments</i>	<p><i>The proposed ADU/garage incorporates pitched roofs in a traditional form. Shingle material also appears to be proposed, which mirrors much of the roof material design of surrounding homes and the broader neighborhood. The proposed roof forms, ridge lengths and materials are similar to those traditionally found in the neighborhood.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3d	<p>Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood.</p>
			<i>Staff Comments</i>	<p><i>The proposed roof pitches are compatible and consistent with the surrounding neighborhood.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	<p>e. Wall Planes</p>
				<p>Guideline: Primary wall planes should be parallel to the front lot line.</p>
			<i>Staff Comments</i>	<p><i>The primary residence's wall planes are parallel to the front lot line. As the proposed project is an accessory structure to the primary structure, the</i></p>

				<i>garage/ADU primary wall planes as positioned (to the sides of the lot) are subservient to the primary residence and appropriate for overall site orientation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood.
			<i>Staff Comments</i>	<i>The proposed ADU/garage is smaller in scale than the primary residence and matches the building footprint scale of much of the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3e	Guideline: The use of pop-outs to break up longer wall planes is encouraged.
			<i>Staff Comments</i>	<i>The longer wall planes on the northern and southern elevations of the proposed structure incorporates natural timber framing and siding materials with exposed log ends and the incorporation of split log rafters. These features accomplish much of the same effect as pop-outs for breaking up longer wall planes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	f. Windows
				Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion.
			<i>Staff Comments</i>	<i>The proposed windows are traditional in size, scale, and are appropriate for the neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3f	Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors.
			<i>Staff Comments</i>	<i>A variety of windows are proposed and framed in a manner that is consistent with the neighborhood and do not impact neighborhood privacy.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	g. Decks and Balconies
				Guideline: Decks and balconies shall be in scale with the building and the neighborhood.
			<i>Staff Comments</i>	<i>The proposed deck area is in scale with the garage/ADU building and the surrounding neighborhood, as it only occupies one side of the building and faces toward the Applicant's adjacent owned property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3g	Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible.
			<i>Staff Comments</i>	<i>See above; the placement of the deck area will most heavily impact the eastern adjoining lot, which is owned by the Applicant. The southern adjoining property hosts a garage at the rear of the site, closest to the proposed garage/ADU, which enhances buffering between residential spaces for the north-south adjoined parcels.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3h	h. Building Materials and Finishes
				Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged.
			<i>Staff Comments</i>	<i>The use of natural timber logs and framing features inherently discourages the look of large, flat walls, as the curvature in each timber piece provides visual variety and dimension. City Staff would like to commend the Applicant on the selection of traditional material that evokes a strong sense of place in the City,</i>

				<p><i>as opposed to monotone lap-siding.</i></p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.090(C)3h</p> <p>Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</p> <p><i>Staff Comments</i></p> <p><i>As shown below, the upper area of the top roof ridge incorporates an alternate shingle material, breaking up the mass of wall planes on 3 out of 4 elevations for the building.</i></p> 	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.090(C)3i</p> <p>i. Ornamentation and Architectural Detailing</p> <p>Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.</p> <p><i>Staff Comments</i></p> <p><i>Architectural detailing has been incorporated into the front wall plane of the proposed building, including features of alternating shingle, exposed log roof rafters, metal railings, and shaped windows to complement the entry gable (see below):</i></p>	

				
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.
			<i>Staff Comments</i>	<i>Trim detailing around the windows of the proposed building has been included, and the timber post-and-beam features and material selection evoke a timeless historic nature of both Old Hailey and the broader Wood River Valley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)3i	Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.090(C)3i for further information.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	4. Circulation and Parking
				Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.
			<i>Staff Comments</i>	<i>Adequate parking has been provided. With pedestrian access placed on the second level of the proposed structure, risk of vehicle encounter for residents entering/exiting the proposed ADU is lowered. A snow storage area is located in the northwestern corner of the property, which does not restrict pedestrian access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: The visual impacts of on-site parking visible from the street shall be minimized.
			<i>Staff Comments</i>	<i>As the proposed ADU parking space and 3-bay garage are both located at the back of the property, shielded by the primary residence, the visual impact of on-site parking from the street is minimized.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.
			<i>Staff Comments</i>	<i>N/A, as no alley is associated with this site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)4	Guideline: Detached garages accessed from alleys are strongly encouraged.
			<i>Staff Comments</i>	<i>The proposed ADU will be located above a detached garage, and although no alley is present, the access lane will be located in an existing, platted access easement along adjoining property boundaries that are both owned by the Applicant.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane.
			<i>Staff Comments</i>	<i>N/A, the proposed garage is not located on the street side.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)4	Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized.

			Staff Comments	<i>N/A, the proposed ADU/garage is not planned on the street side and the only proposed parking area is one car in width.</i>
☒?	☐	☐	17.06.090(C)4	Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.
			Staff Comments	<i>Off-street parking is ample, and it appears, a recreational vehicle could be stored onsite. The Applicant shall confirm whether onsite parking can accommodate a recreational vehicle.</i>
☒	☐	☐	17.06.090(C)5	5. Alleys
				Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.
			Staff Comments	<i>N/A, as no alley exists.</i>
☒?	☐	☐	17.06.090(C)5	Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.
			Staff Comments	<i>Water and sewer utilities are existing and located underground. An overhead powerline exists which services the single-family residence, and the proposed ADU's power is located underground. While there is no alley present, vehicular access to the garage will be provided though the existing, platted access easement on the eastern edge of the parcel.</i>
☒	☐	☐	17.06.090©5	Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.
			Staff Comments	<i>The existing, platted access easement is gravel and will be managed for noxious weed control in accordance with Idaho State Law.</i>
☒?	☐	☐	17.06.090(C)5	Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.
			Staff Comments	<i>The existing landscaping to be maintained is grass.</i>
☒	☐	☐	17.06.090(C)6	6. Accessory Structures
				Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.
			Staff Comments	<i>An ADU/garage is proposed. The ADU/garage will be similar in scale, as well as location and function to the existing residence. It will be located to the rear of the parcel, which reduces its visibility and mass, adequately supporting this standard.</i>
☒	☐	☐	17.06.090(C)6	Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.
			Staff Comments	<i>The proposed ADU/garage will be located to the rear of the parcel, with access via the existing, platted access easement.</i>
☒?	☐	☐	17.06.090(C)7	7. Snow Storage
				Guideline: All projects shall be required to provide 25% snow storage on the site.
			Staff Comments	<i>Submitted site plans do not show paved areas; however, outdoor parking areas are present and proposed. A snow storage area is shown on site plan in the northwestern corner of the lot, which appears to be adequately sized and placed to manage the volume of snow removal for the site. Dimensions were not provided by the Applicant.</i>
				<i>The Applicant may wish to provide an updated snow storage plan with paved surface /pedestrian walkway dimensions and dimensions of the snow storage</i>

				area, complying with snow storage requirements as stated by Hailey Municipal Code, per the request of the Commission.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)7	Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas.
			<i>Staff Comments</i>	<i>Snow storage areas are located to the north and west of the parcel. Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible from the street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)8	8. Existing Mature Trees and Landscaping Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.
			<i>Staff Comments</i>	<i>N/A, as no existing mature trees appear to be present at the site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)8	Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible.
			<i>Staff Comments</i>	<i>N/A, as the proposed building site does not contain any significant landscape features.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)8	Guideline: Noxious weeds shall be controlled according to State Law.
			<i>Staff Comments</i>	<i>If noxious weeds are present on the site, the Applicant shall control in accordance with Idaho State Law.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.090(C)9	9. Fences and Walls Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates.
			<i>Staff Comments</i>	<i>A fence appears to be present along the southern and western property boundaries, both of which adjoin with neighboring property owners/residents. No additional fencing abutting public streets or sidewalks is proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)9	Guideline: Retaining walls shall be in scale to the streetscape.
			<i>Staff Comments</i>	<i>N/A, as none are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	10. Historic Structures General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure.
			<i>Staff Comments</i>	<i>N/A, as the existing single family residence is not considered a historic structure (built in 1994).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.090(C)10	Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines: <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure.

			<ul style="list-style-type: none"> • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions.
		<i>Staff Comments</i>	<i>N/A, as the existing single family residence is not considered a historic structure (built in 1994).</i>

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
 1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
 1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.

- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Requirements include but are not limited to:
 - i. A Drainage Plan that illustrates grading, catch basins, piping, and dry-well details shall be provided prior to issuance of a Building Permit.
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) Sidewalk in-lieu fees are hereby waived, pursuant to Section 17.06.070(B).
- g) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- h) The Applicant shall install snow clips or other similar snow retention measures on the westerly roof slope.
- i) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- j) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- k) The applicant shall utilize the existing sewer service.

Motion Language:

Approval: Motion to approve a Design Review Application by Edward Stacy Ivie for a detached 894 square foot garage, with a two-bedroom, 894 square foot ADU located above, located at 214 W. Croy Street (Lot 7A, Block 4, Croy Addition) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions (a) through (k) are met.

Denial: Motion to deny a Design Review Application by Edward Stacy Ivie for a detached 894 square foot garage, with a two-bedroom, 894 square foot ADU located above, located at 214 W. Croy Street (Lot 7A, Block 4, Croy Addition) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date].

ABBREVIATIONS

APPROX. = APPROXIMATE
BOT. = BOTTOM
BRG. = BEARING
CFM = CUBIC FEET PER MINUTE
CLR = CLEARANCE
CO = CARBON MONOXIDE
CONC. = CONCRETE
CONT. = CONTINUOUS
D = PENNY
DBL = DOUBLE
DECO = DECORATIVE
DEG. = DEGREE
DF = DOUGLAS FIR
DIA. = DIAMETER
DWS = DRAWING
EMBED. = EMBEDMENT
FND = FOUNDATION
FTG = FOOTING
GLB = GLULAM BEAM
GYP = GYPSUM
HORIZ = HORIZONTAL
MAX = MAXIMUM
MECH = MECHANICAL
MFR = MANUFACTURER
MFR'S = MANUFACTURER'S

MIN. = MINIMUM
NTS = NOT TO SCALE
O.C. = ON CENTER
PE = POLYETHYLENE
PT = PRESSURE TREATED
R = ROUND (IN LOG
BEAM SCHEDULE)
REINF. = REINFORCE
REQ'D = REQUIRED
SEL. = SELECT
SF = SQUARE FEET
SQ. FT. = SQUARE FEET
SGR. = SQUARE
SS = SELECT STRUCTURAL
STRUCT. = STRUCTURAL
TBD = TO BE DETERMINED
TYP = TYPICAL
UNO = UNLESS NOTED
OTHERWISE
UTIL = UTILITY
VERT = VERTICAL
W/ = WITH
WIC = WALK IN CLOSET
YR = YEAR

214 W CROY ST IVIE GARAGE,
HAILEY, BLAINE COUNTY,
IDAHO

PROJECT DATA

I. GOVERNING BUILDING CODE: IRC 2018

PROJECT INFORMATION

BUILDING DEPARTMENT:
HAILEY, IDAHO

DRAWING INDEX

C1 SITE PLAN (BY OTHERS)
S0.0 COVER SHEET
S0.1 GENERAL NOTES
S1.0 CONNECTION DETAILS
S1.1 CONNECTION DETAILS
S2 FOUNDATION PLAN AND
LOFT FLOOR FRAMING
S3 ROOF FRAMING AND
MAIN FLOOR SHEAR WALLS

DESIGN NOTES

GROUND SNOW LOAD - 120 PSF
FLAT ROOF SNOW LOAD - 100 PSF
SNOW LOAD IMPORTANCE FACTOR - 1.0
SNOW EXPOSURE FACTOR - 1.0
THERMAL FACTOR - 1.0

OCCUPANCY CATEGORY - II
SOIL BEARING CAPACITY - 1500 PSF
ULTIMATE WIND SPEED - 103 MPH, EXP B

SEISMIC DESIGN CATEGORY - D
SEISMIC SITE CLASS - D
RISK CATEGORY - II
SEISMIC COEFFICIENTS -
Sds: 0.44lg Sd1: 0.23lg R: 4.0 Cs: 0.11
SEISMIC ANALYSIS PROCEDURE -
EQUIVALENT LATERAL FORCE METHOD

FLOOR LIVE LOAD - 40 PSF
FLOOR DEAD LOAD - 15 PSF
ROOF DEAD LOAD - 15 PSF



CONTRACTOR'S RESPONSIBILITY
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL ASPECTS OF THESE DRAWINGS,
ARCHITECTURAL AND STRUCTURAL, PRIOR TO CONSTRUCTION. ANY CONFLICTS SHALL BE
REPORTED TO THE ENGINEER FOR CORRECTION. CHANGES MAY BE PROPOSED BY THE
CONTRACTOR IF HE FEELS THE CHANGE IS IN THE BEST INTEREST OF THE OWNER. CHANGES
SHALL BE FORWARDED TO THE ENGINEER IN WRITING FOR APPROVAL PRIOR TO CONSTRUCTION.

STRUCTURAL DRAWINGS ONLY

DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF
PROFESSIONAL SERVICE ARE AND SHALL REMAIN
PROPERTY OF DESIGN INTELLIGENCE, LLC.
THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE
OR IN PART FOR ANY PROJECT OR PURPOSE
UNLESS SO INDICATED BY THE ENGINEER'S WRITTEN
AUTHORIZATION OF DESIGN INTELLIGENCE, LLC.

DATE	8/26/2022	SCALE	AS NOTED	DESIGN INTELLIGENCE, LLC	214 W CROY ST IVIE GARAGE	60.0
				PHONE: (208) 399-1461		
				FAX: (208) 399-0740		
				EMAIL: JOHND@DESIGNINTEL.COM		
				1031 BRICKSON DR.		
				REXBURG, IDAHO		
				83440		

GENERAL STRUCTURAL NOTES

REFERENCED CODES

- A. International Building Code
B. ACI Building Code Requirements for Reinforced Concrete

GENERAL STRUCTURAL NOTES

1. The structural drawings shall be used in conjunction with the drawings of all other disciplines and the project specifications. The contractor shall verify the requirements of the other trades as to sleeves, chases, hangers, vents, anchor holes and other items to be placed or set in the structural work.
2. The contractor shall be responsible for complying with all safety precautions and regulations during the work. The engineer will not advise on or take direction as to safety precautions and programs.

3. The structural drawings herein represent the finished structure. The contractor shall provide all temporary bracing required to erect and hold the structure in proper alignment until all anchor bolts and connections have been completed. The investigation design, safety, adequacy and inspection of erection bracing, shoring, temporary supports, etc. is the sole responsibility of the contractor.
4. The engineer shall not be responsible for the methods, strengths and capacities of permanent restraints on the work. The supervision of the work is the sole responsibility of the contractor.

5. Drawings indicate general and typical details of construction. Where conditions are not specifically shown, similar details of construction shall be used, subject to approval by the engineer.
6. All structural systems which are to be composed of components to be field erected shall be supervised by the engineer during manufacturing and erection. Storage and erection in accordance with the suppliers instructions and requirements.

7. Leading applied to the structure during the process of construction shall not exceed the live load carrying capacity of the structural members. The live loading used in the design of the structure are indicated in the "Design Criteria Notes". Do not apply any construction loads until structural framing is properly connected together and until all temporary bracing is in place.

8. All ASTM and other references are per the latest editions of these standards, unless otherwise noted.

9. Shop drawings and other items shall be submitted to the engineer for review prior to fabrication. All shop drawings shall be reviewed by the general contractor before submittal. The engineer's review is to be for conformance with the design concept and general compliance with the relevant contract documents. The engineer's review does not relieve the contractor of the sole responsibility to review, check and coordinate the shop drawings prior to submission. The contractor remains solely responsible for errors and omissions associated with the preparation of the shop drawings, even when to member sizes, details, dimensions, etc.

10. Submit shop drawings to the Engineer. In no case shall reproduction of the contract drawings be used as shop drawings. Submit the following items for review:

- A. Concrete mix designs - NOT REQUIRED
B. Reinforcing steel shop drawings - NOT REQUIRED
C. Structural steel shop drawings - NOT REQUIRED
D. Steel joist / diaphragm shop drawings - NOT REQUIRED
E. Metal decking shop drawings - NOT REQUIRED
F. Pre-engineered metal building system - NOT REQUIRED
G. Pre-engineered metal building system - NOT REQUIRED
- Other submittals may be required per the "Schedule of Special Inspections" or the separate notes contained herein.

11. Special inspections are not required on projects with an IRC governing building code (see cover sheet). Special inspections are required on IRC projects as noted below:
- A. Concrete - NOT REQUIRED
B. Bricks installed in Concrete - NOT REQUIRED
C. Structural Lathing - Three coats - NOT REQUIRED
D. High Strength Bolting - NOT REQUIRED
E. Structural Masonry - NOT REQUIRED
F. Placed Wood Trusses w/ 6" or greater depth - NOT REQUIRED
G. Brine walls - REQUIRED

12. Unless otherwise indicated, all items noted to be checked shall be checked by the contractor's prior to and be removed from the site.

13. Contractors shall visit the site prior to bid to ascertain conditions which may adversely affect the work or cost thereof.
14. Ducts, plumbing and openings through engineered steel walls shall not exceed 1/4" in diameter except as shown on drawings. No penetrations exceeding 3/4" in diameter shall be made in structural members except as noted on drawings. Penetrations with 3/4" diameter and larger shall be made in the center 1/3rd of the beam height and length. A maximum of 27 penetrations per beam are allowed. Contact the engineer if additional penetrations are required. A minimum of 6" horizontal distance from penetrations is required.

DESIGN CRITERIA

Design Gravity Loads

Road DL - SEE COVER SHEET
Floor DL - SEE COVER SHEET

Design Live Loads

Road LL - 2.0 psf min
Brow - SEE COVER SHEET
Commercial Floor LL - 50 psf + 15 psf Partition
Residential LL - 40 psf

Lateral Live Loads

Wind - SEE COVER SHEET
Seismic - SEE COVER SHEET
Equivalent Fluid Pressure - 39 psf

CASIT-IN-PLACE CONCRETE NOTES

1. Concrete slabs shall be designed per ACI 301 using Plastic Cement conforming to ASTM C-90 or C-488, aggregate conforming to ASTM C-33, and admixtures conforming to ASTM C-484, C-1017, C-681, C-682 and C-680. Concrete shall be ready-mixed in accordance with ASTM C-94.

2. Concrete shall conform to the following compressive strength and modulus of elasticity requirements:

- Concrete compressive strength shall be 3000 psi.
(3000 psi for slabs on grade permanently exposed to weather)

- Concrete permanently exposed to weather shall be air entrained to 6% (in 1%).
Slump of concrete placed in removable forms shall be 8" max.
Slump of concrete placed in stay-in-place forms shall be 6" max.

3. All concrete work shall conform to the requirements of ACI 301 "Specification for Structural Concrete Buildings".

10. Weather conditioning shall be in accordance with ACI 308.

- Gold weather conditioning shall be in accordance with ACI 308.

4. All reinforcing steel shall conform to ASTM A-63, Grade 60.

- All welding of reinforcing steel shall be in accordance with AWS D1.1. Bolts connecting reinforcing steel shall conform to ASTM A-193.

5. All welded wire fabric (WWF) shall conform to ASTM A-185.

6. All reinforcing steel and anchor bolts shall be set and tied in place prior to pouring of concrete, except that vertical ducts for rebar shall be reinforced with "Ties" in place. Do not field bend bars partially embedded in hardened concrete unless specifically indicated or approved by the Engineer.

7. Reinforcing steel, including hooks and bends, shall be detailed in accordance with ACI 308. All reinforcing steel installed as being continuous (cont.) shall be spliced 30" for #4 bars, 36" for #5 bars and 48" for #6 bars.

8. Unless noted otherwise, the following minimum concrete cover shall be provided for reinforcement:

- A. Concrete cast against a permanently exposed earth - 3"
B. Concrete of removable forms exposed to earth or weather - 1 1/2" through 48 bars - 2"
C. Concrete not exposed to earth or weather: walls, elevated slabs - 3/4"
Beams and columns - 1 1/2"

9. Bar supports and holding bars shall be provided for all reinforcing steel to ensure minimum concrete cover. Bar supports shall be plastic tipped or stainless steel.

10. Unless noted otherwise, all concrete walls (other than retaining walls) shall be reinforced as follows:

- Wall Thickness Horizontal Vertical Location

- 6" - 8" 4" x 24" o.c. 4" x 12" o.c. Cornered

- 10" - 12" 4" x 24" o.c. 4" x 12" o.c. Each Face

11. All edges of permanently exposed concrete surfaces shall be finished 3/4" unless otherwise noted.

12. In order to avoid concrete shrinkage cracking, place concrete slabs in an alternating lay pattern. The maximum length of slab cast in any one continuous pour shall be limited to 80 feet. The maximum spacing of joints shall be 25 feet.

13. Formwork shall remain in place until concrete has obtained at least 90% of its 28 day compressive strength. The contractor shall provide all shoring and bracing.

FOUNDATION NOTES

1. See Cast-In-Place Concrete notes for additional requirements.

2. The building official shall determine whether to require a soil test to determine the soil characteristics at a particular location.

3. Unless noted otherwise on the drawings, all footings shall bear on undisturbed, firm natural soil or compacted fill capable of supporting a minimum design bearing pressure as noted on the cover sheet. All foundation excavations shall be evaluated by a qualified geotechnical engineering/soil agency prior to pouring foundation concrete if required by the building official.

4. Top of footing elevations shall be as shown on elevation drawings and sections. Unless noted otherwise, the bottom of all exterior footings shall be placed at least 12" below frost depth. The bottom of all interior footings shall be placed at least 12" below finished grade.

5. No undisturbed backfilling over 4'-0" shall be done against foundation walls unless walls are securely braced against overturning either by temporary bracing or by permanent construction.

6. Prior to commencing any foundation work, coordinate work with any existing utilities. Foundations shall be located where required to avoid utilities.

7. Unless noted otherwise, the centerlines of column foundations shall be located on column centerlines.

8. All retaining walls shall have at least 12" of free draining granular backfill, full height of wall. Provide control joints in retaining walls at approximately equal intervals not to exceed 25 feet nor 3 times the wall height. Provide expansion joints at every fourth control joint unless otherwise indicated.

SLAB ON GRADE NOTES

1. See Cast-In-Place Concrete notes for additional requirements.

2. Concrete slabs shall have a 6" minimum polyethylene vapor barrier and 4" of polystyrene insulation. Provide concrete slabs shall be 3" using Type I cement.

3. All porous fill material shall be a clean granular material with 100% passing a 10/20 sieve and 40% passing a No. 4 sieve. Porous fill shall be compacted to 95% min.

4. Slab joints shall be filled with approved material. This should use place as close as possible, preferably 4 to 6 inches, before the slab has been cast. Prior to filling, remove all debris from the joints. Provide sealant in accordance with the manufacturer's recommendations or as follows:

- 6" wide - fill with Epoxy resin
Other slabs - fill with field molded of elastomeric sealant.

5. Unless approved otherwise, all reinforcing shall be blocked into the center of the slab with precast concrete blocks having a compressive strength equal to or less of the slab.

6. All walls and other exterior slabs are not shown on the structural drawings. See the site plan and architectural drawings for location, dimensions, elevations, jointing details and finish details. Provide 4" walls reinforced with 4x6 - 12x12 L-shaped unless otherwise noted.

7. See architectural drawings for exact locations of depressed slab areas and drains. Slope slabs to drains where shown.

8. The finish tolerances of all slabs shall be in accordance with ACI 301, Type 1.

9. Floor flatness and levelness tests shall be conducted if deemed necessary by the owner in accordance with ASTM E 1180. Reveal, including acceptance or rejection of the work will be provided to the contractor within 48 hours after data collection. Remedies for all of tolerance work may include removal and reconstruction in the contractor's expense. Any other remediation requires the approval of the owner.

10. Unless noted otherwise, all concrete walls (other than retaining walls) shall be reinforced as follows:

- Wall Thickness Horizontal Vertical Location

- 6" - 8" 4" x 24" o.c. 4" x 12" o.c. Cornered

- 10" - 12" 4" x 24" o.c. 4" x 12" o.c. Each Face

11. All edges of permanently exposed concrete surfaces shall be finished 3/4" unless otherwise noted.

12. In order to avoid concrete shrinkage cracking, place concrete slabs in an alternating lay pattern. The maximum length of slab cast in any one continuous pour shall be limited to 80 feet. The maximum spacing of joints shall be 25 feet.

13. Formwork shall remain in place until concrete has obtained at least 90% of its 28 day compressive strength. The contractor shall provide all shoring and bracing.

14. Ducts, plumbing and openings through engineered steel walls shall not exceed 1/4" in diameter except as shown on drawings. No penetrations exceeding 3/4" in diameter shall be made in structural members except as noted on drawings. Penetrations with 3/4" diameter and larger shall be made in the center 1/3rd of the beam height and length. A maximum of 27 penetrations per beam are allowed. Contact the engineer if additional penetrations are required. A minimum of 6" horizontal distance from penetrations is required.

WOOD FRAMING NOTES

1. All wood framing material shall be surfaced dry and used at 18% maximum moisture content.

2. All wall framing shall be No. 2 grade Doug Fir unless noted otherwise.

3. All joist, rafter, headers & tie, framing shall be Select No. 2 grade Doug Fir. Provide full depth or nailing bridging in sloped and a maximum spacing of 8 ft o.c. between.

4. All framing shall be 8" o.c. or greater in contact with masonry or concrete shall be pressure treated in accordance with the American Wood Preservers Association Specifications unless otherwise noted. All cuts and holes should be completed before framing. Cuts and holes due to on-site fabrication shall be treated with 3 coats of copper naphthenate solution containing a minimum of 2% metallic copper in solution (per ASTM D10, 144).

5. Provide single joists under all partition walls which run parallel with floor joists. Unless noted otherwise, provide double joists under all bearing walls which run parallel with floor joists. Provide 2" min. wide solid blocking under all bearing walls which run perpendicular with joists. Provide solid blocking the width of the post under all concentrated loads from framing above.

6. Provide header beams of the same size as joists or rafters to frame around openings in the plywood deck unless otherwise indicated.

7. Structural steel plate connectors shall conform to ASTM A-36 specification and be 1/4" thick unless noted otherwise. Bolts connecting wood members shall be ASTM A-307.

8. All steel plates shall be 1/4" thick unless otherwise indicated. Provide washers for all bolt heads and nuts in contact with wood surfaces.

9. Both nails shall be carefully centered and drilled not more than 1/8" larger than the bolt diameter. Bolted connections shall be snugged tight but not to the extent of crushing wood under washers.

10. Prefabricated metal joist hangers, hurricane clips, hold-down anchors and other accessories shall be as manufactured by Simpson Strong-Tie Company, or approved equal. Metal accessories per the manufacturer's requirements shall be used.

11. All steel plates shall have a minimum edge distance of 3" o.c. unless otherwise indicated.

12. Holes and notches drilled or cut into wood framing shall not exceed the requirements of the referenced building code or the manufacturer's specifications.

13. All plates, anchors, nails, bolts, washers and other accessories shall be as manufactured by Simpson Strong-Tie Company, or approved equal. Metal accessories per the manufacturer's requirements shall be used.

14. All 8d nails shall have a minimum edge distance of 3/4". All 10d 16d nails shall have a minimum edge distance of 1 1/2". All 12d 16d nails shall have a minimum edge distance of 1 1/2".

15. All Douglas Fir shall be Douglas Fir-Larch (North) wood.

16. Bearing walls and shear walls shall be double 2x10 plates with either 24" o.c. or a steel plate splice. Bolt joints require 3/4x10x24" min. plates or 1/4x10 8d nails each side of the splice. Corner splice require 3/4x10x24" min. plates or 1/4x10 8d nails each side of the splice.

17. Study shall span continuously between floor and roof. Study shall not be spliced.

PLYWOOD/GYPBOARD SHEATHING NOTES

1. All plywood construction shall be in accordance with the American Plywood Association (APA) specifications.

2. All roof panel sheathing shall be 5/8" (nom.) GCB (AMA rated sheathing) unless otherwise indicated. Suitable edge support shall be provided by use of panel clips or 2x blocking between rafters. D blocking shall be installed between outclosures over exterior walls. Unless otherwise noted corner panel sheathing with 8d corner nails at 6" o.c. at supported panel edges and 8" o.c. at intermediate supports. All gable ends provide 8d nails at 6" o.c. from rafter or blocking to top plate of wall.

3. All floor sheathing shall be 3/4" (nom.) APA rated 24x48x1/4" Exp. 1 with tongue and groove edges. Unless noted otherwise corner floor sheathing with 8d corner nails spaced 6" o.c. at supported edges and 12" o.c. at intermediate supports. Field glue using adhesive having APA specification (APA-G), applied in accordance with the manufacturer's recommendations.

4. All wall sheathing shall be 7/8" (nom.) GCB (AMA rated sheathing) unless otherwise indicated. Suitable edge support shall be provided by use of panel clips or 2x blocking between rafters. D blocking shall be installed between outclosures over exterior walls. Unless otherwise noted corner panel sheathing with 8d corner nails at 6" o.c. at supported panel edges and 8" o.c. at intermediate supports. All gable ends provide 8d nails at 6" o.c. from rafter or blocking to top plate of wall.

5. All wall sheathing shall be 7/8" (nom.) GCB (AMA rated sheathing) unless otherwise indicated. Suitable edge support shall be provided by use of panel clips or 2x blocking between rafters. D blocking shall be installed between outclosures over exterior walls. Unless otherwise noted corner panel sheathing with 8d corner nails at 6" o.c. at supported panel edges and 8" o.c. at intermediate supports. All gable ends provide 8d nails at 6" o.c. from rafter or blocking to top plate of wall.

6. All wall sheathing shall be 7/8" (nom.) GCB (AMA rated sheathing) unless otherwise indicated. Suitable edge support shall be provided by use of panel clips or 2x blocking between rafters. D blocking shall be installed between outclosures over exterior walls. Unless otherwise noted corner panel sheathing with 8d corner nails at 6" o.c. at supported panel edges and 8" o.c. at intermediate supports. All gable ends provide 8d nails at 6" o.c. from rafter or blocking to top plate of wall.

7. All wall sheathing shall be 7/8" (nom.) GCB (AMA rated sheathing) unless otherwise indicated. Suitable edge support shall be provided by use of panel clips or 2x blocking between rafters. D blocking shall be installed between outclosures over exterior walls. Unless otherwise noted corner panel sheathing with 8d corner nails at 6" o.c. at supported panel edges and 8" o.c. at intermediate supports. All gable ends provide 8d nails at 6" o.c. from rafter or blocking to top plate of wall.

8. All wall sheathing shall be 7/8" (nom.) GCB (AMA rated sheathing) unless otherwise indicated. Suitable edge support shall be provided by use of panel clips or 2x blocking between rafters. D blocking shall be installed between outclosures over exterior walls. Unless otherwise noted corner panel sheathing with 8d corner nails at 6" o.c. at supported panel edges and 8" o.c. at intermediate supports. All gable ends provide 8d nails at 6" o.c. from rafter or blocking to top plate of wall.

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10. All wall sheathing shall be 7/8" (nom.) GCB (AMA rated sheathing) unless otherwise indicated. Suitable edge support shall be provided by use of panel clips or 2x blocking between rafters. D blocking shall be installed between outclosures over exterior walls. Unless otherwise noted corner panel sheathing with 8d corner nails at 6" o.c. at supported panel edges and 8" o.c. at intermediate supports. All gable ends provide 8d nails at 6" o.c. from rafter or blocking to top plate of wall.

11. All wall sheathing shall be 7/8" (nom.) GCB (AMA rated sheathing) unless otherwise indicated. Suitable edge support shall be provided by use of panel clips or 2x blocking between rafters. D blocking shall be installed between outclosures over exterior walls. Unless otherwise noted corner panel sheathing with 8d corner nails at 6" o.c. at supported panel edges and 8" o.c. at intermediate supports. All gable ends provide 8d nails at 6" o.c. from rafter or blocking to top plate of wall.

12. All wall sheathing shall be 7/8" (nom.) GCB (AMA rated sheathing) unless otherwise indicated. Suitable edge support shall be provided by use of panel clips or 2x blocking between rafters. D blocking shall be installed between outclosures over exterior walls. Unless otherwise noted corner panel sheathing with 8d corner nails at 6" o.c. at supported panel edges and 8" o.c. at intermediate supports. All gable ends provide 8d nails at 6" o.c. from rafter or blocking to top plate of wall.

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18. All wall sheathing shall be 7/8" (nom.) GCB (AMA rated sheathing) unless otherwise indicated. Suitable edge support shall be provided by use of panel clips or 2x blocking between rafters. D blocking shall be installed between outclosures over exterior walls. Unless otherwise noted corner panel sheathing with 8d corner nails at 6" o.c. at supported panel edges and 8" o.c. at intermediate supports. All gable ends provide 8d nails at 6" o.c. from rafter or blocking to top plate of wall.

19. All wall sheathing shall be 7/8" (nom.) GCB (AMA rated sheathing) unless otherwise indicated. Suitable edge support shall be provided by use of panel clips or 2x blocking between rafters. D blocking shall be installed between outclosures over exterior walls. Unless otherwise noted corner panel sheathing with 8d corner nails at 6" o.c. at supported panel edges and 8" o.c. at intermediate supports. All gable ends provide 8d nails at 6" o.c. from rafter or blocking to top plate of wall.

PRE-ENGINEERED TRUSS NOTES

1. Wood trusses shall be designed by the manufacturer to support the loads dictated by the governing jurisdiction.

2. Wood trusses shall be designed by the manufacturer in accordance with the applicable provisions of the latest edition of the National Design Specification for the National Forest Products Association and the design specification for metal plate connected wood trusses of the True Plate Institute.

3. Wood trusses shall be Douglas Fir and shall be kiln dried and used at 18% maximum moisture content. Provide grade required to meet stress requirements.

4. Connector plates shall be not less than 0.036 inches (20 gage) in cold rolled stock, shall meet or exceed ASTM Grade 50 or higher and shall be not dipped galvanized according to ASTM A-959 (coating G60). Minimum steel yield stress shall be 33,000 PSI.

5. Trusses shall be fabricated in a properly equipped manufacturing facility of a permanent nature. Trusses shall be manufactured by experienced workers, using precision cutting, fitting and dressing equipment under the requirements in quality control section G21-68 of the True Plate Institute.

6. Secondary bracing struts in true top and bottom chords due to dead, live and wind loads shall be considered in the design. Load duration factors shall be per the National Design Specification for Wood Construction (per referenced code).

7. Wood trusses shall be erected in accordance with the true manufacturer's requirements. This work shall be done by a qualified and experienced contractor.

8. The Contractor shall provide all temporary and permanent bracing as required for safe erection and performance of the trusses. The guidelines set forth by the True Plate Institute publication "Bridging, Connecting and Recommendations for Handling, Hoisting and Bracing True Plate Connected Wood Trusses" shall be a minimum requirement.

9. True member and components shall not be cut, notched or drilled without the approval of the Engineer.

10. Submit complete shop drawings for all wood trusses as specified in General Structure Notes section 10.7. Drawings shall show member size, species, grade, moisture content, span, center, dimensions, chord pitch, bracing requirements and loadings. Shop drawings shall be submitted to the Engineer and shall bear the seal of a Professional Engineer in the appropriate jurisdiction.

11. Unless otherwise noted, all structural steel permanently exposed to the weather, including all brack steel angles, shall be hot-dipped galvanized in accordance with ASTM A-653.

12. Protective coatings damaged during the manufacturing, erecting and field welding processes shall be repaired in the field to match the shop applied coating.

13. The contractor shall have an independent testing agency to provide special inspection of bolting, welding and other items in accordance with the International Building Code.

NOTE TO CONTRACTOR

1. TRUSS DRAWINGS SHALL BE ON SITE AT THE TIME OF FRAMING INSPECTION.

2. JOIST/RAFTER MANUFACTURER'S INSTALLATION MANUAL OF INSTRUCTIONS TO BE ON SITE AT THE TIME OF FRAMING INSPECTION.

MASONRY VENEERS

1. Cultured Stone Veneers - attach to framed walls per manufacturer's specifications.

2. Stone or Raining Veneers - approved bricks/leaves shall be secured to studs with an approved stainless-steel barrier. Stud spaced at 16" o.c. max require 24" o.c. vertical brick. The spacing. Stud spaced at 24" o.c. max require 24" o.c. vertical brick. The spacing. Brick ties shall be installed per manufacturer's specifications. Provide 1" air gap between the barrier and the veneer.

FIRE BLOCKING

- Fire blocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and partial rows of studs or staggered studs as follows:
a. Vertically in the ceiling and floor levels.
b. Horizontally in masonry not exceeding 10 feet in length.

2. At all intersections between concealed vertical and horizontal members such as occur at soffits, drop ceilings and core details.

3. In concealed spaces between stair stringers at the top and bottom of the run.

4. All openings around vent pipes, ducts, cables and wires at ceiling and floor level, with an approved material to maintain the free passage of flame and products of combustion.

STRUCTURAL STEEL NOTES

1. All structural steel shall conform to the latest edition of the "Manual of Steel Construction" of the AISC.

2. Unless noted otherwise, all materials shall be in conformance with the following ASTM specifications:

MEMBER	ASTM	MIN. STRENGTH
Structural Tubing	A500 Grade B	48 ksi
Steel Pipe	A53 Type E or Grade B	38 ksi
Wide Flange	A992	50 ksi
Other Rolled Shapes	A992	50 ksi
Angles	A36	36 ksi
Connection Bolts	A325	52 ksi
Anchor Bolts	FB54	36 ksi
Threaded Rods	A36	36 ksi
Non-drink Gout	C101	8000 psi

3. Minimum bolt diameter shall be 3/4" unless noted otherwise. All bolts shall be bearing-bearing type bolts and be snug-tight.

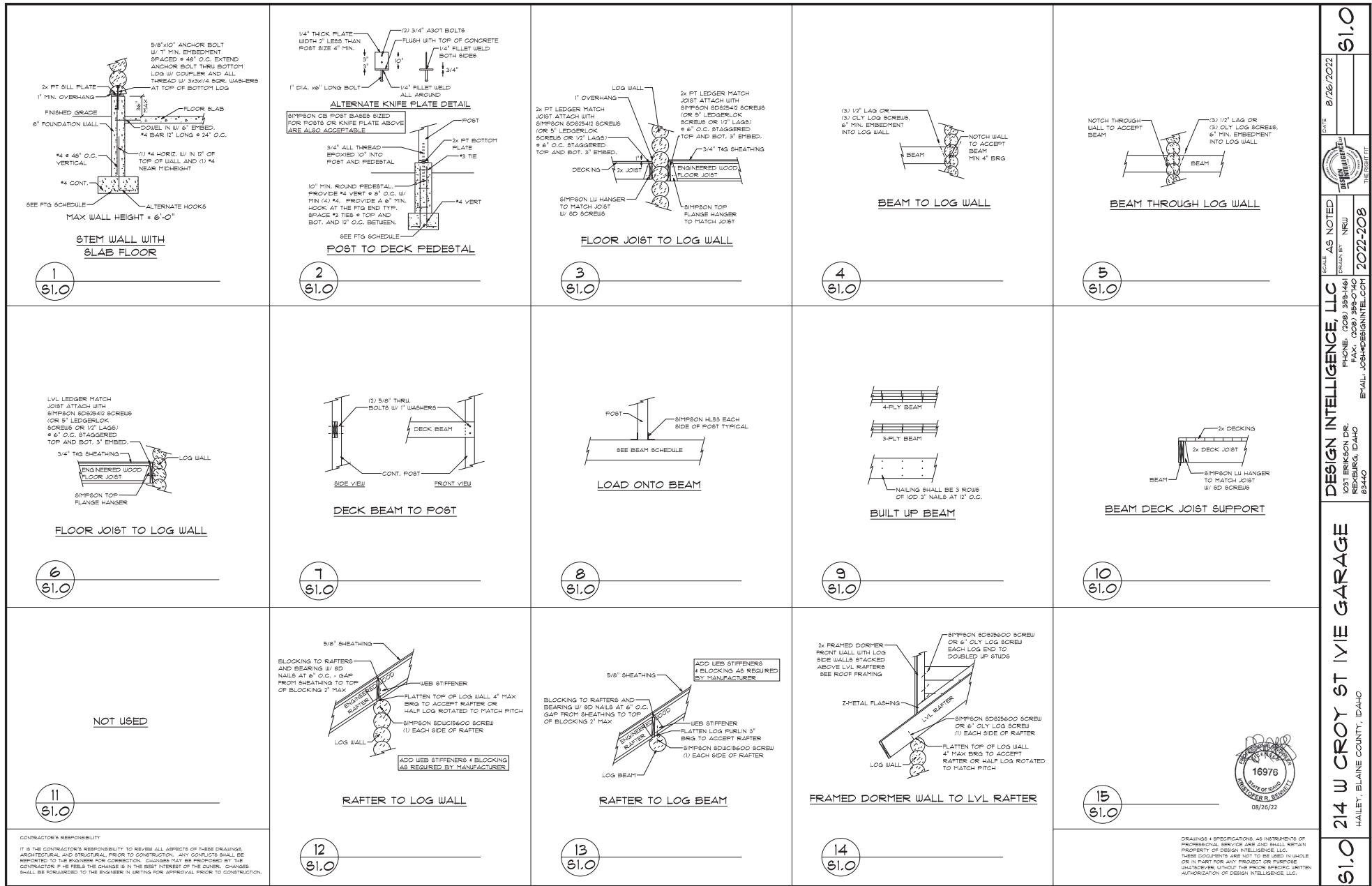
4. All welding shall be in accordance with AWS D1.1 using E70XX electrodes. Unless noted otherwise, provide 60% min. steel fillet welds per AISC requirements. All fillet material shall have a minimum yield strength of 58 ksi.

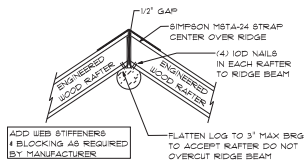
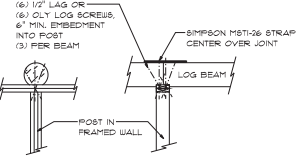
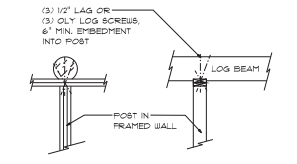
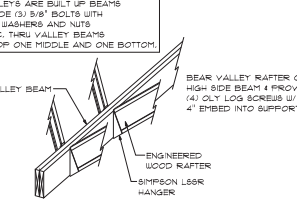
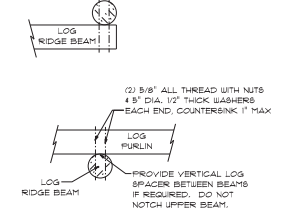
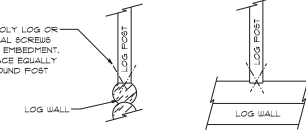
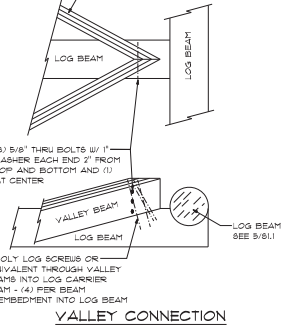
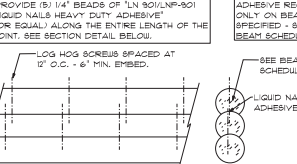

5. Where "Continuous Chord" angles are indicated, provide a continuous bolt weld or full penetration weld at the splice connection detail (for approval).

6. Where steel beams bear across building separation joints or at wall control joints, provide a "lap" connection.

7. Holes in steel shall be drilled or punched. All drilled holes are to be provided with smooth edges. Burning of holes and torch cutting at the site is not permitted.

8. Unless otherwise noted, all structural steel permanently exposed to the weather shall be shop



 <p>1 S.I.1</p>	 <p>2 S.I.1</p>	 <p>3 S.I.1</p>	 <p>4 S.I.1</p>	 <p>5 S.I.1</p>	<div> <div>8/26/2022</div> <div>DATE</div> </div> <div> <div>DESIGN INTELLIGENCE, LLC</div> <div>DESIGNED BY</div> </div> <div> <div>NEW</div> <div>SCALE</div> </div> <div> <div>AS NOTED</div> <div>AS NOTED</div> </div> <div> <div>2022-208</div> <div>PROJECT NO.</div> </div> <div> <div>9/1</div> <div>Sheet</div> </div>
 <p>6 S.I.1</p>	 <p>7 S.I.1</p>	 <p>8 S.I.1</p>	<p>9 S.I.1</p>	<p>10 S.I.1</p>	<div> <div>DESIGN INTELLIGENCE, LLC</div> <div>PHONE: (208) 393-1461</div> </div> <div> <div>1031 BRICKSON DR.</div> <div>REXBURG, IDAHO 83440</div> </div> <div> <div>EMAIL: JGD@DESIGNINTEL.COM</div> <div>FAX: (208) 393-0740</div> </div>
<p>11 S.I.1</p> <p>CONTRACTOR'S RESPONSIBILITY</p> <p>IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL ASPECTS OF THESE DRAWINGS, ARCHITECTURAL AND STRUCTURAL, PRIOR TO CONSTRUCTION. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER FOR CORRECTION. CHANGES MAY BE PROPOSED BY THE CONTRACTOR IF HE FEELS THE CHANGE IS IN THE BEST INTEREST OF THE OWNER. CHANGES SHALL BE FORWARDED TO THE ENGINEER IN WRITING FOR APPROVAL PRIOR TO CONSTRUCTION.</p>	<p>12 S.I.1</p>	<p>13 S.I.1</p>	<p>14 S.I.1</p>	<p>15 S.I.1</p> <p>  </p> <p> <small>DRAWINGS & SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN PROPERTY OF DESIGN INTELLIGENCE, LLC. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE WHATSOEVER WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DESIGN INTELLIGENCE, LLC.</small> </p>	<div> <div>214 W CROY ST N1E GARAGE</div> <div>HAILEY, BLAINE COUNTY, IDAHO</div> </div> <div> <div>9/1</div> <div>Sheet</div> </div>

FOUNDATION NOTES

- SEE SHEET 60.1 FOR ADDITIONAL GENERAL NOTES.
- BOTTOM OF FOOTING SHALL BE BELOW LOCAL FROST LINE.

DECK SUPPORT SPREAD FOOTINGS
UP TO 30"x30" MAY BE A 24X10 CONT. FTG W/ (3) #4 CONTINUOUS AND TRANSVERSE BARS AT 9" O.C. THE CONTINUOUS FOOTING SHALL EXTEND 2'-6" MIN. BEYOND END POSTS

BLOCKOUTS

CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR ROUGH OPENING SIZES BEFORE FORMING BLOCKOUTS. SEE ARCHITECTURAL DRAWINGS FOR ALL WINDOW AND DOOR SIZES AND LOCATIONS.

SEE SHEET 63 FOR SHEAR WALLS, HOLD DOWNS AND KING STUD SCHEDULE

BOTTOM OF FOOTINGS & TOP OF STEEL WALL HEIGHT MAY VARY
SEE ARCHITECTURAL DRAWINGS

UP TO (3) 2x6 GANGSTUD POSTS EMBEDDED IN WALLS
DO NOT REQUIRE POST BASES.

LOG POSTS SHALL BE WESTERN WOODS SELECT UNO.

POST SCHEDULE

PI-F9 = DF #1 8x8
PI-O-PI8 = (4) DF #2 2x6

ALTERNATE BIG FOOT FOOTING SCHEDULE:

FOR SPREAD FOOTINGS:
UP TO 18"x18" USE BF20
UP TO 21"x21" USE BF24
UP TO 24"x24" USE BF28
UP TO 30"x30" USE BF36

FOOTINGS SHALL BE REINFORCED ACCORDING TO THE FOOTING SCHEDULE

FOOTING SCHEDULE

F1 = 26X10 CONT. FTG WITH (3) #4 CONT.
F2 = 16X10 CONT. FTG WITH (3) #4 CONT.
F3 = 24X24X10 FTG WITH (3) #4 EACH WAY
F4 = 18X18X10 FTG WITH (2) #4 EACH WAY
F5 = 66X66X10 FTG WITH (1) #4 EACH WAY

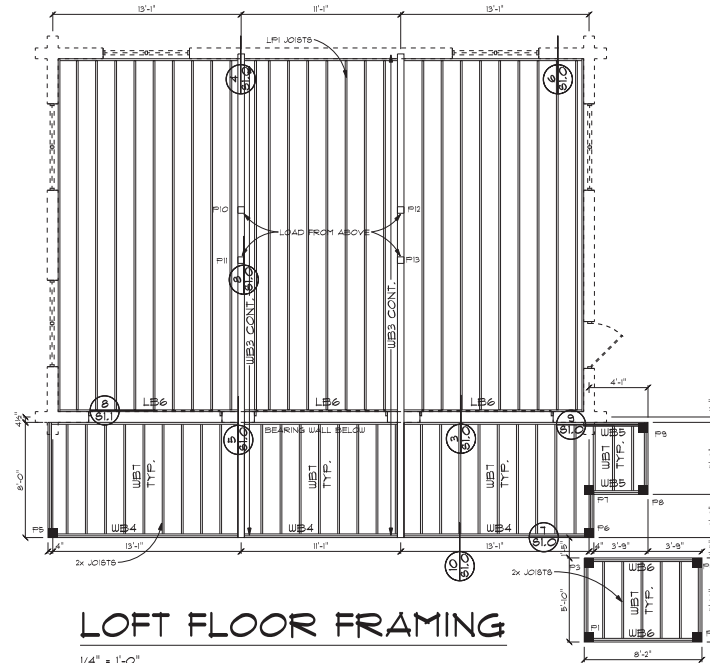
FLOOR FRAMING NOTES

- INSTALL JOISTS PER MANUFACTURER'S RECOMMENDATIONS INCLUDING ALL BRIDGING AND BRACING.
- PROVIDE DBL JOISTS UNDER ALL BEARING WALLS THAT RUN PARALLEL TO FLOOR JOISTS.
- FRAME AROUND STAIRS USING (2) 1.75x14 LVL W/ SIMPSON HUCG412-SD6 HANGERS OR GREATER WHERE APPLICABLE UNO.
- DECK BEAM HANGERS TO OTHER DECK BEAMS AND TO RIM BOARDS, GANGSTUDS AND FOUND. WALLS SHALL BE SIMPSON HUC28-2 FOR (2) 2X8 BEAMS AND HUCG210-2-SD6 FOR OTHER BEAM SIZES UNO.
- ALL EXTERIOR WALLS ARE BEARING WALLS UNO.
- DF #2 2x6 AT 16" O.C. INTERIOR BEARING WALLS UNO ON SHEAR WALL DRAWINGS.
- BEARING WALL HEADERS SHALL BE (2) CONTINUOUS LOG COURSES OR (2) DF 2X10 OR (3) 1.5x5.5 LVL UNO WITH ANY FRAMED BEARING WALLS REQUIRING (1) DF 2x TRIMMER.
- FRAME BEARING WALL HEADERS SHOWN IN THE BEAM SCHEDULE REQUIRE (2) DF 2x TRIMMERS UNO.
- JOIST COUNT SHOULD BE DETERMINED FROM JOIST SPACING NOT FROM DRAWING LAYOUT.
- SEE SHEET 63 FOR BEAM SCHEDULE.

RESPONSIBILITY FOR LOG SHRINKAGE

SINCE THE ENGINEER DOES NOT KNOW THE SOURCE OF LOGS TO BE USED IN CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOUNT FOR LOG SHRINKAGE USING ADJUSTABLE SCREW JACKS OR OTHER MEANS ACCEPTED IN THE LOG HOME BUILDING INDUSTRY.

LPI JOISTS SHALL BE 14" LPI 42PLUS OR EQUIVALENT
SPACED @ 16" O.C. UNO



LOFT FLOOR FRAMING

1/4" = 1'-0"

LEGEND

■ STRUCTURAL POST

FOUNDATION PLAN

1/4" = 1'-0"

LEGEND

■ STRUCTURAL POST
● SONOTUBE

CONTRACTOR'S RESPONSIBILITY

IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL ASPECTS OF THESE DRAWINGS, ARCHITECTURAL AND STRUCTURAL, PRIOR TO CONSTRUCTION. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER FOR CORRECTION. CHANGES MAY BE PROPOSED BY THE CONTRACTOR IF HE FEELS THE CHANGE IS IN THE BEST INTEREST OF THE OWNER. CHANGES SHALL BE FORWARDED TO THE ENGINEER IN WRITING FOR APPROVAL PRIOR TO CONSTRUCTION.



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- ALL EXTERIOR WALLS ARE BEARING WALLS.
1. DF 2x16 AT 16" O.C. INTERIOR BEARING WALLS UNO ON SHEAR WALL DRAWINGS.
2. BEARING WALL HEADERS SHALL BE (2) CONTINUOUS LOG COURSES OR (2) DF 2x10 OR (3) 1.5x5.5 LVL UNO WITH ANY FRAMED BEARING WALLS REQUIRING (1) DF 2x TRIMMER.
3. FRAME BEARING WALL HEADERS SHOWN IN THE BEAM SCHEDULE REQUIRE (2) DF 2x TRIMMERS UNO.
4. ALL ROOF OVERHANGS SHALL BE AS NOTED.
5. INSTALL R rafters PER MANUFACTURER'S RECOMMENDATIONS INCLUDING ALL BRIDGING AND BRACING.
6. PROVIDE SIMPSON SIMPSON SDWCB5600 SCREW AT END JOINTS EACH SIDE EACH RAFTER.
7. RAFTERS JOINT SPACING NOT DETERMINED FROM RAFTER SPACING NOT FROM DRAWING LAYOUT.
8. OUTLOOKERS SHALL ATTACH WITH (3) 10D NAILS TO THE COMMON TRUSS AND DROP CHORD TRUSS OR GABLE WALL. BACKSPANS SHALL MATCH OVERHANGS.

SINCE THE ENGINEER DOES NOT KNOW THE SOURCE OF LOGS TO BE USED IN CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOUNT FOR LOG SHRINKAGE USING ADJUSTABLE SCREW JACKS OR OTHER MEANS ACCEPTED IN THE LOG HOME BUILDING INDUSTRY.

1. ALL WOOD POCKET BEAMS ARE DF #1 4x8 (MIN).
2. ALL LOG POCKET BEAMS ARE 10"R WEST WOOD SELECT (MIN).
3. POCKET BEAMS SHALL EXTEND TWICE THE EXPOSED LENGTH BACK INTO THE WALL.

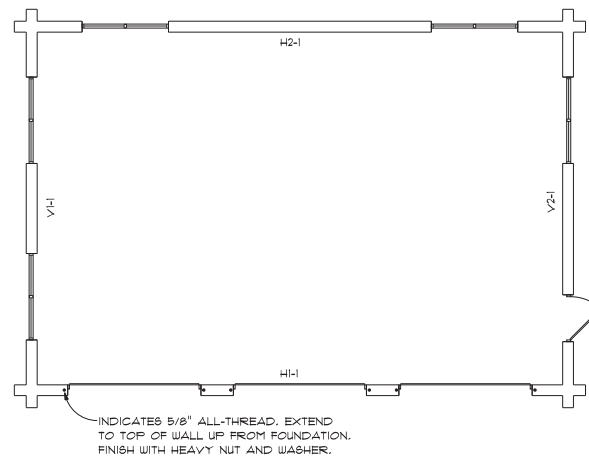
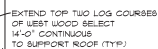
WB1 = 3.125x12 GLB
WB2 = (2) 1.75x11.875 LVL
WB3 = 8.75x25.5 GLB (2OF-V12)
WB4 = 3.125x15 GLB (2OF-V12)
WB5 = (2) DF PT 2x12
WB6 = 3.125x12 GLB (2OF-V12)
WB7 = DF PT 2x10 AT 16" O.C.

LB1 = 12"R WEST WOOD SELECT
LB2 = (2) 9"R WEST WOOD SELECT
LB3 = 12"R DOUG FIR SELECT
LB4 = 12"R DOUG FIR SELECT
LB5 = 12"R WEST WOOD SELECT
LB6 = (3) 9"R DOUG FIR SELECT GLUED

BEAM GRADING SHALL
BE AS FOLLOWS UNO:
DF - SELECT STRUCTURAL
GLB - 24F-V4 DF/DF
LVL - 2.0, 2600Fb
FS - FULL SAWN

WALL ID'S (LIKE HI-1) ARE
FOR ENGINEERS REFERENCE.

IF APPLICABLE, ALSO SEE WINDOW WALL FRAMING FOR MORE INFO.



■ STRUCTURAL POST

$$1/4'' = 1'-0''$$

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DESIGN INTELLIGENCE, LLC
1037 ERIKSON DR.
REXBURG, IDAHO
83440
PHONE: (208) 359-1461
FAX: (208) 359-0140
EMAIL: JOSH@DESIGNINTEL.COM

HAILEY, BLAINE COUNTY, IDAHO

35





Ivie Studio Garage (9 Inch)

The owner / builder are responsible for acquiring an engineer to size structural members. If engineering is not done then the owner / builder is liable for the structural members.

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Yellowstone Log Homes L.L.C.

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Plan renderings and elevation views shown may not reflect actual site conditions, please refer to builder/contractor for site conditions and what actually will be required and supplied for your construction site, such as the following: (landscape, grade, stairs, sidewalks, concrete slabs and retaining walls, etc.)

These plans have been designed for logs that are manufactured & supplied by Yellowstone Log Homes L.L.C. and authorized Dealers. No other logs are considered suitable.



Draftsman:
TS22137

Project Info:
Ivie Studio Garage (9 Inch)
3rd Edition

Revisions:

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Plot Date: 4/4/23

Sheet:
T-1

The owner / builder are responsible for acquiring an engineer to size structural members. If engineering is not done then the owner / builder is liable for the structural members.

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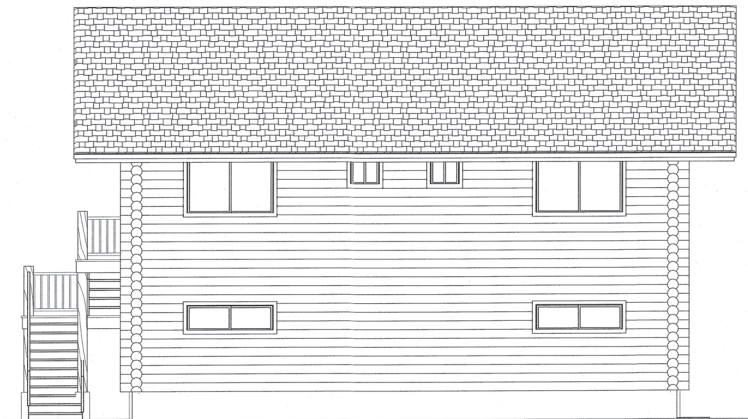


FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

PLAN RENDERINGS & ELEVATION VIEWS SHOWN MAY NOT REFLECT ACTUAL SITE CONDITIONS. PLEASE REFER TO BUILDER/CONTRACTOR FOR SITE CONDITIONS AND WHAT ACTUALLY WILL BE REQUIRED AND SUPPLIED FOR YOUR CONSTRUCTION SITE, SUCH AS THE FOLLOWING: (LANDSCAPE, GRADE, STAIRS, SIDEWALKS, CONCRETE SLABS & RETAINING WALLS, ETC.)



BACK ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



280 N. Yellowstone Hwy.
Richton, ID 83442
Ph: 208-745-5183 Fax: 208-745-5525
www.yellowstoneloghomes.com

Draftsman:

TS22137

Project Info:

Ivie Studio Garage (9 Inch)
3rd Edition

Revisions:

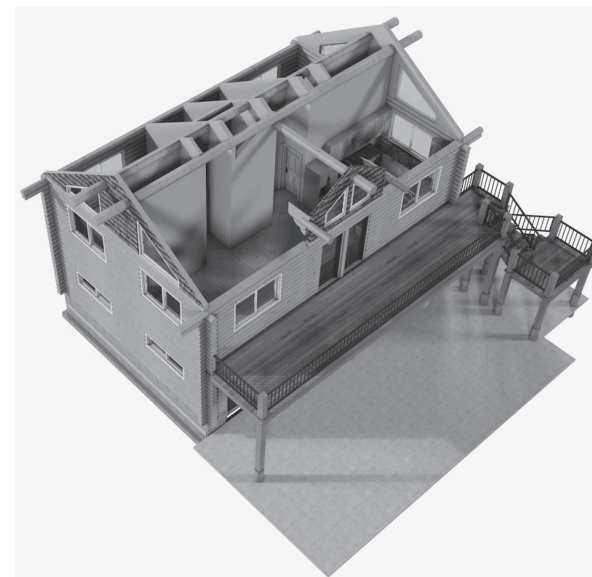
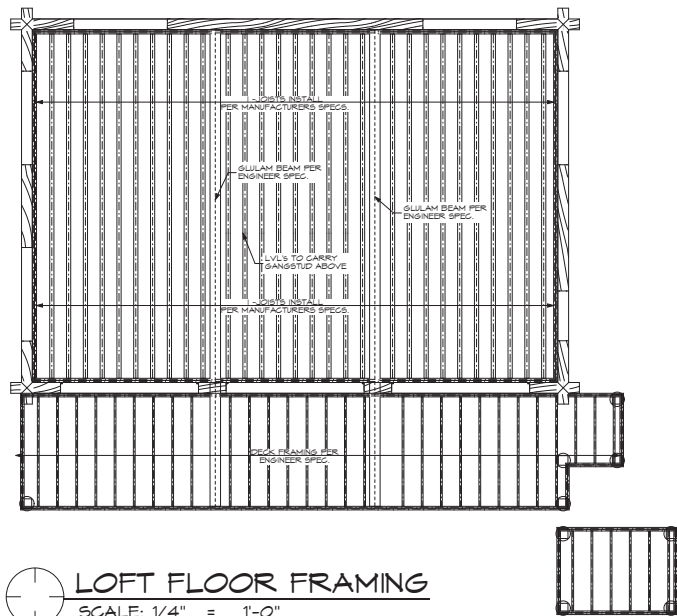
1. 4/19/2022
ADDED: GRADES, ELEVATIONS &
REMOVED: ELEVATIONS
1. EXTERIOR: 11'0\"/>

Plot Date: 5/24/22

Sheet:

A-2

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S-1

General Construction Notes:

- These plans were drawn by a draftsman not a Engineer or an Architect. Yellowstone Log Homes LLC is not an Engineer or Architect. Yellowstone Log Homes LLC strongly recommends that these plans are approved and stamped by a Structural Engineer to meet code for the area the structure is to be built.
- The contractor is to review & verify these drawings in their entirety before attempting to build. Any & all discrepancies are to be reported to Yellowstone Log Homes LLC. Any errors due to not reviewing the plans are the contractor's & home owners responsibility.
- If a Structural Engineer is not Contracted by or at the owners request to size all structural portions of the building then the Owner & or Builder will be responsible for all structural designs. By building or starting to build this building without the proper Engineering the owner & or builder is in agreement to accept responsibility & liability for this building.
- All building methods by the Owner, Builder, Contractors, or Subcontractors or any other persons or entities employed or contracted to work on the building are to comply with the local building codes in these entirety & with no exceptions. If there are no local building codes then all participating parties are to comply with the latest building codes in the current US building codes.
- All specifications in the drawings indicate the building in the finished state. The parties building all or part of the building are responsible for sound, current, & safe building practices, & on site safety, including proper support for partial walls, roofs, decks, etc. The parties building all or part of the building shall not overload any portion of the home and shall have no loads that exceed the maximum indicated by the engineer (if applicable to this building) for any duration of time, temporary or permanent.
- The owner/contractor shall verify all materials and existing conditions at the job site, and fully coordinate all dimensions and conditions of details with other disciplines before attempting to build.
- Any and all variances due to the builder, owner, or any other party without written consent in the design stage or afterwards will not at liabilities from the Engineers, designers, & other parties involved in the design stages of the building. The owner & or builder agree to hold harmless all parties involved in the design stages from any claims resulting from variances.
- In the event of a conflict between pertinent codes and regulations and referenced standards on these plans, the more stringent provisions will govern.
- Any design loads shown are assumed loads. The owner and contractor are responsible for checking the actual soil and snow load requirements. The owner & contractor are also responsible for obtaining a soils report if necessary.

Grading & Drainage:

- It is the responsibility of the building parties to verify grade and to build accordingly. Any required steps in the foundation are the responsibility of the building parties. It is the building parties responsibility to keep the work area safe while digging, scraping, backfilling and in all other aspects of the building project and practices.
- It is the responsibility of the building parties to supply adequate drainage grade & or drainage systems in the lot surrounding the building & in the foundation as req'd by local codes & as needed for local conditions. Use gravel as requested by owner for extra drainage.
- Finished grade is to provide sufficient slope for drainage away from the building in all seasons & as req'd by local codes.

Log Preservation:

- In order to insure a weather tight seal, gasket should be used between each log, over the notched corners. After completion of stacking logs, caulk or caulking should be applied on both sides of logs to all joints, seams, cracks, or crevices where air infiltration may occur.
- Logs should be a minimum of 2 feet above grade, and a recommended 3 feet above grade. This will help protect logs from excess water backwash and snow fall.
- Contractor should maintain a minimum of 2 foot roof overhang on gables, and 2 foot recommended on eaves, for proper log protection.
- When stacking the log walls, OLV LOG screws, and/or 1/2" Log Bolts should be used per manufacturer's specifications and per local codes requirements.
- Stain/ Sealant should be used per manufacturer's specifications to help protect against water, rot, and insect infestation.
- Utilize a landscaping barrier around the entire perimeter of the home to keep water from sprinklers off of the logs.

Plans:

- Great care and proficiency has been put into producing accurate plans. Any discrepancies in the plans shall be brought to the attention of Yellowstone Log Homes LLC before attempting to build. However due to the impossibility of being on the site of construction, providing close supervision, giving personal consultations, having control over the actual construction, & due to the great variation of building materials, methods, practices, regulations, local codes, local building conditions, & weather conditions, Yellowstone Log Homes LLC assumes NO liability or responsibility for any damages due to poor building methods, practices, errors or omissions, the failure to meet any & all codes, and the failure of the builder to verify plans before attempting to build. If the owner & or builder chooses to not have these plans Engineered by a structural engineer then the party making the decision is responsible for all structural & other related areas of the building.
- The plans should be reviewed thoroughly & an understanding of the plans & accepted building practices & codes should be reached before attempting to build.
- All written dimensions shall take precedence over scaled dimensions. Scaling of the plans is not recommended and may lead to error in the final structure. The builder is to verify plans before attempting to build. While every attempt has been made to provide accurate plans Yellowstone Log Homes LLC will not guarantee against errors. The builder is to verify plans before attempting to build.

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Log Construction:

- Logs will generally be Western Woods with a low moisture content at the time of delivery. Logs are generally 10' graded at the plant site.
- Provision shall be made for drainage or settling of the log walls during & after construction.
- Settling jacks as shown shall be adjusted periodically as required after initial construction of the log shell.
- Contractor is responsible for construction that allows for settling in log walls, interior framed walls, cabinets, plumbing, etc.

Concrete:

- All steel or other reinforcing in the concrete is to be to local Building Codes. The building parties are responsible to ensure that all building methods & practices are upshot.
- Use rebar barriers below grade as per local codes.

GENERAL BUILDING NOTES:

- The foundation is to be as per local code w/ footings placed as per local code w/ frost line depths being met. Due to great variance in grade from building site to building site, it may be necessary to step the foundation to meet code.

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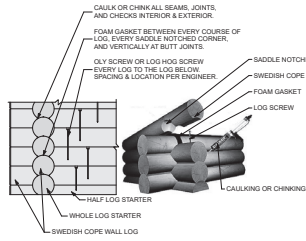
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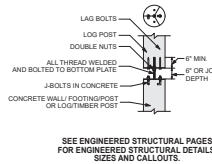
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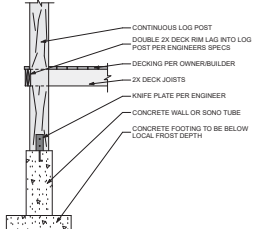
THE DETAILS REPRESENTED HERE ARE FOR REFERENCE ONLY, ALL OF WHICH MAY NOT APPLY TO THE ATTACHED STRUCTURE. THEY ARE SUBJECT TO REPLACEMENT PER LOCAL CODE OR ENGINEERING. IN SUCH CASES REFER TO LOCAL BUILDING DEPARTMENT OR ENGINEERED PLANS FOR CORRECTED OR REPLACEMENT DETAILS.



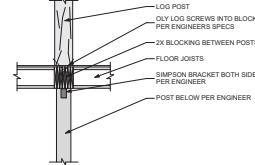
1 Foam Gasket Fastening & Caulking



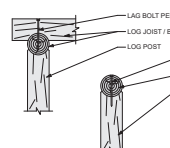
2 Setting Jack Detail (If Applicable)



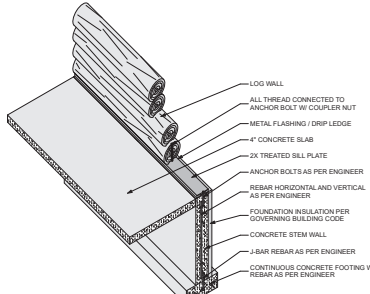
3 Log Deck Post



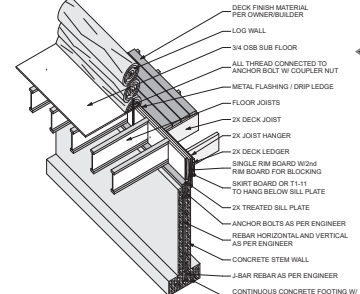
4 Blocking Between Floor Joists For Log Post



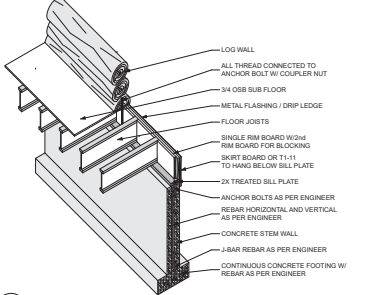
5 Log Joist or Beam Connection



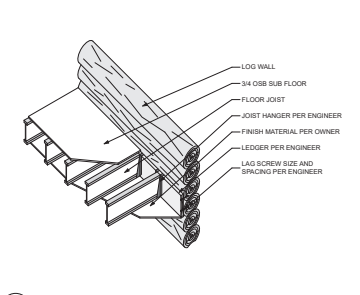
8 Log Wall at Slab on Grade



9 Sub-Floor & Deck on Foundation



10 I-Joists On Stem Wall



11 I-Joist Floor Hung From Log Wall

The owner / builder are responsible for acquiring an engineer to size structural members. If engineering is not done then the owner / builder is liable for the structural members.

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Yellowstone
LOG HOMES L.L.C.
280 N. Yellowstone Hwy.
Rushy, ID 83442
Ph: 208-338-4444
www.yellowstonelghomes.com

Draftsman:
TS22346

Yellowstone Log Homes
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Project Info:

Revisions:

Plot Date: 12/16/22

Sheet: D-1

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Draftsman:
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Ivie Studio Garage (9 Inch)
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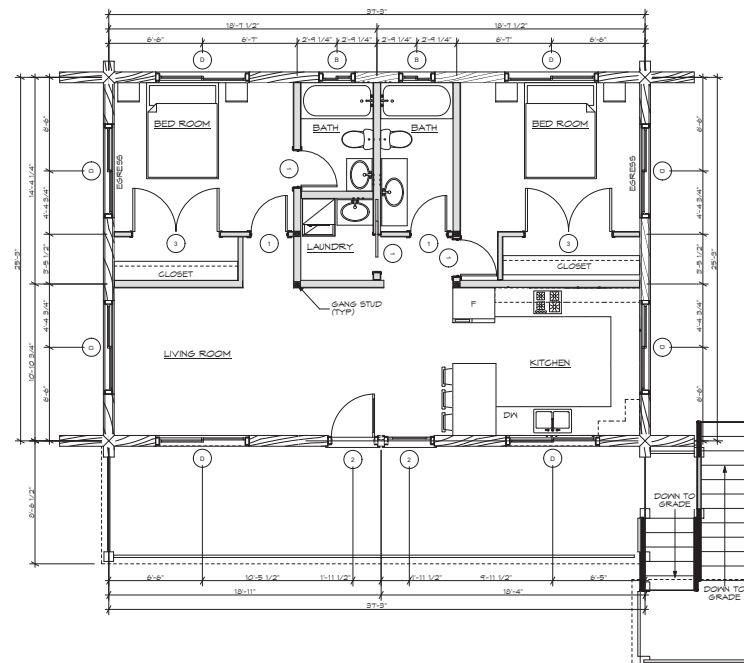
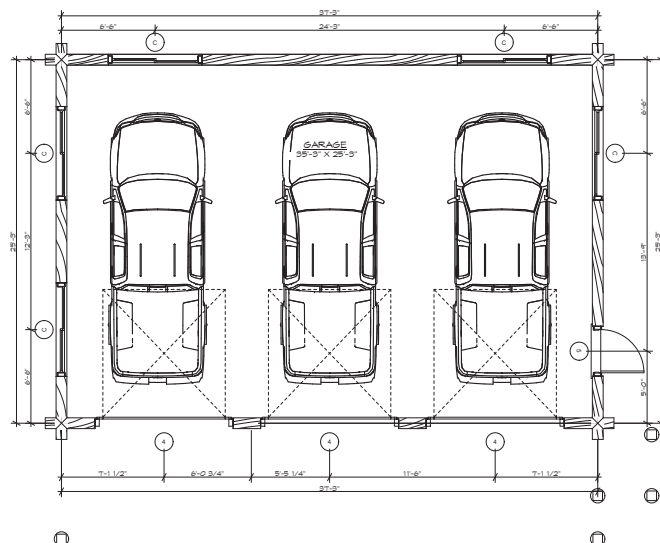
Project Info:

Revisions:

Plot Date: 4/4/23

Sheet:

A-1



DOOR KEY			
ID	DOOR SIZE	QTY	DOOR NOTES
1	2'-6"x6'-8"	5	
2	3'-0"x7'-0"	2	
3	6'-0"x6'-8"	2	
4	9'-0"x9'-0"	3	
5	3'-0"x8'-0"	1	

WINDOW KEY			
ID	WINDOW SIZE	QTY	WINDOW NOTES
B	2'-0"x2'-0"	2	
C	6'-0"x2'-0"	5	
D	6'-0"x4'-0"	5	

SQUARE FEET

MAIN FLOOR:	972
SECOND FLOOR:	894
BASEMENT:	NA
GARAGE:	972
LIVABLE AREA:	894
TOTAL AREA:	1866

SQUARE FOOTAGE IS APPROXIMATE. THE BASEMENT, MAIN FLOOR, AND GARAGE ARE MEASURED FROM OUTSIDE OF THE FOUNDATION. THE LOFT IS MEASURED FROM ACTUAL SURFACE AREA OF THE LOFT FLOOR.

NOTE:
ALL (A) WINDOWS & DOORS ARE TO BE VERIFIED IN THE FIELD TO DETERMINE ACTUAL SIZE AND PLACEMENT.

ALL DOOR/ WINDOW SIZES AND TYPES TO BE DETERMINED PER OWNER/BUILDER AND MANUFACTURERS SPECIFICATIONS

FIELD MEASURE THE CORRECT ROUGH OPENINGS FOR ALL PICTURE WINDOWS PRIOR TO ORDERING.

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Ivie Studio Garage (9 Inch)
3rd Edition

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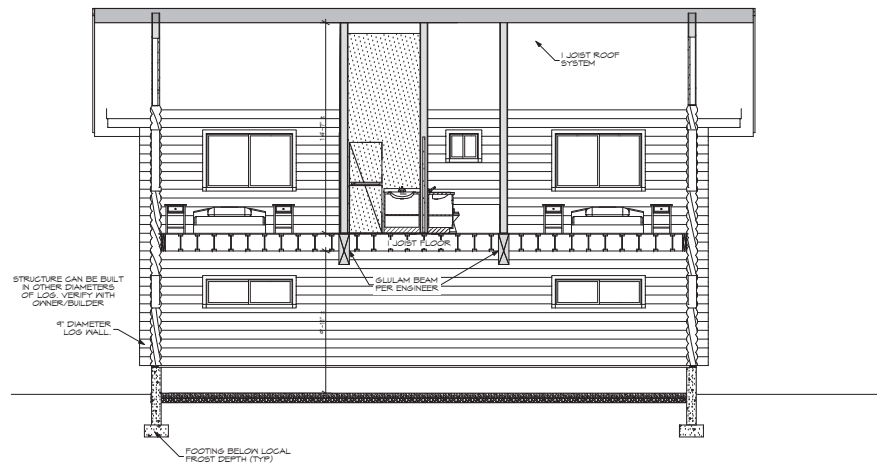
Project Info:

Revisions:

Plot Date: 4/4/23

Sheet:

A-3



SECTION
SCALE: 1/4" = 1'-0"



SECTION 002
SCALE: 1/4" = 1'-0"

General Construction Notes:

- These prints were drawn by a draftsman not a Engineer or an Architect. Yellowstone Log Homes LLC is not an Engineer or Architect. Yellowstone Log Homes LLC strongly recommends that these prints are approved and stamped by a Structural Engineer to meet code for the area the structure is to be built.
- The contractor is to review & verify these drawings in their entirety before attempting to build. Any & all discrepancies are to be reported to Yellowstone Log Homes LLC. Any errors due to not reviewing the plans are the contractor's home owners responsibility.
- If a Structural Engineer is not Contracted by or at the owners request to size all structural portions of the building then the Owner & or Builder will be responsible for all structural designs. By building or starting to build this building without the proper Engineering the owner & or builder are in agreement to accept all responsibility & liability for this building.
- All building methods by the Owner, Builder, Contractor, or Subcontractors or any other persons or entities employed or contracted to work on the building are to comply with the local building codes in these entirety & with no exceptions. If there are no local building codes then all participating parties are to comply with the latest building codes or the current IRC building codes.
- All specifications in the drawings indicate the building in the finished state. The parties building all or part of the building are responsible for sound, current, & safe building practices, & on site safety, including proper support for partial walls, roofs, eaves, etc. The parties building all or part of the building shall not overload any portion of the home and shall have no loads that exceed the maximum indicated by the engineer (if applicable to this building) for any duration of time, temporary or permanent.
- The owner/contractor shall verify all materials and existing conditions at the job site, and fully coordinate all dimensions and conditions of details with other disciplines before attempting to build.
- Any and all variances due to the builder, owner, or any other party without written consent in the design stage or afterwards will void all liabilities from the Engineers, designers, & other parties involved in the design stages of the building. The owner & or builder agree to hold harmless all parties involved in the design stages from any claims resulting from variances.
- In the event of a conflict between pertinent codes and regulations and referenced standards on these plans, the more stringent provisions will govern.
- Any design loads shown are assumed loads. The owner and contractor are responsible for checking the actual load and snow load requirements. The owner & contractor are also responsible for obtaining a soils report if necessary.

Grading & Drainage:

- It is the responsibility of the building parties to verify grade and to build accordingly. Any req'd steps in the foundation are the responsibility of the building parties. It is the building parties responsibility to keep the work area safe while digging, scraping, building and in all other aspects of the building project and practices.
- It is the responsibility of the building parties to supply adequate drainage grades & or drainage systems in the lot surrounding the building & in the foundation as req'd by local codes & as needed for local conditions. Use gravel as requested by owner for extra drainage.
- Finished grade is to provide sufficient slope for drainage away from the building in all seasons & as req'd by local code.

Log Preservation:

- In order to insure a weather tight seal, gasket should be used between each log, and over the notched corners. After completion of stacking logs, caulk or chinking should be applied on both sides of the log ends, seams, cracks, or crevices where an infiltration may occur.
- Logs should be a minimum of 2 feet above grade, and a recommended 3 feet above grade. This will help protect logs from excess water backwash and snow fall.
- Finished grade is to provide sufficient slope for drainage away from the building in all seasons & as req'd by local code.
- Contractor should maintain a minimum of 2" foot roof overhang on gables, and 2" foot recommended on eaves, for proper log protection.
- When stacking the log walls, OLY LOG screws, and or 1/2" Log Bolts should be used per manufacturer's specifications and per local codes requirements.
- Stair Sealant should be used per manufacturer's specifications to help protect against water, salt, rot, and insect infiltration.
- Utilize a landscaping barrier around the entire perimeter of the home to keep water from sprinklers off of the logs.

Plans:

- Great care and proficiency have been put into producing accurate plans. Any discrepancies in the plans shall be brought to the attention of Yellowstone Log Homes LLC before attempting to build. However due to the impossibility of being on the site of construction, providing close supervision, giving personal consultations, having control over the actual construction, & due to the great variation of building materials, methods, practices, regulations, local codes, local building conditions, & weather conditions, Yellowstone Log Homes LLC assumes NO liability or responsibility for any damages due to poor building methods, practices, errors or omissions, the failure to meet any & all codes, and the failure of the builder to verify plans before attempting to build. If the owner & or builder chooses to not have these plans engineered by a structural engineer then the party making the decision is responsible for all structural & other related areas of the building.
- The plans should be reviewed thoroughly & an understanding of the plans & accepted building practices & codes should be reached before attempting to build.
- All written dimensions shall take precedence over sized dimensions. Scaling of the plans is not recommended and may lead to error in the final structure. The builder is to verify plans before attempting to build. While every attempt has been made to provide accurate plans Yellowstone Log Homes LLC will not guarantee against errors. The builder is to verify plans before attempting to build.

Log Construction:

- Logs will generally be Western Woods with a low moisture content at the time of delivery. Logs are generally 10' graded at the plant site.
- Provision shall be made for drainage or settling of the log walls during & after construction.
- Settling jacks as shown shall be adjusted periodically as required after initial construction of the log shell.
- Contractor is responsible for construction that allows for settling in log walls, interior framed walls, cabinets, plumbing, etc.

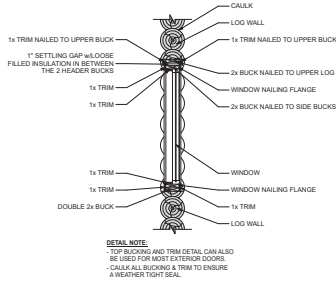
Concrete:

- All steel or other reinforcing in the concrete is to be to local Building Codes. The Building parties are responsible to ensure that all building methods & practices are upheld.
- Use vapor barriers below grade as per local code.

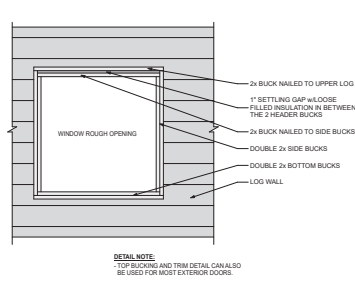
GENERAL BUILDING NOTES:

- The foundation is to be as per local code w/ footings placed as per local codes w/ frost line depths being met. Due to great variance in grade from building site to building site, it may be necessary to step the foundation to meet code.

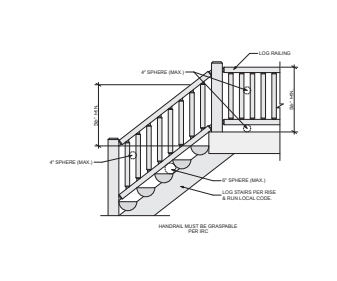
THE DETAILS REPRESENTED HERE ARE FOR REFERENCE ONLY, ALL OF WHICH MAY NOT APPLY TO THE ATTACHED STRUCTURE. THEY ARE SUBJECT TO REPLACEMENT PER LOCAL CODE OR ENGINEERING. IN SUCH CASES REFER TO LOCAL BUILDING DEPARTMENT OR ENGINEERED PLANS FOR CORRECTED OR REPLACEMENT DETAILS.



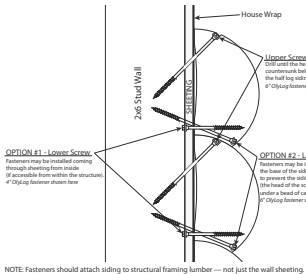
12 Window/Door Section Detail



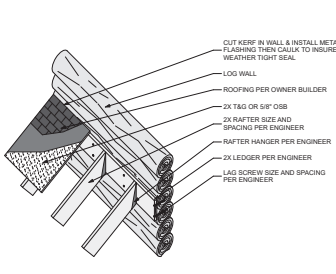
13 Window Frame Detail



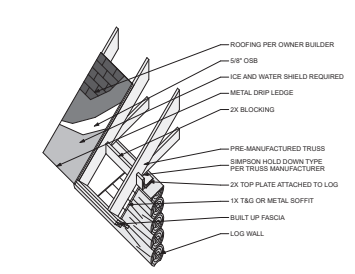
14 Log Stair Railing



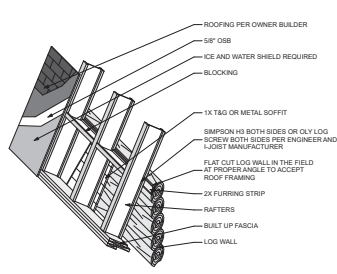
15 Siding Detail



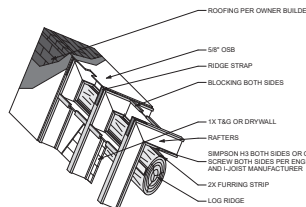
16 Log Wall Porch Roof Attachment



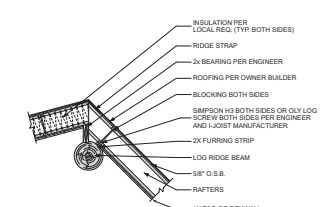
17 Log Wall With Manufactured Trusses



18 I-Joist Rafters @ Log Wall



19 I-Joist Rafters On Log Ridge



20 (Section) Shed Dormer @ Log Ridge

The owner / builder are responsible for acquiring an engineer to size structural members. If engineering is not done then the owner / builder is liable for the structural members.

These plans are to be used only for the people and places stated. These plans may not be used without the written permission from : Yellowstone Log Homes L.L.C.

These plans were prepared by a designer who is not an engineer and expressly disclaims any liability for errors or omissions of any kind which may exist herein. The user of these plans assumes all liability for the accuracy, including verification of all dimensions, compliances with any and all governing codes, and covenants having jurisdiction over the site of construction and determining any modifications necessary to meet actual site conditions. The selection of correct structural materials and the application of architectural principles is a precise art, the responsibility for which rests with the builder, the owner, and or the user of these plans.

Plan renderings and elevation views shown may not reflect actual site conditions. please refer to builder/contractor for site conditions and what actually will be required and supplied for your construction site, such as the following: (landscape grade, stairs, sidewalks, concrete slabs and retaining walls, etc.)

These plans have been designed for logs that are manufactured & supplied by Yellowstone Log Homes L.L.C. and authorized Dealers. No other logs are considered suitable.

Yellowstone
LOG HOMES L.L.C.
280 N. Yellowstone Hwy.
Rushy, ID 83442
Ph: 208-338-4444
www.yellowstonelghomes.com

Draftsman:

TS22346

Yellowstone Log Homes
(3rd Edition)
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Project info:

Revisions:

Plot Date: 12/16/22

Sheet:

D-2

PROJECT INFORMATION

OWNER

EDWARD STACY, VE
1000 WEST 10TH STREET
FALLEN CHURCH, VA 22033
PH: 202-668-7579 E-MAIL: edward@edstacy.com

ARCHITECT:

CLYDE E. BARNER, AIA
CLYDE E. BARNER ARCHITECTS
1000 WEST 10TH STREET
FALLEN CHURCH, VA 22033
PH: 202-772-2880 E-MAIL: clayde@clayde.com

STRUCTURAL ENGINEER

DEBON VTECHNICAL LLC
1000 WEST 10TH STREET
FALLEN CHURCH, VA 22033
PH: 202-558-7461 E-MAIL: jay@debonte.com

CIVIL ENGINEER

JOHN W. BERNARD
1000 WEST 10TH STREET
FALLEN CHURCH, VA 22033
PH: 202-784-7708 E-MAIL: john@jbernard.com

LOG PACKAGE PROVIDER

TELLSWORTH LOG CO-EB, LLC
2650 N. TELLSWORTH ROAD
BETHLEHEM, PA 18015
PH: 202-746-8708 E-MAIL: ted@tellsworthlog.com

BUILDING INFORMATION

PROJECT ADDRESS:

214 W. CROFT ST.
HAWLEY, DAVID 63340

LEGAL LAND DESCRIPTION:

HALEY, DAVID B3340
LOT 7A, BLOCK 4, CROY ADDITION
TOWNSHIP OF CROY, MI

ZONING DISTRICT:

TOWNSITE OVERLAY
ZONING MAP

LOT COVERAGE:

9.028 5" X 30" =
EXTINGUISH

PRO

8'02" 8" X 30" =
EXTING HOUSE
SHED

PRO

8'02" 8" X 30" =
EXTING HOUSE
SHED

PRO

8'02" 8" X 30" =
EXTING HOUSE
SHED

2,708.45 RM
1,341 RM
180.5 RM
282.87 RM
2,425.57 RM

2,708.45 RM
1,341 RM
180.5 RM
282.87 RM
2,425.57 RM

END

OTAL:

END

OTAL:

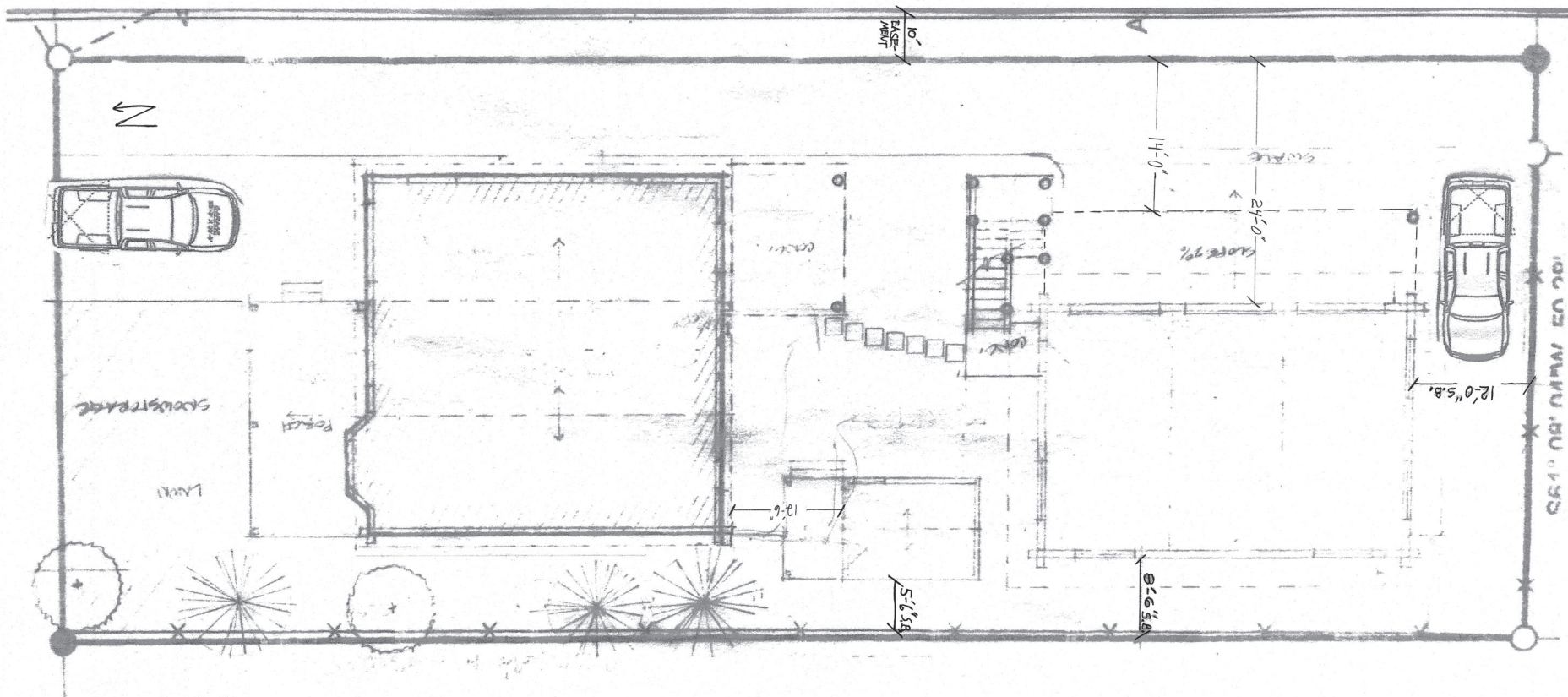
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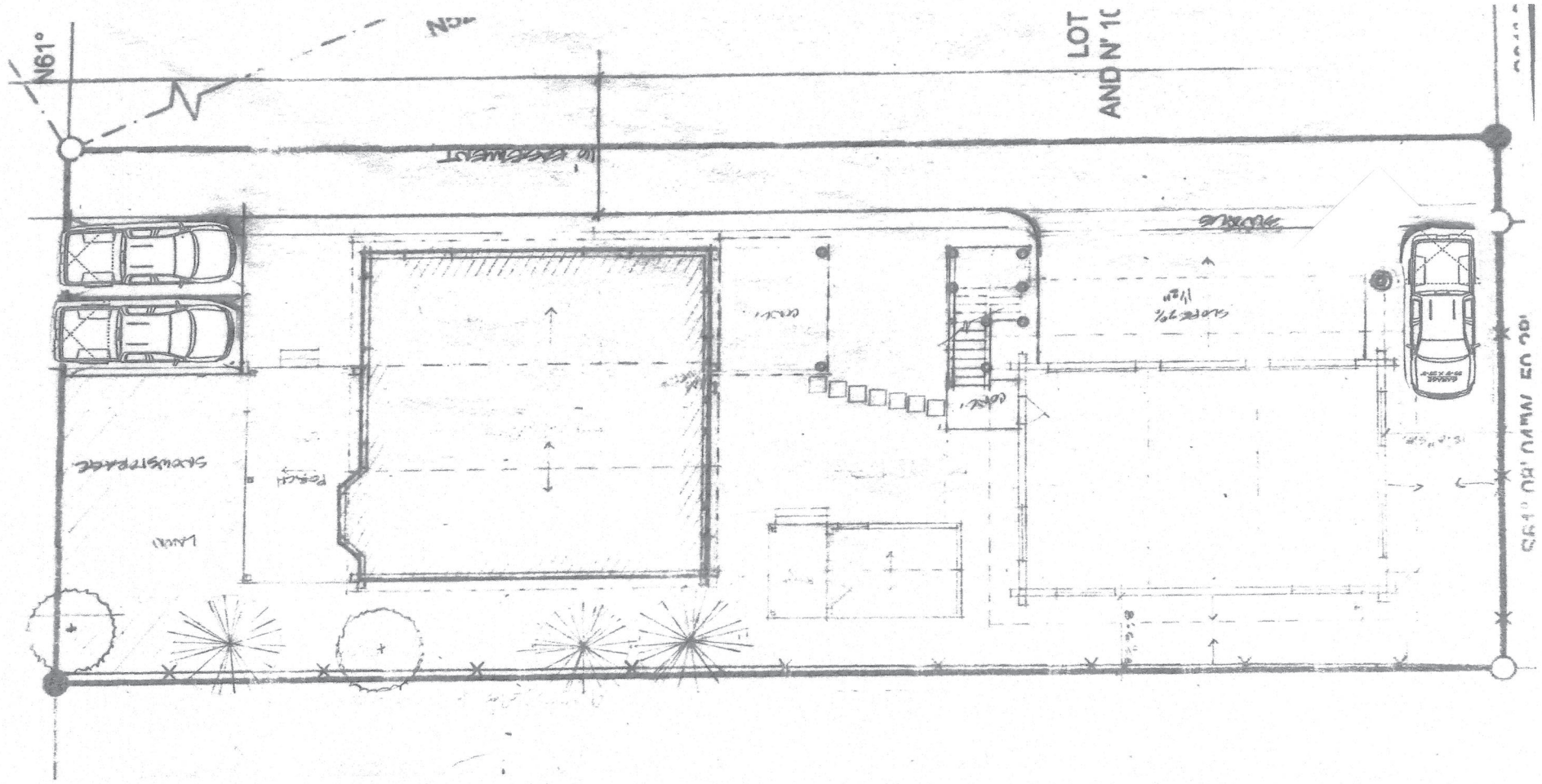
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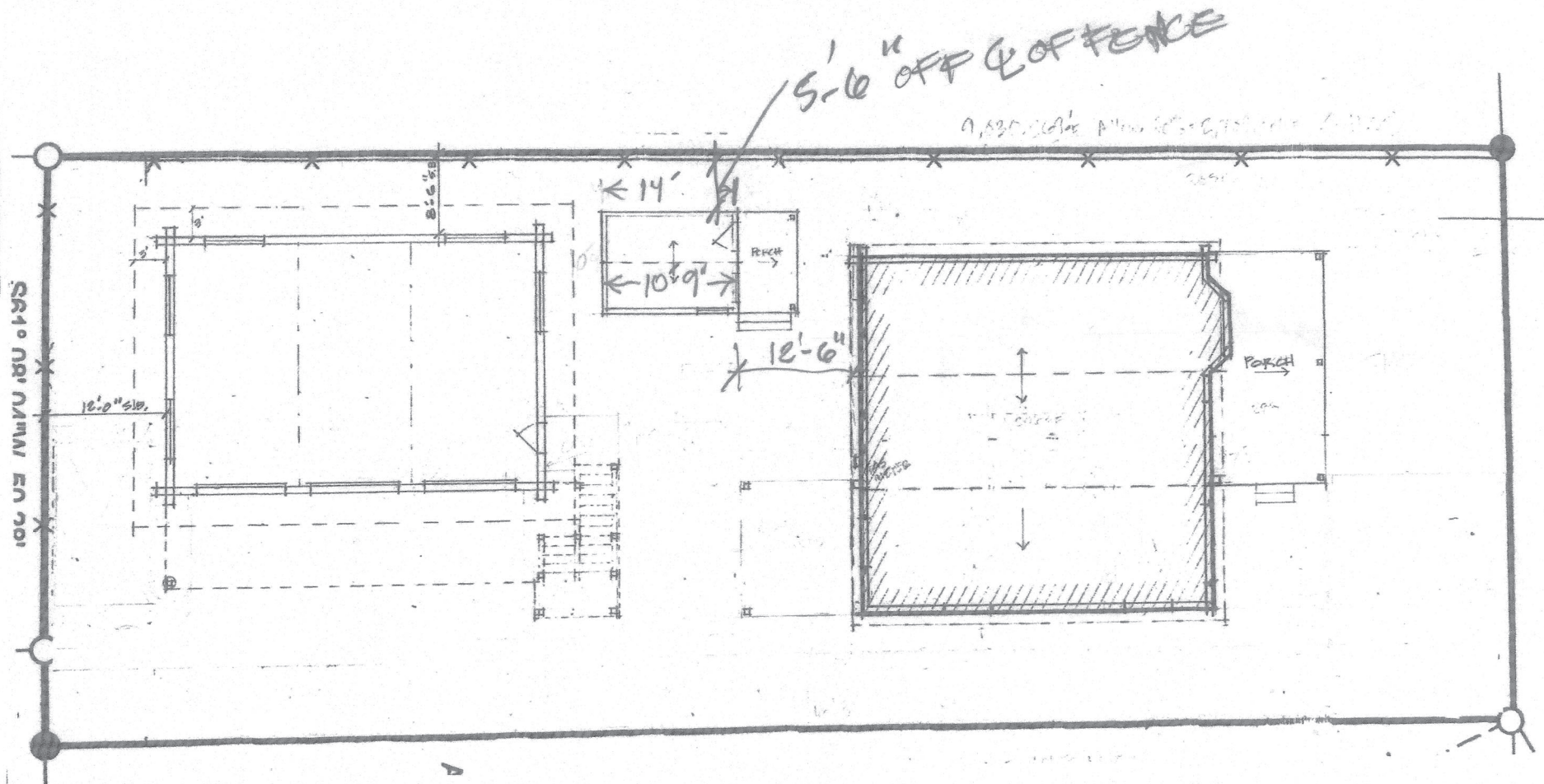
POWERED

38

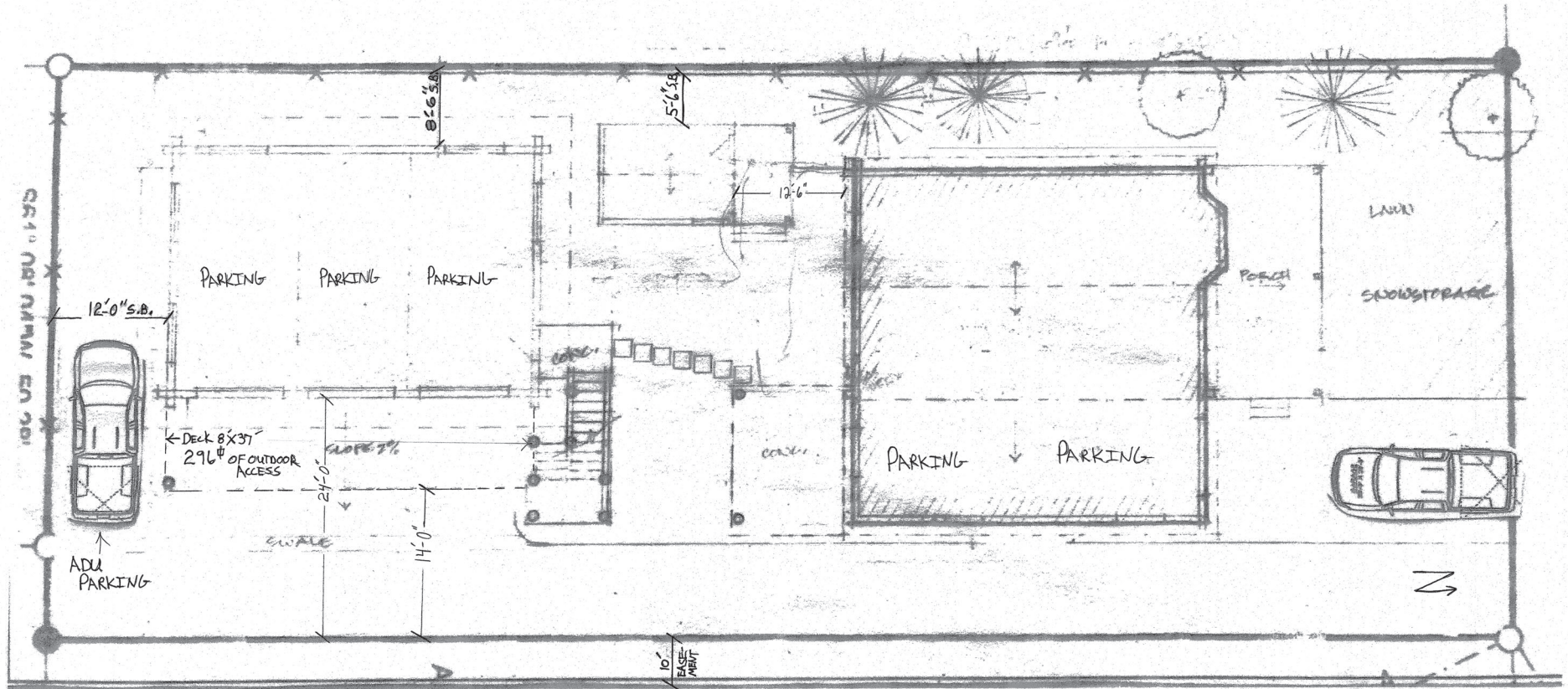
BUILDING CORNER SETBACKS







THE ADU WILL BE USED AS A LONG TERM RENTAL



MITIGATION OF LIGHT TRESPASS INTO RESIDENTIAL LIVING SPACE AREAS ON ADJACENT PROPERTIES WILL BE ACCOMPLISHED BY:

- EXTERIOR DOWN LIGHTING 100%
- INTERIOR WINDOW CURTAINS AND BLINDS

BUILDING MATERIALS WILL BE ORDERED AND DELIVERED AS NEEDED OR STORED ON MY ADJOINING BARE LOT,

BUILDING INFORMATION

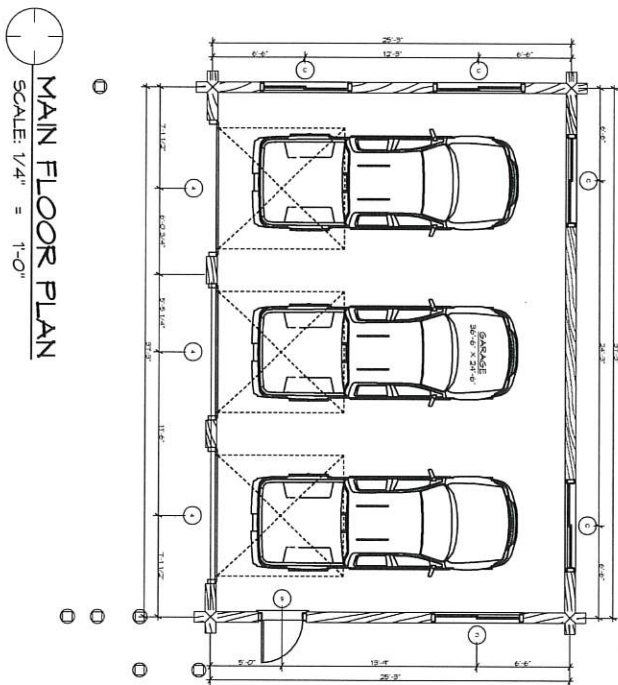
PROJECT ADDRESS:	214 W. CROY ST. HAILEY, IDAHO 83340		
LEGAL LAND DESCRIPTION:	LOT 7A, BLOCK 4, CROY ADDITION		
ZONING DISTRICT:	TOWNSITE OVERLAY		
LOT AREA:	9,028 SF		
LOT COVERAGE:	ALLOWED:	9,028 SF X 30% =	2,708.45 SF
	PROPOSED:	EXISTING HOUSE	1,341 SF
		SHED	150.5 SF
		ADU/GARAGE:	<u>982.67 SF</u>
	ENCLOSED TOTAL:		2,474.17 SF
BUILDING HEIGHT ALLOWED:	30'		
BUILDING HEIGHT PROPOSED:	28' - 5 1/2"		
BUILDING CORNER SETBACKS:	SEE SITEPLAN		
BUILDING FLOOR AREA (GROSS):			
	EXISTING HOUSE:	MAIN FLOOR	1,341 SF
		UPPER FLOOR/LOFT	<u>700 SF</u>
		SUB TOTAL	2,041 SF
	ALLOWED:	2,041 SF X 66% =	1,347.06 SF
	PROPOSED STUDIO/GARAGE:	ADU	<u>982.67 SF</u>

footprint dim: 37'11" x 25'11"
 exterior dim: ?
 mid log dim: 37'3" x 23'3"
 interior dim: 36.5' x 24.5'
note

footprint
 37'11" x 25'11"
 37.92 x 25.92 =

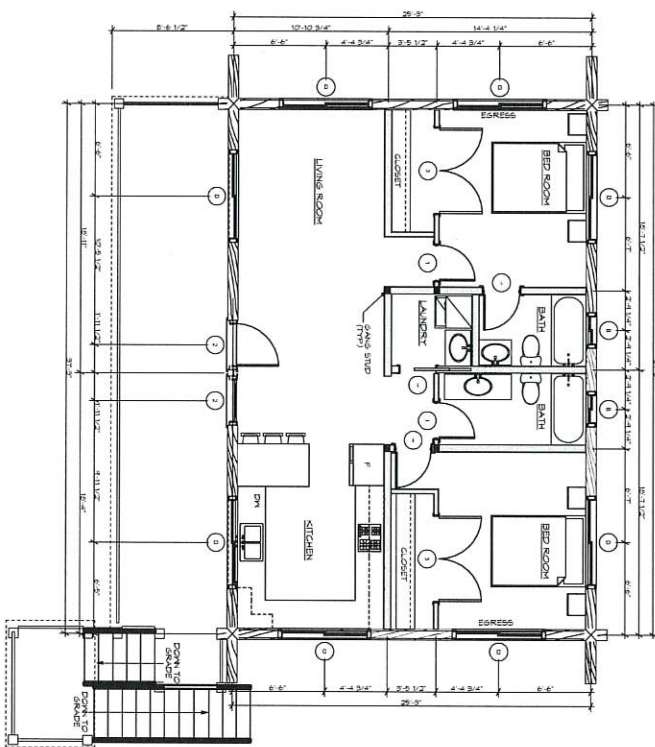
UPDATED 5/25/23

Governing Code on Drawings: 2018 IRC, AS Amended



LOFT FLOOR PLAN

SCALE: 1/4" = 1'-0"



ID	DOOR SIZE	QTY	DOOR KEY	DOOR NOTES
1	2'-6" x 6'-8"	5		
2	3'-0" x 7'-0"	2		
3	6'-0" x 6'-8"	2		
4	3'-0" x 7'-0"	3		
5	3'-0" x 6'-8"	1		
ID	RANDOM SIZE	QTY	RANDOM KEY	RANDOM NOTES
B	3'-0" x 3'-0"	2		
C	6'-0" x 2'-0"	5		
D	6'-0" x 4'-0"	5		

SQUARE FEET	NA
MAIN FLOOR	844
SECOND FLOOR	NA
BASEMENT	NA
GARAGE	471
LIVABLE AREA	844
TOTAL AREA	1315

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL DOOR AND WINDOW SIZES AND TYPES ARE TO BE DETERMINED BY OWNER/BUILDER.
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8. ALL DOOR AND WINDOW SIZES AND TYPES ARE TO BE DETERMINED BY OWNER/BUILDER.
9. ALL DOOR AND WINDOW SIZES AND TYPES ARE TO BE DETERMINED BY OWNER/BUILDER.
10. ALL DOOR AND WINDOW SIZES AND TYPES ARE TO BE DETERMINED BY OWNER/BUILDER.

should be same dimensions as the main floor
middle of the lg dimensions are 37'3" x 25'3"
interior dimensions are 36'6" x 24'6"



Project Info:
Ivie Studio Garage (9 Inch)
3rd Edition

Revisions:

Sheet: A-1

Per Date: 5/25/23

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