

AGENDA
Hailey Planning and Zoning Commission
Monday, March 20, 2023
5:30 p.m.

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

From your computer, tablet, or smartphone: <https://meet.goto.com/CityofHaileyPZ>

Via One-touch dial in by phone: <tel:+15713173122,506287589#>

Dial in by phone: United States: +1 (571) 317-3122 Access Code: 506-287-589

Call to Order

- Public Comment for items not on the Agenda

Consent Agenda

- [CA 1](#) Adoption of Meeting Minutes dated March 6, 2023. **ACTION ITEM.**
- [CA 2](#) Adoption of Findings of Fact, Conclusion of Law of a Planned Unit Development Application submitted by Blaine County School District c/o ARCH Community Housing Trust, Inc. for one (1), two-story multifamily building consisting of four (4) residential units and a one (1), one-story detached studio unit, to be located at 128 W. Bullion (Lot 10A, Parkview Estates) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The PUD Application includes additional amenities and a request for waivers. **ACTION ITEM.**

Public Hearing

- [PH 1](#) Consideration of a Design Review Application by F & G Idaho LLC for two (2) new apartment buildings, to be known as Maple Street Apartments, and consisting of studio, one and two-bedroom units for a total of 18 residential units. This project will be located at 50 West Maple Street (Lots 16-20, 20' of Maple Street Adj to Lot 20, Block 5, Hailey Townsite) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**
- [PH 2](#) Consideration of City-Initiated Text Amendment to the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.05: Official Zoning Map and District Use Matrix, Section 17.05.040: District Use Matrix, to include amendments and additions to modernize the matrix requirements. **ACTION ITEM.**

Staff Reports and Discussion

- [SR 1](#) Discussion of current building activity, upcoming projects, and zoning code changes.
- [SR 2](#) Discussion of the next Planning and Zoning Meeting: **April 3, 2023**
 - Continuation of DR ARCH / BCSD
 - DIF

Return to Agenda

**Meeting Minutes
Hailey Planning and Zoning Commission
Monday, March 6, 2023
5:30 p.m.**

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Present

Commission:

Staff: Robyn Davis, Brian Yeager, Chris Simms, Christian Ervin, Mike Baledge, Cece Osborn, Emily Rodrigue, Jessie Parker

5:30:07 PM Call to Order

- **5:30:30 PM** Public Comment for items not on the Agenda. No comment.

5:31:31 PM Consent Agenda

- **CA 1** Adoption of Meeting Minutes dated February 21, 2023. **ACTION ITEM.**

5:31:36 PM Sauerbrey motioned to approve meeting minutes dated February 21st. **seconded. All in Favor.**

Public Hearing

5:32:00 PM Chair Fugate stated PH 1 and PH 2 will be held currently.

- **PH 1** Consideration of a Planned Unit Development Application submitted by Blaine County School District c/o ARCH Community Housing Trust, Inc. for one (1), two-story multifamily building consisting of four (4) residential units and a one (1), one-story detached studio unit, to be located at 128 W. Bullion (Lot 10A, Parkview Estates) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The PUD Application includes additional amenities and a request for waivers. The Applicant is requesting the following waivers:
 - Minimum Size for Planned Unit Development: Reduce the minimum lot size from one (1) acre to 0.31 acres.
 - Maximum Density: Increase allowed density from three (3) multi-family units to five (5) multi-family units.
 - Maximum Lot Coverage: Increase the maximum lot coverage requirements by approximately eight (8) percent. **ACTION ITEM.**

[5:33:29 PM](#) Davis provided brief history of parcel and applicants intent of project. Davis turned floor to applicant team.

[5:35:14 PM](#) Michelle Griffith, ARCH Community Housing Trust, thanked commission and public. Griffith introduced applicant team. Griffith provided a background on housing struggles within BCSD. Griffith explained plan is to rent the units to district employees no more than 30% of adjusted growth income. Griffith explained design is meant for one household in each unit.

[5:40:26 PM](#) Sam Stahlnecker, Opal Engineering, went through the proposed site plan. Stahlnecker stated each unit will have two dedicated parking stalls. Stahlnecker discussed paving and pedestrian access. Stahlnecker provided an alternative layout with studio on along Bullion frontage, noting access isle would be longer. Stahlnecker provided revised site plan, noting changes include wrap around porch along frontage of Bullions with the 3plex.

[5:45:47 PM](#) Martin Kaplan, introduced himself and Susan Scovill. Kaplan explained decision behind design of studio at rear. Kaplan stated all units are identical except for the ADU. Kaplan provided revised elevations that include first unit to access off Bullion. Kaplan explained how broke up the façade with the roof lines, projections, and siding.

[5:51:22 PM](#) Scovill noted how entry roofs help break the building up, and that all entries will have snow clips.

[5:52:00 PM](#) Scanlon asked if there will be a property line vacation for the access. Scanlon asked if there is some way could step the building at the midpoint, possibly add a gable? To help break up the roof. Scanlon suggested another porch on the southwest corner and different colors/materials.

[5:54:29 PM](#) Stahlnecker stated there are no plans to vacate the property but as part of the process will have an easement recorded in perpetuity.

[5:54:56 PM](#) Stone asked if viable at 30%? Griffith stated that is the industry accepted standard. Griffith explained trying to make the house affordable for any employees. Stone asked what happens if don't have any BCSD employees to put in it. Griffith explained options school district has. Stone asked how ended up with 1 acre for PUD. Davis stated that number has been around for a very long time and that could be an update for the future. Smith asked if allowed other projects that did not meet the 1 acre. Davis confirmed – River Street Townhomes. Griffith added that River Street Apartments is another.

[5:59:29 PM](#) Smith complimented applicant team. Smith asked if done some kind of market study for how many people would want a 3 bedroom place. Jim Foudy, BCSD Super Intendant, explained that 50% of employees employed are up for retirement within the next 5 years and that this is part of a larger project hoping to complete. Foudy summarized issues facing with housing and employees. Smith stated hoping to hear from adjacent neighbor on their preference of north south facing building.

[6:02:45 PM](#) Sauerbrey stated would like to see possible updated material board. Sauerbrey would like to see some communications between neighbors that will be affected. Sauerbrey asked about if fire access could still be met with the changes. Stahlnecker confirmed met with Fire Department did feel comfortable with both layouts. Griffith added will be doing 2hour firewalls. Sauerbrey would like to

see other forms of energy efficiently meeting code requirements. Sauerbrey asked how the 30% adjusted growth income worded. Griffith explained it's within the land lease between ARCH and BCSD. Sauerbrey is curious if BCSD would be open to considering deed restrictions. Griffith explained that the land lease addresses that, and it is a recorded document. Simms stated there would also be a recorded PUD Agreement. Sauerbrey confirmed that would continue even if ownership changes. Staff confirmed.

[6:10:07 PM](#) Chair Fugate thinks will need to go with studio in front. Chair Fugate stated it's great to see partnerships with the school district. Chair Fugate agreed with other commissioners comments.

[6:12:09 PM](#) Kaplan addressed Scanlon's concern regarding roof, that there was an intent in no having any dormers due to maintenance challenges. Kaplan stated could easily wrap deck along southwest side.

[6:15:45 PM](#) Chair Fugate asked if establishing agreement. Griffith confirmed there will be an easement and can address parking in one of two ways 1) add to ground lease or 2) house rules that are enforced through property management.

[6:16:33 PM](#) **Chair Fugate opened public comment.**

[6:17:24 PM](#) Tom Dale, 200 W Bullion, read aloud public comment. "We live directly next door to the proposed BCRD/ARCH development at 128 W. Bullion St. in Hailey. We were looking forward to seeing what ARCH would design, impressed with their other projects and mission. We very much support desperately needed workforce housing for the community and look forward to meeting new neighbors. Before we bought our house at 200 W. Bullion we asked the school district what they planned to do with the neighboring lot and they weren't sure, maybe a house project for students but really, no idea. We were aware of and trusted the Hailey GR zoning and went ahead with our home purchase. We didn't expect a four unit + 1 adu housing complex development and oppose both the waivers and the design. The current design is very large project on a small piece of land, oddly out of character with the neighborhood and strangely oriented with four front doors facing the side of our house. The 3rd waiver wasn't on the original mailed notice about allowing a larger project footprint relative to the property size. Please build the very necessary housing without the proposed waivers and more in character with the neighborhood. Please change the project scope to preserve the integrity and trust in the city zoning, and preserve the reputation of the school district and ARCH as good neighbors. Thank you"

[6:19:45 PM](#) Pen Stroh, lives across the street, think ARCHs is amazing and excited about it. Would deny the waivers, personal, they were expecting 3 units there, looking forward to having 3 units there. Like idea of plan flipped, so it's a little softened up front but it's a giant building. Think it's a little creepy that people who rent there would have to come out of their garages under the noses of their super intendent. As much as hear you're amazing. Also concerned about safety. Concerned about families with children playing on their bikes in the parking and to have only access to and from this building from that parking lot. Seems slightly off to her. Would prefer just the 3 units and somehow oriented towards the front back so that people have privacy and privacy from the district even though district employees and would keep the vegetation, keep the trees. Have letter on file. Chair Fugate confirmed had letter.

[6:21:33 PM](#) Brian, 216 W Bullion, echoes what the other neighbors have said in terms of the scale of the project. Does not feel like it fits in to the neighborhood, single family. Concerned with how this is going to fit in with the rest of the development taking place at end of Bullion. Think there is a lot going on and that in this pieced mealed development process feels like Hailey has. This is not something that is going to be figured out now but with all the waivers that have given for other projects on River Street neighbors here. Feels like whole River Street area getting a little over developed, maybe cart before the horse in terms of getting infrastructure. On Bullion St there is a talk about sidewalk. Point being, think if have more and more density in this area there needs to be more public safety and more consideration in how it all fits in bigger picture then lets approve this and then approve next project.

[6:24:26 PM](#) Dan Turner, Blaine County School Board Trustee, think need to keep in mind is the Why. The why is so critical. The amount of turn over seeing with staff at this point is in education is in crisis. People are leaving the industry in droves and have seen retirement rate go from 8% to 18% in last 3 years. Going to need to bring in a lot of skilled educations for our community if going to meet education needs for our kids. We are asking for little more than what is on the table but the need is so much greater than what asking for. We do have the one unit on Winterhaven and with that think it will be effective to help bring teachers into the program but again can't overstate what the need is.

[6:25:39 PM](#) Chair Fugate closed public comment.

[6:25:53 PM](#) Stahlnecker explained what asking for and what they are providing with the PUD application, summarizing that believe the benefits outweigh the impacts. Stahlnecker stated happy to work with neighbors. Griffith explained how the previous house was much prior to being demolished had a bigger impact that the proposed building. Griffith confirmed amend plans to have door/porch added and can have ADU either north or south. Griffith noted only one mature tree will be removed along that property line.

[6:30:20 PM](#) Nathan Schutte, landscape architect, explained intent is to keep as much vegetation as can and to supplement when can't.

[6:30:54 PM](#) Chair Fugate asked if all in agreement for different colors to break up units, would like to hear on feelings of studio location, and change of south unit door way, and anything else they have to say.

[6:31:50 PM](#) Scanlon asked length of parking outside of garage. Stahlnecker stated 20-22 ft. Scanlon suggested moving building about 2'. Scanlon thinks ADU should front Bullion. Scanlon asked if school district does not need the units, is it just restricted to non-profits. Griffith explained it is part of the land lease, but that also would not have empty houses sitting there. Griffith explained goal is to serve need allowed to be there. Scanlon asked in event someone leaves during school year, instead of being empty could it be used for City of Hailey. [6:36:23 PM](#) Foudy stated the waiting list for staff looking for homes is so long was able to get someone into existing unit.

[6:36:47 PM](#) Stone congratulated applicant team. Stone noted there is a lot of lawn, encourages reducing amount of turf proposed. Stone likes idea of doors to north and south side. Stone stated it seems to him that the PUD is with the school district and that would need to come back if that needed changed. Stone does not like way the roof and entry ways look, not sure how to make look better suggested gable or materials. Stone asked about infrastructure issues, staff is not aware of any.

[6:40:26 PM](#) Smith asked Tom Dale his preferences on doorways and studio apartment. Dale confirmed by shifting south would remove some of his privacy concerns. Dale expressed concern for his apples along his east property line. Dale stated everything does not like is because of size, it takes up so much space. Dale asked if rooms could be sublet out or have room mates. Applicant confirmed no. Dale confirmed would be better going south.

[6:43:46 PM](#) Scanlon asked how the subleasing is enforced. Griffith explained lease documents residents sigh anticipate all of this. Griffith summarized process, confirming no subleasing aloud and that a lot of inspections completed.

[6:45:24 PM](#) Smith would like to see staff come up with mechanism to downsize lot requirements, at least in GR. Smith is hoping this will get picked up along the way. Smith thinks changes by applicant will go a long way. Smith believes another 2' setback could help. Smith asked about landscaping. Schutte explained proposed plants. Smith and Schutte discussed landscape ideas for screening. Smith appreciates willingness of applicant team to change things around.

[6:50:12 PM](#) Sauerbrey believes issue from public comment is density. Sauerbrey stated needs to be looked at in frame – is it warranted? Sauerbrey discussed potential connectivity in future on Bullion and how this type of project putting school district employees in the center of it could be a good thing. Sauerbrey would like to see language regarding the flexibility of how these units can be rented out. Sauerbrey agrees these types of local partnerships are important to our community. Sauerbrey thinks public comment needs to be taken into great account moving forward. Sauerbrey supports flipping project by moving adu and move the doorways and also believes moving south doorway doesn't really create an extra walk. Sauerbrey believes need to take chances on opportunities we have, this is why PUD option exists.

[6:56:59 PM](#) Chair Fugate agrees with what has heard. Chair Fugate confirms all in agreement studio apartment moves towards Bullion, take the extra 2' in parking to give more breather to neighbors, get more specifics on plantings. Chair Fugate asked that the neighbors consider that basically going to know who tenants are. Chair Fugate thinks it is great that there could be some shared parking. Chair Fugate and staff discussed options for continuation. All in agreement will approve PUD tonight and continue Design Review. Commission confirmed with applicant items to bring back.

[7:06:35 PM](#) **Smith motion to approve the Planned Unit Development (PUD) Application by the Blaine County School District c/o ARCH Community Housing Trust, Inc., for the construction of a maximum of five (5) residential units on 0.31 acres, with a request for waivers and proposed benefits, located at Lot 10A, Parkview Estates (128 W. Bullion Street), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, finding that the project meets the standards under Section 17.10 of the Hailey Municipal Code, subject to Conditions 1-6 above. Stone seconded. All in Favor.**

- **PH 2** Consideration of a Design Review Application, to be heard concurrently with the Planned Unit Development Application, submitted by Blaine County School District c/o ARCH Community Housing Trust, Inc. for one (1), two-story multi-family unit consisting of four (4) attached residential units and a one (1), one-story detached studio unit, to be located at 128 W Bullion (Lot 10A, Parkview Estates) within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. **ACTION ITEM.**

[7:07:31 PM](#) Stone motion to continue the public hearing 2 to April 3, 2023. Scanlon seconded.
All in Favor.

[7:08:12 PM](#) Chair Fugate called for 5-minute break.

[7:14:25 PM](#) Chair Fugate called to order.

Chair Fugate stated will hear PH 3 and PH 4 concurrently.

- **PH 3** [7:14:35 PM](#) Consideration of a Planned Unit Development Application submitted by Darin and Kathleen Barfuss to subdivide 1371 Silver Star Drive (HAILEY FR S1/2 TL 7731 SEC 16 2N 18E) into eight (8) single-family residential lots to be known as Star Light Lane Subdivision. The PUD Application includes Community Housing amenities and a request for the following waivers:
 - Lot width, size, and density in the LR-2 Zoning District; and
 - The number of units served by a private street. **ACTION ITEM.**

[7:15:39 PM](#) Osborn introduced proposed projects and provided a brief summary of proposal. Osborn turned floor to applicant team.

[7:18:19 PM](#) Chad Blincoe, Blincoe Architecture, introduced himself and the property owners. Blincoe stated will start with the key points and address public comment received. Blincoe summarized history of application. Blincoe noted based off lot size can provide up to 4 lots, not 3 without waivers. Blincoe explained struggles faced when developing plan and what they wanted to do for the city. Blincoe provided background on property owners and history that affected the property and the owners. Blincoe explained why requesting waivers proposed. Blincoe noted parking provided is greater than what is required.

[7:27:10 PM](#) Scanlon asked about 20 ft. parking spaces. Blincoe explained proposed parking, noting some are actually larger than what is required.

[7:28:02 PM](#) Chair Fugate asked what the gray area near parking spots. Blincoe noted it is gravel area for parking. Blincoe continued to explain that parcel A is clear of obstructions. Blincoe explained where originally proposed sidewalk and that the city requested an in lieu fee.

[7:29:47 PM](#) Blincoe summarized items that do not meet and that the PUD does allow for PZ and Council to make amendments. Blincoe confirmed also asking for density waiver. Osborn explained density waiver and why only permitted three lots not four. Blincoe explained how total project meets lot coverage and also the single-family units based off lot areas. Blincoe offered to add plat note that would limit any possible future access onto Broadford. Blincoe addressed concerns of buffer along Broadford. Blincoe confirmed project meets fire separation per IRC, and explained only requirement would be on underside of front porch on Lot 3. Blincoe believes this design does a great job of pushing the structures into the property leaving the front open for wildlife. [7:33:46 PM](#) Blincoe discussed proposed amenities. Blincoe noted dedicating dotted areas on plans that allow for ability to bring Broadford Rd into compliance. Blincoe asked why certain items were not addressed when Colorado Gulch was developed and how the owner is paying the price now. Blincoe continued to list community benefits proposed.

[7:37:36 PM](#) Blincoe explained architectural proposal for homes. Chair Fugate noted not hearing a design review application. Blincoe asked if there are any further questions on architectural. Chair Fugate requested to focus on Subdivision and Planned Unit Development application. Blincoe asked if applicant team had further items to add.

[7:39:39 PM](#) Jacob Thomas, Landscape architect, summarized green spaces proposed and landscape proposed for areas.

[7:41:39 PM](#) Applicant explained how part of the development is the community housing, and how the need for housing is going to continue to grow. Applicant stated could easily subtract units but asked if that would benefit community the most. Applicant explained this design was to show the max they could do. Applicant explained pros and cons of building 3 homes. Applicant asked what the City would like to see so they can modify the concept to meet what the city would like.

[7:44:16 PM](#) Chair Fugate asked staff to explain community housing. Staff explained how community housing is defined within the City of Hailey.

[7:47:49 PM](#) Scanlon asked Blincoe if had a drawing showing the lot with 4 units and why it didn't work. Blincoe does not. Blincoe explained it was the access, that was being penalized for too long of a driveway. Scanlon asked if looked at reducing units from eight in proposed design. Blincoe confirmed could do reduce the units but it would reduce the number of units for community housing. Blincoe explained looking for commissioner input on direction preferred to. Scanlon asked if there were any plans on the other parcel. Blincoe explained no, goal is to sell that property as his.

[7:52:48 PM](#) Scanlon asked about required dedication of Broadford Rd. Davis explained as it sets, Broadford is a substandard road and public works has asked for the dedication to bring the road to standards.

[7:53:39 PM](#) Stone asked if there was a letter of support from ARCH. Davis stated no, but there was one Blaine County Housing. Stone would like to hear from public.

[7:53:57 PM](#) Smith interested in hearing public input. Smith noted parcel is 1.2 acres per Galena's drawing and could divide into four lots with units plus ADU's.

[7:55:09 PM](#) Sauerbrey knows plan for connectivity, asked if the in lieu fee was sufficient to cover cost of development along Broadford. Davis explained staff preference would be for applicant to initiate the build out of the shared used path, that the in lieu fees would not be enough to complete the entire path. Davis stated applicant and staff would work internally for base and the city would come back through to pave it.

[7:57:00 PM](#) **Chair Fugate opened public comment.**

[7:57:07 PM](#) Jeff Giese, 1501 Red Feather Way, main question was area development plan and when would see it. Curious what will happen with the next parcel. Density bonus seems high in the sky ask and not sure where at on that. It seems if borders LR 1, if rezoned to LR 1 could get to 7 lots or units through the code without any waivers which would also allow setbacks to be met. One of things concerns him about pushing everything to Broadford, is there's a good buffer between Broadford and those lots and have height limitation on those lots that buffer. Something would ask for consideration

on. Geise noted line of sight is reduced as come down that hill. Geise is concerned about private parking, could run into issues with accessing parking. As far as amount of parking, thinks it's really important to make sure get adequate parking. These homes when completed are going to sell 800k-1.1 million and likely would need two families living in some of these to afford that kind of mortgage. Appreciates allowing to speak and hard work commission staff work. Understands Barfuss need to do something with the property.

[8:00:45 PM](#) Mark Overfelt, Colorado Gulch Preserve HOA, relayed petition that they have a copy of and got signatures from adjacent neighborhoods. Against density, not development of the property think concern is going from 4 lots to 8 lots. Biggest concern is connectivity to the city. It was mentioned is this the right place for density. Doesn't seem like this is the right place for density, would hope that they stick with density and do four lots.

[8:01:56 PM](#) Dustin Stellars, 1350 Queen of the Hills, as the design looks the amount of houses going on property line behind his house and height of homes is unreasonable. Basically 30 ft. tall, wall to wall and go along his fence line. There's a lot of concerns for his privacy, security of his children, noise. There's a lot more in letter submitted. Can't tell a man what to do with his land but there's a right and wrong way to do things. Feels like it's the wrong way to do things for our community.

[8:03:22 PM](#) Amanda Houston, 1541 Red Feather, a lot of her comments Chad addressed. Asked a lot of questions about code. Jeff mentioned separation and height limits in Colorado Gulch that they are required to adhere too. Have a 15 ft. public utility and snow storage easement off of Broadford. Wondering if the City is going to require that. IF go to the property now, where the fence is, believes that is about where the right of way is and the snow pushes all the way up there. Obviously, if the road is widened there has to be snow storage along Broadford. Doesn't the City own the parcel on the other side of Broadford; can't they widen the road on that side so not taking someone else's property? If look at GIS, there is a flag lot. Think Chad mentioned could not get back to ne corner parcel discussing and think could allow for four flag lots which could accommodate ADUs giving you that 8 unit density on that property. Houston stated they are part of an association, listing what the Colorado Gulch HOA does. Houston stated associations are really expensive, but all association dues add to bottom line of what people have to pay. Houston stated it is worth looking at the offset, if can get higher density with ADUs people are going to control their maintenance. These are things asking them to consider.

[8:06:04 PM](#) KC, 1501 Red Feather, already been mentioned that Colorado Gulch and Broadford estates were required to put in a buffer. She can attest values the buffer parcel a lot, it helps with privacy, separation and noise. The current design of this parcel where houses abut right up to the easement, they are right on the road. Think it would actually be a deterrent to the residents who will eventually live there. Would advocate continuing that requirement for a buffer parcel and also adds continuity along Broadford and adds value to pedestrians. Snow storage, there is also a requirement for snow storage along Silver Star. Believe it was mentioned that there is a need for snow storage along Broadford as well. Think that those 2 things make this plan less appealing. Also would object to the density, feels really forced and out of character with the neighborhood. Would advocate for *unclear* delighted to see 5, delighted to see some community housing if could make it work. But don't believe this would be a successful plan.

[8:08:42 PM](#) Laura Jorgensen, 1521 Red Feather Way, would like more clarification on community housing. What counts as community housing? Can you sell it for profit? Can it be primary secondary homes? Someone who is working part time? How is it enforceable? What are its parameters? Is it truly a benefit?

[8:09:46 PM](#) Robbie, 1360 Queen of the Hills Drive, live right on the corner, walk Silver Star frequently. His concern is have seen near accidents on corner of Broadford and Silver Star, does not believe it was meant to be a full thorough fare. To hold amount of traffic that it has now. These developments should have easy access into town, there's no sidewalk, there's no real safe way to ride a bike into town. Have more people coming down Queen of the Hills now because of Broadford, having speeding there. The other concern, there's comprehensive plans have commercial property understand core needs of city and actually moved from 2nd Ave to be more rural. Opposed to the density, it isn't in line with their neighborhood or CGP sub.

[8:12:27 PM](#) Sam Stahlnecker, Carbonate Street, just wanted to pose a question to the commission, their job is to decide if benefits outweighing all the waivers requested. Doing some math while waiting because curious how many units could have in LR 1 and LR2. Think in LR 2 could go with 3 units with park requirements and LR 1 could go with 5 units with park requirements. Try to keep those unit counts in back of head for neighbor's sake is beneficial. Think this new type of housing is interesting, would ask given the makeup the given make up with City of Hailey is it really going to be that much more affordable or is there still that much demand for working class people who live here that make enough to afford market price housing. Think mention of comp plan is extremely important; is this location good for this amount of density? Or is a slightly less amount of density request more appropriate? In the PUD code, the maximum density bonus listed clearly is 25% so think 50% is significant ask especially in LR 2 on the outskirts of City of Hailey. Just getting into designs, think the plans are little misleading, documents submitted did not clearly define what the setbacks were proposed to be, did not see anything asking for waiver for those setbacks. Think that should be specified so that neighbors can be aware of what they are getting. It looked like some of the column on the front porches were feet apart which is a lot to ask for. Was looking at double frontage standards, and staff response saying there is an allowance to not impose double frontage standard but think it's important to create buffer along Broadford road. Last thing, talking about layout, the parking plan would require trespass on neighbor property to actually get into the stalls and think it's really important to look at how that actually functions if that is what they are proposing and if it is they should be requesting all of those waivers now so it's clear to the neighbors that's what actually going to be built. Commission has a big takes ahead of them and requires significant thought, and if this application is approved here the expansive and density around the perimeter of our city is much more plausible.

[8:16:13 PM](#) Aquila Kashino, 1360 Snowfly Drive, his primary concern, walk the kids down to pet the horses and it's been a dream of theirs to move out of a townhouse in Hailey and that kind of density to an area like this. It's still fairly dense, neighbors are easy speaking density. However wasn't anticipating looking at development that he came from being less than a 100 yards from their house. Sure there's been studies done, being the house is his biggest investment of his life, cant imagine anything but property value decline with this kind of development down the street. Although does understand community housing issues and understand it's a major issue. It does seem this is pretty high density. He knows what kind of living conditions arise when pack that many people into that small of an area. Traffic wise, crime wise usually higher density more that going on all of that was not

part of his dream, already have high speed traffic down the road and people using Silver Star as a thorough fare. Would be interested in studies on what this would do for property value.

[8:18:52 PM](#) Ali Freund, Snowlfy, plan to raise her kids down there and grew up on lot behind this. Does have concerns of project in fact it is in lightest density zone with highest minimum lot size with requirements. It's clear it's intended to protect the light views and openness of that district. Reading through land use map in Hailey, think the intention is to focus density towards the core and would argue this is not the opportunity. Think single lot can divided into four and that already increases housing inventory and stays true to character of neighborhood and maintains that green space the zoning prioritizes. Still think there are some major parking issues that need a lot more scrutiny. Think that fact that extreme allowance are being made for community housing think community housing needs to be truly considered if it warrants this level of leniency. Think need to weigh impact these waivers have at expense of residences, neighborhoods. Truly does not think it will meet the housing needs and have great impact the residences and future development.

[8:21:57 PM](#) Rick, 1521 Red Feather Way, Think on sole issue, big thing to him is precedent. Anytime start changing things anyone anywhere has right if give someone right to change it. So when have development, neighborhood way it is and want to change it have to look toward future. Totally agree, they totally have right to develop their property but on other hand just change all the rules and come up with reasons for it anyone can do it. It's a precedent that commission sets when they do variances.

[8:23:07 PM](#) Chair Fugate closed public comment.

[8:23:14 PM](#) Mr. Barfuss, owner, stated has lived there for last 30 years and provided brief background. Mr. Barfuss understands those don't want it in their neighborhood, but the taxes have doubled since annexed into the City and cannot afford for a vacant lot to just sit there. Barfuss explained asking for few variances on this property. Understand everyone is worried about density, and can put four units with ADUs and that would be about the same density. Barfuss understands everyone looks at it as not in their neighborhood. Barfuss apologized to neighbors from interrupting the neighborhood, that not trying to upset anyone in the neighborhood just trying to make a good development for the City.

[8:26:28 PM](#) Blincoe addressed concern of density, explaining asking for 4 additional units that are offering as Community Housing. Blincoe stated within building height setbacks. Blincoe asked where is the appropriate location for density, referring to pocket neighborhoods. Blincoe explained why does not follow thinking of blocking view. Blincoe addressed snow storage, that the calculations submitted are for their use not the City. Blincoe stated staff can go into more detail of community housing, noting language does require more than 1500 hours of working locally. Blincoe noted that the corner lot even as proposed brings it into compliance with city standards. Blincoe stated willing to install sidewalks. Blincoe explained the inaccurate, confirming will be updated once receive feedback back. Blincoe confirmed did meet with fire department regarding access. Blincoe reiterated willing to put in sidewalk, that it's better for them than the in lieu. Blincoe stated does have a professional realtor as part of the design team and can have them assist in property value questions. Blincoe disagrees with multi families in one of these units. Blincoe stated there are some precedents being set. Blincoe stated will be back with some other development based off city feedback.

[8:35:04 PM](#) Davis addressed comment of extend Broadford along east side, that there is sewer line runs along that side. Davis turned floor to Brian Yeager to further expand. [8:35:42 PM](#) Yeager

explained during Colorado Gulch project they were required to do certain improvements but doing anything to the east was problematic due to this pressured sewer line. Yeager explained his preference for the west side.

[8:36:50 PM](#) Citizen asked about her question regarding Community Housing. Chair Fugate stated it's based off how many hours a person works in the community. Osborn added that it has been beneficial as the only purchasers have to be local, that the market would exclude those out of area.

[8:38:17 PM](#) Osborn explained why City Staff is very favorable towards this type community housing.

[8:39:40 PM](#) Scanlon was not aware there was a buffer zone along Broadford in front of Colorado Gulch Preserve and makes him concerned about how close these houses could be without a buffer zone. Scanlon thinks if could get back to where don't need a waiver for setbacks could help. Scanlon noted density is an issue, always an issue. Scanlon explained there needs to be a compromise, a win win for everyone. Scanlon asked about privacy fence. Blincoe explained proposing fence along Broadford. Scanlon asked if 6'. Blincoe confirmed. Blincoe noted location of proposed fence, and confirmed to be wood fence. Blincoe confirmed would develop fence and not require existing neighbors to build fence. Scanlon asked Simms to clarify on what is and is not precedent.

[8:43:51 PM](#) Simms stated cannot disagree with public comment about a social precedent being set but there is not legal precedent being set. Simms explained no true legal precedent being set. Simms can't disagree with comment in social sense. Simms looked back at criteria and urges commission to consider criteria such as comp plan.

[8:44:46 PM](#) Scanlon believes project is well conceived, but thinks that somehow need to be more respectful to neighbors.

[8:45:11 PM](#) Stone believes that there is opportunity to use PUD in special circumstances, but does not see generating four more house being enough to grant a double density and various setbacks. Stone stated it takes all types of people to build a community. [8:46:58 PM](#) Stone does like concept of exactly what trying to work with Staff on but don't think this is setup will be successful that these homes would just sell at market value. Stone suggested sticking with in LR 2 requirements. Stone suggested some kind of buffering to neighbors to North West. Stone suggested possibly doing a four-plex, unsure if could do though. Stone does like language for community housing and does want to target it in other locations.

[8:49:14 PM](#) Smith asked if desire/need to provide more housing availability supersede our desire/need to maintain our neighborhoods, sense of place and community. [8:49:45 PM](#) Smith explained what sees currently when drives down Broadford Rd and that think make nice transition. Smith stated this just doesn't seem to compliment that transition. Smith is unsure if this is the location for this level of density. Smith would like to think applicant can come back with less density. Smith suggested allowing pre-pud applications like pre design review applications. Smith does like idea they are trying help out with community housing, but just does not think it's the right spot. Smith suggested may want to take a look at LR 1 potential. Smith confirmed things have changed considerably over the last 30 years but that change still needs to fit. Smith said may come up with higher density but not to this extent.

[8:54:47 PM](#) Sauerbrey stated thing that has come up on this project is that it seems so close and the density. Sauerbrey stated that a lot of houses have gone and will go in. Sauerbrey does want to see it maintain character as well as connectivity. Sauerbrey said as project is now have something that doesn't fit area as neighbors have said. Sauerbrey would like clarification on number of units can fit. Sauerbrey stated the bumner is that if say reduces units reduces community housing units provided. Sauerbrey thinks should prioritize affordable housing, but it doesn't do enough if support housing at diverse range of income levels. Sauerbrey believes will be dealing with inventory issue for long time. Sauerbrey stated if local owned and local rented it could support two local families. Sauerbrey would like applicant to incorporate everyone's comments, using ADU model and still get community housing.

[9:01:08 PM](#) Chair Fugate would like to see proposed model in action but does think this is not the place for density in this location. [9:02:18 PM](#) Chair Fugate thinks need to offer all kinds of housing, but thinks this area is more conducive to similar design of surrounding neighborhoods. Chair Fugate stated while there is no legal precedent but think it would open them up to future issues just like this, whether it's legal or not legal. Chair Fugate does not think the waivers being asked for were clear and would like those clarified. [9:05:09 PM](#) Chair Fugate summarized when see them again would like waivers clarified, snow storage more clear. Chair Fugate agrees with what has been. Commission thanked public for attending and thanked applicant for being amendable to what they are talking about.

[9:06:20 PM](#) Blincoe confirmed hearing clear – density, setbacks, etc. Blincoe asked for clarification on Stone comments about staying in LR 2. Blincoe is confused on reference to Lena Cottages. Stone clarified he did not see anything in the plan that warrants a waiver. Stone stated when reference four plex, was meaning increase the diversity. Stone is not opposed to density changes, what he does not think matches the neighborhood is a bunch of buildings very close together. Stone stated giving his basic opinion, provided suggestions such as Townhomes. [9:09:24 PM](#) Blincoe stated going to ADU aspect, he thinks that is the same density if not greater. Blincoe thinks design with ADU could be more difficult. Chair Fugate clarified not asking them to design ADU. [9:10:57 PM](#) Sauerbrey stated from his perspective is that they could do both. Sauerbrey explained that it seems to him could go two different directions, as proposed or with 4 homes with ADUs, density would be the same.

[9:12:24 PM](#) Applicant stated will be pulling this application, does not want to continue. Applicant stated will come back with a different application at a future time.

[9:13:24 PM](#) Simms confirmed no motion needed, to table project.

- [PH 4](#) [7:15:32 PM](#) Consideration of a Preliminary Plat Application, to be heard concurrently with the Planned Unit Development Application, submitted by Darin and Kathleen Barfuss to subdivide 1371 Silver Star Drive (HAILEY FR S1/2 TL 7731 SEC 16 2N 18E) into eight (8) lots, ranging in size from 3,024 square feet to 4,878 square feet. This project is known as Starlight Lane Subdivision. **ACTION ITEM.**

Staff Reports and Discussion

- [SR 1](#) Discussion of current building activity, upcoming projects, and zoning code changes.
- [SR 2](#) Discussion of the next Planning and Zoning Meeting: **March 20, 2023**

Return to Agenda

FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On March 6, 2023, the Hailey Planning and Zoning Commission recommended for approval by the Hailey City Council a Planned Unit Development by Blaine County School District c/o ARCH Community Housing Trust, Inc. for one (1), two-story multifamily building consisting of four (4) residential units and one (1), one-story detached studio unit, to be located at 128 W. Bullion (Lot 10A, Parkview Estates), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The PUD Application includes additional amenities provided by the Applicant and a request for waivers to standards within Hailey's Municipal Code. The Applicant is requesting the following waivers:

- i. Waiver to the Minimum Lot Size for Planned Unit Development: Reduce the minimum lot size from one (1) acre to 0.31 acres.
- ii. Waiver to the Maximum Density: Increase allowed density from three (3) residential units to five (5) units.
- iii. Waiver to Maximum Lot Coverage: Increase the maximum lot coverage requirements by approximately eight percent (8%).

The Hailey Planning and Zoning Commission enters these Findings of Fact, Conclusions of Law, and Decision.

FINDINGS OF FACT

Notice: Notice for the public hearing was published in the Idaho Mountain Express on February 15, 2023, and mailed to property owners within 300 feet on February 15, 2023. Onsite Notice was posted on the property on February 27, 2023.

Application: The Applicant, the Blaine County School District c/o ARCH Community Housing Trust, Inc., has submitted a Planned Unit Development (PUD) Application, concurrently with a Design Review Application, seeking approval to construct one (1), two-story multifamily building consisting of four (4) residential units and, if funding is available, the construction of one (1), one-story detached studio unit, to be located at 128 W. Bullion (Lot 10A, Parkview Estates), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The PUD Application includes additional amenities provided by the Applicant and a request for waivers to standards within Hailey's Municipal Code. The Applicant is requesting the following waivers:

- i. Waiver to the Minimum Lot Size for Planned Unit Development: Reduce the minimum lot size from one (1) acre to 0.31 acres.
- ii. Waiver to the Maximum Density: Increase allowed density from three (3) residential units to five (5) units.
- iii. Waiver to Maximum Lot Coverage: Increase the maximum lot coverage requirements by approximately eight percent (8%).

The Applicant is aware of the acute housing crisis within the Wood River Valley, an extreme shortage of both community and workforce housing. The proposed amendment's objective is to help alleviate the housing shortage and further provide housing for those employed with the Blaine County School District (BCSD). Under the PUD, the Applicant plans to construct and offer up to five (5) residential units, funding permitting, for employees of the BCSD. These units would be available for rent by employees for not more than thirty (30) percent of the employee's adjusted gross income. Adjusted gross income will include, at a minimum, deductions for taxes and federal withholding, and may also include deductions

for student loan debt, retirements savings account contributions, childcare costs, and other deductions as determined by the district. The rental units comprise of three (3) bedrooms, two-and-one-half (2.5) bathrooms, kitchen and living area, and storage and laundry rooms. The units within the four-plex building range in size between 1,369.6 sq. ft. and 1,412 sq. ft, and the detached studio is approximately 653 sq. ft. in size.

The Applicant is proposing to increase the residential units from three (3) units, which are permitted outright within the zoning districts governing the site, to up to five (5) units, funding permitting. The additional two (2) residential units equate to a 67% density bonus which, pursuant Code §17.10.040.01 B, Density Bonuses outside of those listed in Code §17.10.040.01 require approval by a unanimous vote of the City Council following a recommendation by the Commission. Staff is fully supportive of the proposed density bonus, as it directly benefits local employers and residents within the Hailey community.

Additionally, Staff and the Applicant studied the site plan in developing a recommendation for increased density. The logic to the increased density is as follows:

- With the addition of the two (2) residential units, most of the primary Bulk Requirements of Hailey's Municipal Code (i.e., setbacks, building height) can be met. The underlying zoning districts allow for three (3) residential units to be constructed on the site; however, under a PUD Application, flexibility in type, design, and sitting of structures, and more efficient use of land is encouraged so long as a compatible relationship remains between the uses within the proposed PUD and to the community in general. While waivers to the maximum density are being requested, the Applicant's proposal is compatible with the surrounding area, Comprehensive Plan, and community in general. The waivers, public benefits, and compatibility with the Comprehensive Plan have been further analyzed herein.

The PUD Ordinance further requires the following Amenities: **Each PUD shall provide one or more of the following amenities, commensurate with the size and density of the development, and commensurate with the modifications requested by the Applicant, to ensure a public benefit.** The list of one or more includes an open-ended standard:

I.13: Other Amenities: Other project amenities and/or community benefits found, by recommendation of the Commission and Council approval, to promote the purpose of this chapter and the goals of the comprehensive plan.

The Applicant plans to construct and offer up to five (5) residential units, funding permitting, for employees of the BCSD. These units would be available for rent by employees within BCSD for not more than thirty (30) percent of the employee's adjusted gross income. Adjusted gross income will include, at a minimum, deductions for taxes and federal withholding, and may also include deductions for student loan debt, retirements savings account contributions, childcare costs, and other deductions as determined by the district. This proposal is intended to meet I.13: Other Amenities, as noted herein.

Standards of Evaluation		
17.10.030: General Requirements:		
A.		The minimum gross size for properties that may be developed as a PUD is one (1) acre, except in the Business and Limited Business zoning districts within the Central Business District, the minimum gross size shall be 18,000 square feet. All land within the development shall be contiguous except for intervening streets and waterways.
Staff Comments		<p><i>The proposed PUD site is 0.31 acres, which is less than the minimum gross size for properties that may be developed as a PUD. The Applicant is requesting a waiver to this standard, proposing to reduce the overall size from one (1) acre to 0.31 acres, and as an amenity, ARCH Community Housing Trust is working with the BCSD to develop the proposed housing units as rental units to local BCSD employees for not more than 30% of the employee's adjusted gross income. Adjusted gross income will include, at a minimum, deductions for taxes and federal withholding, and may also include deductions for student loan debt, retirements savings account contributions, childcare costs and other deductions as determined by the district.</i></p> <p><i>Finding: Compliance. The Commission discussed the one (1) acre requirement as stipulated in code for all PUDs and requested that Staff consider amending this requirement in the future, as it seems to be an arbitrary number that needs further assessment. The Commission found that this standard has been met.</i></p>
B.		A tract or parcel of land proposed for PUD development must be in one (1) ownership or the subject of an application filed jointly by the owners of all property included.
Staff Comments		<p><i>The parcel is in one ownership.</i></p> <p><i>Finding: Compliance. The Commission found that this standard has been met.</i></p>
C.		Area Development Plan:
	C.1	When the owner of Contiguous Parcels is required to obtain PUD approval for any portion of the Contiguous Parcels, an Area Development Plan shall be submitted and approved. The Commission and Council shall evaluate the following basic site criteria and make appropriate findings of fact:
Staff Comments		<p><i>The entire parcel is proposed for PUD approval. The Applicant owns the adjacent site to the east (Blaine County School District – District Office at 118 W. Bullion Street), which is developed. A PUD Agreement is currently under review by the City Attorney and will be evaluated by the Council at a later date.</i></p> <p><i>Finding: Compliance. The Commission found that this standard has been met.</i></p>
	C.1.a	Streets, whether public or private, shall provide an interconnected system and be adequate to accommodate anticipated vehicular and pedestrian traffic.
Staff Comments		<p><i>The subject property is located within a gridded, developed street system. Access to the property is proposed from the existing public street, Bullion Street. Bullion Street is adequate to accommodate both the anticipated vehicular and pedestrian traffic resulting from the proposed project.</i></p> <p><i>Finding: Compliance. The Commission found that this standard has been met.</i></p>
	C.1.b	Non-vehicular circulation routes shall provide safe pedestrian and bicycle paths and provide an interconnected system to streets, parks and green space, public lands, or other destinations.
Staff Comments		<i>The project contains a system of walkways that connect the proposed buildings to green areas, the parking area, and the public street. The perimeter sidewalk proposed along the property frontage is an extension to the existing 6'-wide sidewalk along the</i>

	<i>property frontage of 118 W. Bullion Street (BCSD District Office). This perimeter sidewalk connects to the interior sidewalk (4' wide) that connects to each unit entrance along the western property line. The proposed sidewalks provide safe access and sufficient circulation around and through the site.</i>	
	<i>Finding: Compliance. The Commission found that this standard has been met.</i>	
C.1.c	Water main lines and sewer main lines shall be designed in the most effective layout feasible.	
Staff Comments	<i>Water and sewer main lines are existing and readily available for utilization by the Applicant. Connection and location details of this municipal infrastructure has been further analyzed in the attached Design Review Staff Report.</i>	
	<i>Finding: Compliance. The Commission found that this standard has been met.</i>	
C.1.d	Other utilities including power, telephone, cable, and gas shall be designed in the most effective layout feasible.	
Staff Comments	<i>This standard will be met.</i>	
	<i>Finding: Compliance. The Commission found that this standard has been met.</i>	
	C.1.e	Park land shall be most appropriately located on the Contiguous Parcels.
Staff Comments	<i>This proposal will not be subdivided, as it is anticipated to remain a multifamily rental project under one ownership. The City Park requirements are found in the subdivision code, and do not apply to this project.</i>	
		<i>Finding: Compliance. The Commission found that this standard has been met.</i>
C.1.f	Grading and drainage shall be appropriate to the Contiguous Parcels.	
Staff Comments	<i>A Grading and Drainage plan has been prepared as part of the Design Review submittal and has been further analyzed in the attached Staff Report. In summary, it appears that grading and drainage are appropriate to the parcel and contiguous parcels.</i>	
		<i>Finding: Compliance. The Commission found that this standard has been met.</i>
C.1.g	Development shall avoid easements and hazardous or sensitive natural resource areas.	
Staff Comments	N/A	
C.2	Upon any approval of the PUD application, the Owner shall be required as a condition of approval to record the Area Development Plan or a PUD agreement depicting and/or detailing the approved Area Development Plan. The Area Development Plan shall bind the Owner and Owner's successors.	
Staff Comments	<i>A PUD Agreement will be recorded if the project is approved. This agreement will further depict and/or detail the Area Development Plan, if needed.</i>	
		<i>Finding: Compliance. The Commission found that this standard has been met.</i>
D.	Solar Access: Street and lot orientation, landscaping, and placement of structures shall provide solar access to all south roofs and walls to the maximum extent feasible to promote energy efficiency.	
Staff Comments	<i>The project site is narrow from east to west dictating the orientation of building length to sit from north to south on the lot. While solar access to all roofs and walls are minimal, the Applicant has stated that they plan to minimize energy consumption in other ways - by incorporating/utilizing the following:</i> <ul style="list-style-type: none">- Double Glazed Windows- Low Emissivity Glazing	

	<ul style="list-style-type: none"> - LED lighting will be utilized throughout the project <p>Additionally, the Applicant plans to incorporate additional energy conserving methods into the overall site plan and/or building design:</p> <ul style="list-style-type: none"> - Drought tolerant and low water use landscaping is proposed - Energy efficient appliances will be utilized within each unit - The Applicant is supportive of wiring each unit for rooftop solar and EV charging; however, internal discussions with Idaho Power will need to take place with regard the capabilities of the existing transformer. The Applicant will make every effort to provide these additional energy-conserving amenities but cannot commit to supplying this infrastructure at this time. <p><i>Finding: Compliance. While the Commission found this standard to be met, the Commission encouraged the Applicant to adhere to their commitment to make every energy-conserving amenity given the update building designs and placement.</i></p>
E.	Access: Access shall be provided according to standards in Chapter 16.04, Development Standards, of this Code. Buildings may not be so arranged that any structure is inaccessible to emergency vehicles.
Staff Comments	<p>Access to the site and buildings have been provided according to the standards within Chapter 16.04. While emergency access is adequate as proposed, the Hailey Fire Department shared the following concerns:</p> <ul style="list-style-type: none"> - Dead-end fire apparatus access roads in excess of 150' shall provide width and turnaround provisions in accordance with Table D103.4 of the IFC. It appears that that the dead-end fire apparatus road is not in excess of 150' but is measured from the edge of asphalt along the public street, Bullion Street, as 148.46. If this distance exceeds 150', the Applicant shall meet provisions in accordance with Table D103.4 of the IFC. - Multifamily structures that are larger than duplex units are required to be sprinklered or firewall separation between each unit shall be met. It appears that the Applicant intends to meet the appropriate firewall separation between each unit. - It is unclear whether all points of the proposed buildings can be accessed within 150' of the fire apparatus. Per the Applicant, all buildings can be access within 150' of the fire apparatus; however, if this standard cannot be met, the Applicant shall comply with alternative provisions of the IFC (i.e., sprinkling the buildings). <p><i>Finding: Compliance. The Commission found that this standard has been met.</i></p>
F.	Underground Utilities: Underground utilities, including telephone and electrical systems, shall be required within the limits of all PUDs.
Staff Comments	<p>All utilities will be installed underground. The Design Review process will require careful placement and screening of all ground and roof-mounted utilities.</p> <p><i>Finding: Compliance. The Commission found that this standard has been met.</i></p>
G.	Public Easement: In each case where a PUD project is located adjacent to public lands, a public easement to those lands shall be provided. All existing public access to public lands must be preserved.
Staff Comments	N/A
H.	Pathways: In each case where a PUD project encompasses a non-vehicular pathway as depicted on the Master Plan, a pathway constructed to City standards shall be provided.
Staff Comments	N/A, as no amenities are proposed to meet this standard.

I.		Amenities: Each PUD shall provide one or more of the following amenities, commensurate with the size and density of the development, and commensurate with the modifications requested by the applicant, to ensure a public benefit:				
	I.1	<p>Green Space. All Green Space shall be granted in perpetuity and the PUD agreement shall contain restrictions against any encroachment into the Green Space. Where a subdivision is involved as part of the PUD approval process, Green Space shall be identified as such on the plat. A long-term maintenance plan shall be provided. Unless otherwise agreed to by the City, the PUD agreement shall contain provisions requiring that property owners within the PUD shall be responsible for maintaining the Green Space for the benefit of the residents or employees of the PUD and/or by the public. Green space shall be set aside in accordance with the following formulas:</p> <table><tr><td>For residential PUDs</td><td>A minimum of .05 acres per residential unit.</td></tr><tr><td>For non-residential PUDs</td><td>A minimum of 15% of the gross area of the proposed PUD.</td></tr></table>	For residential PUDs	A minimum of .05 acres per residential unit.	For non-residential PUDs	A minimum of 15% of the gross area of the proposed PUD.
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For non-residential PUDs	A minimum of 15% of the gross area of the proposed PUD.					
Staff Comment		N/A, as no amenities are proposed to meet this standard.				
	I.2	<p>Active Recreational Facilities: Active recreational facilities include amenities such as a swimming pool, tennis courts or playing fields, of a size appropriate to the development's needs. The PUD agreement shall contain provisions requiring that such facilities be maintained in perpetuity or replaced with another similar recreation facility.</p>				
Staff Comment		N/A, as no amenities are proposed to meet this standard.				
	I.3	<p>Public Transit Facilities: Public transit facilities include a weather-protected transit stop or station and must be on a designated transit route.</p>				
Staff Comment		N/A, as no amenities are proposed to meet this standard. Bus service exists along River Street at the City-owned Park n' Ride parcel. Mountain Rides does not feel an additional stop is needed in the subject area.				
	I.4	<p>Preservation Of Vegetation: Preservation of significant existing vegetation on the site must include the preservation of at least seventy five percent (75%) of mature trees greater than six-inch (6") caliper on the site.</p>				
Staff Comment		<p>There is no existing vegetation of note on the site.</p> <p>Finding: Compliance. The Commission found that this standard has been met.</p>				
	I.5	<p>Wetlands: Protection of significant wetlands area must constitute at least ten percent (10%) of the gross area of the proposed PUD.</p>				
Staff Comment		N/A				
	I.6	<p>River Enhancement: Enhancement of the Big Wood River and its tributaries must include stream bank restoration and public access to or along the waterway.</p>				
Staff Comment		N/A				
	I.7	<p>Community Housing: For residential PUDs, the provision of at least ten percent (10%) of the approved number of dwelling units or lots as community housing units affordable to households earning between seventy percent (70%) and one hundred twenty percent (120%) of the area median income. This provision may be modified for individual projects based on the merits of the proposal as determined by the Commission and Council.</p>				
Staff Comment		<p>Under Standard 1.13 below, the Applicant plans to construct and offer up to five (5) residential units, funding permitting, for employees of the BCSD. These units would be available for rent by employees within BCSD for not more than thirty (30) percent of the employee's adjusted gross income. Adjusted gross income will include, at a minimum, deductions for taxes and federal withholding, and may also include deductions for student loan debt, retirements savings account contributions, childcare costs, and other</p>				

		<p>deductions as determined by the district. The rent-restricted units will include 3-bedrooms and 2.5 bathrooms, kitchen and living areas, and storage and laundry rooms to help address some of the current housing concerns that employers and the city are experiencing.</p> <p>The Applicant is proposing to increase the residential units from three (3) units, which are permitted outright within the zoning districts governing the site, to up to five (5) units, funding permitting. Staff and the Applicant studied the site plan in developing a recommendation for increased density. The logic to the increased density is as follows:</p> <ul style="list-style-type: none">- With the addition of the two (2) residential units, most of the primary Bulk Requirements of Hailey’s Municipal Code (i.e., setbacks, building height) can be met. The underlying zoning districts allow for three (3) residential units to be constructed on the site; however, under a PUD Application, flexibility in type, design, and siting of structures, and more efficient use of land is encouraged so long as a compatible relationship remains between the uses within the proposed PUD and to the community in general. While waivers to the maximum density are being requested, the Applicant’s proposal is compatible with the surrounding area, Comprehensive Plan, and community in general. The waivers, public benefits, and compatibility with the Comprehensive Plan have been further analyzed herein. <p><i>Finding: Compliance. The Commission found that this standard has been met.</i></p>				
	I.8	Local Deed-Restricted Housing: For residential PUDs, the provision of at least thirty percent (30%) of the approved number of dwelling units or lots as local deed-restricted housing as defined by the local housing authority in its Community Housing Guidelines and reserved for households within the political boundaries of Blaine County, Idaho (residing full-time in Hailey, Idaho), and whose primary residence is within the residential PUD.				
Staff Comment		N/A, please refer to standard I.13 for an analysis of Other Amenities proposed.				
	I.9	Real Property: Dedication or conveyance of real property or an interest in real property to the city.				
Staff Comment		No real property is proposed for dedication. <i>Finding: Compliance. The Commission found that this standard has been met.</i>				
	I.10	Sidewalks. Off-site sidewalk improvements shall be constructed according to City Standard Improvement Drawings and provided (in addition to sidewalk improvements that are required by ordinance adjacent to the subject property) in accordance with the following formulas: <table><tr><td>For residential PUDs</td><td>A minimum of 100 linear feet per residential unit.</td></tr><tr><td>For non-residential or mixed-use PUDs</td><td>A minimum of 100 linear feet per 1000 square feet of gross floor area.</td></tr></table>	For residential PUDs	A minimum of 100 linear feet per residential unit.	For non-residential or mixed-use PUDs	A minimum of 100 linear feet per 1000 square feet of gross floor area.
For residential PUDs	A minimum of 100 linear feet per residential unit.					
For non-residential or mixed-use PUDs	A minimum of 100 linear feet per 1000 square feet of gross floor area.					
Staff Comment		While the Applicant is not proposing offsite sidewalks as a project amenity, the extension of the existing 6’-wide sidewalk, from 118 W. Bullion Street, is proposed along the property frontage. This perimeter sidewalk connects to an interior sidewalk (4’ wide) that connects to each unit entrance along the western property line. The proposed sidewalks provide safe access and sufficient circulation around and through the site. <i>Finding: Compliance. The Commission found that this standard has been met.</i>				
	I.11	Underground Parking: Underground parking must be provided for at least fifty percent (50%) of the required number of parking spaces in the PUD.				
Staff Comment		N/A, as no amenities are proposed to meet this standard.				

	I.12	<p>Energy Consumption. All principal buildings within the PUD must comply with sustainable building practices, as follows:</p> <table><tr><td>For residential PUDs</td><td>Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.</td></tr><tr><td>For non-residential or mixed-use PUDs</td><td>Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.</td></tr></table>	For residential PUDs	Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.	For non-residential or mixed-use PUDs	Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.
For residential PUDs	Buildings comply with local “Built Green” standards for certification, federal EPA “Energy Star” program, or Leadership in Energy and Environmental Design - Homes (LEED-H) standards for basic certification.					
For non-residential or mixed-use PUDs	Buildings comply with Leadership in Energy and Environmental Design (LEED) standards for basic certification.					
Staff Comment		<p><i>While no amenities are proposed to meet this standard, the Applicant has stated that they plan to minimize energy consumption by incorporating/utilizing the following:</i></p> <ul style="list-style-type: none">- Double Glazed Windows- Low Emissivity Glazing- LED lighting will be utilized throughout the project <p><i>Additionally, the Applicant plans to incorporate additional energy conserving methods into the overall site plan and/or building design:</i></p> <ul style="list-style-type: none">- Drought tolerant and low water use landscaping is proposed- Energy efficient appliances will be utilized within each unit- The Applicant is supportive of wiring each unit for rooftop solar and EV charging; however, internal discussions with Idaho Power will need to take place with regard the capabilities of the existing transformer. The Applicant will make every effort to provide these additional energy-conserving amenities but cannot commit to supplying this infrastructure at this time. <p><u>Finding:</u> <i>Compliance. While the Commission found this standard to be met, the Commission encouraged the Applicant to adhere to their commitment to make every energy-conserving amenity given the update building designs and placement.</i></p>				
	I.13	<p>Other Amenities: Other project amenities and/or community benefits found, by recommendation of the commission and council approval, to promote the purpose of this chapter and the goals of the comprehensive plan.</p>				
Staff Comment		<p><i>The primary amenity proposed within the PUD Application is that of employee housing for a local employer, the BCSD. The Applicant plans to construct and offer up to five (5) residential units, funding permitting, for employees of the BCSD. These units would be available for rent by employees within BCSD for not more than thirty (30) percent of the employee’s adjusted gross income. Adjusted gross income will include, at a minimum, deductions for taxes and federal withholding, and may also include deductions for student loan debt, retirements savings account contributions, childcare costs, and other deductions as determined by the district.</i></p> <p><i>The proposed amenity promotes the purpose of this chapter and the goals of the Comprehensive Plan, as follows:</i></p> <ul style="list-style-type: none">- <u>Section 1: Natural Resources, Energy and Air Quality</u> 1.4 Promote energy conservation and 1.5 Promote air quality protection. <i>The proposed Planned Unit Development (PUD) includes the development of up to 5 multi-family residential units in the General Residential (GR) zoning district in close proximity to the City of Hailey’s downtown core and is within walking distance to public transit. Additionally, the proposed project is within walking and biking distance to the majority of the facilities in which BCSD employees</i>				

	<p>work. The proposed project will allow for residential units with easy access to pedestrian, bicycle, and public transit opportunities which may result in a reduction in reliance on vehicular travel. This project will promote energy conservation.</p> <p>- <u>Section 4: Recreation, Parks, and Lands</u></p> <p>4.1 Create and maintain an interconnected system of parks, recreational facilities, trails, green spaces, and natural lands in order to provide diverse recreation opportunities for Hailey residents within ¼ mile to ½ mile of the greatest number of residents. The proposed PUD will allow for the addition of new residential units in close proximity to existing parks, recreation opportunities, and natural lands. Below is a list of existing recreational opportunities and their distances to the proposed project.</p> <ul style="list-style-type: none"> ○ Hop Porter Park – < 150 feet ○ Lion’s Park- 0.2 miles ○ Carbonate Trail Head – 0.25 miles <p>No subdivision is proposed, so no park dedication is required; however, the proposed units have excellent access to existing parks, open space, and recreation opportunities.</p> <p>- <u>Section 5 Land Use, Population and Growth Management</u></p> <p>5.1 Retain a compact City comprised of a central downtown with surrounding diverse neighborhoods, areas, and characteristics as depicted in the Land Use Map.</p> <ul style="list-style-type: none"> ○ f. Traditional Residential – Density varies depending on the qualities of difference neighborhoods, generally density is higher within ¼ mile of Downtown, Community Activity Areas, or Neighborhood Service Centers and connected by transit service. The proposed multi-family housing would provide high density residential infill in an area with good public transit connectivity. <p>5.5 Lessen dependency on the automobile. The proposed PUD includes the development of up to five residential units in the General Residential (GR) district in close proximity to the City of Hailey’s downtown core and is within walking distance to public transit. It is also within walking or biking distance of the majority of BCSD work locations. Because of the project’s pedestrian access to public transit and its adjacency to downtown, pedestrian and bike transit opportunities will allow for reduction in reliance on vehicular travel. This project will lessen dependency on the automobile.</p> <p>5.6 Manage and accommodate population growth by infill development and, when appropriate, minimal expansion by annexation and/or density increases. The subject property is an infill site, requesting a density increase to provide housing for Blaine County School District (BCSD) employees. The BCSD owns limited property and desires to provide as many units as possible with the property they do own.</p> <p>5.7 Encourage development at the densities allowed in the Zoning Code. The project site lies in the General Residential (GR) zoning district. The maximum</p>
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	<p>density allowed for the project site is 3 units. The applicant is proposing 5 units in an effort to maximize employee housing for the BCSD.</p> <ul style="list-style-type: none"> - <u>Section 8 Housing</u> 8.1 Encourage development that provides opportunities for home ownership and rental homes for individuals of all socio-economic levels. The proposed housing development will increase the availability of rental units for individuals of all socio-economic levels, including BCSD employees who historically have paid more than 30% of their income for housing or have struggled to find local housing. Additionally, by adding more supply of housing to the market, home affordability should increase. Ensuring that rents do not exceed 30% of adjusted income also allows the residents to save for down payments and thereby improves access to homeownership. - <u>Section 10 Transportation</u> 10.1 Create and maintain a pedestrian and bicycle-friendly community that provides a safe, convenient, and efficient multi-modal transportation system for all Hailey Residents. The proposed Planned Unit Development (PUD) includes the development of up to five residential units in close proximity to the City of Hailey’s downtown core and is within walking distance to public transit. Because of the project’s pedestrian access to public transit and its adjacency to downtown, pedestrian and bike transit opportunities will allow for reduction in reliance on vehicular travel. The development is also near the majority of the employment locations for the district. This project will lessen dependency on the automobile. - <u>Section 11 Community Design</u> 11.1 Establish a built environment that maintains a human scale, retains interest, aesthetics, encourages various levels of interaction among all members of the community, and enhances the character of different neighborhoods. The proposed units are designed to maintain human scale and interest and enhance the character of the neighborhood. Refer to the Design Review guideline responses for additional information. 11.2 Ensure building height and mass respects the scale of the traditional and historic built environment. The proposed multi-family housing units are two-story which is consistent with the existing homes in the surrounding neighborhood, and the short side of the 4-plex fronts Bullion Street to lessen the scale of the building. <p><i><u>Finding:</u> Compliance. The Commission found that this standard has been met.</i></p>
17.10.040: Developer Benefits:	
The Council may grant modifications or waivers of certain zoning and/or subdivision requirements to carry out the intent of this Chapter and the land use policies of the City.	
Staff Comment	<p>In exchange for rent-restricted employee housing available for rent by BCSD employees, the Applicant is requesting the following waivers:</p> <ul style="list-style-type: none"> i. Waiver to the Minimum Lot Size for Planned Unit Development: The Applicant is requesting approval to reduce the minimum lot size from one (1) acre to 0.31 acres.

		<p>ii. Waiver to the Maximum Density: The Applicant is requesting an Increase in the allowed density from three (3) residential units to five (5) units. The additional two (2) residential units equate to a 67% density bonus which, per Code §17.10.040.01 B, requires approval by unanimous vote of the City Council following a recommendation by the Commission.</p> <p>iii. Waiver to Maximum Lot Coverage: The Applicant is requesting an increase to the maximum lot coverage requirements by approximately eight percent (8%). Within the GR and TO Zoning Districts, and for buildings that are two-stories in height, above grade, and include garages, the maximum lot coverage permitted is 30%. With the addition of the two (2) units, the Applicant exceeds the maximum lot coverage by eight percent (8%), for a total coverage of 38%.</p> <p><u>Finding:</u> Compliance. The Commission found that this standard has been met, and further, supports the Applicant's proposal to construct five (5) rent-restricted, employee housing units, as this meets a strong community need; the benefits proposed carryout the intentions of this Chapter, the Comprehensive Plan, and offset the waivers requested.</p>
17.10.040.01: DENSITY BONUS:		
A.		The following maximum increases in density may be granted only if one of the following conditions are met, and if no other density increase has been granted:
	A.1	Ten percent (10%): Solar, wind, geothermal or other alternative renewable energy sources will provide at least fifty percent (50%) of the total energy needs of the PUD.
Staff Comment		N/A
	A.2	Ten percent (10%): At least twenty five percent (25%) of the property included in the PUD is in the floodplain and no development occurs within the floodplain.
Staff Comment		N/A
	A.3	Ten percent (10%): The developer of the PUD provides or contributes to significant off-site infrastructure benefiting the city (e.g., water tank, fire station).
Staff Comment		N/A
	A.4	Twenty percent (20%): The developer of the PUD provides or contributes to significant multi-modal infrastructure providing both vehicular and nonvehicular amenities benefiting the city and Wood River Valley.
Staff Comment		N/A
	A.5	Ten percent (10%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for silver certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.
Staff Comment		N/A
	A.6	Fifteen percent (15%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for gold certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.
Staff Comment		N/A
	A.7	Twenty percent (20%): The nonresidential or mixed-use PUD complies with leadership in energy and environmental design (LEED) standards for platinum certification. The bonus unit(s) shall not be constructed until a later phase, after actual certification for prior phase(s) is achieved.

Staff Comment	N/A
A.8	Twenty-five percent (25%): The PUD provides or contributes deed-covenanted community housing units within the PUD. The number of community housing units so provided shall be determined by the Council and Commission. The density bonus of twenty-five percent (25%) may be increased by the Council and Commission if an increase in the density bonus serves a compelling housing need in the City, as determined by the Commission and Council.
Staff Comment	N/A
B.	Density bonuses for project amenities and benefits to the community other than those listed here may be granted by unanimous vote of the council, following a recommendation by the commission, in order to carry out the purpose and intent of this chapter and the land use policies of the city. (Ord. 1191, 2015)
Staff Comment	<p><i>Per City of Hailey Code §17.05.040, the maximum multifamily residential density within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts is 10 units per acre. The subject property is 0.31 acres in size, which would allow for a maximum of three (3) multifamily residential units. The Applicant is requesting the allowance of at least four (4) residential units and up to five (5) residential units, including one four-plex and one detached studio, contingent upon funding. The addition of the two (2) residential units equate to a 67% density bonus which, pursuant Code §17.10.040.01 B., approval by unanimous vote of the City Council following a recommendation by the Commission is required.</i></p> <p><i>As summarized herein, the proposed PUD Application is providing an amenity which exceeds all other Density Bonus Amenities identified in Code §17.10.040.01, and Staff supports the Applicant's proposal, finding the five (5) rent-restricted, employee housing units to meet a strong community need; the benefits proposed carry out the intentions of this Chapter, the Comprehensive Plan, and offset the waivers requested.</i></p> <p><i>Finding: Compliance. The Commission found that this standard has been met.</i></p>
17.10.040.02: Density Transfer:	
Densities may be transferred between zoning districts within a PUD provided the resulting density shall be not greater than aggregate overall allowable density of units and uses allowed in the zoning districts in which the development is located.	
Staff Comment	N/A, as no density transfer is requested nor proposed.
17.10.040.05: Phased Development Allowed:	
The development of the PUD may be planned in phases provided that as part of the general submission, a development schedule is approved which describes:	
A.	Parcels: The parcels that are to be constructed upon in each phase and the date of each phase submission.
Staff Comment	<p><i>It is the Applicant's intent to construct the entire project at one time. A phased approach is not proposed.</i></p> <p><i>Finding: Compliance. The Commission found that this standard has been met.</i></p>
B.	Number of Units: The number of units to be built in each submission.
Staff Comment	N/A
C.	Schedule For Completion: A schedule for making contributions (if any), for the completion of project amenities and public improvements, for posting of security pursuant to subsection 17.10.050.08 of this Chapter, for dedication of Green Space, for conveyance of community housing and/or provision of employee housing.

Staff Comment		N/A
D.		Stage Planning: Each stage within the PUD shall be so planned and related to existing and/or planned services and facilities, including commercial space, such that each phase is self-sufficient and not dependent on later phases and so that failure to proceed to the subsequent stages will not have any adverse impacts on the PUD, its surroundings, or the community in general. Each stage shall also be planned so as to ensure that green space and any other amenities will be provided along with proposed construction at each phase of construction.
Staff Comment		N/A
17.10.040.06: Modifications to the Subdivision Standards:		
Standards in the Subdivision Title for streets, sidewalks, alleys, and easements, lots and blocks, and parks may be allowed. The requirements for sidewalks in the zoning districts set forth in Section 16.04.030 shall not be waived.		
Staff Comment		N/A, as no modifications to the Subdivision Standards are requested nor proposed.
Subsection 17.10.050.04(C) sets forth Standards of Evaluation required by the City Council.		
A.		Standards of Evaluation
	A.1	The proposed development can be completed within one (1) year of the date of approval or phased according to a development schedule as submitted in accordance with Section 17.10.040.05 of this chapter and approved by the City;
Staff Comment		<i>The project can be completed within a typical building permit timeline of 548 days.</i> <i>Finding: Compliance. The Commission found that this standard has been met.</i>
	A.2	The streets and thoroughfares proposed are suitable and adequate to carry anticipated traffic;
Staff Comment		<i>Bullion Street is adequate to carry the residential traffic generated from the proposed project. Staff further notes that the additional traffic generated by the two-unit density increase requested under the PUD does not trigger any additional traffic concerns, and that Bullion Street, and the surrounding streets (River Street) are adequate for the density proposed.</i> <i>Finding: Compliance. The Commission found that this standard has been met.</i>
	A.3	The PUD will not create excessive additional requirements at public cost for public facilities and services;
Staff Comment		<i>No excessive costs are anticipated from this project.</i> <i>Finding: Compliance. The Commission found that this standard has been met.</i>
	A.4	The existing and proposed utility services are adequate for the population densities and non-residential uses proposed;
Staff Comment		<i>Utility services are available in the area and are adequate.</i> <i>Finding: Compliance. The Commission found that this standard has been met.</i>
	A.5	The development plan incorporates the site's significant natural features;
Staff Comment		<i>The site does not contain any natural features worthy of protection.</i> <i>Finding: Compliance. The Commission found that this standard has been met.</i>
	A.6	Each phase of such development shall contain all the necessary elements and improvements to exist independently from proposed future phases in a stable manner;
Staff Comment		N/A, as the project is not phased.
	A.7	One or more amenities as set forth in subsection 17.10.030I of this chapter shall be provided to ensure a public benefit;

Staff Comment		<i>Please refer to Section I of this report for further details.</i>
		<i><u>Finding:</u> Compliance. The Commission found that this standard has been met.</i>
	A.8	All exterior lighting shall comply with the standards set forth in subsection 17.08C of this chapter; and
Staff Comment		<i>All exterior lighting will comply with the standards in Section 17.08C. Please refer to the Design Review Staff Report for further details.</i>
		<i><u>Finding:</u> Compliance. The Commission found that this standard has been met.</i>
	A.9	The proposed PUD Agreement is acceptable to the applicant and the city.
Staff Comment		<i>The City Attorney is reviewing the PUD Agreement, which will be brought to the City Council for further discussion and consideration.</i>
		<i><u>Finding:</u> Compliance. The Commission found that this standard has been met.</i>

Summary and Suggested Conditions: The Commission shall conduct a public hearing and review the Application, all supporting documents and plans, and recommendations of City Staff, in making their recommendation to the Council. In any public hearing on a PUD Application, the presiding officer may order the hearing to be continued for up to thirty (30) days at the same place, in which case no further published notice shall be required. The following Conditions of Approval shall apply:

1. The project shall receive Planned Unit Development approval subject to the Conditions outlined in the PUD Development Agreement.
2. Waivers are hereby granted as follows:
 - i. Waiver to the Minimum Lot Size for Planned Unit Development: Reduce the minimum lot size from one (1) acre to 0.31 acres.
 - ii. Waiver to the Maximum Density: Increase allowed density from three (3) residential units to five (5) units.
 - iii. Waiver to Maximum Lot Coverage: Increase the maximum lot coverage requirements by approximately eight percent (8%).
3. In exchange for the waivers granted, the Applicant shall rent each unit to Blaine County School District employees for not more than thirty (30) percent of the employee's adjusted gross income. Adjusted gross income will include, at a minimum, deductions for taxes and federal withholding, and may also include deductions for student loan debt, retirements savings account contributions, childcare costs, and other deductions as determined by the district.
4. This approval is subject to Design Review approval by the Hailey Planning and Zoning Commission and shall be modified to match that approval.
5. All energy efficiency and carbon reduction elements of the design noted herein shall be completed as described.
6. A Maintenance Plan shall be developed for any infrastructure (i.e., sidewalks, landscaping) within the public right-of-way.

CONCLUSIONS OF LAW AND DECISION

Based on the above Findings of Fact, the Commission makes the following Conclusions of Law and Decision, subject to the Conditions of Approval as noted above:

- 1) The application meets the General Requirements of Hailey Municipal Code Title 17, Chapter 17.10, Planned Unit Developments;
- 2) The development benefits set forth in Section 17.10.040 are commensurate with the amenities proposed;
- 3) The requirements of Section 17.10 have been met, including general compliance with the Hailey Comprehensive Plan.

Signed this _____ day of March, 2023.

Janet Fugate, Planning and Zoning Commission Chair

Attest:

Jessica Parker, Community Development Assistant

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of March 20, 2023

To: Hailey Planning and Zoning Commission

From: Emily Rodrigue, Community Development Resilience Planner/City Planner

Overview: Consideration of a Design Review Application by F & G Idaho, LLC for an eighteen (18) unit residential project, three stories in height, to be known as Maple Street Apartments. The proposed project will be located at 50 W Maple Street (Lots 16-20, Block 5, Hailey Townsite), within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts and the Downtown Residential Overlay (DRO). The proposal also includes: eighteen (18) parking spaces, fifteen (15), two-bedroom units and three (3) studio units.

Hearing: March 20, 2023

Applicant: F & G Idaho, LLC

Request: Design Review approval for an eighteen (18) unit residential project, three stories in height, to be known as Maple Street Apartments.

Location: 50 W Maple Street (Lots 16-20, Block 5, Hailey Townsite)

Zoning: General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO); 0.47 acres (20,393 sq. ft.)

Notice: Notice for the public hearing was published in the Idaho Mountain Express on February 24, 2023 and mailed to property owners within 300 feet on February 24, 2023.

Background and Application: The Applicant, F & G Idaho, LLC, is proposing to construct two (2) new apartment buildings, that are three stories in height, on the vacant parcel of Lots 16-20, Block 5, Hailey Townsite. This project, to be known as Maple Street Apartments, will comply with the DRO requirements and the proposal is as follows:

- Building A: Six (6) residential units
- Building B: Twelve (12) residential units
- Onsite Parking Spaces: 18 spaces
- Public Right-of-Way Improvements:
 - River Street Typical Section with Bulbout, Landscaping, Street Trees, Sidewalk/Bike Path
 - River Street: 11 public right-of-way parking spaces
 -
- Vehicular access to the site from the existing alley
- Varied unit sizes and number of bedrooms:
 - Eight (8) two-bedroom units at 846 square feet
 - Seven (7) two-bedroom units at 820 square feet
 - Three (3) studio units at 484 square feet

- Storage space is available for each unit
- Approximately 4,200 square feet of common useable open space is proposed

While the apartment buildings are located within the General Residential (GR) and Townsite Overlay (TO) Zoning Districts, the Applicant is utilizing the Downtown Residential Overlay (DRO). Requirements within the DRO allow for greater flexibility with regard density, parking, open space, and setbacks.

Parking for the proposed units will be accessed off of the existing alley (east of the parcel) to a parking area that is located to the rear of the proposed buildings. Eighteen (18) parking spaces are located onsite, which complies with the parking standards outlined in the DRO, or one (1) space per unit.

With regard to setbacks, the Applicant is proposing a front yard setback for Building A (facing Maple Street) of 20', a side yard setback from the alley of 10', and a side yard setback from River Street of 56'. For Building B, the front yard setback (facing River Street) is also 20', side yard setback from the north property line of 15', and a side yard setback from the south property line of 22'. These setbacks all comply with the Townsite Overlay (TO) Zoning District.

The proposed buildings are three (3) stories in tall, which results in an overall building height of approximately 31' 9 $\frac{3}{4}$ ". The surrounding area sees various residential uses, from single-family homes to townhomes, as well as commercial uses, as this parcel abuts the Business (B) Zoning District. The height of the surrounding uses vary on use and underlying zoning district. The maximum allowable height in the surrounding area ranges from 30' to 40' in height, depending on the project. The height of the proposed project fits nicely within this range. That said, the proposed project exceeds the building height maximum of the Townsite Overlay (TO) Zoning District by 1'-9 $\frac{3}{4}$ " from record grade. Staff has notified the Applicant and has suggested that the overall height proposed be reduced to meet the required building height of the district, or 30'. The Applicant has submitted a Text Amendment Application proposing to amend the maximum building height of the GR and TO Zoning Districts, from 30' to 35', which would be consistent with those parcels zoned GR and outside of the TO Zoning District. This Applicant is tentatively scheduled to be heard by the Planning and Zoning Commission on April 17, 2023.

The Applicant has already completed the Preapplication Design Review Process; the hearing for this Design Review occurred on June 6, 2022. Following the suggestions from the Planning and Zoning Commissioners, the Applicant has opted to reserve twelve (12) units as dedicated employee housing for SV Luxury Car Rental, with the remaining six (6) units also being reserved as local workforce housing. The policies and/or standards for rent-qualification of these remaining units have not yet been established.

Procedural History: The Applicant submitted a Design Review Preapplication on March 15, 2022 and it was certified complete on March 22, 2022. A subsequent public hearing before the Planning and Zoning Commission was then held on Monday, June 6, 2022, in the Hailey City Council Chambers and virtually via GoTo Meeting.

The Applicant then submitted a full Design Review Application on January 26, 2023 and it was certified complete on January 27, 2023.



General Requirements for all Design Review Applications				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	Complete Application
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	Engineering:
				Life/Safety: The building shall comply with IFC and IBC code requirements. A building sprinkler system and alarm system shall be installed, as set forth in the IFC. These have been Conditions of Approval.
				Streets, Water & Wastewater: Streets: While some iteration of the River Street Typical Section is proposed, Staff prefers to see the full concept implemented along River Street and Maple Street. The Applicant shall redesign to meet the River Street Typical Section Standard Drawing. Components that will need to be addressed further between the Applicant and Staff include, but are not limited to: <ul style="list-style-type: none"> - Sidewalk width - Street tree wells/landscaping areas - Streetlights - Bulbout dimensions and curvature - ROW parking - Irrigation and electrical plans This has been made a Condition of Approval.
				Water: The Applicant shall abandon any existing, unused water services. This has been made a Condition of Approval.
				Wastewater: -Currently, there is no sewer tap from the city for the parcel; a new sewer tap shall be installed at the center of the property, in relation to the sewer mainline. -The new sewer tap shall be witnessed, and in the case that this is not possible, be supplied the "coupon" from the sewer main. -While the sewer mainline is exposed, it shall be inspected by the Wastewater Division. These have been made Conditions of Approval.
				Building: N/A
				Parks and Greenspace: N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	17.08A Signs: The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			<i>Staff Comments</i>	N/A, as no signage is proposed as this time. Any signage exceeding four (4) square feet will need to be accompanied by a Sign Permit Application and be approved prior to installation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	See Section 17.09.040 for applicable code.
			<i>Staff Comments</i>	Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.

				<p><i>The project is comprised of two (2) apartment buildings (A and B) with a total of eighteen (18) residential units. The site plan shows a total of eighteen (18) onsite parking spaces, of which, one (1) parking space is an accessible parking space. Additionally, the Hailey Municipal Code allows twenty five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or four (4) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of four (4) spaces as compact spaces.</i></p> <p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units. That said, if unimproved public rights-of-ways are improved, this shall satisfy the guest parking requirement.</i></p> <p><i>The Applicant is proposing to improve the public right-of-way and street parking along River Street. Fourteen (14) street parking spaces are proposed along River Street.</i></p> <p><i>Additionally, the Property Manager/Management Company shall ensure all parking requirements within the public right-of-way are met. This includes, but is not limited to, restrictions to winter parking within the public right-of-way. This has been made a Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.040.06: Excess of Permitted Parking	<p>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</p>
			Staff Comments	<p><i>N/A, as the parking proposed is not in excess of 200% of the number of spaces required by the Hailey Municipal Code.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08C.040 Outdoor Lighting Standards	<p>17.08C.040 General Standards</p> <ul style="list-style-type: none"> a. All exterior lighting shall be designed, located, and lamped in order to prevent: <ul style="list-style-type: none"> 1. Overlighting; 2. Energy waste; 3. Glare; 4. Light Trespass; 5. Skyglow. b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes. c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties. d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires. e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.
			Staff Comments	<p><i>The Applicant shall install Dark Sky compliant, downcast, and low wattage fixtures, and shall comply with the Outdoor Lighting Ordinance. The Applicant shall submit a photometric plan that complies with Chapter 17.08, Article C of the Hailey Municipal Code. These have been made Conditions of Approval.</i></p>

<input type="checkbox"/> ?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.04M.060 Bulk Requirements Staff Comments	<p>Business (B) and Townsite Overlay (TO) Zoning Districts:</p> <p>Building Height:</p> <ul style="list-style-type: none"> - Permitted Building Height: 30’. - Proposed Building Height: Submitted engineering plans report both Building A and Building B at a height of 31’ 9 ¾”. This proposed design is not compliant with Hailey Municipal Code for building height in the General Residential (GR) and Townsite Overlay (TO) Zoning Districts. The Applicant has submitted a Text Amendment Application which increases the maximum building height in the GR and TO Zoning Districts to 35’. This is consistent with parcels located in the GR Zoning District and outside of the TO Zoning District. <p>The Commission may wish to discuss whether the proposed height and upcoming Text Amendment Application will impact the approval of this project. The Text Amendment Application will be heard by the Planning and Zoning Commission on April 17, 2023. T</p> <p>Building Setbacks:</p> <ul style="list-style-type: none"> - Permitted Setbacks: <ul style="list-style-type: none"> o Front Yard: 12’ o Side Yards: Alleyway: 6’; Private Property: 10’; Right of Way: 12’ o Rear Yard: Alleyway: 6’; Private Property: 10’ - Proposed Setbacks: <ul style="list-style-type: none"> o Front Yard: Building A: 20’; Building B: 20’ o Side Yard: Building A, east: 10’, west: 20’; Building B, south: 22’, north: 15’ <p>Rear Yard: Building A, 20’; Building B, 26’ Maximum Lot Coverage: Total footprint for both buildings as proposed is 5,414 square feet; Lot size is 20,393 square feet.</p> <p>-General Residential (GR) District with lot larger than 4,500 square feet, and building proposed is 2 or more stories above grade with no garage:</p> <ul style="list-style-type: none"> o Permitted Coverage: 25% o Proposed Coverage: 27% <p>The proposed lot coverage is not compliant with Hailey Municipal Code for maximum lot coverage. The Commission may wish to discuss modified building footprints with the Applicant that bring the proposed project into compliance.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required Staff Comments	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p> <p>A new 19.5’ wide mobility corridor is proposed along the full extent of the western edge of the parcel (River Street). This corridor conforms to the City of Hailey’s “River Street Detail” design concept, which carries a 12.5’ wide concrete sidewalk and a 5’ wide asphalt bike lane. The River St./Maple St. corner will be striped and painted with pedestrian crosswalk and bike lane indicators.</p> <p>A new 5.5’ wide concrete sidewalk is proposed along the Maple Street frontage or the full extent of the southern edge of the parcel.</p>

				<p>While some iteration of the River Street Typical Section is proposed, Staff prefers to see the full concept implemented along River Street and Maple Street. The Applicant shall redesign to meet the River Street Typical Section Standard Drawing. Components that will need to be addressed further between the Applicant and Staff include, but are not limited to:</p> <ul style="list-style-type: none"> - Sidewalk width - Street tree wells/landscaping areas - Streetlights - Bulbout dimensions and curvature - ROW parking - Irrigation and electrical plans <p>This has been made a Condition of Approval. We</p> <p>Additionally, both areas of street improvement do not currently host any sidewalks or bike lanes. The improvements will also include the addition of 11 street trees. One (1) street drywell and catch basin will be installed adjacent to the River Street improvements. All sidewalks will be lined with 6" concrete vertical curb.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			Staff Comments	This standard will be met.

Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey

1. Site Planning: 17.06.080(A)1, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings</p>
			Staff Comments	<p>Building A follows an east-west orientation that maximizes sun exposure for all units. This orientation is complimented by juliette balconies connected to the living/dining areas (2-bedroom units) and living/bedroom areas (studio units) on the 2nd and 3rd floors. A 1,553 square foot patio space buffers the south elevation of Building A, which provides all residents with a well-lit, spacious area to enjoy.</p> <p>Building B follows a north-south orientation, with the southern-most section of the building benefitting from maximum sun exposure. Juliette balconies on the west elevation are also included for each of the 2nd and 3rd floor units. A grass area with tree/shrub plantings buffers the entirety of the west elevation of</p>

				<p><i>Building B. This grass area has an additional pathway providing connection to the patio area, thus encouraging shared use of both exterior spaces.</i></p> <p><i>Ground level units each have sliding glass doors exiting from the unit directly into either patio space (Building A) or green space (Building B), further maximizing sun exposure and access to outdoor spaces.</i></p> <p><i>A second patio area of 540 square feet is offset from the northern elevation of Building B. The location of this patio will provide residents with a more shaded and temperate outdoor space to enjoy, with partial shade being provided by Building B. This patio will also host four (4) "U" style bike racks, totaling sixteen (16) bike spaces on site. bike rack and a portion of the fence line which runs along the entire length of the north edge of the parcel.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p>
			Staff Comments	<p><i>At this time, there appears to only be a single tree on the lot that will be removed, of at least 6-inch caliper. Deep snow cover prevents Staff from inspecting other plant material at the site, and snow cover will likely persist after the period of review for the Applicant. Anecdotal evidence suggests that a mix of native grasses and shrubs occupy the entirety of the site.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p>
			Staff Comments	<p><i>Site circulation has been designed to keep vehicular access and onsite parking to the existing alley. A new 19.5' wide mobility corridor is proposed along the full extent of the western edge of the parcel (River Street), in addition to a new 5.5' wide concrete sidewalk along the full extent of the southern edge of the parcel (Maple St.), directly adjacent to the larger of the two proposed patio areas.</i></p> <p><i>Sidewalks are also proposed along the interior portions of Building A and B, skirting the western and southern extents of the parking area. Bike rack areas have also been placed in locations that do not require the bicyclist to enter/exit the parking area in order to access the street, thus reducing risk and enhancing safety for access through the site and to the building.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p>
			Staff Comments	<p><i>Trash receptacles, recycling and utility boxes are located to the rear of the site/parking area and away from both buildings. They will be screened from view with planted trees and shrubs, and their location does not interfere with any foreseen uses. Snow will be hauled from the site, eliminating conflict with snow storage. The Applicant shall submit a letter from Clear Creek Disposal commenting on the accessibility of the proposed trash enclosure location.</i></p>

				<i>This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1e	e. Where alleys exist, or are planned, they shall be utilized for building services.
			<i>Staff Comments</i>	<i>The existing alley will be utilized for building services.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	<i>N/A, as no vending machines are proposed at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.) <ul style="list-style-type: none"> i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			<i>Staff Comments</i>	<i>Onsite parking is accessed off of the existing alley and is screened from both River and Maple Streets. Main access to both Building A and B faces the onsite parking area.</i> <i>Snow will be hauled and removed from the site, including from all pedestrian gathering areas. Thus, onsite parking will not be obstructed from snow accumulation. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Staff Comments</i>	<i>The site is serviced by two public streets, River Street and Maple Street. Onsite parking can be accessed from the existing alley on the east side of the property, accessed via Maple Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	i. Snow storage areas shall be provided on-site where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.
			<i>Staff Comments</i>	<i>No snow storage areas have been provided onsite, as it is conditioned that snow will be hauled from the site. Please refer to Section 17.06.080(A)1g for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	k. A designated snow storage area shall not have any dimension less than 10 feet.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	l. Hauling of snow from downtown areas is permissible where other options are not practical.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1g for further detail.</i>

2. Building Design: 17.06.080(A)2, items (a) thru (m)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p>a. The proportion, size, shape and rooflines of new buildings shall be compatible with surrounding buildings.</p> <p><i>Staff Comments</i> The proposal is for multi-family buildings (A and B) of eighteen (18) dwelling units in the General Residential (GR), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts. A variety of homes, single-family and multi-family, as well as commercial spaces, exist in these zones. Undulation is created by the utilization of building pop-out features and/or parapets, as well as the staggering of Building B in relation to Building A. Cool hues and various exterior materials are proposed to further reduce the mass of the proposed buildings. Juliette balconies have been included in the building design for the 2nd and 3rd floors of both buildings, adding in a residential design element that helps situate the buildings amongst the surrounding neighborhoods.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	<p>b. Standardized corporate building designs are prohibited.</p> <p><i>Staff Comments</i> N/A, as the project is not a corporate design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</p> <p><i>Staff Comments</i> Building design at ground level emphasizes human scale, pedestrian orientation, and encouragement of human activity/interaction through the inclusion of patio and green space.</p> <p>The larger patio, sized at just over 1,500 square feet, stretches beyond the entire southern elevation of both Building A and Building B. Large sliding glass doors are included for each ground level unit and face into the larger patio and the green space, with smaller planting proposed in front of the doors to create some privacy for residents while allowing for light and visual engagement to remain. The green space along River Street includes more plantings and a pathway to the Maple Street patio, further encouraging human activity and interaction with the outdoor space. A variety of landscaping and plant material will also be utilized across the site, which encourages human activity and interaction. These include trees, grasses, shrubs, and ground cover to soften the visual impact. Please refer to Section 17.06.080(A)4d for further details.</p> <p>Staff shares some concern over the possible impacts of the smaller proposed patio space on the north edge of the parcel. This patio will extend to the very edge of the property line, and the residential structure of the adjacent property owner (Lot 15A) is only set back approximately 16 feet from their lot line. Additionally, the adjacent property owner has constructed a patio of their own, directly in line with the Applicant's proposed patio. The Lot 15A patio is only 7 feet from the lot line and the edge of the Applicant's proposed patio. This arrangement holds potential for privacy and/or safety concerns from residents of both parcels.</p> <p>Staff suggest that the Applicant consider additional landscape buffering and a privacy fence be installed around the smaller patio.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.
			<i>Staff Comments</i>	<i>The front façades of the buildings occupy most of the street frontage along River and Maple Street. Windows of various shapes and sizes, Juliette balconies, multiple gabled rooflines, and upper-level projections emphasize human scale and break up the building surfaces. The building's frontages with a large patio and grass area – surrounded by an 18" retaining wall – create human scale as well and provide variety in surfaces and volumes of the site from multiple vantage points.</i> <i>The buildings feature multi-level material changes, incorporating variety in texture and material color. Multiple gabled rooflines and subtle dormers promote visual variety to the upper third of the buildings, and these elements are further complimented by natural-colored wood paneling.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.
			<i>Staff Comments</i>	<i>N/A, as no future additions or renovations are planned at this time.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.
			<i>Staff Comments</i>	<i>A variety of materials will be used on the exterior of the building. Lap siding portions will feature a distinct hue of darker blue, with greyish-white stucco panels canvassing the other areas. Accents of white trim and the natural wood siding within roof gables provide further variety in material texture and color.</i> <i>A Materials Sample Board has been provided and will be brought to the hearing.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.
			<i>Staff Comments</i>	<i>The exterior materials proposed have been integrated into the architecture of the building, although the blue siding color is distinct amongst the surrounding buildings, especially for such large buildings compared to other surrounding single-family homes. The proposed scale and exterior design complement the nearby Blaine Manor development along Main Street, and could provide adjacent neighborhood connectivity in this way. Please refer to Section 17.06.080(A)2f for further details.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2h	h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies, or other design elements.
			<i>Staff Comments</i>	<i>N/A The proposed design does not include any flat-roofed buildings.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2i	i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space: i) Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.

				<p>ii) South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</p> <p>iii) Double glazed windows.</p> <p>iv) Windows with Low Emissivity glazing.</p> <p>v) Earth berming against exterior walls</p> <p>vi) Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</p> <p>vii) Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</p>
			Staff Comments	<p>The Applicant has stated that they plan to minimize energy consumption by incorporating/utilizing the following:</p> <ol style="list-style-type: none"> 1. Solar orientation (south facing windows and glass doors). 2. All glass fenestrations will be double-glazed. 3. All glazing will have low emissivity properties. 4. All exterior walls will use rain screen weatherproofing technology. 5. Prewiring for Solar PV panels on the roofs. 6. Two EV charging stations in the parking lot. 7. All electric heating and cooling in the apartments. <p>If needed, the Applicant can further describe any of the above methods and/or other alternative energy sources utilized to minimize energy consumption.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.
			Staff Comments	Applicant is proposing dormers above tenant entryways to prevent water runoff and ice fall onto pedestrians.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.
			Staff Comments	Applicant is proposing a roof drainage design that will be captured in gutters and downspouts and then routed to drywells.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).
			Staff Comments	N/A, as no vehicle canopies are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2m	m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.
			Staff Comments	All building signage will be applied for under a separate sign permit following completion of construction. Signage will be compatible with the building design. The Applicant shall also install parking signage that informs and restricts parking in the right-of-way during the winter months. This has been made a Condition of Approval.
3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	a. Accessory structures shall be designed to be compatible with the principal building(s).
			Staff Comments	N/A, as no accessory structures are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	b. Accessory structures shall be located at the rear of the property.
			Staff Comments	N/A, as no accessory structures are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3c	c. Walls and fences shall be constructed of materials compatible with other materials used on the site.
			Staff Comments	Proposed planting and retaining walls will be low profile and softened with landscaping elements. Landscape elements include autumn blaze maple and columnar blue spruce tree species. There is an existing fence along the northern edge of the parcel that will remain part of the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.
			Staff Comments	Please refer to Section 17.06.080(A)3c for further detail.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.
			Staff Comments	Solar panels will be installed parallel with the roof slopes of the building. The buildings' height, in respect to those buildings around it, will ensure that the panels will not be in view of adjacent properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3f	f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.
			Staff Comments	Please refer to Section 17.06.080(A)3e for further detail.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.
			Staff Comments	There will be no ground mounted HVAC equipment. The trash receptables and their constructed enclosure will be surrounded by a fence and landscaping buffers.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	i. All service lines into the subject property shall be installed underground.
			Staff Comments	All services lines will be underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3i	j. Additional appurtenances shall not be located on existing utility poles.
			Staff Comments	No appurtenances will be permitted on poles.

4. Landscaping: 17.06.080(A)4, items (a) thru (n)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.
			Staff Comments	It appears that plant materials will be appropriate for the environment. Drought tolerant fescue mix for grass area is proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	b. All plant species shall be hardy to the Zone 4 environment.
			Staff Comments	All proposed plant species are hardy to the Zone 4 environment.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought

				tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.
			<i>Staff Comments</i>	<p><i>Applicant's submitted materials do not currently include irrigation plans or layouts. Prior to final approval, the Applicant will provide such plans and layouts, which are to include water conservation measures.</i></p> <p><i>This has been made a Condition of Approval.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<p>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two-and-one-half (2 ½) inches. A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</p>
			<i>Staff Comments</i>	<p><i>The proposed Landscaping Plan incorporates a combination of trees, shrubs, grasses, and groundcover. The Landscape Plan (Sheet L1) shows a total of twenty-nine thirty (29) trees to be planted.</i></p> <p><i>The following trees are proposed to be planted onsite:</i></p> <ul style="list-style-type: none"> - Seven (7) Columnar Blue Spruce at twelve-to-fourteen-inch (12-14") caliper - Seven (7) Autumn Blaze Maple at three to four-inch (3-4") caliper - Four (4) Little Leaf Linden at three to four-inch (3-4") caliper <p><i>Street trees are proposed, which include:</i></p> <ul style="list-style-type: none"> - Eleven (11) Flowering Crab at three-inch (3") caliper <p><i>The River Street Typical Section will also be utilized. Applicant has not provided any plans or additional details about irrigation or electrical needs for street trees. A detailed irrigation and electrical plan for street trees and landscaping within the right-of-way shall be submitted and approved prior to issuance of a Building Permit. This has been made a Condition of Approval.</i></p> <p><i>The Applicant shall show the locations of all street trees, including dimensionally correct locations and sizes of the tree wells with the footprint of the suitable soil, structural soil, or suspended pavement areas. Said exhibit shall include the supporting mathematical calculations and shall be supplied at the time of Building Permit submittal. The exhibit shall also include a checklist for use during construction inspections, as directed by City Staff.</i></p> <p><i>This has been made a Condition of Approval.</i></p> <p><i>A Right-of-Way Maintenance Agreement shall be adopted by the City Council prior to issuance of a Certificate of Occupancy. The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and street trees. Further detail will be provided within the Public Right-of-Way Maintenance Agreement.</i></p> <p><i>These have been made Conditions of Approval.</i></p>

				<p><i>All newly landscaped areas with proposed tree plantings meet the caliper requirements of this standard.</i></p> <p><i>The Flowering Crab, Autumn Blaze Maple, and Columnar Blue Spruce proposed tree plantings all exceed the 20% maximum for any single tree species used in a landscape plan (including street trees). The Applicant shall provide a revised landscape plan that incorporates the required species diversity according to this standard (17.06.080(A)4d). This has been made a Condition of Approval.</i></p> <p><i>Staff would like to commend the Applicant on the wide variety of flowering deciduous shrubs selected for planting, as these flowering species support the health and resilience of our local pollinator population.</i></p> <p><i>This project will be reviewed by the Hailey Tree Committee on April 13, 2023. Any recommendations will be brought to the Commission at a later date.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<p>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</p> <p><i>Staff Comments</i> N/A, as the proposed project is not located in the LI or SCI-I Zone Districts.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</p> <p><i>Staff Comments</i> N/A, as the proposed project is not located in the B, LB, TN and/or SCI-O Zone Districts</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</p> <p><i>Staff Comments</i> A Drainage Plan has been submitted and storm water will be retained onsite. Runoff is within the landscaped/parking areas and is directed to drywells, as noted on the Drainage Plan.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</p> <p><i>Staff Comments</i> The Applicant will be responsible for maintaining plant material in a healthy condition.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4i	<p>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</p> <p><i>Staff Comments</i> Applicant has proposed an eighteen-inch (18") height retaining wall for the complete length of the western edge of the parcel. Wall design will be low profile and softened with landscaping elements, according to the applicant.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4j	<p>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)4i for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4k	<p>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)4i for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4l	<p>l. Landscaping should be provided within or in front of extensive retaining walls.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)4i for further detail.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	<p>m. Retaining walls over 24" high may require railings or planting buffers for safety.</p>

			<i>Staff Comments</i>	<i>N/A, as no retaining walls over 24" are proposed at this time.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, as no low retaining walls with capped surfaces are proposed at this time.</i>

Additional Design Review Requirements for Multi-Family within the City of Hailey

1. Site Planning: 17.06.080(D)1, items (a) thru (c)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
			<i>Staff Comments</i>	<i>The project is located on the corner of River Street and Maple Street. The proposed buildings and patio area take full advantage of sun light exposure, and the placement of the larger patio area on the Maple Street side of the parcel ensures that residents are not as exposed to the busier traffic flows along River Street. The large grass area in front of Building B also provides physical and sound buffering from River Street. The proposed mobility corridor along River Street with the bulbout feature responds to the site-specific conditions associated with a corner lot, in addition to supporting the larger River Street mobility enhancement efforts that will be addressed in the coming years.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	b. Site plans shall include a convenient, attractive and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.
			<i>Staff Comments</i>	<i>Interior and perimeter sidewalks are proposed, as well as a bicycle lane along the property's frontage of River Street. Pedestrian circulation is ample and includes pathways connecting the grass area to the larger patio, as well as pathways between and to each of the buildings and the parking area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.
			<i>Staff Comments</i>	<i>The proposed building has been organized to maximize efficient site circulation. Site circulation has been designed to keep onsite vehicular access to the existing alley off of Maple Street, while additional angled parking will be available along both Maple and River Streets. A new sidewalk and bike lane is shown along the property frontage of River Street, in addition to new sidewalk along Maple Street. Residents will have convenient access to dwellings and outdoor open spaces from both the interior and exterior of the site, via the placement and connectivity of multiple pathways and egresses. Please see Section 17.06.080(A)1c for further detail.</i>

2. Building Design: 17.06.080(D)2, items (a) thru (b)

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.
			<i>Staff Comments</i>	<i>Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.
			<i>Staff Comments</i>	<i>Refer to Section 17.06.080(A)2, items (a) thru (m) for further details.</i>
General Requirements for the Downtown Residential Overlay District (DRO)				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.030	General Application: The Downtown Residential Overlay District shall be an overlay district with bulk, open space, landscaping and parking requirements for buildings and structures located within the district which are developed as multi-family or mixed uses. Where the regulations specified for the underlying zoning district, the requirements of this article shall apply and control, except as otherwise specified in this article (Ord. 1238, 2018).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.040(A)	Use and Bulk Requirements: Use and bulk requirements shall be those of the underlying zoning district, except where specifically amended herein (Supplementary Location and Bulk Requirements of Chapter 17.07 of this title shall also apply in the DRO).
				A. Residential Percentage: There shall be no maximum residential percentage on the ground level (Ord. 1238, 2018).
			<i>Staff Comments</i>	<i>The project proposes seven (7) dwelling units on the ground floor, in addition to onsite parking for each unit and a storage closet for each unit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(A)	Multifamily and Mixed-Use Density: A. Maximum Residential Units Per Acre: Residential units per acre provisions of the underlying district shall not apply; rather density shall be limited by required open space, parking, landscaping and standards of review from Chapter 17.06: "Design Review", of this title. The Commission shall have the discretion to modify building design based on the standards in Chapter 17.06 of this title.
			<i>Staff Comments</i>	<i>Please refer to the Design Review Standards as noted herein.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.050(B)	B. Dwelling Unit Average Size Requirement: The average dwelling unit size shall be not less than six hundred (600) net square feet per building (Ord. 1238, 2018).
			<i>Staff Comments</i>	<i>This standard has been met. Fifteen (15) units are either 816 or 842 square feet, and three (3) units are 480 square feet.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (A)	Parking Spaces, Screening and Storage Requirements: A. Onsite Parking Space Requirements Multiple Family Dwellings and Dwelling Units Within A Mixed-Use Building: 1. A minimum of one space per residential dwelling unit, where up to twenty five percent (25%) of required on-site parking spaces may be provided as compact parking spaces. Compact spaces must be signed as such. 2. At least one guest parking space for every six (6) dwelling units. Unimproved City rights-of-way adjacent to the site that are improved as part of the project shall count towards the guest parking requirement.
			<i>Staff Comments</i>	<i>Per the Hailey Municipal Code, the DRO requires a minimum of one (1) parking space per residential dwelling unit.</i>

				<p><i>The project is comprised of two (2) apartment buildings (A and B) with a total of eighteen (18) residential units. The site plan shows a total of eighteen (18) onsite parking spaces, of which, one (1) parking space is an accessible parking space. Additionally, the Hailey Municipal Code allows twenty five percent (25%) of the required onsite parking spaces to be provided as compact parking spaces or four (4) of the proposed onsite parking spaces could be compact spaces. The Applicant is proposing a total of four (4) spaces as compact spaces.</i></p> <p><i>The DRO also requires that at least one (1) parking space be provided for every six (6) dwelling units. That said, if unimproved public rights-of-ways are improved, this shall satisfy the guest parking requirement.</i></p> <p><i>The Applicant is proposing to improve the public right-of-way and street parking along River Street.. Fourteen (14) street parking spaces are proposed along River Street..</i></p> <p><i>Parking requirements for the proposed project are met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (B)	<p>B. Useable Open Space, Screening and Landscaping:</p> <ol style="list-style-type: none"> 1. Useable open space of not less than ten percent (10%) of the total lot area shall be included in the project design. Useable open space shall not include private decks, patios or rooftop gardens. 2. A landscape buffer between parking areas and residential zone districts may consist of an acceptably designed wall or fence incorporating drought tolerant plantings; and 3. Minimum distance setbacks in Section 17.09.020.11 of this title shall not apply.
			Staff Comments	<p><i>The total lot area is 20,393 square feet in size. The Applicant is required to provide 2,039 square feet of useable open space or ten (10%) percent of the total lot area. The Applicant proposing 2,093 square feet of patio space, in addition to the large green space in front of Building B. This standard has been met.</i></p> <p><i>The parking area is not adjacent to a differing residential zone district.</i></p> <p><i>Please refer to Section 17.04M.060 for further details regarding setbacks.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (C)	<p>C. Onsite Parking Dimension: Where the parking angle is ninety degrees (90°), the minimum aisle width may be twenty-two (22') feet, as determined through the design review process.</p>
			Staff Comments	<p><i>The Applicant is proposing that all onsite parking angles be of ninety degrees (90°). They have also proposed an aisle width to access said parking of twenty-two (22') in width.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04R.060 (D)	<p>D. Storage: All units under five hundred (500) square feet shall be provided with on-site storage suitable for bikes, skis and other similar items. Size, location and design of the storage areas shall be determined through the design review process (Ord. 1238, 2018).</p>
			Staff Comments	<p><i>Onsite storage units are only required for the three (3) studio units measuring 480 square feet. That said, the Applicant is proposing storage closets for each unit (18 total), located adjacent to entryways. Bicycle spaces are provided, and racks appear to adhere to Title 18 requirements.</i></p>

17.06.060 Criteria.

A. The Commission or Hearing Examiner shall determine the following before approval is given:

1. The project does not jeopardize the health, safety, or welfare of the public.
 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Zoning Title, and City Standards.
- B. Conditions.** The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
1. Ensure compliance with applicable standards and guidelines.
 2. Require conformity to approved plans and specifications.
 3. Require security for compliance with the terms of the approval.
 4. Minimize adverse impact on other development.
 5. Control the sequence, timing and duration of development.
 6. Assure that development and landscaping are maintained properly.
 7. Require more restrictive standards than those generally found in the Zoning Title.
- C. Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

The following Conditions of Approval are suggested to be placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and improvements:

- i. If the total area of asphalt removed in the alley exceeds twenty-five percent (25%), the Applicant shall complete the removal and replacement of all paving adjacent to the development. Street cut repairs shall also be guaranteed for no less than one (1) year.
 - ii. The Applicant shall redesign to meet the River Street Typical Section Standard Drawing, prior to issuance of a Building Permit.
 - iii. A detailed electrical plan for street trees, and exterior lighting shall be submitted and approved prior to issuance of a Building Permit.
 - iv. The building shall comply with IFC and IBC code requirements.
 - v. A building sprinkler system and alarm system shall be installed, as set forth in the IFC.
 - vi. The exact number of light poles and final details of light specifications will be determined in conjunction with the Public Works Department at a later date.
 - vii. A detailed irrigation plan for street trees and landscaping within the right-of-way shall be submitted and approved prior to issuance of a Building Permit.
 - viii. The Applicant will provide detailed interior landscape irrigation plans and system layouts, which are to include water conservation measures (such as motion sensors or drip irrigation).
 - ix. The Applicant shall install parking signage that informs and restricts parking in the right-of-way during the winter months.
 - x. The Applicant shall abandon any existing, unused water services. The Applicant shall show the locations of all street trees, including dimensionally correct locations and sizes of the tree wells with the footprint of the suitable soil, structural soil, or suspended pavement areas. Said exhibit shall include the supporting mathematical calculations and shall be supplied at the time of Building Permit submittal. The exhibit shall also include a checklist for use during construction inspections, as directed by City Staff.
 - xi. A new sewer tap shall be installed at the center of the property, in relation to the sewer mainline.
 - xii. -The new sewer tap shall be witnessed, and in the case that this is not possible, be supplied the “coupon” from the sewer main.
 - xiii. -While the sewer mainline is exposed, it shall be inspected by the Wastewater Division.
 - xiv. The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and street trees. Further detail will be provided within the Public Right-of-Way Maintenance Agreement.
 - xv. A Right-of-Way Maintenance Agreement shall be adopted by the City Council prior to issuance of a Certificate of Occupancy.
- d) The Applicant shall provide a revised landscape plan that incorporates the required species diversity according to standard (17.06.080(A)4d).
- e) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road.
- f) The Applicant shall submit a letter from Clear Creek Disposal commenting on the

accessibility of the proposed trash enclosure location.

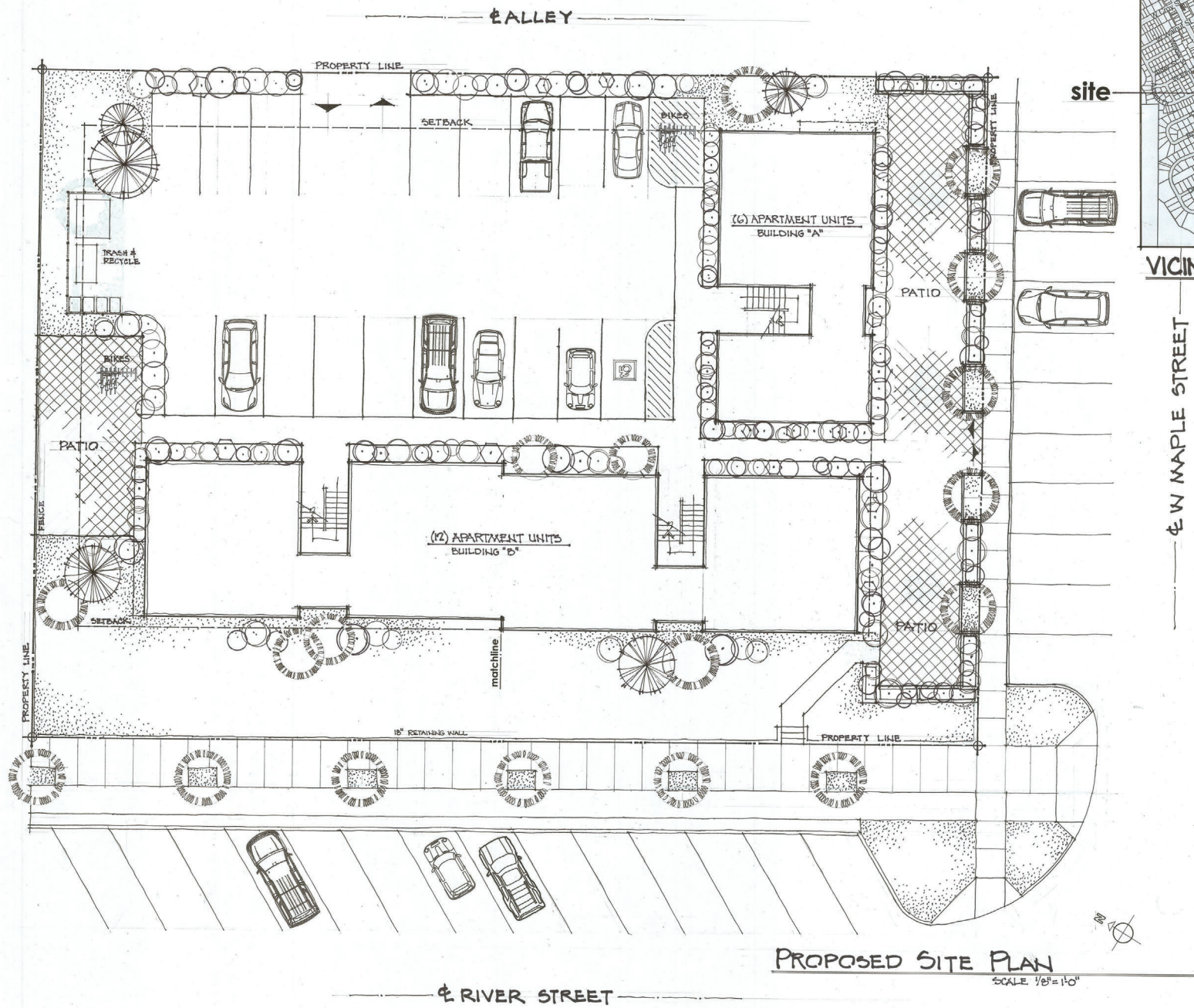
- g) The Applicant shall remove and haul snow from the site, as needed.
- h) Any and all ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- i) While no transit stop is required at this time, transit needs will be reevaluated upon development of the surrounding properties.
- j) The Property Manager/Management Company shall ensure all parking requirements within the public right-of-way are met. This includes, but is not limited to, restrictions on winter parking within the public right-of-way.
- k) All new and existing exterior lighting shall comply with the Outdoor Lighting Ordinance.
- l) The Applicant shall submit a photometric plan that complies with Chapter 17.08, Article C of the Hailey Municipal Code
- m) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney, before a Certificate of Occupancy can be issued.
- n) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to and for the duration of a valid Building Permit.

Motion Language

Approval: Motion to approve the Design Review Application by F & G Idaho, LLC, for an eighteen (18) unit residential project, three stories in height, to be known as Maple Street Apartments and located at 50 W Maple Street (Lots 16-20, Block 5, Hailey Townsite, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 18, and City Standards, provided conditions (a) through (n) are met.

Denial: Motion to deny the Design Review Application by F & G Idaho, LLC for an eighteen (18) unit residential project, three stories in height, to be known as Maple Street Apartments, finding that _____[the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

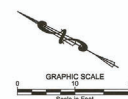
Continuation: Motion to continue the public hearing to _____[Commission should specify a date].



maple street apartments
river & maple

PROJECT NO.
DATE
DRAWN BY

ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83333
(208) 750-2344



	Property Line
	Interior Lot Line (NOT Vacated)
	Adjacency Lot Line
	Centerline of Right of Way
	Water Main
	Water Service
	Sewer Main
	Gas Main
	FDM = Found Aluminum Cap on 58" R/W
	FDB = Found 58" R/W
	F12 = Found 1 1/2" R/W
	X FND PK = Found Magnetic Nail
	CNTRL = Survey Control
	Set 58" R/W, PLS 10070
	Calculated Point (Bothing Set)
	5' Corner Interval
	1' Corner Interval
	FENCE = Fence Line
	Asphalt
	Gravel Drive
	EOD = Edge of Gravel
	DT = Deciduous Tree
	SGN = Sign
	PBOX = Telephone Riser
	PBOX = Power Box
	PP = Power Pole
	GUY = Guywire
	AP = Angle Point
	EOD = Edge of Asphalt
	NC = No Cap
	ND = Natural Ground

The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site features since the survey date.

Boundary information is based on Grand Monumentation and the recorded map of Hurley, records of Blaine County, Idaho. All found monuments have been recorded. Boundaries of Blaine County, Idaho are based on Blaine County Recorder's Office since missing property corners will be set.

Underground utility locations are based on above ground counterparts, utilities visible in the time of the survey, and City Maps. Utilities should be located prior to any construction.

Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a title policy is not available to Galena Engineering Inc. and is not the responsibility of Galena Engineering Inc. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires to include this information to be included in the information Galena Engineering Inc. request it be added to this map.

Benchmark is set of 12" rebar (L310161) marking the corner of the lot, located at 120° West of the lot.

At the time of this survey, there was approximately 24" of snow on the ground. Due to snow cover, it is possible that some ground features were unable to be seen by Galena Engineering Inc. Galena Engineering Inc. accepts no responsibility for possible missing features due to the snow cover.

maple street apartments
river & maple
hailey, idaho 83333

A TOPOGRAPHIC MAP SHOWING
LOTS 16, 17, 18, 19, & 20 BLOCK 5, AND NORTH 20' OF
VACATED MAPLE STREET, HAILEY TOWNSITE

PROJECT INFORMATION

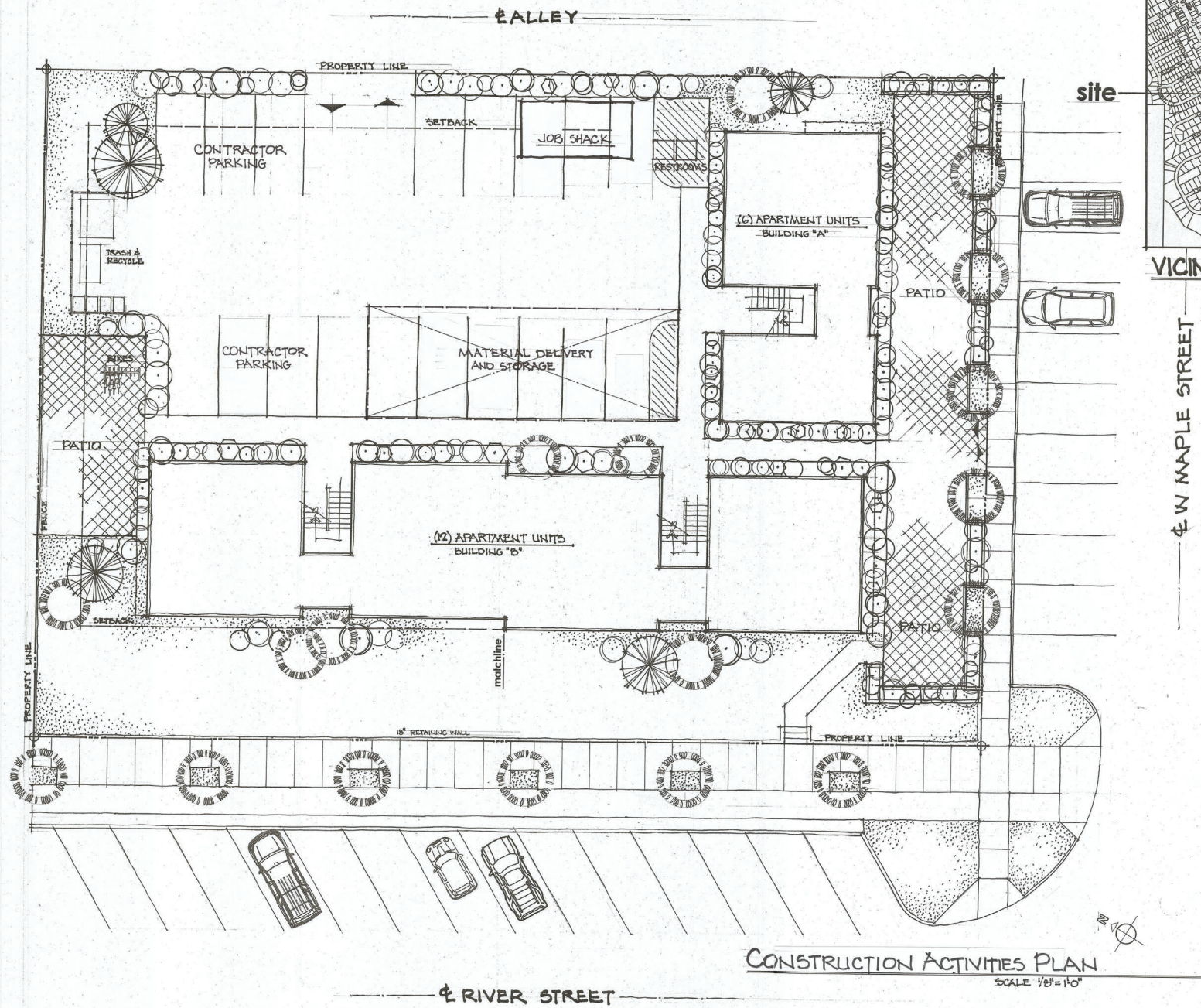


DESIGNED BY
IDV
DRAWN BY
SMF/MEP
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors

[illegible]

TOPO



ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83433
(208) 720-2344

REVISIONS

PROJECT NO.
DATE
DRAWN BY

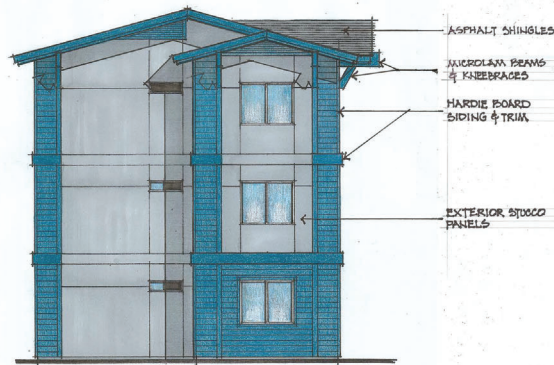
OWEN WRIGHT SCANLON
river & maple
maple street apartments
hailey, idaho 83433



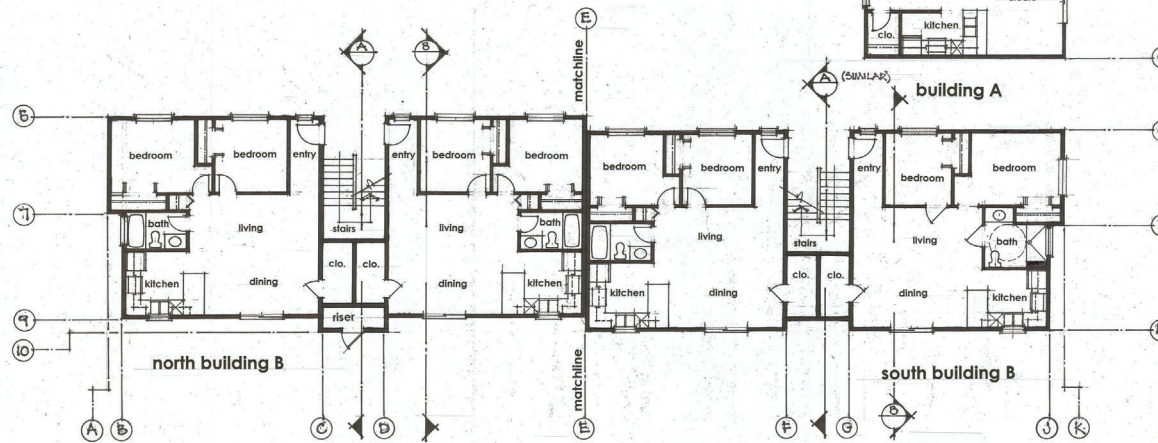
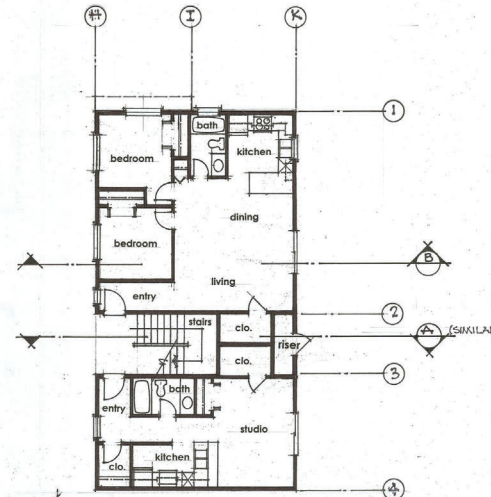
CAP-1.0



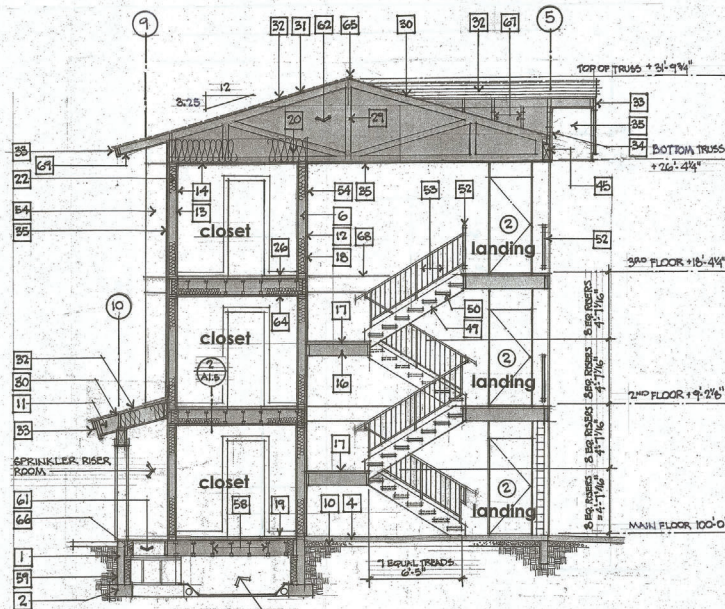
PRELIMINARY ONLY - NOT FOR CONSTRUCTION



BUILDING 'B' - SOUTH ELEVATION
SCALE 1/4" = 1'-0"



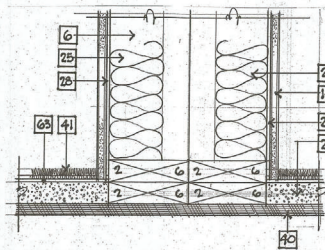
main floor plan- buildings A & B
SCALE 1/8" = 1'-0"



cross section

SCALE 1/4" = 1'-0"

NOTES:
A submersible mechanical ventilation system shall be installed in the courtyard for radon mitigation. The submersible ventilation system shall be installed in the courtyard for radon mitigation. The system shall be installed in the courtyard for radon mitigation. The system shall be installed in the courtyard for radon mitigation.

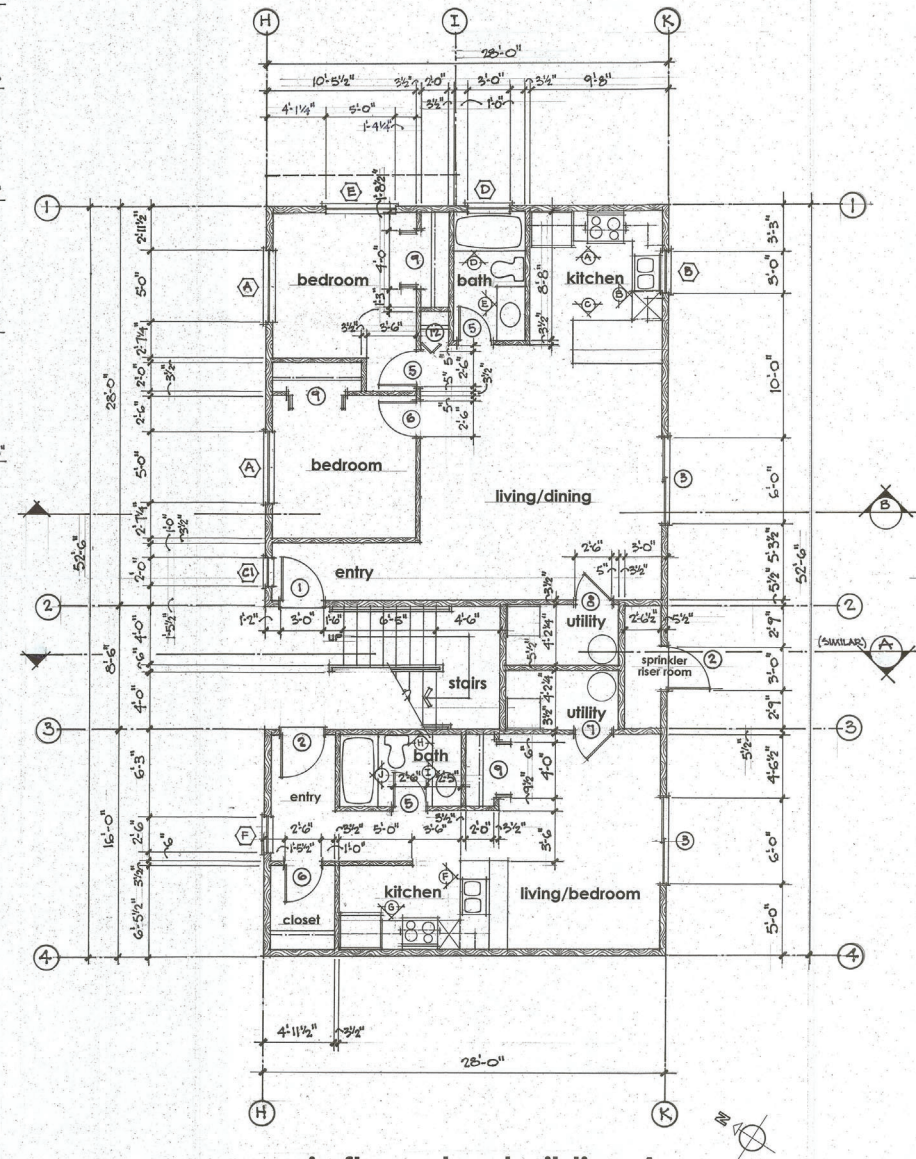


**sound wall detail
(STC=50+)**

SCALE 3/8" = 1'-0"

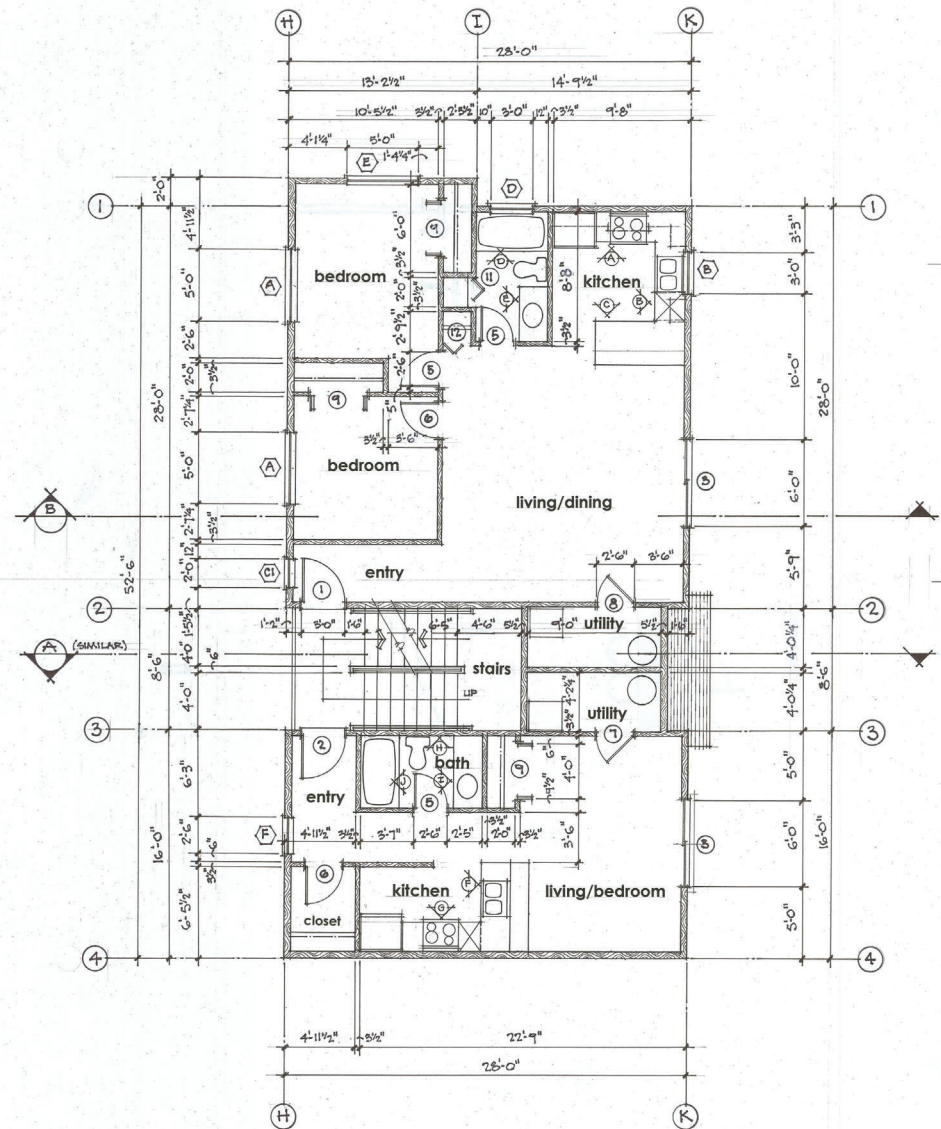
KEYNOTES

1. Conc. foundation per structural
2. Conc. footing per structural
3. Perimeter insulation cont.
4. 4" concrete slab per structural
5. 2x4 studs @ 16" o/c
6. 2x4 studs @ 16" o/c
7. 2x4 studs @ 16" o/c
8. Header per structural
9. 2x treated wood sill cont.
10. 4" compacted granular fill
11. Roof rafters per structural
12. Plywood sheathing per structural
13. 4x12 vapor retarder
14. 60" gypsum bd
15. 1/2" resilient channel @ 24" o/c
16. 2x landing joists per structural
17. 1x truss decking (or equal)
18. Tyvek infiltration barrier (or equal)
19. 5/8" floor sheathing
20. R-48 insulation
21. R-30 insulation
22. R-20 insulation
23. 2" sound attenuation blanket
24. 3/4" thermal/acoustical fiberglass batt insulation
25. 1-1/2" gypsum subfloor
26. 2x4 studs staggered on 2x6 plate @ 16" o/c
27. Wall blocker sound membrane one side of framing
28. Pre-manufactured wood truss
29. Roof sheathing per structural
30. Roofing felt per manufacturer
31. Asphalt composition shingles
32. Hardie board trim & fascia
33. Gable vent
34. Hardie board siding & soffit
35. Cont. soffit vent
36. Roof line beyond parapet
37. 3/8" steel steel parapet cap cont.
38. 3/8" steel steel parapet cap cont.
39. Radon evacuation pipe (see note)
40. 1/2" plywood subfloor nailed solid nails @ 6" o/c edges and 6d @ 12" o/c in field
41. Floor finish vinyl plank or carpet
42. Non-4" baseboard cont.
43. Non-4" door/window casing
44. 2x ceiling framing @ 24" o/c
45. Beam per structural
46. Vinyl window
47. Solid-core steel door
48. Rafter per structural
49. 12" LVJ, springs
50. Steel gable truss
51. Steel cleats, tied to stringer
52. Steel guardrail cont.
53. Steel handrail cont.
54. Exterior stoop
55. Finish grade
56. Existing grade
57. New conc. sidewalk over compacted fill
58. Floor joists per structural
59. Bituminous waterproofing - extend over top of footing
60. Radon abatement per plan notes
61. Frame 24" x 24" access hatch in crawlspace in floor framing below sprinkler riser room
62. Add 1/2" OSB to one side of roof truss that aligns with existing wall between apartment units for draft wall
63. Floor blocker sound membrane underlayment
64. 5/8" grp board screwed @ 12" o/c
65. Continuous ridge vent
66. Fill framing voids w/ R-23 insulation
67. Cripple trusses @ 24" o/c
68. Fry register control panel
69. Soffit vent cont.



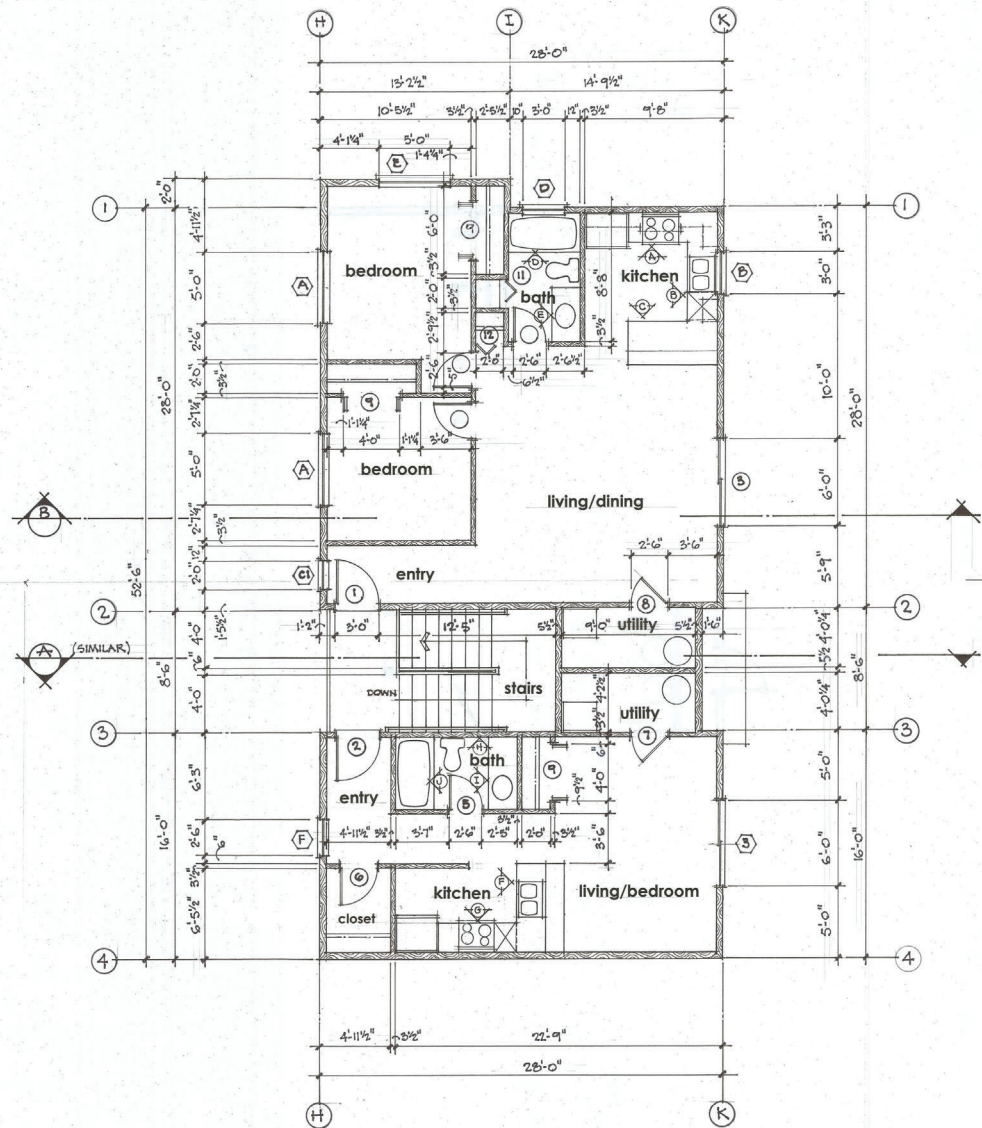
main floor plan-building A

SCALE 1/4" = 1'-0"



2nd floor plan-building A

SCALE 1/4" = 1'-0"

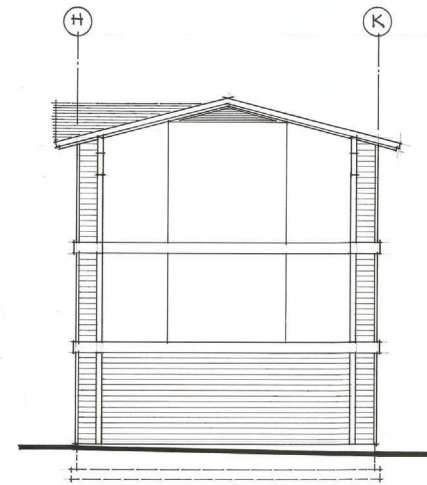


3rd floor plan-building A
 SCALE 1/4" = 1'-0"



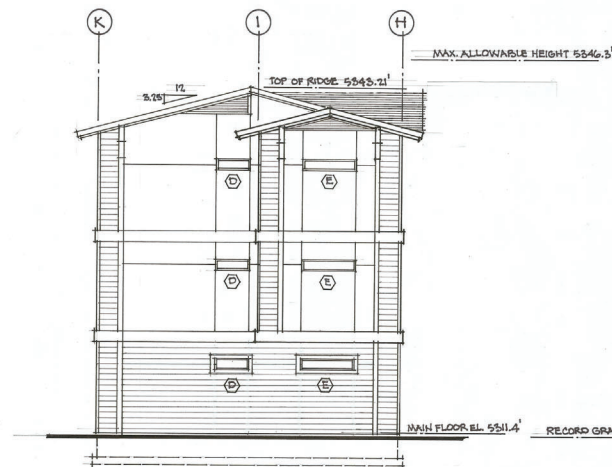
south elevation-bldg A

SCALE: $\frac{3}{16}'' = 1'-0''$



west elevation-bldg A

SCALE: $\frac{3}{16}'' = 1'-0''$



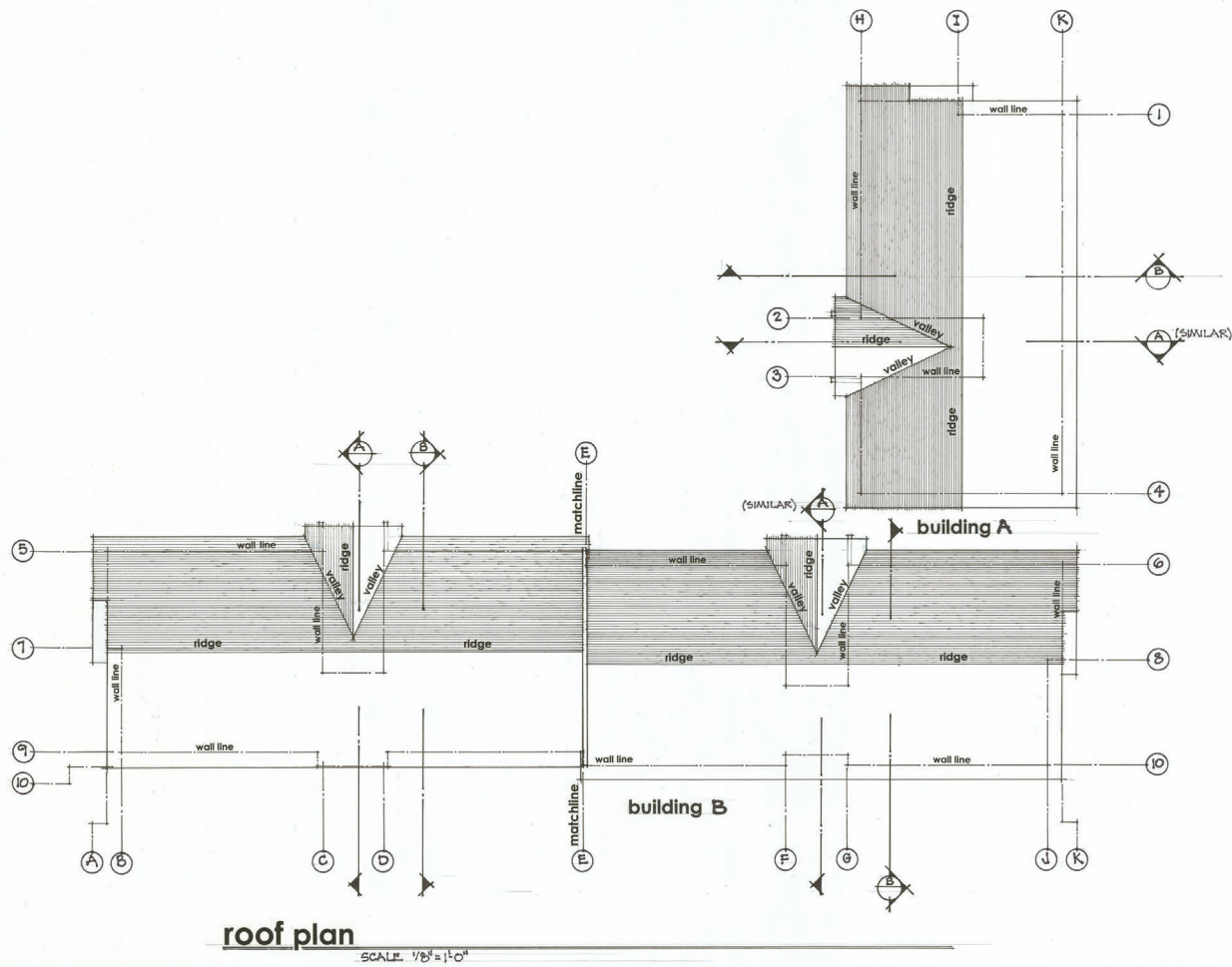
east elevation-bldg A

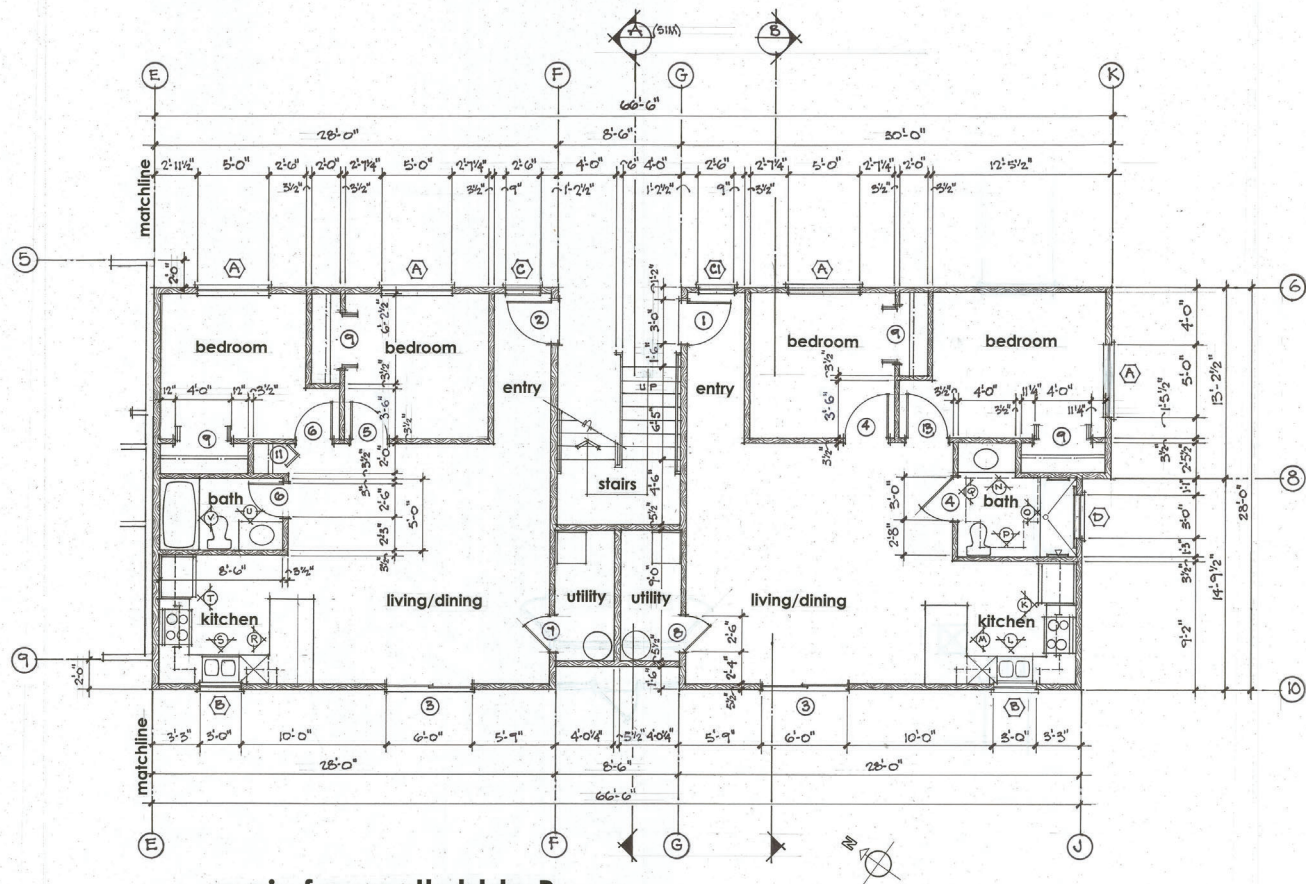
SCALE: $\frac{3}{16}'' = 1'-0''$



north elevation-bldg A

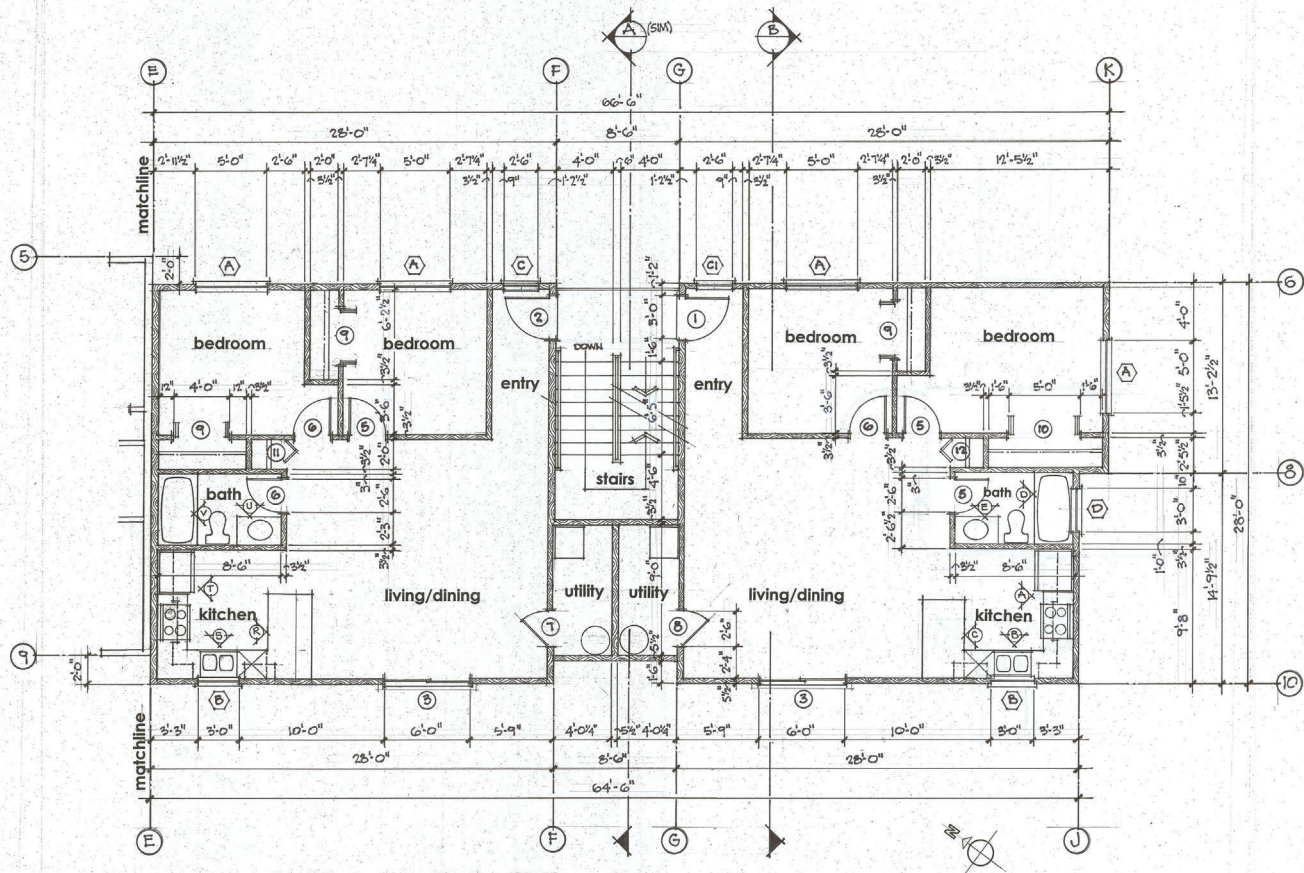
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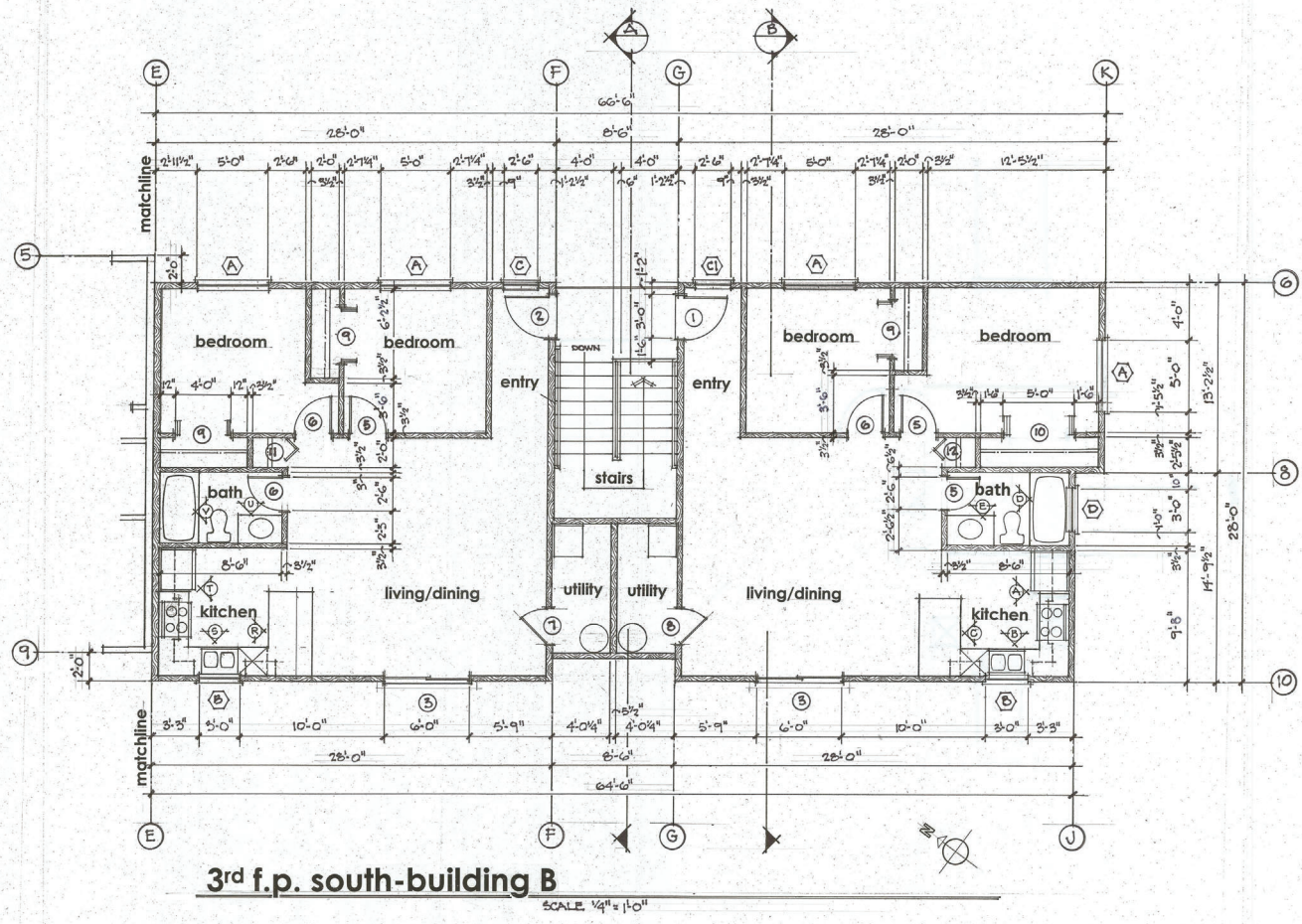
main f.p. south-bldg B

SCALE 1/4" = 1'-0"



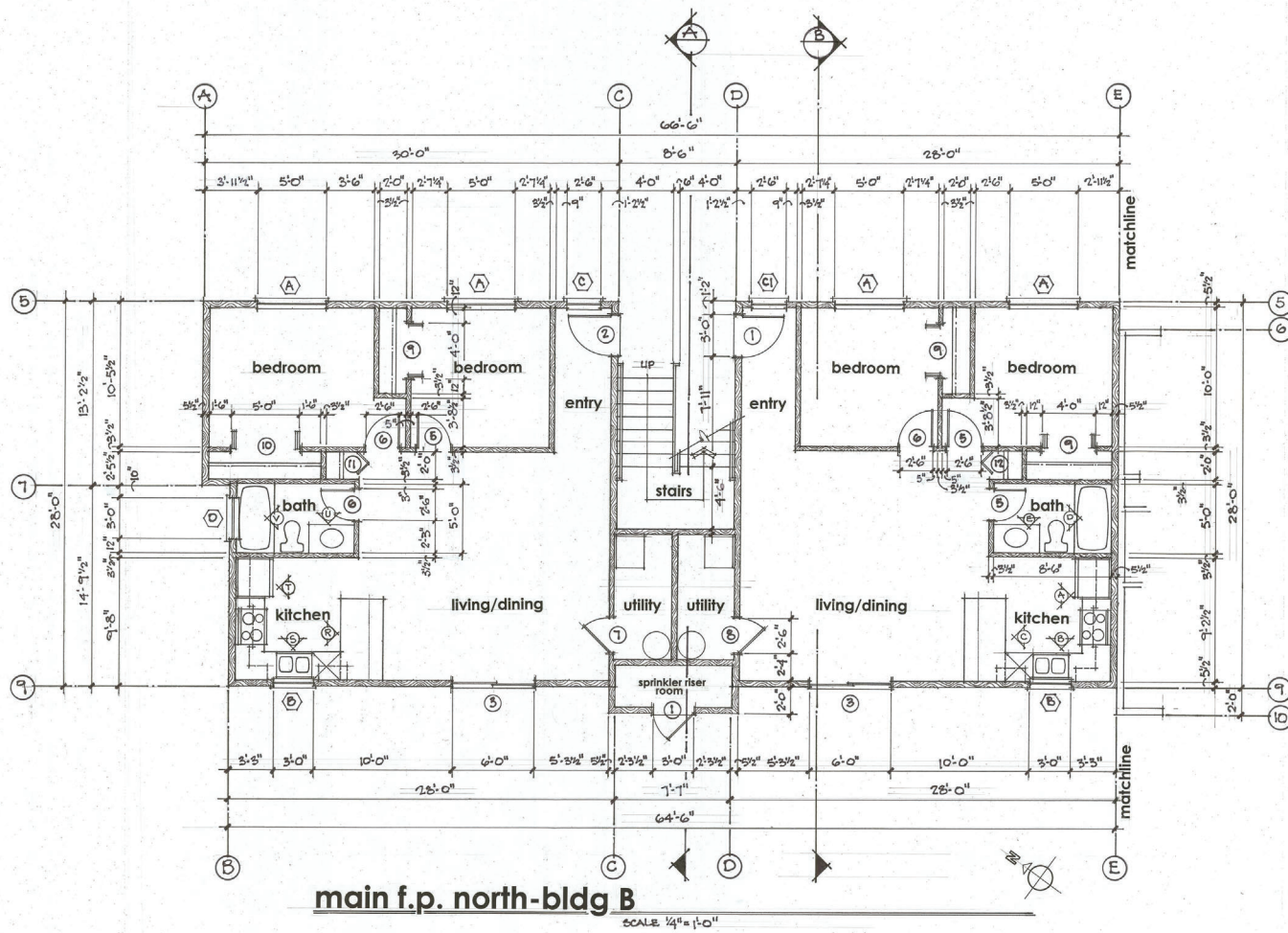
2nd f.p. south-building B

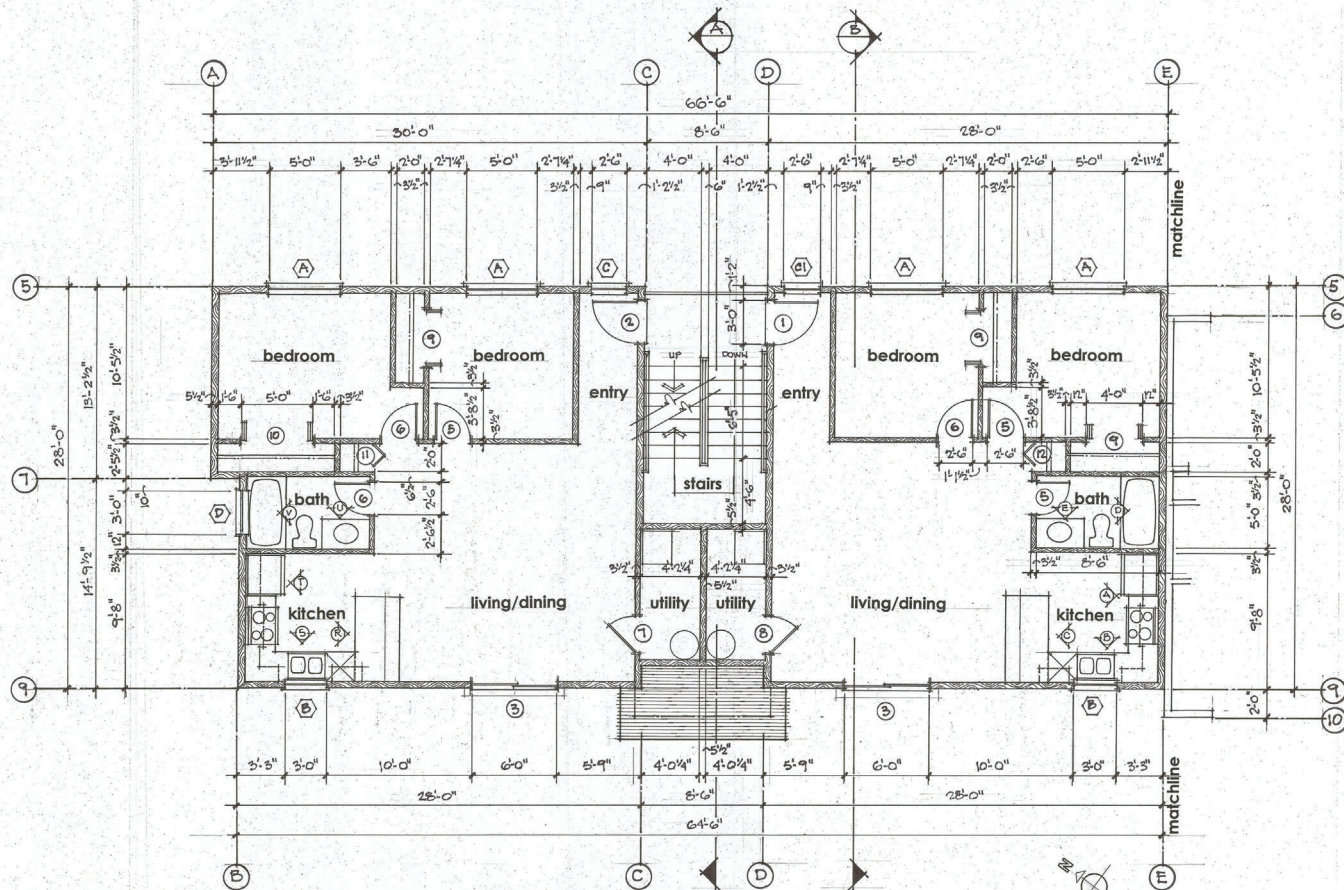
SCALE 1/4" = 1'-0"



3rd f.p. south-building B

SCALE 1/4" = 1'-0"



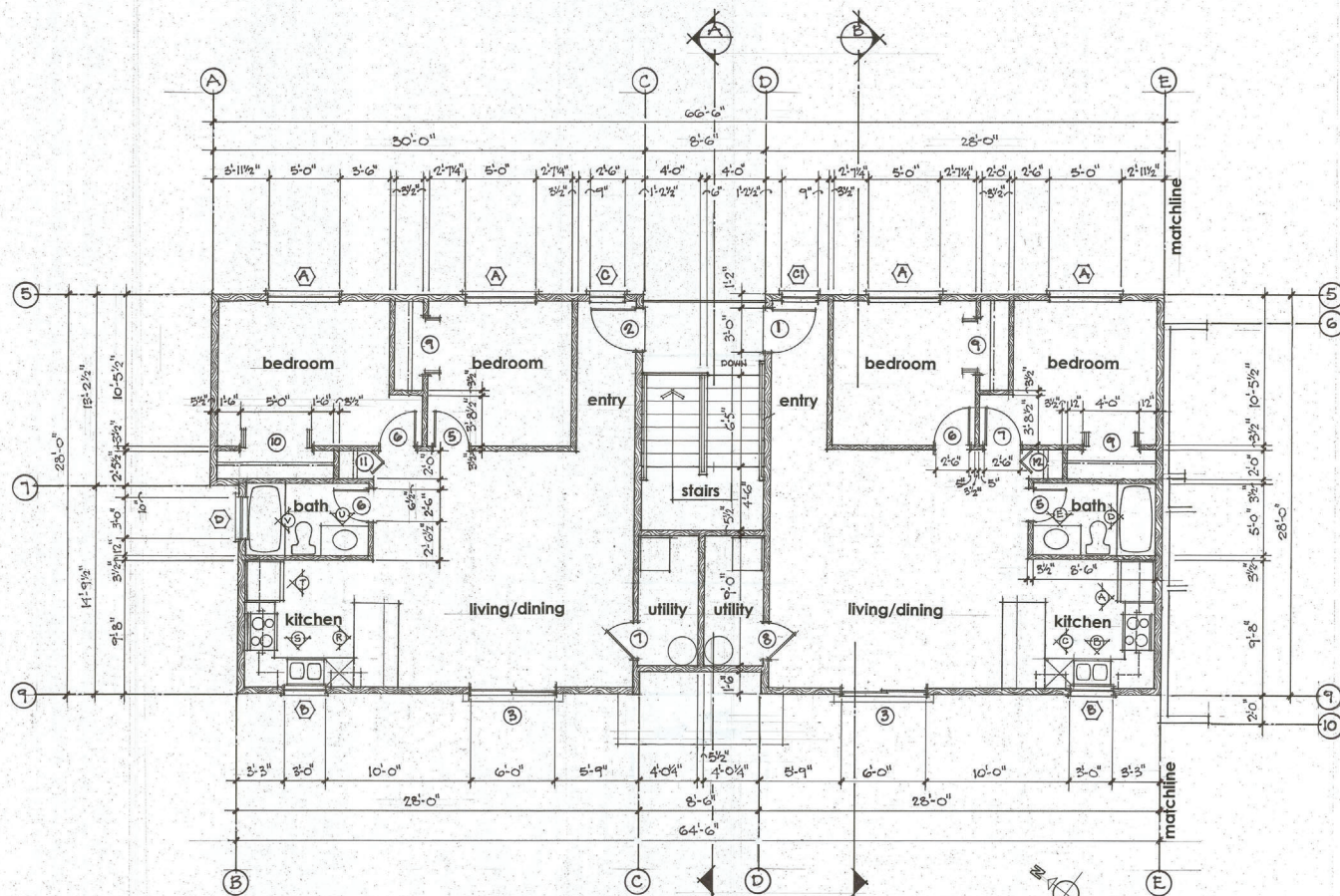


2nd f.p. north-building B

SCALE 1/4" = 1'-0"

REVISED

PROJECT NO.
DATE
DRAWN BY

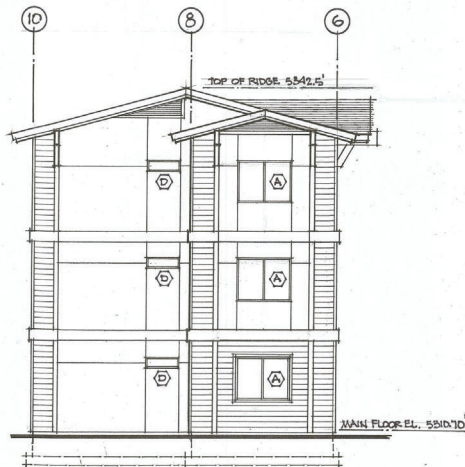


3rd f.p. north-building B

SCALE 1/4" = 1'-0"

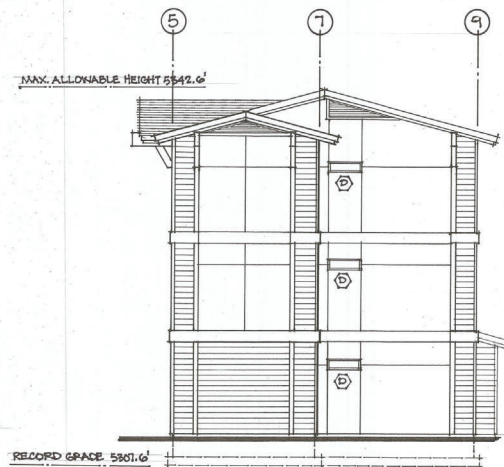
REV 060509

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DATE
DRAWN BY



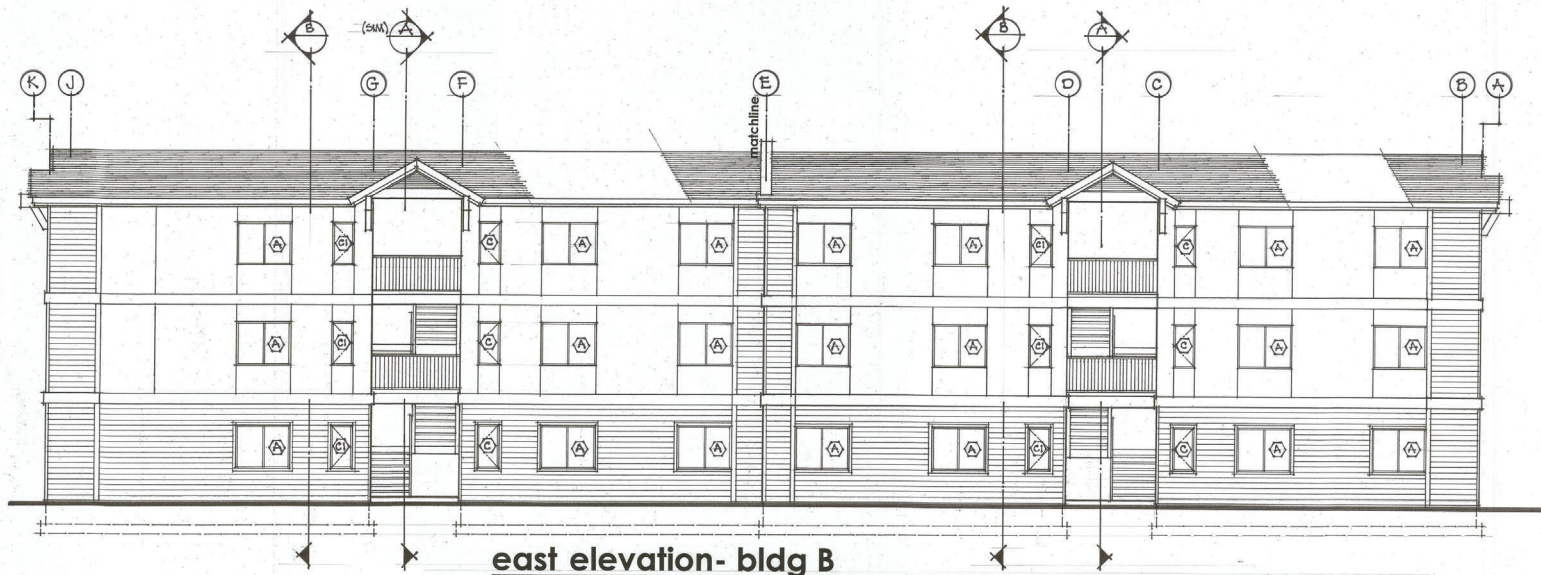
south elevation-bldg B

SCALE: 3/16" = 1'-0"



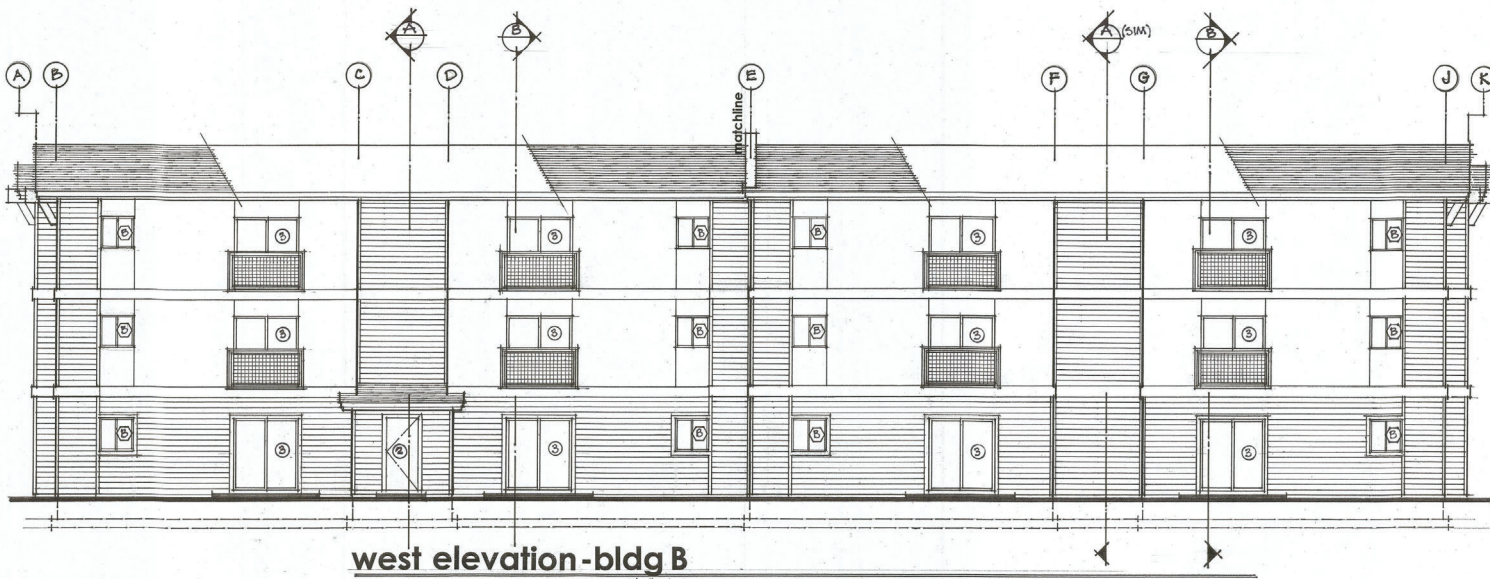
north elevation-bldg B

SCALE: 3/16" = 1'-0"

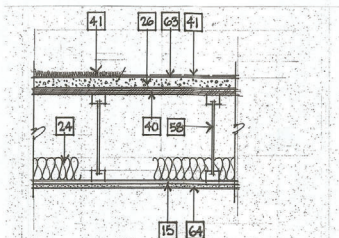


east elevation- bldg B

SCALE: 3/16" = 1'-0"

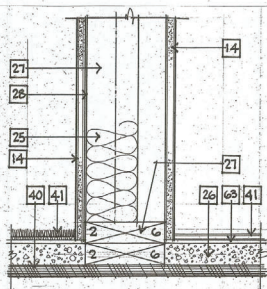


west elevation-bldg B
SCALE 3/16" = 1'-0"



sound floor detail
(IIC=50+)

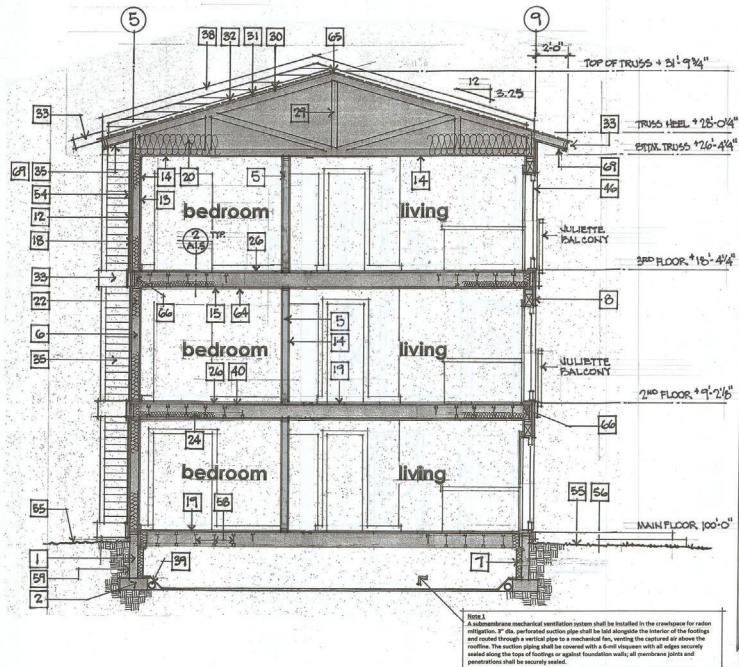
SCALE 1 1/2" = 1'-0"



sound wall detail (STC=50+)

SCALE 5" = 1'-0"

- KEYNOTES**
1. Conc. foundation per structural
 2. Conc. footing per structural
 3. Perimeter insulation conc.
 4. 4" concrete slab per structural
 5. 2x4 studs @ 16" o/c
 6. 2x8 studs @ 16" o/c
 7. 2x8 studs @ 16" o/c
 8. 2x8 studs @ 16" o/c
 9. 2x8 studs @ 16" o/c
 10. 4" compacted granular fill
 11. Roof rafters per structural
 12. Plywood sheathing per structural
 13. 4-mil vapor retarder
 14. 5/8" gypsum bd
 15. 1/2" radiant channel @ 24" o/c
 16. 2x4 landing joists per structural
 17. 1x6 joists (or equal)
 18. Tyvek infiltration barrier (or equal)
 19. 1/2" floor sheathing
 20. R-40 insulation
 21. R-30 insulation
 22. R-23 insulation
 23. R-40 insulation
 24. 3" sound attenuation blanket
 25. 3/8" thermal/acoustical fiberglass batt insulation
 26. 1-1/2" gypsum subfloor
 27. 2x4 studs staggered on 2x6 plate @ 16" o/c
 28. Wall blocker sound membrane one side of framing
 29. Pre-manufactured wood truss
 30. Roof sheathing per structural
 31. Roofing felt per manufacturer
 32. Asphalt composition shingles
 33. Hardie board trim & fields
 34. Gable vent
 35. Hardie board siding & soffit
 36. Cont. soffit vent
 37. Roof line beyond parapet
 38. Kynar clad steel parapet cap cont.
 39. Radon exsuction plan (see note)
 40. 1/2" plywood subfloor nailed w/8d nails @ 8" o/c edges and 6" @ 10" o/c in field
 41. Floor finish vinyl plank or carpet
 42. Nom. 4" baseboard cont.
 43. Nom. 4" door/window casing
 44. 2x ceiling framing @ 24" o/c
 45. Beam per structural
 46. Vinyl window
 47. Solid-core 2 1/2" door
 48. Rafter per structural
 49. 12" LVL stringer
 50. Steel grate boards
 51. Steel cleats, trend to stringer
 52. Steel guardrail cont.
 53. Steel handrail cont.
 54. Exterior stucco
 55. Finish grade
 56. Existing grade
 57. New conc. sidewalk over compacted fill
 58. Floor joists per structural
 59. Bituminous waterproofing, extend over top of footing
 60. Radon abatement per plan notes
 61. Frame 2x4 x 24" across hatch to crawlspace in floor framing before spantier clear room
 62. Add 1/2" OSB to one side of roof truss that align with existing wall between apartment units for draft wall
 63. Floor blocker sound membrane underlayment
 64. 5/8" gyp board screwed @ 12" o/c
 65. Continuous ridge vent
 66. Fill framing voids w/23 insulation
 67. Cripple trusses @ 24" o/c
 68. Fry triplet control joint
 69. Soffit vent cont.



cross section

SCALE 1/4" = 1'-0"

MAPLE STREET APARTMENTS

HAILEY, IDAHO

JUNE 2022

GENERAL CONSTRUCTIONS NOTES

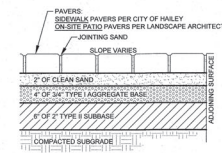
1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWC) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWC AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DCLINE (1-800-342-1586) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
8. PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF-ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
9. IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
10. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITD STANDARD 703.04, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
11. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWC 802, TYPE I (ITD STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-91.
12. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWC SECTION 805, 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPWC SECTION 805.
13. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
15. ALL CONCRETE WORK SHALL CONFORM TO ISPWC SECTIONS 701, 703, AND 705 AND CITY OF HAILEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM 28 DAY, AS DEFINED IN ISPWC SECTION 701, TABLE 1 WITH A MINIMUM OF 1.5 LBS/CY FIBER REINFORCEMENT. IMMEDIATELY AFTER COMPLETION PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPWC 703.5.3), AND POST-CURE SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HAILEY PRIOR TO INSPECTIONS.
16. ALL TRENCHING SHALL CONFORM TO ISPWC STANDARD DRAWING SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.01A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
17. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
18. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING. FIELD WORK WAS CONDUCTED 12/21/21.



VICINITY MAP
N.T.S.

SHEET INDEX

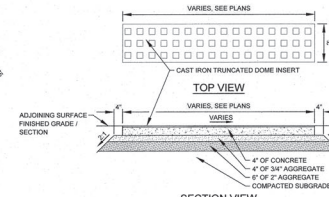
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C0.1	COVER SHEET AND DETAIL SHEET
C0.2	DETAIL SHEET
C0.3	DETAIL SHEET
C0.4	DETAIL SHEET
C0.9	DEMOLITION PLAN
C1.0	SITE GEOMETRY AND GRADING PLAN
C1.1	SITE IMPROVEMENTS AND UTILITY PLAN



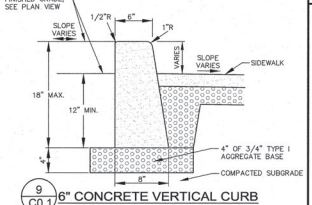
NOTES

1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

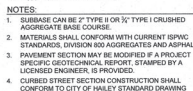
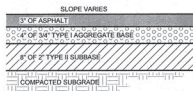
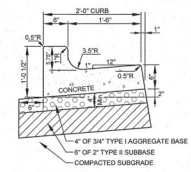
7
C0.1
PAVEMENT DETAIL
N.T.S.



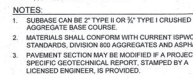
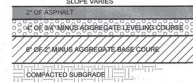
8
C0.1
TRUNCATED DOME INSERT DETAIL
N.T.S.



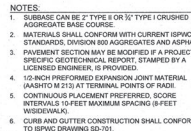
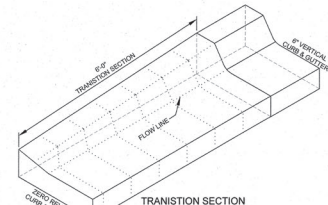
9
C0.1
6" CONCRETE VERTICAL CURB
N.T.S.



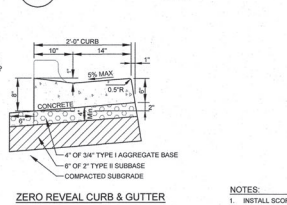
1
C0.1
TYPICAL STREET ASPHALT SECTION
N.T.S.



3
C0.1
TYPICAL PATH ASPHALT SECTION
N.T.S.



4
C0.1
6" CONCRETE VERTICAL CURB & GUTTER
N.T.S.



6
C0.1
ZERO REVEAL CURB & GUTTER
N.T.S.

NOTES

1. INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INITIAL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
2. 1/2" TRANSVERSE PREFORMED STAINLESS STEEL JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
3. SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2" WIDE, 2" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PERFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' WHEN TRANSITIONING NEW SIDEWALK TO EXISTING. A MINIMUM 2" TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
4. SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
5. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
6. CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

6
C0.1
TYPICAL CONCRETE SECTION
N.T.S.

2
C0.1
TYPICAL PARKING LOT ASPHALT SECTION
N.T.S.

5
C0.1
TYPICAL CURB TRANSITION DETAIL
N.T.S.



PURPOSE: ISSUE FOR DESIGN REVIEW (06/24/2022)
REVISION NO.
DATE
DESCRIPTION
03/07/23
REVISED BDD B F ELEVATION



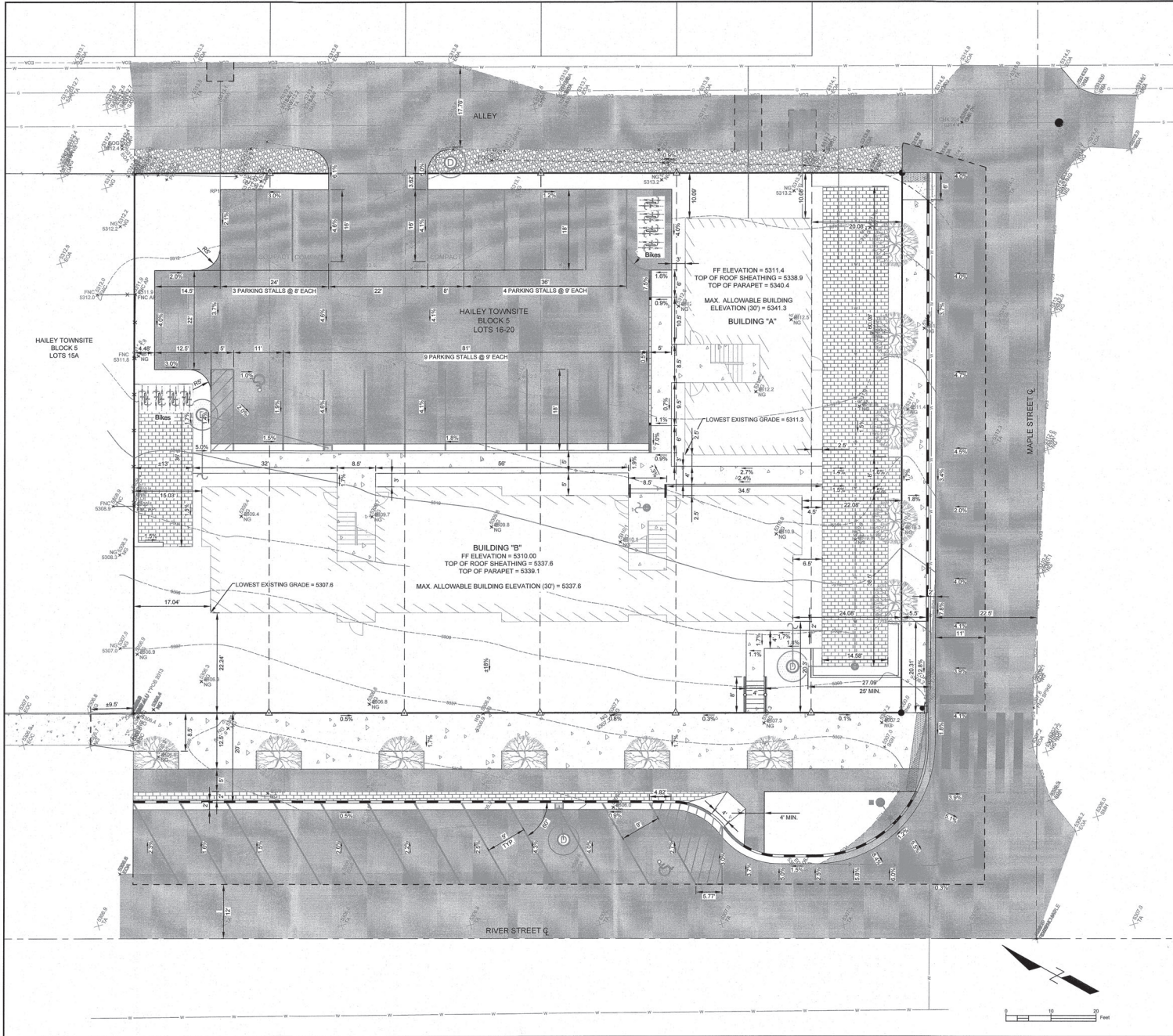
PRELIMINARY
CONSTRUCTION

COVER SHEET AND
DETAIL SHEET
MAPLE STREET APARTMENTS

22031
PROJECT NUMBER

C0.1

REUSE OF DRAWINGS: These drawings, in any portion thereof, shall not be used for any project or extension of the project without the approval of the Engineer. The Engineer shall be responsible for the accuracy of the information provided in these drawings. The Engineer shall be responsible for the accuracy of the information provided in these drawings.



- LEGEND**
- EXISTING ITEMS**
- PROPERTY LINE
 - INTERIOR LOT LINE (NOT VACATED)
 - ADJACENT LOT LINE
 - CENTERLINE OF RIGHT-OF-WAY
 - WATER MAIN
 - WATER SERVICE
 - SEWER MAIN
 - GAS MAIN
 - FDAC = FOUND ALUMINUM CAP ON SIF RESER
 - FDAS = FOUND SIF RESER
 - FDH = FOUND 12" RESER
 - FND PK = FOUND MAGNETIC NAIL
 - ENTRL = SURVEY CONTROL
 - SET SIF RESER PLS 180TS
 - CALCULATED POINT (NOTHING SET)
 - 5' CONTOUR INTERVAL
 - 1' CONTOUR INTERVAL
 - FNC = FENCE LINE
 - ASPHALT
 - GRAVEL
 - EOG = EDGE OF GRAVEL
 - DT = DECIDUOUS TREE
 - SGN = SIGN
 - PIBOX = TELEPHONE BOX
 - PRBOX = POWER BOX
 - PP = POWER POLE
 - GUY = GUYWIRE
 - AP = ANGLE PILE
 - EOG = EDGE OF ASPHALT
 - NC = NO CAP
 - NG = NATURAL GROUND
- PROPOSED ITEMS**
- NEW ASPHALT
 - CONCRETE SIDEWALK
 - GRAVEL WALKWAY
 - CONCRETE 6" VERTICAL CURB
 - CURB TRANSITION ZERO REVEAL TO TYPICAL 6" VERTICAL
 - ZERO REVEAL CURB & GUTTER
 - 6" VERTICAL CURB
 - ADA ACCESS TRUNCATED CURB
 - SGN
 - 5' CONTOUR INTERVAL
 - 1' CONTOUR INTERVAL
 - PAVERS
 - DRYWELL
 - 12" STORM DRAIN
 - CATCH BASIN
 - SAWCUT LINE
 - ROAD PAINT
 - GRADE
 - 2.0%
 - WATER SERVICE
 - SEWER SERVICE W/ CLEANOUT
 - FLOW LINE
 - ADA PAINT & SYMBOL
 - SGN
 - STREET LIGHT W/ CONTROL BOX
 - TREE, SEE LANDSCAPE PLANS

opai

OPAL ENGINEERING, PLLC
1000 W. 10TH AVE. SUITE 200
DENVER, CO 80202
WWW.OPAL-ENGINEERING.COM

PURPOSE: ISSUE FOR DESIGN REVIEW (05/24/2022)

REVISION NO.	DATE	DESCRIPTION
1	03/07/23	REVISED EDO B F ELEVATION

PROFESSIONAL ENGINEER

17018

DAVID L. DARGatz

MAINTAIN A SEAL IN STATE

PRELIMINARY

NOT FOR CONSTRUCTION

SITE GEOMETRY AND GRADING PLAN

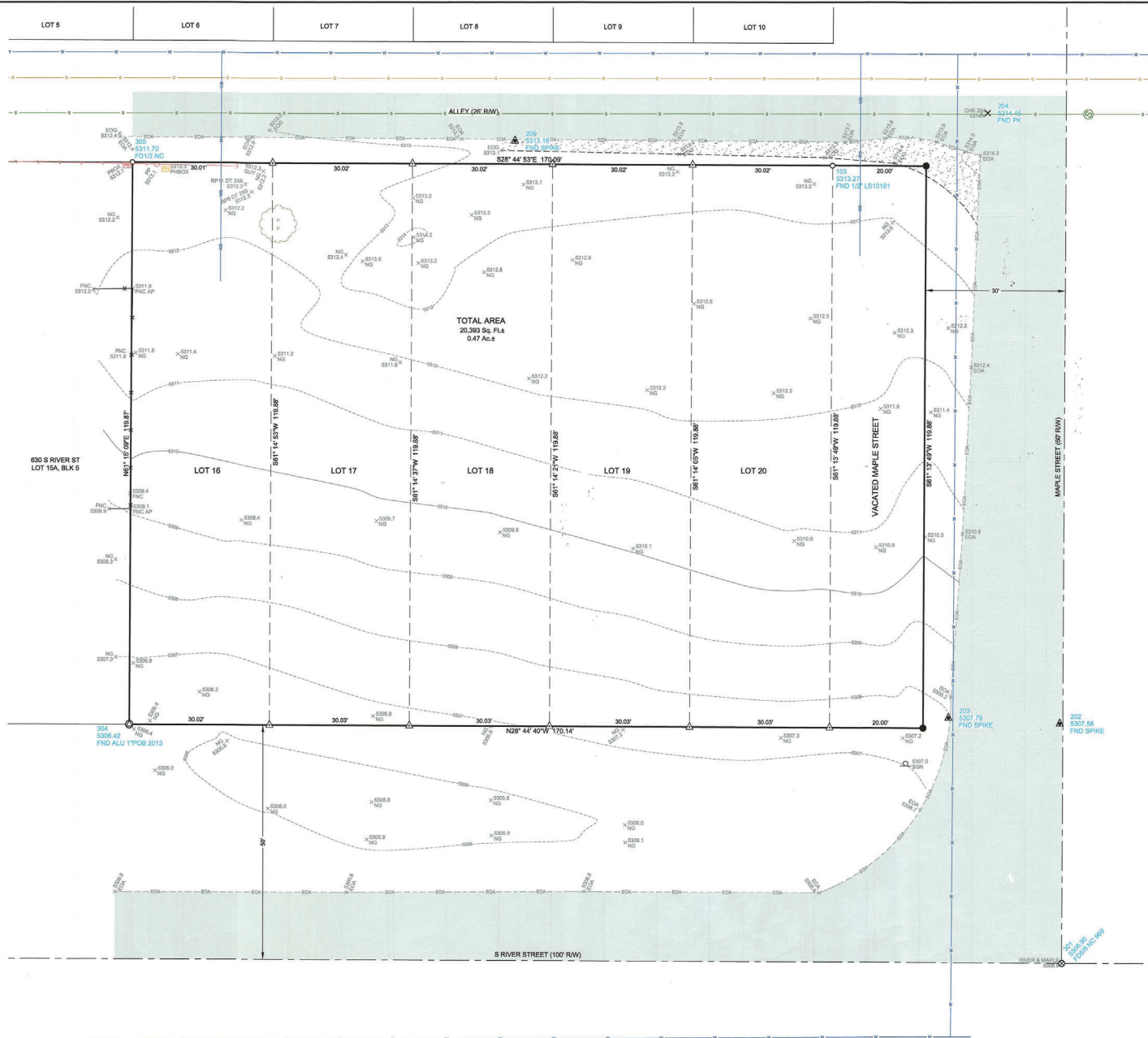
MAPLE STREET APARTMENTS

PREPARED FOR F & C REAL ESTATE DARG LLC

22031

PROJECT NUMBER

C1.0



- LEGEND**
- Property Line
 - Interior Lot Line (NOT Vacated)
 - Adjoiner's Lot Line
 - Centerline of Right of Way
 - Water Main
 - Water Service
 - Sewer Main
 - Gas Main
 - FDAC = Found Aluminum Cap on 5/8" Rebar
 - FD5/8 = Found 5/8" Rebar
 - FD12 = Found 1/2" Rebar
 - FND PK = Found Magnetic Nail
 - CNTRL = Survey Control
 - Set 5/8" Rebar, PLS 16670
 - Calculated Point (Pothole Set)
 - 5' Contour Interval
 - 1' Contour Interval
 - FNC = Fence Line
 - Asphalt
 - Gravel Drive
 - EOG = Edge Of Gravel
 - DT = Deciduous Tree
 - SGN = Sign
 - PHBOX = Telephone Box
 - PBOX = Power Box
 - PP = Power Pole
 - GUY = Guywire
 - AP = Angle Point
 - EOA = Edge of Asphalt
 - NC = No Cap
 - NG = Natural Ground

- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (12/21/2021).
 - Boundary information is based on Found Monumentation and the recorded Map of Hailey, Idaho, Blaine County, Idaho. All found monuments have been accepted. A Record of Survey will be filed with the Blaine County Recorder's Office since missing property corners will be set.
 - Underground utility locations are based on above ground appearances, utilities visible at the time of the survey, and City Maps. Utilities should be located prior to any excavation.
 - Galena Engineering, Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 - Benchmark is top of 1/2" rebar (LS10161) marking the east corner of the lot, elevation = 5313.27. Vertical Datum is NAVD 1988.
 - At the time of this survey, there was approximately 2" of snow on the ground. Due to said snow cover, it is possible that some ground features were unable to be seen or located. Galena Engineering accepts No responsibility for possible missing features due to the snow coverage.

maple street apartments
river & maple
hailey, idaho 83333

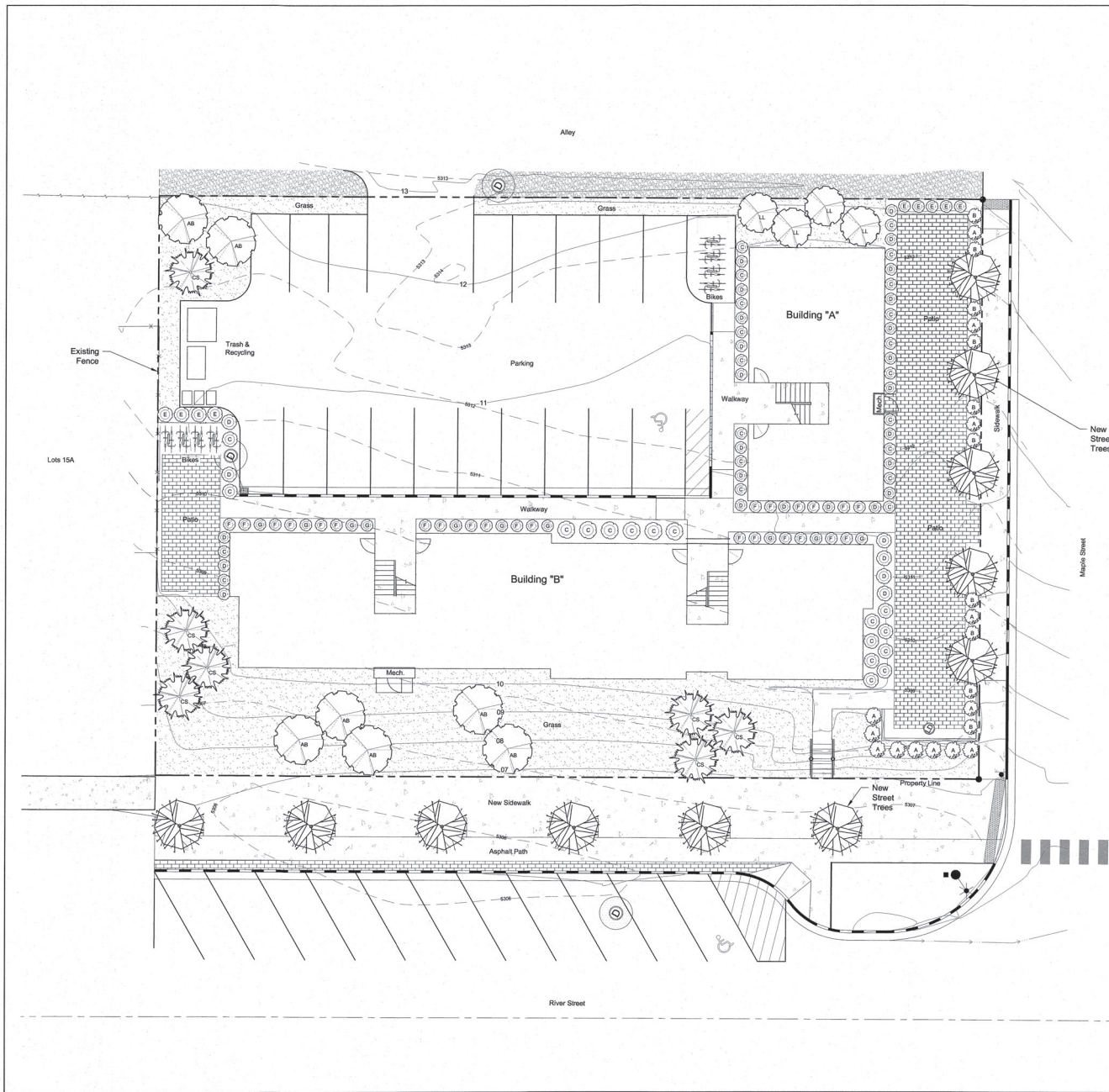
A TOPOGRAPHIC MAP SHOWING
LOTS 16, 17, 18, 19, & 20 BLOCK 5, AND NORTH 20' OF
VACATED MAPLE STREET, HAILEY TOWNSITE
LOCATED WITHIN SECTION 16, T4N, R10E, BLK 5, HAILEY, BLAINE COUNTY, IDAHO
PREPARED FOR LAND TENDER



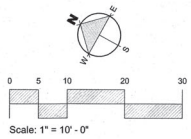
DESIGNED BY
DRAWN BY
CHECKED BY
GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
Hailey, Idaho 83333
(208) 798-1700
www.galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS
TOPO				

TOPO



Plant Legend		
Qty.	Species	Size
7	Conifer Trees	12' & 14'
CS	Columnar Blue Spruce	Picea pungens
10	Street Trees	3" Cal.
	Flowering Crab	Malus spp.
11	Deciduous Trees	3"-4" Cal.
AB	Autumn Blaze Maple	Acer x freemantii 'Jefferson'
LL	Littleleaf Linden	Tilia cordata
122	Deciduous Shrubs	5 Gal.
A	Variegated Dogwood	Cornus alba 'Argentea Marginal'
B	Potentilla Goldfinger	Potentilla fruticosa 'Goldfinger'
C	Snowberry	Symphoricarpos albus
D	Snowround Spiraea	Spiraea x n. 'Snowround'
E	Goldflame Spiraea	Spiraea x bumalda 'Goldflame'
F	Amor. Comp. Cranberry	Viburnum l. 'Blackberry'
G	Peking Cotoneaster	Cotoneaster lucidus
4,200 sq.ft.	Grass	Sod
	Drought tolerant Fescue Mix	



PRELIMINARY ONLY - NOT FOR CONSTRUCTION

Maple St.
Apartments

EGGER ASSOCIATES, P.A.
landscape architecture
T: (208) 725-0988
F: (208) 725-0972
P.O. Box 973
Ketchum, ID 83340

Maple Street Apartments
Hailey Townsite
Block 5, Lots 16-20
Hailey, Idaho

Job No: 00.00

Scale: 1" = 10'-0"

Issue/Revision: Date:

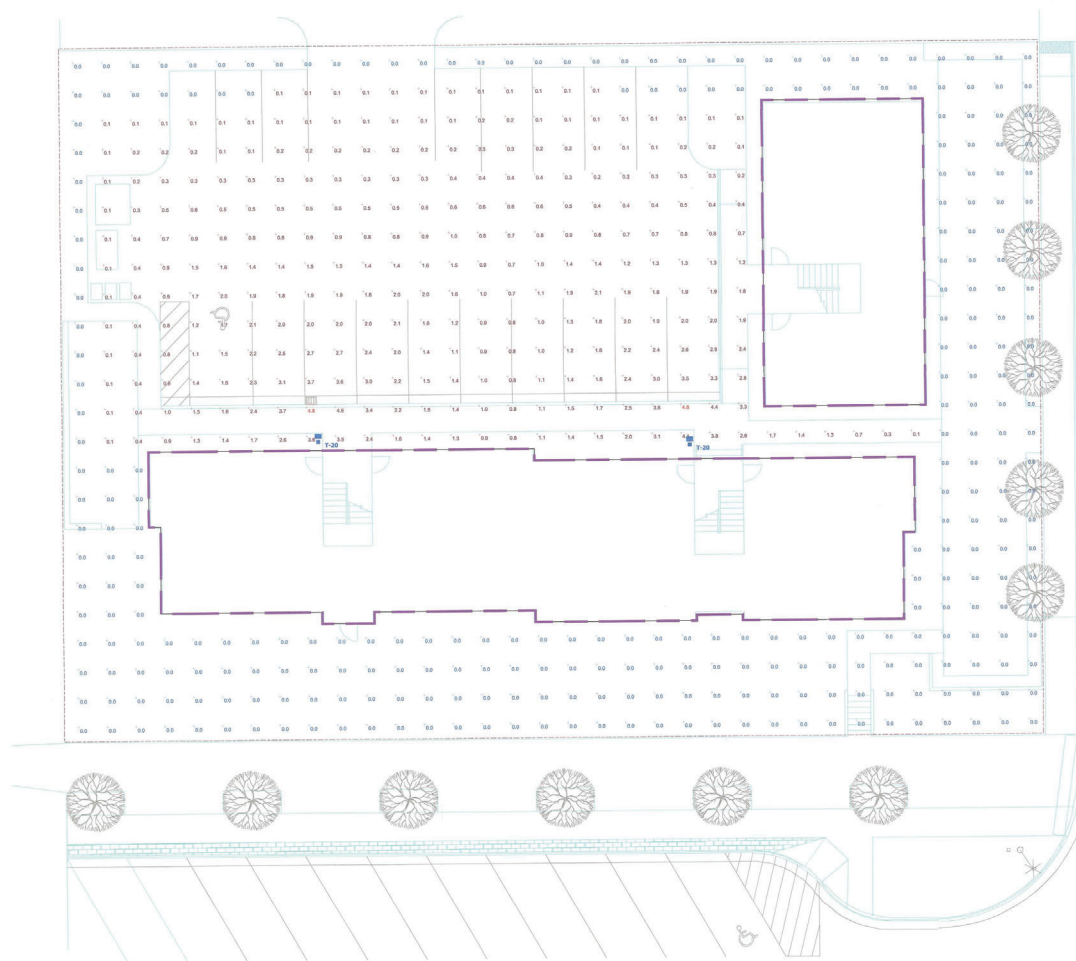
06/24/22

Sheet Title:
Landscape
Plan

Sheet No:
L1

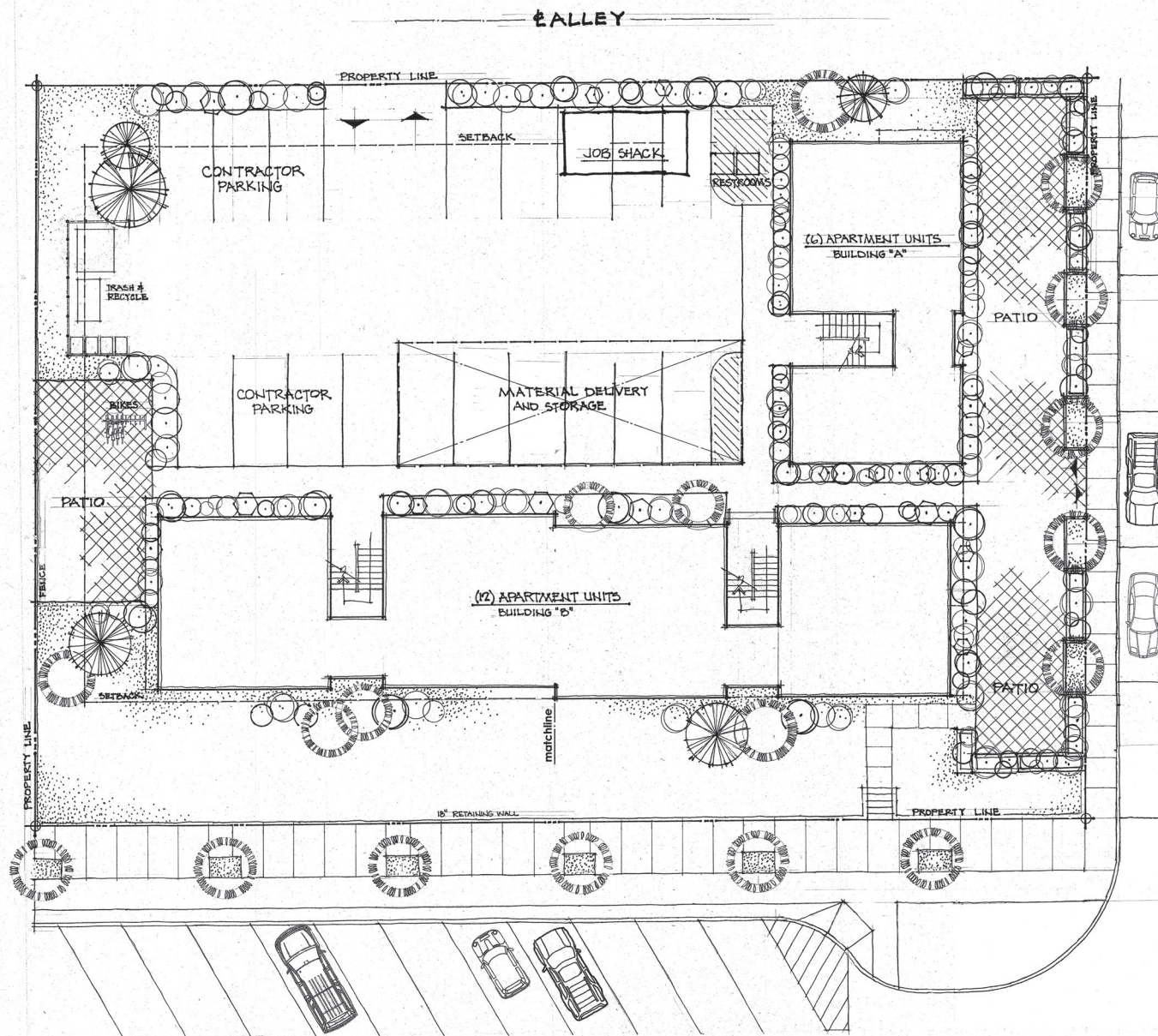
Item	Quantity	Unit	Material	Notes
1	1.00	sq ft	Asph/Flt	Roof
2	1.00	sq ft	Grass	Site
3	1.00	sq ft	Grass	Site
4	1.00	sq ft	Grass	Site
5	1.00	sq ft	Grass	Site
6	1.00	sq ft	Grass	Site
7	1.00	sq ft	Grass	Site
8	1.00	sq ft	Grass	Site
9	1.00	sq ft	Grass	Site
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93	1.00	sq ft	Grass	Site
94	1.00	sq ft	Grass	Site
95	1.00	sq ft	Grass	Site
96	1.00	sq ft	Grass	Site
97	1.00	sq ft	Grass	Site
98	1.00	sq ft	Grass	Site
99	1.00	sq ft	Grass	Site
100	1.00	sq ft	Grass	Site

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE	+	0.6 ft	4.8 ft	0.0 ft	N/A	N/A



Plan View
Scale - 1" = 10'





VICINITY MAP
N.T.S.

W MAPLE STREET

RIVER STREET

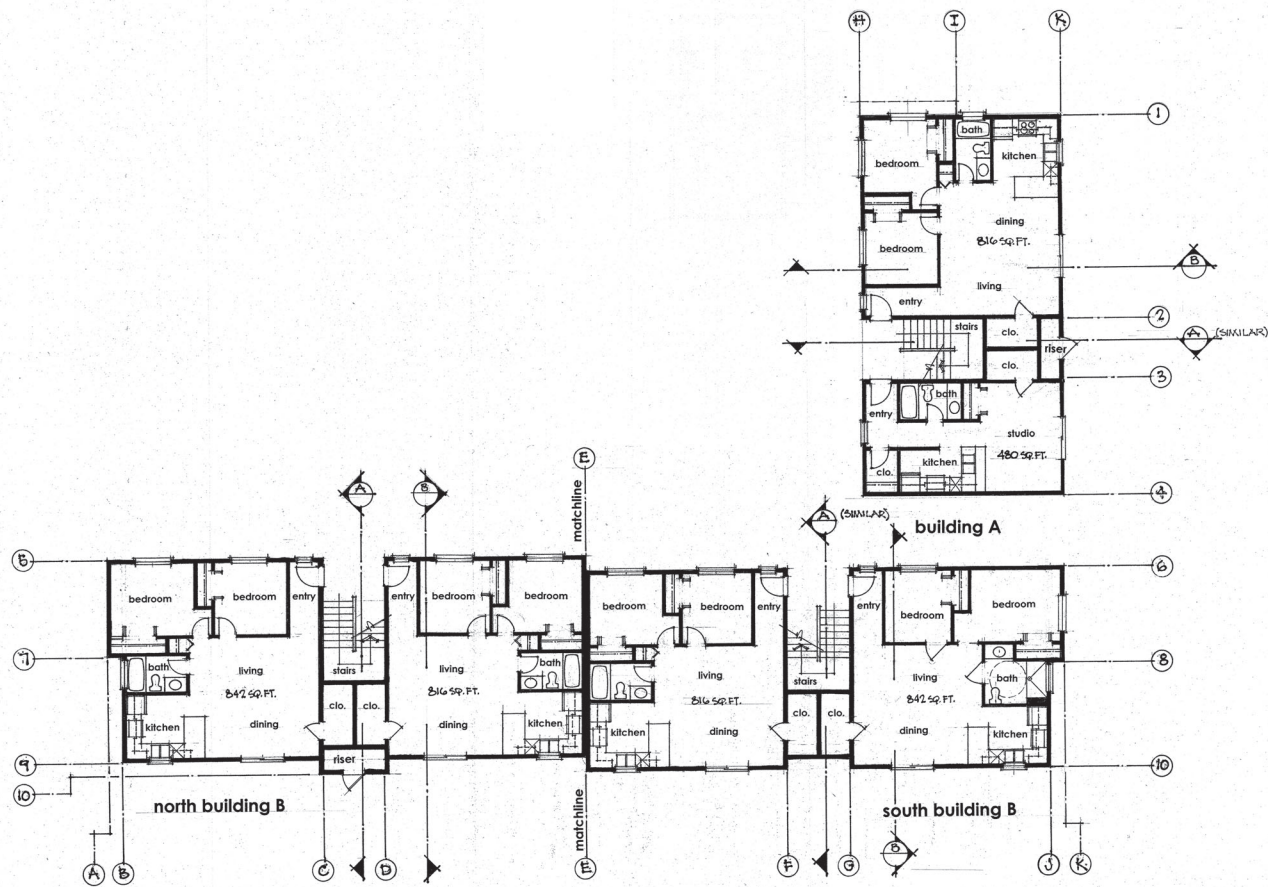
CONSTRUCTION ACTIVITIES PLAN
SCALE 1/8" = 1'-0"

ARCHITECT/CAPANNER
110 N ANGELA DR
HAILEY, ID 83333
(208) 720-2344

PROJECT NO.
DATE
DRAWN BY

maple street apartments
hailey, idaho 83337
river & maple

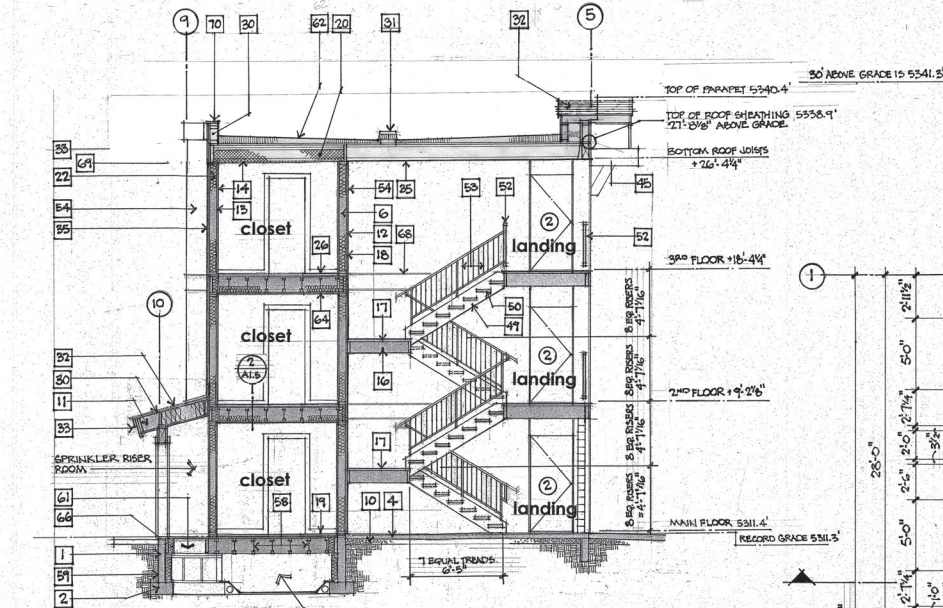




main floor plan- buildings A & B

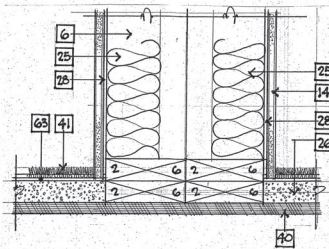
SCALE 1/8" = 1'-0"





cross section

SCALE 1/4"=1'-0"

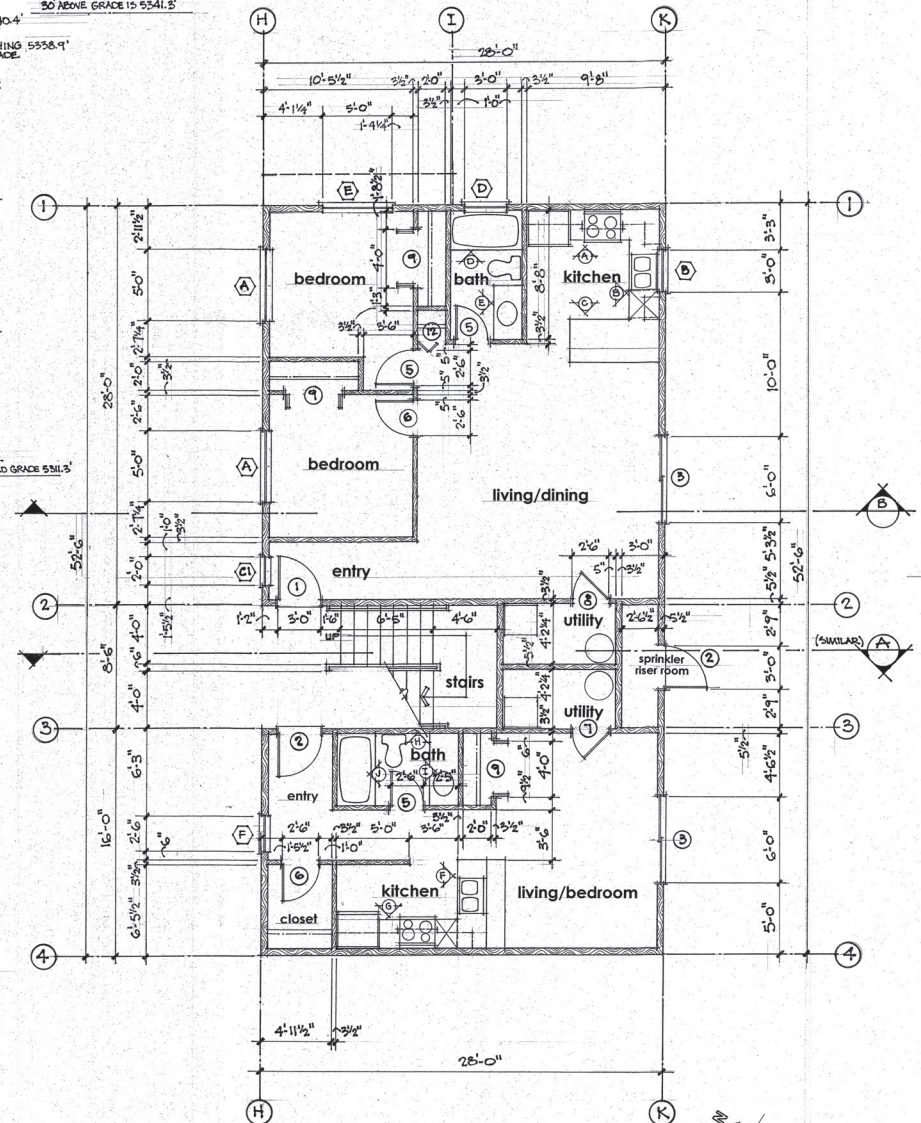


sound wall detail
(STC=50+)

SCALE 3/8"=1'-0"

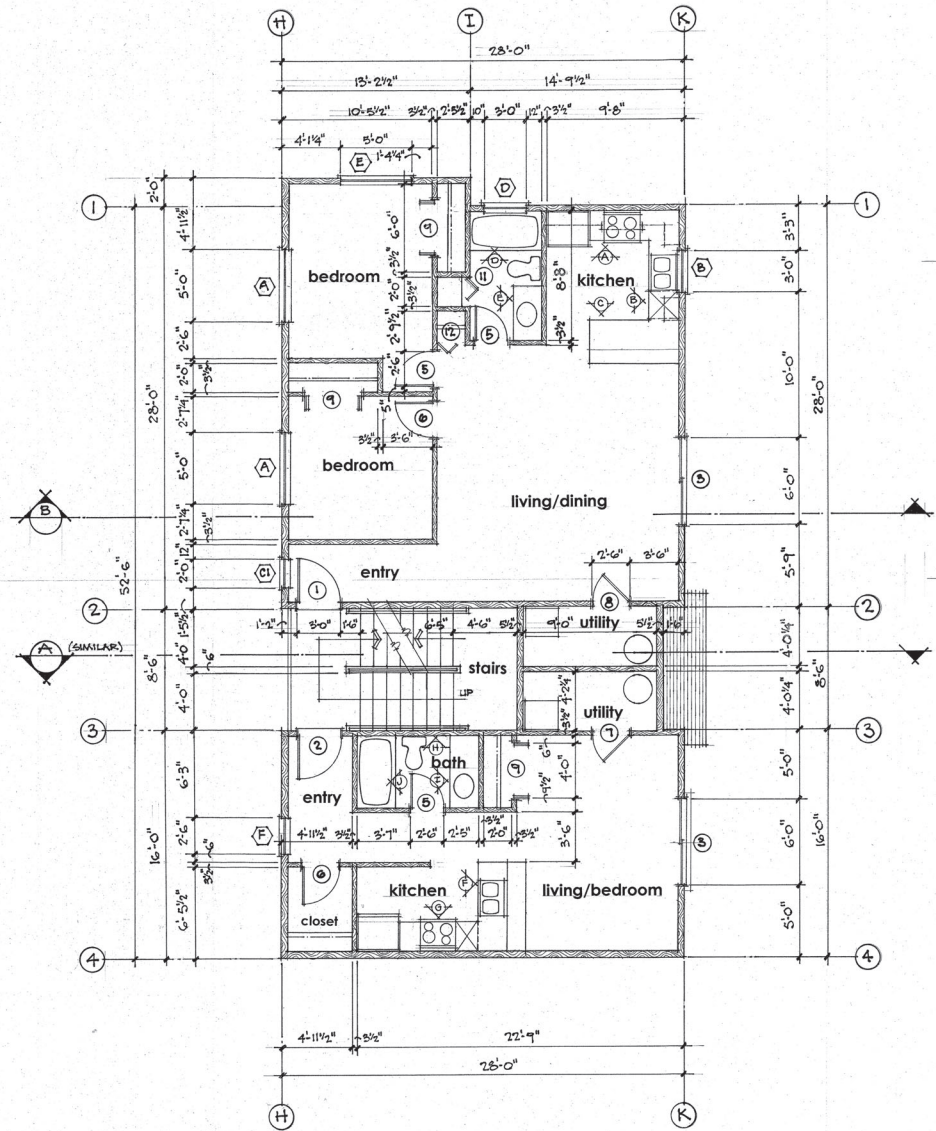
KEYNOTES

1. Conc. foundation per structural
2. Conc. footing per structural
3. Parimeter insulation cont.
4. 4" concrete slab per structural
5. 2x4 studs @ 16" o/c
6. 2x4 studs @ 16" o/c
7. 2x cripple studs @ 16" o/c
8. Header per structural
9. 2x treated mud sill cont.
10. 4" compacted granular fill
11. Roof rafters per structural
12. Plywood sheathing per structural
13. 4-mil vapor retarder
14. 80" gypsum ltr
15. 1/2" resilient channel @ 24" o/c
16. 2x landing joists per structural
17. 1x trax decking (or equal)
18. Tyvek infiltration barrier (or equal)
19. 1/2" floor sheathing
20. R-30 insulation
21. R-30 insulation
22. R-30 insulation
23. R-40 insulation
24. 3" sound attenuation blanket
25. 3-48" thermal/acoustical fiberglass batt insulation
26. 1-1/2" concrete subfloor
27. 2x4 studs staggered on 2x4 plate @ 16" o/c
28. Wall blocker sound membrane one side of framing
29. ROOF JOISTS PER STRUCTURAL
30. 2x4x PARAPET STUDS @ 24" O/C
31. ROOF DRAIN
32. Asphalt composition shingles
33. Hardie board siding & fascia
34. Gable vent
35. Hardie board siding & soffit
36. Cont. soffit vent
37. Roof line beyond parapet
38. Ryner clad steel parapet cap cont.
39. Radon evacuation pipe (see note)
40. 1/2" plywood subfloor nailed with nails @ 6" o/c edges and 6d @ 12" o/c in field
41. Floor finish vinyl plank or carpet
42. Non-4" baseboard cont.
43. Non-4" door/window casing
44. 2x ceiling framing @ 24" o/c
45. Beam per structural
46. Vinyl window
47. Solid-core steel door
48. Rafter per structural
49. 12" LVL stringers
50. Steel gable truss
51. Steel cleats, tread to stringer
52. Steel quadrant cont.
53. Steel handrail cont.
54. Exterior stucco
55. Finish grade
56. Existing grade
57. New conc. sidewalk over compacted fill
58. Floor joists per structural
59. Bituminous damp-proofing extend over top of footing
60. Radon abatement per plan notes
61. Frame 24" x 24" access hatch to crawlspace in floor framing below sprinkler riser room
62. 60 MIL EPDM MEMBRANE LAID 9" TAPERED RIGID INSUL. SLOPED MIN. 2% TO DRAIN
63. Floor blocker sound membrane underlayment
64. 80" gyp board sheathed @ 12" o/c
65. Continuous ridge vent
66. 6x6 framing joists with 23 insulation
67. Cripple trusses @ 24" o/c
68. Fry register control point
69. Soffit vent cont.
70. PARAPET CAP CONT.

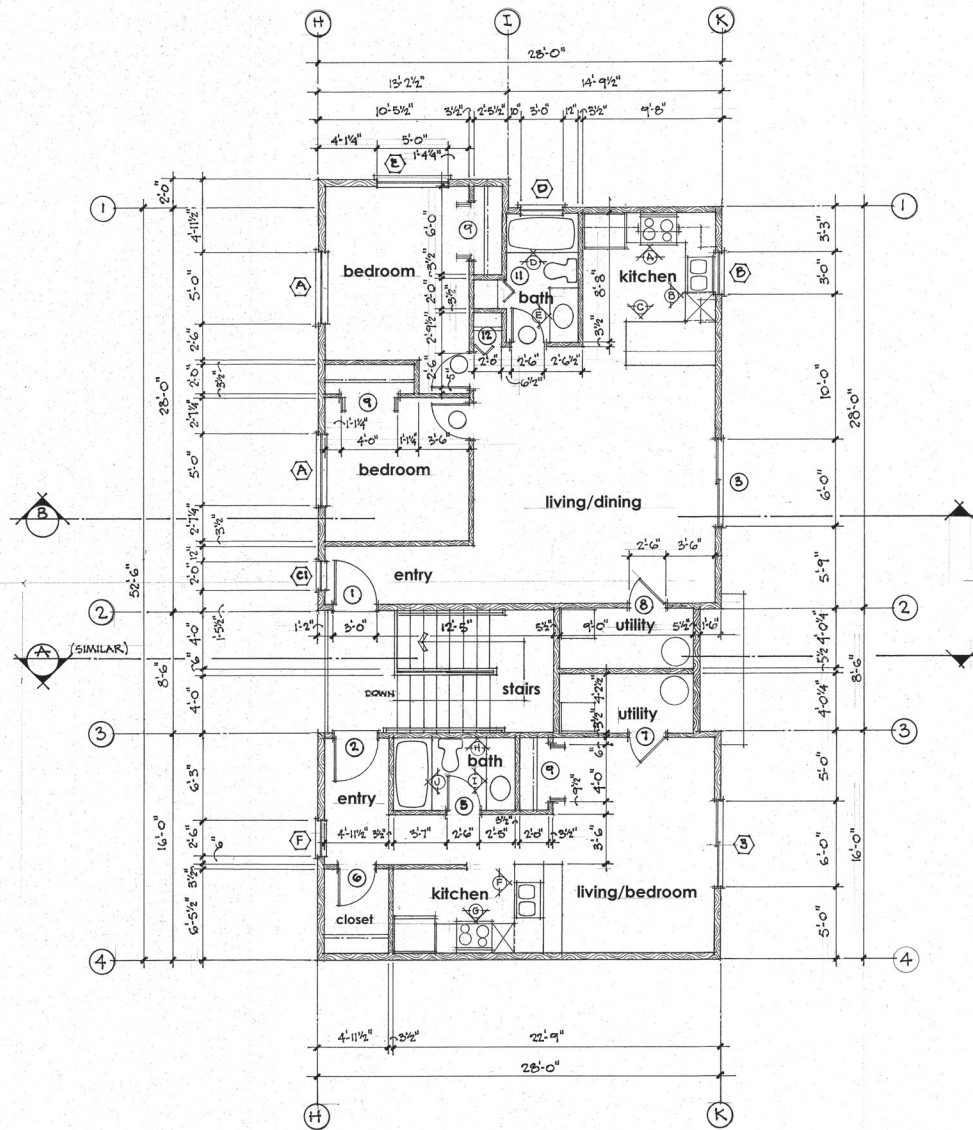


main floor plan-building A

SCALE 1/4"=1'-0"

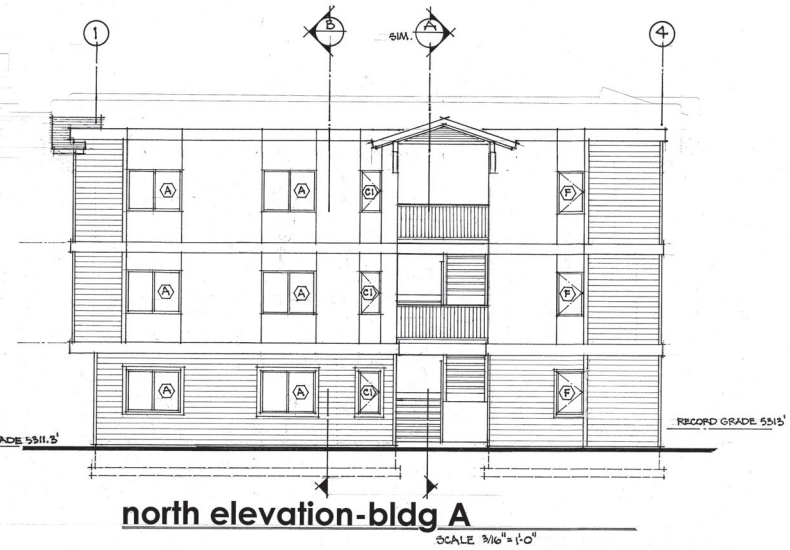
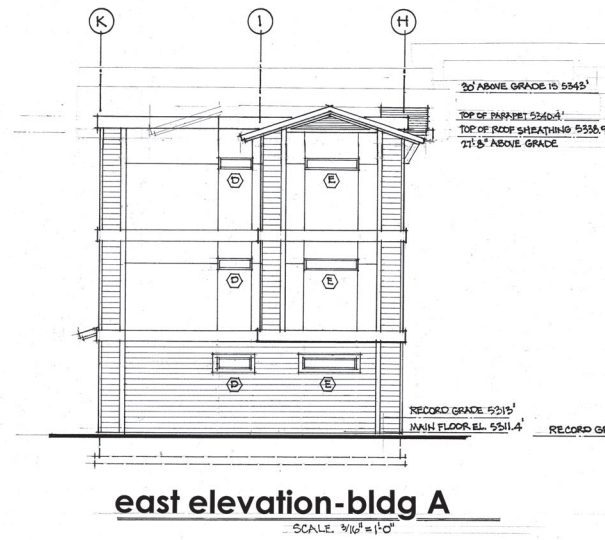
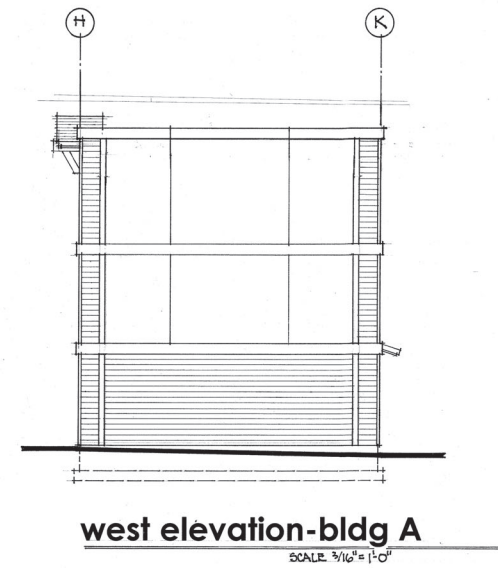
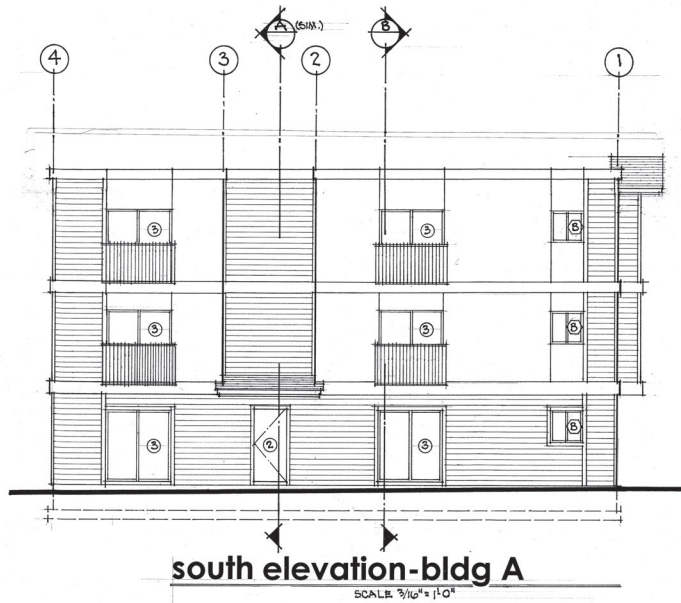


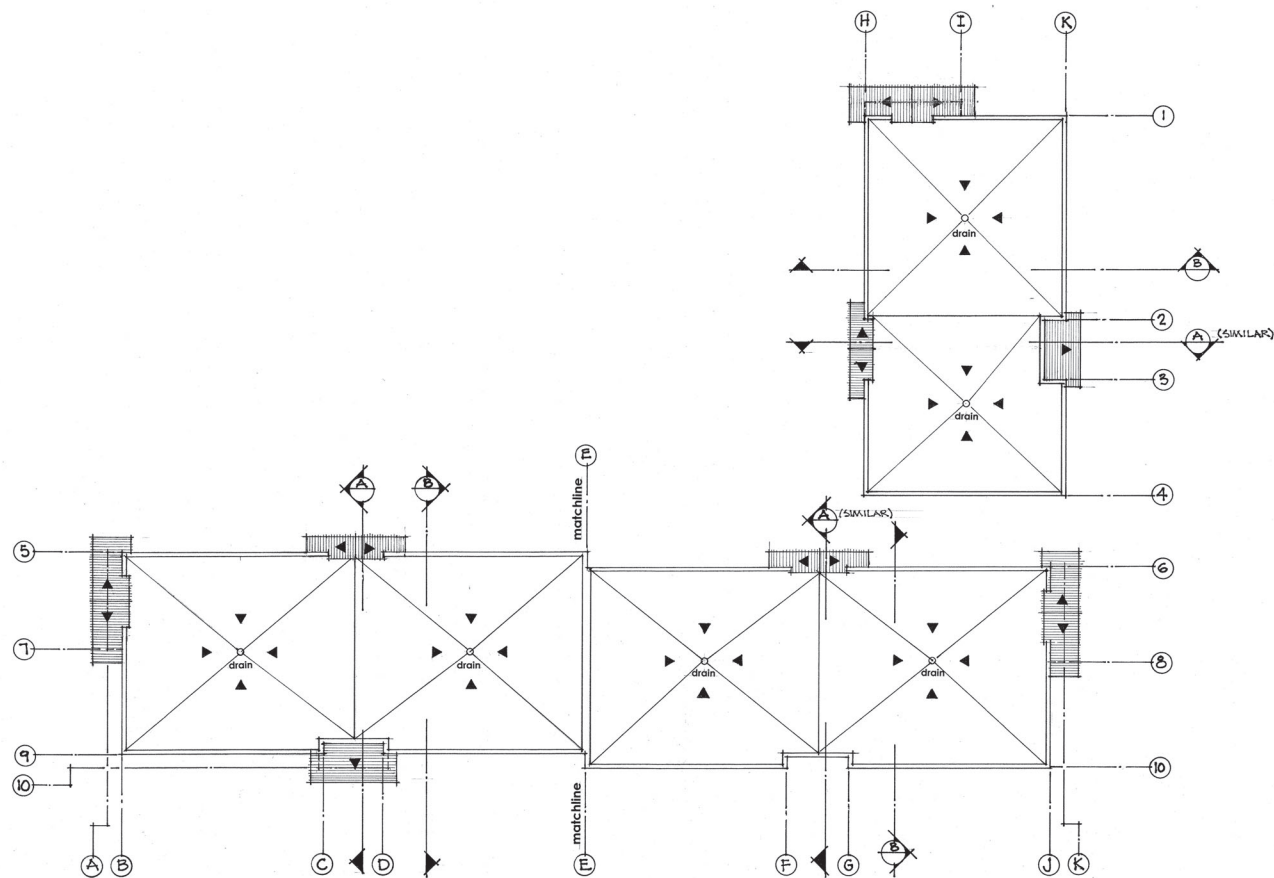
2nd floor plan-building A
 SCALE: 1/4" = 1'-0"



3rd floor plan-building A

SCALE 1/4" = 1'-0"





roof plan

SCALE 1/8" = 1'-0"



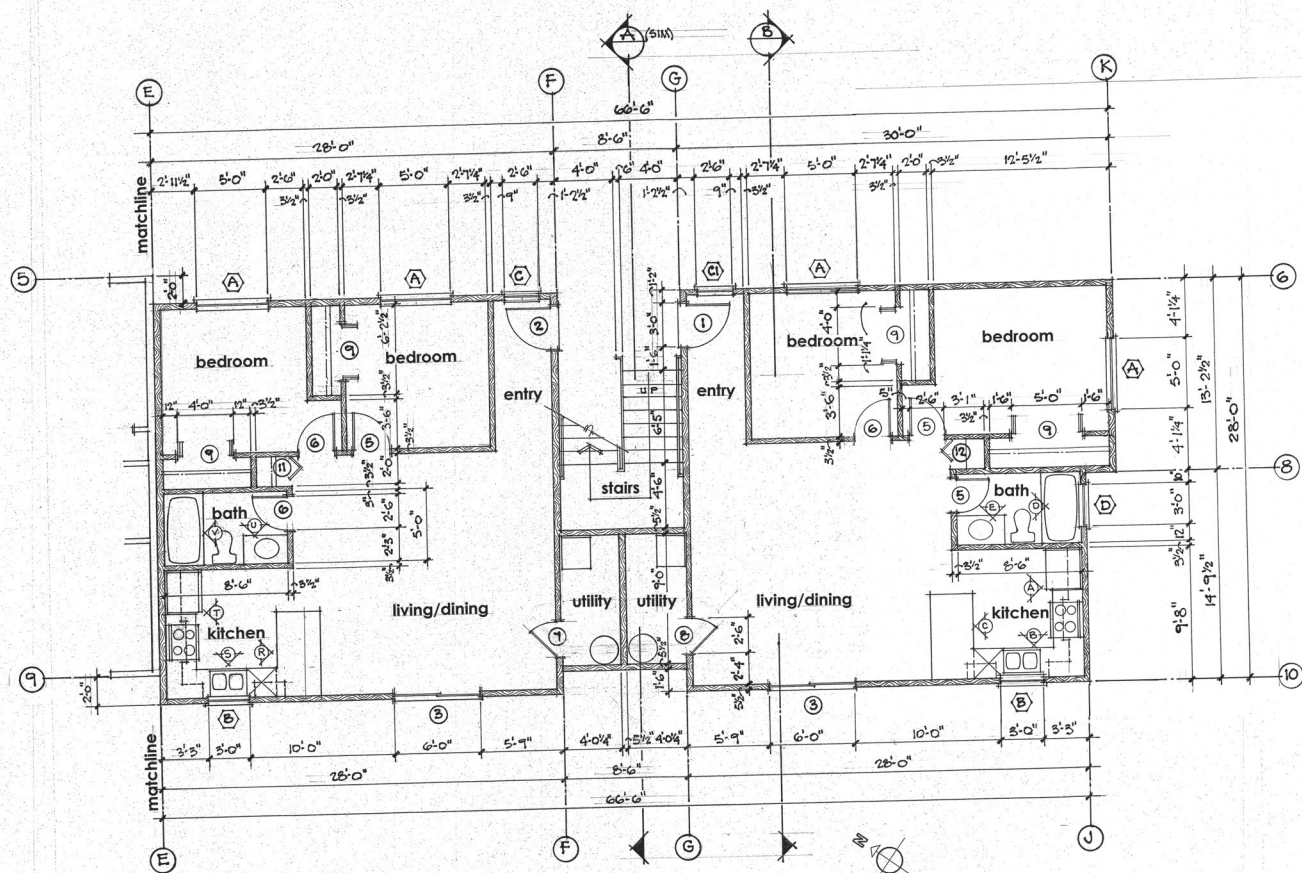
ARCHITECT/PLANNER
110 N ANGELA DR
HAILEY, ID 83333
(208) 720-2344

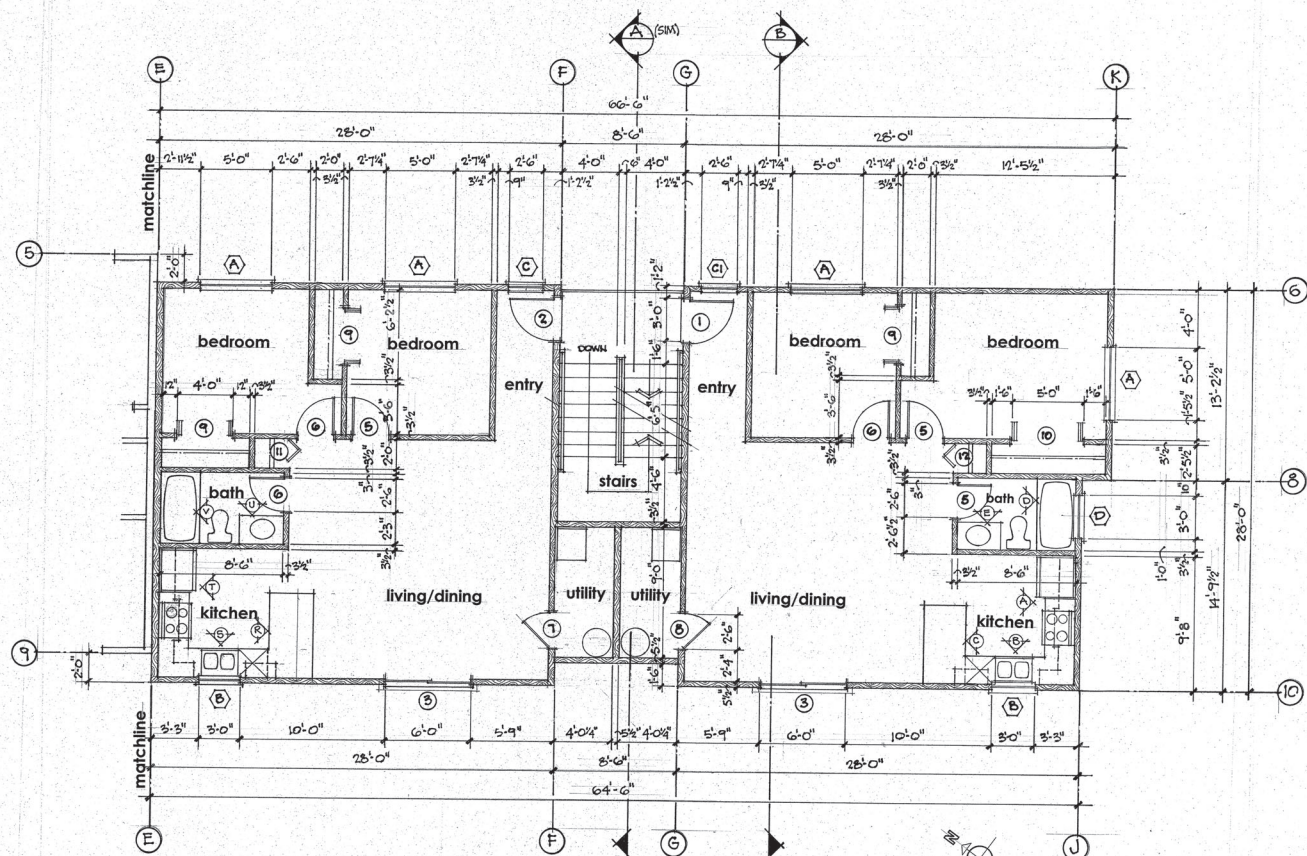
REVISIONS

PROJECT NO.
DATE
DRAWN BY

maple street apartments
halley, idaho 83333
river & maple

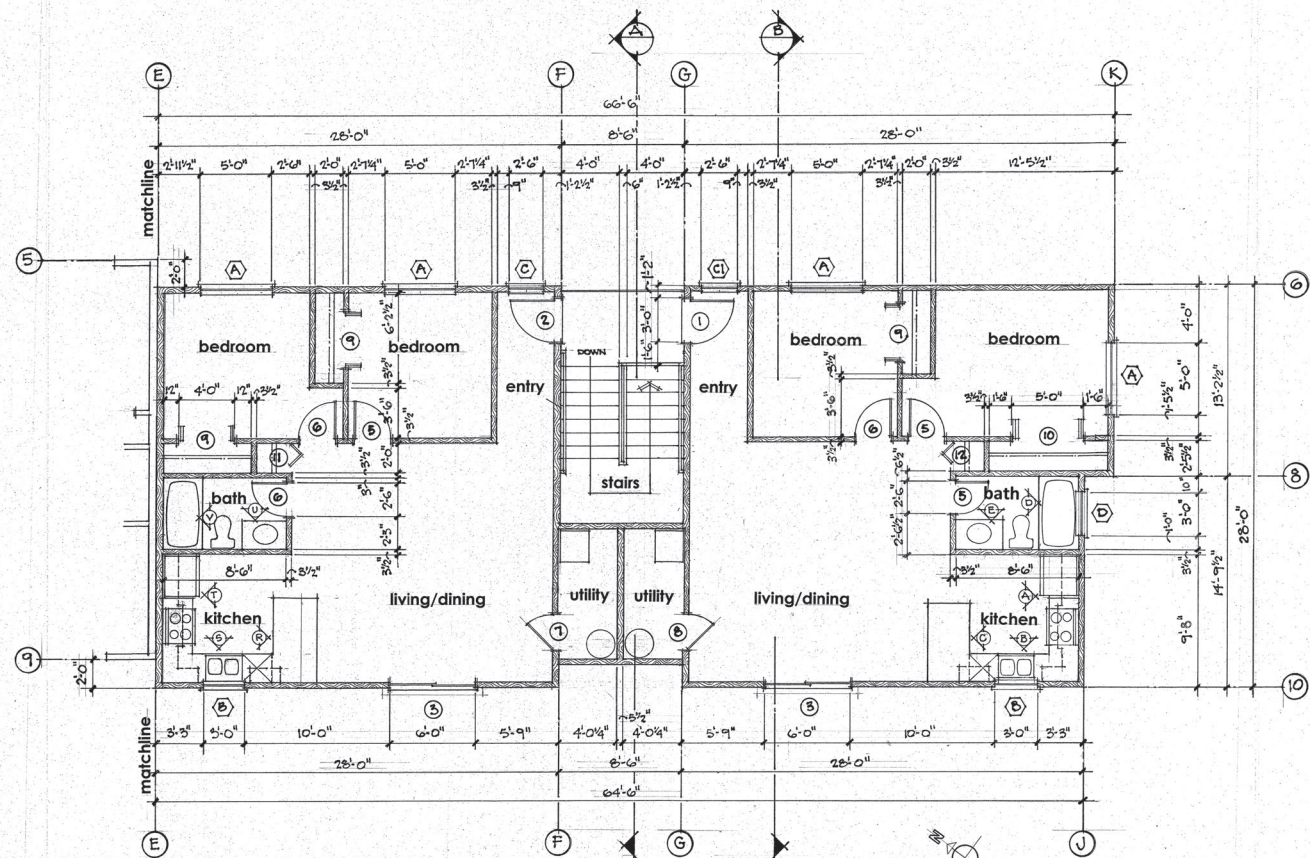






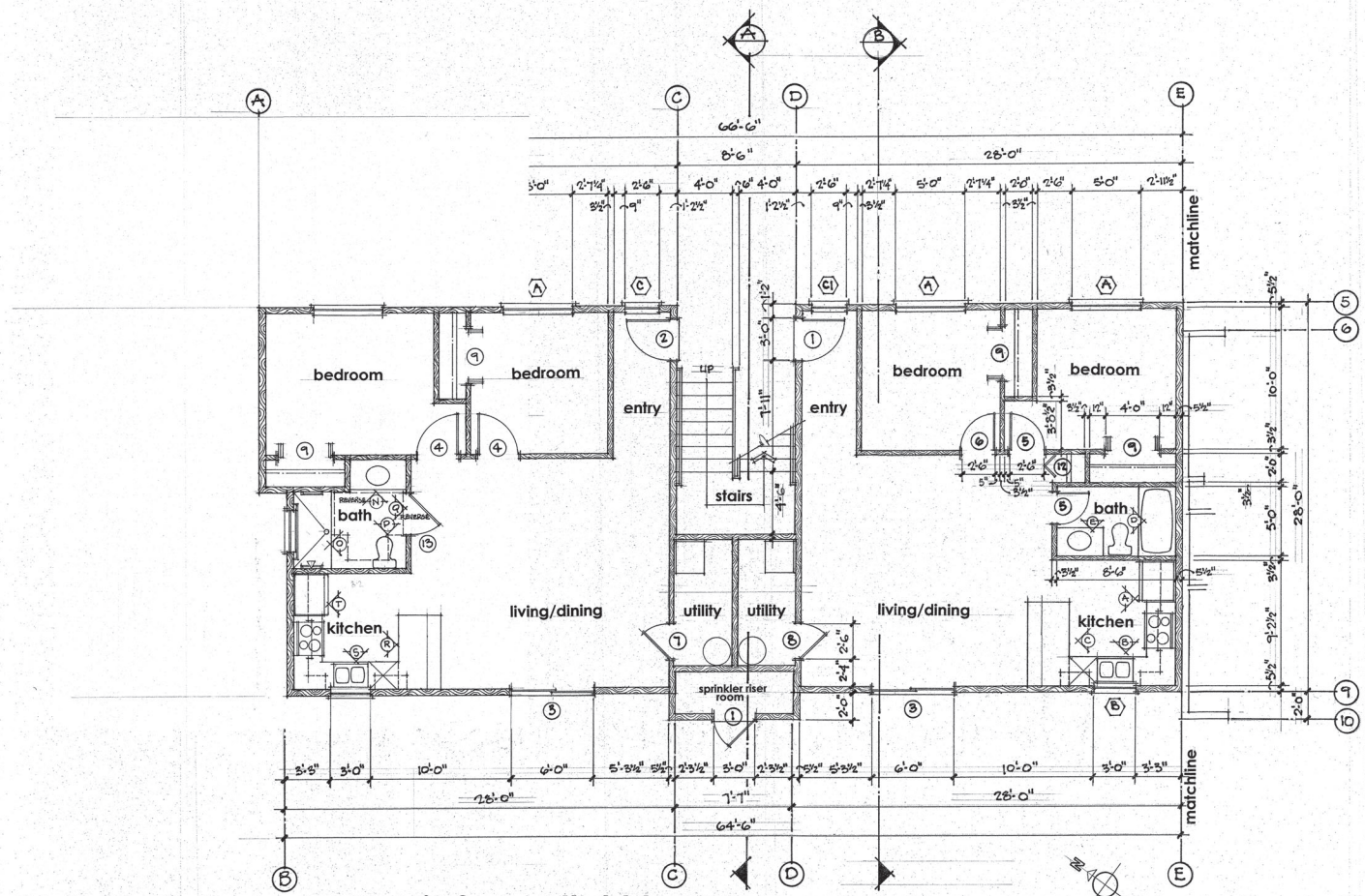
2nd f.p. south-building B

SCALE 1/4" = 1'-0"



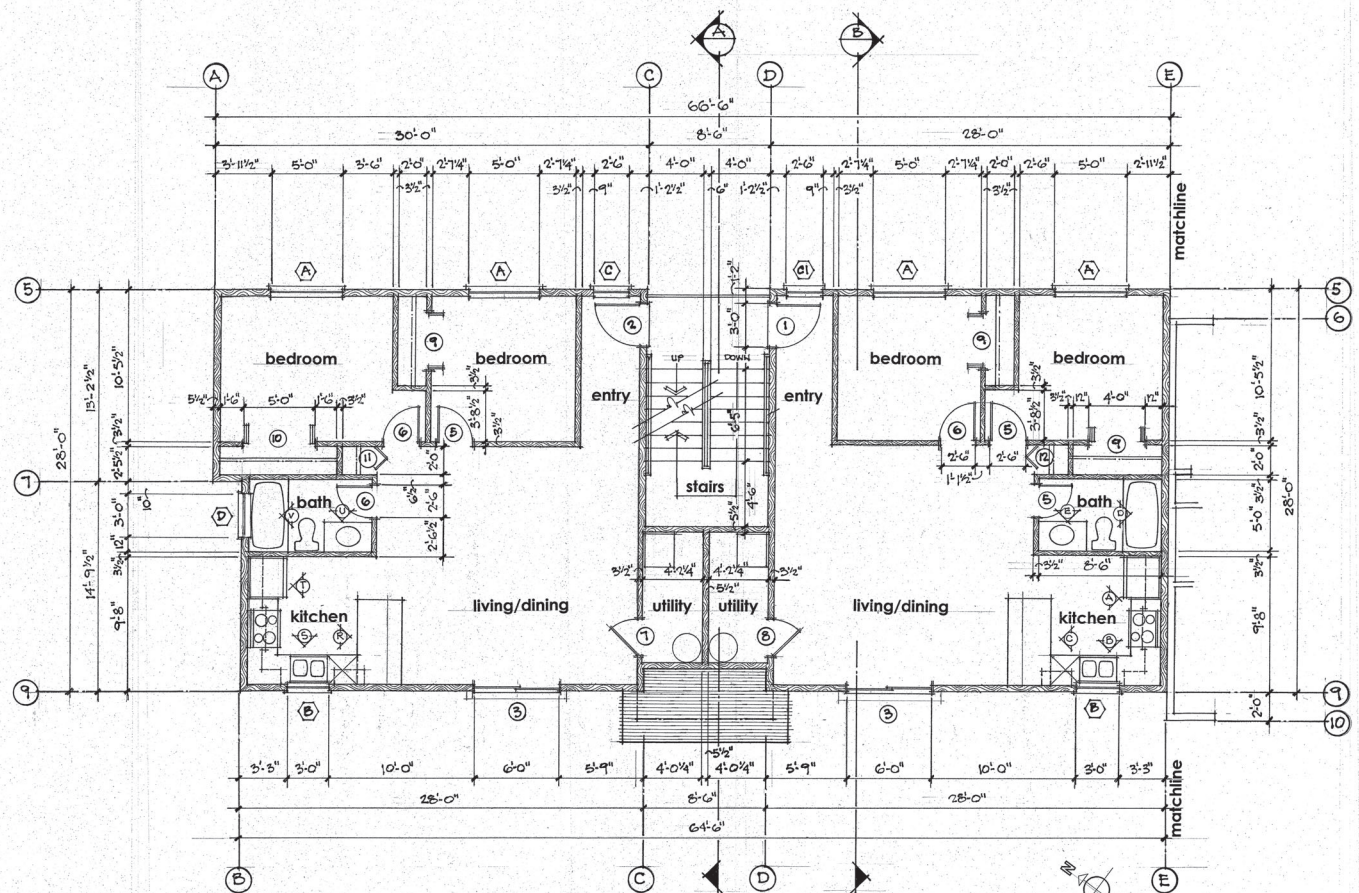
3rd f.p. south-building B

SCALE 1/4" = 1'-0"



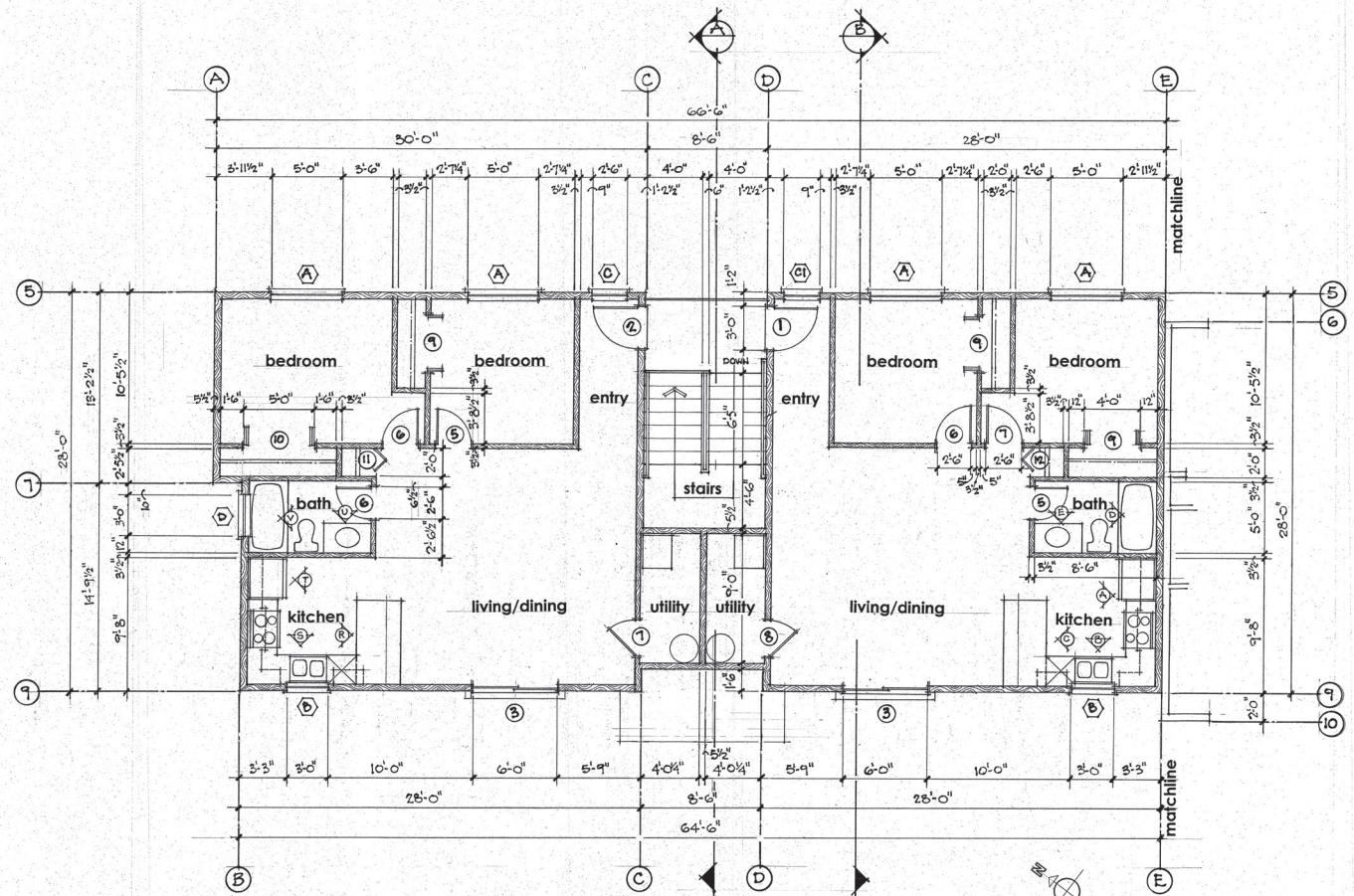
main f.p. north-bldg B

SCALE 1/4" = 1'-0"



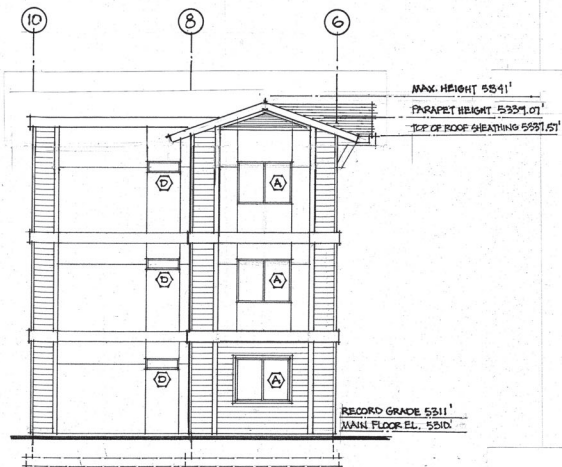
2nd f.p. north-building B

SCALE 1/4" = 1'-0"



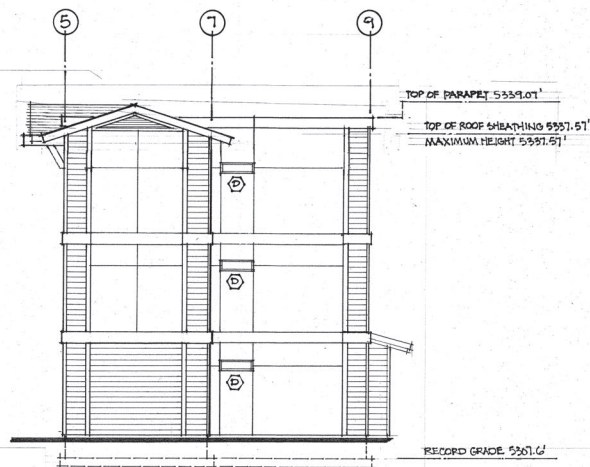
3rd f.p. north-building B

SCALE 1/4" = 1'-0"



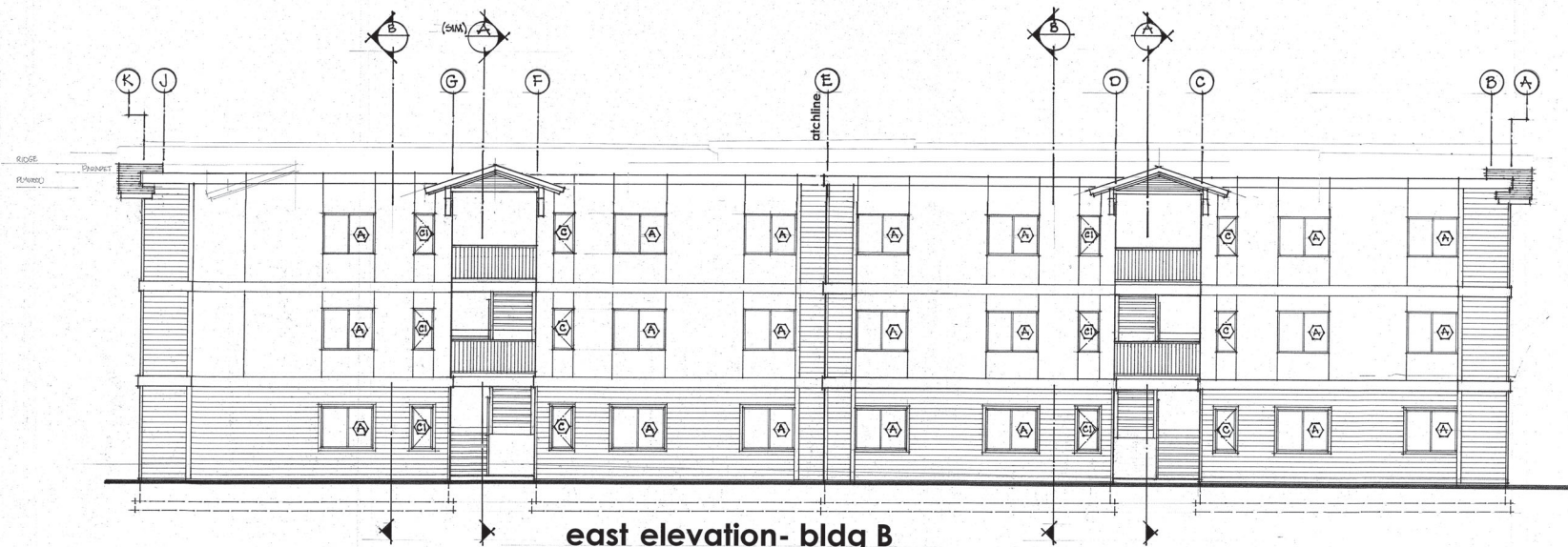
south elevation-bldg B

SCALE: 3/16" = 1'-0"



north elevation-bldg B

SCALE: 3/16" = 1'-0"



east elevation- bldg B

SCALE: 3/16" = 1'-0"



VIPER Area/Site

DATE: 3-14-23 LOCATION: HAILEY, IDAHO
TYPE: T-20 PROJECT: MAPLE STREET APARTMENTS
CATALOG #: VP-1-160L-50-3K8-4F-120-A-SCBA (15.5 FT SQUARE POLE)

MICRO STRIKE | STRIKE

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as auto dealership, retail, commercial, and campus parking lots
- Featuring two different optical technologies, Strike and Micro Strike Optics, which provide the best distribution patterns for retrofit or new construction
- Rated for high vibration applications including bridges and overpasses. All sizes are rated for 1.5G
- Control options including photo control, occupancy sensing, NX Lighting Controls™, wiSCAPE and 7-Pin with networked controls
- New customizable lumen output feature allows for the wattage and lumen output to be customized in the factory to meet whatever specification requirements may entail
- Field interchangeable mounting provides additional flexibility after the fixture has shipped



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with 1000 hour powder coat paint finish
- External hardware is corrosion resistant

OPTICS

- Micro Strike Optics (160, 320, 480, or 720 LED counts) maximize uniformity in applications and come standard with mid-power LEDs which evenly illuminate the entire luminous surface area to provide a low glare appearance. Catalog logic found on page 2
- Strike Optics (36, 72, 108, or 162 LED counts) provide best in class distributions and maximum pole spacing in new applications with high powered LEDs. Strike optics are held in place with a polycarbonate bezel to mimic the appearance of the Micro Strike Optics so both solutions can be combined on the same application. Catalog logic found on page 3
- Both optics maximize target zone illumination with minimal losses at the house-side, reducing light trespass issues. Additional backlight control shields and house side shields can be added for further reduction of illumination behind the pole
- One-piece silicone gasket ensures a weatherproof seal
- Zero up-light at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Mounting patterns for each arm can be found on page 11
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option (ASQU) or accessory for square and round poles.

INSTALLATION (CONTINUED)

- All mounting hardware included
- Knuckle arm fitter option available for 2-3/8" OD tenon
- For products with EPA less than 1 mounted to a pole greater than 20ft, a vibration damper is recommended

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is compromised

CONTROLS

- Photo control, occupancy sensor programmable controls, and Zigbee wireless controls available for complete on/off and dimming control
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- 0-10V Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6" standard

CONTROLS (CONTINUED)

- NX Lighting Controls™ available with in fixture wireless control module, features dimming and occupancy sensor
- wiSCAPE® available with in fixture wireless control module, features dimming and occupancy sensor. Also available in 7-pin configuration

CERTIFICATIONS

- DLC® (DesignLights Consortium Qualified), with both Premium and Standard Qualified configurations. Please refer to the DLC website for specific product qualifications at <http://www.designlights.org>
- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations and 40°C ambient temperatures
- 1.5 G rated for ANSI C136.31 high vibration applications
- Fixture is IP65 rated
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020.

WARRANTY

- 5 year warranty

KEY DATA	
Lumen Range	5,000–80,000
Wattage Range	36–600
Efficacy Range (LPW)	92–155
Weight lbs. (kg)	13.7-30.9 (6.2-13.9)



VIPER Area/Site

VIPER LUMINAIRE

MICROSTRIKE OPTICS – ORDERING GUIDE

DATE: 3-14-23

LOCATION: HAILEY, IDAHO

TYPE: T-20

PROJECT: MAPLE STREET APARTMENTS

CATALOG #: VP-1-160L-50-3K8-4F-120-A-SCBA (15.5 FT SQUARE POLE)

Example: VP-2-320L-145-3K7-2-R-UNV-A3-BLT

CATALOG # VP-1-160L-50-3K8-4F-120-A-SCBA (15.5 FT SQUARE POLE)

VP		1	160L-50	3K8	4F	120
Series	Optic Platform	Size	Light Engine	CCT/CRI	Distribution	Optic Rotation
VP Viper	Micro Strike	1 Size 1	160L-35 ⁶ 5500 lumens 160L-50 ⁶ 7500 lumens 160L-75 10000 lumens 160L-100 12500 lumens 160L-115 15000 lumens 160L-135 18000 lumens 160L-160 21000 lumens	AP AP-Amber Phosphor Converted 27K8 2700K, 80 CRI 3K7 3000K, 70 CRI 3K8 3000K, 80 CRI 35K8 3500K, 80 CRI 3K9 3000K, 90 CRI 4K7 4000K, 70 CRI 4K8 4000K, 80 CRI 4K9 4000K, 90 CRI 5K7 5000K, 70 CRI 5K8 5000K, 80 CRI	2 Type 2 3 Type 3 4F Type 4 Forward 4W Type 4 Wide 5QW Type 5 Square Wide	BLANK No Rotation L Optic rotation left R Optic rotation right
		2 Size 2	320L-145 21000 lumens 320L-170 24000 lumens 320L-185 27000 lumens 320L-210 30000 lumens 320L-235 33000 lumens 320L-255 36000 lumens 320L-315 ⁶ 40000 lumens			
		3 Size 3	480L-285 40000 lumens 480L-320 44000 lumens 480L-340 48000 lumens 480L-390 52000 lumens 480L-425 55000 lumens 480L-470 60000 lumens			
		4 Size 4	720L-435 60000 lumens 720L-475 65000 lumens 720L-515 70000 lumens 720L-565 ⁶ 75000 lumens 720L-600 ⁶ 80000 lumens CLO Custom Lumen Output ¹			

A	SCBA	Options	Network Control Options
Mounting	Color		
A Arm mount for square pole/flat surface	BLT Black Matte Textured	F Fusing	NXWS16F NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4}
A Arm mount for round pole ²	BLS Black Gloss Smooth	2PF Dual Power Feed	NXWS40F NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4}
ASQU Universal arm mount for square pole	DBT Dark Bronze Matte Textured	2DR Dual Driver	NXW NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor ^{3,4}
A_U Universal arm mount for round pole ²	DBS Dark Bronze Gloss Smooth	TE Toolless Entry	WIR wiSCAPE® In-Fixture Module ^{3,4}
AAU Adjustable arm for pole mounting (universal drill pattern)	GTT Graphite Matte Textured	BC Backlight Control	WIRSC wiSCAPE® Module and Occupancy Sensor ^{3,4}
AA_U Adjustable arm mount for round pole ²	LGS Light Grey Gloss Smooth	TB Terminal Block	Stand Alone Sensors
ADU Decorative upswept Arm (universal drill pattern)	LGT Light Grey Gloss Textured		BTS-14F Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
AD_U Decorative upswept arm mount for round pole ²	PSS Platinum Silver Smooth		BTS-40F Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
MAF Mast arm fitter for 2-3/8" OD horizontal arm	WHT White Matte Textured		BTSO-12F Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens
K Knuckle	WHS White Gloss Smooth		7PR 7-Pin Receptacle ⁴
T Trunnion	VGT Verde Green Textured		7PR-SC 7-Pin Receptacle with shorting cap ⁴
WB Wall Bracket, horizontal tenon with MAF	Color Option		3PR 3-Pin twist lock ⁴
WM Wall mount bracket with decorative upswept arm	CC Custom Color		3PR-SC 3-Pin Receptacle with shorting cap ⁴
WA Wall mount bracket with adjustable arm			3PR-TL 3-Pin PCR with photocontrol ⁴
			Programmed Controls
			ADD AutoDim Timer Based Dimming ⁴
			ADT AutoDim Time of Day Dimming ⁴
			Photocontrols
			PC Button Photocontrol ^{4,7}

1 – Items with a grey background can be done as a custom order. Contact brand representative for more information

2 – Replace “_” with “2” for 2.5’-3.4’ OD pole, “3” for 3.5’-4.3’ OD pole, “4” for 4.8’-5.25’ OD pole, “5” for 5.5’-6.5’ OD pole

3 – Networked Controls cannot be combined with other control options

4 – Not available with 2PF option

5 – Not available with Dual Driver option

6 – Some voltage restrictions may apply when combined with controls

7 – Not available with 480V

Current @

currentlighting.com/beacon

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Rev 08/05/22
BEA_VIPERSPEC_R01



VIPER Area/Site

VP-1-160L-50-3K8-4F-120-A-SCBA

DATE: 3-14-23 LOCATION: HAILEY, IDAHO
TYPE: T-20 PROJECT: MAPLE STREET APARTMENTS
CATALOG #: VP-1-160L-50-3K8-4F-120-A-SCBA (15.5 FT SQUARE POLE)

DELIVERED LUMENS

For delivered lumens, please see Lumens Data PDF on www.Currentlighting.com

PROJECTED LUMEN MAINTENANCE

Ambient Temp.	0	25,000	*TM-21-11 36,000	50,000	100,000	Calculated L ₇₀ (Hours)
25°C / 77°F	1.00	0.97	0.96	0.95	0.91	408,000
40°C / 104°F	0.99	0.96	0.95	0.94	0.89	356,000

LUMINAIRE AMBIENT TEMPERATURE FACTOR (LATF)

Ambient Temperature		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Micro Strike Lumen Multiplier			
CCT	70 CRI	80 CRI	90 CRI
2700K	—	0.841	—
3000K	0.977	0.861	0.647
3500K	—	0.900	—
4000K	1	0.926	0.699
5000K	1	0.937	0.791
Monochromatic Amber Multiplier			
Amber	0.250		

Strike Lumen Multiplier			
CCT	70 CRI	80 CRI	90 CRI
2700K	—	0.859	—
3000K	0.941	0.912	0.703
3500K	—	0.906	—
4000K	1	0.894	0.734
5000K	1	0.879	0.711
Monochromatic Amber Multiplier			
Amber	0.255		



VIPER Area/Site

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

ELECTRICAL DATA: MICRO STRIKE

# OF LEDS	160						
NOMINAL WATTAGE	35	50	75	100	115	135	160
SYSTEM POWER (W)	34.9	50.5	72.1	97.2	111.9	132.2	157.8
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	0.29	0.42	0.63	0.83	0.96	1.13	1.33
208	0.17	0.24	0.36	0.48	0.55	0.65	0.77
240	0.15	0.21	0.31	0.42	0.48	0.56	0.67
277	0.13	0.18	0.27	0.36	0.42	0.49	0.58
347	0.10	0.14	0.22	0.29	0.33	0.39	0.46
480	0.07	0.10	0.16	0.21	0.24	0.28	0.33

# OF LEDS	320						
NOMINAL WATTAGE	145	170	185	210	235	255	315
SYSTEM POWER (W)	150	166.8	185.7	216.2	240.9	261.5	312
INPUT VOLTAGE (V)	CURRENT (Amps)						
120	1.21	1.42	1.54	1.75	1.96	2.13	2.63
208	0.70	0.82	0.89	1.01	1.13	1.23	1.51
240	0.60	0.71	0.77	0.88	0.98	1.06	1.31
277	0.52	0.61	0.67	0.76	0.85	0.92	1.14
347	0.42	0.49	0.53	0.61	0.68	0.73	0.91
480	0.30	0.35	0.39	0.44	0.49	0.53	0.66

# OF LEDS	480					
NOMINAL WATTAGE	285	320	340	390	425	470
SYSTEM POWER (W)	286.2	316.7	338.4	392.2	423.2	468
INPUT VOLTAGE (V)	CURRENT (Amps)					
120	2.38	2.67	2.83	3.25	3.54	3.92
208	1.37	1.54	1.63	1.88	2.04	2.26
240	1.19	1.33	1.42	1.63	1.77	1.96
277	1.03	1.16	1.23	1.41	1.53	1.70
347	0.82	0.92	0.98	1.12	1.22	1.35
480	0.59	0.67	0.71	0.81	0.89	0.98

# OF LEDS	720				
NOMINAL WATTAGE	435	475	515	565	600
SYSTEM POWER (W)	429.3	475	519.1	565.2	599.9
INPUT VOLTAGE (V)	CURRENT (Amps)				
120	3.63	3.96	4.29	4.71	5.00
208	2.09	2.28	2.48	2.72	2.88
240	1.81	1.98	2.15	2.35	2.50
277	1.57	1.71	1.86	2.04	2.17
347	1.25	1.37	1.48	1.63	1.73
480	0.91	0.99	1.07	1.18	1.25

MICRO STRIKE PHOTOMETRY

The following diagrams represent the general distribution options offered for this product. For detailed information on specific product configurations, see website photometric test reports.

Type 2



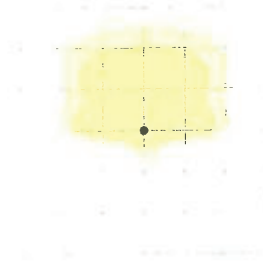
Type 3



Type 4 Wide



Type 4F



Type 5QW





VIPER Area/Site

VIPER LUMINAIRE

DATE: 3-14-23

LOCATION: HAILEY, IDAHO

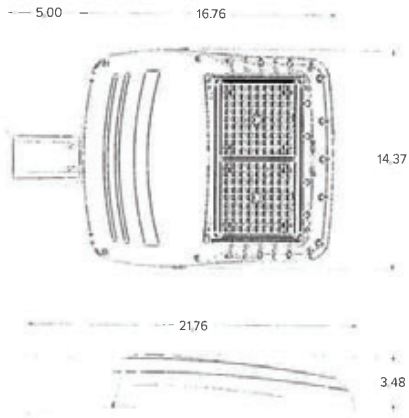
TYPE: T-20

PROJECT: MAPLE STREET APARTMENTS

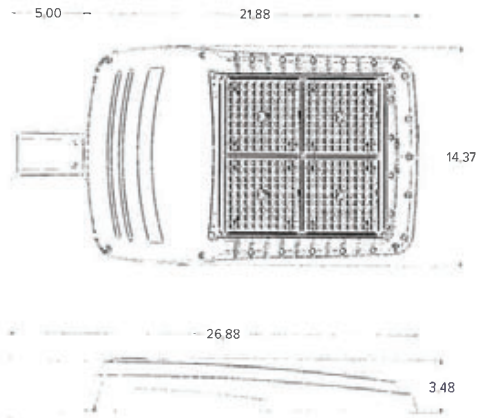
CATALOG #: VP-1-160L-50-3K8-4F-120-A-SCBA (15.5 FT SQUARE POLE)

DIMENSIONS

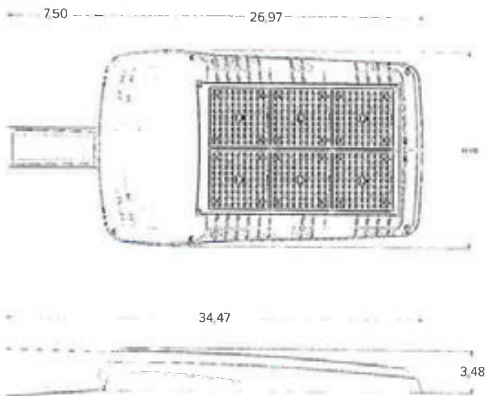
SIZE 1



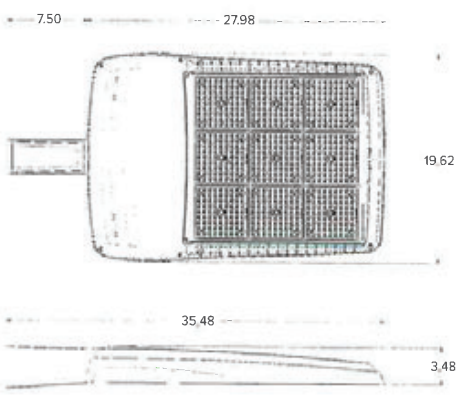
SIZE 2



SIZE 3



SIZE 4



	EPA				Config.
	VP1 (Size 1)	VP2 (Size 2)	VP3 (Size 3)	VP4 (Size 4)	
Single Fixture	0.454	0.555	0.655	0.698	
Two at 180	0.908	1.110	1.310	1.396	
Two at 90	0.583	0.711	0.857	0.948	
Three at 90	1.037	1.266	1.512	1.646	
Three at 120	0.943	1.155	1.392	1.680	
Four at 90	1.166	1.422	1.714	1.896	

	Weight	
	lbs	kgs
VP1 (Size 1)	13.7	6.2
VP2 (Size 2)	16.0	7.26
VP3 (Size 3)	25.9	11.7
VP4 (Size 4)	30.8	13.9



VIPER Area/Site

TYPE: _____

DATE: _____

LOCATION: _____

TYPE: _____

PROJECT: _____

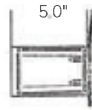
CATALOG #: _____

MOUNTING



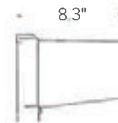
A-STRAIGHT ARM MOUNT

Fixture ships with integral arm for ease of installation. Compatible with Current Outdoor B3 drill pattern. For round poles add applicable suffix (2/3/4/5)



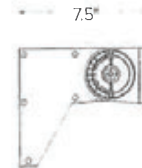
ASQU-UNIVERSAL ARM MOUNT

Universal mounting block for ease of installation. Compatible with drill patterns from 2.5" to 4.5" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5)



AAU-ADJUSTABLE ARM FOR POLE MOUNTING

Rotatable arm mounts directly to pole. Compatible with drill patterns from 2.5" to 4.5" and Current drill pattern S2. For round poles add applicable suffix (2/3/4/5). Rotatable in 15° aiming angle increments. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



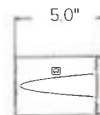
ADU-DECORATIVE UPSWEPT ARM

Upswept Arm compatible with drill patterns from 2.5" to 4.5". For round poles add applicable suffix (2/3/4/5)



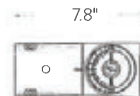
MAF-MAST ARM FITTER

Fits 2-3/8" OD horizontal tenons



K-KNUCKLE

Knuckle mount 15° aiming angle increments for precise aiming and control, fits 2-3/8" tenons or pipes, Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



T-TRUNNION

Trunnion for surface and crossarm mounting using (1) 3/4" or (2) 1/2" size through bolts. Micro Strike configurations have a 45° aiming limitation. Strike configurations have a 30° aiming limitation.



WM-WALL MOUNT

Compatible with universal arm mount, adjustable arm mount, and decorative arm mount. The WA option uses the same wall bracket but replaces the decorative arm with an adjustable arm.





VIPER Area/Site

VIPER LUMINAIRE

DATE: 3-14-23

LOCATION: HAILEY, IDAHO

TYPE: T-20

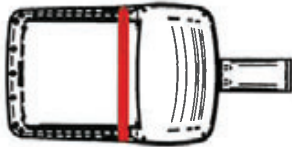
PROJECT: MAPLE STREET APARTMENTS

CATALOG #: VP-1-160L-50-3K8-4F-120-A-SCBA (15.5 FT SQUARE POLE)

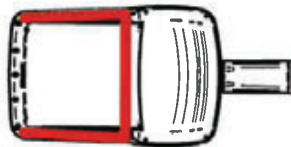
ADDITIONAL INFORMATION (CONTINUED)

HOUSE SIDE SHIELD FIELD INSTALL ACCESSORIES

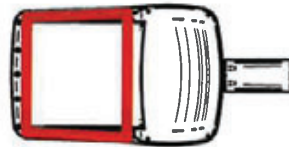
VPR2x HSS-90-B-xx



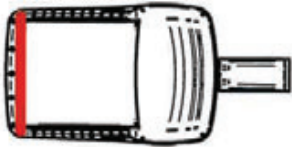
VPR2x HSS-270-BSS-xx



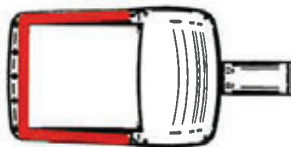
VPR2x HSS-360-xx



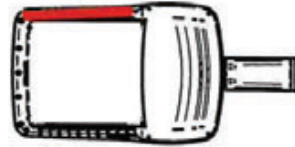
VPR2x HSS-90-F-xx



VPR2x HSS-270-FSS-xx



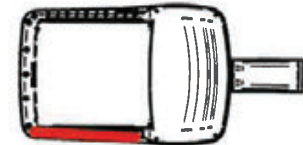
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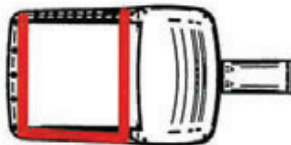
VPR2x HSS-270-FSB-xx



VPR2x HSS-90-S-xx



VPR2x HSS-270-FSB-xx





VIPER Area/Site

DATE: LOCATION:

TYPE: PROJECT:

CATALOG #:

ADDITIONAL INFORMATION (CONTINUED)

PROGRAMMED CONTROLS

ADD-AutoDim Timer Based Options

- Light delay options from 1-9 hours after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1-9 hours after the light has been dimmed previously.

EX: ADD-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	1-9 Hours	6 - Delay 6 hours
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50% brightness
Auto-Dim Return	Delay 0-9 Hours	R6 - Return to full output after 6 hours

ADT-AutoDim Time of Day Based Option

- Light delay options from 1AM-9PM after the light is turned on to dim the light by 10-100%. To return the luminaire to its original light level there are dim return options from 1AM-9PM after the light has been dimmed previously.

EX: ADT-6-5-R6

ADD Control Options	Configurations Choices	Example Choice Picked
Auto-Dim Options	12-3 AM and 6-11 PM	6 - Dim at 6PM
Auto-Dim Brightness	10-100% Brightness	5 - Dim to 50%
Auto-Dim Return	12-6 AM and 9-11P	R6 - Return to full output at 6AM

Jessica Parker

From: Lisa Horowitz
Sent: Thursday, March 9, 2023 2:40 PM
To: Robyn Davis
Cc: Jessica Parker
Subject: FW: Maple St Apt Public Comment

Lisa

Lisa Horowitz
CITY ADMINISTRATOR
CITY OF HAILEY
115 S. MAIN ST. HAILEY, ID 83333
208-788-4221
CELL: 208-727-7097

From: Kathleen & John MacMillan <noreply@haileycityhall.org>
Sent: Thursday, March 9, 2023 2:38 PM
To: Lisa Horowitz <lisa.horowitz@haileycityhall.org>
Subject: Send Us a Message new submission

03/09/2023

Name
Kathleen & John MacMillan
Phone
(208) 420-7535
Email
kwmacmillan@gmail.com
Message
<p>To Planning & Zoning: We opposed the first Maple Street Apartments application due to parking and excess traffic concerns. We own a townhouse at 750 S River St Hailey. We received a Notice of Public Hearing for March 20th but we cannot find any agenda for this meeting nor the application with drawings and descriptions of this revised apartment proposal. I have called and left a message previously but I've not been called back. We are out of town for this meeting. Please send me via email a link to view the new apartment plans and designs to assess whether we are in favor or still opposed to this project due to traffic and congestion concerns which translate into safety concerns. If needed we want to send our comments in time for this public hearing.</p> <p>Thank you, Kathleen & Randy MacMillan</p>

Return to Agenda



STAFF REPORT

Hailey Planning and Zoning Commission

Regular Meeting of March 13, 2023

To: Hailey Planning and Zoning Commission

From: Cece Osborn, Community Development City Planner
Robyn Davis, Community Development Director

Overview: Consideration of a City-Initiated Text Amendment amending the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.02 Definitions, Section 17.02.020: Meaning of Terms or Words and amending, consolidating, and reorganizing Title 17: Zoning Regulations, Chapter 17.05 Official Zoning Map and District Use Matrix, Section 17.05.040: District Use Matrix, to modernize the Matrix language and related definitions.

Hearing: March 13, 2023

Applicant: City of Hailey

Notice: Notice for the public hearing was mailed to public agencies on January 31, 2023 and published in the Idaho Mountain Express on February 1, 2023. The item was continued on record.

Background: The Community Development Staff identified the modernization of Hailey's Municipal Code as a priority for 2022 and moving forward. The current language of the District Use Matrix identifies overlapping land uses. In some cases, the Matrix's lack of clear land use definitions neglects the priorities of the Comprehensive Plan, as well as the stated purposes of the Zoning Districts. By amending Title 17, Zoning Regulations, Chapter 17.05 Official Zoning Map and District Use Matrix, Section 17.05.040, Staff seeks to clarify and modernize the language, organization, and requirements of the District Use Matrix.

Staff has approached this endeavor prudently. The amendments presented herein remain within the current scope of the land uses listed in the Matrix. Furthermore, they are limited to the Residential, Public or Semipublic, Commercial, and Accessory Uses categories of the Matrix; the proposed Matrix eliminates Telecommunications and Agricultural Uses as overarching categories. Bulk Requirements within the Matrix will be addressed during a subsequent hearing. Throughout this 'modernization' effort, Staff aims to maintain and uphold the distinct characteristics and features of each Zoning District. Row by row, Staff:

- combined repetitive land uses;
- refined the descriptive language to provide greater clarity, accommodate development trends, and better align with the Comprehensive Plan;
- added land uses that exist but are unaccounted; and
- minimally adjusted how uses are permitted or not as to better align with the distinct purposes of each Zoning District.

Staff presented this effort to the Planning & Zoning Commission on December 5, 2022 and February 21, 2022. The Commission provided the following feedback, about how to proceed:

- 1) The Commission recommended that Staff create subcategories or group similar land uses together.
- 2) When Staff inquired about whether they should increase the function of footnotes to further reduce and simplify the number of rows and descriptions of each land use, the Commission discouraged an increased reliance on footnotes. Specifically, the Commission stated that footnotes are cumbersome and often overlooked by members of the public. As such, Staff minimized the use of footnotes in the Matrix.
- 3) The Commission requested that Staff annotate and color code the working draft Ordinance to explain the reasoning behind each edit. Each proposed edit is highlighted, where language is **added** or **stricken**. The reasoning behind each edit is described and color-coded by the following set of annotations:
 - Accommodate unaccounted for uses
 - Align with Zoning District (ZD) purposes
 - Clarify and simplify language
 - Combine like uses
 - Consistent language
 - Distinguish between similar uses
 - Modernize language
 - Reflect desired and contemporary development trends
 - Reflect concurrent Text Amendment
 - Remove redundant language
- 4) In addition to the redlined and annotated version of the proposed District Use Matrix, the Commission requested a clean version of the proposed Matrix and the affiliated definitions within Chapter 17.02.

Attached to this report are the:

- i. Draft Ordinance
- ii. Redlined version of the proposed District Use Matrix edits
- iii. Clean version of the proposed District Use Matrix edits
- iv. The purposes of each Zoning District, combined in one document

Standards of Review:

Criteria for Review. Section 17.14.060(A) of the Hailey Municipal Code provides “[w]hen evaluating any proposed amendment under this chapter, the hearing examiner or commission and council shall make findings of fact on the following criteria:

1. The proposed amendment is in accordance with the comprehensive plan;
2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;
3. The proposed uses are compatible with the surrounding area; and
4. The proposed amendment will promote the public health, safety and

general welfare.

1. The proposed amendment is in accordance with the Comprehensive Plan;

Land use decisions for the City of Hailey are paramount to implementing the goals of the Comprehensive Plan. As stated in Section 5: Land Use, Population and Growth Management:

“Land use is the one element of a Comprehensive Plan that ties the others together. Every other component of the Plan, from natural resources to housing to transportation, is influenced by land use.” (pg. 19)

Given the importance of land use decisions, Staff proposes that the language, organization, and requirements presented in the District Use Matrix be clear and effective— to support the community’s understanding of permitted land uses and to facilitate the internal processes of Community Development. Staff amended the Matrix in accordance with the following Comprehensive Plan goals:

Section 3: Special Areas or Sites and Features

Goal 3.1: Assure the protection and preservation of Special Sites, Areas and Features to maintain a strong community identity for future generations

Goal 3.3: Protect the traditional character of the historic downtown and Main Street corridor

Section 5: Land Use, Population and Growth Management

Goal 5.1: Retain a compact City comprised of a central downtown with surrounding diverse neighborhoods, areas, and characteristics as depicted in the Land Use Map (see page 29 for subpoints a-j for more information)

Section 11: Community Design

Goal 11.1 Establish a built environment that maintains a human scale, retains interest, aesthetics, encourages various levels of interaction among all members of the community, and enhances the character of different neighborhoods

The Plan speaks to the “intrinsic suitability of lands” for a variety of uses, including housing, commerce, industry, recreation, and public facilities (page 19). When evaluating and editing the Matrix, Staff utilized the stated purpose of each Zoning District to ensure the suitability and appropriateness of each land use. Staff followed the intentions and goals of the Plan to preserve the City’s green space, respect residential buffers, improve the organization of commercial uses, and streamline accessory uses.

2. Essential public facilities and services are available to support the full range of proposed uses without creating excessive additional requirements at public cost for the public facilities and services;

The proposed Amendments seek to modernize the language, organization, and requirements of the District Use Matrix. Purposely, Staff aims to better align the permitted land uses with the stated purposes of each Zoning District. In doing so, the proposed Text Amendments encourage greater adherence to Hailey’s Official Zoning Map and the Land Use section of the Comprehensive Plan, both of which are designed for optimal and efficient use of public facilities and services. This proposed Text Amendment will encourage better use of public facilities and services, as they have been planned. It will not create excessive costs nor requirements.

3. The proposed uses are compatible with the surrounding area; and

The proposed Amendments uphold the features and characteristics of each Zoning District. Staff relied on the stated purposes of the Zoning Districts as a lens to ensure the suitability and compatibility of each land use edit. Altogether, the proposed Amendments encourage the community design that is described in Hailey's Comprehensive Plan and depicted in the Official Zoning and Land Use Maps.

4. The proposed amendment will promote the public health, safety, and general welfare.

By enhancing the clarity of the Matrix and organization of the land uses listed across Zoning Districts, the proposed Amendments stand to increase the efficiency of City operations and better align with the goals of Hailey's Comprehensive Plan. By increasing the effectiveness of the Municipal Code and the efficiency of City operations, this Text Amendment prioritizes the public health, safety, and general welfare of the community.

Motion Language:

Approval: Motion to recommend approval by the Hailey City Council an Ordinance amending the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.02 Definitions, Section 17.02.020: Meaning of Terms or Words and amending, consolidating, and reorganizing Title 17: Zoning Regulations, Chapter 17.05 Official Zoning Map and District Use Matrix, Section 17.05.040: District Use Matrix, to modernize the Matrix language and related definitions.

Denial: Motion to deny recommendation of the proposed amendment to the Hailey Municipal Code, Title 17: Zoning Regulations, Chapter 17.02 Definitions, Section 17.02.020: Meaning of Terms or Words and amending, consolidating, and reorganizing Title 17: Zoning Regulations, Chapter 17.05 Official Zoning Map and District Use Matrix, Section 17.05.040: District Use Matrix, to modernize the Matrix language and related definitions.

Continuation: Motion to continue the public hearing to _____ [the Commission should specify a date.]

HAILEY ORDINANCE NO. ____

AN ORDINANCE OF THE CITY OF HAILEY, IDAHO, AMENDING, CONSOLIDATING, AND REORGANIZING THE HAILEY MUNICIPAL CODE, TITLE 17: ZONING REGULATIONS, CHAPTER 17.05 OFFICIAL ZONING MAP AND DISTRICT USE MATRIX, SECTION 17.05.040, DISTRICT USE MATRIX; AND AMENDING RELATED DEFINITIONS IN TITLE 17: ZONING REGULATIONS, CHAPTER 17.02, SECTION 17.02.020 MEANING OF TERMS OR WORDS; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR THE EFFECTIVE DATE OF THIS ORDINANCE UPON PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, the Hailey City Council has found that the following amendments to the Hailey Municipal Code, Title 17, conforms to the Hailey Comprehensive Plan; and

WHEREAS, the proposed additions will reduce confusion and contradictions in the Hailey Municipal Code; and

WHEREAS, the Hailey City Council has determined that the proposed amendments are appropriate and timely; and

WHEREAS, the text addition set forth in this Ordinance will promote the public health, safety and general welfare;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF HAILEY, IDAHO, AS FOLLOWS:

Section 1. Title 17 Zoning Regulations, Chapter 17.02 Definitions, Section 17.02.020 Meaning of Terms or Words is hereby modified by the removal of the stricken language and the addition of the underlined language, as follows and is highlighted for convenience:

ANSI: The American National Standards Institute, and as may be subsequently amended.

ATV: Any self-propelled vehicle with two (2) or more tires with a seat or saddle for use of the rider (e.g., dirt bikes and 4 wheelers) or any self-propelled vehicle designed primarily for travel on snow or ice, which may be steered by tracks, skis or runners (e.g., snowmobiles and snow cats).

ABOVEGROUND FLAMMABLE LIQUID TANK(S): A type of fuel tank. Any vessel containing more than sixty (60) gallons (227 l) of class I-A liquids, class I-B liquids or class I-C liquids, or as more particularly described in the IFC ("flammable liquid") (e.g., gasoline). Aboveground flammable liquids do not include LPG (propane). ~~The use of any aboveground flammable liquid tank is prohibited except where listed as a conditional and/or accessory use.~~

ABOVEGROUND COMBUSTIBLE LIQUID TANK(S): A type of fuel tank. Any vessel containing more than sixty (60) gallons (227 l) of class II liquids, class III-A liquids or class III-B liquids, or as more particularly described in the IFC ("combustible liquid") (e.g., diesel). Aboveground combustible liquids do not include LPG (propane). ~~The use of any aboveground combustible liquid tank is prohibited except where listed as a conditional and/or accessory use.~~

ACCESSORY DWELLING UNIT: A structure subordinate to the principal use on the same lot or premises having kitchen facilities and at least one bathroom, to be occupied as a residence, which is incidental to the use of the principal building.

ACCESSORY STRUCTURE: A structure containing the accessory use upon a lot.

ACCESSORY STRUCTURE, ATTACHED: Any accessory structure located within three feet (3') of or attached to the principal building.

ACCESSORY STRUCTURE, DETACHED: Any accessory structure located more than three feet (3') from the principal building.

ACCESSORY USE: A use subordinate to the principal use on the same lot or premises, and serving a purpose customarily incidental to the use of the principal use and is a use that is commonly, habitually and by long practice, established or associated in the city with such principal use.

ADMINISTRATOR: The person designated by the mayor or city administrator to oversee the administration of this title.

AIRPORT: Any runway, landing area or other facility designed or used for all landing and taking off of aircraft, including all associated taxiways, aircraft storage, maintenance and tie down areas, fueling facilities, hangars, passenger terminals and other buildings, either for regularly scheduled commercial aircraft or for general aviation only when there is also regularly scheduled commercial aircraft service. For the purposes of this definition, regularly scheduled commercial aircraft shall mean an air carrier (certified under CFR title 14, part 121) other than a charter air carrier (certified under CFR title 14, part 135), while general aviation shall mean all other aircraft use.

ALLEY: A minor way which is used primarily for vehicular service access to the back or the side of properties otherwise abutting on a street.

ALTERATION: Any change in size, shape, character, occupancy or use of a building or structure.

APARTMENT: A multiple-family dwelling containing three (3) or more dwelling units in which all units, exclusive of a unit which may be occupied by the owner, are rented or leased.

APIARY: Any place where one or more colonies of honeybees are located and the honeybees are kept within hive(s).

AREA DEVELOPMENT PLAN: A plan encompassing all contiguous parcels controlled by the same owner, which includes: legal description of contiguous parcels; name(s) of owner(s) of contiguous parcels; streets within and adjacent to the contiguous parcels, whether public or private; water main lines and sewer main lines; other utilities, including power, telephone, cable, gas; parks, if required under this title; grading and drainage; easements; hazardous or natural resource areas.

AREA MEDIAN INCOME (AMI): The combined gross income for all persons living in a dwelling unit as calculated by the United States department of housing and urban development annually for Blaine County.

AUTOMOTIVE REPAIR AND MAINTENANCE: Services for motor vehicles, including repair, car washes and detailing services.

BAR: Any commercial establishment serving alcoholic beverages and providing entertainment for patrons including nightclubs, lounges, and cabarets, but not including food services, and as provided by Idaho Code.

BASE FLOOD: The flood having a one percent (1%) chance of being equaled or exceeded in any given year. This is a regulatory standard also referred to as the "100-year flood". The base flood is used by the NFIP as the basis for mapping, insurance rating and regulating new construction.

BASE FLOOD ELEVATION (BFE): The water surface elevation resulting from the base flood that is tied to a specified datum. The base flood elevation (BFE) is depicted on the FIRM to the nearest foot and in the FIS to the nearest 0.1 foot.

BASEMENT: The portion of a structure, including crawl space, with its floor subgrade (below ground level) on all sides.

BED AND BREAKFAST INN: A building which has no more than eight (8) sleeping rooms available for rent for short term (less than 15 days) residential occupancy, served through a main entrance.

BEEKEEPER: A person who owns or has charge of one or more colonies of honeybees.

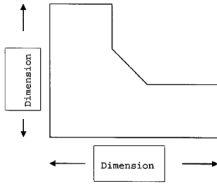
BEEKEEPING: The occupation of owning and breeding honeybees for their honey.

BOARDING AND ROOMING HOUSE: A building in which the proprietor resides and which has not more than six (6) rooms available for rent or lease for residential occupancy and in which no cooking or dining facilities are provided in the individual rooms.

BUFFER: Something which provides protection from and lessens the negative impacts one land use may have on another. A buffer may include, but is not limited to, a landscape strip, solid fence or solid wall. A zoning district may also serve as a buffer by inclusion or exclusion of certain uses and/or bulk or other requirements that serve to lessen the negative impacts of a more intensive zoning district.

BUILDING: Any structure used or intended for supporting or sheltering any use or occupancy.

BUILDING DIMENSION: The total length or width of a building footprint. See diagram.



BUILDING ENVELOPE: A platted boundary within which all buildings upon a lot must be located.

BUILDING FOOTPRINT (FOOTPRINT): The area of the lot or parcel which is within the perimeter created by a vertical extension to the ground of the exterior walls of all enclosed portions of a building, also including attached garages, carports and porte-cocheres, enclosed decks, enclosed porches, solariums and similar enclosed extensions, attachments and accessory annexes. Not included in the footprint are unenclosed portions or extensions of buildings, including, but not limited to, unenclosed decks, porches, eaves and roof overhangs.

BUILDING OFFICIAL: The Hailey building official.

BULK REQUIREMENTS: The combination of controls which establishes minimum and maximum lot sizes and dimensions and minimum and maximum size of buildings and their location on a lot, including:

- A. The size of buildings and other structures.
- B. The shape of buildings and other structures.
- C. The location of exterior walls of buildings and other structures, in relation to property lines, streets and other buildings or structures.
- D. Lot coverage.
- E. Lot area per dwelling unit.

CATERING SERVICES: A facility for the preparation and storage of food and food utensils for off premises consumption and service.

CENTRAL BUSINESS DISTRICT: That area containing all properties lying within the business and limited business districts on or adjacent to Main Street, River Street and 1st Avenue, and between the intersection of 3rd Avenue and Main Street, and the intersection of McKercher Boulevard and Main Street.

CHANNEL: A natural or artificial watercourse with definite bed and banks to confine and conduct continuously or periodically flowing water, and which, in the absence of evidence to the contrary, shall be presumed to consist of the area between the boundaries of vegetation on either side of the watercourse.

CHICKEN COOP: A building or enclosed structure which houses hens.

CITY: The City of Hailey, Idaho.

CITY ENGINEER: The Hailey City Engineer.

CITY STANDARDS: Those standards for street, drainage, water, sewer, wastewater and other infrastructure improvements adopted by ordinance in accordance with the notice and hearing procedures provided in Idaho Code section 67-6509.

CO-LIVING DWELLING FACILITY: A building, or portion thereof, containing multiple private living spaces, at least one (1) shared kitchen, and at least one (1) shared living space. Each private living space shall include a bedroom and private bathroom. Private living spaces within a co-living dwelling facility shall be leased for residential occupancy only, and each unit shall meet the occupancy requirements of the International Building and International Fire Codes. A fulltime or onsite Property Manager is required.

COMMERCIAL PROJECT: A structure or development that, after completion, would be devoted to commercial or business use.

COMMERCIAL USE: An occupancy of a building, structure or other property which involves any retail sale, wholesale distribution, office, entertainment service, recreational area, restaurant, room for rent, manufacturing, hybrid production facility or other nonresidential use. However, this definition shall not include churches, public schools, hospitals, public civic centers or public recreational facilities, or other facilities owned by, or operated strictly for the benefit of, the public.

COMMISSION: The Planning and Zoning Commission of the City of Hailey, Idaho.

COMMUNAL AREA: The term communal area may include one or more common lounges, recreation rooms, dining rooms, living rooms, useable entry areas, foyers and lobbies that are accessible to all residents of the building, with sufficient accommodations for socializing and meeting. Not included in communal area are hallways and corridors, supply, janitorial or laundry areas, operations and maintenance areas, staff areas and offices and required bicycle parking areas or tenant storage areas.

COMMUNITY/~~EVENT~~ CENTER: A facility, which may be located on public or private property that functions primarily to provide a community-centered meeting hall for members of the public to carry out local community-oriented activities and public and civic functions. Examples of such facilities include grange halls, community sponsored meeting halls, and veterans halls, typically consisting of one or more meeting or multipurpose room and a kitchen and/or outdoor barbecue facilities, that are available for use by various groups for such activities as public assemblies, meetings, private meetings, parties, weddings, receptions, and dances.

COMMUNITY HOUSING FUND: An interest bearing account held in trust by the City for the creation of community housing for the benefit of the City.

COMMUNITY HOUSING PLAN: The plan that specifically describes the market rate units and the community housing units to be constructed in any development, or alternatives to community housing units, and that is approved by the City in accordance with standards and criteria adopted by the local housing authority or as otherwise allowed by the Council.

COMMUNITY HOUSING UNIT: Through a deed restriction, a dwelling unit that is restricted by size, type and cost, and/or that is for sale or rent exclusively to individual(s) meeting income, occupancy and/or other affordable community housing criteria established in a community housing plan approved by the City of Hailey.

COMPATIBILITY: The characteristics of different designs which, despite their differences, allow them to be located near each other in harmony, such as scale, height, materials, fencing, landscaping and location of service areas.

COMPREHENSIVE PLAN: The Comprehensive Plan of the City of Hailey, as adopted by resolution or ordinance by the City pursuant to Idaho Code section 67-6501 et seq., and as may be subsequently amended.

CONDITIONAL USE: A use or occupancy of land permitted only upon the issuance of conditional use permit, and subject to the limitations and restrictions specified in such permit in addition to all other applicable regulations and provisions of this title.

CONDOMINIUM: An estate consisting of an undivided interest in common in real property, in an interest or interests in real property, or any combination thereof, together with a separate interest in real property, in an interest or interests in real property, or any combination thereof.

CONTIGUOUS PARCELS: Two (2) or more parcels of real property that share at least one common boundary of any length, or any portion of a boundary, with a separate parcel of real property, or are separated only by intervening streets or other City owned parcels not more than one hundred feet (100') in width, controlled by the same owner.

CONVENIENCE STORE: A retail business with a primary emphasis placed on providing the public with a convenient location to quickly purchase from a wide array of consumable products (predominantly food or food and gasoline) and services. Convenience stores have the following characteristics:

- A. Building size may vary significantly, typically less than five thousand (5,000) square feet;
- B. Off street parking and/or convenient pedestrian access;
- C. Extended hours of operation with many open twenty four (24) hours a day, seven (7) days a week;
- D. Stock of at least five hundred (500) SKUs (stock keeping units);
- E. Product mix includes grocery type items and also includes items from the following groups: beverages, snacks (including confectionery) and tobacco.

COUNCIL: The City Council of the City of Hailey.

CURB CUT: An interruption in a curb or street edge to allow vehicular access from a property to the street typically associated with a driveway or parking lot entrance or exit.

CUT: Excavation and/or removal of earthen material.

DATUM: A common vertical elevation reference point, usually in relation to sea level.

DAYCARE BUSINESS: The care and supervision, provided for compensation, during part of a twenty four (24) hour day, for a child or children, under the age of thirteen (13), not related by blood or marriage to the person or persons providing the care, in a place other than the child's own home. This term includes preschools, nursery schools, play schools, kindercare, childcare and any like or similar operation.

DAYCARE CENTER: A daycare business providing care for thirteen (13) or more children.

DAYCARE FACILITY: A daycare business providing care for seven (7) to twelve (12) children.

DAYCARE HOME: A daycare business providing care for six (6) or fewer children at any one time, having not more than three (3) employees, and operating between the hours of seven o'clock (7:00) A.M. and six o'clock (6:00) P.M.

DECK: An exterior floor system supported on at least two (2) opposing sides by an adjacent structure and/or posts, piers or other independent supports. A "deck" less than thirty inches (30") above adjacent grade is not subject to the setback requirements of this title.

DEED RESTRICTION: A method by which occupancy and resale of real property is controlled in a deed to create community housing units.

DEVELOPMENT: Any disturbance, cut, fill, new construction, exterior remodeling, landscaping, fencing, grubbing or site preparation.

DISTURB: To alter the position or arrangement of the ground and its features.

DRIVE-THROUGH FACILITY: A structure where service associated with a principal use is provided to the customer from a service window or service area designed to accommodate motorized vehicle access.

DRIVEWAY: A vehicular access constructed on private property providing access to not more than two (2) residential dwelling units.

DUPLEX: A multiple-family dwelling containing two (2) dwelling units.

DWELLING UNIT: A building or separate portion thereof having a single kitchen and providing complete independent living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking and sanitation, designed to be occupied as a residence. Every dwelling unit shall have a total gross floor area of not less than two hundred (200) gross square feet, and shall include other requirements as specified in the IBC or IRC.

ELEVATION: A drawing showing the entire height and width of an exterior wall of a building.

EMPLOYEE: Any person working for compensation in any business.

ENCLOSURE (SENSE OF): An experience in which a pedestrian feels sheltered in a semiprivate realm. Buildings, trees, landscaping and street widths are all factors in creating a sense of enclosure.

ENERGY STAR: A joint program of the U.S. Environmental Protection Agency and the U.S. Department of Energy helping participants save money and protect the environment through energy efficient products and practices. Standards are set forth jointly by the U.S. Environmental Protection Agency and the U.S. Department of Energy.

ERECT: To build, construct, reconstruct, move upon or perform any other physical operations on the premises required for building. Associated excavation or fill shall be considered a part of erection.

FACADE: The exterior wall of a building exposed to public view or that can be viewed by persons not within the building.

FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA): The Federal Agency with the overall responsibility for administering the National Flood Insurance Program (NFIP).

FENCE: A barrier constructed to be an enclosure or an exclosure or to delineate a boundary and located within twenty feet (20') of a property line.

FENESTRATION: The arrangement of windows in a building.

FILL: Deposit of earthen material or other materials typically associated with new construction (e.g., landscaping, pavers, pavement and culverts).

FINANCE AND INSURANCE FIRMS: Establishments primarily engaged in financial transactions (transactions involving the creation, liquidation or change in ownership of financial assets) and/or in facilitating financial transactions, including, but not limited to, banks, insurance companies and investment companies.

FLOOD: General and temporary condition of partial or complete inundation of two (2) or more properties from: a) the overflow of inland waters; b) the unusual and rapid accumulation of runoff or surface waters from any source; c) mudflow; or d) collapse or subsidence of land along the shore of a lake or similar body of water as a result of erosion or undermining caused by waves or currents of water exceeding anticipated cyclical levels that result in a flood, as defined herein.

FLOOD FRINGE: The portion of the floodplain outside of the floodway covered by floodwaters during the base flood.

FLOOD HAZARD DEVELOPMENT PERMIT BOARD: The Floodplain Administrator, the City Engineer and the Building Official.

FLOOD INSURANCE RATE MAP (FIRM): An official map of a community, issued by the FEMA, delineating the areas of special flood hazard and/or risk premium zones applicable to the community that

is specifically defined as the "special flood hazard areas inundated by 100-year flood" on the current edition of the flood insurance rate map (FIRM), community map panel numbers 160022-0662, 160022-0664, 160022-0668, 160022-0856 and 160022-0857, or as modified by FEMA.

FLOOD INSURANCE STUDY (FIS): The report published by FEMA for a community along with the community's FIRM. The FIS contains such background data such as the base flood discharges and water surface elevations that were used to prepare the FIRM.

FLOOD PROTECTION ELEVATION (FPE): As defined in Idaho Code section 46-1021(7), an elevation that shall correspond to the elevation of the one percent (1%) chance annual flood (base flood elevation or BFE), plus any increased flood elevation due to floodway encroachment, plus any required freeboard. The flood protection elevation for the city of Hailey is equal to BFE plus one foot (1') of freeboard; the freeboard accounts for any flood elevation increases due to floodway encroachment as shown in the community's flood insurance study.

FLOODPLAIN: The land that has been or may be covered by floodwaters, or is surrounded by floodwater and inaccessible, during the occurrence of the base flood that is specifically defined as the "special flood hazard areas inundated by 100-year flood" on the current edition of the flood insurance rate map (FIRM), or as modified by FEMA by an interpretation of on site elevations. The riverine floodplain includes the floodway and the flood fringe.

FLOODPLAIN ADMINISTRATOR: That individual designated by the administrator to administer [chapter 17.04](#), article J of this title.

FLOODWAY (REGULATORY FLOODWAY): The channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than a designated height shown as the "floodway areas in zone AE" on the flood insurance rate map (FIRM).

FOOD SERVICE: An establishment where food and drink are prepared, served, and consumed on site with or without associated outdoor dining, ~~or Food may also be~~ distributed to customers through take out, delivery, or catering. Typical ~~uses food service establishments include, but are not limited to, restaurants, cafes, and delis, catering services and brewpubs that do not distribute beer produced for off site consumption.~~ A food service establishment may also serve alcoholic beverages.

FOOTPRINT: See definition of Building Footprint (Footprint).

FREEBOARD: A factor of safety usually expressed in feet above a flood level, the BFE, for the purposes of floodplain management. Freeboard tends to compensate for the many unknown factors that could contribute to flood heights greater than the height calculated for a selected size flood and floodway conditions, such as wave action, obstructed bridge openings, debris and ice jams, and the hydrologic effects of urbanization in a watershed. The freeboard for the city of Hailey is equal to base flood elevation (BFE) plus one vertical foot.

FRONTAGE: The distance along the front lot line.

GABLE: Any triangular shaped, upper part of a building wall, usually under a pitched roof.

GARAGE: A building or portion thereof in which a motor vehicle is or is intended to be stored, repaired or kept. Garages contain parking spaces.

GASOLINE STATION: Retail establishment selling gasoline, diesel and similar fuel products.

GOVERNMENT AND PUBLIC ADMINISTRATION: Offices for federal, state and local government agencies that administer, oversee and manage public programs and have executive, legislative or judicial authority over other institutions within a given area.

GREEN SPACE: Land dedicated or restricted as parks, pathways, connective greenways, recreational assets and/or open space.

GRID-CONNECTED SYSTEM: A photovoltaic solar energy system that is connected to an electric circuit served by an electric utility company.

GROSS FLOOR AREA: The gross area included within the surrounding exterior walls of a building or portion thereof, including all floor levels, exclusive of vent shafts, outdoor courts, attics or garages, or other enclosed automobile parking areas subject to the following restrictions:

- A. The basement of a single- or multiple-family dwelling is not included as floor area; and
- B. The basement of any other building is included as floor area.

GROUPED RETAIL TRADE: A combination of two (2) or more individual retail trades and/or wholesale trades (e.g., a shopping center).

HEALTH AND FITNESS FACILITY: A business or membership organization providing exercise facilities and/or nonmedical personal services to patrons, including, but not limited to, gymnasiums, private clubs (athletic, health, or recreational), tanning salons, and weight control establishments.

HEIGHT OF BUILDING: The greatest vertical distance measured from the lowest point of record grade or finish grade, whichever is lower, within any portion of the building footprint to the highest point of the roof surface thereof, exclusive of cupolas, chimneys up to ten feet (10') above the highest point of the roof surface, steeples and spires.

HEIGHT OF FENCE OR SCREEN: The vertical distance measured from record grade to the top of the fence.

HILLSIDE: The land located within the hillside overlay district as shown on Hailey's official zoning map.

HISTORIC STRUCTURE: Any building or structure that was originally constructed, in whole or in part, prior to 1941, regardless whether the building or structure was constructed or relocated within the

townsite overlay district, unless the Hailey historic preservation commission has recommended that the building or structure does not maintain the historic architectural qualities, historic associations or archaeological values of other historic structures within the townsite overlay district.

HIVE: A frame hive, including a Langstroth hive, which has removable frames.

HOME OCCUPATION: A business related activity conducted entirely within a dwelling which is incidental and secondary to the use of a dwelling as a residence and does not negatively impact the surrounding neighborhood. A daycare business located within a dwelling is not considered a home occupation for the purposes of city business licensing. Home occupations, where permitted, shall meet the following requirements:

- A. The home occupation shall not change the residential character of the dwelling or neighborhood.
- B. There shall be no exterior advertising.
- C. There shall be no sale or rental of stocks, supplies or products conducted on the premises.
- D. There shall be no exterior storage on the premises of material or equipment associated with the home occupation.
- E. There shall be no offensive noise, vibration, smoke, dust, odors, heat or glare noticeable at or beyond the property lines. There shall be no operation of power tools, whether indoors or outdoors.
- F. The home occupation shall not create the need for additional parking.
- G. The home occupation shall employ no unrelated person who is not a permanent resident of the dwelling.
- H. There shall be no significant increase in traffic in the vicinity of the dwelling as a result of the home occupation.
- I. Storage of explosive, combustible or hazardous materials shall conform to the regulations and restrictions of the IFC and IBC.

HONEYBEE: The common honeybee, *Apis mellifera* L., at any stage of maturity, but excluding the African honeybee, *Apis mellifera scutellata*. Honeybees include queens, workers and drones.

HOTEL: A building which is used for short term occupancy, offering sleeping accommodations to the public on a nightly basis and access to all sleeping rooms through an interior entrance, and which may provide food, entertainment, meeting facilities or various personal services.

HUMAN SCALE: Architectural and site design elements clearly oriented to human proportions, activity and perception.

HYBRID PRODUCTION FACILITY: A commercial operation or use, on one or more premises ~~within the same zoning district~~, where finished consumer goods are manufactured or produced and those same goods are offered for sale to the general public. Hybrid production facilities must be similar in size, scale and scope of operation with adjacent or nearby uses.

IBC: The international building code as adopted by state law and/or the city, and as may be subsequently amended.

IFC: The international fire code as adopted by state law and/or the city, and as may be subsequently amended.

IRC: The international residential code as adopted by state law and/or the city, and as may be subsequently amended.

INCOME CATEGORY: A grouping of household incomes based on a percentage of AMI.

Category	Percentage Of AMI
2	51 - 60
3	61 - 80
4	81 - 100
5	101 - 120
6	121 - 140

INDIVIDUAL RETAIL/WHOLESALE TRADE: Any business or businesses that involve, in whole or in part, retail and/or wholesale sales, allowed in the applicable zoning district that:

- A. Share check stands or storage areas;
- B. Share management; or
- C. Are owned, leased, possessed or otherwise controlled, in any manner, directly or indirectly:
 - 1. By the same individual(s) or entity(ies), including, but not limited to, corporation(s), partnership(s), limited liability company(ies) or trust(s); or
 - 2. By different individuals or entities, including, but not limited to, corporations, partnerships, limited liability companies or trusts where: a) such individual(s) or entity(ies) have a controlling ownership or contractual right with the other individual(s) or entity(ies); or b) the same individual(s) or entity(ies) act in any manner as an employee, owner, partner, agent, stockholder, director, member, officer or trustee of the entity(ies), and are located within one or more separate buildings or structures within eight hundred feet (800') of one another, regardless whether they are attached or detached.

INFILL: The placement of new buildings into established urban areas, which usually results in an increase in the existing building stock.

INVESTIGATION AND SECURITY SERVICES: Establishments engaged in providing services, including, but not limited to, locksmiths, alarm system companies and armored car services.

KITCHEN: A room or area for storage, preparation and cooking of food.

LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN (LEED) GREEN BUILDING RATING SYSTEM: The rating system adopted by the U.S. green building council as established in the applicable current edition of LEED for new construction, LEED for multiple buildings, LEED for existing buildings, LEED for commercial interiors, LEED for core and shell, LEED for schools, LEED for retail, LEED for healthcare, LEED for homes, and LEED for neighborhood development.

LETTER OF MAP CHANGE (LOMC): An official FEMA determination, by letter, to amend or revise effective flood insurance rate maps, flood boundary and floodway maps, and flood insurance studies. LOMCs are issued in the following categories:

Letter Of Map Amendment (LOMA): An official amendment, by letter, to an effective national flood insurance program (NFIP) map. An LOMA establishes a property's location in relation to the special flood hazard area (SFHA). LOMAs are usually issued because a property has been inadvertently mapped as being in the floodplain, but is actually on natural high ground above the base flood elevation.

Letter Of Map Revision (LOMR): FEMA's modification to an effective flood insurance rate map (FIRM), or flood boundary and floodway map (FBFM), or both. LOMRs are generally based on the implementation of physical measures that affect the hydrologic or hydraulic characteristics of a flooding source and thus result in the modification of the existing regulatory floodway, the effective base flood elevations (BFEs), or the special flood hazard area (SFHA). The LOMR officially revises the flood insurance rate map (FIRM) or flood boundary and floodway map (FBFM), and sometimes the flood insurance study (FIS) report, and when appropriate, includes a description of the modifications. The LOMR is generally accompanied by an annotated copy of the affected portions of the FIRM, FBFM or FIS report.

Letter Of Map Revision Based On Fill (LOMR-F): FEMA's modification of the special flood hazard area (SFHA) shown on the flood insurance rate map (FIRM) based on the placement of fill outside the existing regulatory floodway. The LOMR-F does not change the FIRM or FIS report.

LIGHT MANUFACTURING: Enterprises engaged in the processing, manufacturing, compounding, assembly, packaging, treatment or fabrication of materials and products, from processed or previously manufactured materials. Light manufacturing is capable of operating in such a manner as to control the external effects of the manufacturing process, such as smoke, noise, dust, dirt, vibration, odor, etc., by containing operations within building(s), and with exterior storage areas comprising less than twenty percent (20%) of the floor area of the building(s).

LOADING SPACE, OFF STREET: Space logically and conveniently located for pick ups and deliveries and accessible to such vehicles when required parking spaces are filled.

LOCAL HOUSING AUTHORITY: An independent public body corporate and politic created under the housing authorities and cooperation law, Idaho Code section 50-1901 et seq., including the Blaine County housing authority or other entity created by the city of Hailey, providing oversight, review and general assistance in the provision of community housing units to the city.

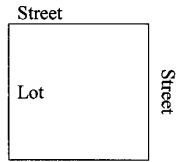
LODGING ESTABLISHMENTS: Hotels, motels, bed and breakfast inns, and boarding and rooming houses.

LOT: Plot, parcel or tract of land with fixed boundaries of sufficient size to meet minimum zoning requirements for use, coverage and area, and to provide such yards and other open spaces as are herein required. Such lot may consist of:

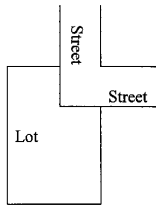
- A. A single lot of record;
- B. A combination of complete lots of record or portions of lots of record.

LOT, CORNER: A lot located at the intersection of two (2) or more streets.

- A. Lot, normal corner: See diagram.



- B. Lot, reverse corner: See diagram.



LOT COVERAGE: The percent of the total lot area included within the footprint of all buildings.

LOT LINE, FRONT: The property line dividing a lot from a street. On a corner lot, only one street line shall be considered the front lot line and the main or front entrance to the principal building on the lot shall face such lot line. For buildings located on a corner with more than one business within the building, the front lot line is the side where the businesses' street address is listed.

LOT LINE, REAR: The lot line opposite or most directly opposite the front lot line.

LOT LINE, SIDE: Any lot line other than the front or rear lot lines.

LOT OF RECORD: A lot which is part of a subdivision or within the Hailey townsite recorded in the office of the county recorder or a lot described by metes and bounds, the description of which has been so recorded before the adoption of the subdivision ordinance.

LOT SIZE: The area of land within the fixed boundaries of a "lot", as defined in this section, excluding any portion of the lot lying between mean high water marks.

LOT WIDTH: The distance parallel to the front lot line, measured between side lot lines through that part of the building envelope or buildable area of the lot where the lot is narrowest.

LOWEST FLOOR: The lowest floor of the lowest enclosed area (including basement) used for living purposes, which includes working, storage, cooking and eating, or recreation, or any combination thereof. This includes any floor that could be converted to such a use including a basement or crawl space. An unfinished or flood resistant enclosure, used solely for parking of vehicles, building access or storage, in an area other than a basement, is not considered a structure's lowest floor. The lowest floor is a determinate for the flood insurance premium for a building, home or business.

MANUFACTURED HOME: A structure, constructed according to HUD/FHA home construction and safety standards, transportable in one or more sections, which is built on a permanent chassis and is designed to be used as a dwelling with or without a permanent foundation when connected to the required utilities. Manufactured homes, where permitted, shall meet the following minimum requirements:

A. The manufactured home shall be multisectional and shall enclose a space, exclusive of garage or accessory space, of not less than eight hundred sixty four (864) square feet.

B. The manufactured home shall be placed on a foundation that meets all city requirements under the IBC and IRC. The foundation shall be backfilled so that the manufactured home is no more than twelve inches (12") above finished grade. The individual installing the manufactured home shall remove the wheels and trailer tongue from the home immediately upon installation.

C. The manufactured home shall have a minimum roof pitch of three to twelve (3:12).

D. The manufactured home shall have exterior roofing and siding which is similar in material, texture and color to material commonly used throughout the neighborhood or subdivision in which the manufactured home is to be located.

MARKET RATE UNIT: A dwelling unit in a residential or mixed use development that is not a community housing unit.

MASS: The combination of the three (3) dimensions of length, height and depth which give a building its overall shape.

MASTER PLAN: The Hailey parks, lands and trails master plan, adopted by resolution or ordinance, and as may be subsequently amended.

MAYOR: The duly elected or appointed mayor of the city of Hailey.

MEAN HIGH WATER MARK: The mark on all watercourses, where the presence and action of waters is so common and continued in all ordinary years as to mark upon the soil a character distinct from that of the abutting upland, in respect to vegetation and destroy its value for agricultural purposes. In areas where riprap bank stabilization has occurred, the measurement shall begin on the landward side of such stabilization work.

MEDICAL SERVICE: A service provided by a healthcare professional or organization, to treat and prevent any illness or condition associated with the human body; such as psychotherapy, chiropractic therapy, acupuncture, in-patient or out-patient surgery, dentistry, nutrition counseling, dermatology, obstetrics, gynecology, and midwifery.

MIXED USE BUILDING: A building that has more than one use, usually residential units in combination with retail, office, institutional or industrial use within the same structure.

MOTEL: A building or group of buildings which are used for short term occupancy, offering sleeping accommodations to the public on a nightly basis, which may provide food and entertainment totally within the principal building of the motel.

MULTIPLE-FAMILY DWELLING: A building containing two (2) or more dwelling units.

MUNICIPAL CODE: The Hailey municipal code, as may be amended.

MUNICIPAL USES: Use for a public purpose by the city only.

MURAL: A painting created directly on a wall or painted directly on a panel(s), or other material and permanently or temporarily applied to a wall.

NAICS: The most recent edition of the North American industrial classification system published by the United States department of commerce.

NONCONFORMING BUILDING OR STRUCTURE: A building or structure not conforming to the provisions of this title, but which was lawfully existing or for which a valid building permit existed at the time of adoption of this title.

NONCONFORMING LOT: A lot or parcel of land not conforming to the provisions of this title, but which was lawfully existing at the time of adoption of this title.

NONCONFORMING USE: A use not conforming to the provisions of this title, but which was lawfully existing at the time of adoption of this title.

OFFICE: A room or part of a building in which people conducting business and service operations, generally at desks with computers and phones. Offices, as a secondary use may be paired with medical services, personal services, skilled construction and industrial trades, and more.

OUTPATIENT ANIMAL SERVICES: The examination, care, treatment and grooming of domestic animals, excluding livestock, within an outpatient facility. Outpatient animal services shall, as a minimum, meet the following requirements:

- A. Outpatient animal services shall not have or make any provision for boarding any animal.
- B. Any animal brought to the service location shall stay under the direct control and supervision of the animal's owner or owner's representative.
- C. Any and all animals brought to the service location shall be leashed or caged at all times, except when under the direct control of the person or persons giving service.
- D. Each veterinary service shall create and exclusively use an entrance to the service apart from any other entrance to any other associated use.

OWNER: Any individual, firm, association, syndicate, corporation, trust, partnership, limited liability company or any other legal entity having an ownership or contractual interest in the land subject to the proceedings under this title.

PARCEL DELIVERY TERMINAL: Terminal or transfer point for the delivery of shipping container parcels or other consumer goods, which may include processing nodes for freight, supply chain and freight operations. Such facilities may include limited retail services.

PARK: A parcel of land dedicated to the city or privately owned and clearly accessible to the public free of charge for nonexclusive recreation and/or cultural use. A park is maintained for the primary purposes of diverse recreational and social opportunities. A park may include one of the following:

Minipark: A parcel of land, between one-fourth ($\frac{1}{4}$) acre and one acre in size, that is privately owned and maintained, unless otherwise allowed by the council, but that is used for nonexclusive public recreation and/or cultural purposes.

Neighborhood Park: A parcel of land generally one or more acres in size dedicated to the city for nonexclusive public recreation and/or cultural use.

Park/Cultural Space: A parcel of land less than one-fourth ($\frac{1}{4}$) acre in size and located in the business (B), limited business (LB) and transitional (TN) zoning districts, that is privately owned and maintained but that is used for nonexclusive public recreation and/or cultural purposes. A park/cultural space may include courtyards, plazas, gardens, expanded sidewalks and covered areas, provided access to the park/cultural space is available from a public street or property and is normally open to the exterior (e.g., not enclosed in a building).

PARKING SPACE: Space used for the temporary, transient storage of vehicles used for personal transportation. Parking shall not include storage for any other purpose other than specified above.

PEDESTRIAN ORIENTED: An environment designed to make movement by pedestrians convenient, attractive and comfortable for various ages and abilities; considerations include separation of pedestrian and auto circulation, street furniture, clear directional and informational signage, safety, visibility, shade, lighting, surface materials, trees, sidewalk width, intersection treatment, curb cuts, ramps and landscaping.

PERFORMING ARTS CENTER: A facility housing the elements needed to support a performing arts organization. Such facility may have functions associated either with an on site or off site live performance theater, but not including performing arts space within schools.

PERGOLA: A structure consisting of parallel columns supporting an open roof of girders and cross rafters.

PERI-URBAN AGRICULTURE: Local (i.e., designed for consumption primarily within the local and/or regional community) food systems, production and management, including, but not limited to, the following:

Greenhouses.

Growing: agricultural including orchards and small livestock grow facilities.

Local food system support organizations.

Processing: limited to plant products (allowed with CUP only).

PERI-URBAN RETREAT CENTER: A facility with a maximum of twenty five (25) sleeping rooms which are not intended for use by the general traveling public and which are operated for the purpose of providing a rural setting in which temporary lodging, food service, conference, meeting and/or event facilities are included, with or without compensation.

PERSONAL SERVICE: Any enterprise conducted for pecuniary gain which primarily offers services to the general public, such as, but not limited to, shoe repair, watch repair, barbershops, beauty parlors and similar activities.

PERSONAL WIRELESS SERVICE FACILITY (PWSF): Facility for the provision of personal wireless services, as defined by section 704 of the Telecommunications Act of 1996, as may be subsequently amended. A PWSF is any unstaffed facility for the transmission and/or reception of personal wireless services, usually consisting of an antenna array, transmission cables, equipment shelter and a mount.

PET BOARDING: A facility where a personal pet is cared for an overnight stay or longer, away from home. This may include dog hotel, dog kennel, or dog resort. Usually, people choose to board their personal pets when they travel.

PLANNED UNIT DEVELOPMENT: A project controlled by one owner, person, partnership or corporation, and characterized by a unified site design, involving varying the normal zoning requirements and restrictions so that the maximum long range benefit can be gained and the unique features of the site preserved and enhanced.

PLANNING STAFF: The individuals employed or hired by the City to conduct the planning functions of the City.

PRINCIPAL BUILDING: A building containing the principal use upon a lot.

PRINCIPAL USE: The primary use to which the premises is devoted, and the primary purpose for which the premises exists.

~~PROFESSIONAL OFFICE: An office for the conduct of the following types of uses: accountant, architect, attorney, chiropractor, optometrist, engineer, surveyor, drafting service, designer, dentist, physician, surgeon and other similar services.~~

PUBLIC OR SEMIPUBLIC PROJECT: A structure or development that, after completion, would be devoted to public or semipublic uses, including churches and schools.

PUBLIC SERVICE FACILITY: A public facility established for the protection and welfare of the surrounding neighborhood, including, but not limited to, a police station, fire station or ambulance center.

PUBLIC USE: Use for a public purpose by a City, school district, County, State or any other public agency or a public utility.

PUBLIC UTILITY FACILITY: A structure or facility, including towers used by a public utility. Such towers may not exceed forty eight feet (48') in height. Public utilities include, but are not limited to, gas, electric or telephone companies. Facilities for wireless communications are not included, and are specifically regulated by [chapter 17.08](#), article B of this title.

RV: A motor home, travel trailer, truck camper or camping trailer, with or without motive power, designed for human habitation for recreational or emergency occupancy. It does not include pickup hoods, shells or canopies designed, created or modified for occupational usage. Converted school buses or van type vehicles are defined as RVs.

RECORD GRADE: The natural grade existing prior to any site preparation, grading or filling, unless a new record grade is approved at the time of subdivision approval and noted on the filed preliminary or final plat.

RECREATION FACILITY, COMMERCIAL: A recreation facility operated as a business and open to the general public for a fee. Typical uses include, but are not limited to, arcades, sport facilities, swimming pools, laser tag and paintball courses, billiards, skating rinks, driving ranges, miniature golf, water courses and motorized car tracks.

RECREATION FACILITY, PUBLIC: A publicly owned and operated recreation facility.

RECREATION FACILITY, RESIDENTIAL: A recreation facility for use solely by the residents and guests of a particular residential development, planned unit development, or residential neighborhood, including outdoor and indoor facilities. These facilities are usually proposed or planned in association with development and located within or adjacent to such development.

RESEARCH AND DEVELOPMENT: Specialized nonpolluting activities with emphasis on investigation, experimentation, testing, engineering, inventing and conceptually designing prototypes and new technologies or associated light manufacturing. These technologies may include electronics, computer and data systems, medical and precision instruments, machine components, communication systems and equipment, and other technological instruments, equipment and systems.

RESIDENTIAL CARE FACILITY: A dwelling designed for the habitation of elderly or invalid individuals, or individuals with intellectual and developmental disabilities, who may or may not require some level of living assistance. This may include, but is not limited to, a nursing home, assisted living center/home, retirement home, convalescent care, geriatrics care, memory care, hospice, rest home or a group home.

RETAIL TRADE: The sale of goods to individual consumers, ~~usually~~ in small quantities and not to be placed in inventory for resale. Examples include grocery stores, clothing boutiques, and hardware stores.

RIPARIAN SETBACK: The distance measured at right angles from the mean high water mark of a waterway, between the mean high water mark and an imaginary line parallel to the mean high water mark, defining an area between such lines within which no building or other applicable structure may be placed, and whereby any existing vegetation shall remain undisturbed.

RIVER RESTORATION PROJECT: A project that is primarily designed to improve or restore fish and wildlife habitat within the floodplain, including associated stream bank restoration and stabilization.

SCHOOLS: An institution providing academic instruction and shall include kindergarten, elementary, junior high, middle and high schools. For the purpose of this definition, schools do not include postsecondary schools, such as universities, colleges and vocational or trade schools.

SEMI-PUBLIC USE: The use of land by a private, nonprofit organization to provide a public service that is ordinarily open to some persons outside the regular constituency of the organization, such as P-private colleges, hospitals, safe houses, and learning centers, and other facilities of an educational, charitable or philanthropic nonprofit nature.

SETBACK: The distance, measured at right angles to a given lot line, between the lot line and an imaginary line parallel to the lot line, defining an area between such lines within which no building or other applicable structure may be placed. Applicable structures are all structures requiring a building permit, except fences and decks less than thirty inches (30") from adjacent grade.

SHORT TERM OCCUPANCY: The rental of any unit or structure, or portion thereof, for a period of not more than thirty (30) days.

SIDEWALK: A pathway for nonmotorized vehicles, normally designated for pedestrians and which is usually separated from streets by curb and/or landscaping.

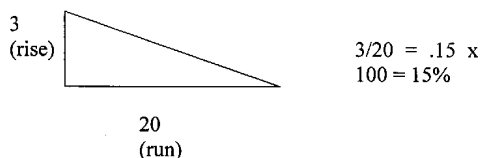
SINGLE-FAMILY DWELLING: A detached building, which may include attached or detached carports and garages, containing living facilities, including provisions for sleeping, eating, cooking and sanitation for not more than one family.

SKYLINE/SKYLINING: An outline of a structure against the background of the sky.

SKILLED CONSTRUCTION TRADE: A professional service pertaining to the installation, maintenance, and/or repair of materials and equipment for buildings. Examples include electrical work, plumbing, masonry, carpentry, and heating and air conditioning technology.

SKILLED INDUSTRIAL TRADE: A professional service pertaining to the fabrication, installation, maintenance, and/or repair of hard goods. Examples of skilled trades include welding and machinists.

SLOPE: An inclined ground surface, the inclination of which is expressed as a ratio of vertical distance to horizontal distance. Percent slope is calculated by multiplying this ratio (rise/run) by one hundred (100). See diagram.



SMALL-RESIDENTIAL UNIT: A self-contained living space with one or more rooms designed to accommodate a sitting space, bathroom and kitchenette.

SMALL SCALE WIND ENERGY SYSTEM (WES): An electric generator(s) having rated capacities of two kilowatts (2 kW) and less, that utilize wind energy to produce clean, emissions free power.

SOCIAL SERVICE: A service that promotes wellness and assists people to cope with or overcome challenges in everyday lives, such as job training and food assistance. Social services are distinct from medical services and personal services.

SOLAR ACCESS: An unobstructed exposure to sunlight and solar radiation upon land or a building.

SOLAR ENERGY SYSTEM: Any device or structural design feature used for the collection, storage, and/or distribution of solar energy for space heating, space cooling, lighting, electric generation, or water heating.

SOLAR ENERGY SYSTEM, GROUND-MOUNTED: A solar energy system that is structurally mounted to the ground and is not roof-mounted.

SOLAR ENERGY SYSTEM, LARGE-SCALE: A solar energy system that occupies more than forty thousand (40,000) square feet of surface area.

SOLAR ENERGY SYSTEM, MEDIUM-SCALE: A solar energy system that occupies more than one thousand seven hundred fifty (1,750) but less than forty thousand (40,000) square feet of surface area.

SOLAR ENERGY SYSTEM, ROOF-MOUNTED: A solar energy system that is structurally mounted to the roof of a building or structure.

SOLAR ENERGY SYSTEM, SMALL-SCALE: A solar energy system that occupies one thousand seven hundred fifty (1,750) square feet of surface area or less.

SOLAR PANELS: A group of connected solar cells, used to convert light from the sun into energy that can be used.

SOLAR PHOTOVOLTAIC SYSTEM: A solar energy system that converts solar energy directly into electricity, the primary components of which are solar panels, mounting devices, inverters, and wiring.

STORY: That portion of a building included between the upper surface of a floor and the upper surface of the floor or roof next above.

STORY ABOVE GRADE: Any story having its finished floor surface entirely above record grade, or as more particularly described in the IBC and IRC.

STREAM ALTERATION: To obstruct, diminish, destroy, alter, modify, relocate or change the existing shape of the natural channel within or below the mean high water mark, including the removal of material or structures in the stream channel.

STREET: A strip of land which provides access to abutting property.

STREET, PRIVATE: A street which provides public and emergency vehicular and public pedestrian access, but is not accepted for a dedication or maintenance by the City and will be owned and maintained by a private entity, owners' association or person(s).

STREET, PUBLIC: Land, property or interest therein, usually in a strip, acquired for or devoted to public vehicular and public pedestrian access.

STRUCTURE: Anything constructed or erected, the use of which requires location on the ground or attachment to something having a fixed location on the ground.

STUDIO, ARTIST: Workspace within an enclosed structure for artists and artisans, including individuals practicing one of the fine arts or performing arts, or skilled in an applied art or craft. Also includes recording studios. Incidental retail sales of items produced on the premises is allowed.

SUBDIVISION ORDINANCE: Title 16 of this Code, and as may be subsequently amended.

SUBSTANTIAL DAMAGE: Damage of any origin sustained by a structure whereby the cost of restoring the structure to its before damaged condition would equal or exceed fifty percent (50%) of the market value of the structure before the damage occurred.

SUBSTANTIAL IMPROVEMENT: Any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds fifty percent (50%) of the market value of the structure before the "start of construction" of the improvement. This term includes structures which have incurred "substantial damage", regardless of the actual repair work performed. The term does not, however, include either: a) any project for improvement of a structure to correct existing violations of State or local Health, Sanitary or Safety Code specifications which have been identified by the local Code enforcement official and which are the minimum necessary to assure safe living conditions; or b) any alteration of a "historic structure"; provided, that the alteration will not preclude the structure's continued designation as a "historic structure".

TINY HOME ON WHEELS (THOW): an accessory structure with a footprint between 100 and 400 square feet in size that provides seasonal or year-round independent living facilities, including provisions for living, sleeping, eating, cooking, and sanitation, and has been certified to meet the required building standards.

TEMPORARY STRUCTURE: Any building, modular unit or other structure that is intended for any use for a period of not more than one year, excluding construction trailers or other structures erected solely in conjunction with a construction project.

TOWNHOUSE DEVELOPMENT: A multi-family residential project of two (2) or more townhouse dwelling units, where permitted under this title, which may be constructed as either or both of the following:

A. Building(s) containing two (2) or more townhouse units erected generally in a row, with each unit being separated from the adjoining unit or units by a party wall or walls, subject to Building and Fire Code requirements and all other applicable codes and ordinances, and with party walls extending from the basement floor to the roof along the dividing townhouse subplot line. Each unit has its own access to the outside, and no unit is located over another unit in part or in whole.

B. Cottages, which are buildings containing single townhouse dwelling units on individual townhouse sublots, provided the separation between units and/or buildings complies with applicable Building and Fire Code requirements and all other applicable codes and ordinances.

TOWNHOUSE SUBLOT: The lot resulting from platting a residential townhouse development. Townhouse sublots shall have a minimum area equal to that of the perimeter of each individual townhouse unit, and an additional area three feet (3') in width adjacent to any opening, measured at the foundation. Said sublots shall not be buildable for structures other than a "townhouse unit", as defined in this section. Platting of sublots shall follow the procedures set forth in the subdivision ordinance and other applicable codes in effect. All other detached and/or accessory buildings shall be contained within the perimeter of the townhouse subplot, except as otherwise permitted herein.

TOWNHOUSE UNIT: A dwelling including a minimum of one bathroom and a single kitchen, designed for or occupied as a unit by one family for living and cooking purposes, located in a townhouse development on a platted townhouse subplot.

TREE GUIDE: The City of Hailey Tree Selection and Planting Guide, as adopted by the City, and as may be subsequently amended.

TRELLIS: A light construction of latticework no more than eight feet (8') in height. The latticework shall be of open design.

URBAN AGRICULTURE: The production of vegetables, fruits, honey and eggs by residents for personal consumption and may include production by members of a neighborhood or by a nonprofit organization on one or more vacant lots for personal consumption.

USE: The purpose for which land or a building thereon is designed, arranged, intended or for which it is or may be occupied or maintained.

WHOLESALE: The sale of goods to retailers or jobbers, rather than the sale of goods to individual consumers, usually in large quantities to be placed in inventory for resale to the individual consumer.

WIRELESS COMMUNICATION FACILITY (WCF): Those facilities that are nonpersonal wireless service facilities (PWSFs), by definition of the Telecommunications Act of 1996, as amended, but that are also subject to [chapter 17.08](#), article B of this title due to their height above ground level. Any antenna, including mount and/or equipment support structure over thirty five feet (35') AGL that is not a PWSF shall be considered a WCF and regulated by [chapter 17.08](#), article B of this title.

YARD: That portion of the open area on a lot from a given lot line for a depth or width specified by the setback regulations for the district in which the lot is located. (Ord. 1306, 2022; Ord. 1245, 2019; Ord. 1231, 2018; Ord. 1221, 2017; Ord. 1220, 2017; Ord. 1208, 2016; Ord. 1207, 2016; Ord. 1191, 2015; Ord. _____, 2023)

Section 2. Title 17 Zoning Regulations, Chapter 17.05 Official Zoning Map and District Use Matrix, Section 17.05.040 District Use Matrix is hereby modified by the removal of the stricken language and the addition of the underlined language, as follows:

17.05.040: DISTRICT USE MATRIX:

The residential, public and semi-public, commercial, and accessory ~~permitted, conditional and accessory~~ uses, and as well as the bulk requirements for the zoning districts established in chapter 17.04 of this title are designated in the district use matrix set forth herein. A "P" indicates that a use is permitted in the respective zoning district. Permitted uses must conform to the applicable requirements of this title. A "C" indicates that a use is allowed as a conditional use in the respective zoning district. Conditional uses are subject to review and approval under the provisions of chapter 17.11 of this title. ~~An "A" indicates an accessory use is allowed. An accessory use shall not commence and no accessory structure shall be constructed without a primary use first being lawfully established on the subject site.~~ An "N" indicates that a use is not allowed in the respective zoning district, except where state or federal law otherwise preempts local land use regulation.

Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Residential:														
	Dwelling units within mixed use buildings	N	N	N	N	P	P	N	P ¹⁸	N	N	N	P	P
	Manufactured home	N	P	P	P	N	P	P	N	N	N	N	N	N
	Multi-family dwellings	N	N	N	P	N	P	C	P ¹⁸	N	N	N	N	N
	Single family dwellings	N	P	P	P	N	P	P	N	N	N	N	N	N
Public or semipublic:														
	Churches	N	P	P	P	C	P	P	C	N	N	N	N	N
	Colleges, vocational and technical trade schools	N	N	N	N	N	N	N	P	N	P	N	P	N
	Government offices and public administration, except correctional institutions	N	N	N	N	N	P	N	P	N	N	N	N	N
	Healthcare and social assistance	N	N	N	N	N	P	N	P	N	N	N	N	N
	Municipal uses limited to water storage and well facilities	C	N	N	N	N	N	N	N	N	N	N	N	N
	Nonmotorized recreational pathways	P	P	P	P	P	P	P	P	P	P	P	P	P
	Parks	P	P	P	P	P	P	P	P	P	P	P	P	P
	Public recreational or cultural areas	C	N	N	N	N	N	N	N	N	N	N	N	N
	Public service, public use and public utility facilities	N	C	C	C	N	C	C	C	P	P	N	C	C
	Schools (refer to section 17.11.040.03 of this title for specific criteria when reviewing schools)	N	N	N	C	N	C	N	C	N	N	N	C	N
Semipublic uses	N	N	N	C	C	P	C	P	N	N	N	N	N	
Telecommunications:														
	PWSFs and WCFs, mounted on any proposed freestanding tower, upon the issuance of wireless permit in accordance with the provision of chapter 17.08, article B of this title (lattice towers are													

Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-H
	prohibited)	N	N	N	N	N	C	N	C	C	C	C	C	C
	PWSFs or WCFs, attached to street poles or mounted on existing buildings or structures, upon the issuance of a wireless permit in accordance with the provisions of chapter 17.08, article B of this title (freestanding and lattice towers are prohibited)	C	C	C	C	C	P	C	P	P	P	P, A	P, A	P, A
Commercial:														
	Administrative and support services	N	N	N	N	N	N	N	P	N	N	N	N	N
	Airport	N	N	N	N	N	N	N	N	N	N	P	N	N
	Artist studios, which have no associated gallery	N	N	N	N	N	N	N	N	N	N	N	P	P
	Auto dealerships	N	N	N	N	N	N	N	C	P	N	N	N	N
	Automobile rental companies	N	N	N	N	N	N	N	N	N	N	P	N	N
	Automobile towing	N	N	N	N	N	N	N	N	N	N	N	N	P
	Bars	N	N	N	N	N	C	N	P	N	N	P ¹⁴	C ¹³	C ¹⁵
	Bed and breakfast inn	N	N	N	C	N	P	C	P	N	N	N	N	N
	Boarding and rooming houses	N	N	N	C	N	P	N	P	N	N	N	N	N
	Broadcasting firms, media offices, and related uses	N	N	N	N	N	N	N	P	N	N	N	N	N
	Business parks	N	N	N	N	N	N	N	N	N	N	C	N	N
	Cable television firms	N	N	N	N	N	N	N	N	N	P	N	N	N
	Car rental companies	N	N	N	N	N	N	N	N	P	N	N	N	N
	Catering services	N	N	N	N	C	P	N	P	P	P	N	N	N
	Commercial brewery, bakery, or food catering where no retail sales are conducted	N	N	N	N	N	N	N	N	N	N	N	P	P
	Community event center	N	N	N	C ¹⁷	C ¹⁷	N	N	N	N	N	N	N	N
	Computer software development, manufacture and service firms	N	N	N	N	N	N	N	N	N	N	N	P	N

Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI- SO	SCI-I
	Construction and building material sales (except hardware stores)	N	N	N	N	N	N	N	N	P	N	N	N	N
	Construction contractors	N	N	N	N	N	N	N	N	P	N	N	N	N
	Construction equipment and materials rental, storage, sales and service, excluding hardware stores	N	N	N	N	N	N	N	N	N	N	N	N	P
	Construction equipment rental, storage, sales and service	N	N	N	N	N	N	N	N	N	N	N	P	N
	Construction trade contractors, excluding excavation and landscaping companies	N	N	N	N	N	N	N	N	N	N	N	P	P
	Construction trade contractors, including excavation companies	N	N	N	N	N	N	N	N	N	N	N	N	P
	Construction trade contractors' offices with no exterior storage	N	N	N	N	N	C	N	N	N	P	N	P	P
	Control tower (air traffic)	N	N	N	N	N	N	N	N	N	N	P	N	N
	Convenience stores	N	N	N	N	C ¹⁷	C	N	N	N	N	N	N	N
	Convenience stores, in conjunction with gasoline stations that have no more than 1,800 square feet of gross floor area. Drive-through service windows are not allowed	N	N	N	N	N	N	N	N	N	N	N	N	C
	Daycare centers (13+ children)	N	N	N	C	P	P	C	P	N	N	N	C	N
	Daycare centers provided no more than 18 children will be cared for at any one time	N	N	N	C	P	P	C	P	N	N	N	C	N
	Daycare facilities (up to 12 children)	N	C	C	P	P	P	P	P	N	N	N	C	N
	Daycare homes (6 or less children)	N	P	P	P	P	P	P	P	N	N	N	C	N
	Employee housing for golf courses or recreational facilities	C	N	N	N	N	N	N	N	N	N	N	N	N
	Fabrication and repair of building materials and components, including log homes	N	N	N	N	N	N	N	N	N	N	N	N	P
	Farm supply and equestrian tack and feed stores	N	N	N	N	N	N	N	N	N	N	N	N	P

Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI- SO	SCI-I
	Fencing supplies and installation	N	N	N	N	N	N	N	N	N	N	N	N	P
	Finance and insurance firms	N	N	N	N	N	C	N	P	N	N	N	N	N
	Firewood production and storage	N	N	N	N	N	N	N	N	N	N	N	N	P
	Flight schools, provided regularly scheduled commercial passenger aircraft services are operated at the airport	N	N	N	N	N	N	N	N	N	N	P	N	N
	Floor covering stores	N	N	N	N	N	N	N	N	P	N	N	N	N
	Food service	N	N	N	N	C ¹⁷	C	N	P	N	N	P ¹⁴	C ¹³	C ^{13,15}
	Gasoline stations	N	N	N	N	N	N	N	P	P	N	N	N	N
	Gasoline stations and automotive repair and maintenance	N	N	N	N	N	C	N	N	N	N	N	N	C
	Gasoline stations, including card lock stations	N	N	N	N	N	N	N	N	N	N	N	N	C
	Gift shops within terminal	N	N	N	N	N	N	N	N	N	N	P	N	N
	Golf course, public	P	N	N	N	N	N	N	N	N	N	N	N	N
	Guides and outfitters with no more than 20% of the floor area dedicated to retail sales	N	N	N	N	N	N	N	N	N	N	N	P	N
	Health and fitness facility	N	N	N	N	N	P	C	P	P	C	N	C	C
	Helicopter areas, provided regularly scheduled commercial passenger aircraft services are operated at the airport	N	N	N	N	N	N	N	N	N	N	P	N	N
	Home occupations	N	P	P	P	P	P	P	P	N	N	N	N	N
	Hotels or motels	N	N	N	N	N	P	N	P	N	N	C	C	N
	Hybrid production facilities	N	N	N	N	N	N	N	C	N	N	N	P	N
	Industrial laundry/dry cleaning service and distribution establishments	N	N	N	N	N	N	N	N	P	N	N	N	P
	Interior decorating and design that have no more than 20% of the gross floor area dedicated to on site retail sales	N	N	N	N	N	N	N	N	N	N	N	P	N
	Investigation and security services	N	N	N	N	N	N	N	N	N	P	N	P	N
	Landscape design and installation firms,													

Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
	and landscape nurseries	N	N	N	N	N	N	N	N	P	N	N	N	P
	Landscape design, installation and maintenance firms	N	N	N	N	N	N	N	N	P	N	N	N	N
	Laundromat, dry cleaning, and laundry	N	N	N	N	C	N	N	P	N	N	N	C	P
	Light manufacturing	N	N	N	N	N	N	N	N	P	P	N	N	P
	Medical and personal care stores	N	N	N	N	N	C	N	N	N	N	N	N	N
	Mercantile (wholesale and retail)	N	N	N	N	C ¹⁷	N	N	P	N	N	N	N	N
	Mixed use buildings	N	N	N	N	N	P	P	P	N	N	N	P	P
	Motor vehicles and parts dealers, service, rental and leasing	N	N	N	N	N	N	N	N	P	N	N	N	P
	Nurseries, greenhouse and floriculture production and sales	N	N	N	N	N	N	N	N	P	N	N	N	N
	Outpatient animal services	N	N	N	N	N	N	N	C	N	N	N	N	N
	Parcel delivery terminal	N	N	N	N	N	N	N	C	C	C	N	N	P
	Parking facilities and structures	N	N	N	N	N	N	N	C	N	N	P	N	P
	Performing arts center	N	N	N	N	N	P	N	P	P	N	N	N	N
	Peri-urban retreat center	N	N	N	C ¹⁷	C ¹⁷	N	N	N	N	N	N	N	N
	Personal services where retail sales are clearly incidental to the principal use and no outside storage yard or facility is required	N	N	N	N	C ¹⁷	P	C	P	N	N	N	C	N
	Photography studios and photo processing	N	N	N	N	N	N	N	N	P	P	N	P	N
	Printing and publishing firms	N	N	N	N	N	N	N	N	P	P	N	P	P
	Processing and sales of firewood	N	N	N	N	N	N	N	N	P	N	N	N	N
	Professional and general offices	N	N	N	N	C ¹⁷	P	P	P	P	P	N	P	N
	Radio and television recording studios and stations	N	N	N	N	N	N	N	N	N	P	N	P	N
	Real estate and property management companies	N	N	N	N	N	P	N	P	N	N	N	N	N
	Recording studios (audio or video) and broadcasting studios	N	N	N	N	N	N	N	N	P	N	N	N	N
	Recreation facility, commercial, indoor	N	N	N	N	N	P	N	P	N	N	N	N	N

Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-H
	Recreation facility, commercial, outdoor	N	N	N	N	N	C	N	C	N	N	N	N	N
	Recreation facility, public	P	P	P	P	P	P	P	P	P	P	P	P	P
	Recreation facility, residential	P	P	P	P	P	P	P	P	N	N	N	P	P
	Research and development facilities	N	N	N	N	N	N	N	N	P	P	N	P	N
	Residential care facility	N	P	P	P	P	P	P	P	N	N	N	N	N
	Retail trade limited to the following: floor covering and window treatment, household appliances, woodstoves/fireplaces, spa/hot tub, building material and garden equipment and supplies (excluding hardware stores), farm and equestrian, and nonstore retail (mail order and vending machines)	N	N	N	N	N	N	N	N	N	N	N	P	N
	Sales, rental, and servicing of trailers, mobile homes, farm implements and heavy equipment	N	N	N	N	N	N	N	N	P	N	N	N	N
	Services to buildings (janitorial/maintenance) and property management companies	N	N	N	N	N	N	N	N	N	P	N	P	P
	Sign studios and manufacturers	N	N	N	N	N	N	N	N	N	N	N	N	P
	Snow removal contractors	N	N	N	N	N	N	N	N	N	N	N	N	P
	Structures and/or buildings integral to a golf course such as clubhouses, maintenance, buildings, and restrooms	C	N	N	N	N	N	N	N	N	N	N	N	N
	Studio, artist	N	N	N	N	N	P	N	N	P	N	N	C	C
	Truck transportation, bus, taxi and limousine services, and couriers	N	N	N	N	N	N	N	N	P	N	N	N	P
	Veterinarians, pet grooming, and training with no outdoor kenneling	N	N	N	N	N	N	N	C	C	P	N	C	P
	Warehouse and storage facilities	N	N	N	N	N	N	N	N	P	N	N	N	N
	Warehouse and storage facilities, including self-storage facilities and exterior storage facilities	N	N	N	N	N	N	N	N	N	N	N	N	P

Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-H
	Wholesale distributors	N	N	N	N	N	C	N	N	N	P	N	N	N
	Wholesale distributors or wholesale distributors with incidental and subordinate retail sales	N	N	N	N	N	C	N	N	N	N	N	N	N
	Wholesale trade	N	N	N	N	N	N	N	N	P	N	N	P	P
	Agricultural uses:													
	Horses, a maximum of 2 horses per acre on lots of 1 acre minimum size	N	C	C	C	N	N	N	N	N	N	N	N	N
	Urban agriculture (chickens only)	N	P	P	P	N	A	N	A	N	N	N	A	N
	Urban agriculture (other than chickens)	P	P	P	P	P	P	P	P	P	P	N	P	P
Accessory uses:														
Aboveground fuel tanks	Aboveground flammable and combustible liquid tanks utilized by a public use	N	C	C	C	N	C	C	A	A	C	A	A	A
	Aboveground fuel tank for private or commercial use	N	N	N	N	N	P	N	P	P	N	P	P	P
Accessory dwelling unit (ADU) and Tiny Homes on Wheels (THOW)	1 accessory dwelling unit or 1 tiny home on wheels, accessory to a single family dwelling unit or to a nonresidential principal building. Primary vehicular access to any ADU or THOW shall be from a City Street or alley. All accessory dwelling units and tiny homes on wheels shall have adequate water and sewer services installed to meet City standards	N	A ²³	A ²³	A ²³	A ²³	A ²³	A ²³	A ²³	N	N	N	A ²³	A ²³
	Freestanding solar panels, subject to the maximum building height for the applicable district	N	C	C	C	C	C	C	C	C	C	C	C	C

Category	Description (Excerpt)	Zones And Subdistricts													
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I	
Alternative energy systems	Roof mounted and freestanding small scale wind energy system	N	N	N	N	N	N	N	C	C	N	C	C	C	
	Roof mounted solar panels, subject to the maximum building height for the applicable district	N	A	A	A	A	A	A	A	A	A	A	A	A	
Garages		N	A	A	A	A	A	A	A	A	A	A	A	A	
Greenhouse/private	A greenhouse for private use	N	A	A	A	N	A	A	N	N	N	N	N	N	
Storage	Shipping containers utilized for storage, must be shielded from view with fencing and/or landscaping and shall require a building permit	N	N	N	N	N	N	N	N	A	N	N	N	C	
	Storage buildings with a gross floor area of greater than 120 square feet	C	A	A	A	A	A	A	A	A	A	A	A	A	
	Storage buildings with a gross floor area less than 120 square feet	A	A	A	A	A	A	A	A	A	A	A	A	A	
Swimming pool		N	A	A	A	N	N	N	N	N	N	N	N	N	
Temporary structures	Temporary structures for use of no more than 12 months ¹⁶	C	C	C	C	C	C	C	C	C	C	C	C	C	

Proposed District Use Matrix:

Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Residential:														
	Accessory dwelling unit (ADU)	N	p ²²	p ²²	p ²²	p ²²	p ²²	p ²²	p ²²	N	N	N	p ²²	p ²²

<u>Category</u>	<u>Description (Excerpt)</u>	<u>Zones And Subdistricts</u>												
		<u>RGB</u>	<u>LR-1</u>	<u>LR-2</u>	<u>GR</u>	<u>NB</u>	<u>LB</u>	<u>TN</u>	<u>B</u>	<u>LI</u>	<u>TI</u>	<u>A</u>	<u>SCI-SO</u>	<u>SCI-I</u>
	<u>Co-Living Dwelling Facility</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Manufactured home</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Mixed use buildings</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P¹⁸</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>P</u>
	<u>Multi-family dwellings</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>C</u>	<u>P¹⁸</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Single-family dwellings</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Tiny Home on Wheels (THOW)</u>	<u>N</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P²²</u>	<u>P²²</u>
<u>Public or semipublic:</u>														
	<u>Community center</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Government offices, public administration, and social services, except correctional institutions</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Parks and pathways</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
	<u>Performing arts center</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Public utility facilities</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>C</u>	<u>C</u>
	<u>Religious institutions and places of worship</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>C</u>	<u>P</u>	<u>P</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Schools, including colleges, vocational, and technical trade schools</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>C</u>
	<u>Semipublic uses</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>P</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>C</u>
	<u>Telecommunication freestanding towers</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C²⁶</u>	<u>N</u>	<u>C²⁶</u>	<u>C²⁶</u>	<u>C²⁶</u>	<u>C²⁶</u>	<u>C²⁶</u>	<u>C²⁶</u>

<u>Category</u>	<u>Description (Excerpt)</u>	<u>Zones And Subdistricts</u>												
		<u>RGB</u>	<u>LR-1</u>	<u>LR-2</u>	<u>GR</u>	<u>NB</u>	<u>LB</u>	<u>TN</u>	<u>B</u>	<u>LI</u>	<u>TI</u>	<u>A</u>	<u>SCI-SO</u>	<u>SCI-I</u>
	<u>Telecommunication PWSFs or WCFs, attached to street poles or mounted on existing structures</u>	<u>C²⁶</u>	<u>C²⁶</u>	<u>C²⁶</u>	<u>C²⁶</u>	<u>C²⁶</u>	<u>P²⁶</u>	<u>C²⁶</u>	<u>P²⁶</u>	<u>P²⁶</u>	<u>P²⁶</u>	<u>P²⁶</u>	<u>P²⁶</u>	<u>P²⁶</u>
	<u>Water storage and well facilities</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
<u>Commercial:</u>														
	<u>Airport and related uses</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>
	<u>Artist studios with an associated gallery</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>P</u>
	<u>Artist studios, with no associated gallery</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>P</u>
	<u>Auto dealerships</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Automobile towing</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>
	<u>Automotive rental companies</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>
	<u>Automotive repair and maintenance</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>
	<u>Bars</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>P¹⁴</u>	<u>C^{13,15}</u>	<u>N</u>
	<u>Broadcasting firms, media offices, and related uses</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>
	<u>Convenience stores, less than 1,000 square feet</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Daycare centers (13 to 18 children)</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>P</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>
	<u>Daycare facilities (up to 12 children)</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>
	<u>Daycare homes (6 or less children)</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>
	<u>Food service preparation for off-site catering, dining, and retail trade</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>C</u>	<u>C</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>P</u>
	<u>Food service</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>P¹⁴</u>	<u>C¹³</u>	<u>C¹³</u>
	<u>Gasoline stations</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C²⁵</u>

<u>Category</u>	<u>Description (Excerpt)</u>	<u>Zones And Subdistricts</u>												
		<u>RGB</u>	<u>LR-1</u>	<u>LR-2</u>	<u>GR</u>	<u>NB</u>	<u>LB</u>	<u>TN</u>	<u>B</u>	<u>LI</u>	<u>TI</u>	<u>A</u>	<u>SCI-SO</u>	<u>SCI-I</u>
	<u>Guides and outfitters with no more than 20% of the floor area dedicated to retail sales</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P²⁸</u>	<u>C²⁸</u>	<u>N</u>	<u>P²⁸</u>	<u>P²⁸</u>
	<u>Hardware stores</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C²⁸</u>	<u>N</u>	<u>P²⁸</u>	<u>P²⁸</u>	<u>N</u>	<u>N</u>	<u>P²⁸</u>	<u>P²⁸</u>
	<u>Health and fitness facility</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>C</u>
	<u>Home occupations</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Hybrid production facilities, including breweries, cideries, distilleries, and wineries</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>P</u>
	<u>Laundry services</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>P</u>
	<u>Light manufacturing, including the fabrication of building materials and technology</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>P</u>
	<u>Lodging establishments limited to bed and breakfast inns and boarding and rooming houses</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>P</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Lodging establishments limited to hotels and motels</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>N</u>
	<u>Medical services</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>
	<u>Landscaping services</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P²⁸</u>	<u>N</u>	<u>N</u>	<u>P²⁸</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P²⁸</u>
	<u>Parcel delivery terminal</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>P</u>
	<u>Parking lots and structures</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>
	<u>Peri-urban agriculture</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>P</u>	<u>P</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Peri-urban retreat center</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Personal services</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>
	<u>Pet boarding</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Pet outpatient and veterinarian services</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Printing and related services</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>P</u>
	<u>Offices</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>
	<u>Recreation facility, indoor</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>

<u>Category</u>	<u>Description (Excerpt)</u>	<u>Zones And Subdistricts</u>												
		<u>RGB</u>	<u>LR-1</u>	<u>LR-2</u>	<u>GR</u>	<u>NB</u>	<u>LB</u>	<u>TN</u>	<u>B</u>	<u>LI</u>	<u>TI</u>	<u>A</u>	<u>SCI-SO</u>	<u>SCI-I</u>
	<u>Recreation facility, outdoor</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>N</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Residential care facility</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Retail trade</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P²⁸</u>	<u>P²⁸</u>	<u>N</u>	<u>P²⁸</u>	<u>P²⁸</u>
	<u>Skilled construction and industrial trades</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P²⁸</u>	<u>P²⁸</u>	<u>N</u>	<u>C²⁸</u>	<u>P²⁸</u>
	<u>Technological development and service</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>P</u>
	<u>Transportation services</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>
	<u>Warehouse and storage facilities</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>
	<u>Wholesale trade and distributors</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C²⁸</u>	<u>N</u>	<u>N</u>	<u>P²⁸</u>	<u>N</u>	<u>N</u>	<u>P²⁸</u>	<u>P²⁸</u>
<u>Accessory uses:</u>														
<u>Alternative energy systems</u>	<u>Solar panels, freestanding and subject to a maximum height of ten feet (10') from record grade</u>	<u>N</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>
	<u>Solar panels, roof-mounted and subject to five feet (5') above the maximum building height for the applicable district</u>	<u>N</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>	<u>P²⁴</u>
	<u>Wind energy system that is small scale, roof-mounted or free standing</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>C</u>
<u>Fuel tanks</u>		<u>N</u>	<u>C²⁷</u>	<u>C²⁷</u>	<u>C²⁷</u>	<u>C²⁷</u>	<u>P²⁷</u>	<u>C²⁷</u>	<u>P²⁷</u>	<u>P²⁷</u>	<u>P²⁷</u>	<u>P²⁷</u>	<u>P²⁷</u>	<u>C²⁷</u>
<u>Garages</u>		<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Agriculture</u>	<u>Greenhouses</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Horses, a maximum of 2 horses per acre on lots with a minimum size of 1-acre</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
	<u>Chickens</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
<u>Residential</u>	<u>Accessory dwelling unit (ADU)</u>	<u>N</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P²²</u>	<u>P²²</u>
	<u>Tiny Home on Wheels (THOW)</u>	<u>N</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>P²²</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P²²</u>	<u>P²²</u>

<u>Category</u>	<u>Description (Excerpt)</u>	<u>Zones And Subdistricts</u>												
		<u>RGB</u>	<u>LR-1</u>	<u>LR-2</u>	<u>GR</u>	<u>NB</u>	<u>LB</u>	<u>TN</u>	<u>B</u>	<u>LI</u>	<u>TI</u>	<u>A</u>	<u>SCI-SO</u>	<u>SCI-I</u>
<u>Storage structures</u>		<u>C</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Swimming pool</u>		<u>N</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
<u>Temporary structures</u>		<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>

BULK REQUIREMENTS

<u>Category</u>	<u>Description (Excerpt)</u>	<u>RGB</u>	<u>LR-1</u>	<u>LR-2</u>	<u>GR</u>	<u>NB</u>	<u>LB</u>	<u>TN</u>	<u>B</u>	<u>LI</u>	<u>TI</u>	<u>A</u>	<u>SCI-SO</u>	<u>SCI-I</u>
Lot dimensions	Minimum lot size (square feet)	None	8,000	12,000	6,000 ⁵	6,000 ⁸	6,000 ⁹	6,000 ⁵	0 ⁹	6,000	-	See note 12	10,890	10,890
	Minimum lot width (feet)	None	75	75	50 ⁶	50 ⁶	50 ⁶	50 ⁶	0 ⁶	60	-	See note 12	-	-
Building height	Maximum building height (feet)	35 ^{20,21,22}	30 ^{20,21,22}	30 ^{20,21,22}	35 ^{20,21,22}	30	35	35	35	35	35	See note 12	35	35 ^{20,21,22}
Setbacks	Minimum front yard setback (feet)	20	25	25	20	10	20	20	0 ⁷	10	20	See note 12	10	10
	Minimum side yard setback (feet)	10	10 ^{3,18,19,20}	10 ^{3,18,19,20}	8 ^{7,18,19,20,24,23}		10 ^{7,18,19,20}	10 ^{7,18,19,20}	0 ^{7,18,19,20}	10 ^{11,18,19,20}	10 ^{11,18,19,20}	See note 12	10	10
	Minimum rear yard setback (feet)	10	10 ^{3,18,19,20}	10 ^{3,18,19,20}	10 ^{7,18,19,20}	10 ^{7,18,19,20}	10 ^{7,18,19,20}	10 ^{7,18,19,20}	0 ^{7,18,19,20}	10 ^{11,18,19,20}	10 ^{11,18,19,20}	See note 12	10	10
	Riparian (feet)	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	See note 12	100 ⁴	100 ⁴

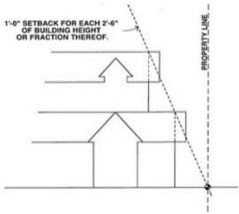
Multi-family and mixed use density	Mixed use residential density: maximum units per acre	-	-	-	-	15	20	10	20	-	-	See note 12	20	-
	Multi-family residential density: maximum units per acre	-	-	-	10		20	10	20				20	
Total lot coverage	Total maximum coverage by all buildings, which includes 1 accessory dwelling unit (percentage)	-	40	40	40	-	-	30 ¹⁰	-	75	75	See note 12	70	70
Maximum floor area	Aggregate gross floor area for individual retail/wholesale trade (square feet)	-	-	-	-	-	36,000	-	36,000	25,000	25,000	See note 12	25,000	25,000
	Aggregate gross floor area for grouped retail/wholesale (square feet)	-	-	-	-	-	36,000	-	50,000	25,000	25,000	See note 12	25,000	25,000

Notes:

1. Must be accessory to the primary use and contained within the walls of the primary structure.
2. Indicates use may be allowed where State or Federal law preempts local zoning.
3. The setback from the adjacent property shall be 1 foot for every 2 feet of building height for all portions of the building exceeding 20 feet in height, provided, however, no side or rear yard shall be less than 10 feet. See the figure located at section 17.04B.050 of this title for more explanation.
4. Riparian setback. Unless otherwise provided for herein, all permanent buildings and structures shall have a 100 foot wide riparian setback from the mean high water mark of the Big Wood River. Removal of live vegetation or excavation within the riparian setback is prohibited, except for any tree that has been recommended for removal by a certified arborist, in writing, because the tree has been found to potentially endanger the resident(s) of the property on which it is located or any member of the public, or has become hazardous to any street, alley or other public right-of-way or public utility, or because the removal of a tree would substantially improve the health of other trees on the property. Pruning of trees and planting of riparian trees, shrubs and ground cover within the riparian setback are allowed, provided however, that all plantings conform to the criteria for evaluation in subsection 17.04J.040B4e of this title. Where the application of the 100 foot riparian setback and other applicable setbacks will result in a building site of 1,000 square feet or less, the riparian setback may be reduced to such an extent that the building site is 1,000 square feet; provided however, the riparian setback shall not be less than 50 feet.
5. In GR and TN Zones, townhouse sublots shall have an aggregate density of no more than 10 lots per acre.
6. Townhouse sublots shall conform to the standards established in the IFC.
7. In the TO Zone, ~~townhouse units~~ shall be allowed 0 setbacks from the lot lines created by a townhouse subplot and, with an exception for the setbacks on the property line between the separation of the building containing two (2) townhouse units in a townhouse development parcel. The separation between two (2) townhouse units shall be whichever is greater, but not less than not less than 6 feet, as measured between any wall or any projection of a building, including, but not limited to, eaves, cornices, canopies, or other similar roof overhang features, pergolas, chimney chases, bay windows, decks, steps, wainscot, and utility meters; or, the minimum distance required by the IBC and IFC, whichever is greater.

8. In NB Zone, townhouse sublots shall have an aggregate density of no more than 15 lots per acre.
9. In LB and B Zones, townhouse sublots shall have an aggregate density of no more than 20 lots per acre.
10. In TN Zone, 40 percent lot coverage will be allowed where at least 75 percent of required parking spaces are enclosed within a structure.
11. In LI and TI Zones, the side and rear yard setbacks shall be 25 feet where the subject property is located adjacent to the following Zones: RGB, GR, or TN.
12. Subject to FAA regulations and 14 CFR, chapter 1, subchapter E, part 77, objects affecting navigable airspace, as amended.
13. Drive-through restaurants not permitted.
14. Only within terminals.
15. Attached to hotel/motel.
16. Temporary structures which have an approved conditional use permit may operate seasonally for multiple years, ~~but for no more than 12 months in any year~~, so long as the size and location of the temporary structure conforms with the approved conditional use permit or conditions thereof.
- ~~17. Subject to the conditional use standards set forth in section 17.11.040.04 of this title.~~
17. 18. Multifamily and dwelling units within mixed use buildings incorporating small residential units require a conditional use permit in chapter 17.11 of this title and shall comply with chapter 17.04, article Q of this title.
18. 19. See also subsections 17.07.010F and G of this title.
19. 20. See also subsections 17.07.010F and G of this title.
20. 21. For a building with any portion of the building footprint within the special flood hazard area, building height shall be measured 2 feet above the base flood elevation (BFE).
21. 22. For buildings located within the Special Flood Hazard Area, and within the Limited Residential (LR) Zone Districts, buildings shall in no instance exceed a building height of 32 feet from record grade. For buildings located within the Special Flood Hazard Area, and within the General Residential (GR) Zone District, buildings shall in no case exceed a building height of 35 feet from record grade.
22. 23. Accessory Dwelling Units (ADUs) and Tiny Homes on Wheels (THOW) are subject to Administrative Design Review and Supplementary Regulations. See chapters 17.06, Design Review and 17.08, Article D, for regulations.
23. 24. Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one foot (1') for every two and one-half feet (2 1/2') of wall height (see section 17.04M.090, Diagram 1, of the Hailey Municipal Code), but not less than the base setback for the GR Zone District. This shall apply to walls on the side yards of properties but shall not apply to sublots within a development.
24. Subject to review and/or consultation with the Airport Director for all new roof-mounted solar located within the proposed and specified Airport Influence Area.
25. May be approved through a conditional use permit if the use is in conjunction with a use that is permitted by-right.
26. The installation of telecommunication PWSFs or WCFs requires a wireless permit in accordance with the provisions of subsection 17.08B of this title.
27. The use of fuel tanks containing flammable or combustible liquids, as defined by the International Fire Code (IFC), requires a Flammable 7 Combustible Storage Tank Permit through the Hailey Fire Department.
28. Exterior storage associated with retail trade, skilled construction and industrial trades, and wholesale trade is permitted in the industrial zones only. Exterior storage may include but is not limited to the storage or display of bulky goods, materials, supplies, merchandise, and equipment.

Diagram 1



(Ord. 1275, 2021; Ord. 1250, 2019; Ord. 1243, 2019; Ord. 1242, 2018; Ord. 1232, 2018; Ord. 1221, 2017; Ord. 1220, 2017; Ord. 1211, 2017; Ord. 1208, 2016; Ord. 1207, 2016; Ord. 1191, 2015; Ord. 1291, 2021; Ord. ___, 2023)

Section 3. Severability Clause: Should any section or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinance as a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

Section 4. Repealer Clause: All City of Hailey ordinances or parts thereof, which are in conflict herewith, are hereby repealed.

Section 5. Effective Date: This ordinance shall be in full force and effect from and after its passage, approval, and publication according to law.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE MAYOR THIS ____ DAY OF _____, 2023.

Martha Burke, Mayor, City of Hailey

Attest:

Mary Cone, City Clerk

REDLINED VERSION
Proposed District Use Matrix – March 13, 2023

ANNOTATION KEY

Each proposed edit to the District Use Matrix is highlighted, where language is **added** or **stricken**. The reasoning behind each edit is described and color-coded by the following set of annotations:

- Accommodate unaccounted for uses
- Align with Zoning District (ZD) purposes
- Clarify and simplify language
- Combine like uses
- Consistent language
- Distinguish between similar uses
- Modernize language
- Reflect desired and contemporary development trends
- Reflect concurrent Text Amendment
- Remove redundant language

When land uses were moved between the “Residential,” “Public and semi-public,” “Commercial,” and “Accessory uses” categories, the annotation is in black.

ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-1
	Residential:														
Consistent language (“A” to “P”) Copied from “Accessory uses”		Accessory dwelling unit (ADU)	N	p ²²	p ²²	p ²²	p ²²	p ²²	p ²²	p ²²	N	N	N	p ²²	p ²²
Accommodate unaccounted for uses		Co-Living Dwelling Facility	N	N	N	N	N	P	N	P	N	N	N	N	N
Align with ZD purposes Remove redundant language		Dwelling units within mixed use buildings	N	N	N	N	P	P	N P	P ¹⁸	N P	N P	N	P	P
		Manufactured home	N	P	P	P	N	P	P	N	N	N	N	N	N
		Multi-family dwellings	N	N	N	P	N	P	C	P ¹⁸	N	N	N	N	N
		Single-family dwellings	N	P	P	P	N	P	P	N	N	N	N	N	N
Accommodate unaccounted for uses Copied from “Accessory uses”		Tiny Homes on Wheels (THOW)	N	p ²²	p ²²	p ²²	p ²²	p ²²	p ²²	p ²²	N	N	N	p ²²	p ²²
	Public or semipublic:														

REDLINED VERSION
Proposed District Use Matrix – March 13, 2023

ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Clarify and simplify language Combine like uses Moved from “Commercial”		<u>Community center</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
Modernize language		<u>Churches</u> Religious institutions and places of worship	N	P	P	P	C	P	P	C	N	N	N	N	N
Combine like uses (see “Schools...”)		<u>Colleges, vocational and technical trade schools</u>	N	N	N	N	N	N	N	P	N	P	N	P	N
Combine like uses (see “Healthcare and social assistance”)		Government offices, <u>and public administration, and social services</u> , except correctional institutions	N	N	N	N	N	P	N	P	N	N	N	N	N
Combine like uses (see “Government offices...”)		<u>Healthcare and social assistance</u>	N	N	N	N	N	P	N	P	N	N	N	N	N
		<u>Municipal uses limited to water storage and well facilities</u>	C	N	N	N	N	N	N	N	N	N	N	N	N
		<u>Nonmotorized recreational pathways</u>	P	P	P	P	P	P	P	P	P	P	P	P	P
Combine like uses (see “Nonmotorized...”)		Parks <u>and pathways</u>	P	P	P	P	P	P	P	P	P	P	P	P	P
Combine like uses (see “Parks...” and “Community center”)		<u>Public recreational or cultural areas</u>	C	N	N	N	N	N	N	N	N	N	N	N	N
Moved from “Commercial”		<u>Performing arts center</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>P</u>	<u>N</u>	<u>P</u>	<u>P</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
Distinguish between similar uses (see “Government...”)		<u>Public service, public use and public utility facilities</u>	N	C	C	C	N	C	C	C	P	P	N	C	C
Combine like uses (see “Colleges...”)		<u>Schools, including colleges, vocational, and technical trade schools (refer to section 17.11.040.03 of this title for specific criteria when reviewing schools)</u>	N	N	N	C	N	C	N	C	N	N	N <u>C</u>	C	N <u>C</u>

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Proposed District Use Matrix – March 13, 2023

ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Accommodate unaccounted for uses Align with ZD purposes		Semipublic uses	N	N	N	C	C	P	C	P	N	N	N C	N	N C
	Telecommunications:														
Clarify and simplify language Consistent language (“A” to “P”) Distinguish between similar uses		Telecommunication PWSFs and WCFs, mounted on any proposed freestanding towers, upon the issuance of wireless permit in accordance with the provision of chapter 17.08, article B of this title (lattice towers are prohibited)	N	N	N	N	N	C ²⁶	N	C ²⁶	C ²⁶	C ²⁶	C ²⁶	C ²⁶	C ²⁶
Clarify and simplify language Consistent language (“A” to “P”) Distinguish between similar uses		Telecommunication PWSFs or WCFs, attached to street poles or mounted on existing buildings or structures, upon the issuance of a wireless permit in accordance with the provisions of chapter 17.08, article B of this title (freestanding and lattice towers are prohibited)	C ²⁶	C ²⁶	C ²⁶	C ²⁶	C ²⁶	P ²⁶	C ²⁶	P ²⁶	P ²⁶	P ²⁶	P ²⁶ ₃ A	P ²⁶ ₃ A	P ²⁶ ₃ A
	Commercial:														
Combine like uses (See “Offices...”)		Administrative and support services	N	N	N	N	N	N	N	P	N	N	N	N	N
Accommodate unaccounted for uses		Airport and related uses	N	N	N	N	N	N	N	N	N	N	P	N	N
Clarify and simplify language Distinguish between similar uses		Artist studios with an associated gallery	N	N	N	N	N	P	N	P	N	N	N	P	P
Clarify and simplify language Consistent language Distinguish between similar uses		Artist studios, which have with no associated gallery	N	N	N	N	N	N P	N	N	N	N	N	P	P
		Auto dealerships	N	N	N	N	N	N	N	C	P	N	N	N	N

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Proposed District Use Matrix – March 13, 2023

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			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Accommodate unaccounted for uses Modernize language		Automotive mobile rental companies	N	N	N	N	N	N	N	N	N P	N	P	N	N
Align with ZD purposes		Automobile towing	N	N	N	N	N	N	N	N	N C	N	N	N	P
		Automotive repair and maintenance	N	N	N	N	N	N	N	C	P	N	N	N	P
Align with ZD purposes		Bars	N	N	N	N	N	C	N	P	N	N	P ¹⁴	C ^{13,15}	N C ¹⁵
Combine like uses (See “Lodging...”)		Bed and breakfast inn	N	N	N	C	N	P	C	P	N	N	N	N	N
Combine like uses (See “Lodging...”)		Boarding and rooming houses	N	N	N	C	N	P	N	P	N	N	N	N	N
		Broadcasting firms, media offices, and related uses	N	N	N	N	N	N	N	P	N	N P	N	N P	N
Reflect desired and contemporary development trends		Business parks	N	N	N	N	N	N	N	N	N	N	C	N	N
Combine like uses (See “Broadcasting firms...”)		Cable television firms	N	N	N	N	N	N	N	N	N	P	N	N	N
Combine like uses (See “Automotive...”)		Car rental companies	N	N	N	N	N	N	N	N	P	N	N	N	N
Accommodate unaccounted for uses Align with ZD purposes Clarify and simplify language		Catering services Food service preparation for off-site catering, dining, and retail trade	N	N	N	N	C	P	N C	P C	P	P	N	N P	N P
Combine like uses (See “Food catering...”)		Commercial brewery, bakery, or food catering where no retail sales are conducted	N	N	N	N	N	N	N	N	N	N	N	P	P
Clarify and simplify language Combine like uses Moved to “Public and semi-public”		Community event center	N	N	N	C ¹⁵	C ¹⁵	N	N	N	N	N	N	N	N
Modernize language		Computer software development, manufacturing and service firms	N	N	N	N	N	N	N	N	N	N	N	P	N

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Proposed District Use Matrix – March 13, 2023

ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Combine like uses (See “Technological development...”)															
Combine like uses (See “Construction materials...”)		Construction and building material sales (except hardware stores)	N	N	N	N	N	N	N	N	P	N	N	N	N
Combine like uses (See “Offices”)		Construction contractors	N	N	N	N	N	N	N	N	P	N	N	N	N
Combine like uses Align with ZD purposes		Construction materials, heavy equipment rentals and storage, building supply sales and services and materials rental, storage, sales and services, excluding hardware stores	N	N	N	N	N	N	N	N	N P	N	N	N P	P
Combine like uses (See “Construction materials...”, “Automotive...”, and “Construction trade contractors...”)		Construction equipment rental, storage, sales and service	N	N	N	N	N	N	N	N	N	N	N	P	N
Combine like uses		Construction trade contractors, excluding excavation and landscaping companies	N	N	N	N	N	N	N	N	N	N	N	P	P
Combine like uses Align with ZD purposes		Construction landscaping, and snow removal contractors with exterior or heavy equipment storage trade contractors, including excavation companies with exterior storage	N	N	N	N	N	N	N	N	N P	N	N	N P	P
Combine like uses		Construction trade contractors’ offices with no exterior storage	N	N	N	N	N	C	N	N	N	P	N	P	P
Combine like uses (See “Airport...”)		Control tower (air traffic)	N	N	N	N	N	N	N	N	N	N	P	N	N
Align with ZD purposes		Convenience stores, less than 1,000 square feet	N	N	N	N	C ¹⁷	C P	N	N P	N	N	N	N	N

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ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Combine like uses (See “Convenience stores...” and “Retail trade...”)		Convenience stores, in conjunction with gasoline stations that have no more than 1,800 square feet of gross floor area. Drive-through service windows are not allowed	N	N	N	N	N	N	N	N	N	N	N	N	C
Clarify and simplify language Combine like uses (see “Daycare centers...”)		Daycare centers (13+ more to 18 children)	N	N	N	C	P	P	C	P	N	N	N	C	N
Combine like uses (see “Daycare centers...”)		Daycare centers provided no more than 18 children will be cared for at any one time	N	N	N	C	P	P	C	P	N	N	N	C	N
		Daycare facilities (up to 12 children)	N	C	C	P	P	P	P	P	N	N	N	C	N
		Daycare homes (6 or less children)	N	P	P	P	P	P	P	P	N	N	N	C	N
Reflect concurrent Text Amendment		Employee housing for golf courses or recreational facilities	C	N	N	N	N	N	N	N	N	N	N	N	N
Combine like uses (See “Light manufacturing...”)		Fabrication and repair of building materials and components, including log homes	N	N	N	N	N	N	N	N	N	N	N	N	P
Combine like uses (See “Retail trade...”)		Farm supply and equestrian tack and feed stores	N	N	N	N	N	N	N	N	N	N	N	N	P
Combine like uses (See “Construction materials...”, “Construction trade contractors”, and “Retail trade...”)		Fencing supplies and installation	N	N	N	N	N	N	N	N	N	N	N	N	P
Combine like uses (See “Offices”)		Finance and insurance firms	N	N	N	N	N	C	N	P	N	N	N	N	N
Combine like uses (See “Construction materials...” and “Retail trade...”)		Firewood production and storage	N	N	N	N	N	N	N	N	N	N	N	N	P

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ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Modernize language															
Combine like uses (See “Airport...”)		Flight schools, provided regularly scheduled commercial passenger aircraft services are operated at the airport	N	N	N	N	N	N	N	N	N	N	P	N	N
Combine like uses (See “Construction materials...” and “Retail trade...”)		Floor covering stores	N	N	N	N	N	N	N	N	P	N	N	N	N
Remove redundant language		Food service	N	N	N	N	C ¹⁷	C	N	P	N	N	P ¹⁴	C ¹³	C ^{13,15}
Align with ZD purposes		Gasoline stations	N	N	N	N	N	N	N	P	P	N	N	N	N ²⁵
Remove redundant language		Gasoline stations and automotive repair and maintenance	N	N	N	N	N	C	N	N	N	N	N	N	C
Remove redundant language Modernize language		Gasoline stations, including card lock stations	N	N	N	N	N	N	N	N	N	N	N	N	C
Combine like uses (See “Airport...”)		Gift shops within terminal	N	N	N	N	N	N	N	N	N	N	P	N	N
Combine like uses (See “Recreational...”)		Golf course, public	P	N	N	N	N	N	N	N	N	N	N	N	N
Align with ZD purposes		Guides and outfitters with no more than 20% of the floor area dedicated to retail sales	N	N	N	N	N	N	N	N	N ²⁸	N ²⁸	N	P ²⁸	N ²⁸
Distinguish between similar uses		Hardware stores	N	N	N	N	N	C ²⁸	N	P ²⁸	P ²⁸	N	N	N	N
Align with ZD purposes		Health and fitness facility	N	N	N	N	N	P	C ²⁸	P	P	C ²⁸	N	C ²⁸	C
Combine like uses (See “Airport...”)		Helicopter areas, provided regularly scheduled commercial passenger aircraft services are operated at the airport	N	N	N	N	N	N	N	N	N	N	P	N	N
		Home occupations	N	P	P	P	P	P	P	P	N	N	N	N	N
		Hotels or motels	N	N	N	N	N	P	N	P	N	N	C	C	N
Align with ZD purposes		Hybrid production facilities	N	N	N	N	N	N	N	C ²⁸	N ²⁸	N	N	P ²⁸	N ²⁸

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			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
		including breweries, cideries, distilleries, and wineries													
Combine like uses (See “Laundry...”)		Industrial laundry/dry cleaning service and distribution establishments	N	N	N	N	N	N	N	N	P	N	N	N	P
Combine like uses (See “Skilled trades”)		Interior decorating and design that have no more than 20% of the gross floor area dedicated to on-site retail sales	N	N	N	N	N	N	N	N	N	N	N	P	N
Combine like uses (See “Offices and “Skilled trades”)		Investigation and security services	N	N	N	N	N	N	N	N	N	P	N	P	N
Combine like uses (See “Offices and “Skilled trades”)		Landscape design and installation firms, and landscape nurseries	N	N	N	N	N	N	N	N	P	N	N	N	P
Combine like uses (See “Landscaping...”, “Offices”, and “Skilled trades”)		Landscape design, installation and maintenance firms	N	N	N	N	N	N	N	N	P	N	N	N	N
Align with ZD purposes		Laundromat, dry cleaning, and laundry services	N	N	N	N	C	N	N	P	N P	N	N	C P	P
Combine like uses (See “Fabrication...”)		Light manufacturing, including the fabrication of building materials and technology	N	N	N	N	N	N	N	N	P ²⁸	P ²⁸	N	N	P ²⁸
Align with ZD purposes Combine like uses (See “Bed...” and “Boarding...”)		Lodging establishments limited to bed and breakfast inns and boarding and rooming houses	N	N	N	C	N	P	C	P	N	N	N	N	N
Distinguish between similar uses		Lodging establishments limited to hotels and motels	N	N	N	N	N	P	N	P	N	N	C	C	N
Distinguish between similar uses Align with ZD purposes		Medical services and personal care stores	N	N	N	N	N	C	N	N P	N	N	N	N C	N
		Mercantile (wholesale and retail)	N	N	N	N	C ¹⁷	N	N	P	N	N	N	N	N
		Mixed use buildings	N	N	N	N	N	P	P	P	N	N	N	P	P
		Motor vehicles and parts dealers, service, rental and leasing	N	N	N	N	N	N	N	N	P	N	N	N	P

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ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
		Nurseries, greenhouse and floriculture production, and Landscaping services sales	N	N	N	N	N	N ^{P28}	N	N	P ²⁸	N	N	N	N ^{P28}
Align with ZD purposes		Pet & outpatient animal services and veterinarian services	N	N	N	N	N	N ^P	N	C ^P	N	N	N	N	N
Align with ZD purposes		Parcel delivery terminal	N	N	N	N	N	N	N	C ²⁸	C ²⁸	C ²⁸	N ^P	N	P ²⁸
Clarify and simplify language		Parking facilities lots and structures	N	N	N	N	N	N	N	C	N	N	P	N	P
Moved to “Public and semi-public”		Performing arts center	N	N	N	N	N	P	N	P	P	N	N	N	N
Combine like uses (See “Nurseries...” and removal of “Agricultural uses...” subsection)		Peri-urban agriculture	C	C	C	C	P	P	C	P	N	N	N	N	N
Remove redundant language		Peri-urban retreat center	N	N	N	C ¹⁷	C ¹⁷	N	N	N	N	N	N	N	N
Clarify and simplify language Remove redundant language		Personal services where retail sales are clearly incidental to the principal use and no outside storage yard or facility is required	N	N	N	N	C ¹⁷	P	C	P	N	N	N	C	N
Distinguish between similar uses		Pet boarding	N	N	N	N	N	C	N	C	N	N	N	N	N
Combine like uses (See “Artist...”, “Broadcasting...”, “Offices”, and “Skilled trades”)		Photography studios and photo processing	N	N	N	N	N	N	N	N	P	P	N	P	N
Modernize language Reflect desired and contemporary development trends		Printing and publishing firms and related services	N	N	N	N	N	N	N	N ^P	P	P	N	P	P
Combine like uses Modernize language		Processing and sales of firewood	N	N	N	N	N	N	N	N	P	N	N	N	N
Clarify and simplify language		Professional and general offices	N	N	N	N	C ¹⁷	P	P	P	P	P	N	P	N
Combine like uses (See “Broadcasting...” and “Offices”)		Radio and television recording studios and stations	N	N	N	N	N	N	N	N	N	P	N	P	N

REDLINED VERSION
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ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Combine like uses (See “Offices”)		Real estate and property management companies	N	N	N	N	N	P	N	P	N	N	N	N	N
Combine like uses (See “Broadcasting...” and “Offices”)		Recording studios (audio or video) and broadcasting studios	N	N	N	N	N	N	N	N	P	N	N	N	N
Clarify and simplify language		Recreation facility, commercial, indoor	N	N	N	N	C N	P	N	P	N	N	N	N	N
Clarify and simplify language		Recreation facility, commercial, outdoor	N	N	N	N	C N	C	N	C	N	N	N	N	N
Combine like uses		Recreation facility, public	P	P	P	P	P	P	P	P	P	P	P	P	P
Combine like uses		Recreation facility, residential	P	P	P	P	P	P	P	P	N	N	N	P	P
Combine like uses (See “Technological...”)		Research and development facilities	N	N	N	N	N	N	N	N	P	P	N	P	N
		Residential care facility	N	P	P	P	P	P	P	P	N	N	N	N	N
Clarify and simplify language Align with ZD purposes		Retail trade limited to the following: floor covering and window treatment, household appliances, woodstoves/fireplaces, spa/hot tub, building material and garden equipment and supplies (excluding hardware stores), farm and equestrian, and nonstore retail (mail order and vending machines)	N	N	N	N	N C	N P	N P	N P	N P ²⁸	N P ²⁸	N	P ²⁸	N P ²⁸
Combine like uses (See “Construction materials...”)		Sales, rental, and servicing of trailers, mobile homes, farm implements and heavy equipment	N	N	N	N	N	N	N	N	P	N	N	N	N
Combine like uses (See “Offices” and “Skilled trades”)		Services to buildings (janitorial/maintenance) and property management companies	N	N	N	N	N	N	N	N	N	P	N	P	P
Combine like uses (See “Artist...”, “Offices”, and “Skilled trades”)		Sign studios and manufacturers	N	N	N	N	N	N	N	N	N	N	N	N	P

REDLINED VERSION
Proposed District Use Matrix – March 13, 2023

ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Combine like uses (See “Construction trade contractors...”)		Snow removal contractors	N	N	N	N	N	N	N	N	N	N	N	N	P
Clarify and simplify language		Structures and/or buildings integral to a golf course such as clubhouse, maintenance, buildings, and restrooms	C	N	N	N	N	N	N	N	N	N	N	N	N
Combine like uses (See “Artist...”)		Studio, artist	N	N	N	N	N	P	N	N	P	N	N	C	C
Distinguish between similar uses		Skilled construction and industrial trades	N	N	N	N	N	N	N	N	P ²⁸	P ²⁸	N	C ²⁸	P ²⁸
Modernize language		Technological development and service	N	N	N	N	N	N	N	N	N	P	N	P	P
Clarify and simplify language		Truck transportation, bus, taxi and limousine services, and couriers	N	N	N	N	N	N	N	N	P ²⁸	N	N, P	N	P ²⁸
Combine like uses (See “Animal services...” and “Outpatient...”)		Veterinarians, pet grooming, and training with no outdoor kenneling	N	N	N	N	N	N	N	C	C	P	N	C	P
Align with ZD purposes		Warehouse and storage facilities	N	N	N	N	N	N	N	N	P	N	N	N	N, P
Combine like uses (See “Warehouse...”) Remove redundant language		Warehouse and storage facilities, including self storage facilities and exterior storage facilities	N	N	N	N	N	N	N	N	N	N	N	N	P
Align with ZD purposes Combine like uses (See “Wholesale...”)		Wholesale trade and distributors	N	N	N	N	N	C ²⁸	N	N	N, P ²⁸	P, N	N	N, P ²⁸	N, P ²⁸
Combine like uses (See “Wholesale...”) Remove redundant language		Wholesale distributors or wholesale distributors with incidental and subordinate retail sales	N	N	N	N	N	C	N	N	N	N	N	N	N
Combine like uses (See “Wholesale...”)		Wholesale trade	N	N	N	N	N	N	N	N	P	N	N	P	P

REDLINED VERSION
Proposed District Use Matrix – March 13, 2023

ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Align with ZD purposes Reflect desired and contemporary trends (See “Peri-urban agriculture” under the “Public or semipublic” and “Accessory Uses” categories)	Agricultural uses:														
		Horses, a maximum of 2 horses per acre on lots of 1 acre minimum size	N	C	C	C	N	N	N	N	N	N	N	N	N
		Urban agriculture (chickens only)	N	P	P	P	N	A	N	A	N	N	N	A	N
		Urban agriculture (other than chickens)	P	P	P	P	P	P	P	P	P	P	N	P	P
	Accessory uses:														
Reflect desired and contemporary trends	Fuel tanks	Aboveground flammable and combustible liquid tanks utilized by a public use	N	C	C	C	N	C	C	A	A	C	A	A	A
Align with ZD purposes Clarify and simplify language Reflect desired and contemporary trends		Aboveground fuel tanks for private or commercial use	N	N C ²⁷	N C ²⁷	N C ²⁷	N C ²⁷	P ²⁷	N C ²⁷	P ²⁷	P ²⁷	NP ²⁷	P ²⁷	P ²⁷	P C ²⁷
Consistent language (“A” to “P”) Moved to “Residential”	Accessory dwelling unit (ADU)	1 accessory dwelling unit accessory to a single family dwelling unit or to a nonresidential principal building. Primary vehicular access to any ADU shall be from a City Street or alley. All accessory dwelling units shall have adequate water and sewer services installed to meet City standards	N	A P ²³	A P ²³	P ²³	A P ²³	A P ²³	P ²³	A P ²³	N	N	N	A P ²³	P ²³
Reflect concurrent Text Amendment		Freestanding s Solar panels, freestanding and subject to the maximum building height for the applicable district of ten feet (10') from record grade	N	C P ²⁴	C P ²⁴	P ²⁴	C P ²⁴	C P ²⁴	P ²⁴	C P ²⁴	P ²⁴	C P ²⁴	P ²⁴	C P ²⁴	P ²⁴

REDLINED VERSION
Proposed District Use Matrix – March 13, 2023

ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
	Alternative energy systems	Roof mounted and freestanding small scale w Wind energy system that is small-scale, roof mounted or freestanding	N	N	N	N	N	N	N	C	C	N	C	C	C
Consistent language (“A” to “P”) Reflect concurrent Text Amendment		Roof mounted s Solar panels, roof-mounted and subject to five feet (5’) above the maximum building height for the applicable district	N	A P ²⁴	A P ²⁴	A P ²⁴	A P ²⁴	A P ²⁴	A P ²⁴	A P ²⁴	A P ²⁴	A P ²⁴	A P ²⁴	A P ²⁴	A P ²⁴
Consistent language (“A” to “P”)	Garages		N	A P	A P	A P	A P	A P	A P	A P	A P	A P	A P	A P	A P
Combine like uses (See “Peri-urban agriculture”)	Greenhouse/ private	A greenhouse for private use	N	A	A	A	N	A	A	N	N	N	N	N	N
Reflect desired and contemporary development trends	Peri urban agriculture	Greenhouses	N	A P	A P	A P	N	A P	A P	N	N	N	N	N	N
		Horses, a maximum of 2 horses per acre on lots that are at least 1-acre in size	N	C	C	C	N	N	N	N	N	N	N	N	N
		Chickens	N	P	P	P	P	P	P	N	N	N	N	N	N
Copied from “Residential”	Residential	Accessory Dwelling Unit (ADU)	N	P ²²	P ²²	P ²²	P ²²	P ²²	P ²²	P ²²	N	N	N	P ²²	P ²²
Accommodate unaccounted for uses Copied from “Residential”		Tiny Homes on Wheels (THOW)	N	P ²²	P ²²	P ²²	P ²²	P ²²	P ²²	P ²²	N	N	N	P ²²	P ²²

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Proposed District Use Matrix – March 13, 2023

ANNOTATIONS	Category	Description (Excerpt)	Zones And Subdistricts												
			RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Combine like uses (See “Storage buildings”)	Storage structures	Shipping containers utilized for storage, must be shielded from view with fencing and/or landscaping and shall require a building permit	N	N	N	N	N	N	N	N	A	N	N	N	C
Clarify and simplify language Combine like uses Consistent language (“A” to “P”)		Storage buildings with a gross floor area of greater than 120 square feet	C	A P	A P	A P	A P	A P	A P	A P	A P	A P	A P	A P	A P
Combine like uses (See “Storage buildings”)		Storage buildings with a gross floor area less than 120 square feet	A	A	A	A	A	A	A	A	A	A	A	A	A
Consistent language (“A” to “P”)	Swimming pool		N	A P	A P	A P	N	N	N	N	N	N	N	N	N
	Temporary structures	Temporary structures for use of no more than 12 months ¹⁶	C	C	C	C	C	C	C	C	C	C	C	C	C

BULK REQUIREMENTS

Category	Description (Excerpt)	RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Lot dimensions	Minimum lot size (square feet)	None	8,000	12,000	6,000 ⁵	6,000 ⁸	6,000 ⁹	6,000 ⁵	0 ⁹	6,000	-	See note 12	10,890	10,890
	Minimum lot width (feet)	None	75	75	50 ⁶	50 ⁶	50 ⁶	50 ⁶	0 ⁶	60	-	See note 12	-	-
Building height	Maximum building height (feet)	35 ^{20,21,22}	30 ^{20,21,22}	30 ^{20,21,22}	35 ^{20,21,22}	30	35	35	35	35	35	See note 12	35	35 ^{20,21,22}

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Setbacks	Minimum front yard setback (feet)	20	25	25	20	10	20	20	0 ⁷	10	20	See note 12	10	10
	Minimum side yard setback (feet)	10	10 ^{3,18,19,20}	10 ^{3,18,19,20}	8 ^{7,18,19,20}		10 ^{7,18,19,20}	10 ^{7,18,19,20}	0 ^{7,18,19,20}	10 ^{11,18,19,20}	10 ^{11,18,19,20}	See note 12	10	10
	Minimum rear yard setback (feet)	10	10 ^{3,18,19,20}	10 ^{3,18,19,20}	10 ^{7,18,19,20}	10 ^{7,18,19,20}	10 ^{7,18,19,20}	10 ^{7,18,19,20}	0 ^{7,18,19,20}	10 ^{11,18,19,20}	10 ^{11,18,19,20}	See note 12	10	10
	Riparian (feet)	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	See note 12	100 ⁴	100 ⁴
Multi-family and mixed use density	Mixed use residential density: maximum units per acre	-	-	-	-	15	20	10	20	-	-	See note 12	20	-
	Multi-family residential density: maximum units per acre	-	-	-	10		20	10	20				20	
Total lot coverage	Total maximum coverage by all buildings, which includes 1 accessory dwelling unit (percentage)	-	40	40	40	-	-	30 ¹⁰	-	75	75	See note 12	70	70
Maximum floor area	Aggregate gross floor area for individual retail/wholesale trade (square feet)	-	-	-	-	-	36,000	-	36,000	25,000	25,000	See note 12	25,000	25,000
	Aggregate gross floor area for grouped retail/wholesale (square feet)	-	-	-	-	-	36,000	-	50,000	25,000	25,000	See note 12	25,000	25,000

Notes:

1. Must be accessory to the primary use and contained within the walls of the primary structure.
2. Indicates use may be allowed where State or Federal law preempts local zoning.
3. The setback from the adjacent property shall be 1 foot for every 2 feet of building height for all portions of the building exceeding 20 feet in height, provided, however, no side or rear yard shall be less than 10 feet. See the figure located at section 17.04B.050 of this title for more explanation.
4. Riparian setback. Unless otherwise provided for herein, all permanent buildings and structures shall have a 100 foot wide riparian setback from the mean high water mark of the Big Wood River. Removal of live vegetation or excavation within the riparian setback is prohibited, except for

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any tree that has been recommended for removal by a certified arborist, in writing, because the tree has been found to potentially endanger the resident(s) of the property on which it is located or any member of the public, or has become hazardous to any street, alley or other public right-of-way or public utility, or because the removal of a tree would substantially improve the health of other trees on the property. Pruning of trees and planting of riparian trees, shrubs and ground cover within the riparian setback are allowed, provided however, that all plantings conform to the criteria for evaluation in subsection 17.04J.040B4e of this title. Where the application of the 100 foot riparian setback and other applicable setbacks will result in a building site of 1,000 square feet or less, the riparian setback may be reduced to such an extent that the building site is 1,000 square feet; provided however, the riparian setback shall not be less than 50 feet.

5. In GR and TN Zones, townhouse sublots shall have an aggregate density of no more than 10 lots per acre.

6. Townhouse sublots shall conform to the standards established in the IFC.

7. ~~In the TO Zone, T~~ townhouse units shall be allowed 0 setbacks ~~from the lot lines created by a townhouse subplot and, with an exception for the setbacks on the property line between the separation of the building containing two (2) townhouse units in a townhouse development parcel. The separation between two (2) townhouse units~~ shall be ~~whichever is greater,~~ but not less than ~~not less than~~ 6 feet, as measured between any wall or any projection of a building, including, but not limited to, eaves, cornices, canopies, or other similar roof overhang features, pergolas, chimney chases, bay windows, decks, steps, wainscot, and utility meters; or ~~the minimum distance required by the IBC and IFC, , whichever is greater.~~

8. In NB Zone, townhouse sublots shall have an aggregate density of no more than 15 lots per acre.

9. In LB and B Zones, townhouse sublots shall have an aggregate density of no more than 20 lots per acre.

10. In TN Zone, 40 percent lot coverage will be allowed where at least 75 percent of required parking spaces are enclosed within a structure.

11. In LI and TI Zones, the side and rear yard setbacks shall be 25 feet where the subject property is located adjacent to the following Zones: RGB, GR, or TN.

12. Subject to FAA regulations and 14 CFR, chapter 1, subchapter E, part 77, objects affecting navigable airspace, as amended.

13. Drive-through restaurants not permitted.

14. Only within terminals.

15. Attached to hotel/motel.

16. Temporary structures which have an approved conditional use permit may operate seasonally for multiple years, ~~but for no more than 12 months in any year,~~ so long as the size and location of the temporary structure conforms with the approved conditional use permit or conditions thereof.

~~17. Subject to the conditional use standards set forth in section 17.11.040.04 of this title.~~

~~17. 18.~~ Multifamily and dwelling units within mixed use buildings incorporating small residential units require a conditional use permit in ~~chapter 17.11~~ of this title and shall comply with chapter 17.04, article Q of this title.

~~18. 19.~~ See also subsections 17.07.010F and G of this title.

~~19. 20.~~ See also subsections 17.07.010F and G of this title.

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~~20.~~ ~~21.~~ For a building with any portion of the building footprint within the special flood hazard area, building height shall be measured 2 feet above the base flood elevation (BFE).

~~21.~~ ~~22.~~ For buildings located within the Special Flood Hazard Area, and within the Limited Residential (LR) Zone Districts, buildings shall in no instance exceed a building height of 32 feet from record grade. For buildings located within the Special Flood Hazard Area, and within the General Residential (GR) Zone District, buildings shall in no case exceed a building height of 35 feet from record grade.

~~22.~~ ~~23.~~ Accessory Dwelling Units (ADUs) and Tiny Homes on Wheels (THOW) are subject to Administrative Design Review and Supplementary Regulations. See chapters 17.06, Design Review and 17.08, Article D, for regulations.

~~23.~~ ~~24.~~ Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one foot (1') for every two and one-half feet (2 1/2') of wall height (see section 17.04M.090, Diagram 1, of the Hailey Municipal Code), but not less than the base setback for the GR Zone District. This shall apply to walls on the side yards of properties but shall not apply to sublots within a development.

24. Subject to review and/or consultation with the Airport Director for all new roof-mounted solar located within the proposed and specified Airport Influence Area.

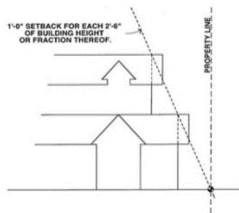
25. May be approved through a conditional use permit if the use is in conjunction with a use that is permitted by-right.

26. The installation of telecommunication PWSFs or WCFs requires a wireless permit in accordance with the provisions of subsection 17.08B of this title.

27. The use of fuel tanks containing flammable or combustible liquids, as defined by the International Fire Code (IFC), requires a Flammable 7 Combustible Storage Tank Permit through the Hailey Fire Department.

28. Exterior storage associated with retail trade, skilled construction and industrial trades, and wholesale trade is permitted in the industrial zones only. Exterior storage may include but is not limited to the storage or display of bulky goods, materials, supplies, merchandise, and equipment.

Diagram 1



(Ord. 1275, 2021; Ord. 1250, 2019; Ord. 1243, 2019; Ord. 1242, 2018; Ord. 1232, 2018; Ord. 1221, 2017; Ord. 1220, 2017; Ord. 1211, 2017; Ord. 1208, 2016; Ord. 1207, 2016; Ord. 1191, 2015; Ord. 1291, 2021; Ord. , 2023)

CLEAN VERSION
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Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Residential:														
	Accessory dwelling unit (ADU)	N	P ²²	P ²²	P ²²	P ²²	P ²²	P ²²	P ²²	N	N	N	P ²²	P ²²
	Co-Living Dwelling Facility	N	N	N	N	N	P	N	P	N	N	N	N	N
	Manufactured home	N	P	P	P	N	P	P	N	N	N	N	N	N
	Mixed use buildings	N	N	N	N	P	P	P	P ¹⁸	P	P	N	P	P
	Multi-family dwellings	N	N	N	P	N	P	C	P ¹⁸	N	N	N	N	N
	Single-family dwellings	N	P	P	P	N	P	P	N	N	N	N	N	N
	Tiny Home on Wheels (THOW)	N	P ²²	P ²²	P ²²	P ²²	P ²²	P ²²	P ²²	N	N	N	P ²²	P ²²
Public or semipublic:														
	Community center	N	N	N	C	C	N	N	N	N	N	N	N	N
	Government offices, public administration, and social services, except correctional institutions	N	N	N	N	N	P	N	P	N	N	N	N	N
	Parks and pathways	P	P	P	P	P	P	P	P	P	P	P	P	P
	Performing arts center	N	N	N	N	N	P	N	P	P	N	N	N	N
	Public utility facilities	N	C	C	C	N	C	C	C	P	P	N	C	C
	Religious institutions and places of worship	N	P	P	P	C	P	P	C	N	N	N	N	N
	Schools, including colleges, vocational, and technical trade schools	N	N	N	C	N	C	N	C	N	N	C	C	C

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Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
	Semipublic uses	N	N	N	C	C	P	C	P	N	N	C	N	C
	Telecommunication freestanding towers	N	N	N	N	N	C ²⁶	N	C ²⁶	C ²⁶	C ²⁶	C ²⁶	C ²⁶	C ²⁶
	Telecommunication PWSFs or WCFs, attached to street poles or mounted on existing structures	C ²⁶	C ²⁶	C ²⁶	C ²⁶	C ²⁶	P ²⁶	C ²⁶	P ²⁶	P ²⁶	P ²⁶	P ²⁶	P ²⁶	P ²⁶
	Water storage and well facilities	C	N	N	N	N	N	N	N	N	N	N	N	N
Commercial:														
	Airport and related uses	N	N	N	N	N	N	N	N	N	N	P	N	N
	Artist studios with an associated gallery	N	N	N	N	N	P	N	P	N	N	N	P	P
	Artist studios, with no associated gallery	N	N	N	N	N	P	N	N	N	N	N	P	P
	Auto dealerships	N	N	N	N	N	N	N	C	P	N	N	N	N
	Automobile towing	N	N	N	N	N	N	N	N	C	N	N	N	P
	Automotive rental companies	N	N	N	N	N	N	N	N	P	N	P	N	N
	Automotive repair and maintenance	N	N	N	N	N	N	N	C	P	N	N	N	P
	Bars	N	N	N	N	N	C	N	P	N	N	P ¹⁴	C ^{13,15}	N
	Broadcasting firms, media offices, and related uses	N	N	N	N	N	N	N	P	N	P	N	P	N
	Convenience stores, less than 1,000 square feet	N	N	N	N	C	P	N	P	N	N	N	N	N
	Daycare centers (13 to 18 children)	N	N	N	C	P	P	C	P	N	N	N	C	N

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Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
	Daycare facilities (up to 12 children)	N	C	C	P	P	P	P	P	N	N	N	C	N
	Daycare homes (6 or less children)	N	P	P	P	P	P	P	P	N	N	N	C	N
	Food service preparation for off-site catering, dining, and retail trade	N	N	N	N	C	P	C	C	P	P	N	P	P
	Food service	N	N	N	N	C	C	N	P	N	N	P ¹⁴	C ¹³	C ¹³
	Gasoline stations	N	N	N	N	N	N	N	P	P	N	N	N	C ²⁵
	Guides and outfitters with no more than 20% of the floor area dedicated to retail sales	N	N	N	N	N	N	N	N	P ²⁸	C ²⁸	N	P ²⁸	P ²⁸
	Hardware stores	N	N	N	N	N	C ²⁸	N	P ²⁸	P ²⁸	N	N	P ²⁸	P ²⁸
	Health and fitness facility	N	N	N	N	N	P	P	P	P	P	N	P	C
	Home occupations	N	P	P	P	P	P	P	P	N	N	N	N	N
	Hybrid production facilities, including breweries, cideries, distilleries, and wineries	N	N	N	N	N	N	N	C	P	N	N	P	P
	Laundry services	N	N	N	N	C	N	N	P	P	N	N	P	P
	Light manufacturing, including the fabrication of building materials and technology	N	N	N	N	N	N	N	N	P	P	N	N	P
	Lodging establishments limited to bed and breakfast inns and boarding and rooming houses	N	N	N	C	N	P	C	P	N	N	N	N	N

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Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
	Lodging establishments limited to hotels and motels	N	N	N	N	N	P	N	P	N	N	C	C	N
	Medical services	N	N	N	N	N	C	N	P	N	N	N	C	N
	Landscaping services	N	N	N	N	N	P ²⁸	N	N	P ²⁸	N	N	N	P ²⁸
	Parcel delivery terminal	N	N	N	N	N	N	N	C	C	C	P	N	P
	Parking lots and structures	N	N	N	N	N	N	N	C	N	N	P	N	P
	Peri-urban agriculture	C	C	C	C	P	P	C	P	N	N	N	N	N
	Peri-urban retreat center	N	N	N	C	C	N	N	N	N	N	N	N	N
	Personal services	N	N	N	N	C	P	C	P	N	N	N	C	N
	Pet boarding	N	N	N	N	N	C	N	C	N	N	N	N	N
	Pet outpatient and veterinarian services	N	N	N	N	N	P	N	P	N	N	N	N	N
	Printing and related services	N	N	N	N	N	N	N	P	P	P	N	P	P
	Offices	N	N	N	N	C	P	P	P	P	P	N	P	N
	Recreation facility, indoor	N	N	N	N	C	P	N	P	N	N	N	N	N
	Recreation facility, outdoor	N	N	N	N	C	C	N	C	N	N	N	N	N
	Residential care facility	N	P	P	P	P	P	P	P	N	N	N	N	N
	Retail trade	N	N	N	N	C	P	P	P	P ²⁸	P ²⁸	N	P ²⁸	P ²⁸
	Skilled construction and industrial trades	N	N	N	N	N	N	N	N	P ²⁸	P ²⁸	N	C ²⁸	P ²⁸
	Technological development and service	N	N	N	N	N	N	N	N	N	P	N	P	P

CLEAN VERSION
Proposed District Use Matrix – March 13, 2023

Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
	Transportation services	N	N	N	N	N	N	N	N	P	N	P	N	P
	Warehouse and storage facilities	N	N	N	N	N	N	N	N	P	N	N	N	P
	Wholesale trade and distributors	N	N	N	N	N	C ²⁸	N	N	P ²⁸	N	N	P ²⁸	P ²⁸
Accessory uses:														
Alternative energy systems	Solar panels, freestanding and subject to a maximum height of ten feet (10') from record grade	N	P	P	P	P	P	P	P	P	P	P	P	P
	Solar panels, roof-mounted and subject to five feet (5') above the maximum building height for the applicable district	N	P ²⁴	P ²⁴	P ²⁴	P ²⁴	P ²⁴	P ²⁴	P ²⁴	P ²⁴	P ²⁴	P ²⁴	P ²⁴	P ²⁴
	Wind energy system that is small scale, roof-mounted or free standing	N	N	N	N	N	N	N	C	C	N	C	C	C
Fuel tanks		N	C ²⁷	C ²⁷	C ²⁷	C ²⁷	P ²⁷	C ²⁷	P ²⁷	P ²⁷	P ²⁷	P ²⁷	P ²⁷	C ²⁷
Garages		N	P	P	P	P	P	P	P	P	P	P	P	P
Agriculture	Greenhouses	N	P	P	P	N	P	P	N	N	N	N	N	N
	Horses, a maximum of 2 horses per acre on lots with a minimum size of 1-acre	N	C	C	C	N	N	N	N	N	N	N	N	N
	Chickens	N	P	P	P	P	P	P	N	N	N	N	N	N
Residential	Accessory dwelling unit (ADU)	N	P ²³	P ²³	P ²³	P ²³	P ²³	P ²³	P ²³	N	N	N	P ²³	P ²³
	Tiny Home on Wheels (THOW)	N	P ²³	P ²³	P ²³	P ²³	P ²³	P ²³	P ²³	N	N	N	P ²³	P ²³

CLEAN VERSION
Proposed District Use Matrix – March 13, 2023

Category	Description (Excerpt)	Zones And Subdistricts												
		RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Storage structures		C	P	P	P	P	P	P	P	P	P	P	P	P
Swimming pool		N	P	P	P	N	N	N	N	N	N	N	N	N
Temporary structures		C	C	C	C	C	C	C	C	C	C	C	C	C

BULK REQUIREMENTS

Category	Description (Excerpt)	RGB	LR-1	LR-2	GR	NB	LB	TN	B	LI	TI	A	SCI-SO	SCI-I
Lot dimensions	Minimum lot size (square feet)	None	8,000	12,000	6,000 ⁵	6,000 ⁸	6,000 ⁹	6,000 ⁵	09	6,000	-	See note 12	10,890	10,890
	Minimum lot width (feet)	None	75	75	50 ⁶	50 ⁶	50 ⁶	50 ⁶	0 ⁶	60	-	See note 12	-	-
Building height	Maximum building height (feet)	35 ^{20,21}	30 ^{20,21}	30 ^{20,21}	35 ^{20,21}	30	35	35	35	35	35	See note 12	35	35 ^{20,21}
Setbacks	Minimum front yard setback (feet)	20	25	25	20	10	20	20	0 ⁷	10	20	See note 12	10	10
	Minimum side yard setback (feet)	10	10 ^{3,18,19}	10 ^{3,18,19}	8 ^{7,18,19,23}		10 ^{7,18,19}	10 ^{7,18,19}	0 ^{7,18,19}	10 ^{11,18,19}	10 ^{11,18,19}	See note 12	10	10

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	Minimum rear yard setback (feet)	10	10 ^{3,18,19}	10 ^{3, 18,19}	10 ^{7, 18,19}	10 ^{7, 18,19}	10 ^{7, 18,19}	10 ^{7, 18,19}	10 ^{7,18,19}	10 ^{11, 18,19}	10 ^{11, 18,19}	See note 12	10	10
	Riparian (feet)	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	100 ⁴	See note 12	100 ⁴	100 ⁴
Multi-family and mixed use density	Mixed use residential density: maximum units per acre	-	-	-	-	15	20	10	20	-	-	See note 12	20	-
	Multi-family residential density: maximum units per acre	-	-	-	10	-	20	10	20	-	-	-	20	-
Total lot coverage	Total maximum coverage by all buildings, which includes 1 accessory dwelling unit (percentage)	-	40	40	40	-	-	30 ¹⁰	-	75	75	See note 12	70	70
Maximum floor area	Aggregate gross floor area for individual retail/wholesale trade (square feet)	-	-	-	-	-	36,000	-	36,000	25,000	25,000	See note 12	25,000	25,000
	Aggregate gross floor area for grouped retail/wholesale (square feet)	-	-	-	-	-	36,000	-	50,000	25,000	25,000	See note 12	25,000	25,000

Notes:

1. Must be accessory to the primary use and contained within the walls of the primary structure.
2. Indicates use may be allowed where State or Federal law preempts local zoning.
3. The setback from the adjacent property shall be 1 foot for every 2 feet of building height for all portions of the building exceeding 20 feet in height, provided, however, no side or rear yard shall be less than 10 feet. See the figure located at section 17.04B.050 of this title for more explanation.
4. Riparian setback. Unless otherwise provided for herein, all permanent buildings and structures shall have a 100 foot wide riparian setback from the mean high water mark of the Big Wood River. Removal of live vegetation or excavation within the riparian setback is prohibited, except for any tree that has been recommended for removal by a certified arborist, in writing, because the tree has been found to potentially endanger the resident(s) of the property on which it is located or any member of the public, or has become hazardous to any street, alley or other public right-of-way or public utility, or because the removal of a tree would substantially improve the health of other trees on the property. Pruning of trees and planting of riparian trees, shrubs and ground cover within the riparian

CLEAN VERSION
Proposed District Use Matrix – March 13, 2023

setback are allowed, provided however, that all plantings conform to the criteria for evaluation in subsection 17.04J.040B4e of this title. Where the application of the 100 foot riparian setback and other applicable setbacks will result in a building site of 1,000 square feet or less, the riparian setback may be reduced to such an extent that the building site is 1,000 square feet; provided however, the riparian setback shall not be less than 50 feet.

5. In GR and TN Zones, townhouse sublots shall have an aggregate density of no more than 10 lots per acre.

6. Townhouse sublots shall conform to the standards established in the IFC.

7. In the TO Zone, townhouse units shall be allowed 0 setbacks, with an exception for the setbacks on the property line between two (2) townhouse units. The separation between two (2) townhouse units shall be whichever is greater, but not less than 6 feet, as measured between any wall or any projection of a building, including, but not limited to, eaves, cornices, canopies, or other similar roof overhang features, pergolas, chimney chases, bay windows, decks, steps, wainscot, and utility meters; or, the minimum distance required by the IBC and IFC.

8. In NB Zone, townhouse sublots shall have an aggregate density of no more than 15 lots per acre.

9. In LB and B Zones, townhouse sublots shall have an aggregate density of no more than 20 lots per acre.

10. In TN Zone, 40 percent lot coverage will be allowed where at least 75 percent of required parking spaces are enclosed within a structure.

11. In LI and TI Zones, the side and rear yard setbacks shall be 25 feet where the subject property is located adjacent to the following Zones: RGB, GR, or TN.

12. Subject to FAA regulations and 14 CFR, chapter 1, subchapter E, part 77, objects affecting navigable airspace, as amended.

13. Drive-through restaurants not permitted.

14. Only within terminals.

15. Attached to hotel/motel.

16. Temporary structures which have an approved conditional use permit may operate seasonally for multiple years, so long as the size and location of the temporary structure conforms with the approved conditional use permit or conditions thereof.

17. Multifamily and dwelling units within mixed use buildings incorporating small residential units require a conditional use permit in chapter 17.11 of this title and shall comply with chapter 17.04, article Q of this title.

18. See also subsections 17.07.010F and G of this title.

19. See also subsections 17.07.010F and G of this title.

20. For a building with any portion of the building footprint within the special flood hazard area, building height shall be measured 2 feet above the base flood elevation (BFE).

21. For buildings located within the Special Flood Hazard Area, and within the Limited Residential (LR) Zone Districts, buildings shall in no instance exceed a building height of 32 feet from record grade. For buildings located within the Special Flood Hazard Area, and within the General Residential (GR) Zone District, buildings shall in no case exceed a building height of 35 feet from record grade.

22. Accessory Dwelling Units (ADUs) and Tiny Homes on Wheels (THOW) are subject to Administrative Design Review and Supplementary Regulations. See chapters 17.06, Design Review and 17.08, Article D, for regulations.

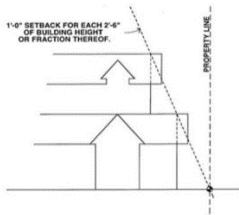
23. Any wall, as measured from the highest point including any gable or peak in a direct vertical line to record grade, shall have a setback of one foot (1') for every two and one-half feet (2 1/2') of wall height (see section 17.04M.090, Diagram 1, of the Hailey Municipal Code), but not less than the base setback for the GR Zone District. This shall apply to walls on the side yards of properties but shall not apply to sublots within a development.

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24. Subject to review and/or consultation with the Airport Director for all new roof-mounted solar located within the proposed and specified Airport Influence Area.
25. May be approved through a conditional use permit if the use is in conjunction with a use that is permitted by-right.
26. The installation of telecommunication PWSFs or WCFs requires a wireless permit in accordance with the provisions of subsection 17.08B of this title.
27. The use of fuel tanks containing flammable or combustible liquids, as defined by the International Fire Code (IFC), requires a Flammable 7 Combustible Storage Tank Permit through the Hailey Fire Department.
28. Exterior storage associated with retail trade, skilled construction and industrial trades, and wholesale trade is permitted in the industrial zones only. Exterior storage may include but is not limited to the storage or display of bulky goods, materials, supplies, merchandise, and equipment.

Diagram 1



(Ord. 1275, 2021; Ord. 1250, 2019; Ord. 1243, 2019; Ord. 1242, 2018; Ord. 1232, 2018; Ord. 1221, 2017; Ord. 1220, 2017; Ord. 1211, 2017; Ord. 1208, 2016; Ord. 1207, 2016; Ord. 1191, 2015; Ord. 1291, 2021; Ord. , 2023)

City of Hailey – Zoning Districts

AIRPORT (A)

PURPOSE:

The airport district is intended to provide an area that would allow regularly scheduled commercial passenger aircraft services to be used by the general public. The airport district is also intended to allow other general aviation services for private aircraft and private aircraft charter only in conjunction with regularly scheduled commercial passenger aircraft services.

BUSINESS (B)

PURPOSE:

The purpose of the B district is to provide areas for general business and commercial activities and a limited number of residential uses.

GENERAL RESIDENTIAL (GR)

PURPOSE:

The purpose of the GR district is to provide areas for a variety of residential uses, and a limited number of other uses compatible with this type of residential development. The intent is to preserve the favorable amenities associated with a residential neighborhood. (Ord. 1191, 2015)

LIGHT INDUSTRIAL (LI)

PURPOSE:

The purpose of the LI district is to provide areas for light industrial operations and limited related (or associated) retail sales. "Limited related retail sales" is defined as restricted to retail sales clearly associated with and secondary to the permitted use and of the type not normally located in downtown business districts (e.g., the retail sale of auto parts by an auto dealership). The area is characterized by industrial and service type traffic usage and patterns, and light manufacturing or construction related services. The intent is to group these uses that demand similar circulation patterns and service requirements together and provide regulations to preserve the integrity of the industrial uses while ensuring the health, welfare and safety of the community.

LIMITED BUSINESS (LB)

PURPOSE:

The purpose of the LB district is to provide areas for a wide range of residential uses, restricted business uses and medical facilities. The LB district is intended to allow for commercial uses that would not detract from the established downtown retail businesses, hence general retail is not allowed.

LIMITED RESIDENTIAL (LR-1 & LR-2)

PURPOSE:

A. Within the LR zoning district, there are two (2) subdistricts, LR-1 and LR-2 subdistricts. The following provisions are identical for both LR-1 and LR-2, except the minimum lot size.

B. The purpose of the LR district is to provide areas for stable, low density, single-family residential development and a limited number of other uses compatible with a residential neighborhood.

NEIGHBORHOOD BUSINESS (NB)

PURPOSE:

The purpose of the NB district is to provide areas for neighborhood service centers, increase convenience to neighborhood residents and promote other forms of multi-modal transportation and circulation. The uses in the NB district shall be limited commercial uses that will be clearly subordinate to, and support the residential nature of, the area.

City of Hailey – Zoning Districts

RECREATION GREEN BELT (RGB)

PURPOSE:

The purpose of the recreational green belt district shall be to provide areas for public recreation and/or to create and preserve open and/or green space areas for aesthetic and public use. All uses within the RGB district shall be compatible with the protection of natural and scenic resources for the benefit of present and future generations.

SERVICE COMMERCIAL INDUSTRIAL – INDUSTRIAL (SCI-I)

PURPOSE:

The purpose of the industrial subdistrict of the SCI district is to provide a location for the production, sales and storage of bulky goods and associated wholesale and retail sales, offices and parking. The subdistrict is also to provide a location for light manufacturing and other light industrial types of uses. The intent of the district is to provide a location for those uses that dedicate a substantial portion of their area (more than 50 percent) to exterior storage and/or staging areas, and relatively little area to interior showrooms, offices or retail space. The district is intended to include those uses that, by reason of their impact or perceived impact on neighboring uses, are not appropriate in the central business district. This article assumes that the following list of uses is not exhaustive and that other like uses may be permitted upon administrative review pursuant to subsection [17.01.050B](#) of this title, as amended.

SERVICE COMMERCIAL INDUSTRIAL – SALES AND OFFICE (SCI-SO)

PURPOSE:

The purpose of the sales and office subdistrict is to allow for a master planned office, technology and service park and associated sales and support uses, as well as a location for the sales and service of large or bulky retail goods, or goods associated directly with the building trades. The subdistrict is created to provide a location for those uses that might otherwise be appropriate in, but, by their nature, may be inappropriate for the central business district. The nature of those businesses which are appropriate for this subdistrict are those that require a substantial number of service vehicles, have a substantial portion of the building area dedicated to storage or processing, or consist of uses or scale of operation that are better accommodated outside the central business district. This article assumes that the following list of uses is not exhaustive and that other like uses may be permitted upon administrative review pursuant to subsection [17.01.050B](#) of this title, as amended.

TECHNOLOGICAL INDUSTRY (TI)

PURPOSE:

The purpose of the TI district is to provide a permanent, year-round employment base, including research and development, technological industries, uses related to the building, maintenance and construction professions, and limited light industry.

TRANSITIONAL (TN)

PURPOSE:

The purpose of the TN district is to provide a buffer zone between residential and business areas within the townsite overly district. The zone provides for restricted business activities within residential areas which are directly adjacent to or across a street or alley from established business zones. Uses shall be limited to those that generate relatively little traffic. The residential character of the area shall be maintained by preserving the existing buildings and requiring new building designs in keeping with the residential nature of the area, and requiring adequate on-site parking. The term "transitional" does not imply that the properties within the district will be transitioning from residential to business zoning.

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