

AGENDA
HAILEY PLANNING & ZONING COMMISSION
Monday, March 1, 2021
Virtual Meeting
5:30 p.m.

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Call to Order

Public Comment for items not on the agenda

Consent Agenda

CA 1 Adoption of Findings of Fact, Conclusions of Law and Decision of a Design Review Application by Stephen Kearns, represented by Jay Cone Architecture PC, for a new 728 square foot garage with a 678 square foot Accessory Dwelling Unit (ADU) above. This project is located at 12 West Elm Street (Lot 11 and N 20' of Lot 12, Block 8 and 20 x 120 Elm St) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

CA 2 Adoption of Findings of Fact, Conclusions of Law and Decision of a Preliminary Plat Application by Dennis and Sheree Kavanagh, represented by Galena Engineering, where the existing building located on Lots 1 and 22, Block 43, Woodside (1060 Mountain Ash Dr) are converted into commercial condominiums, which range in size from 784 square feet to 1,596 square feet. This project is located within the Light Industrial (LI) Zoning District. **ACTION ITEM.**

CA 3 Adoption of the Meeting Minutes from the February 16, 2021 PZ Hearing. **ACTION ITEM.**

Public Hearing

PH 1 Consideration of a Design Review Application by Grocery Outlet Bargain Market, represented by BRR Architecture, for a new 590 square feet bale storage. This project is located at 615 North Main Street (Lots 1-5, and Lots 11-15, Block 68, alley between Lots 1-5 and Lots 11-15 150' x 26' alley, Hailey Townsite) within the Business (B) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

PH 2 Consideration of a Design Review Application by Rebecca Wilkinson for a new 475 square foot detached, two-car garage. This project is located at 323 North 2nd Avenue (Lots 1-4, Block 51, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

PH 3 Consideration of a Design Review Application by Antony and Sarah Gray for a new 2,609 square foot single-story residence. This project is located at 121 North 3rd Avenue (Lots 1-4, Block 38, Hailey Townsite) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

SR 2 Discussion of the next Planning and Zoning meeting: **March 15, 2021**

- DR: Hayes
- DR Pre- App: Valley View Apartments

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On February 17, 2021, the Hailey Planning and Zoning Commission considered and approved a Design Review Application by Stephen Kearns, represented by Jay Cone Architecture PC, for a new 728 square foot garage with a 678 square foot Accessory Dwelling Unit (ADU) above. This project is located at 12 West Elm Street (Lot 11 and N. 20' of Lot 12, Block 8 and Block 20 x 120 Elm Street) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express on January 27, 2021 and mailed to property owners within 300 feet on January 26, 2021.


Application: The Applicant is proposing to construct a new 728 square foot garage with a 678 square foot, one (1) bedroom Accessory Dwelling Unit (ADU) above. The ADU incorporates an open floor plan, which includes a bathroom, kitchen and living room. Access to the ADU can be found from an exterior door, at the north elevation of the garage. The garage addition will include two (2) bays.

Current access for the existing residence is located on Elm Street via parking located in the public right-of-way, and from the alley, where the garage/ADU addition is proposed.

Procedural History: The Design Review Application was submitted on December 23, 2020 and certified complete on January 12, 2021. A public hearing before the Planning and Zoning Commission for approval or denial of the project was held on February 16, 2021, virtually via GoTo Meeting, and in the Hailey City Council Chambers.

| General Requirements for all Design Review Applications | | | | |
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| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.050 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | Engineering/Streets: <i>The Public Works Department recommends the following prior to Building Permit submittal:</i> <ul style="list-style-type: none">- A Right-of-Way Encroachment Permit will be needed for any work done in the right-of-way.- Grading and Drainage Plan for the sidewalk and grading drainage shall be submitted and reviewed prior to final design- As interim to the River Street Redesign, the Applicant will install an asphalt pathway along the property frontage of River Street. Additionally, the Applicant will install a sidewalk along the property frontage of Elm Street. Final design shall be approved by Public Works prior to construction. This has been made a Condition of Approval. |
| | | | | Life/Safety: No comments |

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| | | | | <p>Water and Sewer: <i>Water and wastewater services are in place. That said, if pavement occurs around the water meter vault, the Applicant shall install a metal lid frame over the vault. This has been made a Condition of Approval.</i></p> <p>Building: <i>No comments</i></p> |
| | | | | <p>City Arborist: <i>The City Arborist recommends that fruitless Crabapple Trees be planted along Elm Street.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.08A Signs | <p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p> |
| | | | Staff Comments | <p><i>N/A, as signage is prohibited in residential zones.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.040 On-site Parking Req. | <p>See Section 17.09.040 for applicable code. 17.09.040 Single-Family Dwellings: two (2) spaces minimum, six (6) spaces maximum 17.09.040.01 Accessory Dwelling Units: one (1) space per unit</p> |
| | | | Staff Comments | <p><i>The Hailey Municipal Code requires a minimum of two (2) parking spaces for each single-family residential dwelling and one (1) parking space for an Accessory Dwelling Unit that is less than 1,000 square feet in size. The proposed garage/ADU addition includes a two-car garage. Additionally, it appears that approximately three (3) parking spaces are provided in the public right-of-way off of River Street.</i></p> <p><i>The Commission found that parking requirements for the proposed residence have been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08C.040 Outdoor Lighting Standards | <p>17.08C.040 General Standards</p> <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator. |
| | | | Staff Comments | <p><i>The Applicant will install Dark Sky compliant fixtures, downcast and low wattage fixtures. Cut sheets are attached.</i></p> |

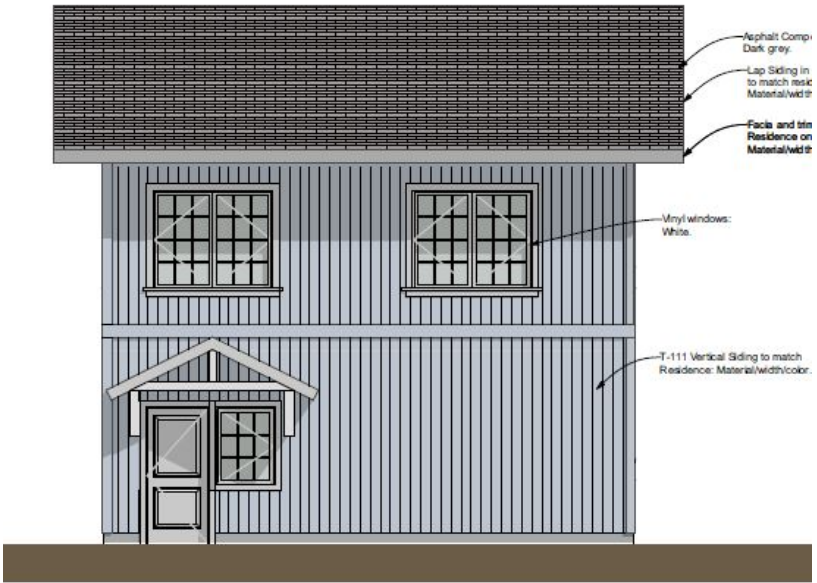
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| | | | |  <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Bulk Requirements | <p>Zoning District: General Residential (GR) and Townsite Overlay (TO) Maximum Height: 30' Setbacks:</p> <ul style="list-style-type: none"> • Street R.O.W. Adjacent: 12'; 20' to Garage Door • Private Property Abutment: 15% of lot width or 10', whichever is less; 6' min. • 1' for every 2.5' of building height • Alley: 6' minimum <p>Lot Coverage: 40%</p> |
| | | | Staff Comments | <p>Proposed Building Height:</p> <ul style="list-style-type: none"> ○ Proposed Building Height: 27'-6" <p>Proposed Setbacks:</p> <ul style="list-style-type: none"> ○ Front Yard (north): 12' ○ Side Yard (east): 18' ○ Side Yard (west): ~73' ○ Rear Yard (south): ~30'-4" <p>Proposed Lot Coverage:</p> <ul style="list-style-type: none"> ○ 2,006 square feet (600 Existing Footprint + 1,406 Proposed Footprint) / 8,404 square foot lot = 23% <p><i>The Commission found that all setback, building height, and lot coverage requirements have been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(A)1 Street Improvements Required | <p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> |
| | | | Staff Comments | <p><i>Pursuant Section 17.06.070, the requirement for sidewalk and drainage improvements may be waived if the project is a remodel and/or addition to a single-family residence. Though the proposed project is a garage/ADU addition to the existing single-family residence, Planning Staff finds that installation of a sidewalk along Elm Street and an asphalt pathway, to serve as an interim design to the River Street Redesign, is appropriate given the size and scope of the project. Additionally, Elm Street is a Safe Routes to School, and will greatly benefit children who walk to school from the China Gardens neighborhood. This has been made a Condition of Approval.</i></p> |

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| | | | | <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(B) Required Water System Improvements | In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015) |
| | | | <i>Staff Comments</i> | <i>This standard shall be met.</i> |
| Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO). | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)1 | 1) Site Planning |
| | | | | Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions. |
| | | | <i>Staff Comments</i> | <i>The lot is existing and respects the Old Hailey Townsite grid pattern. The proposed addition will preserve the grid pattern, keeping visual access to Elm Street and River Street, and garage access via the alley.</i> <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | Guideline: Site planning for new development and redevelopment shall address the following: <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units. |
| | | | <i>Staff Comments</i> | <ul style="list-style-type: none"> • The scale of the proposed addition is consistent with the scale and massing of buildings in the surrounding neighborhood. • The single-family residence is existing. The garage/ADU addition orientation complements that of the existing residence. As existing, the front entry of the home faces Elm Street and the garage will be accessible from the alley. • The proposed garage and driveway will continue to provide space for vehicle storage. • The garage/ADU addition will be located off of the alley. Ample yard and open space exist on all sides of the home. • The residence and proposed garage/ADU addition are located at the northeast end of the block; impact of solar access to adjacent homes will be minimal to non-existent. |

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| | | | | <ul style="list-style-type: none"> Snow storage has been identified on the site plan and is sufficient for the site. Utilities are existing. Water, sewer and gas are located underground. Any utilities for the proposed addition will be located underground. <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | <p>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p> <p><i>Staff Comments</i></p> <p><i>The residence is existing. The design intent of the proposed addition was to complement that of the existing residence, while retaining the character of Old Hailey. The proposed design takes advantage of the southern and western exposure: large windows, and a door that leads to the side yard.</i></p> <p><i>The size and shape of the proposed windows are also in scale with the building character of Old Hailey. No solar collectors are proposed at this time.</i></p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)2 | <p>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</p> <p>Guideline: The perceived mass of larger buildings shall be diminished by the design.</p> <p><i>Staff Comments</i></p> <p><i>The use of gables breaks up the roofline and results in a shorter, smaller looking addition. Various sized windows and direction of the siding aid in making the addition appear smaller in scale.</i></p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3 | <p>3. Architectural Character</p> |
| | | | 17.06.090(C)3a | <p>a. General</p> <p>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</p> <p><i>Staff Comments</i></p> <p><i>The architectural style of the proposed addition is consistent with the vernacular style of Old Hailey, but is not an exact replica of any particular building.</i></p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3b | <p>b. Building Orientation</p> <p>Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</p> <p><i>Staff Comments</i></p> <p><i>The single-family residence is existing and is adorned with an entry gable and covered porch. The addition will include a front covered entry door and paver walkway, which will highlight the front entry of the proposed ADU.</i></p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | <p>Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</p> <p><i>Staff Comments</i></p> <p><i>The single-family residence is existing. The addition has been oriented with respect to the existing grid pattern of Hailey.</i></p> <p><i>The Commission found that this standard has been met.</i></p> |
| | | | 17.06.090(C)3c | <p>c. Building Form</p> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design. |
| | | | <i>Staff Comments</i> | <i>The proposed addition sees simple forms. Exterior materials of the proposed addition will complement that of the existing residence. Various windows will highlight the ADU entrance, but will also help to reduce the perceived scale of the building. Clean lines and cool hues (blues and grays) are proposed, which are consistent with styles and forms found in Old Hailey.</i> <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | d. Roof Form |
| | | | | Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable. <i>Staff Comments</i> <i>The proposed addition incorporates a simple gable on the east and west elevations. A simple roof and pitch cover the proposed garage/ADU addition, and a small covered entry breaks up the perceived mass of the building.</i> <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site. <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties. |
| | | | <i>Staff Comments</i> | <i>Asphalt composite shingles will be installed to match that of the existing residence. Snow retention devices and rain gutters are not shown on the plans.</i> <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged. |
| | | | <i>Staff Comments</i> | <i>The proposed addition incorporates a simple gable on the east and west elevations. A simple roof and pitch cover the proposed garage/ADU addition, and a small covered entry breaks up the perceived mass of the building. The proposed roof form, ridge lengths and materials are similar to those traditionally found in the neighborhood.</i> <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood. |
| | | | <i>Staff Comments</i> | <i>The proposed roof pitch is 5:12, which is consistent with the surrounding neighborhood.</i> <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | e. Wall Planes |
| | | | | Guideline: Primary wall planes should be parallel to the front lot line. <i>Staff Comments</i> <i>The north wall of the proposed addition is parallel to the Elm Street property line.</i> <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood. |

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| | | | Staff Comments | <i>The addition is proportional to the site. Exterior colors, vertical and horizontal siding, and window variations also reduce the scale of the building to match the surrounding neighborhood.</i> <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | Guideline: The use of pop-outs to break up longer wall planes is encouraged. |
| | | | Staff Comments | <i>The proposed front entry of the ADU creates wall plane variation to the northern elevation, which helps to create a smaller appearance in size and break up the longer wall planes.</i> <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3f | f. Windows |
| | | | | Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion. |
| | | | Staff Comments | <i>The proposed windows are traditional in size, scale, and are appropriate for the neighborhood.</i> <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3f | Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors. |
| | | | Staff Comments | <i>With the exception of the west elevation (interior to the lot), high ribbon windows are framed in a manner that is consistent with the neighborhood and do not impact neighborhood privacy.</i> <i>The Commission found that this standard has been met.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)3g | g. Decks and Balconies |
| | | | | Guideline: Decks and balconies shall be in scale with the building and the neighborhood. |
| | | | Staff Comments | <i>N/A, as no decks or balconies are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)3g | Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible. |
| | | | Staff Comments | <i>N/A as no decks or balconies are proposed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3h | h. Building Materials and Finishes |
| | | | | Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged. |
| | | | Staff Comments | <i>The proposed addition will complement that of the existing residence. All proposed siding is vertical lap siding to in blue, asphalt composite shingles, lap siding in gable ends and vinyl windows in white. All materials proposed will match that of the existing residence (see image below for further detail).</i> |

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| | | | |  <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3h | <p>Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</p> <p><i>Staff Comments</i> The largest wall plane are east and west elevations. These wall planes are broken up by various sized windows, two garage bays, and a horizontal band that breaks up the bottom half of the addition from the top half, further reducing the scale of the proposed addition.</p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | <p>i. Ornamentation and Architectural Detailing</p> <p>Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.</p> <p><i>Staff Comments</i> Simple detailing is proposed: window and door trim, as well as corner trim. Detail will match that of the existing residence.</p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | <p>Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</p> <p><i>Staff Comments</i> The existing residence has minimal ornamentation. The proposed garage and ADU will also have minimal ornamentation.</p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | <p>Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.090(C)3i for further information.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | <p>4. Circulation and Parking</p> <p>Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.</p> |

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| | | | Staff Comments | Adequate parking has been provided. Pedestrian access is provided with the new paver walkway to the front entry of the existing residence. A new paver walkway is also proposed off of Elm Street, which access the proposed ADU. Snow storage areas are adjacent to the driveway, as well as at the end of the alley-accessed, parking area, which do not restrict pedestrian access. The Commission found that this standard has been met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: The visual impacts of on-site parking visible from the street shall be minimized. |
| | | | Staff Comments | Onsite parking will be accessed from the alley side of the property and is blocked from the street by the proposed addition and existing residence. The Commission found that this standard has been met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side. |
| | | | Staff Comments | The proposed garage addition can be accessed from the alley. The Commission found that this standard has been met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: Detached garages accessed from alleys are strongly encouraged. |
| | | | Staff Comments | The proposed detached garage will be accessed from the alley. The Commission found that this standard has been met. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)4 | Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane. |
| | | | Staff Comments | N/A, as the proposed garage bays will be accessed from the alley. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized. |
| | | | Staff Comments | The parking area off of River Street can accommodate approximately three (3) vehicles. The proposed garage/ADU addition is accessed from the alley. The Commission found that this standard has been met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning. |
| | | | Staff Comments | Though no seasonal, off-street parking for recreational vehicles is shown, it does appear that the site may have room to accommodate for the parking of recreational vehicles (see seasonal snow storage on Site Plan). The Commission found that this standard has been met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | 5. Alleys |
| | | | | Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties. |
| | | | Staff Comments | Alley access is not impacted and will be maintained. The Commission found that this standard has been met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged. |
| | | | Staff Comments | Utilities and vehicular access to the garage are existing and are located off the alley. |

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| | | | | <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | <p>Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.</p> |
| | | | Staff Comments | <p><i>The existing alley is gravel. If noxious weeds are present on the site, the Developer shall control according to State Law.</i></p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | <p>Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.</p> |
| | | | Staff Comments | <p><i>The existing landscaping to be maintained is turf.</i></p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)6 | <p>6. Accessory Structures</p> |
| | | | | <p>Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.</p> |
| | | | Staff Comments | <p><i>A detached garage/ADU addition is proposed. It appears to be similar in scale, location and function to the existing residence. It will be located to the rear of the parcel, which reduces its visibility and mass, adequately supporting this standard.</i></p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)6 | <p>Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical.</p> |
| | | | Staff Comments | <p><i>A detached garage/ADU addition is proposed and will be located to the rear of the parcel, with access from the alley.</i></p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)7 | <p>7. Snow Storage</p> |
| | | | | <p>Guideline: All projects shall be required to provide 25% snow storage on the site.</p> |
| | | | Staff Comments | <p><i>The site plan proposes approximately 672 square feet of hardscape (parking, vehicle and pedestrian areas). 25% of this (168 square feet) is required for snow storage. 500 square feet of snow storage is shown.</i></p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)7 | <p>Guideline: A snow storage plan shall be developed for every project showing:</p> <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas. |
| | | | Staff Comments | <p><i>Snow storage areas are adjacent to the driveway, as well as at the end of the alley-accessed, parking area. Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible from the street.</i></p> <p><i>The Commission found that this standard has been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | <p>8. Existing Mature Trees and Landscaping</p> |
| | | | | <p>Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan.</p> |

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| | | | Staff Comments | Existing trees are identified onsite and most are proposed to be retained. That said, it appears that one (1) existing tree will be removed to accommodate for the construction of the garage/ADU addition. Two (2) additional trees along the property line of Elm Street will also be removed. Three (3) flowering Crabapple Trees are proposed (2" caliper) to be added behind the proposed sidewalk along Elm Street. The City Arborist recommends that the Crabapple Trees be fruitless. The Commission concurred. No additional trees or landscaping are proposed to be removed and/or added at this time. <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible. |
| | | | Staff Comments | Please refer to the standard above. Additionally, no significant landscape features will be removed or appear to be impacted by the proposed addition. <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | Guideline: Noxious weeds shall be controlled according to State Law. |
| | | | Staff Comments | If noxious weeds are present on the site, the Applicant shall control according to State Law. <i>The Commission found that this standard has been met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)9 | 9. Fences and Walls |
| | | | | Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates. |
| | | | Staff Comments | An existing fence exists on the southern property line. No additional fences are proposed to be added or removed at this time. <i>The Commission found that this standard has been met.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)9 | Guideline: Retaining walls shall be in scale to the streetscape. |
| | | | Staff Comments | N/A, as none are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)10 | 10. Historic Structures |
| | | | | General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure. |
| | | | Staff Comments | N/A, as no Historic Structures exist onsite. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)10 | Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines: <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. |

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| | | | <ul style="list-style-type: none"> • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions. |
| | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.090(C)10 for further information.</i> |

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**

- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Zoning Ordinance and City Standards.

DECISION

The Design Review Application by Stephen Kearns, represented by Jay Cone Architecture PC, for a new 728 square foot garage with a 678 square foot Accessory Dwelling Unit (ADU) above, to be located at 12 West Elm Street (Lot 11 and N. 20' of Lot 12, Block 8 and Block 20 x 120 Elm Street) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, was approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (k) are met:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
 - i. If pavement occurs around the water meter vault, the Applicant shall install a metal lid frame over the vault.
 - ii. The Applicant will install a 10'-wide asphalt pathway along the property frontage of River Street. Additionally, the Applicant shall install a sidewalk along the property frontage of Elm Street.
- d) A Lot Line Adjustment Application, a request to eliminate the interior lots lines of the parcel, shall be applied for concurrently with the Building Permit.

- e) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- f) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- g) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- h) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- i) An Encroachment Permit shall be applied for and approved for any work completed within the City Right-of-Way. The Encroachment Permit and Building Permit shall be applied for concurrently.
- j) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- k) All utilities shall be located underground, consistent with 17.06.080(A)3h.

Signed this ____ day of _____, 2021.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

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FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On February 16, 2021, the Hailey Planning and Zoning Commission considered and approved a Preliminary Plat Application by Dennis and Sheree Kavanagh, represented by Galena Engineering, where an existing building on Lots 1 & 22, Block 43, Woodside Subdivision #10 (1060 Mountain Drive) is converted into a condominium plat/subdivision. The existing building would be converted into six (6) units, ranging in size from 784 sq. ft. to 1,596 sq. ft. The parcel is located within the Light Industrial (LI) Zoning District.

The Planning and Zoning Commission enters these Findings of Fact, Conclusions of Law and Decision.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express on January 27, 2021 and mailed to property owners on January 26, 2021.


Application: Dennis and Sheree Kavanagh, represented by Sean Flynn of Galena Engineering, has submitted a Preliminary Plat Application for approval of a condominium plat/subdivision to an existing building located on Lots 1 & 22, Block 43, Woodside Subdivision #10 (1060 Mountain Drive).

The existing building is situated on a parcel that is 12,195 square feet (0.28 acres) in size. The Applicant proposes to divide the existing building into six (6) commercial condominium units, ranging in size from 784 sq. ft. to 1,596 sq. ft. Presently, Units 1, 2 and 3 are utilized for the Applicant's cabinet business. Units 4, 5, and 6 are structured separately and are currently being rented. The front area of the building, along Mountain Drive, has been designated as Common Area. A draft Condominium Declaration has been submitted, which addresses all commonly owned areas.

As a Condominium Conversion, pursuant Section 16.07.070 of the Hailey Municipal Code, the Preliminary Plat is not subject to Section 16.04.110 of the Hailey Municipal Code, which addresses parks, pathways, and other green spaces.

Procedural History: The Application was submitted on January 5, 2021 and certified complete on January 12, 2021. A public hearing before the Planning and Zoning Commission was on February 16, 2021, in the Council Chambers of Hailey City Hall, and virtually via GoTo Meeting.

| Standards of Evaluation for a Subdivision | | | | |
|---|--------------------------|--------------------------|------------------------------|---|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.050 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | Engineering: <i>The Public Works Department recommends that drainage and grading within the public right-of-way be improved. This has been made a Condition of Approval.</i> <i>To ensure all items have been resolved, a final review and approval will be conducted prior to issuance of a Building Permit.</i> |
| | | | | Life/Safety: <i>The conversion and separation of units shall meet IFC and City</i> |

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| | | | <i>Standards.</i> Water and Wastewater: <i>No comments</i> Planning: <i>It appears that all exterior lighting is Dark Sky compliant; however, any and all exterior lighting that does not meet City Standards shall be replaced with Dark Sky compliant fixtures. This has been made a Condition of Approval.</i> Building: <i>No comments</i> Streets: <i>No comments</i> City Arborist: <i>No comments</i> | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.010 Development Standards <i>Staff Comments</i> | Applicability: The configuration and development of proposed subdivisions shall be subject to and meet the provisions and standards found in this Title, the Zoning Title and any other applicable Ordinance or policy of the City of Hailey and shall be in accordance with general provisions of the Comprehensive Plan. <i>Please refer to the specific standards as noted herein.</i> |
| 16.04.020: Streets: | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.020 | Streets: Streets shall be provided in all subdivisions where necessary to provide access and shall meet all standards below. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | Development Standards: All streets in the subdivision must be platted and developed with a width, alignment, and improvements such that the street is adequate to safely accommodate existing and anticipated vehicular and pedestrian traffic and meets City standards. Streets shall be aligned in such a manner as to provide through, safe and efficient access from and to adjacent developments and properties and shall provide for the integration of the proposed streets with the existing pattern. |
| | | | <i>Staff Comments</i> | <i>The parcel is a corner parcel and is surrounded on three (3) sides by public streets: Glenbrook Drive, Mountain Drive and Black Oak Drive. These streets are existing and can safely accommodate existing and anticipated traffic. The building is existing and there are six (6) garage bays that gain access from Mountain Drive.</i> |
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| | | | | <p><i>All other standards pertaining to Section 16.04.020: Streets, which are not listed below, have been met and/or are not applicable.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| 16.04.030: Sidewalks and Drainage Improvements | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | <p>Sidewalks and drainage improvements are required in all zoning districts and shall be located and constructed according to applicable City standards, except as otherwise provided herein.</p> |
| | | | Staff Comments | <p><i>No sidewalks are existing along the property frontage of the existing building nor within the greater area. Staff sees no need for the installation of sidewalks along the property frontage (Mountain Drive, Black Oak and Glenbrook Drive).</i></p> <p><i>The building was constructed in 1989-1990 and it appears sidewalk in-lieu fees were never collected, as it was not required during that time. That said, Staff finds a sidewalk in-lieu payment for the property frontage appropriate. This fee shall be paid prior to recordation of Final Plat. This has been made a Condition of Approval.</i></p> <p><i>Furthermore, the Public Works Department recommends that the Applicant improve grading and drainage within the public right-of-way. This has been made a Condition of Approval.</i></p> <p><i>The Commission discussed and found that the payment of in-lieu fees for sidewalks along the property frontage, as well as grading and drainage improvements, to be necessary. These remain Conditions of Approval.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | <p>The length of sidewalks and drainage improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</p> |
| | | | Staff Comments | <p><i>Please refer to Section 16.04.030(A) for further details. The Commission has found this standard to be met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | C. | <p>New sidewalks shall be planned to provide pedestrian connections to any existing and future sidewalks adjacent to the site.</p> |
| | | | Staff Comments | <p><i>Please refer to Section 16.04.030(A) for further details. The Commission has found this standard to be met.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. | <p>Sites located adjacent to a public street or private street that are not currently through streets, regardless whether the street may provide a connection to future streets, shall provide sidewalks to facilitate future pedestrian connections.</p> |
| | | | Staff Comments | <p><i>N/A. Please refer to Section 16.04.030(A) for further details and/or comments noted by City Staff. The Commission has found this standard to be met.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | E. | <p>The requirement for sidewalk and drainage improvements are not required for any lot line adjustment.</p> |
| | | | Staff Comments | <p><i>N/A</i></p> |
| 16.04.040: Alleys and Easements | | | | |
| Compliant | | | Standards and Staff Comments | |

| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
|-------------------------------------|--------------------------|-------------------------------------|------------------------------|---|
| | | | A. | Alleys: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 1. | Alleys shall be provided in all Business District and Limited Business District developments where feasible. |
| | | | <i>Staff Comments</i> | <p>N/A, as the building is existing and no alleys are proposed.</p> <p>All other standards pertaining to Section 16.04.040: Alleys and Easements, which are not listed below, have been met and/or are not applicable.</p> <p>The Commission has found this standard to be met.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | B. | Easements. Easements, defined as the use of land not having all the rights of ownership and limited to the purposes designated on the plat, shall be placed on the plat as appropriate. Plats shall show the entity to which the easement has been granted. Easements shall be provided for the following purposes: |
| | | | | <p>An existing 5'-wide power easement runs the length of the property and around the corner to the south of Glenbrook Drive and Black Oak Drive.</p> <p>Additionally, an existing 10'-wide snow storage easement runs the length of the property and around the corner to the south of Glenbrook Drive and Black Oak Drive.</p> <p>The Commission has found this standard to be met.</p> |
| 16.04.050: Blocks | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.050 | Blocks: The length, width and shape of blocks shall be determined with due regard to adequate building sites suitable to the special needs of the type of use contemplated, the zoning requirements as to lot size and dimensions, the need for convenient access and safe circulation and the limitations and opportunities of topography. |
| | | | <i>Staff Comments</i> | All proposed blocks are shown on the Preliminary Plat. The Commission has found this standard to be met. |
| 16.04.060: Lots | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.060 | Lots: All lots shown on the subdivision plat must conform to the minimum standards for lots in the District in which the subdivision is planned. The City will generally not approve single-family residential lots larger than one-half (1/2) acre (21,780 square feet). In the event a single-family residential lot greater than one-half (1/2) acre is platted, irrigation shall be restricted to not more than one-half (1/2) acre, pursuant to Idaho Code §42-111, and such restriction shall be included as a plat note. District regulations are found in the Zoning Chapter. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | A. | If lots are more than double the minimum size required for the zoning district, the Developer may be required to arrange lots in anticipation of future re-subdivision and provide for future streets where necessary to serve potential lots, unless the plat restricts further subdivision. |
| | | | <i>Staff Comments</i> | The Applicant is proposing to remove the interior lot line between Lots 1 and 22 of Block 43, as the existing building sits on the lot line. By doing so, the new parcel would be more than double the minimum lot size required for the zoning district (6,000 sq. ft. is lot size the minimum in LI). The new parcel would be 12,196 sq. ft. |

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| | | | | <p><i>That said, unless the existing building were demolished, no further subdivision of the parcel is possible.</i></p> <p><i>All other standards pertaining to Section 16.04.060: Lots, which are not listed below, have been met and/or are not applicable.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| 16.04.070: Orderly Development | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. | <p>Phasing Required: Development of subdivisions shall be phased to avoid the extension of City services, roads and utilities through undeveloped land.</p> |
| | | | Staff Comments | <p><i>N/A, as the building and subdivision are existing. All other standards pertaining to Section 16.04.070: Orderly Development, which are not listed below, have been met and/or are not applicable.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | D. | <p>When the developer of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:</p> <ol style="list-style-type: none"> 1. Streets, whether public or private, shall provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic. 2. Non-vehicular circulation routes shall provide safe pedestrian and bicycle ways and provide an interconnected system to streets, parks and green space, public lands, or other destinations. 3. Water main lines and sewer main lines shall be designed in the most effective layout feasible. 4. Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible. 5. Park land shall be most appropriately located on the Contiguous Parcels. 6. Grading and drainage shall be appropriate to the Contiguous Parcels. 7. Development shall avoid easements and hazardous or sensitive natural resource areas. <p>The commission and council may require that any or all contiguous parcels be included in the subdivision.</p> |
| | | | Staff Comments | <p><i>N/A, as no contiguous parcel is owned by the Applicant. The Commission has found this standard to be met.</i></p> |
| 16.04.080: Perimeter Walls, Gates and Berms | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.080 | <p>The City of Hailey shall not approve any residential subdivision application that includes any type of perimeter wall or gate that restricts access to the subdivision. This regulation does not prohibit fences on or around individual lots. The City shall also not allow any perimeter landscape berm more than 3' higher than the previously existing (original) grade.</p> |

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| | | | Staff Comments | <p><i>N/A, as no perimeter walls, gates or landscape berms are proposed. All other standards pertaining to Section 16.04.080: Perimeter Walls, Gates and Berms, which are not listed below, have been met and/or are not applicable.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| 16.04.090: Cuts, Fills, Grading and Drainage | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. | <p>Plans Required: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts; fills, alterations of topography, streams, drainage channels; and disruption of soils or vegetation. Fill within the floodplain shall comply with the requirements of the Flood Hazard Overlay District of the Zoning Ordinance.</p> |
| | | | Staff Comments | <p><i>N/A, as the building and subdivision are existing. The site is relatively flat and free of vegetation. No floodplain exists.</i></p> <p><i>All other standards pertaining to Section 16.04.090: Cuts, Fills, Grading and Drainage, which are not listed below, have been met and/or are not applicable.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| 16.04.100: Overlay Districts | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| | | | A. | Flood Hazard Overlay District: |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. 1. | <p>Subdivisions or portions of subdivision located within the Flood Hazard Overlay District shall comply with all provisions of Section 4.10 of the Zoning Ordinance.</p> |
| | | | Staff Comments | <p><i>N/A, as the existing parcel is not located within the Flood Hazard Overlay District.</i></p> <p><i>All other standards pertaining to Section 16.04.100: Overlay Districts, which are not listed below, have been met and/or are not applicable.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| 16.04.110: Parks, Pathways and Other Green Spaces | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. | <p>Parks and Pathways: Unless otherwise provided, every subdivision shall set aside a Park and/or Pathway(s) in accordance with standards set forth herein.</p> |
| | | | Staff Comments | <p><i>As a Condominium Conversion, pursuant Section 16.07.070 of the Hailey Municipal Code, the Preliminary Plat is not subject to the Parks, Pathways and Other Green Spaces standards noted in Section 16.04.110 of the Hailey Municipal Code.</i></p> <p><i>All other standards pertaining to Section 16.04.110: Parks, Pathways and Other Green Spaces, which are not listed below, have been met and/or are not applicable.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |

| 16.05: Improvements Required: | | | | |
|---|--------------------------|-------------------------------------|------------------------------|---|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and <i>Staff Comments</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.05.010 | <p>Minimum Improvements Required: It shall be a requirement of the Developer to construct the minimum infrastructure improvements set forth herein and any required infrastructure improvements for the subdivision, all to City Standards and procedures, set forth in Title 18 of the Hailey Municipal Code and adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code §67-6509. Alternatives to the minimum improvement standards may be recommended for approval by the City Engineer and approved by the City Council at its sole discretion only upon showing that the alternative is clearly superior in design and effectiveness and will promote the public health, safety and general welfare.</p> |
| | | | <i>Staff Comments</i> | <p><i>N/A, as the building is existing and all infrastructure is in place.</i></p> <p><i>All other standards pertaining to Section 16.05: Improvements Required, which are not listed below, have been met and/or are not applicable.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| 16.05.020: Streets, Sidewalks, Lighting, Landscaping | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.05.020 | <p>Streets, Sidewalks, Lighting, Landscaping: The developer shall construct all streets, alleys, curb and gutter, lighting, sidewalks, street trees and landscaping, and irrigation systems to meet City Standards, the requirements of this ordinance, the approval of the Council, and to the finished grades which have been officially approved by the City engineer as shown upon approved plans and profiles. The developer shall pave all streets and alleys with an asphalt plant-mix and shall chip-seal streets and alleys within one year of construction.</p> |
| | | | <i>Staff Comments</i> | <p><i>N/A, as all public infrastructure is existing.</i></p> <p><i>All other standards pertaining to Section 16.05.020: Streets, Sidewalks, Lighting, and Landscaping, which are not listed below, have been met and/or are not applicable.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| 16.05.030: Sewer Connections | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.05.030 | <p>Sewer Connections: The developer shall construct a municipal sanitary sewer connection for each and every developable lot within the development. The developer shall provide sewer mains of adequate size and configuration in accordance with City standards, and all federal, state, and local regulations. Such mains shall provide wastewater flow throughout the development. All sewer plans shall be submitted to the City engineer for review and approval. At the City engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p> |
| | | | <i>Staff Comments</i> | <p><i>N/A, as all sewer connections are existing.</i></p> <p><i>All other standards pertaining to Section 16.05.030: Sewer Connections, which are not listed below, have been met and/or are not applicable.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| 16.05.040: Water Connections | | | | |

| | | | | |
|---|--------------------------|-------------------------------------|----------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. | <p>Requirements: The developer shall construct a municipal potable water connection, water meter and water meter vault in accordance with City Standards or other equipment as may be approved by the City engineer, for each and every developable lot within the development. The developer shall provide water mains and services of adequate size and configuration in accordance with City Standards, and all federal, state, and local regulations. Such water connection shall provide all necessary appurtenances for fire protection, including fire hydrants, which shall be located in accordance with the IFC and under the approval of the Hailey Fire Chief. All water plans shall be submitted to the City engineer for review and approval. At the City Engineer's discretion, plans may be required to be submitted to the Idaho Department of Environmental Quality (DEQ) for review and comments.</p> |
| | | | Staff Comments | <p>N/A, as all water connections are existing.</p> <p>All other standards pertaining to Section 16.05.040: Water Connections, which are not listed below, have been met and/or are not applicable.</p> <p>The Commission has found this standard to be met.</p> |
| 16.05.050: Drainage | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.05.050 | <p>Drainage: The developer shall provide drainage areas of adequate size and number to meet the approval of the street superintendent and the City engineer or his authorized representative. (Ord. 1191, 2015)</p> |
| | | | Staff Comments | <p>N/A, as the building, subdivision and streets are existing.</p> <p>All other standards pertaining to Section 16.05.050: Drainage, which are not listed below, have been met and/or are not applicable.</p> <p>The Commission has found this standard to be met.</p> |
| 16.05.060: Utilities | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.05.060 | <p>Utilities: The developer shall construct each and every individual service connection and all necessary trunk lines, and/or conduits for those improvements, for natural gas, electricity, telephone, and cable television to the property line before placing base gravel for the street or alley.</p> |
| | | | Staff Comments | <p>N/A, as all utilities are in place.</p> <p>All other standards pertaining to Section 16.05.060: Utilities, which are not listed below, have been met and/or are not applicable.</p> <p>The Commission has found this standard to be met.</p> |
| 16.05.070: Parks, Green Space | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.070 | <p>Parks, Green Space: The developer shall improve all parks and green space areas as presented to and approved by the hearing examiner or commission and council.</p> |
| | | | Staff Comments | <p>Please refer to Section 16.04.110 for further detail. The Commission has found this standard to be met.</p> |
| 16.05.080: Installation to Specifications; Inspections | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.05.080 | <p>Installation to Specifications; Inspections: All improvements are to be installed under the specifications and inspection of the City engineer or his authorized representative. The minimum construction requirements shall meet City Standards or the Department of Environmental Quality (DEQ) standards, whichever is the more stringent.</p> |

| | | | | |
|---|--------------------------|-------------------------------------|-------------------------------------|---|
| | | | Staff Comments | N/A, as no new construction or improvements are proposed. The Commission has found this standard to be met. |
| 16.05.090: Completion; Inspections; Acceptance | | | | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | A. | Installation of all infrastructure improvements must be completed by the developer and inspected and accepted by the City prior to signature of the plat by City representatives, or according to a phasing agreement. A post-construction conference shall be requested by the developer and/or contractor and conducted with the developer and/or contractor, the City engineer, and appropriate City departments to determine a punch list of items for final acceptance. |
| | | | Staff Comments | N/A, as no new construction or improvements are proposed; however, if infrastructure improvements take place, this standard shall be met. The Commission has found this standard to be met. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | B. | The developer may, in lieu of actual construction, provide to the City security pursuant to Section 3.3.7, for all infrastructure improvements to be completed by developer after the final plat has been signed by City representatives. (Ord. 1191, 2015) |
| | | | Staff Comments | N/A, as all major infrastructure is complete. The Commission has found this standard to be met. |
| 16.05.100: As Built Plans and Specifications | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.05.100 | As Built Plans and Specifications: Prior to the acceptance by the City of any improvements installed by the developer, three (3) sets of "as-built plans and specifications" certified by the developer's engineer shall be filed with the City engineer. (Ord. 1191, 2015) |
| | | | Staff Comments | If any improvements are installed, as built drawings will be required. This standard will be met. The Commission has found this standard to be met. |
| 16.07: Condominiums | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.07.020 | Plat Procedure: The developer of a condominium project shall submit with the preliminary plat application, as required by this title, a copy of the proposed bylaws and condominium declarations of the proposed condominium development. The documents shall adequately provide for the control (including billing, where applicable, and maintenance of all common utilities, common area, recreational facilities and green space. The developer may submit a final plat application following inspection and approval by the building inspector of the footings and setbacks of the condominium building. Prior to final plat approval, the developer shall submit to the City a copy of the final bylaws and condominium declarations to be recorded with the county recorder, including the instrument number(s) under which each document was recorded. (Ord. 1191, 2015). |
| | | | Staff Comments | A copy of the Condominium Declarations has been submitted. The Commission suggested that the Applicant include provisions within the declaration that outline specific design standards for the new owners to follow when 'sprucing' up their exterior space. Though the Commission did not require this of the Applicant, it is strongly encouraged. The City has not and will not in the future determine the enforceability or validity of the Declaration of Covenants, Conditions, and Restrictions or other private agreements. |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|-----------------------|--|
| | | | | <i>The Commission has found this standard to be met.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.07.030 | <p>Garages: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular condominium units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is appurtenant to specific condominium units on the condominium plat and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the condominium project. (Ord. 1191, 2015)</p> |
| | | | <i>Staff Comments</i> | <p><i>The building is existing and has six (6) garage bays, which all gain access off of Mountain Drive. All garages are located within the principal building. That said, the garage bays are not typical garages. Each bay opens to a larger work area, and though they could be utilized as a traditional garage space, they are utilized as work areas and not for the storage of vehicles.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.07.040 | <p>Storage, Parking Areas: Condominium projects shall provide parking spaces according to the requirements of Title 17, Chapter 17.09 of this code. (Ord. 1191, 2015)</p> |
| | | | <i>Staff Comments</i> | <p><i>Per Title 17, Section 17.09.040.01, Condominium units require 1.5 parking spaces per unit. The existing building has six (6) units; therefore, nine (9) onsite parking spaces are required.</i></p> <p><i>The existing building has six (6) garage bays or at least one (1) parking space within each bay. Additionally, it is assumed that one (1) onsite space is available in front of each bay. The total onsite parking spaces, based on the information above, is 12 parking spaces.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.07.050 | <p>Construction Standards: All condominium project construction shall be in accordance with the IBC, IRC and IFC. (Ord. 1191, 2015)</p> |
| | | | <i>Staff Comments</i> | <p><i>The building is existing and was constructed in accordance with the IBC, IRC and IFC Requirements in place at that time.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.07.060 | <p>General Applicability: All other provisions of this title and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by condominium developments. (Ord. 1191, 2015)</p> |
| | | | <i>Staff Comments</i> | <p><i>Upon meeting the proposed Conditions of Approval, the proposed Application does not appear to conflict with other provisions.</i></p> <p><i>The Commission has found this standard to be met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.07.070 | <p>Conversion: The conversion by subdivision of existing units into condominiums shall not be subject to section 16.04.110 of this title. (Ord. 1191, 2015)</p> |
| | | | <i>Staff Comments</i> | <p><i>Please refer to Section 16.04.110 for further information. The Commission has found this standard to be met.</i></p> |

CONCLUSIONS OF LAW

Based upon the above Findings of Fact, the Commission makes the following recommendations:

1. Adequate notice, pursuant to Title 16, Section 16.03.010, of the Hailey Subdivision Ordinance,

was given for the public hearing.

2. Upon compliance with the conditions noted below, the Application substantially meets the standards of approval set forth in the Hailey Subdivision Ordinance.

DECISION

The Preliminary Plat Application by Dennis and Sheree Kavanagh, represented by Galena Engineering, where an existing building on Lots 1 & 22, Block 43, Woodside Subdivision #10 (1060 Mountain Drive) is converted into a condominium plat/subdivision, has been approved, and meets the standards of approval set forth in the Hailey Municipal Code, and is recommended for approval by the Hailey Planning and Zoning Commission, subject to the following conditions, (a) through (l), as noted below:

- a) All Fire Department and Building Department requirements shall be met.
- b) All City infrastructure requirements shall be met as outlined in Title 16, Chapter 16.05 of the Hailey Municipal Code. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for City of Hailey approval, and shall meet City Standards where required.
 - i. The Applicant shall improve grading and drainage within the public right-of-way. Final plans shall be approved by the Public Works Department prior to construction.
- c) Issuance of permits for the construction of buildings within the proposed subdivision shall be subject to Section 16.02.080 of the Hailey Municipal Code.
- d) All improvements and other requirements shall be completed and accepted, or surety provided pursuant to Subsections 16.03.030(I) and 16.05.090(B) of the Hailey Municipal Code, prior to recordation of the Final Plat.
- e) Any Subdivision Inspection fees due shall be paid prior to recording the Final Plat.
- f) Any Application Development fees shall be paid prior to recording the Final Plat.
- g) The Applicant shall pay sidewalk in-lieu fees for the property frontage (Mountain Drive, Black Oak and Glenbrook Drive) which shall be paid prior to recordation of Final Plat.
- h) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- i) Billing and utility payment information shall be addressed in the Condominium Declarations.
- j) Commonly owned areas shall be addressed in the Condominium Declarations.
- k) All provisions of the Hailey Municipal Code, including but not limited to use regulations and parking requirements shall continue to be met. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- l) The Final Plat must be submitted within one (1) calendar year from the date of approval of the Preliminary Plat, unless otherwise allowed for within a Phasing Agreement.

Signed this _____ day of _____, 2021.

Janet Fugate, Planning & Zoning Commission Chair

Attest:

Jessie Parker, Community Development Assistant

Return to Agenda

Meeting Minutes
HAILEY PLANNING & ZONING COMMISSION
Tuesday, February 16, 2021
Virtual Meeting
5:30 p.m.

From your computer, tablet or smartphone: <https://www.gotomeet.me/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Present

Commission: Dan Smith, Richard Pogue, Janet Fugate, Dustin Stone, Owen Scanlon

Staff: Lisa Horowitz, Robyn Davis, Jessica Parker

[5:30:11 PM](#) Chair Fugate called to order.

[5:30:26 PM](#) Public Comment for items not on the agenda.

[5:31:17 PM](#) Pogue stated the ice carving idea should be greatly congratulated, he thinks it was a great idea and the carvings were good. Pogue thinks this is something that the city should keep going. Pogue stated Brian Yeager and his team should be congratulated.

[5:32:31 PM](#) **Consent Agenda**

CA 1 Adoption of the Meeting Minutes from the February 1, 2021 PZ Hearing. **ACTION ITEM.**

[5:32:35 PM](#) Smith motioned to approve CA 1, as amended with corrections passed on to staff. Pogue seconded. All in Favor.

Public Hearing

PH 1 [5:33:22 PM](#) Consideration of a Design Review Application by Stephen Kearns, represented by Jay Cone Architecture PC, for a new 728 square feet garage with a 678 square feet Accessory Dwelling Unit (ADU) above. This project is located at 12 West Elm Street (Lot 11 and N 20' of Lot 12, Block 8 and 20 x 120 Elm St) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

[5:34:24 PM](#) Horowitz introduced applicant team and turned floor over to applicant. [5:35:30 PM](#) Jay Cone introduced himself and explained changes made to snow storage, utilities connections. Cone summarized floor plan proposed. Cone discussed parking, and noted not counting on spaces along River Street. Cone explained snow storage exceeds requirements and area could also serve as RV Storage. Cone stated will not be applying for any lot line amendments as noted in Condition D.

[5:38:16 PM](#) Scanlon asked how the attic will be ventilated. Cone explained plan to ventilate the attic. Cone stated trying to keep the height of the building down. Scanlon stated he understands, he was just wondering if there was something more visual.

[5:39:40 PM](#) Stone thanked the applicant with working with staff. Stone asked Horowitz if there was any height listed for the primary residence. Horowitz explained that height requirements were removed by City Council. Horowitz explained this application came in prior to the code change, under the new code that went into effect last Wednesday the Council removed the height requirement in regards to the principal building. Stone asked the square footage of the existing building. Kearns and Staff confirmed 1200 square feet.

[5:42:23 PM](#) Smith asked about the coloring plan, if matching the existing house. Kearns stated matching existing materials as close as possible. Photo graphs of existing house did not make it into the packet. [5:45:01 PM](#) Cone stated will look more closely at the survey. Cone provided color photos of existing building and noted that only difference for new building is that will be using shingles.

[5:46:47 PM](#) Chair Fugate confirmed removing three trees and will be putting three new trees in. Kearns confirmed, explaining the one tree on the corner is more of a brush than tree. Chair Fugate asked if 2 inch caliper is large enough. Horowitz confirmed.

[5:47:57 PM](#) **Chair Fugate opened public comment.**

No comment.

[5:48:35 PM](#) **Chair Fugate closed public comment.**

[5:48:42 PM](#) Scanlon appreciates attempt to match color scheme, staying in comparable size to existing house and thinks it is well thought out and executed.

[5:49:23 PM](#) Stone asked with the new ADU ordinance going into effect, does this still need to go through planning and zoning. Horowitz explained going to planning and zoning because this is within Hailey Townsite Overlay. Stone thinks everything is set up good for this project, plenty of room to keep cars off side of road.

[5:50:46 PM](#) Smith thinks it is a good infill project, good utilization of the area and thinks will be much in demand. Smith complimented applicant team.

[5:51:16 PM](#) Pogue agrees with all the comments by the commissioners and is glad to see this happen.

[5:51:33 PM](#) Chair Fugate agrees and appreciates the additional parking. Chair Fugate agreed with other commissioners comments. Chair Fugate stated it sounds like they need to leave the condition regarding the lot line condition. Horowitz suggested adding to the condition, that if this is necessary to meet with the required setbacks. Cone confirmed will triple check the lot line question. Horowitz asked if wanted to hear from Galena Engineering.

[5:54:04 PM](#) Sean Flynn, Galena Engineering, confirmed there will need to have a lot line adjustment completed. There are two lot lines going through the buildings. Staff and Commission agreed to leave the condition as is.

[5:55:36 PM](#) **Smith motioned to approve the Design Review Application by Stephen Kearns, represented by Jay Cone Architecture PC, for a new 728 square feet garage with a 678 square feet Accessory Dwelling Unit (ADU) above, located at 12 West Elm Street (Lot 11 and N 20' of Lot 12, Block**

8 and 20 x 120 Elm St), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Zoning Title, and City Standards, provided conditions (a) through (k) are met. Scanlon seconded. All in Favor.

PH 2 [5:57:24 PM](#) *Consideration of a Preliminary Plat Application by Dennis and Sheree Kavanagh, represented by Galena Engineering, where the existing building located on Lots 1 and 22, Block 43, Woodside (1060 Mountain Drive) are converted into commercial condominiums, which range in size from 784 square feet to 1,596 square feet. This project is located within the Light Industrial (LI) Zoning District. **ACTION ITEM.***

[5:58:15 PM](#) Davis introduced applicant team and turned floor over to them. Dennis Kavanagh, provided a brief history of the existing building - built in 1990 and have three renters some of which have been renting since built. Kavanagh explained idea of changing into condominiums and ability to sell. Kavanagh summarized existing businesses already in the building.

[6:03:32 PM](#) Davis confirmed City Staff has requested the drainage improvements and to pay an in-lieu fee for the sidewalks.

[6:04:26 PM](#) Sean Flynn, Galena Engineering, understands there are some drainage issues in the area and the sidewalk in lieu fees. Flynn asked how the commissioners would like to proceed. Chair Fugate agreed to start with questions.

[6:06:20 PM](#) Scanlon confirmed his question was answered, if the applicant planned to sell the units and they confirmed that. Scanlon thinks it is justified to ask for the improvements and in lieu fees since intent is to sell the units.

[6:07:23 PM](#) Stone confirmed this is Light Industrial zone. Davis confirmed. Stone asked if planned to address the need for housing. Kavanagh clarified, not housing but he is trying to fill need for places for businesses. Kavanagh confirmed this units are not residential.

[6:08:37 PM](#) Smith asked staff if required in lieu fees for towing company across the street. Horowitz confirmed. Smith thinks this is a good move to allow the businesses to have ownership and ability to build equity.

[6:09:51 PM](#) Pogue agrees with commissioners regarding the in lieu fee. Pogue hopes there are great CC&Rs for the condominiums.

[6:10:56 PM](#) Chair Fugate has no questions, thinks this is a great idea to offer ownership. Chair Fugate agrees with drainage improvements and in lieu fees. Chair Fugate agrees with Pogue's comments to keep the building uniform. Chair Fugate asked if there is going to be any type of work to be done to change to condominiums. Kavanagh stated there are minimal road blocks to be addressed to complete the change. Kavanagh explained the Condo Association will have to have a manager; thinking will set themselves as the manager, to manage the association item such as water bill, snow removal, etc.

[6:14:35 PM](#) **Chair Fugate opened public comment.**

[6:14:50 PM](#) Martha Bibb, 810 CD Olena, ask applicant if there are any provisions or thoughts or plans for the future when city goes to a green electricity. Just a heads up to the new owners and any provisions if there are going to be any changes made to the units for power to be delivered.

[6:16:35 PM](#) Chair Fugate closed public comment.

[6:16:44 PM](#) Chair Fugate asked if depending on figures of sidewalk in lieu and drainage improvements, would those have any bearing on them proceeding with this project. Kavanagh understands needs and will work with Brian Yeager, that it is not insurmountable. Chair Fugate asked if staff or applicant would like to address Bibbs electricity. Horowitz confirmed everyone in town will be faced with the conversion when it takes place, right now there is nothing code that would require them to convert sooner.

[6:19:12 PM](#) Scanlon asked if talking about 6 units or 7. Kavanagh explained unit 1 or A is a double unit, it has to remain a double unit because only has 1 bathroom. He sees it as needing to pay two shares, making it 7. Scanlon asked if all units have a bathroom. Kavanagh confirmed they all do. Scanlon asked if considered if may be converted into living units. Kavanagh has not, that the buildings only function is to support light industrial use. Scanlon thinks this is a good thing.

[6:21:37 PM](#) Stone asked staff if they had seen a building converted like this before. Horowitz confirmed several in light industrial area. Stone does not have an issue allowing the individual businesses to make their own units unique. Stone agrees need to handle drainage properly and understands in lieu of sidewalk fee.

[6:23:21 PM](#) Smith thinks it is a good move for the businesses occupying this building and does not have any problem.

[6:23:42 PM](#) Pogue has no problem, applauds change to condominium.

[6:23:54 PM](#) Chair Fugate thinks this is a great idea.

[6:24:26 PM](#) Stone motioned to approve the Preliminary Plat Application by Dennis and Sheree Kavanagh, represented by Galena Engineering, where an existing building on Lots 1 & 22, Block 43, Woodside Subdivision #10 (1060 Mountain Drive) is converted into a condominium plat/subdivision. The existing building would be converted into six (6) units, ranging in size from 784 sq. ft. to 1,596 sq. ft., finding that the application meets all City Standards, and that Conditions (a) through (l) are met. Pogue seconded. All in Favor.

PH 3 [6:25:42 PM](#) *Consideration of a City-initiated Text Amendment to the Hailey Municipal Code to Title 17: Zoning Regulations, Chapter 17.05, Official Zoning Map and District Use Matrix, Section 17.05.040, District Use Matrix to amend General Residential Setbacks by adding Note #3 to the Minimum Side and Rear Setbacks. **ACTION ITEM.***

[6:26:11 PM](#) Davis explained staff has made some goals for minor code amendments. Davis explained suggested adding this note across residential zoning districts and that this note would exclude sublots within a development.

[6:28:38 PM](#) Scanlon confirmed note 3 would be added as a footnote in the matrix. Davis confirmed, would just be adding to general residential. Scanlon asked if diagram is in the matrix. Davis explained current location of diagram and would add to GR.

[6:29:25 PM](#) Stone asked for clarification of sublots being excluded. Davis explained in GR, cottage style units are permitted using Sonitalena Cottages as an example, those are considered one development. Stone confirmed would treat as one property.

[6:30:39 PM](#) Smith's concerns are if someone wanted to construct a tall building on a narrow lot, they would be squeezing the building. Smith has concern about broadly and generally applying this in GR. Smith would like to see staff review again, thinks a little more review would be beneficial.

[6:32:10 PM](#) Pogue stated given Smith's concerns, he agrees as there are a number of smaller lots in the GR and thinks need to address that so do not have any unintended consequences.

[6:32:57 PM](#) Horowitz stated she believes Smith and Pogue raised very good points, explaining staff does not want to create unintended consequences. Horowitz stated, they would prefer to review this in more detail.

[6:33:40 PM](#) Chair Fugate agrees concerns are valid, but it is also good to make things consistent. Horowitz explained believes that it is not consistent because LR is considered the lowest density zone and GR is considered more middle residential, smaller lot single-family. Horowitz stated since overall goal is to allow the town to build in, not out they do want to take comments to heart.

[6:34:56 PM](#) **Chair Fugate opened public comment.**

[6:35:02 PM](#) Elizabeth Jeffery, 201 North 3rd, she is sure there are lots smaller than their lot and thinks the issue of having solar access for any building in town is important in town as it is in limited residential. She very much appreciates the reason/rational of this. Jeffery explained when they built their house, they had to take that in consideration and how they positioned their house differently so had solar exposure. She thinks this is a really smart thing for the City to look at, don't want the infill to be building houses to be crushed between the canyons of two other buildings. She is not providing answer but am saying she appreciates the City looking at having winter sun in everyone that could possibly have it. She has been very satisfied with their solution to that problem, as have their neighbors. She sure appreciated it when the sun came out today, and her temperature increased because of the sun in the living room window. She would hate to lose that for any house.

[6:37:22 PM](#) Martha Bibb, 810 CD Olena, she thinks while we want to fill in as opposed to expanding the city limits, there is a risk of creating dark frozen spaces when there are not setbacks and not only stays frozen but creates wind. She thinks it is important that the city consider that when they determine what the setbacks can be, because ADUs do change the configuration of the sun in the neighbor's yard.

[6:38:33 PM](#) **Chair Fugate closed public comment.**

[6:38:37 PM](#) Horowitz explained it was debated at City Council, the ADU has no more rights about light and air than the primary house, right now whatever the setbacks are within any zoning district a house can be built to those setbacks or an ADU. Horowitz stated there is not any more caverns of darkness from creating an ADU. Horowitz also thinks the suggestion of stepping back and seeing what other cities are doing regarding solar access. Horowitz thinks reviewing what other cities are doing and coming back would be good.

[6:39:58 PM](#) Chair Fugate thinks the attention here is very positive.

[6:40:30 PM](#) Scanlon is in agreement to have staff further review, that this is a good thing to look at.

[6:40:54 PM](#) Stone asked what prompted this. Horowitz stated it came out of City Council discussion, that it was pointed out this was in one zone but not the other. Horowitz noted she is not aware of a complaint regarding this. Stone agrees there is a difference between limited and general residential, thinks that additional light space is intentional. Stone stated they talk a lot about trying to have these smaller lots to increase the likely hood of a more affordable home going on it. Stone stated it is his belief that a small lot should have a small home on it, does not think going up high is the answer.

[6:43:08 PM](#) No additional comments from Smith and Pogue.

Staff and commission agreed to table this and will bring back at a future date.

[6:44:01 PM](#) Scanlon motioned to continue Public Hearing 3 to a date uncertain. Pogue seconded. All in Favor.

Staff Reports and Discussion

SR 1 Discussion of current building activity, upcoming projects, and zoning code changes.

SR 2 Discussion of the next Planning and Zoning meeting: **March 1, 2021**

- DR: Grays
- DR: Grocery Outlet (Cardboard Bale)
- DR: Wilkinson

Davis provided brief summary of upcoming projects to be heard at next hearing.

Scanlon complimented staff on how they organize and present the information so it is understandable. Chair Fugate agreed.

Horowitz noted that the strongest tool in GR is the maximum lot coverage, that does not exist in LR zones. Stone asked if that controlled the height. Horowitz stated it does not, that the forefathers always felt this zone could be taller.

Chair Fugate asked Horowitz to ask Bliss to do a similar drawing with drop-in for the Marriott against Carbonate, if he could do something similar for the Silver Creek and LL Greens application. Horowitz confirmed can ask.

[6:49:00 PM](#) Scanlon motioned to adjourn. Stone seconded. All in Favor.

Return to Agenda

**DESIGN REVIEW
STAFF REPORT**

To: Hailey Planning and Zoning Commission

From: Lisa Horowitz, Community Development Director

Overview: Consideration of a Design Review Application by Grocery Outlet Bargain Market, represented by BRR Architecture, for a new 590 square feet bale storage. This project is located at 615 North Main Street within the Business (B) and Townsite Overlay (TO) Zoning Districts.

Hearing: March 1, 2021

Applicant: Grocery Outlet Bargain Market

Request: Design Review modification for a previously approved commercial building to add a bale storage area

Location: 615 North Main Street (Lots 1-5, and Lots 11-15, Block 68, alley between Lots 1-5 and Lots 11-15 150' x 26' alley, Hailey Townsite)

Zoning: Business (B) Zone District and Townsite Overlay (TO)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on February 10, 2021 and mailed to property owners within 300 feet on February 10, 2021.

Application: The former King's building was remodeled in 2015. The building has been vacant since 2017, and Grocery Outlet is now remodeling the interior of the space. The loading dock and interior do not accommodate for the type of cardboard baler needed to operate the Grocery Outlet; therefore, the baler will be located on the front side of the property, but tucked up against landscaping and adjacent to the building. The baler is 590 square feet in size.

Procedural History: The Application was submitted on February 4, 2021. A public hearing before the Planning and Zoning Commission will held on March 1, 2021, in the Council Chambers of Hailey City Hall, and virtually via GoTo Meeting.

| General Requirements for all Design Review Applications | | | | |
|---|--------------------------|--------------------------|------------------------------|-----------------------------------|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.050 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | Engineering: No comments |
| | | | | Life/Safety: No comments |

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| | | | | <p>Water and Sewer: <i>The former King's building was remodeled in 2015. The building has been vacant since 2017, and Grocery Outlet is now remodeling the interior of the space.</i></p> <p>Building: <i>No comments</i></p> <p>Streets: <i>No comments</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08A Signs | <p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p> <p>Staff Comments <i>Signs will conform to City regulations.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.040 On-site Parking Req. | <p>See Section 17.09.040 for applicable code.</p> <p>Staff Comments <i>The Hailey Municipal Code requires one (1) parking space per 1,000 gross square feet. The project contains 31,500 gross square feet (including 12,074 square feet of basement) so 32 parking spaces are required. The site plan shows 51 parking spaces, plus an additional 6 flex spaces that also double as a loading zone on during delivery hours. The baler will take the location of one (1) accessible parking space. Two (2) accessible spaces are remaining, which are compliant with the 2018 IBC.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | <p>17.09.040.06: EXCESS OF PERMITTED PARKING:</p> <p>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review. <i>The parking requested above City requirements is not in excess of 200%.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08C.040 Outdoor Lighting Standards | <p>17.08C.040 General Standards</p> <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ul style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator. <p>Staff Comments <i>No changes are requested to the approved lighting plan.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Bulk Requirements | <p>Business (B) Zone District</p> <p>Staff Comments <i>The baler complies with bulk requirements.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(A)1 Street Improvements Required | <p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> |

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| | | | Staff Comments | <i>Sidewalks are existing on Main Street, and are provided on the Private Road and on River Street. Sidewalks are an average of 6' in width (existing Main Street sidewalk is 6' wide).</i> <i>A site drainage plan was approved as part of the previous design review.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.070(B) Required Water System Improvements | In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer. |
| | | | Staff Comments | <i>N/A- no change to water lines.</i> |

**Design Review Requirements for Non-Residential, Multifamily,
and/or Mixed-Use Buildings within the City of Hailey**

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|-------------------------------------|-------------------------------------|---|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1a | <p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p> <p><i>Staff Comments</i> <i>The location of the existing building creates limitations on where the new addition could go, and limits solar orientation of buildings. Sun exposure for covered walkways and merchandise display areas, as well as for a new main entry was planned in the 2015 approval.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1b | <p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p><i>Staff Comments</i> <i>No landscaping is affected by the addition of the baler.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1c | <p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> <i>The baler location does not change pedestrian circulation.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1d | <p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> |

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| | | | Staff Comments | <i>Loading areas, trash storage/pickup areas and utility boxes are existing and located to the rear of the existing building. That said, due to the location of the existing building and space for loading and trash storage/pickup areas, it is impractical for the for proposed bale storage to be located to the rear of the building. Additionally, the configuration of the interior space does not allow for cardboard to be stored indoors. The proposed location appears to be the most practical location for the bale storage building. That said, a letter from Clear Creek Disposal stating that the proposed location and design are adequate, will be required. This has been made a Condition of Approval.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1e | e. Where alleys exist, or are planned, they shall be utilized for building services. |
| | | | Staff Comments | <i>This block does not contain a platted alley.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)1f | f. Vending machines located on the exterior of a building shall not be visible from any street. |
| | | | Staff Comments | <i>N/A, as no vending machines are proposed at this time.</i> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1g | g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.) <ul style="list-style-type: none"> i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street. |
| | | | Staff Comments | <i>The existing King's Building is located to the rear of the lot, with the parking in the front and adjacent to Main Street. It would not be feasible to move the existing building to the front of the lot. The building entrance has been highlighted by building undulation, making it a more prominent feature on the site. The parking area is buffered by two existing trees along Main Street, and landscaping along the private street to the north.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1h | h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic. |
| | | | Staff Comments | <i>Access to onsite parking can be achieved via the private road or from one egress/ingress on Main Street. To provide a more robust buffer of the parking area from the street frontage, additional landscaping along the northern property line was added in 2015 as part of the Design Review approval.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1i | i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow. |
| | | | Staff Comments | <i>Where practical, onsite snow storage has been provided (see areas A, B and C on site plan). That said, it does not appear the onsite snow storage requirements</i> |

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| | | | | <i>have been met. It is anticipated that the Applicant will haul snow offsite when necessary.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1j | j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)1i.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1k | k. A designated snow storage area shall not have any dimension less than 10 feet. |
| | | | <i>Staff Comments</i> | <i>Snow storage areas vary in width, but all meet dimensional requirements.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1l | l. Hauling of snow from downtown areas is permissible where other options are not practical. |
| | | | <i>Staff Comments</i> | <i>It is anticipated that snow will be hauled from the large parking areas proposed. Snow will also likely need to be hauled from the private street.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1m | m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities. |
| | | | <i>Staff Comments</i> | <i>Snow storage areas do not impede parking spaces, vehicular and pedestrian circulation, loading areas, trash/storage pickup areas or service areas.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)1n | n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow. |
| | | | <i>Staff Comments</i> | <i>Snow storage areas contain shrubs and low-lying plants.</i> |

2. Building Design: 17.06.080(A)2, items (a) thru (m)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|-------------------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2a | a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings. |
| | | | <i>Staff Comments</i> | <i>The proposed bale storage incorporates a flat metal roof and will be finished with a Drystack Stone Veneer in Sunset Gold to match that of the existing King's building. The proposed addition's size, shape and roofline complements that of the existing building.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2b | b. Standardized corporate building designs are prohibited. |
| | | | <i>Staff Comments</i> | <i>N/A, as the proposed bale storage is not a standardized corporate design.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2c | c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction. |
| | | | <i>Staff Comments</i> | <i>The existing King's building saw improvements made in 2015. Specifically, the east and north facades incorporate covered walkways/outdoor merchandise display areas, architectural elements such as steel shade canopies, and a recessed main entry with soffit above. The space outside of the main entry incorporates heated concrete pavers, benches, and landscaping to create a vibrant, pleasant space for store related activities and events.</i> |

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| | | | | <i>The proposed bale storage will be utilized for cardboard storage, and has been designed to be practical and useful, rather than aesthetic. The proposed storage space is not meant to encourage human activity or interaction within its vicinity.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2d | <p>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</p> <p><i>Staff Comments</i> Design features include covered walkways/outdoor merchandise display areas, architectural elements such as steel shade canopies, and a recessed main entry with soffit above, and a variety of material changes. The space outside of the main entry will incorporate heated concrete pavers, benches, and landscaping to create a vibrant, pleasant space for store related activities and events.</p> <p><i>The proposed bale storage will be utilized for cardboard storage, and has been designed to be practical and useful, rather than aesthetic. That said, the exterior elements of the bale storage will complement that of the existing King's building.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2e | <p>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</p> <p><i>Staff Comments</i> The design of the proposed bale storage addition creates a cohesive whole with the existing building by utilizing exterior materials that match or complement the existing King's building.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2f | <p>f. All exterior walls of a building shall incorporate the use of varying materials, textures and colors.</p> <p><i>Staff Comments</i> A variety of materials will be used on the exterior: a Drystack Stone Veneer in Sunset Gold and the body of the building painted Shoreline gray to complement the existing building.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2g | <p>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</p> <p><i>Staff Comments</i> Building colors are shown on the elevations and will complement those exterior materials and colors of the existing King's building.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2h | <p>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</p> <p><i>Staff Comments</i> The proposed bale storage addition incorporates a flat roof, but is not over two-stories in height.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2i | <p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <p>i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</p> |

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| | | | | ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south. iii) Double glazed windows. iv) Windows with Low Emissivity glazing. v) Earth berming against exterior walls vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site. vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed. |
| | | | <i>Staff Comments</i> | <i>N/A, as the proposed bale storage addition is approximately 590 square feet in size and will be utilized for the storage of cardboard.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2j | j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks. |
| | | | <i>Staff Comments</i> | <i>The flat-roofed addition sees a slight roof pitch that angles to the south or to the rear of the proposed addition, which prevents snow from shedding onto walkways or other pedestrian areas.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)2k | k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards. |
| | | | <i>Staff Comments</i> | <i>Downspouts for the existing King's building are existing and drain into landscaped areas. The proposed addition does not incorporate drains or downspouts, but sees a slight roof pitch that angles to the south or to the rear of the proposed addition, which will naturally drain water away from pedestrian areas.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2l | l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s). |
| | | | <i>Staff Comments</i> | <i>N/A, as no vehicle canopies are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)2m | m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design. |
| | | | <i>Staff Comments</i> | <i>N/A, as a Master Signage Plan is not required of a single-tenant building.</i> |

3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3a | a. Accessory structures shall be designed to be compatible with the principal building(s). |
| | | | <i>Staff Comments</i> | <i>The proposed bale storage has been designed to complement that of the primary building.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3b | b. Accessory structures shall be located at the rear of the property. |

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| | | | <i>Staff Comments</i> | <i>Given the configuration of the existing building, both onsite and the interior layout, it is impractical to reorient and relocate the proposed bale storage to the rear of the property, as well as store cardboard within the building. Staff finds the location of the proposed bale storage adequate.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3c | c. Walls and fences shall be constructed of materials compatible with other materials used on the site. |
| | | | <i>Staff Comments</i> | <i>N/A, as no new walls or fences are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3d | d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact. |
| | | | <i>Staff Comments</i> | <i>N/A, as no new walls or fences are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3e | e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties. |
| | | | <i>Staff Comments</i> | <i>The existing roof-mounted equipment is currently screened from ground level view. No additional roof-mounted equipment is proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3f | f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings. |
| | | | <i>Staff Comments</i> | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3g | g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building. |
| | | | <i>Staff Comments</i> | <i>All existing ground-mounted equipment has been screened from ground-level view by the use of walls and/or landscaping. No additional ground-mounted equipment is proposed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)3h | i. All service lines into the subject property shall be installed underground. |
| | | | <i>Staff Comments</i> | <i>All service lines are underground. Any additional service lines shall be installed underground.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)3i | j. Additional appurtenances shall not be located on existing utility poles. |
| | | | <i>Staff Comments</i> | <i>No appurtenances are proposed.</i> |

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

| Compliant | | | Standards and Staff Comments | |
|-----------|----|-----|------------------------------|-----------------------------------|
| Yes | No | N/A | City Code | City Standards and Staff Comments |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|-----------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4a | a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative. |
| | | | <i>Staff Comments</i> | <i>All existing plant material is drought tolerant. No additional landscaping is proposed at this time.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4b | b. All plant species shall be hardy to the Zone 4 environment. |
| | | | <i>Staff Comments</i> | <i>Plant materials are appropriate for the environment.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4c | c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged. |
| | | | <i>Staff Comments</i> | <i>An automatic drip irrigation system is existing.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4d | d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees shrubs, vines, ground covers and ornamental grasses shall be used. New landscaped areas having more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2½ inch caliper and a maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees). New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I zoning district are excluded from this standard. |
| | | | <i>Staff Comments</i> | <i>N/A, as landscaping is existing and no additional landscaping is proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4e | e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts. |
| | | | <i>Staff Comments</i> | <i>N/A</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4f | f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets. |
| | | | <i>Staff Comments</i> | <i>N/A, as landscaping is existing and no additional landscaping is proposed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4g | g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials. |
| | | | <i>Staff Comments</i> | <i>Storm water is managed via a drywell system. Due to the large amount of existing hardscape, retrofitting to irrigate plant material is not practical.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4h | h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced). |
| | | | <i>Staff Comments</i> | <i>The Applicant will be responsible for maintaining plant material in healthy condition.</i> |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|-----------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4i | i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site. |
| | | | <i>Staff Comments</i> | <i>All proposed site retaining walls are no taller than 4'-0" tall and clad in a stone veneer matching the proposed stone veneer on the addition and existing building. No additional retaining walls are proposed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4j | j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)4i for further details.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(A)4k | k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.080(A)4i for further details.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4l | l. Landscaping should be provided within or in front of extensive retaining walls. |
| | | | <i>Staff Comments</i> | <i>N/A, as no additional retaining walls are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4m | m. Retaining walls over 24" high may require railings or planting buffers for safety. |
| | | | <i>Staff Comments</i> | <i>N/A, as not retaining walls over 24" in height are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(A)4n | n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide. |
| | | | <i>Staff Comments</i> | <i>N/A, as no additional retaining walls are proposed.</i> |

| Additional Design Review Requirements for Non-Residential Buildings Located within B, LB, or TN | | | | |
|--|--------------------------|--------------------------|------------------------------|---|
| 1. Site Planning: 17.06.080(B)1, items (a) thru (b) | | | | |
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(B)1a | a. The site shall support pedestrian circulation and provide pedestrian amenities. Sidewalks shall be provided along building fronts. |
| | | | <i>Staff Comments</i> | <i>Pedestrian circulation is existing and was improved and approved during the Design Review in 2015. Sidewalks are existing on all building frontages.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(B)1b | b. Wider sidewalks are encouraged to provide additional amenities such as seating areas and bicycle racks. |
| | | | <i>Staff Comments</i> | <i>Sidewalks are existing and widths vary along all frontages. That said, Staff finds the existing sidewalk widths to be adequate.</i> |
| 2. Building Design: 17.06.080(B)2, items (a) thru (c) | | | | |
| Compliant | | | Standards and Staff Comments | |

| Yes | No | N/A | City Code | City Standards and Staff Comments |
|-------------------------------------|--------------------------|-------------------------------------|-----------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(B)2a | <p>a. The main facade shall be oriented to the street. The main entrance(s) to the building shall be located on the street side of the building. If the building is located on a corner, entrances shall be provided on both street frontages. If the design includes a courtyard, the main entrance may be located through the courtyard. Buildings with more than one retail space on the ground floor are encouraged to have separate entrances for each unit.</p> |
| | | | <i>Staff Comments</i> | <p><i>The entrance to the existing building is oriented toward Main Street. Design features of the existing building include covered walkways/outdoor merchandise display areas, architectural elements such as steel shade canopies, and a recessed main entry with soffit above, and a variety of material changes. The space outside of the main entry will incorporate heated concrete pavers, benches, and landscaping to create a vibrant, pleasant space for store related activities and events.</i></p> <p><i>The proposed bale storage is located in front of the primary building and in the southwest corner, where it's screened from view to the south by existing landscaping. The door of the baler will face the private drive. The exterior elements of the bale storage will complement that of the existing King's building.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(B)2b | <p>b. Multi-unit structures shall emphasize the individuality of units or provide visual interest by variations in roof lines or walls or other human scale elements. Breaking the facades and roofs of buildings softens the institutional image which may often accompany large buildings.</p> |
| | | | <i>Staff Comments</i> | <i>N/A, as this is not a multiunit structure.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(B)2c | <p>c. Building designs shall maximize the human scale of buildings and enhance the small town "sense of place". This can be achieved by utilizing voids and masses, as well as details, textures, and colors on building facades. Human scale can also be achieved by incorporating structural elements such as colonnades and covered walkways, overhangs, canopies, entries, and landscaping. Particular attention should be paid to creating interest at the street level.</p> |
| | | | <i>Staff Comments</i> | <p><i>Design features of the existing building include covered walkways/outdoor merchandise display areas, architectural elements such as steel shade canopies, and a recessed main entry with soffit above, and a variety of material changes. The space outside of the main entry will incorporate heated concrete pavers, benches, and landscaping to create a vibrant, pleasant space for store related activities and events.</i></p> <p><i>The proposed bale storage will be utilized for cardboard storage, and has been designed to be practical and useful, rather than aesthetic. That said, the exterior elements of the bale storage will complement that of the existing King's building.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(B)2d | <p>d. Buildings that exceed 30 feet in height, the entire roof surface shall not project to the highest point of the roof. The Commission shall review building height relative to the other dimensions of width and depth</p> |

| | | | | |
|--|--------------------------|-------------------------------------|-------------------------------------|---|
| | | | | combined with detailing of parapets, cornices, roof, and other architectural elements. |
| | | | <i>Staff Comments</i> | <i>N/A, as the existing building and proposed addition do not exceed 30' in height.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(B)2e | e. Livable outdoor spaces in multi-story buildings that create pleasing elements and reduce the mass of taller buildings are encouraged. |
| | | | <i>Staff Comments</i> | <i>N/A, as the building is existing and the proposed addition is 590 square feet in size, and meant to be utilized for cardboard storage.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.080(B)2f | f. Fire department staging areas shall be incorporated into the design elements of the building. |
| | | | <i>Staff Comments</i> | <i>The existing building is within 150' of the street and is fully sprinklered.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(B)2g | g. New buildings adjacent to residential areas shall be designed to ensure that building massing and scale provide a transition to adjoining residential neighborhoods. Possible mitigation techniques include, but are not limited to the following: <ul style="list-style-type: none"> i. Locating open space and preserving existing vegetation on the edge of the site to further separate the building from less intensive uses; ii. Stepping down the massing of the building along the site's edge; and iii. Limiting the length of or articulating building facades to reflect adjacent residential patterns |
| | | | <i>Staff Comments</i> | <i>N/A, as the primary building is existing and the proposed addition is 590 square feet in size, and meant to be utilized for cardboard storage.</i> |
| 3. Landscaping: 17.06.080(B)3, item (a) | | | | |
| Compliant | | | Standards and Staff Comments | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.080(B)3a | a. When abutting the LR, GR or TN zoning districts, a landscape buffer between the project and the residential property shall be provided. The buffer shall be at least eight foot wide to create a year-round visual screen of at least 6 feet in height. The buffer shall be designed to avoid the appearance of a straight line or wall of uniform plant material and shall be wide enough to accommodate the planted species when mature. |
| | | | <i>Staff Comments</i> | <i>N/A, as all surrounding properties are zoned Business (B).</i> |

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project**

with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:

- 1. Ensure compliance with applicable standards and guidelines.**
 - 2. Require conformity to approved plans and specifications.**
 - 3. Require security for compliance with the terms of the approval.**
 - 4. Minimize adverse impact on other development.**
 - 5. Control the sequence, timing and duration of development.**
 - 6. Assure that development and landscaping are maintained properly.**
 - 7. Require more restrictive standards than those generally found in the Zoning Title.**
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
- 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
 - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- d) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning &

Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.

- h) A Sign Permit Application for new signage shall be reviewed and approved prior to installation.
- i) A letter from Clear Creek Disposal shall be provided stating that the location and design of the cardboard bale storage is adequate for pickup.

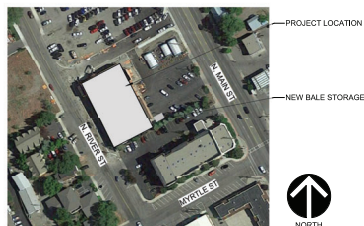
Motion Language

Approval: Motion to approve the Design Review Application by Grocery Outlet Bargain Market, represented by BRR Architecture, for a new 590 square feet bale storage. This project is located at 615 North Main Street, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (i) are met.

Denial: Motion to deny the Design Review Application by Grocery Outlet Bargain Market, represented by BRR Architecture, for a new 590 square feet bale storage. This project is located at 615 North Main Street, finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date].

615 N. MAIN STREET
HAILEY, ID 83333

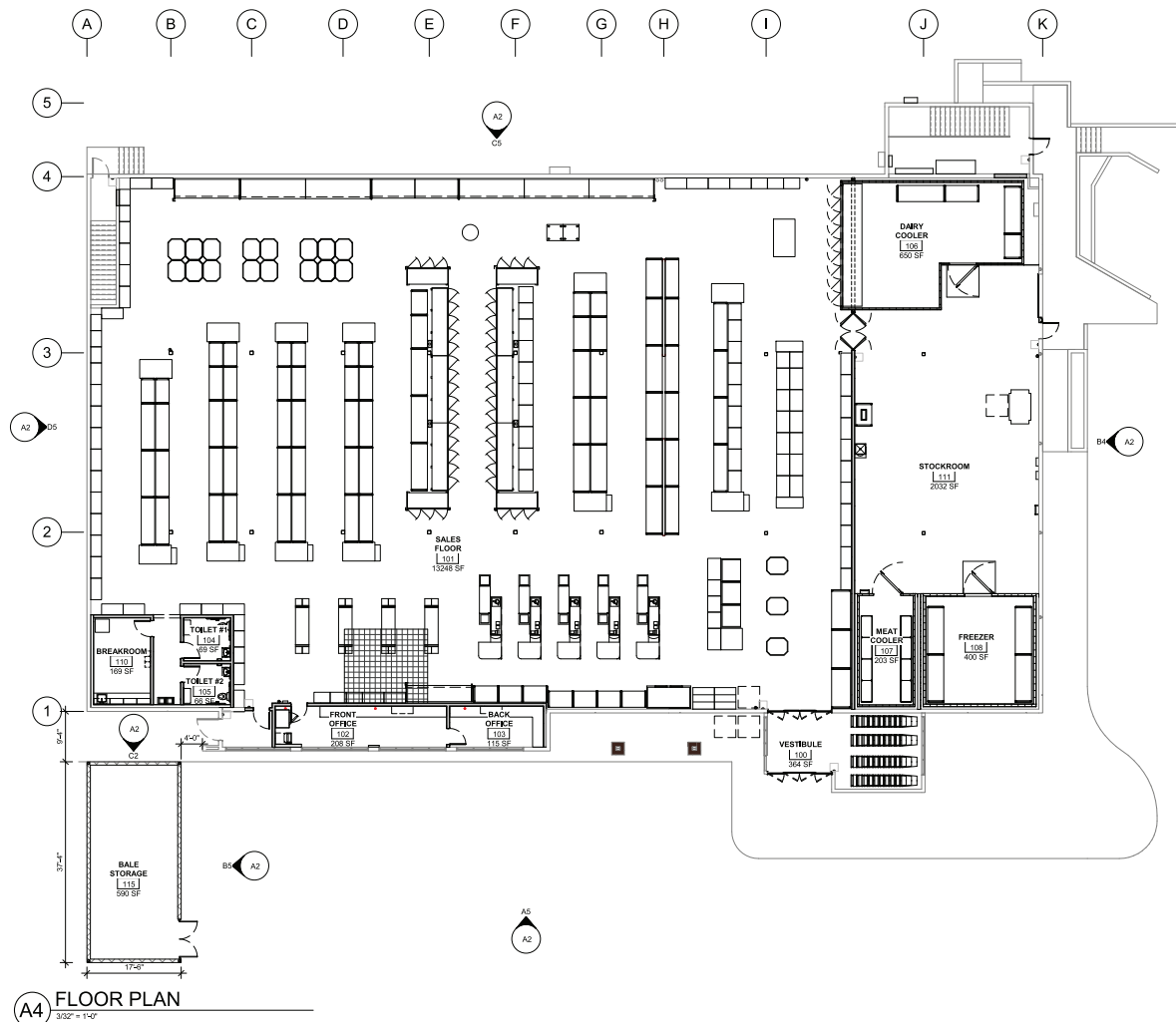


| | |
|---|--------------|
| USE GROUP: | M-MERCANTILE |
| USE GROUP: | S1-STORAGE |
| TOTAL GROSS SQUARE FOOTAGE: | 18,365 SF |
| TOTAL GROSS SQUARE FOOTAGE OF BASEMENT (NIC): | 11,994 SF |
| TOTAL GROSS SQUARE FOOTAGE OF BALE STORAGE: | 590 SF |

CONSTRUCTION TYPE: V-B
FULLY SPRINKLERED

| | |
|---------|--------------------------------|
| GENERAL | |
| G1 | COVER SHEET AND FLOOR PLAN |
| | |
| SITE | |
| SP1 | SITE PLAN |
| C-2.0 | UTILITIES AND DRAINAGE |
| L101 | LANDSCAPING PLAN |
| E1 | EXTERIOR LIGHTING PLAN |
| AS104 | STAGING AND CONTRACTOR PARKING |

A2 EXTERIOR ELEVATIONS
SHEET TOTALS: 7



11/24/2020 2:50:14 PM



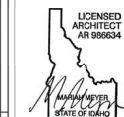
ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC.
8131 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com TEL: 913-262-0099

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CONSULTANT

GROCERY OUTLET
home in mcdonald

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

[illegible]

DATE: 11/24/2020

DRAWN BY: EAB

CHECKED BY: AF

| | |
|-------|----------|
| JOB # | 62900607 |
|-------|----------|

SHEET TITLE

**COVER SHEET
AND FLOOR
PLAN**

SHEET NO.

G1



A BSB Certified website on approved topics

ADJACENT PROPERTY OWNERS WITHIN 300'

- 603 N MAIN
 - ROAD RUNNER HOSPITALITY L L C
 - BOX 7120, KETCHUM ID 83340-0000
- 600 & 610 N MAIN
 - DAVID M WENDLAND
 - BOX 790, HAILEY ID 83333-0000
- 620 & 622 N MAIN
 - WENDLAND DUSTAN
 - 600 N MAIN ST, HAILEY ID 83333-0000
- 710 N MAIN
 - SQUIRE RE2 LLC COLORADO LIMITED LIABILITY COMPANY
 - 12612 W ALAMEDA PKWY, LAKEWOOD CO 80228-0000
- 711 N MAIN
 - BURLEY ID 83318-0000
 - 3640 S YELLOWSTONE HWY, IDAHO FALLS ID 83402-0000
- 603 N RIVER
 - KNAPP ANTHONY
 - 603 N RIVER ST, HAILEY ID 83333-0000
- 613 N RIVER
 - WHITCOMB OLIVER
 - BOX 3476, HAILEY ID 83333-0000
- 615 N RIVER
 - MC MURDO DELBERT R & MC MURDO ANITA
 - 711 DEERFIELD DR, HAILEY ID 83333-0000
- 700 N RIVER
 - SUN VALLEY LAND COMPANY
 - 1032 IDAHO AVE, BURLEY ID 83318-0000
- 701, 711, 721 N RIVER
 - SEVEN S LLC
 - 1106 CLUB PL, BATON ROUGE LA 70810-0000

LEGEND

--- ACCESSIBLE PATH OF TRAVEL

brr

ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC.
8131 METCALF AVENUE
SUITE 300
OVERLAND PARK, KS 66204
www.brrarch.com TEL: 913-362-9095

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CONSULTANT

GROCERY OUTLET
Bargain Market
612 N. MAIN STREET
HAILEY, ID 83333

| NO. | DATE | DESCRIPTION |
|-----|------------|-------------|
| 1 | 11/24/2020 | 1. SHEET |

FOR REFERENCE ONLY

DATE: 11/24/2020

DRAWN BY: EAB

CHECKED BY: AE

JOB # 62900607

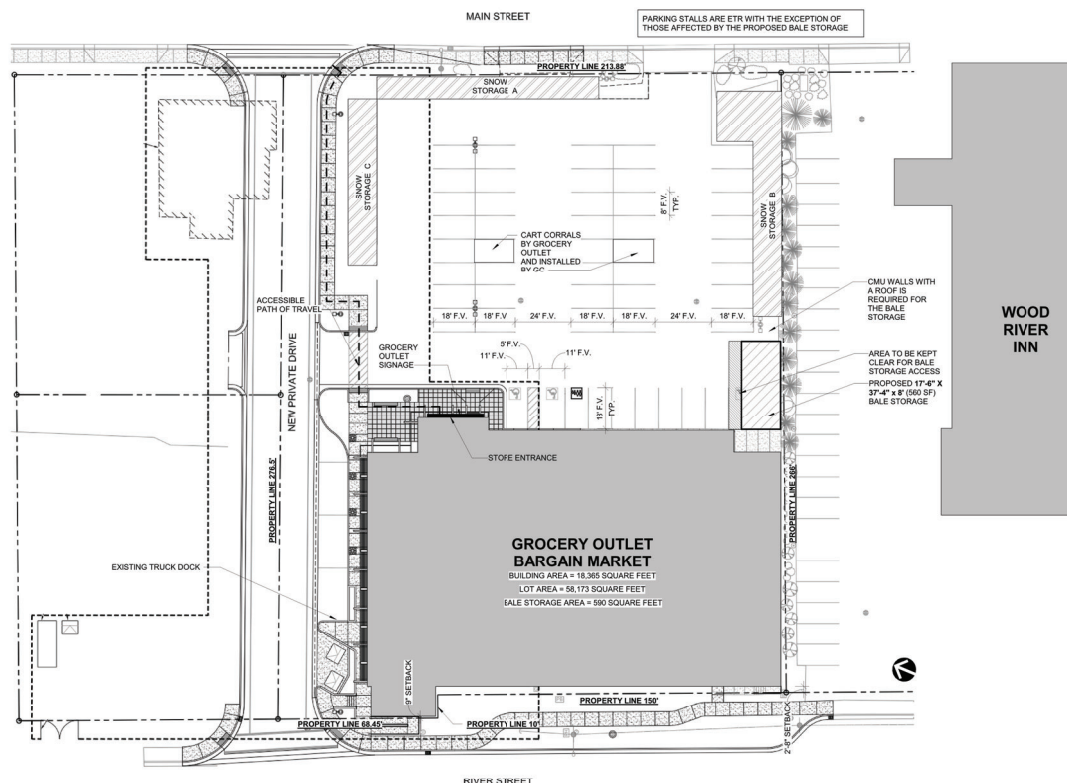
SHEET TITLE

SITE PLAN

SHEET NO.

SP1

BRR Original printed on recycled paper



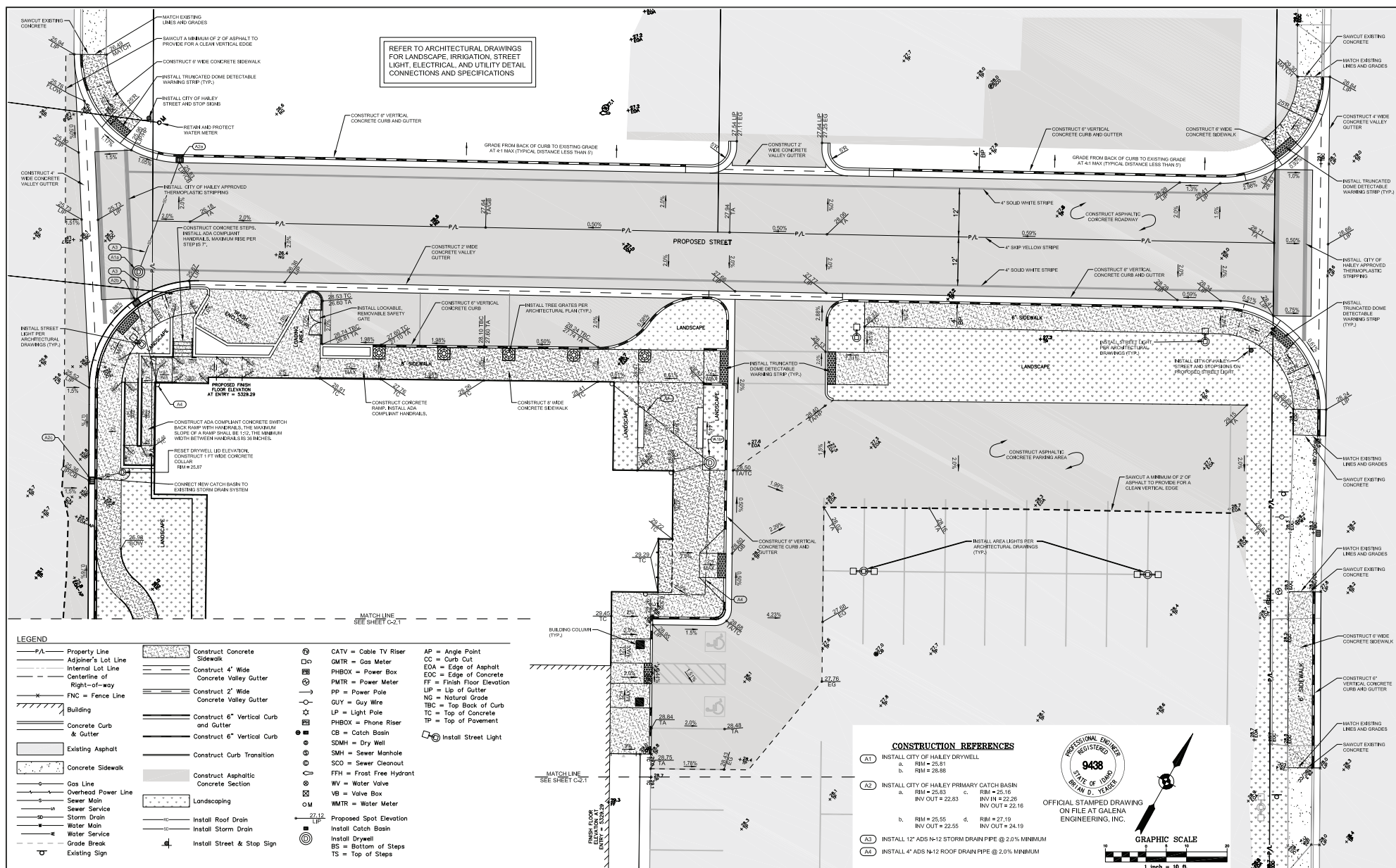
SHEET INCLUDED FOR INFORMATION ONLY

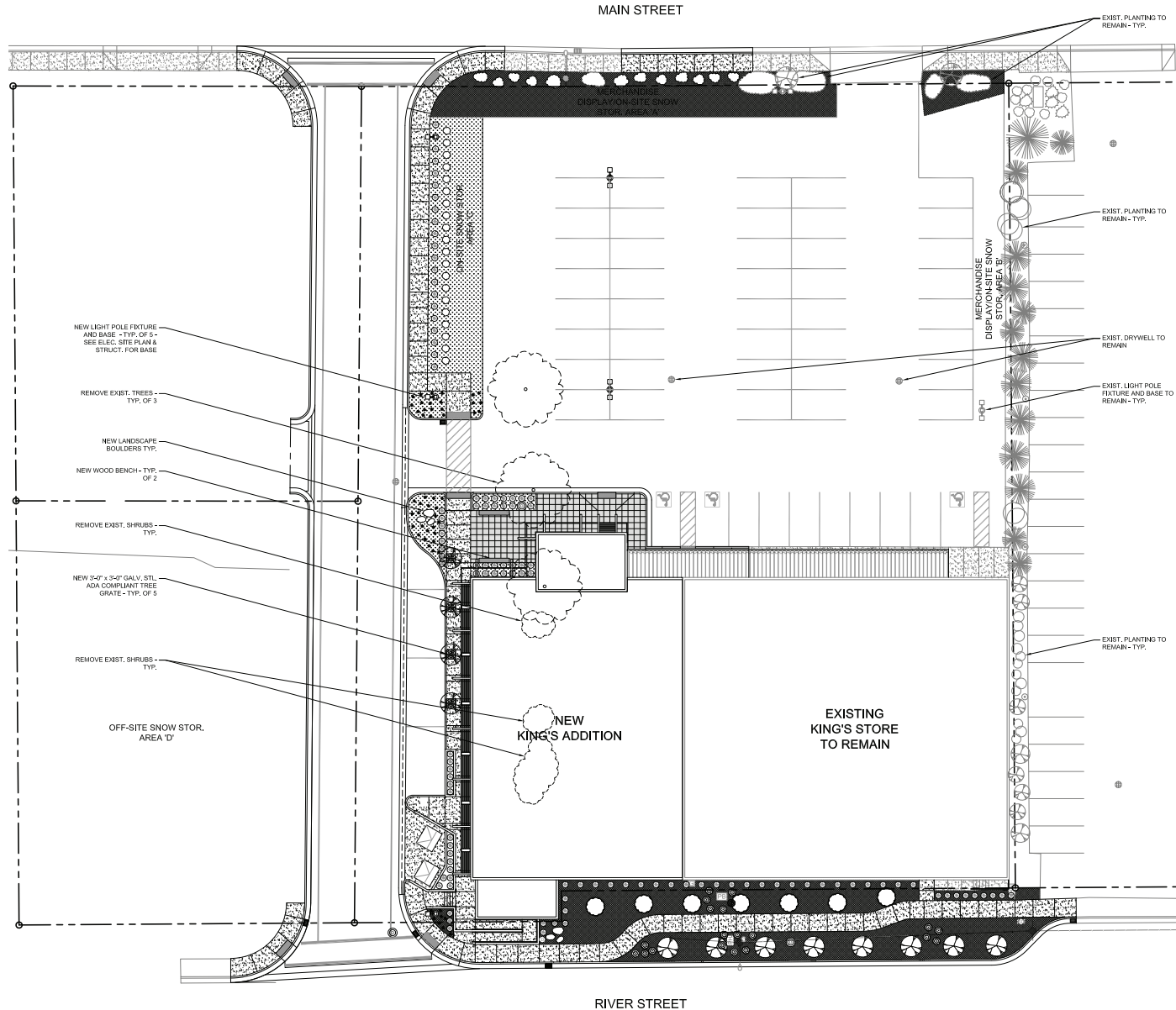
NOTE: THIS SHEET IS A COPY OF THE AVAILABLE SITE PLAN FOR THE PROJECT.
THIS SHEET IS PROVIDED FOR ADDITIONAL INFORMATION ON THE ASSUMED CONDITIONS AT THE PROJECT SITE. ALL SITE RENOVATIONS ARE THE RESPONSIBILITY OF THE LANDLORD, AND ARE NOT INCLUDED UNDER THIS PERMIT. THE ARCHITECT OF RECORD HAS NOT MADE MODIFICATIONS TO THE SHEET OR INFORMATION BEYOND THE AREA OF PROPOSED WORK (NEW CART CORRALS, FAMILY AND VETERANS PARKING) AND CANNOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE CONDITIONS ILLUSTRATED.

A5 OWNER PROVIDED SITE PLAN - FOR REFERENCE ONLY

NTS

11/24/2020 2:50:15 PM





GENERAL NOTES

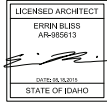
1. ALL SPECIFIED TREES, PLANTS, SHRUBS, & GRASSES TO BE DROUGHT TOLERANT U.N.O.
2. ALL SPECIFIED TREES, PLANTS, SHRUBS, & GRASSES TO BE A USDA ZONE HARDNESS 4 OR LESS.
3. ALL DROUGHT TOLERANT GRASS AREAS TO HAVE A TEMPORARY IRRIGATION SYSTEM FOR SEE GERMINATION
4. TEMPORARY IRRIGATION SYSTEM DESIGN BY LANDSCAPE CONTRACTOR U.N.O.
5. CONTRACTOR/OWNER TO VERIFY EXISTING CONDITIONS AS REQUIRED TO PERFORM THE SCOPE OF WORK OUTLINED WITHIN THE DRAWINGS. CONTRACTOR/OWNER TO NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES
6. SITE UTILITY DESIGN & ENGINEERING BY CONTRACTOR/OWNER U.N.O.

HARDSCAPE & GROUND COVER LEGEND

- NEW NON-KNOW, DROUGHT TOLERANT, FESCUE MIX GRASSES
- NEW BARK GROUND COVER TO MATCH EXIST.
- NEW BROOM FINISH CONC. SIDEWALK - SEE CIVIL
- EXIST. CONC. SIDEWALK TO REMAIN
- NEW CONC. PAVERS W/ICE MELT SYSTEM - MUTUAL MATERIALS' 24"x24" VANCOUVER BAY ARCHITECTURAL SLAB OVER 1" BEDDING SAND OVER 4" COMPACTED AGGREGATE BASE

LANDSCAPE LEGEND

- FEATHER REED GRASS: CALAMAGROSTIS X ACUTIFLORA
QUANTITY: 31
SIZE: 1 GAL.
NOTES: DROUGHT TOLERANT
- BLUE OAT GRASS: HELICTOTRICHON SEMPERVIRENS
QUANTITY: 17
SIZE: 1 GAL.
NOTES: DROUGHT TOLERANT
- MUGO SLOWGROW PINE: PINUS MUGO
QUANTITY: 12
SIZE: 1 GAL.
NOTES: DROUGHT TOLERANT
- BLUE FESCUE: FESTUCA GLAUCA
QUANTITY: 20
SIZE: FLATS
NOTES: DROUGHT TOLERANT
- BIGTOOTH MAPLE: ACER GRANDIDENTATUM
QUANTITY: 12
SIZE: 2" & 2 1/2" CALIPER
NOTES: DROUGHT TOLERANT
- CANADA CHOKECHERRY:
QUANTITY: 7
SIZE: 2" CALIPER
NOTES: DROUGHT TOLERANT
- BLACK LACE ELDERBERRY: SAMBUCUS NIGRA
QUANTITY: 20
SIZE: 1 GAL.
NOTES: DROUGHT TOLERANT
- LANDSCAPE BOULDERS: NORTHERN STONE SUPPLY - ROCKY MOUNTAIN GRANITE
QUANTITY: 6
SIZE: 2,000 LBS - 3,000 LBS
NOTES: IDAHO NATIVE STONE



KING'S VARIETY STORE
KING'S OF HAILEY ADDITION
615 NORTH MAIN STREET | HAILEY IDAHO
BLISSARCHITECTURE

PROJECT NO. | 201505

DRAWN BY | EMB
CHECKED BY | EMB

PERMIT SET
DATE | 08 18 2015

LANDSCAPE PLAN

L101

LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"

1



| Suggested capacity | |
|----------------------|---------|
| Deposits (per day) | 201.3 |
| Deposits (per week) | 1409.1 |
| Deposits (per month) | 4227.3 |
| Deposits (per year) | 50727.6 |

[illegible]

Introduction

The basic architecture Wall Iconor is now available with the latest LED technology. The result is a long life, maintenance-free product with optical energy savings of 75% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a ball-bus or remote gear, so installations maintain their aesthetic integrity.

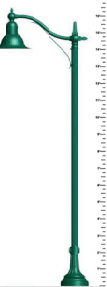
The NST LED is ideal for replacing existing 50-75W metal halide wall-mounted products. The expected service life is 20+ years of lifetime use.

[illegible][illegible]

| Ki | Upstate | College-going | Post-graduate | Wife | Marriage |
|--------|---------|---------------|---------------|--------|----------|
| 0-1000 | 7-81 | 7-2 | 13-136 | 9-1076 | 21-81 |
| 1000 | | 1000 | 1000 | 1000 | 1000 |

[illegible][illegible]

| SPECIFICATIONS | |
|--|--|
| PCB | |
| New York Series Cast Aluminum Pot 20" D. Base Extended Shallow | |
| • 11-1/2" pot height | |
| • 4051NY2 14 1/8 ANCG | |
| ARM | |
| 3HC Cast Aluminum Crossarm | |
| • mounts 9-375 pot (not) | |
| • 49HC451 ANCG | |
| LUMINAIRE | |
| Rotatable Luminaires | |
| • IPX0D 135 MED GFI T81 5F ANCG | |



Dimensions

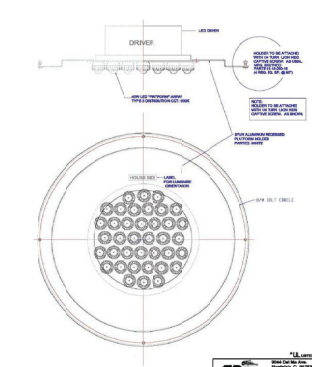
• Light Center Height: Contact Manufacturer

anchorage Orientation Plan

Street Side



| | | | |
|---------------------|-------|--------------------------------|-----------------|
| Customer Approval: | | Job Name: | |
| | | Client Name: | |
| Signature: | Date: | Created by: Stephen K. Schwarz | Date: 05-Apr-12 |
| www.itsoutthere.com | | Dir. # ASB-20004351 | Page: 2 of 2 |





The California omnibus fixture line is a versatile line that accommodates choice for roadway and general area lighting applications. Its modular, modular design allows the formation of numerous lighting fixtures. The California omnibus is a distinctive look while a variety of mounting options and lens options provide maximum flexibility.

The California omnibus superior life distribution, meets 1,000,000 hours for almost any critical, roadway or large area lighting application.

| Category of | Type |
|--------------|-------|
| Product | EX |
| Construction | Other |
| Prepared by | |

Conformation
NMR Spectroscopy: Fundamental aspects of molecular structure and conformational analysis. Includes NMR spectroscopy in the liquid and solid states. Includes NMR spectroscopy in the liquid and solid states. Includes NMR spectroscopy in the liquid and solid states.

Optics
RAYLEIGH: Theory of human eye. Includes Rayleigh's theory of human eye. Includes Rayleigh's theory of human eye. Includes Rayleigh's theory of human eye.

Measurement
Extinction coefficient: Extinction coefficient is defined as the ratio of the decrease in intensity of light to the initial intensity of light. Includes Rayleigh's theory of human eye.

**CSMG&G
GALLERY
SQUARES**

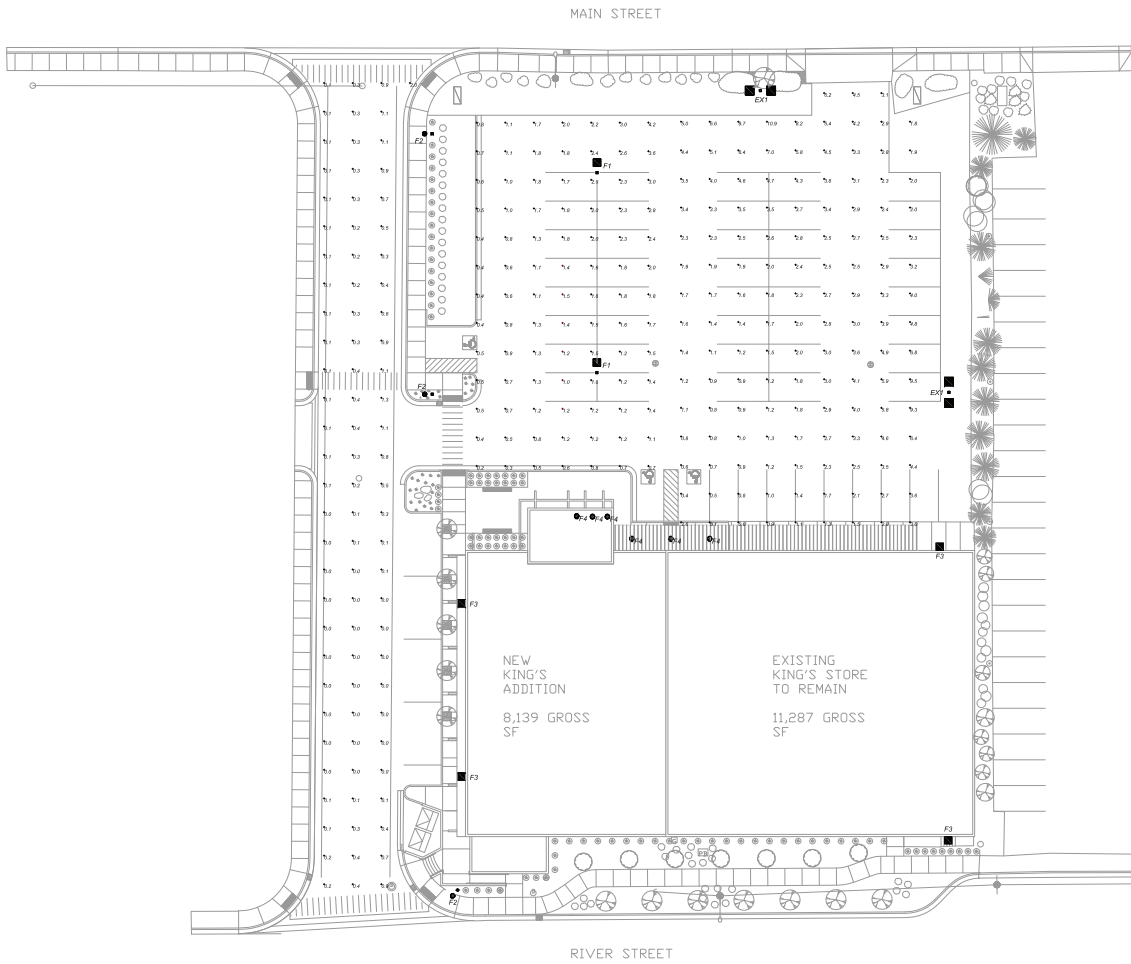
[illegible]

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|-----|------------------|------------------|------------------|------------------|------------------|------------------|------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|--------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|-----------------|
| QSR | 14-17" 23.0mm | 18-21" 45.7mm | 22-24" 55.9mm | 26-28" 66.0mm | 30-32" 76.2mm | 34-36" 86.4mm | 38-40" 96.5mm | 42-44" 106.7mm | 46-48" 116.8mm | 50-52" 127.0mm | 54-56" 137.2mm | 58-60" 147.3mm | 62-64" 157.5mm | 66-68" 167.6mm | 70-72" 177.8mm | 74-76" 188.0mm | 78-80" 198.1mm | 82-84" 208.3mm | 86-88" 218.4mm | 90-92" 228.6mm | 94-96" 238.8mm | 98-100" 248.9mm | 102-104" 259.1mm | 106-108" 269.3mm | 110-112" 279.4mm | 114-116" 289.6mm | 118-120" 299.7mm | 122-124" 309.9mm | 126-128" 320.1mm | 130-132" 330.3mm | 134-136" 340.4mm | 138-140" 350.6mm | 142-144" 360.8mm | 146-148" 370.9mm | 150-152" 381.1mm | 154-156" 391.3mm | 158-160" 401.5mm | 162-164" 411.7mm | 166-168" 421.8mm | 170-172" 432.0mm | 174-176" 442.1mm | 178-180" 452.3mm | 182-184" 462.5mm | 186-188" 472.6mm | 190-192" 482.8mm | 194-196" 493.0mm | 198-200" 503.1mm | 202-204" 513.3mm | 206-208" 523.5mm | 210-212" 533.7mm | 214-216" 543.8mm | 218-220" 554.0mm | 222-224" 564.2mm | 226-228" 574.3mm | 230-232" 584.5mm | 234-236" 594.7mm | 238-240" 604.8mm | 242-244" 615.0mm | 246-248" 625.2mm | 250-252" 635.4mm | 254-256" 645.6mm | 258-260" 655.8mm | 262-264" 665.9mm | 266-268" 676.1mm | 270-272" 686.3mm | 274-276" 696.5mm | 278-280" 706.7mm | 282-284" 716.8mm | 286-288" 727.0mm | 290-292" 737.2mm | 294-296" 747.4mm | 298-300" 757.6mm | 302-304" 767.8mm | 306-308" 777.9mm | 310-312" 788.1mm | 314-316" 798.3mm | 318-320" 808.5mm | 322-324" 818.7mm | 326-328" 828.9mm | 330-332" 839.1mm | 334-336" 849.3mm | 338-340" 859.5mm | 342-344" 869.7mm | 346-348" 879.8mm | 350-352" 890.0mm | 354-356" 900.2mm | 358-360" 910.4mm | 362-364" 920.6mm | 366-368" 930.8mm | 370-372" 940.9mm | 374-376" 951.1mm | 378-380" 961.3mm | 382-384" 971.5mm | 386-388" 981.7mm | 390-392" 991.9mm | 394-396" 1002.1mm | 398-400" 1012.3mm | 402-404" 1022.5mm | 406-408" 1032.7mm | 410-412" 1042.9mm | 414-416" 1053.1mm | 418-420" 1063.3mm | 422-424" 1073.5mm | 426-428" 1083.7mm | 430-432" 1093.9mm | 434-436" 1104.1mm | 438-440" 1114.3mm | 442-444" 1124.5mm | 446-448" 1134.7mm | 450-452" 1144.9mm | 454-456" 1155.1mm | 458-460" 1165.3mm | 462-464" 1175.5mm | 466-468" 1185.7mm | 470-472" 1195.9mm | 474-476" 1206.1mm | 478-480" 1216.3mm | 482-484" 1226.5mm | 486-488" 1236.7mm | 490-492" 1246.9mm | 494-496" 1257.1mm | 498-500" 1267.3mm | 502-504" 1277.5mm | 506-508" 1287.7mm | 510-512" 1297.9mm | 514-516" 1308.1mm | 518-520" 1318.3mm | 522-524" 1328.5mm | 526-528" 1338.7mm | 530-532" 1348.9mm | 534-536" 1359.1mm | 538-540" 1369.3mm | 542-544" 1379.5mm | 546-548" 1389.7mm | 550-552" 1399.9mm | 554-556" 1410.1mm | 558-560" 1420.3mm | 562-564" 1430.5mm | 566-568" 1440.7mm | 570-572" 1450.9mm | 574-576" 1461.1mm | 578-580" 1471.3mm | 582-584" 1481.5mm | 586-588" 1491.7mm | 590-592" 1501.9mm | 594-596" 1512.1mm | 598-600" 1522.3mm | 602-604" 1532.5mm | 606-608" 1542.7mm | 610-612" 1552.9mm | 614-616" 1563.1mm | 618-620" 1573.3mm | 622-624" 1583.5mm | 626-628" 1593.7mm | 630-632" 1603.9mm | 634-636" 1614.1mm | 638-640" 1624.3mm | 642-644" 1634.5mm | 646-648" 1644.7mm | 650-652" 1654.9mm | 654-656" 1665.1mm | 658-660" 1675.3mm | 662-664" 1685.5mm | 666-668" 1695.7mm | 670-672" 1705.9mm | 674-676" 1716.1mm | 678-680" 1726.3mm | 682-684" 1736.5mm | 686-688" 1746.7mm | 690-692" 1756.9mm | 694-696" 1767.1mm | 698-700" 1777.3mm | 702-704" 1787.5mm | 706-708" 1797.7mm | 710-712" 1807.9mm | 714-716" 1818.1mm | 718-720" 1828.3mm | 722-724" 1838.5mm | 726-728" 1848.7mm | 730-732" 1858.9mm | 734-736" 1869.1mm | 738-740" 1879.3mm | 742-744" 1889.5mm | 746-748" 189 |
|-----|------------------|------------------|------------------|------------------|------------------|------------------|------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|-------------------|--------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|---------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|-----------------|

Cooper Lighting

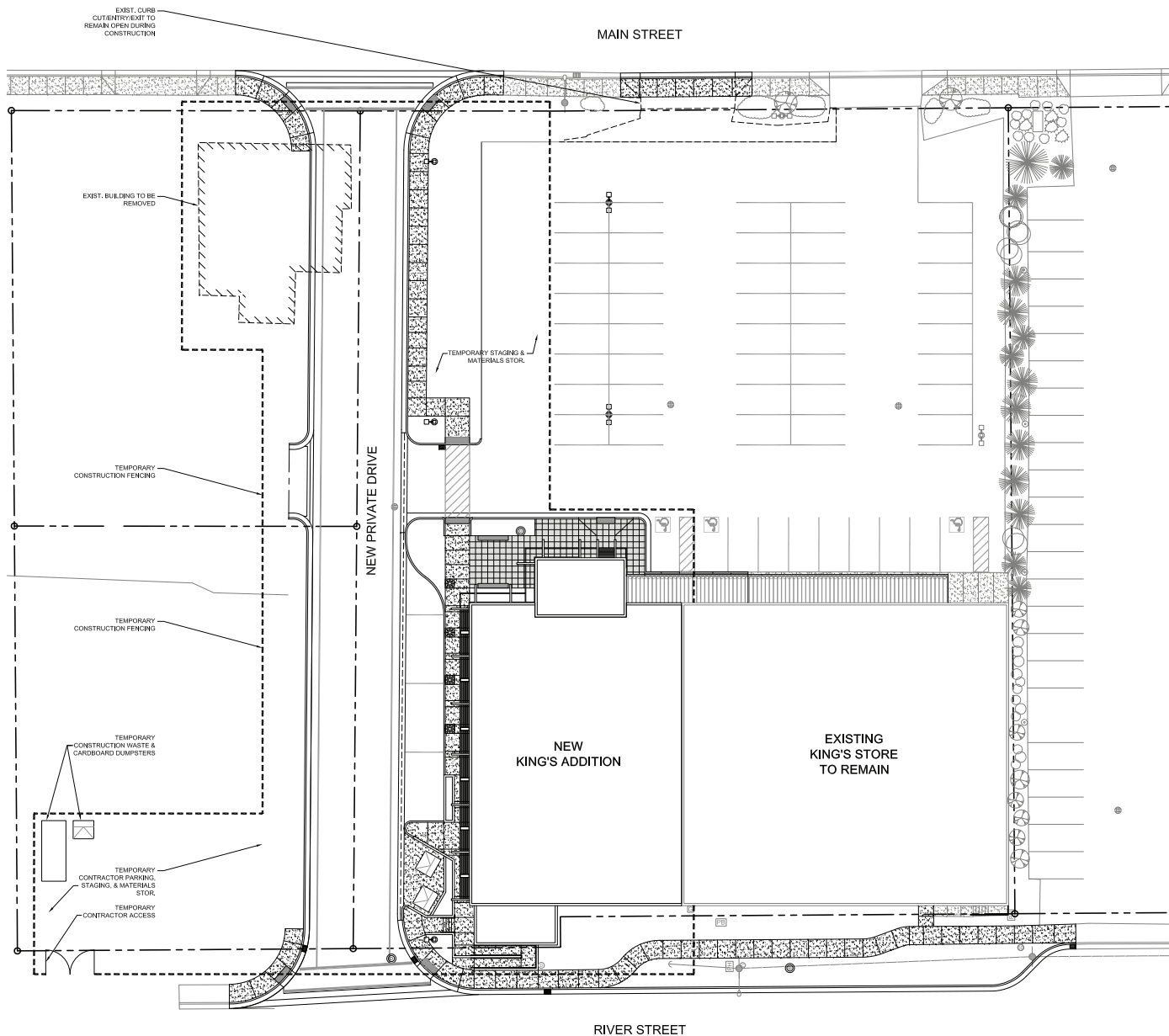
| LUMINAIRE SCHEDULE | | | | | | |
|--------------------|-------|-----|---|---|---|-------|
| Symbol | Label | Qty | Catalog Number | Description | Mounting & Height | Watts |
| | EX1 | | GS34-XK400-IES XK 400-IES | ARCHITECTURAL AREA LUMINAIRE TYPE F DIRTY/WHITE | 400 WATT CLEAR E-18 HIGH PRESSURE SODIUM | 800 |
| | F1 | | 48SD50W-SIES 48SD50W-SIES | 48" LED DOWN MODULE, 48" LED, DOWNLIGHT, DOWN COLD OR TEMPERATURE TYPE & LENS | POLE MOUNTED 178" DOWNLIGHT POS. | 59.3 |
| | F2 | | 48W500X-SODIUM TYPE F3 (SMALL DROP) | 48" WITH CLEAR PLASTIC DIFFUSING LENSES DROP | THIRTY FIVE LENS LUMINAIRE OUTPUT: 375 | 40.2 |
| | F3 | | W51ST1 154W700W-SIES MODEL F | W51ST WITH F1 MODULE, 10" LED,15 700W ZENITH, MODEL COLD OR TEMPERATURE TYPE & LENS | Outdoor Wall Pack Luminaire to BS (A79) 88" 200' Lims. | 24.2 |
| | F4 | 6 | LEW505567S LEW505567S | 1500LM 80CRI 3000K LED COMMERCIAL DOWNLIGHT | Recessed in Ceiling | 26 |

| STATISTICS | | | | | | |
|----------------------|--------|--------|---------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| EXISTING PARKING LOT | + | 3.0 ft | 10.9 ft | 0.4 ft | 27.3:1 | 7.0:1 |
| NEW PARKING LOT | + | 1.4 ft | 4.2 ft | 0.2 ft | 21.0:1 | 7.0:1 |
| NEW PRIVATE DRIVE | + | 0.3 ft | 2.0 ft | 0.0 ft | N/A | N/A |



SITE PHOTOMETRICS FOR:
KINGS STORE
HAILEY, ID

Designer
SAM
Date
Jun 25 2015
Scale
Drawing No.
E1



STAGING & CONTRACTOR PARKING PLAN - FOR REFERENCE ONLY
SCALE: 1/16" = 1'-0"

1

FOR
REFERENCE
ONLY

KING'S VARIETY STORE
KING'S OF HAILEY ADDITION
615 NORTH MAIN STREET | HAILEY IDAHO
BLISSARCHITECTURE O | 408 SOUTH MAIN STREET | SUITE 3 | HAILEY IDAHO 83333
P | 208-721-7424 W | BLISSARCHITECTURE.COM

PROJECT NO. | 201505

DRAWN BY | EMB
CHECKED BY | EMB

PERMIT SET
DATE | 08 18 2015

STAGING & CONTRACTOR
PARKING PLAN

AS104

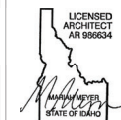
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CONSULTANT

GROCERY OUTLET
Home in Market

515 N. MAIN STREET

[illegible]

DATE: 11/24/2020

DRAWN BY: EAB

CHECKED BY: AE

| | |
|-------|----------|
| JOB # | 62900607 |
|-------|----------|

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NO.

A2

| | |
|----|--|
| CS | DRystack STONE VENEER - 'SUNSET GOLD' - STYLE: 1", 2", 3" PATTERN WITH RANDOM ENDS |
| P5 | BENJAMIN MOORE GRAYSTONE 1475 |
| P6 | BENJAMIN MOORE KENDALL CHARCOAL HC166 |
| P7 | BENJAMIN MOORE SHORELINE 1471 |

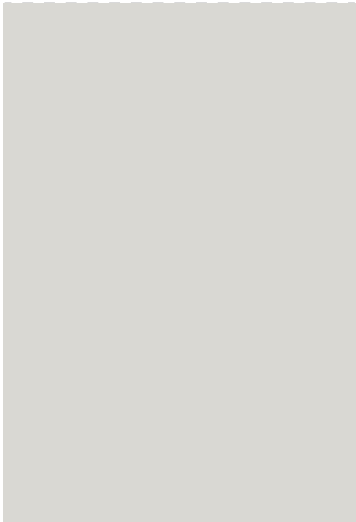


EXISTING STRUCTURE ON SITE

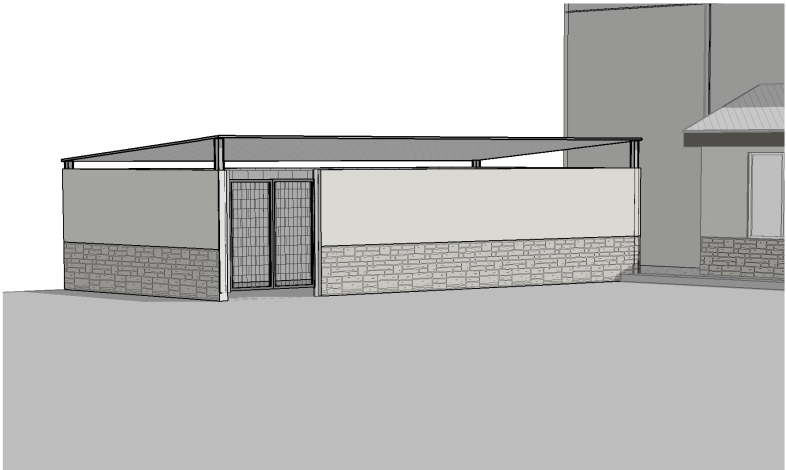
Paint Colors



SUNSET GOLD
MDS 1", 2:, 3"
PATTERN
NORTHERN STONE
SUPPLY



P6 - SHORELINE
BM 1471



Grocery Outlet

615 N. MAIN STREET
HAILEY, ID



Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of March 1, 2021

To: Hailey Planning and Zoning Commission

From: Robyn Davis, Community Development City Planner

Overview: Consideration of a Design Review Application by Rebecca Wilkinson, represented by Gemma Daggatt, for a new 475 square foot, detached two-car garage, and relocation of an existing 225 square foot cabin. This project is located at 323 North 2nd Avenue (Lots 1-4, Block 51, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts.

Hearing: March 1, 2021

Applicant: Rebecca Wilkinson

Request: A detached, 574 square foot two-car garage

Location: Lots 1-4, Block 51, Hailey Townsite (323 North 2nd Avenue)

Zoning: General Residential (GR) and Townsite Overlay (TO) Zoning Districts


Notice: Notice for the public hearing was published in the Idaho Mountain Express on February 10, 2021 and mailed to property owners within 300 feet on February 10, 2021.

Application: The Applicant is proposing to construct a new, two-car garage that is 574 square feet in size. The garage will be accessed off the alley. Corrugated metal siding, flatseam roof paneling and Dark Sky compliant light fixtures will be installed. Two (2) rows of six (6) solar panels will also be installed on the south elevation of the garage. Two (2) existing trees will be removed and replaced elsewhere onsite. Additionally, the existing cabin, approximately 225 square feet in size, is proposed to be retained and relocated to the southeast corner of the site.

Current access for the existing residence is located on Second Avenue via parking located in the public right-of-way, and from the alley, where the garage is proposed.


Procedural History: The Application was submitted on January 26, 2021 and certified complete on February 10, 2021. A public hearing before the Planning and Zoning Commission will held on March 1, 2021, in the Council Chambers of Hailey City Hall, and virtually via GoTo Meeting.

| General Requirements for all Design Review Applications | | | | |
|---|--------------------------|-------------------------------------|---------------------------------------|--|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.050 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | <p>Engineering: <i>A Right-of-Way Encroachment Permit will be needed for any work done in the right-of-way.</i></p> <p>Life/Safety: <i>No comment.</i></p> <p>Water and Sewer: <i>No comments</i></p> <p>Building: <i>No comments</i></p> <p>Streets: <i>No comments</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.08A Signs | <p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p> <p><i>Staff Comments</i> N/A, as signage is prohibited in residential zones.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.040 On-site Parking Req. | <p>See Section 17.09.040 for applicable code.</p> <p>17.09.040 Single-Family Dwellings: two (2) spaces minimum, six (6) spaces maximum</p> <p><i>Staff Comments</i> The Municipal Code requires a minimum of two (2) parking spaces for each single-family residential dwelling. The proposed garage includes a two-car garage. Additionally, to appears that approximately four (4) parking spaces are provided in the public right-of-way off of Second Avenue.</p> <p><i>Parking requirements for the proposed garage and existing residence are met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08C.040 Outdoor Lighting Standards | <p>17.08C.040 General Standards</p> <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ul style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator. <p><i>Staff Comments</i> The Applicant will install Dark Sky compliant fixtures, downcast and low wattage fixtures. These fixtures include Millennial Gooseneck Exterior Light with Galvanized Finish. Cut sheets are attached.</p> |


| | | | | |
|-------------------------------------|--------------------------|--------------------------|--|---|
| | | | |  <p><i>No external light fixtures are proposed on the public street/alley sides of the building. The above fixture will be on the backside of the garage, behind the fence and facing the interior yard. This light will be on a timer and provide sufficient light for access through the door.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Bulk Requirements | <p>Zoning District: General Residential (GR) and Townsite Overlay (TO) Maximum Height: 30' Setbacks:</p> <ul style="list-style-type: none"> • Street R.O.W. Adjacent: 12'; 20' to Garage Door • Private Property Abutment: 15% of lot width or 10', whichever is less; 6' min. • 1' for every 2.5' of building height • Alley: 6' minimum <p>Lot Coverage: 30%</p> |
| | | | Staff Comments | <p>Proposed Building Height:</p> <ul style="list-style-type: none"> ○ Proposed Building Height: 12'-7" <p>Proposed Setbacks:</p> <ul style="list-style-type: none"> ○ Front Yard (east – 2nd Avenue): 87'-6" ○ Side Yard (North -- Silver Street): 12' ○ Side Yard (South): 67' ○ Rear Yard (west -- Alley): 10' <p>Proposed Lot Coverage:</p> <ul style="list-style-type: none"> ○ 3,111 square feet (2,636 Existing Footprint + 475 Proposed Footprint) / 11,985 square foot lot = 26% <p><i>All setback, building height, and lot coverage requirements have been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(A)1 Street Improvements Required | <p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> |
| | | | Staff Comments | <p><i>Pursuant to Section 17.06.070, the requirement for sidewalk and drainage improvements may be waived if the project is a remodel and/or addition to a single-family residence. The proposed project is a garage addition, not a principal building; therefore, sidewalk and drainage improvements are not required at this time.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(B) Required Water System Improvements | <p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)</p> |
| | | | Staff Comments | <p><i>This standard shall be met.</i></p> |

| Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO). | | | | |
|---|--------------------------|--------------------------|------------------------------|---|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)1 | 1) Site Planning |
| | | | | Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions. |
| | | | <i>Staff Comments</i> | <i>The lot is existing and respects the Old Hailey Townsite grid pattern. The proposed addition will preserve the grid pattern, keeping visual access to Second Avenue and garage access via the alley.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | Guideline: Site planning for new development and redevelopment shall address the following: <ul style="list-style-type: none"> • scale and massing of new buildings consistent with the surrounding neighborhood; • building orientation that respects the established grid pattern of Old Hailey; • clearly visible front entrances; • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units. |
| | | | <i>Staff Comments</i> | <ul style="list-style-type: none"> • The scale of the proposed addition is consistent with the scale and massing of buildings in the surrounding neighborhood. • The single-family residence is existing. The garage addition orientation complements that of the existing residence. As existing, the front entry of the home faces Second Avenue and the garage will be accessible from the alley. • The proposed garage and driveway will continue to provide space for vehicle storage. • The garage addition will be tucked behind the existing residence. Ample yard and open space exist across the lot. • The residence and proposed garage addition are located on a corner lot. A single-family residence is existing and the proposed garage addition is approximately 13' in height. Impact of solar access to adjacent homes with the addition of the garage will be minimal to non-existent. • Snow storage has been identified on the site plan and appears to be sufficient for the site. • Utilities are existing. Any utilities for the proposed addition will be located underground. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines. |
| | | | <i>Staff Comments</i> | <i>The residence is existing. The design intent of the proposed addition was to complement that of the existing residence, while retaining the character of Old Hailey. The proposed design takes advantage of the southern exposure: windows</i> |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|----------------|---|
| | | | | <p>and solar panels on the south elevation and window, and a door on the east elevation.</p> <p>The size and shape of the proposed windows are also in scale with the building character of Old Hailey.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)2 | <p>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</p> <p>Guideline: The perceived mass of larger buildings shall be diminished by the design.</p> <p><i>Staff Comments</i> The use of a lower roofline (3:12) was chosen to minimize the impact and perceived mass of the building. The garage has been designed to echo the feel of Old Hailey. No single long plane exists; architectural detailing of the roof, windows and various textures of the siding aid in making the addition appear smaller in scale.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3 | <p>3. Architectural Character</p> |
| | | | 17.06.090(C)3a | <p>a. General</p> <p>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</p> <p><i>Staff Comments</i> The architectural style of the proposed addition is consistent with the vernacular style of Old Hailey, but is not an exact replica of any particular building.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3b | <p>b. Building Orientation</p> <p>Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</p> <p><i>Staff Comments</i> The single-family residence is existing and is adorned with a gabled entry. The entry is visible and inviting from the street. The existing single-family residence will screen the garage addition, which will include an entry door and overhead garage door (see image below for further detail).</p> <div data-bbox="597 1167 1437 1362" data-label="Image"> </div> <p>Additionally, the existing cabin is proposed to be retained and relocated to the southeast corner of the site. The Applicant intends to preserve the building, relocate it and leave it on the skids it has been sitting on since the late 1980s, when it was moved to the site (see image below for further detail).</p> |


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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation. |
| | | | <i>Staff Comments</i> | <i>The single-family residence is existing. The addition will parallel that of the existing residence and has been oriented with respect to the existing grid pattern of Hailey.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3c | c. Building Form |
| | | | | Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design. |
| | | | <i>Staff Comments</i> | <i>The proposed addition sees simple forms (rectangles and triangles). Exterior materials of the proposed addition will complement that of the existing residence. Various windows will highlight the addition, but will also help to reduce the perceived scale of the building. Clean lines and cool hues are proposed, which are consistent with styles and forms found in Old Hailey.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | d. Roof Form |
| | | | | Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable. |
| | | | <i>Staff Comments</i> | <i>The proposed addition incorporates a simple gable with a roof pitch of 3:12.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site. <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties. |
| | | | <i>Staff Comments</i> | <i>A metal roof will be installed to complement that of the existing. It does not appear that snow retention devices and rain gutters will be installed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged. |
| | | | <i>Staff Comments</i> | <i>The proposed addition incorporates a simple gable with a roof pitch of 3:12. The proposed roof form, ridge lengths and materials are similar to those traditionally found in the neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood. |
| | | | <i>Staff Comments</i> | <i>The proposed roof pitch is 3:12, which is consistent with other buildings in the surrounding neighborhood.</i> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | e. Wall Planes |
| | | | | Guideline: Primary wall planes should be parallel to the front lot line. |
| | | | <i>Staff Comments</i> | <i>The primary wall plane of the proposed addition is parallel to Second Avenue's property line.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood. |
| | | | <i>Staff Comments</i> | <i>The addition is proportional to the site. Exterior colors and window variations also reduce the scale of the building to match the surrounding neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | Guideline: The use of pop-outs to break up longer wall planes is encouraged. |
| | | | <i>Staff Comments</i> | <i>The proposed building is smaller in size, approximately 475 square feet. No pop-outs are proposed at this time. The materials selected and exposed concrete base helps to create a smaller appearance in size and break up the longer wall planes.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3f | f. Windows |
| | | | | Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion. |
| | | | <i>Staff Comments</i> | <i>The proposed windows are traditional in size, scale, and are appropriate for the neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3f | Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors. |
| | | | <i>Staff Comments</i> | <i>Windows are framed in a manner that is consistent with the neighborhood and do not impact neighborhood privacy.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)3g | g. Decks and Balconies |
| | | | | Guideline: Decks and balconies shall be in scale with the building and the neighborhood. |
| | | | <i>Staff Comments</i> | <i>N/A, as no decks or balconies are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)3g | Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible. |
| | | | <i>Staff Comments</i> | <i>N/A, as not decks or balconies are proposed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3h | h. Building Materials and Finishes |
| | | | | Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged. |
| | | | <i>Staff Comments</i> | <i>The proposed addition will complement that of the existing residence. All proposed siding is of corrugated metal. The foundation will be exposed concrete and flatseam roof paneling, in matte silver, will be installed (see image below for further detail).</i> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3h | <p>Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</p> <p><i>Staff Comments</i> The largest wall planes are east and west elevations. These wall planes are broken up by the overhead garage door and Shaker door. Additionally, the proposed garage is screened from view by the existing single-family residence. Landscaping is existing and additional landscaping will be incorporated to further break up the mass of the wall planes.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | <p>i. Ornamentation and Architectural Detailing</p> <p>Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.</p> <p><i>Staff Comments</i> Simple detailing is proposed: window and door trim, exposed concrete base, and corrugated metal siding. Detail will complement that of the existing residence.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | <p>Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</p> <p><i>Staff Comments</i> The existing residence has minimal ornamentation. The proposed garage will also have minimal ornamentation.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | <p>Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.090(C)3i for further information.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | <p>4. Circulation and Parking</p> <p>Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.</p> <p><i>Staff Comments</i> Adequate parking has been provided. Pedestrian access is provided with the existing stairs to the front entry of the residence. Snow storage areas are adjacent to the residence and along the southern property line, as well as at the end of the alley-accessed, parking area, which do not restrict pedestrian access.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | <p>Guideline: The visual impacts of on-site parking visible from the street shall be minimized.</p> <p><i>Staff Comments</i> Onsite parking will be accessed from the alley side of the property and is blocked from the street by the existing residence.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | <p>Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side.</p> <p><i>Staff Comments</i> The proposed garage addition can be accessed from the alley.</p> |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: Detached garages accessed from alleys are strongly encouraged. |
| | | | <i>Staff Comments</i> | <i>The proposed detached garage will be accessed from the alley.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)4 | Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane. |
| | | | <i>Staff Comments</i> | <i>N/A, as the proposed garage bays will be accessed from the alley.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized. |
| | | | <i>Staff Comments</i> | <i>The parking area off of Second Avenue can accommodate approximately four (4) vehicles. The garage addition will be accessed from the alley.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning. |
| | | | <i>Staff Comments</i> | <i>The site plan does not specify seasonal, off-street parking for recreational vehicles; however, it appears that there is sufficient space onsite to do store a recreational vehicle.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | 5. Alleys |
| | | | | Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties. |
| | | | <i>Staff Comments</i> | <i>Alley access is not impacted and will be maintained.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged. |
| | | | <i>Staff Comments</i> | <i>Utilities are existing and are located off of the alley. Vehicular access to the garage will be located off of the alley.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity. |
| | | | <i>Staff Comments</i> | <i>The existing alley is gravel. If noxious weeds are present on the site, the Owner shall control according to State Law.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs. |
| | | | <i>Staff Comments</i> | <i>The existing landscaping to be maintained is turf.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)6 | 6. Accessory Structures |
| | | | | Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function. |
| | | | <i>Staff Comments</i> | <i>A two-car, detached garage addition is proposed. It appears to be smaller in scale, location and function to the existing residence. It will be located to the rear of the parcel, which reduces its visibility and mass, adequately supporting this standard.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)6 | Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical. |
| | | | <i>Staff Comments</i> | <i>A detached garage addition is proposed and will be located to the rear of the parcel, with access from the alley.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)7 | 7. Snow Storage |
| | | | | Guideline: All projects shall be required to provide 25% snow storage on the site. |
| | | | <i>Staff Comments</i> | <i>The site plan shows approximately 2,000 square feet for snow storage. The proposed areas comply with 25% of the total hardscape onsite.</i> |
| | | | 17.06.090(C)7 | Guideline: A snow storage plan shall be developed for every project showing: |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | <ul style="list-style-type: none"> Where snow is stored, key pedestrian routes and clear vision triangles. Consideration given to the impacts on adjacent properties when planning snow storage areas. |
| | | | <i>Staff Comments</i> | <i>Snow storage areas are adjacent to the driveway and along the southern property line, as well as at the end of the alley-accessed, parking area. Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible from the street.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | 8. Existing Mature Trees and Landscaping |
| | | | | Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan. |
| | | | <i>Staff Comments</i> | <i>Existing trees are identified onsite and are proposed to be removed and replaced elsewhere onsite. The Applicant is working with ArborCare Resources (local company) to replace said trees with three (3) sizeable trees in the healthiest yard locations possible. Any additional landscaping proposed will be drought tolerant and hard to Zone 4.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.090(C)8 for further details.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | Guideline: Noxious weeds shall be controlled according to State Law. |
| | | | <i>Staff Comments</i> | <i>If noxious weeds are present on the site, the Developer shall control according to State Law.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)9 | 9. Fences and Walls |
| | | | | Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates. |
| | | | <i>Staff Comments</i> | <i>An existing fence exists on all sides of the parcel, and will remain. Portions of the existing fence will be relocated to accommodate for the garage and cabin relocation, as shown on the proposed Site Plan.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)9 | Guideline: Retaining walls shall be in scale to the streetscape. |
| | | | <i>Staff Comments</i> | <i>N/A, as none are proposed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)10 | 10. Historic Structures |
| | | | | General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure. |
| | | | <i>Staff Comments</i> | <i>The existing residence was built in 1910. It will remain onsite. There are three (3) additional accessory buildings located onsite. The buildings labeled 'School House' and 'Speeder Shack' will remain in their existing locations. The building labeled 'Cabin' (see image below), will be relocated to the southeast corner of the parcel. The 'Cabin' has no foundation and sits on the original skids that were used to move it by truck from another property to its current location (relocated in the late 1980s).</i> |

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| | | | |  <p><i>Additionally, the 'Speeder Shack' has a post 1987 addition that will be removed to accommodate for the construction of the garage addition.</i></p> <p><i>The proposed garage addition is congruous with the surrounding area, contributing to the overall charm of Old Hailey.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)10 | <p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions. |
| | | | <i>Staff Comments</i> | <i>Please refer to Section 17.06.090(C)10 for further information.</i> |

17.06.060 Criteria.

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
- 1. The project does not jeopardize the health, safety or welfare of the public.**

2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. **Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
 1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. **Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required.
- d) The Sidewalk In-Lieu Fees are hereby waived, pursuant to Section 17.06.070(B).
- e) The project shall be constructed in accordance with the application or as modified by these Findings of Fact, Conclusions of Law and Decision.

- f) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- g) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- h) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- i) An Encroachment Permit shall be applied for and approved for any work completed within the City Right-of-Way. The Encroachment Permit and Building Permit shall be applied for concurrently.
- j) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- k) All utilities shall be located underground, consistent with 17.06.080(A)3h.

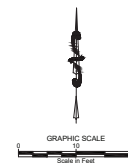
Motion Language:

Approval: Motion to approve the Design Review Application Rebecca Wilkinson for a new 475 square foot detached, two-car garage. This project is located at 323 North 2nd Avenue (Lots 1-4, Block 51, Hailey Townsite), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, and City Standards, provided conditions (a) through (k) are met.

Denial: Motion to deny the Design Review Application by Rebecca Wilkinson for a new 475 square foot, detached two-car garage. This project is located at 323 North 2nd Avenue (Lots 1-4, Block 51, Hailey Townsite), finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date].

REUSE OF DRAWINGS: These drawings, and any portion thereof, shall not be used for any project or subdivision unless the user obtains the approval of Galena Engineering, Inc.



- LEGEND**
- Property Line
 - Adjoiner's Lot Line
 - Centerline Right of Way
 - Interior Lot Line (Not Eliminated)
 - FNC = Fence Line
 - Existing Building
 - CP = Survey Control
 - Found 1/2" Rebar
 - Set 5/8" Rebar, PLS 16670
 - COR = Corner
 - FD = Found
 - FF = Finish Floor
 - THRESH = Threshold

- SURVEY NARRATIVE & NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/27/2020).
 - Boundary information is based on Found Monumentation and the plat of the Map of Hailey, records of Blaine County, Idaho. All found monuments have been accepted. The missing property corners were reset by block breakdown and proportioning record distances between found monuments.
 - Galena Engineering, Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 - Benchmark is top of the 5/8" rebar by LS16670 at the Southeast Property Corner of Lot 4, elevation = 5331.8. Vertical Datum is Assumed.
 - Sub-surface utilities were not Located. Utilities should be located prior to any excavation.

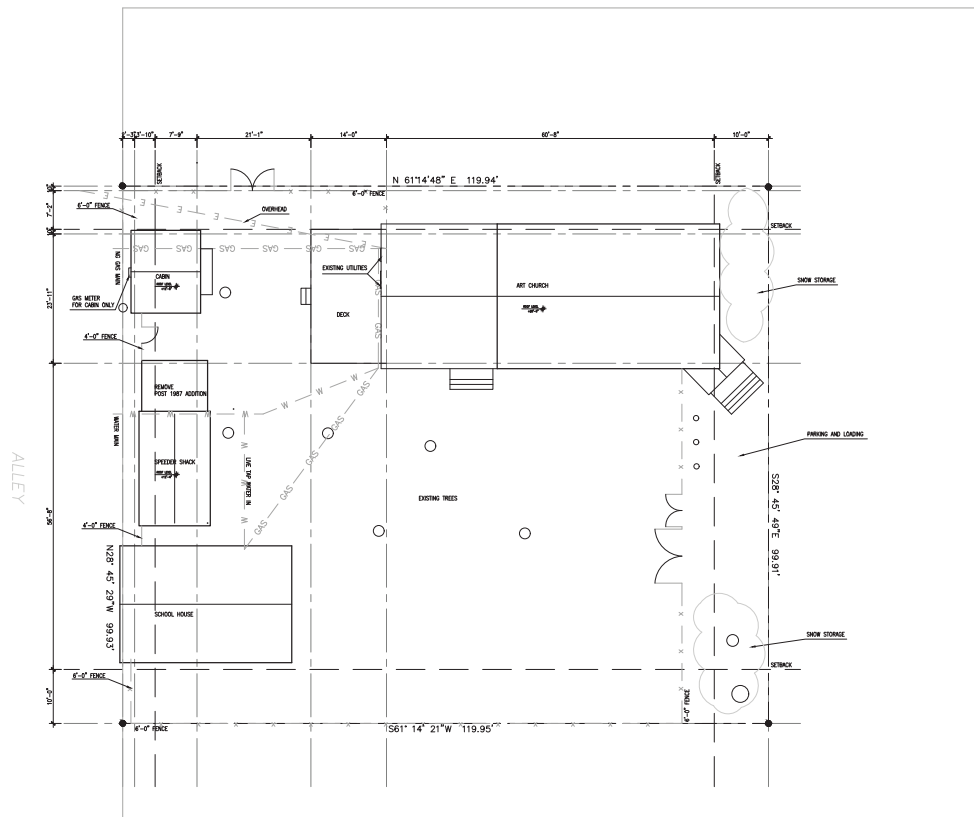


**A PARTIAL TOPOGRAPHIC MAP SHOWING
LOTS 1-4, BLOCK 51, HAILEY TOWNSITE**
LOCATED WITHIN SECTION 8, T2N, R18E, B1M, CITY OF HAILEY, BLAINE COUNTY, IDAHO
PREPARED FOR BENJAMINSON

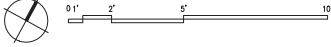
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| GALENA | | |
| ENGINEERING, INC. | | |
| Civil, Mechanical & Land Surveyors | | |
| 171 N. Lawrence | | |
| Hawley, Idaho 83333 | | |
| (208) 788-1706 | | |

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email: galena@galena-engineering.com



① AS-BUILT SITE PLAN
SCALE: 3/32" = 1'-0"



ART CHURCH

323 NORTH 2ND AVE
HAILEY, ID 83333

CLIENT:
BEX WILKINSON

PROJECT MANAGER:
GEMMA VALDEZ DAGGATT
206.786.6336

Date: JANUARY 25th, 2021

Revision:

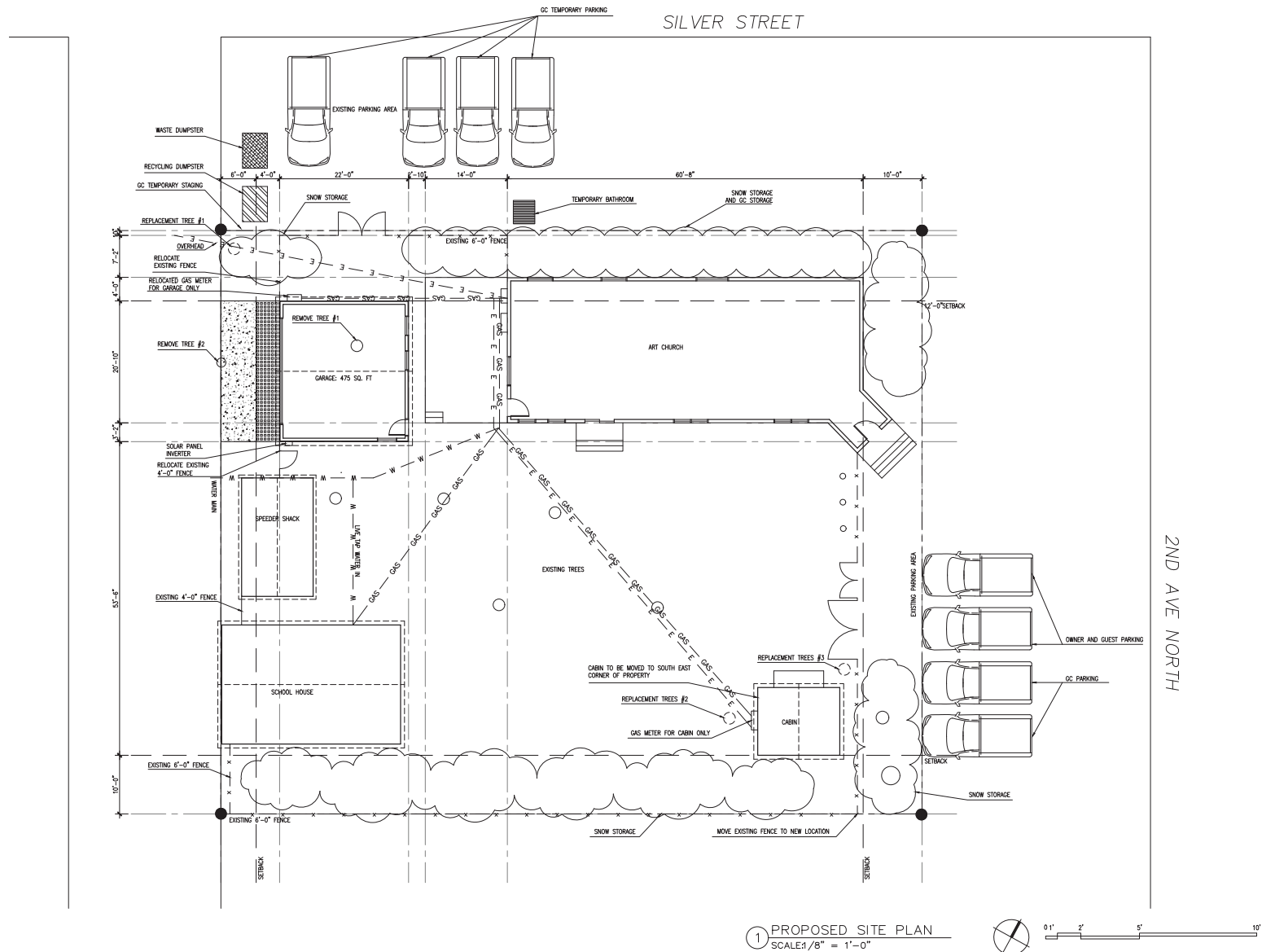
Scale: AS NOTED

Sheet contents:

AS-BUILT
SITE PLAN

Sheet:

A1.00



LEGEND

- x — FENCE
- W — WATER
- — — PROPERTY LINE

SNOW STORAGE

1. INSIDE OF FENCE SNOW STORAGE, FENCE TO SETBACK = 1409.77 SQ. FT.
2. OUTSIDE OF FENCE SNOW STORAGE, PROPERTY LINE TO SETBACK = 1088.58 SQ. FT.
- 2.1. 1088.58 SQ. FT. / 1405.33 SQ. FT. (OUTSIDE OF FENCE SETBACK AREA) = 75% SNOW STORAGE

NOTES

1. FENCES - EXISTING TO REMAIN AS IS. SOME EXISTING FENCE TO BE REMOVED AND RE-PLACED FOR NEW GARAGE AND CABIN RELOCATION.
2. PROPOSE UNDERGROUNDING OH WIRES TO CABIN, NEW GARAGE AND CHURCH.
3. EXTEND EXISTING UTILITIES TO NEW CABIN LOCATION.
4. DROUGHT TOLERANT LOW LYING PLANTS. PLANTS WILL BE INFILLED AT AREAS AROUND GARAGE AND CABIN. REMAINING LANDSCAPING TO REMAIN AS IS.
- 4.1. SHRUBS PLANTED AROUND STRUCTURES USE 50 STOCK.
- 4.2. ADD IRRIGATION HEADS AS NEEDED TO EXISTING SYSTEM.
- 4.3. CONTACT: DORIS HAMLIN GARDEN DESIGNER 208.720.1374 whp10m10@gmail.com
5. BILL JOSEY, ARBOR CARE RESOURCES, BILLJOSEY@ARBOREX.COM
- 5.1. REPLACEMENT TREE #1: LILAC
- 5.2. REPLACEMENT TREES #2&3: 2" BAR TREES AND JAPANESE LILAC.
6. AS PER HALEY TITLE 15 BUILDING AND CONSTRUCTION CODE, THE PROPERTY SHALL BE RE-PLANTED OR RE-SEEDED WITH EQUIVALENT GRASSES AND/OR SHRUBS THAT ARE MANUALLY AS POSSIBLE IRRIGATED TO ENSURE SUCCESSFUL REVEGETATION WITHIN ONE (1) MONTH OF THE PERMITTED WORK.

ART CHURCH

323 NORTH 2ND AVE
HAILEY, ID 83333

CLIENT:
BEX WILKINSON

PROJECT MANAGER:
GEMMA VALDEZ DAGGATT
208.786.6336

Date: February 11th, 2021

Revision:

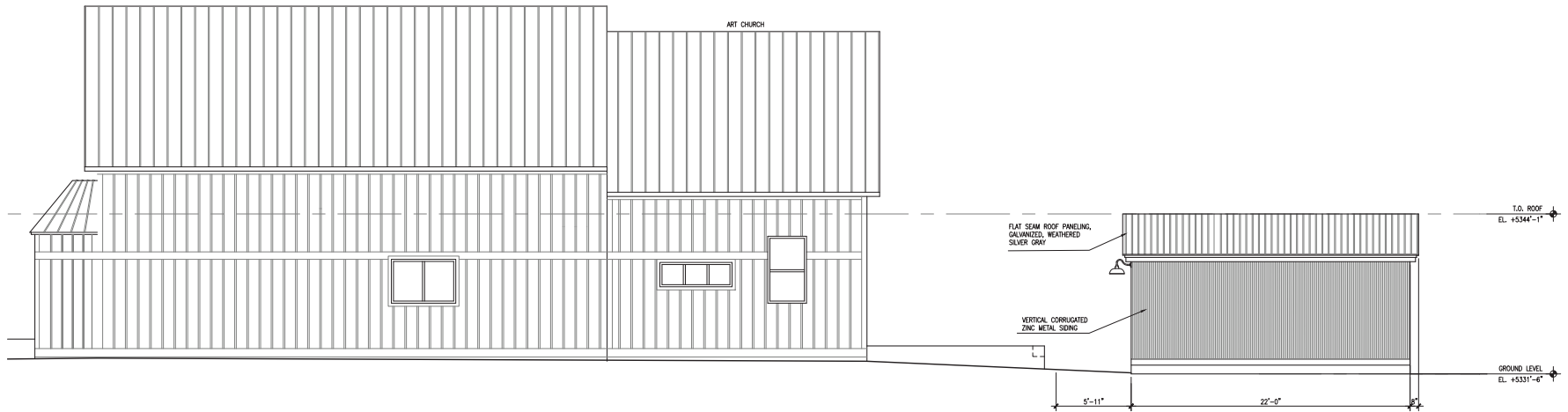
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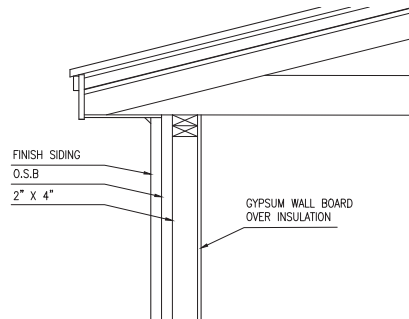
PROPOSED
SITE
PLAN

Sheet:

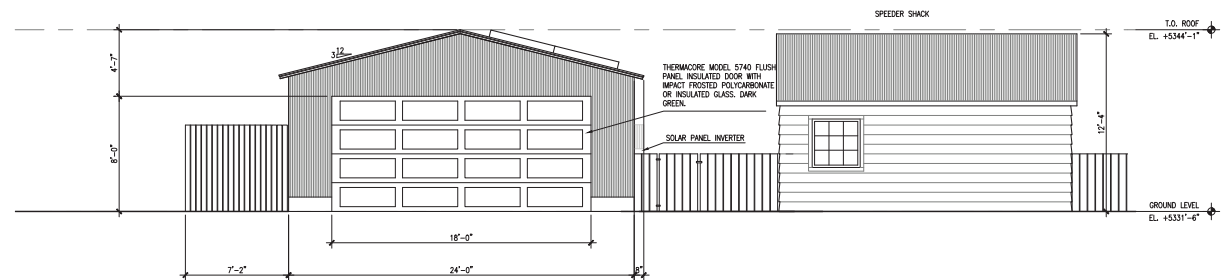
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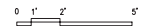
③ NORTH ELEVATION
SCALE: 1/4" = 1'-0"



② STANDARD WALL INSULATION
SCALE: 1 1/2" = 1'-0"



① WEST ELEVATION
SCALE: 1/4" = 1'-0"



NOTES

1. GARAGE DOOR INC: OVERHEAD, THERMACORE, 1.1. JOHN CORAL: 208.404.1996

ART CHURCH

323 NORTH 2ND AVE
HAILEY, ID 83333

CLIENT:
BEX WILKINSON

PROJECT MANAGER:
GEMMA VALDEZ DAGGATT
206.786.6336

Date: JANUARY 25th, 2021

Revision:

Scale: AS NOTED

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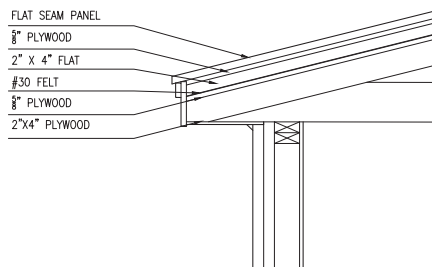
ELEVATIONS

Sheet:

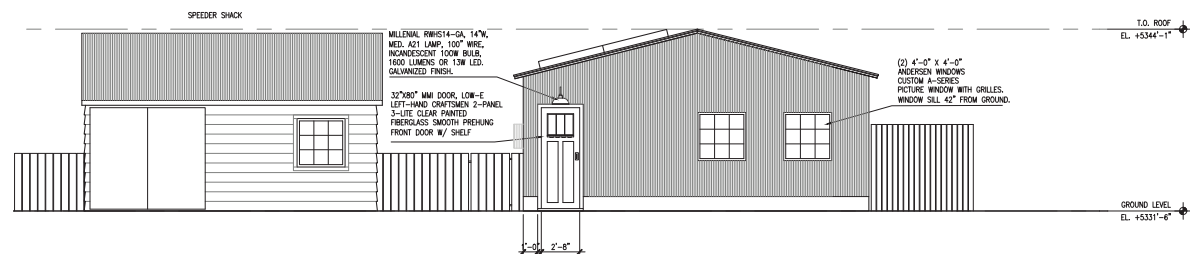
A2.00



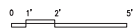
3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 DOUBLE ROOF
SCALE: 1 1/2" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



NOTES

1. GARAGE DOUBLE ROOF, CONFIRM DESIGN WITH PROFESSIONAL ROOFING.
 - 1.1. BRAD BAKER 208.727.7428
2. WESTERN STATES METAL ROOFING
 - 2.1. COOL TECH 100 PWF STREADED GALVANIZED RUST 2:1:1, R: .40, E: .38, SFR: 44 2:1:2, R: .41, E: .38, SFR: 46
3. EXTERIOR LIGHT FIXTURE
 - 3.1. AS PER EXTERIOR LIGHTING ORANGE, FIXTURE TO NOT EXCEED 8'-0" MOUNTING HEIGHT AND 1,600 MAX LUMENS.
4. SOLAR PANELS
 - 4.1. JOHN REUTER IDW4 OREDWORKS JOHN@idworksmarkets.com 208.721.2922 johnreuterworks.com/

ART CHURCH

323 NORTH 2ND AVE
HAILEY, ID 83333

CLIENT:
BEX WILKINSON

PROJECT MANAGER:
GEMMA VALDEZ DAGGATT
208.786.6336

Date: JANUARY 25th, 2021

Revision:

Scale: AS NOTED

Sheet contents:

ELEVATIONS

Sheet:

A2.01

FOUNDATION NOTES

SEE SPECIFICATION SHEET FOR CONCRETE DESIGN PROPERTIES, MINIMUM REINFORCEMENT SPLICE LENGTHS, ETC.

FOOTING REINFORCEMENT TO BE PLACED AT 3" CLEAR FROM BOTTOM OF FOOTING, U.O.N.

LOCATE HOLD DOWNS AT ENDS OF SHEAR WALL ABOVE

ANCHOR BOLTS TO BE $\frac{1}{2}$ " Ø x 10" J BOLTS PLACED 6" FROM ENDS OF WALLS AND @ 48" o.c. BETWEEN U.O.N. PER PLAN AND / OR DETAILS

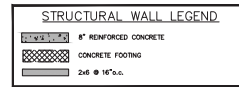
NUMBER IN SYMBOL DENOTES ANCHOR BOLT SPACING IN INCHES ON CENTER. 48" o.c. MAX.

FA = POST FROM ABOVE, SEE UPPER FRAMING FOR POST SIZE
ATR = ALL THREADED ROD, GRADE A36.

EXTERIOR WALLS TO BE BACK FILLED WITH COMPACTED FREE DRAINING GRAVEL.

PLACE ALL FOOTINGS ON UNDISTURBED STRATA OR COMPACTED STRUCTURAL FILL TO THE MINIMUM REQUIRED FROST DEPTH. FOR MORE INFORMATION SEE SHEET S1.0

FOOTING BEARING CONDITIONS TO BE VERIFIED PRIOR TO THE PLACEMENT OF CONCRETE FORM WORK.



ROOF FRAMING NOTES

ROOF SYSTEM SHALL BE $\frac{3}{4}$ " CDX ($\frac{49}{32}$) OVER PRE-MANUFACTURED TRUSSES PER PLAN, U.O.N.

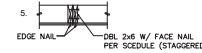
AT ENDS OF ALL HEADERS, PROVIDE MINIMUM 2x6 TRIMMER AND 2x6 KING STUD BELOW 6x8 HEADER AND (2) 2x6 TRIMMERS AND (1) 2x6 KING STUD UNDER 6x10 HEADER OR GREATER, U.O.N. PER PLAN. NAIL KING STUD WITH (2) 16d @ 6" o.c. ((6) MINIMUM) TO HEADER AND (1) 16d @ 9" o.c. TO TRIMMER STUD PACK, U.O.N. PROVIDE MST37 STRAP ACROSS ALL BREAK IN TOP PLATES, U.O.N.

#T = NUMBER OF TRIMMER STUDS
#K = NUMBER OF KING STUDS

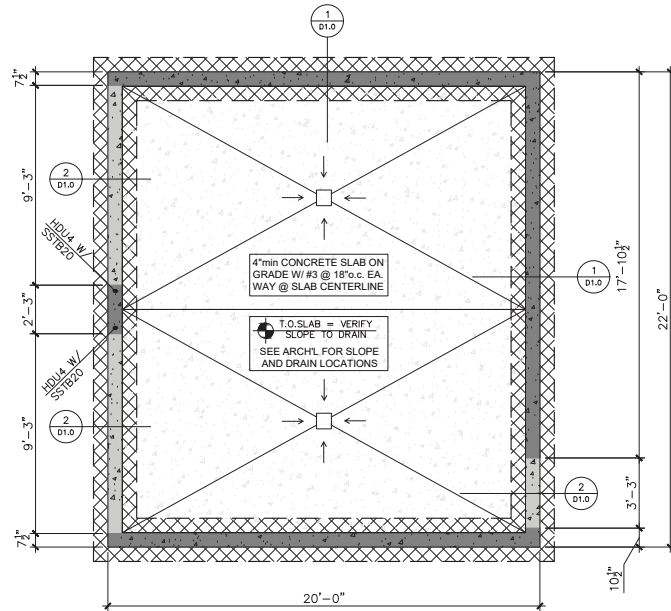
WHERE POST STOPS AT A CONTINUOUS HEADER PROVIDE A36 ON EACH SIDE OF POST TO HEADER

| MK | SHEAR WALL SCHEDULE | | |
|------------------|------------------------------|---|---|
| | SHEATHING ⁽¹⁾ | FASTENING ⁽²⁾⁽⁴⁾ SHEATHING TO STUDS | STUD @ ABUTTING PANEL EDGES ⁽³⁾ |
| 6 ⁽⁵⁾ | $\frac{3}{4}$ " CDX (1) SIDE | 8d @ 6" o.c. EDGE 8d @ 12" o.c. FIELD | 2x6 |
| 3 | $\frac{3}{4}$ " CDX (1) SIDE | 8d @ 3" o.c. EDGE 8d @ 12" o.c. FIELD | 3x6 OR (2) 2x6 FACE NAIL 10d COMMON @ 4-12" o.c. |

- NAILS TO BE COMMON OR H.D. GALV. BOX.
- BLOCK AND EDGE NAIL ALL HORIZONTAL PANEL EDGES.
- MINIMUM EXTERIOR WALL CONSTRUCTION U.O.N.
- SEE RIGHT FOR SHEAR WALL CALL-OUT EXAMPLE.

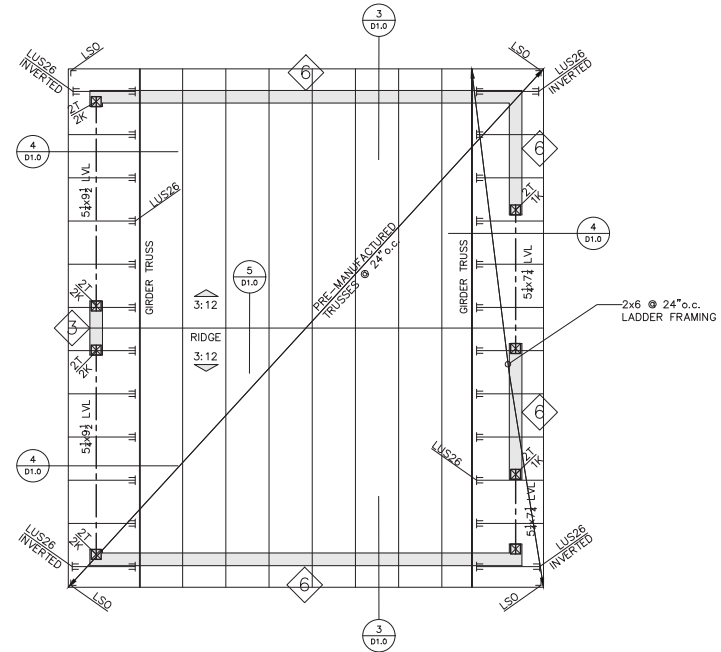


NOTE: PROVIDE SOLID BLOCKING W/ IN WALL FRAMING FOR ATTACHMENT OF HANDRAIL / GAUDDRAIL / GRAB BARS ETC. WHERE OCCUR.



GARAGE FOUNDATION PLAN

SCALE : 3/8" = 1'-0"



GARAGE ROOF FRAMING PLAN

SCALE : 3/8" = 1'-0"

ISSUE DATE
PROGRESS SET: 1/14/2021

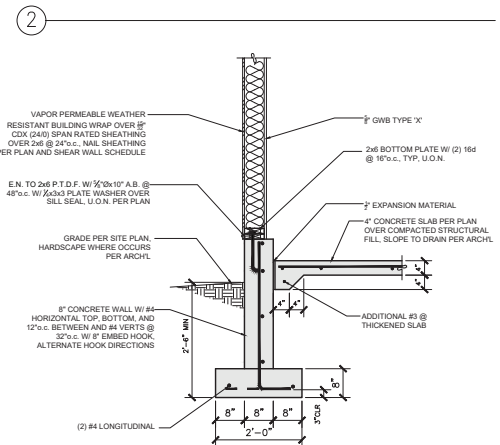
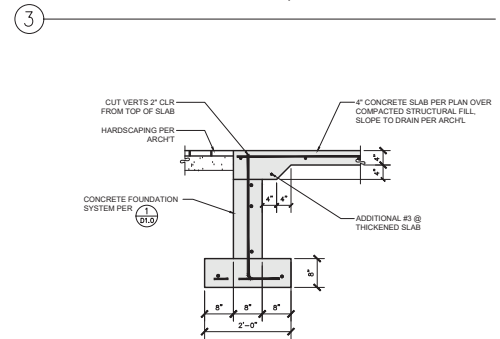
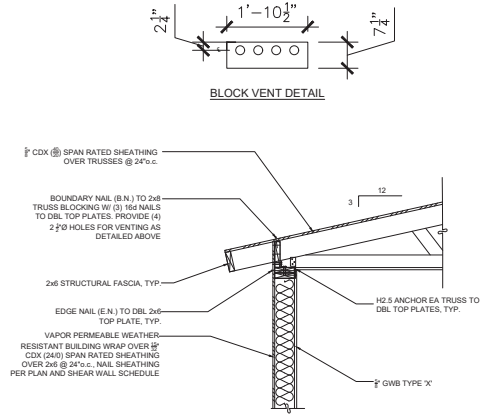
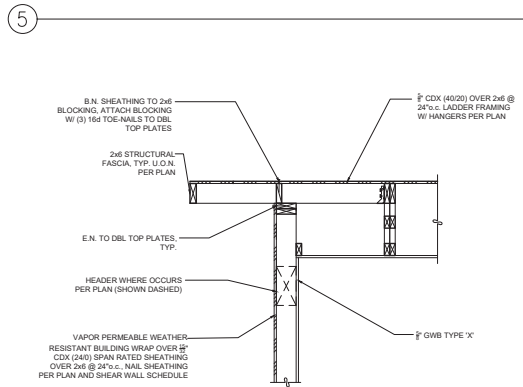
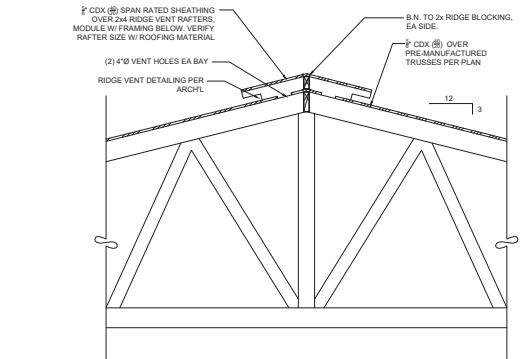
WILKINSON GARAGE
323 N. 2ND AVENUE
HAILEY, ID

PRELIMINARY
NOT FOR
CONSTRUCTION

MAXWELL
STRUCTURAL DESIGN STUDIO
CRAIG MAXWELL P.E.
105 Lewis Street, Unit 205 • Kelowna, Idaho 83840
Craigm@maxwellstudio.com • 208.721.3171
www.maxwellstudio.com

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S2.0



SCALE: 3/4" = 1'-0" U.O.N.

| ISSUE DATE |
|-------------------------|
| PROGRESS SET: 1/14/2021 |
| |
| |
| |
| |
| |
| |

WILKINSON GARAGE
HAILEY, ID
323 N. 2ND AVENUE

PRELIMINARY
NOT FOR
CONSTRUCTION

MAXWELL
STRUCTURAL DESIGN STUDIO
CRAIG MAXWELL P.E.
105 Lewis Street, Unit 205 • Ketchum, Idaho 83340
(208) 825-1234
craig@maxwellsds.com • 208.721.1317
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D1.0

LEGEND

EXISTING ITEMS

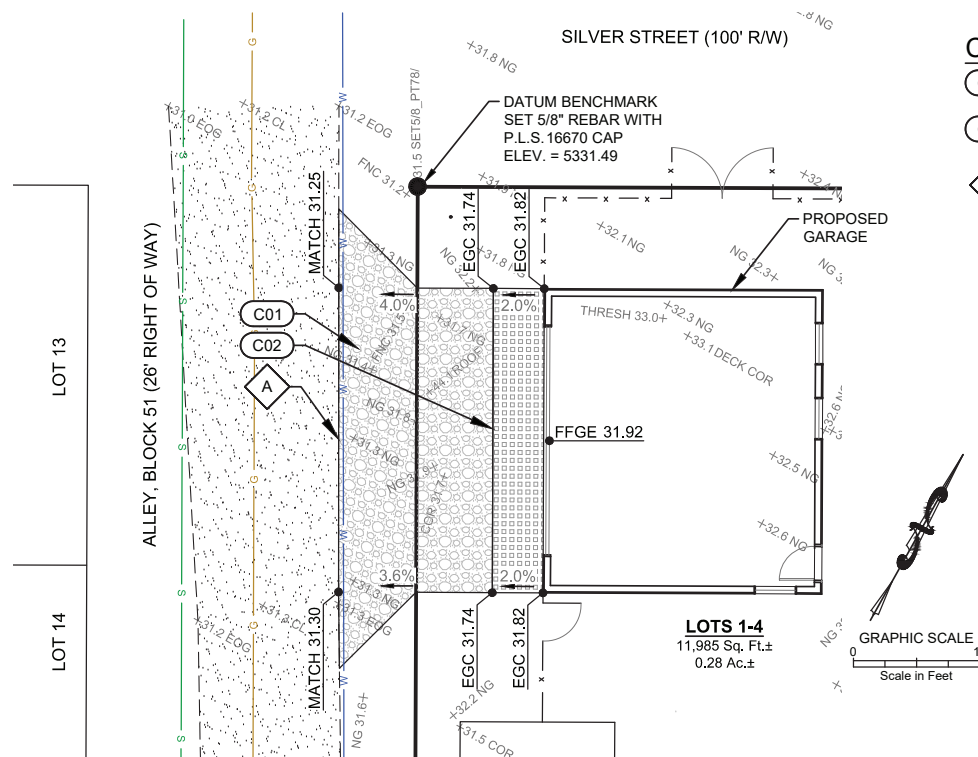
| | |
|--|-------------------------|
| | Property Line |
| | Adjoiner's Lot Line |
| | SET5/8 = Set 5/8" Rebar |
| | Gravel |
| | Gas Line |
| | Sewer Main |
| | Water Main |
| | CL = Centerline |
| | COR = Corner |
| | EOG = Edge of Gravel |
| | FNC = Fence |
| | NG = Natural Grade |
| | THRESH = Threshold |

PROPOSED ITEMS

| | |
|--|---|
| | Fence, see Architect plans for type |
| | Gravel |
| | Grasscrete, See architectural plans for details |
| | Proposed Spot Elevation |
| | Proposed Grade |
| | EGC = Edge of Grasscrete |
| | FFGE = Finished Floor of Garage at Entry |

CONSTRUCTION KEY NOTES

- C01** CONSTRUCT GRAVEL ROAD SECTION. SEE DETAIL 1, THIS SHEET.
- C02** INSTALL GRASSCRETE ENTRY. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- A** MATCH EXISTING LINES AND GRADES.



GENERAL CONSTRUCTIONS NOTES:

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY AND ARE PER AN ALLEY SURVEY CONDUCTED BY GALENA ENGINEERING IN 2002. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - **PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
8. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
9. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
11. ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
12. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
13. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING. FIELD DATA WAS COLLECTED ON 01/19/2021.

| REVISIONS | | | |
|-----------|------|----|-------------|
| NO. | DATE | BY | DESCRIPTION |
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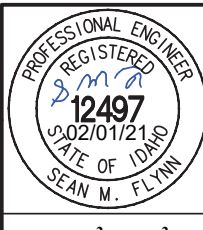
GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83333
(208) 788-1705
email: galena@galena-engineering.com

DESIGNED: CT
CHECKED: SMF
DETAILED: CT
SCALES SHOWN ARE
FOR 11" x 17"
PRINTS ONLY

CONSTRUCTION NOTES

323 N 2ND AVE
LOTS 1-4, BLOCK 51, HAILEY TOWNSITE
LOCATED WITHIN SECTION 9, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
PREPARED FOR BEX WILKINSON

PROJECT INFORMATION
P:\sds\proj\8016\dwg\Construction\8016_Civil.dwg 02/01/21 6:56:23 AM



SHEET 2 OF 2

SITE PHOTOGRAPHS



PROPOSED GARAGE MATERIALS



Grascrete and Flatseam roof paneling



Millenial Gooseneck
Exterior Light with
Galvanized Finish

Hunter Green
Shaker Door



Corrugated Zinc Metal Siding



Exposed Concrete Base



Neighboring Garage



Neighboring Concrete Pavers

R Series

14" Warehouse Shades

UL LISTED FOR WET LOCATIONS

RWHS14-SR
Shade Only.
Shown with optional
RSCK-SR Canopy Kit,
RS1-SR Stem and
RWG14-SR Wire Guard



RWHS14-SG
Shade Only.
Shown with optional
RSCK-SG Canopy Kit
and RS1-SG Stem

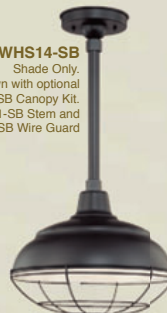


RWHS14-GA
Shade Only.
Shown with optional
RSCK-GA Canopy Kit
and RS1-GA Stem



Galvanized
finishes may be
inconsistent

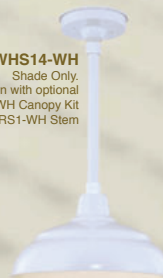
RWHS14-SB
Shade Only.
Shown with optional
RSCK-SB Canopy Kit,
RS1-SB Stem and
RWG14-SB Wire Guard



RWHS14-ABR
Shade Only.
Shown with optional
RSCK-ABR Canopy Kit
and RS1-ABR Stem



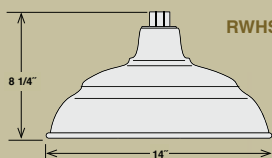
RWHS14-WH
Shade Only.
Shown with optional
RSCK-WH Canopy Kit
and RS1-WH Stem



EASY TO ORDER:

1. Choose a Shade
2. Choose a Goose Neck
for Wall Mount **OR**
Choose a Stem & Canopy Kit
for Ceiling Mount
3. Wire Guard Optional

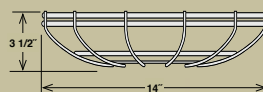
Warehouse Shades



RWHS14

| ITEM # | WIDTH | LAMPS | WIRE | FINISH |
|------------|-------|---------------|------|----------------------|
| RWHS14-ABR | 14" | Med. 200W A21 | 100" | Architectural Bronze |
| RWHS14-GA | 14" | Med. 200W A21 | 100" | Galvanized |
| RWHS14-SB | 14" | Med. 200W A21 | 100" | Satin Black |
| RWHS14-SG | 14" | Med. 200W A21 | 100" | Satin Green |
| RWHS14-SR | 14" | Med. 200W A21 | 100" | Satin Red |
| RWHS14-WH | 14" | Med. 200W A21 | 100" | White |

Wire Guards

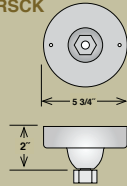


RWG14

| ITEM # | WIDTH | FINISH |
|-----------|-------|----------------------|
| RWG14-ABR | 14" | Architectural Bronze |
| RWG14-GA | 14" | Galvanized |
| RWG14-SB | 14" | Satin Black |
| RWG14-SG | 14" | Satin Green |
| RWG14-SR | 14" | Satin Red |
| RWG14-WH | 14" | White |

Canopy Kits (for Ceiling Applications)

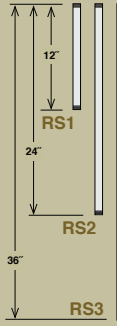
RSCK



| ITEM # | WIDTH | FINISH |
|----------|--------|----------------------|
| RSCK-ABR | 5 3/4" | Architectural Bronze |
| RSCK-GA | 5 3/4" | Galvanized |
| RSCK-SB | 5 3/4" | Satin Black |
| RSCK-SG | 5 3/4" | Satin Green |
| RSCK-SR | 5 3/4" | Satin Red |
| RSCK-WH | 5 3/4" | White |

Canopy Kits will Swivel up to 25°

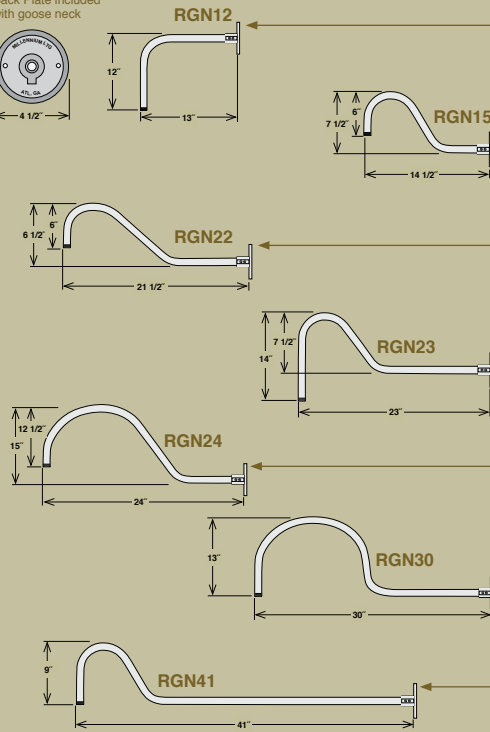
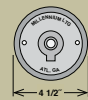
Stems



| ITEM # | ID | LENGTH | FINISH |
|---------|------|--------|----------------------|
| RS1-ABR | 3/4" | 12" | Architectural Bronze |
| RS1-GA | 3/4" | 12" | Galvanized |
| RS1-SB | 3/4" | 12" | Satin Black |
| RS1-SG | 3/4" | 12" | Satin Green |
| RS1-SR | 3/4" | 12" | Satin Red |
| RS1-WH | 3/4" | 12" | White |
| RS2-ABR | 3/4" | 24" | Architectural Bronze |
| RS2-GA | 3/4" | 24" | Galvanized |
| RS2-SB | 3/4" | 24" | Satin Black |
| RS2-SG | 3/4" | 24" | Satin Green |
| RS2-SR | 3/4" | 24" | Satin Red |
| RS2-WH | 3/4" | 24" | White |
| RS3-ABR | 3/4" | 36" | Architectural Bronze |
| RS3-GA | 3/4" | 36" | Galvanized |
| RS3-SB | 3/4" | 36" | Satin Black |
| RS3-SG | 3/4" | 36" | Satin Green |
| RS3-SR | 3/4" | 36" | Satin Red |
| RS3-WH | 3/4" | 36" | White |

Goose Necks (Actual Photos Shown on Page 58)

Back Plate included with goose neck



| ITEM # | ID | LENGTH | FINISH |
|-----------|------|---------|----------------------|
| RGN12-ABR | 3/4" | 13" | Architectural Bronze |
| RGN12-GA | 3/4" | 13" | Galvanized |
| RGN12-SB | 3/4" | 13" | Satin Black |
| RGN12-SG | 3/4" | 13" | Satin Green |
| RGN12-SR | 3/4" | 13" | Satin Red |
| RGN12-WH | 3/4" | 13" | White |
| RGN15-ABR | 3/4" | 14 1/2" | Architectural Bronze |
| RGN15-GA | 3/4" | 14 1/2" | Galvanized |
| RGN15-SB | 3/4" | 14 1/2" | Satin Black |
| RGN15-SG | 3/4" | 14 1/2" | Satin Green |
| RGN15-SR | 3/4" | 14 1/2" | Satin Red |
| RGN15-WH | 3/4" | 14 1/2" | White |
| RGN22-ABR | 3/4" | 21 1/2" | Architectural Bronze |
| RGN22-GA | 3/4" | 21 1/2" | Galvanized |
| RGN22-SB | 3/4" | 21 1/2" | Satin Black |
| RGN22-SG | 3/4" | 21 1/2" | Satin Green |
| RGN22-SR | 3/4" | 21 1/2" | Satin Red |
| RGN22-WH | 3/4" | 21 1/2" | White |
| RGN23-ABR | 3/4" | 23" | Architectural Bronze |
| RGN23-GA | 3/4" | 23" | Galvanized |
| RGN23-SB | 3/4" | 23" | Satin Black |
| RGN23-SG | 3/4" | 23" | Satin Green |
| RGN23-SR | 3/4" | 23" | Satin Red |
| RGN23-WH | 3/4" | 23" | White |
| RGN24-ABR | 3/4" | 24" | Architectural Bronze |
| RGN24-GA | 3/4" | 24" | Galvanized |
| RGN24-SB | 3/4" | 24" | Satin Black |
| RGN24-SG | 3/4" | 24" | Satin Green |
| RGN24-SR | 3/4" | 24" | Satin Red |
| RGN24-WH | 3/4" | 24" | White |
| RGN30-ABR | 3/4" | 30" | Architectural Bronze |
| RGN30-GA | 3/4" | 30" | Galvanized |
| RGN30-SB | 3/4" | 30" | Satin Black |
| RGN30-SG | 3/4" | 30" | Satin Green |
| RGN30-SR | 3/4" | 30" | Satin Red |
| RGN30-WH | 3/4" | 30" | White |
| RGN41-ABR | 3/4" | 41" | Architectural Bronze |
| RGN41-GA | 3/4" | 41" | Galvanized |
| RGN41-SB | 3/4" | 41" | Satin Black |
| RGN41-SG | 3/4" | 41" | Satin Green |
| RGN41-SR | 3/4" | 41" | Satin Red |
| RGN41-WH | 3/4" | 41" | White |

Thermacore[®] COLLECTION



Premium insulated garage doors
deliver maximum thermal efficiency
and design flexibility.

The Genuine. The Original.





Model 5740 (199) 8' high, Vertical Short panel, Gray finish, Wynbridge 2 windows

The Thermacore® Collection keeps design in mind and adds comfort to your home by providing protection from air infiltration and temperature changes.



Image above: Model 5740 (196) 7' high, Microgroove Panel, Dark Bronze finish, Vertical Narrow windows
Cover image: Model 5760 8' high, Vertical Short Panel, Mission Oak finish, Stockbridge 2 4-Lite windows, decorative hardware

Thermacore® COLLECTION

Built Better from the Inside Out

Door construction

Thermacore® Collection steel garage doors feature premium insulation construction and design which provides maximum thermal efficiency and reduced air infiltration for your garage space. This durable line of garage doors gives you many years of reliable operation while providing comfort and beauty to your home, even in extreme climates.



Thermacore® construction

Provides a continuous layer of foamed-in-place, CFC-free polyurethane insulation sandwiched between two layers of corrosion-resistant steel, for maximum thermal efficiency.



Durable finish

Interior-side hot-dipped galvanized steel backing, with two coats of baked-on polyester paint, provides strength and a finished, clean appearance.



In-between section thermal seals

With an air infiltration rating of up to 0.08 cfm, seals provide superior resistance to the elements.



Bulb-type bottom weatherseal

Guards against wind and rain while providing a cushion when closing.

Multiple surface options



Embossed wood grain adds beauty, sophistication and durability.



Microgroove waved pattern creates a striking light effect.



Smooth, non-textured surface gives a modern look.



Pebble grain embossment creates an appealing pattern texture.



Model 5740 (198) 7' high, Long Panel, White finish, Stockbridge 2 4-Lite windows

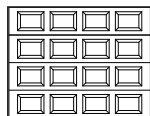
Thermacore® COLLECTION Door Designs

Select your door panel style and color

1 Choose a panel style and model

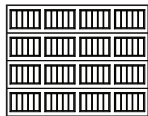
Doors shown are 7' tall. The number of sections on 8' doors may vary.

Standard Panel (SP) (S)



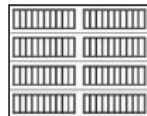
Models 5720, 5740, 5760
(297, 194, 494)

Vertical Short (VS) (V5)



Models 5720, 5740, 5760
(296, 199, 497)

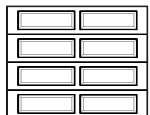
Vertical Long (VL) (V10)



Model 5740
(192)

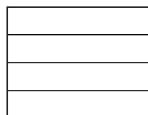
Note:
Previous model numbers and
panel styles are noted in
parentheses in gray.

Long Panel (LP) (L)



Models 5720, 5740, 5760
(295, 198, 496)

Flush Panel (FP) (F)



Models 5720, 5740, 5760
(298, 195, 495)

Microgroove (MG) (M)



Model 5740
(196)

| MODELS | 5720 | 5740 | 5760 | |
|-------------------------|-----------------|------------------|------------------|--|
| Polyurethane insulation | • | • | • | |
| R-value* | 9.31 | 12.76 | 17.5 | |
| Steel backing | • | • | • | |
| Warranty** | 20-Year Limited | Limited Lifetime | Limited Lifetime | |

* R-value is a measure of thermal efficiency. The higher the R-value the greater the insulating properties of the door. Overhead Door Corporation uses a calculated door section R-value for our insulated doors.

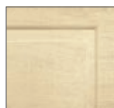
** See full text of warranty for details.

2 Choose a color

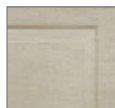
Painted finishes



White



Almond



Desert Tan



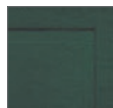
Sandstone



Terra Bronze



Brown



Hunter Green



Gray



Black

Actual colors may vary from brochure due to fluctuations in the printing process. **Always request a color sample from your Distributor for accurate color matching before ordering your door.**

Textured Wood Grain finishes



Golden Oak



Walnut

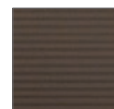


Mission Oak

Modern Metallic finishes (shown on Microgroove panel)



Silver



Dark Bronze



Black Frost

Thermacore® COLLECTION
Door Designs

Color options by panel style

| | | STANDARD | | | VERTICAL SHORT | | | VERTICAL LONG | LONG | | | FLUSH | | | MICRO-GROOVE |
|---|--------------|---------------|---------------|---------------|----------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|---------------|
| | | 5720 (297) | 5740 (194) | 5760 (494) | 5720 (296) | 5740 (199) | 5760 (497) | 5740 (192) | 5720 (295) | 5740 (198) | 5760 (496) | 5720 (298) | 5740 (195) | 5760 (495) | 5740 (196) |
| Painted finishes on wood grain texture | White | • | • | • | • | • | • | • | • | • | • | • | • | • | |
| | Almond | • | • | • | • | • | • | • | • | • | • | • | • | • | |
| | Desert Tan | • | • | • | • | • | • | • | • | • | • | • | • | • | |
| | Sandstone | • | • | • | • | • | • | • | • | • | • | • | • | • | |
| | Terra Bronze | | • | | | • | | • | | • | | | • | | |
| | Brown | | • | • | | • | • | • | | • | • | | • | • | |
| | Hunter Green | | • | | | • | | • | | • | | | • | | |
| | Gray | | • | | | • | | • | | • | | | • | | |
| | Black | | • | • | | • | • | • | | • | • | | • | • | |
| Wood grain finishes on pebble grain texture | Golden Oak | | • | • | | • | • | • | | • | • | | | | |
| | Walnut | | • | • | | • | • | • | | • | • | | | | |
| | Mission Oak | | • | • | | • | • | • | | • | • | | | | |
| Modern Metallic finishes on smooth or microgroove texture | Silver | | | | | | | | | | | | Smooth* • | | • |
| | Dark Bronze | | | | | | | | | | | | Smooth* • | | • |
| | Black Frost | | | | | | | | | | | | Smooth* • | | • |

* Model 5740 with Modern Metallic finishes feature a smooth, non-textured surface.

Thermacore® COLLECTION

Decorative Accents

Customize your door with windows

3 Choose a window style

Available on **Standard**, **Flush** and **Vertical Short** panels



Clear Short



Ashton 1



Cascade 1



Cathedral 1



Madison 1



Prairie 1



Ruston 1



Sherwood 1



Stockford 1



Stockton 1



Waterton 1



Williamsburg 1 (4pc)



Winston 1



Williamsburg 1 (8pc)

Available on **Long**, **Flush**, **Vertical Long** and **Vertical Short** panels



Clear Long



Ashton 2



Cathedral 2



Cascade 2



Prairie 2



Ruston 2



Sherwood 2



Somerton 2



Stockbridge 2 3-Lite



Stockbridge 2 4-Lite



Stockford 2



Stockton 2 4-Lite



Stockton 2 6-Lite



Stockton 2 8-Lite



Stockton 2 8-Lite Arch



Stockton 2 12-Lite



Waterton 2



Williamsburg 2



Wyndbridge 2



Williamsburg 2 (4 pc)

Carriage style window trim. Available on **Model 5740**, **Standard** and **Flush** panels only.



Stockbridge



Stockton



Stockton Arch



Somerton



Wyndbridge Arch

Available on **Flush** and **Microgroove** panels in **Modern Metallic** finishes only. Modern Metallic finishes cannot be paired with other window options.



Narrow

Thermacore® COLLECTION

Decorative Accents

Customize your door with windows and decorative hardware

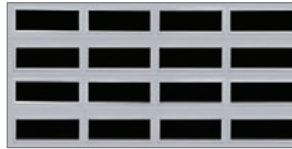
Optional window placement

Vertical window option



Model 5740, Flush panel,
Gray finish, Clear Long windows

All window option (Flush panel only)



Model 5740, Flush panel,
Gray finish, Clear Long windows

Double Narrow window option (Flush and Microgroove panels only)



Model 5740, Microgroove panel,
Silver finish, Narrow windows

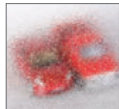
Windows may be arranged vertically or horizontally on the Models 5740 and 5760. Windows must be Clear Short, Clear Long or Narrow. Windows placed in the bottom section of a door must have DSB 1/8", tempered, or 1/2" insulated glass.

Choose a glass type

All windows come standard with double strength glass. In addition, the Thermacore® Collection offers an array of choices, including:



Clear



Obscure



Satin Etched



Gray Tint



Green Tint



Bronze Tint

Actual glass may vary from brochure photos due to fluctuations in the printing process. Check with your Overhead Door™ Distributor to view a glass sample.

4 Choose your decorative hardware



Large
Bean
Handle



Large
Spear
Handle



Small
Spear
Handle



Spear Hinge (16" & 18")



Bean Hinge (16" only)

5 Choose your opener



Be sure to ask about our complete line of Overhead Door® garage door openers. Powerful, quiet and durable, these garage door openers are designed for performance, safety and convenience. Your Overhead Door™ Distributor will help you choose the opener that best suits your door and preferences.

Transform Your Home with the DoorView® Visualization Tool.

Go to overheaddoor.com to try our online interactive software tool that lets you visualize what your home would look like with a new Overhead Door™ garage door. Contact your local Overhead Door™ Distributor for more information and to receive a quote.



The Genuine. The Original.

Since 1921, Overhead Door Corporation has not only raised the standards of excellence for the industry – we've created them. We created the first sectional garage door in 1921 and the first electric garage door opener in 1926.

Today, our network of over 400 Overhead Door™ Distributors are still leading the way with innovative solutions and unmatched installation, service and support. So look for the Red Ribbon. It's your guarantee that you're getting the genuine, the original Overhead Door™ products and services.

SOLD AND DISTRIBUTED BY:



The Genuine. The Original.



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overheaddoor.com

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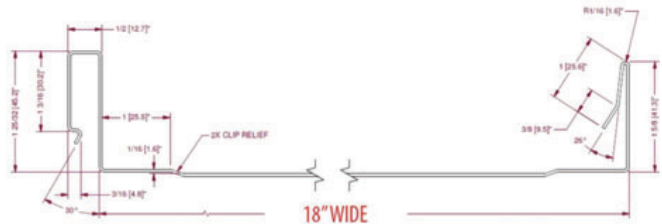
STANDING SEAM - ZINC METALLIC

Install Guide

Trim and Flashing

Product Data Sheet

Spec Sheet



Also available are custom panel widths of: 12", 14", 16", 18", 20" and 24"



| PRODUCT DATA | PRODUCT SPECIFICATIONS | FEATURES & BENEFITS | INSTALL GUIDE | TRIM/FLASHINGS |
|---------------------------|------------------------|---------------------|----------------------|--------------------------|
| CLIP DETAIL | ENGINEERING INFO | CAD DETAILS | COLOR CHARTS | SOLAR REFLECTIVITY INDEX |
| ADDITIONAL PANEL PROFILES | PAINT WARRANTIES/SPECS | GENERAL INFORMATION | ROOFING UNDERLAYMENT | |

PRODUCT DATA

Material Type: Standing Seam Metal Panels

Rib Height: 1.75"

Overall Width: Standard: 18," Custom Widths Available: 12"-20"

Available Gauges: 24/Standard

Substrate: AZ50 Minimum (aka Galvalume®/Zincalume®)

Finishes: PVDF Resin Based (AKA Kynar 500®/ Hylar 5000®)

Fasteners: Concealed

Panel Length: 1' to 52'

Recommended Minimum Roof Slope: 3/12

Installation: Installation over a solid substrate with an underlayment between the panel and the substrate.

<https://www.westernstatesmetalroofing.com/standing-seam-metal-roof-panels.html>

1/25/2021

MMI Door 32 in.x80 in. Low-E Glass Left-Hand Craftsman 2-Panel 3-Lite Clear Painted Fiberglass Smooth Prehung Front Door w/ Shelf...



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Council Bluffs ✓
OPEN until 9 pm

Delivering to
51501 ✓

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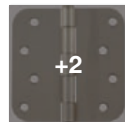


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Internet #301275488 Model #Z028315L



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Live Chat

Feedback

32 in.x80 in. Low-E Glass Left-Hand Craftsman 2-Panel 3-Lite Clear Painted Fiberglass Smooth Prehung Front Door w/ Shelf

by **MMI Door** > (Brand Rating: 3.9/5)

★★★★★ (4) ✓

[Write A Review](#)

[Questions & Answers \(3\)](#)



Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of March 1, 2021

To: Hailey Planning and Zoning Commission

From: Robyn Davis, Community Development City Planner

Overview: Consideration of a Design Review Application by Antony and Sarah Gray for a new 2,609 square foot single-story residence. This project is located at 121 North 3rd Avenue (Lots 1-4, Block 38, Hailey Townsite) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts.

Hearing: March 1, 2021

Applicant: Antony and Sarah Gray

Request: Construction of a 2,609 square foot single-family residence

Location: Lots 1-4, Block 38, Hailey Townsite (121 North 3rd Avenue)

Zoning: Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts

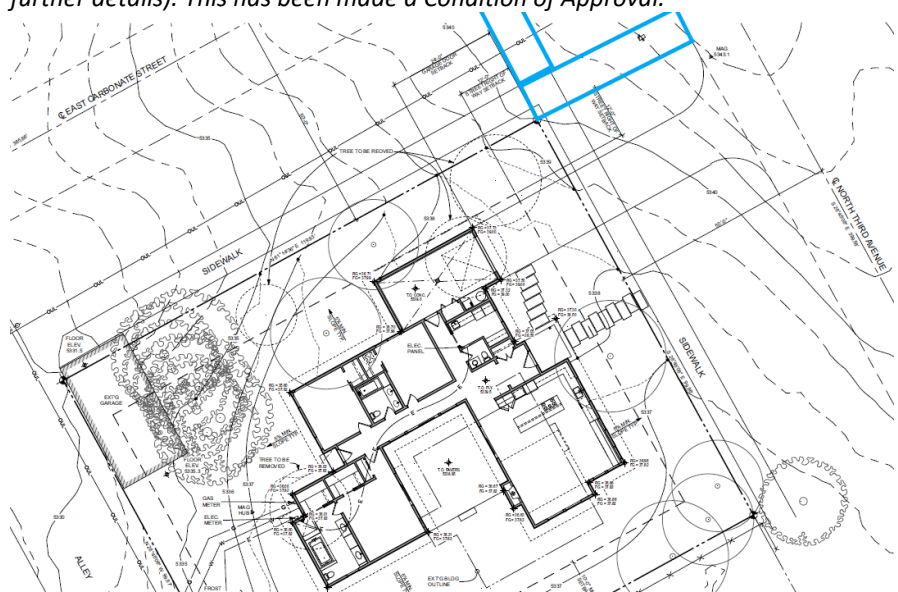
Notice: Notice for the public hearing was published in the Idaho Mountain Express on February 10, 2021 and mailed to property owners within 300 feet on February 10, 2021.

Application: The Applicant is proposing to construct a new 2,609 square foot single-family residence, which includes an attached garage, at 121 North 3rd Avenue. This is a corner lot. Access for the existing historic residence is located on Third Avenue. The existing residence will be relocated to another site in Hailey, and the two outbuildings, labeled 'garage' and 'shed', will remain onsite. The Applicant wishes to retain the access off of the street versus relocating the access to the alley, as is called for in the TO District.


The garage is proposed to be accessed off of Third Avenue, not the alley. As a general rule (pursuant Section 17.06.090(C)4 of the Hailey Municipal Code), garages and parking areas should be accessed from the alley side of the property and not the street side. Staff recommends that the proposed garage gain access via the alley. Further discussion of this standard can be found below.

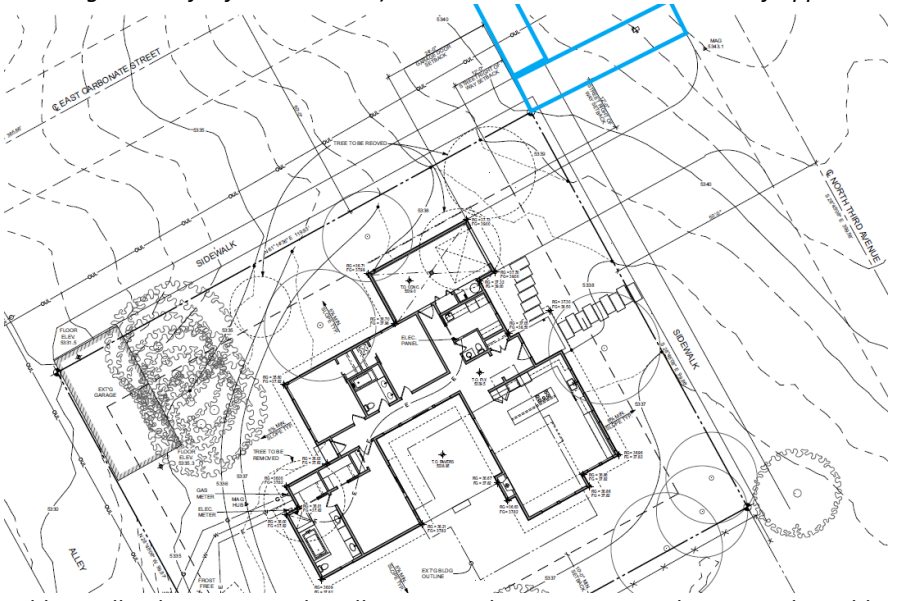
Procedural History: The Design Review Application was submitted on January 27, 2021 and certified complete on February 5, 2021. A public hearing before the Planning and Zoning Commission for approval or denial of the project will be held on March 1, 2021, virtually via GoTo Meeting, and in the Hailey City Council Chambers.

General Requirements for all Design Review Applications

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|------------------------------|--|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.050 | Complete Application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Department Comments | <p>Engineering, Streets and Public Works: <i>The existing driveway is 30' from the intersection of the two public roads, Third Avenue and Carbonate Street. The proposed driveway is approximately 14' from the intersection of these roads.</i></p> <p><i>Due to the proximity of the proposed driveway to the intersection, the Public Works Department finds that the proposed driveway and garage would impede visibility of vehicular and pedestrian traffic coming from Third Avenue and Carbonate Street. The Public Works Department strongly encourages the Applicant to position the proposed garage and driveway off of the alley, and near the southern property line where the grade change is less significant.</i></p> <p><i>The Public Works Department also recommends that the sidewalk along Carbonate Street and Third Avenue be extended to the edge of asphalt on both Carbonate Street and Third Avenue (see the blue lines in the image below for further details). This has been made a Condition of Approval.</i></p>  <p><i>Additionally, the existing sidewalks may need some repairing; however, the Public Works Department is unable to provide specific details until the snow melts. The Applicant shall repair the existing sidewalks, as outlined by the Public Works Department. This has been made a Condition of Approval.</i></p> <p>Life/Safety: No comments</p> <p>Water and Sewer: <i>The Water and Wastewater Departments recommend that the Applicant utilize the existing services to the lot.</i></p> <p>Building: No comments</p> |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|---------------------------------------|--|
| | | | | <p>City Arborist: <i>The City Arborist recommends that the Applicant make every effort to protect the existing trees from damage and compaction during the construction process. There are approximately 19 trees proposed to be retained, of which, include a variety of species: Ponderosa Pine Trees, Douglas Fir Trees, Spruce Trees, and Box Elder Trees. This has been made a Condition of Approval.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.08A Signs | <p>17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</p> |
| | | | Staff Comments | <p><i>N/A, as signage is prohibited in residential zones.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.09.040 On-site Parking Req. | <p>See Section 17.09.040 for applicable code. 17.09.040 Single-Family Dwellings: minimum of two (2) spaces, maximum of six (6) spaces</p> |
| | | | Staff Comments | <p><i>The Hailey Municipal Code requires a minimum of two (2) parking spaces for each single-family residential dwelling. An attached garage is proposed and it appears that two (2) or more spaces have been provided onsite.</i></p> <p><i>Additionally, it appears that the public right-of-way (Third Avenue) can accommodate for a total of approximately three (3) parking spaces.</i></p> <p><i>Onsite parking and vehicular access to the site will be off of Third Avenue. An alley exists and vehicular access could be restricted to Third Avenue and the existing alley; however, the Applicant is proposing to construct the garage door and access off of Third Avenue. Please see Section 17.06.090(C)4 for further details.</i></p> <p><i>Parking requirements for the proposed residence are met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.08C.040 Outdoor Lighting Standards | <p>17.08C.040 General Standards</p> <ol style="list-style-type: none"> a. All exterior lighting shall be designed, located and lamped in order to prevent: <ol style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator. |
| | | | Staff Comments | <p><i>The Applicant will install Dark Sky compliant fixtures, downcast and low wattage fixtures. Cut Sheets are attached.</i></p> |

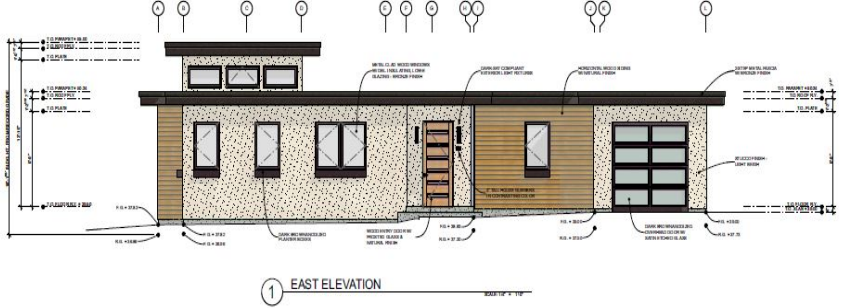
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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Bulk Requirements Staff Comments | <p>Zoning District: Limited Residential (LR-1) and Townsite Overlay (TO)</p> <p>Maximum Height: 30'</p> <p>Setbacks:</p> <ul style="list-style-type: none"> • Street R.O.W. Adjacent: 12'; 20' to Garage Door • Private Property Abutment: 15% of lot width or 10', whichever is less; 6' min. • 1' for every 2.5' of building height • Alley: 6' minimum <p>Lot Coverage: 35%</p> <p><i>Maximum Building Height: 30'</i> <i>Proposed Building Height: 18'-1 5/8"</i></p> <p><i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> ○ Front Yard (East): ~20' ○ Side Yard (North): 14' ○ Side Yard (South): 21' ○ Rear Yard (West): ~30' <p><i>Proposed Lot Coverage:</i></p> <ul style="list-style-type: none"> ○ 3,089 square feet (Proposed Footprint + Existing Footprint) / 11,979 square foot lot = 26% <p><i>All setback, building height, and lot coverage requirements have been met.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.070(A)1 Street Improvements Required Staff Comments | <p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> <p><i>Sidewalks are existing along the property frontage of Third Avenue and Carbonate Street. That said, neither sidewalk extends to the edge of asphalt on Carbonate Street or Third Avenue. The Public Works Department recommends that the sidewalk along Carbonate Street and Third Avenue be extended to the</i></p> |

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| | | | | <p>edge of asphalt on both Carbonate Street and Third Avenue (see the blue lines in the image below for further details). This has been made a Condition of Approval.</p>  <p>Additionally, the existing sidewalks may need some repairing; however, the Public Works Department is unable to provide specific details until the snow melts. The Applicant shall repair the existing sidewalks, as outlined by the Public Works Department. This has been made a Condition of Approval.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.06.070(B) Required Water System Improvements</p> | <p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six feet (6') deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the city engineer. (Ord. 1191, 2015)</p> |
| | | | Staff Comments | This standard shall be met. |

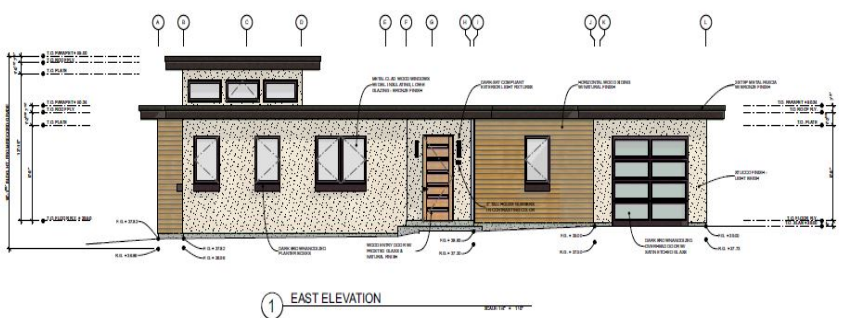
Design Review Guidelines for Residential Buildings in the Townsite Overlay District (TO).

| Compliant | | | Standards and Staff Comments | |
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| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)1 | <p>1) Site Planning</p> <p>Guideline: The pattern created by the Old Hailey town grid should be respected in all site planning decisions.</p> <p>Staff Comments The lot is existing and respects the Old Hailey Townsite grid pattern. The proposed addition will preserve the grid pattern, although adding vehicular traffic to the street frontage.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | <p>Guideline: Site planning for new development and redevelopment shall address the following:</p> <ul style="list-style-type: none"> scale and massing of new buildings consistent with the surrounding neighborhood; building orientation that respects the established grid pattern of Old Hailey; clearly visible front entrances; |

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| | | | | <ul style="list-style-type: none"> • use of alleys as the preferred access for secondary uses and automobile access; • adequate storage for recreational vehicles; • yards and open spaces; • solar access on the site and on adjacent properties where feasible, and where such decisions do not conflict with other Design Guidelines; • snow storage appropriate for the property; • underground utilities for new dwelling units. |
| | | | <i>Staff Comments</i> | <ul style="list-style-type: none"> • The scale of the proposed addition is consistent with the scale and massing of buildings in the surrounding neighborhood. • The lot is existing and respects the Old Hailey Townsite grid pattern. The front entry of the home faces Third Avenue and will be accessible either via Third Avenue or Carbonate Street. • The alley is not proposed to be used for vehicular access. • The proposed residence will span the entire lot. Ample yard and open space exist on all sides of the home. • Snow storage has been identified on the site plan and is sufficient for the site. • Utilities are existing. Water, sewer and gas are located underground. Any additional utilities shall be located underground. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | <p>Guideline: The use of energy-conserving designs that are compatible with the character of Old Hailey are encouraged. The visual impacts of passive and active solar designs should be balanced with other visual concerns outlined in these Design Guidelines.</p> |
| | | | <i>Staff Comments</i> | <p>The design intent of the proposed residence was to complement that of the surrounding area, while utilizing a mid-Century Usonian Design. Please see Section 17.06.090(C)3 for further details.</p> <p>The proposed design takes advantage of the southeastern exposure: a large patio area, several entries and windows are located along the southern elevation of the proposed residence.</p> <p>The size and shape of the proposed windows are also in scale with the building character of Old Hailey. No solar collectors are proposed at this time.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)2 | <p>2. Bulk Requirements (Mass and Scale, Height, Setbacks)</p> |
| | | | | <p>Guideline: The perceived mass of larger buildings shall be diminished by the design.</p> |
| | | | <i>Staff Comments</i> | <p>The use of a flat roof, covered front entry, and large windows reduces the massing of the building, and breaks up the roofline. The various exterior materials, and undulations in the building design make the residence appear smaller in scale.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3 | <p>3. Architectural Character</p> |
| | | | 17.06.090(C)3a | <p>a. General</p> |
| | | | | <p>Guideline: New buildings should be respectful of the past, but may offer new interpretations of old styles, such that they are seen as reflecting the era in which they are built.</p> |
| | | | <i>Staff Comments</i> | <p>The architectural style of the proposed residence is that of a mid-Century Usonian Design. Per the Applicant, Usonian Homes are typically small, single-story dwellings without a garage or much storage. They are often L-shaped to fit around a garden terrace on unusual and inexpensive sites. They are characterized by native materials; flat roofs and large cantilevered overhangs for passive solar heating and natural cooling; natural lighting with clerestory</p> |

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| | | | | <p>windows; radiant-floor heating. Another distinctive feature is that they typically have little exposure to the front/public side, while the rear/private sides are completely open to the outside. A strong visual connection between the interior and exterior spaces is an important characteristic of all Usonian Homes.</p>  <p>1 EAST ELEVATION</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3b | <p>b. Building Orientation</p> <p>Guideline: The front entry of the primary structure shall be clearly identified such that it is visible and inviting from the street.</p> <p>Staff Comments <i>The front entry of the proposed residence is located facing Third Avenue. A pathway leading to the front entry is proposed, which is visible and inviting from the street.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | | <p>Guideline: Buildings shall be oriented to respect the existing grid pattern. Aligning the front wall plane to the street is generally the preferred building orientation.</p> <p>Staff Comments <i>The lot is existing and respects the Old Hailey Townsite grid pattern. A pathway leading to the front entry is proposed, which is prominent and inviting from Third Avenue and Carbonate Street.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3c | <p>c. Building Form</p> <p>Guideline: The use of building forms traditionally found in Old Hailey is encouraged. Forms that help to reduce the perceived scale of buildings shall be incorporated into the design.</p> <p>Staff Comments <i>The use of a flat roof, covered front entry, and large windows reduces the massing of the building, and breaks up the roofline. The various exterior materials, and undulations in the building design make the residence appear smaller in scale.</i></p> <p><i>The proposed residence will complement that of the surrounding neighborhood. The proposed exterior materials include: horizontal wood siding with a natural finish, stucco finish in light beige, two-step metal fascia with bronze finish, a dark brown anodized overhead door with stain etched glass, and metal clad wood windows with a bronze finish. Dark brown anodized planter boxes will be added under most windows, and a wooden entry door with frosted glass will finish the exterior materials.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | <p>d. Roof Form</p> <p>Guideline: Roof forms shall define the entry to the building, breaking up the perceived mass of larger buildings, and to diminish garages where applicable.</p> <p>Staff Comments <i>The proposed roof form and front entry are similar to those in the surrounding area (home on Second Avenue and Pine Street, home on River Street and Cedar, home on Main Street and Walnut Street). The pathway leading to the front entry helps define the front façade of the residence.</i></p> |


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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: Roof pitch and style shall be designed to meet snow storage needs for the site. <ul style="list-style-type: none"> • Roof pitch materials and style shall retain snow on the roof, or allow snow to shed safely onto the property, and away from pedestrian travel areas. • Designs should avoid locating drip lines over key pedestrian routes. • Where setbacks are less than ten feet, special attention shall be given to the roof form to ensure that snow does not shed onto adjacent properties. |
| | | | <i>Staff Comments</i> | <i>The proposed roof is flat, which will retain snow on the roof, rather than allow snow to shed onto the property.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: The use of roof forms, roof pitch, ridge length and roof materials that are similar to those traditionally found in the neighborhood are encouraged. |
| | | | <i>Staff Comments</i> | <i>The proposed roof forms and materials are similar to those traditionally found in the neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3d | Guideline: The roof pitch of a new building should be compatible with those found traditionally in the surrounding neighborhood. |
| | | | <i>Staff Comments</i> | <i>The proposed roof forms and materials are similar to those traditionally found in the neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | e. Wall Planes |
| | | | | Guideline: Primary wall planes should be parallel to the front lot line. |
| | | | <i>Staff Comments</i> | <i>The proposed residence's primary wall plane is parallel to the lot line where the entrance is located.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | Guideline: Wall planes shall be proportional to the site, and shall respect the scale of the surrounding neighborhood. |
| | | | <i>Staff Comments</i> | <i>The residence is proportional to the site in that the site's longest side is parallel with the residence's longest side. Material variation and front entry porch will also reduce the scale of the building to match the surrounding neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3e | Guideline: The use of pop-outs to break up longer wall planes is encouraged. |
| | | | <i>Staff Comments</i> | <i>The front entry and unique configuration of the residence creates wall plane variation to break up the mass and longer wall planes of the home.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3f | f. Windows |
| | | | | Guideline: Windows facing streets are encouraged to be of a traditional size, scale and proportion. |
| | | | <i>Staff Comments</i> | <i>The proposed windows are traditional in size, scale, and are appropriate for the neighborhood.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3f | Guideline: Windows on side lot lines adjacent to other buildings should be carefully planned to respect the privacy of neighbors. |
| | | | <i>Staff Comments</i> | <i>Minimal windows are proposed facing the alley. Windows are also framed in a manner that is consistent with the neighborhood and do not impact neighborhood privacy.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)3g | g. Decks and Balconies |
| | | | | Guideline: Decks and balconies shall be in scale with the building and the neighborhood. |
| | | | <i>Staff Comments</i> | <i>N/A, as no decks or balconies are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)3g | Guideline: Decks and balconies should be designed with the privacy of neighbors in mind when possible. |
| | | | <i>Staff Comments</i> | <i>N/A, as no decks or balconies are proposed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3h | h. Building Materials and Finishes |
| | | | | Guideline: Materials and colors shall be selected to avoid the look of large, flat walls. The use of texture and detailing to reduce the perceived scale of large walls is encouraged. |


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| | | | Staff Comments | <p>The proposed residence will complement that of the surrounding neighborhood. The proposed exterior materials include: horizontal wood siding with a natural finish, stucco finish in light beige, two-step metal fascia with bronze finish, a dark brown anodized overhead door with stain etched glass, and metal clad wood windows with a bronze finish. Dark brown anodized planter boxes will be added under most windows, and a wooden entry door with frosted glass will finish the exterior materials (see image below for further detail).</p>  <p style="text-align: center;">① EAST ELEVATION</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3h | <p>Guideline: Large wall planes shall incorporate more than one material or color to break up the mass of the wall plane.</p> <p>Staff Comments The largest wall plane is the northeast elevation. This plane is broken up by a variety of window sizes, building undulations, and various exterior materials. Horizontal wood siding and stucco will help reduce the mass of the wall plane.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | <p>i. Ornamentation and Architectural Detailing</p> <p>Guideline: Architectural detailing shall be incorporated into the front wall plane of buildings.</p> <p>Staff Comments Simple detailing is proposed: covered front entry, horizontal wood siding, and stucco.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | <p>Guideline: The use of porches, windows, stoops, shutters, trim detailing and other ornamentation that is reminiscent of the historic nature of Old Hailey is encouraged.</p> <p>Staff Comments The proposed residence has minimal ornamentation. Simple detailing is proposed: flat roof, covered front entry, horizontal wood siding, and stucco.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)3i | <p>Guideline: Architectural details and ornamentation on buildings should be compatible with the scale and pattern of the neighborhood.</p> <p>Staff Comments Please refer to Section 17.06.090(C)3i for further information.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | <p>4. Circulation and Parking</p> <p>Guideline: Safety for pedestrians shall be given high priority in site planning, particularly with respect to parking, vehicular circulation and snow storage issues.</p> <p>Staff Comments Adequate parking has been provided; however, the vehicular ingress and egress is very close to the intersection of the two public streets, and is not preferred. The existing driveway is 30' from the intersection of the two roads. The proposed driveway is approximately 14' from the intersection of the two roads.</p> <p>Due to the proximity of the proposed driveway to the intersection, City Staff finds that the proposed driveway and garage would impede visibility of vehicular and pedestrian traffic coming from Third Avenue and Carbonate Street. City Staff strongly encourages the Applicant to position the proposed garage and driveway off of the alley, and near the southern property line where the grade change is less significant. Alley access is preferred for the vehicles in Old Hailey.</p> |

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| | | | | <i>Pedestrian access is provided with the proposed pathway to the front entry of the residence. Snow storage areas are located along the northern property line and behind the sidewalk along Third Avenue, which do not restrict pedestrian access.</i> |
| <input type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: The visual impacts of on-site parking visible from the street shall be minimized. |
| | | | <i>Staff Comments</i> | <i>The visual impacts of the parking area are difficult to screen when they are located on a corner, as shown. The proposal positions the new driveway closer to the intersection, as noted above. The parking appears to be located in a highly visible location.</i> |
| <input type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: As a general rule, garages and parking should be accessed from the alley side of the property and not the street side. |
| | | | <i>Staff Comments</i> | <p><i>An attached garage is proposed. The Applicant is proposing that access to the garage be from Third Avenue and not from the existing alley. Per the Applicant, a garage with access off of the alley is not feasible, as the grade is too steep. Additionally, two (2) outbuildings exist along the rear (alley) property line, which the Applicant intends to retain.</i></p> <p><i>Planning Staff would prefer to see the proposed garage gain access off of the existing alley. By doing so, we would continue to facilitate more pedestrian friendly neighborhoods, keep the aesthetic charm of Old Town Hailey intact, and keep accessory structures, such as garages, subordinate to and concealed from the primary streets. Furthermore, Staff does not concur that the grade is too steep for alley access. No new homes proposed in Old Hailey over the last ten (10) years have been approved with new garages facing a street and near a corner.</i></p> <p><i>The Commission should further discuss the pros and cons of the placement of the proposed garage and whether the preference for alley access shall be retained as a primary goal in Old Hailey.</i></p> |
| <input type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: Detached garages accessed from alleys are strongly encouraged. |
| | | | <i>Staff Comments</i> | <i>The proposed garage is attached. The Applicant is proposing that the garage be accessed from Third Avenue and not the alley. Please refer to Section 17.06.090(C)4 for further details.</i> |
| <input type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: When garages must be planned on the street side, garage doors shall be set back and remain subordinate to the front wall plane. |
| | | | <i>Staff Comments</i> | <p><i>The proposed garage gains access off of Third Avenue. The location of the garage on the corner renders the vehicles visible from two public street intersections.</i></p> <p><i>If approved as such, the garage door shall be set back and remain subordinate to the front wall plane. It appears the garage door is setback four (4) feet more from the front wall plane of the residence (garage is setback 24' from ROW; residence is setback approximately 20' from ROW). If approved, the Commission should further discuss if the garage door is sufficiently subordinate to the front wall plane.</i></p> |
| <input type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | Guideline: When garages and/or parking must be planned on the street side, parking areas are preferred to be one car in width. When curb cuts must be planned, they should be shared or minimized. |

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| | | | Staff Comments | <p><i>It is not clear to Staff how this standard is met: “must” be planned from the street side. While the Applicant prefers the layout as proposed, alley access for the garage is feasible and more closely aligns with the Design Review Guidelines for Old Hailey.</i></p> <p><i>If garage access from Third Avenue is approved, the proposed parking area appears to be one-car in width.</i></p> |
| <input type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)4 | <p>Guideline: Off-street parking space for recreational vehicles should be developed as part of the overall site planning.</p> <p>Staff Comments <i>Seasonal, off-street parking for recreational vehicles could occur onsite; however, no parking space for recreational vehicles has been delineated. Storage of recreational vehicles in the driveway would further exacerbate the visibility of vehicles on the two adjacent streets.</i></p> |
| <input type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | <p>5. Alleys</p> <p>Guideline: Alleys shall be retained in site planning. Lot lines generally shall not be modified in ways that eliminate alley access to properties.</p> <p>Staff Comments <i>The alley is existing and will be retained, although it is not planned for vehicular access or recreational vehicles. For further details on alley access, please refer to Section 17.06.090(C)4 for further details.</i></p> |
| <input type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | <p>Guideline: Alleys are the preferred location for utilities, vehicular access to garages, storage areas (including recreational vehicles) and accessory buildings. Design and placement of accessory buildings that access off of alleys is encouraged.</p> <p>Staff Comments <i>Utilities shall be located underground. There are two (2) outbuildings or accessory structures that gain access off of the alley, both of which the Applicant intends to retain. That said, the Applicant is proposing that the attached garage be accessed from Third Avenue and not the alley. Please refer to Section 17.06.090(C)4 for further details. It is not clear how this standard can be met with the current design.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | <p>Guideline: Generally, the driving surface of alleys within Limited Residential and General Residential may remain a dust-free gravel surface, but should be paved within Business, Limited Business, and Transitional. The remainder of the City alley should be managed for noxious weed control, particularly after construction activity.</p> <p>Staff Comments <i>The existing alley is gravel. If noxious weeds are present on the site, the Applicant shall control according to State Law.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)5 | <p>Guideline: Landscaping and other design elements adjacent to alleys should be kept simple, and respect the functional nature of the area and the pedestrian activity that occurs.</p> <p>Staff Comments <i>The landscaping to be maintained is turf.</i></p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)6 | <p>6. Accessory Structures</p> <p>Guideline: Accessory buildings shall appear subordinate to the main building on the property in terms of size, location and function.</p> <p>Staff Comments <i>Two (2) accessory buildings exist onsite and are located to the rear of the primary dwelling. The building labeled as ‘existing garage’ is located within the public right-of-way along Carbonate Street. The Applicant intends to retain both outbuildings; however, any additions or repairs to the nonconforming ‘garage’ shall comply with standards set forth in the Hailey Municipal Code. Staff finds that this building is nonconforming and can remain as such until repairs or additions are made. That said, the Applicant shall apply for an Encroachment Permit to document and allow for the nonconforming building (located on northwest corner of parcel and labeled as ‘existing garage’), to be kept in its</i></p> |

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| | | | | <i>current location and within the public right-of-way. This shall be applied for concurrently with the Building Permit Application.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)6 | Guideline: In general, accessory structures shall be located to the rear of the lot and off of the alley unless found to be impractical. |
| | | | Staff Comments | <i>Two (2) accessory buildings exist onsite and are located to the rear of the primary dwelling. Both appear to be subordinate to the proposed single-family residence.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)7 | 7. Snow Storage |
| | | | | Guideline: All projects shall be required to provide 25% snow storage on the site. |
| | | | Staff Comments | <i>Per the Applicant, snow will be stored along the north and northeastern property lines. Snow storage has not been delineated onsite, but per the Applicant, it meets this standard (approximately 300 square feet of hardscape is proposed. The north and northeastern snow storage areas are greater than 300 square feet). If needed, the Applicant can further describe.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)7 | Guideline: A snow storage plan shall be developed for every project showing: <ul style="list-style-type: none"> • Where snow is stored, key pedestrian routes and clear vision triangles. • Consideration given to the impacts on adjacent properties when planning snow storage areas. |
| | | | Staff Comments | <i>Snow storage areas are located along the north and northeastern property lines of the proposed residence. Snow storage areas do not restrict pedestrian access. Pedestrian access is unrestricted and visible.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | 8. Existing Mature Trees and Landscaping |
| | | | | Guideline: Existing mature trees shall be shown on the site plan, with notations regarding retention, removal or relocation. Unless shown to be infeasible, a site shall be carefully planned to incorporate existing mature trees on private property into the final design plan. |
| | | | Staff Comments | <i>Existing trees are identified onsite. It appears that four (4) trees are proposed to be removed to accommodate for the new residence. It does not appear any additional trees or landscaping will be added to the site. If necessary, the Applicant can describe further.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | Guideline: Attention shall be given to other significant landscape features which may be present on the site. Mature shrubs, flower beds and other significant landscape features shall be shown on the site plan and be incorporated into the site plan where feasible. |
| | | | Staff Comments | <i>The City Arborist recommends that the Applicant make every effort to protect the existing trees from damage and compaction during the construction process. There are approximately 19 trees proposed to be retained, of which, include a variety of species: Ponderosa Pine Trees, Douglas Fir Trees, Spruce Trees, and Box Elder Trees. This has been made a Condition of Approval.</i> <i>No other significant landscape features will be removed or appear to be impacted by the proposed residence. That said, it doesn't appear that any additional trees or landscaping will be added to the site. If necessary, the Applicant can describe further.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)8 | Guideline: Noxious weeds shall be controlled according to State Law. |
| | | | Staff Comments | <i>If noxious weeds are present on the site, the Applicant shall control according to State Law.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)9 | 9. Fences and Walls |
| | | | | Guideline: Fences and walls that abut public streets and sidewalks should be designed to include fence types that provide some transparency, lower heights and clearly marked gates. |

| | | | |
|-------------------------------------|--------------------------|-------------------------------------|--|
| | | | Staff Comments <i>No fences or walls exist onsite. The Applicant plans to install a black metal fence, matches that of the neighbors to the south, around the parcel (see the image below for further details).</i>  <i>That said, the Applicant shall install the fence on or within the property lines. This has been made a Condition of Approval.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.06.090(C)9 Guideline: Retaining walls shall be in scale to the streetscape. Staff Comments <i>N/A, as none are proposed.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)10 10. Historic Structures General Guidelines: Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following guidelines: <ul style="list-style-type: none"> • The alteration should be congruous with the historical, architectural, archeological, educational or cultural aspects of other Historic Structures within the Townsite Overlay District, especially those originally constructed in the same Period of Significance. • The alteration shall be contributing to the Townsite Overlay District. Adaptive re-use of Historic Structures is supported while maintaining the architectural integrity of the original structure. Staff Comments <i>There is an existing residence onsite (see image below for further details). The single-family residence was built in 1898. It will be relocated from this parcel to a lot in Old Cutters (by the current owners). It is anticipated that the relocation will occur in April or May 2021. Once relocated, the new owners of the subject parcel hope to construct the proposed single-family residence, as noted herein. As shown in the photo, a modest driveway serves the historic house. No garage faces the street, as proposed by the Applicant.</i> |

| | | | | |
|----------------------------|--------------------------|--------------------------|-----------------------|---|
| | | | |  |
| <input type="checkbox"/> ? | <input type="checkbox"/> | <input type="checkbox"/> | 17.06.090(C)10 | <p>Specific Guidelines. Any alteration to the exterior of a Historic Structure requiring design review approval shall meet the following specific guidelines:</p> <ul style="list-style-type: none"> • The design features of repairs and remodels including the general streetscape, materials, windows, doors, porches, and roofs shall not diminish the integrity of the original structure. • New additions should be designed to be recognizable as a product of their own Period of Significance with the following guidelines related to the historical nature of the original structure: <ul style="list-style-type: none"> ~ The addition should not destroy or obscure important architectural features of the original building and/or the primary façade; ~ Exterior materials that are compatible with the original building materials should be selected; ~ The size and scale of the addition should be compatible with the original building, with the addition appearing subordinate to the primary building; ~ The visual impact of the addition should be minimized from the street; ~ The mass and scale of the rooftop on the addition should appear subordinate to the rooftop on the original building, and should avoid breaking the roof line of the original building; ~ The roof form and slope of the roof on the addition should be in character with the original building; ~ The relationship of wall planes to the street and to interior lots should be preserved with new additions. |
| | | | <i>Staff Comments</i> | <i>The relocation of the existing structure is proposed to be replaced with a site plan that increases vehicular visibility to the neighborhood with the addition of a garage, and the location of that garage and driveway closer to the corner of the two public streets. Please refer to Section 17.06.0909(C)10 for further details.</i> |

17.06.060 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following conditions are suggested for approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Zoning Title at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to:
 - i. The Applicant shall utilize the existing water and wastewater services to the lot.

- ii. The Applicant shall extend the existing sidewalks along Carbonate Street and Third Avenue to the edge of asphalt of both streets. Additionally, the Applicant shall repair the existing sidewalks, if necessary. Such repairs will be determined by the Public Works Department once they are free of snow. The installation and repairs shall comply with City Standards and be completed prior to issuance of the Certificate of Occupancy.
- d) The project shall be constructed in accordance with the Application or as modified by the Findings of Fact, Conclusions of Law and Decision.
- e) All new and existing exterior lighting shall comply with the Outdoor Lighting requirements according to 17.08C.
- f) The Applicant shall apply for an Encroachment Permit to document and allow for the nonconforming building (located on northwest corner of parcel and labeled as 'existing garage'), to be kept in its current location and within the public right-of-way. This shall be applied for concurrently with the Building Permit Application.
- g) **For Commission Discussion:** The garage shall have access off of the alley only, and not Third Avenue or Carbonate Street.
- h) The Applicant shall protect the existing trees from damage and compaction throughout the construction process. There are approximately 19 trees proposed to be retained, of which, include a variety of species: Ponderosa Pine Trees, Douglas Fir Trees, Spruce Trees, and Box Elder Trees.
- i) The Applicant shall install the proposed fence on or within the property lines.
- j) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- k) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- l) Construction staging and storage shall not be within the City Right-of-Way. All construction impacts shall occur within the property boundary.
- m) All utilities shall be located underground, consistent with 17.06.080(A)3h.
- n) The Applicant shall apply for a Lot Line Adjustment Application to remove interior lot lines. This Application shall be applied for concurrently with the Building Permit Application.

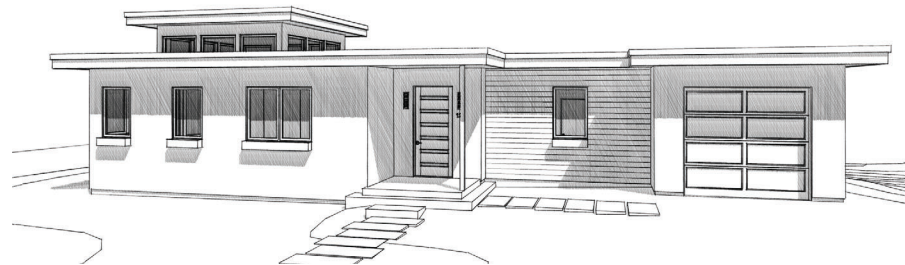
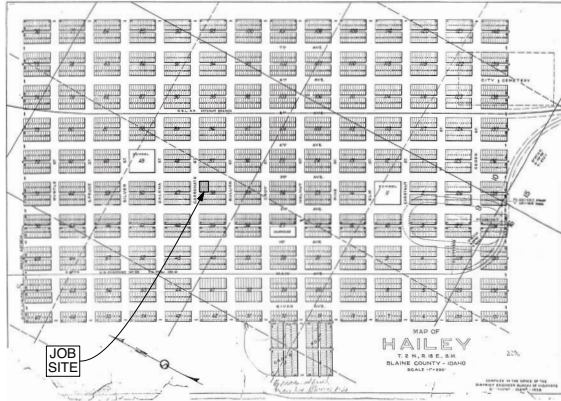
Motion Language:

Approval: Motion to approve the Design Review Application by Antony and Sarah Gray for a new 2,609 square foot single-story residence. This project is located at 121 North 3rd Avenue (Lots 1-4, Block 38, Hailey Townsite), finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, and City Standards, provided conditions (a) through (n) are met.

Denial: Motion to deny the Design Review Application by Antony and Sarah Gray for a new 2,609 square foot single-story residence. This project is located at 121 North 3rd Avenue (Lots 1-4, Block 38, Hailey Townsite), finding that _____ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

Continuation: Motion to continue the public hearing to _____ [Commission should specify a date].

ANTONY & SARAH GRAY RESIDENCE



| PROJECT TEAM | | PROJECT TABULATION | VICINITY MAP | SHEET INDEX |
|--|--|---|--------------|--|
| OWNER: Antony & Sarah Gray P.O. Box 6622 Ketchum, Idaho 83340 Phone: (208) 720-8153 a.j.gray@cox.net CONTRACTOR / BUILDER: | CIVIL ENGINEER: Benchmark Associates, P.A. Don Sewell P.O. Box 733 Ketchum, Idaho 83340 Phone: (208) 726-9512, Ext. 115 don@bma5b.com STRUCTURAL ENGINEER: Liv Jensen Engineering, PLLC Hailey, Idaho 83333 Phone: (208) 720-5549 liv@cox.net | PROPERTY ADDRESS: 121 N. 3RD AVE., HAILEY, ID. PARCEL NO.: RPH000038001A ZONE: LR-1 & TO TOWNSITE OVERLAY DISTRICT LOT AREA: 11,979 S.F. (0.275 ACRES) PROPOSED BUILDING FOOTPRINT: 2,609 S.F. TOTAL PROPOSED FOOTPRINT W/ EXT'G GARAGE: 3,089 S.F. MAX. ALLOWABLE BLDG. HT. 30' FLOOR AREAS: PROPOSED FLOOR LIVING: 2,260 S.F. PROPOSED GARAGE: 349 S.F. TOTAL PROPOSED: 2,609 S.F. EXISTING GARAGE: 480 S.F. TOTAL ALL: 3,089 S.F. | | CVR COVER SHEET -- CIVIL SITE PLAN L1.1 SITE / GRADING PLAN A1.1 FLOOR & CLERESTORY PLANS A1.2 ROOF PLAN A2.1 EXTERIOR ELEVATIONS A2.2 EXTERIOR ELEVATIONS A2.3 PERSPECTIVE VIEWS A3.1 BUILDING SECTIONS A3.2 BUILDING SECTIONS S000 STRUCTURAL SPECIFICATIONS S100 FOUNDATION & 1ST FLOOR FRAMING PLAN S101 ROOF & CLERESTORY FRAMING PLAN S500 STRUCTURAL DETAILS S501 STRUCTURAL DETAILS |
| | | LEGAL DESCRIPTION HAILEY TOWNSITE BLOCK 38, LOTS 1-4 LOCATED WITHIN SECTION 9, TOWNSHIP 3 NORTH, RANGE 18 EAST, B.M. CITY OF HAILEY, BLAINE COUNTY, IDAHO | | |

PRINT DATE: 1/19/21
PERMIT SET:

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DESIGN REVIEW SET, NOT FOR CONSTRUCTION

ANTONY & SARAH GRAY RESIDENCE
HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F.
121 N. 3RD AVE, HAILEY, IDAHO

DRAWN BY:
D3 DRAFTING, INC.
KETCHUM, ID
208.720.6308

PROJECT INFO. /
SHEET INDEX

SCALE: AS NOTED

CVR



PRINT DATE: 1/19/21
PERMIT SET:

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ANTONY & SARAH GRAY RESIDENCE
HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F.
121 N. 3RD AVE, HAILEY, IDAHO

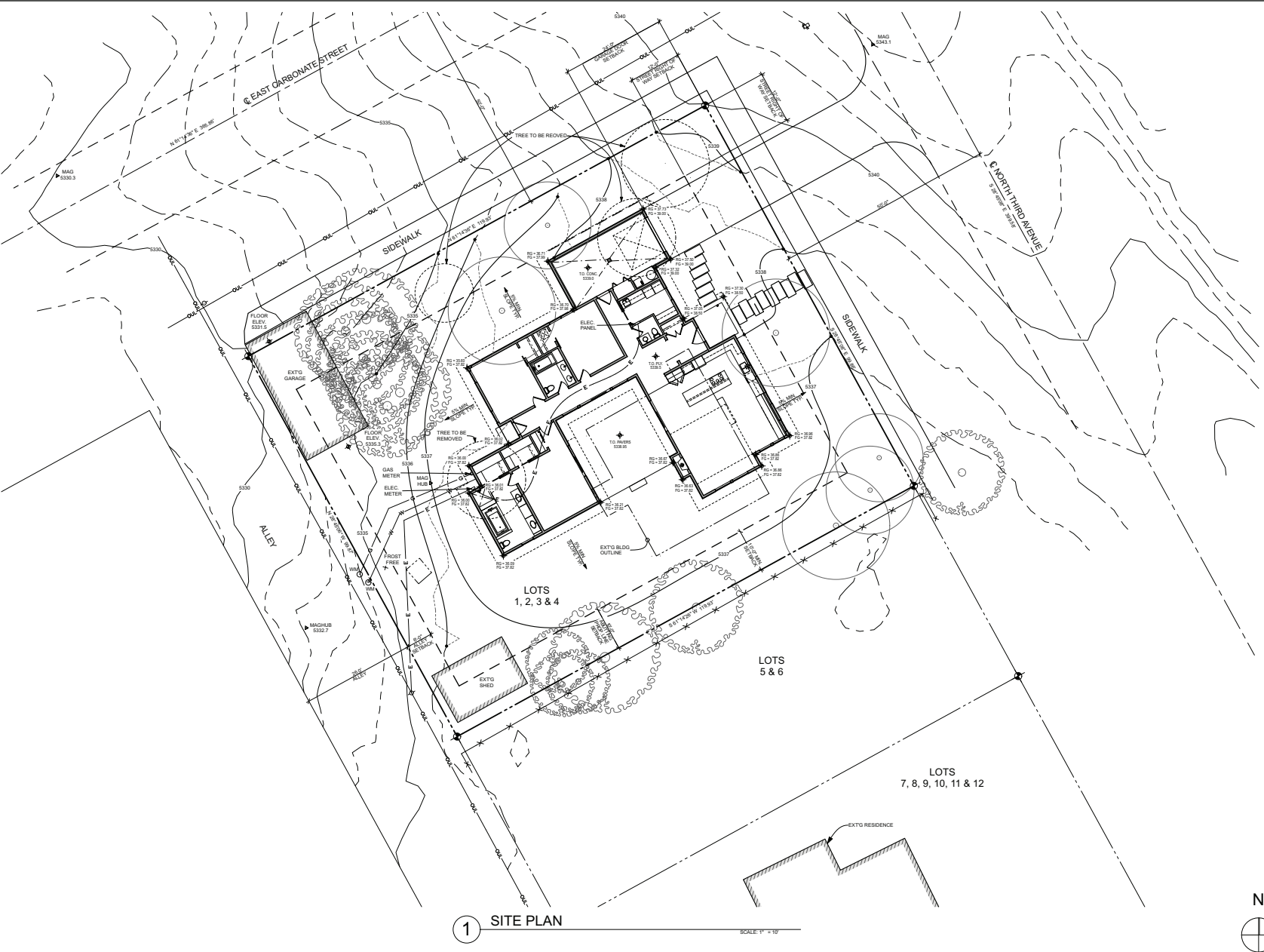
DRAWN BY:
D3 DRAFTING, INC.
KETCHUM, ID
208.720.6708

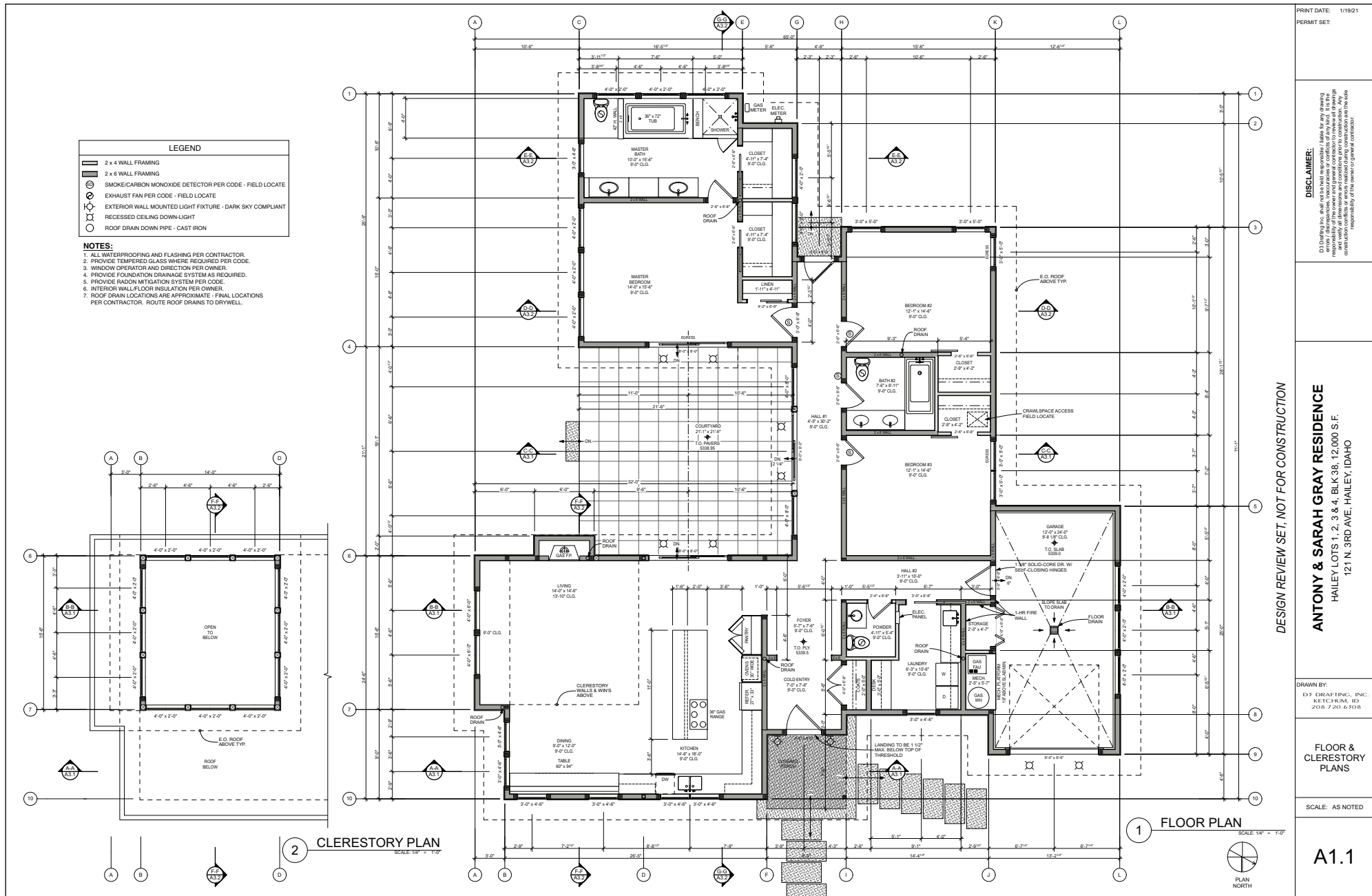
SITE / GRADING
PLAN

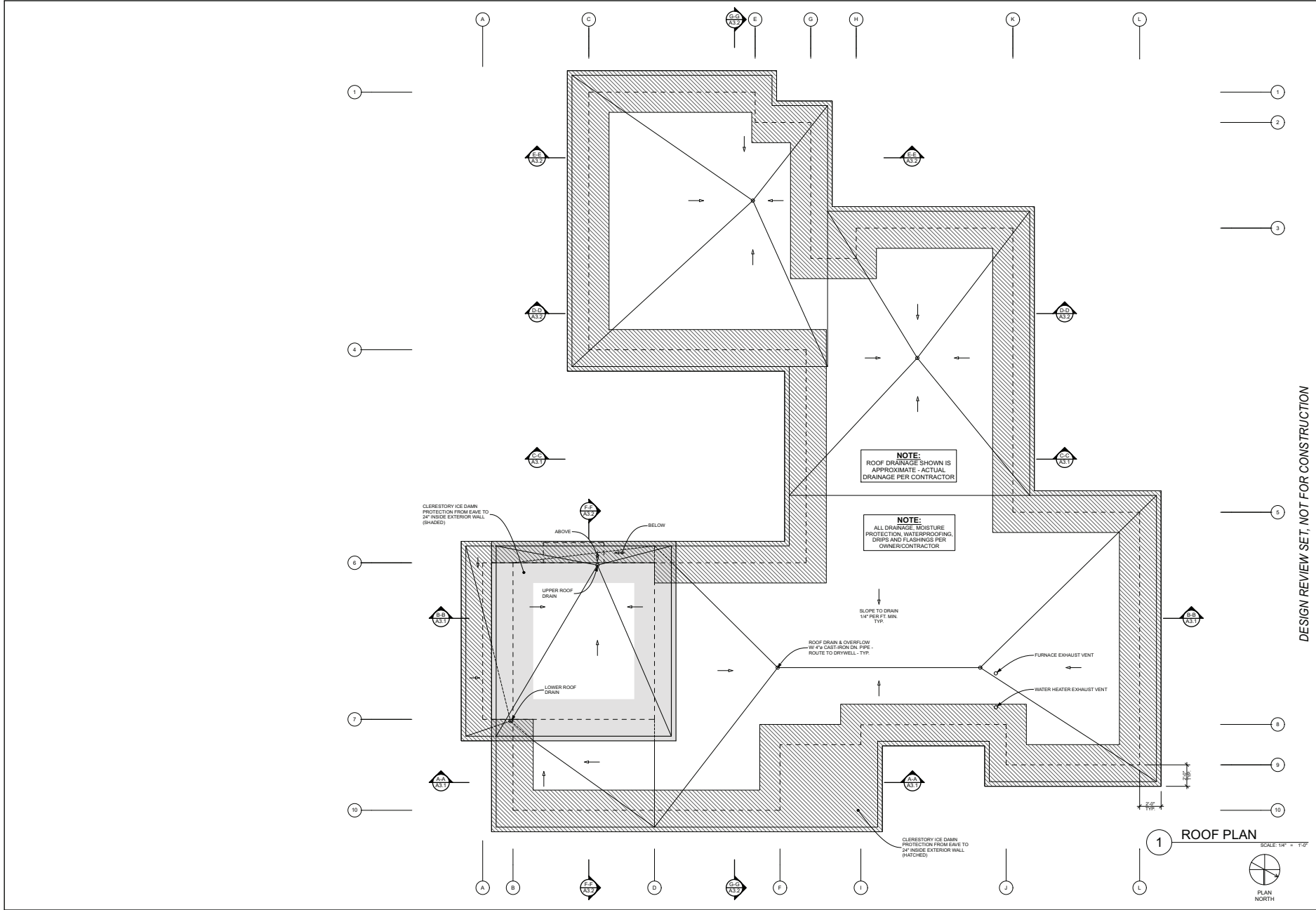
SCALE: AS NOTED

L1.1

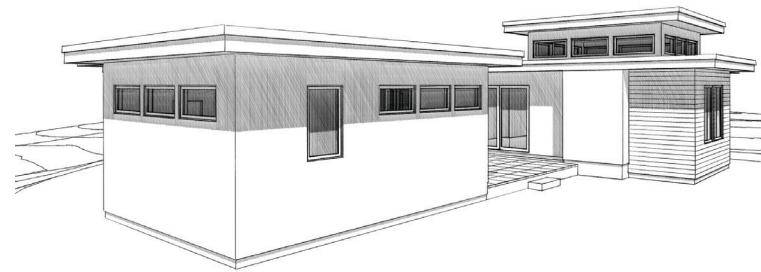
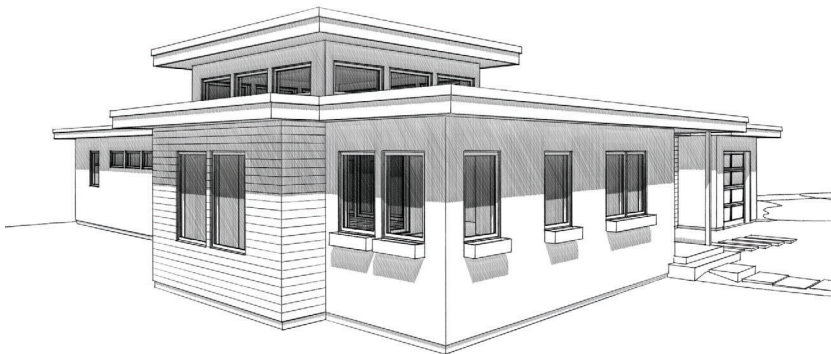
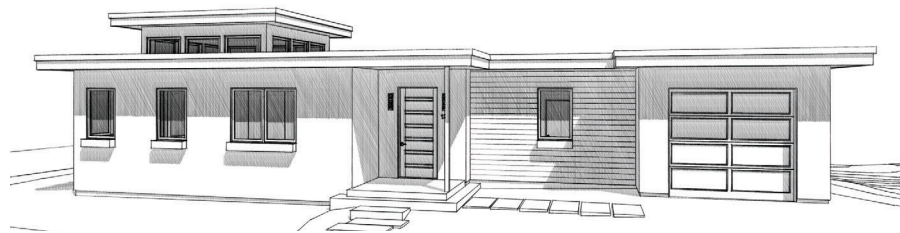
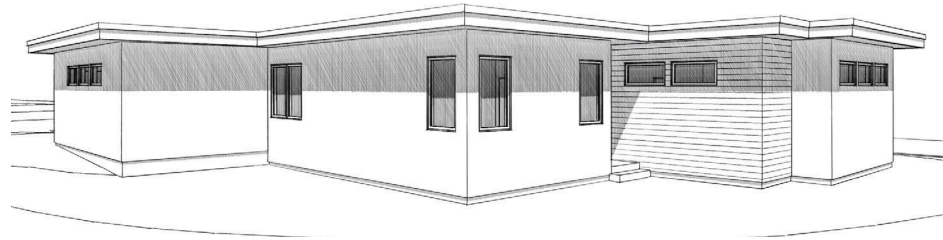
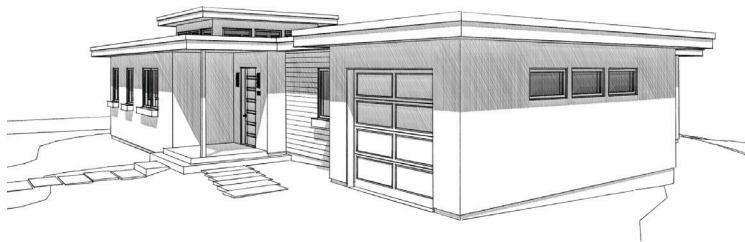
DESIGN REVIEW SET, NOT FOR CONSTRUCTION







| | |
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| ANTONY & SARAH GRAY RESIDENCE HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F. 121 N. 3RD AVE, HAILEY, IDAHO | |
| DRAWN BY: D3 DRAFTING, INC. KETCHUM, ID 208.720.6308 | |
| ROOF PLAN | |
| SCALE: AS NOTED | |
| A1.2 | |



PRINT DATE: 1/19/21
PERMIT SET:

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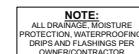
ANTONY & SARAH GRAY RESIDENCE
HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F.
121 N. 3RD AVE, HAILEY, IDAHO

DRAWN BY:
D3 DRAFTING, INC.
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208.720.6308

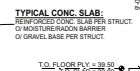
PERSPECTIVE
VIEWS

SCALE: AS NOTED

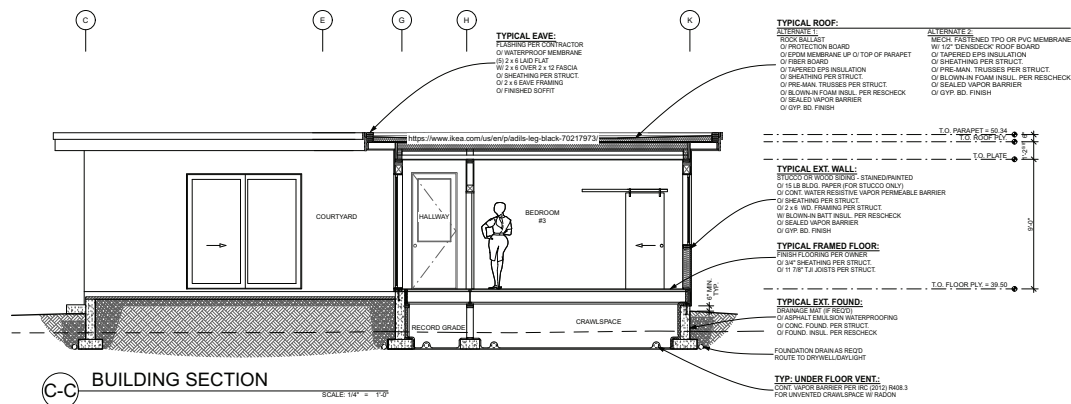
A2.3



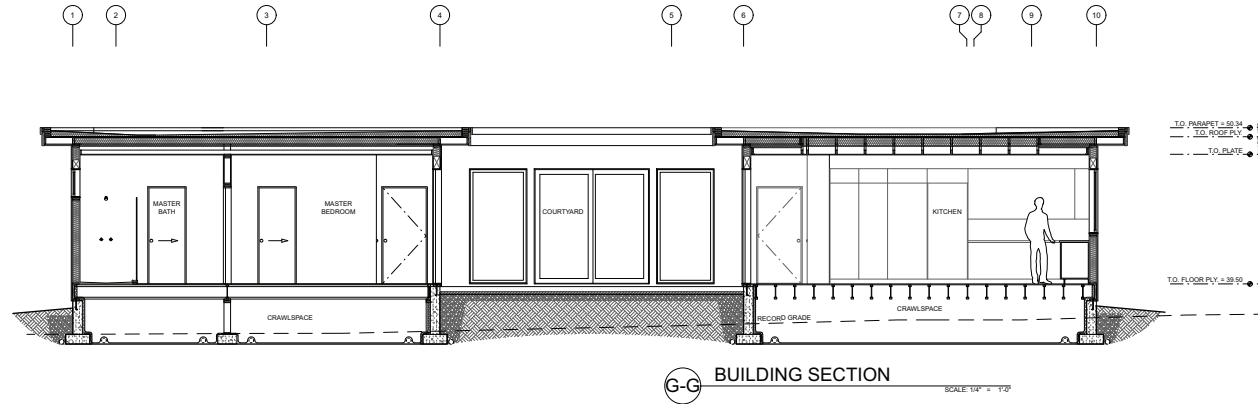
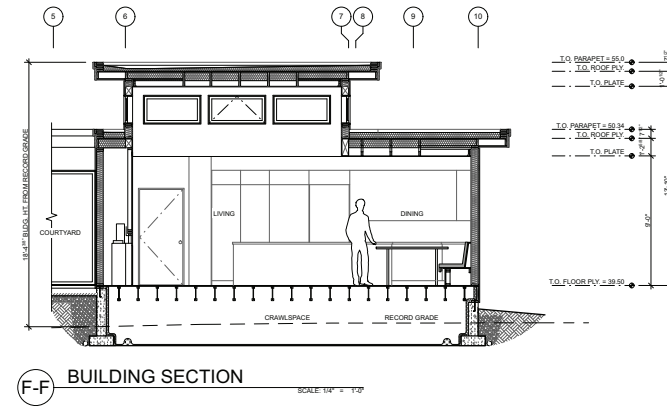
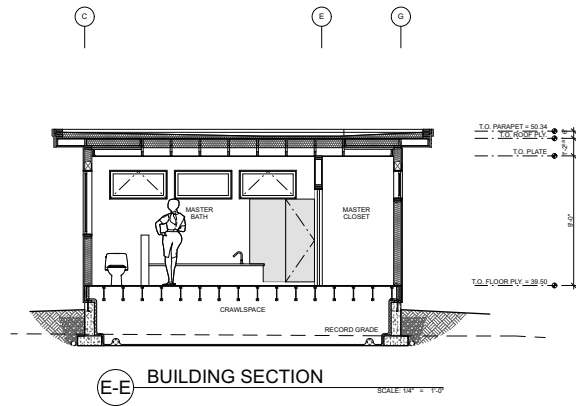
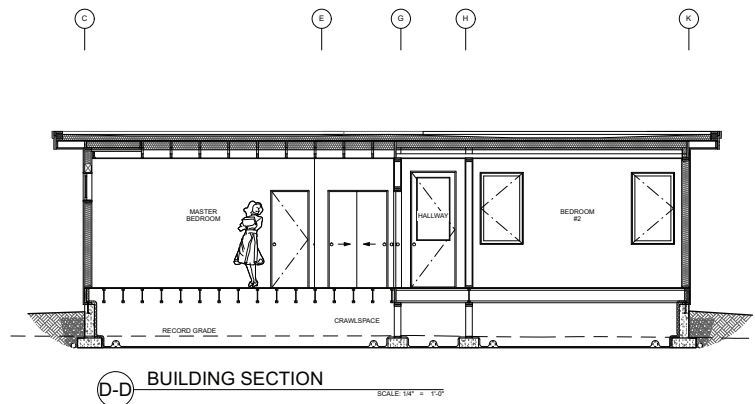
A-A BUILDING SECTION SCALE: 1/4" = 1'-0"



B-B BUILDING SECTION SCALE: 1/4" = 1'-0"



A3.1



PRINT DATE: 1/19/21
PERMIT SET:

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DESIGN REVIEW SET, NOT FOR CONSTRUCTION

ANTONY & SARAH GRAY RESIDENCE
HAILEY LOTS 1, 2, 3 & 4, BLK 38, 12,000 S.F.
121 N. 3RD AVE, HAILEY, IDAHO

DRAWN BY:
D3 DRAFTING, INC.
KETCHUM, ID
208.720.6308

BUILDING SECTIONS

SCALE: AS NOTED

A3.2



Ledgend Tall Outdoor Wall Sconce

ITEM NUMBER

FES354802



BRAND

Feiss

DESCRIPTION

The Ledgend Tall Outdoor Wall Sconce features a Dark Weathered Zinc finish with an interior White glass diffuser. Three heights available. Cast aluminum construction provides durability to protect against harsh elements. Integrated 22/28/32 watt 120 volt 90CRI 2700K 600-2560 lumen output LED light source. Dimmable with low-voltage electronic dimmers. 5 inch width x 17.5/26/34 inch height x 3.375 inch depth. UL listed. Wet rated. ADA compliant.



Shown in: Dark Weathered Zinc / White

| | |
|-------------|------------------------|
| SHADE COLOR | White |
| BODY FINISH | Dark Weathered Zinc |
| WATTAGE | 32W |
| DIMMER | Low Voltage Electronic |
| DIMENSIONS | 5"W x 26"H x 3.375"D |
| LAMP | 1 x LED/32W/120V LED |

ITEM NUMBER

FES354802

COMPANY

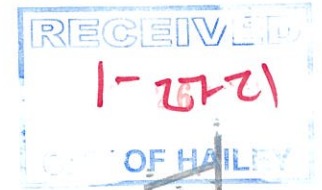
PROJECT

FIXTURE TYPE

APPROVED BY

DATE

Exterior Photos 121 N 3rd Ave - Existing Outbuildings



Exterior Photos 121 N 3rd Ave - Existing Outbuildings



Exterior Photos 121 N 3rd Ave - Existing Outbuildings



Exterior Photos 121 N 3rd Ave - Existing Outbuildings



Exterior Photos 121 N 3rd Ave - Existing Outbuildings



Exterior Photos 121 N 3rd Ave - Existing Outbuildings



Exterior Photos 121 N 3rd Ave - Existing Outbuildings



Return to Agenda