

**Agenda**  
**Hailey Planning and Zoning Commission**  
**Monday, March 3, 2025**  
**5:30 p.m.**

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

**Join on your computer, mobile app, or room device.**

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Phone Conference ID: 602 369 677#

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**Call to Order**

- Public Comment for items not on the Agenda.

**Consent Agenda - ACTION ITEM**

- **CA 1** Motion to approve Findings of Fact, Conclusions of Law, and Decision of a Design Review Application submitted by Overland West, Inc., represented by Jay Cone, for a commercial building, consisting of two (2) cleaning bays, one (1) tunnel wash bay, storage and a multi-purpose room with a two-bedroom Accessory Dwelling Unit (ADU) located on the second floor. This project is located at 1551 Aviation Drive, (Lot 3A, Block 4, Airport West Sub #2) within the SCI-Industrial (SCI-I) Zoning District. **ACTION ITEM**
- **CA 2** Motion to approve Findings of Fact, Conclusions of Law, and Decision of a Design Review Application, submitted by Spud Locker, LLC, represented by Chad Blincoe, for the construction of a new 22,443 square foot storage building that would replace the existing storage units onsite. This project is located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision) within the Light Industrial (LI) Zoning District. **ACTION ITEM**
- **CA 3** Motion to approve meeting minutes dated February 18, 2025. **ACTION ITEM**

**Public Hearing(s) - ACTION ITEM**

- **PH 1** Continuation of a Design Review Application by McIntosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture, for the construction of a new 6,320 square foot multifamily development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision), and within the General Residential (GR), Downtown

Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts The development consists of two (2), three story, multifamily buildings, which includes six (6) residential dwelling units in total. **ACTION ITEM**

- **PH 2** Consideration of a City-Initiated Amendment amending various sections in and/or adding new sections to Hailey’s Comprehensive Plan. The following sections are proposed to be modified: Section 5: Land Use; Section 6: Economic Development; Section 8: Housing; and Section 10: Transportation. A new section is proposed to be added and includes Section 15: Sustainability. The proposed amendments are pursuant to Title 67, Chapter 65, Local Land Use Planning Act. **ACTION ITEM**

#### **Administrative Reviews(s)**

- **AR 1** Findings of Fact, Conclusions of Law, and Decision of a Design Review Modification Application by Eric Cueva to amend the approved Design Review plans to construct a new 579 square foot Accessory Dwelling Unit (ADU), to be located at 504 S Main Street (Lots S20’ of 12 All of 13 & 14, Block 9, Hailey Townsite) within the Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts.
- **AR 2** Findings of Fact, Conclusions of Law, and Decision of a Design Review Modification Application by Holly McCloud to amend the approved Design Review plans for the construction of a new 2,389 square foot single-family residence located at 216 S. 4th Avenue (Lots 19 & 20, Block 104, Hailey Townsite) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts).

#### **Staff Reports and Discussion**

- **SR 1** Discussion: Upcoming Projects, Code Changes, Next Planning and Zoning Meeting:
  - **Monday, March 17, 2025:**
    - Annual Report
    - TA Historic Preservation
    - SAP Update

**Return to Agenda**

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On February 18, 2025, the Hailey Planning and Zoning Commission considered and approved a Design Review Application, submitted by Overland West Inc., represented by Jay Cone Architecture, for the construction of a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit, to be located within the proposed structure. This project is located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District.

The Hailey Planning and Zoning Commission enters these Findings of Fact, Conclusions of Law and Decision.

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**Applicant:** Overland West Inc., represented by Jay Cone Architecture

**Location:** 1551 Aviation Drive (Lot 3A, Block 34- Airport West Subdivision #2)

**Zoning & Lot Size:** SCI-Industrial (SCI-I); Lot size 113,090.70 square feet

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on January 30, 2025.

**Application:** The Applicant proposed to construct a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit (ADU), at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2). As part of the mixed-use project, the Applicant proposed the following:

### Proposed Commercial Use:

- 5,657 square feet of commercial space.
- The first floor includes two (2) cleaning bays, a storage room, and a multipurpose room.
- A six (6) foot tall perimeter fence with powder coated steel posts and brown corrugated bondarized steel panels is proposed to screen the property.
  
- Proposed Fuel Tank location and alternative locations (A-C) are provided for consideration. *At the February 18, 2025 public hearing, the Commission discussed the alternative locations with the Applicant. It was decided that Option A, which depicted the fuel tank to be located near the northwestern corner of the site, was the most appropriate option. In addition to the fuel tank location, the Commission discussed the need for a secondary containment system. Fuel tanks of this size and scale come with a secondary containment system built within the tank. Per Fire Code, no additional, ground-mounted or other, secondary containment is necessary nor required. As such, the Commission suggested the Applicant consider incorporating minimal infrastructure near and/or underneath the proposed tank (e.g., concave concrete pad, small curb lip, etc.) to further protect the area from spillage and/or fuel leaks. This has been made a Condition of Approval.*
  
- Seven (7) onsite parking spaces are provided, which includes one (1) accessible space located along the southern side of the building.

**Proposed Accessory Dwelling Unit:**

- 997 square feet of residential space (ADU).
- The second floor includes two (2) bedrooms, two (2) bathrooms, closets and storage spaces.
- Kitchen and living area.
- 447 square foot outdoor usable deck space.
- One (1) onsite parking space provided.

**SCI Industrial (SCI-SI):**

The purpose of the industrial subdistrict of the SCI district is to provide a location for the production, sales and storage of bulky goods and associated wholesale and retail sales, offices and parking. The subdistrict is also to provide a location for light manufacturing and other light industrial types of uses. The intent of the district is to provide a location for those uses that dedicate a substantial portion of their area (more than 50 percent) to exterior storage and/or staging areas, and relatively little area to interior showrooms, offices or retail space. The district is intended to include those uses that, by reason of their impact or perceived impact on neighboring uses, are not appropriate in the central business district. This article assumes that the following list of uses is not exhaustive and that other like uses may be permitted upon administrative review pursuant to subsection [17.01.050B](#) of this title, as amended. (Ord. 1191, 2015)

The proposed mixed-use development project aligns with the purpose and intent of the SCI-I Zoning District, as the building design, exterior features, and use characteristics support automotive repair and maintenance, parking, office space, light manufacturing and other light industrial types of uses, while thoughtfully integrating an employee or employer-owned housing component as a subordinate use.

Site access is located off the existing public street, Aviation Drive, via the existing Public Utility Easement (PUE), which is intended to service the parcel. There is no public access to this site. There will be a sign indicating that this is a private facility for employees only.

**Reasoned Statement:** These Findings of Fact, Conclusions of Law, and Decision (“Findings”) represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

On March 3, 2025, the Commission discussed and unanimously approved the Design Review Application, submitted by Overland West Inc., represented by Jay Cone Architecture, for the construction of a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit, to be located within the proposed structure. This project is located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District.

**Background:** On December 16, 2024, the Hailey Planning and Zoning Commission considered a Design Review Pre-Application, submitted by Overland West Inc., represented by Jay Cone Architecture, for the construction of a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of

commercial space and a 997 square foot Accessory Dwelling Unit, to be located within the proposed structure. At this meeting, no decision was made; however, the Commission suggested the following:

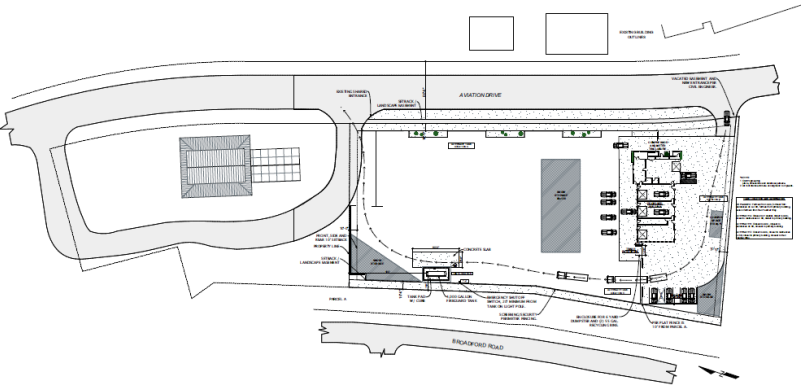
- **Building Design:** Incorporate glass blocks for increased natural light into Bay #3 along the west elevation.
- **Site Plan:**
  - (1) Evaluate the existing location and alternative locations of the fuel tank,
  - (2) while not required by Idaho Code nor Fire Code, consider the addition of a secondary tank containment curb/wall system, and
  - (3) Quantify the use of the tank and clarify operation of nozzle and access systems.
- **Security:** Consider the incorporation of a motion sensor/light near or around the tank in an effort to discourage vandalism.

Per the Commission’s recommendations, the Applicant’s amended submittal includes:

- The Applicant added glass blocks along the west elevation for increased natural light into Bay #3.
- The Applicant submitted an amended site plan that shows the proposed location for the fuel tank located at the rear of the site which is the preferred location of the Applicant. The Applicant also provided three (3) alternative locations for the fuel tank, which includes the following:
  - Alternative (A): located along the property frontage,
  - Alternative (B): located along the southern property line, and
  - Alternative (C): located at the southwestern corner of the lot.
- The Applicant provided two secondary containment options for the fuel tank to be considered. Both options provide a double wall “Fireguard” tank which provides secondary containment per the IFC. No external containment safety feature is required on the storage site. The concrete curb provided around the tank pad is not a requirement of the IFC but a suggestion from the Planning and Zoning Commission.
- The Applicant quantified the use of the tank and clarified operation of nozzle and access systems, please refer to sheet A403.
- The Applicant provided motion sensor lighting for the fuel tank and is attached to the light pole nearest the tank to provide additional security to further avoid vandalism.
- Staff received letters from adjoining property owners supporting the proposed location of the fuel tank.

**Procedural History:** The Design Review Application was submitted on January 6, 2025, and certified complete on January 10, 2025. A public hearing before the Planning and Zoning Commission was held on February 18, 2025, in the Hailey City Council Chambers and virtually via GoTo Meeting.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and <i>Staff Comments</i></b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Department Comments</b></p>	<p><b>Engineering:</b>  <b>Life/Safety:</b> All codes (Municipal, Building, Fire, and Energy) shall be met. The Applicant provided two secondary containment options for the fuel tank to be considered. Both options provide a double wall "Fireguard" tank which provides secondary containment per the IFC. No external containment safety feature is required on the storage site. The concrete curb provided around the tank pad is not a requirement of the IFC but a suggestion from the Planning and Zoning Commission. Staff and the Fire Department agree, according to the code, that no secondary system is needed.  <b>Water and Sewer:</b> Any and all sewer services shall be relocated to the center of the lot.  <b>Building:</b> No comments  <b>Streets, Landscaping, Other:</b></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.08A Signs</p>	<p><b>17.08A Signs:</b> The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.  <i>N/A, no signage is proposed, and signage is prohibited in the GR District.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.09.040 On-site Parking Req.</p>	<p>See Section 17.09.040 for applicable code.</p>
			<p><b>Staff Comments</b></p>	<p>The proposed project is located in the SCI- Industrial (SC-I) Zoning District. The Hailey Municipal Code requires a minimum of one (1) parking space per 1,000 square feet of commercial use. The project is approximately 6,654 square feet in size, with 5,657 square feet being commercial space. This requires the project to provide a total of six (6) onsite parking spaces to fulfill this standard. The project has provided seven (7) onsite spaces, as well as one (1) accessible space nearest to the proposed building, for a total of eight (8) spaces.</p> <p>The Accessory Dwelling Unit requires one (1) parking space per 1,000 square feet, the Applicant has provided one (1) parking space for the 997 square foot ADU. The Applicant has proposed a total of eight (8) onsite spaces, which includes one (1) accessible space. The Applicant exceeds this requirement, and the onsite parking requirement is met.</p>
				
				<p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p><b>17.09.040.06: EXCESS OF PERMITTED PARKING:</b>  <b>A. Approval Required:</b> No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this</p>

				<p><b>chapter unless permitted by specific action of the commission. Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</b></p> <p><i>N/A. Site parking meets requirements. Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08C.040 Outdoor Lighting Standards</b></p>	<p><b>17.08C.040 General Standards</b></p> <ul style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent:           <ul style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ul> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ul>
			<p><i>Staff Comments</i></p>	<p><i>The Applicant is proposing dark bronze ground mounted light fixtures for onsite exterior lighting. The ground fixtures are 17 feet in height. Each light has a built-in dimmable switch. The ground mounted fixtures are 14 Watt, 4,000K LED = 6000 Lumens. Per Hailey’s Municipal Code, the proposed mounting height and output standards have been met as shown below. The Applicant is also proposing wall mounted lights in Dark Bronze for the exterior of the building and the ADU.</i></p> <p><i>At the February 18, 2025 public hearing, the Commission discussed the need for the ground-mounted light fixture. While the Commission agreed that additional lighting is appropriate for security purposes, they discussed how impactful any light trespass would be to the surrounding neighborhoods. In turn, the Commission suggested that the Applicant consider including a warmer kelvin lamp to reduce light pollution, provide for additional lighting onsite, and be less impactful to the surrounding residential neighborhoods. In addition to a warmer lamp, the Commission suggested the incorporation of motion sensor control and custom light shield. The Applicant agreed to incorporate and/or consider the addition of all the above. This has been made a Condition of Approval.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Bulk Requirements</b></p>	<p><b>Zoning District: SCI-I Industrial Zoning District.</b>  <b>Maximum Height: 35’ within the SCI District</b>  <b>Required Setbacks:</b></p> <ul style="list-style-type: none"> <li>- Front Yard: 10</li> </ul>



				<ul style="list-style-type: none"> <li>- Side Yards: 10</li> <li>- Rear Yard: 10</li> <li>- Lot Coverage: 70%</li> </ul>
			<i>Staff Comments</i>	<p>Zoning District(s): SCI-I- Industrial Zoning District          Proposed Height: 26.3 feet</p> <p>Proposed Setbacks:</p> <ul style="list-style-type: none"> <li>- Front: &gt; 20 feet</li> <li>- Rear: &gt; 20 feet</li> <li>- Side (north): &gt; 20 feet</li> <li>- Side (South): &gt; 20 feet</li> <li>- Lot coverage: 5%</li> </ul> <p>Lot Coverage: The allowed lot coverage for this parcel is 70%. The lot size is 113,090 square feet with a total proposed building footprint of 6,654 square feet in size. Given this information, lot coverage equates to 5%, of proposed lot coverage, which is well below the maximum allowed coverage.</p> <p>Findings: Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.070(A)1 Street Improvements Required	<p>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</p>
			<i>Staff Comments</i>	<p>The property has fully built-out street frontages that include sidewalks and plantings that have been approved by the HOA and will remain in place. No additional sidewalk and drainage improvements for this project are necessary at this time.</p> <p>Findings: Compliance. This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p>
			<i>Staff Comments</i>	<p>N/A - No alley access is proposed. Findings: Compliance. This standard has been met.</p>

**Design Review Requirements for Non-Residential, Multifamily,  
and/or Mixed-Use Buildings within the City of Hailey**

**1. Site Planning: 17.06.080(A)1, items (a) thru (n)**


Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p>

			<i>Staff Comments</i>	<i>The proposed building follows the grid pattern in Airport West, the primary walls of the proposed buildings are oriented north/south, which is consistent with the adjoining industrial properties. An open space area, usable by the residents of the ADU, is proposed which is shielded by a 6-foot fence.</i>
				<i>Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	<b>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</b>
			<i>Staff Comments</i>	<i>N/A, as the site does not contain any existing mature landscaping. Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<b>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</b>
			<i>Staff Comments</i>	<i>The site is primarily proposed for private access and will not have pedestrian access moving through the site. The only site access will be for employees and residents of the ADU. Safe pedestrian access for those users is through a new paved driveway. The entrance to the ADU is located at the SE corner of the building. The ADU was placed on the east and northeast sides near Aviation Drive and the sidewalk, providing clear pedestrian and vehicular pathways.</i>
				<i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b>
			<i>Staff Comments</i>	<i>The Applicant is proposing an enclosed trash receptacle towards the rear of the building, providing plenty of space for trash services. A letter from Clear Creek Disposal commenting on the adequacy of this enclosure and location shall be provided prior to the issuance of a Building Permit. This has been made a Condition of Approval.</i>
				<i>The proposed enclosed meter and compressor is located at the front of the site and will be screened.</i>
				<i>The transformer shall be screened from view (subject to approval by Idaho Power) of the public street. This has also been made Condition of Approval.</i>
				<i>Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b>
			<i>Staff Comments</i>	<i>N/A. There is no existing alley to be utilized for building services. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b>
			<i>Staff Comments</i>	<i>N/A. No Vending Machines are proposed with this project. Findings: Compliance. This standard has been met.</i>

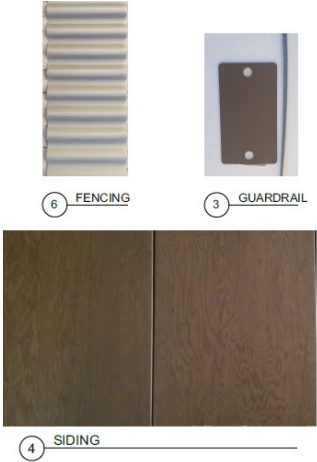
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p><b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b></p> <ul style="list-style-type: none"> <li><b>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b></li> <li><b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b></li> </ul>
			<i>Staff Comments</i>	<p><i>The proposed parking will be accessed via a modified private entrance located off Aviation Drive. The onsite parking is located at the rear of the site. A six-foot tall fence is proposed and will further screen the parking area from the primary street and adjoining properties.</i></p> <p><i>At the February 18, 2025 public hearing, the Commission suggested modifying, undulating, and/or planting additional landscaping nearest the proposed fence to reduce the overall mass of the fence line and create additional interest to the site. The Applicant will consider the incorporation of additional trees along the eastern and western property lines, and further refine the mass, as appropriate, prior to Building Permit submittal.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.020.02	<p><b>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</b></p> <ul style="list-style-type: none"> <li><b>a. Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12'.</b></li> </ul>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing one (1), 510 square foot loading space along the southern lot line of the property. The loading space provided complies with the requirement of 1 space per 4,000 square feet of area.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1h	<p><b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b></p>
			<i>Staff Comments</i>	<p><i>N/A, as there is no existing alley. The site and onsite parking area can be accessed via Aviation Drive. Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p><b>i. Snow storage areas shall be provided on-site as follows: where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b></p>
			<i>Staff Comments</i>	<p><i>Onsite snow storage areas are proposed for this parcel in the amount of 9,000 square feet. The proposed snow storage areas are located in the middle of the lot and along the rear of the site within the setback areas. The improved hardscape for the project is 21,800 square feet which would require 5,450 square feet of</i></p>


				<p>snow storage. The Applicant exceeds this requirement with approximately 9,000 square feet of snow storage.</p> <p>Snow Storage 50x120: 6,000 square feet                  Additional Snow Storage: 3,000 square feet within setback areas</p> <p>Findings: Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information. Findings: Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p>k. A designated snow storage area shall not have any dimension less than 10 feet.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information. Findings: Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<p>l. Hauling of snow from downtown areas is permissible where other options are not practical.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information. Findings: Compliance. This standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information. Findings: Compliance. This standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1n	<p>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</p> <p><i>Staff Comments</i> N/A. There is no proposed landscaping within the snow storage areas. Findings: Compliance. This standard has been met.</p>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<p>a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.</p> <p><i>Staff Comments</i> The proposed building accommodates the surrounding industrial properties with a north/south orientation. The articulation of the rooflines, the diverse materials, and various sized windows complement the surrounding area.</p> <div style="text-align: right;">  <p>1 SOUTHEAST SCALE: 1/8" = 1'-0"</p> </div>


				<i>Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.080(A)2b</b>	<b>b. Standardized corporate building designs are prohibited.</b>
			<i>Staff Comments</i>	<i>N/A, as the proposed building design is not a standardized corporate building design. Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)2c</b>	<b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction. Site planning shall include designated seating areas, picnic tables, pavilions, or other amenities that provide usable spaces for employees and pedestrians alike.</b>
			<i>Staff Comments</i>	<p><i>The Applicant has integrated the building to the surrounding site and greater area. Various exterior materials and colors emphasize human scale and are pedestrian oriented to encourage human activity.</i></p> <p><i>The exterior open-deck space provided for the residents of the mixed-use building and a mixture of assorted existing and new landscaping encourages human activity and interaction. These include street trees, turf and shrubs. Please refer to Section 17.06.080(A)4d for further details.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)2d</b>	<b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b>
			<i>Staff Comments</i>	<p><i>Various materials and colors have been incorporated along all the elevations, which are visible from Aviation Drive, to reduce building mass and large building surfaces. The north and south elevation wall mass is broken up by the various siding and materials, numerous sized windows and bay doors, deck with rails and the addition of glass blocks to allow light to trespass into bay #3 on the west elevation.</i></p> <p><i>The mixed-use building proposes to incorporate a mixture of siding in split face block in Basalite, Western States T-8 steel in Walnut and Hardie Board Facia in Dark Bronze. Dark Bronze Parapet caps along the roof are proposed as well as Dark Bronze trim bands along the lower portion of the building. Dark Brown Steel posts are proposed around the building entrances. The bay doors, doors, windows and trim are proposed to match the Dark Bronze.</i></p> <div style="text-align: center;"> <p>1 WEST ELEVATION</p> <p>2 NORTH ELEVATION</p> </div>

				<i>Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b>
			<i>Staff Comments</i>	<i>N/A, as no expansion is planned at this time. Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<b>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</b>
			<i>Staff Comments</i>	<i>A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above. Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b>
			<i>Staff Comments</i>	<p><i>Building colors are shown on the elevations. Colors are broken on various elements to help break up mass and be harmonious with other neighboring buildings. Please refer to Section 17.06.080(A)2d above for further detail.</i></p> <div style="text-align: center;">  <p>6 FENCING      3 GUARDRAIL</p> <p>4 SIDING</p> </div> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	<b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</b>
			<i>Staff Comments</i>	<i>The proposed building does not exceed two stories in height and proposes a variety of colors, various siding, materials, to provide human scale to the building façades.</i>

				 <p>① SOUTH ELEVATION  <small>1/8" = 1'-0"</small></p> <p>② EAST ELEVATION  <small>1/8" = 1'-0"</small></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2i</p>	<p>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</p> <ul style="list-style-type: none"> <li>i. Solar Orientation. If there is a longer wall plane, it shall be placed on an east-west axis. A building's wall plane shall be oriented within 30 degrees of true south.</li> <li>ii. South facing windows with eave coverage. At least 40% of the building's total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li>iii. Double glazed windows.</li> <li>iv. Windows with Low Emissivity glazing.</li> <li>v. Earth berming against exterior walls</li> <li>vi. Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li>vii. Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul> <p><i>Staff Comments</i>  <i>The building incorporates the following techniques that minimize its energy consumption:</i></p> <ul style="list-style-type: none"> <li>- All windows will be double glazed</li> <li>- Low E Glazing</li> <li>- The main axis of the building is within 30 degrees of Southern exposure.</li> </ul> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.06.080(A)2j</p>	<p>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</p> <p><i>Staff Comments</i>  <i>The front entrance to the ADU and the multipurpose room will be covered which will retain snow. Because the roof is flat it will drain to the interior or to the gutters and drywell.</i></p>

				<i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<b>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</b>
			<i>Staff Comments</i>	<i>Downspouts from the building appear to be routed underground to drywells. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only, and not onto pedestrian and hardscape locations.</i>
				<i>Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<b>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</b>
			<i>Staff Comments</i>	<i>NA, as no drive-through canopies are proposed. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<b>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</b>
			<i>Staff Comments</i>	<i>N/A, as a Master Signage Plan is not required of a single-tenant building. Findings: Compliance. This standard has been met.</i>

**3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)**

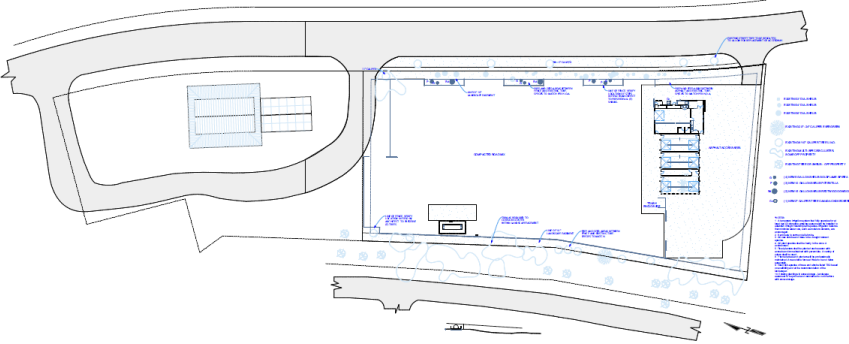
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<b>a. Accessory structures shall be designed to be compatible with the principal building(s).</b>
			<i>Staff Comments</i>	<i>N/A. No Accessory Structure is proposed. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	<b>b. Accessory structures shall be located at the rear of the property.</b>
			<i>Staff Comments</i>	<i>N/A. No Accessory Structure is proposed. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	<b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b>
			<i>Staff Comments</i>	<i>N/A. No Accessory structure is proposed. Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>
			<i>Staff Comments</i>	<i>The Applicant is proposing a six-foot-tall perimeter fence. The fence posts are brown powder coated steel, and the panels will be corrugated bondarized steel.</i>
				
				<i>At the February 18, 2025 public hearing, the Commission suggested modifying, undulating, and/or planting additional landscaping nearest the proposed fence to reduce the overall mass of the fence line and create additional interest to the site. The Applicant will consider the incorporation of additional trees along the</i>



				<i>eastern and western property lines, and further refine the mass, as appropriate, prior to Building Permit submittal.</i>
				<i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3e	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>
			<i>Staff Comments</i>	<i>All roof and ground-mounted projections will be screened from view of the public street and/or adjacent properties.</i>
				<i>Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b>
			<i>Staff Comments</i>	<i>N/A. No alternative energy sources are proposed with this project. Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>All service lines into the property shall be installed underground and no service equipment shall be placed on utility poles. Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	<b>h. All service lines into the subject property shall be installed underground</b>
			<i>Staff Comments</i>	<i>All service lines shall be installed underground. City Staff requests that, if applicable, transformer locations be shown on the Building Permit drawings. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	<b>i. Additional appurtenances shall not be located on existing utility poles.</b>
			<i>Staff Comments</i>	<i>N/A, as no additional appurtenances are proposed. Findings: Compliance. This standard has been met.</i>

**4. Landscaping: 17.06.080(A)4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b>
			<i>Staff Comments</i>	<i>Drought tolerant and/or xeriscape specific plant materials are proposed. The Applicant is proposing the following landscaping onsite:</i> <i>Trees</i> <ul style="list-style-type: none"> <li>- One (1) new 2" caliper Canada Chokecherry</li> <li>- Existing trees along the property's frontage will remain in place</li> </ul> <i>Shrubs</i> <ul style="list-style-type: none"> <li>- Four (4) new Gold Flame Spirea at 5 gallons</li> <li>- Three (3) new Potentilla at Pinus 10 gallons</li> <li>- Two (2) new Redtwig Dogwood at 15 gallons</li> <li>- Existing shrubs along the property's frontage will remain in place.</li> </ul> <i>Misc. Landscaping:</i>

			<ul style="list-style-type: none"> <li>- Prep and seed areas between the fence and existing turf along the property frontage- species to match HOA.</li> <li>- A temporary irrigation system that fully operates for at least two (2) complete growing seasons will be installed to establish drought tolerant plant species. Irrigation features that minimize water use, such as moisture sensors, will also be installed.</li> <li>- Bark beds will be installed around all shrubs, fixed planters will be planted each season with annuals and/or maintained perennials. A variety of colors will be used. Planted areas and planters will be professionally maintained.</li> </ul>  <p>At the February 18, 2025 public hearing, the Commission suggested modifying, undulating, and/or planting additional landscaping nearest the proposed fence to reduce the overall mass of the fence line and create additional interest to the site. Furthermore, the Commission suggested the addition of more trees along the eastern and western property lines to further enhance the site. The Applicant will consider the incorporation of additional trees and modify the landscaping plan prior to the issuance of a Building Permit.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)4b</b></p> <p><b>b. All plant species shall be hardy to the Zone 4 environment.</b></p> <p><i>Staff Comments</i> Plant materials will be appropriate for the Zone 4 environment. <i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)4c</b></p> <p><b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b></p> <p><i>Staff Comments</i> An automatic drip irrigation system will be installed according to City Standards. The automatically controlled system will include a smart controller and rain sensor for a water-wise system. Low water use rotator nozzles will also be installed in grass spaces. The irrigation system will not be placed against the pavement – it will be positioned in a way where it will not spray water on the pavement or other hardscape areas.</p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)4d</b></p> <p><b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches</b></p>

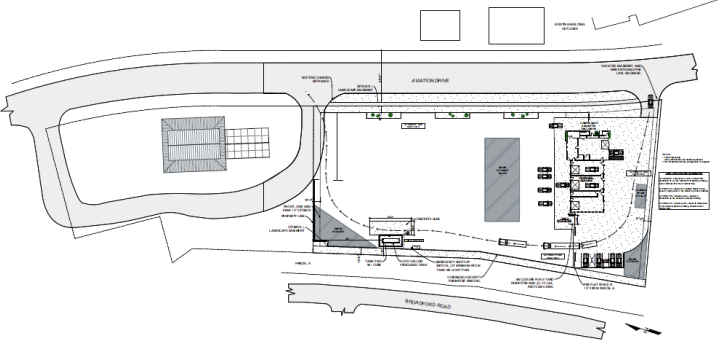
				<p><b>(2 ½”). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</b></p>
			<i>Staff Comments</i>	<p><i>Proposed landscaping varies with a combination of existing and new trees, shrubs, and turf to soften the site, as well as to create visual interest. Bark beds will be installed around all shrubs, fixed planters will be planted each season with annuals and/or maintained perennials. A variety of colors will be used. Planted areas and planters will be professionally maintained.</i></p> <p><i>At the February 18, 2025 public hearing, the Commission suggested the addition of more trees along the eastern and western property lines to further enhance the site. The Applicant will consider the incorporation of additional trees and modify the landscaping plan prior to the issuance of a Building Permit.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	<p><b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b></p>
			<i>Staff Comments</i>	<p><i>Bark beds will be installed around all shrubs, fixed planters will be planted each season with annuals and/or maintained perennials. A variety of colors will be used. Planted areas and planters will be professionally maintained.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p><b>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</b></p>
			<i>Staff Comments</i>	<p><i>Proposed landscaping varies with a combination of existing and new trees, shrubs, and turf to soften the site, as well as to create visual interest.</i></p> <p><i>At the February 18, 2025 public hearing, the Commission suggested the addition of more trees along the eastern and western property lines to further enhance the site. The Applicant will consider the incorporation of additional trees and modify the landscaping plan prior to the issuance of a Building Permit.</i></p> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p><b>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</b></p>
			<i>Staff Comments</i>	<p><i>Storm water runoff is located within the landscaping beds, turf area, and/or drywells, as shown on the civil plans. Findings: Compliance. This standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p><b>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</b></p>
			<i>Staff Comments</i>	<p><i>The Applicant shall be responsible for maintaining plant material in a healthy condition. Plants were chosen for reduced maintenance, drought tolerance and ability to thrive in conditions on-site. Findings: Compliance. This standard has been met.</i></p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	<b>i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	<b>j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	<b>k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	<b>l. Landscaping should be provided within or in front of extensive retaining walls.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	<b>m. Retaining walls over 24" high may require railings or planting buffers for safety.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	<b>n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.</b>
			<i>Staff Comments</i>	<i>N/A, no new retaining wall is being proposed with this project. Findings: Compliance. This standard has been met.</i>

**Additional Design Review Requirements for Multifamily Buildings within the City of Hailey**

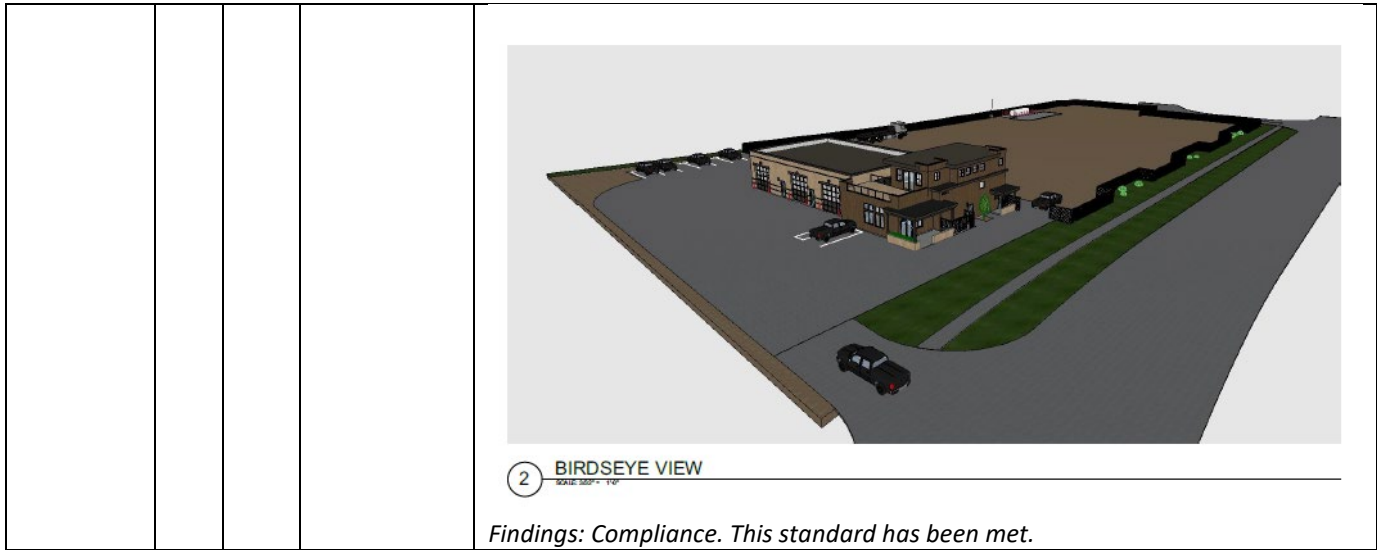
**1. Site Planning: 17.06.080 (D) 1, items (a) thru (c)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	<b>a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.</b>
			<i>Staff Comments</i>	<i>The proposed building complements the surrounding area and adjacent uses. The proposed mixed-use is within the SC-I Industrial (SC-I) Zoning district. Integration of the building to the surrounding site is an imperative facet of the project with a variety of landscaping and features providing screening for adjoining Industrial properties.</i>  <i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	<b>b. Site plans shall include a convenient, attractive, and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.</b>
			<i>Staff Comments</i>	<i>The property has fully built-out street frontages that include sidewalks and plantings that have been approved by the HOA and will remain in place.</i>  <i>Findings: Compliance. This standard has been met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(D)1c</b>	<p><b>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</b></p> <p><i>Staff Comments</i>                  To ensure safe pedestrian access through the site as well as site maintenance, the Applicant has proposed to pave the site.</p> <p>The site is primarily proposed for private access and will not have pedestrian access moving through the site. The only site access will be for employees and residents of the ADU. Safe pedestrian access for those users is through a new paved driveway. The entrance to the ADU is located at the SE corner of the building. The ADU was placed on the east and northeastern side near Aviation and the sidewalk, providing clear pedestrian and vehicular pathways. The Applicant has proposed a 447 square foot deck along the second floor for the residents of the ADU's use.</p> <div style="text-align: center;">  </div> <p><i>Findings: Compliance. This standard has been met.</i></p>
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**2. Building Design: 17.06.080 (D) 2, items (a) thru (b)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<p><b>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</b></p> <p><i>Staff Comments</i>                      The proposed building design provides a multi-use design that responds to the varying character of the city.</p> <ul style="list-style-type: none"> <li>- The design of the building reflects the evolving style of Hailey. Importance has been placed on restrained and familiarity of the past and the warmth and nuance of contemporary design.</li> <li>- The proposed design creates an employee housing option.</li> </ul> <p><i>Findings: Compliance. This standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p><b>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</b></p> <p><i>Staff Comments</i>                      The building achieves human scale by a prominent entrance, site circulation connections and various exterior materials. The landscaping, as proposed and suggestions made by the Commission at the February 18, 2025 public hearing, will further enhance human interaction and scale.</p>



**General Requirements for Accessory Dwelling Units**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.020</b>	<p><b>Applicability.</b></p> <p>A. The standards of this section apply to all Accessory Dwelling Units created after February 10, 2021, whether created by new construction, addition, or conversion of an existing building or area within an existing building.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.04D.030</b>	<p><b>General Provisions.</b></p> <p>A. Accessory Dwelling Units may be located within, or attached to, a principal building or may be located within a detached accessory building. Detached Accessory Dwelling Units may comprise the entirety of the accessory building or may comprise part of the floor area of an accessory building with another permitted accessory use or uses comprising of the remaining floor area.</p>
			<b>Staff Comments</b>	<p><i>The ADU is proposed to be located on the second floor of the mixed-use building. The gross square footage of the ADU is 997 square feet. The new asphalt driveway is proposed to service the mixed-use building. Parking for the ADU is provided via the new driveway and within the proposed parking spaces along the rear of the site.</i></p> <p><i>With regard to setbacks, this parcel is located within the SCI-Industrial (SCI-I) Zoning District. In said district, the <b>required minimum setbacks</b> are as follows:</i></p> <ul style="list-style-type: none"> <li>- <b>Front/ Side and Rear: 10'</b></li> </ul> <p><i>The <b>proposed setbacks for the mixed-use building</b> are as follows:</i></p> <ul style="list-style-type: none"> <li>- <b>Front: &gt;10'; Side (N): &gt;10'; Side (S): &gt;10'; Rear: &gt;10'.</b></li> </ul> <p><i>Findings: Compliance. The setback requirements of the zoning district have been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>B. Only one (1) Accessory Dwelling Unit is permitted on a lot.</b></p>
			<b>Staff Comments</b>	<p><i>Only one (1) ADU is proposed onsite.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>C. Accessory Dwelling Units are only permitted in conjunction with single-family residences in residential zones. In the Townsite Overlay, Transition and SCI zones, Accessory Dwelling Units are permitted in conjunction with commercial buildings.</b></p>

				<b>In Business, Limited Business and Neighborhood Business, one or more residential unit(s) are considered.</b>
			<b>Staff Comments</b>	<i>The proposed ADU is in conjunction with a commercial space, and both are located within the SCI - Industrial (SC-I) Zoning District.</i>  <i>Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<b>D. Accessory Dwelling Units in the Special Flood Hazard Area (SFHA) shall have the top of the lowest floor elevated no lower than the flood protection elevation as defined in Section 17.04J.020, "Definitions", of the Hailey Municipal Code. For new construction or substantial improvements in the SFHA, all applicable requirements of Article 17.04J. Flood Hazard Overlay District (FH) shall apply.</b>
			<b>Staff Comments</b>	<i>The proposed development is not located in the SFHA. Findings: Compliance. This standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.040: Registration of Accessory Dwelling Units Required</b>	<b>A. All Accessory Dwelling Units created after February 10, 2021, shall be issued an Accessory Dwelling Unit Compliance Certificate.</b>
			<b>Staff Comments</b>	<i>Upon completion of construction for the proposed ADU, a Compliance Certificate will be issued. Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.050: Occupancy Restrictions - Short Term Occupancy</b>	<b>A. Where a lot contains both a primary dwelling unit and an Accessory Dwelling Unit, only one dwelling unit shall be utilized for Short-Term Occupancy;</b>
			<b>Staff Comments</b>	<i>Within the mixed-use development, the ADU must be owner or employee occupied, which is the intent of the Applicant- to use the space for employee housing. This standard shall be met and has been made a Condition of Approval.</i>  <i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<b>B. When one dwelling unit is utilized for Short-Term Occupancy, the other unit shall be owner-occupied or utilized as a long-term rental, with long-term occupancy being a period of thirty-one (31) days or more.</b>
			<b>Staff Comments</b>	<i>Within the mixed-use development, the ADU must be owner or employee occupied, which is the intent of the Applicant- to use the space for employee housing. This standard shall be met and has been made a Condition of Approval.</i>  <i>Findings: Compliance. This standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.060: Subordinate Scale and Size</b>	<b>A. Scale: The floor area of an Accessory Dwelling Unit (ADU) is limited to no more than 66% of the gross square footage of the principal building, or the maximum floor area permitted for an ADU based on the lot size or zone, whichever is less.</b>
			<b>Staff Comments</b>	<i>Pursuant Hailey's Municipal Code, <b>Gross Floor Area</b> is defined as:</i> <ul style="list-style-type: none"> <li>- <i>The gross area included within the surrounding exterior walls of a building or portion thereof, including all floor levels, exclusive of vent shafts, outdoor courts, attics or garages, or other enclosed automobile parking areas subject to the following restrictions:</i> <ul style="list-style-type: none"> <li>- <i>The basement of a single- or multiple-family dwelling is not included as floor area; and</i></li> <li>- <i>The basement of any other building is included as floor area.</i></li> </ul> </li> </ul>

				<p>The gross floor area, for the mixed-use building, is approximately 6,654 square feet in size. The lot coverage is calculated to be approximately 5% of lot coverage, which meets the standard and is well below the maximum 70% of coverage allowed.</p> <p>The lot size is 113,090 square feet, which would allow for a maximum gross floor area of 1,000 square feet. That said, the Applicant is proposing a 997 square foot ADU which complies with this standard.</p> <p>Findings: Compliance. This standard has been met.</p>												
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>B. Maximum Floor Area:</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Lot Size (square feet)</th> <th style="text-align: left;">Minimum Gross Floor Area (square feet)<sup>1</sup></th> <th style="text-align: left;">Maximum Gross Floor Area (square feet)<sup>2</sup></th> </tr> </thead> <tbody> <tr> <td>Up to 7,000</td> <td>300</td> <td>900</td> </tr> <tr> <td>7,001 – 8,000</td> <td>300</td> <td>950</td> </tr> <tr> <td>Lots 8,001 and greater</td> <td>300</td> <td>1,000</td> </tr> </tbody> </table> <p>Gross square footage calculations for Accessory Dwelling Units do not include exterior, uncovered staircases. Interior staircases and circulation corridors are included.</p>	Lot Size (square feet)	Minimum Gross Floor Area (square feet) <sup>1</sup>	Maximum Gross Floor Area (square feet) <sup>2</sup>	Up to 7,000	300	900	7,001 – 8,000	300	950	Lots 8,001 and greater	300	1,000
Lot Size (square feet)	Minimum Gross Floor Area (square feet) <sup>1</sup>	Maximum Gross Floor Area (square feet) <sup>2</sup>														
Up to 7,000	300	900														
7,001 – 8,000	300	950														
Lots 8,001 and greater	300	1,000														
			<b>Staff Comments</b>	Please refer to Section 17.08D.060A, noted above, for further details. Findings: Compliance. This standard has been met.												
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>C. Number of bedrooms: Accessory Dwelling Units may have a maximum of two (2) bedrooms.</b></p>												
			<b>Staff Comments</b>	The proposed ADU has two (2) bedrooms. Findings: Compliance. This standard has been met.												
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.08D.070: Livability</b>	<p><b>A. Outdoor Access: All Accessory Dwelling Units shall have a designated area to access the outdoors. Examples include a balcony, porch, deck, paver patio, or yard area delineated by fencing, landscaping, or similar treatment so as to provide for private enjoyment of the outdoors. This area shall be no less than 50 square feet in size. The Outdoor Access area shall be approved through the Design Review process.</b></p>												
			<b>Staff Comments</b>	The Applicant is proposing a 447 square foot patio of outdoor space for the ADU unit. Findings: Compliance. This standard has been met.												
<b>Chapter 17.09: Parking and Loading</b>																
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.020.05.B</b>	<p>Parking areas and driveways for single-family, accessory dwelling unit, and duplex residences may be improved with compacted gravel or other dustless material.</p>												
			<b>Staff Comments</b>	<p>The new asphalt driveway is proposed to service the mixed-use building. Parking for the ADU is proposed in the parking spaces along the rear of the site.</p> <p>Findings: Compliance. This standard has been met.</p>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.020.05.D</b>	<p><b>Mitigation for Accessory Dwelling Unit parking spaces: Parking stalls for Accessory Dwelling Units shall be reviewed to assess light trespass into residential indoor living areas on adjacent properties. Mitigation measures may include fencing, landscaping, screening, landscape walls, and similar treatments.</b></p>												
			<b>Staff Comments</b>	The proposed parking space for the ADU is located onsite along the rear of the site. Findings: Compliance. This standard has been met.												
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.09.040.01</b>	<p>Accessory Dwelling Units and all dwelling units less than 1,000 square feet require one (1) parking space per unit. A site developed with both a primary dwelling less than 1,000 square feet in size and an Accessory Dwelling Unit shall provide a minimum of 2 spaces. Parking for</p>												



				Accessory Dwelling Units must be provided on site. Existing parking in excess of the required parking for a single-family unit shall count towards the total required parking.
			<i>Staff Comments</i>	<i>This standard has been met. A single-car parking space is proposed to service the ADU and is in conjunction with the required commercial parking for the mixed-use building.</i>  <i>Findings: Compliance. This standard has been met.</i>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
  - 1. The project does not jeopardize the health, safety or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
  - 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing, and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
  - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**
  - 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

**CONCLUSIONS OF LAW**

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

- 1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
- 2. The project is in general conformance with the Hailey Comprehensive Plan.

3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Hailey Municipal Code and City Standards.

## DECISION

The Design Review Application, submitted by Overland West Inc., represented by Jay Cone Architecture, for the construction of a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit, to be located within the proposed structure, and at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District, has been approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (r) are met:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
  - i. Life and Safety:
    - i. The building shall comply with IFC and IBC code requirements.
  - ii. Water and Wastewater:
    - i. All construction shall be to City Standards.
    - ii. The proposed sewer service location will be located at the center of the lot.
- d) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.
- e) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- f) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- g) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- h) All exterior lighting shall comply with the Outdoor Lighting Ordinance.

- i) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- j) Upon completion of all required public landscaping and before issuance of a certificate of occupancy and/or final project approval, a licensed arborist shall certify all public tree plantings have been installed in compliance with the project approvals as to species, health, irrigation, city construction standards, project drawings, and other relevant requirements such as Hailey Tree Committee recommendations. Similarly, any public landscape not certified by the licensed arborist shall be certified by a licensed landscape architect for same or other relevant topics. The arborist or landscape architect shall also provide documentation of public tree well inspections including dimensions and material types during the placement of all subsurface items.
- k) The residential unit shall be owner or employee occupied.
- l) The residential unit shall not be sold as a condominium or separate legal parcel from the principal building(s).
- m) The transformer shall be screened from view (subject to approval by Idaho Power) of the public street.
- n) All ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.
- o) A letter from Clear Creek Disposal commenting on the adequacy of this enclosure and location shall be provided prior to the issuance of a Building Permit.
- p) All necessary permits shall be filed, and approval received, demonstrating compliance with FAA regulations prior to issuance of a Building Permit.
- q) The Applicant shall consider the incorporation of minimal incidental infrastructure (e.g., concave concrete pad, small concrete curb, etc.) to provide additional protection to the area in case of fuel leaks and/or spillage.
- r) The Applicant shall consider the incorporation of a warmer kelvin lamp for the ground mounted light fixture, motion sensor control to the ground mounted light fixture, and the installation of a custom light shield to further mitigate light trespass and light pollution.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Janet Fugate, Planning & Zoning Commission Chair

Attest:

\_\_\_\_\_  
Jessie Parker, CDD Building Coordinator

**Return to Agenda**

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On February 18, 2025, the Hailey Planning and Zoning Commission considered and approved a Design Review Application, submitted by Spud Locker, LLC, represented by Blincoe Architecture, for the construction of a new 22,443 gross square foot commercial building consisting of approximately one hundred and fifty (150) interior storage lockers, each ranging from 25 square feet to 222 square feet in size. This project is located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision) within the Light Industrial (LI) Zoning District.

The Hailey Planning and Zoning Commission enters these Findings of Fact, Conclusions of Law and Decision.

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**Applicant:** Spud Locker, LLC, represented by Blincoe Architecture

**Location:** 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision)

**Zoning & Lot Size:** Light Industrial (LI); Lot size: 21,748 square feet

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on January 30, 2025.

**Application:** The Applicant proposed a new 22,443 gross square foot commercial building consisting of approximately one hundred and fifty (150) interior storage lockers, each ranging from 25 square feet to 222 square feet in size. The building will be two (2) stories in height, primarily oriented from east to west. It will replace three (3) existing single-story storage unit buildings currently onsite, which are proposed to be demolished.

**Background:** On August 19, 2024, the Hailey Planning and Zoning Commission considered a Design Review Pre-Application, submitted by Zachery Griffin, represented by Blincoe Architecture, for the construction of a new, two-story self-storage building on the property located at 1140 Airport Way. Two (2) different site renderings were proposed for pre-application consideration by the Commission. The proposed configurations of each rendering are described below:

**Option A:**

- Total building area: 22,152 square feet
- 1,988 square feet of snow storage required; 2,144 square feet of snow storage provided.
- Fifteen (15) onsite, surface parking spaces, seven (7) onsite, in-unit parking spaces, **twenty-two (22) parking spaces provided in total.**

**Option B:**

- Total building area: 21,571 square feet
- 2,184 square feet of snow storage required; 964 square feet of snow storage provided (remaining to be hauled off-site).
- **Eleven (11) onsite, surface parking spaces provided in total.**

Year-round site circulation, snow storage, and curb cut configuration along Airport Way each contributed to the Commission's feedback and recommendations as the Applicant prepared their proposal for an eventual full Design Review Application. Ultimately, Staff and the Commission instructed

the Applicant that, if they should return with a full Design Review Application, they should come prepared with a proposal that includes the required twenty-two (22) parking spaces and only one (1) vehicular approach from Airport Way. Full circulation around the proposed building was not a matter of concern for the Commission.

The Applicant then engaged in a full Design Review Application process and presented Staff with a proposal that included detailed interior storage locker layouts (including approximate sizes and quantities), the full onsite parking requirement (22 spaces), a singular curb cut for vehicular site access, and seasonal ability for full circulation around the proposed building (although not fully paved).

The ongoing master planning process for the Airport Urban Renewal District/Airport Way Typical Section was noted of specific relevance to this project. As these plan details and engineering specifications are not yet fully developed, Staff requested that the Applicant refrain from installing any right-of-way features along their property frontage at this time, unless otherwise instructed by Staff at the time of Building Permit submittal. Staff and the Applicant agreed to an in-lieu fee commensurate with the anticipated design scope of the new Airport Way typical section, prior to issuance of a final invoice for Building Permit pick-up.

At the February 18, 2025 meeting, the Planning and Zoning Commission offered generally straightforward feedback to the Applicant. Most feedback was centered around landscaping and exterior materials, and included the following comments:

- **Recommendation to adjust tree species selection for west building elevation/front of property with a species that is non-fruiting (Crab Apple was proposed).** This adjustment can alleviate potential maintenance costs and keep sidewalk clear of fruit debris.
- **Recommendation to expand the depth of parking stalls for the first-floor drive-in units.** The Applicant proposed parking stalls that adhere to Hailey Municipal Code size requirements, although the Commission noted the reality that more vehicle makes/models are increasing in size, and that a larger stall size may provide benefit to unit occupiers.
- **Recommendation for greater separation/distinction in material hue/contrast.** The Commission noted that the exterior material colors for the cement block siding appeared quite visually similar, when presented with physical material samples. Additionally, the composite panel material color was also noted as similar in color to the cement block siding. The Applicant noted that while it can be difficult to ascertain true building presentation at scale with such small sample sizes, they would explore slight variations in color and hue.

**Reasoned Statement:** These Findings of Fact, Conclusions of Law, and Decision (“Findings”) represent the summary, and majority opinion of the determinative body of the City of Hailey pursuant to Idaho Code. These Findings represent a final decision, after extensive on-the-record deliberations, as more completely documented in the Minutes therefore, and the recordings thereof. These Findings represent a unanimous approval of the Hailey Planning and Zoning Commission, after deliberations on each of the criteria detailed herein below.

On March 3, 2025, the Commission discussed and unanimously approved the Design Review Application, submitted by Spud Locker, LLC, represented by Blincoe Architecture, for the construction of a new 22,443 gross square foot commercial building consisting of approximately one hundred and fifty (150) interior storage lockers, each ranging from 25 square feet to 222 square feet in size. This project is

proposed to be located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision) within the Light Industrial (LI) Zoning District.

**Procedural History:** A Design Review Pre-Application for the project property was heard by the Commission on August 19, 2024. The full Design Review Application was submitted on December 27, 2024, with new property ownership listed but overall project scope and Application contact remaining the same. This Application was certified complete on January 6, 2025. A public hearing before the Planning and Zoning Commission was held on February 18, 2025, in the Hailey City Council Chambers and virtually via Microsoft Teams, at which time the Commission voted unanimously to approve the Application.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b>
				<b>Life/Safety:</b> All codes (Municipal, Building, Fire, and Energy) shall be met.
				<b>Water and Sewer:</b> No comments.
				<b>Building:</b> No comments
			<b>Streets, Landscaping, Other:</b> At this time, Public Works and Streets Division Staff request that the Applicant refrain from installing any right-of-way improvements along the property's frontage. As the Airport Urban Renewal District Master Planning process continues, an Airport Way typical section will eventually be finalized. Standard Drawings for this typical section are not yet available, and Staff do not wish to see the Applicant complete improvements that are not compatible with future overall designs. At this time, Staff request that the Applicant provide an in-lieu fee that is commensurate with the anticipated cost of the future Airport Way Typical Section. Once a fully realized Typical Section is available, Staff will request - from the Applicant - construction estimates via qualified contractors for the determination of an appropriate in-lieu fee amount. This in-lieu fee payment shall be made to the City prior to the issuance of a Certificate of Occupancy.  <i>Finding: Compliance. This Standard will be met.</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.08A Signs	<b>17.08A Signs:</b> The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.
			Staff Comments	At the February 18, 2025 Public Hearing, the Applicant noted that their Application package failed to include renderings or call-outs on site plans for a building sign. The Applicant informed Staff that they intend to install a building sign for the site, and they are aware that a sign permit will be required for any signage exceeding four square feet in sign area, per Hailey Municipal Code. A sign permit will be submitted by the Applicant during the appropriate phase of construction.  <i>Finding: Compliance. This Standard will be met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.09.040 On-site Parking Req.</b></p> <p><i>Staff Comments</i></p>	<p><b>See Section 17.09.040 for applicable code.</b></p> <p><i>The proposed project is located in the Light Industrial (LI) Zoning District. The Hailey Municipal Code requires a minimum of one (1) parking space per 1,000 square feet of Industrial Use. The project is approximately 22,443 square feet, which requires the project to provide a total of twenty-two (22) onsite parking spaces. The Applicant has proposed twenty-two (22) onsite parking spaces, with six (6) of these spaces located within six (6) ground-floor storage units with overhead door access and appropriate sizing for vehicle storage. Staff are amenable to this parking arrangement.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p><b>17.09.040.06: EXCESS OF PERMITTED PARKING:</b></p> <p><b>A. Approval Required: No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission.</b></p> <p><b>Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.</b></p> <p><i>N/A- Site parking meets requirement.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08C.040 Outdoor Lighting Standards</b></p> <p><i>Staff Comments</i></p>	<p><b>17.08C.040 General Standards</b></p> <ul style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent:           <ul style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ul> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ul> <p><i>The Applicant is proposing two (2) downcast, fully-shielded wall sconces at the front entrance of the building, to be mounted at 7' in height. One (1) additional sconce will be located at the rear entrance to the building. These sconces will contain LED bulbs and are rated as Dark Sky compliant. Nineteen (19) recessed soffit lighting fixtures are also proposed around the building perimeter, also utilizing LED bulbs. All exterior lighting will be on a timer switch, so as to minimize excessive light trespass.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Bulk Requirements</b></p>	<p><b>Zoning District: Light Industrial Zoning District.</b>  <b>Maximum Height: 35' within the SCI District</b></p> <p><b>Required Setbacks:</b></p> <ul style="list-style-type: none"> <li>- <b>Front Yard: 10'</b></li> <li>- <b>Side Yards: 10'</b></li> <li>- <b>Rear Yard: 10'</b></li> <li>- <b>Lot Coverage: 75%</b></li> </ul>
			<p><b>Staff Comments</b></p>	<p><i>Proposed Height: 24'</i>  <i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> <li>- <i>Front: 10 feet</i></li> <li>- <i>Rear: Approximately 42 feet</i></li> <li>- <i>Side (north): 20.4 feet</i></li> <li>- <i>Side (South): 10 feet</i></li> <li>- <i>Lot coverage: 53%</i></li> </ul> <p><i>All bulk requirements have been met.</i></p> <p><u><i>Finding: Compliance. This Standard has been met.</i></u></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.070(A)1 Street Improvements Required</b></p>	<p><b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b></p>
			<p><b>Staff Comments</b></p>	<p><i>Pursuant Section 17.06.070, The City may approve and accept voluntary cash contributions in lieu of the above-described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be as follows:</i></p> <ul style="list-style-type: none"> <li><i>i. For sidewalk and drainage improvement lengths of ninety (90) linear feet or less, the Applicant may propose an in-lieu payment per the currently adopted fee schedule.</i></li> <li><i>ii. For improvement lengths greater than ninety (90) linear feet, the Applicant may propose an in-lieu payment amount based on a stamped engineering estimate for one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, and said in-lieu payment is subject to approval by the city engineer.</i></li> <li><i>iii. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy.</i></li> </ul> <p><i>The total improvement length for the project parcel is approximately one hundred and six feet (106'). Given the location of the proposed project parcel, and the City-proposed Airport Way improvements, Staff have internally discussed creative options for this part of Airport Way. Through this discussion, Staff recommend that, because the Airport Way Master Plan is not complete and the city does not know the extent of the required improvements at this time, the Applicant shall pay in-lieu fees for the property's frontage which would further include estimates for the fully realized Airport Way Typical Section (i.e., street trees, pathway, electrical and irrigation, sidewalk, curb and gutter, and design). At this time, Staff request that the Applicant provide an in-lieu fee that is commensurate with the anticipated cost of the future Airport Way Typical Section. Once a fully realized Typical Section is</i></p>

				<p>available, Staff will request - from the Applicant - construction estimates via qualified contractors for the determination of an appropriate in-lieu fee amount. The Applicant also expressed their support for utilizing their site work contractors for the installation of the Airport Way Typical Section itself, if timelines align and City of Hailey approval is in place, as a matter of project efficiency.</p> <p>The Applicant shall pay in-lieu fees equivalent to that of the Airport Way Typical Section for the property's frontage, with the payment made prior to issuance of a Certificate of Occupancy; or, the Applicant shall install the Airport Way Typical Section, as timelines allow. This has been made a Condition of Approval.</p> <p><i>Finding: Compliance. This Standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	<p>In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.</p> <p><i>Staff Comments</i> N/A - No alley access is proposed. <i>Finding: Compliance. This Standard has been met.</i></p>

**Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey**

**1. Site Planning: 17.06.080(A)1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p> <p><i>Staff Comments</i> The proposed building follows the east-west grid pattern that is typical of this section of Airport Way. The largest walls of the proposed buildings are facing north/south, which is consistent with the majority of surrounding industrial properties to the north. To the south, industrial properties are oriented in a variety of ways, although most building forms are compatible with the proposed building design.</p> <p>The building's front entrance faces west, maximizing sun exposure and allowing for safe access. Snow storage will be placed along the southern side of the building and the southern property line, which will contribute to more efficient snow melt and safe access to the maximum amount of building perimeter for the greatest part of the year.</p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees</p>

				<p>larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p><i>Staff Comments</i> N/A, as the site does not contain any existing mature landscaping.</p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> Public Works and Streets Division Staff provided comment throughout the Design Review Pre-Application and full Design Review Application process, requesting that vehicular site access be limited to a singular point. The Applicant has provided a site plan that responds to this request, which supports pedestrian safety.</p> <p>A rear building entrance directly adjacent to striped on-site parking stalls further contributes to safe pedestrian access to the building and across the site. The first and second floors of the proposed storage building are also fully connected from the front to the rear of the building, which will prevent unit occupants from having to enter the vehicle circulation area unnecessarily. This further supports pedestrian safety across the site.</p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</p> <p><i>Staff Comments</i> According to the Applicant, they will utilize roll-out business carts for trash services, to be stored within the building's first-floor mechanical room when not in use. Carts will only be outside of the building for a matter of hours each week, preventing any interference with other uses, such as snow storage.</p> <p>Two (2) existing power boxes and one (1) existing phone box are located in the public right-of-way, directly adjacent to the southwest corner of the property. 5-gallon shrubs are proposed for planting behind the utility boxes, which will soften their visual impact from the roadway. These utility boxes will not interfere with on-site uses. However, the Applicant has not confirmed with Idaho Power if these power and phone boxes exclusively service 1140 Airport Way. If these utility boxes do exclusively service 1140 Airport Way, the Applicant will be required to relocate these boxes out of the right-of-way and onto their private property, at their expense.</p> <p>If the transformer/utility boxes are relocated onto private property at 1140 Airport Way, the Applicant shall be required to screen them from view of the public street. This has been made a Condition of Approval.</p> <p><i>Finding: Compliance. This Standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<p>e. Where alleys exist, or are planned, they shall be utilized for building services.</p>


			<i>Staff Comments</i>	<i>N/A. There is no existing alley to be utilized for building services.</i>  <i>Finding: Compliance. This Standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	f. Vending machines located on the exterior of a building shall not be visible from any street.
			<i>Staff Comments</i>	<i>N/A. No Vending Machines are proposed with this project.</i>  <i>Finding: Compliance. This Standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.) i. Parking areas located within the SCI zoning district may be located at the side or rear of the building. ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.
			<i>Staff Comments</i>	<i>As the proposed project is located within the LI Zoning District, onsite parking may be located on the side of buildings, in addition to the rear of the buildings. A singular, prominent vehicle entrance is located at the northwest property corner. Parking along the north side of the proposed building is proposed to be screened from Airport Way with both a raised seasonal planting box, as well as with a partially shielding, metal security gate. Fifteen (15) of the twenty-two (22) required parking stalls are located at the rear of the building.</i>  <i>Finding: Compliance. This Standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.02	<b>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</b> a. Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12'.
			<i>Staff Comments</i>	<i>N/A, as the proposed use is self-storage.</i>  <i>Finding: Compliance. This Standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1h	h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.
			<i>Staff Comments</i>	<i>No alley services this site. On-site parking access will be achieved via a singular approach from Airport Way, and all proposed on-site parking will be screened via planter boxes and/or fencing and building orientation.</i>  <i>Finding: Compliance. This Standard has been met.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<b>i. Snow storage areas shall be provided on-site as follows: where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b>
			<i>Staff Comments</i>	<i>The total pavement area on site is 8,410 square feet. The required snow storage area is 2,103 square feet (25%). The total proposed snow storage area is 2,325 square feet. While adequate snow storage has been provided, The Applicant indicated at the February 18, 2025 Public Hearing that they intend to haul the majority of snow off site.</i>  <i>No storage area has a dimension of less than 10 feet, site traffic will not be adversely impacted by snow storage, and all snow storage areas will be on top of gravel, which is highly resilient to heavy snow.</i>  <i>Finding: Compliance. This Standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>  <i>Finding: Compliance. This Standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>  <i>Finding: Compliance. This Standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>  <i>Finding: Compliance. This Standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>  <i>Finding: Compliance. This Standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b>
			<i>Staff Comments</i>	<i>Please refer to Section 17.06.080(A)1i for further information.</i>  <i>Finding: Compliance. This Standard has been met.</i>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<b>a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.</b>
			<i>Staff Comments</i>	<i>The proposed storage building shows a flat roof and rectangular design features, which is typical of storage unit buildings. Adjacent uses of the site include other storage facilities, as well as an automotive showroom/repair center and small office suites for a variety of light industrial/skilled trade businesses.</i>

				<p><i>While the proposed building is slightly larger in scale and footprint than the surrounding buildings, it offers a design that bridges compatibility between adjacent parcels, which have both pedestrian and highly-industrial elements. Stacked picture windows frame a prominent front pedestrian entrance, and continuous rooflines and rectangular elements evoke an industrial presence. The choice of materials and architectural detailing on the building's exterior create an elevated appearance for a building with a generally simple, uncomplicated use. These exterior design details distinguish the building amongst surrounding structures, while softening the overall massing, as compared to adjacent buildings with only one (1) exterior material type.</i></p> <p><i><u>Finding:</u> Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2b	<p><b>b. Standardized corporate building designs are prohibited.</b></p> <p><i>As stated above in Section 17.06.080(A)2a, the Applicant has presented a building design that shows attention to design detail and an elevated material presence. This building is not a standard corporate design for its proposed use.</i></p> <p><i><u>Finding:</u> Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<p><b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction. Site planning shall include designated seating areas, picnic tables, pavilions, or other amenities that provide usable spaces for employees and pedestrians alike.</b></p> <p><i>The building's pedestrian entrance is clearly distinguishable from the stacked picture glass windows at the northwest corner of the building, directly facing Airport Way. Raised concrete planter boxes and continuous seasonal plantings along the building's Airport Way frontage invite human presence at this location on the site. These plantings and design features also indicate human presence on site, which is not often apparent at typical self-storage properties. Additionally, the Applicant is proposing a bike rack and a bench along the building's street-facing frontage.</i></p> <p><i><u>Finding:</u> Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<p><b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b></p> <p><i>Large, stacked windows, a prominent pedestrian entrance, slight roof offsetting/overhang, architectural detailing, and change in materials are all present across the front façade of the proposed building. While interior uses and security needs prevent more windows from being included on the front façade, the Applicant has taken care to create both changes in materials and changes in size and orientation of architectural detailing. The scale of this large building surface is interrupted by these design elements. Further improvements to breaking up the front façade's building volume may include metal awnings over the composite panel blocks, changes to the composite paneling color scheme, and/or an additional corner monument feature on the southwest corner facing Airport Way.</i></p>

				<p><i>However, the Commission may wish to note that the Applicant is also proposing five (5) deciduous tree plantings along the building’s western façade, facing Airport Way. As these trees mature and take up more space, the large building mass will be broken up and greatly softened by these natural features.</i></p>  <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p><b>17.06.080(A)2e</b></p> <p><b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b></p> <p><i>Staff Comments</i></p>	<p><i>N/A, as no expansion is planned at this time.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)2f</b></p> <p><b>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</b></p> <p><i>Staff Comments</i></p>	<p><i>A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above. These include cement blocks, composite panels, corrugated metal siding, and metal trim and doors. The color palette is generally muted, but still offers variety across the building’s scale.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)2g</b></p> <p><b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b></p> <p><i>Staff Comments</i></p>	<p><i>Building colors are shown on the elevations. Colors are broken on various elements to help break up mass and be harmonious with other neighboring buildings. Neighboring building colors include chocolate brown, off white, sage green, and charcoal gray. Please refer to Section 17.06.080(A)2d and 2f above for further detail.</i></p>

				<p><b>665 UltraShield SM Standard Color</b> CORNER MONUMENT 04-0000-016</p> <p><b>660 UltraShield SM Standard Color</b> FIELD AND BANDING 04-02-0000</p> <p><b>UltraShield Natural</b> COMPOSITE PANELS 04-02-0000</p> <p>EXTERIOR PERSPECTIVE</p> <p>CHAINLINK FENCE</p> <p>TRIMS AND DOORS 04-02-0000</p> <p>CORRUGATED SIDING 04-02-0000</p> <p>WINDOWS 04-02-0000</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">DESIGN REVIEW NOT FOR CONSTRUCTION</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)2h</b></p> <p><b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</b></p> <p><i>Staff Comments</i></p>	<p><i>The proposed building is two (2) stories in height and includes a flat roof. A continuous parapet wall is proposed for the building, which includes bonderized corrugated metal material and “midnight black” metal flashing.</i></p> <p><b>PROPERTY LINE</b></p> <p>METAL FLASHING 04-02-0000</p> <p>CONCRETE/STONEMAN 04-02-0000</p> <p>CONCRETE/STONEMAN 04-02-0000</p> <p>METAL FLASHING 04-02-0000</p> <p>CONCRETE/STONEMAN 04-02-0000</p> <p>METAL FLASHING 04-02-0000</p> <p>CONCRETE/STONEMAN 04-02-0000</p> <p>METAL FLASHING 04-02-0000</p> <p>CONCRETE/STONEMAN 04-02-0000</p> <p>METAL FLASHING 04-02-0000</p> <p>CONCRETE/STONEMAN 04-02-0000</p> <p>BUILDING HEIGHT 25'-0"</p> <p>TOP OF FIN. 20'-0"</p> <p>METAL FLASHING 04-02-0000</p> <p>CONCRETE/STONEMAN 04-02-0000</p> <p>UPPER LEVEL 10'-0"</p> <p>SPRINKLER ONE 10'-0"</p> <p>GROUND LEVEL 0'-0"</p> <p><b>17.06.080(A)2i</b></p> <p><b>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</b></p> <ul style="list-style-type: none"> <li><b>i. Solar Orientation.</b> If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south.</li> <li><b>ii. South facing windows with eave coverage.</b> At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li><b>iii. Double glazed windows.</b></li> <li><b>iv. Windows with Low Emissivity glazing.</b></li> <li><b>v. Earth berming against exterior walls</b></li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p><b>17.06.080(A)2i</b></p> <p><b>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</b></p> <ul style="list-style-type: none"> <li><b>i. Solar Orientation.</b> If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south.</li> <li><b>ii. South facing windows with eave coverage.</b> At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li><b>iii. Double glazed windows.</b></li> <li><b>iv. Windows with Low Emissivity glazing.</b></li> <li><b>v. Earth berming against exterior walls</b></li> </ul>



				<p>vi. <b>Alternative energy. Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</b></p> <p>vii. <b>Exterior light shelves. All windows on the southernmost facing side of the building shall have external light shelves installed.</b></p>
			<i>Staff Comments</i>	<p><i>The Applicant’s proposed building orientation and longer wall plane is placed on the east-west axis(i.), all windows are proposed to be double-glazed (iii.), and all windows will have low emissivity glazing (iv.)</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<p>j. <b>Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</b></p>
			<i>Staff Comments</i>	<p><i>The building’s flat roof pitch with direct linkage to drains and downspouts will prevent snow from sliding directly onto adjacent sidewalks and/or the building’s entrances. The Commission may wish to discuss their recommendations – if any – for further snow retention features, given the infrequent pedestrian presence that will accompany the site, based on its use.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<p>k. <b>Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</b></p>
			<i>Staff Comments</i>	<p><i>All downspouts and drains are directed away from the primary pedestrian entrance along Airport Way, and none of the drains are in direct proximity to external access points for the storage units themselves. The drain on the building’s northeast corner is next to a secondary human-entry door, but Staff do not anticipate this orientation to significantly impact pedestrian access or create hazard.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<p>l. <b>Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</b></p>
			<i>Staff Comments</i>	<p><i>NA, as no drive-through canopies are proposed.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<p>m. <b>A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</b></p>
			<i>Staff Comments</i>	<p><i>N/A, as a Master Signage Plan is not required of a single-tenant building.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>

**3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<p>a. <b>Accessory structures shall be designed to be compatible with the principal building(s).</b></p>
			<i>Staff Comments</i>	<i>N/A. No Accessory Structure is proposed.</i>

				<i>Finding: Compliance. This Standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.080(A)3b</b>	<b>b. Accessory structures shall be located at the rear of the property.</b>
			<i>Staff Comments</i>	<i>N/A - No Accessory Structure is proposed.</i>
				<i>Finding: Compliance. This Standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)3c</b>	<b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b>
			<i>Staff Comments</i>	<i>While the Applicant originally proposed chain link fencing for the site's perimeter fence, Staff have informed the Applicant that this material type is prohibited for the property. At the February 18, 2025 Public Hearing, the Applicant confirmed that they will be constructing a six (6) foot, cedar plank fence for the site's perimeter, instead of chain link. Staff and the Commission approved of this material type, as it relates to the other materials used on the site.</i>
				<i>Finding: Compliance. This Standard will be met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)3d</b>	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>
			<i>Staff Comments</i>	<i>See Section 17.06.080(A)3c above for details on fencing requirements.</i>
				<i>Finding: Compliance. This Standard will be met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.080(A)3e</b>	<b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b>
			<i>Staff Comments</i>	<i>N/A - no roof-mounted mechanical equipment is proposed with this project.</i>
				<i>Finding: Compliance. This Standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.06.080(A)3f</b>	<b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b>
			<i>Staff Comments</i>	<i>N/A- No alternative energy sources are proposed with this project.</i>
				<i>Finding: Compliance. This Standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.080(A)3g</b>	<b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b>
			<i>Staff Comments</i>	<i>Trash receptacles shall be contained within roll-out bins, which will be stored inside the building's interior mechanical room. Bins will be temporarily rolled out to the right-of-way when servicing operations are active.</i>
				<i>Two (2) existing power boxes and one (1) existing phone box are located in the public right-of-way, directly adjacent to the southwest corner of the property. 5-gallon shrubs are proposed for planting behind the utility boxes, which will soften their visual impact from the roadway. These utility boxes will not interfere with on-site uses. However, the Applicant has not confirmed with Idaho Power if these power and phone boxes exclusively service 1140 Airport Way. If these utility boxes do exclusively service 1140 Airport Way, the Applicant will be required to</i>

				<p>relocate these boxes out of the right-of-way and onto their private property, at their expense.</p> <p>If the transformer/utility boxes are relocated onto private property at 1140 Airport Way, the Applicant shall be required to screen them from view of the public street. This has been made a Condition of Approval.</p> <p><u>Finding:</u> Compliance. This Standard has been met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	<p><b>h. All service lines into the subject property shall be installed underground</b></p> <p><i>Staff Comments</i> All service lines shall be installed underground.</p> <p><u>Finding:</u> Compliance. This Standard has been met.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	<p><b>i. Additional appurtenances shall not be located on existing utility poles.</b></p> <p><i>Staff Comments</i> N/A, as no additional appurtenances are proposed.</p> <p><u>Finding:</u> Compliance. This Standard has been met.</p>

**4. Landscaping: 17.06.080(A)4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<p><b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b></p> <p><i>Staff Comments</i> The Applicant submitted updated site plans that indicated planting sizes and quantities, but it did not indicate species type. At the February 18, 2025 Public Hearing, the Applicant verbally stated that Crab Apple trees would be planted along the building’s western elevation, and Swedish Aspen would be planted along the building’s southern elevation. Given the Commission’s recommendation to not install fruiting tree species, Staff anticipate that stated species may change.</p> <p>The Applicant shall submit a complete plant species list, including appropriate planting sizes, quantities, and species hardiness, to the Community Development Department for Administrative Review, prior to issuance of a Building Permit. This has been made a Condition of Approval.</p> <p><u>Finding:</u> Compliance. This Standard will be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<p><b>b. All plant species shall be hardy to the Zone 4 environment.</b></p> <p><i>Staff Comments</i> See Section 17.06.080(A)4a for how this requirement shall be met.</p> <p><u>Finding:</u> Compliance. This Standard will be met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<p><b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b></p> <p><i>Staff Comments</i> At the February 18, 2025 Public Hearing, the Applicant confirmed that drip irrigation will be in place for trees planted along the building’s western and southern elevations. However, Staff would like to ensure that all trees and newly installed plant material onsite will be provided with adequate irrigation and establishment potential.</p>

				<p><i>The Applicant shall ensure that all tree installations and plantings onsite are serviced with an irrigation system, with drip irrigation preferred. This has been made a Condition of Approval.</i></p> <p><i>Finding: Compliance. This Standard will be met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4d	<p><b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½”). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</b></p> <p><i>Staff Comments</i>  <i>N/A – This project is located within the LI Zoning District. However, five (5) deciduous trees are proposed for planting along the front façade of the building, and (five) 5 deciduous trees are proposed for planting along the south façade of the building.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4e	<p><b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b></p> <p><i>Staff Comments</i>  <i>The Applicant is proposing seasonal plantings in raised planter boxes across the entirety of the building’s front façade. These plantings soften the building’s exterior and provide human scale to the industrial site.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	<p><b>f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.</b></p> <p><i>Staff Comments</i>  <i>N/A, as this parcel is not located in the B, LB, TN, SCI-O Zoning districts.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	<p><b>g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.</b></p> <p><i>Staff Comments</i>  <i>Storm water runoff is directed towards two (2) drywells within the site’s paved area. At the February 18, 2025 Public Hearing, the Applicant confirmed that one (1) additional drywell is proposed to be installed along the building’s southern elevation, in the gravel area. Additionally, partial roof drainage will be directed towards three (3) downspouts on the south side of the building. These downspouts can provide directed runoff to the five (5) proposed tree plantings along the building’s south façade.</i></p> <p><i>Finding: Compliance. This Standard has been met.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	<p><b>h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).</b></p>

			<i>Staff Comments</i>	<i>The Applicant shall be responsible for maintaining plant material in a healthy condition.</i>
				<i>Finding: Compliance. This Standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
				<i>Finding: Compliance. This Standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
				<i>Finding: Compliance. This Standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
				<i>Finding: Compliance. This Standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
				<i>Finding: Compliance. This Standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
				<i>Finding: Compliance. This Standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
				<i>Finding: Compliance. This Standard has been met.</i>

**Additional Design Review Requirements for the Light Industrial (LI) Zoning District**

**1. Additional Regulations: Section 17.04H.060(B) through 17.04H.060(D)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04H.060(B)	<b>Storage Of Materials:</b> All materials, with the exception of trees and plant materials stored on the premises, and all machinery and vehicles other than those for sale or display, or parked temporarily, shall be stored within a building or within a wall or fence not less than five (5) nor more than six feet (6') in height. Subject to approval of the administrator, earth berms and landscaping with sufficient height and density may be substituted for a wall or fence.

			<i>Staff Comments</i>	<i>The Applicant shall ensure that all onsite storage is contained within the building or screened appropriately according to Hailey Municipal Code. This has been made a Condition of Approval.</i>  <i>Finding: Compliance. This Standard has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.04H.060(C)	<b>Landscaping:</b> Landscaping shall be provided and maintained on all lots. Landscaping shall include a minimum of one (1), two-and-one-half inch (2 ½") caliper tree for every two thousand (2,000) square feet of lot size. A mix of native shrubs, grasses, and/or flowers, and a ground cover of decorative mulch, bark, and/or rock shall also be integrated onsite. Turf/lawn is prohibited in the LI District. Berm-building along street frontages is encouraged.  <i>Staff Comments</i> <i>The Applicant has proposed ten (10) tree plantings along the building's western and southern facades. Gravel ground cover at tree bases and continuous plantings in planter boxes along the western façade will also be provided. With a lot size of approximately 21,700 square feet, the Applicant has met the required landscaping standard for lots within the LI District.</i>  <i>Finding: Compliance. This Standard has been met.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.04H.060(D)	<b>D. Screening:</b> Landscape screening shall be provided and maintained along the entirety of all LI property lines adjacent to the RGB, GR, LR, and TN zoning districts. Such landscaping shall, at a minimum, consist of: <ol style="list-style-type: none"> <li>1. A hedge, solid wall or solid fence not less than five feet(5') and no more than six feet (6') in height, or a berm no more than three feet (3') in height, with a row of trees, a minimum of two-and-one-half (2 ½") caliper in size, planted adjacent to said hedge, berm, solid wall or solid fence, and interior to the lot line. Trees that have been incorporated onsite and utilized as landscape screening may be credited towards the minimum tree count requirements for the lot based on square footage.</li> <li>2. Low growing evergreen shrubs, pollinator-friendly plantings, xeriscape plantings, and/or native bunch grasses along lot lines adjacent to RGB, GR, LR, and TN Districts are also encouraged.</li> </ol>
			<i>Staff Comments</i>	<i>N/A – The project is not located adjacent to RGB, GR, LR, or TN Zoning Districts.</i>  <i>Finding: Compliance. This Standard has been met.</i>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:
  1. The project does not jeopardize the health, safety or welfare of the public.
  2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:
  1. Ensure compliance with applicable standards and guidelines.
  2. Require conformity to approved plans and specifications.
  3. Require security for compliance with the terms of the approval.
  4. Minimize adverse impact on other development.
  5. Control the sequence, timing, and duration of development.

6. **Assure that development and landscaping are maintained properly.**
  7. **Require more restrictive standards than those generally found in the Hailey Municipal Code.**
- C. **Security.** The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.
1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.
  2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.

## **CONCLUSIONS OF LAW**

Based upon the above Findings of Fact, the Commission makes the following Conclusions of Law:

1. Adequate notice, pursuant to Title 17, Section 17.06.040(D), was given.
2. The project is in general conformance with the Hailey Comprehensive Plan.
3. The project does not jeopardize the health, safety, or welfare of the public.
4. Upon compliance with the conditions set forth, the project conforms to the applicable standards of Chapter 17.06, Design Review, other Chapters of the Hailey Municipal Code and City Standards.

## **DECISION**

The Design Review Application submitted by Spud Locker, LLC, represented by Blincoe Architecture, for the construction of a new 22,443 gross square foot commercial building consisting of approximately one hundred and fifty (150) interior storage lockers, to be located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision) within the Light Industrial (LI) Zoning District, has been approved, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in Hailey Municipal Code Section 17.06, Design Review, additional applicable requirements of Title 17, Title 18, and City Standards, provided conditions (a) through (p) are met:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.

- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
  - i. **Life and Safety:**
    - i. The building shall comply with IFC and IBC code requirements.
  - ii. **Water and Wastewater:**
    - i. All construction shall be to City Standards.
- d) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.
- e) The Applicant shall submit a complete plant species list, including appropriate planting sizes, quantities, and species hardiness, to the Community Development Department for Administrative Review, prior to issuance of a Building Permit.
- f) The Applicant shall ensure that all onsite storage is contained within the building or screened appropriately according to Hailey Municipal Code.
- g) The Applicant shall pay in-lieu fees equivalent to that of the Airport Way Typical Section for this property's frontage. This payment shall be made prior to issuance of a Certificate of Occupancy.
- h) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- i) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- j) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- k) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- l) A letter from Clear Creek Disposal shall be provided commenting on the adequacy of the proposed use of individual trash receptacles, their locations during weekly refuse removal, and their accessibility of.
- m) Upon completion of all required public landscaping and before issuance of a certificate of occupancy and/or final project approval, a licensed arborist shall certify all public tree plantings have been installed in compliance with the project approvals as to species, health, irrigation, city construction standards, project drawings, and other relevant requirements such as Hailey Tree Committee recommendations. Similarly, any public landscape not certified by the licensed arborist shall be certified by a licensed landscape architect for same or other relevant topics. The arborist or landscape architect shall also provide documentation of public tree well inspections including dimensions and material types during the placement of all subsurface items.
- n) If the transformer/utility boxes are required to be relocated onto private property at 1140 Airport Way, the Applicant shall screen them from view of the public street.
- o) All ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.



- p) The Applicant shall ensure that all tree installations and plantings onsite are serviced with an irrigation system, with drip irrigation preferred.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Janet Fugate, Planning & Zoning Commission Chair

Attest:

\_\_\_\_\_  
Jessie Parker, CDD Building Coordinator

**Return to Agenda**

**Meeting Minutes**  
**Hailey Planning and Zoning Commission**  
**Tuesday, February 18, 2025**  
**5:30 p.m.**

Hailey Planning and Zoning Meetings are open to the public, in person, and by electronic means when available. The city strives to make the meeting available virtually but cannot guarantee access due to platform failure, internet interruptions or other potential technological malfunctions. Participants may join our meeting virtually by the following means:

**Join on your computer, mobile app, or room device.**

[Click here to join the meeting](#)

Meeting ID: 249 576 139 181

Passcode: Ge6Z7Q

[Download Teams](#) | [Join on the web](#)

**Or call in (audio only)**

[+1 469-206-8535,,602369677#](#) United States, Dallas

Phone Conference ID: 602 369 677#

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**Present**

**Commission: Dan Smith, Janet Fugate, Michael Smith, Sage Sauerbrey, Jordan Fitzgerald**

**Staff: Robyn Davis, Emily Rodrigue, Jessie Parker, Mike Baledge**

**Absent: Ashely Dyer,**

**5:30:20 PM Call to Order**

- Public Comment for items not on the Agenda.

**5:31:20 PM Consent Agenda - ACTION ITEM**

- **CA 1** Motion to approve Findings of Fact, Conclusions of Law, and Decision of a City-Initiated Text Amendment amending Hailey's Municipal Code, Title 16: Subdivision Regulations, Chapter 16.01 Definitions to modify, refine, remove, and/or add various definitions to the title **ACTION ITEM**
- **CA 2** Motion to approve meeting minutes dated January 21, 2025. **ACTION ITEM**

Dan Smith and Michael Smith abstained.

**5:31:45 PM Sauerbrey motion to approve CA 1 and CA 2. Fitzgerald seconded. All in Favor.**

**Public Hearing(s) - ACTION ITEM**

- **5:32:07 PM PH 1** Consideration of a Design Review Application submitted by Overland West, Inc., represented by Jay Cone, for a commercial building, consisting of two (2) cleaning bays, one (1) tunnel wash bay, storage and a multi-purpose room with a two-

bedroom Accessory Dwelling Unit (ADU) located on the second floor. This project is located at 1551 Aviation Drive, (Lot 3A, Block 4, Airport West Sub #2) within the SCI-Industrial (SCI-I) Zoning District. **ACTION ITEM**

[5:32:30 PM](#) Davis noted heard this item as a pre-app in December and provided suggestions. Davis turned the floor to the applicant team.

[5:33:10 PM](#) Jay Cone, Architect, explained changes since the commission saw the plans as a pre-app. Changes include ADA Deck location, overhead door to storage and exit to the bays face south. Cone estimates fuel tank to be fueled 6 times a year, keypad system to be used for security of fuel tank in addition to the fencing on property, reduced number of trees around the fuel tank to eliminate cover of potential vandals, and reduced height of fuel tank to be below the fence. Cone noted addition of glass panels on west elevation. [5:38:03 PM](#) Cone went into further detail on proposed fuel tank beginning with proposed locations, explaining why he believes should keep the proposed tank location. Cone discussed the requested secondary containment, explaining reasons why should not install additional curb containment as the proposed tank already includes secondary containment and meets required code.

[5:42:49 PM](#) Baledge confirmed code requirements for secondary containment.

[5:44:17 PM](#) Cone provided material board showing materials to be used and explained material location on proposed structures. Cone noted coloring of light fixtures and locations.

[5:48:12 PM](#) Fitzgerald asked what the best practical approach for the gas tank and if Baledge is recommending it is fine as is. Baledge confirmed, and that it have quite a few near residential neighborhoods. To this day, he has never seen them link and that will follow required codes. Baledge stated basically following same code as regulated gas stations. Fitzgerald asked how to make the north access clear, noting feels like user would still drive over gravel. Cone noted the location of fence, clarifying there's no user just staff. Cone explained intent for access, and that south entrance would be used as the primary.

[5:53:41 PM](#) D. Smith asked about estimated level of activity, for seeing 200 parking spaces. Cone explained intent and expected use. Smith asked if would continue to use existing parking near Airport. Cone explained process and when additional cars would be brought in, confirming no customers will be on this site. Smith noted utilization of storage area seems to be sporadic. Smith asked about proposed setbacks of 10' on each side. Davis confirmed setbacks proposed, confirming typo on page 17 of staff report. Sauerbrey confirmed setbacks are met for the proposed building. Smtih asked about ADU parking. Cone confirmed ADU parking. Cone confirmed motion sensor by fuel tank. Smith expressed concern of leakage while loading/unloading, strongly recommends provides some type of curb to assist any potential leakage. Smith agrees tank it self is probably bullet proof, the associated hardware and equipment is not. Smith suggests plan for if someone accidentally dumps gas.

[6:00:03 PM](#) Sauerbrey agrees D. Smith regarding fuel tank. Sauerbrey asked what containment measures are proposed to limit ground spilling onsite. Cone explained his comments were related to the wall as required to address 4-6,000 gallons. Cone offered to present to his client a low curb to address potential ground spillage for 10-15 gallons. Cone noted he addressed the "swimming pool" created by wall. Sauerbrey believes the environmental factors remain, and

suggests a smaller easier curb is put in place to address ground spillage. Cone confirmed can consider low curb. Sauerbrey asked about number of trees proposed. Cone noted location trees removed from landscape plan. Sauerbrey agrees with Cone's statements about the tank. Sauerbrey suggested trees on eastside. Sauerbrey asked why decided to locate building on south side vs. north. Cone explained reasoning for building location including lot size and distance to airport. Sauerbrey asked about glazing all on north side, and how to accommodate comfort of building. Cone explained intent how believes the sun will impact the building. Sauerbrey does like the look of the building.

[6:09:12 PM](#) M. Smith confirmed location of motion sensor with Cone. M. Smith asked how often the tank would be used during dark hours. Cone does not have an estimate, but believes it will be sporadic. Cone explained how the light pole was a tough one but was to address the neighbors concern. M. Smith asked if specific reason picked lighting. Cone confirmed would be happier to make the light warmer. M. Smith asked tank location. Cone explained reasoning for tank location. M. Smith asked if applicant would consider low level plantings or some way to help break up mass of proposed fence. Cone noted existing landscape on parcel A, that does not think more than a third of the fence will be visible. Cone and M. Smith continued to discuss landscape.

[6:15:35 PM](#) Chair Fugate asked if the Business Park is the HOA. Cone believes it came from the person who manages the HOA. Cone confirmed has completed the HOA design review. Chair Fugate discussed additional containment. Chair Fugate asked how much gas could spill on proposed concrete pad. Cone does not know. Chair Fugate asked if there was some kind of removal curb, that that could be appropriate and easier to move in and out when tank is in use. Chair Fugate explained her location preference of the tank. Cone suggested maybe doing a concave to address quite a few gallons. Cone believes there are options and they will think about something. Discussion continued about potential options. Chair Fugate asked Cone if would be willing to have a condition saying will have some type of measure put in place to address accidental spillage during use. Cone confirmed.

[6:22:23 PM](#) Chair Fugate opened public comment.

[6:22:47 PM](#) Steve Daniels, 830 Broadford, not opposed to the project. Previous fuel farm owner, his only concerns are the plumbing. Does like idea of changing shape of concrete pad, recommends spill kits and fire extinguishers.

[6:24:20 PM](#) Chair Fugate closed public comment.

[6:24:30 PM](#) Baledge confirmed requirements and containments. Baledge confirmed employees will be educated.

[6:25:24 PM](#) Fitzgerald asked how everyone feels about light pole, that she is not worried about vandals. Fitzgerald explained her concerns with fuel tank location, and that she is in favor of option a. Fitzgerald does not believe there is a reason to not have something to address a spillage.

[6:27:54 PM](#) D. Smith believes it should be possible to put some type of shield on the light pole to minimize exposure on the west. Cone confirmed shields are available but noting potential issues with available shields. Cone noted issues run into with pole location, a minimum of 20' away.

Discussion continued regarding light pole and potential light trespass. Cone confirmed acceptable to condition of customized light shield. Commission discussed potential vandalism.

[6:33:17 PM](#) D. Smith confirmed amended size of fuel tank. Cone confirmed reduced size. D. Smith noted potential of utilizing option a with smaller size. Cone noted other potential concerns. D. Smith complimented design of building. D. Smith suggested additional landscape in certain areas including along the fence.

Sauerbrey complimented project, noting concern of open gravel and agrees with additional landscape suggested. Sauerbrey agrees with light pole suggestions. Sauerbrey explained his opinion of tank location and why he believes it suffices. Sauerbrey believes main concerns were safety and environment, and thinks should make it a condition some sort of spillage plan.

[6:40:34 PM](#) M. Smith is more comfortable of current location. M. Smith encourages use of similar moves of treatment on Airport West side to be used on the Broadford side.

[6:42:03 PM](#) Fitzgerald expressed concern of elevation change and why believes its another reason to address the fence.

[6:42:33 PM](#) Chair Fugate believes the tank will have less impact with the current proposed location. Chair Fugate's agrees with the suggested additional landscape on aviation but noted concern of additional planting near fuel tank.

[6:44:04 PM](#) Davis confirmed new conditions. Cone confirmed amendable to new conditions. Cone suggested new condition of maximum of 6' and minimum of 4' of fence and he may be able to reduce height in some locations. Davis confirmed could add to the findings but would not make a condition. Chair Fugate suggested maintaining 6' on westside. Commission discussed potential change of fence height. All agreed to maintain 6' fence.

[6:47:44 PM](#) **Sauerbrey motion to approve the Design Review Application, submitted by Overland West Inc., for the construction of a new 6,654 gross square foot mixed-use building consisting of 5,657 square feet of commercial space and a 997 square foot Accessory Dwelling Unit, to be located at 1551 Aviation Drive (Lot 3A, Block 34, Airport West Subdivision #2) within the SCI - Industrial (SC-I) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 17, and City Standards, provided conditions (a) through (q) are met, as amended. D. Smith seconded. All in Favor.**

- [6:49:07 PM PH 2](#) Consideration of a Design Review Application, submitted by Spud Locker, LLC, represented by Chad Blincoe, for the construction of a new 22,443 square foot storage building that would replace the existing storage units onsite. This project is located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision) within the Light Industrial (LI) Zoning District. **ACTION ITEM**

[6:49:47 PM](#) Rodrigue noted heard this project as a pre application last fall under different ownership. Rodrigue confirmed 22 parking spaces provided, noting right of way section not fully developed due

to the City being in the middle of the Airport Way Master Plan. Rodrigue turned floor to applicant team.

[6:51:26 PM](#) Chad Blincoe, architect, thanked staff and commission. Blincoe highlighted the changes made since the pre application, including changes to loading zone. Blincoe explained use of carts in place of trucks backing in. Blincoe noted addition of windows to help break up the façade. Blincoe explained materials proposed to be used. Blincoe confirmed proposed trees and locations. Blincoe confirmed submitted original designs to the FAA and associated agencies, confirmed received approval. Blincoe confirmed proposed wooden fence. Blincoe noted additional details to gate. Blincoe explained doing what can to improve pedestrian walkway and right of way parking, noting believes that address the requirement of in lieu fee. Blincoe expressed concern of condition of approval for transformer to screen something that could be moved, and that is not on their property.

[7:02:44 PM](#) Davis explained condition of approvals and factor of typical section in design for Airport Way. Davis explained that if the utilities are to serve that site specifically, they would need to be relocated onsite. Commission and staff continued to discuss location of utility in right of way and associated conditions. Staff confirmed can adjust condition of approval related to utility.

[7:07:33 PM](#) Blincoe asked if there were any questions from the commission.

[7:08:12 PM](#) Chair Fugate confirmed number of parking spaces with Blincoe.

[7:09:16 PM](#) Fitzgerald asked about signage in Airport Way, feels like there is a lack of signage. Blincoe noted potential locations for signage. Fitzgerald does not believe sidewalk onsite is a substitute for the in lieu fee, thinks the in lieu fee is very typical in this situation. Fitzgerald asked others opinions, that feels like has been seeing utilities relocated onto private property. Blincoe expressed concern of requiring utilities to be relocated onsite if serve multiple properties. Fitzgerald recommended requiring Idaho Power approval with Design Review. Blincoe explained potential issues in requiring more of construction plans than design review. Fitzgerald stated ultimately believes utilities effect the design.

[7:14:40 PM](#) D. Smith asked staff for time line for standard design for Airport Way. Davis summarized what has happened, and estimates that planning and zoning will be seeing it in the next few months. D. Smith asked Blincoe their construction timeline. Blincoe estimates mid-summer. Blincoe explained that the applicant may be willing to adjust design, noting it's a partnership with the city. D. Smith noted ability applicant could have ability to modify plan to accommodate new design. D. Smith suggested amending crab apple trees to be persistent crab apples so do not end up with debris on streets. D. Smith asked about layout. Blincoe confirmed it's a work in progress. D. Smith about floor plan. Blincoe explained design in work. D. Smith suggested reviewing depth of storage for vehicles or recreation vehicles. D. Smith explained why he does not consider the transformer mechanical, but electrical. D. Smith noted if its servicing multiple sites, the applicant could be looking at significant expense. D. Smith noted there are options for underground transformers that may want to discuss with Idaho Power. Blincoe noted on of those is for phone. D. Smith suggested modifying ordinance to include electrical equipment as it does not speak to him that way as it reads now. D. Smith noted appreciation of landscape. D. Smith asked about materials proposed. Blincoe clarified materials. D. Smith suggested a greater separation and hue.

[7:24:59 PM](#) Sauerbrey thanked applicant for preliminary process and changes made. Sauerbrey asked for clarification on material. Blincoe explained proposed materials. Sauerbrey asked about irrigation for landscape. Blincoe confirmed will have a drip system. Sauerbrey confirmed plan is to move most of the snow offsite. Blincoe confirmed this facility will have to haul snow away. Sauerbrey agrees with D. Smith on in lieu fees, that does not fulfill continuity city is going for. Sauerbrey stated if transformer is feeding just this site it should be moved on site. Blincoe agrees, if the design develops and applicant team can figure out a way to make it work. Sauerbrey believes what staff has proposed is appropriate. Sauerbrey asked if applicant team has notified current tenants. Blincoe stated tomorrow after receives approval. Sauerbrey recommends the applicant consider allowing tenants to be allowed to reserve a unit.

[7:35:12 PM](#) M. Smith asked about ADA parking. Blincoe stated they do, pointing out location. M. Smith asked about exterior lighting. Blincoe explained reasoning for proposed lighting locations. M. Smith suggested reconsidered lighting on south side. Blincoe asked if recessed lighting in exclude from dark sky ordinance. Staff stated no. M. Smith suggested applicant team to work with staff on right of way improvements. Blincoe stated could use of gravel if preferred.

[7:39:35 PM](#) Chair Fugate asked about seasonal plantings. Blincoe noted locations of seasonal plantings. Chair Fugate asked about tree requirements near the airport, asked if airport saw the landscape plan. Blincoe stated the airport did not, but could go with a non **fruit bearing tree**. Chair Fugate believes it is appropriate to wait until typical section is done, noting previous project that is now completed who agreed to wait. Discussion ensued regarding in lieu fee, staff suggesting modifying condition to give option to pay in lieu fee or install the infrastructure as required by approved typical section. [7:45:13 PM](#) Chair Fugate asked if parking spaces count if used as storage, staff confirmed.

[7:45:32 PM](#) D. Smith asked if the building is temperature controlled. Blincoe confirmed and fully sprinklered. D. Smith asked if the downspouts are exterior to the wall. Blincoe confirmed, and would have catch basins; that will have three drywells. Blincoe confirmed heat tape on all downspouts. D. Smith verified fire access with Baledge.

[7:47:44 PM](#) Chair Fugate agrees need more contrast, not just the different textures.

[7:48:37 PM](#) Blincoe addressed lighting on south side, expressing concern of creating light out of balance. Discussion ensued regarding lighting on south side.

[7:51:52 PM](#) Chair Fugate opened public comment.

[7:52:21 PM](#) Chair Fugate closed public comment.

[7:52:33 PM](#) Chair Fugate confirmed new condition for irrigation to be included, amendment to in lieu condition to be either or, and amending condition o regarding the transformer screening and relocation.

[7:54:40 PM](#) Fitzgerald has no further comments.



[7:54:51 PM](#) D. Smith appreciates applicant coming in for comments, recommending to take in consideration some of the suggestions tonight and hopes can come to some agreement to help ease pain to existing tenants.

[7:55:50 PM](#) Sauerbrey complimented design and conditions of approval are appropriate.

[7:56:04 PM](#) M. Smith agreed with comments made. Chair Fugate recommended applicant to check with airport regarding trees.

[7:56:21 PM](#) Staff confirmed changes to conditions of approval.

[7:57:16 PM](#) **D. Smith motion to approve the Design Review Application submitted by Spud Locker, LLC, represented by Blincoe Architecture, for the construction of a new 22,443 gross square foot commercial building consisting of one hundred and fifty (150) interior storage lockers, to be located at 1140 Airport Way (Lot 3, Block 2, Friedman Park Subdivision) within the Light Industrial (LI) Zoning District, finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 17, and City Standards, provided conditions (a) through (p), as amended are met. Sauerbrey seconded. All in Favor.**

[7:58:32 PM](#) Chair Fugate called for 2-minute break.

[8:03:36 PM](#) Chair Fugate called meeting back together.

- [8:03:40 PM PH 3](#) Consideration of a City-Initiated Text Amendment amending Title 17: Zoning Regulations, Chapter 17.04: Establishment, Purposes and Uses within Zoning Districts, Section 17.04M.60: Bulk Requirements to allow increased flexibility to certain bulk requirements for development projects that preserve a historic commercial or residential structure within the Townsite Overlay (TO) Zoning District. **ACTION ITEM**

[8:04:09 PM](#) Rodrigue clarified only exploring changes to lot coverage, maximum height and other potential incentives to help restore the structures within the Townsite Overlay.

[8:05:24 PM](#) Chair Fugate confirmed reading correctly, only able to get one. Staff confirmed.

[8:05:56 PM](#) Fitzgerald asked what the expedited review. Davis summarized process would allow the application to be heard as soon as possible after proper notice. Fitzgerald asked if this could be approved administratively. Davis clarified the language, that Administrator review would come in to play with design review modifications.

[8:08:30 PM](#) Sauerbrey asked if this would allow for ADUs. Davis explained were not considering accessory structures, but that this open for discussion. Sauerbrey sees ADUs being a ripe option for this. Discussion ensued regarding including outlying structures such as historic garages and whether this would apply to ADUs even if not attached to outlying structures.

[8:11:48 PM](#) Fitzgerald suggested defining certain words that are used repeatedly, including out building. Discussion continued regarding outlying buildings/structures.

[8:13:16 PM](#) Fitzgerald confirmed reviews would not be done administratively. Davis confirmed would not be done administratively unless coming back for a design review modification. Fitzgerald clarified basically would be allowing nonconforming structures to bulk requirements, but then down the road a new owner could maintain the non-conforming structures and potentially remove historic structure.

[8:15:29 PM](#) D. Smith suggested changing language to allow this once per lot. Chari Fugate agrees.

[8:16:21 PM](#) Discussion ensued regarding potential for non-conforming with removal of historic structures at future point.

[8:18:14 PM](#) Fitzgerald asked if the HAHPC has seen this. Davis stated not yet.

[8:18:40 PM](#) M. Smith asked how this would be tracked. Staff proposed ideas for tracking, suggesting filing similar to how ADUs are tracked.

[8:20:23 PM](#) Fitzgerald asked if 50 years is significant designation to define a building as historic. Davis explained reason included as case by case review.

[8:21:46 PM](#) D. Smith believes there is a way to track and believes one per lot is the way to go. Commissioners agree. D. Smith agrees need flexibility in age for designation of historic.

[8:23:16 PM](#) Chair Fugate thinks it helps fulfill sustainable part the City is trying to do, in addition to preserving the historic structures.

[8:23:44 PM](#) Sauerbrey recommended simplifying maximum building. Davis confirmed can do that.

[8:24:38 PM](#) Chair Fugate opened public comment.

[8:24:57 PM](#) Thomas Howland, thinking about tracking, if set amount of additional lot percentage can get why do we need to track it and if remove historic structure it would negate the ability to have the additional percentage. Believes those concerns are covered, that have a simple and elegant way to restrict what people can do. Howland complimented staff on putting this together.

[8:26:55 PM](#) Chair Fugate closed public comment.

[8:27:02 PM](#) M. Smith biggest concern would be someone trying to double dip, that's where he thinks the tracking is important.

[8:28:07 PM](#) Fitzgerald asked if it would be two applications per lot or exemptions. Staff confirmed one exemption per lot. Discussion ensued regarding one exemption per lot or one application per lot. All agreed one exemption per lot.

[8:34:09 PM](#) Fitzgerald suggested requiring a narrative explaining historic nature. Fitzgerald asked about historic trees.

[8:36:16 PM](#) Chair Fugate confirmed one waiver/exemption per lot. Chair Fugate asked about adding flexibility to number 6 to give the applicant to the chance to make their case. Discussion ensued on how to amend the language.

[8:38:15 PM](#) Sauerbrey would like to hear the HAHPC comments on this. All agreed to review again after with HAHPC comments.

[8:39:56 PM](#) M. Smith asked what happens if someone removes the historic portion of the property. Davis explained it would still be nonconforming and they would have to comply with current standards.

[8:43:40 PM](#) Commission discussed adding flexibility to number 6. Rodrigue suggested developing objective standards. All agreed to amend it to approximate 50 years.

[8:47:07 PM](#) Davis requested the commission to continue this to March 17, 2025 so the commission can review the proposed guidelines. Davis confirmed will present to HAHPC and bring any of their comments to the March 17, 2025 hearing.

[8:48:28 PM](#) **D. Smtih motion to continue the public hearing to March 17, 2025. Sauerbrey seconded. All in Favor.**

#### **Administrative Review – NO ACTION ITEM**

- [AR 1](#) Accessory Dwelling Unit (ADU) Application by Mark Cosslett for the proposed addition of an internal 463 square foot ADU. This project is located at 1050 Red Elephant Drive (Lot 6, Block 4, Della View Subdivision).

#### **Staff Reports and Discussion**

- **SR 1** Discussion: Upcoming Projects, Code Changes, Next Planning and Zoning Meeting:
  - **Monday, March 3, 2025 – Meeting to begin at 5:00pm:**
    - DIF – Study Prep
    - Comp Plan
    - DR 637

Davis summarized the upcoming meeting.

[8:50:22 PM](#) Sauerbrey motioned to adjourn. D. Smith seconded. All in favor.

**Return to Agenda**



**STAFF REPORT**  
**Hailey Planning and Zoning Commission**  
**Regular Meeting of March 3, 2025**

**To:** Hailey Planning and Zoning Commission  
**From:** Ashley Dyer, Community Development Planner

**Overview:** Consideration of a Design Review Application by McIntosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture, for the construction of a new 6,320 square foot multifamily development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision), and within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. The development consists of two (2), three story, multifamily buildings, which includes six (6) residential dwelling units in total.

**Hearing:** March 3, 2025

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**Applicant:** McIntosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture  
**Location:** AM Lot 2A, Block 1, Maple Subdivision, Hailey Townsite (637 S. River Street)  
**Zoning/Size:** General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO); 0.20 acres (8,840sq. ft.)

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to property owners within 300 feet on February 12, 2025.

**Application:** The Applicant is requesting approval to construct a new 6,320 square foot multifamily development project at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision). The development consists of two (2), three story, multifamily buildings, which include six (6) residential dwelling units in total.

This project, Six Thirty-Seven Apartments, is proposing the following:

- Six (6) residential dwelling units that are approximately 1,114 square feet in size or less. Units range in bedroom count, from one (1) bedroom units on the 1<sup>st</sup> floor to three (3) bedroom units on the 2<sup>nd</sup> and 3<sup>rd</sup> floors.
- Nine (9) onsite parking spaces are proposed, which include:
  - Four (4) onsite covered parking spaces
  - Five (5) uncovered parking spaces, which include:
    - One (1) compact parking space, and
    - One (1) accessible parking space.
- Per the DRO Zoning District, 10% of the total lot area shall be set aside for open space, which would equate to 884 sq. ft. Between the proposed courtyard space, decks and open space at the northwestern and northeastern corners of the parcel, the Applicant is proposing 896 sq. ft. of open space.
- All multifamily residential construction shall provide at least three (3) bicycle parking spaces or equivalent to 25% of the required number of parking spaces for bike parking, which would

equate to 1.5 spaces. The Applicant has provided six (6) wall mounted bike spaces for the units.



Site access is located off the existing public street, River Street, via a new private drive and a paver pathway is proposed from River Street to the front entrances of the units. Given the scope, location and width of the proposed parcel, Staff and the Applicant have internally discussed creative buildout options for this part of River Street. Through this discussion, Staff recommend that, rather than having an island of River Street Typical Section improvements within this block, the Applicant shall pay in-lieu fees equivalent to those of the River Street Typical Section for this property's frontage. This payment shall be made prior to the issuance of a Certificate of Occupancy.

**Background:** On January 6, 2025, the Hailey Planning and Zoning Commission considered, for the third time, a Design Review Application submitted by McIntosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture, for the construction of a new 6,320 square foot multifamily development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision), and within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. The Commission requested various amendments and/or suggestions to the proposed application and continued the hearing to February 3, 2025. Said modifications and clarifications included:

- Building Design: Modifications to include (1) design enhancements to the E/W elevations of the building (primarily east), (2) the addition of sunshades along the south elevation, and (3) plans set shall show the proposed covered stairway/breezeway.
- Mechanical Room: (Mini-split systems) relocation of mechanical equipment with specifications.
- Energy: EV charging installation capabilities within the covered parking spaces.
- Landscaping: consider the reduction of onsite landscaping at the northwest corner of the site; consider including additional usable features (i.e., picnic table, bench, etc.).

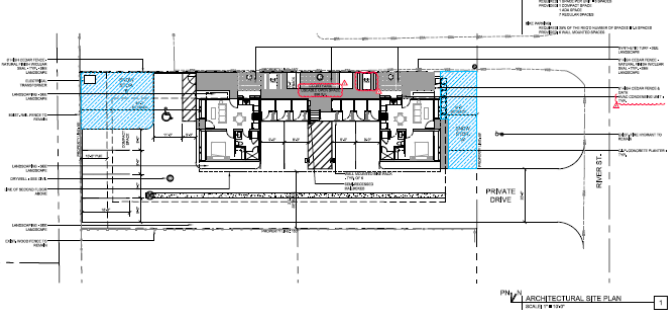
Per the Commission's recommendations, the Applicant's amended submittal includes:

- The relocation of the HVAC condensing units from the trash storage closets on the first floor to the exterior on the north side of the buildings.
- The addition of four (4) EV Charger outlets, (1) for each covered parking space.
- The addition of a window to both the SE and SW corner Bedrooms at the second and third floors to enhance the east and west exterior facades.
- The addition of wood siding (WS-1) along the east and west facades to increase visual interest in the building

- The addition of ‘sun shading fins’ along the south, east, and west bedroom windows to provide solar shading.
- The addition of a roof over the stairs.
- The addition of a wood fence to enclose the proposed courtyard. Renderings are also included that omit the fence to clearly show the first floor exterior facades.
- The addition of a second picnic table to the courtyard on the north side of the building.
- Revisions to the courtyard area to include the entire space from the north side of the building to the proposed wood fence at the northern property line to meet the DRO’s minimum requirement of 10% toward Useable Open Space. Useable Open Space totals 896 sq. ft. in size.
- The submission of a letter regarding the proposed landscaping along the northwest corner, or Snow Storage B.

**Procedural History:** The Design Review Application was submitted on November 26, 2024, and certified complete on December 11, 2024. A public hearing before the Planning and Zoning Commission is scheduled for March 3, 2025, in the Hailey City Council Chambers and virtually via GoTo Meeting.

<b>General Requirements for all Design Review Applications</b>				
<b>Compliant</b>			<b>Standards and Staff Comments</b>	
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.050	<b>Complete Application</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Department Comments	<b>Engineering:</b>
				<b>Life/Safety:</b> <i>All codes (Municipal, Building, Fire, and Energy) shall be met.</i>
				<b>Water and Sewer:</b> <i>Any and all sewer services shall be relocated to the center of the lot.</i>
				<b>Building:</b> <i>No comments</i>
			<b>Streets, Landscaping, Other:</b>	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.08A Signs	<b>17.08A Signs:</b> <i>The applicant is hereby advised that a sign permit is required for any signage exceeding four square feet in sign area. Approval of signage areas or signage plan in Design Review does not constitute approval of a sign permit.</i>
			<b>Staff Comments</b>	<i>N/A, no signage is proposed, and signage is prohibited in the GR District.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.09.040 On-site Parking Req.	<b>See Section 17.09.040 for applicable code.</b>
			<b>Staff Comments</b>	<i>The proposed project is located within the Downtown Residential Overlay (DRO). The Hailey Municipal Code requires a minimum of one (1) parking space per residential dwelling unit. The project proposes a total of six (6) residential units, thereby requiring that six (6) onsite parking spaces be provided. The project exceeds the parking requirements by proposing a total of nine (9) onsite parking spaces.</i>

				
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<p><b>17.09.040.06: EXCESS OF PERMITTED PARKING:</b>  <b>A. Approval Required:</b> No use shall provide on-site parking for more than two hundred percent (200%) of the number of spaces required by this chapter unless permitted by specific action of the commission.                  Applications for parking in excess of that normally permitted will be heard by the commission as part of other applications, or, where no other application is pertinent, under the notice and hearing procedures set forth for design review.  <i>N/A- Site parking meets requirement.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.08C.040 Outdoor Lighting Standards</b></p>	<p><b>17.08C.040 General Standards</b></p> <ol style="list-style-type: none"> <li>a. All exterior lighting shall be designed, located and lamped in order to prevent:                         <ol style="list-style-type: none"> <li>1. Overlighting;</li> <li>2. Energy waste;</li> <li>3. Glare;</li> <li>4. Light Trespass;</li> <li>5. Skyglow.</li> </ol> </li> <li>b. All non-essential exterior commercial and residential lighting is encouraged to be turned off after business hours and/or when not in use. Lights on a timer are encouraged. Sensor activated lights are encouraged to replace existing lighting that is desired for security purposes.</li> <li>c. Canopy lights, such as service station lighting shall be fully recessed or fully shielded so as to ensure that no light source is visible from or causes glare on public rights of way or adjacent properties.</li> <li>d. Area lights. All area lights are encouraged to be eighty-five (85) degree full cut-off type luminaires.</li> <li>e. Idaho Power shall not install any luminaires after the effective date of this Article that lights the public right of way without first receiving approval for any such application by the Lighting Administrator.</li> </ol> <p><i>Staff Comments</i>                  The Applicant is proposing downcast, LED, square cylinder, dark sky compliant fixtures. The proposed fixtures are to be located at the front &amp; rear of both buildings as well as the stairways on both levels.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>Bulk Requirements</b></p>	<p><b>Zoning District: Business</b>  <b>Maximum Height: 30'</b> within the General Residential (GR) Downtown Residential Overlay (DRO) and Townsite Overlay (TO) with residential unit(s)</p> <p><b>Required Setbacks:</b> The setback from the adjacent property shall be one (1) foot for every two (2 ½ ) feet of wall height , provided, however, no side or rear yard shall be less than the base setback.</p> <ul style="list-style-type: none"> <li>- Front Yard: 12</li> <li>- Side Yards: 10</li> <li>- Rear Yard: 10</li> <li>- Lot Coverage: 30% - TO bulk requirements 30% with garage</li> </ul>



				<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: center;">Building Height</th> <th style="text-align: center;">Maximum Lot Coverage (Percentage)</th> </tr> </thead> <tbody> <tr> <td>2 or more stories above grade, no garage</td> <td style="text-align: center;">25</td> </tr> <tr> <td>2 or more stories above grade, with garage</td> <td style="text-align: center;">30</td> </tr> <tr> <td>Less than 2 stories above grade, no garage</td> <td style="text-align: center;">35</td> </tr> <tr> <td>Less than 2 stories above grade, with garage</td> <td style="text-align: center;">40</td> </tr> </tbody> </table>	Building Height	Maximum Lot Coverage (Percentage)	2 or more stories above grade, no garage	25	2 or more stories above grade, with garage	30	Less than 2 stories above grade, no garage	35	Less than 2 stories above grade, with garage	40
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			<b>Staff Comments</b>	<p><i>Zoning District(s): General Residential (GR), Downtown Residential (DRO) Overlay, &amp; Townsite Overlay (TO)</i></p> <p><i>Proposed Height: 29.3</i></p> <p><i>Proposed Setbacks:</i></p> <ul style="list-style-type: none"> <li>- <i>Front: 14 feet</i></li> <li>- <i>Rear: 45.2" feet</i></li> <li>- <i>Side (north): 10 feet</i></li> <li>- <i>Side (South): 21.5" feet</i></li> <li>- <i>Lot coverage: 30%</i></li> </ul> <p><i>Lot Coverage: The allowed lot coverage for this parcel is 30%. The lot size is 8,840 square feet with total proposed building footprints of 2,600 square feet in size. Given this information, lot coverage equates to 29%.</i></p> <p><i>At previous meetings, the Commission discussed the definition of garages "A building or portion thereof in which a motor vehicle is or is intended to be stored. Garages contain parking spaces", and concluded that these parking spaces would be counted as garages; therefore, also calculated within the building footprint, and impacting lot coverage.</i></p>										
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.06.070(A)1 Street Improvements Required</b>	<b>Sidewalks and drainage improvements are required in all zoning districts, except as otherwise provided herein.</b>										
			<b>Staff Comments</b>	<p><i>Pursuant Section 17.06.070, The City may approve and accept voluntary cash contributions in lieu of the above-described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be as follows:</i></p> <ul style="list-style-type: none"> <li><i>i. For sidewalk and drainage improvement lengths of ninety (90) linear feet or less, the Applicant may propose an in-lieu payment per the currently adopted fee schedule.</i></li> <li><i>ii. For improvement lengths greater than ninety (90) linear feet, the Applicant may propose an in-lieu payment amount based on a stamped engineering estimate for one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, and said in-lieu payment is subject to approval by the city engineer.</i></li> <li><i>iii. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy.</i></li> </ul> <p><i>Given the location and width of the proposed parcel, Staff and the Applicant have internally discussed creative buildout options for this part of River Street. Through this discussion, Staff recommend that, rather than having an island of River Street Typical Section improvements within this block, the Applicant</i></p>										

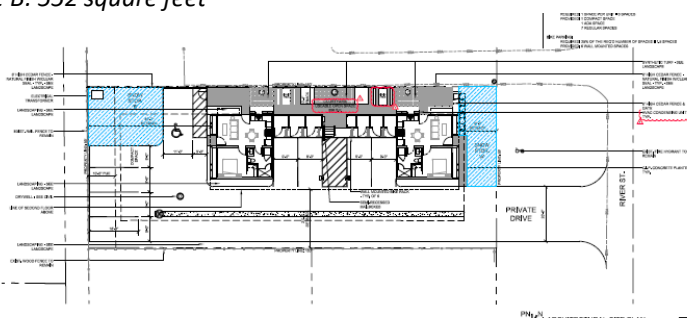
				<i>shall pay in-lieu fees equivalent to those of the River Street Typical Section for this property's frontage. This payment shall be made prior to issuance of a Certificate of Occupancy. This has been made a Condition of Approval.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.070(B) Required Water System Improvements	In the Townsite Overlay District, any proposal for new construction or addition of a garage accessing from the alley, where water main lines within the alley are less than six (6) feet deep, the developer shall install insulating material (blue board insulation or similar material) for each and every individual water service line and main line between and including the subject property and the nearest public street, as recommended by the City Engineer.
			Staff Comments	N/A - No alley access is proposed.

**Design Review Requirements for Non-Residential, Multifamily, and/or Mixed-Use Buildings within the City of Hailey**

**1. Site Planning: 17.06.080(A)1, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1a	<p>a. The location, orientation and surface of buildings shall maximize, to the greatest extent possible sun exposure in exterior spaces to create spaces around buildings that are usable by the residents and allow for safe access to buildings.</p> <p><i>Staff Comments</i> The proposed buildings follow the grid pattern in downtown Hailey, the primary walls of the proposed buildings are oriented north/south due to the narrowness of the lot, which is consistent with the adjoining residential properties to the north and the south. An open space area, usable by the residents of the building, is proposed along the northern property line which is shielded by a 6-foot cedar fence.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1b	<p>b. All existing plant material shall be inventoried and delineated, to scale, and noted whether it is to be preserved, relocated or removed. Removal of trees larger than 6-inch caliper proposed to be removed require an arborist review. Any tree destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, shall be replaced with a species of tree found in the Tree Guide and shall be a minimum of 4-inch caliper.</p> <p><i>Staff Comments</i> N/A, as the site does not contain any existing mature landscaping.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1c	<p>c. Site circulation shall be designed so pedestrians have safe access to and through the site and to building.</p> <p><i>Staff Comments</i> To ensure safe pedestrian access through the site as well as site maintenance, the Applicant has proposed various pedestrian amenities, as well as clear vehicular entrances.</p> <p><i>Pedestrian amenities include shared external courtyards which are fenced in for privacy. Access to these amenities can be achieved from the paver pathway along River Street, between the two buildings, as well as from the front doors of each of the first-floor units. The open space courtyards include concrete paver patios, and exterior seating areas. As suggested by the Commission at the January 6, 2025, public hearing, the Applicant has provided another picnic table to the courtyard area, decks for the upper units, and various landscaping to help create an inviting, safe space for tenants of the building.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1d	<p><b>d. Building services including loading areas, trash storage/pickup areas and utility boxes shall be located at the rear of a building; the side of the building adjacent to an internal lot line may be considered as an alternate location. These areas shall be designed in a manner to minimize conflict among uses and shall not interfere with other uses, such as snow storage. These areas shall be screened with landscaping, enclosures, fencing or by the principal building.</b></p>
			<i>Staff Comments</i>	<p><i>The Applicant is proposing an enclosed trash area within each unit, to be located at the rear of the buildings near the bike racks. The intent is that the receptacles would be brought out to the edge of the street by the tenant for collection. The proposed use of individual trash receptacles requires a letter from Clear Creek Disposal commenting on the adequacy of said enclosures/accessibility. This has been made a Condition of Approval.</i></p> <p><i>The proposed electrical transformer is located at the rear of the site. The transformer shall be screened from view (subject to approval by Idaho Power) of the public street. This has also been made Condition of Approval.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1e	<p><b>e. Where alleys exist, or are planned, they shall be utilized for building services.</b></p>
			<i>Staff Comments</i>	<p><i>N/A. There is no existing alley to be utilized for building services.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1f	<p><b>f. Vending machines located on the exterior of a building shall not be visible from any street.</b></p>
			<i>Staff Comments</i>	<p><i>N/A. No Vending Machines are proposed with this project.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1g	<p><b>g. On-site parking areas shall be located at the rear of the building and screened from the street. Parking and access shall not be obstructed by snow accumulation. (NOTE: If project is located in Airport West Subdivision, certain standards may apply that are not listed here. See code for details.)</b></p> <p style="margin-left: 40px;"><b>i. Parking areas located within the SCI zoning district may be located at the side or rear of the building.</b></p> <p style="margin-left: 40px;"><b>ii. Parking areas may be considered at the side of buildings within the B, LB, TI and LI zoning districts provided a useable prominent entrance is located on the front of the building and the parking area is buffered from the sidewalk adjacent to the street.</b></p>
			<i>Staff Comments</i>	<p><i>The proposed parking will be accessed via a private entrance located off River Street. The parking area is buffered from adjoining properties by a six-foot (6') cedar fence on all sides of the parcel. The site parking is located at the rear of the site, while the proposed landscaping creates a buffer for the parking area from the primary street.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.09.020.02	<p><b>Loading Space Requirements and Dimensions: The following regulations apply to all commercial and industrial uses with onsite loading areas:</b></p> <p style="margin-left: 40px;"><b>a. Requirements: One loading space shall be provided for any single retail, wholesale, or warehouse occupancy with a floor area in excess of 4,000 square feet, except grocery and convenience stores where one loading space shall be provided for a floor area in excess of 1,000 square feet. An additional loading space shall be required for every additional 10,000 square feet of floor area, except grocery and convenience stores where an additional loading space shall be required for every additional 5,000 square feet of floor area. Such spaces shall have a minimum area of 500 square feet, and no dimension shall be less than 12'.</b></p>
			<i>Staff Comments</i>	<p><i>N/A, as the proposed use is residential.</i></p>


<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)1h	<p><b>h. Access to on-site parking shall be from the alley or, if the site is not serviced by an alley, from a single approach to the street to confine vehicular/pedestrian conflict to limited locations, allow more buffering of the parking area and preserve the street frontage for pedestrian traffic.</b></p> <p><i>Staff Comments</i> N/A, as there is no existing alley. The site and onsite parking area can be accessed via the private drive off River Street.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1i	<p><b>i. Snow storage areas shall be provided on-site as follows: where practical and sited in a manner that is accessible to all types of snow removal vehicles of a size that can accommodate moderate areas of snow.</b></p> <p><i>Staff Comments</i> Onsite snow storage areas are proposed for this parcel in the amount of 1,023 square feet. The proposed snow storage areas are located along the front and rear of the site. The improved hardscape for the project is 4,030 square feet which would require 1,008 square feet of snow storage. The Applicant exceeds this requirement with 1,023 square feet of snow storage.</p> <p>Snow Storage A: 471 square feet          Snow Storage B: 552 square feet</p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1j	<p><b>j. Snow storage areas shall not be less than 25% of the improved parking and vehicle and pedestrian circulation areas.</b></p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1k	<p><b>k. A designated snow storage area shall not have any dimension less than 10 feet.</b></p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1l	<p><b>l. Hauling of snow from downtown areas is permissible where other options are not practical.</b></p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1m	<p><b>m. Snow storage areas shall not impede parking spaces, vehicular and pedestrian circulation or line of sight, loading areas, trash storage/pickup areas, service areas or utilities.</b></p> <p><i>Staff Comments</i> Please refer to Section 17.06.080(A)1i for further information.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)1n	<p><b>n. Snow storage areas shall be landscaped with vegetation that is salt-tolerant and resilient to heavy snow.</b></p> <p><i>Staff Comments</i> Any landscaped areas where snow may be stored (front 14' setback and rear 45.2' setback areas) contain plants that are more resilient to snow.</p>

**2. Building Design: 17.06.080(A)2, items (a) thru (m)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2a	<b>a. The proportion, size, shape, and rooflines of new buildings shall be compatible with surrounding buildings.</b>
			<i>Staff Comments</i>	<p><i>The proposed building complements the surrounding properties with a north/south orientation. The articulation of the rooflines, the various undulations, deck features, pop outs and various sized windows further complement the surrounding area.</i></p> <p><i>Although there are primarily single-family dwellings adjacent to this property, it is important to note that adjacent parcels located within the DRO could also be developed similarly, both larger and smaller. The DRO was developed to offer greater flexibility in not only parking, landscaping, and density, but building design, scale, and shape.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2b	<b>b. Standardized corporate building designs are prohibited.</b>
			<i>Staff Comments</i>	<i>N/A, as the proposed building design is not a standardized corporate building design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2c	<b>c. At ground level, building design shall emphasize human scale, be pedestrian oriented and encourage human activity and interaction.</b>
			<i>Staff Comments</i>	<p><i>The Applicant has integrated the building to the surrounding site and greater area. Open space areas, and various exterior materials emphasize human scale, and are pedestrian oriented to encourage human activity.</i></p> <p><i>The shared courtyards and a variety of landscaping and plant material will be utilized, which encourages human activity and interaction. These include trees, grasses, shrubs, and ground cover to soften the visual impact. Please refer to Section 17.06.080(A)4d for further details.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2d	<b>d. The front façade of buildings shall face the street and may include design features such as windows, pedestrian entrances, building off-sets, projections, architectural detailing, courtyards and change in materials or similar features to create human scale and break up large building surfaces and volumes.</b>
			<i>Staff Comments</i>	<p><i>Various materials and colors have been incorporated along the north/south elevations, which is visible from River Street, to reduce building mass and large building surfaces. The north and south elevation wall mass is broken up by the various siding, balconies, wood posts and various size windows. Proposed pathways, open space, and small patio areas create human scale and break up larger building surfaces.</i></p> <p><i>The multifamily buildings propose to incorporate corrugated metal siding in Charcoal Gray along the lower portion of the buildings. The north elevation incorporates Cement Board lap siding in Gallery Green on part of the building and Cement Board lap siding in Tin Lizzie (Gray) on the other portion of the building. Wood siding accents are proposed along the balconies, as well as cement board V-groove in “Creamy” siding surround and enhance the windows. The south elevation will have the same colors and materials, just mirrored.</i></p> <p><i>Per the Commission’s request, the Applicant added a window to both the SE and SW corner bedrooms on the second and third floors to help break up the east and west exterior facades. The Applicant also broke up the uniformity of the Cement Board Siding of both the east and west facades by adding sections of the ‘WS-1’ Wood Siding. The addition of sun shading fins to the south, east, and west</i></p>

				<p><i>bedroom windows provide solar shading, as also requested by the Commission.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2e	<p><b>e. Any addition onto or renovation of an existing building shall be designed to create a cohesive whole.</b></p> <p><i>Staff Comments</i> N/A, as no expansion is planned at this time.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2f	<p><b>f. All exterior walls of a building shall incorporate the use of varying materials, textures, and colors.</b></p> <p><i>Staff Comments</i> A variety of materials will be used on the exterior, as described in Section 17.06.080(A)2d above.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2g	<p><b>g. Exterior buildings colors and materials shall be integrated appropriately into the architecture of the building and be harmonious within the project and with surrounding buildings.</b></p> <p><i>Staff Comments</i> Building colors are shown on the elevations. Colors are broken on various elements to help break up mass and be harmonious with other neighboring buildings. Please refer to Section 17.06.080(A)2d above for further detail.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2h	<p><b>h. Flat-roofed buildings over two stories in height shall incorporate roof elements such as parapets, upper decks, balconies or other design elements.</b></p>



			<p><b>Staff Comments</b></p>	<p><i>The proposed buildings are three (3) stories in height. The variety of colors utilized, various siding, materials, pop-outs and balconies provide depth, and human scale to the building façades.</i></p> 
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p><b>17.06.080(A)2i</b></p>	<p><b>i. All buildings shall minimize energy consumption by utilizing alternative energy sources and/or passive solar techniques. At least three (3) of the following techniques, or an approved alternative, shall be used to improve energy cost savings and provide a more comfortable and healthy living space:</b></p> <ul style="list-style-type: none"> <li><b>i. Solar Orientation.</b> If there is a longer wall plane, it shall be placed on an east-west axis. A building’s wall plane shall be oriented within 30 degrees of true south.</li> <li><b>ii. South facing windows with eave coverage.</b> At least 40% of the building’s total glazing surface shall be oriented to the south, with roof overhang or awning coverage at the south.</li> <li><b>iii. Double glazed windows.</b></li> <li><b>iv. Windows with Low Emissivity glazing.</b></li> <li><b>v. Earth berming against exterior walls</b></li> <li><b>vi. Alternative energy.</b> Solar energy for electricity or water heating, wind energy or another approved alternative shall be installed on-site.</li> <li><b>vii. Exterior light shelves.</b> All windows on the southernmost facing side of the building shall have external light shelves installed.</li> </ul> <p><b>Staff Comments</b></p> <p><i>The building incorporates the following techniques that minimize its energy consumption:</i></p> <ul style="list-style-type: none"> <li>- <i>All windows will be double glazed and incorporate low emissivity glazing properties</i></li> <li>- <i>The building will be entirely electric</i></li> <li>- <i>Energy Star Appliances will be utilized</i></li> </ul>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2j	<b>j. Gabled coverings, appropriate roof pitch, or snow clips and/or gutters and downspouts shall be provided over all walkways and entries to prevent snow from falling directly onto adjacent sidewalks.</b>
			<i>Staff Comments</i>	<i>It appears that the front pedestrian entrances will be covered by the proposed covered parking, which will retain snow, and gutters and downspouts have been provided. The upper units will be protected with the proposed gutters and snow clips on the north side to keep snow and rain from shedding onto the interior and back entrances.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)2k	<b>k. Downspouts and drains shall be located within landscape areas or other appropriate locations where freezing will not create pedestrian hazards.</b>
			<i>Staff Comments</i>	<i>Downspouts from the building appear to be routed underground to a drywell. All downspouts, overflow downspouts, and roof leaders will either drain into drywells or into landscape areas only, and not onto pedestrian and hardscape locations.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2l	<b>l. Vehicle canopies associated with gas stations, convenience stores or drive-through facilities shall have a minimum roof pitch of 3/12 and be consistent with the colors, material and architectural design used on the principal building(s).</b>
			<i>Staff Comments</i>	<i>NA, as no drive-through canopies are proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)2m	<b>m. A master plan for signage is required to ensure the design and location of signs is compatible with the building design and compliance with Article 8.</b>
			<i>Staff Comments</i>	<i>N/A, as a Master Signage Plan is not required of a single-tenant building.</i>

**3. Accessory Structures, Fences and Equipment/Utilities: 17.06.080(A)3, items (a) thru (i)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3a	<b>a. Accessory structures shall be designed to be compatible with the principal building(s).</b>
			<i>Staff Comments</i>	<i>N/A. No Accessory Structure is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3b	<b>b. Accessory structures shall be located at the rear of the property.</b>
			<i>Staff Comments</i>	<i>N/A - No Accessory Structure is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3c	<b>c. Walls and fences shall be constructed of materials compatible with other materials used on the site.</b>
			<i>Staff Comments</i>	<i>N/A - No Accessory structure is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3d	<b>d. Walls and fencing shall not dominate the buildings or the landscape. Planting should be integrated with fencing in order to soften the visual impact.</b>
			<i>Staff Comments</i>	<i>The Applicant is proposing a new six-foot-tall cedar fence along the northern portion of the lot. An existing fence along the southern property line will remain in place.</i>  <i>Per the Commission's recommendations, the Applicant added the proposed wood fence enclosing the courtyard. Renderings are also included that omit the fence to clearly show the first floor exterior facades.</i>



				 <p style="text-align: center; font-size: small;">PROPOSED 6' HT WOOD FENCE DESIGN</p>  <p style="text-align: right; font-size: x-small;">CONCEPTUAL NORTH ELEVATION SCALE: 1/4" = 1'-0"</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3e	<p><b>e. All roof projections including, roof-mounted mechanical equipment, such as heating and air conditioning units, but excluding solar panels and Wind Energy Systems that have received a Conditional Use Permit, shall be shielded and screened from view from the ground level of on-site parking areas, adjacent public streets and adjacent properties.</b></p> <p><i>Staff Comments</i> N/A - no roof-mounted mechanical equipment is proposed with this project.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3f	<p><b>f. The hardware associated with alternative energy sources shall be incorporated into the building's design and not detract from the building and its surroundings.</b></p> <p><i>Staff Comments</i> N/A- No alternative energy sources are proposed with this project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3g	<p><b>g. All ground-mounted mechanical equipment, including heating and air conditioning units, and trash receptacle areas shall be adequately screened from surrounding properties and streets by the use of a wall, fence, or landscaping, or shall be enclosed within a building.</b></p> <p><i>Staff Comments</i> All service lines into the property shall be installed underground and no service equipment shall be placed on utility poles.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)3h	<p><b>h. All service lines into the subject property shall be installed underground</b></p> <p><i>Staff Comments</i> All service lines shall be installed underground. City Staff request that, if applicable, transformer locations be shown on the Building Permit drawings.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)3i	<p><b>i. Additional appurtenances shall not be located on existing utility poles.</b></p> <p><i>Staff Comments</i> N/A, as no additional appurtenances are proposed.</p>

**4. Landscaping: 17.06.080(A)4, items (a) thru (n)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4a	<p><b>a. Only drought tolerant plant species and/or xeriscape specific plant materials shall be used, as specified by the Hailey Landscaping Manual or an approved alternative.</b></p> <p><i>Staff Comments</i> Drought tolerant and/or xeriscape specific plant materials are proposed. The Applicant is proposing the following landscaping onsite:                      Trees (10 total trees):</p> <ul style="list-style-type: none"> <li>- Two (2) Skyrocket Juniper Trees at 6ft. in height</li> <li>- Two (2) Juniperus Wichita Blue Juniper Trees at 6 ft. in height</li> <li>- Two (2) Royal Raindrops Crabapple Trees at 2.5" caliper</li> </ul>

- Two (2) *Malus X Spring/Snow crabapples* at 2.5" caliper
  - Two (2) *Populus Tremula Erecta/ Columnar Aspen* at 2.5" caliper
- Shrubs (50 total shrubs):*

- Two (2) *Hydrangea* at 3 gallons
- Twelve (12) *Pinus Slowmound Mugo Pine* at 3 gallons
- Fourteen (14) *Saliva May Night Sage* at 2 gallons
- Four (4) *White Frost Birchleaf Spirea* at 2 gallons
- Eighteen (18) *Magic Carpet Japanese Spirea* at 2 gallons

*Groundcovers, Grasses, and Perennials (117 total groundcovers, grasses, and perennials):*

- Forty-one (41) *Karl Forester Feather Grass* at 2 gallons
- Thirty-nine (39) *Blue Oat Grass* at 1 gallon
- Sixteen (16) *Snow on the Mountain* at 1 gallon
- Twenty-one (21) *Junior Walker Catmint* at 4" pot

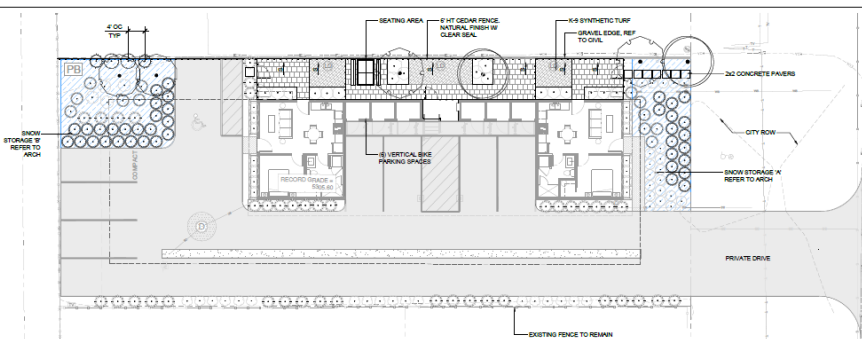
**TREES**



**SHRUBS**



**PERENNIALS & GRASSES**



*The Commission further recommended that the Applicant Team reduce the proposed landscaping in the NW corner of the site, and provide another amenity (bench, table or otherwise) be provided to increase the usable outdoor space on the site. The Applicant has incorporated another table to the useable outdoor space; however, has chosen to keep the proposed landscaping for the NW corner as originally proposed. The Landscape Architect, Moghan Lyon, provided a letter*

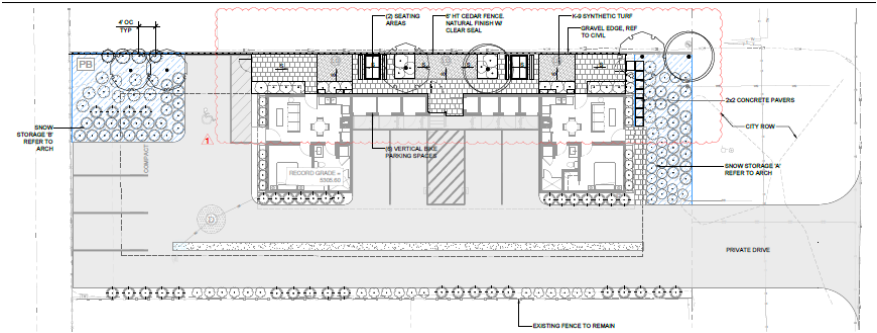
				<p><i>explaining the purpose of retaining the proposed landscaping, which includes: vegetation increases habitat for pollinators and other wildlife, reduces the heat island effect of the parking area and provides a human scale landscape element that ties in with the proposed building scale.</i></p> <p><i>Additionally, the northwest corner has a transformer that is currently proposed to be screened by vegetation from view of the public street, as well as the residential units. Reducing the plant material and changing the surfacing would reduce the vegetative screening, and close proximity of gathering spaces is not ideal next to a transformer that requires access. The proposed vegetation includes ornamental grasses, hardy low growing shrubs and trees along the north side of the area. The grasses typically are cut to 4" – 6" in the fall, the shrubs tolerate snow, and the trees provide important screening elements. This does not create a conflict with the intended snow storage use.</i></p> <p><i>The Applicant understands the concern of gathering spaces, and an additional seating area has been added to the community Usable Open Space area north of the building. See the attached letter for more details.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4b	<b>b. All plant species shall be hardy to the Zone 4 environment.</b>
			<i>Staff Comments</i>	<i>Plant materials will be appropriate for the Zone 4 environment.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4c	<b>c. At a minimum, a temporary irrigation system that fully operates for at least two complete growing seasons is required in order to establish drought tolerant plant species and/or xeriscape specific plant materials. Features that minimize water use, such as moisture sensors, are encouraged.</b>
			<i>Staff Comments</i>	<i>It appears an automatic drip irrigation system will be installed according to City Standards. The automatically controlled system should include a smart controller and rain sensor for a water-wise system. Low water use rotator nozzles should also be installed in grass spaces. Irrigation systems should not be placed against the pavement – they shall be positioned in a way where they will not spray water on the pavement or other hardscape areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4d	<b>d. Landscaped areas shall be planned as an integral part of the site with consideration of the urban environment. A combination of trees, shrubs, vines, ground covers, and ornamental grasses shall be used. Newly landscaped areas shall include trees with a caliper of no less than two and one-half inches (2 ½"). A maximum of twenty percent (20%) of any single tree species shall not be exceeded in any landscape plan, which includes street trees. New planting areas shall be designed to accommodate typical trees at maturity. Buildings within the LI and SCI-I Zoning Districts are excluded from this standard.</b>
			<i>Staff Comments</i>	<i>Proposed landscaping is varied with a combination of trees, shrubs, groundcover, grasses and perennials to soften the site, as well as to create visual interest. The Applicant has met the standard of including trees with no less than two and one-half inches (2 ½) caliber and no more than 20% of any single tree species being proposed to be planted onsite.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4e	<b>e. Seasonal plantings in planter boxes, pots, and/or hanging baskets shall be provided to add color and interest to the outside of buildings in the LI and SCI-I zoning districts.</b>
			<i>Staff Comments</i>	<i>N/A, as this parcel is not located within the LI or SCI Zoning District.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4f	f. Plantings for pedestrian areas within the B, LB, TN and SCI-O zoning districts shall be designed with attention to the details of color, texture and form. A variety of trees, shrubs, perennials, ground covers and seasonal plantings, with different shapes and distinctive foliage, bark and flowers shall be used in beds, planter boxes, pots, and/or hanging baskets.
			<i>Staff Comments</i>	<i>N/A, as this parcel is not located in the B, LB, TN, SCI-O Zoning districts.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4g	g. Storm water runoff should be retained on the site wherever possible and used to irrigate plant materials.
			<i>Staff Comments</i>	<i>Storm water runoff is located within the landscaping beds, turf area, and/or drywells, as shown on the civil plans.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(A)4h	h. A plan for maintenance of the landscaping areas is required to ensure that the project appears in a well-maintained condition (i.e., all weeds and trash removed, dead plant materials removed and replaced).
			<i>Staff Comments</i>	<i>The Applicant shall be responsible for maintaining plant material in a healthy condition. Plants were chosen for reduced maintenance, drought tolerance and ability to thrive in conditions on-site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4i	i. Retaining walls shall be designed to minimize their impact on the site and the appearance of the site.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4j	j. Retaining walls shall be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4k	k. Retaining walls, where visible to the public and/or to residents or employees of the project, shall be no higher than four feet or terraced with a three-foot horizontal separation of walls.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4l	l. Landscaping should be provided within or in front of extensive retaining walls.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4m	m. Retaining walls over 24" high may require railings or planting buffers for safety.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.06.080(A)4n	n. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.
			<i>Staff Comments</i>	<i>N/A, no retaining wall is being proposed with this project.</i>

**Additional Design Review Requirements for Multifamily Buildings within the City of Hailey**

**1. Site Planning: 17.06.080 (D) 1, items (a) thru (c)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1a	a. The location of the buildings shall respond to the specific site conditions, such as topography, street corners, open space and existing and planned adjacent uses.
			<i>Staff Comments</i>	<i>The proposed building complements the surrounding area and adjacent uses. The proposed residential use is within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts.</i>

				<i>Integration of the building to the surrounding site and landscape is an imperative facet of the project with a variety of landscaping and features providing screening for both residents and neighbors alike.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1b	<b>b. Site plans shall include a convenient, attractive, and interconnected pedestrian system of sidewalks and shared pathways to reinforce pedestrian circulation within a site.</b>
			<b>Staff Comments</b>	<i>Given the location and width of the proposed parcel, Staff and the Applicant have internally discussed creative buildout options for this part of River Street. Through this discussion, Staff recommend that, rather than having an island of River Street Typical Section improvements within this block, the Applicant shall pay in-lieu fees equivalent to those of the River Street Typical Section for this property's frontage. This payment shall be made prior to the issuance of a Certificate of Occupancy. This has been made a Condition of Approval.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)1c	<b>c. Buildings shall be organized to maximize efficient pedestrian circulation and create gathering places.</b>
			<b>Staff Comments</b>	<p><i>To ensure safe pedestrian access through the site as well as site maintenance, the Applicant has proposed to pave the site. Pedestrian amenities include shared external courtyards which are fenced in for privacy. Access to these amenities can be achieved from the paver pathway along River Street, between the two buildings, as well as from the front doors of each of the first-floor units. The open space courtyards include concrete paver patios, exterior seating area, decks for the upper units, and various landscaping to help create an inviting, safe space.</i></p> <p><i>Per the Commission's recommendations, the Applicant added another picnic table to the courtyard space on the north side of the building, as well as revised the courtyard space to include the entire space from the north side of the building to the proposed wood fence at the north property line to meet the 10% Useable Open Space requirements, as outlined in the DRO.</i></p> 

**2. Building Design: 17.06.080 (D) 2, items (a) thru (b)**

Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2a	<b>a. Buildings shall incorporate massing, group lines and character that responds to single-family homes. Buildings may also include the use of varying materials, textures and colors to break up the bulk and mass of large multi-family buildings. Windows should be residential in scale and thoughtfully placed to provide for privacy and solar gain.</b>

			<i>Staff Comments</i>	<p><i>The proposed building design provides a multifamily design that responds to the varying character of the city.</i></p> <ul style="list-style-type: none"> <li>- <i>The design of the building reflects the evolving style of Hailey. Importance has been placed on restrained and familiarity of the past and the warmth and nuance of contemporary design.</i></li> <li>- <i>The proposed open space and landscaping plan further separate the building from less intensive uses.</i></li> </ul> <p><i>The proposed residential use is located within the General Residential (GR), Downtown Residential Overlay (DRO), and Townsite Overlay (TO) Zoning Districts. This multifamily project creates a natural transition from single family use to higher-density residential use, as well as Business use, and in turn, to less-dense residential use that is evident in nearby neighborhoods.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.06.080(D)2b	<p><b>b. At ground level, buildings shall present a setting that is visually pleasing to the pedestrian and that encourages human activity and interaction.</b></p>
			<i>Staff Comments</i>	<p><i>The building achieves human scale by a prominent entrance, covered parking, open space areas, site circulation connections and various exterior materials. The proposed landscaping also maximizes human scale with the various trees, shrubs, groundcovers, grasses, and perennials, as proposed provides screening for both residents and neighbors. .</i></p>

**17.06.060 Criteria.**

- A. The Commission or Hearing Examiner shall determine the following before approval is given:**
  - 1. The project does not jeopardize the health, safety or welfare of the public.**
  - 2. The project conforms to the applicable specifications outlined in the Design Review Guidelines, as set forth herein, applicable requirements of the Hailey Municipal Code, and City Standards.**
- B. Conditions. The Commission or Hearing Examiner may impose any condition deemed necessary. The Commission or Hearing Examiner may also condition approval of a project with subsequent review and/or approval by the Administrator or Planning Staff. Conditions which may be attached include, but are not limited to those which will:**
  - 1. Ensure compliance with applicable standards and guidelines.**
  - 2. Require conformity to approved plans and specifications.**
  - 3. Require security for compliance with the terms of the approval.**
  - 4. Minimize adverse impact on other development.**
  - 5. Control the sequence, timing, and duration of development.**
  - 6. Assure that development and landscaping are maintained properly.**
  - 7. Require more restrictive standards than those generally found in the Hailey Municipal Code.**
- C. Security. The applicant may, in lieu of actual construction of any required or approved improvement, provide to the City such security as may be acceptable to the City, in a form and in an amount equal to the cost of the engineering or design, materials and installation of the improvements not previously installed by the applicant, plus fifty percent (50%), which security shall fully secure and guarantee completion of the required improvements within a period of one (1) year from the date the security is provided.**
  - 1. If any extension of the one-year period is granted by the City, each additional year, or portion of each additional year, shall require an additional twenty percent (20%) to be added to the amount of the original security initially provided.**

- 2. In the event the improvements are not completely installed within one (1) year, or upon the expiration of any approved extension, the City may, but is not obligated, to apply the security to the completion of the improvements and complete construction of the improvements.**

The following Conditions are placed on approval of this Application:

- a) All applicable Fire Department and Building Department requirements shall be met.
- b) Any change in use or occupancy type from that approved at time of issuance of Building Permit may require additional improvements and/or approvals. Additional parking may also be required upon subsequent change in use, in conformance with Hailey's Municipal Code at the time of the new use.
- c) All City infrastructure requirements shall be met. Detailed plans for all infrastructure to be installed or improved at or adjacent to the site shall be submitted for Department Head approval and shall meet City Standards where required. Infrastructure to be completed at the Applicant's sole expense include, but will not be limited to, the following requirements and/or improvements:
  - i. **Life and Safety:**
    - i. The building shall comply with IFC and IBC code requirements.
  - ii. **Water and Wastewater:**
    - i. All construction shall be to City Standards.
    - ii. The proposed sewer service location will be located at the center of the lot.
- d) The Applicant shall be responsible for the maintenance of all landscaping: perimeter, onsite, and/or street trees, as applicable.
- e) The Applicant shall pay in-lieu fees equivalent to those of the River Street Typical Section for this property's frontage. This payment shall be made prior to issuance of a Certificate of Occupancy.
- f) The project shall be constructed in accordance with the Application or as modified by these Findings of Fact, Conclusions of Law, and Decision.
- g) Except as otherwise provided, all the required improvements shall be constructed and completed, or sufficient security provided as approved by the City Attorney before a Certificate of Occupancy can be issued.
- h) This Design Review approval is for the date the Findings of Fact are signed. The Planning & Zoning Administrator has the authority to approve minor modifications to this project prior to, and for the duration of a valid Building Permit.
- i) All exterior lighting shall comply with the Outdoor Lighting Ordinance.
- j) Construction parking shall be on private property and not within the City Right-of-Way nor the edge of the road. If construction, parking, and staging is within the City Right-of-Way, applicable fees shall be paid at or prior to issuance of a Building Permit.
- k) A letter from Clear Creek Disposal shall be provided commenting on the adequacy of the proposed use of individual trash receptacles, their locations during weekly refuse removal, and their accessibility of.
- l) Upon completion of all required public landscaping and before issuance of a certificate of occupancy and/or final project approval, a licensed arborist shall certify all public tree plantings have been installed in compliance with the project approvals as to species, health, irrigation, city construction standards, project drawings, and other relevant

requirements such as Hailey Tree Committee recommendations. Similarly, any public landscape not certified by the licensed arborist shall be certified by a licensed landscape architect for same or other relevant topics. The arborist or landscape architect shall also provide documentation of public tree well inspections including dimensions and material types during the placement of all subsurface items.

- m) The transformer shall be screened from view of the public street, and is subject to approval by Idaho Power, prior to issuance of Building Permit.
- n) All ground-mounted and roof-mounted equipment shall be screened from view of surrounding properties.

**Motion Language:**

**Approval:** Motion to approve the Design Review Application submitted by McIntosh Holdings, LLC, represented by Errin Bliss with Bliss Architecture for the construction of a new 6,320 square foot multifamily development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision) finding that the project does not jeopardize the health, safety or welfare of the public and the project conforms to the applicable specifications outlined in the Design Review Guidelines, applicable requirements of the Hailey Municipal Code, Title 17, and City Standards, provided conditions (a) through (n) are met.

**Denial:** Motion to deny the Design Review Application submitted by McIntosh Holdings, LLC, represented by Erinn Bliss with Bliss Architecture, for the construction of a new 6,320 square foot multifamily development project located at 637 S. River Street (AM Lot 2A Block 1, Maple Subdivision), finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [Commission should specify a date].



# BLISSARCHITECTURE

January 22, 2025

City of Hailey  
Community Development Department  
115 South Main Street  
Attn: Ashley Dyer, City Planner

Ashley,

The following is a written summary of the changes provided to the Architectural and Landscape Architecture drawings in response to comments and conditions noted by the Commissioners during the public hearing of the January 6, 2025 Planning and Zoning Commission Meeting. These changes are documented in the revised drawings submitted to you on January 22, 2025. The changes are graphically noted with clouds and a Delta 1 revision tag. Also included, is a letter from Lyon Landscape Architects outlining the reasons to keep the planting and landscaping in the Snow Storage 'B' as originally proposed for the January 6 meeting.

## **Sheet AS101:**

1. Added another picnic table to the Courtyard space on the north side of the building.
2. Relocated the HVAC condensing units from the Trash Storage Closets on the First Floor to the exterior on the north side of the building.
3. Noted the 'Useable Open Space' of the Courtyard as 896 sq. ft.

## **Sheet A101:**

1. Removed the HVAC condensing units from the Trash Storage Closets.
2. Added (4) EV Charger outlets, (1) for each covered parking space.

## **Sheet A102:**

1. Added a window to both the SE and SW corner Bedrooms at the Second Floor to help break up the East and West exterior facades.
2. Added 'sun shading fins' to the South, East, and West Bedroom windows to provide solar shading.

## **Sheet A103:**

1. Added a window to both the SE and SW corner Bedrooms at the Third Floor to help break up the East and West exterior façades.
2. Added 'sun shading fins' to the South, East, and West Bedroom windows to provide solar shading.

## **Sheet A201:**

1. Added a roof covering over the stairs.
2. Added 'sun shading fins' to the East and West elevations at the Second and Third Floor Bedroom windows to provide morning and afternoon solar shading.

# BLISSARCHITECTURE

## Sheet A202:

1. Added a roof covering over the stairs.
2. Added 'sun shading fins' to the East and West elevations at the Second and Third Floor Bedroom windows to provide morning and afternoon solar shading.

## Sheet A203:

1. Added a window to the corner Bedrooms at the Second and Third Floors at both the East and West facades to help break up the uniformity of the Cement Board Siding.
2. Added 'sun shading fins' to the East and West elevations at the Second and Third Floor Bedroom windows to provide morning and afternoon solar shading.
3. Broke up the uniformity of the Cement Board Siding of both the East and West facades by adding sections of the 'WS-1' Wood Siding.

## Sheet A204:

1. Updated the renderings accordingly per the aforementioned items.
2. Added the proposed wood fence enclosing the Courtyard. Renderings are also included that omit the fence to clearly show the First Floor exterior facades.

## Sheet A205:

1. Updated the renderings accordingly per the aforementioned items.
2. Added the proposed wood fence enclosing the Courtyard. Renderings are also included that omit the fence to clearly show the First Floor exterior facades.

## Sheet L1.00:

1. Added another picnic table to the Courtyard space on the north side of the building.
2. Revised the Courtyard space to include the entire space from the north side of the building to the proposed wood fence at the north property line to meet the 10% Useable Open Space requirements.

I hope this helps to clarify the changes the Commission requested. Please let me know if you have any questions or comments.

Sincerely,



Errin Bliss, Architect, AIA

**637 RIVER ST MULTI-FAMILY PROJECT – HAILEY, ID**  
**Landscape Narrative Relating To The NW Corner**

January 21, 2025

To Whom it May Concern,

My name is Moghan Lyon, partner at Lyon Landscape Architects. We have worked in and with the City of Hailey for a number of years, including sharing an office with Bliss Architecture, across the street from Hailey City Hall from 2018 to 2022.

This letter is a response to the concern about the northwest corner of the 637 River St Multi-Family project that has been reviewed on multiple occasions. It is my understanding that the Commission has requested the NW corner of the site to be modified to accommodate additional seating, by removing proposed vegetation. My response is below.

I do not believe the northwest corner of the proposed site should be redesigned to accommodate an additional seating area for the following reasons:

1. The current plans currently meet the Usable Open Space requirements
2. The northwest corner is an area being proposed for snow storage. Any seating areas would need to be removed during the winter, requiring the owner to find a place to store the seating area and moving the seating area twice a year. This is not reasonable for the size of project.
3. The northwest corner has a transformer that is currently proposed to be screened by vegetation from the units. Reducing the plant material and changing the surfacing would reduce the vegetative screening
4. Close proximity of gathering spaces is not ideal next to a transformer that requires access.
5. The vegetation increases habitat for pollinators and other wildlife, reduces the heat island effect of the parking area and provides a human scale landscape element that ties in with the proposed building scale
6. The proposed vegetation includes ornamental grasses, hardy low growing shrubs and trees along the north side of the space. The grasses typically are cut to 4" – 6" in the fall, the shrubs tolerate snow and the trees provide important screening elements. These do not create a conflict with the intended snow storage use.
7. A seating area in a sea of parking, next to a transformer, is not the most welcome place to host guests.
8. Understanding the concern of gathering spaces, an additional seating area has been added to the community Usable Open Space area north of the building.

Thank you for the opportunity to respond to your comments and concerns.

Regards,



Moghan Lyon  
Partner, Lyon Landscape Architect

ABBREVIATIONS	
Ø	AT
AB	ANCHOR BOLT
ABC	AGGREGATE BASE COURSE
AFF	ABOVE FINISH FLOOR
AFG	ABOVE FINISH GRADE
ALT	ALTERNATE
ALUM	ALUMINUM
BD	BOARD
BLDG	BUILDING
BO	BOTTOM OF
BOD	BOTTOM OF DECK
CA	CLEAR ANODIZED
CC	CENTER TO CENTER
CIP	CAST IN PLACE
CL	CENTER LINE
CLNG	CEILING
CLR	CLEAR
CJ	CONTROL JOINT
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DET	DETAIL
DM	DIMENSION
DN	DOWN
DWG	DRAWING
EA	EACH
ELEG	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXT	EXTERIOR
EXIST	EXISTING
FA	FIRE ALARM
FACP	FIRE ALARM CONTROL PANEL
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR ELEVATION
FN	FINISH
FLR	FLOOR
FT	FOOT OR FEET
FV	FIELD VERIFY
GA	GAUGE
GALV	GALVANIZED
GLB	GLUE LAMINATED BEAM
GSF	GROSS SQUARE FEET
GYP	GYPSPUM
HB	HOSE BIBB
HW	HARDWARE
HR	HOUR
INSUL	INSULATION
INT	INTERIOR
JNT	JOINT
LAM	LAMINATE
MAT	MATERIAL
MAX	MAXIMUM
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
N	NORTH
NTS	NOT TO SCALE
OC	ON CENTER
OH	OVERHEAD
OPP	OPPOSITE
OSB	ORIENTED STRAND BOARD
PL	PLATE
PR	PAIR
RA	RETURN AIR
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
REF	REFERENCE
REQD	REQUIRED
REV	REVISION
RO	ROUGH OPENING
ROW	RIGHT OF WAY
SC	SOLID CORE
SCHED	SCHEDULE
SF	SQUARE FEET
SHT	SHEET
SM	SIMILAR
STL	STEEL
STRUC	STRUCTURAL
T&G	TONGUE & GROOVE
TO	TOP OF
TOB	TOP OF BEAM
TOM	TOP OF MASONRY
TOW	TOP OF WALL
TYP	TYPICAL
UL	UNDERWRITERS LABORATORIES
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
WC	WATER CLOSET
WD	WOOD
W	WITH
W/O	WITHOUT

DRAWING SYMBOLS	
BUILDING SECTION CUT	
WALL SECTION CUT	
DETAIL SECTION CUT	
DETAIL REFERENCE	
ROOM NAME	
DOOR TYPE	
WINDOW TYPE	
WALL TYPE	
ELEVATION INDICATOR	
INTERIOR ELEVATION	

**PROJECT TEAM**

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HAILEY, IDAHO 83433

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T.B.D.

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www.opal-engineering.com

**LANDSCAPE ARCHITECT:**  
LYON LANDSCAPE ARCHITECTS  
MORGAN LYON, RLA  
PHONE: 203-209-4033  
EMAIL: morgan@lyonla.com

**STRUCTURAL ENGINEER:**  
VECTOR STRUCTURAL ENGINEERS, LLC  
KYLE ATWOOD, PE  
PHONE: 208-695-0142  
EMAIL: kyle.atwood@vectorse.com  
1550 SOUTH CLOVERDALE ROAD, SUITE 315  
BOISE, IDAHO 83709

**PROJECT DESCRIPTION**

**PROJECT NAME:**  
SIX THIRTY SEVEN APARTMENTS

**BUILDING CODE DATA**

APPLICABLE BUILDING CODES:  
2018 INTERNATIONAL BUILDING CODE WITH CITY OF HAILEY & STATE OF IDAHO AMENDMENTS

2018 INTERNATIONAL FIRE CODE WITH CITY OF HAILEY AMENDMENTS

2018 INTERNATIONAL ENERGY CONSERVATION CODE WITH CITY OF HAILEY & STATE OF IDAHO AMENDMENTS

**OCCUPANCY TYPE:**  
RESIDENTIAL GROUP R-2

**CONSTRUCTION TYPE:**  
V-B-SPRINKLERED

**PROJECT SITE**

**VICINITY MAP**  
SCALE: N.T.S.

**SHEET INDEX**

A000	COVER SHEET
AS100	CONTEXT SITE PLAN
AS101	ARCHITECTURAL SITE PLAN
AS102	STAGING & CONTRACTOR PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS
A203	BUILDING ELEVATIONS
A204	BUILDING RENDERINGS
A205	BUILDING RENDERINGS
C0.1	CIVIL COVER SHEET
C0.2	DETAIL SHEET
C0.3	DETAIL SHEET
C1.0	SITE GEOMETRY AND GRADING PLAN
C1.1	SITE IMPROVEMENTS PLAN
L1.00	LAYOUT PLAN
L1.01	PLANTING DETAILS
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**SIX THIRTY SEVEN APARTMENTS**  
**637 S. RIVER STREET | HAILEY | IDAHO**  
**BLISSARCHITECTURE**

O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY, IDAHO 83433  
 P | 208-721-7424 | W | BLISSARCHITECTURE.COM

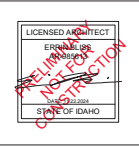
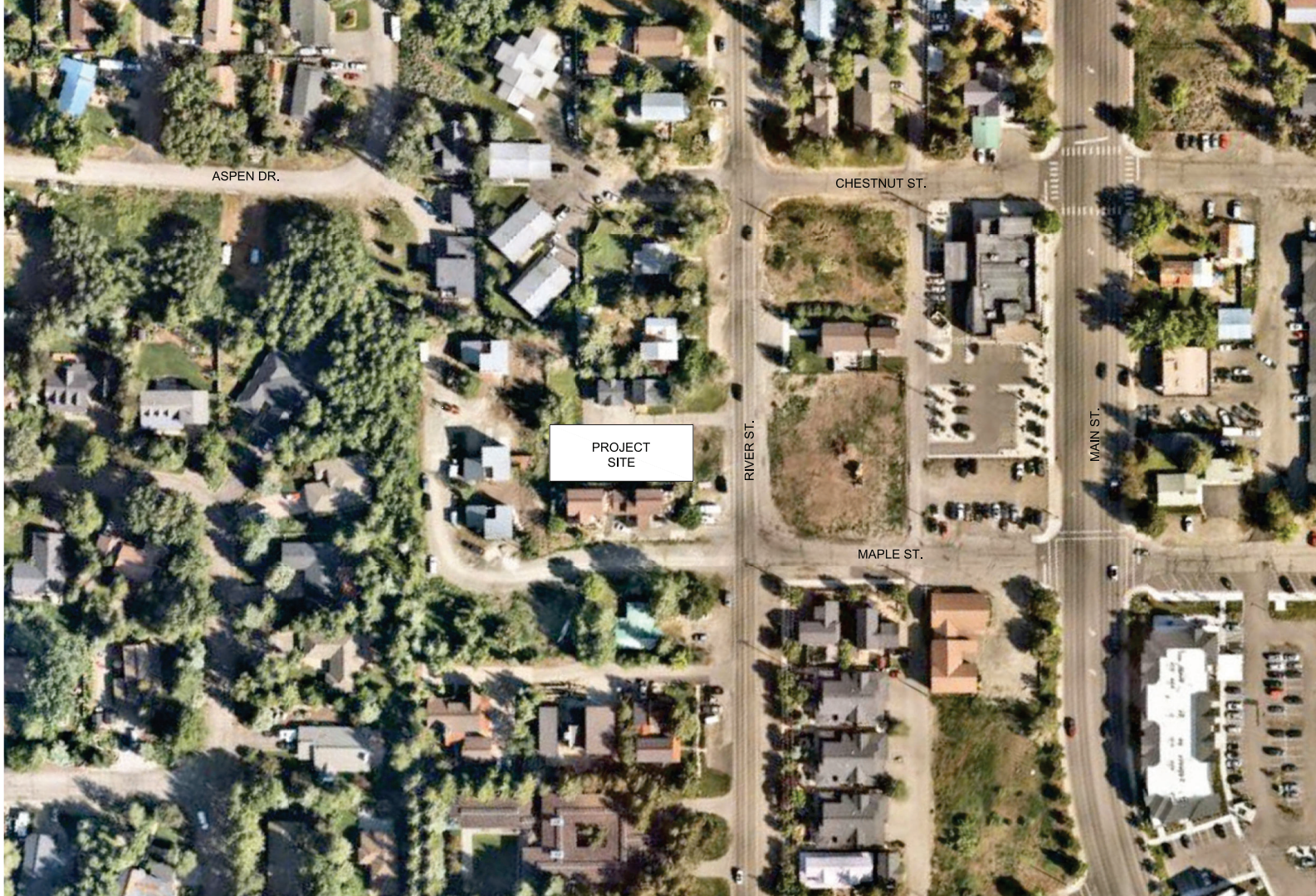
PROJECT NO.   202401
DRAWN BY   EMB CHECKED BY   EMB
CITY OF HAILEY DESIGN REVIEW MTG. DATE   01 06 2025
COVER SHEET

A000

# SIX THIRTY SEVEN APARTMENTS

## HAILEY, IDAHO

MATERIALS AND FINISHES TO BE DETERMINED BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAILEY AND THE STATE OF IDAHO. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAILEY AND THE STATE OF IDAHO.



SIX THIRTY SEVEN APARTMENTS  
 637 S. RIVER STREET | HAILEY | IDAHO  
**BLISSARCHITECTURE**

O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY, IDAHO 83433  
 P | 208-721-7424 | W | BLISSARCHITECTURE.COM

PROJECT NO. | 202401

DRAWN BY | EMB  
 CHECKED BY | EMB

CITY OF HAILEY  
 DESIGN REVIEW MTG.  
 DATE | 01 06 2025

CONTEXT  
 SITE PLAN

AS100

PNV CONTEXT SITE PLAN  
 SCALE: 1" = 50'-0"

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**SNOW STORAGE CALCS.**

TOTAL IMPROVED ON-SITE VEHICLE & PEDESTRIAN CIRCULATION AREAS NOT COVERED BY ROOFS, ROOF EAVES, & DECKS ABOVE:  
4,000 S.F.

ON-SITE SNOW STOR. REQUIRED:  
4,000 S.F. x 25% = 1,000 S.F.

ON-SITE SNOW STOR. PROVIDED:  
ON-SITE SNOW STOR. AREA 'A': 471 S.F.  
ON-SITE SNOW STOR. AREA 'B': 502 S.F.  
  
TOTAL: 1,023 S.F.

**SITE DATA**

SITE ADDRESS:  
637 S. RIVER STREET  
HAILEY, IDAHO

LEGAL DESCRIPTION:  
HAILEY LOT 2A BLK 1

PARCEL NUMBER:  
RPH045200002A

ZONING DISTRICT:  
GR - GENERAL RESIDENTIAL

ZONING SUBDISTRICTS:  
TOWNSITE OVERLAY DISTRICT  
DOWNTOWN RESIDENTIAL OVERLAY DISTRICT

LOT AREA:  
TOTAL: 48.20 ACRES (48,840 S.F.)

LOT COVERAGE:  
ALLOWED: 30%  
PROVIDED: BUILDING FOOTPRINTS = 2,800 S.F. (8,840 S.F. = 20%)

MIN. USEABLE OPEN SPACE:  
REQUIRED: 10% OF TOTAL LOT AREA = 884 S.F.  
PROVIDED: SEE LANDSCAPE DRAWINGS

MIN. FRONT YARD SETBACK AT RIVER STREET:  
REQUIRED: 12'-0"  
PROVIDED: SEE SITE PLAN

MIN. REAR YARD SETBACK:  
REQUIRED: 1'-0" FOR EVERY 2'-0" OF WALL HEIGHT (30'-0") = 12'-0"  
PROVIDED: SEE SITE PLAN

MIN. SIDE YARD SETBACK AT SOUTH PROPERTY LINE:  
REQUIRED: 1'-0" FOR EVERY 2'-0" OF WALL HEIGHT (25'-0") = 10'-0"  
PROVIDED:

MIN. SIDE YARD SETBACK AT NORTH PROPERTY LINE:  
REQUIRED: 1'-0" FOR EVERY 2'-0" OF WALL HEIGHT (25'-0") = 10'-0"  
PROVIDED: SEE SITE PLAN

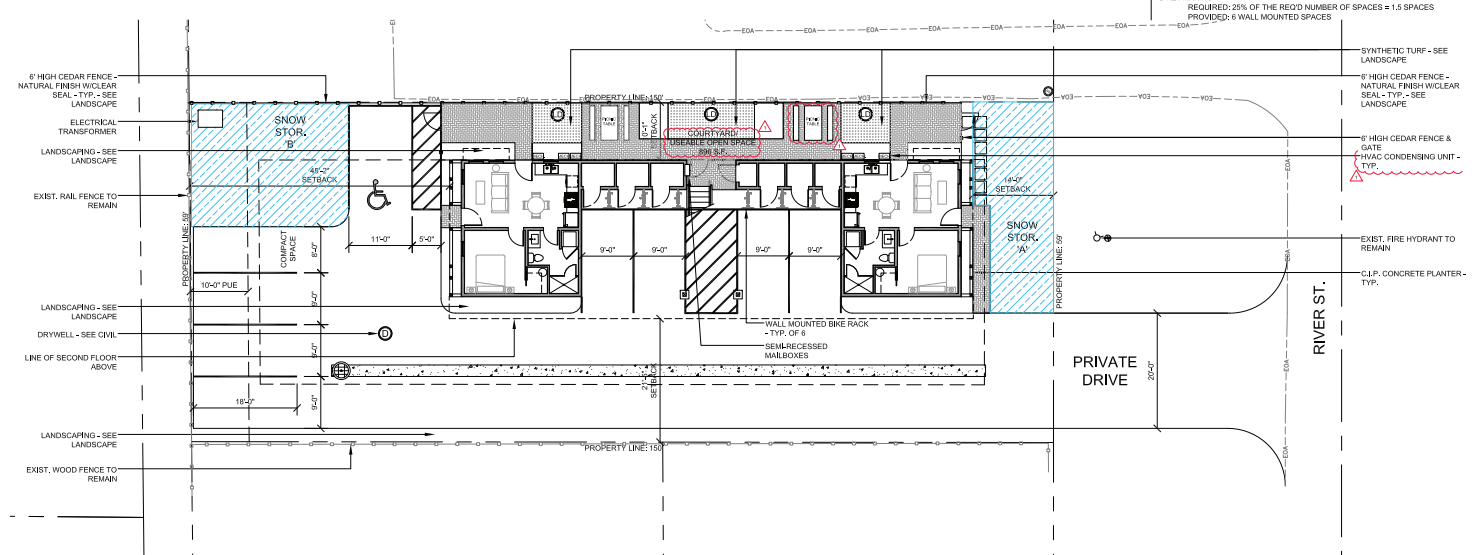
MAX. BUILDING HEIGHT:  
ALLOWED: 30'-0"  
PROVIDED: SEE BUILDING ELEVATIONS

APARTMENT GROSS AREA:  
UNIT 1: 498 S.F.  
UNIT 2: 498 S.F.  
UNIT 3: 1,114 S.F.  
UNIT 4: 1,114 S.F.  
UNIT 5: 1,114 S.F.  
UNIT 6: 1,114 S.F.

BUILDING GROSS AREA:  
FIRST FLOOR: 1,162 S.F.  
SECOND FLOOR: 2,698 S.F.  
THIRD FLOOR: 2,538 S.F.  
TOTAL: 6,398 S.F.

ON-SITE PARKING:  
REQUIRED: 1 SPACE PER UNIT = 6 SPACES  
PROVIDED: 1 COMPACT SPACE  
1 ADA SPACE  
7 REGULAR SPACES

BIKE PARKING:  
REQUIRED: 25% OF THE REQ'D NUMBER OF SPACES = 1.5 SPACES  
PROVIDED: 6 WALL MOUNTED SPACES



SIX THIRTY SEVEN APARTMENTS  
637 S. RIVER STREET | HAILEY | IDAHO  
BLISSARCHITECTURE

PROJECT NO. | 202401

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CHECKED BY | EMB

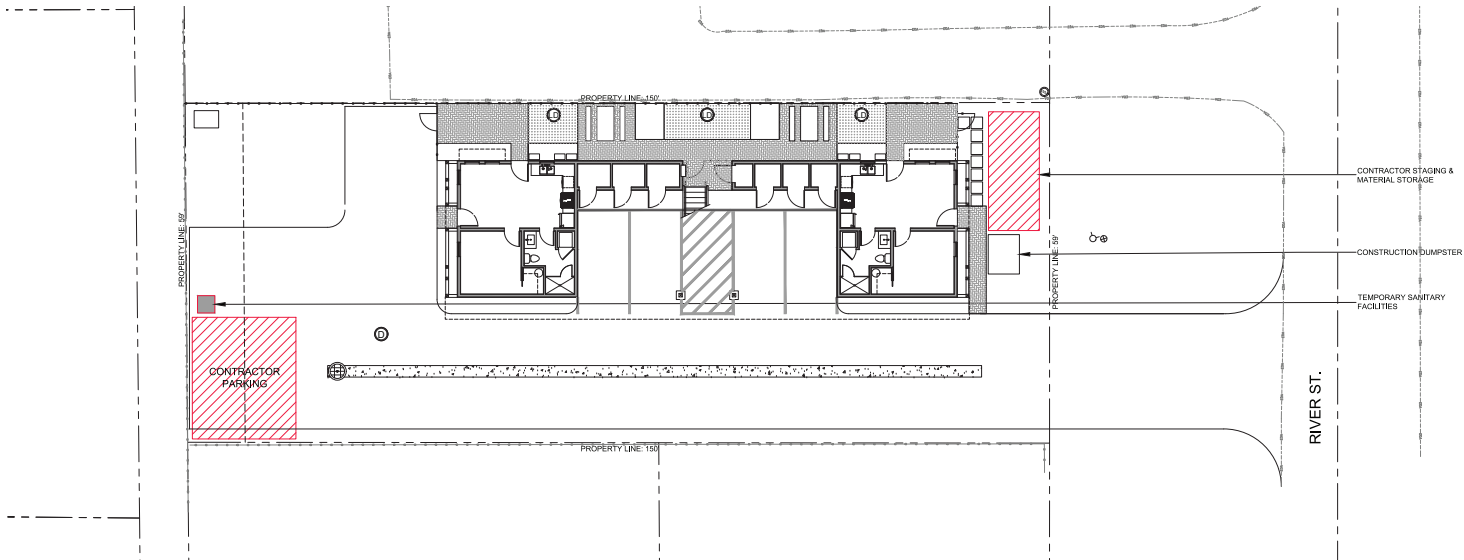
CITY OF HAILEY DR SUBMITTAL  
DATE | 11.22.2024  
SITS CONTRIBUTED  
DATE | 01.22.2025

ARCHITECTURAL  
SITE PLAN

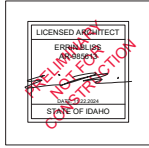
AS101

PNV ARCHITECTURAL SITE PLAN  
SCALE: 1" = 10'-0"

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**PN** STAGING &  
CONTRACTOR PARKING PLAN  
SCALE: 1" = 10'-0"



**SIX THIRTY SEVEN APARTMENTS**  
**637 S. RIVER STREET | HAILEY | IDAHO**  
**BLISSARCHITECTURE**

O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY | IDAHO 83333  
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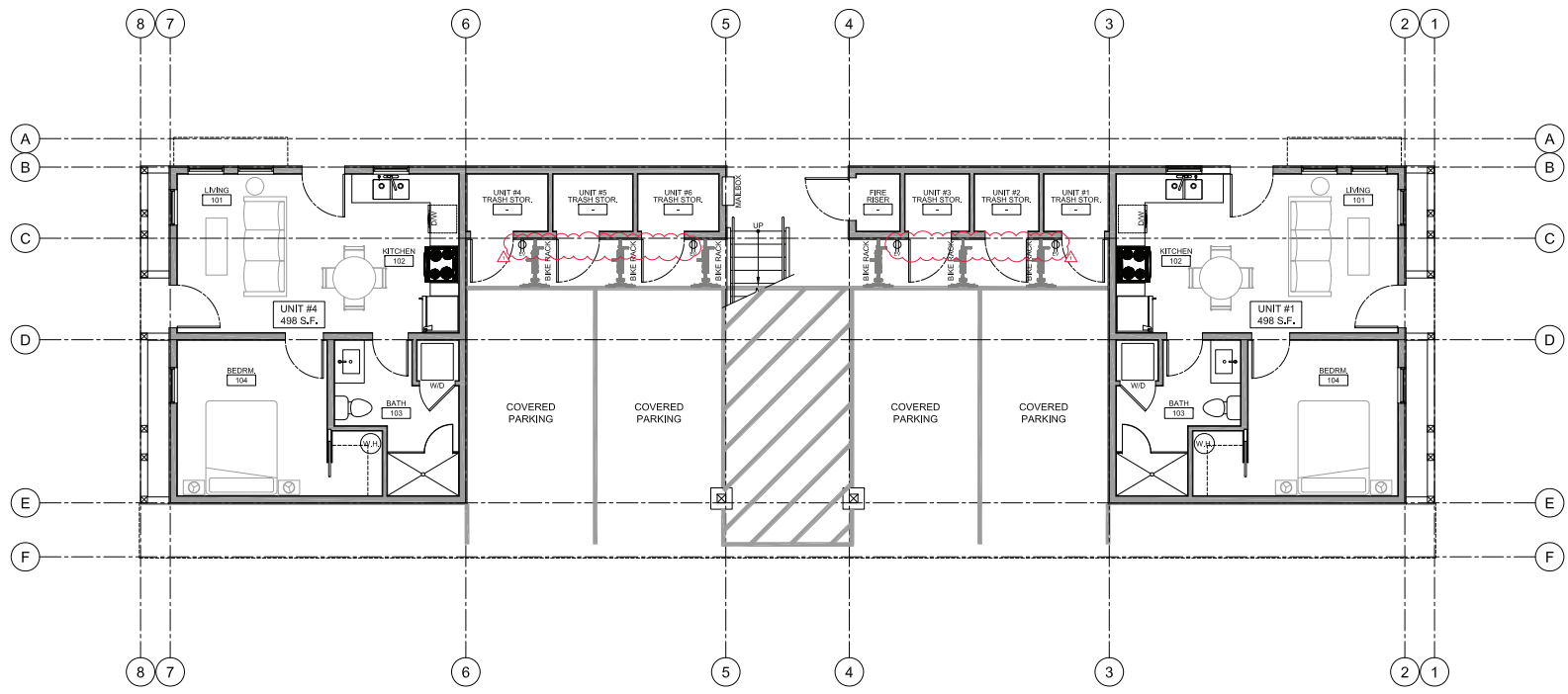
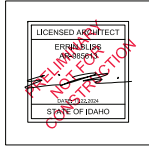
PROJECT NO. | 202401  
DRAWN BY | EMB  
CHECKED BY | EMB  
CITY OF HAILEY  
DESIGN REVIEW MTG.  
DATE | 01 06 2025  
STAGING & CONTRACTOR  
PARKING PLAN

**AS102**

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**GENERAL NOTES**

1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEM WALL UNQ.
2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD UNQ.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.



**SIX THIRTY SEVEN APARTMENTS**  
**637 S. RIVER STREET | HAILEY | IDAHO**  
**BLISSARCHITECTURE**

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PROJECT NO. | 202401

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CHECKED BY | EMB

CITY OF HAILEY OR SUBMITTAL  
DATE | 11-22-2024  
CITY COMMENTS  
DATE | 11-22-2025

FIRST FLOOR PLAN

A101

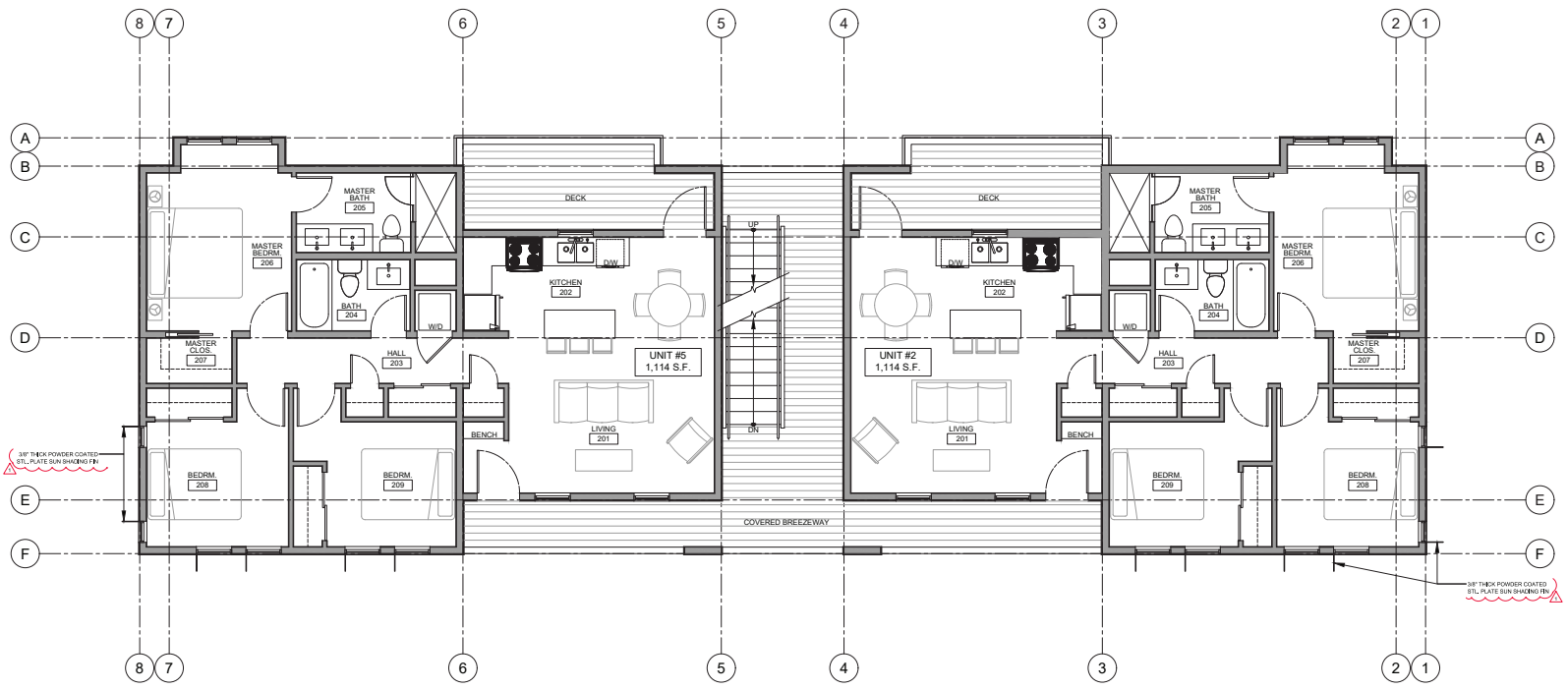
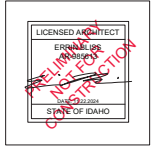
PNV FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.



**SIX THIRTY SEVEN APARTMENTS**  
**637 S. RIVER STREET | HAILEY | IDAHO**  
**BLISSARCHITECTURE**

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PROJECT NO. | 202401  
 DRAWN BY | EMB  
 CHECKED BY | EMB  
 CITY OF HAILEY DR SUBMITTAL  
 DATE | 11-22-2024  
 CITY COMMISSIONER'S  
 DATE | 01-22-2025

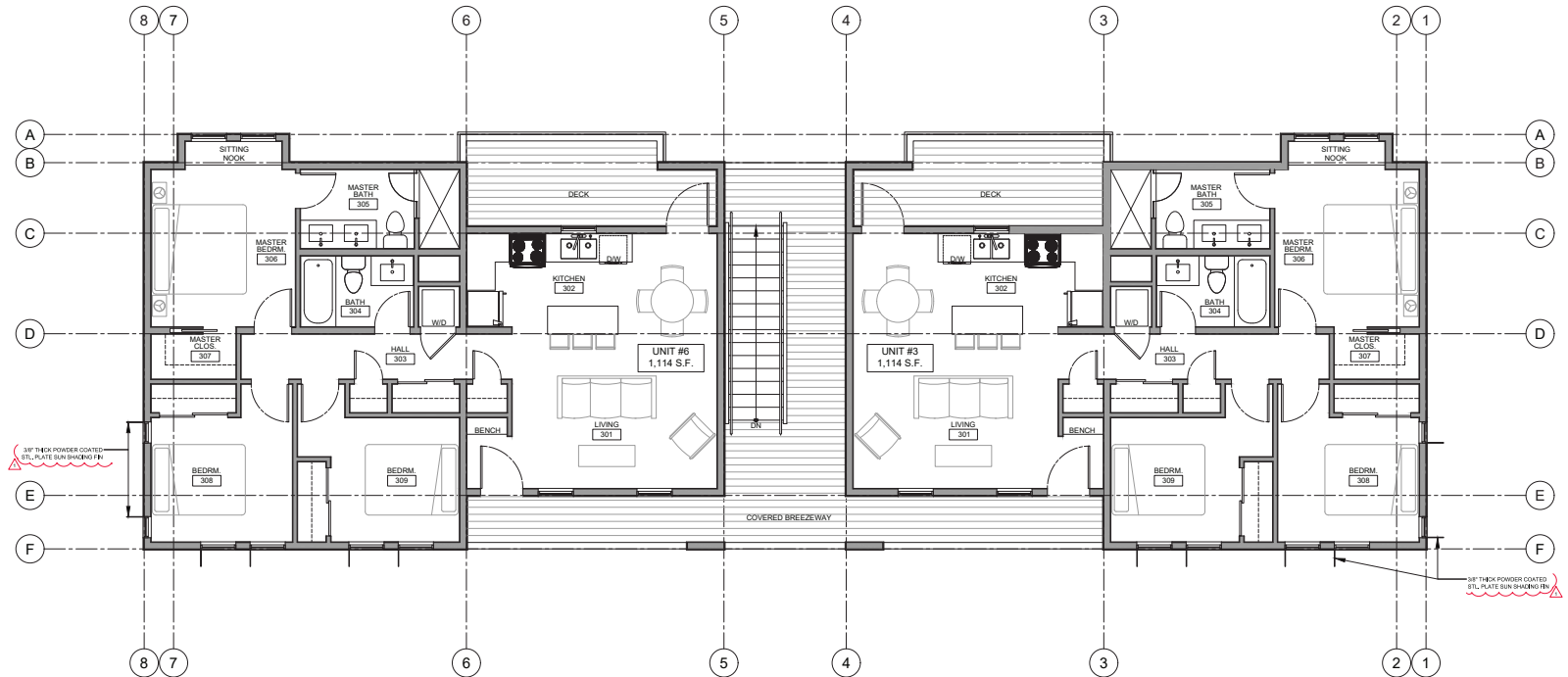
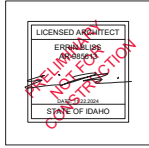
SECOND FLOOR  
 PLAN  
**A102**

**PN** SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

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**GENERAL NOTES**

1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEM WALL U.N.O.
2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.



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**SIX THIRTY SEVEN APARTMENTS**  
**637 S. RIVER STREET | HAILEY | IDAHO**  
**BLUSSARCHITECTURE**

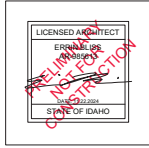
PROJECT NO. | 202401  
 DRAWN BY | EMB  
 CHECKED BY | EMB  
 CITY OF HAILEY DR SUBMITTAL  
 DATE | 11.22.2024  
 CITY COMMENTS  
 DATE | 01.22.2025

THIRD FLOOR PLAN

**A103**

**PN** **THIRD FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

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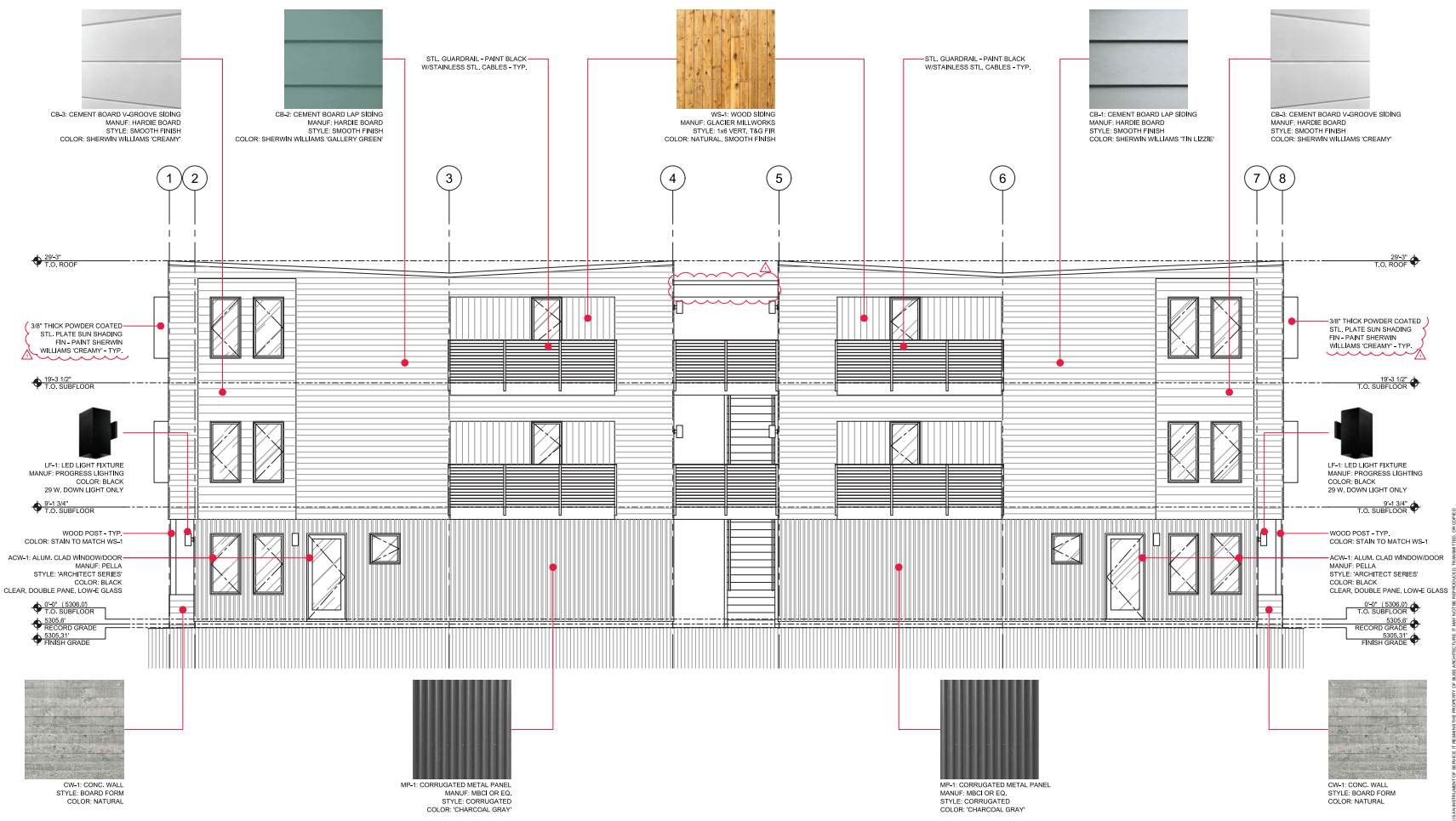
SIX THIRTY SEVEN APARTMENTS  
 637 S. RIVER STREET | HAILEY | IDAHO

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PROJECT NO. | 202401  
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 CHECKED BY | EMB  
 CITY OF HAILEY DR SUBMITTAL  
 DATE | 11.22.2024  
 CITY COMMISSIONERS  
 DATE | 01.22.2025

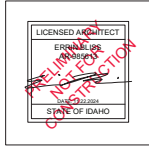
BUILDING ELEVATIONS

A201



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NORTH ELEVATION  
 SCALE: 1/4" = 1'-0" 1



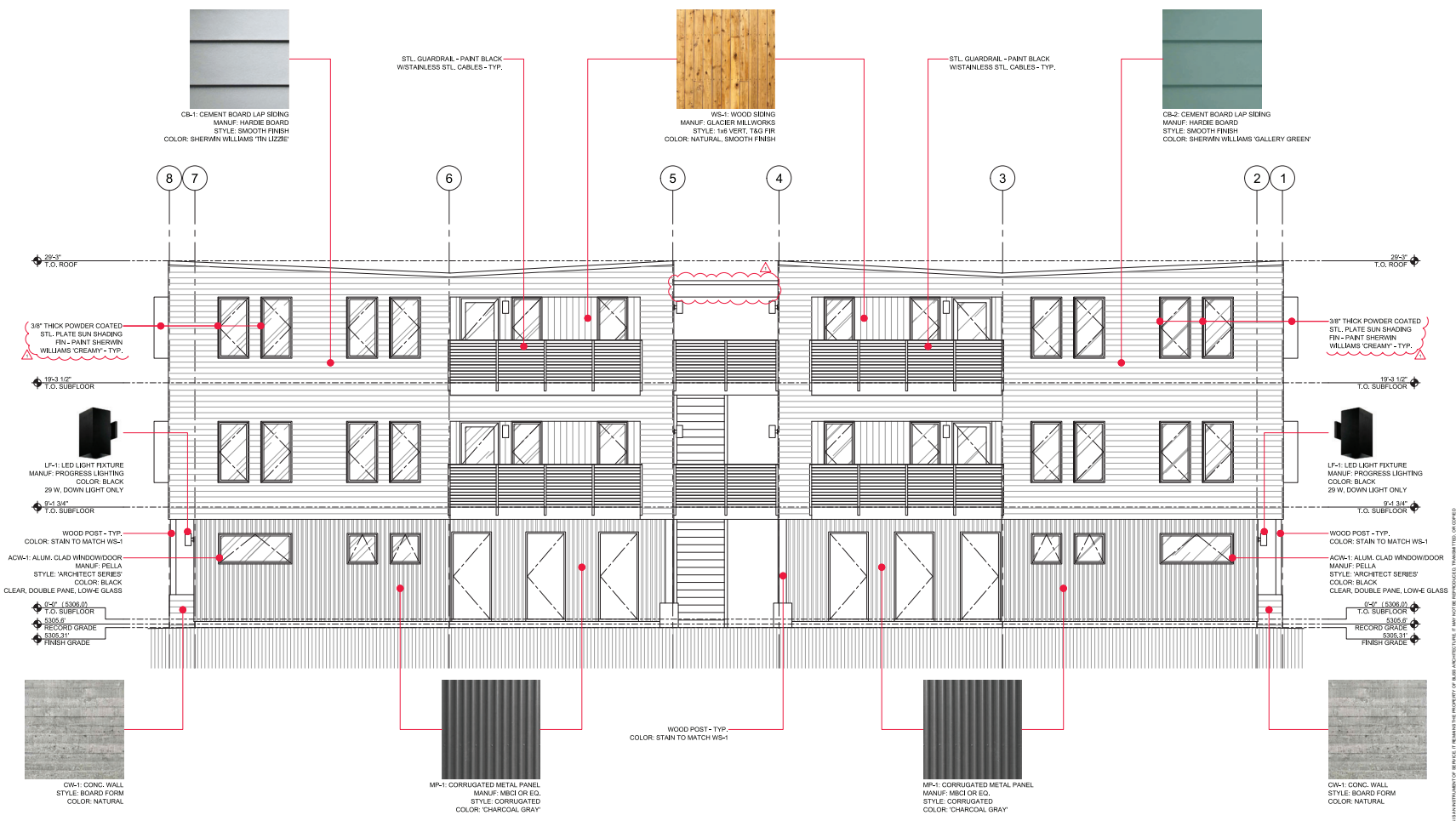
SIX THIRTY SEVEN APARTMENTS  
 637 S. RIVER STREET | HAILEY | IDAHO

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PROJECT NO. | 202401  
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 CITY OF HAILEY DR SUBMITTAL  
 DATE | 11.22.2024  
 CITY COMMISSIONS  
 DATE | 01.22.2025

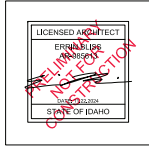
BUILDING  
 ELEVATIONS

A202



**SOUTH ELEVATION**  
 SCALE: 1/4" = 1'-0"  
 1

MATERIALS AND FINISHES: ALL MATERIALS AND FINISHES TO BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAILEY AND THE STATE OF IDAHO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAILEY AND THE STATE OF IDAHO.



SIX THIRTY SEVEN APARTMENTS  
 637 S. RIVER STREET | HAILEY | IDAHO

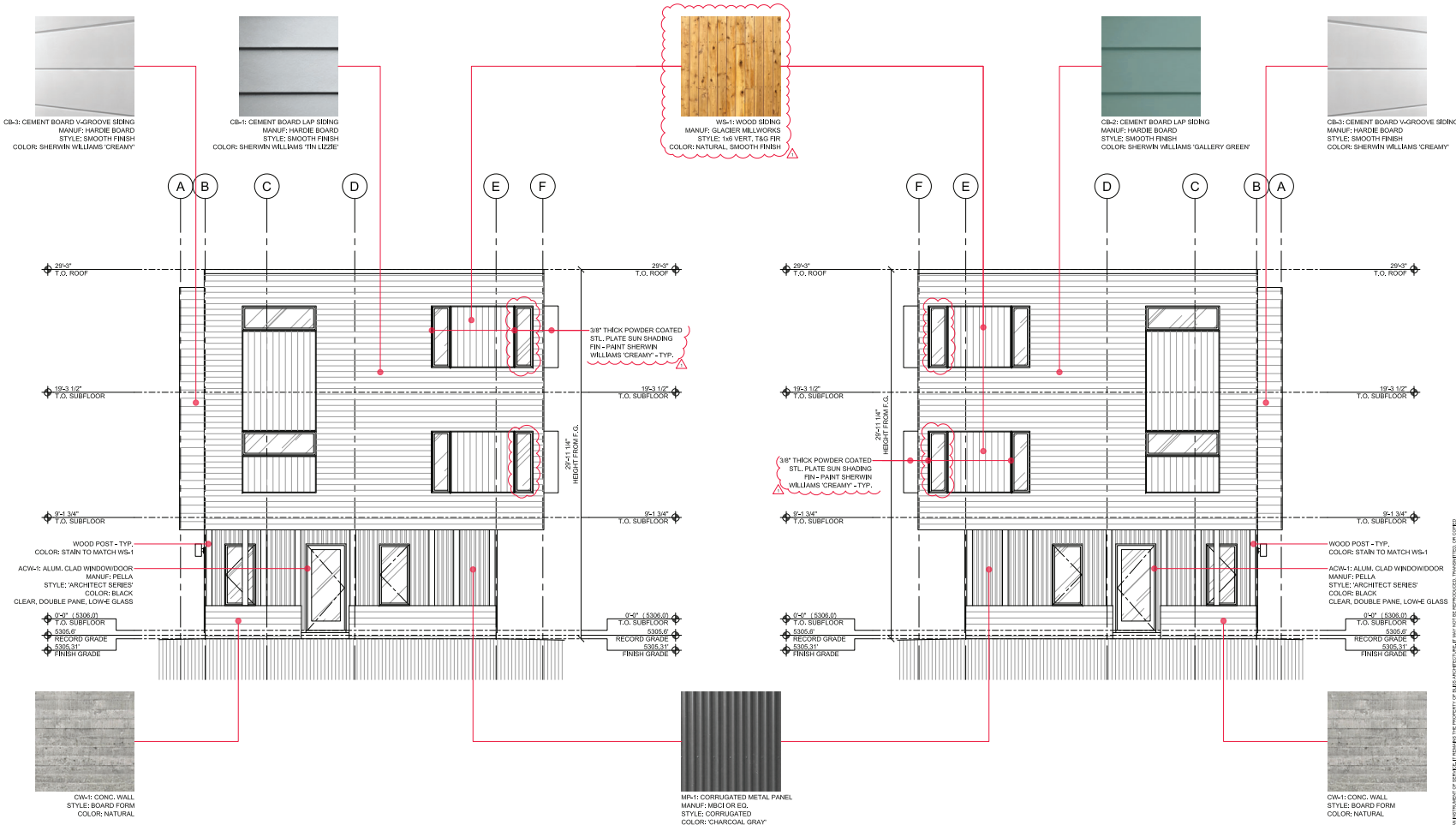
BLISSARCHITECTURE  
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PROJECT NO. | 202401  
 DRAWN BY | EMB  
 CHECKED BY | EMB  
 CITY OF HAILEY OR SUBMITTAL  
 DATE | 11-22-2024  
 CITY COMPLETION  
 DATE | 01-22-2025

BUILDING  
 ELEVATIONS

A203

THE DESIGNER HAS OBTAINED THE NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAILEY, IDAHO. THE DESIGNER HAS OBTAINED THE NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAILEY, IDAHO. THE DESIGNER HAS OBTAINED THE NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAILEY, IDAHO.



WEST ELEVATION  
 SCALE: 1/4" = 1'-0"  
 2

EAST ELEVATION  
 SCALE: 1/4" = 1'-0"  
 1

CB-3: CEMENT BOARD V-GROOVE SIDING  
 MANUF: HARBOE BOARD  
 STYLE: SMOOTH FINISH  
 COLOR: SHERWIN WILLIAMS 'CREAMY'

CB-1: CEMENT BOARD LAP SIDING  
 MANUF: HARBOE BOARD  
 STYLE: SMOOTH FINISH  
 COLOR: SHERWIN WILLIAMS 'TIN LIZZIE'

WS-1: WOOD SIDING  
 MANUF: GLADIER MILLWORKS  
 STYLE: 1x6 VERT, T&G FIR  
 COLOR: NATURAL, SMOOTH FINISH

CB-2: CEMENT BOARD LAP SIDING  
 MANUF: HARBOE BOARD  
 STYLE: SMOOTH FINISH  
 COLOR: SHERWIN WILLIAMS 'GALLERY GREEN'

CB-3: CEMENT BOARD V-GROOVE SIDING  
 MANUF: HARBOE BOARD  
 STYLE: SMOOTH FINISH  
 COLOR: SHERWIN WILLIAMS 'CREAMY'

WOOD POST - TYP.  
 COLOR: STAIN TO MATCH WS-1

ACW-5: ALUM. CLAD WINDOW/DOOR  
 MANUF: PELLA  
 STYLE: 'ARCHITECT SERIES'  
 COLOR: BLACK  
 CLEAR, DOUBLE PANEL, LOWE GLASS

3/8" THICK POWDER COATED  
 STL. PLATE SUN SHADING  
 FIN - PAINT SHERWIN  
 WILLIAMS 'CREAMY' - TYP.

3/8" THICK POWDER COATED  
 STL. PLATE SUN SHADING  
 FIN - PAINT SHERWIN  
 WILLIAMS 'CREAMY' - TYP.

WOOD POST - TYP.  
 COLOR: STAIN TO MATCH WS-1

ACW-1: ALUM. CLAD WINDOW/DOOR  
 MANUF: PELLA  
 STYLE: 'ARCHITECT SERIES'  
 COLOR: BLACK  
 CLEAR, DOUBLE PANEL, LOWE GLASS

CW-5: CONC. WALL  
 STYLE: BOARD FORM  
 COLOR: NATURAL

MP-1: CORRUGATED METAL PANEL  
 MANUF: MCCI OR EQ.  
 STYLE: CORRUGATED  
 COLOR: 'CHARCOAL GRAY'

CW-1: CONC. WALL  
 STYLE: BOARD FORM  
 COLOR: NATURAL



CONCEPTUAL NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



CONCEPTUAL SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



CONCEPTUAL WEST ELEVATION  
SCALE: 1/4" = 1'-0"



CONCEPTUAL EAST ELEVATION  
SCALE: 1/4" = 1'-0"



CONCEPTUAL NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



CONCEPTUAL SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"





CONCEPTUAL WEST ELEVATION  
SCALE: 1/4" = 1'-0"

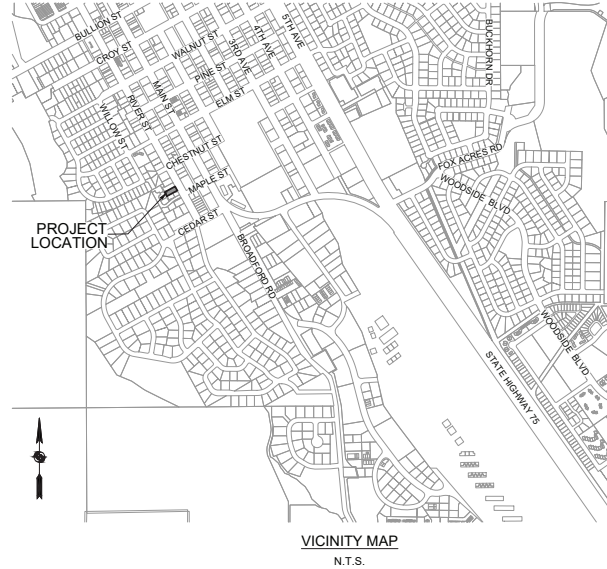


CONCEPTUAL EAST ELEVATION  
SCALE: 1/4" = 1'-0"

# SIX THIRTY SEVEN RIVER STREET HAILEY, IDAHO NOVEMBER 2024

## GENERAL CONSTRUCTIONS NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF HAILEY STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE. OPAL ENGINEERING, PLLC IS NOT RESPONSIBLE FOR IDAHO POWER OR OTHER DRY UTILITY SERVICE REQUEST.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D4958. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (TO STANDARD 703.04, 2") SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (TO STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 (TO T-91).
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED PRIOR TO REPLACING ASPHALT. THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPCW SECTIONS 701, 703, AND 705 AND CITY OF HAILEY STANDARD DRAWINGS. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1 WITH A MINIMUM OF 1.5 LB/CCY FIBER REINFORCEMENT. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-04. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR SHALL PROVIDE MIX DESIGN, CURING AND PROTECTION PLAN (ISPCW 703.3.5), AND POST POUR CURE SEALING COMPOUND TYPE AND APPLICATION PLAN TO CITY OF HAILEY PRIOR TO INSPECTIONS.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301 AND CITY OF HAILEY STANDARD DRAWING 18.14.010 A.1. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY ALPINE ENTERPRISES INC., RECEIVED ON APRIL 19, 2024.



## SHEET INDEX

SHEET#	DESCRIPTION
C0.1	COVER SHEET
C0.2	DETAIL SHEET
C0.3	DETAIL SHEET
C1.0	SITE GEOMETRY AND GRADING PLAN
C1.1	SITE IMPROVEMENTS PLAN

**CIVIL ENGINEER**  
SAMANTHA STAHLNECKER, PE  
OPAL ENGINEERING, PLLC  
416 S. MAIN STREET SUITE 204  
PO BOX 2530  
HAILEY, IDAHO 83333



REVISION NO.	DATE	DESCRIPTION
A	01/20/25	UPDATE PER ARCHITECTURAL CHANGES

PURPOSE: ISSUE FOR DESIGN REVIEW (11/22/2024)



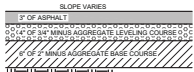
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**COVER SHEET**

SIX THIRTY SEVEN RIVER STREET  
PREPARED FOR MCINTOSH HOLDINGS, LLC

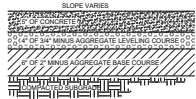
24010  
PROJECT NUMBER

C0.1



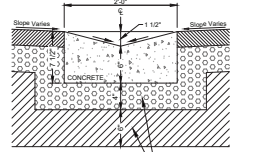
- NOTES:**
1. SUBBASE CAN BE 2" TYPE I OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  2. MATERIALS SHALL CONFORM WITH CURRENT IPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  4. CURBED STREET SECTION CONSTRUCTION SHALL CONFORM TO CITY OF HAILEY STANDARD DRAWING 18.14.012.1.

**1**  
C0.2 **TYPICAL ASPHALT SECTION**  
N.T.S.



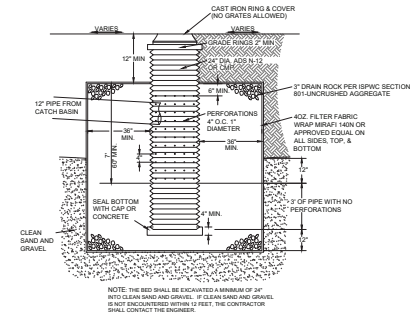
- NOTES:**
1. INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
  - 1.5\"/>
  3. SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 2\"/>
  4. WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 6\"/>
  5. MATERIALS SHALL CONFORM WITH CURRENT IPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  6. CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

**2**  
C0.2 **TYPICAL CONCRETE SECTION**  
N.T.S.

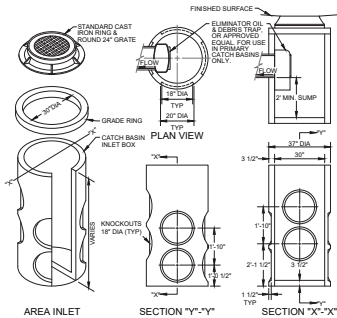


- NOTES:**
1. SUBBASE CAN BE 2" TYPE I OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  2. MATERIALS SHALL CONFORM WITH CURRENT IPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  4. 12-INCH PERFORMED EXPANSION JOINT MATERIAL (AASHTO 213) AT TERMINAL POINTS OF RADIUS.
  5. CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10 FEET MAXIMUM SPACING (8 FEET WIDEWALK).

**3**  
C0.2 **24" WIDE CONCRETE VALLEY GUTTER**  
N.T.S.

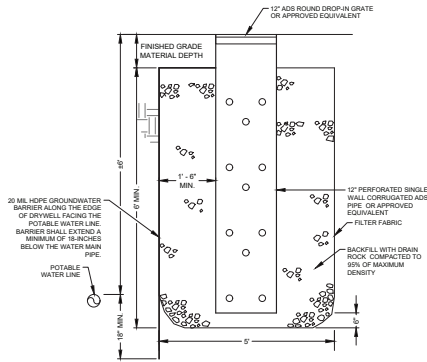


**4**  
C0.2 **CITY OF HAILEY DRYWELL DETAIL (18.14.010,D4)**  
N.T.S.

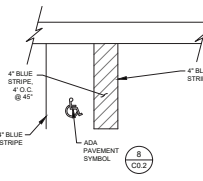


- CATCH BASIN INSTALLATION NOTES:**
1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE SECOND STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
  2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY. NOT ON SATELLITE CATCH BASINS.
  3. PLACE A MINIMUM OF 4\"/>
  4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
  5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

**5**  
C0.2 **30" DIAMETER PRIMARY CATCH BASIN**  
N.T.S.

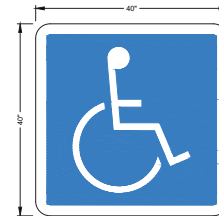


**6**  
C0.2 **LANDSCAPE DRYWELL**  
N.T.S.



- NOTES:**
1. MAXIMUM GRADE IN ANY DIRECTION IS 2.0%.
  2. ALL ROAD STRIPING SHALL BE 159th THERMOPLASTIC.

**7**  
C0.2 **ADA PARKING DETAIL**  
N.T.S.



- NOTES:**
1. ADA SYMBOL SHALL BE WHITE ON BLUE WITH BORDER. PREMARK HANDCAP WITH VIZIGRIP, 90MIL THERMOPLASTIC OR APPROVED EQUAL.

**8**  
C0.2 **ADA SYMBOL**  
N.T.S.



REVISION NO.	DATE	DESCRIPTION
1	01/20/25	UPDATE PER ARCHITECTURAL CHANGES



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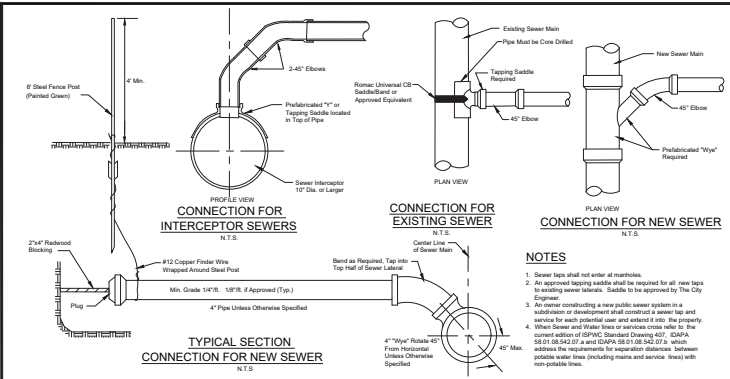
**DETAIL SHEET**

**SIX THIRTY SEVEN RIVERS STREET**

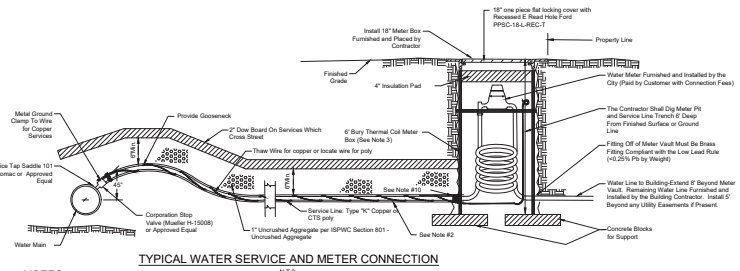
PREPARED FOR MCLINTOSH HOLDINGS, LLC.

24010  
PROJECT NUMBER

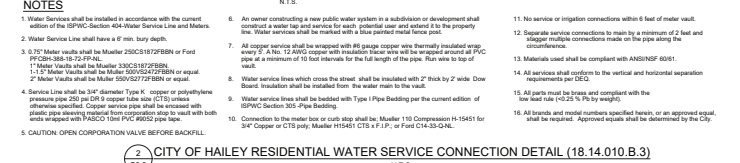
C0.2



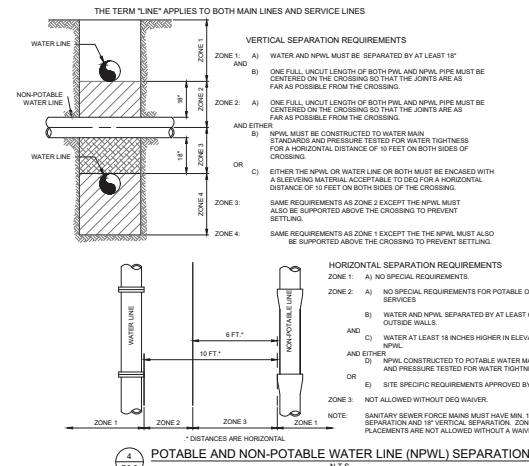
**1 CITY OF HAILEY SEWER SERVICE CONNECTION DETAIL (18.14.010.C.4)**  
N.T.S.



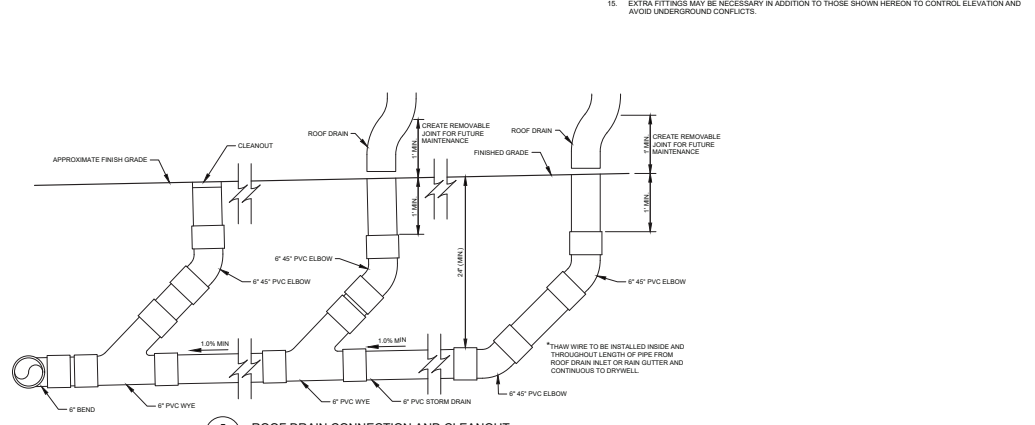
**2 CITY OF HAILEY RESIDENTIAL WATER SERVICE CONNECTION DETAIL (18.14.010.B.3)**  
N.T.S.



**3 TRENCH AND SURFACE REPAIR DETAIL (18.14.010.A.1)**  
N.T.S.



**4 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**  
N.T.S.



**5 ROOF DRAIN CONNECTION AND CLEANOUT**  
N.T.S.

**SEWER CONSTRUCTION NOTES**

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWC) AND THE CITY OF HAILEY STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND A SET OF PLANS STAMPED WITH THE DEED APPROVAL STAMP AND A COPY OF THE DEED APPROVAL LETTER ON SITE AT ALL TIMES DURING CONSTRUCTION.
2. ALL SERVICES SHALL COMPLY WITH IDAPA 58.01.08.542.07 a AND IDAPA 58.01.08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.3). IN ADDITION, WATER SERVICES SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER MAINS AT ALL PROPOSED CROSSINGS. SOME RELOCATION OF WATER AND SEWER MAINS MAY BE REQUIRED IN ADDITION TO THOSE SHOWN ON THE PLANS.
5. POTABLE/NON-POTABLE CROSSINGS SHALL COMPLY WITH ISPWC STANDARD DRAWING NO. SD-407 AND IDAPA SECTION 58.01.08.542.07.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS PRIOR TO EXCAVATION.
7. SEWER SERVICE LINES SHALL BE PLACED AT A SLOPE OF 2% WITH MARKERS PER ISPWC. CLEANOUTS ARE REQUIRED AT CHANGES IN ALIGNMENT, GRADE, AND MINIMUM 15' LENGTH.
8. ALL PIPE SHALL BE BEDDED WITH (ISPWC) TYPE 1 BEDDING MATERIAL.
9. TRENCHES SHALL BE BACK-FILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM 1708.
10. THE CONTRACTOR SHALL PRESERVE TIED SEWER SERVICE CONNECTIONS IN ACCORDANCE WITH THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION".

**WATER CONSTRUCTION NOTES**

1. WATER SERVICE CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAILEY STANDARDS. NO WATER SERVICE SHALL BE BACKFILLED UNTIL THEY HAVE BEEN INSPECTED AND APPROVED BY THE CITY.
2. WATER SERVICES SHALL HAVE A MINIMUM COVER OF SIX FEET (6'-0") MEASURED FROM FINISHED GRADE.
3. ALL 4" AND LARGER WATER LINES SHALL BE CONSTRUCTED WITH AWMA C-900, CLASS 235 PVC PIPE. ALL WATER MAINS SHALL BE PRESSURE TESTED IN CONFORMANCE WITH ISPWC SECTION 401.3.6 AND THE CITY OF HAILEY STANDARDS. TRACES SHALL BE NO. 12 GAUGE COPPER LOCATING WIRE INSULATED PER ISPWC SECTION 401 AND THE CITY OF HAILEY SPECIFICATIONS.
4. ALL WATER DISTRIBUTION AND WATER SERVICE INSTALLATION MATERIALS AND CHEMICALS USED TO DISINFECT POTABLE WATER COMPONENTS MUST BE COMPLIANT WITH ANSI/NSF STANDARD #61. ALL MATERIALS MUST BE COMPLIANT WITH THE LOW LEAD RULE (<0.25% Pb BY WEIGHT).
5. ALL TEES, PLUGS, CAPS AND BENDS SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING (MECHANICAL RESTRAINTS ARE NOT ALLOWED). THRUST BLOCKS SHALL CONFORM TO ISPWC SD-403 AND THE CITY OF HAILEY STANDARDS.
6. ALL VALVES SHALL BE GATE VALVES WITH NON-RISING STEM, 10" RING SEALS, AND TWO-INCH OPERATING NUTS MEETING AWMA STANDARDS PER ISPWC SECTION 402. GATE VALVES LOCATED IN PAVEMENT SHALL BE FITTED WITH CAST IRON VALVE BOXES WITH CONCRETE COLLARS PER ISPWC SD-406 AND THE CITY OF HAILEY SPECIFICATIONS.
7. ALL WATER MAIN FITTINGS SHALL BE DUCTILE IRON CONFORMING TO THE REQUIREMENTS OF AWMA C-110 FOR 250 PSI WORKING PRESSURE. JOINTS ON BURIED VALVES SHALL BE MECHANICAL JOINTS UNLESS OTHERWISE NOTED. FLANGED JOINTS SHOULD IN GENERAL BE AVOIDED UNDERGROUND.
8. FIRE HYDRANTS SHALL CONFORM WITH THE CITY OF HAILEY STANDARDS.
9. ALL TAPPING SADDLES SHALL BE CONSTRUCTED FROM 1-304 STAINLESS STEEL WITH ANSI/AWWA C-207 CLASS 150 FLANGES. ALL WELDS SHALL CONFORM TO ASTM A-380. THE TEST OUTLET SHALL BE 3/4" NPT WITH 3/4" NPT FLUG.
10. ALL WATER MAINS SHALL COMPLY WITH IDAPA 58.01.08.542.07 a AND IDAPA 58.01.08.542.07 b WHICH ADDRESS THE REQUIREMENTS FOR SEPARATION DISTANCES BETWEEN POTABLE WATER LINES (INCLUDING MAINS AND SERVICE LINES) WITH NON-POTABLE LINES (SEE ILLUSTRATION OF THESE SEPARATION REQUIREMENTS ON SHEET CO.3). IN ADDITION, WATER MAINS SHALL BE CONSTRUCTED WITH AT LEAST 25 FEET HORIZONTAL SEPARATION FROM INFILTRATION TRENCHES AND DRY WELLS.
11. ALL WATER SERVICES SHALL BE IN COMPLIANCE WITH ISPWC SECTION 604 AND THE CITY OF HAILEY STANDARDS. A ULIC APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) SHALL BE INSTALLED ON PRIMARY SERVICE CONNECTIONS INCLUDING FIRE SUPPRESSION SERVICES, IF APPLICABLE IN ACCORDANCE WITH THE CITY OF HAILEY WATER DEPARTMENT, FIRE MARSHAL, PLUMBING BUREAU, AND STATE OF IDAHO BACKFLOW PREVENTION REQUIREMENTS. IN AREAS WHERE MULTIPLE WATER SERVICE LINES ARE IN SAME TRENCH SEPARATE LINES BY 6".
12. THE CONTRACTOR SHALL KEEP THE EXISTING WATER DISTRIBUTION SYSTEM LINE TO THE GREATEST EXTENT POSSIBLE, WHILE INSTALLING THE NEW WATER MAIN AND SERVICES MINIMIZING DISRUPTION TO EXISTING WATER SYSTEM UTILITIES. THE NEW WATER MAIN AND SERVICES SHALL BE INSTALLED, BACKFILLED, PRESSURE TESTED AND DISINFECTED AND FLUSHED PRIOR TO CONNECTING THE NEW MAIN TO THE EXISTING MAIN. THE MAXIMUM ALLOWABLE SERVICE OUTAGE FOR ANY SHUTDOWN IS 4 HOURS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPTLY REMOVING AND DISPOSING OF WATER ENTERING THE TRENCH DURING THE TIME THE TRENCH IS BEING PREPARED FOR INSTALLATION OF THE UTILITY, INCLUDING COMPLETION OF BACKFILL OF THE FIRE ZONE, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL DISPOSE OF THE WATER IN A SUITABLE MANNER WITHOUT CAUSING DAMAGE TO PROPERTY.
14. EXTRA FITTINGS MAY BE NECESSARY IN ADDITION TO THOSE SHOWN HEREON TO CONTROL ELEVATION AND AVOID UNDERGROUND CONFLICTS.



REVISION NO.	DATE	DESCRIPTION
01/20/25	01/20/25	UPDATE PER ARCHITECTURAL CHANGES



**PRELIMINARY NOT FOR CONSTRUCTION**

24010 PROJECT NUMBER

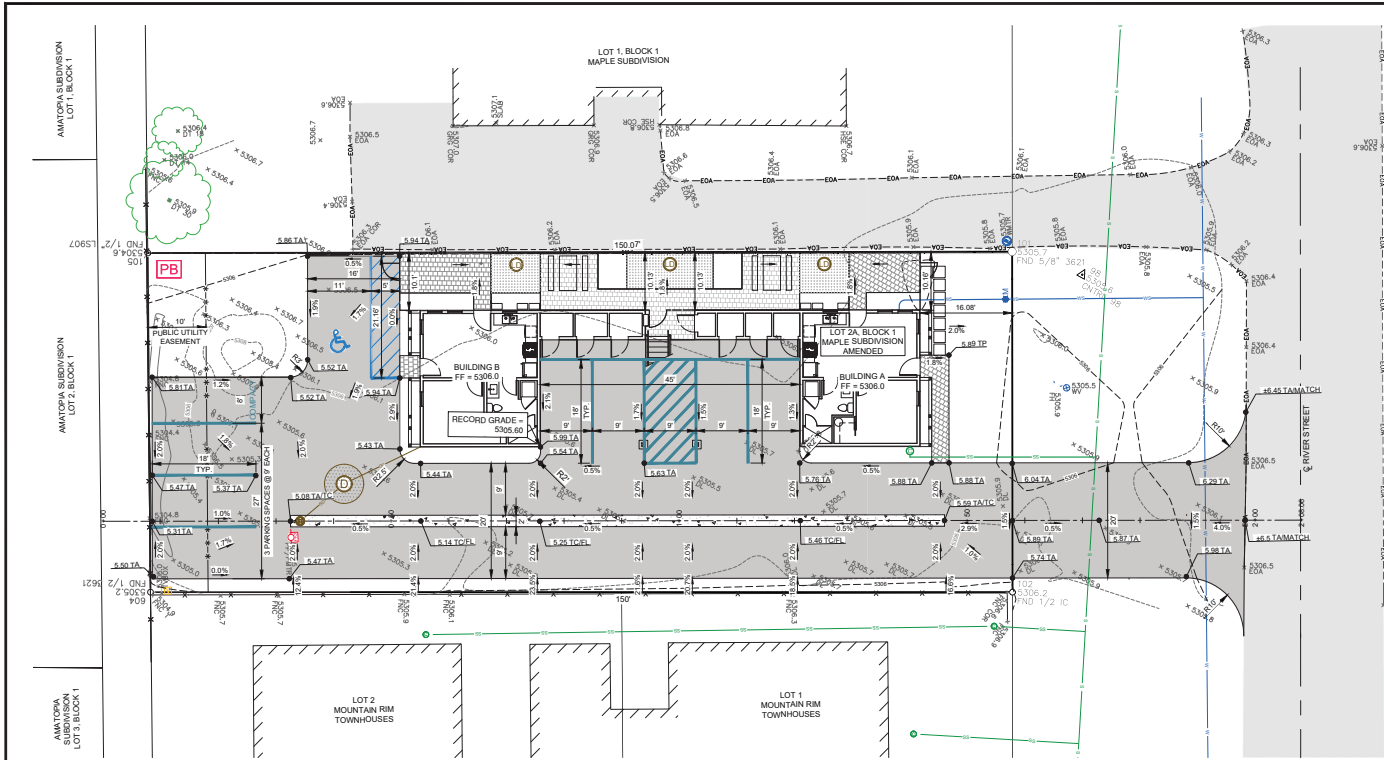
**DETAIL SHEET**

**SIXTHIRY SEVEN RIVER STREET**

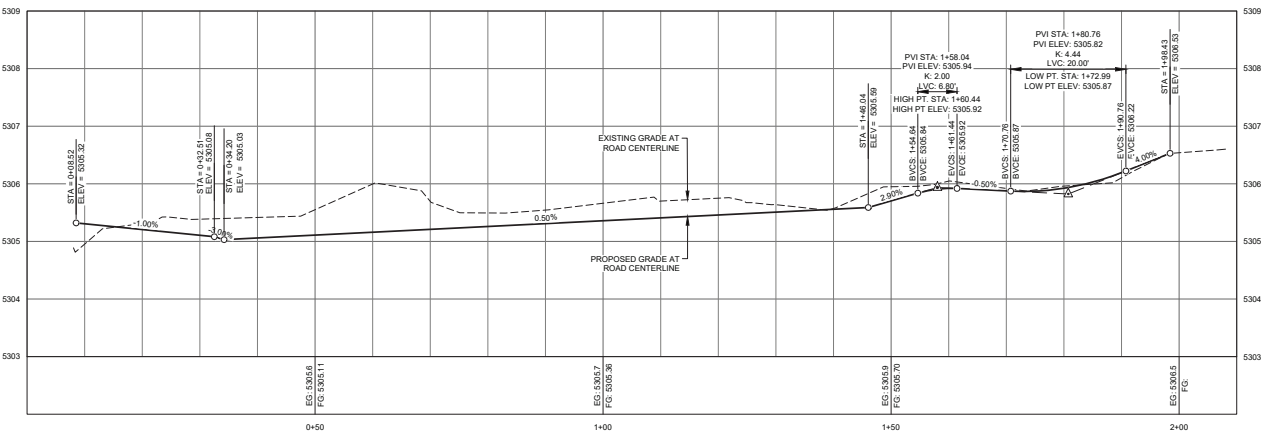
PREPARED BY: MICHAEL HOLDINGS, LLC

**C0.3**

DATE OF DRAWINGS: THESE DRAWINGS OR ANY PORTION THEREOF SHALL NOT BE USED FOR ANY PROJECT OR PURPOSE UNLESS THEY ARE APPROVED BY THE ENGINEER AT THE TIME THEY ARE USED.



PLAN VIEW: PARKING ACCESS  
SCALE: 1" = 10'



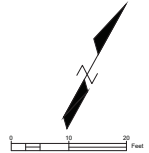
PROFILE VIEW: PARKING ACCESS  
SCALE: 1" = 10' H, 1" = 10' V

**NOTES**

- SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES.
- SEE SHEET C0.2 FOR WATER AND SEWER CONSTRUCTION NOTES.

**LEGEND**

EXISTING ITEMS	PROPOSED ITEMS
PROPERTY BOUNDARY LINE	5' CONTOUR INTERVAL
ADJOINER'S LOT LINE	1' CONTOUR INTERVAL
CENTERLINE STREET	NEW ASPHALT
EOA = EDGE OF ASPHALT	CONCRETE
EOA = EXISTING ASPHALT	PAVERS PER LANDSCAPE PLAN
EOA = EXISTING FENCE	FENCE PER LANDSCAPE PLAN
5' CONTOUR INTERVAL PER ALPINE 2022	PAINT
1' CONTOUR INTERVAL PER ALPINE 2022	ADA PAINT & SYMBOL
EXISTING BUILDING STRUCTURE	WATER SERVICE
DL = DRISLINE/EDGE OF VEGETATION	SEWER SERVICE
10' PUBLIC UTILITY EASEMENT PER INSTRUMENT NUMBER 458873	STORM DRAIN
WATER MAIN	FLOW LINE
WATER SERVICE	CATCH-BASIN
SEWER MAIN	DRYWELL
SEWER SERVICE	LANDSCAPE DRYWELL
UNDERGROUND PHONE LINE	ROOF DRAIN
UNDERGROUND CABLE/COMM LINE	DOWNSPOUT
SURVEY CONTROL	TRANSPOUT
FOUND 1/2" REBAR AS SHOWN	2.0% GRADE
FOUND 5/8" REBAR AS SHOWN	SPOT GRADE ELEVATION, DESCRIPTION
WV = WATER VALVE	
WMTR = WATER METER	
FH = FIRE HYDRANT	
PP = POWER POLE	
PMTR = POWER METER	
TWBOX = CABLE BOX	
DT = DECIDUOUS TREE	
ILLEGIBLE CAP	
HOUSE CORNER	
GIRG	
SLAB	



PURPOSE: ISSUE FOR DESIGN REVIEW (1/22/2024)

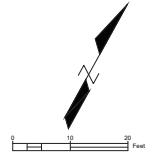
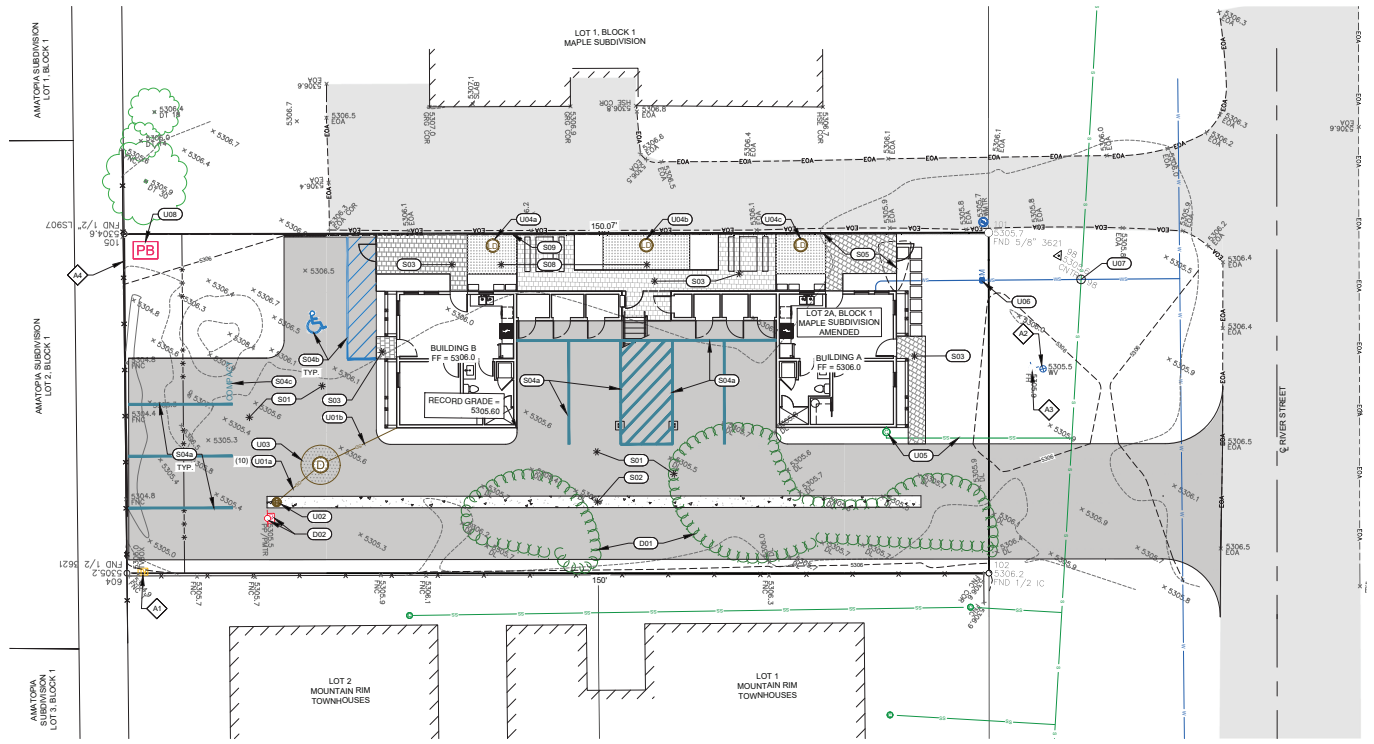
REVISION NO.	DATE	DESCRIPTION
1	01/22/2024	UPDATE PER ARCHITECTURAL CHANGES



**PRELIMINARY NOT FOR CONSTRUCTION**

**SITE GEOMETRY AND GRADING PLAN**  
SIX THIRTY SEVEN RIVER STREET  
PREPARED FOR MOUNTAIN HOLDINGS, LLC.

REUSE OF DRAWINGS: these drawings, or any portion thereof, shall not be used on any project or otherwise without the express written consent of Opal Engineering, P.L.L.C.



**NOTES**

- SEE SHEET C0.1 FOR CONSTRUCTION GENERAL NOTES.
- SEE SHEET C0.2 FOR WATER AND SEWER CONSTRUCTION NOTES.

**LEGEND**

EXISTING ITEMS	PROPOSED ITEMS
— P— PROPERTY BOUNDARY LINE	— 5' CONTOUR INTERVAL
— A— ADJOINER'S LOT LINE	— 1' CONTOUR INTERVAL
— C— CENTERLINE STREET	— NEW ASPHALT
— EDA— EDGE OF ASPHALT	— CONCRETE
— F— F— EXISTING FENCE	— PAVERS
— 5' CONTOUR INTERVAL PER ALPINE 2022	— FENCE
— 1' CONTOUR INTERVAL PER ALPINE 2022	— PAINT
— EXISTING BUILDING STRUCTURE	— ADA PAINT & SYMBOL
— DL— DRIP LINE EDGE OF VEGETATION	— WATER SERVICE
— W— WATER MAIN	— SEWER SERVICE
— WS— WATER SERVICE	— STORM DRAIN
— S— SEWER MAIN	— FLOW LINE
— SS— SEWER SERVICE	— CATCHBASIN
— U— UNDERGROUND PHONE LINE	— DRYWELL
— U— UNDERGROUND CABLE/COMM LINE	— LANDSCAPE DRYWELL
— SURVEY CONTROL	— ROOF DRAIN
— FOUND 1/2" REBAR AS SHOWN	— DOWNSPOUT
— FOUND 5/8" REBAR AS SHOWN	— TRANSFORMER
— WV— WATER VALVE	
— WMTR— WATER METER	
— FH— FIRE HYDRANT	
— PP— POWER POLE	
— PMTR— POWER METER	
— YBBOX— CABLE BOX	
— DT— DECIDUOUS TREE	
— GROUND SHOT / SPOT ELEVATION	
— ILLEGIBLE CAP	
— HOUSE CORNER	
— GARAGE	
— GARAGE SLAB	

**DEMOLITION KEYNOTES**

- D01** REMOVE AND DISPOSE OF EXISTING TREE / VEGETATION.
- D02** REMOVE EXISTING POWER SERVICE. COORDINATE WITH IDAHO POWER.

**SITE IMPROVEMENT KEY NOTES**

- S01** CONSTRUCT ASPHALT DRIVEWAY. SEE DETAIL 1, SHEET C0.2.
- S02** CONSTRUCT 2" WIDE CONCRETE VALLEY GUTTER. SEE DETAIL 3, SHEET C0.2.
- S03** INSTALL PAVER WALKWAY / PATIO. REFER TO ARCHITECTURAL AND LANDSCAPE PLANS FOR PATTERNS AND MATERIALS.
- S04** INSTALL ROAD STRIPING / PAINT.
  - a. WHITE ASPHALT PARKING STRIPING (4" WIDE), MATCH CITY PATTERNS.
  - b. BLUE ADA PARKING STRIPING (4" WIDE) AND SYMBOLS. SEE DETAIL 7 AND 8, SHEET C0.2.
  - c. WHITE "COMPACT" LETTERS.
- S05** INSTALL FENCE. REFER TO LANDSCAPE PLANS.
- S06** INSTALL BIKE RACK. REFER TO LANDSCAPE PLANS.
- S07** LANDSCAPE AREA. REFER TO LANDSCAPE PLANS.
- S08** INSTALL SYNTHETIC TURF. PER LANDSCAPE PLANS.
- S09** INSTALL GRAVEL. PER LANDSCAPE ARCHITECT.

**UTILITY KEY NOTES**

- (LF) U01** INSTALL 0304 PVC STORM DRAIN PIPE. SEE DETAIL 1 / C0.3 FOR TRENCHING.
    - a. 12" @ SLOPE = 2.0% MIN.
    - b. 6" @ SLOPE = 1.0% MIN. DOWNSPOUT CONNECTION. SEE DETAIL 5, SHEET C0.2 FOR DOWNSPOUT CONNECTIONS.
  - U02** INSTALL CATCH BASIN. SEE DETAIL 5, SHEET C0.2. RIM ELEV. = 5304.93 INV. OUT = 5305.93
  - U03** INSTALL DRYWELL. SEE DETAIL 4, SHEET C0.2. RIM = 5305.29 INV. IN = 5305.0
  - U04** INSTALL LANDSCAPE DRYWELL. SEE DETAIL 4, SHEET C0.2.
    - a. RIM = 5305.7
    - b. RIM = 5305.7
    - c. RIM = 5305.7
  - U05** INSTALL 4" PVC SEWER SERVICE AT SLOPE = 2.0% MIN. PER DETAIL 1 / C0.3. SEE DETAIL 3 / C0.3 FOR TRENCHING.
  - U06** INSTALL 1-1/2" WATER SERVICE. SEE DETAIL 3 / C0.3 FOR TRENCHING AND SURFACE REPAIR AND DETAIL 2 / C0.3 FOR SERVICE CONNECTION, METER BOX, AND INSULATION REQUIREMENTS.
  - U07** POTABLE / NON-POTABLE WATER LINE CROSSING. REFER TO DETAIL 4 / C0.3.
  - U08** APPROXIMATE LOCATION OF PROPOSED TRANSFORMER BY IDAHO POWER. CONTRACTOR SHALL COORDINATE WITH IDAHO POWER FOR EQUIPMENT DIMENSIONS AND REQUIRED SETBACKS / ADJACENT STRUCTURE MATERIALS.
- RETAIN AND PROTECT:
- COMMUNICATIONS PEDESTAL.
  - WATER VALVE
  - FIRE HYDRANT
  - FENCE



REVISION NO.	DATE	DESCRIPTION
01	01/2025	UPDATE PER ARCHITECTURAL CHANGES

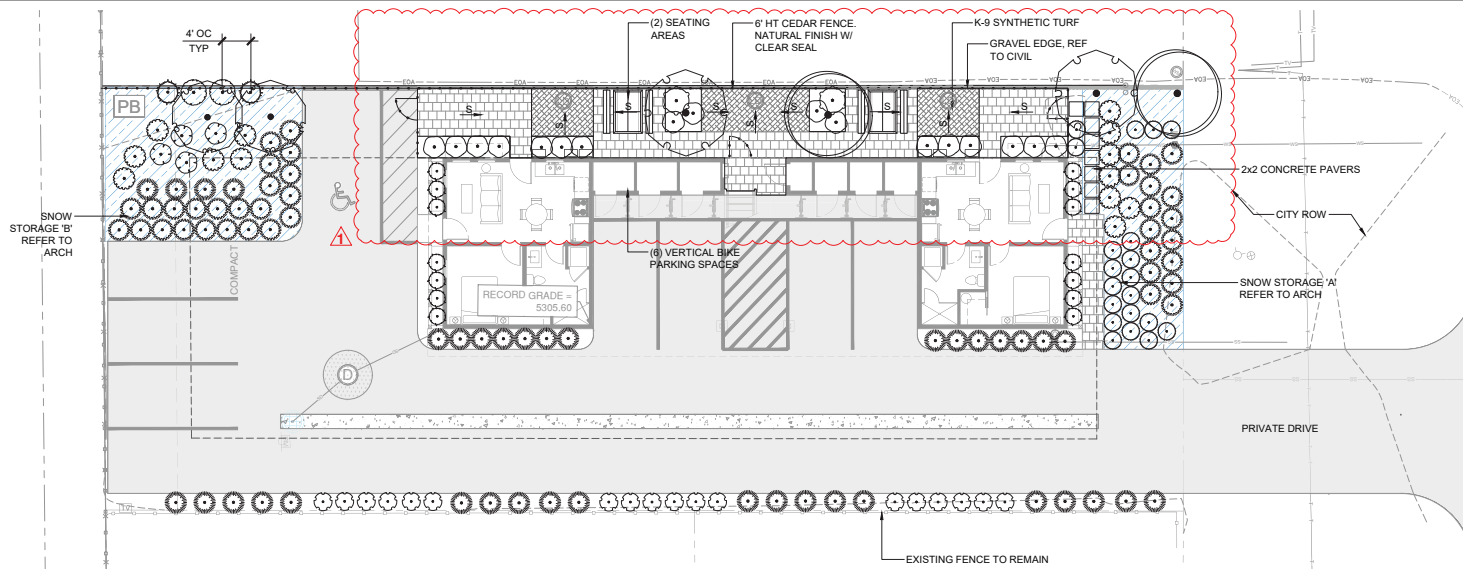


**PRELIMINARY NOT FOR CONSTRUCTION**

**SITE IMPROVEMENTS PLAN**  
**SIX THIRTY SEVEN RIVER STREET**  
 PREPARED FOR MOUNTAIN RIM TOWNHOUSES, LLC.

24010  
 PROJECT NUMBER  
**C1.1**

DATE OF DRAWINGS: THESE DRAWINGS, OR ANY PORTION THEREOF, ARE NOT VALID UNLESS THEY ARE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER, P.L.C.



**LANDSCAPE LEGEND**

	ASPHALT (REF TO CIVIL)
	CONCRETE PAVER PATIOS
	2' x 2' PAVER STEPS
	SNOW STORAGE (REF TO ARCH)
	SYNTHETIC TURF AREA (440 SF)
	SLOPE OF HARD SURFACES (1/8" / FT) AWAY FROM BUILDINGS



PROPOSED BIKE RACKS



PROPOSED 6' HT WOOD FENCE DESIGN

**LANDSCAPE SPECIFICATIONS & NOTES**

- SCOPE OF WORK**
  - The landscaping and irrigation work is part of a larger site project resulting in disturbance to the site, landscape and irrigation. As such, the landscape contractor shall coordinate all work with the general contractor, both before any construction begins, and during the course of construction.
- MATERIALS**
  - Topsoil. Topsoil shall be a 3 way blend of the following products: sandy loam, topsoil and organic compost from Winn's Compost 208-309-2525.
  - Mulch. Mulch shall be crushed stone, applied to a 3" compacted depth on all beds with filter fabric underneath. Mulch color samples to be approved by owner.
  - Fertilizer. Agraform 21-gram tablet time release fertilizer shall be used in all plantings. Place 1 for each ground cover, 2 for each shrub and 4 for each tree. They shall be placed in the plant pits as detailed. Also, top dress all plants with a suitable 'starter' fertilizer.
  - Tree Stakes. Tree stakes shall be 2" diameter x 8' length Lodgepole pine. Fasteners shall be 1" PVC Chain-Lock, placed as detailed.
- SOIL PREPARATION**
  - Prior to any landscape work, contractor shall remove, or have removed, all debris from the other building trades from the landscape surfaces. NO landscape work shall commence until the areas are cleared of other trades debris.
  - Cultivate the existing ground surface to a minimum depth of 8" and remove all rocks over 1", existing roots and other debris.
  - Fine grade the subgrade to adjoining surfaces in preparation of adding specified topsoil.
  - Beds. Place a minimum of 8" of specified topsoil on all beds and till or cultivate the topsoil a minimum depth of 12". Remove all rock and debris which may surface. Finished grade of topsoil shall be 2.5" below adjoining paved surfaces, allowing 2" for mulch. Therefore, finished grade shall be 1/2" below paved surface.
- PLANTING OF TREES, SHRUBS AND GROUNDCOVERS**
  - Contractor responsible to verify quantities.
  - Contractor is to confirm that all beds are prepared and ready for planting, without interference with other trades.
  - Layout all plants as per plan and approval by Landscape Architect or Owner's Rep, making sure the plants are orientated to give best appearance to the viewer.
  - Pit plant all plants into prepared soil and plant per the details. While planting, hand water the plants into the plant pits thoroughly soaking the root balls and soil. Place fertilizer tablets as specified, filling plant pits with specified topsoil. Top dress fertilizer when completed.
  - Trees planted 5' or less from paved surfaces shall be planted with a root barrier control.
  - All plant material shall be hardy to local conditions and zone 4.
- WARRANTY**
  - All landscaping shall be warranted for one year from FINAL ACCEPTANCE. Plants requiring replacement shall be of the original variety and size as specified herein.
- IRRIGATION**
  - An automatic irrigation system using drip irrigation to be installed through the Bidder Design process.
  - The irrigation system to provide complete coverage and is properly zoned for each hydrozone.
  - Irrigation may be designed to be temporary and removed after 2 years for plant establishment.
  - Contractor to confirm location of controller with owner.
  - Contractor to provide Coverage Test for approval by Landscape Architect or Owner.
  - Contractor to schedule controller and provide instruction manual to owner at completion.

**LANDSCAPE NOTES**

**BIKE PARKING**  
 REQUIRED: 25% OF THE REQUIRED NUMBER OF PARKING SPACES (6x.25=1.5)  
 PROPOSED: 6 BIKE PARKING SPACES

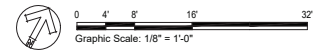
**USABLE OPEN SPACE REQUIREMENT (17.04R.080.B.1)**  
 REQUIRED: 10% OF TOTAL LOT AREA = 884 SF  
 PROPOSED: 896 SF (110%)

**TREE SPECIES REQUIREMENTS**  
 PROPOSED PLANTING PLAN ADDRESSING CITY OF HAILEY CODE 17.06.080.4.D  
 10 TREES PROPOSED FOR PLANTING  
 20% MAX PER TREE VARIETY

TREE #	%	SPECIES
2	20%	ROYAL RAINDROPS CRABAPPLE
2	20%	SPRING SNOW CRABAPPLE
2	20%	SWEDISH ASPEN
2	20%	WICHITA BLUE JUNIPER
2	20%	SKYROCKET JUNIPER
10	100%	

**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	4-6 HT	B&B	2
	JUNIPERUS SCOPULORUM 'WICHITA BLUE' / WICHITA BLUE JUNIPER	4-6 HT	B&B	2
	MALUS X ROYAL RAINDROPS / ROYAL RAINDROPS CRABAPPLE	2.5' CAL.	B&B	2
	MALUS X SPRING SNOW / SPRING SNOW CRABAPPLE	2.5' CAL.	B&B	2
	POPULUS TREMULA 'ERECTA' / EUROPEAN COLUMNAR ASPEN	2.5' CAL.	B&B	2
<b>SHRUBS</b>				
	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE HYDRANGEA	3 GAL.		2
	PNUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	3 GAL.		13
	SALVIA X SYLVESTRIS 'MAY NIGHT' / MAY NIGHT SAGE	2 GAL.		14
	SPIRAEA BETULIFOLIA 'TOR' / WHITE FROST™ BIRCHLEAF SPIREA	2 GAL.		4
	SPIRAEA JAPONICA 'WALBUMA' / MAGIC CARPET JAPANESE SPIREA	2 GAL.		18
<b>GRASSES</b>				
	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER / KARL FOERSTER FEATHER REED GRASS	2 GAL.		38
	HELICITROTIS SEMPERVIRENS / BLUE OAT GRASS	1 GAL.		39
<b>GROUND COVERS</b>				
	AGOPODILUM PODAGRARIA / BISHOPS WEED (SNOW ON THE MOUNTAIN)	1 GAL.		17
	NEPETA X FAASSENII 'NOVANEJUN' / JUNIOR WALKER™ CATMINT	4"		20



DRAWING SET:  
**DESIGN REVIEW SUBMITTAL**

REVISIONS:  
 REV 1: JANUARY 22, 2024  
 REV 2:  
 REV 3:

PROJECT ADDRESS:

**SIX THIRTYSEVEN APARTMENTS**  
 637 S. RIVER STREET  
 HAILEY, IDAHO 83333

DESIGN: MAL  
 DRAWN: ZA  
 CHECKED: MAL  
 DATE: November 22, 2024  
 PROJECT: 637 River St ME  
 NUMBER: LA049334

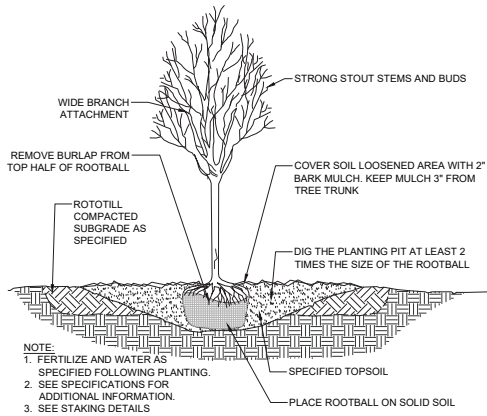
SCALE: 1/8" = 1'-0"

TITLE:

**LAYOUT PLAN**

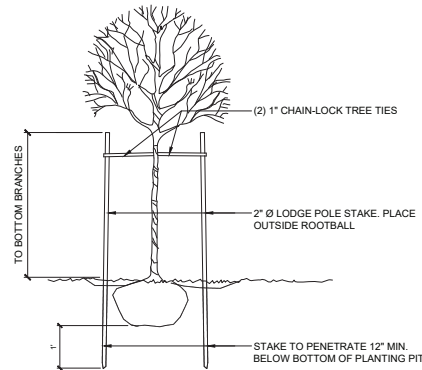
SHEET:

**L1.00**

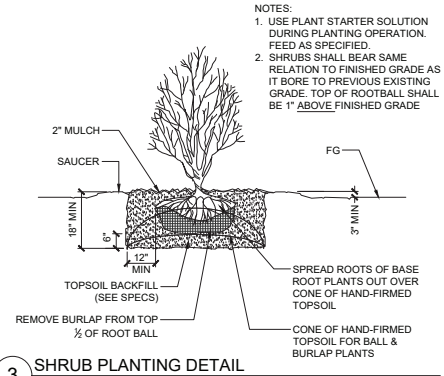


NOTE:  
 1. FERTILIZE AND WATER AS SPECIFIED FOLLOWING PLANTING.  
 2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.  
 3. SEE STAKING DETAILS

**1 DECIDUOUS TREE PLANTING DETAIL**  
 SCALE: NTS

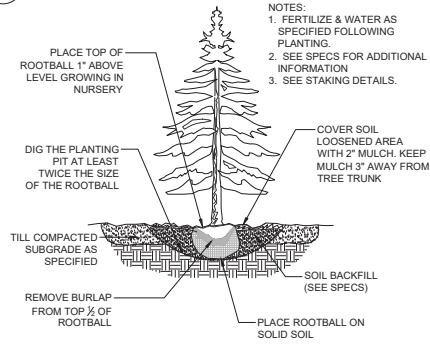


**2 DECIDUOUS TREE STAKING DETAIL**  
 SCALE: NTS



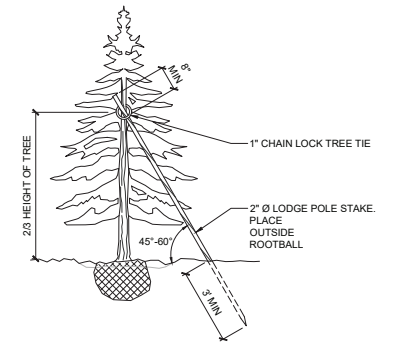
NOTES:  
 1. USE PLANT STARTER SOLUTION DURING PLANTING OPERATION. FEED AS SPECIFIED.  
 2. SHRUBS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE. TOP OF ROOTBALL SHALL BE 1\"/>

**3 SHRUB PLANTING DETAIL**  
 SCALE: NTS

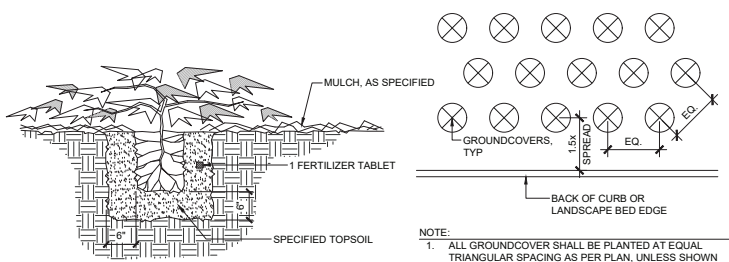


NOTES:  
 1. FERTILIZE & WATER AS SPECIFIED FOLLOWING PLANTING.  
 2. SEE SPECS FOR ADDITIONAL INFORMATION.  
 3. SEE STAKING DETAILS.

**4 CONIFER PLANTING DETAIL**  
 SCALE: NTS



**5 CONIFER TREE STAKING**  
 SCALE: NTS



NOTE:  
 1. ALL GROUNDCOVER SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING AS PER PLAN, UNLESS SHOWN OTHERWISE  
 2. SET GROUNDCOVER BACK FROM CURB OR WALKWAY AT LEAST 1-1/2 TIMES THE SPREAD OF SUCH GROUNDCOVER

**6 GROUNDCOVER PLANTING DETAIL**  
 SCALE: NTS



DESIGN REVIEW SUBMITTAL

REVISIONS:  
 REV 1: JANUARY 22, 2025  
 REV 2:  
 REV 3:

PROJECT ADDRESS:

**SIX THIRTYSEVEN APARTMENTS**  
 637 S. RIVER STREET  
 HAILEY, IDAHO 83333

DESIGN: M.M.  
 DRAWN: J.A.  
 CHECKED: M.M.

DATE: November 22, 2024  
 PROJECT: 637 River St ME  
 NUMBER: L1A0493.04

SCALE: As Shown

TITLE:  
**PLANTING DETAILS**

SHEET:  
**L1.01**



**TREES**



Skyrocket Juniper



Wichita Blue Juniper



Swedish Aspen



Royal Raindrops Crabapple



Spring Snow Crabapple

**SHRUBS**



Annabelle Hydrangea



Dwarf Mugo Pine



May Night Sage



White Frost Birchleaf Spirea



Magic Carpet Japanese Spirea

**PERENNIALS & GRASSES**



Karl Forester Grass



Walkers Low Catmint



Snow on the Mountain



Blue Oat Grass

**Return to Agenda**



## Staff Report

### Hailey Planning and Zoning Commission

### Regular Meeting of March 3, 2025

**To:** Hailey Planning & Zoning Commission  
**From:** Robyn Davis, Community Development Director

**Overview:** Consideration of a City-Initiated Amendment amending various sections in and/or adding new sections to Hailey's Comprehensive Plan. The following sections are proposed to be modified: Section 5: Land Use; Section 6: Economic Development; Section 8: Housing; and Section 10: Transportation. A new section is proposed to be added and includes Section 15: Sustainability. The proposed amendments are pursuant to Title 67, Chapter 65, Local Land Use Planning Act.

**Hearing:** March 3, 2025

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**Applicant:** City of Hailey

**Notice:** Notice for the public hearing was published in the Idaho Mountain Express and mailed to political subdivisions providing services within the planning jurisdiction, including school district and the manager or person in charge of the local public airport at least fifteen (15) days prior the scheduled public hearing, and has made available a notice to other papers, radio and television stations serving the jurisdiction for use as a public service announcement.

**Background:** Community Development Staff are finalizing a draft update to the City of Hailey's Comprehensive Plan, one of the City's most important policy documents. This document is used by the City to guide long-range planning efforts, assist in the review of development proposals, and support other activities that shape the built and natural environments in the heart of the Wood River Valley. Further, it sets a community-wide vision for the future, building on past events and present characteristics while focusing on opportunities for growth and prosperity informed by a robust public process.

Furthermore, this plan is intended to serve as a guide for all other planning efforts and policy development in the city, providing a road map to shape area-wide and neighborhood-scale plans, and provide for a more detailed examination of a particular topic, goal, or vision. This plan considers the importance of the natural setting, population, housing, and economic patterns as well as the unique character and quality of life that provides a sense of place and cultural identity. It examines the ways in which communities utilize land and looks to create a place-based method of guiding future development that considers Hailey's unique character and qualities, preserving important landscapes while offering appropriate and well-scaled opportunity for growth and prosperity in the coming years.

To continue to be relevant as a community grows, changes, and evolves, it is recommended that the Plan be updated every ten (10) years to account for the dynamic changes to a community's profile, and priorities. Hailey's Comprehensive Plan was first approved in 1978. Since then, four (4) larger updates

have been completed: 1982, 1998-2003, 2010, and 2012, as well as minor amendments: 2016, 2019, 2020, 2021. So much has changed in Hailey since the last substantial update (2010), and to better understand the existing conditions and trends in Hailey today, Staff and the Council agreed that an update to the Plan was necessary.

With the Council's support, in January 2024, City Staff began the process of public outreach, education, community connection, and community-led advisory meetings to better inform the process of updating various sections of the Plan. Section updates include:

- Section 5: Land Use,
- Section 6: Economic Development,
- Section 8: Housing, and
- Section 10: Transportation.

Along with updates to each of those sections, Staff are also proposing the integration of Section 15: Sustainability, a qualitative guide that defines and supports sustainable practices and priorities in the City of Hailey well into the future. This newly created section is a first-ever dedicated chapter outlining clear goals, objectives, and policies in Hailey. Like each of the above-sections that make up the plan, this section, too, will help guide the future development of Hailey's first-ever Sustainability Action Plan, a more specific plan that accounts for our varied climatic conditions and environment, location, available resources, and community.

**Proposal:** Staff are requesting the Commission's consideration, discussion, and/or recommendation of the Draft Updated Plan, *Envision Hailey: Planning Today for a Resilient Tomorrow*. Thoughtfully curated section updates and the newly created Section 15: Sustainability, are attached and have been amended and/or included pursuant to the provisions of Title 67, Chapter 65, Local Land Use Planning Act. An updated Land Use Map, pursuant to Title 67, Chapter 65, Section 67-6508, is also proposed. The amended map better corresponds with the updates to each of the above-sections, and further accounts for the addition of Section 15.

**Attachments:**

- Draft Updated Plan – [Envision Hailey: Planning Today for a Resilient Tomorrow](#)
- [Public Engagement Summaries](#) (April 2024 and November 2024)
- Proposed Land Use Map (attached as Exhibit B in Draft Resolution)
- [Adopted Comprehensive Plan \(2010\)](#)

**Standards of Evaluation: Idaho Statute Title 67, Chapter 65, Section 67-6509:** Amendments to a Comprehensive Plan may only be made because of an error in the original plan or because of a substantial change in the actual conditions in the City of Hailey, which result in a material discrepancy or disparity between the conditions in the area and all or part of the Plan. The City of Hailey Planning and Zoning Commission may recommend amendments to the Plan to the Hailey City Council not more frequently than every six (6) months. This six (6) month period shall be measured from the date that the Commission submits its recommendation to the Council.

The following procedures shall be followed when amending a Comprehensive Plan:

**(1) The planning or planning and zoning commission, prior to recommending the plan, amendment, or repeal of the plan to the governing board, shall conduct at least one (1) public hearing in which interested people shall have an opportunity to be heard. At least fifteen (15) days prior to the hearing, notice of the time and place and a summary of the plan to be discussed shall be published in the official newspaper or paper of general circulation within the jurisdiction. The commission shall also make available a notice to other papers, radio, and television stations serving the jurisdiction for use as a public service announcement. Notice of intent to adopt, repeal, or amend the plan shall be sent to all political subdivisions providing services within the planning jurisdiction, including school districts and the manager or person in charge of the local public airport, at least fifteen (15) days prior to the public hearing scheduled by the commission. Following the commission hearing, if the commission recommends a material change to the proposed amendment to the plan that was considered at the hearing, it shall give notice of its proposed recommendation and conduct another public hearing concerning the matter if the governing board will not conduct a subsequent public hearing concerning the proposed amendment. If the governing board conducts a subsequent public hearing, notice of the planning and zoning commission recommendation shall be included in the notice of public hearing provided by the governing board. A record of the hearings, findings made, and actions taken by the commission shall be maintained by the city or county.**

Adequate notice has been given. If a material change is recommended by the Commission, subsequent notice and hearing will be conducted as outlined in Idaho Code.

**(2) The governing board, as provided by local ordinance, prior to adoption, amendment, or repeal of the plan, may conduct at least one (1) public hearing, in addition to the public hearing or hearings conducted by the commission, using the same notice and hearing procedures as the commission. The governing board shall not hold a public hearing, give notice of a proposed hearing, nor act upon the plan, amendments, or repeal until recommendations have been received from the commission. This standard will be met once recommendations by the Commission have been received.**

**(3) No plan shall be effective unless adopted by resolution by the governing board. A resolution enacting or amending a plan or part of a plan may be adopted, amended, or repealed by definitive reference to the specific plan document. A copy of the adopted or amended plan shall accompany each adopting resolution and shall be kept on file with the city clerk or county clerk.**

A draft Resolution is attached. This standard will be met.

**(4) Any person may petition the commission or, in absence of a commission, the governing board for a plan amendment at any time, unless the governing board has established by resolution a minimum interval between consideration of requests to amend, which interval shall not exceed six (6) months. The commission may recommend amendments to the comprehensive plan and to other ordinances authorized by this chapter to the governing board at any time.**

As applicable, this standard has or will be met.

**Motion Language:**

**Approval:** Motion to recommend approval to the Hailey City Council the proposed Comprehensive Plan Update, which includes amendments to Section 5: Land Use, together with a map indicating suitable projected land uses for the jurisdiction, Section 6: Economic Development, Section 8: Housing, and

Section 10: Transportation, as well as the addition of Section 15: Sustainability, and attached hereto, of the Hailey Comprehensive Plan.

**Denial:** Motion to recommend denial to the Hailey City Council the proposed Comprehensive Plan Update, which includes amendments to Section 5: Land Use, together with a map indicating suitable projected land uses for the jurisdiction, Section 6: Economic Development, Section 8: Housing, and Section 10: Transportation, as well as the addition of Section 15: Sustainability, and attached hereto, of the Hailey Comprehensive Plan, finding that \_\_\_\_\_ [the Commission should cite which standards are not met and provide the reason why each identified standard is not met].

**Continuation:** Motion to continue the public hearing to \_\_\_\_\_ [the Commission should specify a date].

**CITY OF HAILEY**  
**RESOLUTION NO. 2025 - \_\_\_\_\_**

**A RESOLUTION OF THE CITY COUNCIL OF HAILEY, IDAHO, APPROVING AND ADOPTING AN UPDATE TO THE HAILEY COMPREHENSIVE PLAN BY AMENDING SECTION 5: LAND USE, TOGETHER WITH A MAP INDICATING SUITABLE PROJECTED LAND USES FOR THE JURISDICTION, SECTION 6: ECONOMIC DEVELOPMENT, SECTION 8: HOUSING, AND SECTION 10: TRANSPORTATION, AS PREVIOUSLY ADOPTED WITH HAILEY RESOLUTION 2020-024. THIS APPROVAL ALSO INCLUDES THE ADDITION OF SECTION 15: SUSTAINABILITY.**

WHEREAS, Idaho Code requires the Planning and Zoning Commission to conduct a comprehensive planning process designed to prepare, implement, review and update a comprehensive plan, which plan shall include all land within the jurisdiction;

WHEREAS, Idaho Code 67-6508 imposes a duty to adopt a Comprehensive Plan together with maps, having considered previous and existing conditions, trends, compatibility of land uses, desirable goals and objectives, or desirable future situations for each planning component; and

WHEREAS, the City wishes to adopt the amended Sections of the Comprehensive Plan: Section 5: Land Use, Section 6: Economic Development; Section 8: Housing, and Section 10: Transportation, as well as incorporate a new section, Section 15: Sustainability, all in conformity with Idaho Code 67-6508, and

WHEREAS, the City wishes to adopt the amended Comprehensive Plan Land Use Map to be compatible with the contemplated updates to Hailey's Comprehensive Plan; and

WHEREAS, Idaho Code 67-6509 states that no plan shall be effective unless adopted by resolution of the governing board.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL AND THE MAYOR OF THE CITY OF HAILEY, IDAHO**, in accordance with Idaho Code 67-6508, that the 2010 Hailey Comprehensive Plan, Sections 5, 6, 8, and 10, including the addition of Section 15 be repealed and replaced with Exhibit A. The 2020 Hailey Comprehensive Plan Land Use Map be repealed and replaced by Exhibit B, which are approved and adopted by the Hailey City Council.

PASSED AND ADOPTED BY THE HAILEY CITY COUNCIL AND APPROVED BY THE MAYOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
Martha Burke, Mayor

ATTEST:

\_\_\_\_\_  
Mary Cone, City Clerk

**Exhibit A: Hailey Comprehensive Plan Update 2024**





# Envision Hailey

Planning Today for a Resilient Tomorrow

**Hailey Comprehensive Plan Update**  
2024



# Envision Hailey

Planning Today for a Resilient Tomorrow

## Hailey Comprehensive Plan Update 2024

Prepared by:



City of Hailey  
Community Development Dept.

**Jacobs**

**GGLO**



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### **PART THREE**

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- 29** Section 6 - Economic Development
- 47** Section 8 - Housing
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- 131** Appendix B - Public Engagement Summaries
- 185** Appendix C - January 2023 Hailey Housing Report
- 196** Appendix D - January 2024 Hailey Housing Report



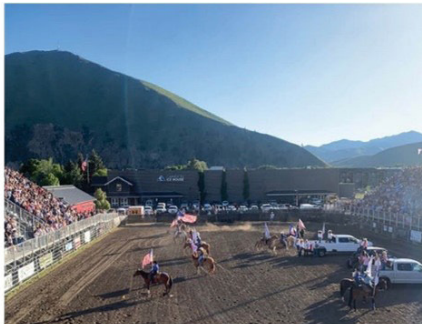
# PART TWO

## Vision Statement

*Photo by Carol Waller*

# Community Vision

*Hailey is a small mountain town defined by a friendly and hard-working community that cares for and enjoys the area's abundant natural resources. As stewards of these lands, we consider growth that protects our natural environment, preserves open space, and provides quality housing and employment opportunities for all. Safe, walkable neighborhoods with convenient access to services, parks, and outdoor recreation promote healthy lifestyles and a tight-knit community. Our vibrant downtown, composed of diverse businesses stimulating an active social and economic realm supported through the region's tourism economy, welcomes locals and visitors to join in celebrating our community's diverse history, culture, and traditions. We balance our actions today with the needs of our future, so the Hailey we know and love can be enjoyed for generations.*



## COMMUNITY VALUES

**Environmental Stewardship:** Healthy air, clean water, and open spaces are considered sacred. The community places importance on maintaining the quality of these natural resources for future generations. It should be easy for individuals and organizations to adopt sustainable practices like utilizing clean and renewable energy, reducing consumption, recycling, and choosing human-powered transit. As the town grows, encouraging compact development patterns that protect habitats, uses land efficiently, respects wildlife, and conserves natural resources are key priorities.

**Recreation Access:** People living in Hailey deeply value access to diverse recreational activities and public land. Residents appreciate the ability to engage in unique outdoor activities like biking to nearby fishing spots, trail running on the recreational trails that frame Hailey, or cross-country skiing across Hailey. Access to recreation should be enhanced, not inhibited, by new developments. As the largest population center of families and youth in the Wood River Valley, the people of Hailey also value and invest in organized youth sports and indoor/year-round recreational opportunities. Demand for facilities and programming is expected to rise in future years.

**Human-Scaled Streetscapes:** Residents appreciate Hailey's unique, small-town character and would like to see it preserved and perpetuated in future development. Development should align with the vision, goals, and plans for the community while meeting evolving community needs with infrastructure improvements. Improving Hailey's streets with expanded pedestrian and bike infrastructure and safer crosswalks will create a more connected and safer community. A human-scaled Main Street that preserves Hailey's history while incorporating facilities for pedestrians, cyclists, drivers, and public transit will support the vitality of businesses along the corridor, and city-wide.

**Attainable & Diverse Housing:** There is a strong call for affordable and diverse housing options that make it possible for people with a range of income levels to live in Hailey. The desire to preserve open space while adding housing demands creative solutions like infill development and diversifying the unit types in Hailey's housing stock.

**Economic Resilience:** Hailey's hard-working community draws a sense of identity and pride from the contributions they make through their jobs. Hailey can expand employment opportunities and improve economic stability by diversifying job opportunities and creating more business independent from the seasonal tourism economy. The current lack of workforce housing, light industrial zones, commercial space, and support for mobile vendors creates labor barriers that need to be addressed. The community would like to see more authentic local businesses that serve the essential needs of the community.

**Connected Community:** Hailey is proud to be a close-knit community that helps each other succeed, supports one another during times of struggle, and promotes the wellbeing of all. The city's identity is closely tied to its history of intergenerational, familial connections to the Wood River Valley. People with different cultures and languages have long called Hailey home, which adds to the city's unique character. To strengthen this, residents desire more opportunities for community engagement, including events and activities that go beyond outdoor recreation. Downtown needs more quality gathering places and public destinations, which should be required within any new development.

**Future Generations:** Youth and young adults are Hailey's future. The community feels the loss of local higher education options and sees a need for dedicated spaces and activities for teens to engage in. There is a desire for a central community space that is usable year-round and can support a variety of businesses and events. Addressing the need for more childcare options will also support families in the community.



# **PART THREE**

## **Goals & Indicators**

*Photo by Carol Waller*



## Section 5

# Land Use

## INTRODUCTION

Land use is the connective tissue of a comprehensive plan; it influences and is influenced by every other element of the plan. In addition, along with transportation, the land use section defines the built environment and becomes the physical manifestation of the Vision and Values of the Plan. The physical form of Hailey will continue to be influenced and constrained by the significant natural features that lend the region its beauty and identity, including the hillsides, canyons, and the Big Wood River. Policies guiding land use in Hailey can assure these defining natural features are preserved while the social and economic needs of the community are met. Responsible land use policies help ensure accessible and diverse recreational opportunities, diversified job opportunities, improved public spaces, adequate housing for all stages of life, and the sustainability of natural resources. The purpose of this section is to provide policy direction for annexation and rezones (city and citizen initiated) in accordance with the Local Land Use Planning Act, to provide an analysis of the existing land uses, and to identify logical areas for infill and/or expansion within the City's Area of Impact (AOI).

As the county seat, largest city, and largest employment center within Blaine County, Hailey has and will continue to have an outsized economic and social importance in the Wood River Valley and broader region. In an effort to better conserve the world class natural areas and recreation opportunities found in the surrounding canyons and hillsides of Hailey, the City of Hailey has joined Blaine County and the cities of Ketchum, Sun Valley, Bellevue, and Carey in an effort to emphasize the importance of existing urban and suburban areas as the natural growth centers within Blaine County. In addition to conserving natural areas as scenic and recreational open space, this promotes connected communities and allows residents to engage with one another in public gathering spaces and makes most efficient use of the services provided to its residents. These services include police, fire and medical services, transportation, sewer and water systems, recreational facilities, parks and trails, and the library. It also places a premium on quality, context-sensitive infill design within the existing fabric of the City, as there are few other opportunities for growth.

In 2023, the City commissioned a study of growth projections and housing needs (City of Hailey Housing Analysis and Growth Projections, Agnew::Beck, December 2023). The report assessed three population growth scenarios over various time horizons. Table 1 summarizes the anticipated city growth from 2020-2040.

Scenario	Growth Rate	Population Increase	2040 Population
Low	1%	2,678	11,253
Medium	1.3%	3,365	11,940
High	2.5%	5,767	14,342

Table 1: Growth Scenarios

The study also looked at the need for additional housing based on population growth, overcrowding, and rehabilitation and replacement. The resulting 10-Year Housing Need Estimate for the Medium Growth Scenario forecasted a need for an additional 838 housing units or approximately 85 new units per year over the next 10 years. Understanding this need, the City continues to prioritize and reexamine long-term housing goals and use Hailey’s vacant land efficiently to support an attainable housing market. Through various code amendments, pilot programs, and public and private partnerships, the City has encouraged diverse housing opportunities in the form of both market rate and affordable housing types. Table 2 shows that Hailey has approved or entitled an estimated total of 840 housing units over the last five years, exceeding the minimum identified need by 280 units. The total represents both building permits issued and anticipated units entitled through approved land use applications and includes the full range of residential typologies including detached single-family, attached single-family, and multifamily. Appendix A includes a fuller and more detailed picture of Hailey demographics. Section 8 does the same for housing.

Year Approved	Housing Units
2020	85
2021	105
2022	350
2023	200
2024*	100*
<b>TOTAL</b>	<b>840</b>

Table 2: Total Housing Units Approved 2020-2024  
\*As of 10/31/2024

Finally, the results of the Agnew::Beck Build Out Analysis demonstrated that Hailey’s existing zoning code allows for considerable new residential and commercial development to occur. There appears to be enough residential development potential to accommodate the forecasted population growth in all three growth scenarios with an increase in the citywide housing density from the existing 2.4 dwelling units per acre up to 3.7 dwelling units per acre. However, this will necessitate some modification to the regulations pertaining to infill development within the City.

## AREA OF IMPACT

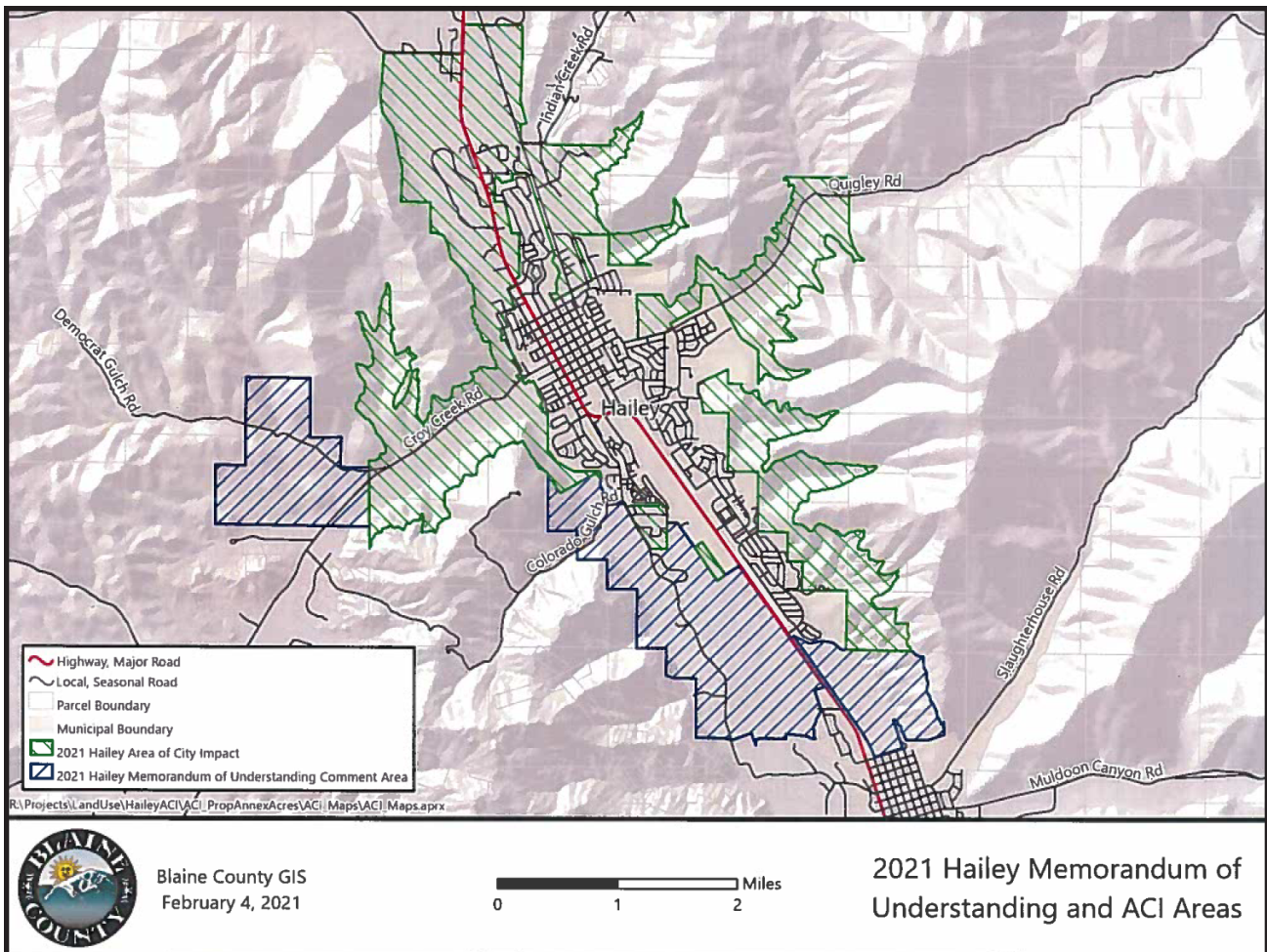
Section 67-6526 of the Idaho Statutes establishes the intent, process, and procedures for establishment of an Area of Impact (AOI) for every city within the state. The provisions of this section were substantially modified in 2024, and state that, “Areas of impact should be established, modified, or confirmed based on the ability and likelihood of a city or cities to annex lands within that area of impact in the near future” (Idaho Statutes 67-6526(1)(b)), and furthermore, in “areas

where municipal or public sewer and water are expected to be provided within five (5) years” (Idaho Statutes 67-6526(4)(a)(iv). The Cities of Hailey and Bellevue both renegotiated their respective AOIs with Blaine County in 2023 (Blaine County Ordinance No.2023-04 and No. 2023-05) which established the boundary between the two cities and reconfirmed the previously existing AOI boundaries.

In addition to the Hailey AOI, the City has a Memorandum of Understanding (MOU) with Blaine County that identifies areas adjacent to Hailey’s City limits, or AOI, where notice is required to be provided to the City when the County is considering various land use applications. “The MOU area(s) remain in county jurisdiction and are not reasonably expected to be annexed by Hailey.” (Blaine County/City of Hailey MOU Instrument #680283)

Hailey’s City limits contain a total of 4,579 lots and/or parcels on approximately 2,555 acres. Hailey’s Area of Impact - outside of and adjacent to the City limits - is comprised of about 4,374 acres and is intended to serve as the natural growth area of the City where urban services can be provided within five years. However, only 778 acres of that total can be considered as buildable and serviceable, and 48% (373 acres) of the buildable total is situated in Croy and Quigley Canyons.

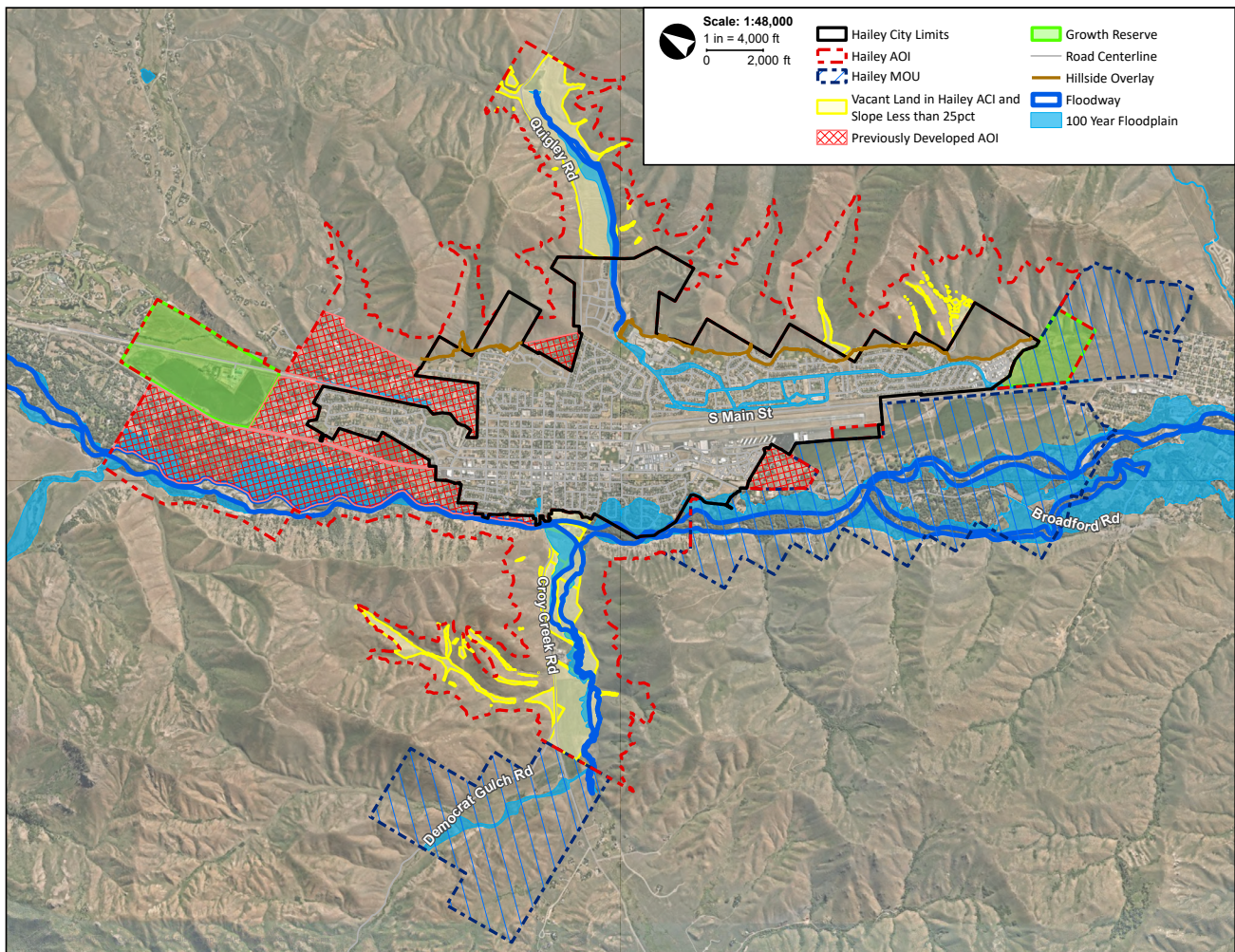
**HAILEY MOU & ACI AREAS**



Croy and Quigley Canyons each have less than 200 acres of developable land once the unbuildable hillsides and floodway/floodplains are accounted for. The community has also expressed a strong desire to see those areas maintained as native areas and recreation. In an effort to preserve and protect water and air quality and access to public land for recreation, the Canyons have been designated as Parks, Recreation, and Open Space on the Future Land Use Map.

Approximately 1,025 acres of the existing AOI is developed with large lots (1 to 5 ac lots) of single-family residential development. These developments were approved by Blaine County and are typically served by individual wells and septic systems. Although still situated within Blaine County, most of these enclaves are now abutting or surrounded by the incorporated limits of Hailey. While the potential for significant infill is extremely limited, these properties use and/or have access to city services including roads, parks, recycling, and emergency services, yet they do not pay city taxes to support these services.

### DEVELOPABLE AREAS



Of the developable land within the AOI, approximately 109 acres are contained in a parcel known as Flying Hat Ranch East, a parcel positioned south of the existing City limits. Approximately 305 acres



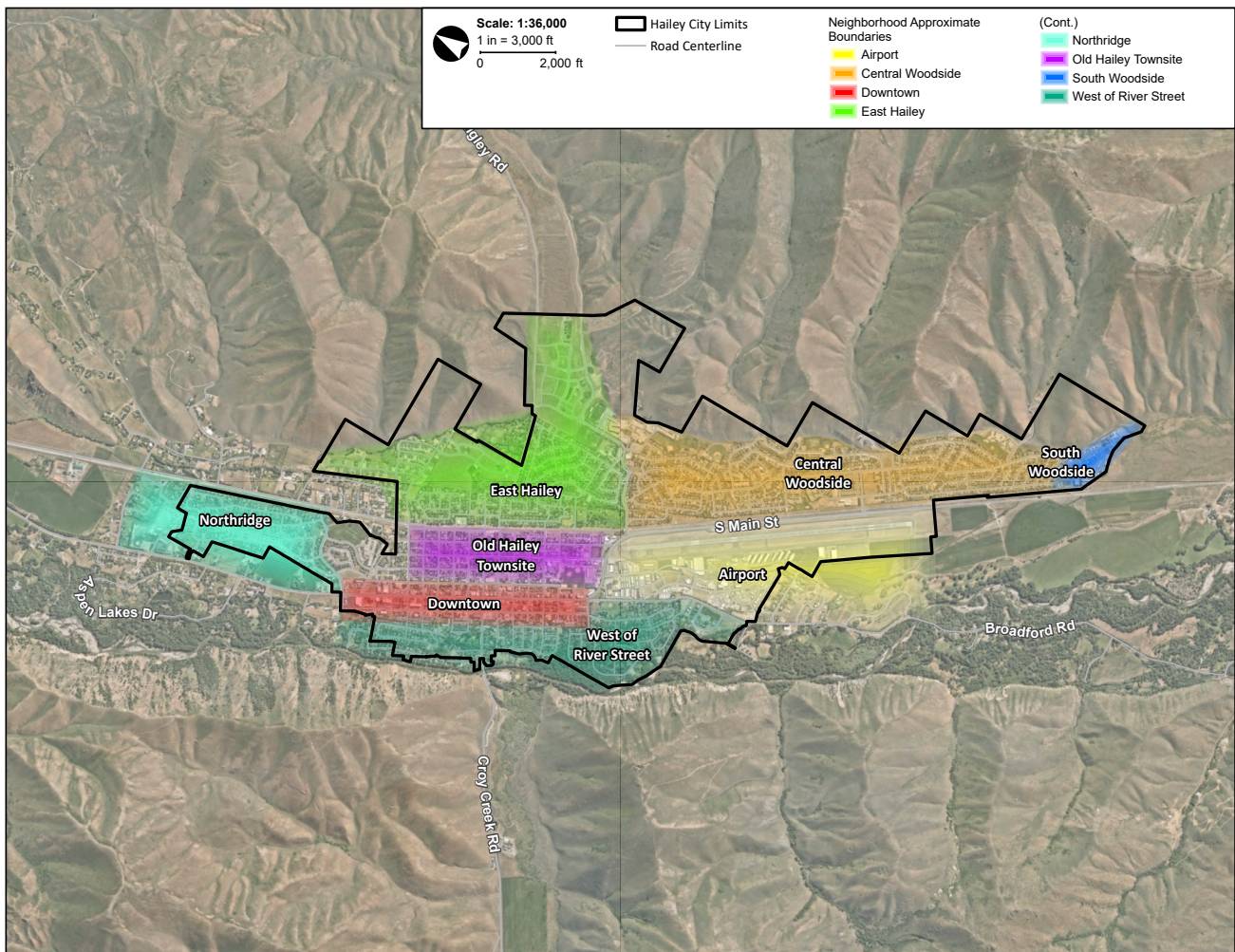
*Photo by Carol Waller*

are situated within a cluster of parcels owned by or referred to as Peregrine Ranch, Idaho Power, and State Department of Lands. These are all located along Hailey's northernmost AOI and on the east side of State Highway 75. Combined, these areas comprise barely over 9% of Hailey's AOI but compose over 90% of the serviceable and developable lands within the AOI. To ensure responsible future development of these parcels, they have been designated as Growth Reserve on the Future Land Use Map. The intention of a Growth Reserve designation is to prioritize future development at an appropriate scale and intensity commensurate with future housing needs within the community. This is addressed more fully in the Future Land Use and Goals sections.

# NEIGHBORHOODS

Neighborhoods are the fundamental building blocks of any city. A city is only as strong as its neighborhoods, and Hailey is endowed with well-established and distinct neighborhoods surrounding the original townsite of historic Old Hailey and its Downtown Core. From its humble beginnings in 1881 to today, Hailey’s historic charm, sense of character, and cultural custom still radiate. The town of Hailey boasts a rich heritage and vibrant culture that make it a fascinating place to live and visit. From the historic buildings and museums to its lively arts scene and community events, Hailey offers a diverse array of experiences that capture the essence of its storied past and dynamic present.

## NEIGHBORHOODS



Each neighborhood, new and old, plays a vital role in balancing the preservation of Hailey’s deeply rooted heritage with present-day development and its identity as the working-class community of the Wood River Valley. While each are distinct in character and historical charm, the boundaries of the various neighborhoods described below are not intended as bright lines; rather they should be

considered as faint seams that intersect and overlap, connecting the various geographies within the City into a cohesive whole.

The importance of strengthening existing neighborhoods while allowing for context-sensitive infill cannot be overstated for accommodating and managing growth. The intent of this section is to facilitate both of these objectives and to identify the form and density of the remaining undeveloped or underdeveloped lands within the City and its Area of Impact.

## **AIRPORT**

The Airport Neighborhood is heavily influenced by the presence and function of the Friedman Memorial Airport (SUN). The neighborhood is bounded by State Highway 75 on the north and east sides, and Broadford Road to the west. The area directly west and adjacent to the airport includes Hailey's largest industrial area, or lands zoned for specific commercial and light industrial uses. Pockets of residential - in the form of live/work or workforce housing accessory units - can be found within the commercial guise of the neighborhood. The greater residential uses west and slightly south of the airport host a smattering of larger-lot single-family residential - the Colorado Gulch Preserve Subdivision (west) annexed in 2017, and the larger County subdivision (slightly south) approved by Blaine County in the 1970s and 1980s. The County properties are situated within the Area of Impact but have not been annexed into the City. Lands to the south and southwest of the airport are owned by the Airport Authority and were purchased to maintain a buffer from future incompatible land uses and to protect the approach and departure zones and function of the airport. All airport owned property is highly regulated by the Federal Aviation Administration (FAA) and is subject to numerous and specific sponsor (airport owner) obligations and grant assurances associated with aeronautical use.

## **DOWNTOWN/MAIN STREET**

Downtown is the nexus of Hailey's core elements. It includes history and art, the principal business district, the gateway to river and trail recreation, and the heart of Hailey. Downtown Hailey effectively functions as 'the neighborhood for all': a neighborhood for, and enjoyed by, residents and visitors alike. It stretches for just over one mile from McKercher Boulevard on the north end to Fox Acres Road on the south end and is bisected by Main Street/State Highway 75 (SH-75) for its entire length. River Street, a multi-modal mixed-use residential street, forms its western boundary and Second Avenue, a mostly quiet residential street, bounds the eastern limit. Downtown/Main Street serves as Hailey's primary commercial district and is home to restaurants, shops and theaters, offices, Hailey's Public Library, the Blaine County Courthouse, and Hailey City Hall.

In addition, the Downtown Neighborhood comprises traditional, detached single-family housing (primarily to the east where Downtown blends into the Old Hailey Townsite Neighborhood), as well as contemporary infill of single-family attached, mid-sized multifamily, and modern mixed-use units (primarily along the western margin of and adjoining River Street). Downtown/Main Street is roughly coincident with the boundaries of the Gateway Urban Renewal District and is subject to the detailed provisions of the Hailey Downtown Master Plan, adopted in 2024.

## **NORTHRIDGE**

The Northridge Neighborhood is located in the northeast area of Hailey and is bounded by McKercher Boulevard to the south, the Wood River Trail/Buttercup Road to the east, SH-75 to the west, and Coyote Bluff Road to the north. It is the last neighborhood before leaving Hailey's City limits and consists almost entirely of single-family residential land uses on lots ranging in size from approximately 10,000 square feet up to 1+ acres. At arm's length, the County's enclaves of large-lot single-family and public or quasi-public uses (e.g., Idaho Power, Idaho Transportation Department, and the Idaho Department of Lands) frame Hailey's Northridge Neighborhood to the north.

## **OLD HAILEY TOWNSITE**

The Old Hailey Townsite, endearingly referred to as Old Hailey, is centrally located in and around Hailey's Downtown core. Old Hailey extends roughly to Buttercup Road to the east, Myrtle Street to the north, south just beyond Cedar Street, and just beyond River Street to the west. Forming the historic residential core of the original City, this neighborhood is largely composed of traditional detached single-family dwellings on small lots with a gridded street pattern boasting 100-foot rights-of-way and alleys. Old Hailey, known for its mature tree canopy with many stately heritage trees, notable architecture, and celebrated charm, continues to carry the western thread of its past, balanced by its more modern present. The City of Hailey has a longstanding policy of protecting the character of this neighborhood, particularly through the adoption of the Townsite Overlay District and associated Design Standards in 2006.

## **EAST HAILEY**

Generally situated along the east side of Fifth Avenue and the Wood River Trail, to the steep hillsides of Patterson Peak forming the eastern boundary of the City, the East Hailey Neighborhood extends from CD Olena Drive on the north end to Fox Acres Road to the south. While cottage housing developments and duplex housing options are present, East Hailey comprises primarily large-lot single-family residential, including the still developing Sunbeam and Quigley Subdivisions, the Hailey Cemetery, the Sage School, and Old Cutters Subdivision. Recreational access to Quigley Canyon and other points east are a stone's throw from East Hailey.

## **WEST OF RIVER STREET**

This eclectic neighborhood includes a diverse composition of land uses from single-family residential lots ranging in size from 6,000-12,000 square feet to a smattering of one-acre lots; small- and mid-sized multifamily blocks to multifarious mixed-use developments. Approaching River Street and Downtown Hailey, density gradually increases with the addition of present-day multifamily housing. Stretching from River Street on the east end to the Big Wood River and the toe of slope of Carbonate and Della Mountains, the north/south dimension of this neighborhood mirrors Downtown in length and composition. This neighborhood extends from McKercher Boulevard to the north to just south of Cedar Street at the southern boundary and also serves as Hailey's western entrance. It too is the gateway to Croy Canyon and other points west in Blaine County, as well as the Hailey Greenway, Hop Porter Park, Lions Park, and the Draper Preserve Trailhead, a popular trail connecting this neighborhood to the Airport Neighborhood via native pathways and riverside vistas.



## **WOODSIDE**

Woodside is framed by SH-75 to the west and Hailey's steep hillsides to the east. As the City's largest neighborhood, it is bifurcated from north to south by Woodside Boulevard, connecting SH-75 on the south end to Fox Acres Road on the north end. Hailey's largest and most densely populated neighborhood is composed primarily of compact single-family residential land uses first platted in the 1960s. Woodside boasts the largest concentration of housing within the City and has recently seen the addition of somewhat higher density multifamily projects, including aggregation of workforce and community housing. It is home to Keefer Park, Kiwanis (Balmoral) Park, Founders Field, and hosts Alturas Elementary, Wood River High School and Blaine County's Community Campus.

## **SOUTH WOODSIDE**

South Woodside is a compact commercial neighborhood situated on the east side of SH-75, extending from Meadow Mountain Drive on the north end to the current southernmost extent of city development. Except for a handful of remnant parcels, this area is fully developed with a range of industrial uses including the City's Wastewater Facility, various automotive repair and maintenance storefronts, and warehouse and hardware complexes. South Woodside is also the home of Syringa Mountain School and the Power Engineers office complex.

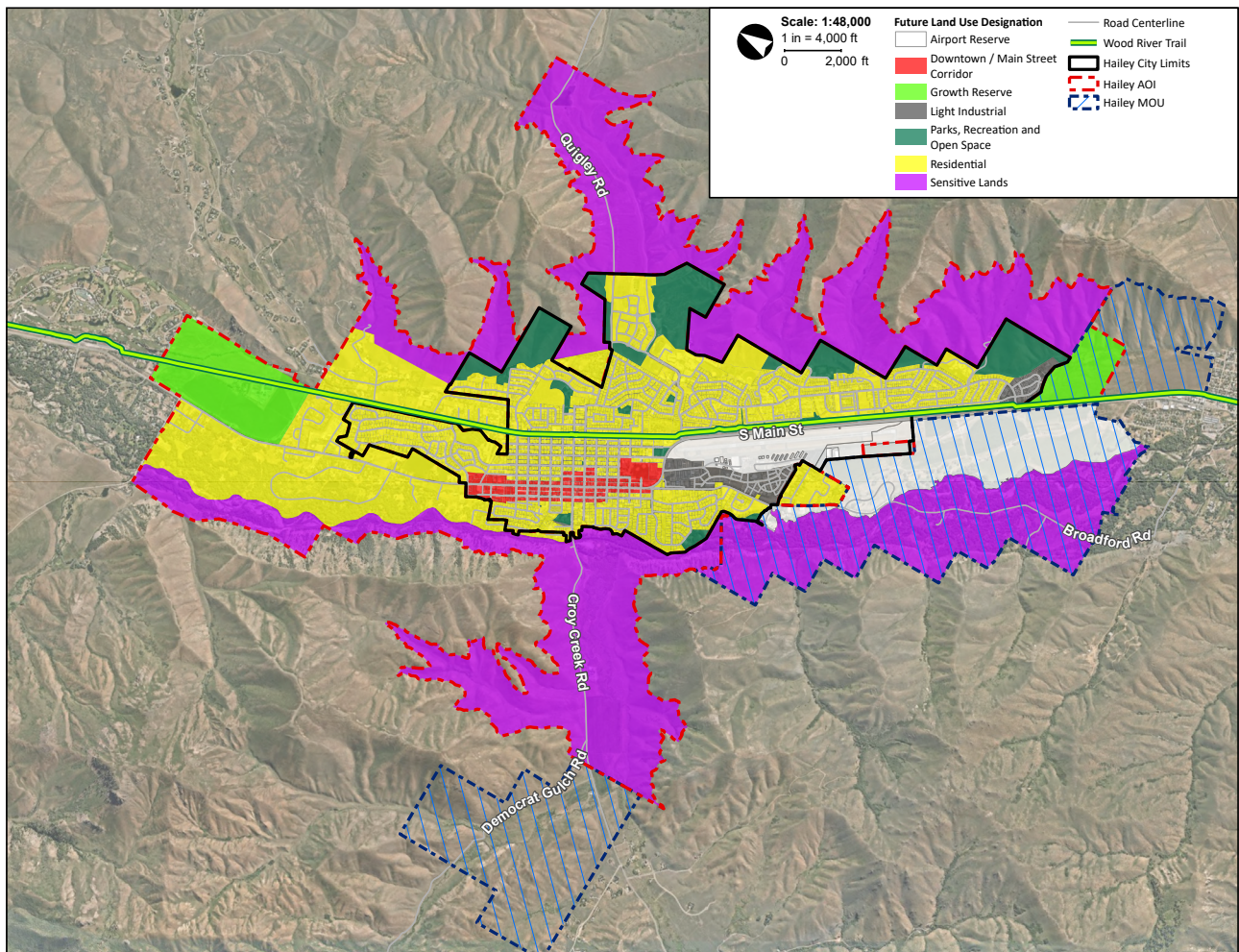


# FUTURE LAND USE

The future land use categories described below are intended to ensure that Hailey contains an adequate mix of land uses to serve its citizens, businesses, and visitors in a way that is consistent with the vision and values of the community. The future land uses are reflective of Hailey’s need to accommodate responsible growth and the compact infill development necessary to support a thriving community for those that wish to call Hailey and the Wood River Valley home.

Because the City is largely built out under current zoning regulations, it is expected that most future development will be in the form of either large-scale expansion opportunities within the AOI (as noted above), or context-sensitive infill within the existing City limits. Acknowledging this, the Future Land Use Categories are mainly reflective of the existing distribution of land uses within the City. The primary exceptions are isolated undeveloped parcels within the existing City limits coupled with the Peregrine and Flying Hat Ranches within Hailey’s Area of Impact as discussed above.

## FUTURE LAND USE MAP



## FUTURE LAND USE DESIGNATIONS

### DOWNTOWN / MAIN STREET CORRIDOR

Downtown Hailey is the historic commercial, civic, and cultural hub of the City, and will continue to balance the needs for commercial, office, and institutional land uses with the need for housing and architecture that is consistent with Hailey's unique history. Downtown is further characterized by its pedestrian orientation, location, and density with zero-setback buildings encouraged. It is the community's neighborhood, providing for a wide range of uses, events, entertainment, and public art. Main Street will primarily accommodate commercial/retail/office uses and buildings that frame the public right-of-way, creating a comfortable pedestrian environment. The highest residential densities allowed in the City can also be found within this district. Land uses will continue to decline in intensity and density on the margins of the district. Downtown will continue to serve as the primary community gathering space, fostering places for locals and visitors to celebrate the City's diverse heritage and storied traditions while accommodating the needs of the future.

### RESIDENTIAL

The Residential land use category constitutes the largest use of land within the City. It is intended to allow for the expansion and infill of residential land uses at various densities that are consistent and congruent with existing development patterns and controlled by zoning. This recognizes that residential land uses are compatible with other residential land uses and that issues of compatibility are best addressed by quality design rather than by arbitrary density standards. It further acknowledges the need for a range of housing types and price points along the density continuum of detached single-family, attached-single-family, and assorted forms and styles of multifamily development. It, too encourages a limited mix of small-scale, neighborhood-serving commercial uses subject to regulatory provisions on scale and design.



*photo by Carol Waller*



*photo by Josiah Brown*



*image obtained from Google Street View*

## LIGHT INDUSTRIAL

Areas containing light industrial uses are important to a variety of business sectors that focus on the production of products and services that are less compatible with residential land uses and do not compete with the commercial land uses in the Downtown/Main Street Corridor designation. In addition, the Light Industrial district supports employment opportunities that allow a diverse cross section of residents to both live and work within the community. This designation applies to parcels located within the South Woodside Neighborhood and the properties situated between the Airport and Broadford Road.



## AIRPORT RESERVE

The Airport designation includes the airport proper, and the adjacent lands owned by Friedman Memorial Airport. Areas directly adjacent to the airport – parcels meant to protect the operational capacity of the airport while mitigating noise and pollution impacts on the larger community – are also included within this Reserve.



## PARKS, RECREATION, AND OPEN SPACE

The Parks and Open Space land use designation applies to publicly or privately owned properties open to the public and utilized primarily for parks, trails, pathways, greenbelts, playgrounds, recreation facilities, and/or open space purposes.



## SENSITIVE LANDS

Surrounded by lands conserved through the Bureau of Land Management, Wood River Land Trust, and Blaine County Recreation District, the community supports an environmentally rich area with clean water, fresh air, and native landscapes. The Sensitive Lands designation ensures the native landscapes and open spaces in, and surrounding Hailey, are preserved. Sensitive Lands applies to lands that cannot or should not be developed due to naturally occurring constraints that significantly inhibit or



preclude development. This includes the floodways, the 100-year floodplains associated with the Big Wood River, Croy and Quigley Canyons, and the hillsides or adjacent land susceptible to landslides and avalanches, and sensitive wildlife habitat or overwintering areas.

### **GROWTH RESERVE**

This newly created designation applies to large undeveloped or underdeveloped areas within Hailey's AOI, namely Peregrine and Flying Hat Ranches. It is anticipated that any proposed development will be processed as a Planned Unit Development concurrently with requests for Annexation and Subdivision, as applicable. The intent of the Growth Reserve designation is to develop compact, diverse neighborhoods that blend mixed uses with a variety of housing types at varying densities, appropriate recreation and open space areas, interconnected streets and pathways with a high level of connectivity to existing transportation facilities, neighborhood-serving, small-scale commercial (that does not detract from Downtown business district) and high quality architectural and site design.



### Future Land Use – Zoning Compatibility Matrix

Zones	Future Land Use Designations						
	Downtown / Main Street	Residential	Light Industrial	Airport Reserve	Parks, Recreation, Open Space	Sensitive Lands*	Growth Reserve
Airport							
Business							
General Residential							
Light Industrial							
Limited Business							
Limited Residential 1							
Limited Residential 2							
Neighborhood Business							
Recreational Greenbelt							
SCI Industrial							
SCI Sales Office							
Technological Industry							
Transitional							

*\*Sensitive lands are located in overlay districts and do not receive a zoning designation.*

## GOALS, OBJECTIVES, AND POLICIES

The following goals, objectives, and policies are meant to establish the City's philosophy of land use to guide decision-making on proposed developments and zone changes (in tandem with the Future Land Use Map) in accordance with the vision and values of the comprehensive plan. Goals are a high-level, aspirational expression of a future state of being. Objectives are more specific and measurable indicators toward achieving the goal, and policies are specific actions to be taken to achieve the objective.

### **Goal 3.5.1 – Ensure that Hailey is a vibrant, dynamic, attractive, and affordable place to live, recreate, and operate businesses.**

*Objective – Maintain the charm, character, and integrity of established neighborhoods while allowing for the gradual infill of similar and appropriate land uses.*

- A. Use a public process to determine community priorities and develop and adopt design and development standards for infill development within appropriate zoning districts. This includes preservation of significant trees, connected sidewalks and pathways, park space, and recreational amenities.
- B. Develop and adopt zoning standards that allow for the development of neighborhood-serving commercial uses that do not detract from the vibrancy of the commercial core by establishing strict limits on the location, scale, intensity, and design of allowed uses.
- C. Identify capital improvement projects within City limits that accommodate future development in already-developed areas.

*Objective – Achieve high quality architecture and site design for all new development and redevelopment within the city.*

- D. Create specific design and development standards for the Growth Reserve land use designation.
- E. Develop parking standards that encourage and prioritize shared parking arrangements to ensure that high-value commercial lands are not developed with excessive surface parking.

### **Goal 3.5.2 – Make Downtown Hailey the center of commercial, civic, and cultural activity within Hailey and the Wood River Valley.**

*Objective – Promote mixed-use development within the Downtown/Main Street Designation, particularly the addition of housing above ground floor commercial.*

- A. Review and amend the zoning standards pertaining to mixed-use developments within the Business Zoning District.
- B. Develop standards and incentives for the development of community housing units, live-work

units, and other diverse housing options within the Business and Industrial zoning districts.

- C. Adopt consistent and cohesive building, site design, and human-scale streetscape standards for Downtown/Main Street to further encourage commercial, civic, and cultural activity in Hailey.
- D. Create a work plan and/or capital improvement plan for implementation of the 2024 Downtown Master Plan.

*Objective – Ensure that Downtown is an active and welcoming civic center that promotes and encourages public gatherings.*

- E. Create a central gathering place within Downtown as envisioned in the Downtown Master Plan.
- F. Adopt streetscape standards for Downtown/Main Street in accordance with Downtown Master Plan, including provisions for street level activation such as outdoor dining and urban design elements and street furnishings.
- G. Ensure Downtown businesses are accessible by vehicles, bicycles, and pedestrians, serving the needs of diverse resident and visiting populations, and maintaining a safe, active, and vibrant sense of place for all.
- H. Require the provision of civic space commensurate with the scale of new development within Downtown.
- I. Activate underutilized spaces such as parking lots or low-traffic areas downtown through events and temporary uses and installations. Identify specific locations where development is desired and support pop-ups to test and call attention to the potential of these areas.

**Goal 3.5.3 - Promote environmental stewardship of wild lands, open spaces and water resources surrounding the City by prioritizing infill development within the developed areas of Hailey.**

*Objective – Promote the stewardship and preservation of natural and open spaces, flood zones, canyons and hillsides within and around Hailey.*

- A. Adopt appropriate development standards and zoning tools for the conservation of Sensitive Lands Designation.
- B. Facilitate the establishment of conservation easements through annexation or redevelopment to further protect native landscapes, open space, and water resources.
- C. Identify areas of opportunity for camping and day use facilities that encourage responsible use of land within designated areas.

*Objective – Encourage development patterns and practices that preserve vegetation, open spaces, and natural features.*

- D. Adopt low-impact development standards to protect the natural floodplain of the Big Wood River and water resource of the aquifer.
- E. Require new development to protect and preserve open space and existing natural features.



- F. Develop educational resources on the value and best practices pertaining to coexistence with wildlife within the context of urban forests, open spaces, developed parks, and streetscapes.
- G. Require the preservation of the mature and healthy tree canopy within the city and consider standards for the replacement and/or mitigation of the unavoidable loss of trees due to development.

**Goal 3.5.4 – Ensure that the Hailey Area of Impact becomes fully integrated into the civic and cultural fabric of the city and serves its intended purpose to accommodate responsible growth.**

*Objective – Ensure that previously developed areas within the AOI are serviceable with municipal sewer and water services upon the failure of individual septic systems and/or private wells.*

- A. Develop an annexation plan for the incremental inclusion of the previously developed lands within the AOI through a public engagement process with residents of impacted areas.
- B. Develop a plan for the eventual extension of municipal water and wastewater collection facilities to the unincorporated areas of the AOI.

*Objective – Ensure that the lands designated as Growth Reserve develop in a responsible manner that is consistent and cohesive with surrounding neighborhoods and at a density that serves the city's need for significant new housing of all types at a variety of price points.*

- C. Develop specific zoning standards for the development of the Growth Reserves as Planned Unit Developments including requirements for compact, diverse neighborhoods that blend mixed-uses with a variety of housing types at varying densities, appropriate recreation and open space areas, interconnected streets and pathways with a high level of connectivity to existing transportation facilities, neighborhood-serving, small-scale commercial (that does not detract from Downtown business district) and high quality architectural and site design.

*Objective – Ensure the continued safe and efficient operation of Friedman Memorial Airport and reduce impacts on the surrounding community by appropriately regulating surrounding land uses.*

- D. Work with Blaine County, jurisdictions, and other applicable agencies to preserve and protect surrounding properties and airport-owned properties adjacent to the existing airport and located within Hailey's MOU area.
- E. Work with the Friedman Memorial Airport Authority Board to preserve, protect, and/or develop appropriate land uses, development standards, and regulations for airport-owned lands to be included in the AOI and/or City of Hailey.

## IMPLEMENTATION MATRIX

The implementation matrix organizes specific actions to assist the City in achieving the goals articulated in the plan. Implementation timelines are subject to political direction and economic conditions and may be shorter or longer than provided estimates. In general, Short Term is considered to be 1 to 3 years, Medium Term is considered to be 3 to 5 years and Long Term is considered to be 5 years or greater.

Section 5 Policies	Responsible Departments	Short Term	Medium Term	Long Term
<b>Goal 3.5.1 – Ensure that Hailey is a vibrant, dynamic, attractive, and affordable place to live, recreate, and operate a businesses.</b>				
1. Build out a development tracker to track changes to housing stock.	Community Development – Planning Services			
2. Update the zoning code to reflect priorities in Comprehensive Plan.	Community Development – Planning Services			
3. Develop a work-plan that tracks capital improvement projects.	Community Development – Planning Services, Public Works			
4. Create development standards for the Growth Reserve land use designation.	Community Development – Planning Services			
<b>Goal 3.5.2 – Make Downtown Hailey the center of commercial, civic, and cultural activity within Hailey and the Wood River Valley.</b>				
1. Update code within the Business and Industrial Zoning Districts to allow for mixed-use zoning, community housing density increases, and live-work units.	Community Development – Planning Services			
2. Create and implement a work plan for the 2024 Downtown Master Plan.	Community Development – Planning Services, Public Works Streets Department			
3. Update code to incentivize creation of public places in new development.	Community Development – Planning Services			

Section 5 Policies	Responsible Departments	Short Term	Medium Term	Long Term
4. Adopt streetscape standards for Downtown that invites active transportation.	Community Development – Planning Services			
<b>Goal 3.5.3 – Promote environmental stewardship of wild lands, open spaces, and water resources surrounding the city by prioritizing infill development within the developed areas of Hailey.</b>				
1. Add incentives for infill development.	Community Development – Planning Services			
2. Update code to protect open space and sensitive areas from development.	Community Development – Planning Services			
3. Buildout an engagement and implementation program on communities interfacing with wildlife.	Community Development - Sustainability			
<b>Goal 3.5.4 – Ensure that the Hailey Area of Impact becomes fully integrated into the civic and cultural fabric of the city and serves its intended purpose to accommodate responsible growth.</b>				
1. Develop an annexation plan for lands within AOI.	Community Development – Planning Services			
2. Develop a plan for expanding municipal water and wastewater collection for unincorporated areas.	Community Development – Planning Services, Public Works			
3. Work with Blaine County to preserve and protect Airport owned properties in the MOU area.	Community Development – Planning Services			
4. Update development standards for airport owned land.	Community Development – Planning Services			



Photo by Carol Waller

## Section 6

# Economic Development

## INTRODUCTION

A healthy, balanced economy is a key element that contributes to a community's vitality and quality of life. Maintaining and growing the City of Hailey's economy is essential to retaining its strong sense of community and employment opportunities for its residents.

Hailey residents and businesses support a thriving regional tourism industry that fuels visitor amenities and other nearby tourism-based communities. While Hailey has capitalized on its proximity to these areas, as well as its enviable outdoor resources, the challenges inherent in tourism-based economies have become more pronounced in recent years.

Tourism-based economies have always been fueled by discretionary spending and thus are highly susceptible to disruption. Historically, communities have been impacted by economic events, industry trends, and environmental conditions. The COVID-19 pandemic unveiled new vulnerabilities.

### GUIDING PRINCIPLE

*Continue to build upon Hailey's diverse local economy by encouraging a renewed focus on existing assets, fostering business success, and supporting local job creation to ensure equal employment for all.*

COVID-19 accentuated disparities in housing affordability, unemployment/underemployment, and economic inactivity. Remote work, more prevalent in higher-wage industries, resulted in new, permanent and part-time residents relocating to desirable communities like Hailey with access to outdoor recreational amenities. This further impacted already-challenged housing markets, making it difficult for site-based employees to live where they work.

These impacts have further exacerbated businesses' ability to retain and recruit workers. Coupled with the demand for limited industrial real estate, these conditions restrict growth opportunities for Hailey businesses, especially smaller entrepreneurial and start-up businesses, and, on a broader level, affect location decisions for all businesses.

***Promoting the places, people, and policies to foster targeted business growth to ensure a vibrant, sustainable economy.***

Economic diversification broadens a community's economic base, reduces local tax revenue risk, and provides for a range of sustainable economic opportunities. Ensuring the stability of the local economy is essential to maintaining ample employment opportunities and full-time resident base, which further supports Hailey's sense of community. In 2022, just 31.2% of those employed in Hailey lived in the community (US Census, On the Map, 2022 Data).

Most of a community's job growth comes from small businesses. Many of Hailey's businesses employ fewer than seven workers. While small business owners are subject matter experts in their fields, they often lack the resources and specialized expertise to guide and scale growth. Operating in a remote region, growth may be further constrained by limited access to capital, facilities, and workforce.

City-led business visitation programs create relationships that generate important feedback. These relationships provide educational opportunities for City representatives and serve as early warning systems, enabling policy makers to mitigate challenges and respond to industry trends and societal changes. They can also identify suppliers and other potential complementary businesses to target in attraction efforts.

With limited City resources available for economic development, partnerships with other stakeholder entities are essential. This is especially true in smaller and physically remote communities. Entities coalesced can maximize their collective strengths, share information, leverage resources, identify common needs, and develop programs to address challenges facing businesses.

There is no single magic solution. Multiple incremental achievements reduce risk, offer greater sustainable diversity, provide for efficient use of resources, and are consistent with Hailey's community goals.

Economic Development is just one element of the Comprehensive Plan, which represents an integrated strategy to guide tactics that lead to multiple benefits and community-wide solutions. For example, increasing access to workforce housing will improve the local labor market for hiring, increase employee retention, improve business performance, reduce commutes, and improve quality of life; while land use policies can foster an environment that balances business development and its impact on local housing and employment.

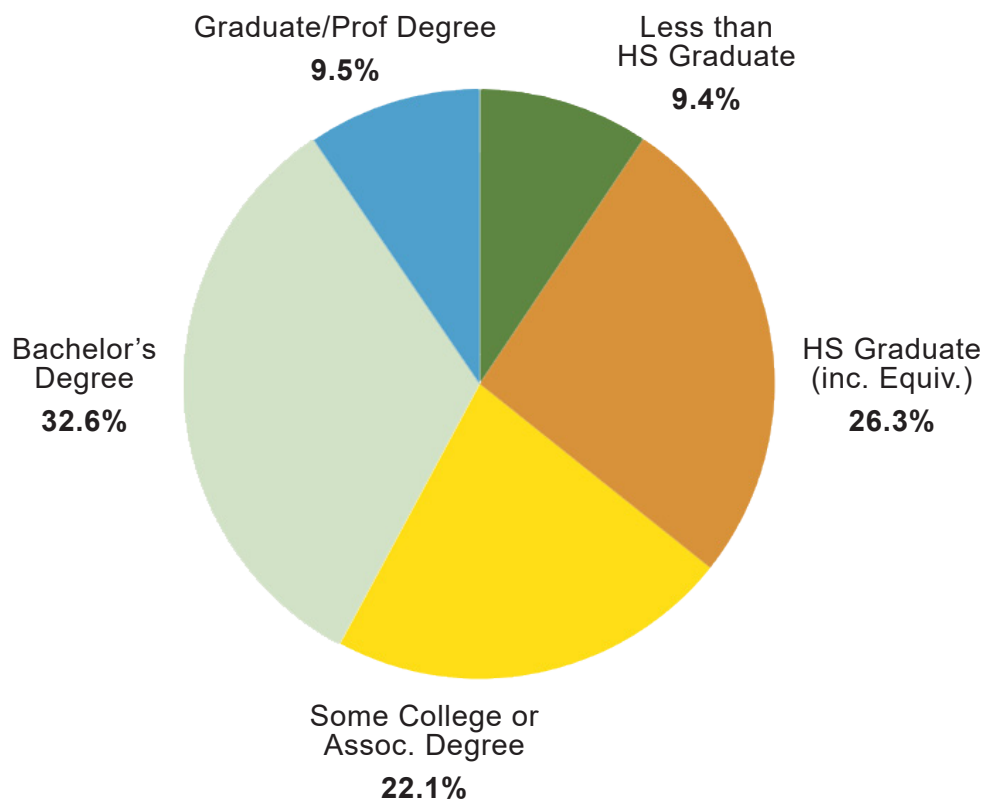
Many of the Economic Development objectives contribute to multiple goals. All are meant to be implemented collectively while keeping in mind the following considerations:

- Prioritize economic development activity within existing boundaries
- Support compatible industry sectors that strengthen employment opportunities across all income levels
- Partner to leverage resources for efficiency and far-reaching, impactful benefits

## WORKFORCE & HOUSEHOLD DEMOGRAPHICS

Educational attainment is important in understanding Hailey’s broader workforce skills and income potential. These demographics are also important to consider in targeting business expansion and attraction efforts. Forty-two percent (42%) of Hailey’s population holds a bachelor’s degree or higher; lower than 45% of Blaine County residents, yet higher than 30.9% of Idaho residents. By comparison, 9.4% of Hailey residents have less than a high school diploma, compared to 9.8% of Blaine County residents and 8.3% of Idaho residents (US Census, 2023 ACS 5-Year Estimates, Table S1501).

### EDUCATIONAL ATTAINMENT FOR POPULATION OVER 25



Source: US Census, 2023 ACS 5-Year Estimates, Table S1501

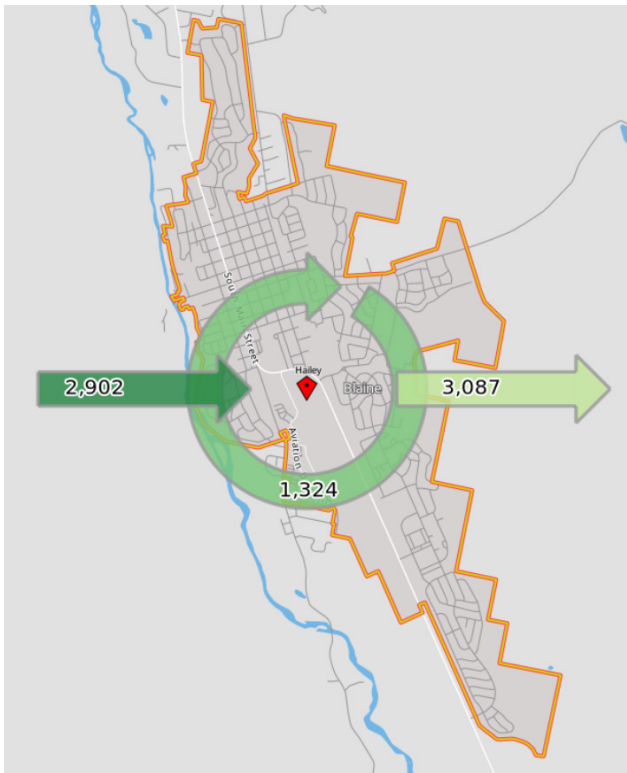
As of 2023, Hailey has a median household income of \$83,084, slightly less than Blaine County’s median household income of \$84,470, and about 11% higher than Idaho’s median household income of \$74,942.

## HOUSEHOLD INCOME DISTRIBUTION

Household Income	Hailey	Blaine County	Idaho
Less Than \$9,999	0%	2.4%	3.9%
\$10,000 to \$24,999	9.7%	6.3%	8.8%
\$25,000 to \$49,999	23.3%	18.6%	18.8%
\$50,000 to \$74,999	11.0%	16.1%	18.6%
\$75,000 to \$99,999	16.9%	17.3%	14.2%
\$100,000 to \$149,999	20.7%	18.9%	18.7%
\$150,000 to \$199,999	7.2%	8.1%	8.5%
\$200,000 or more	11.1%	12.4%	8.6%
<b>Median Income</b>	<b>\$83,084</b>	<b>\$84,470</b>	<b>\$74,942</b>

Source: US Census, 2023 ACS 5-Year Estimates, Table S1901

## EMPLOYMENT: INFLOW/OUTFLOW



<b>Employed in the Selection Area</b>	<b>4,226</b>	<b>100%</b>
Employed in the Selection Area but Living Outside	2,902	68.7%
Employed and Living in the Selection Area	1,324	31.3%

<b>Living in the Selection Area</b>	<b>4,411</b>	<b>100%</b>
Living in the Selection Area but Employed Outside	3,087	70.0%
Living and Employed in the Selection Area	1,324	30.0%

Source: US Census, On the Map, 2022 Data



## HAILEY'S BUSINESS COMMUNITY

Nearly 800 Hailey-based employers provide more than 5,300 jobs. The largest industry sectors by employment are Education & Health Services, Construction, Trade and Leisure & Hospitality.

Approximately 2,900 people from outside of Hailey come to the City for employment, and 3,087 residents leave Hailey for employment.

### EMPLOYMENT BY INDUSTRY

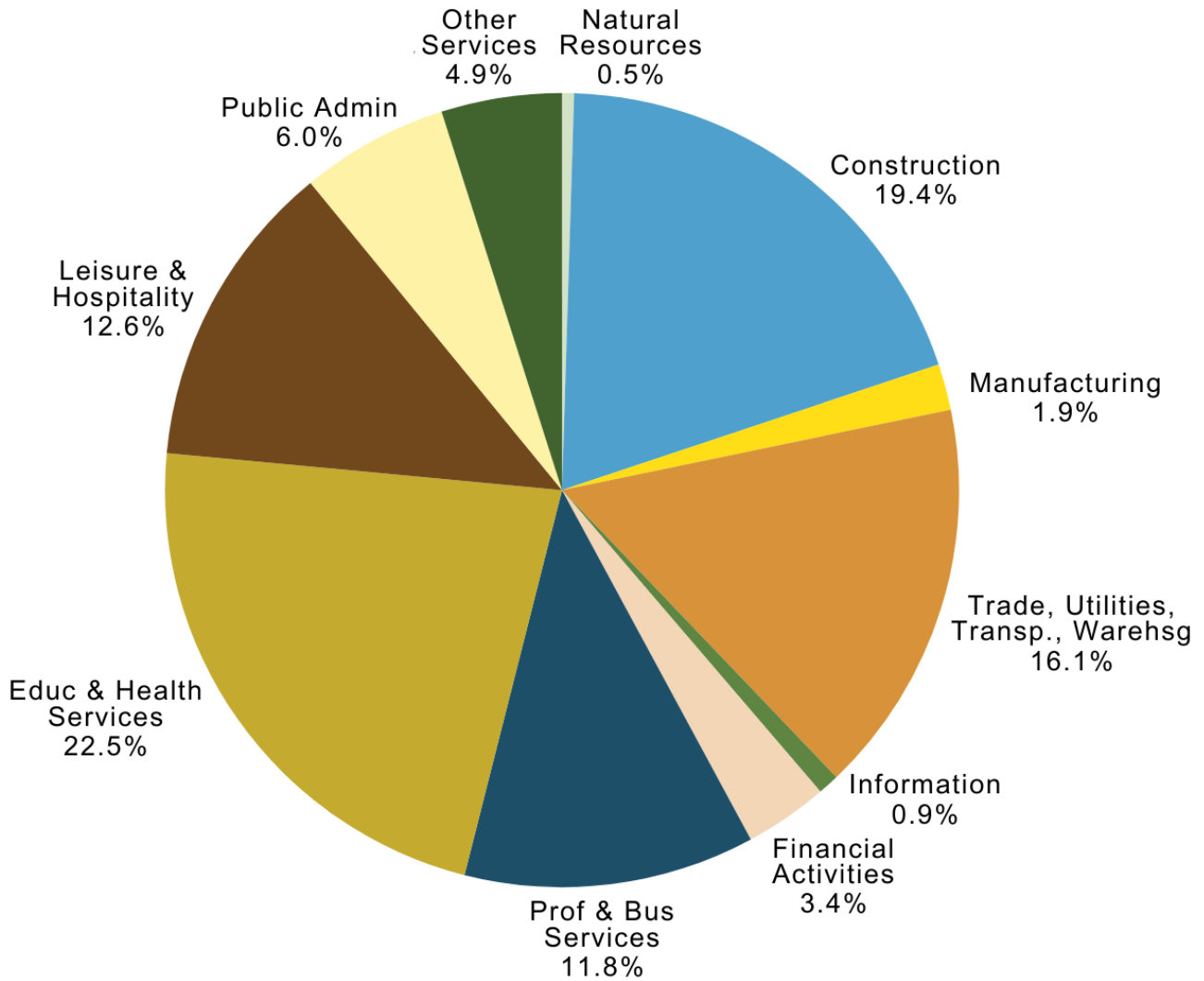
Industry Sector	Average Employment	Establishments	Avg Emp/ Estab	Avg County Wages (2022)
Natural Resources	26	8	3.3	\$49,227
Construction	1,035	192	5.4	\$58,394
Manufacturing	100	Information Suppressed		\$55,398
Trade, Utilities, Transportation & Warehousing	860	89	9.7	\$51,563
Information	46	15	3.1	\$75,063
Financial Activities	181	79	2.3	\$131,318
Professional & Business Services	632	163	3.9	\$73,015
Educational & Health Services	1,203	82	14.7	\$62,593
Leisure & Hospitality	672	68	9.9	\$36,246
Public Administration	321	5	64.2	\$55,829
Other Services	262	71	3.7	\$55,096

Source: Quarterly Census of Employment and Wages, Idaho Department of Labor, 2022 Data

Industry sector data illustrates important considerations for Hailey's economic development. The Leisure & Hospitality sector is the lowest wage industry and, as revealed during the pandemic, is also most susceptible to unplanned occurrences, affecting the most vulnerable segment of the workforce as well as revenues to fund public services. While this sector will remain an integral part of Hailey's economy, efforts to strengthen these key local businesses and grow compatible industry sectors will further help to diversify Hailey's economy and reduce the risk against disruptions.

Direct, indirect, and induced industry multipliers are high in the Manufacturing, Information, Financial Activities, and Professional Services sectors, resulting in additional jobs and local

## EMPLOYMENT DISTRIBUTION BY INDUSTRY SECTOR



Source: Quarterly Census of Employment and Wages, Idaho Department of Labor, 2022 Data

## MAJOR EMPLOYERS

Employer	Number of Employees
Friedman Municipal Airport	400 – 499 employees *
Blaine County School District #61	300 - 399 employees
Power Engineers	150 - 199 employees
Blaine County	150 - 199 employees
Albertson's	100 - 149 employees

Source: Disclosable Employers, Idaho Department of Labor, 2022 Data

\* See paragraph below

spending within the community. Most of these sectors provide stable, full-time, higher wage jobs and often offer support positions that do not require degrees.

Anchor institutions and businesses, primarily made up of the Education and Health Services (“eds and meds”) and Public Administration sectors, are rooted in place and account for 28.5% of all Hailey jobs. These entities typically provide full-time jobs at stable wages. Maintaining strong relationships with these key stakeholders can reveal policy and procedural barriers to business success and identify collective procurement needs for use in business expansion and attraction efforts that can contribute to diversification.

While Friedman Memorial Airport does not fall into the traditional government or “eds and meds” anchor industries, it is an anchor entity which will remain for the foreseeable future. While it does present land use compatibility issues that should continue to be monitored and addressed, the airport generates significant positive direct impacts and multiplier effects. In addition to tourism-related jobs and spending, Friedman Memorial Airport maintains aviation-related job opportunities for skilled labor and further facilitates the operation of important transportation services that support aerial firefighting and medical services. On-site jobs—airport employees, contractors, service providers, and others—if viewed collectively, would make Friedman Memorial Airport Hailey’s largest employer.

## GOALS, OBJECTIVES AND POLICIES

### **Goal 3.6.1 – Diversify Hailey’s economic base and increase year-round employment opportunities.**

*Objective - A vibrant, resilient economy ensures consistent revenue streams to fund City services and fosters stable employment opportunities across all income levels.*

- A. Leverage the presence of existing businesses and identify immediate diversification/expansion opportunities.
- B. Maintain a balance of land uses that provide for economic diversification and year-round job opportunities at wages that allow workers to live and work in Hailey.
- C. Foster retention, expansion and attraction of businesses that serve residents’ needs for year-round goods and services.
- D. Grow compatible industry sectors that align with Hailey’s workforce and are less susceptible to economic disruption.
- E. Build upon the success of existing businesses by exploring complementary businesses and suppliers.
- F. Explore reuse/repositioning opportunities for City-owned assets, analyzing revenue and employment opportunities.
- G. Consider the nexus between new development and resulting employment generation and increased housing demand.

### **Goal 3.6.2 - Promote land use and development that contributes to economic diversification.**

*Objective - Strategic development and redevelopment within existing City limits maximizes land uses and serves to meet market demands while managing appropriate, sustainable growth.*

- A. Within individual land use designations, provide flexibility to respond to changing market conditions and industry trends and ensure inventories represent a variety of sizes and space characteristics.
- B. Prioritize development of infill and underutilized parcels.
- C. Utilize specific area plans and urban renewal districts to guide and encourage growth in locations and industry sectors for a variety of job opportunities across all wage levels.
- D. Monitor commercial real estate demand and work with property owners, Hailey Urban Renewal Agency, and other stakeholders to guide appropriate development that meets community goals.
- E. Accommodate commercial space in appropriate areas which offers greater opportunity to meet user demand and reduced risk for property owners.
- F. Continue to work with Friedman Memorial Airport to maximize adjacent land for appropriate uses that contribute to the City’s economic development goals.



Photo by Carol Waller

- G. Utilize potential tax increment financing in the proposed South Woodside Urban Renewal District to increase spaces to accommodate year-round businesses.
- H. Maintain locations for light industry and evaluate opportunities and regulations relating to live-work light industry development.
- I. Explore the viability of an industrial park to serve the region’s outdoor recreation manufacturing and distribution industry cluster.

**Goal 3.6.3 - Support proactive, innovative strategies to address resident and business needs.**

*Objective - Supportive policies and programs can address resident and workforce needs and the unique operational needs of Hailey’s business community.*

- A. Simplify procedural processes to reduce the cost of doing business.
- B. Explore programs and policies to increase the number of commercial and licensed in-home childcare providers.
- C. Direct assistance to encourage new commercial and licensed in-home childcare providers.
- D. Regularly survey residents to identify local gaps in availability of goods and services.
- E. Explore alternative business operational models including co-working spaces and mobile vendors to support small business growth and entrepreneurship.
- F. In partnership with stakeholders such as the Blaine County Recreation District, explore the creation of a sports and recreation venue.
- G. Host “grow local” events to introduce and promote resident-serving businesses to the community.
- H. Promote and expand opportunities for innovators and entrepreneurs to network and bring ideas to fruition and new products to market.
- I. Evaluate alternative funding sources such as an expanded Local Option Sales Tax and creation of an Auditorium District.
- J. Support small, start-up, entrepreneurial, and innovative businesses in ways that foster growth and create improved job opportunities.
- K. Prioritize economic development that supports renewable and/or clean energy technology and services, regenerative agriculture and local food systems.

**Goal 3.6.4 - Establish collaborative partnerships to strengthen workforce development and grow a year-round economy.**

*Objective - Collaborative partnerships bring together stakeholders with common goals, leveraging resources for sustainable community results across the region.*

- A. Establish regional and local partnerships comprised of business, education, and government entities.
- B. Strengthen workforce development efforts, including career and technical education programs, to meet business needs, grow a skilled resident workforce, and prepare youth for jobs that

would allow them to remain in or return to the region.

- C. Engage the business community and educational institutions to share information about educational requirements and training programs to ensure a prepared future workforce.
- D. Support workforce housing that enables workers to live and prosper in Hailey and helps businesses retain valued employees.
- E. Encourage and participate in regional and state efforts to create and implement joint economic development strategies that foster economic diversification and year-round job opportunities.
- F. Serve as a liaison, connecting businesses with local, state, regional, and federal resources for training, incentives, and other resources.
- G. Continue to actively collaborate and coordinate with the Idaho Transportation Department, Mountain Rides Transportation Authority, and other applicable agencies to improve regional transportation services.

**Goal 3.6.5 - Develop strategies to support goals, projects, and implementation measures contained in the Downtown Master Plan and Gateway Urban Renewal Plan.**

*Objective - Downtown is the economic, social, cultural, and historical heart of Hailey.*

- A. Implement the Downtown Master Plan and Gateway Urban Renewal Plan.
- B. Collaborate with local businesses and organizations, like the Hailey Urban Renewal Agency, to provide and/or support public infrastructure to attract economically diverse businesses downtown.
- C. Encourage the establishment of a downtown business improvement district.
- D. Activate downtown with physical placemaking elements; community, cultural, family-oriented and youth events; and expanded hours of operation.
- E. Pursue public-private partnerships to ensure sufficient parking to enable redevelopment of underutilized properties.
- F. Encourage year-round, consistent hours of operation to serve both visitors and residents.
- G. Encourage diverse local restaurants and retail on the ground floor.
- H. Support business merchandising efforts such as “shop local” events and training for e-commerce and other opportunities to expand business models for year-round operations and employment.

## IMPLEMENTATION MATRIX

The implementation matrix organizes specific actions to assist the City in achieving the goals articulated in the plan. Implementation timelines are subject to political direction and economic conditions and may be shorter or longer than provided estimates. In general, Short Term is considered to be 1 to 3 years, Medium Term is considered to be 3 to 5 years and Long Term is considered to be 5 years or greater.

Section 6 Policies	Responsible Departments	Short Term	Medium Term	Long Term
<b>Goal 3.6.1 – Diversify Hailey’s economic base and increase year-round employment opportunities.</b>				
1. Leverage the presence of existing businesses and identify immediate diversification opportunities.	Community Development – Planning Services			
2. Maintain a balance of land uses that provide for economic diversification and year-round job opportunities at wages that allow workers to live and work in Hailey.	Community Development – Planning Services			
3. Foster retention, expansion and attraction of businesses that serve residents’ needs for year-round goods and services.	Community Development – Planning Services, Mayor’s/ City Administrator’s Office			
4. Grow compatible industry sectors that align with Hailey’s workforce and are less susceptible to economic disruption.	Community Development – Planning Services			
5. Build upon the success of existing businesses by exploring complementary businesses and suppliers.	Community Development – Planning Services			
6. Explore reuse/repositioning opportunities for City-owned assets, analyzing revenue and employment opportunities.	Community Development – Planning Services, Public Works			



Section 6 Policies	Responsible Departments	Short Term	Medium Term	Long Term
7. Consider the nexus between new development and resulting employment generation and increased housing demand.	Community Development – Planning Services			
<b>Goal 3.6.2 – Promote land use and development that contributes to economic diversification.</b>				
1. Within individual land use designations, provide flexibility to respond to changing market conditions and industry trends and ensure inventories represent a variety of sizes and space characteristics.	Community Development – Planning Services			
2. Prioritize development of infill and underutilized parcels where possible.	Community Development – Planning Services			
3. Utilize specific area plans and urban renewal districts to guide and encourage growth in locations and industry sectors for a variety of job opportunities across all wage levels.	Community Development – Planning Services			
4. Monitor commercial real estate demand and work with property owners, Hailey Urban Renewal Agency, and other stakeholders to guide appropriate development that meets community goals.	Community Development – Planning Services			
5. Accommodate commercial space in appropriate areas which offers greater opportunity to meet user demand and reduced risk for property owners.	Community Development – Planning Services			
6. Continue to work with Friedman Memorial Airport to maximize adjacent land for appropriate uses that contribute to the City's economic development goals.	Community Development – Planning Services			

Section 6 Policies	Responsible Departments	Short Term	Medium Term	Long Term
7. Utilize potential tax increment financing in the proposed South Woodside Urban Renewal District to increase spaces to accommodate year-round businesses.	Community Development – Planning Services			
8. Maintain locations for light industry and evaluate opportunities and regulations relating to live-work light industry development.	Community Development – Planning Services			
9. Explore the viability of an industrial park to serve the region’s outdoor recreation manufacturing and distribution industry cluster.	Community Development – Planning Services			
<b>Goal 3.6.3 – Support proactive, innovative strategies to address resident and business needs.</b>				
1. Simplify procedural processes to reduce the cost of doing business.	Community Development – Planning Services			
2. Explore programs and policies to increase the number of commercial and licensed in-home childcare providers.	Community Development – Planning Services			
3. Direct assistance to encourage new commercial and licensed in-home childcare providers.	Community Development – Planning Services			
4. Regularly survey residents to identify local gaps in availability of goods and services.	Community Development – Planning Services			
5. Explore alternative business operational models including co-working spaces and mobile vendors to support small business growth and entrepreneurship.	Community Development – Planning Services			

Section 6 Policies	Responsible Departments	Short Term	Medium Term	Long Term
6. In partnership with stakeholders such as the Blaine County Recreation District, explore the creation of a sports and recreation venue.	Community Development – Planning Services			
7. Host “grow local” events to introduce and promote resident-serving businesses to the community.	Community Development – Planning Services			
8. Promote and expand opportunities for innovators and entrepreneurs to network and bring ideas to fruition and new products to market.	Community Development – Planning Services			
9. Evaluate alternative funding sources such as an expanded Local Option Sales Tax and creation of an Auditorium District.	Community Development – Planning Services			
10. Support small, start-up, entrepreneurial, and innovative businesses in ways that foster growth and create improved job opportunities.	Community Development – Planning Services			
11. Prioritize economic development that supports renewable and/or clean energy technology and services, regenerative agriculture and local food systems.	Community Development – Planning Services			
<b>Goal 3.6.4 – Establish collaborative partnerships to strengthen workforce development and grow a year-round economy.</b>				
1. Establish regional and local partnerships comprised of business, education, and government entities.	Community Development – Planning Services			

Section 6 Policies	Responsible Departments	Short Term	Medium Term	Long Term
2. Strengthen workforce development efforts, including career and technical education programs, to meet business needs, grow a skilled resident workforce, and prepare youth for jobs that would allow them to remain in or return to the region.	Community Development – Planning Services			
3. Engage the business community and educational institutions to share information about educational requirements and training programs to ensure a prepared future workforce.	Community Development - Sustainability			
4. Facilitate private sector partnerships to support full employment opportunities and workforce housing that enables workers to live and prosper in Hailey and helps businesses retain valued employees.	Community Development - Sustainability			
5. Encourage and participate in regional efforts to create and implement joint economic development strategies that foster economic diversification and year-round job opportunities.	Community Development - Sustainability			
6. Serve as a liaison, connecting businesses with local, state, regional, and federal resources for training, incentives, and other resources.	Community Development - Sustainability			
7. Continue to actively collaborate and coordinate with the Idaho Transportation Department to improve regional transportation services.	Community Development - Sustainability			

Section 6 Policies	Responsible Departments	Short Term	Medium Term	Long Term
<b>Goal 3.6.5 – Develop strategies to support goals, projects and implementation measures contained in the downtown master plan and gateway urban renewal plan .</b>				
1. Implement the Downtown Master Plan and Gateway Urban Renewal Plan.	Community Development – Planning Services			
2. Collaborate with local businesses and organizations, like the Hailey Urban Renewal Agency, to provide and/or support public infrastructure to attract economically diverse businesses downtown.	Community Development – Planning Services			
3. Encourage the establishment of a downtown business improvement district.	Community Development – Planning Services			
4. Activate downtown with physical placemaking elements; community, cultural, family-oriented and youth events; and expanded hours of operation.	Community Development – Planning Services, Public Works			
5. Pursue public-private partnerships to ensure sufficient parking to enable redevelopment of underutilized properties.	Community Development – Planning Services			
6. Encourage year-round, consistent hours of operation to serve both visitors and residents.	Community Development – Planning Services			
7. Encourage diverse, local restaurants and retail on the ground floor.	Community Development – Planning Services			
8. Support business merchandising efforts such as “shop local” events and training for e-commerce and other opportunities to expand business models for year-round operations and employment.	Community Development – Planning Services			



*Photo by Josiah Brown*

## Section 8

# Housing

## INTRODUCTION

Creating a housing environment that matches the needs and interests of a community is an essential part of a healthy, sustainable city. Housing impacts a city's ability to attract and retain a workforce, build strong community culture, ensure quality of life for residents, and defines how people exist within a community as residents, seasonal residents, and visitors. The City of Hailey aims to create an approachable, equitable housing environment that supports a wide range of individuals and families who wish to live and work in the community at various stages of life.

The purposes of this section are to provide an analysis of Hailey's current housing environment, detail projected future demand, and identify a core set of goals, objectives, and policies that will allow the City of Hailey to achieve a vision as it relates to housing.

## DEFINITIONS

*To ensure clarity around housing policies and goals, the following definitions are referenced:*

**Affordable Housing:** The U.S. Department of Housing and Urban Development defines "affordable housing" as housing on which the occupant is paying no more than 30 percent of gross income for housing costs, including utilities. Housing that is affordable can be built by private developers and open to all income groups. This is sometimes called naturally occurring affordable housing. Housing that is affordable is also built using public investment and restricted to certain incomes. In some communities, there is an abundance of naturally occurring affordable housing that has been built by private developers. In other communities, the opportunities for housing that is affordable are few and far between, as prices have risen and may be out of reach for many households.

**Community Housing Unit:** Through a deed restriction, a dwelling unit that is restricted by size, type and cost, and/or that is for sale or rent exclusively to individual(s) meeting income, occupancy and/or other affordable community housing criteria established in a community housing plan approved by the City of Hailey.

**Market Rate Unit:** A dwelling unit in a residential or mixed-use development that is not a community housing unit.

**Income Restricted Affordable Housing**: This type of affordable housing targets lower-income households (below 80 percent of area median income). Typically, income restricted affordable housing receives public investment through local, state, federal or foundation funds and is available to households who are under a certain income.

**Attainable Housing**: Attainable housing generally refers to housing options that are accessible and affordable for middle-income families, typically those between 80 percent and 120 percent of area median income. This type of housing is also sometimes referred to as workforce housing and there are generally less subsidy options available that support the development of housing units at these price points.

**Workforce Housing**: Units deed restricted for occupancy by households that include at least one local employee. Workforce housing can also refer to homes in which employees reside but are not deed restricted are part of the free market.

**Year-Round Residents**: The term year-round residents reflect people who call Hailey their primary place of residence. They could be renters, or they could own their own home; they could work in Hailey or commute elsewhere for work. Most population data sources, such as the U.S. Census and the Idaho Department of Labor, record population estimates that reflect the number of residents in a community who identify that community as their primary residence.

**Housing for Year-Round Residents**: This term reflects housing for current and future year-round residents in Hailey. Year-round housing units can be occupied by renters or owners but must be the occupant's primary residence.

**Seasonal Housing**: Seasonal housing includes all housing in Hailey that is not inhabited by year-round residents. There are three general categories of seasonal housing: temporary or seasonal workforce housing, recreational housing, and short-term rentals.

- **Temporary or Seasonal Workforce Housing**: This is housing that is specifically available for the workforce and is typically used temporarily while someone is working during the winter or summer seasons. Temporary does not mean housing that could be constructed, used temporarily, and then taken down. Examples include the use of an accessory dwelling unit (ADU) to house a new chef for a local restaurant until such time as permanent housing can be found. Another example is housing owned by a ski resort that is built for their seasonal workforce. The U.S. Census categorizes some of these temporary or seasonal workforce housing units as group quarters or units for "seasonal or migrant workers."



- **Recreational Housing Units**: Recreational units are housing units that could be a household’s second or third home. Recreational units are not a household’s primary residence. For example, households with a recreational unit may rent the unit as short-term rentals part of the year and use the unit when they go skiing on the weekends during the winter. Sometimes a recreational unit might be considered a “dark home,” which means that the unit sits empty or is not used very much at all during the year. The U.S. Census categorizes recreational units as unoccupied by year-round residents that are used “for seasonal, recreational or occasional use.”
- **Short Term Rentals (STRs)**: Short term rentals are housing units that are available to rent for a stay shorter than 30 days. These units are subject to Idaho’s Travel and Convention Tax as well as Local Option Taxes. The revenue generated from these taxes is used to promote tourism in the State of Idaho and/or redistributed for projects directly benefiting the quality of life and/or tourism in a specific municipality.[1] The U.S. Census does not track the number of short-term rentals. Conversely, long-term rentals typically have a tenant on a lease that is six months or longer and is often the primary residence of the occupant.

## EXISTING HOUSING CONDITIONS

The City of Hailey and the greater Wood River Valley are seeing growing populations and an influx of in-migration (the movement of people into a particular area to establish a new residence). These conditions emphasize the importance for the City of Hailey to provide analyses and recommendations around the housing infrastructure needed to not only support a growing population, but to also create and sustain an attainable housing market.

Hailey is home to a diverse spectrum of housing types and housing needs. As of 2022, there are approximately 4,100 housing units within Hailey City limits with an average household size of 2.73 people. Of Hailey’s housing units, 80% are occupied by full-time residents, representing a substantially higher percentage of full-time occupancy compared to nearby Ketchum (40% full-time occupancy) and Sun Valley (21% full-time occupancy). The higher percentage of full-time occupants in Hailey could indicate that Blaine County’s workforce resides more heavily in Hailey than other municipalities throughout the County.\*

Of the 20% of Hailey’s housing inventory that is not occupied by full-time residents, 54% is utilized as seasonal/recreational housing and the remaining inventory is either on the market or unoccupied

*\*2022 American Community Survey 5-year estimates are referenced in this section of the plan to align with Hailey’s Housing Needs Assessment Report*

for a variety of reasons (these could include: ongoing renovations, the death of a homeowner or units held for occupancy by a caretaker, or other personal reasons). For Hailey’s occupied housing units, about 65% are occupied by homeowners and 35% are utilized by renters, representing the highest percentage of renters across the Wood River Valley.

## PROJECTED HOUSING DEMAND

In 2023, the City of Hailey finished a Housing Needs Analysis and Growth Projections Assessment that informed the content of this section. The assessment identified that an estimated 635 to 1,242 new housing units are needed in Hailey to accommodate forecasted population growth and overcrowding over the next 10 years. This represents a 17-32% increase in the number of available housing units and has a 10-year estimated annual absorption of about 64-124 housing units across the market. Figure 1 illustrates the housing need estimates based on the mid-growth population forecasts, which results in demand for around 771 new housing units and 67 rehab units over the next 10 years.

### 10-YEAR HOUSING NEEDS

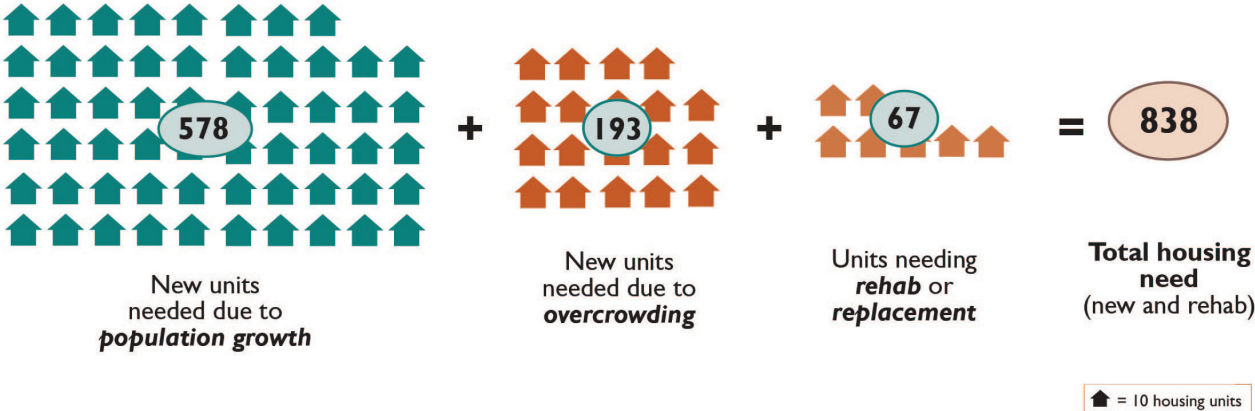


Figure 1: 10-Year Housing Needs for the City of Hailey

The need for additional housing units can be broken down by units needed to accommodate projected population growth and units needed to address overcrowding, pent up community demand and other market factors. For Hailey, approximately 75% of the need for new units is attributed to projected growth and the remaining 25% is attributed to expressed community demand and overcrowded existing units.



*Photo by Josiah Brown*

Importantly, these units do not have to come from new construction, additional units can be added to the full-time housing inventory through the conversion of vacant or short-term rental units to full-time sale/rental supply and can be added to the market through the conversion of large single family units into multiple smaller units such as duplexes or triplexes.

The 10-year housing need can also be broken down by income. Looking at housing needs by income categories is a way of understanding the types of housing that need to be built, as well as whether housing is financially feasible for specific types of housing products to be built in the current market, or whether policy change and investment are needed to spur development.

Figures 2 and 3 below show the number of housing units forecasted using the mid-growth population forecast broken out by income categories and tenure (renter vs. owner occupancy). The income categories are based on the Area Median Income (AMI) published by the Department of Housing and Urban Development (HUD) for Blaine County.

Additional information about Hailey’s recent housing actions and accomplishments can be found in Appendix D and on the City of Hailey’s website.

**AFFORDABLE HOUSING PAYMENTS AND HOUSING NEED**

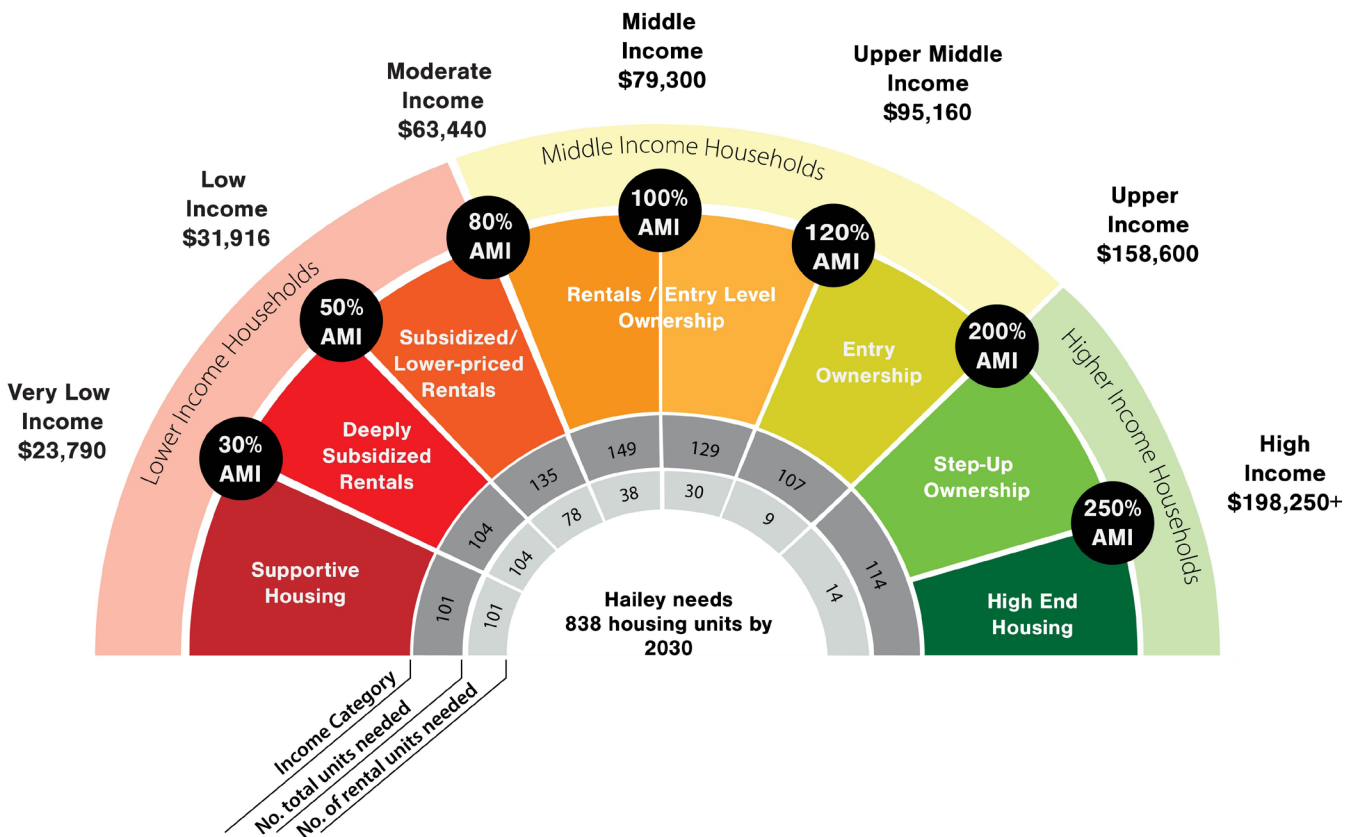


Figure 2: Affordable Housing Payments and Housing Need, City of Hailey Mid-Growth Scenario

## HOUSING NEEDS BY INCOME RANGE

Income Category	Percent of AMI	Income Range	Housing Need (New and Rehab) Next 10 Years
Lower Income	<30% AMI	\$0 - \$23,790	101 units
	31-50% AMI	\$23,791 - \$31,916	104 units
	51-80% AMI	\$31,917 - \$63,440	135 units
Middle Income	81-100% AMI	\$63,441 - \$79,300	149 units
	101-120% AMI	\$79,301 - \$95,160	129 units
	121-200% AMI	\$95,161 - \$158,600	107 units
Higher Income	>200% AMI	\$158,601 +	114 units

Figure 3: Housing Need by Income Range



Photo by Carol Waller

## GOALS, OBJECTIVES AND POLICIES

### **Goal 3.8.1 – Preserve and produce a diverse housing inventory that promotes a variety of housing options and affordability ranges.**

*Objective - Ensure that Hailey's housing inventory matches projected future housing demand.*

- A. Regularly assess projected population growth and housing demand trends to create a data-informed 10-year development pipeline goal that indicates the general need for housing types and supported income ranges. Regular assessments should also track the inventory of deed-restricted, affordable and other subsidized housing opportunities to allow for long-term target tracking.
- B. Identify parcels for land acquisition to enable housing development that meets the needs of the workforce.
- C. Work with local and regional employers to create employer supported housing opportunities and partnerships to increase workforce housing attainability.
- D. Utilize development incentives and partnerships to ensure that new housing development includes a mix of housing units that support a wide range of incomes and living situations.
- E. Encourage the inclusion of accessory dwelling units with new and existing residential and commercial development.
- F. Create incentives and partnerships that work to add full-time housing units to Hailey's inventory through the conversion of second homes, vacation units and short-term rentals to full-time rental opportunities.
- G. Monitor the percentage of full-time
- H. Ensure that new housing development complements community character and is designed to encourage active community through easy access to amenities, public spaces, connected pathways, and transportation options.
- I. Assess aging housing inventory in Hailey and encourage/incentivize the rehabilitation and upgrade of aging units to preserve housing inventory, character, and livability.
- J. Ensure that new housing development meets or exceeds the minimum energy efficiency requirements and is designed to remain efficient and safe year-round.
- K. Explore reduced parking requirement minimums and alternative ways to provide parking for new development when the proposed development provides housing units that meet the expressed and projected demand for community housing

*Objective - Ensure that new housing developments emulate and enhance the beloved character of Hailey.*

- L. Assess Hailey's neighborhoods and identify the elements that characterize the area. Use these standards to help inform the design, scale, and aesthetic of housing that should be preserved/ added to the neighborhood zone.

- M. Expand on existing design standards for housing development that balances increased densities with community character and function. The expansion and/or integration of standards could include streetscape improvements and amenities, trash and waste management strategies, additional public/semi-public community spaces, alleyway improvements, etc.
- N. Use non-structural elements such as tree canopies, parks, natural habitat areas, sidewalks and pathways to create community character.
- O. Consider the approval and thoughtful integration of commercial developments, such as coffee shops, boutique stores and restaurants in neighborhood areas that could benefit from commercial operations without detracting from business operations in Hailey’s Downtown.

**Goal 3.8.2 – Build strong community housing partnerships and local housing programs to increase housing attainability.**

- A. Participate in regional housing collaboration and initiatives to ensure more accessible housing development and positive movement toward regional housing goals.
- B. Seek funding and additional housing resources from various public and private opportunities, including federal program opportunities, public/private grants, private donations, employer contributions, and local housing programs.
- C. Create strong relationships with housing providers, developers and contractors to create attainable rental and for-sale housing units that meet specific needs in Hailey.
- D. Engage in community-wide and regional housing education and engagement initiatives to highlight the importance of housing attainability and the intersectionality of housing as it relates to other community goals and opportunities including economic development, transportation funding thresholds, sustainability and resilience, and community character. Education and engagement initiatives should be tailored to reach a wide audience including the public, employers and businesses, local organizations, community leadership, and regional partners.

**Goal 3.8.3 – Create strong housing policy and land use strategies to promote housing attainability and workforce development goals.**

- A. Ensure that Hailey’s zoning code and ordinances are aligned to provide housing opportunities in locations where greater density is allowed.
- B. Update City ordinances to set minimum density requirements for certain zones or districts depending on project type and compatibility with surrounding development.
- C. Limit development and density in, near, and around the foothills area, along the river, and in other spaces that provide natural habitat and other ecosystem services.
- D. Provide expedited and priority application and approval processes for developments that meet housing attainability goals and/or provide deed-restricted and affordable housing.
- E. Work with regional partners to advocate for Statewide legislative and policy implementation that provides cities and local jurisdictions more tools to increase housing attainability and improved

housing outcomes for individuals living and working in Hailey and other similar communities.

**Goal 3.8.4 – Support community partners, non-profits and other supportive service agencies to ensure housing stability for individuals who live and work in Hailey.**

- A. Support community partners to ensure that housing services are readily available in Hailey including homelessness prevention, eviction prevention assistance, and rapid re-housing programs.
- B. Support the establishment of a dedicated funding source to provide short- and long-term supportive housing services.
- C. Regularly assess the population of Hailey that is at risk of being housing insecure or housing unstable and share that number and data with partners and supportive service agencies to help create needs benchmarks.
- D. Support agencies that help those who are either experiencing homelessness or are at risk of homelessness.

**Goal 3.8.5 – Ensure that Hailey remains a community where individuals can age in place and is accommodating to underrepresented populations.**

- A. Expand affordable housing options for seniors, families, and persons with disabilities through zoning and ordinance and accessible design requirements in new construction and remodeling.
- B. Assess population demographics to ensure that there are enough accessible and attainable housing opportunities for underrepresented populations and people who need special housing accommodations including assisted living options and physical accessibility improvements
- C. Support the development and construction of new underrepresented and accommodating housing opportunities that are close to amenities and provide access to essential services.
- D. Ensure there are supportive services and financial support (age-in-place home improvements, property tax reductions, accessible transportation options, including medical transport) for underrepresented people who wish to continue to live in the Hailey community.
- E. Encourage the installation, development, and/or placement of amenities and public spaces that support interaction across generations and demographic groups.



## IMPLEMENTATION MATRIX

The implementation matrix organizes specific actions to assist the City in achieving the goals articulated in the plan. Implementation timelines are subject to political direction and economic conditions and may be shorter or longer than provided estimates. In general, Short Term is considered to be 1 to 3 years, Medium Term is considered to be 3 to 5 years and Long Term is considered to be 5 years or greater.

Section 8 Policies	Responsible Departments	Short Term	Medium Term	Long Term
<b>Goal 3.8.1 – Preserve and produce a diverse housing inventory that promotes a variety of housing options and affordability ranges.</b>				
1. Regularly update the City's housing needs analysis report and associated data workbooks.	Community Development			
2. Conduct a citywide land analysis to identify parcels that could be purchased or managed through partnership to add meaningful housing inventory.	Community Development			
3. Monitor and track the percentage of owner/long-term rental occupied units.	Community Development			
4. Explore incentives and support options to assist with the renovation/remediation of aging housing units that are at risk of aging out of Hailey's housing inventory.	Community Development			
5. Engage the community and define the beloved character elements of Hailey's neighborhoods to help create design guidelines for new housing development that supports rather than detracts from the character of a neighborhood zone.	Community Development			

Section 8 Policies	Responsible Departments	Short Term	Medium Term	Long Term
<b>Goal 3.8.2 – Build strong community housing partnerships and local housing programs to increase housing attainability.</b>				
1. Actively engage and participate in regional housing collaborations and networks.	Community Development			
2. Create educational tools and programs that can be shared with residents in Hailey and the greater Wood River Valley.	Community Development, City Administration			
3. Create a housing funding plan that details potential funding sources that the city would like to explore.	Community Development			
<b>Goal 3.8.3 – Create strong housing policy and land use strategies to promote housing attainability and workforce development goals.</b>				
1. Review and revise city zoning code and ordinances and identify where changes could be made to help support higher density and affordable housing.	Community Development			
2. Designate a member of city staff to serve as a legislative liaison around housing policy that arises in Idaho.	City Administration, Community Development			
<b>Goal 3.8.4 – Support community partners, non-profits and other supportive service agencies to ensure housing stability for individuals who live and work in Hailey.</b>				
1. Conduct a regional assessment of supportive housing services that are available throughout the region and identify ways to support these organizations and programs.	Community Development			

Section 8 Policies	Responsible Departments	Short Term	Medium Term	Long Term
2. Regularly collect and share housing and demographic data that identifies populations and areas that are more likely to be housing insecure.	Community Development			
<b>Goal 3.8.5 – Ensure that Hailey remains a community where individuals can age in place.</b>				
1. Evaluate the existing supportive services and financial support available to support seniors in Hailey and identify gaps in coverage and create a community age-in-place plan.	Community Development			



## Section 10

# Transportation

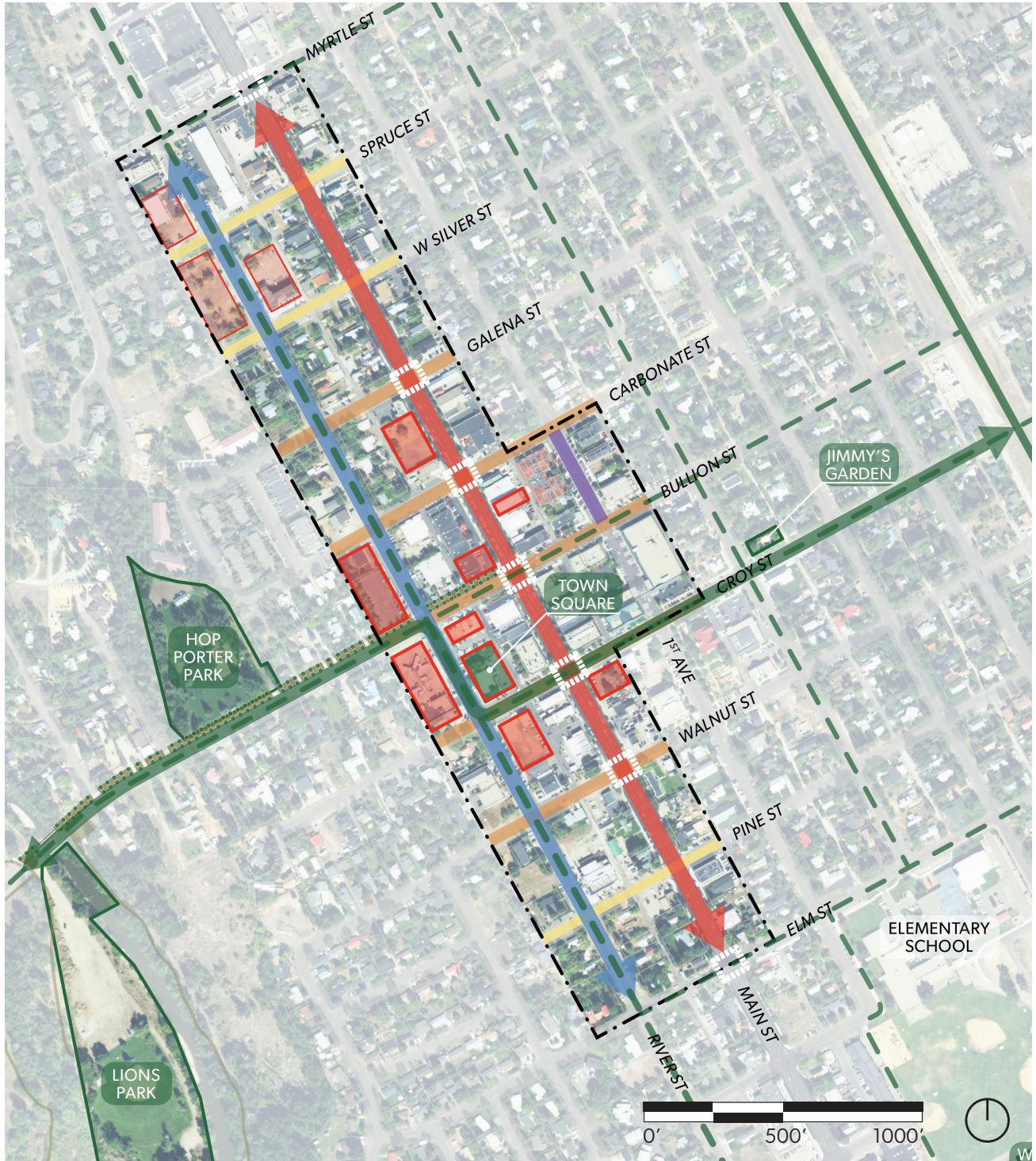
## INTRODUCTION






Hailey has a long history of impactful transportation planning. The 1982 Comprehensive Plan recognized the importance of connectivity between neighborhoods, and as a result, by the late 1990s, Woodside Boulevard was completed, connecting the Woodside neighborhood with Fox Acres Road, and eventually Quigley Road and Croy Street. The late 1990s also saw the completion of 2nd Avenue North from Buttercup Road to McKercher Boulevard, connecting the Northridge neighborhood to the Old Hailey neighborhood and Downtown. As a result of this foresight and good planning, residents can now move from the southernmost portions of town to the northernmost portions without accessing SH-75. Connectivity like this provides mobility options that help the transportation system operate smoothly and efficiently by relieving pressure on any one road or route.

Having largely achieved the connectivity goals of the 1982 plan, the 1998-2003 Update focused on building out a robust multimodal transportation system and emphasized the importance of safe and efficient movement for bicycles and pedestrians as one way to relieve congestion and stress on the system. In 2007, Mountain Rides Transportation Authority established transit service between Blaine County and Bellevue, Hailey, Ketchum, and Sun Valley, achieving another goal of the 1982 Plan. As a result of the 1998-2003 Update, the City adopted their first Transportation Master Plan (TMP) in 2007, which was subsequently updated in 2020. The TMP acts as the implementation tool for the high-level goals and objectives of the Comprehensive Plan. It functions as a capital improvement plan and contains traffic forecasts and alternative evaluation; transportation systems plan for all modes including vehicles, bike and pedestrian, freight, transit, and air; and a funding and implementation plan.

In 2014, the City adopted the Blaine County Community Bicycle and Pedestrian Master Plan in partnership with the Blaine County Recreation District, Blaine County, and the communities of the Wood River Valley. That plan was updated and adopted by Hailey in 2024. The City has several long-term projects from the 2014 Plan in progress including bicycle, pedestrian and accessibility improvements on River Street; downtown sidewalk improvements; trails/parks connectivity; safe routes to school; and implementation of a wayfinding plan. The 2024 Update calls for continued improvements to the City's alternative transportation network including a new bike lane in Croy Canyon, the completion of the River Street multimodal infrastructure, and the completion of sidewalks and bike lanes along Airport Way and Woodside Boulevard. The City also adopted a Downtown Master Plan in 2024 that calls for the creation of a promenade on Bullion Street as well as significant streetscape and pedestrian improvements on Main, River, and Myrtle Streets.

# Downtown Vision Plan from Hailey Downtown Master Plan, 2024



- |   |                              |   |                                |   |                       |
|---|------------------------------|---|--------------------------------|---|-----------------------|
|  | Downtown Park                |  | Main St Historic Retail Street |  | Primary Side Street   |
|  | Potential Development Site   |  | River St Mixed Use Street      |  | Secondary Side Street |
|  | Critical Pedestrian Crossing |  | East-West Canyon Route         |  | BCRD Wood River Trail |
|  | Bicycle Facility             |  | N 1st Ave Plaza                |  | Study Area boundary   |

In addition, Blaine County and municipality representatives also completed a Regional Safety Action Plan in 2024, funded by grant monies awarded through the U.S. Department of Transportation's Safe Streets and Roads for All (SS4A) program. The City of Hailey was a critical project partner in this effort. The purpose of this plan was to improve roadway safety for all road users in Blaine County and its incorporated cities, including Hailey. Project components included a safety analysis of existing networks, engagement and collaboration with the public, and strategy and project selections provided by the hired consultant team. Feedback from public surveys indicated that driver behavior and pedestrian and cyclist safety were the biggest transportation safety concerns. Greater enforcement, additional bike and vehicle lanes, and additional sidewalks were reported as the top potential improvements to Blaine County's transportation system. Just under 50% of the project survey respondents reported that they lived in Hailey.

Hailey has a mature transportation system with few opportunities for major capacity expansions. Growth in population and tourism (or even stasis) will mean that pressure and congestion on SH-75 will continue to be a concern. For this reason, Hailey will continue to emphasize enhancements that make the best and most efficient use of the transportation system rather than seeking capacity enhancements by building larger roads or creating one-way couplets that negatively impact established neighborhoods. Enhancements to increase efficiency of the system are included in the TMP and Bicycle and Pedestrian Master Plan, and include increased transit availability and use, better connectivity of bicycle and pedestrian facilities, and the addition of traffic signals and Intelligent Traffic System (ITS) on SH-75.

Hailey residents have embraced bicycling and walking to school, work and extracurricular activities, and have further expressed a strong desire for enhancements that make alternative modes as safe and efficient as driving a car. This is a matter of mobility for all road users and is a key component of the City's vitality and viability.

## TRANSPORTATION FACILITIES

The City of Hailey and key transportation partners maintain and operate a successful system of transportation facilities throughout Hailey that range from State Highways, vibrant downtown and neighborhood streets, pedestrian and bicycle facilities, and a municipal airport. The following items represent priority transportation facilities that will help guide investment into Hailey to ensure improved safety, equitable access, connectivity, and efficient movement of a multitude of transportation modes. Each facility shall continue to be prioritized for ongoing improvement to ensure safety, access, and proper maintenance for continued use.



photo by Timothy Burke

## **FRIEDMAN MEMORIAL AIRPORT**

Friedman Memorial Airport, also known as SUN, is a public-use, commercial service airport that serves the entire Wood River Valley. The airport is a vital transportation link and significant economic driver for the local, regional, and state economies. Airport activity is diverse and includes commercial air service, corporate aviation, and recreational general aviation activity. The airport also provides access to critical services including aerial wildland firefighting, life flight, and air cargo. Annually, commercial air service at the airport serves over 200,000 passengers. It is bound by SH-75 on the north and east sides and Broadford Road on the west.



image obtained from Google Street View

## **STATE HIGHWAY 75 / MAIN STREET**

SH-75 is owned and operated by the Idaho Transportation Department (ITD); however, Hailey maintains SH-75 from Fox Acres to McKercher Boulevard. SH-75 ties together all the communities that make up the Wood River Valley, providing vital north-south connectivity for commercial, recreational, and local traffic. It is also Hailey's Main Street and the principal point of access (and parking) to the Downtown Core of Hailey – a district comprised of the many local businesses serving residents and visitors. Configured as a 5-lane arterial and carrying an average of 12,250 vehicles per day, SH-75 creates a formidable barrier for vehicles, pedestrians, and cyclists, bifurcating the town east to west. The community of Hailey wants Main Street to have a sense of place – contributing to the small-town ambiance – and be enhanced with pedestrian and placemaking improvements while retaining its use as the main thoroughfare for the Wood River Valley.





## **PUBLIC TRANSIT**

Mountain Rides Transportation Authority is the public transportation provider for Blaine County. Hailey is served by one Hailey-specific route and one Valley-wide route providing connectivity across the valley. Mountain Rides' Hailey Route provides connectivity throughout Hailey, including the Community Campus/BCRD, all of Woodside Subdivision, the Airport area including St Luke's Medical Clinic, as well as to the Senior Connection. Mountain Rides' Valley Route, the backbone of the region's public transportation system, provides critical connectivity for Hailey's residents. The Valley Route's hourly service (with increased frequency during commute times) allows residents to travel to employment and recreation opportunities throughout the Wood River Valley. To help alleviate congestion and minimize single occupancy vehicle trips, the Valley Route runs eighteen (18) hours per day to Sun Valley, Ketchum, throughout Hailey, and Bellevue. Mountain Rides also provides vanpool from the Magic Valley, including Paratransit and community health transportation to Twin Falls.



## **RIVER STREET AND 2ND AVENUE**

River Street and 2<sup>nd</sup> Avenue run parallel to SH-75 on the west and east respectively. As such, both streets provide a vital alternative for north/south travel, particularly for bicyclists accessing the many businesses in the Downtown Core, schools, and recreational facilities. River Street is commercial in nature; however, it has recently seen infill with multifamily residential and mixed-use development projects. It is currently being fitted with separated bike lanes, sidewalks, and enhanced streetscapes in both directions to provide safe and convenient travel by bike and foot. To the contrary, 2<sup>nd</sup> Avenue is more residential in character with a lower volume of vehicle trips per day. There are ongoing efforts to improve the multimodal mobility of 1<sup>st</sup> Avenue, including sidewalk extension, construction and/or replacement, parking area enhancements, and intersection safety improvements.



### **WOOD RIVER TRAIL**

The Wood River Trail is a 20+ mile multi-use path owned by ITD and operated by the Blaine County Recreation District (BCRD) that connects the communities of Bellevue, Hailey, Ketchum and Sun Valley. The path is open year-round and offers a fully separated, multi-modal facility to safely walk, bike, or ski on, offering an indispensable north/south alternative to SH-75, which further includes convenient access to numerous recreational amenities and attractions in Hailey and beyond.



### **BIKE LANES**

Bicycling is baked into Hailey’s culture due in part to its proximity to world class mountain biking as well as the safety and convenience of biking for local trips. Bicycling for both recreation and commuting is increasing, and the enhancement and expansion of bike facilities is a core value of the community. The addition of the Croy Street two-way cycle route provides a safe east-west connection from River Street to Fifth Avenue/Eastridge Drive, effectively connecting Croy and Quigley Canyons. Eastridge Drive, effectively connecting Croy and Quigley Canyons.

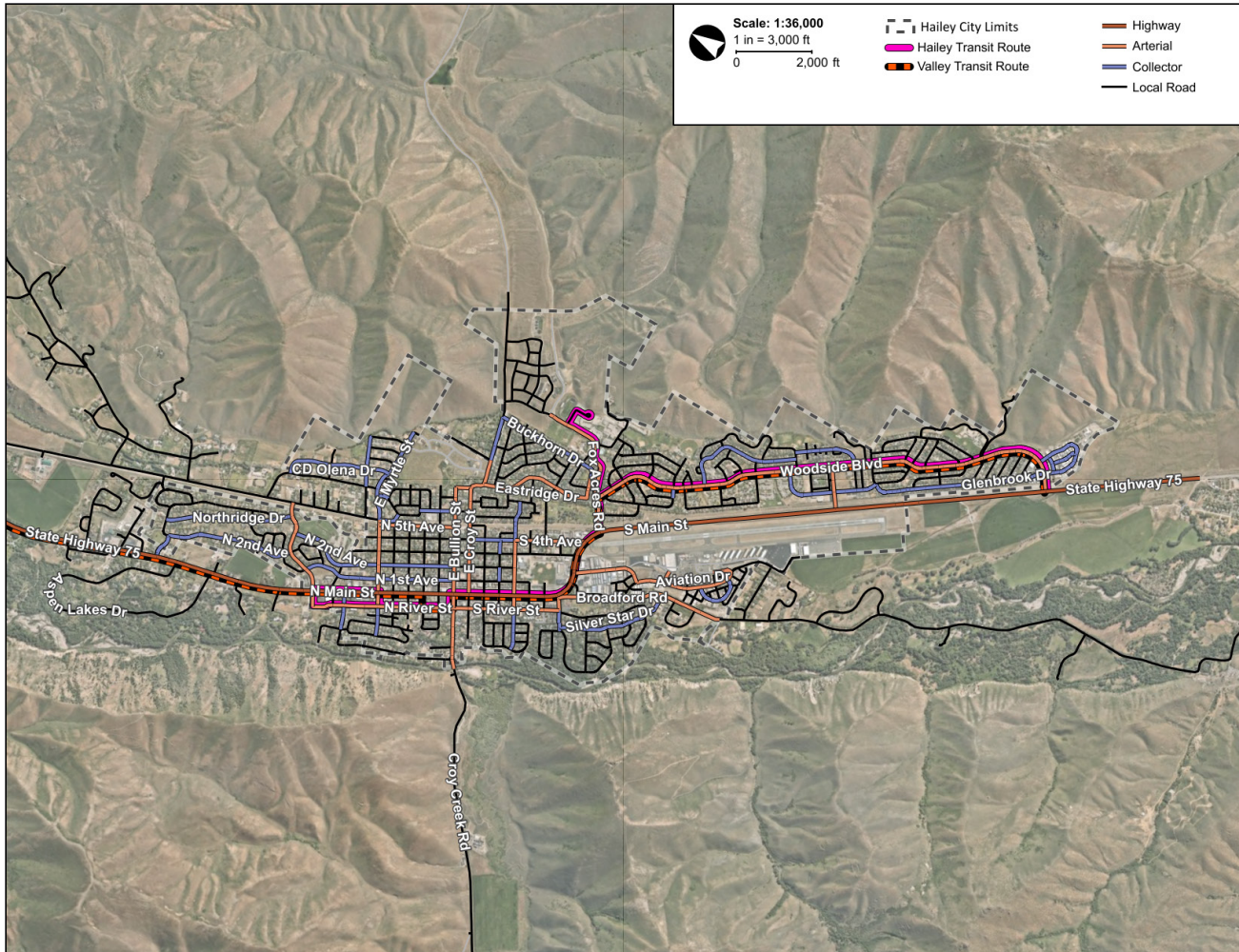


### **RECREATION TRAILS**

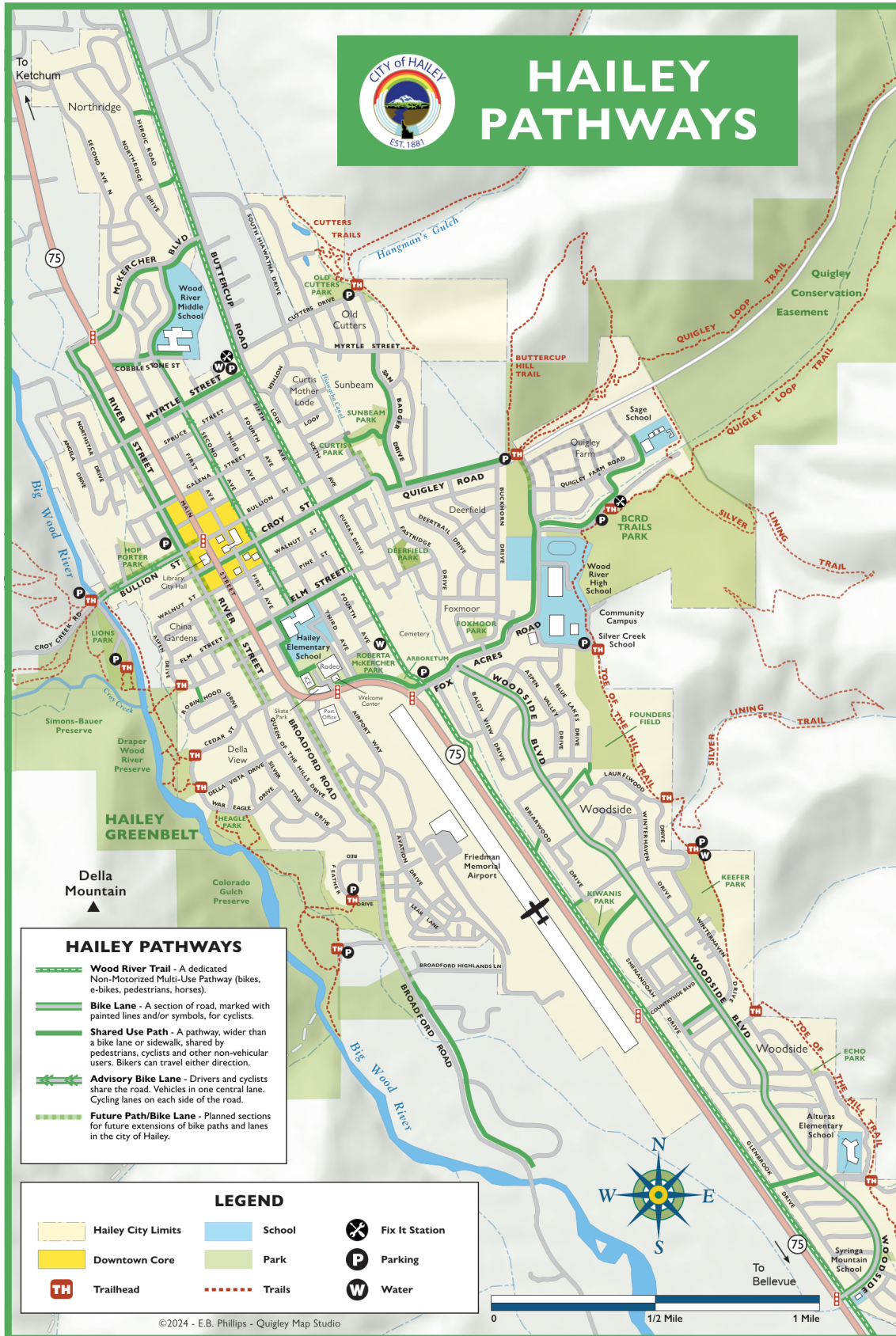
Similar to bicycling, Hailey’s access and enthusiasm for its nearby outdoor reserves has built a culture that values trails along the river, on the hillsides, and in the canyons. The public expressed strong support for more and better access to trails including the Hailey Greenway, Buttercup Trail, Cutters Trails, Draper Preserve, Croy Canyon, and Quigley Canyon. Through partnerships with Blaine County, the Wood River Land Trust, Bureau of Land Management, and the BCRD, Hailey has worked to provide multiple recreation trails throughout town and has prioritized multimodal connectivity so residents can safely walk and bike to world class recreation.

# TRANSPORTATION SYSTEM MAPS

## HAILEY ROAD NETWORK



# HAILEY PATHWAYS



Source: City of Hailey

## GOALS, OBJECTIVES, AND POLICIES

There is a strong community desire for improvements that make bicycling, walking, and public transit as safe and efficient as driving. This commitment to alternative transportation is not only about mobility but also about maintaining the City's vitality and quality of life. Goals are high-level, aspirational expressions of a future state of being. Objectives are more specific and measurable indicators toward achieving the goal, and policies are specific actions to be taken to achieve the objectives. The following goals, objectives, and policies will guide the continued development of the transportation system toward the implementation of the community vision and values identified within the comprehensive plan.

### **Goal 3.10.1 - Improve community interface with State Highway 75 and ensure efficient travel through Hailey.**

*Objective – Work with the Idaho Transportation Department to ensure that State Highway 75 provides a safe transportation corridor throughout Hailey that serves both residents of Hailey and individuals passing through the community.*

- A. Support the implementation of the State Highway 75, Bellevue to Broadway Run ITD project and ensure final designs meet the needs of the community.
- B. Address pedestrian and bicycle safety issues through the installation of new shoulder facilities and improved intersection and crossing facilities.
- C. Continue to monitor peak traffic volumes and identify opportunities to reduce congestion via improved transit options and alternatives.
- D. Ensure continued accessibility to businesses, restaurants, and public facilities along State Highway 75.
- E. Work with ITD to implement the provisions of the Hailey Transportation Master Plan, particularly the planned signals at the Myrtle/Main and Elm/Main intersections.
- F. Look for opportunities to install or upgrade bicycle and pedestrian infrastructure in conjunction with road maintenance projects.

### **Goal 3.10.2 – Build and maintain a sustainable, safe, reliable, year-round multimodal road network.**

*Objective – Provide a balanced approach to mobility by offering a year-round multimodal network that improves safe and accessible routes to Downtown, businesses, activity centers, neighborhoods, places of employment, and recreational opportunities.*

- A. Continue to implement the Transportation Master Plan.
- B. Implement recommendations and strategies to improve roadway safety, as presented in the 2024 Blaine County Regional Safety Action Plan.

- C. With new development projects, continue to encourage the design and construction of Hailey’s multimodal network to improve connectivity and safety, as well as provide for multimodal amenities such as bicycle storage, maintenance racks, and bicycle parking.
- D. Continue enforcement of Title 18: Mobility Design, to ensure future development provides safe multimodal facilities and infrastructure.
- E. Increase staffing capacity of Hailey Streets and Public Works Departments as it relates to pathway and sidewalk snow removal and year-round multimodal facility access; seek opportunities with business and property owners to further aid in this effort.
- F. Continue to thoroughly assess off-site traffic impacts of new developments to ensure the adequacy of existing infrastructure, or adequate funding of needed infrastructure.
- G. Continue to collaborate with agency and community partners to fund and implement a regionally connected and coordinated multimodal network (reference the Blaine County Community Bicycle and Pedestrian Master Plan).

*Objective – Build a resilient and sustainable transportation system that encourages and accommodates new technologies as they become available.*

- H. Seek State and Federal funding opportunities to install Electric Vehicle Charging Infrastructure throughout the city to serve residents and visitors.
- I. Collaborate with agency partners to establish standards for the safe operation of micromobility devices such as e-bikes and e-scooters in Hailey and throughout the Wood River Valley.

**Goal 3.10.3 – Create a vibrant, pedestrian-oriented Downtown with reliable connections from every neighborhood.**

*Objective – Prioritize development that encourages walking and biking.*

- A. Build a connected street network that provides every neighborhood with safe routes into the Downtown Core.
- B. Relieve vehicular congestion along SH-75 by providing local users with safe bicycle and pedestrian crossings into the street grid.
- C. Improve bicycle parking in front of shops, restaurants, and other local destinations to encourage residents to take more trips by bicycle.
- D. Require new development projects to provide multimodal amenities onsite, such as bicycle storage, maintenance racks, and bicycle parking.
- E. Construct the Bullion Street Promenade as referenced in Hailey’s Downtown Master Plan to provide key connectivity to Downtown and into Croy Canyon.

**Goal 3.10.4 – Improve public transit facilities/operations and increase public transit ridership.**

*Objective – Continue to build capacity within the transportation system through service and*



*accessibility improvements that focus on the movement of people rather than single occupancy vehicles.*

- A. Encourage improved transit facilities in conjunction with new development projects.
- B. Expand transit services to better serve activity centers and to reduce single-occupancy vehicle trips.
- C. Improve ‘first and last mile’ pedestrian and bicycle access to existing transit routes.
- D. Continue to incorporate public transit funding into the City of Hailey budget.
- E. Ensure land use and transportation policies increase accessibility to transit service.

*Objective – Increase intergovernmental support of Mountain Rides and its capacity to plan for and operate transit services within Hailey, and regionally.*

- F. Continue to support and coordinate long-range and strategic planning efforts between the City of Hailey and Mountain Rides.
- G. Increase ridership through strategic business partnerships.

**Goal 3.10.5 – Foster agency partnerships and communication to improve the transportation system.**

*Objective – Maintain strong working relationships with partner agencies to expand support for a multimodal transportation system.*

- A. Participate in ongoing regional transportation planning efforts, especially as they pertain to public transit.
- B. Coordinate proactively with the Idaho Transportation Department for future improvements along SH-75 including an Intelligent Transportation System for signal coordination through town.
- C. Pursue opportunities that increase the capacity for and participation in ridesharing for commuters, including local business and top regional employer engagement and coordination.
- D. Continue to support the Blaine County School District’s Safe Routes to School initiatives to ensure safe and convenient travel to/from school, home, as well as extracurricular activities throughout Hailey.

**Goal 3.10.6 – Enhance alternative transportation access to nearby recreation facilities.**

*Objective – Build a transportation network that provides residents with the ability to walk, bike, or take public transportation to highly valued recreational facilities.*

- A. Require easements along new developments that protect the accessibility of trailheads and natural areas.
- B. Identify areas of Hailey that lack access to recreational facilities and prioritize improving access through bicycle, pedestrian, and public transit improvements.



## IMPLEMENTATION MATRIX

The implementation matrix organizes specific actions to assist the City in achieving the goals articulated in the plan. Implementation timelines are subject to political direction and economic conditions and may be shorter or longer than provided estimates. In general, Short Term is considered to be 1 to 3 years, Medium Term is considered to be 3 to 5 years and Long Term is considered to be 5 years or greater.

Section 10 Policies	Responsible Departments	Short Term	Medium Term	Long Term
<b>Goal 3.10.1 – Improve community interface with Highway 75 and ensure efficient travel through Hailey.</b>				
1. Update code to require new construction to construct infrastructure improvements.	Community Development – Planning Services			
2. Develop a 5-year plan to coordinate infrastructure improvements with upcoming road maintenance projects.	Public Works and Planning Services, ITD			
<b>Goal 3.10.2 – Build and maintain a sustainable, safe, reliable, year-round multimodal road network.</b>				
1. Update development code to require future construction to include bicycle storage, bicycle racks and sufficient parking.	Community Development – Planning Services			
2. Increase staffing capacity of Hailey Streets and Public Works Departments as it relates to pathway and sidewalk snow removal and year-round multimodal facility access.	Public Works Streets Department			
3. Update code to require all businesses to clear adjacent sidewalks when needed.	Community Development – Planning Services			
4. Seek State and Federal funding opportunities to install Electric Vehicle charging infrastructure available to the public.	Community Development – Sustainability and Resilience			

Section 10 Policies	Responsible Departments	Short Term	Medium Term	Long Term
5. Write ordinance with agency partners to establish standards for the sound operation of micromobility devices throughout the Wood River Valley.	Community Development – Planning Services, Police Department			
<b>Goal 3.10.3 – Create a vibrant, pedestrian-oriented downtown with reliable connections from every neighborhood.</b>				
1. Install bicycle racks and repair stands along the Downtown Corridor.	Community Development – Planning Services			
2. Update code to require new construction to install multimodal amenities such as bicycle storage, maintenance racks, and bicycle parking.	Community Development – Planning Services			
3. Construct the Bullion Street Promenade as referenced in Hailey’s Downtown Master Plan to provide key connectivity to Downtown and into Croy Canyon.	Public Works Streets Department			
<b>Goal 3.10.4 – Improve public transit facilities/operations and increase public transit ridership.</b>				
1. Expand public transit funding to invest in future improvements.	Community Development – Planning Services			
2. Incentivize staff to utilize public transit through an internal commuter rewards program.	City Administration			
3. Identify & fill gaps in ‘first and last mile’ pedestrian and bicycle access to existing transit routes.	Community Development – Planning Services			

Section 10 Policies	Responsible Departments	Short Term	Medium Term	Long Term
<b>Goal 3.10.5 – Foster agency partnerships and communication to improve the transportation system.</b>				
1. Create installation plan with ITD for signal coordination through an Intelligent Transportation System.	Public Works Streets Department			
2. Develop a maintenance plan prioritizing Safe Routes to School routes.	Public Works Streets Department			
<b>Goal 3.10.6 – Enhance alternative transportation access to nearby recreation facilities.</b>				
1. Update code to require easements along new developments that protect trailhead and natural areas accessibility.	Community Development – Planning Services			
2. Build an interactive map that highlights alternative transportation routes to access major recreation areas.	Community Development – Planning Services			



## Section 15

# Sustainability

## INTRODUCTION

The City of Hailey has committed and taken action to build community sustainability and environmental stewardship for almost 30 years. Many sustainability projects or policies in Hailey today began as a single idea and have been built upon over time. As we learn more about sustainability systems and deeper initiatives, we can continue to take action to further reduce our community's carbon emissions and improve environmental stewardship.

The City of Hailey organizes its Sustainability Program through four focus areas:

- Energy and the Built Environment
- Waste Reduction
- Transportation and Mobility
- Land and Water

These focus areas closely mirror the sections of the Blaine County Climate Action Plan, which lends itself to Hailey's longstanding desire and commitment to collaboration and leveraging local partnerships. In 2024, the City of Hailey also began working on its own Hailey-specific Sustainability Action Plan. This plan is meant in part to complement the established goals and objectives of Blaine County's Plan, while also remaining adaptive and flexible to Hailey's unique contexts, capacities, and visions from community members.

There have been both challenges and successes across the focus areas, but some of the most notable sustainability milestones at the City of Hailey include:

- **1996:** Hailey became the first city in the Wood River Valley to enact curbside recycling, mandated by its franchise agreement with the local rubbish collection company. Since then, recycling and waste management efforts have expanded to include a construction materials recycling program, a public cardboard compactor, public glass drop-off, and a community compost pilot program.
- **2004:** With assistance from an EPA State and Tribal Assistance Grant (STAG), Hailey was the first Wood River Valley city to install water meters, resulting in a water usage drop of almost 25% during the irrigation season. Water rates continue to be set to discourage excessive water use and reward those who practice conservation.
- **2007:** City of Hailey joined ICLEI Local Governments for Sustainability and established the City's first carbon emissions baseline and reduction goal (15% reduction from 2005 levels by 2015). Idaho Power's energy source make-up shifted to produce a lower emissions factor after

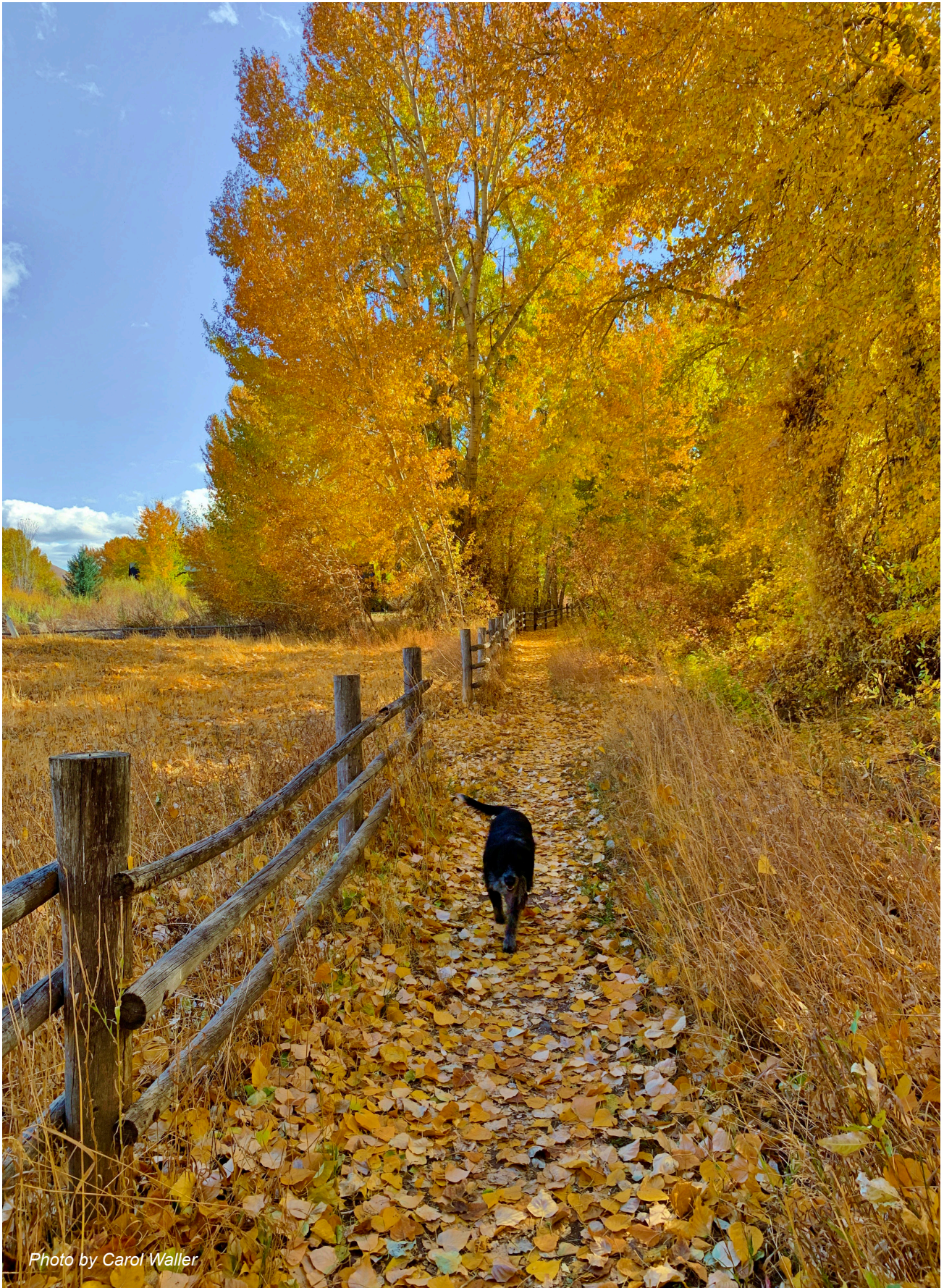
this baseline was established, and by 2011, the greenhouse gas emissions for Hailey energy use and activity had dropped 48% from 2005 levels, far surpassing this “15x15” goal.

- **2010:** Hailey Streets and Public Works Departments began increasing efforts to improve bike and pedestrian infrastructure in areas such as Woodside Boulevard, Croy Street, Myrtle Street, and River Street. Hailey’s interconnected bike/pedestrian transit system continues to be highly valued by the community.
- **2011:** Hailey creates its first full-time position dedicated to climate protection projects, working on a three-year grant contract from the US EPA Community Climate Challenge.
- **2017:** Hailey completes the Woodside Treatment Plant Biosolids project. This \$6 million project provided infrastructure to remove additional waste from wastewater effluent and create biosolid material that is now used to facilitate local composting efforts at Ohio Gulch. This project further protects the Bigwood River and reduces the amount of sludge trucked away from the treatment plant.
- **2017:** Leveraging grant funds from the Bureau of Reclamation and Idaho Board of Water Resources, the City of Hailey launches the “Water SMARTY” program, a xeriscape conversion and irrigation efficiency upgrades rebate program for City of Hailey residents. Over 1.5 million gallons of water were conserved due to the program and the actions of citizens.
- **2020:** A single-use plastic ban is put in place for all City-sponsored events and applicants for special events permits.
- **2020:** The Engine Idling Ordinance is passed by the City of Hailey, prohibiting excessive engine idling in public spaces and giving City Staff an enforcement tool to protect local air quality.
- **2021:** Resiliency Coordinator position transitions to a full-time, fully benefited Resilience Planner position, and Hailey also hires a full-time, fully benefited Sustainability and Grants Coordinator position. Shared between Public Works and Community Development Departments, the team continues to serve Hailey today.

## SUSTAINABILITY AND RESILIENCE IN THE CITY OF HAILEY

Sustainability can mean many different things and play out in many ways, depending on the person and the place. When the word “sustainability” is broken down, a seemingly simple concept emerges: the ability for a group, a person, a community – even the world – to sustain itself. Put another way, sustainability is making sure there is enough of a resource, both in the present and in the future. It is a matter of balance, long-term thinking, and thoughtful planning.

For the City of Hailey, living with sustainability means balancing our community’s needs for things like water, energy, clean air, and land with ecological needs of the larger Wood River Valley, both now and into the future. We share the landscape with wildlife and forest/sagebrush-steppe plant communities, which deserve protection. Our community also relies heavily on the ecosystem services – or benefits of nature – provided by these plant and wildlife communities. The thousands of acres of forest surrounding Hailey store immense amounts of carbon from our atmosphere, offsetting greenhouse gas emissions and keeping our air clean. Native plant communities provide



*Photo by Carol Waller*

## GREENHOUSE GASES AND CLIMATE CHANGE

*Greenhouse gases like carbon dioxide, methane, and nitrous oxide trap heat in the atmosphere, causing the greenhouse effect, which warms the Earth enough to support life. Natural processes, such as photosynthesis, capture and store these gases, maintaining a balanced atmosphere and predictable climate conditions that have allowed civilizations to thrive.*

*However, human activities, such as burning fossil fuels and deforestation, disrupt this balance. These activities increase greenhouse gas emissions, overwhelming the Earth's ability to process them. This imbalance has contributed to rising global temperatures and a rapidly changing climate.*

*The IPCC, a United Nations body, assesses climate science and provides reports that inform policymakers. According to IPCC data, the global average temperature has risen by approximately 1.1°C (2°F) over the past century, contributing to more frequent extreme weather events like storms, droughts, and wildfires. Climate models predict that Blaine County's average daily maximum temperature could rise by 2°F by 2050 and between 7°F and 12°F by the end of the century, assuming current emission trends continue.*

flowering plants and habitat for pollinators like insects and birds; these pollinators allow us to grow crops locally, instead of importing from other states or overseas. In Hailey and across south central Idaho, water is one of the most critical resources. Living in a high-mountain desert climate means that we rely very heavily on winter snowfall and snowpack to provide water resources for the rest of the year. As Hailey has experienced in recent years, a low snow winter followed by a warm and dry spring can spell disaster in terms of drought and wildfire. We must invest in systems and ways of life that preserve resources and help prepare communities for future uncertainties.

The 2024 Comprehensive Plan Update represents the first time that an entire section of the Plan is dedicated to sustainability goals, objectives, and policies. A Sustainability section allows for projects to be integrated across departments and divisions, approached with more clarity of connection to the City's overall vision, and combines the impacts of single projects into achievement of larger goals.

Those who are directly responsible for carrying out sustainability projects in the City of Hailey have historically included Staff from the Community Development and Public Works Departments, as well as the office of the City Administrator. This inter-departmental approach helps deliver shared sustainability outcomes while managing staff time and budget resources efficiently. Additionally, City of Hailey staff work closely with Blaine County and other municipalities on both shared initiatives and creating integrated systems and policies. Frequent communication and a commitment to beneficial shared outcomes with our local partners continue to elevate Hailey's sustainability efforts within City limits and beyond.

As Hailey grows and evolves as a community, City staff will continually assess resource needs for



sustainability. As previously mentioned, City Staff began drafting the Hailey Climate/Sustainability Action Plan in 2024, with hopes for Council adoption of the Plan by late 2025. This sustainability-focused plan will provide detailed and actionable strategies for accomplishing the broader goals, objectives, and policies of the Comprehensive Plan's Sustainability section. City of Hailey leadership have begun exploring permanent budget options that can support both the Sustainability section and the Climate/Sustainability Action Plan. These guiding documents will build organization, accountability, and clarity for Hailey's Sustainability Program, which will further strengthen the impact of future efforts and bolster our community's resilience.

## **SUSTAINABILITY FOCUS AREAS**

As mentioned, the City of Hailey organizes its sustainability efforts through four focus areas. This page describes these focus areas in more detail and provides background information for the focus area that is specific to Hailey. These focus areas are not listed in any order of priority or effort.

### **ENERGY AND THE BUILT ENVIRONMENT**

This sector includes efforts to increase the amount of renewable ("clean") energy that powers Hailey homes, businesses, City operations, schools, and more. For the intents and purposes of this section, renewable energy includes sources like solar, wind, hydropower, and nuclear. It should be noted that while all-electric power at the building/home level eliminates direct fossil fuel consumption by those users, much of the electricity consumed around the country is created from coal-fired power plants, which are indirectly fossil fuel intensive. Idaho Power Company, which provides electricity for the City of Hailey and most of the state, has an energy portfolio that includes coal-fired electricity, a small amount of solar, and a significant contribution from hydropower. While much less fossil-fuel intensive than coal-fired power or natural gas, hydropower still contains a "carbon cost" as well, both in the dam construction and ongoing influence of hydropower operations on natural river ecosystems. Hydropower in Idaho is a great example of the many tradeoffs that come with pursuing renewable energy.

The built environment refers to all the different buildings and structures in Hailey. Even more important than having buildings run on clean energy is to design and construct buildings to use as little energy as possible. Energy efficiency is achieved through strong insulation, limiting air leaks around windows and doors, orienting the building to maximize natural light, and installing high-efficiency appliances like electric heat pumps and induction stove-tops. 2023 rulemaking within the Idaho State Legislature removed local governments' ability to require and enforce energy efficiency measures that go beyond the 2018 International Energy Conservation Code. City Staff continue to explore incentives and voluntary participation for above-code energy efficiency designs.

### **WASTE REDUCTION**

This sector includes efforts to reduce the amount of waste that Hailey generates and ultimately sends to the landfill, Milner Butte, located 100 miles away in Burley. The landfill is operated by

## CIRCULAR ECONOMY

*A circular economy is an economic model aimed at minimizing waste and maximizing resource use by creating closed-loop systems.*

*Instead of the traditional “take-make-dispose” approach, a circular economy emphasizes reusing, repairing, refurbishing, and recycling products and materials, keeping them in use for as long as possible to reduce environmental impact and resource depletion.*

*This model benefits the environment, reduces costs, and encourages innovation in sustainable practices.*

Southern Idaho Solid Waste (SISW). SISW is an active and engaged partner for waste management in the Wood River Valley. The Blaine County Recycle Center at Ohio Gulch accepts a wide variety of items and materials and diverts them from ending up in the landfill. This includes everything from exterior paint and batteries to more traditional materials like metal and cardboard. Composting efforts continue to grow in Hailey as well. A construction materials recycling program is in place for projects in Hailey with an active building permit, although enforcement remains a challenge. Deeper, more systemic changes with our consumption of single-use materials will be critical for making significant improvements in this sector.

## TRANSPORTATION AND MOBILITY

Transportation and mobility, within the realm of sustainability, are guided by many of the

same principles and policies of the Transportation section of Hailey’s Comprehensive Plan. When reviewing public feedback on the 2024 Comprehensive Plan Update – or even simply through observation of Hailey’s streets on any given day – a clear pattern emerges: the Hailey community values safe, walkable neighborhoods, as well as an interconnected system of bike and foot paths. These values support sustainable transportation by nature. Continuing to enhance Hailey’s bike and pedestrian infrastructure remains a top priority for both City Staff and community members. Increasing access to and use of public transit (through Mountain Rides Transportation Authority) and electric vehicles are also addressed through this sector.

## LAND AND WATER

The final sector of Hailey’s sustainability efforts falls within land and water conservation. Like Transportation and Mobility, this sector relates to the activities in other Comprehensive Plan sections like Land Use, Housing, and even Economic Development. Development standards in the Hailey Municipal Code require developers to balance the construction of new buildings with the preservation and maintenance of park space, as a certain percentage of land or in-lieu funds must be provided for public parks with any new development. The City of Hailey continues to uphold the powerful precedent set by Blaine County’s Hillside Overlay Ordinance, which has prohibited development on hillsides and along canyon walls since the 1980s. Hailey also continues a growth pattern that is consistent with the Blaine County Comprehensive Plan, directing growth and density into city cores and downtown areas, instead of continuing sprawl into most canyons and infringing upon agricultural lands.



The Land and Water focus area also covers Hailey’s tree population and tree stewardship programming. Street trees in the downtown area must be selected from an arborist-approved species list, and the Public Works Department continues to implement new and improved standard conditions for planting, ensuring maximum tree health and longevity. The Hailey Tree Committee is an appointed citizen committee that was established in 2008, with the responsibility to promote sound arboricultural practices and tree diversity and to promote public education of proper tree care practices.

Drought-tolerant landscaping, tiered utility billing for water consumption, and time of day/day of week irrigation requirements are the most widely applied code-based tools for water conservation in

Hailey. The City of Hailey has also seen recent success in negotiating turf limits for new residential developments on large lots, as well as high efficiency irrigation systems. Water conservation continues to be an area of great public interest in the Hailey community, as demonstrated by surveys in the 2024 Comprehensive Plan Update. City staff are working to leverage partnerships and continue pursuing grant funding to help the community conserve water for current and future community members.

Hailey is ultimately limited in both land and water resources. As the community grows, and the climate trends toward warmer temperatures year-round, compromising the capacity of our snowpack to store water into the hottest months of the year and exacerbating the risk of wildfires, the Hailey community must remain diligent, creative, and responsive to changing conditions. More proactive measures to conserve the land and water resources we currently have will be necessary to ensure quality of life for future generations. Supporting yard conversion to xeriscape landscaping, placing turf restrictions on new residential development, promoting infill development and accommodating for new development within the existing footprint of development, and ensuring our parks remain healthy and accessible to all are some of the ways that the City of Hailey can help conserve land and water into the future.

## GOALS, OBJECTIVES, AND POLICIES

The following goals, objectives, and policies will guide the continued sustainability efforts of the City of Hailey towards the implementation of the community vision and values identified within the Comprehensive Plan. It should be noted that these goals, objectives, and policies are broad priorities that will be further informed and elaborated on in more detail in the eventual Hailey Climate/Sustainability Action Plan.

### **Goal 3.15.1 – Reduce emissions linked to residential and commercial energy use and improve the resiliency and efficiency of Hailey’s built environment.**

*Objective – Improve the energy efficiency of both present and future buildings and continue to develop land use policies that minimize energy use at the neighborhood level.*

*Objective - Increase the supply of clean energy utilized in the City of Hailey.*

*Objective – Increase community access to energy and efficiency projects that deliver cost savings, promote equitable access to renewable energy and energy efficiency resources, and build energy independence whenever possible.*

- A. Develop energy conservation programs that will be sensitive to the unique situations involving historic structures and historic preservation within the City of Hailey.
- B. Actively connect Hailey community members with information and resources related to clean energy options and energy efficiency upgrades, including available credits, rebates, and cost-savings programs.
- C. Aggressively explore creative incentive programs, municipal code updates, and/or State legislation that increases our community’s energy efficiency and/or renewable energy implementation, maintaining compliance with State statutes.
- D. Increase City of Hailey municipal participation in clean energy purchasing programs from utility providers.
- E. Develop targeted programs, outreach, and/or partnerships that remove financial barriers and increase adoption of renewable energy and/or energy efficiency installations for multifamily and low to middle income households.
- F. Continue to audit energy use of City-owned buildings and utilize data benchmarking to reduce energy use.
- G. Increase energy independence and resiliency of City-owned buildings through the expansion of City-owned renewable energy projects and/or participation in community solar project development.
- H. Explore new Municipal Code updates that incentivize and/or require building design and orientation that maximizes solar gain and is responsive to seasonal climate conditions in Hailey.

**Goal 3.15.2 – Increase Hailey community participation in valley-wide efforts to reduce waste production, increase material repurposing and diversion, and grow participation in recycling programs.**

*Objective – Strengthen the capacity of existing diversion, recycling, and composting programs in and around the City of Hailey, while increasing awareness and participation of businesses and residents. This will be achieved by leveraging current partnerships, supporting educational resources/initiatives, and investing in waste reduction infrastructure.*

- A. Develop a manageable system for enforcement of City of Hailey event resiliency guidelines.
- B. Develop waste-conscious procurement standards for City of Hailey operations, prioritizing standards that source materials/services locally, utilize local material repurposing, and reduce City of Hailey waste production overall.
- C. Support regional efforts to provide accessible educational resources related to waste reduction, recycling, and the value of circular economies.
- D. Strengthen enforcement of the City of Hailey’s Construction Waste Management Program and implement best management practices for contractor compliance with wood, metal, and cardboard recycling.
- E. Adopt policies and programs that promote the reuse of salvaged materials for new construction.
- F. Explore incentive programs for Hailey restaurants and businesses that eliminate single-use packaging/containers, increase recycling and diversion rates, and increase composting rates.
- G. Coordinate with the designated City of Hailey waste hauler and local compost processors to increase community access to affordable yard and food waste curbside pickup services.
- H. Continue to collaborate with regional stakeholders like Blaine County Recycle Center and Southern Idaho Solid Waste to develop policies, programs, and regulations that emphasize waste prevention, reuse, composting, recycling, and the utilization of materials with recycled content.

**Goal 3.15.3 – Decrease rate of emissions produced from transportation occurring within the City of Hailey.**

*Objective – In conjunction with the goals, objectives, and policies outlined within the Transportation section of the Hailey Comprehensive Plan, increase the community’s equitable access to multimodal transportation networks consisting of public transit, ridesharing, active transportation, and other low/zero emissions transportation options.*

*Objective – Support creative strategies to reduce emissions impacts of Friedman Memorial Airport on the Hailey community.*

- A. Continue to integrate strategic land use policies that reduce transportation time and vehicle miles traveled by establishing policies that prioritize infill along established multimodal

networks.

- B. Continue to implement right-of-way planning that captures potential route expansion and growth of Mountain Rides Transportation Authority.
- C. Continue to plan for and invest in pedestrian infrastructure in the Downtown Residential Overlay District, including the strategies and features developed within the Downtown Master Plan.
- D. Leverage existing partnerships with Mountain Rides and Idaho Department of Transportation and apply data-driven approaches (surveys, traffic counts, etc.) to better understand the origin and destination patterns of single-occupancy vehicle travel within and through the City of Hailey.
- E. Prioritize and/or provide incentives for bike parking at special events in the City of Hailey.
- F. Collaborate with Mountain Rides Transportation Authority to develop ridesharing incentive programs for businesses and employees, both within the City of Hailey and within other jurisdictions in Blaine County.
- G. Develop capacity and work plans within the Public Works Department to ensure that major pathways and sidewalks remain consistently clear of snow and safe for use during winter months.
- H. Explore policy development and collaboration opportunities within the Friedman Memorial Airport Authority Board that provides local carbon offsetting balanced with the continued operations and projected service growth of the Friedman Memorial Airport.

**Goal 3.15.4 – Protect the health and availability of Hailey’s land and water resources for both present and future generations.**

*Objective – Develop and apply land use policies and programs for development/redevelopment in Hailey that prioritize land use efficiency, equitable access to green space, and environmental stewardship.*

*Objective – Develop and apply water use policies and programs that encourage low consumption, protection of water quality, strategic reuse, and monitoring and proactive management of Hailey’s water resources.*

*Objective – Manage development and activity within the City of Hailey in a manner that reduces conflict with wildlife and acknowledges the rights of wildlife to continue living in and around Hailey.*

*Objective – Preserve and expand Hailey’s urban forest and tree populations.*

- A. Pursue grants and other funding opportunities to help support Hailey landowners in reducing turf and irrigation needs on their properties.
- B. Develop new Code requirements that restrict the installation of newly irrigated turf across appropriate zoning districts.
- C. Explore new Code requirements and/or programs that ensure the preservation of mature tree

stands on private property, especially within the Townsite Overlay District.

- D. Engage in budgetary and development standard planning that facilitates the installation of suspended pavement, structural soil, and/or appropriately sized tree wells across all City rights-of-way in Hailey.
- E. Decrease reliance on, and use of, road salt within the City of Hailey.
- F. Continue to partner with the Wood River Land Trust to provide exceptional stewardship of the Big Wood River.
- G. Explore opportunities for adaptive reuse of snow removed from public streets and rights-of-way, such as park irrigation or new aquatic habitat.
- H. Continue to support winter recreational closures and other land use restrictions that balance habitat needs with development activities, ensuring peaceful and healthy coexistence between wildlife and humans.
- I. Continue to reduce water consumption demand city-wide.
- J. Reduce synthetic fertilizer, pesticide, and herbicide use on City-owned properties.
- K. Continue to review, educate for, and implement codes for dark sky lighting compliance.

**Goal 3.15.5 – Continue to serve the community as a valued municipal partner and strive to be a leader for sustainability within Blaine County, across Idaho, and amongst the network of rural mountain towns in the Intermountain West.**

*Objective – Actively engage and participate in sustainability and resilience planning within Blaine County, prioritize participation that results in implementation and measurable outcomes, and foster a culture of continuous emissions reduction and improved environmental stewardship.*

- A. Develop and implement a Sustainability Action Plan for the City of Hailey that is aligned with the Blaine County Climate Action Plan and informed by best practices from peer communities.
- B. Align City of Hailey goals, objectives, and policies with broader sustainability efforts within Blaine County.
- C. Utilize memorandums of understanding, in-kind contributions, staff time, etc. to help bolster county-wide sustainability efforts while utilizing public funds efficiently and effectively.
- D. Continue to participate in networking and shared learning opportunities with other sustainability professionals from peer communities.
- E. Leverage local educational networks and providers to expand accessibility and increase impact of sustainability and climate action resources.

## IMPLEMENTATION MATRIX

The implementation matrix organizes specific actions to assist the City in achieving the goals articulated in the plan. Implementation timelines are subject to political direction and economic conditions and may be shorter or longer than provided estimates. In general, Short Term is considered to be 1 to 3 years, Medium Term is considered to be 3 to 5 years and Long Term is considered to be 5 years or greater.

Section 15 Policies	Responsible Departments	Short Term	Medium Term	Long Term
<b>Goal 3.15.1 – Reduce emissions linked to residential and commercial energy use and improve the resiliency and efficiency of Hailey’s built environment.</b>				
1. Support community education and workforce training initiatives that increase local capacity and participation in green/passive building design, high-efficiency HVAC system development, energy auditing, energy efficiency retrofitting, and renewable energy and battery storage system design.	Community Development, Hailey Public Library			
2. Develop energy conservation programs that will be sensitive to the unique situations involving historic structures and historic preservation within the City of Hailey.	Community Development, Hailey Arts and Historic Preservation Committee			
3. Provide the Hailey community with information and resources related to clean energy options and energy efficiency upgrades, including available credits, rebates, and cost-savings programs.	Community Development			



Section 15 Policies	Responsible Departments	Short Term	Medium Term	Long Term
4. Aggressively explore creative incentive programs, municipal code updates, and/or State legislation that increases our community’s energy efficiency and/or renewable energy implementation, maintaining compliance with State statutes.	Community Development	■		
5. Develop targeted programs, outreach, and/or partnerships that remove financial barriers and increase adoption of renewable energy and/or energy efficiency installations for multifamily and low to middle income households.	Community Development	■		
6. Continue to audit energy use of City-owned buildings and maintain consistent records.	Community Development	■		
7. Increase energy independence and resiliency of City-owned buildings through the expansion of City-owned renewable energy projects and/or participation in community solar project development.	Community Development, Public Works		■	
8. Explore new Municipal Code updates that incentivize and/or require building design and orientation that maximizes solar gain and is responsive to seasonal climate conditions in Hailey.	Community Development		■	

Section 15 Policies	Responsible Departments	Short Term	Medium Term	Long Term
<b>Goal 3.15.2 - Reduce waste production, increase material repurposing and diversion, and increase City of Hailey participation in local circular economies.</b>				
1. Develop a manageable system for enforcement of City of Hailey event resiliency guidelines.	Community Development, Public Works/Parks	■		
2. Develop waste-conscious procurement standards for City of Hailey operations, prioritizing standards that source materials/ services locally, utilize local material repurposing, and reduce City of Hailey waste production overall.	City Administration, Community Development, Public Works, Streets Department		■	
3. Support regional efforts to provide accessible educational resources related to waste reduction, recycling, and the value of circular economies.	Community Development	■		
4. Strengthen enforcement of the City of Hailey’s Construction Waste Management Program and implement best management practices for contractor compliance with wood, metal, and cardboard recycling.	Community Development, Hailey Police (Community Service Officer)		■	
5. Adopt policies and programs that promote the reuse of salvaged materials for new construction.	Community Development		■	
6. Explore incentive programs for Hailey restaurants and businesses that eliminate single-use packaging/containers, increase recycling and diversion rates, and increase composting rates.	Community Development		■	

Section 15 Policies	Responsible Departments	Short Term	Medium Term	Long Term
7. Coordinate with designated City of Hailey waste hauler and local compost processors to increase community access to affordable yard and food waste curbside pick-up services.	Community Development			
8. Continue to collaborate with regional stakeholders like Blaine County Recycle Center and Southern Idaho Solid Waste to develop policies, programs, and regulations that emphasize waste prevention, reuse, composting, recycling, and the utilization of materials with recycled content.	Community Development			
<b>Goal 3.15.3 – Decrease the rate of emissions produced from transportation occurring within the City of Hailey.</b>				
1. Continue to integrate strategic land use policies that reduce transportation time and vehicle miles traveled by establishing policies that prioritize infill, increased density along established multi-modal networks, and right-of-way planning that captures potential route expansion and growth of Mountain Rides Transportation Authority.	Community Development			
2. Continue to plan for and invest in pedestrian infrastructure in the Downtown Residential Overlay District, including the strategies and features developed within the Downtown Master Plan.	Community Development, Public Works, Streets Department			

Section 15 Policies	Responsible Departments	Short Term	Medium Term	Long Term
3. Leverage existing partnerships with Mountain Rides and Idaho Department of Transportation and apply data-driven approaches (surveys, traffic counts, etc.) to assess single-occupancy vehicle route patterns impacting transportation in the City of Hailey.	Community Development, Public Works, Streets Department			
4. Prioritize and/or provide incentives for bike parking for special events in the City of Hailey.	Community Development			
5. Develop ridesharing incentive programs for businesses and employees, both within the City of Hailey and within other jurisdictions in Blaine County.	Community Development			
6. Develop capacity and work plans within Public Works Department to ensure that major pathways and sidewalks remain consistently clear of snow and safe for use during winter months.	Public Works, Streets Department			
7. Explore policy development and collaboration opportunities within the Friedman Memorial Airport Authority that provides local carbon offsetting, balanced with the continued operations and projected service growth of the Friedman Memorial Airport.	Community Development, City Administration, Mayor			

Section 15 Policies	Responsible Departments	Short Term	Medium Term	Long Term
<b>Goal 3.15.4 – Protect the health and availability of Hailey’s land and water resources for both present and future generations.</b>				
1. Pursue grants and other funding opportunities to help support Hailey landowners in reducing turf and irrigation needs on their properties.	Community Development, Public Works			
2. Develop new Code requirements that restrict the installation of newly irrigated turf across appropriate zoning districts.	Community Development			
3. Explore new Code requirements and/or programs that ensure the preservation of mature tree stands on private property, especially within the Townsite Overlay District.	Community Development, Public Works, Hailey Tree Committee			
4. Engage in budgetary and development standard planning that facilitates the installation of suspended pavement, structural soil, and/or appropriately sized tree wells across all City rights-of-way in Hailey.	Public Works, Streets Department			
5. Decrease reliance on, and use of, road salt within the City of Hailey.	Public Works, Streets Department, Community Development			
6. Continue to partner with the Wood River Land Trust to provide exceptional stewardship of the Big Wood River.	Community Development			

Section 15 Policies	Responsible Departments	Short Term	Medium Term	Long Term
7. Explore opportunities for adaptive reuse of snow removed from public streets and rights-of-way, such as park irrigation or new aquatic habitat.	Public Works, Streets Department			
8. Continue to support winter recreational closures and other land use restrictions that balance habitat needs with development activities, ensuring peaceful and healthy coexistence between wildlife and humans.	Community Development			
9. Continue to promote and incentivize water conservation measures city-wide.	Community Development, Public Works			
10. Reduce synthetic fertilizer, pesticide, and herbicide use on City-owned properties.	Public Works/Parks			
11. Continue to review, educate for, and implement codes for dark sky lighting compliance.	Community Development			
<b>Goal 3.15.5 – Continue to serve the community as a valued municipal partner and strive to be a leader for sustainability within Blaine County, across Idaho, and amongst the network of rural mountain towns in the Intermountain West.</b>				
1. Develop and implement a Sustainability Action Plan for the City of Hailey that is aligned with the Blaine County Climate Action Plan and informed by best practices from peer communities.	Community Development			
2. Align City of Hailey goals, objectives, and policies with broader sustainability efforts within Blaine County.	Community Development			

Section 15 Policies	Responsible Departments	Short Term	Medium Term	Long Term
3. Utilize memorandums of understanding, in-kind contributions, staff time, etc. to help bolster county-wide sustainability efforts while utilizing public funds efficiently and effectively.	Community Development, Public Works, City Administration	█		
4. Continue to participate in networking and shared learning opportunities with other sustainability professionals from peer communities.	Community Development, Public Works	█		
5. Leverage local educational networks and providers to expand accessibility and increase impact of sustainability and climate action resources.	Community Development		█	

**Exhibit B: Hailey Comprehensive Plan Land Use Map 2024**



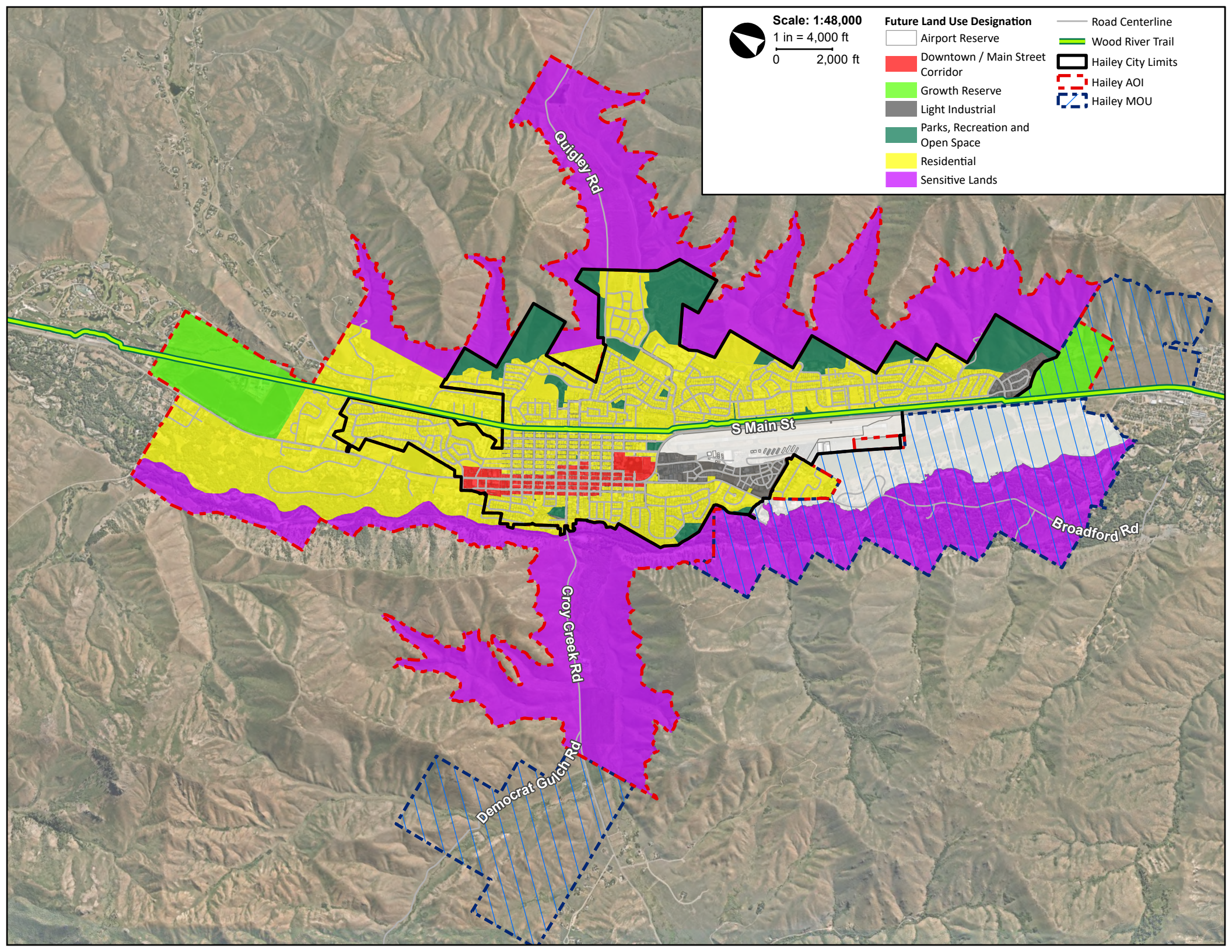


Scale: 1:48,000  
1 in = 4,000 ft  
0 2,000 ft

**Future Land Use Designation**

- Airport Reserve
- Downtown / Main Street Corridor
- Growth Reserve
- Light Industrial
- Parks, Recreation and Open Space
- Residential
- Sensitive Lands

- Road Centerline
- Wood River Trail
- Hailey City Limits
- Hailey AOI
- Hailey MOU



**Return to Agenda**

## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On March 3 2025, the Administrator and Planning and Zoning Chair considered a request by Eric Cueva to amend the approved Design Review plans to construct a new 579 square foot Accessory Dwelling Unit (ADU), to be located at 504 S Main Street (Lots S20' of 12 All of 13 & 14, Block 9, Hailey Townsite) within the Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts.

The Chair, having been presented with all the information regarding the modified design proposal hereby makes the following Findings of Fact, Conclusions of Law and Decision relative to the Design Review Modification.

### FINDINGS OF FACT

**Background and Project Overview:** On July 15, 2024, the Hailey Planning and Zoning Commission considered and approved a Design Review Application submitted by Eric Cueva, represented by Youdall Architecture, for a mixed-use development project which included retail trade commercial space, a detached garage addition, as well as a new Accessory Dwelling Unit (ADU) located above the addition, and located at 504 S. Main Street (Lots S20' of 12 All of 13 & 14, Block 9, Hailey Townsite) within the Business (B), Downtown Residential Overlay (DRO) and Townsite Overlay (TO) Zoning Districts.

#### **Standards of Evaluation:**

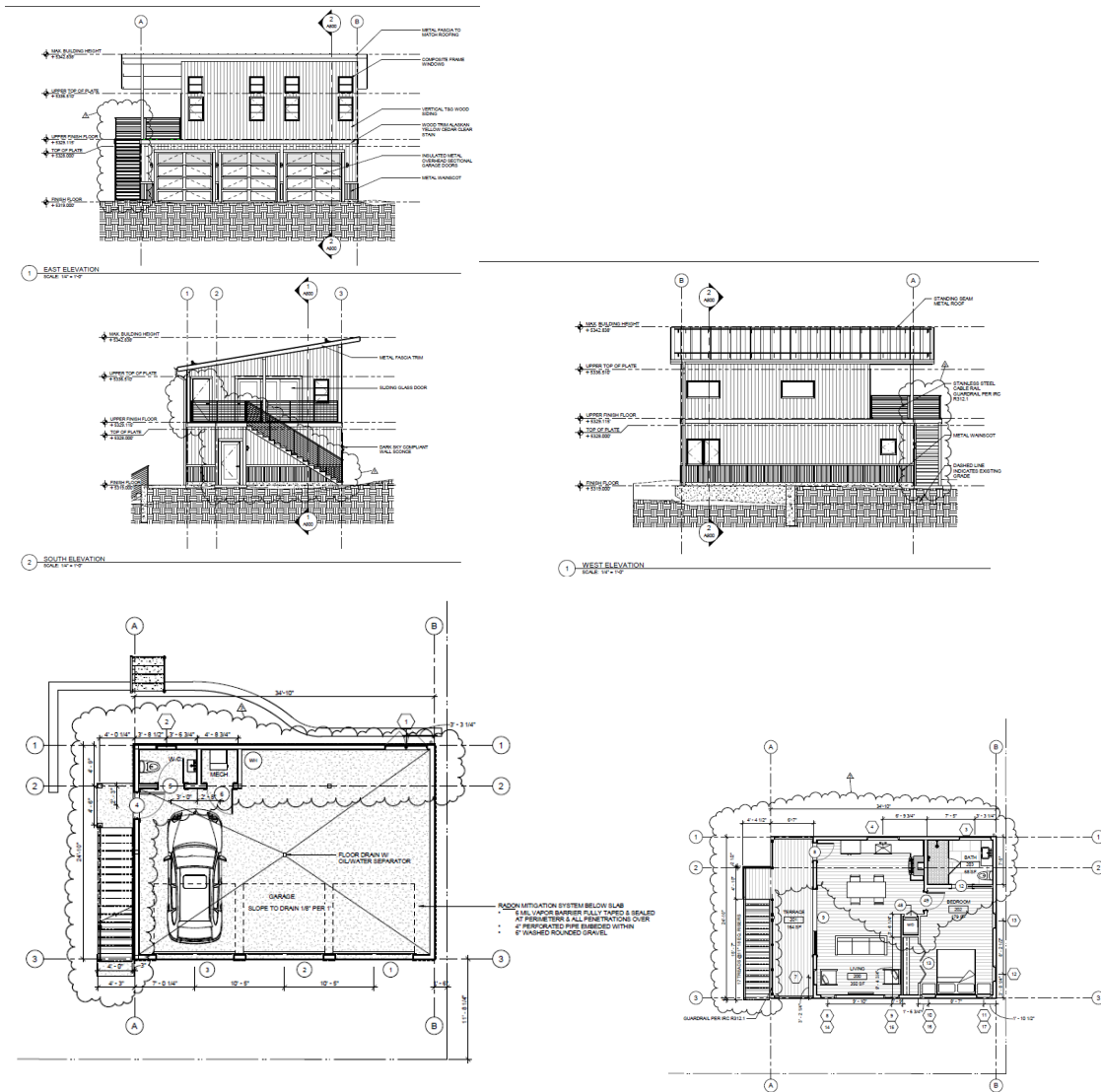
**Chapter 17.06 of the Hailey Municipal Code establishes the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Administrator makes the following Findings of Fact:**

**The Administrator has the authority to approve minor modifications to projects that have received design review approval by the commission prior to, and for the duration of a valid building permit. The Administrator shall make the determination as to what constitutes minor modifications and may include, but are not limited to, changes to approved colors and/or siding materials, changes to site plans that do not significantly increase building footprints or significantly change driveway or road alignment, changes to landscape plans that do not decrease the amount of landscaping, changes to dumpster enclosures, changes to exterior lighting fixtures and location, or changes to windows that do not significantly affect project design, appearance or function. All approved modifications must be documented in a memo to the project file and on the approved set of plans on file with the City. For modifications to design review approval that are determined by the Administrator not to be minor, the Administrator has the authority to recommend approval or denial of such modifications, subject to final decision by the commission on its consent agenda. Such recommendation for approval or denial shall be drafted in the form of findings of fact and conclusions of law. (Ord. 1191, 2015)**

The modifications listed below are minor in the overall scope. The proposed modifications consist of:  
Amended ADU plans:

- Remove the interior stairway, located within the proposed structure, and relocate the stairway to the exterior of the proposed structure.
- Create a new ADU entrance/exterior stairway located along the southern elevation of the structure.
- Install a new sliding/swing door for the ADU porch.
- Relocate the bedroom and kitchen to the west where the original staircase opening was.

The images below display the proposed amendments to the ADU. No other modifications, additions, or renovations are proposed or planned for at this time. While the interior configuration is slightly different, and the staircase has been relocated to the exterior and along the southern elevation, no change in the structure's overall square footage is proposed, thereby, there will be no impact on lot coverage.



## CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Administrator and Chair make the following Conclusions of Law and Decision:

1. The proposed modifications are consistent with the Findings of Fact, Conclusions of Law and Decision adopted by the Commission for the aforementioned project on June 3, 2024.
2. The modifications, as approved, have been noted in a memo on file with the Community Development Department.
3. Approval of the Design Review Modification does not in any way waive any Design Review requirements approved by the Commission. All Design Review elements must be installed, or security provided, prior to issuance of a Certificate of Occupancy.

Signed this \_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Janet Fugate, Planning and Zoning Chair

Attest:

\_\_\_\_\_  
Robyn Davis, Community Development Director

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## FINDINGS OF FACT, CONCLUSIONS OF LAW AND DECISION

On March 3, 2025, the Administrator and Planning and Zoning Chair considered a request by Holly McCloud to amend the approved Design Review plans for the construction of a new 2,389 square foot single-family residence located at 216 S. 4<sup>th</sup> Avenue (Lots 19 & 20, Block 104, Hailey Townsite) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts).

The Chair, having been presented with all the information regarding the modified design proposal hereby makes the following Findings of Fact, Conclusions of Law and Decision relative to the Design Review Modification.

### FINDINGS OF FACT

**Background and Project Overview:** On May 20, 2024, the Hailey Planning and Zoning Commission considered and approved a Design Review Application submitted by Holly McCloud, represented by bldg. collective architecture, for the construction of a new 2,389 square foot single-family residence to be located at 216 S. 4<sup>th</sup> Avenue (Lots 19 & 20, Block 104, Hailey Townsite) within the Limited Residential (LR-1) and Townsite Overlay (TO) Zoning Districts.

#### **Standards of Evaluation:**

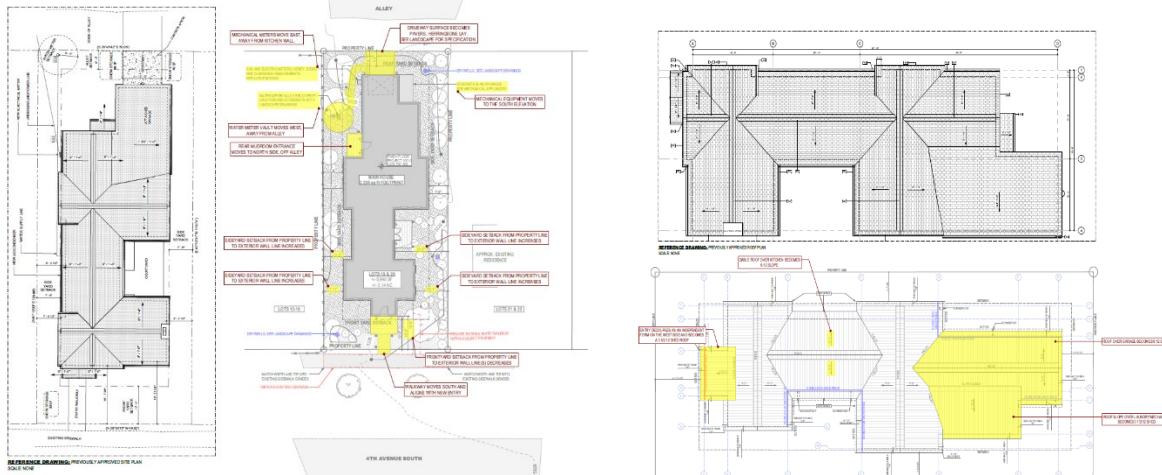
**Chapter 17.06 of the Hailey Municipal Code establishes the criteria for applications for Zoning and Design Review. For each applicable standard (in bold print), the Administrator makes the following Findings of Fact:**

**The Administrator has the authority to approve minor modifications to projects that have received design review approval by the commission prior to, and for the duration of a valid building permit. The Administrator shall make the determination as to what constitutes minor modifications and may include, but are not limited to, changes to approved colors and/or siding materials, changes to site plans that do not significantly increase building footprints or significantly change driveway or road alignment, changes to landscape plans that do not decrease the amount of landscaping, changes to dumpster enclosures, changes to exterior lighting fixtures and location, or changes to windows that do not significantly affect project design, appearance or function. All approved modifications must be documented in a memo to the project file and on the approved set of plans on file with the City. For modifications to design review approval that are determined by the Administrator not to be minor, the Administrator has the authority to recommend approval or denial of such modifications, subject to final decision by the commission on its consent agenda. Such recommendation for approval or denial shall be drafted in the form of findings of fact and conclusions of law. (Ord. 1191, 2015)**

The modifications listed below are minor in the overall scope. The proposed modifications consist of:  
Amended Site Plan:

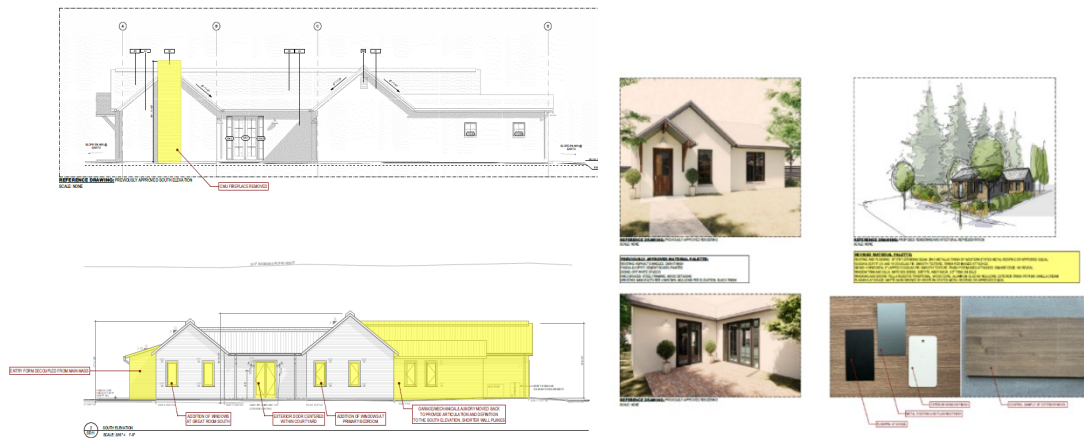
- Reduction in Lot coverage from 39.9% to 38.3%
- An increase in Building height from 18.6' to 20'
- Realignment of the front entry walkway shifting south and aligning with new entry
- Relocation of the rear mudroom entrance, which is proposed to move to the northern elevation and facing east to be accessed via the existing alley.
- An increase in Front yard setback from 12' to 19.9'
- An increase in the side yard setback (north) from 7.5' to 13.1'
- Shifting of the Garage to the north
- A reduction in square footage from 2,389 to 2,296 square feet

- 1,846 square feet first floor/ living
- 450 square feet garage/ mechanical



**Amended Exterior Building Design:**

- Gable roof over kitchen pitched to 6:12 slope.
- Removal of the CMU fireplace.
- The addition of windows along the south elevation.
- The addition of a new front entry which has been decoupled from the primary wall plane on the west side.
- The submittal of a revised material palette.

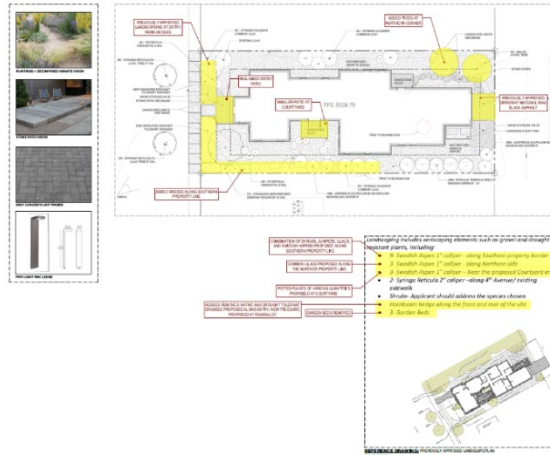


**Amended Landscaping plan:**

- The reduction in size of the courtyard patio.
- A combination of shrubs, Junipers, Lilacs and Swedish Alps proposed along the southern property line to replace the originally proposed Swedish Aspens.
- Lilacs proposed along northern property line to replace the originally proposed Swedish Aspens.



- Various plants integrated along the courtyard.
- Previously approved garden beds removed and replaced with drought tolerant grasses and new trees proposed along the rear/alley.



### CONCLUSIONS OF LAW AND DECISION

Based upon the above Findings of Fact, the Chair makes the following Conclusions of Law and Decision:

1. The proposed modifications are consistent with the Findings of Fact, Conclusions of Law and Decision adopted by the Commission for the aforementioned project on June 3, 2024.
2. The modifications, as approved, have been noted in a memo on file with the Community Development Department.
3. Approval of the Design Review Modification does not in any way waive any Design Review requirements approved by the Commission. All Design Review elements must be installed, or security provided, prior to issuance of a Certificate of Occupancy.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Janet Fugate, Planning and Zoning Chair

Attest:

\_\_\_\_\_  
Robyn Davis, Community Development Director c

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